


SECOND FLOOR SHEAR WALL PLAN

SCALE: 1/8" = 1'-0" (SHEAR WALLS FROM SECOND FLOOR TO THE THIRD FLOOR)



PLAN NOTES

1. SHEAR WALLS NOTED THUS  INDICATE SHEAR WALLS FROM THE SECOND FLOOR TO THE THIRD FLOOR. ALL PANEL EDGES SHALL BE BLOCKED AND SHEATHING SHALL BE SECURELY FASTENED 3/8" FROM ALL PANEL EDGES. SW-X INDICATES SHEAR WALL DESIGNATION. SEE SCHEDULE ON SHEET S002 AND DETAILS ON SHEET S501 FOR ADDITIONAL INFORMATION.
2. SHEAR WALL SHEATHING SHALL BE CONTINUOUS ON PLANE OF WALL FOR ENTIRE LENGTH WITH NO INTERRUPTIONS TO IT FROM ABUTTING/INTERSECTING WALLS.
3. SEE DETAIL E/SS01 FOR TERMINATION OF INTERIOR SHEAR WALLS AT INTERFACE WITH EXTERIOR WALLS AND CORRIDOR WALLS.
4. "HD" ON PLAN INDICATES (2) 2x STUD MIN WITH SIMPSON COIL STRAP. SEE SECTION H/SS02 FOR ADDITIONAL INFORMATION. CONTRACTOR COORDINATE "S1" LOCATIONS WITH JAMBS/ARCHITECTURAL DRAWINGS. STRAPS ARE LOCATED AT INTERFACE BETWEEN FIRST FLOOR WALL AND SECOND FLOOR WALL. ALL "HD" SHALL ALIGN WITH HD LOCATIONS BELOW.
5. SEE THE FLOOR FRAMING AND SECTIONS SHOWN ON THE FLOOR FRAMING PLANS FOR DIAPHRAGM ATTACHMENT TO MASONRY ELEVATOR SHAFT.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
250 Penfort Street
Pittsburgh, PA 15214

drawing title

**SECOND FLOOR SHEAR
WALL PLAN**

scale
As Noted

date
December 3rd, 2023

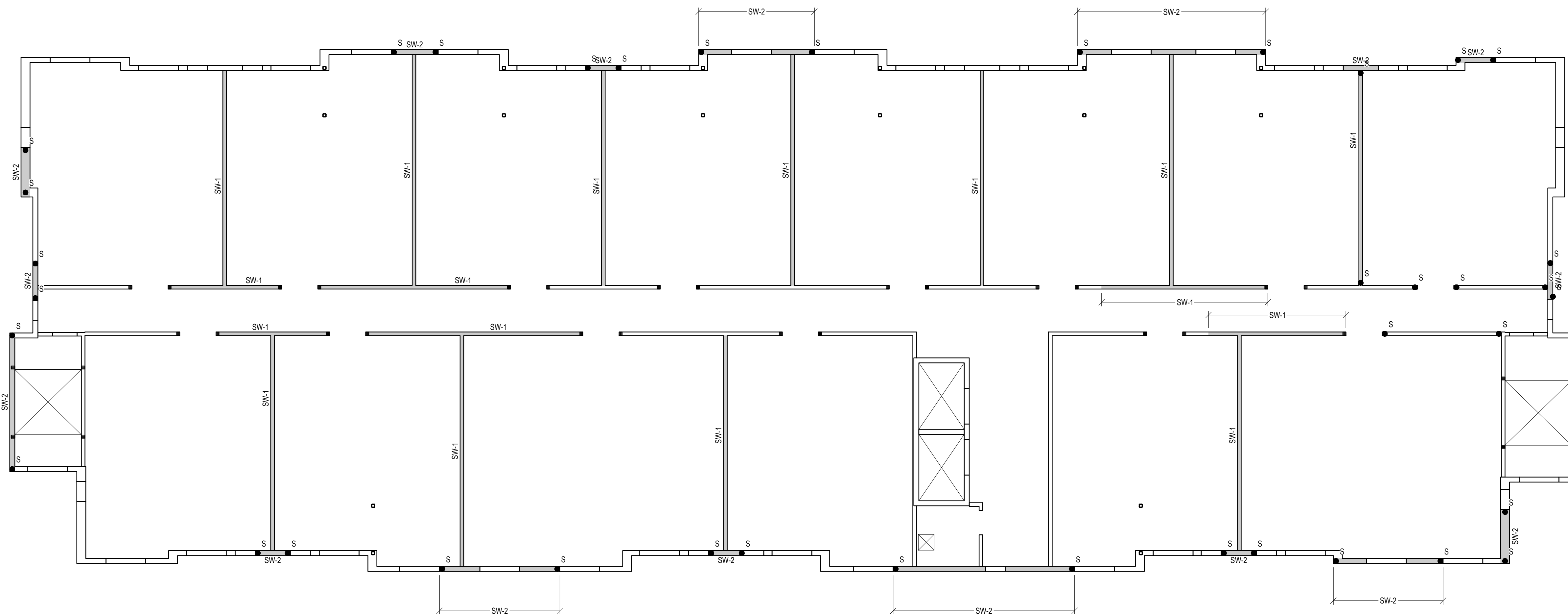
no. of.

155 **233**

Sheet No.

S302

Project #2040



THIRD FLOOR SHEAR WALL PLAN

SCALE: 1/8" = 1'-0" (SHEAR WALLS FROM THIRD FLOOR TO THE FOURTH FLOOR)



PLAN NOTES

1. SHEAR WALLS NOTED THUS SW-x INDICATE SHEAR WALLS FROM THE THIRD FLOOR TO THE FOURTH FLOOR. ALL PANEL EDGES SHALL BE BLOCKED AND SHEATHING SHALL BE SECURELY FASTENED 3/8" FROM ALL PANEL EDGES. SW-X INDICATES SHEAR WALL DESIGNATION. SEE SCHEDULE ON SHEET S002 AND DETAILS ON SHEET S501 FOR ADDITIONAL INFORMATION.
2. SHEAR WALL SHEATHING SHALL BE CONTINUOUS ON PLANE OF WALL FOR ENTIRE LENGTH WITH NO INTERRUPTIONS TO IT FROM ABUTTING/INTERSECTING WALLS.
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4. "HD" ON PLAN INDICATES (2) 2x STUD MIN WITH SIMPSON COIL STRAP. SEE SECTION H/SS02 FOR ADDITIONAL INFORMATION. CONTRACTOR COORDINATE "S1" LOCATIONS WITH JAMBS/ARCHITECTURAL DRAWINGS. STRAPS ARE LOCATED AT INTERFACE BETWEEN FIRST FLOOR WALL AND SECOND FLOOR WALL. ALL "HD" SHALL ALIGN WITH HD LOCATIONS BELOW.
5. SEE THE FLOOR FRAMING AND SECTIONS SHOWN ON THE FLOOR FRAMING PLANS FOR DIAPHRAGM ATTACHMENT TO MASONRY ELEVATOR SHAFT.

seal

general notes

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revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

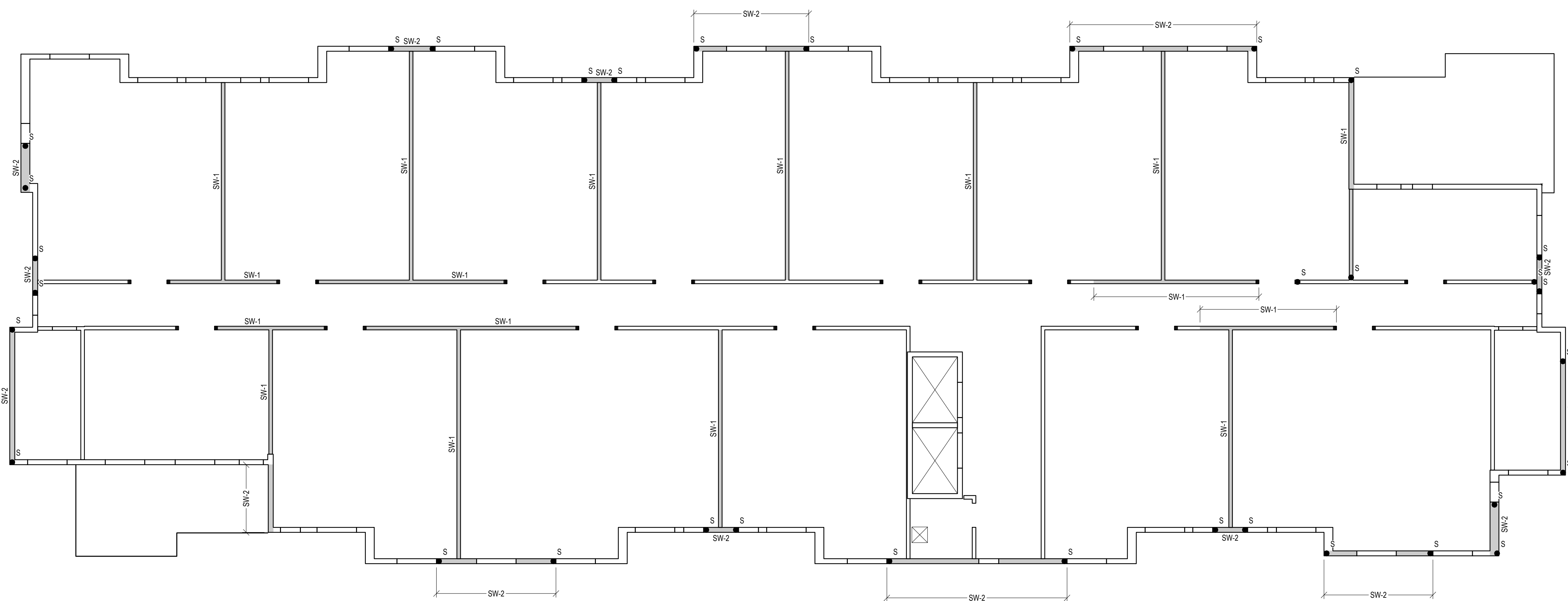
Client:
Allies & Ross Management and
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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
250 Penfort Street
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drawing title

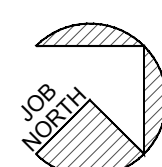
**THIRD FLOOR SHEAR
WALL PLAN**

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	156	S303
of.	233	
Project #2040		



FOURTH FLOOR SHEAR WALL PLAN

SCALE: 1/8" = 1'-0" (SHEAR WALLS FROM FOURTH FLOOR TO THE ROOF)



PLAN NOTES

1. SHEAR WALLS NOTED THUS SW-x INDICATE SHEAR WALLS FROM THE FOURTH FLOOR TO THE ROOF. ALL PANEL EDGES SHALL BE BLOCKED AND SHEATHING SHALL BE SECURELY FASTENED 3/8" FROM ALL PANEL EDGES. SW-X INDICATES SHEAR WALL DESIGNATION. SEE SCHEDULE ON SHEET S002 AND DETAILS ON SHEET S501 FOR ADDITIONAL INFORMATION.
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seal

general notes

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revisions

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Development Corporation (ARMDC)
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Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
250 Penfort Street
Pittsburgh, PA 15214

drawing title

**FOURTH FLOOR SHEAR
WALL PLAN**

scale
As Noted

date
December 3rd, 2023

no. of.

157 **233**

Sheet No.

S304

Project #2040

general notes

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revisions

project title

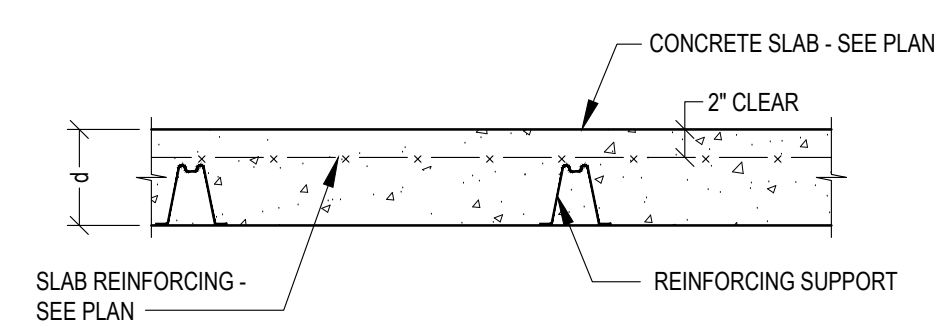
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Project Location:
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250 Penfort Street
Pittsburgh, PA 15214

drawing title

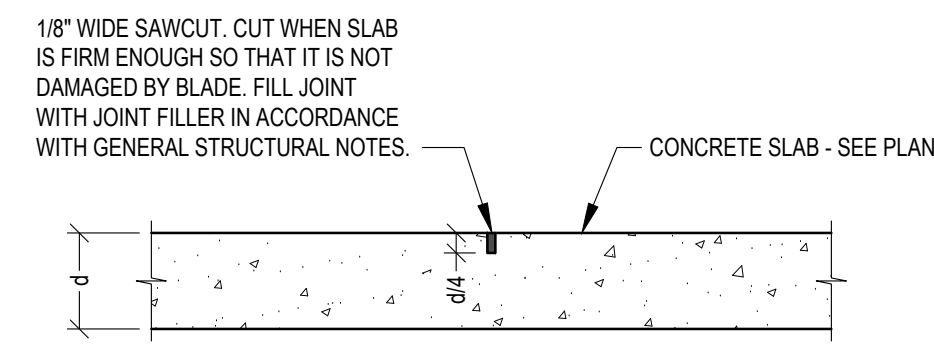
FOUNDATION DETAILS



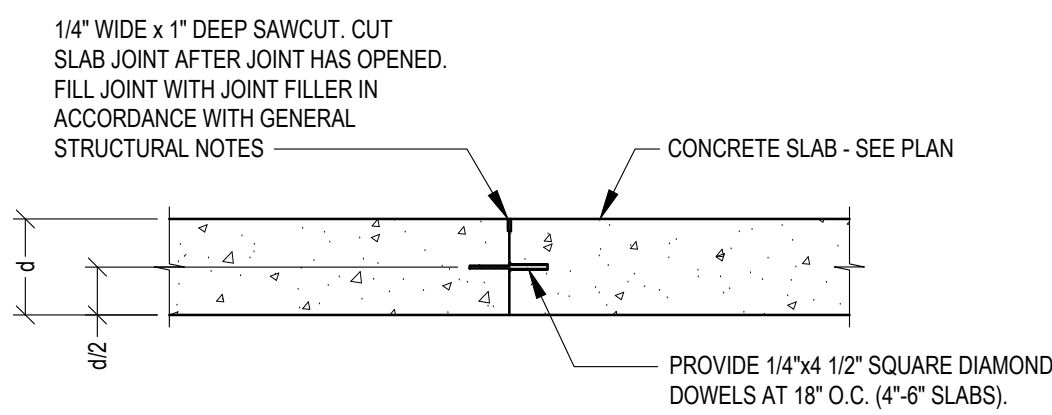
TYPICAL WWR REINFORCED SLAB SECTION

REINFORCEMENT NOTES:

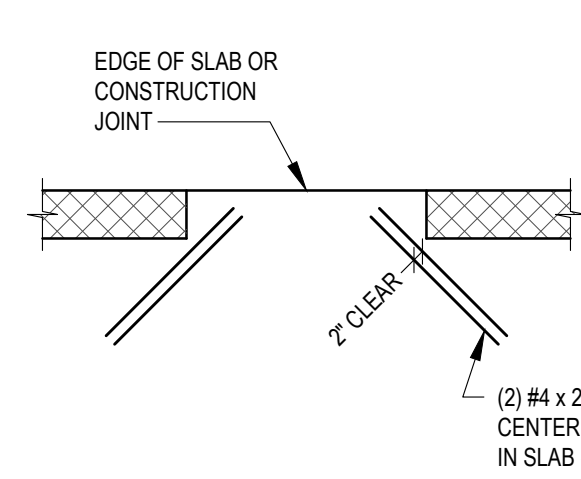
- PLACE AND SUPPORT REINFORCEMENT PRIOR TO CONCRETE PLACEMENT TO MAINTAIN LOCATION DURING CONCRETE PLACEMENT. SHOWN ON THESE DETAILS AND WITHIN TOLERANCES INDICATED IN ACI 117. REINFORCEMENT SUPPORTS SHALL CONFORM TO CRSI RB4.1.
- WWR W4.0/D4.0 AND SMALLER SHALL HAVE CONTINUOUS SUPPORT. THE CONTINUOUS SUPPORT SPACING SHALL NOT EXCEED 12 INCHES PERPENDICULAR TO THE DIRECTION OF SPAN.
- IF VAPOR RETARDER/BARRIER IS PRESENT, REINFORCEMENT SUPPORTS SHALL NOT DAMAGE VAPOR RETARDER/BARRIER. PROVIDE CONTINUOUS PLATES ON BOTTOM OF BOLSTERS AND PROVIDE PLATES ON INDIVIDUAL CHAIRS.



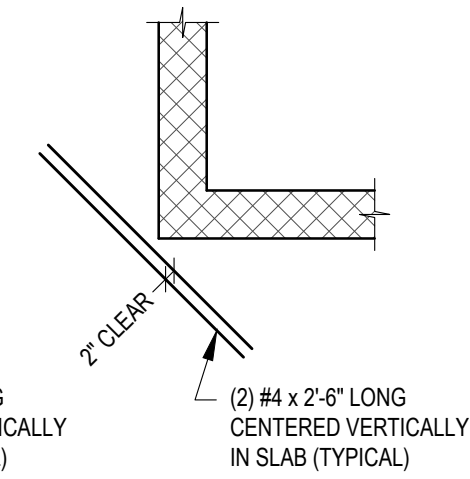
TYPICAL SAWCUT CONTRACTION JOINT



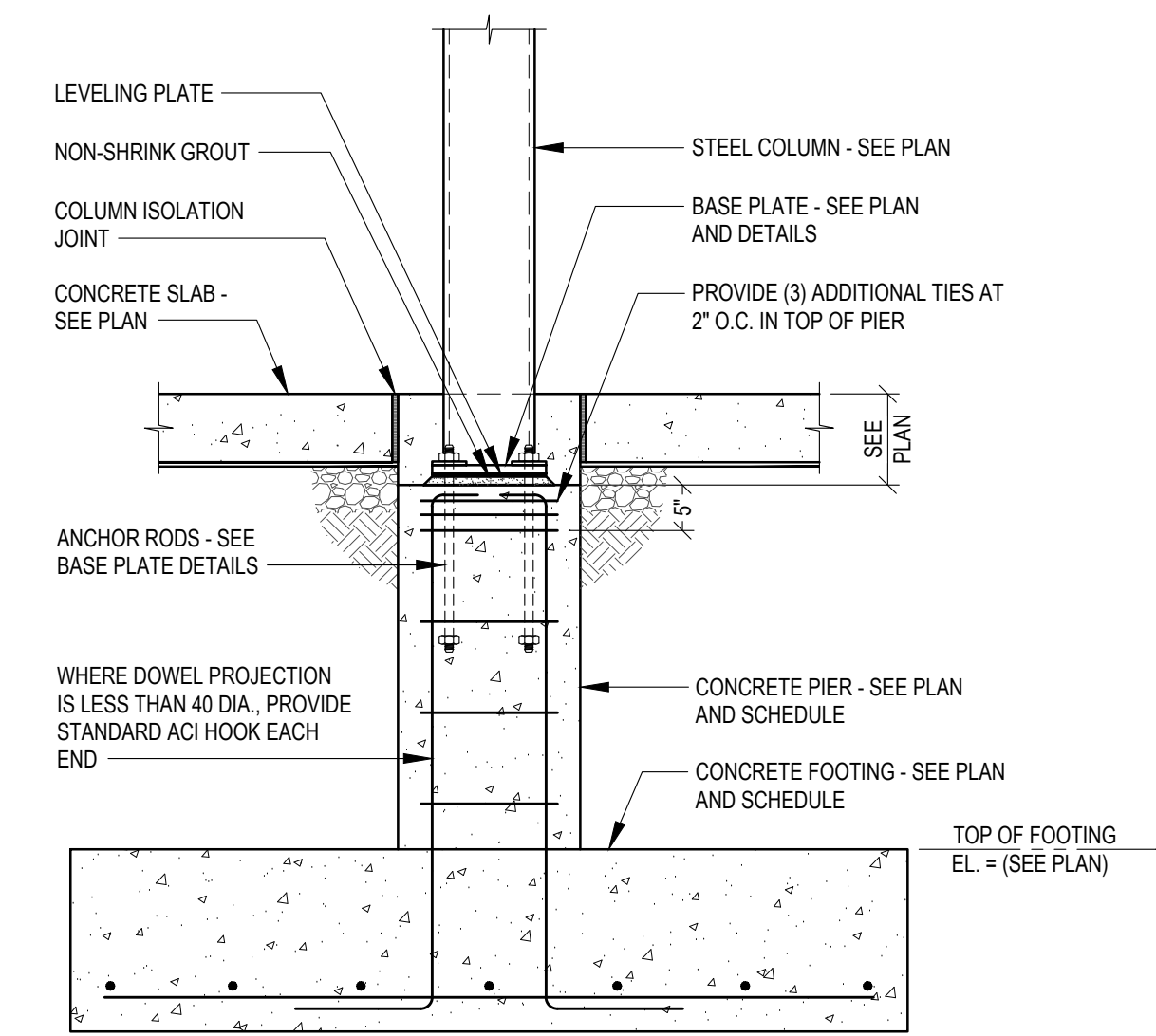
TYPICAL CONSTRUCTION JOINT



TYPICAL SLAB DETAIL AT WALL OPENING



TYPICAL SLAB DETAIL AT RE-ENTRANT WALL CORNER

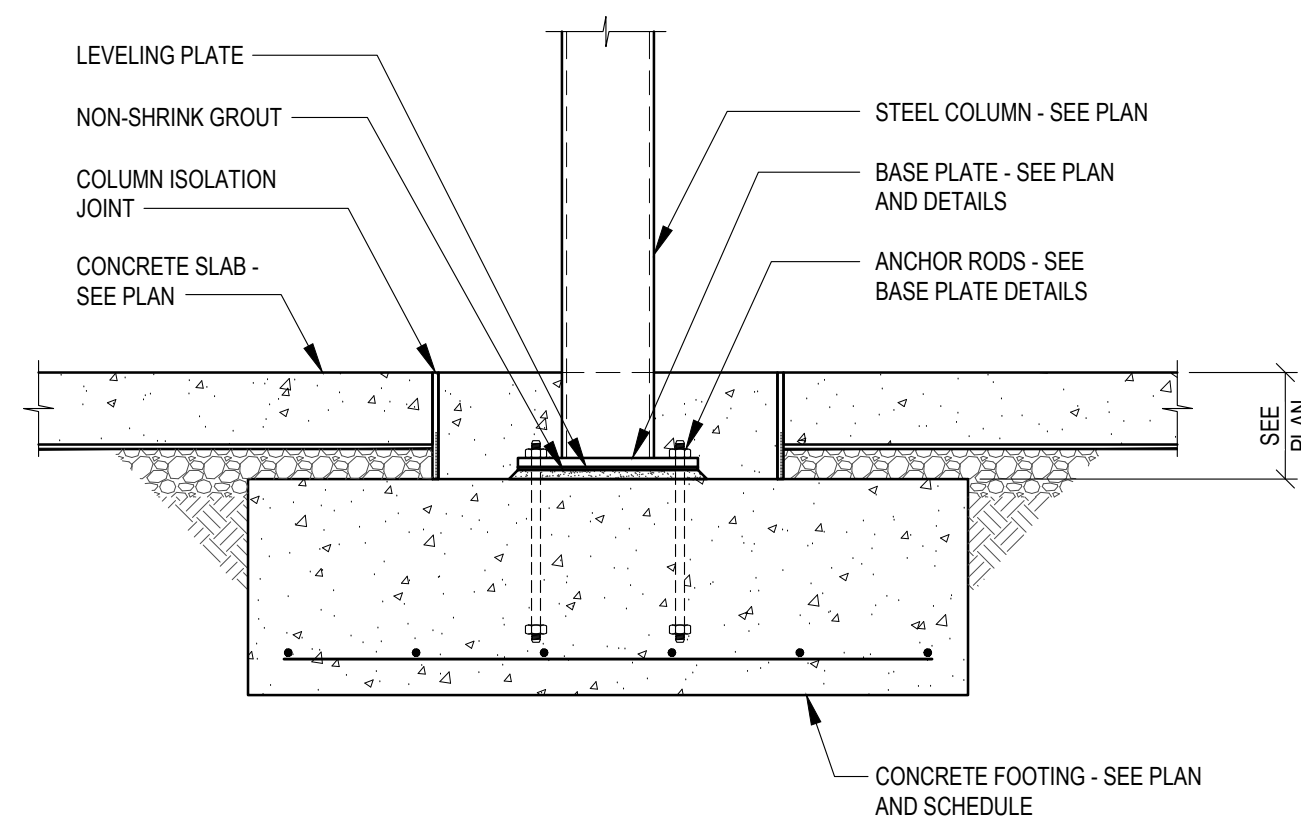


- NOTES:**
- LEVELING NUTS WITH WASHERS MAY BE USED AT THE CONTRACTOR'S OPTION. PROVIDE 2% NON-SHRINK GROUT BETWEEN BASE PLATE AND FOUNDATION.
 - COLUMN BASE AND BASE PLATE BELOW TOP OF SLAB TO RECEIVE (2) COATS BITUMINOUS PAINT OR 3" MINIMUM CONCRETE COVER.
 - TACK WELD NUTS TO BOTTOM OF ANCHOR RODS.

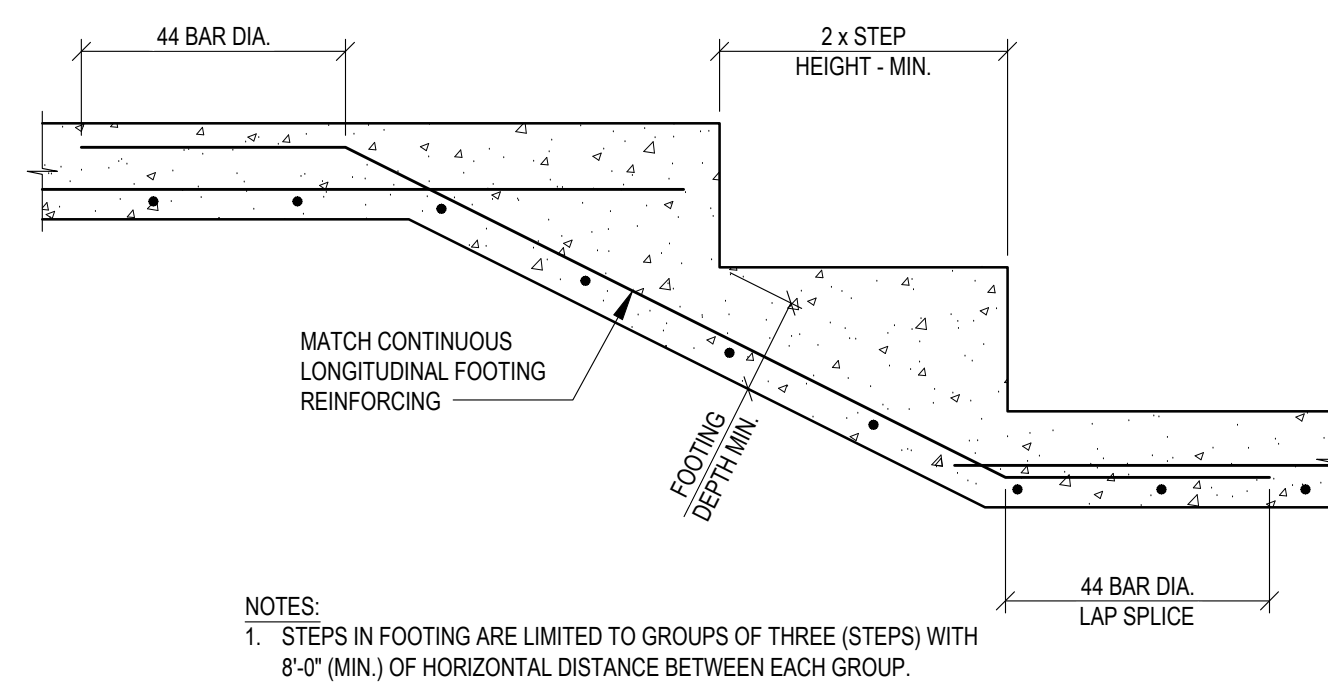
TYPICAL COLUMN PIER AND FOOTING DETAIL
NO SCALE

TYPICAL SLAB-ON-GROUND DETAILS
DETAIL
NO SCALE

TYPICAL SLAB REINFORCING
DETAIL
NO SCALE

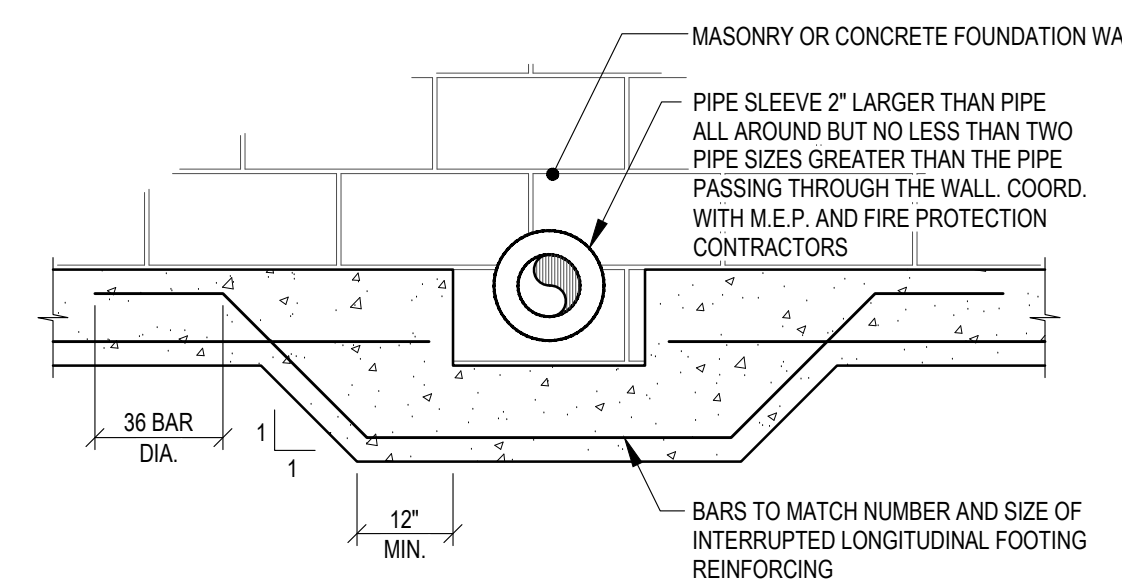


TYPICAL INTERIOR COLUMN FOOTING DETAIL
NO SCALE

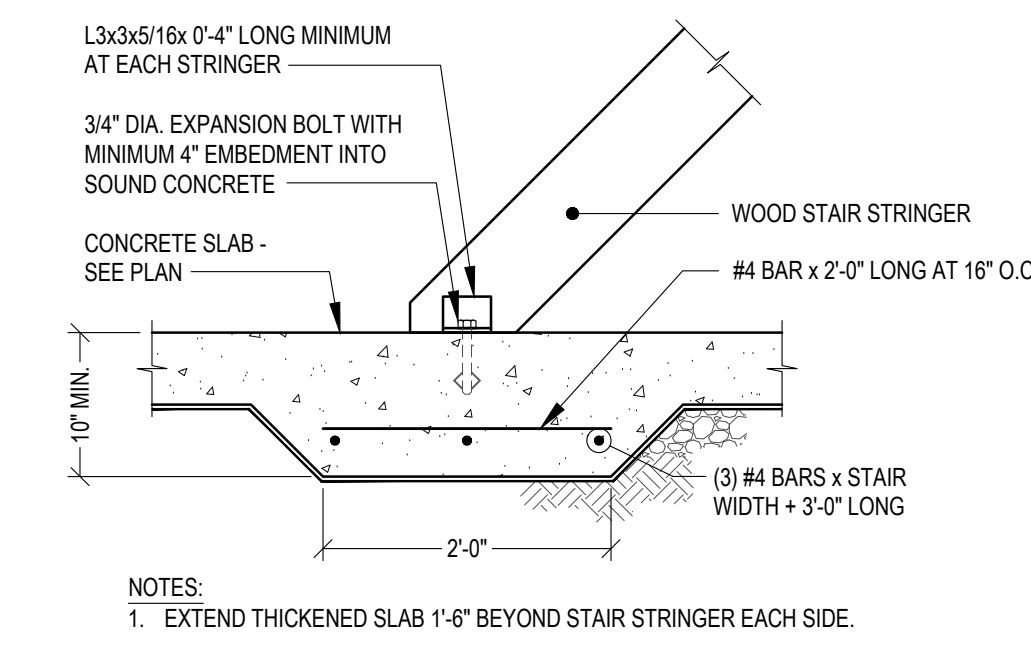


- NOTES:**
- STEPS IN FOOTING ARE LIMITED TO GROUPS OF THREE (STEPS) WITH 8'-0" (MIN.) OF HORIZONTAL DISTANCE BETWEEN EACH GROUP.

TYPICAL STEPPED FOOTING DETAIL
NO SCALE

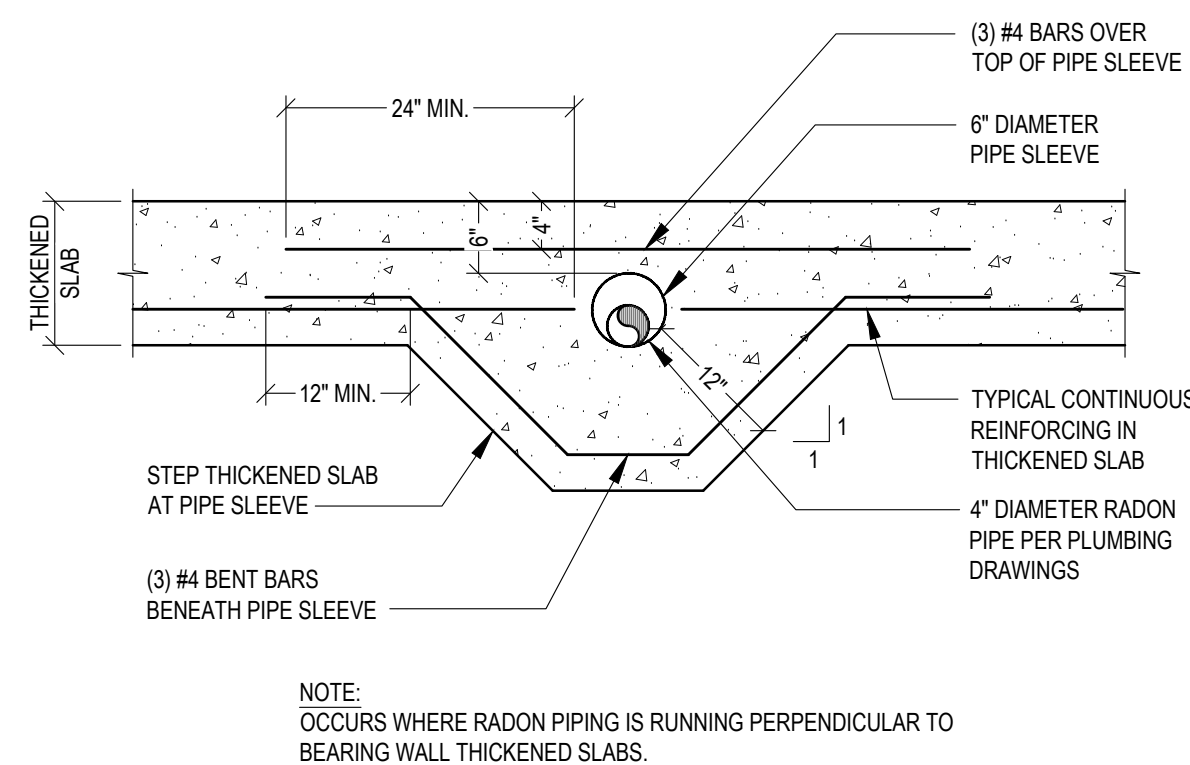


TYPICAL PIPE SLEEVE DETAIL
NO SCALE



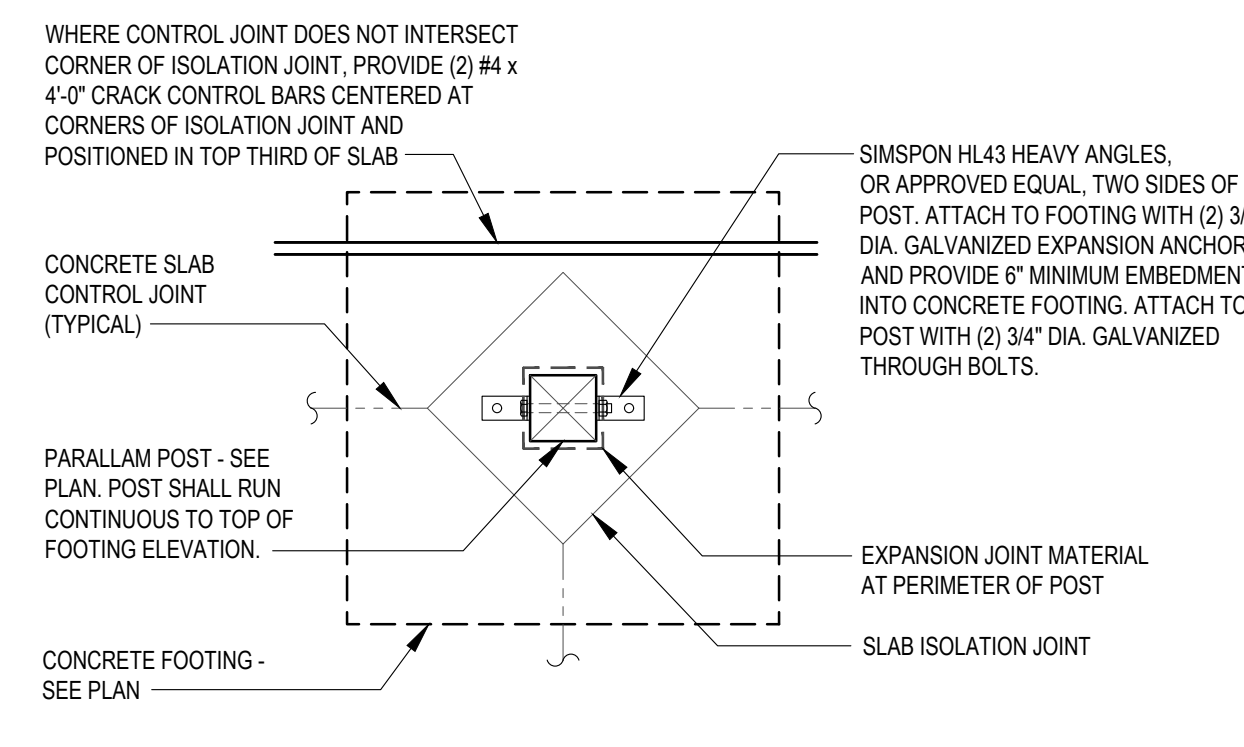
- NOTES:**
- EXTEND THICKENED SLAB 1'-6" BEYOND STAIR STRINGER EACH SIDE.

SLAB ON GRADE AT WOOD STAIR DETAIL
NO SCALE



- NOTE:**
OCCURS WHERE RADON PIPING IS RUNNING PERPENDICULAR TO BEARING WALL THICKENED SLABS.

TYPICAL THICKENED SLAB AT RADON PIPING DETAIL
NO SCALE



TYPICAL ISOLATED CONCRETE FOOTING FOR PSL DETAIL
NO SCALE

scale
As Noted

date
December 3rd, 2023

no. of.
158 233

Sheet No.

S401

Project #2040

general notes

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revisions

project title

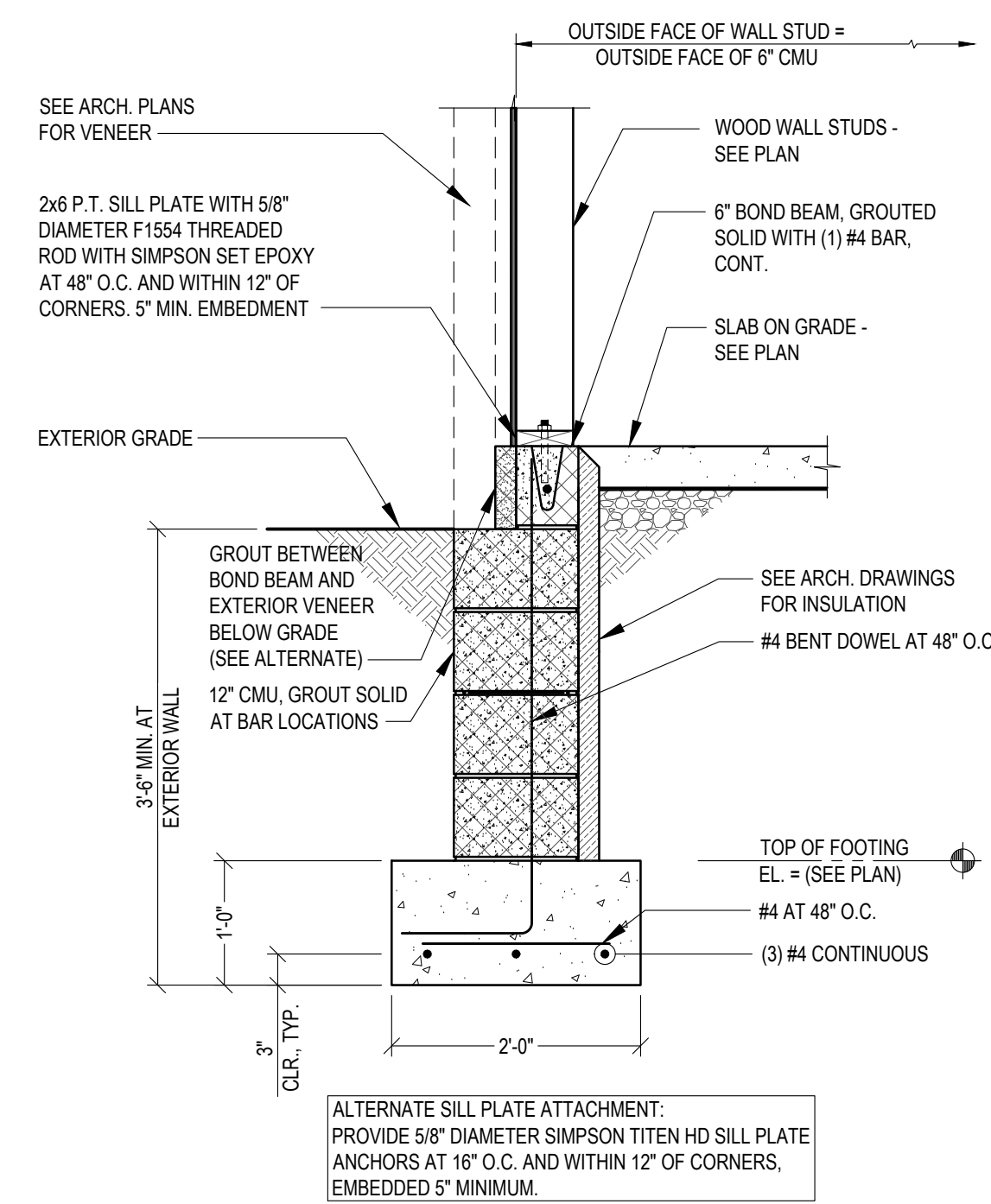
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

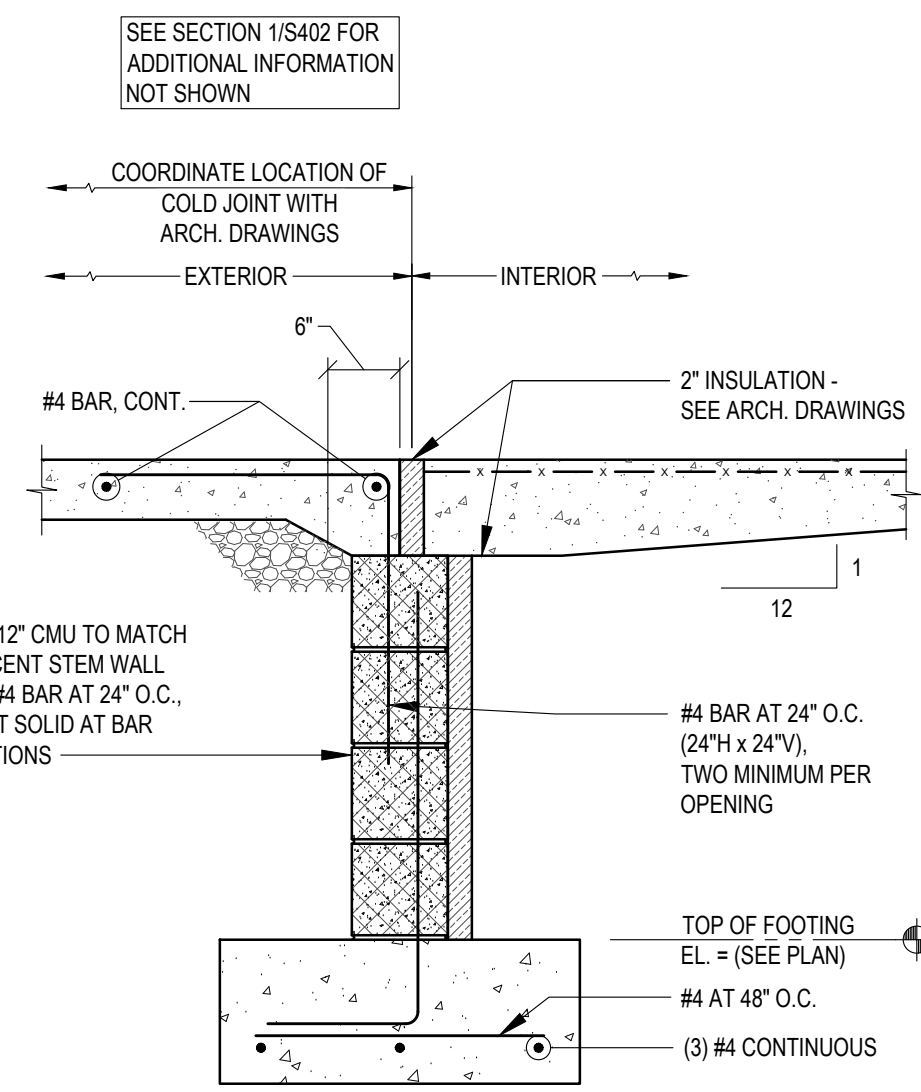
Project Location:
Northview Heights Midrise
250 Penfort Street
Pittsburgh, PA 15214

drawing title

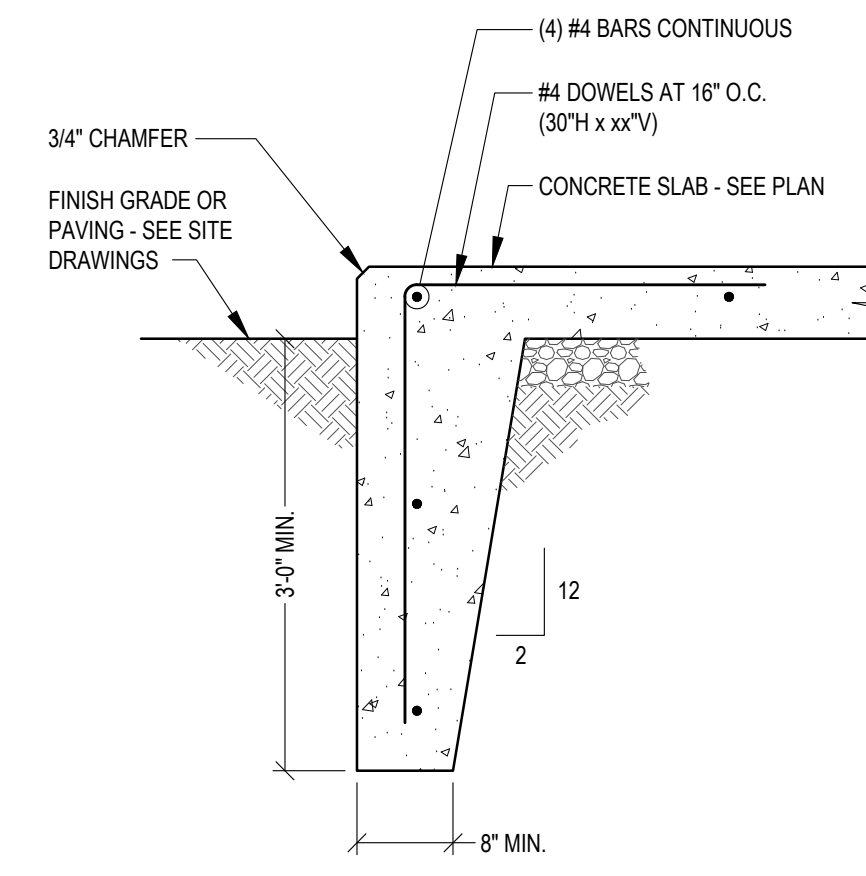
FOUNDATION SECTIONS



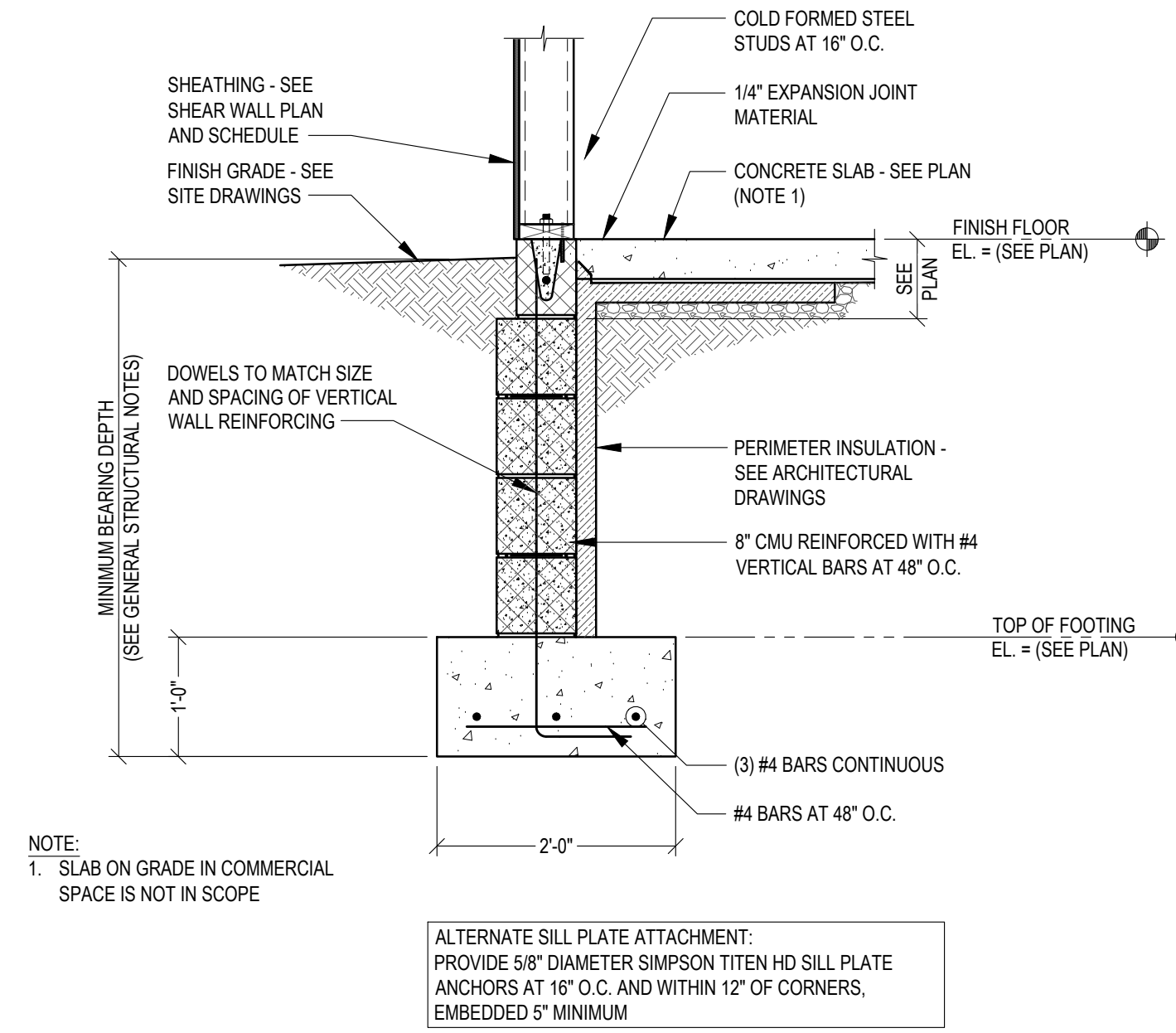
TYPICAL EXTERIOR WALL FOOTING
SECTION 1
SCALE: 3/4" = 1'-0"
S402



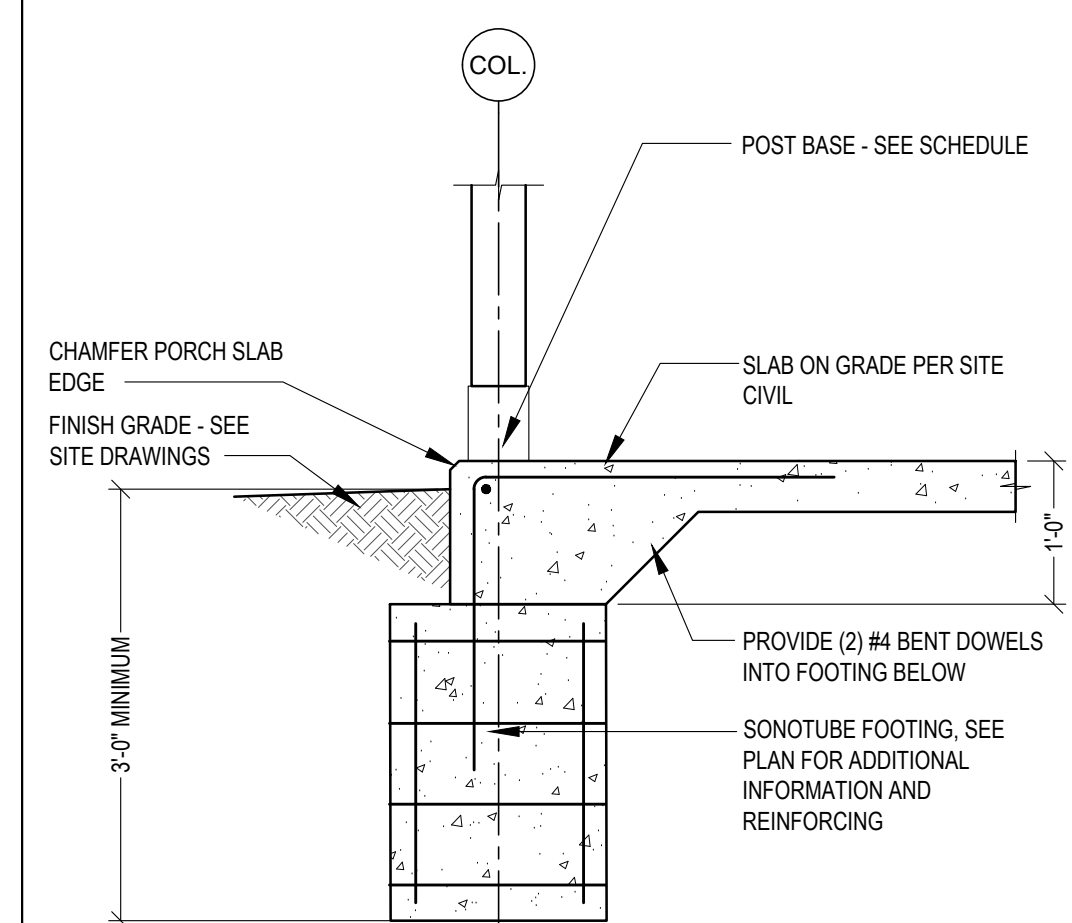
TYPICAL EXTERIOR ENTRANCE
SECTION 2
SCALE: 3/4" = 1'-0"
S402



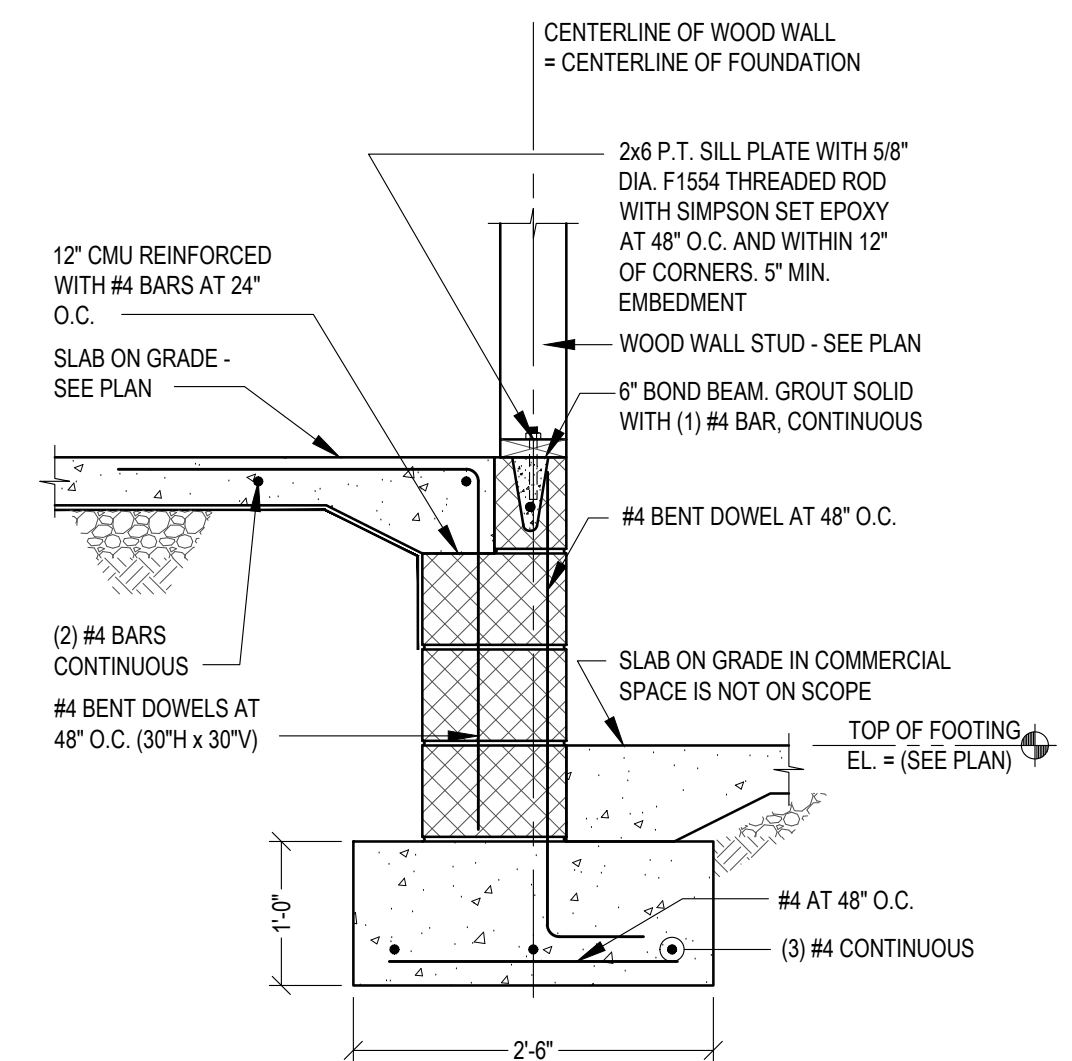
EXTERIOR TURN DOWN SLAB EDGE
SECTION 3
SCALE: 3/4" = 1'-0"
S402



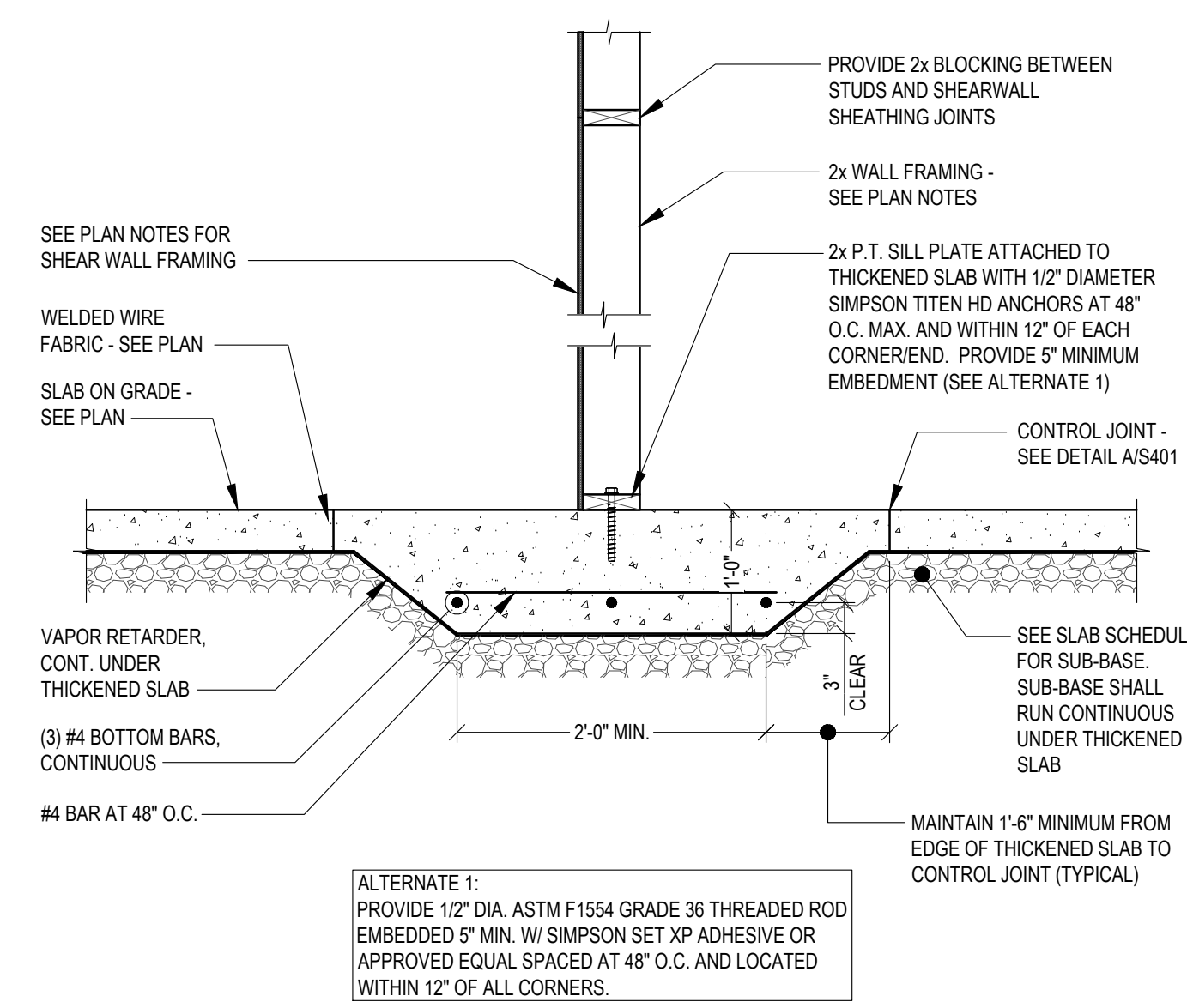
TYPICAL THICKENED SLAB AT INTERIOR BEARING WALLS
SECTION 4
SCALE: 3/4" = 1'-0"
S402



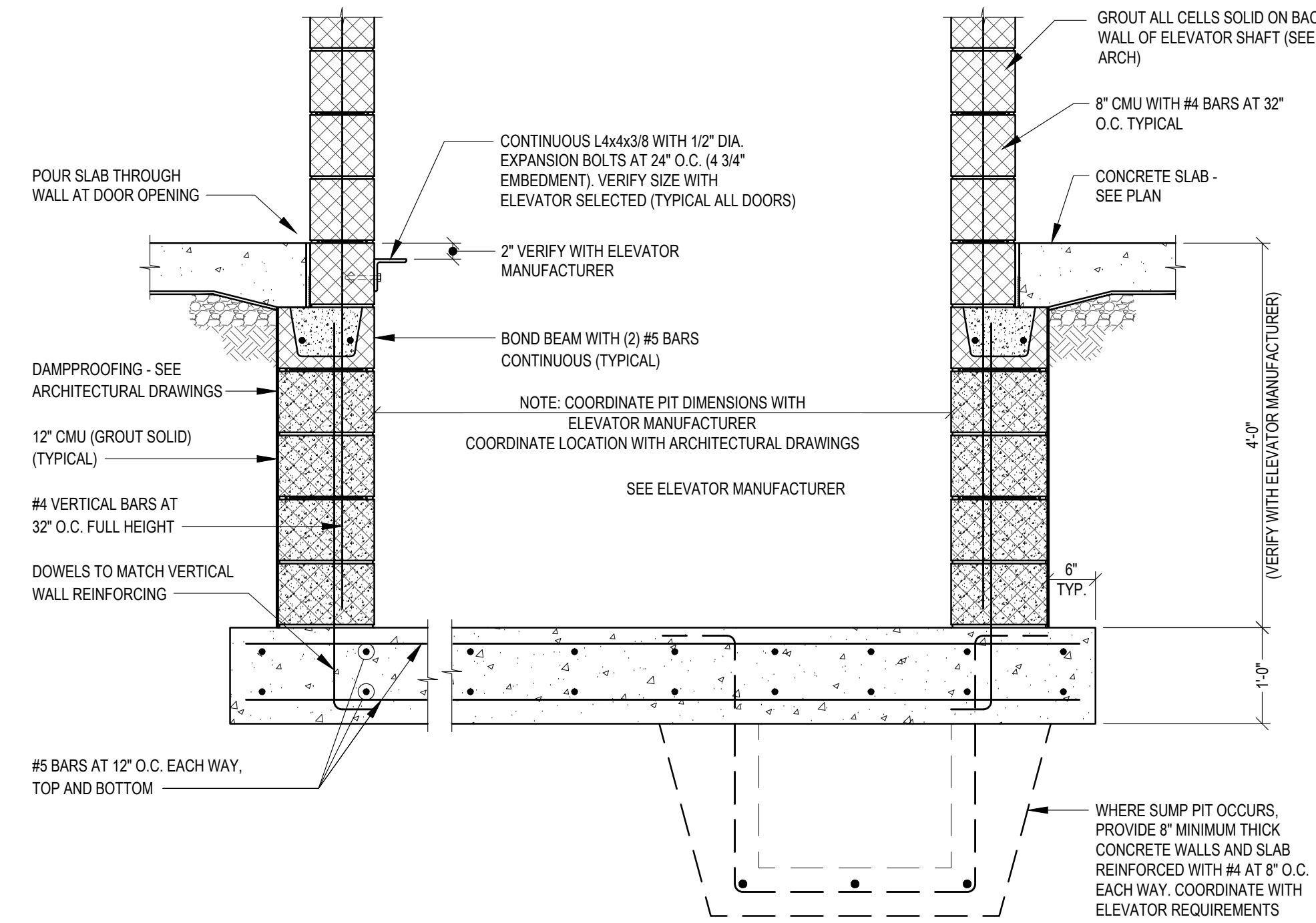
SECTION 5
SCALE: 3/4" = 1'-0"
S402



SECTION 6
SCALE: 3/4" = 1'-0"
S402



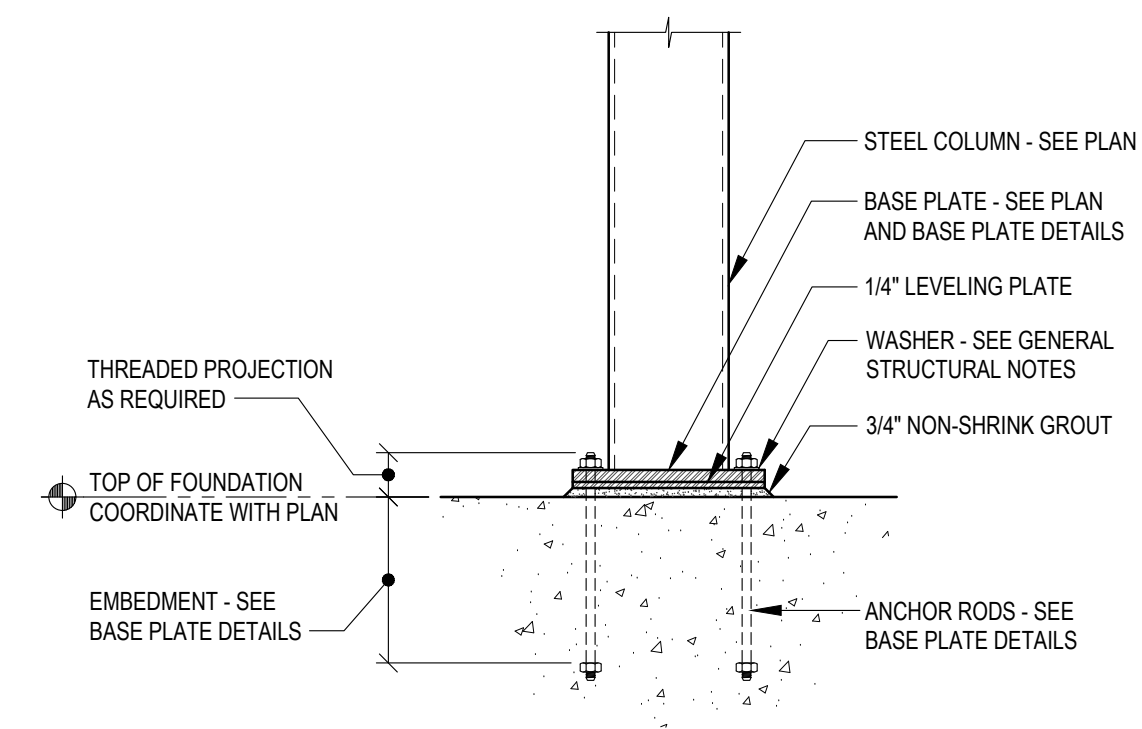
TYPICAL THICKENED SLAB AT INTERIOR BEARING WALLS
SECTION 7
SCALE: 3/4" = 1'-0"
S402



TYPICAL ELEVATOR PIT
SECTION 8
NO SCALE
S402

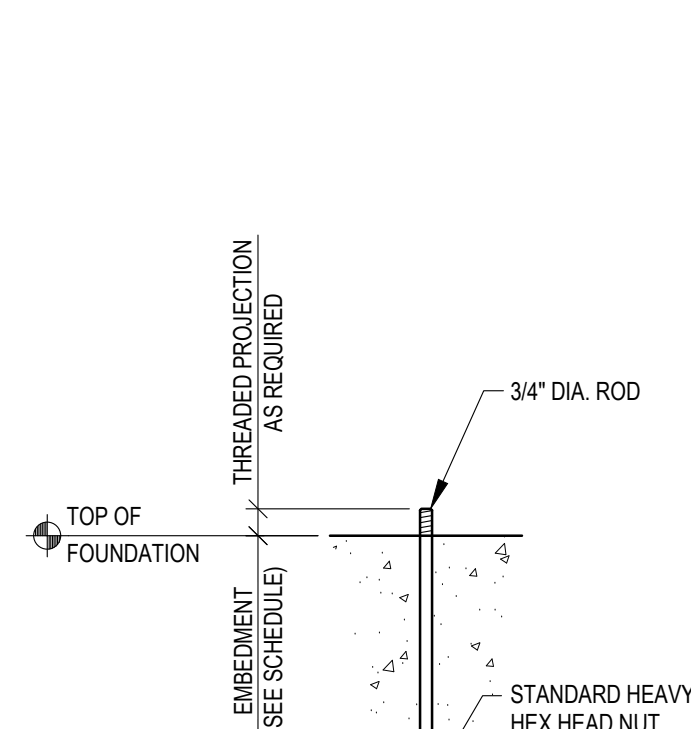
scale	As Noted
date	December 3rd, 2023
no.	159
of.	233

Sheet No.	S402
Project #	2040

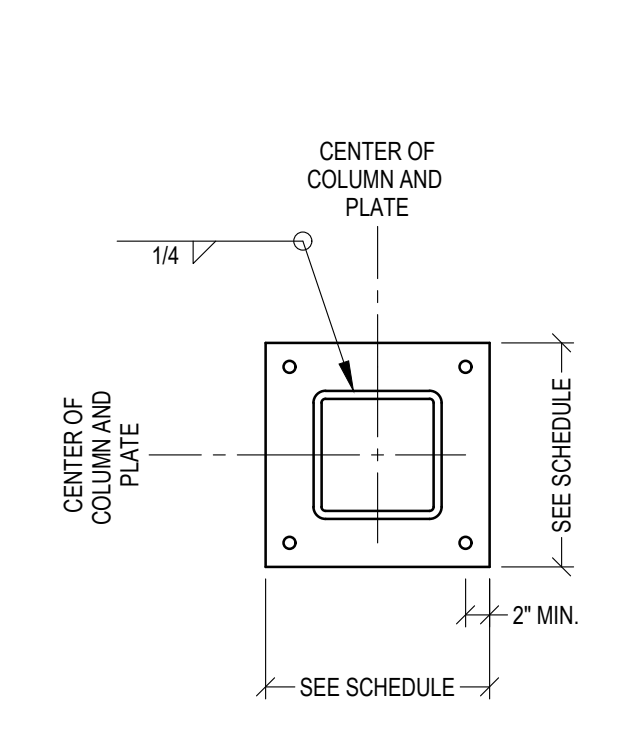


NOTE:
LEVELING NUTS WITH WASHERS MAY BE USED AT THE CONTRACTOR'S OPTION. PROVIDE 2± NON-SHRINK GROUT BETWEEN BASE PLATE AND FOUNDATION.

TYPICAL BASE PLATE
DETAIL
NO SCALE
A
S501

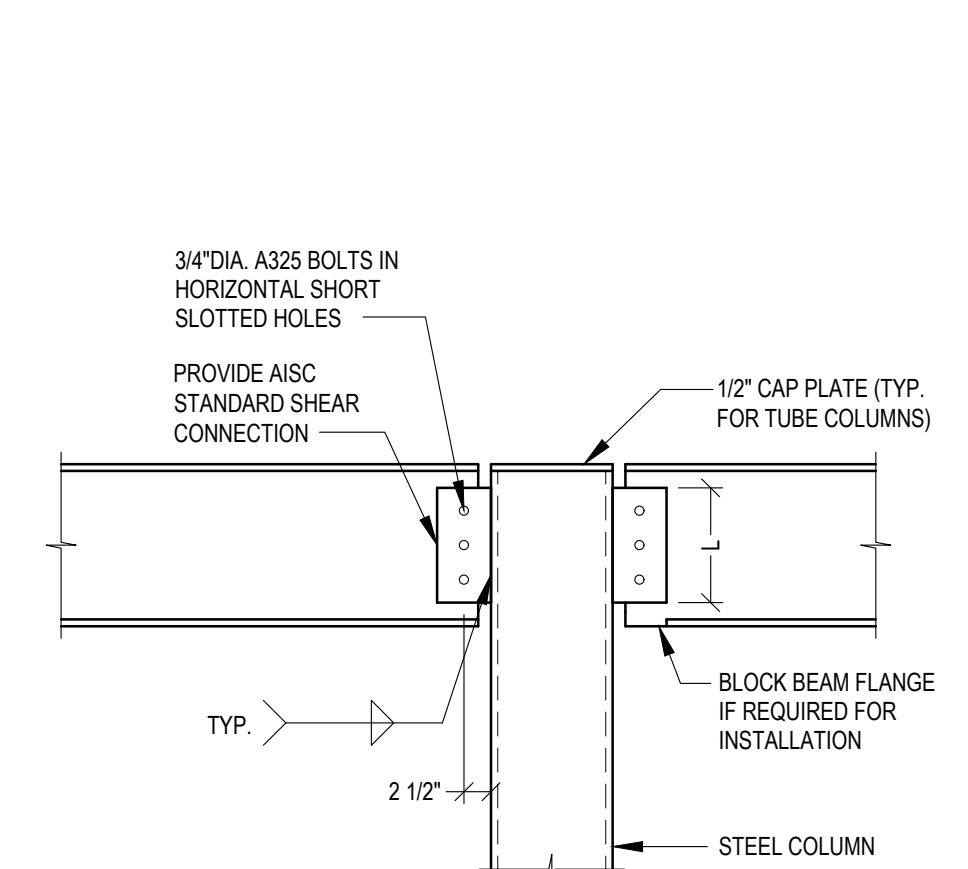


ANCHOR RODS
DETAIL
NO SCALE
B
S501

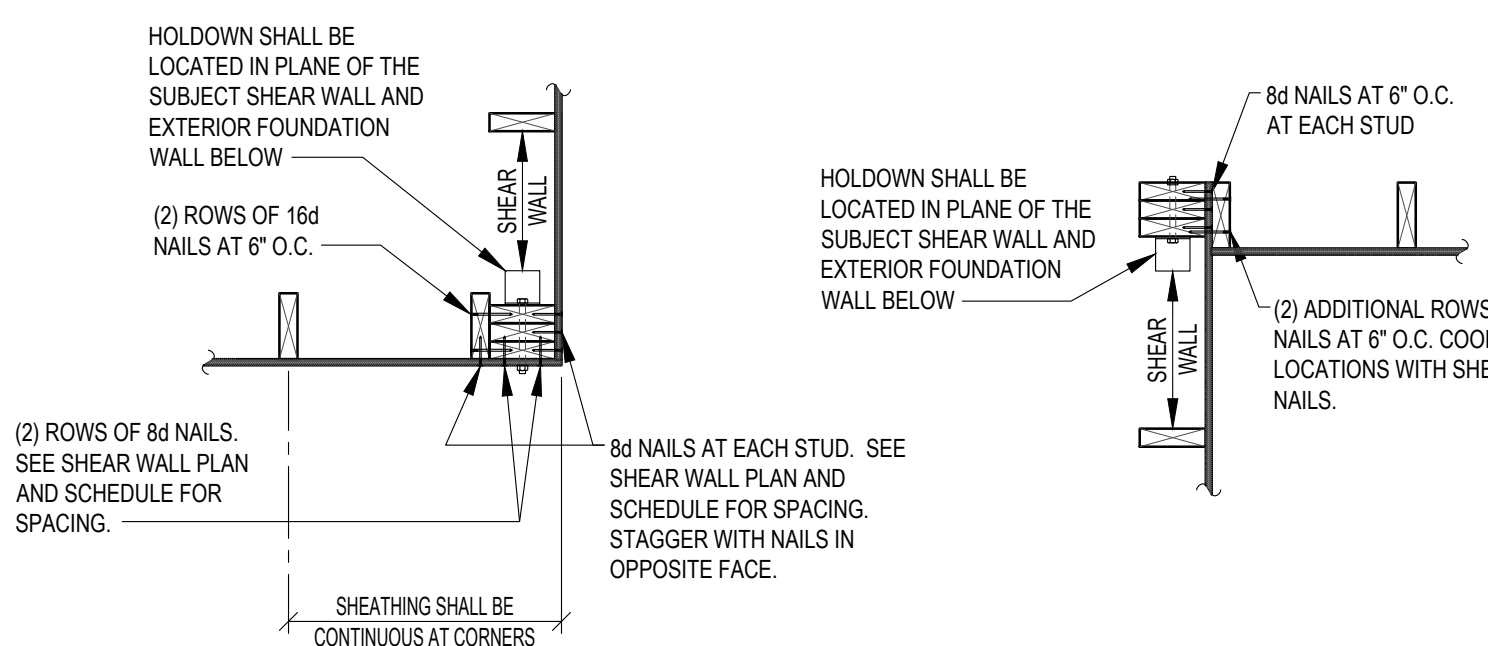


NOTES:
1. SEE BASEPLATE SCHEDULE ON SHEET S101 FOR PLATE DIMENSIONS, BOLT QUANTITY, AND SIZES.

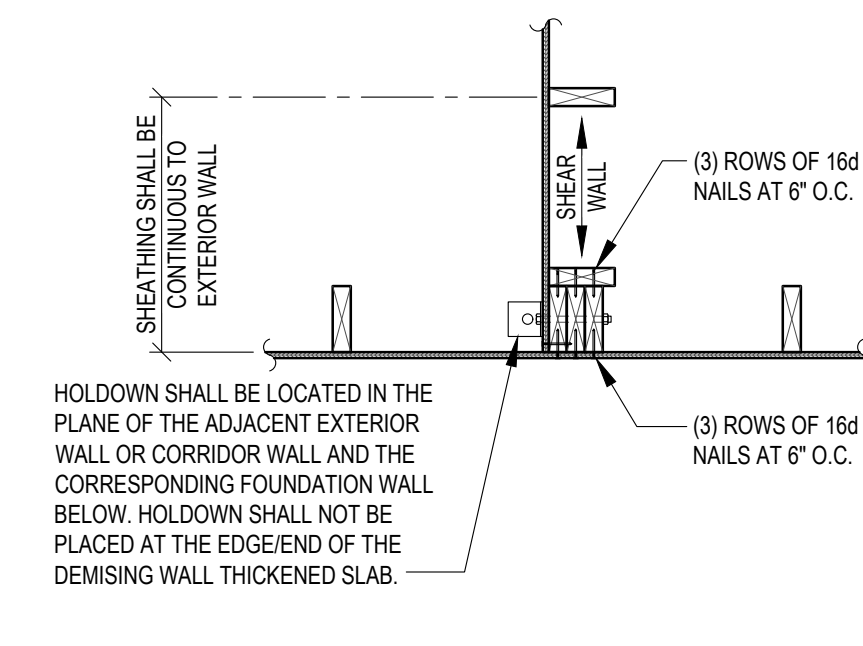
BASE PLATES AND ANCHOR BOLTS
DETAIL
NO SCALE
C
S501



TYPICAL BEAM CONNECTIONS
DETAIL
NO SCALE
D
S501

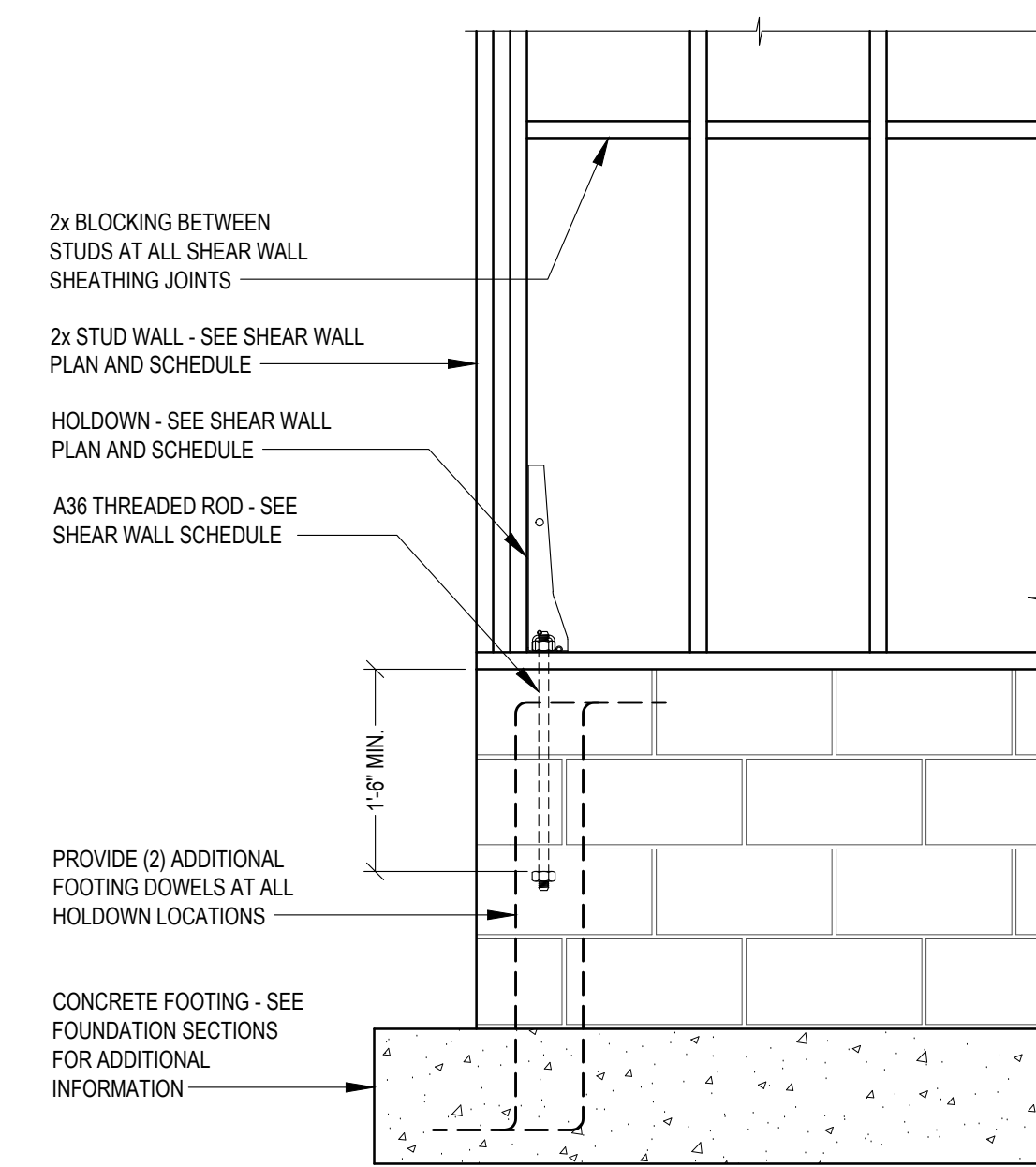


TYPICAL SHEAR WALL CORNER
DETAIL
SCALE: 3/4" = 1'-0"
E
S501

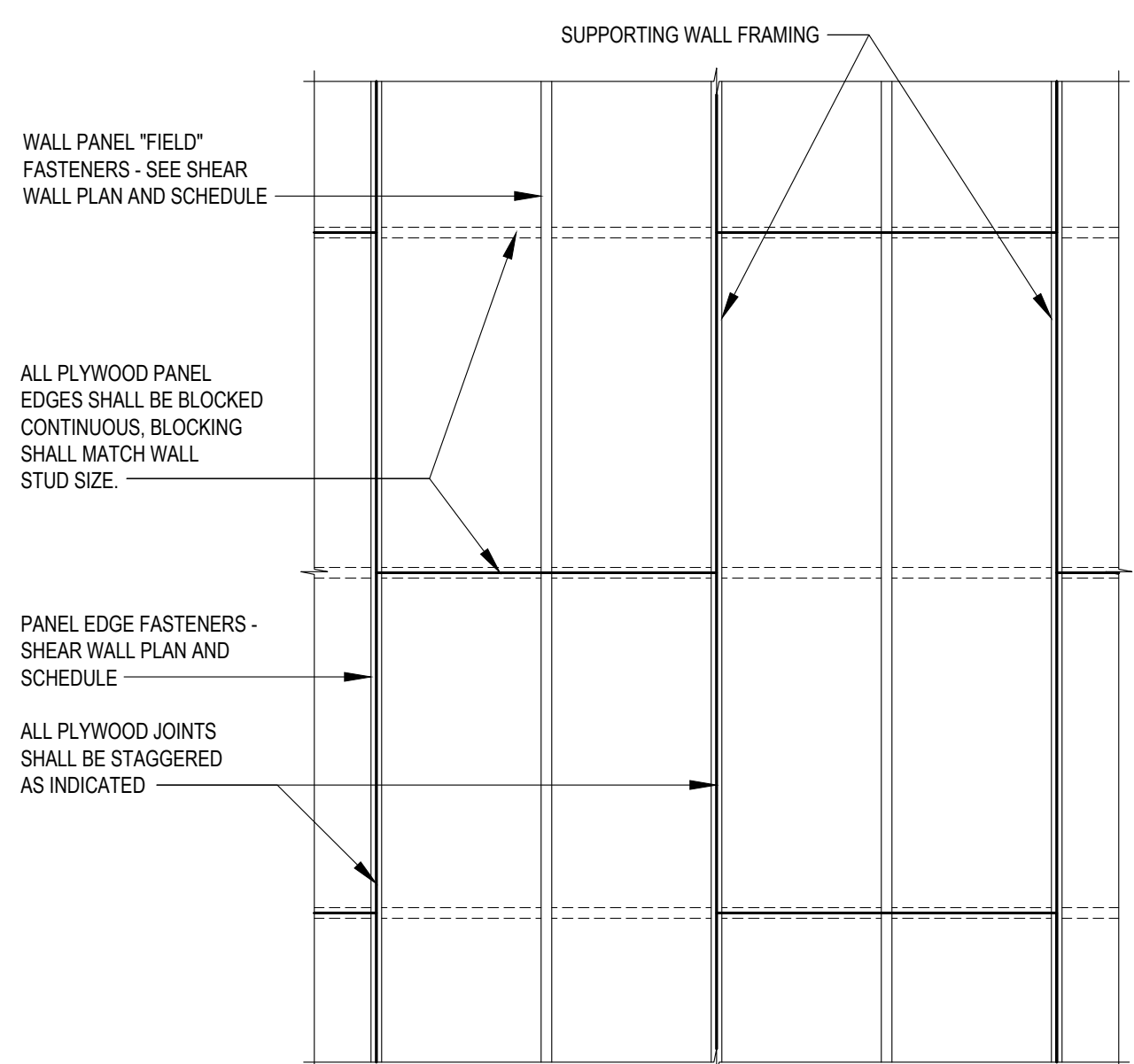


NOTES:
1. ALL LAMINATIONS ARE FULL COLUMN LENGTHS.
2. AT 2x6 WALL, CONTRACTOR'S OPTION TO USE 6x6 WOOD COLUMN IN LIEU OF (3) LAMINATIONS BUILT-UP COLUMN. ATTACH WALL SHEATHING TO COLUMN.

TYPICAL BUILT-UP WOOD COLUMN
DETAIL
NO SCALE
F
S501

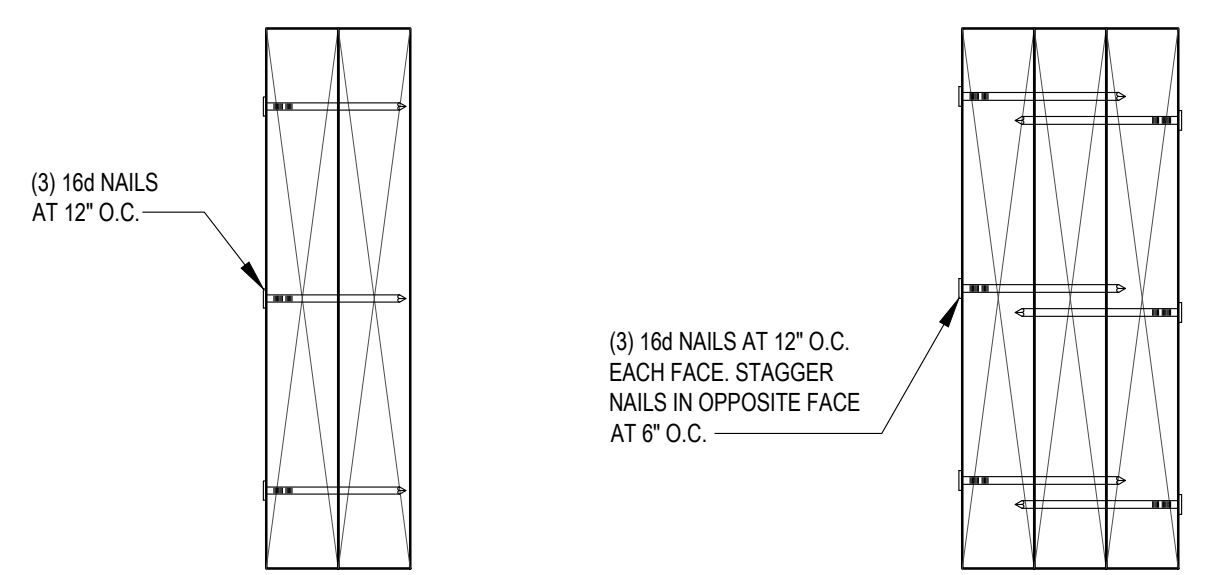


TYPICAL HOLDDOWN
DETAIL
SCALE: 3/4" = 1'-0"
G
S501



BLOCK ALL EDGES AND FASTEN PER SHEAR WALL SCHEDULE

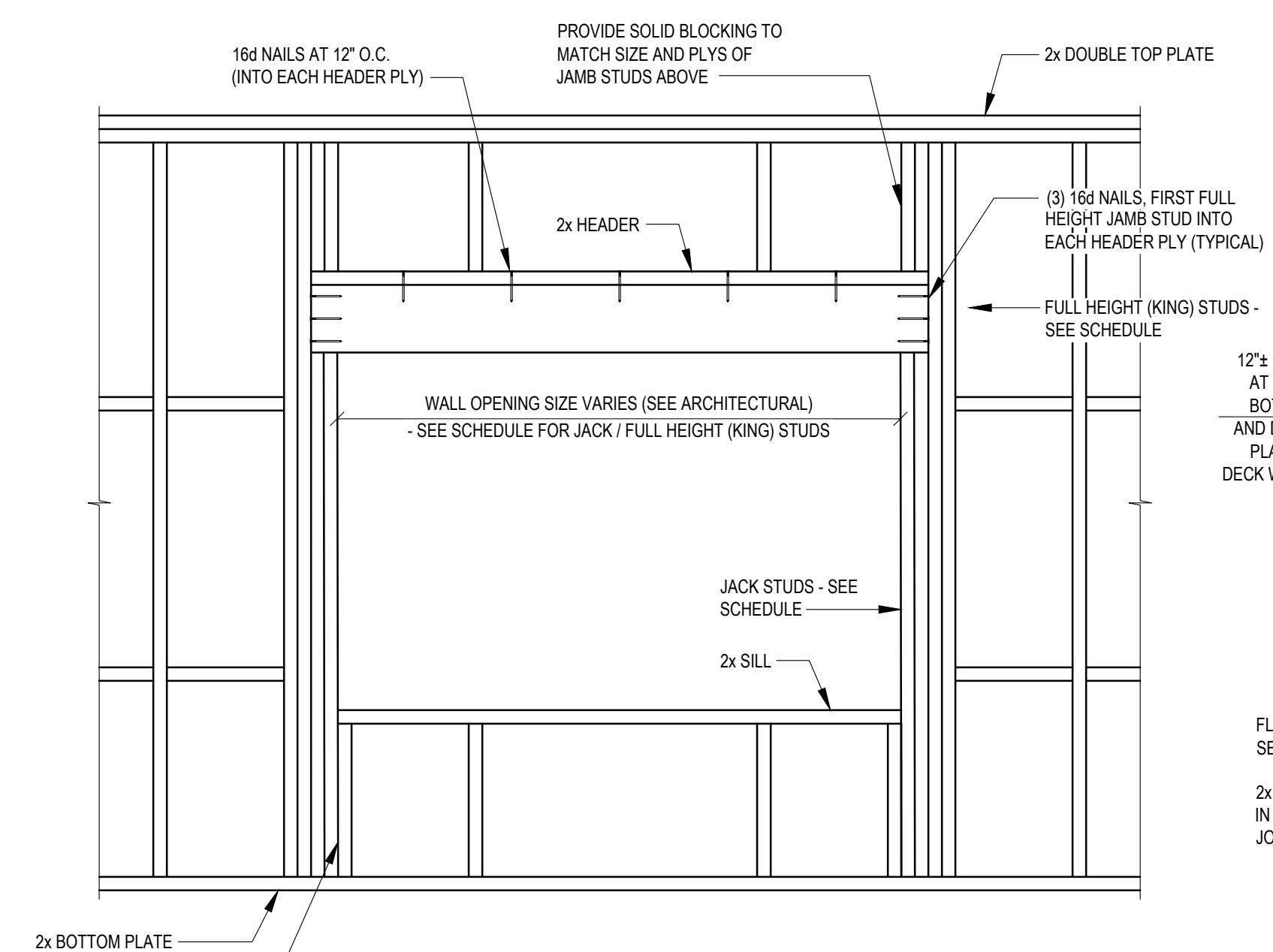
TYPICAL SHEAR WALL SHEATHING FASTENING
DETAIL
NO SCALE
H
S501



DOUBLE 2x / 1 3/4" LVL'S

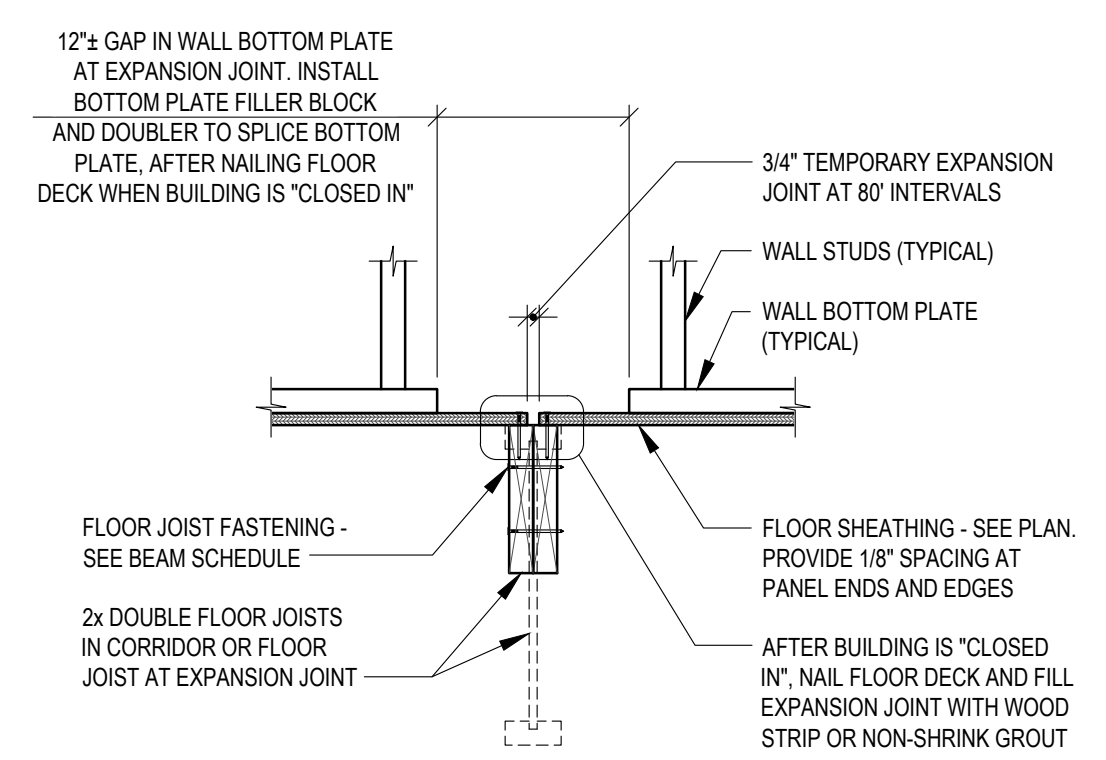
TRIPLE 2x / 1 3/4" LVL'S - NAILD

TYPICAL BUILT-UP BEAM
DETAIL
NO SCALE
J
S501



NOTES:
1. NAIL JACK STUD TO FULL HEIGHT JAMB WITH (2) ROWS 10d NAILS AT 12" O.C. NAIL JACK STUDS TOGETHER (WHERE OCCURS) WITH (2) ROWS 10d NAILS AT 12" O.C.
2. NAIL FULL HEIGHT JAMB STUDS TOGETHER WITH 10d NAILS AT 6" O.C.

TYPICAL WOOD FRAMING WITH WALL OPENINGS
DETAIL
NO SCALE
K
S501



TYPICAL EXPANSION JOINT
DETAIL
NO SCALE
L
S501

general notes

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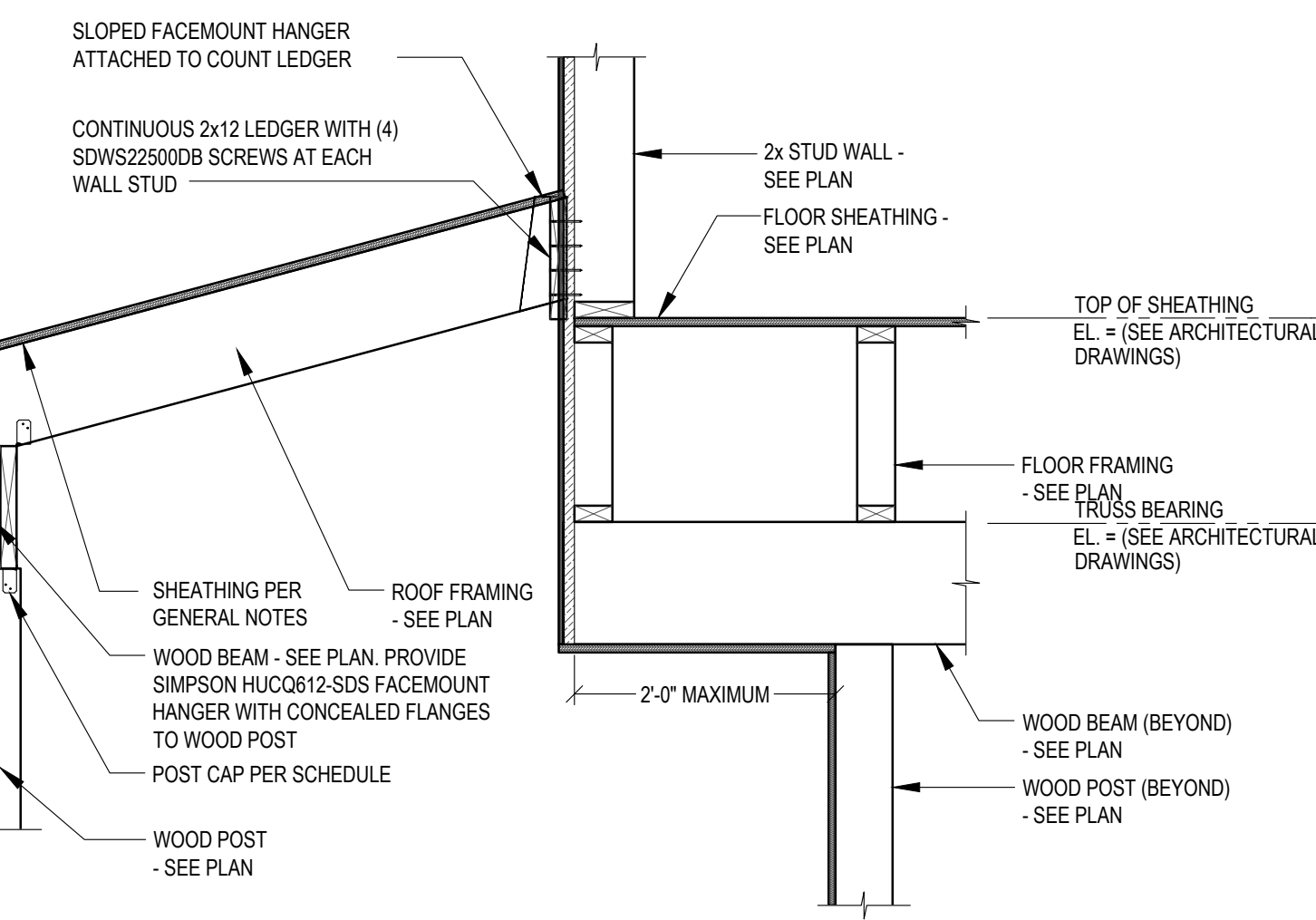
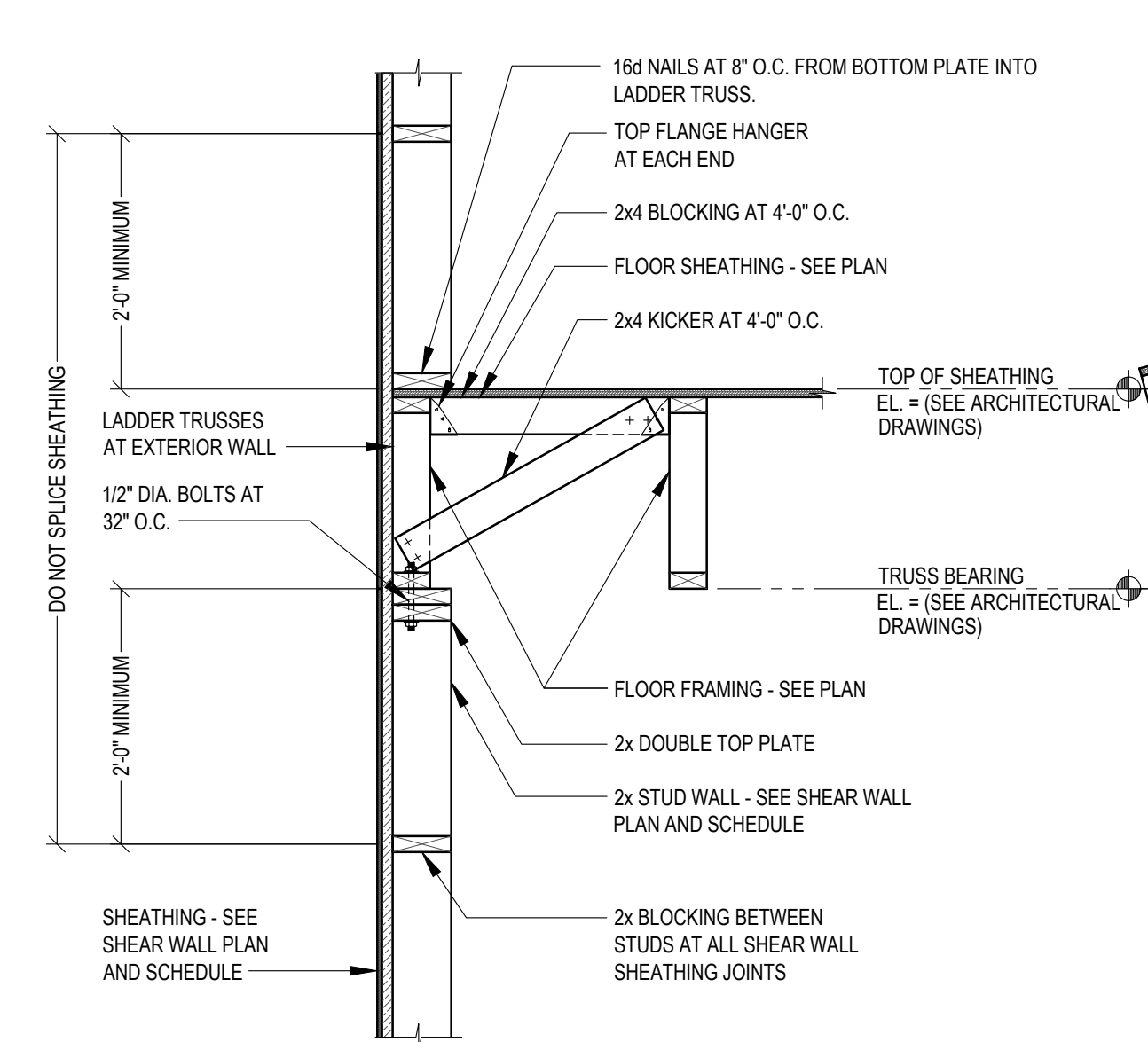
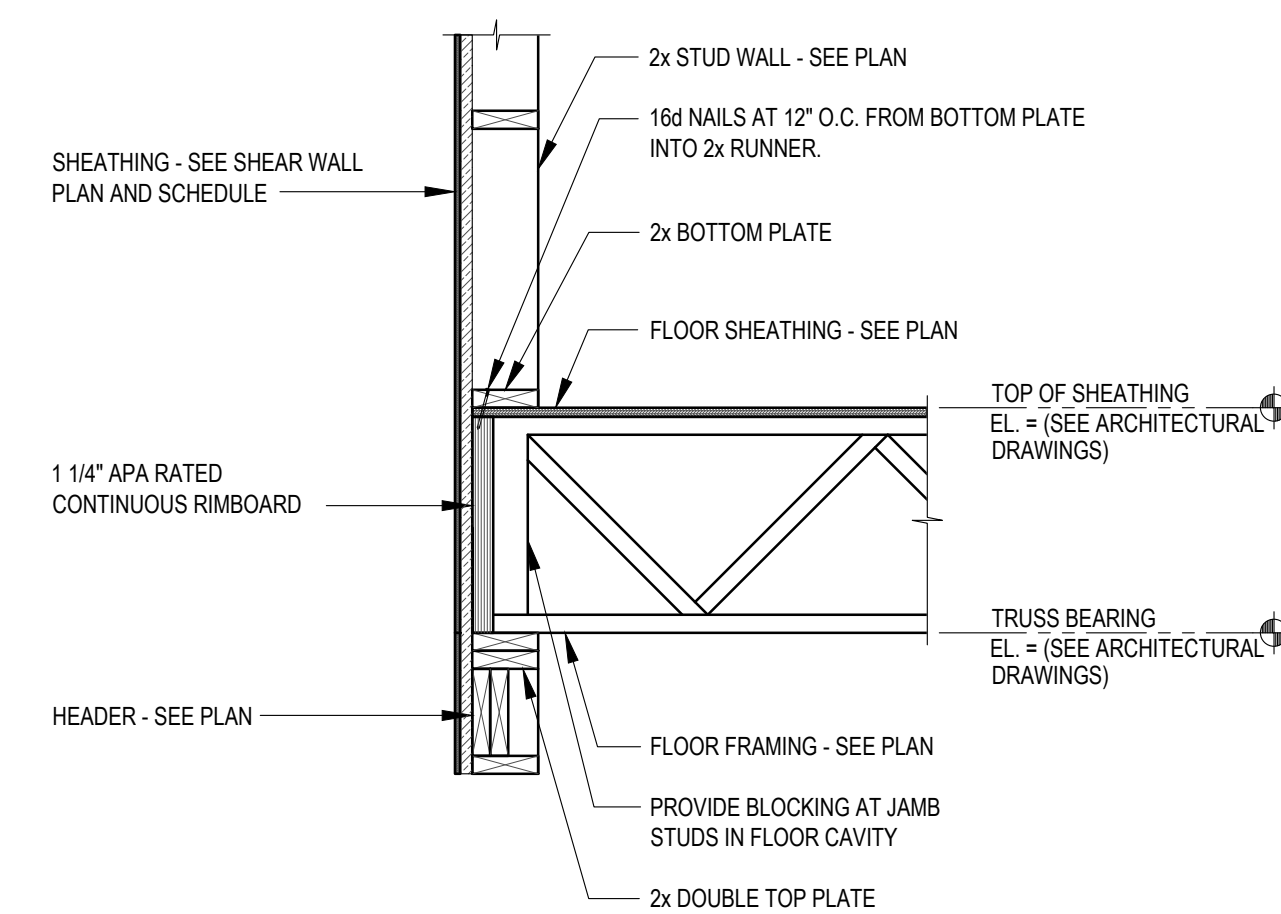
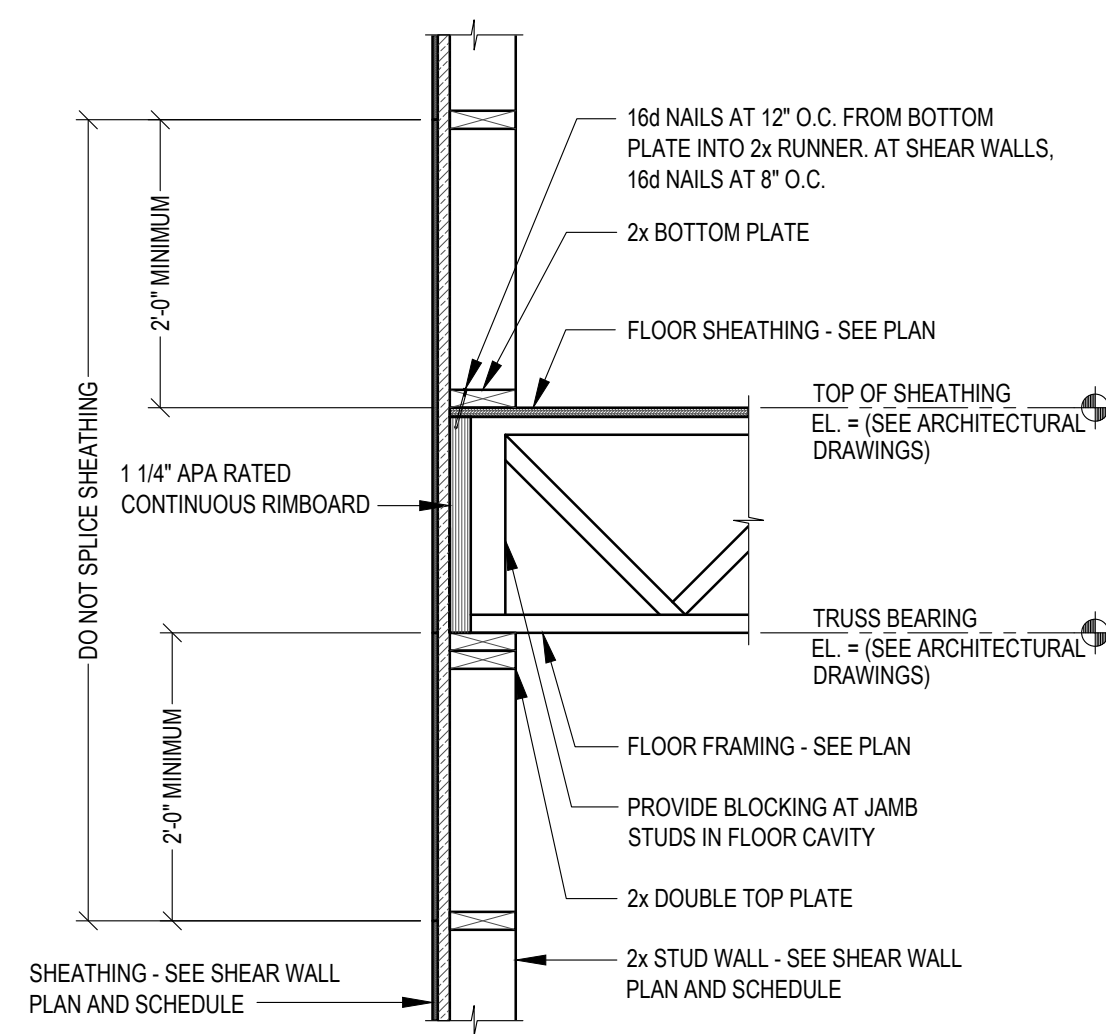
Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
250 Penfort Street
Pittsburgh, PA 15214

drawing title

FRAMING DETAILS

scale	As Noted	Sheet No.
date	December 3rd, 2023	
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of.	233	
		Project #2040

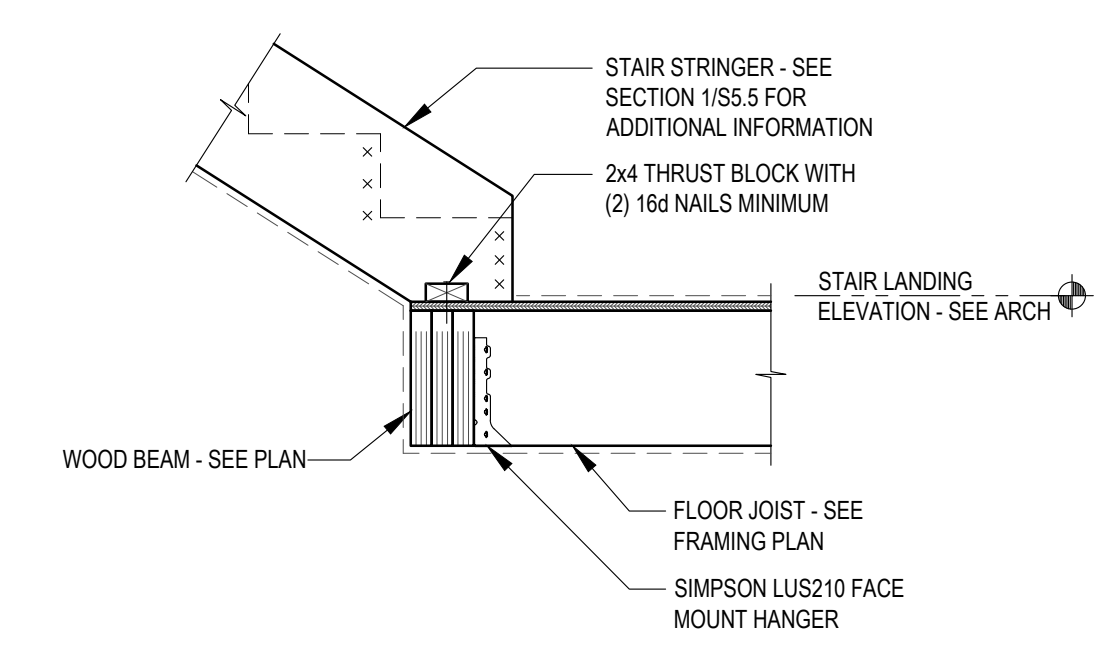
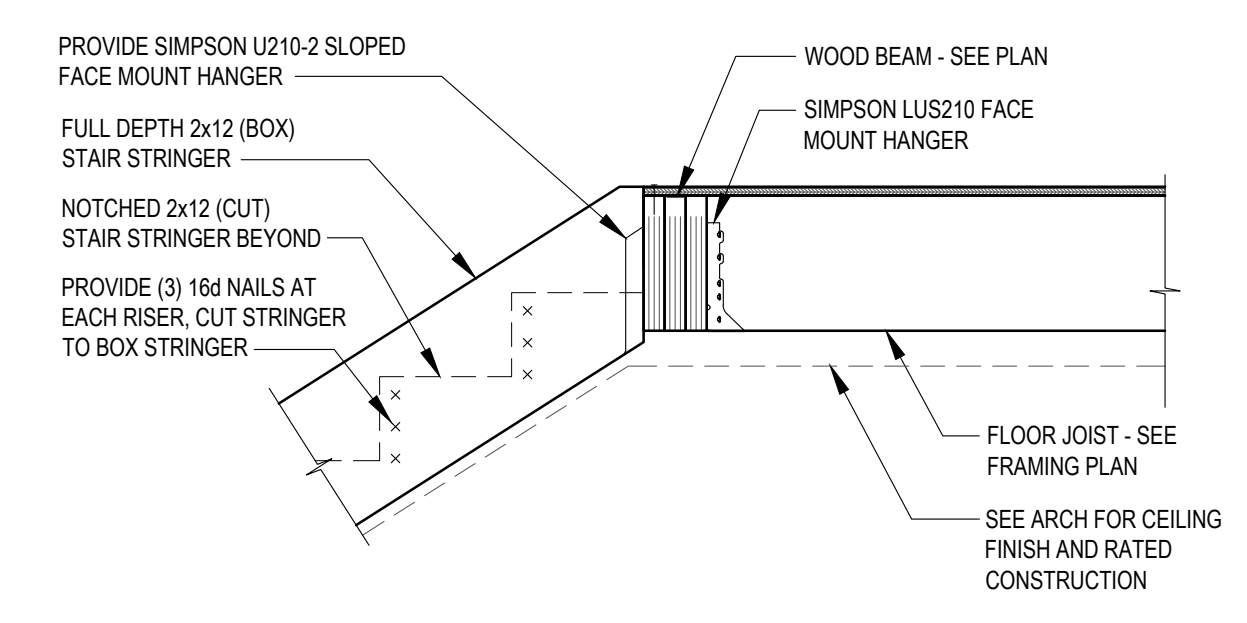
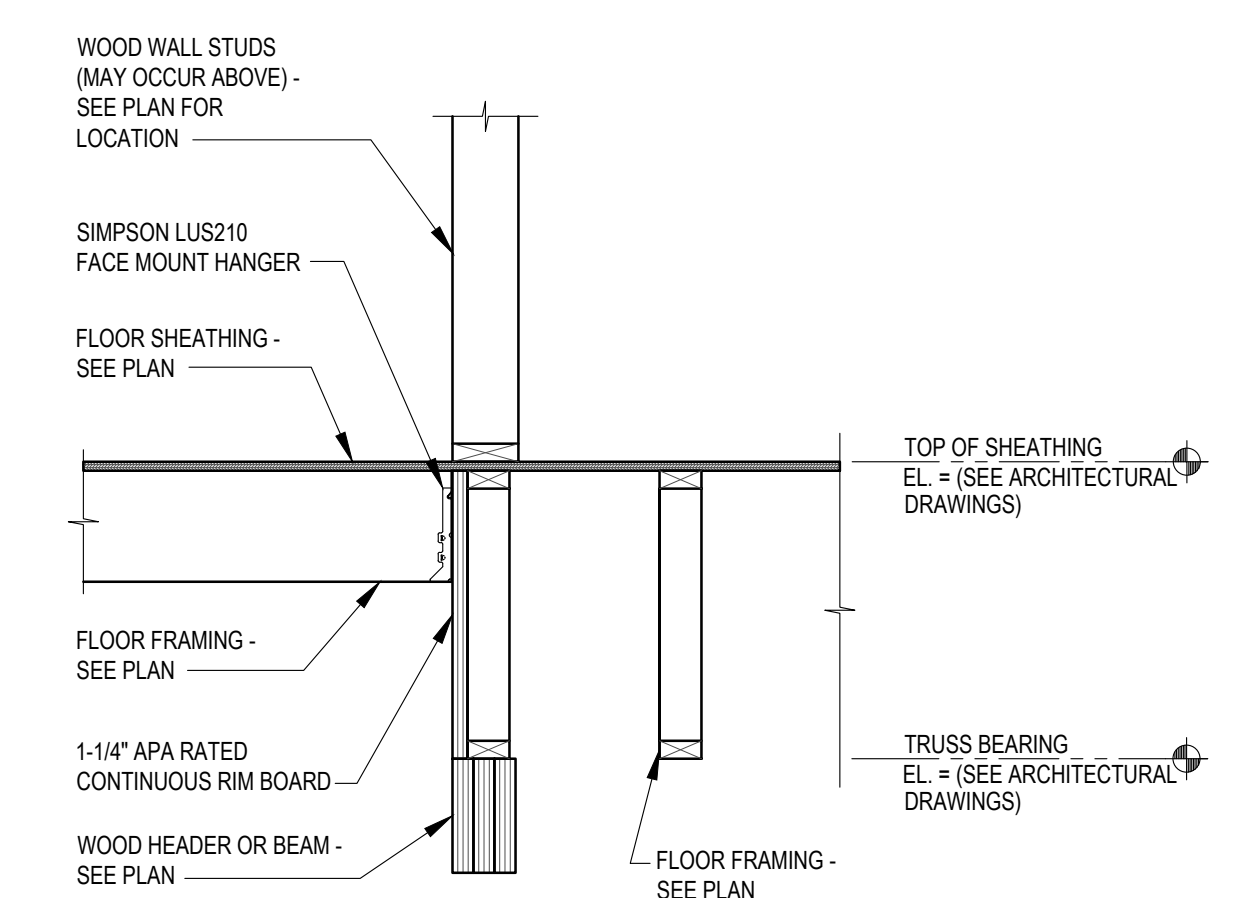
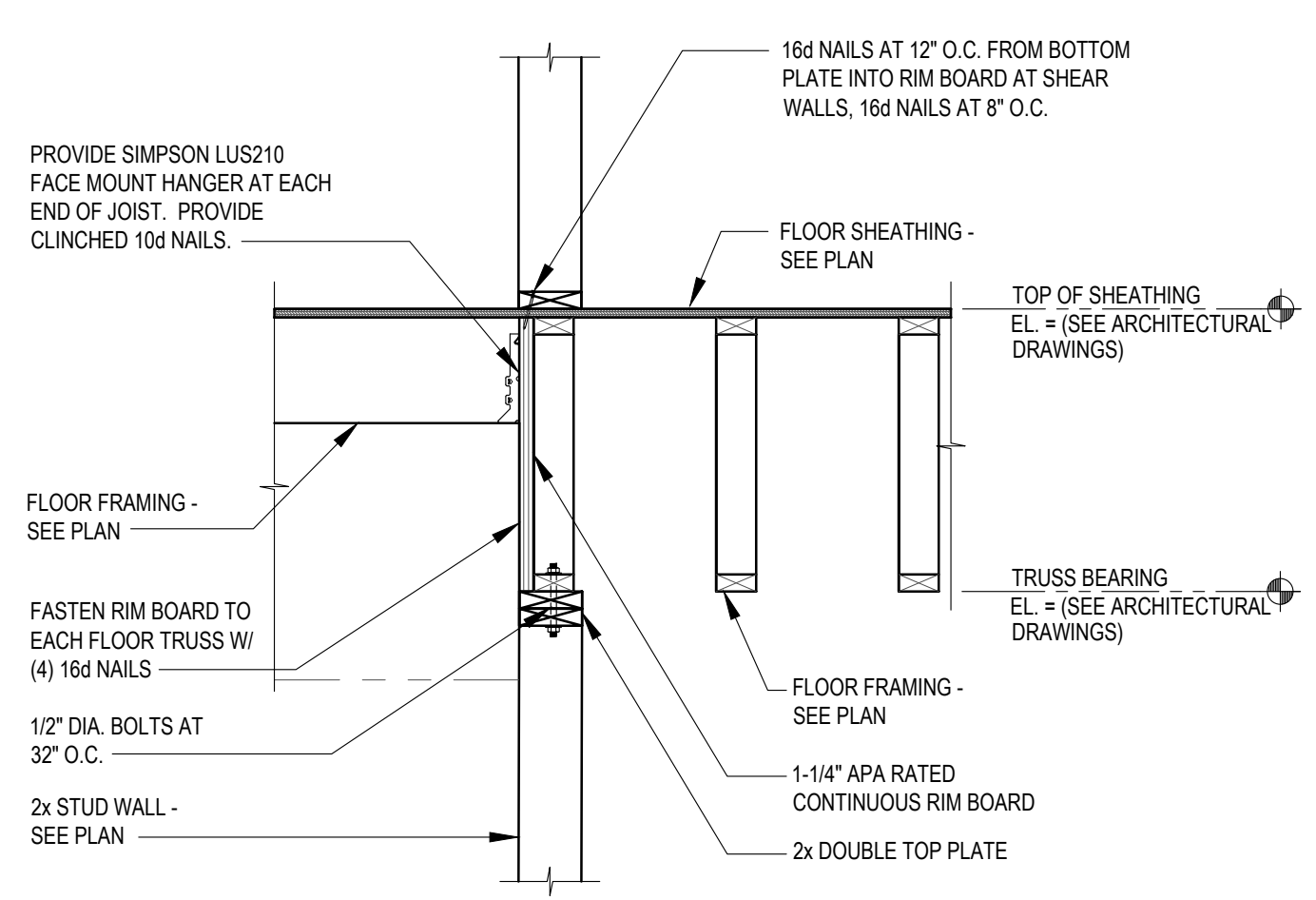


NOTE:
SEE ARCHITECTURAL PLANS FOR SLOPE OF DECK FRAMING

general notes

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revisions



project title

Owner:
HACP
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Pittsburgh, PA, 15219

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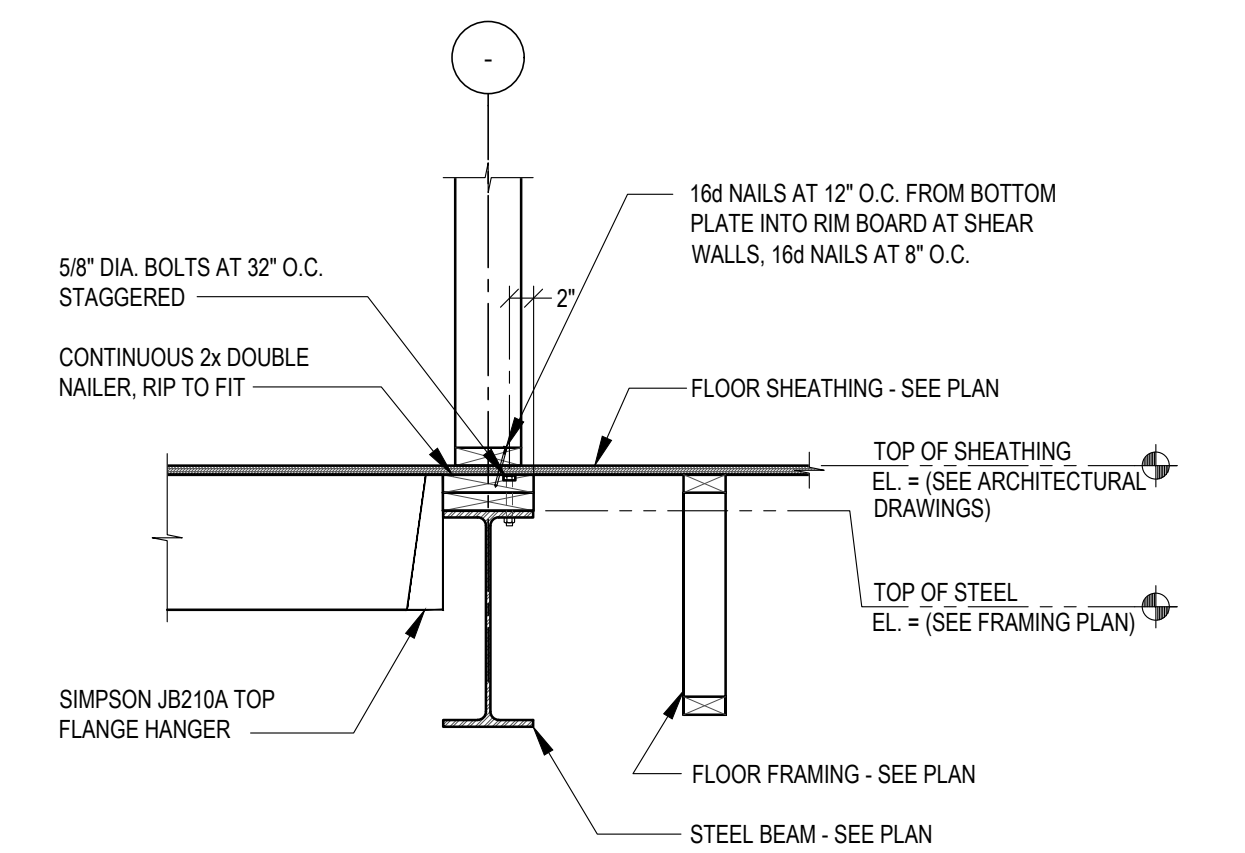
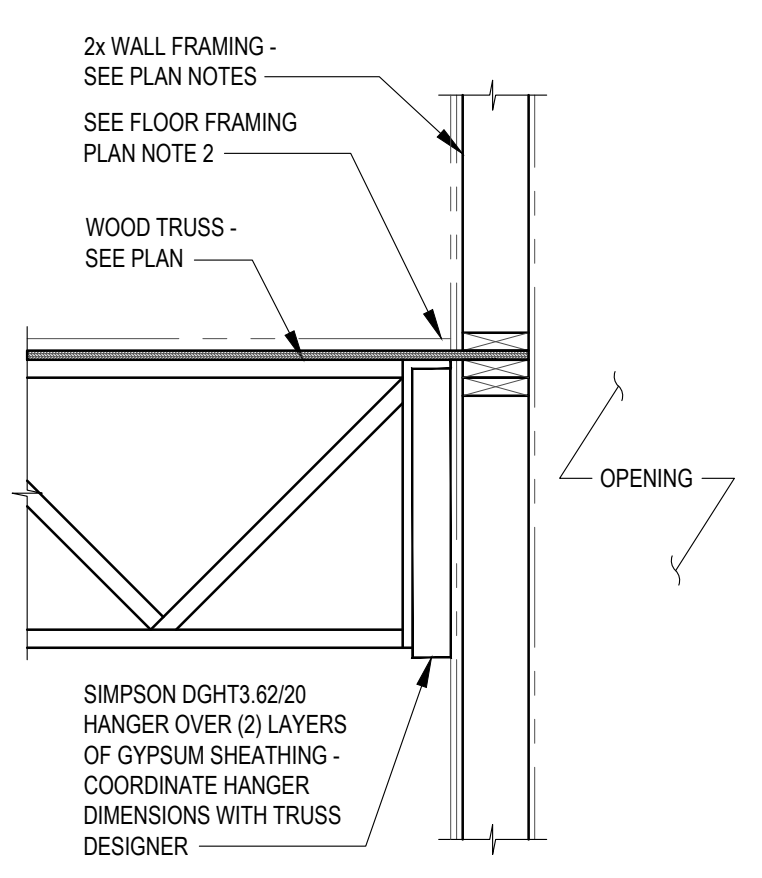
FRAMING SECTIONS

SECTION 5
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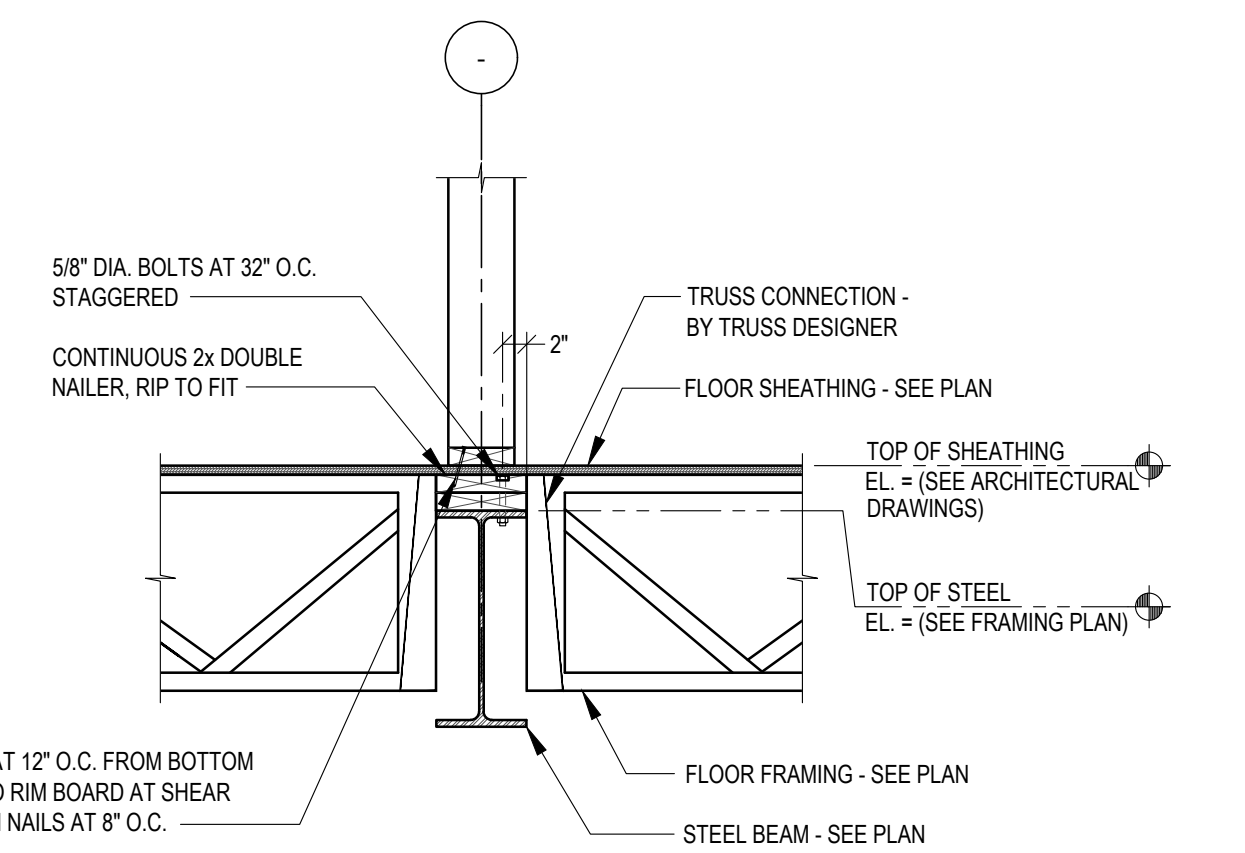
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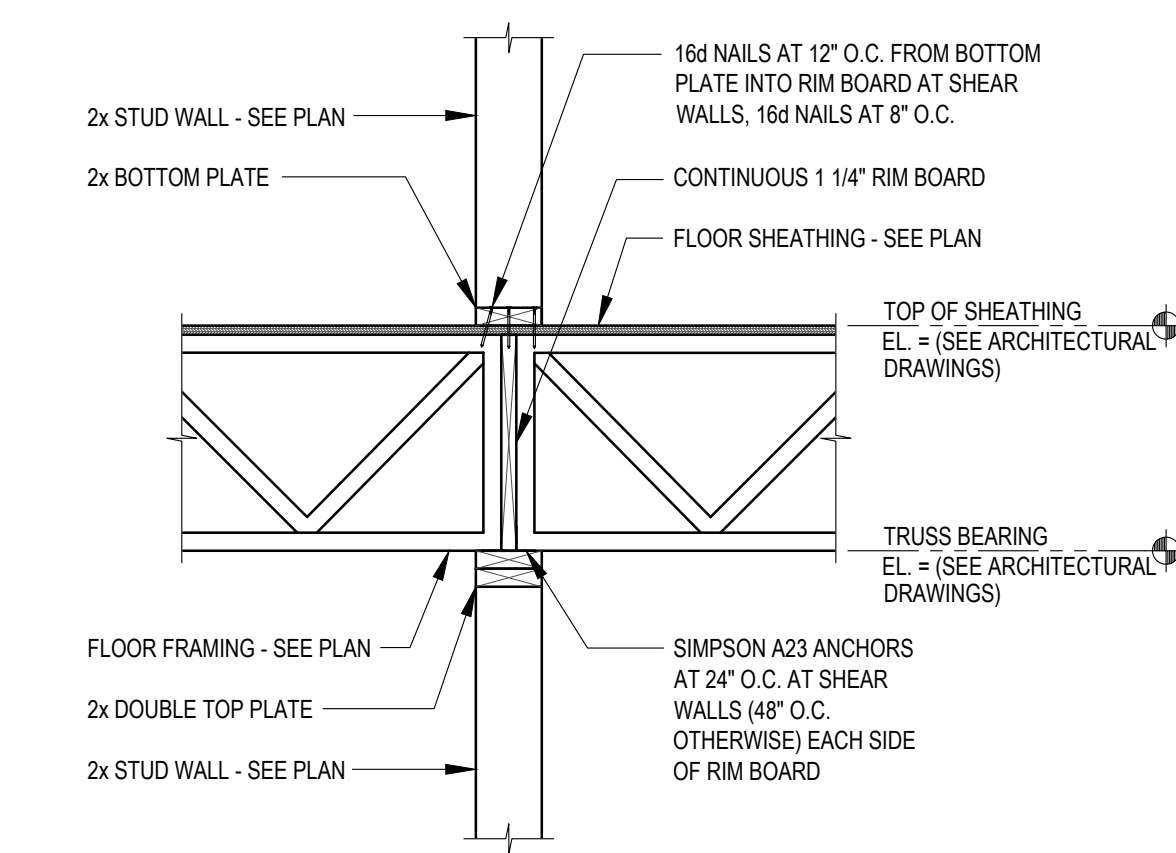
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TYPICAL STEEL BEAM SUPPORTING FLOOR TRUSS

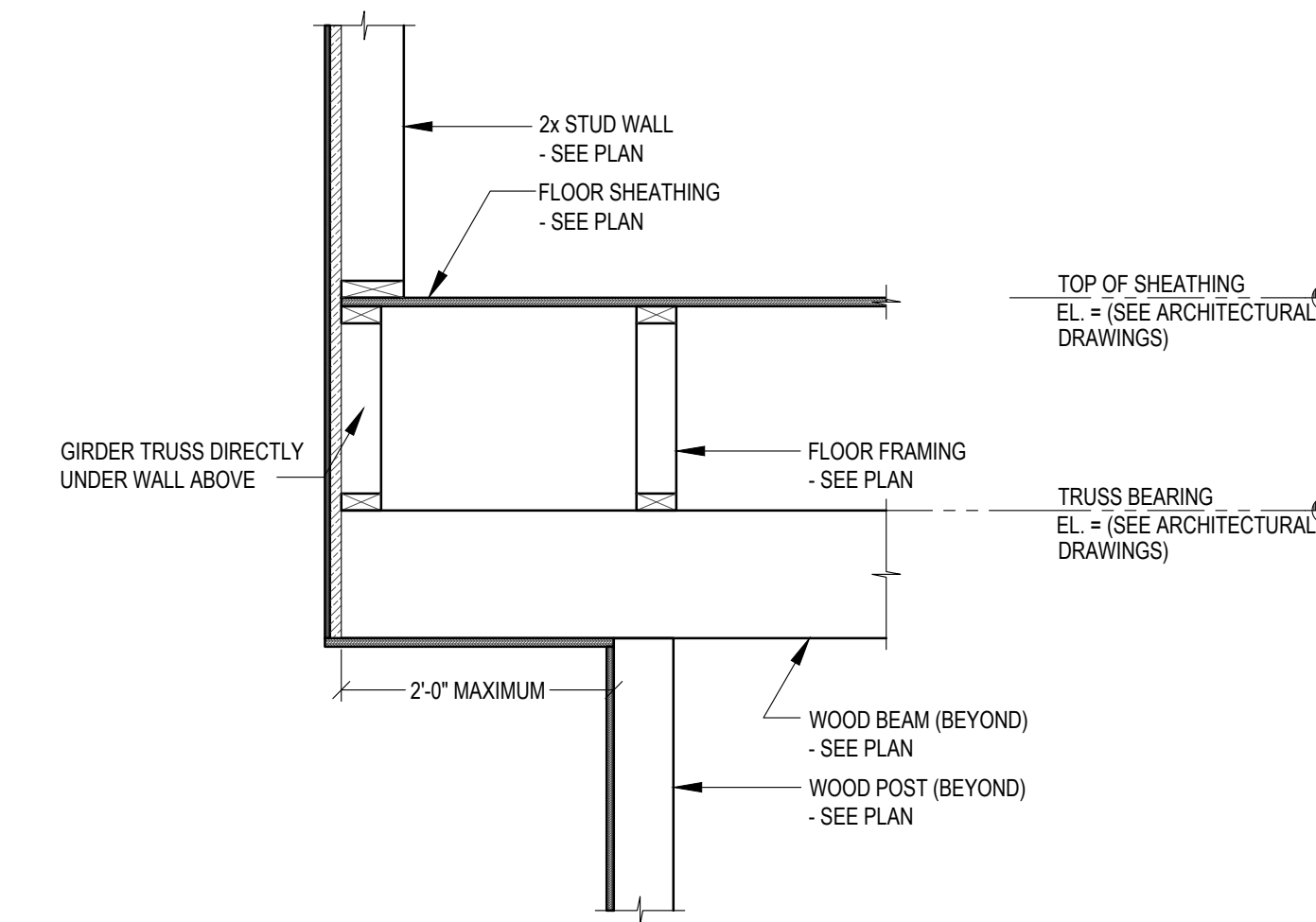
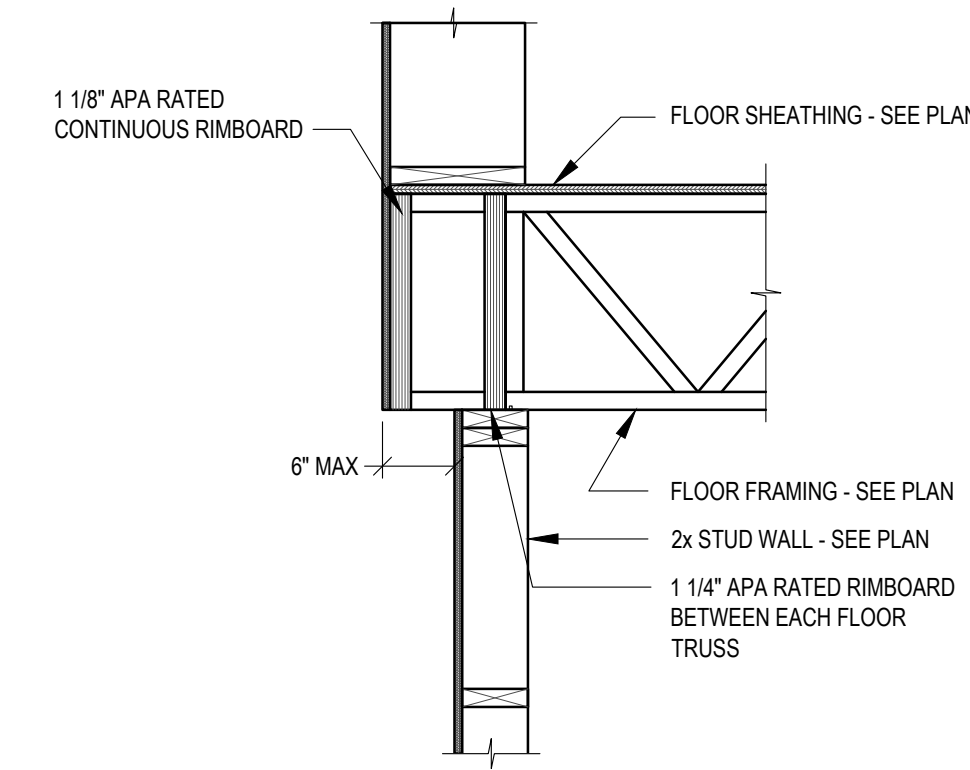
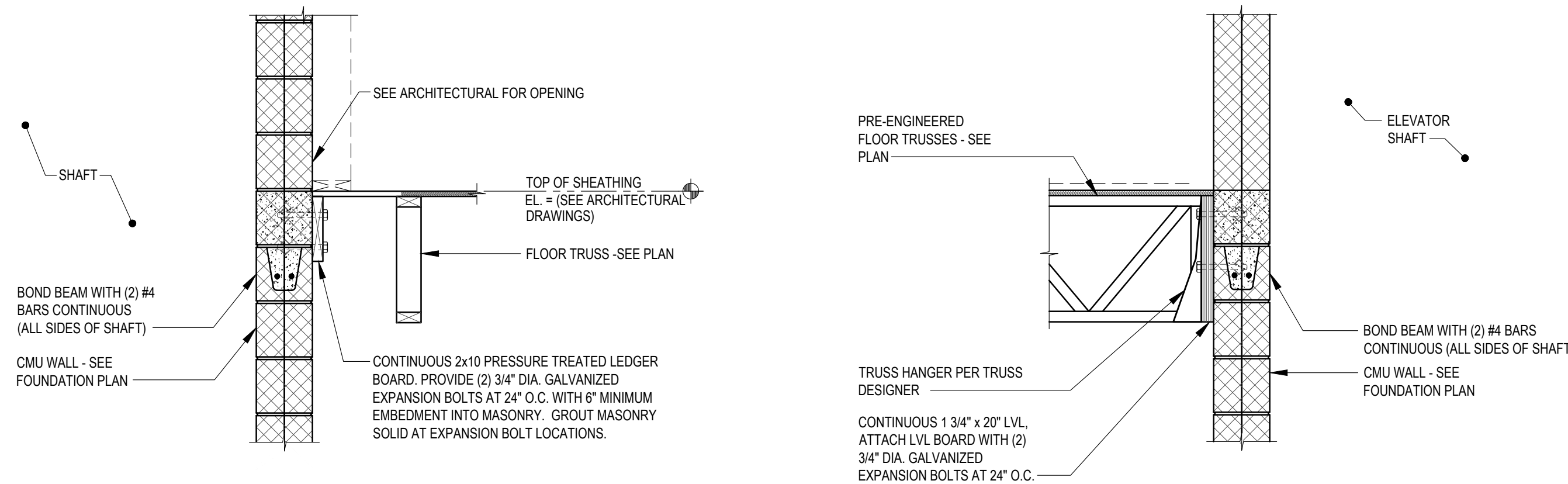


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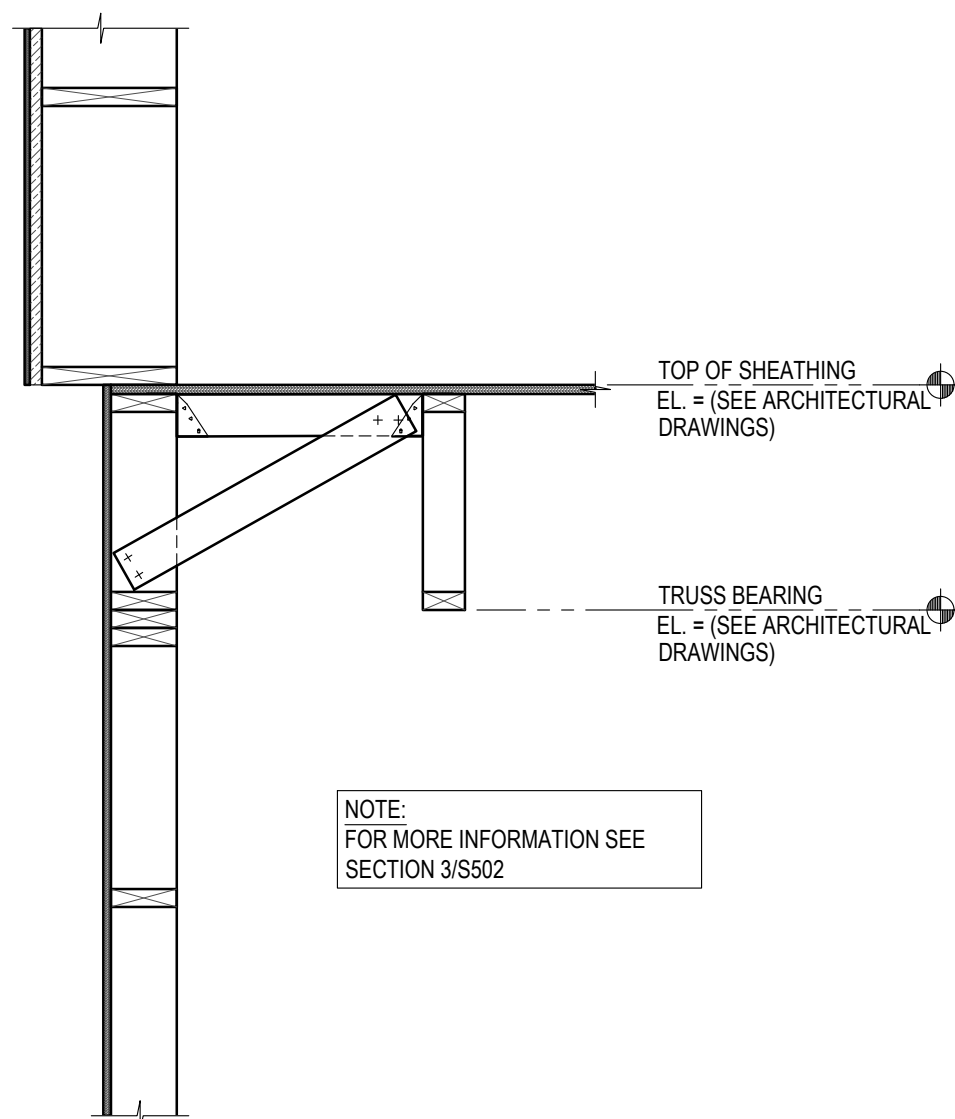


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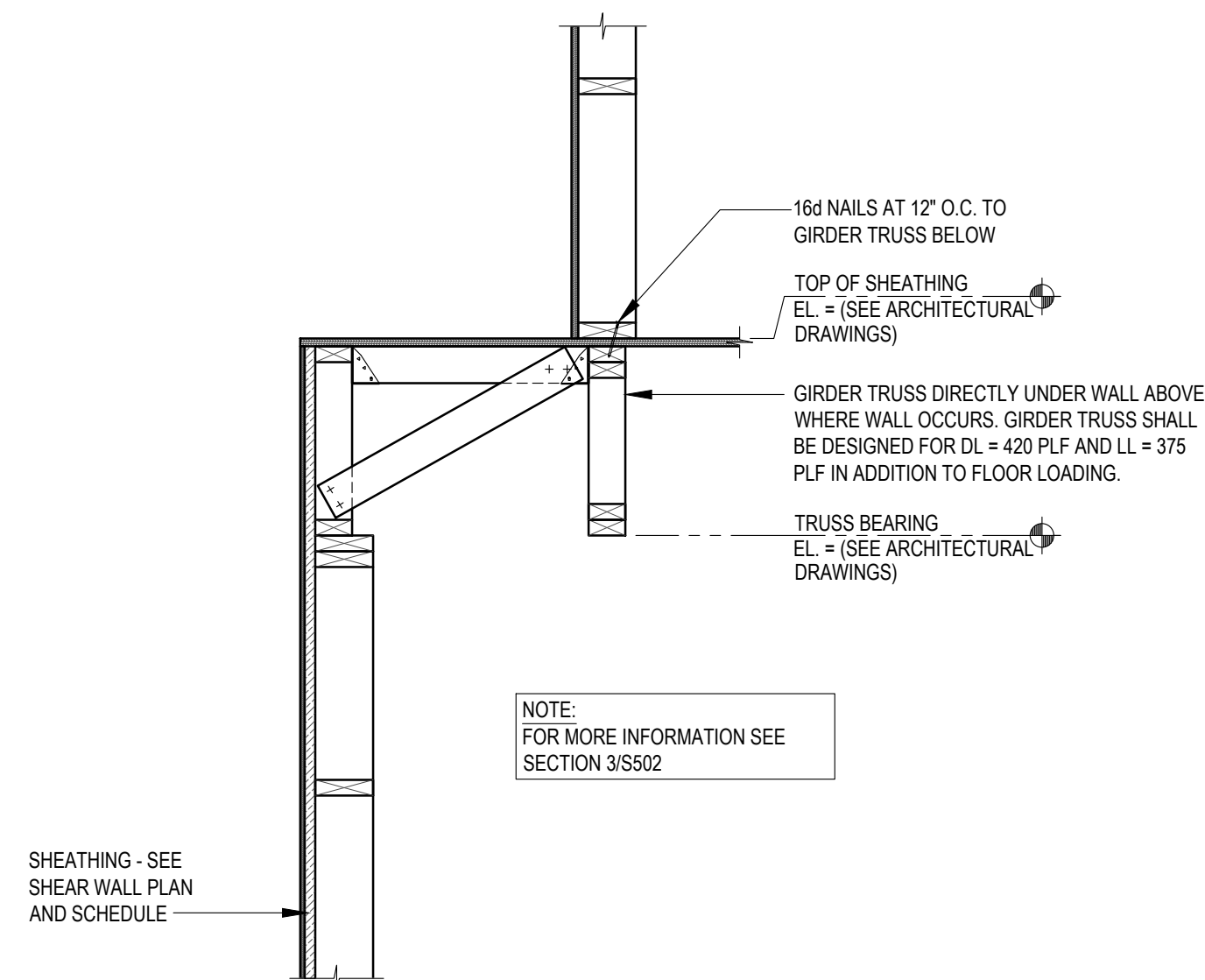
scale	As Noted	Sheet No.
date	December 3rd, 2023	
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of.	233	
Project #2040		



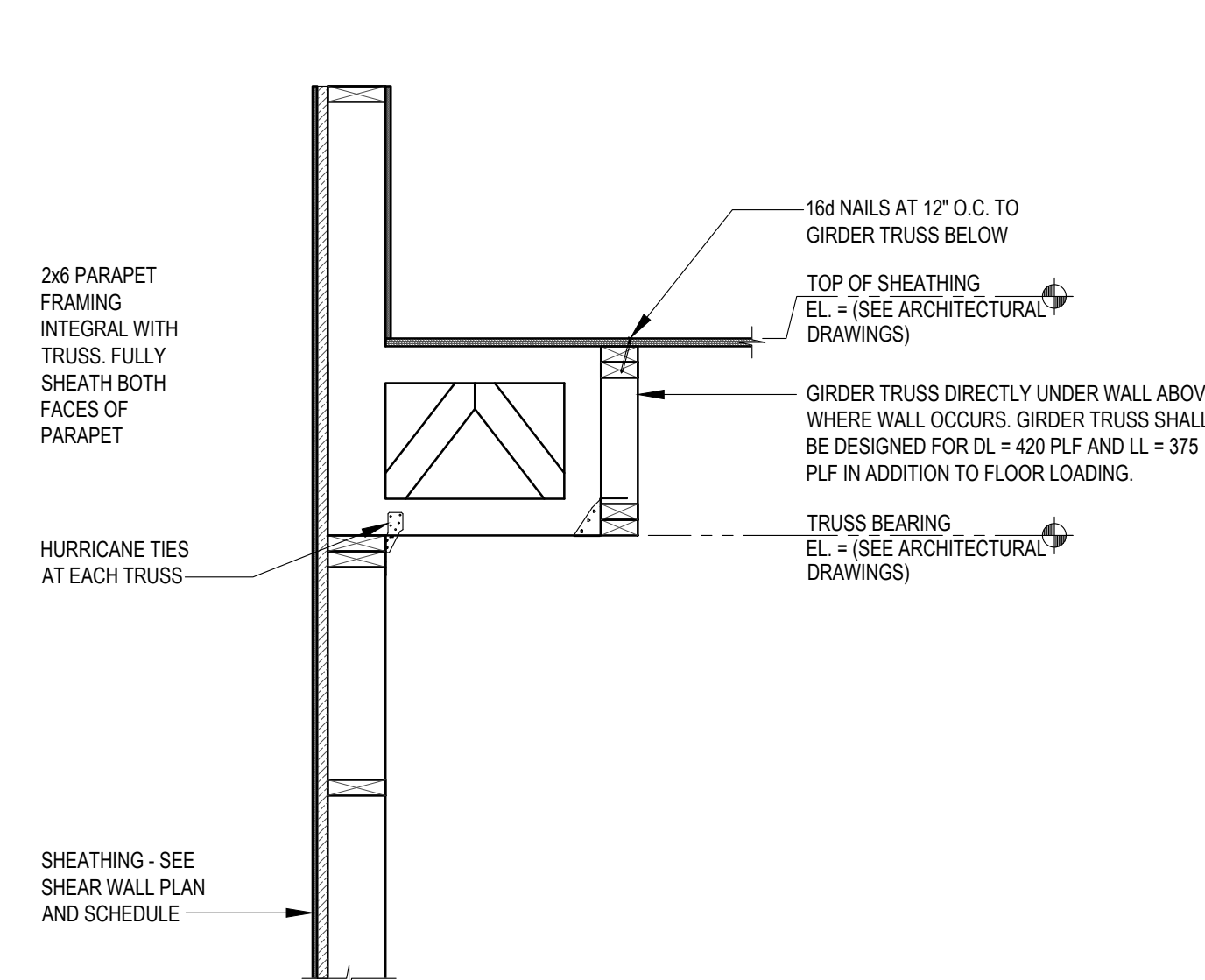
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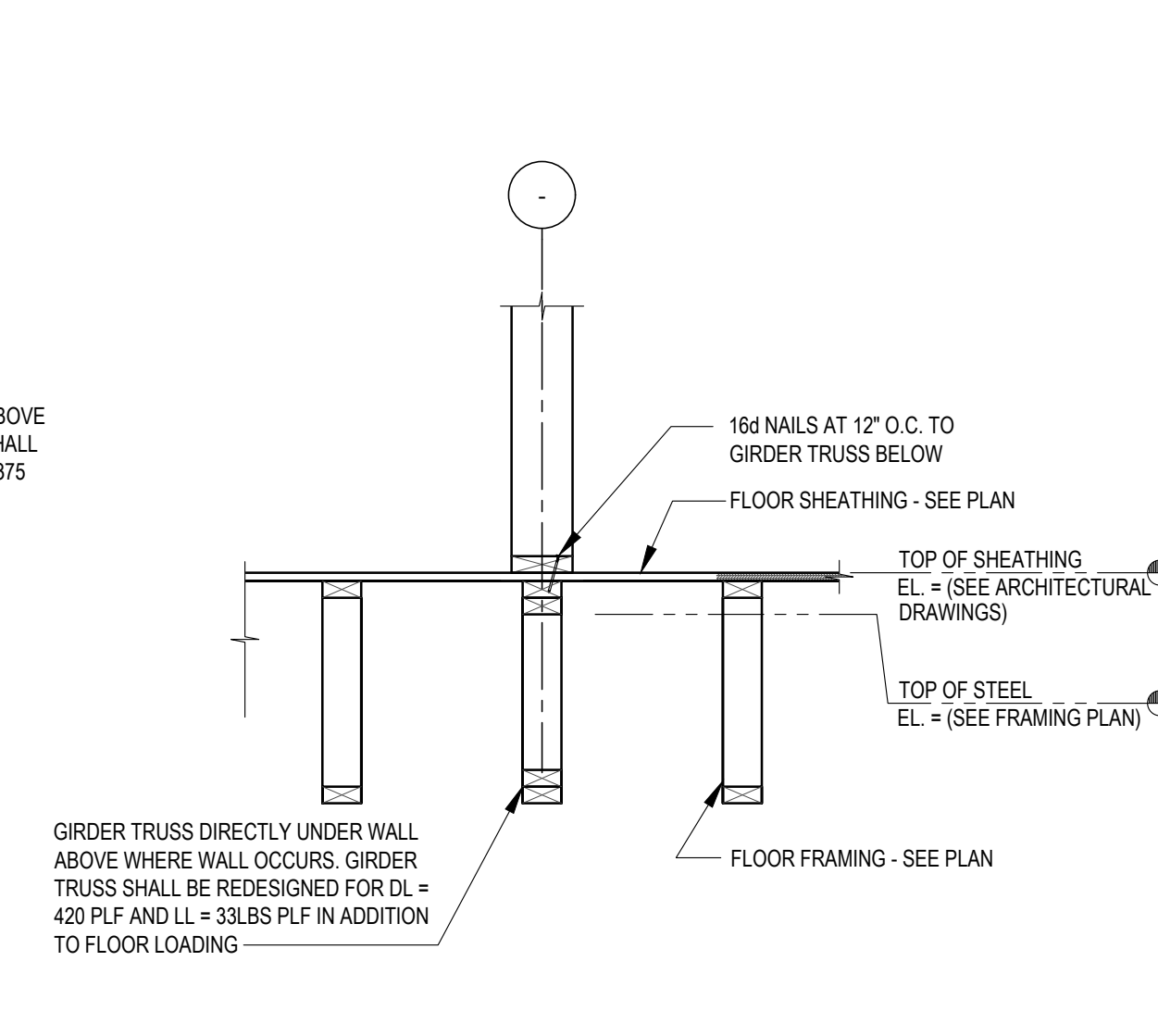
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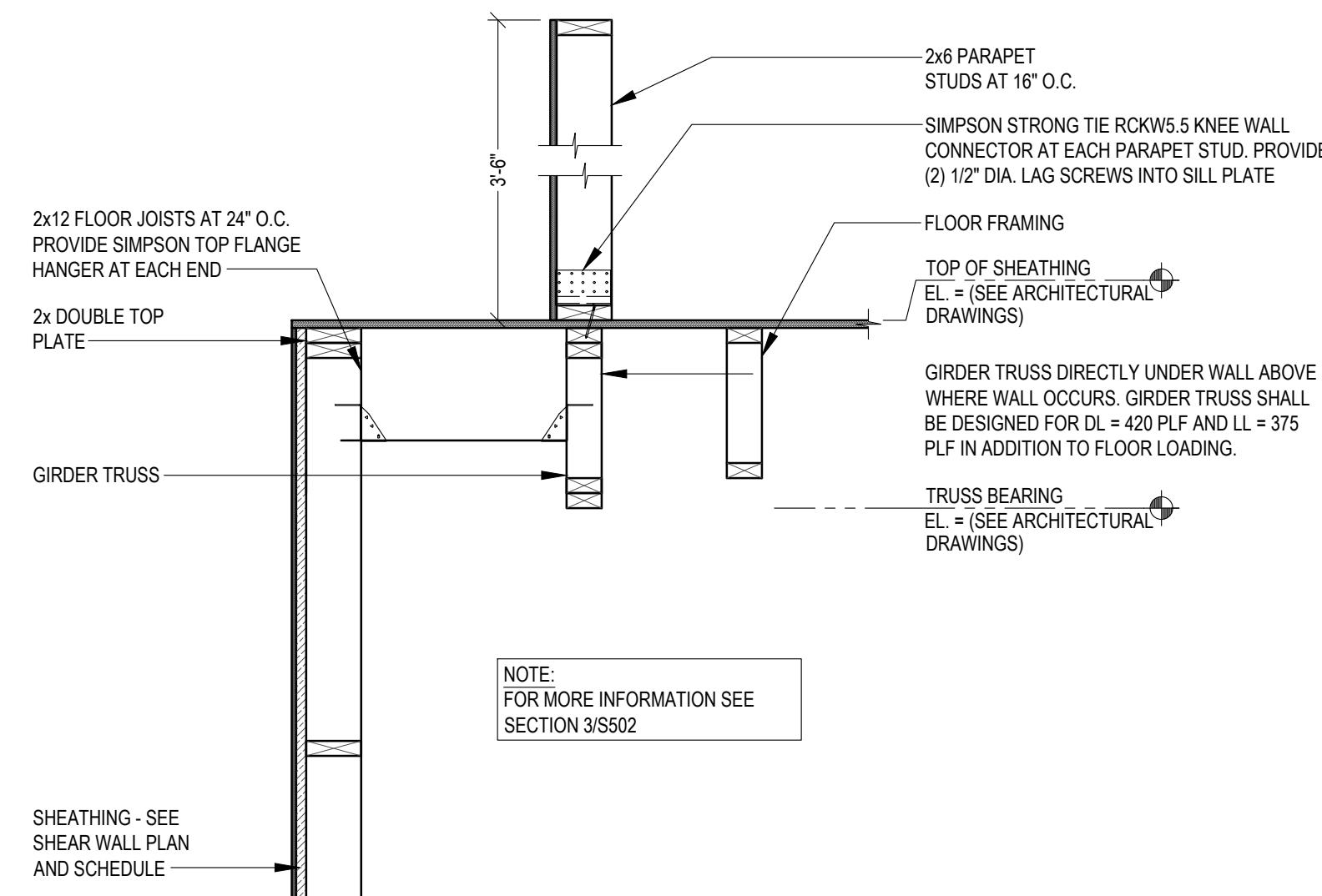
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SCALE: 3/4" = 1'-0"



SECTION 4
SCALE: 3/4" = 1'-0"



SECTION 5
SCALE: 3/4" = 1'-0"



SECTION 6
SCALE: 3/4" = 1'-0"

SECTION 10
SCALE: 3/4" = 1'-0"

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revisions

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Pittsburgh, PA 15214

drawing title

FRAMING SECTIONS

scale As Noted	Sheet No. S503 Project #2040
date December 3rd, 2023	
no. 162	of. 233

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drawing title

ROOF FRAMING SECTIONS

scale
As Noted

date
December 3rd, 2023

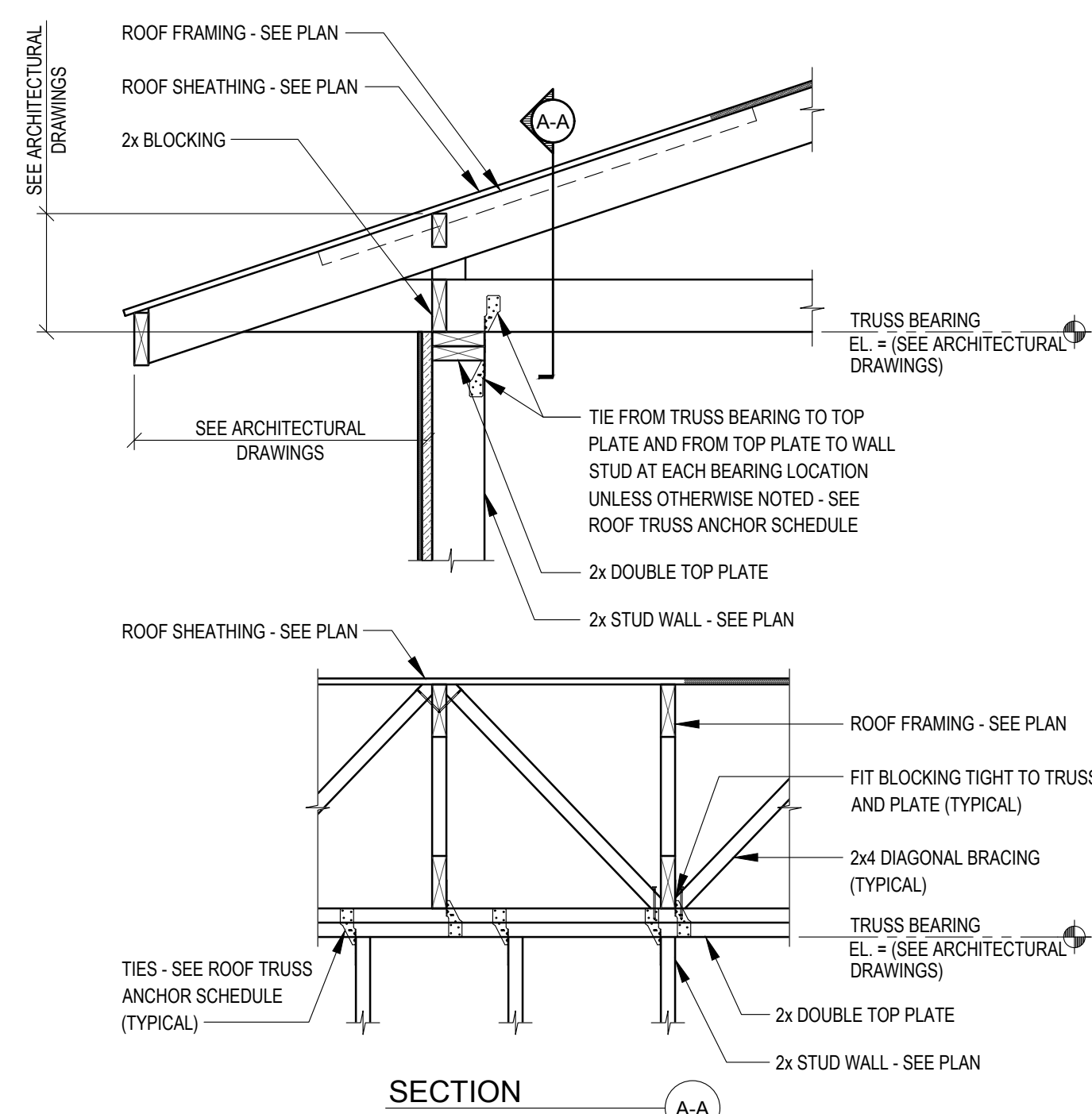
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163 233

Sheet No.

S504

Project #2040

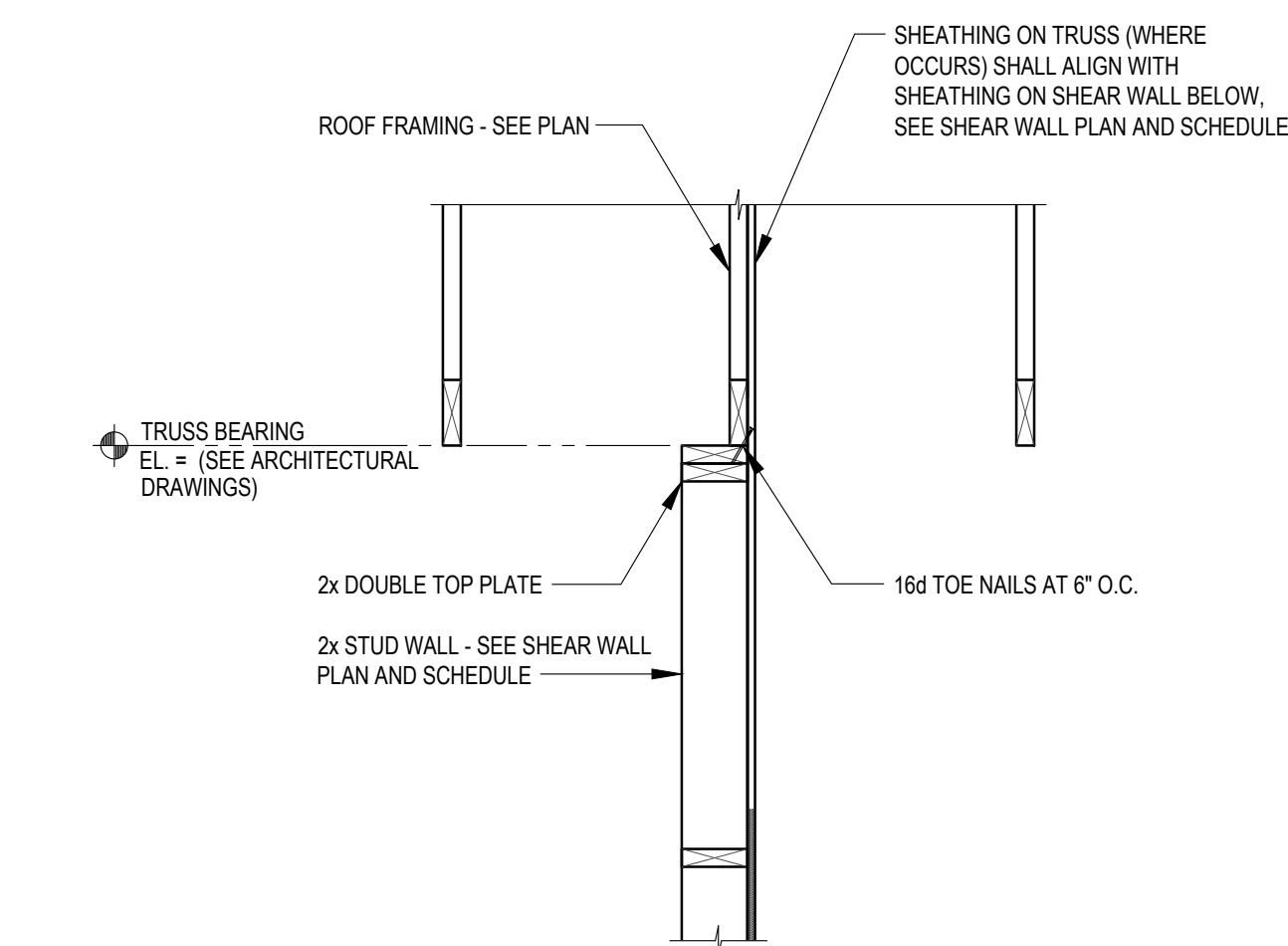


TYPICAL ROOF TRUSS BEARING AT EXTERIOR WALL

SECTION 1

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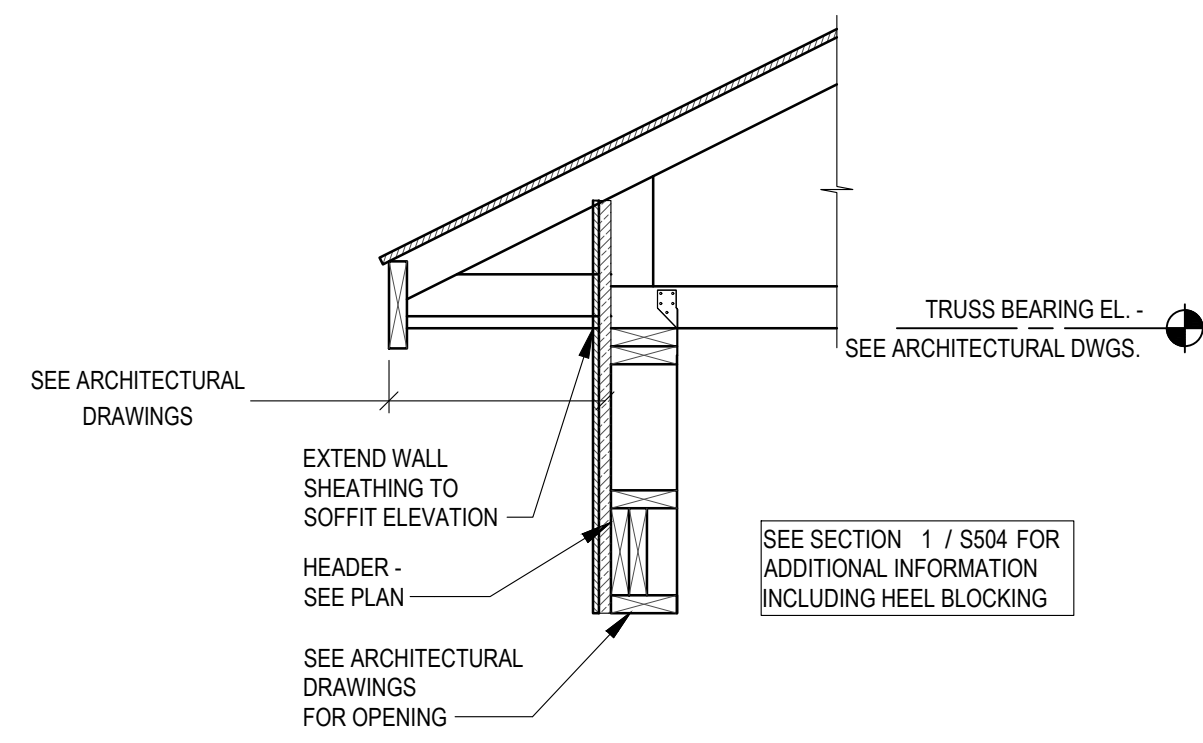
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SECTION 5

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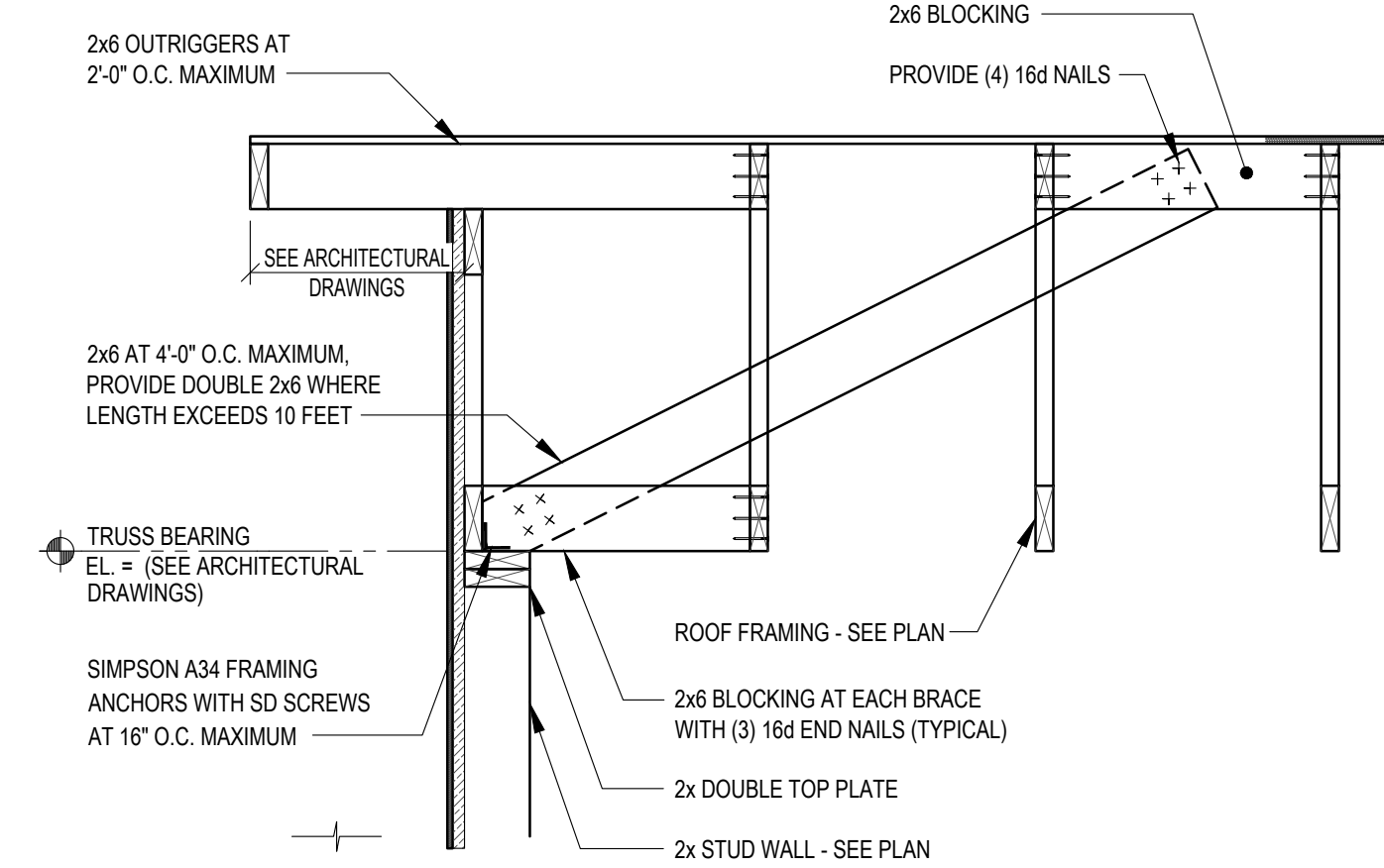
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SECTION 2

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S504

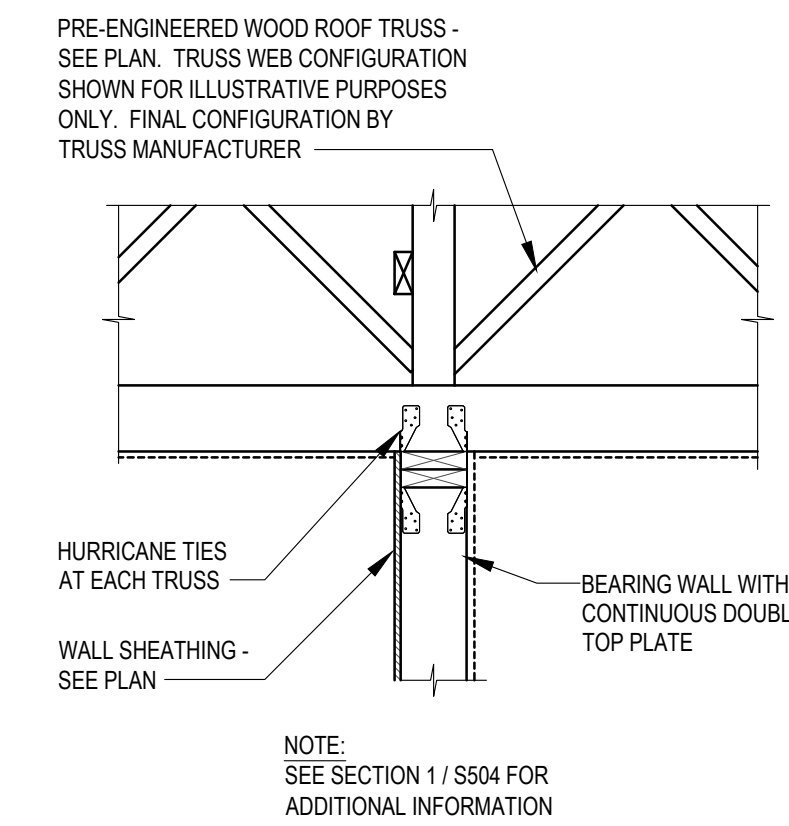


TYPICAL GABLE END WALL

SECTION 3

SCALE: 3/4" = 1'-0"

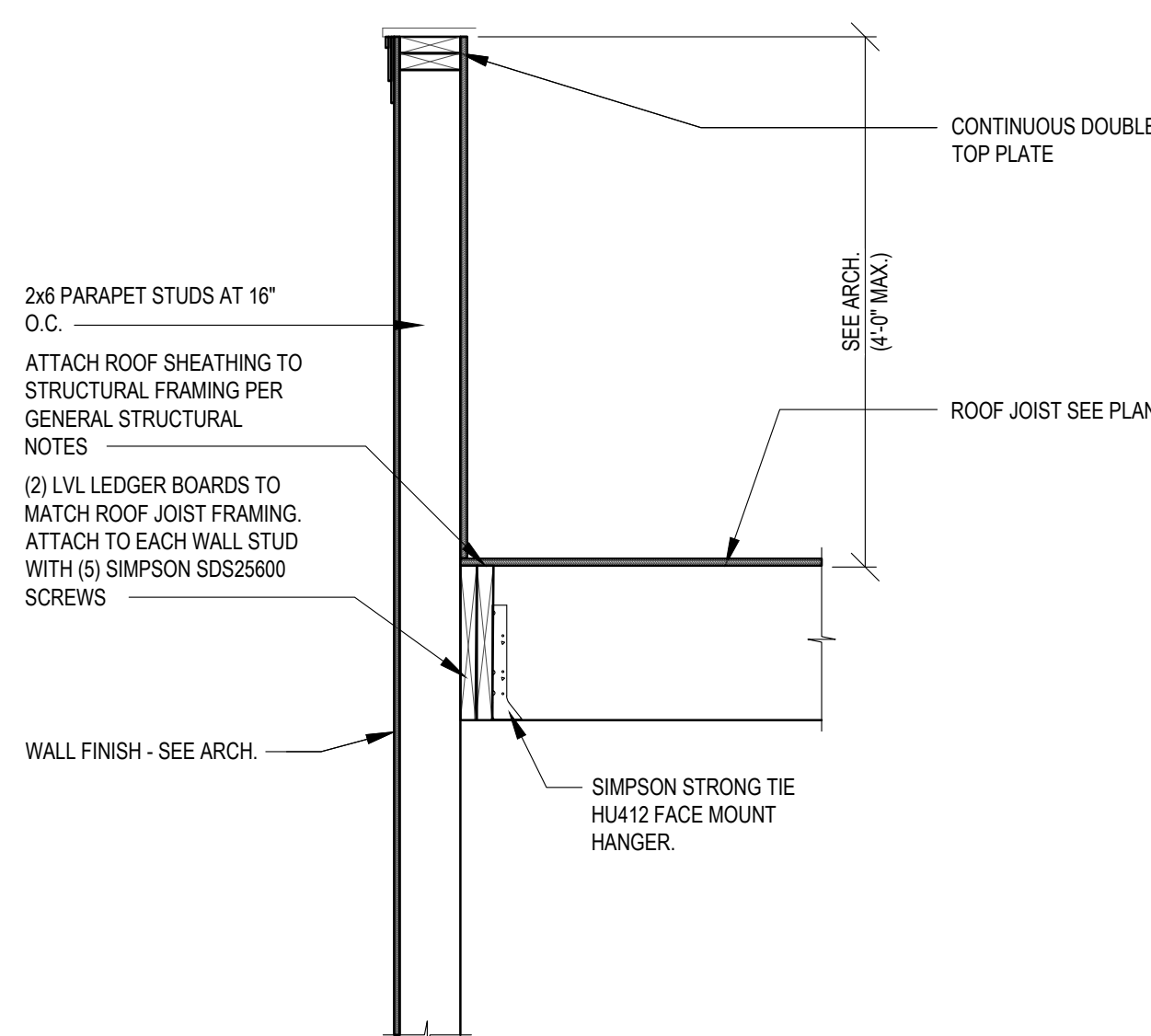
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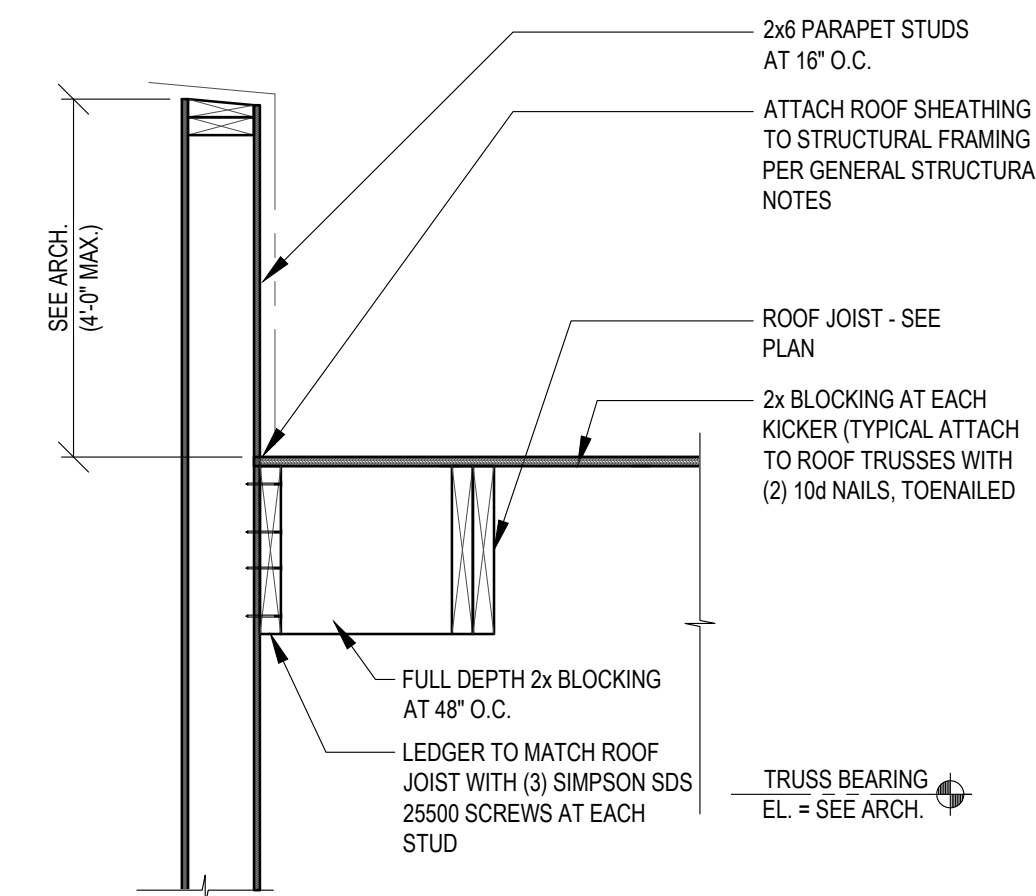
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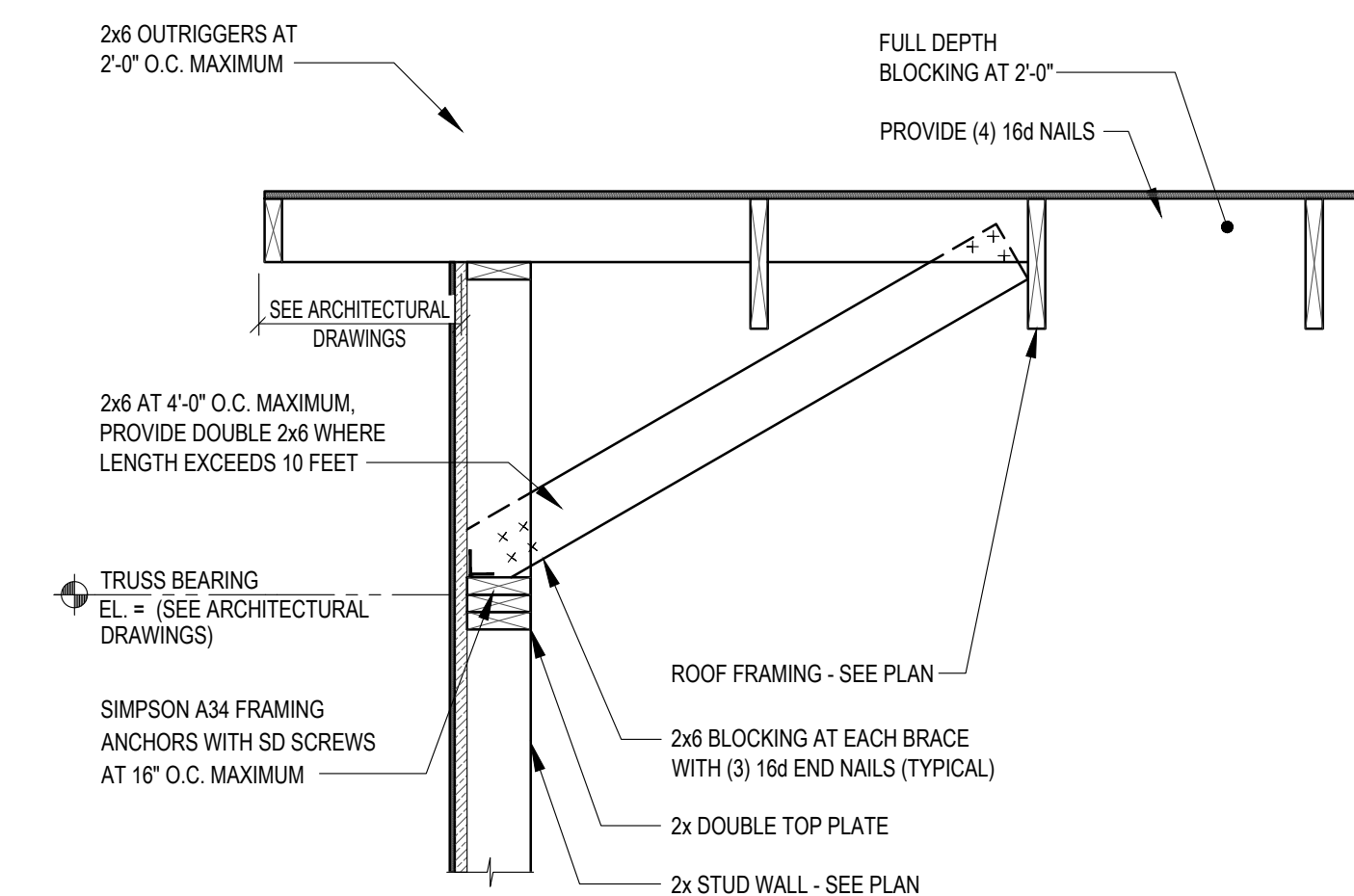
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SECTION 7

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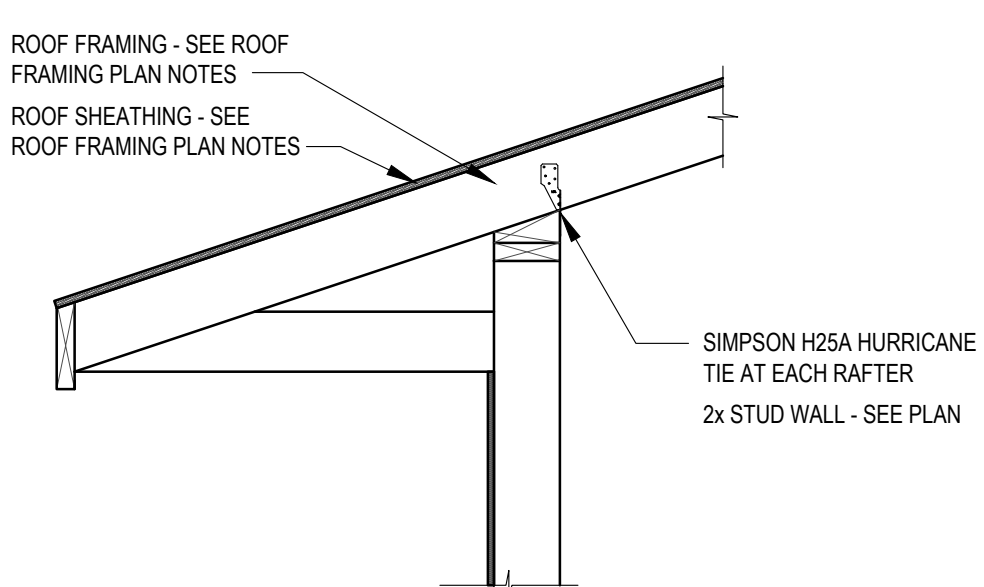


TYPICAL GABLE END WALL

SECTION 8

SCALE: 3/4" = 1'-0"

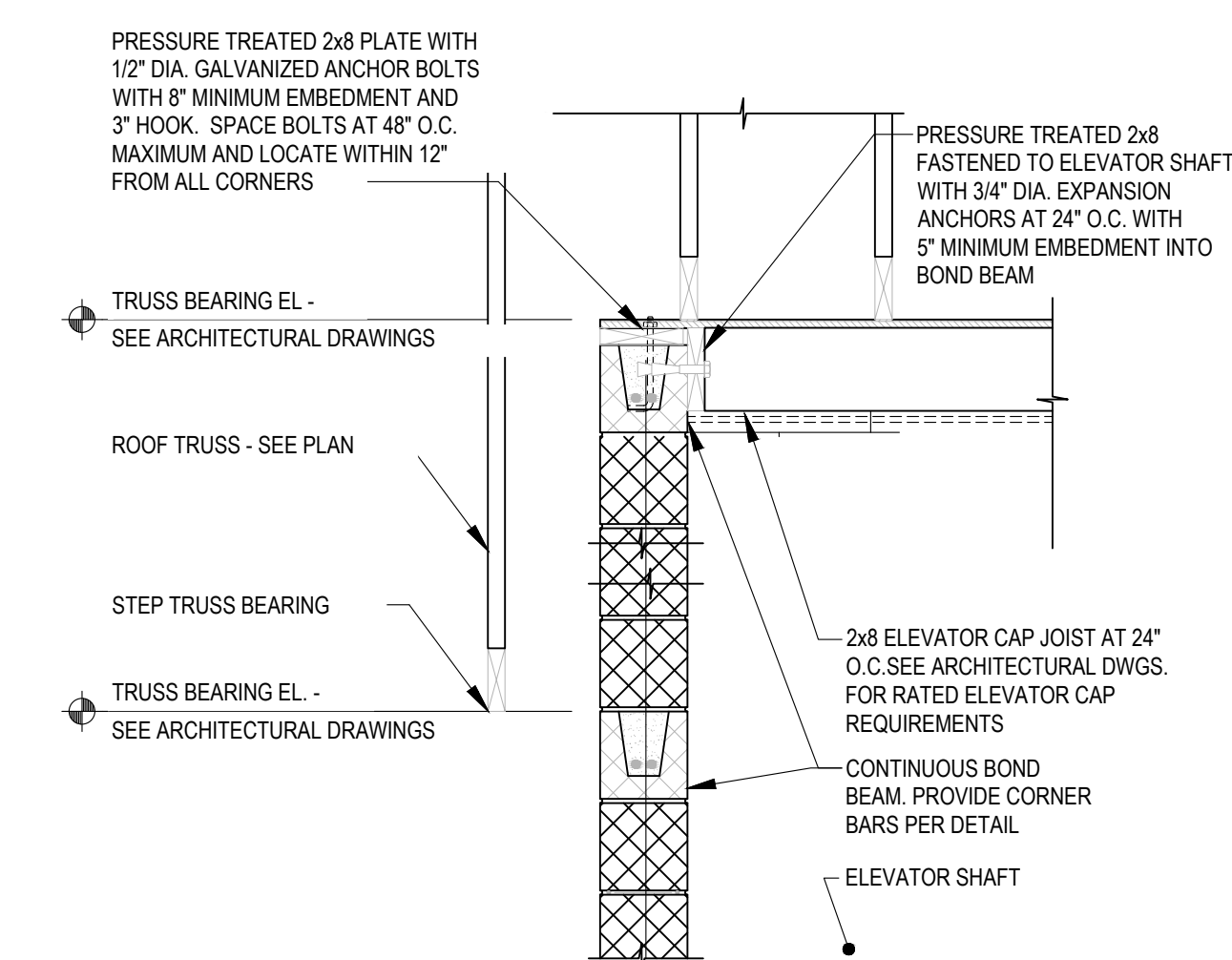
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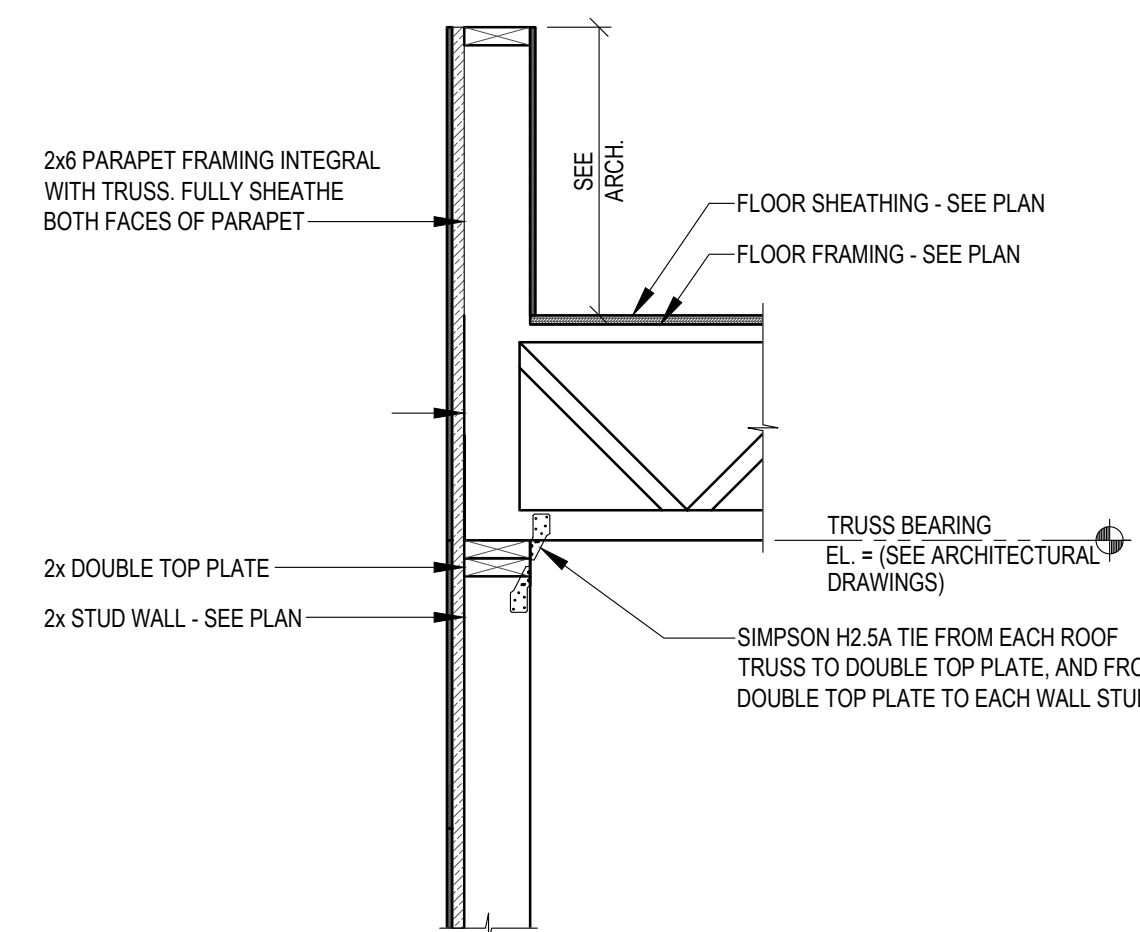
S504



SECTION 10

SCALE: 3/4" = 1'-0"

S504



TYPICAL ROOF FRAMING AT EXTERIOR WALL

SECTION 1

SCALE: 3/4" = 1'-0"

S502

PLUMBING SYMBOLS AND LEGEND

DESCRIPTION	SYMBOL	ABBREVIATION	DESCRIPTION	SYMBOL	ABBREVIATION	DESCRIPTION	SYMBOL	ABBREVIATION
AIR ADMITTANCE VALVE		AV	GATE VALVE		GTV	REFERENCE		REF
BACK FLOW PREVENTER		BFP	GREASE INTERCEPTOR		GI	SANITARY ABOVE FLOOR		SAN
BALANCING VALVE		BV	HOSE BIBB		HB	SANITARY BELOW FLOOR		SAN
BALL VALVE		BV	HOT WATER RETURN		HWR	SANITARY TRAP		TRAP
BATH TUB/ HANDICAP BATH TUB		BT/HBT	ICE MAKER		IM	SCHEDULE		SCHED
BRITISH THERMAL UNIT		BTU	INDIRECT CONNECTION		IC	SHOWER		SHR
BUTTERFLY VALVE		BTV	KEYED NOTE			SLOPE		SL
CAPPED PIPE		CAP	KITCHEN SINK		KS	SOLENOID VALVE		SV
CHECK VALVE		CV	LAVATORY/HANDICAP LAVATORY		LAV/HLAV	STORM DRAIN		SD OR RD
CLEAN OUT		CO OR FCO	LINT INTERCEPTOR		LI	STORM PIPING ABOVE FLOOR		ST OR RWC
CONCENTRIC REDUCER			MAXIMUM		MAX	STORM PIPING BELOW FLOOR		ST
CONNECT TO EXISTING		CTE	METER		M	STRAINER		
CONTINUATION		CONT	MINIMUM		MIN	SUMP PUMP		SP
DISHWASHER		DW	MOP BASIN		MB	TEMPERATURE		TEMP
DOMESTIC COLD WATER		CW	NATURAL GAS		G	TEMPERATURE GAUGE		TG
DOMESTIC HOT WATER		HW	NON-POTABLE COLD WATER		NPCW	TRAP PRIMER		TP
DOMESTIC WATER HEATER		DWH	NOT TO SCALE		NTS	TRASH CHUTE		TC
DRAIN PAN		DP	OVERFLOW		OV	TRENCH DRAIN		TD
ELEVATION		EL	PEX MANIFOLD		PM	UNION CONNECTION		UC
FILTER		FLT	PIPE DOWN			URINAL/HANDICAP URINAL		UR/HUR
FINISHED FLOOR		FF	PIPE TEE DOWN			VACUUM BREAKER		VB
FLOOR DRAIN		FD	PIPE UP			VENT		V
FLOOR SINK		FS	PIPE UP AND DOWN			VERTICAL VALVE		GV/BV
FOOT/FEET		FT	POUNDS PER SQUARE INCH		PSI	WALL CLEAN-OUT		WCO
GARBAGE/WASTE DISPOSER		WD	PRESSURE GAUGE			WASHING MACHINE		WFA
GAS FRYER		FR	PRESSURE REDUCING VALVE		PRV	WATER HAMMER ARRESTOR		WHA
GAS GRIDDLE		GR	PUMP		PUMP	WATER CLOSET/HANDICAP WATER CLOSET		WC/HWC
GAS SHUT OFF VALVE		GV	RECIRCULATING		RECIRC			

PLUMBING GENERAL NOTES:

- PIPE LOCATIONS ARE DIAGRAMMATIC. ALL PIPING TO BE RUN CONCEALED IN FINISHED SPACES, UNLESS OTHERWISE NOTED.
- ALL WORK PLUMBING WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, REGULATIONS, AND ACTS OF THE COMMONWEALTH OF PENNSYLVANIA, ALLEGHENY COUNTY, & ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THE COMPLETED INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE INDUSTRY STANDARDS OF GOOD PRACTICE AND SAFETY, AND THE MANUFACTURER'S STRICTEST RECOMMENDATIONS FOR EQUIPMENT AND PRODUCT APPLICATION AND INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN ALL MANUFACTURER'S RECOMMENDED AND CODE REQUIRED SERVICE CLEARANCES FOR ALL FIXTURES AND EQUIPMENT. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- ALL WORK SHOWN IS A DIAGRAMMATIC REPRESENTATION OF DESIGN INTENT AND CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS AND/OR DRAWINGS AND INFORMATION PROVIDED BY THE OWNER, BUT CANNOT BE GUARANTEED BY THE ENGINEER.
- BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL CONDUCT AN ON SITE INSPECTION TO VERIFY EXISTING CONDITIONS, THIS INCLUDES DEPTH OF ALL BELOW GRADE PIPING, THE LOCATION AND SIZE OF ALL UTILITIES. COORDINATION WITH EXISTING SERVICES, INCLUDING THOSE OF OTHER TRADES, IS REQUIRED AND SHALL BE PROVIDED AT NO ADDITIONAL COST. ANY MAJOR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- THE CONTRACTOR SHALL COORDINATE ALL CONNECTION REQUIREMENTS AND LOCATIONS FOR OWNER SUPPLIED EQUIPMENT WITH EQUIPMENT SUPPLIER/INSTALLER.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF THE ARCHITECT, ENGINEER, OWNER, TENANT, AND/OR AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNION AND EQUAL OPPORTUNITY STANDARDS OR REQUIREMENTS WHERE APPLICABLE.
- FILING OF PERMIT FOR PLUMBING WORK FOR THIS SPACE AS WELL AS PAYMENT OF ALL APPLICABLE FEES AND PREPARATION OF ALL DRAWINGS REQUIRED FOR FILING PLANS AND PERMITS SHALL BE INCLUDED. COPIES OF ALL EXECUTED PERMITS AND DRAWINGS SHALL BE FORWARDED TO THE ENGINEER FOR RECORD.
- MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ENGINEER SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED ON THE DRAWINGS.
- ALL SANITARY PIPING SHALL START AT A MINIMUM OF 18" BELOW SLAB. ALL SANITARY AND STORM PIPING SHALL BE PITCHED AT 1/8" PER FOOT, UNLESS OTHERWISE NOTED.
- CLEANOUTS SHALL BE PROVIDED AS INDICATED ON DRAWINGS AND AT ALL LOCATIONS REQUIRED BY CODE; AT 100' INTERVALS, AT ALL BASE OF STACKS, AT CHANGE OF DIRECTION, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. ANY DAMAGE CAUSED BY, OR DURING THE EXECUTION OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE ENGINEER'S SATISFACTION.
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID ALL HANGERS, INSERTS, TESTING, TOOLS, SUPERVISION, LABOR, COORDINATION, MATERIALS, EQUIPMENT, REMOVALS, CAPPING, PATCHING, DISPOSAL, AND OTHER NECESSARY ITEMS TO PROVIDE THE PLUMBING INSTALLATION.
- ANY DAMAGED INSULATION ON ANY EXISTING PIPING TO BE REUSED WITHIN THE AREA UNDER CONSTRUCTION SHALL BE REPAIRED WITH THE SAME TYPE OF INSULATION AS EXISTING, EXCLUDING ASBESTOS.
- EQUIPMENT, MATERIALS AND WORKMANSHIP PROVIDED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL KEEP THE WORK IN GOOD REPAIR FOR ONE YEAR AFTER THE DATE OF FINAL APPROVAL. THE CONTRACTOR SHALL AT HIS OWN EXPENSE, CORRECT AND REPAIR PROMPTLY ANY AND ALL BREAKS, FAILURES OR WEAR DUE TO FAULTY MATERIALS, WORKMANSHIP OR EQUIPMENT, AND ALL SETTLEMENTS OF SURFACE THAT MAY OCCUR DURING THAT PERIOD.
- SLEEVE AND SEAL ALL PIPE PENETRATIONS OF WALLS AND FLOORS. SLEEVES THROUGH FLOORS SHALL EXTEND 2" ABOVE FLOOR, BE GROUTED INTO PLACE AND WATERPROOFED. PIPING THROUGH EXTERIOR WALLS SHALL BE SLEEVED AND SEALED WEATHER TIGHT WITH SILICONE CAULK.
- ANY PENETRATION THROUGH FIRE RATED PARTITIONS, FLOORS, OR CEILINGS SHALL BE STEEL SLEEVED AND SEALED WITH 3M BRAND U.L. RATED FIRE BARRIER CAULK OR AN APPROVED EQUAL.
- CUTTING OF ROOF AND FLASHING OF PIPE CURBS, SANITARY VENT THROUGH ROOF, ETC., SHALL BE COORDINATED WITH AND PAID FOR BY THIS CONTRACTOR. ALL VENT OUTLETS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY AIR INTAKES ON HVAC EQUIPMENT.
- CONTRACTOR SHALL PROVIDE ASSE 1070 ANTI-SCALD VALVES ON ALL PUBLIC LAVATORIES.
- PROVIDE SHUT-OFF VALVES AT ALL BRANCH LINES, EQUIPMENT, TEMPERING VALVES, PUMPS, ETC.
- ALL SHUT-OFF VALVES SHALL BE ACCESSIBLE. PROVIDE ACCESS DOORS FOR SHUT-OFF VALVES WHERE NECESSARY.
- THE CONTRACTOR SHALL, AS NECESSARY, PROVIDE EXPANSION LOOPS TO ACCOMMODATE FOR EXPANSION AND CONTRACTION OF PIPING.
- ALL DOMESTIC COLD, HOT, AND TEMPERED WATER PIPING AND RAIN CONDUCTORS ARE TO BE INSULATED WITH RIGID FIBERGLASS INSULATION WITH TYPE 'ASJ' JACKET.
- ALL FIXTURES REQUIRING VACUUM BREAKERS SHALL BE EQUIPPED WITH INTEGRAL VACUUM BREAKERS.
- THE PLUMBER IS RESPONSIBLE FOR ALL LOW VOLTAGE WIRING FOR EQUIPMENT INSTALLED UNDER THEIR CONTRACT. ELECTRICIAN IS RESPONSIBLE FOR POWER WIRING ONLY.
- NO PIPING SHALL BE RUN OVER ELECTRICAL PANELS.
- THE CONTRACTOR SHALL TEST AND REMEDIATE AS FOLLOWS:
 - TEST WATER FROM DWELLING UNIT FAUCETS FOR THE PRESENCE OF LEAD.
 - IF RESULTS ARE ABOVE 0, INSTALL NSF/ANSI 58 OR NSF/ANSI 52 FILTERS IN ALL UNITS AND REPLACE OVER TIME PER MANUFACTURER'S INSTRUCTIONS.
 - IF RESULTS ARE ABOVE 10 PPB, REPLACE ALL FIXTURES WITH NSF 61 CERTIFIED FIXTURES.

PLUMBING FIXTURES
 SANITARY FIXTURE UNITS: 610
 DOMESTIC WATER FIXTURE UNITS: 342

Fukui Architects Pc

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 Pittsburgh, Pennsylvania 15219
 ph 412.281.6001 fx 412.281.6002

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 ENGINEERING ENVIRONMENTS
 807 James Street
 Suite 301
 Pittsburgh, PA 15212
 Ph: 412.697.3590
 www.iamconsulting.com



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- revisions**
- project title**

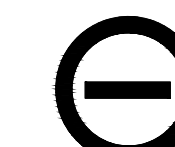
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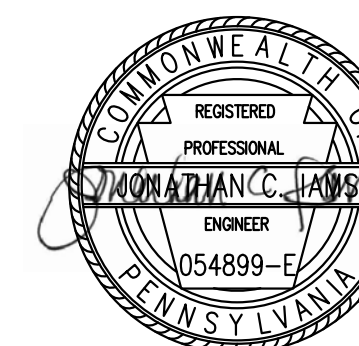
drawing title
LEGEND AND GENERAL NOTES

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date December 3rd, 2023	
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seal



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revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FIRST FLOOR PLUMBING
PLAN

scale
As Noted

date
December 3rd, 2023

no. of.
165 233

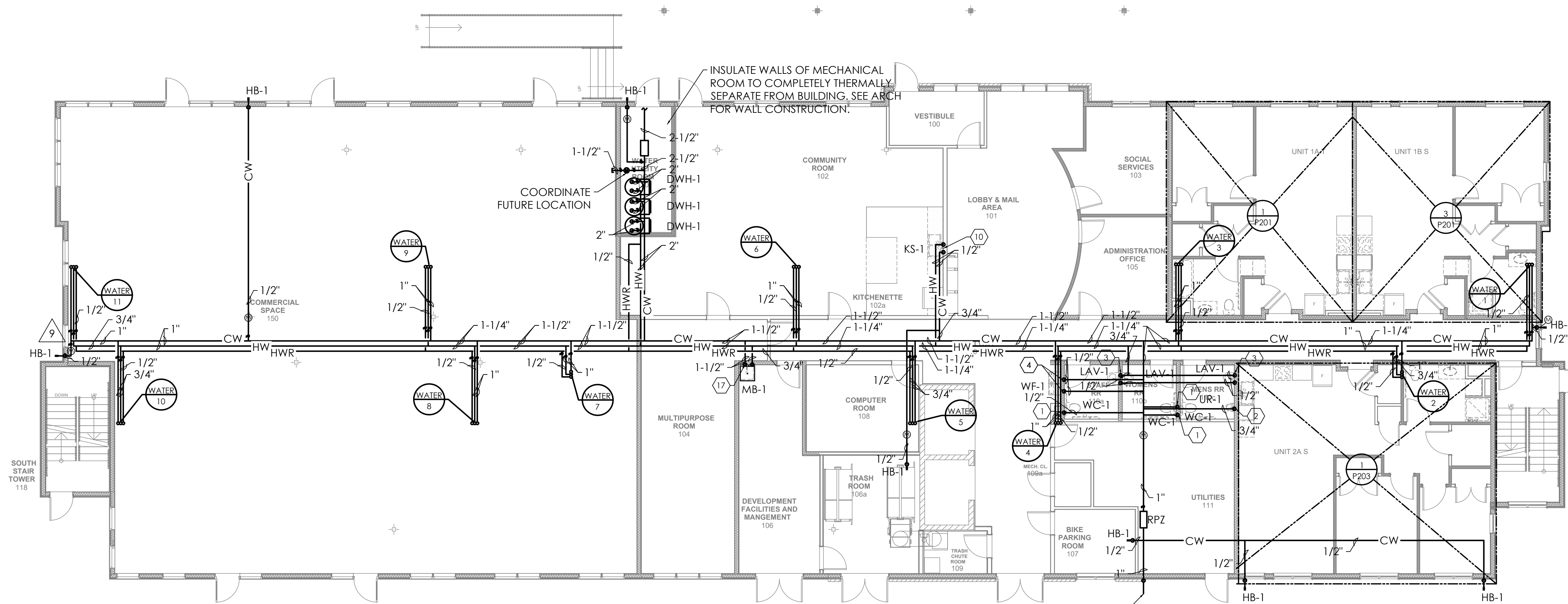
Sheet No.

P101

Project #2040

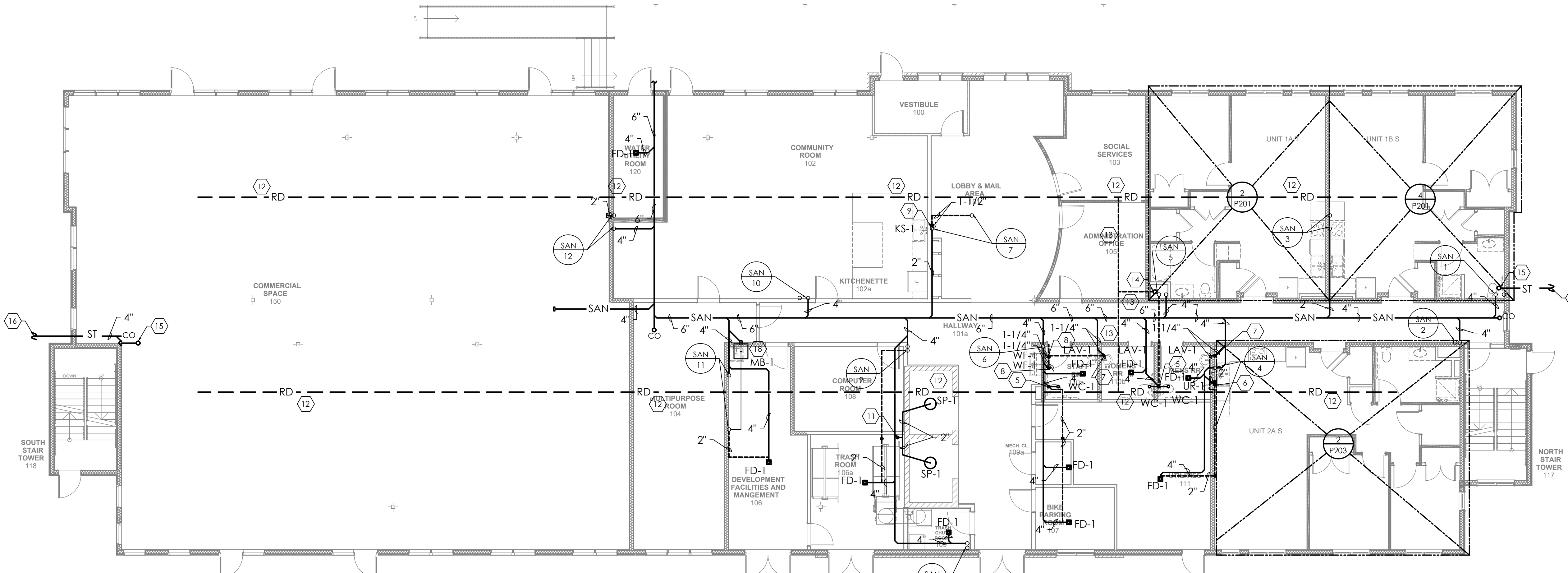
KEYED NOTES:

- 1/2" CW DOWN TO TOILET.
- 3/4" CW DOWN TO URINAL.
- 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
- 1/2" CW DOWN TO WATER FOUNTAIN.
- 2" VENT AND 4" SANITARY FROM TOILET.
- 1-1/2" VENT AND 2" SANITARY FROM URINAL.
- 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
- 1-1/4" VENT AND 1-1/4" SANITARY FROM WATER FOUNTAIN.
- 1-1/2" VENT AND 1-1/2" SANITARY FROM SINK. INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
- 1/2" CW AND 1/2" HW DOWN TO SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
- ELEVATOR SUMP PUMP WITH ALARM. ROUTE 2" PUMP DISCHARGE TO INDIRECT WASTE WITH 3" FLARE.
- 4" PERFORATED PVC RADON COLLECTION PIPE.
- 4" NON-PERFORATED PVC RADON COLLECTION PIPE.
- 6" RADON VENT PIPE UP THROUGH CHASE.
- 4" STORM DOWN.
- 4" STORM. SEE CONTINUATION ON CIVIL PLANS.
- 1/2" CW AND 1/2" HW DOWN TO MOP SINK.
- 2" VENT AND 4" SANITARY FROM MOP SINK.

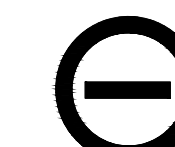


1 FIRST FLOOR WATER PLUMBING PLAN
P101 1/8"=1'-0"

1" COPPER PIPE BURIED 12" IN LANDSCAPE BED, STUB UP WITH FEMALE ADAPTOR 12" FROM BUILDING.

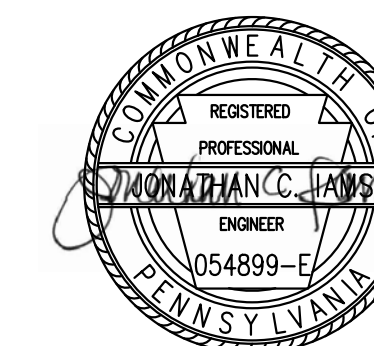


2 FIRST FLOOR SANITARY PLUMBING PLAN
P101 1/8"=1'-0"



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seal



general notes

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Pittsburgh, PA 15219

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Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

**SECOND FLOOR
PLUMBING PLAN**

scale
As Noted

date
December 3rd, 2023

no. **166** of. **233**

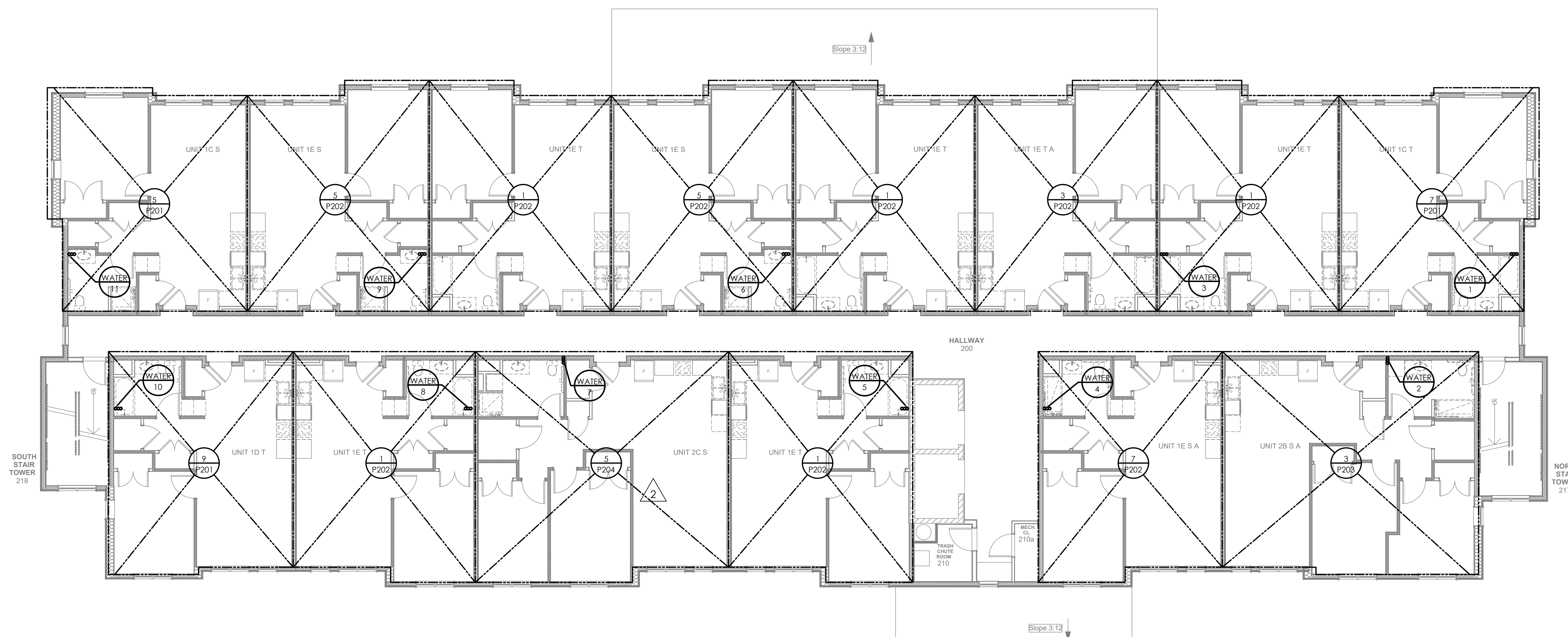
Sheet No.

P102

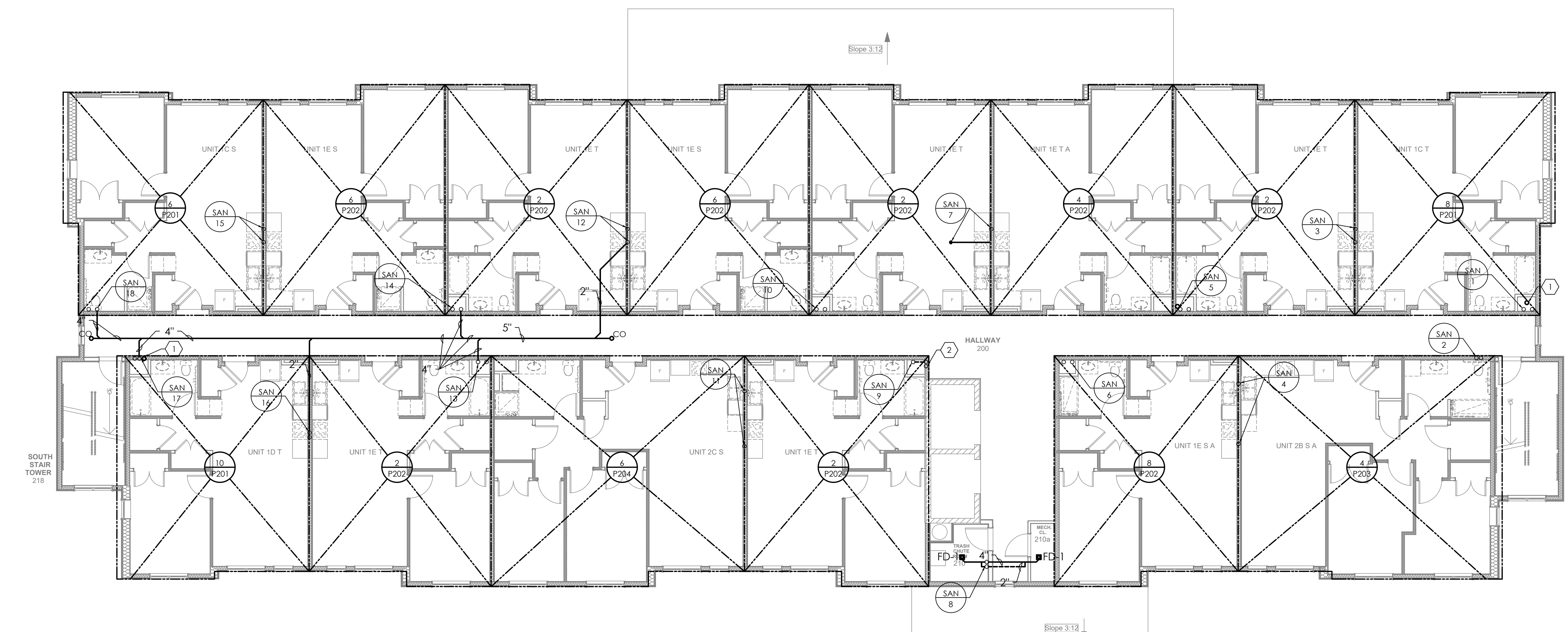
Project #2040

KEYED NOTES:

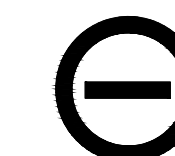
- 4" STORM DOW
- 6" RADON VENT PIPE UP THROUGH CHASE.



1 SECOND FLOOR WATER PLUMBING PLAN
P102 1/8"=1'-0"

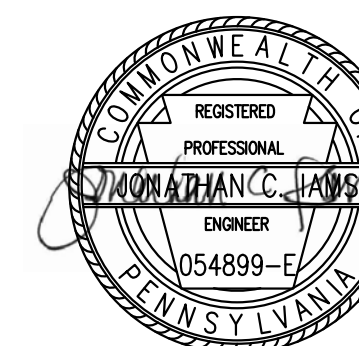


2 SECOND FLOOR SANITARY PLUMBING PLAN
P102 1/8"=1'-0"



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Project Location:

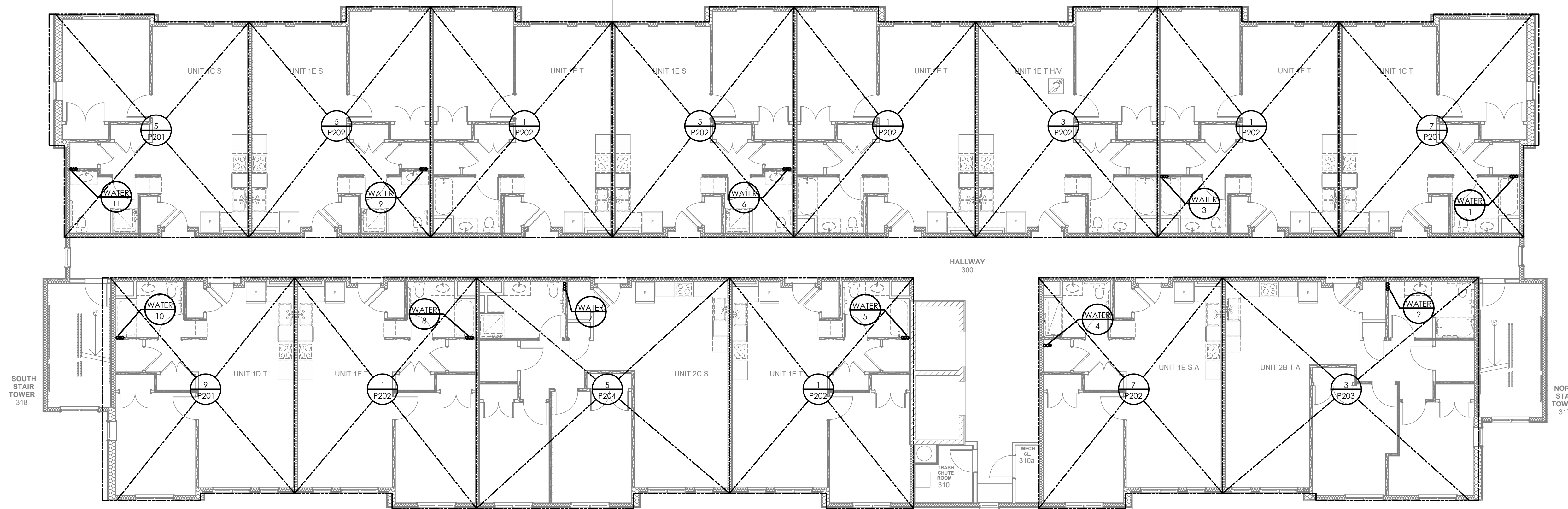
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

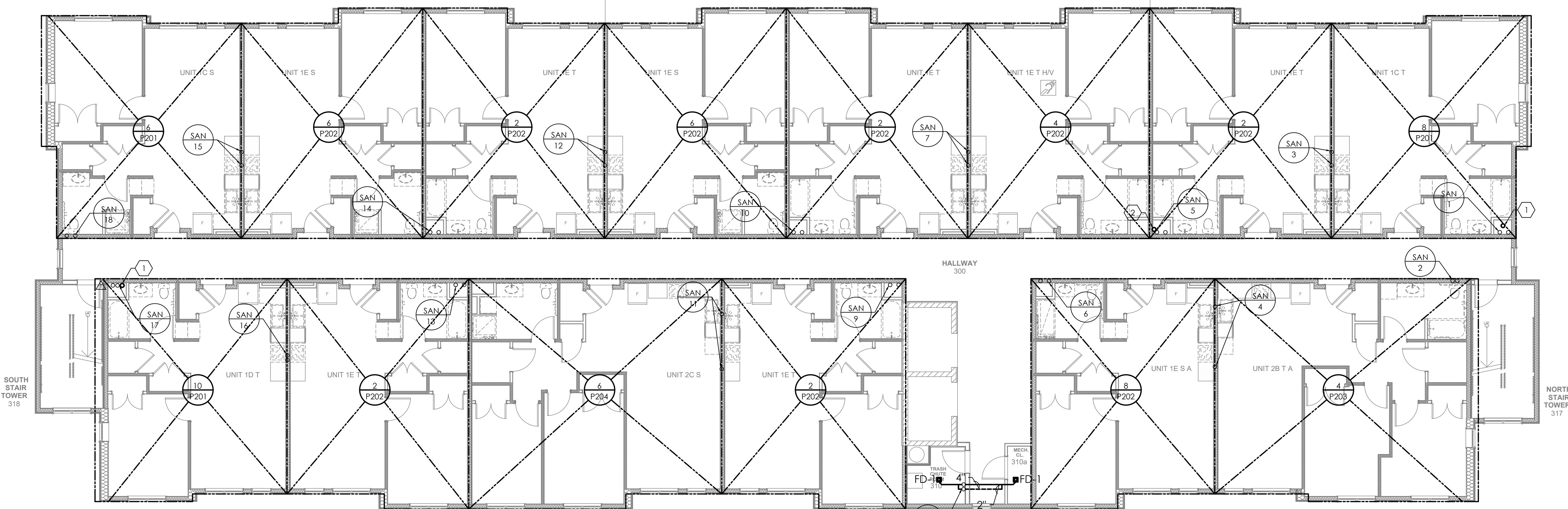
THIRD FLOOR PLUMBING
PLAN

KEYED NOTES:

- 4" STORM DOWN
- 6" RADON VENT PIPE UP THROUGH CHASE.



1 THIRD FLOOR WATER PLUMBING PLAN
P103 1/8"=1'-0"



2 THIRD FLOOR SANITARY PLUMBING PLAN
P103 1/8"=1'-0"

scale
As Noted

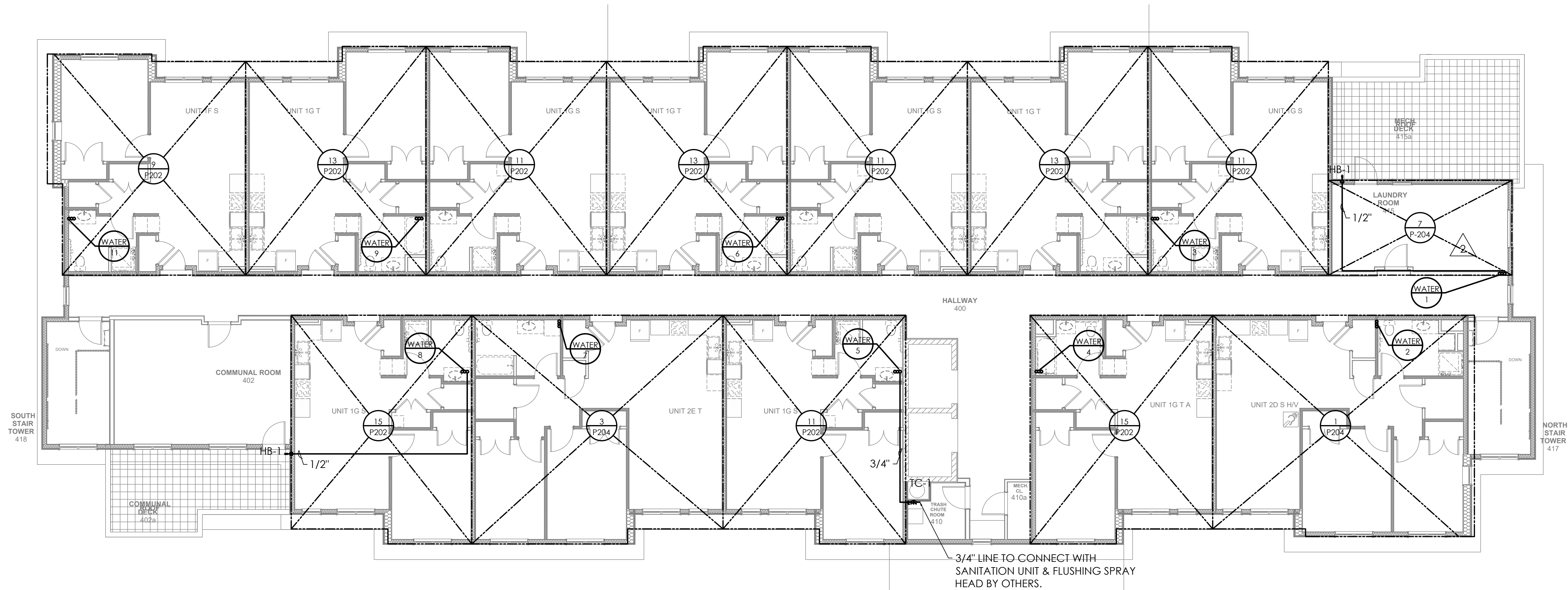
date
December 3rd, 2023

no. **167** of. **233**

Sheet No.

P103

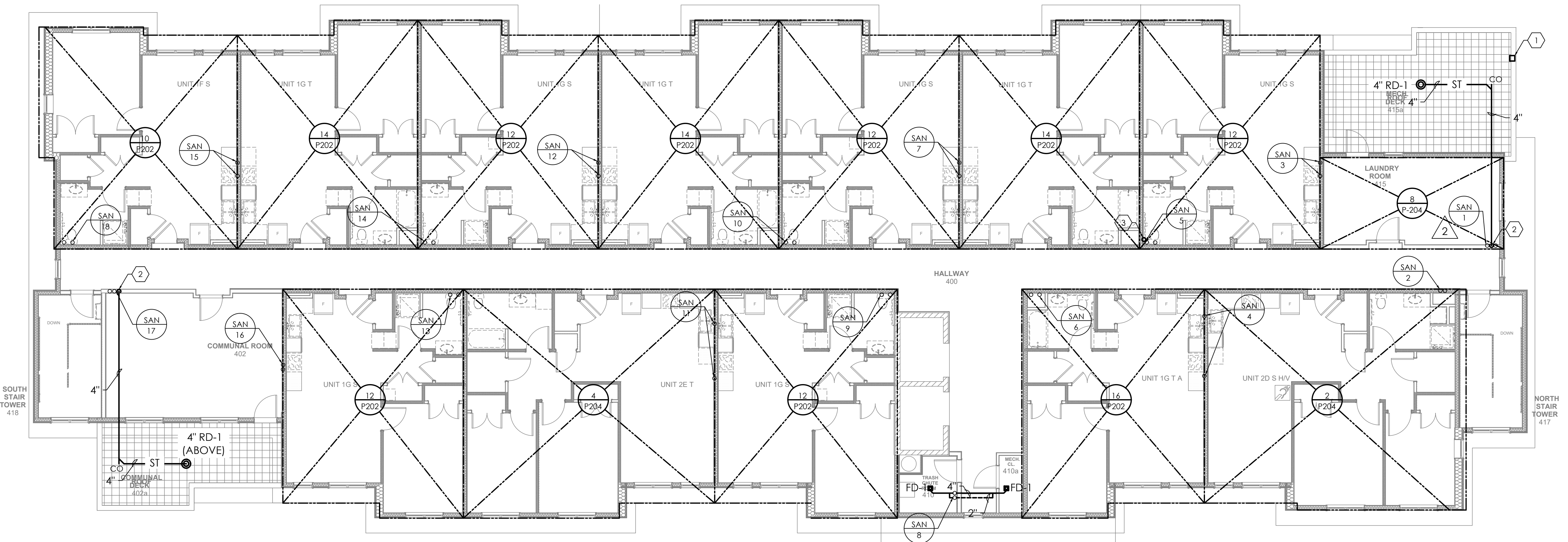
Project #2040



KEYED NOTES:

- 1. 4" SCUPPER BY ARCHITECT. COORDINATE WITH ARCHITECTURAL ELEVATIONS.
- 2. 4" STORM DOWN
- 3. 6" RADON VENT PIPE UP THROUGH CHASE.

1
P104 1/8"=1'-0"
FOURTH FLOOR WATER PLUMBING PLAN



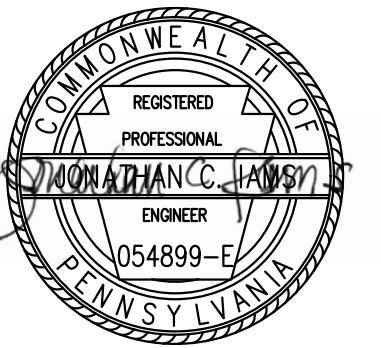
2
P104 1/8"=1'-0"
FOURTH FLOOR SANITARY PLUMBING PLAN

Fukui Architects Pc

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revisions

project title

Owner:
HACP
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Pittsburgh, PA, 15219

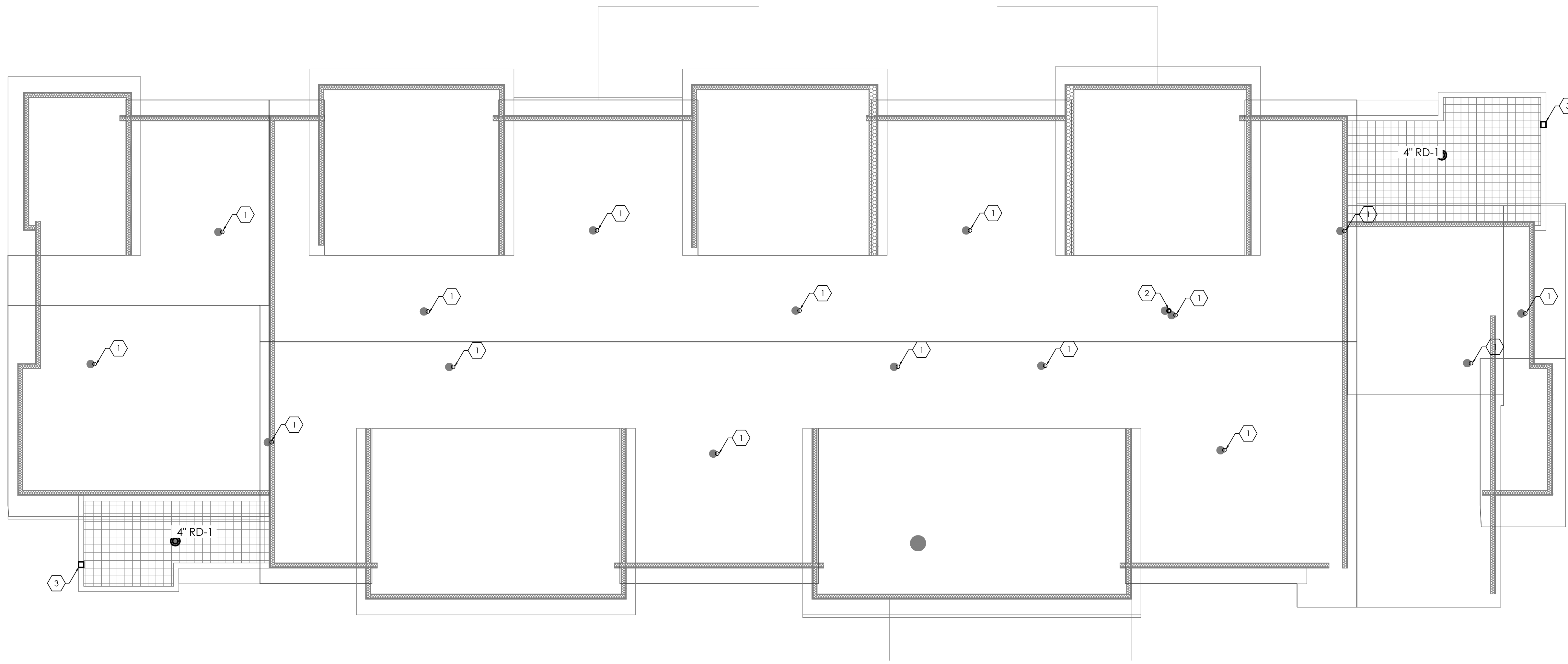
Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FOURTH FLOOR PLUMBING PLAN

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	168	P104
of.	233	
		Project #2040



1
P105
1/8"=1'-0"

ROOF SANITARY VENT PLAN

KEYED NOTES:

- 1. VENT PENETRATION. SEE SANITARY RISERS FOR PIPE SIZES.
- 2. 6" RADON VENT STACK TO EXTEND AT LEAST 12" ABOVE ROOF SURFACE.
- 3. 4" SCUPPER BY ARCHITECT. COORDINATE WITH ARCHITECTURAL ELEVATIONS.

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revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

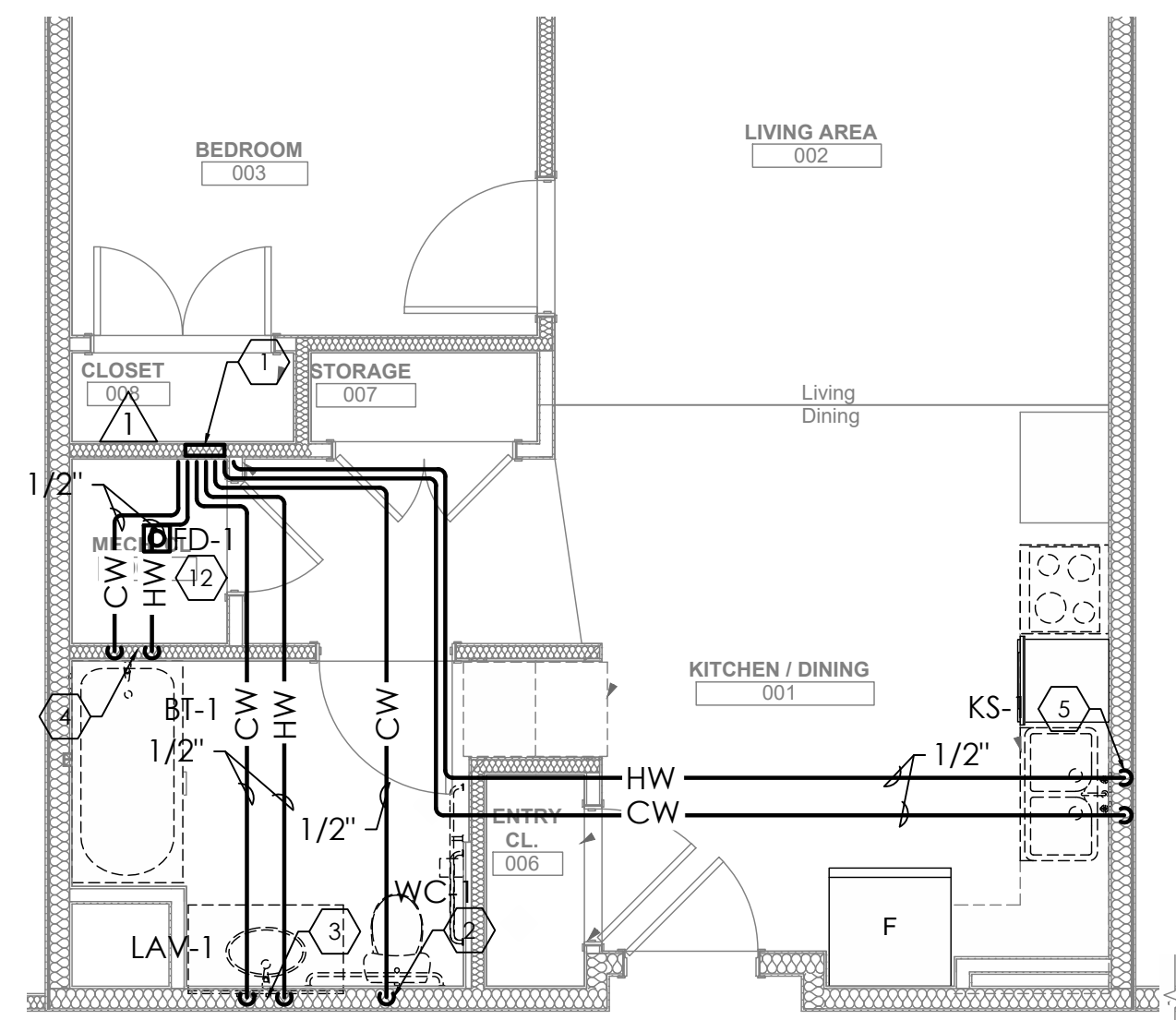
Client:
 Allies & Ross Management and
 Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

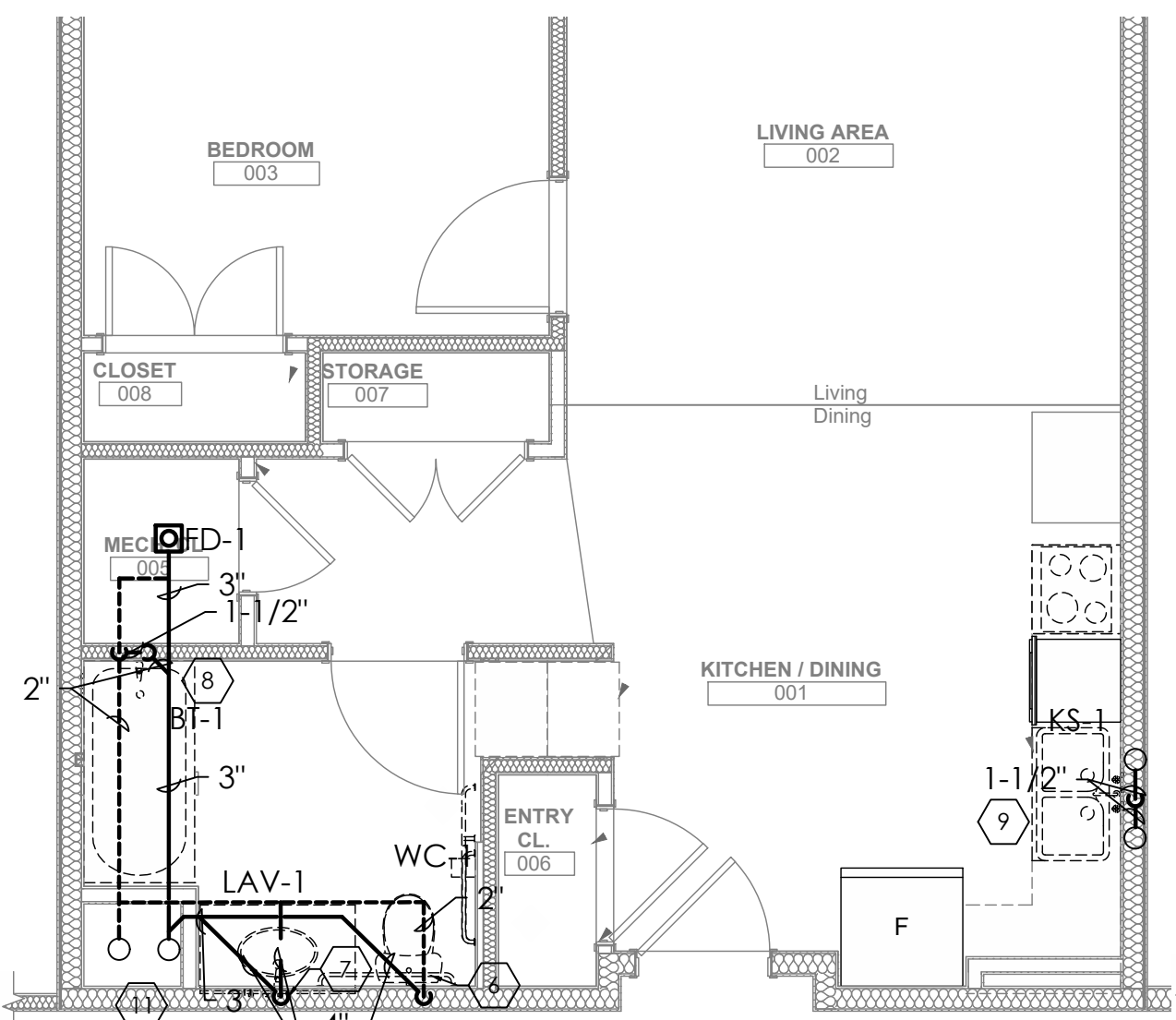
drawing title

ROOF VENT PENETRATION PLAN

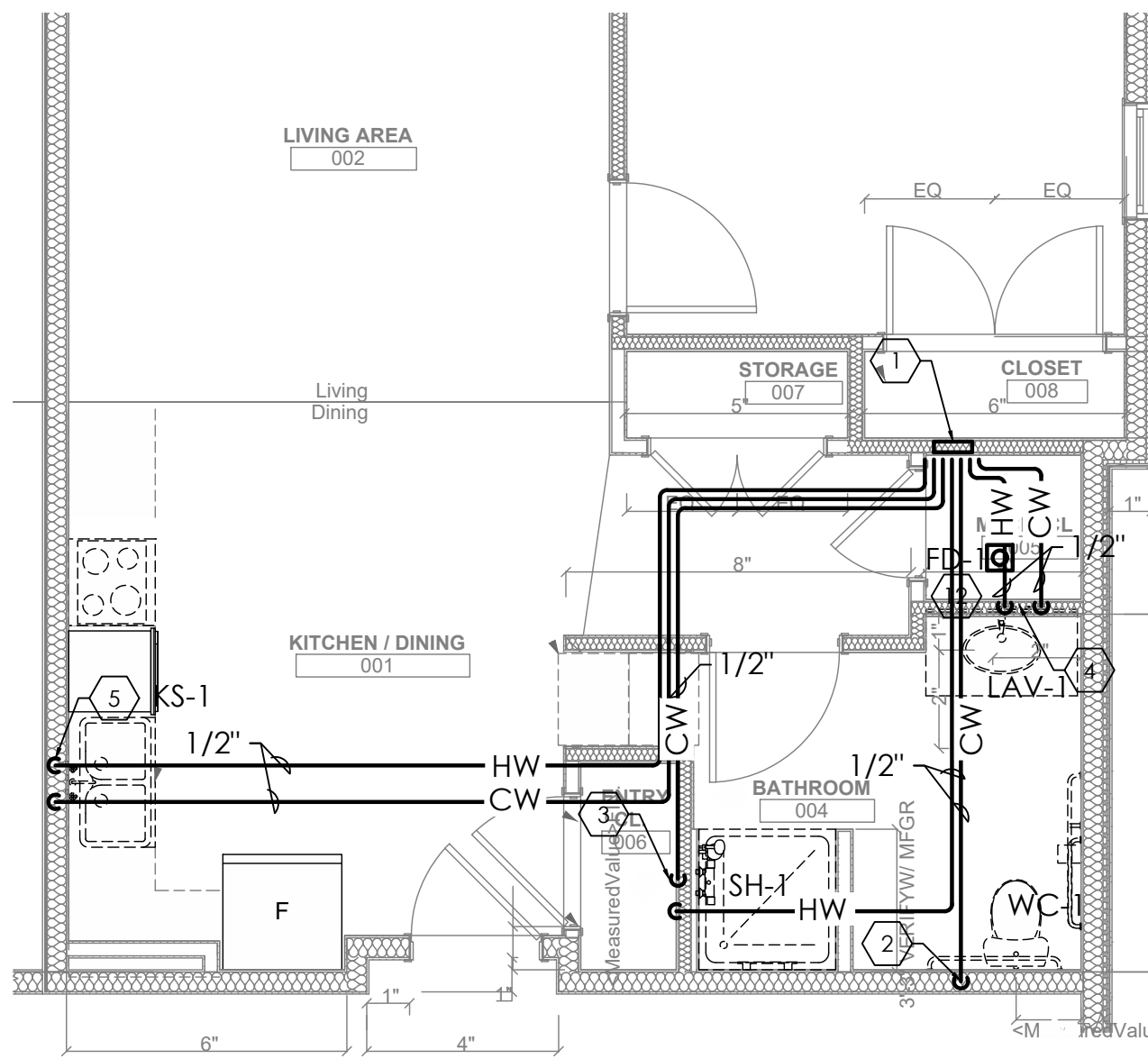
scale As Noted	Sheet No. P105 Project #2040
date December 3rd, 2023	
no. 169	of. 233



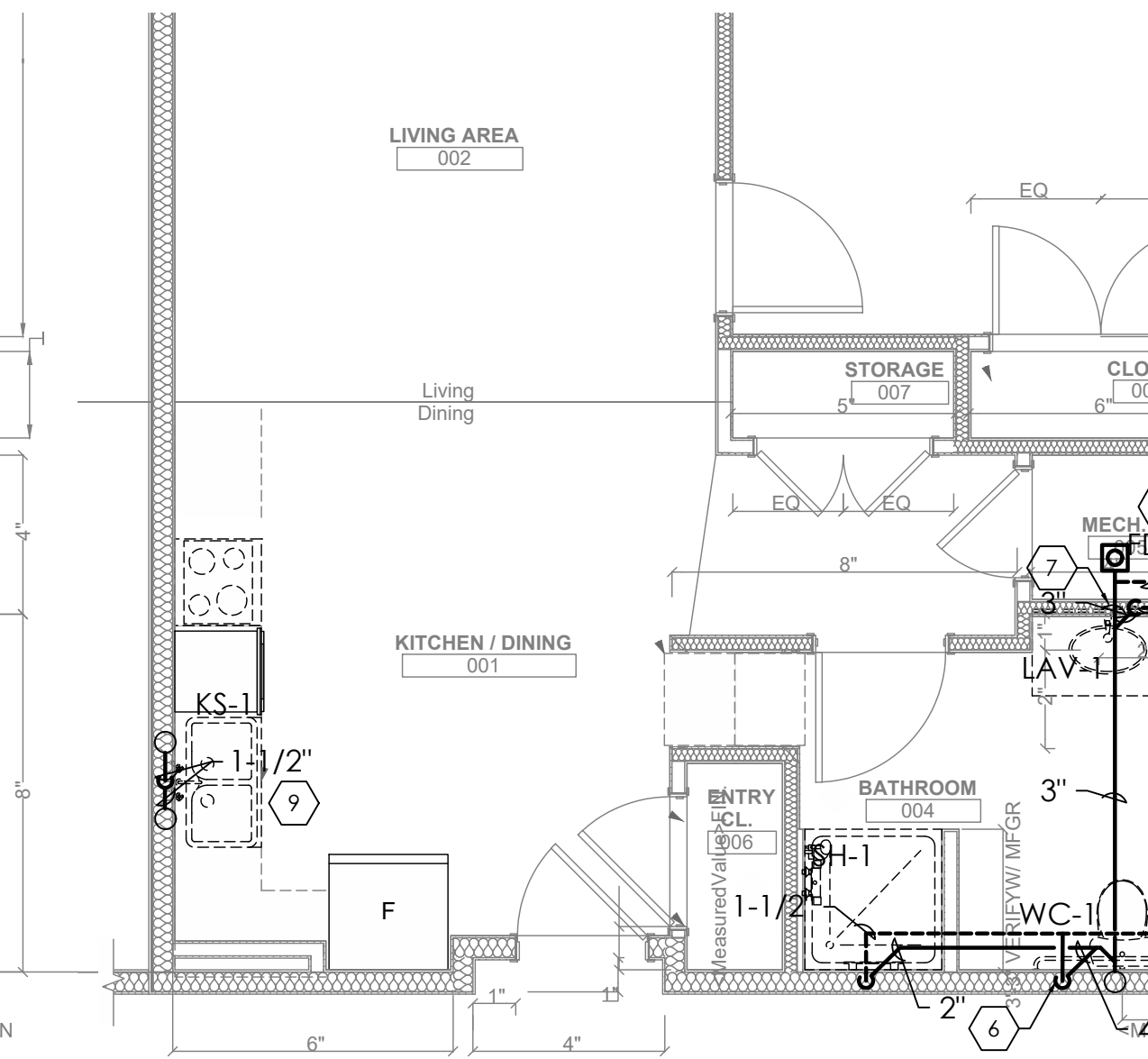
1 UNIT 1A T WATER PLUMBING PLAN
P201 1/4"=1'-0"



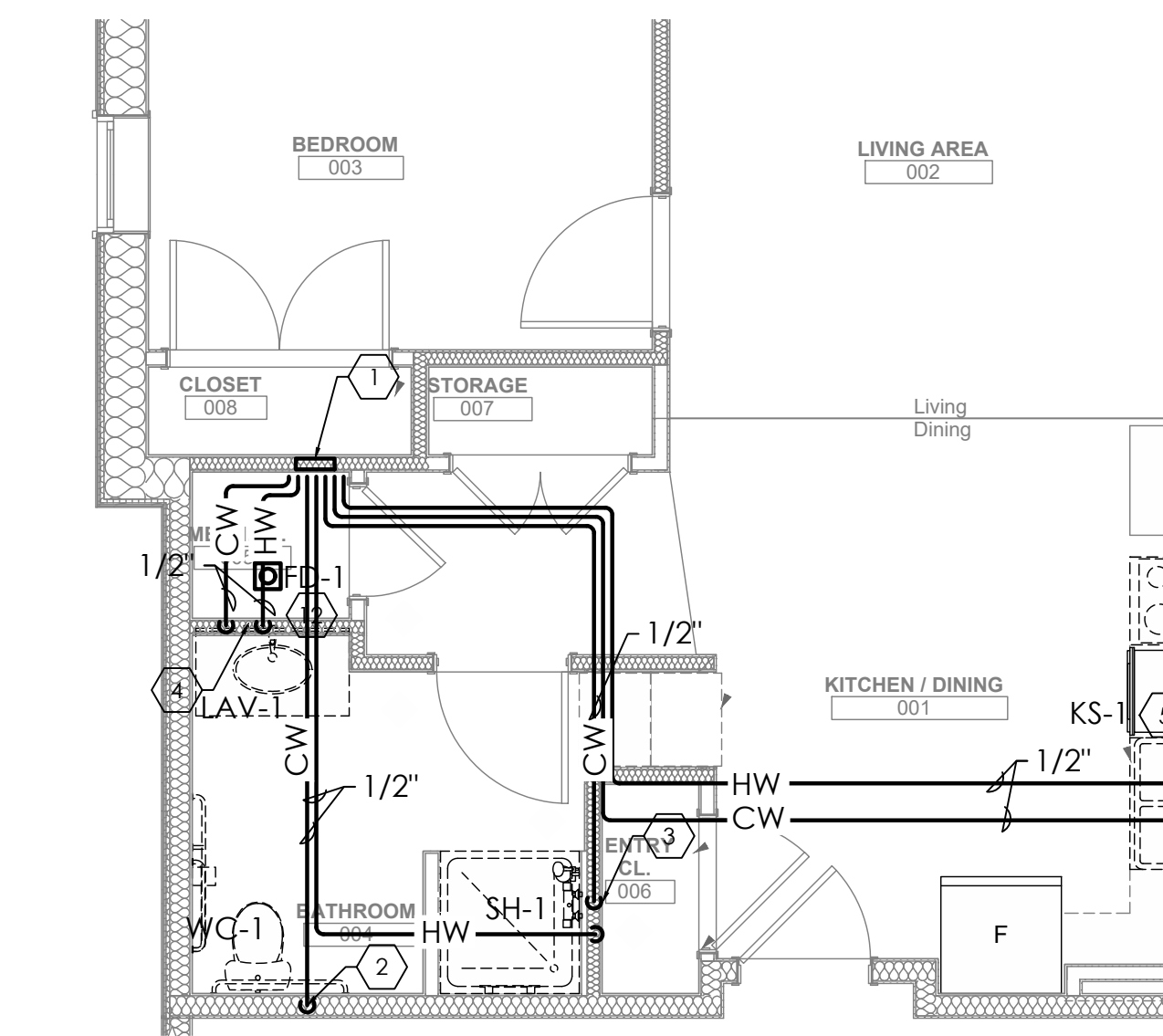
2 UNIT 1A T SANITARY PLUMBING PLAN
P201 1/4"=1'-0"



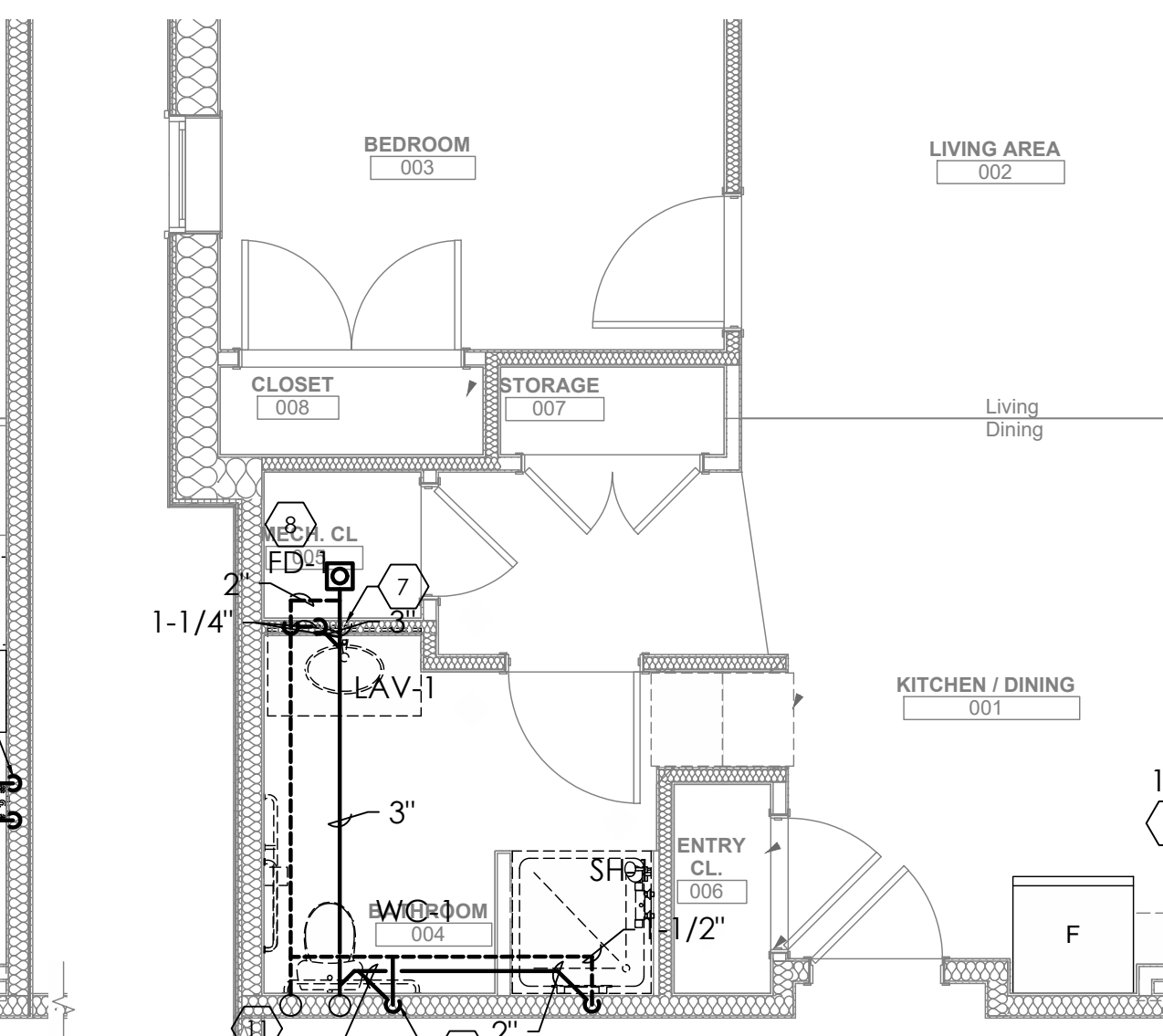
3 UNIT 1B WATER PLUMBING PLAN
P201 1/4"=1'-0"



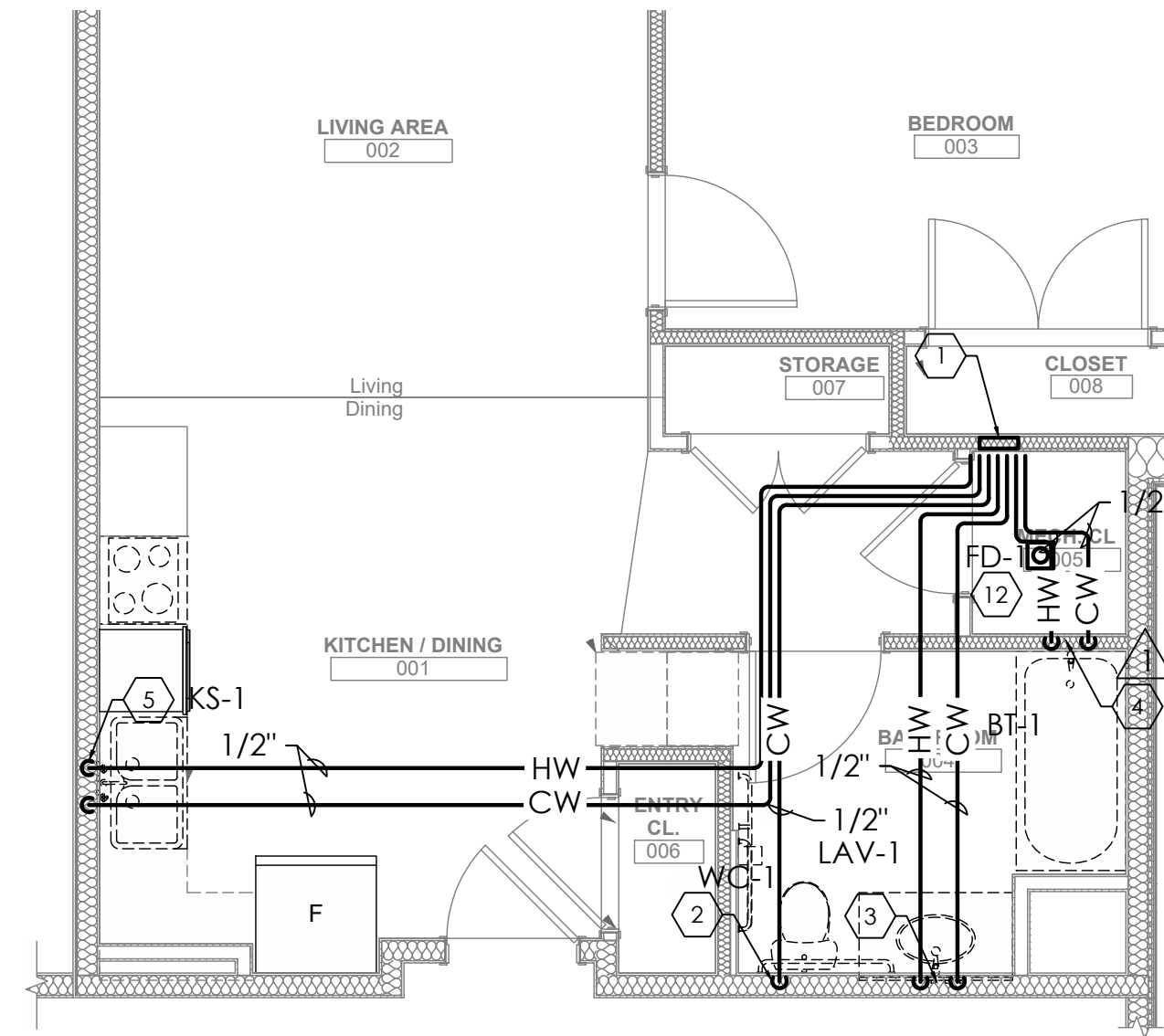
4 UNIT 1B SANITARY PLUMBING PLAN
P201 1/4"=1'-0"



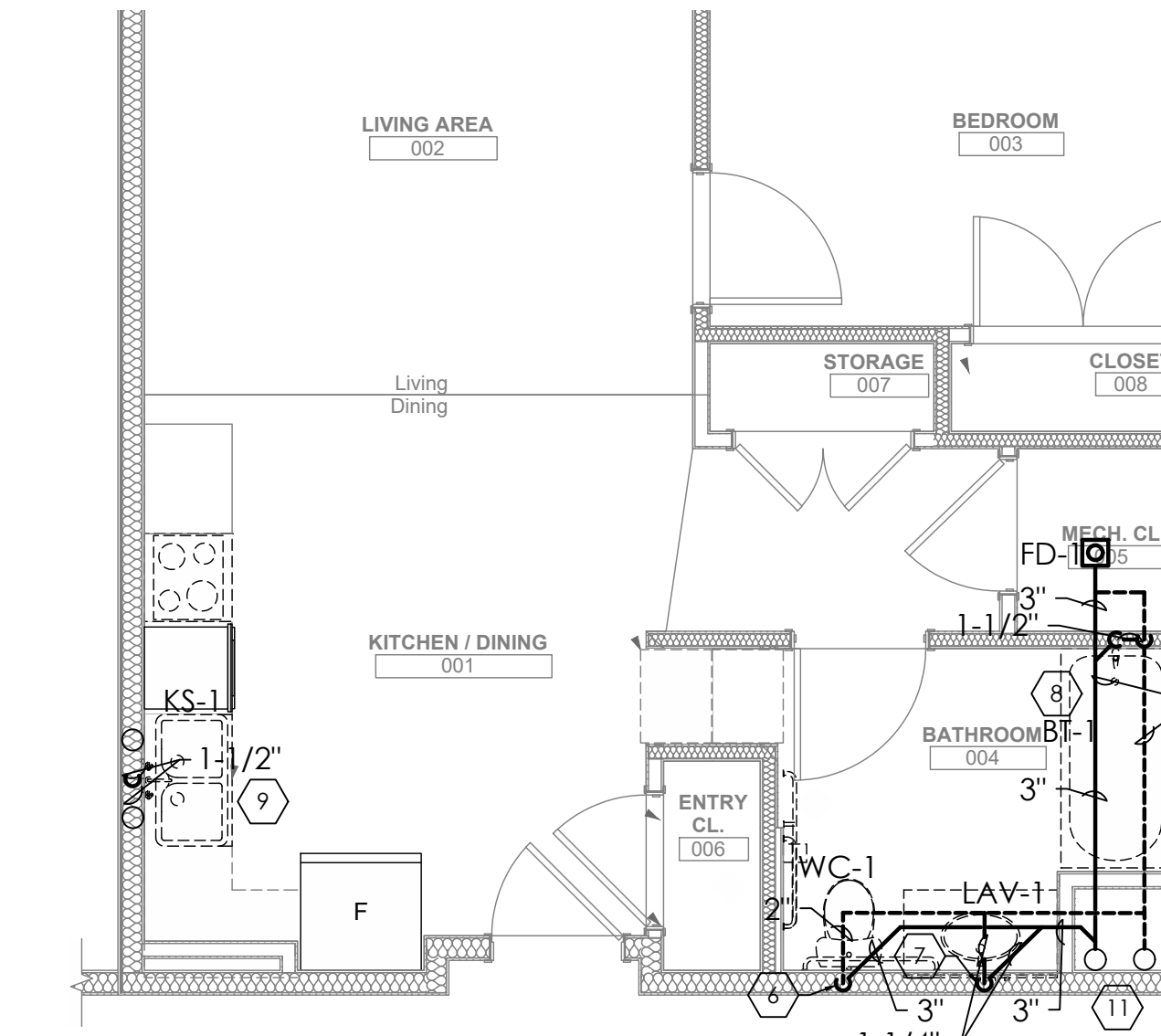
5 UNIT 1C S WATER PLUMBING PLAN
P201 1/4"=1'-0"



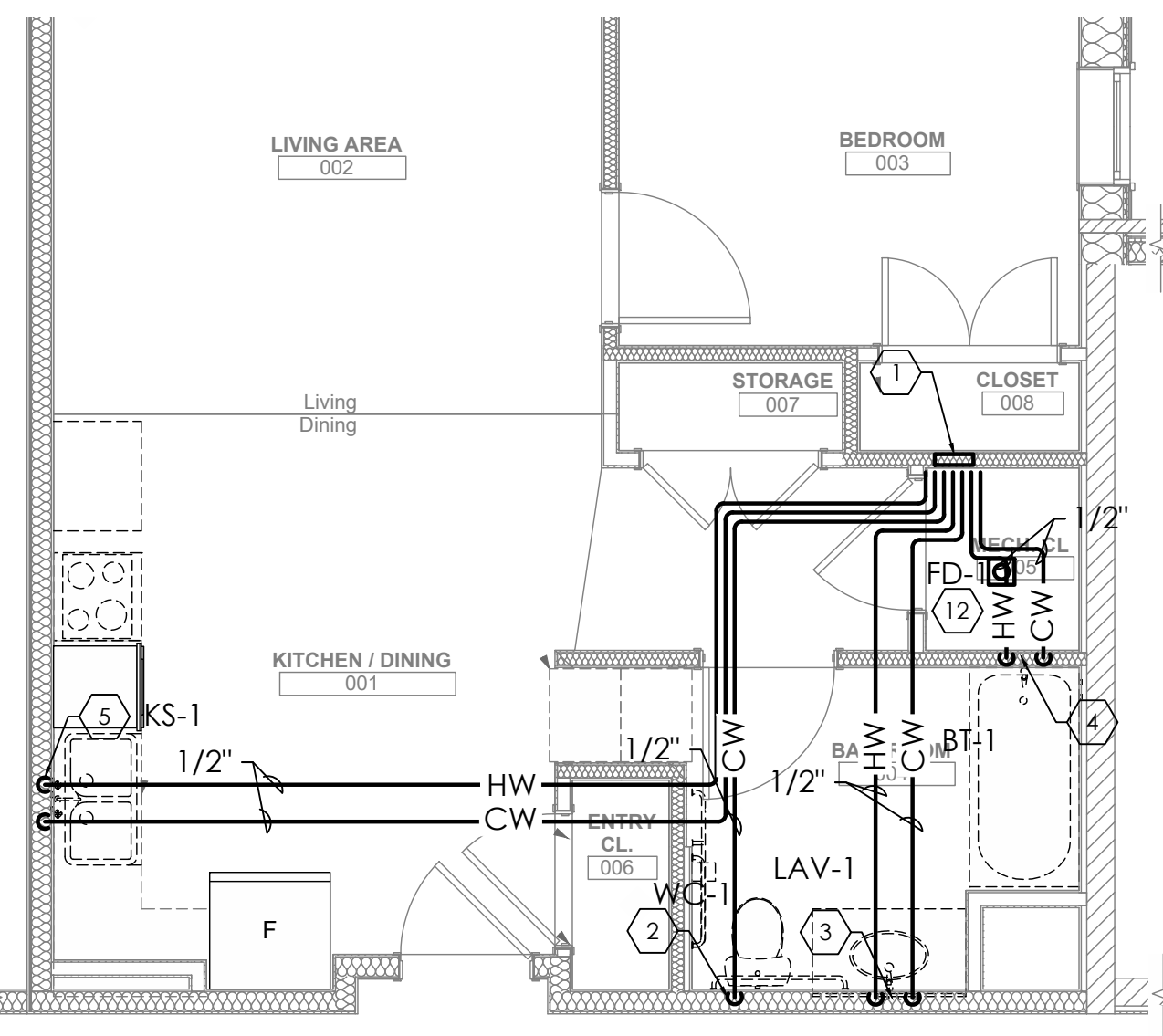
6 UNIT 1C S SANITARY PLUMBING PLAN
P201 1/4"=1'-0"



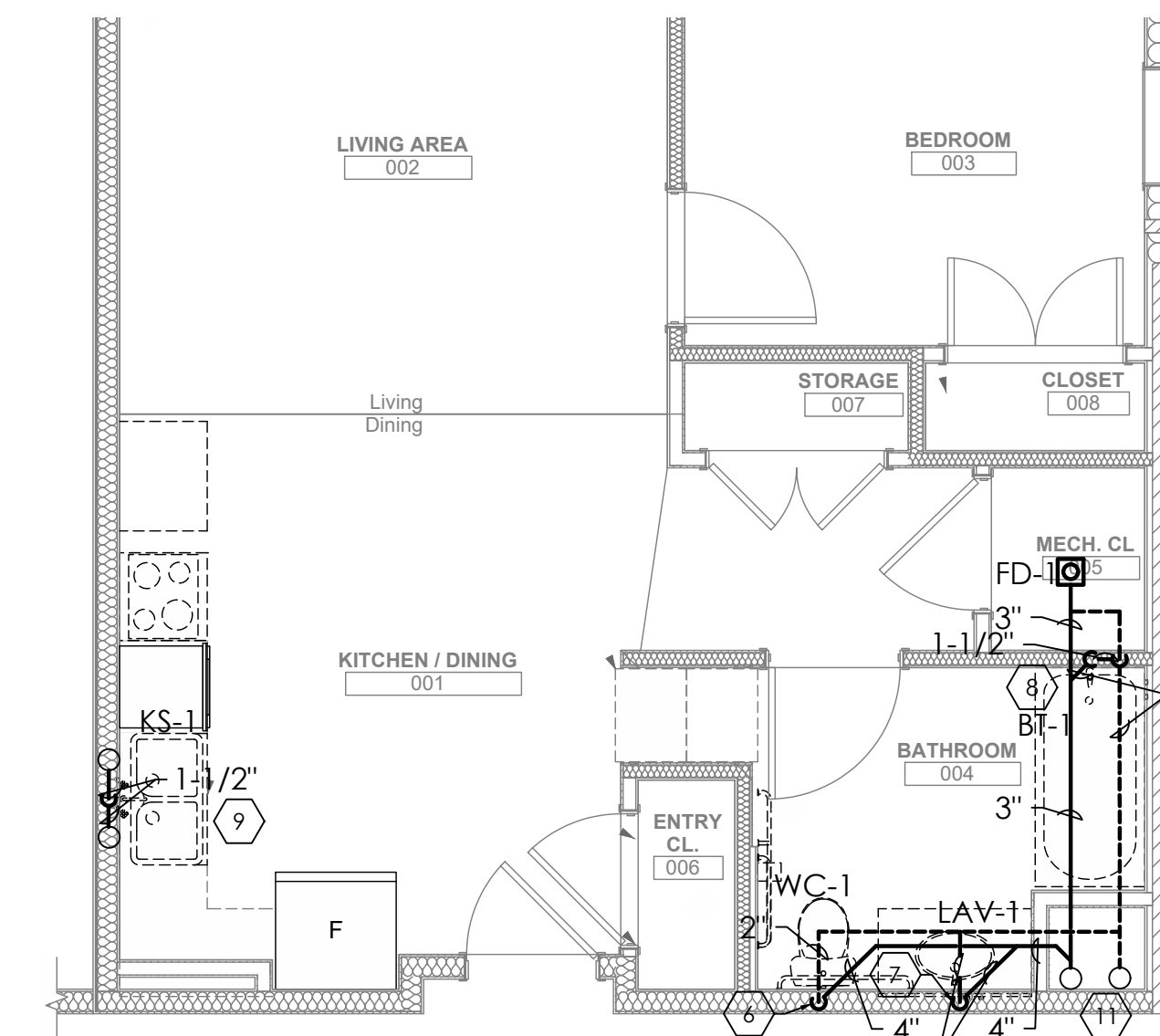
7 UNIT 1C B WATER PLUMBING PLAN
P201 1/4"=1'-0"



8 UNIT 1C B SANITARY PLUMBING PLAN
P201 1/4"=1'-0"



9 UNIT 1D WATER PLUMBING PLAN
P201 1/4"=1'-0"



10 UNIT 1D SANITARY PLUMBING PLAN
P201 1/4"=1'-0"

KEYED NOTES:

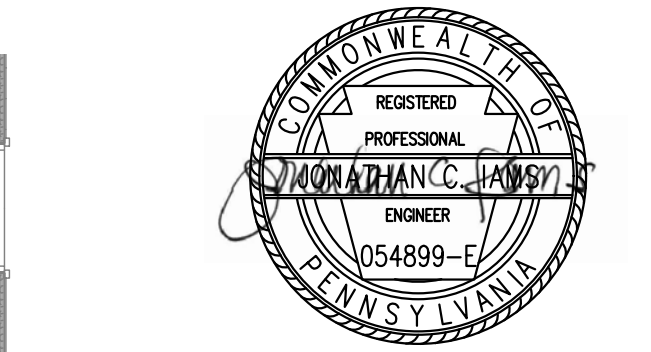
1. PEX MANIFOLD CONNECTION FOR CW AND HW.
2. 1/2" CW DOWN TO TOILET.
3. 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
4. 1/2" CW AND 1/2" HW DOWN TO BATH TUB.
5. 1/2" CW AND 1/2" HW DOWN TO KITCHEN SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
6. 2" VENT AND 3" SANITARY FROM TOILET.
7. 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
8. 4" VENT AND 4" SANITARY STACK. BATH TUB VENT AND SANITARY CONNECTED TO STACK.
9. 1-1/2" VENT AND 1-1/2" SANITARY FROM KITCHEN SINK. INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
10. 1/2" CW AND 1/2" HW DOWN TO WASHER.
11. 1-1/2" VENT AND 1-1/2" SANITARY FROM WASHER.
12. PROVIDE PRECISION PLUMBING PRODUCTS SINGLE TRAP PRIMER AT FLOOR DRAIN FROM LAV.

Fukui Architects Pc

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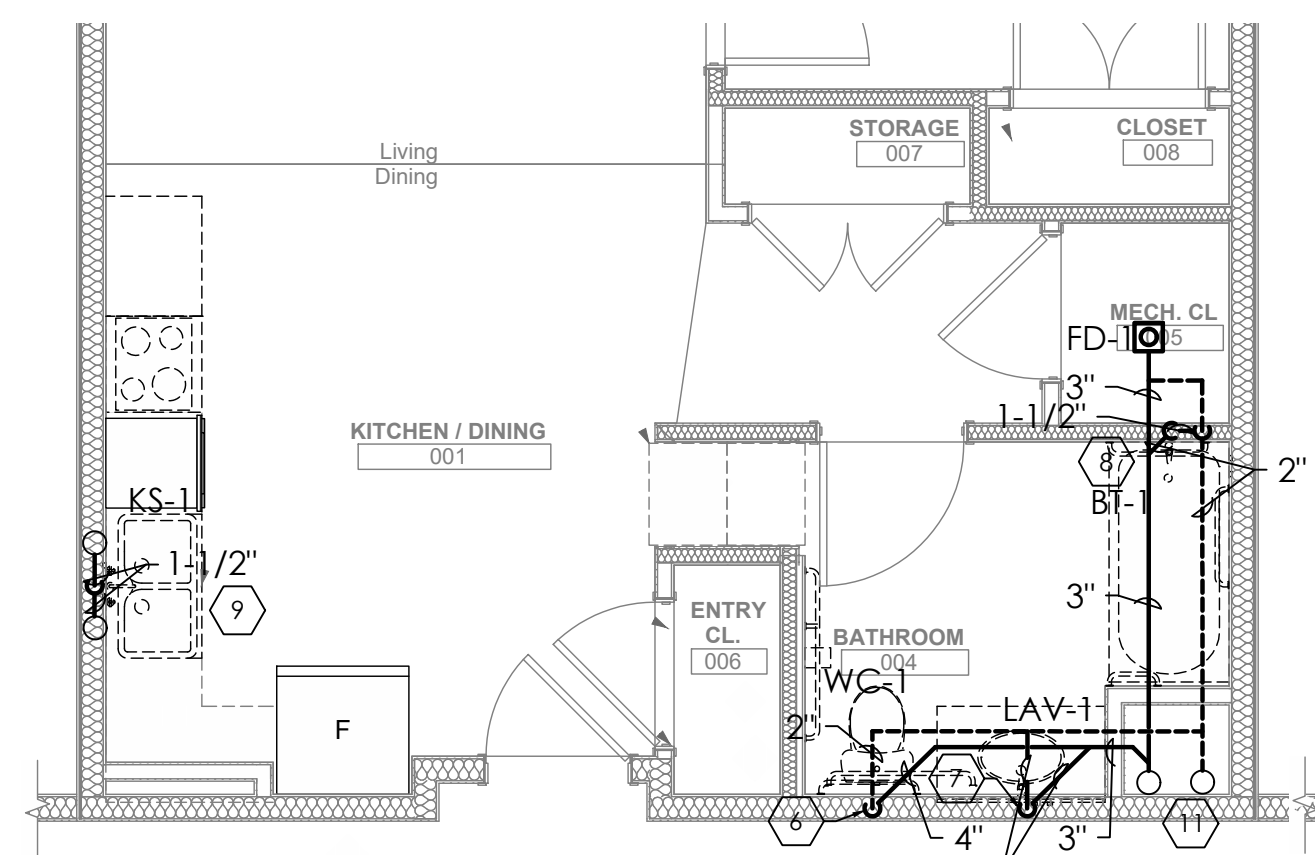
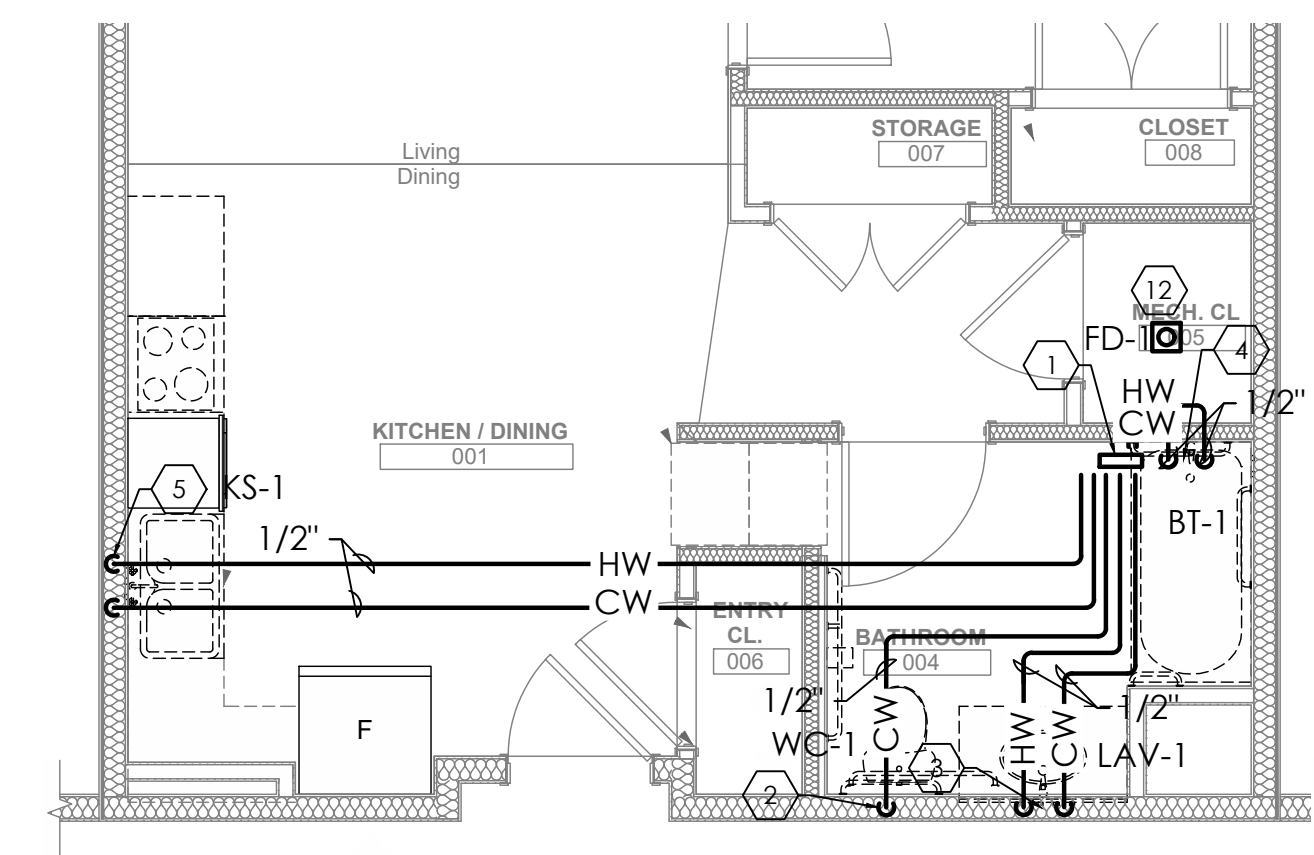
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title
ENLARGED PLUMBING PLAN

scale As Noted	Sheet No. P201 Project #2040
date December 3rd, 2023	
no. 170	of. 233

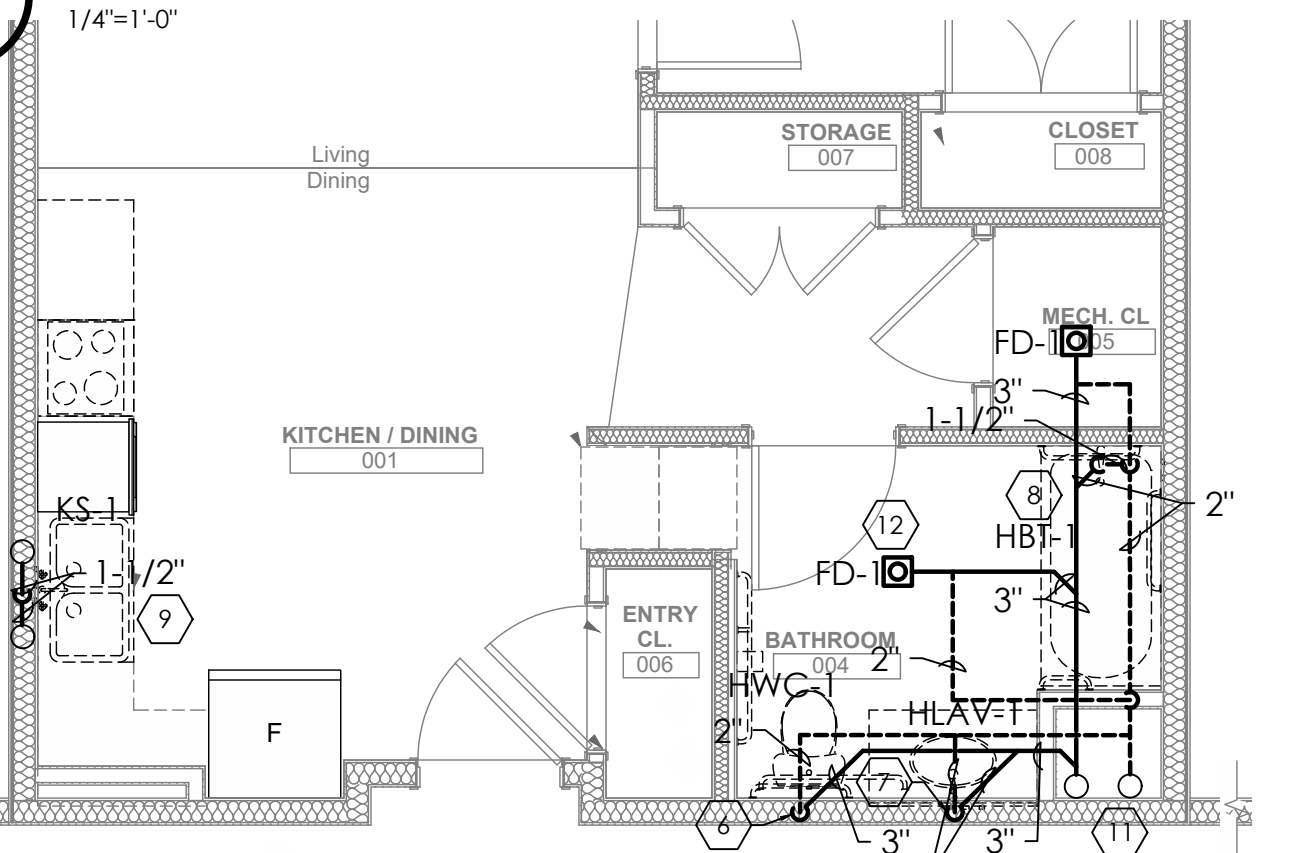
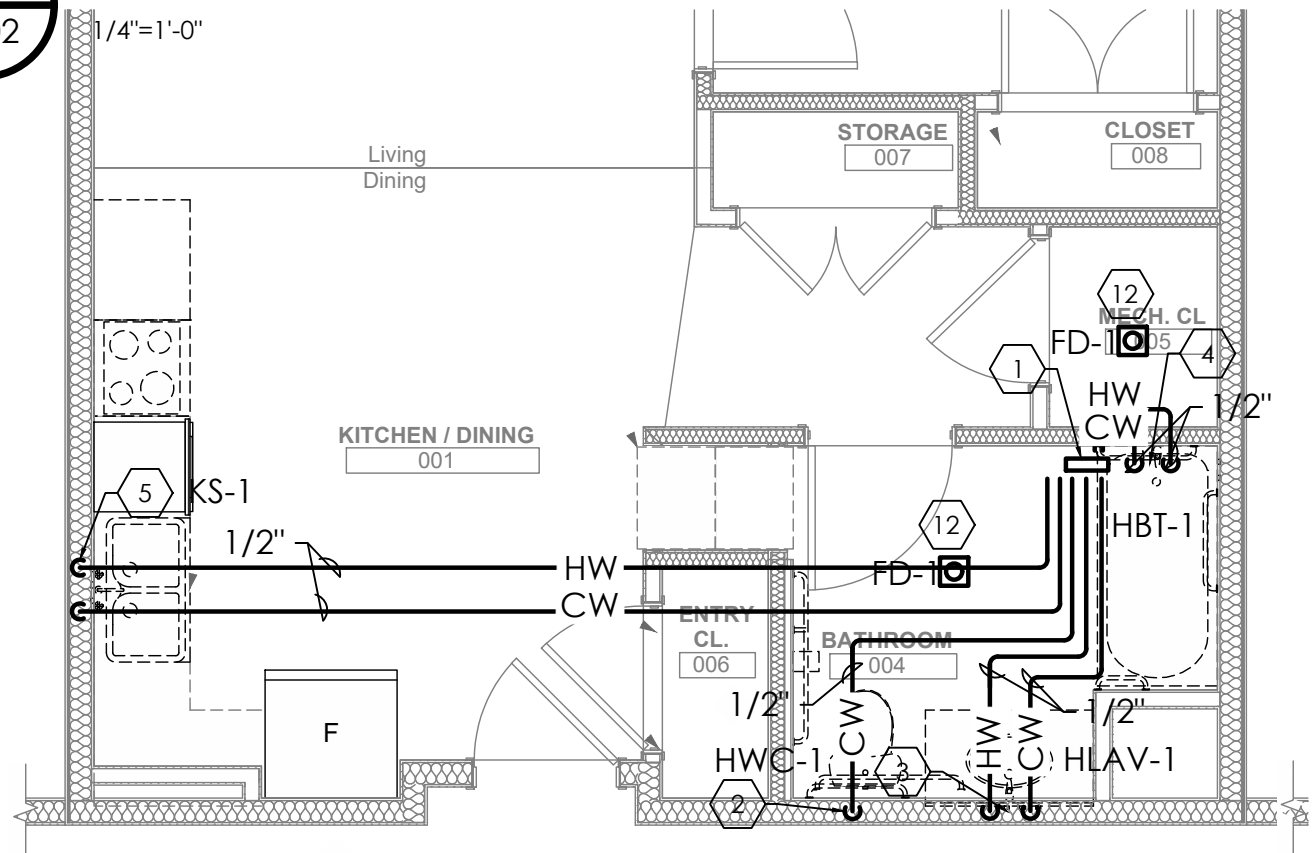
KEYED NOTES:

- 1. PEX MANIFOLD CONNECTION FOR CW AND HW.
- 2. 1/2" CW DOWN TO TOILET.
- 3. 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
- 4. 1/2" CW AND 1/2" HW DOWN TO BATH TUB.
- 5. 1/2" CW AND 1/2" HW DOWN TO KITCHEN SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
- 6. 2" VENT AND 3" SANITARY FROM TOILET.
- 7. 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
- 8. 1-1/2" VENT AND 1-1/2" SANITARY FROM BATH TUB/SHOWER.
- 9. 1-1/2" VENT AND 1-1/2" SANITARY FROM KITCHEN SINK. INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
- 10. 1/2" CW AND 1/2" HW DOWN TO WASHER.
- 11. 4" VENT 4" SANITARY STACK.
- 12. PROVIDE PRECISION PLUMBING PRODUCTS SINGLE TRAP PRIMER AT FLOOR DRAIN FROM LAV.



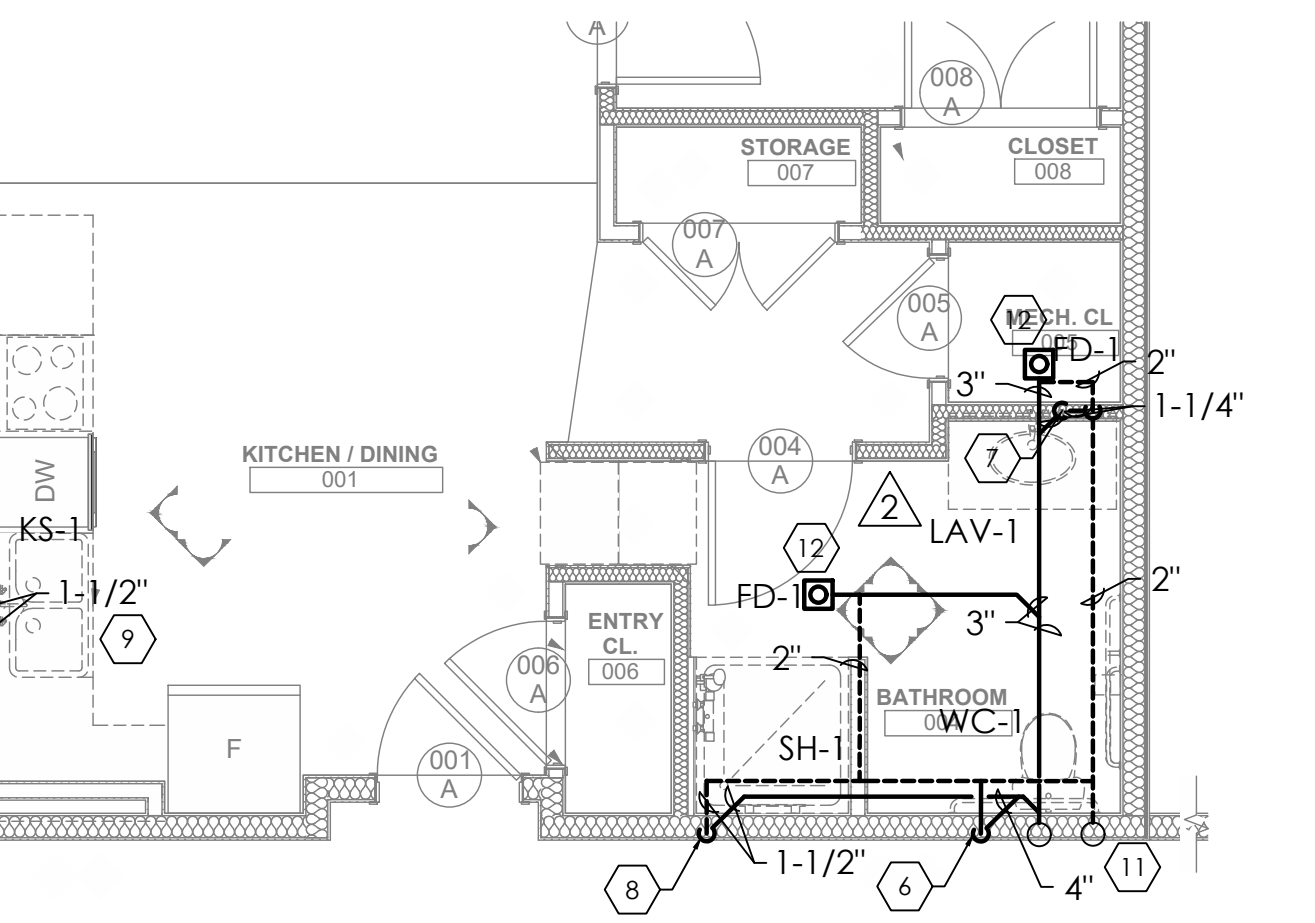
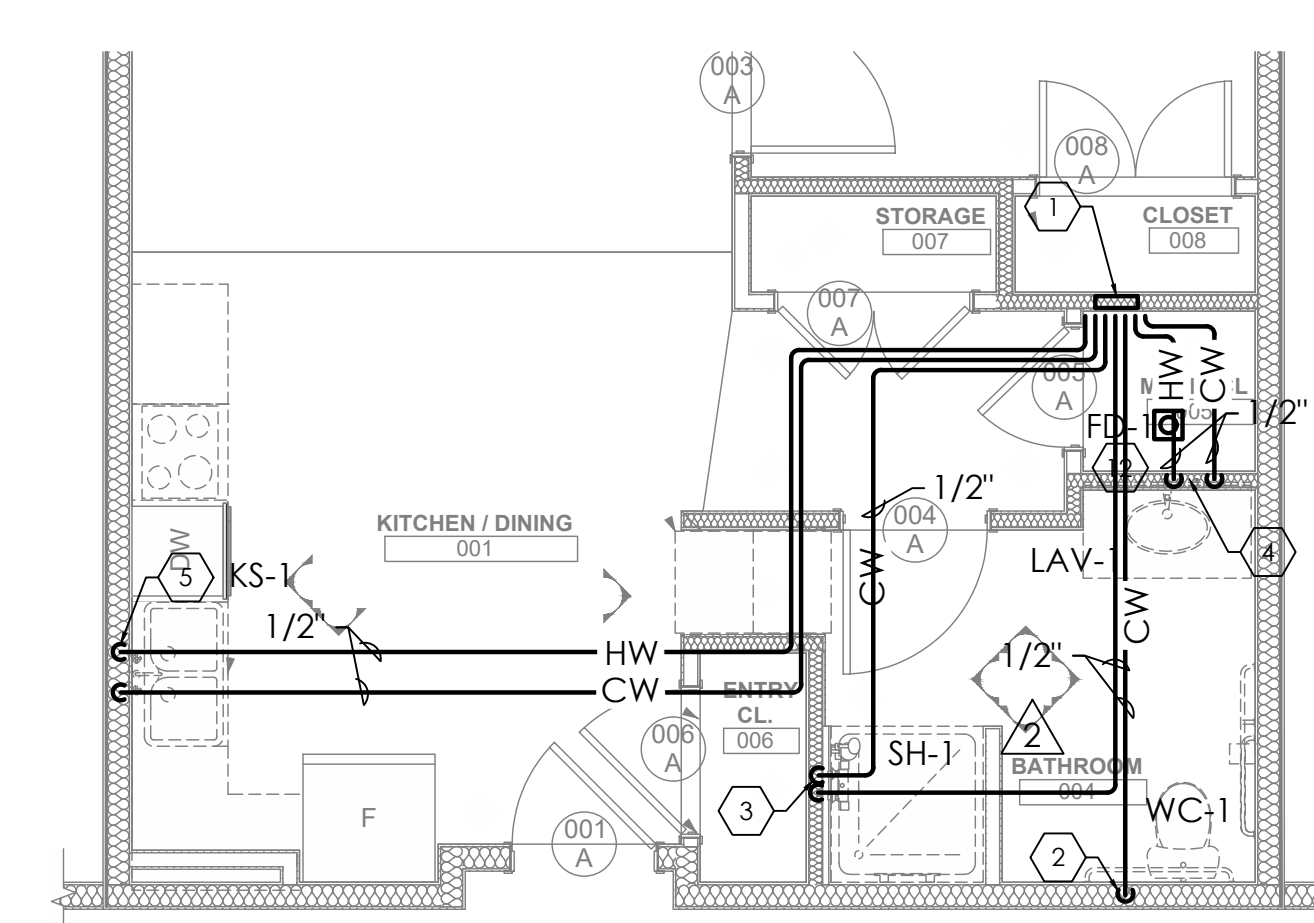
1 UNIT 1E T WATER PLUMBING PLAN

2 UNIT 1E T SANITARY PLUMBING PLAN



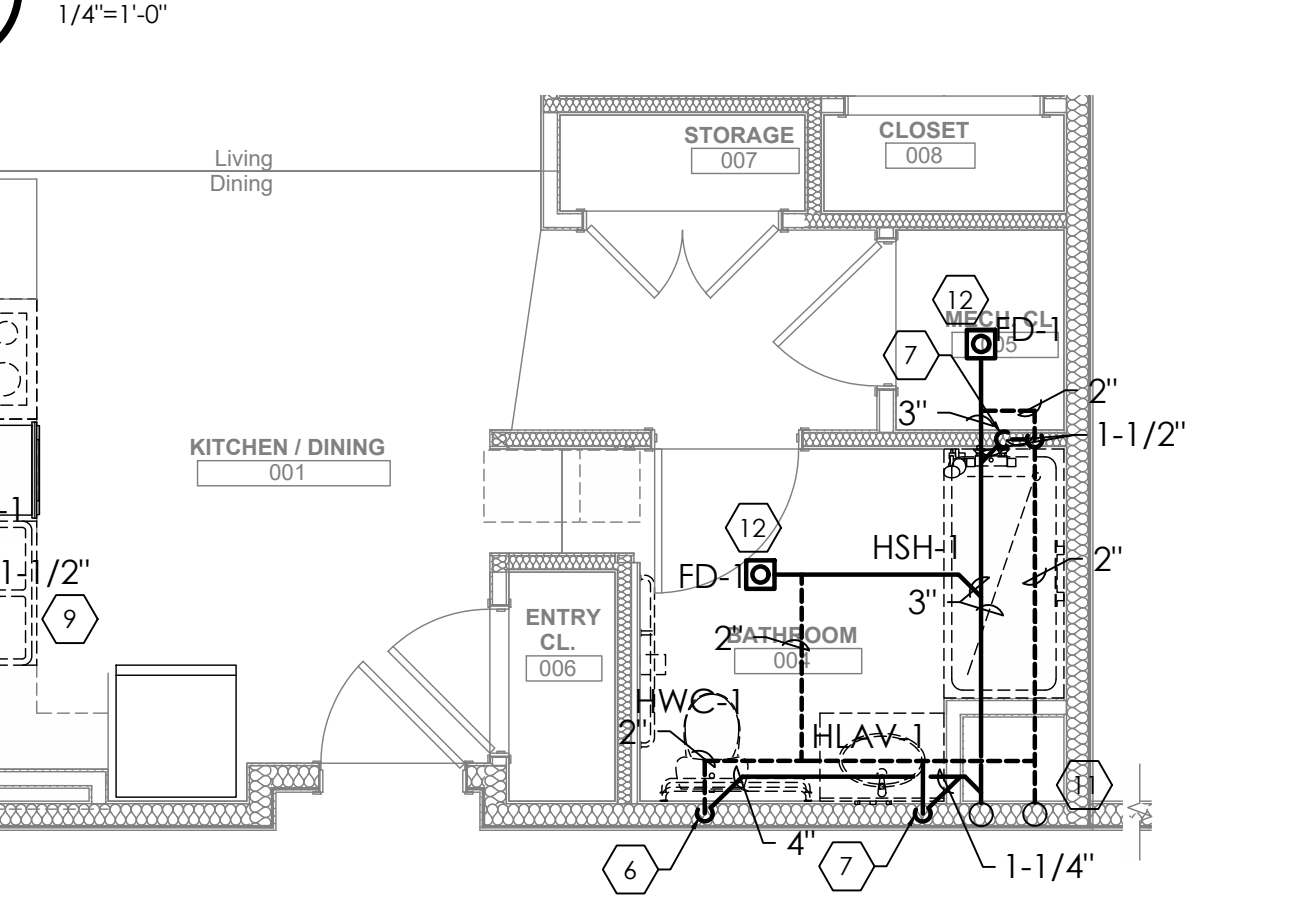
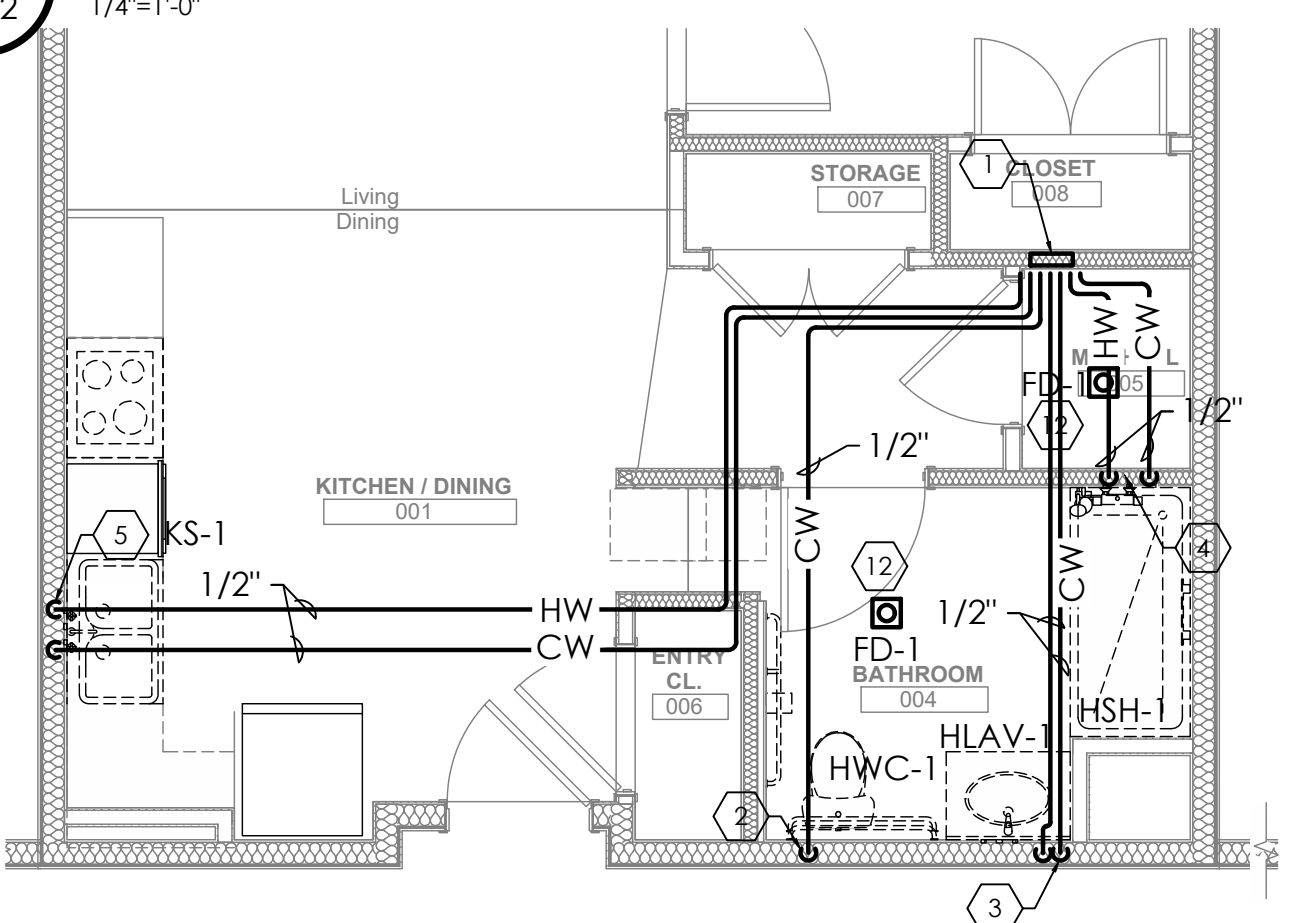
3 UNIT 1E T A/HVI WATER PLUMBING PLAN

4 UNIT 1E T A/HVI SANITARY PLUMBING PLAN



5 UNIT 1E S WATER PLUMBING PLAN

6 UNIT 1E S SANITARY PLUMBING PLAN

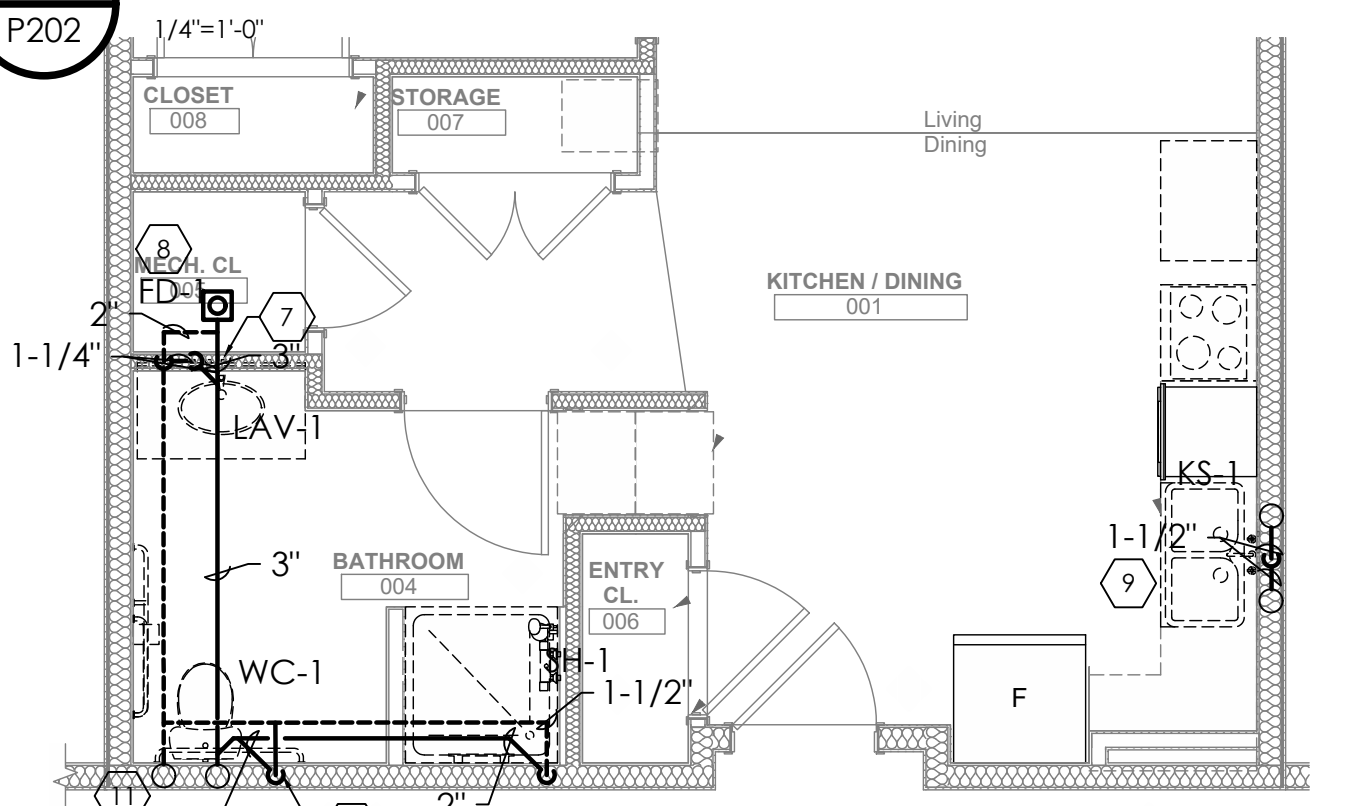
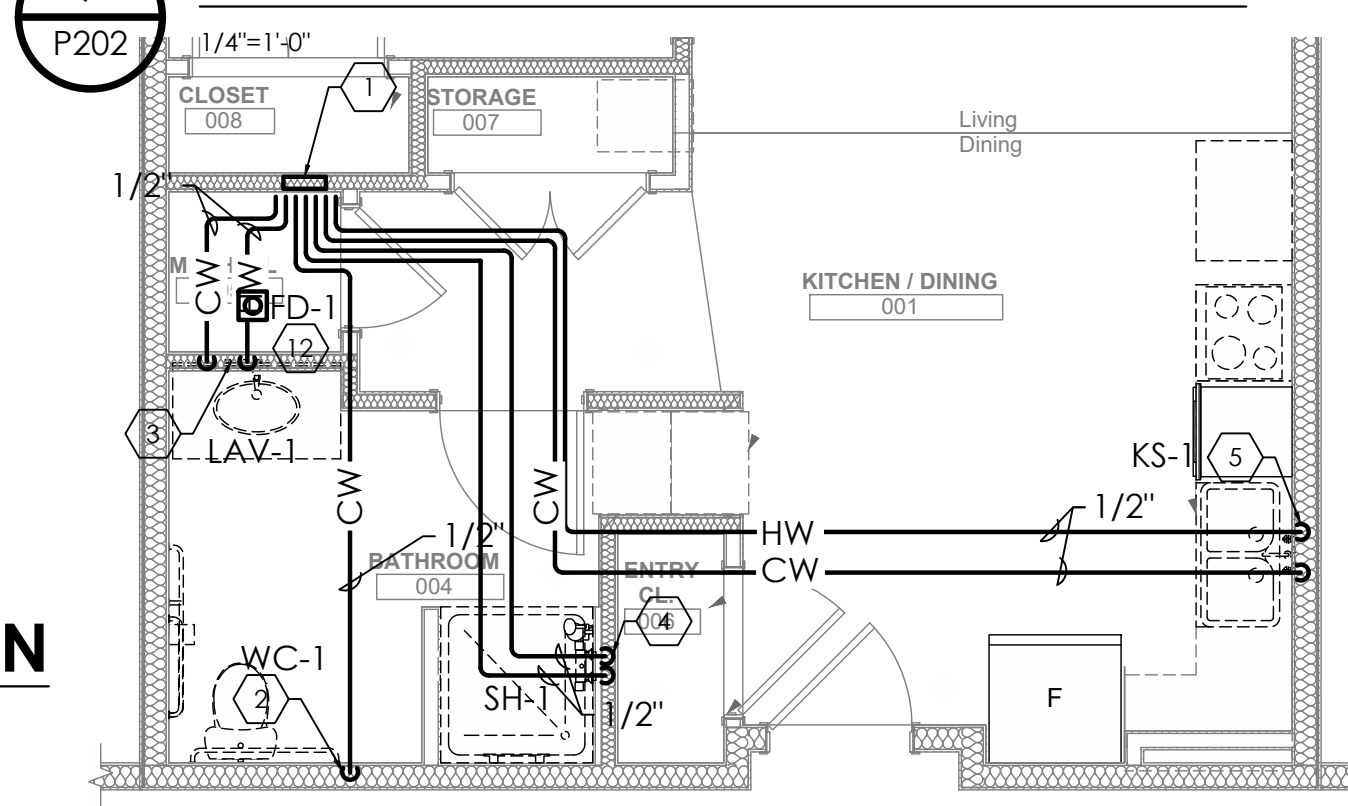


7 UNIT 1E S A WATER PLUMBING PLAN

8 UNIT 1E S A SANITARY PLUMBING PLAN

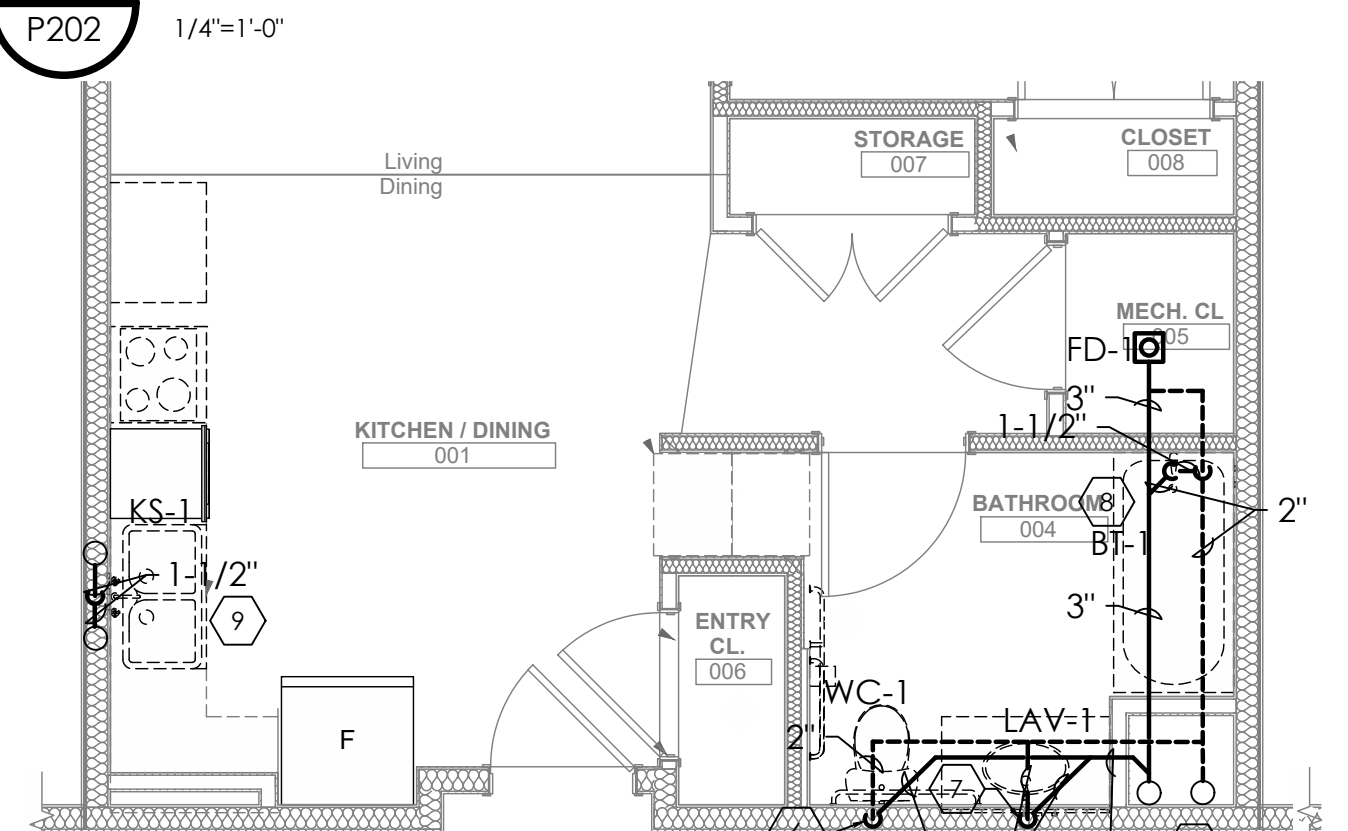
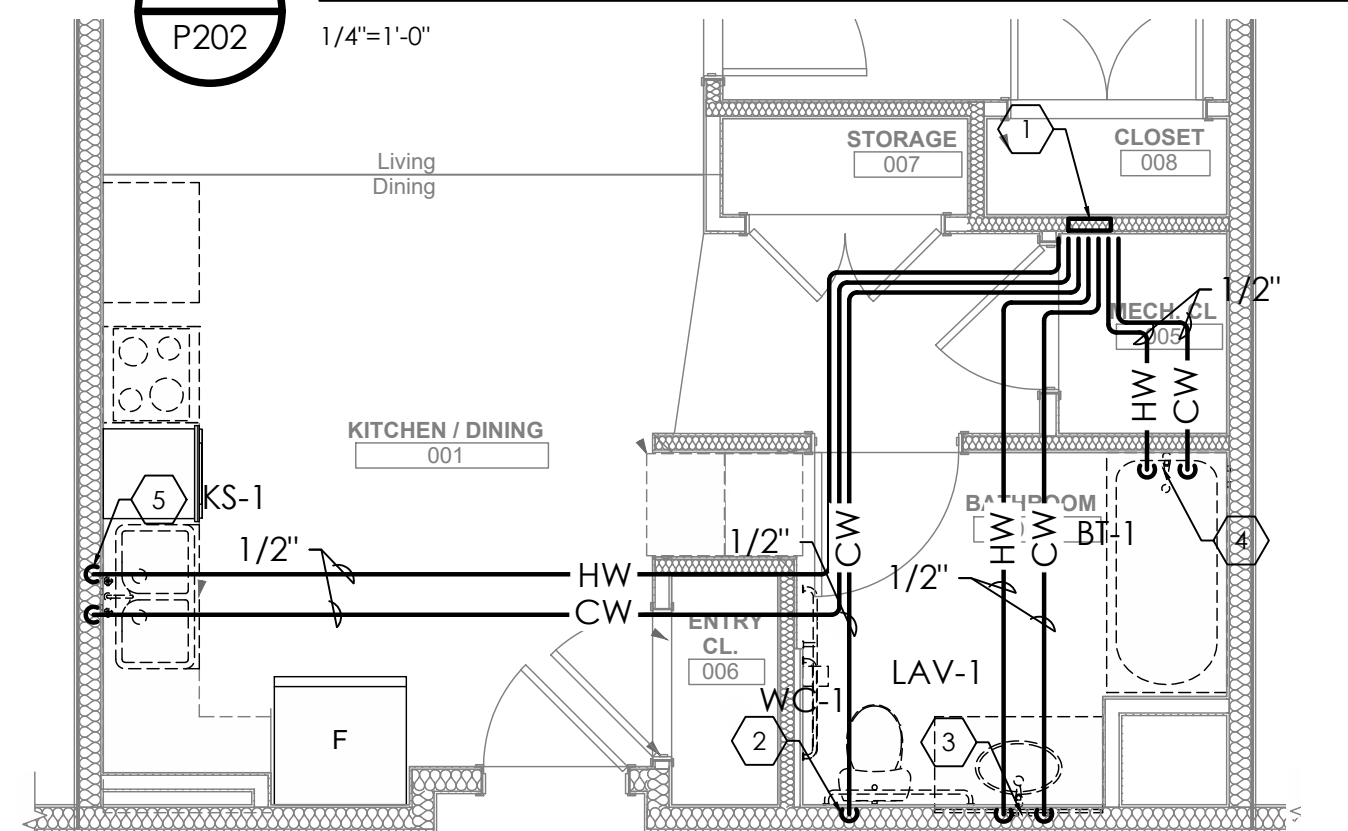
9 UNIT 1F S WATER PLUMBING PLAN

10 UNIT 1F S SANITARY PLUMBING PLAN



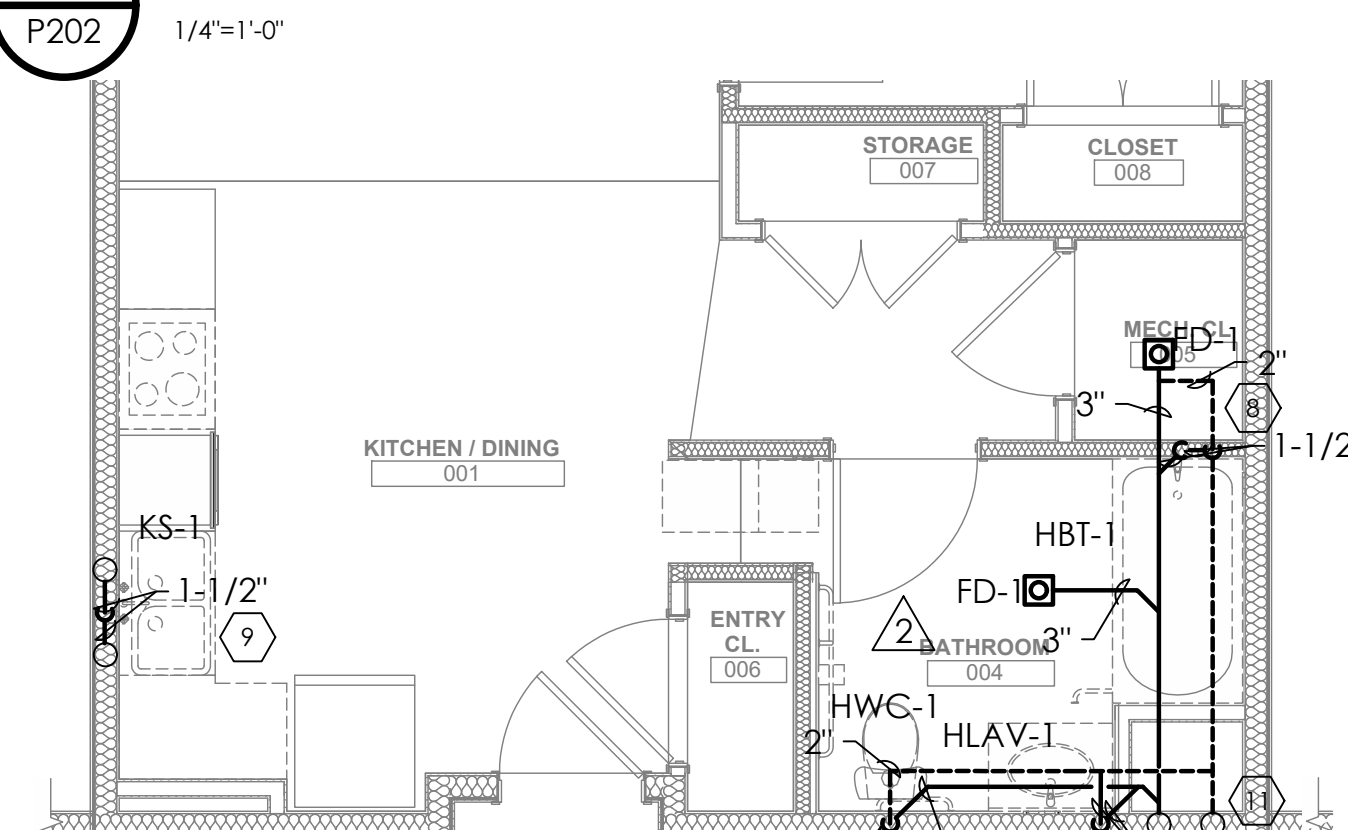
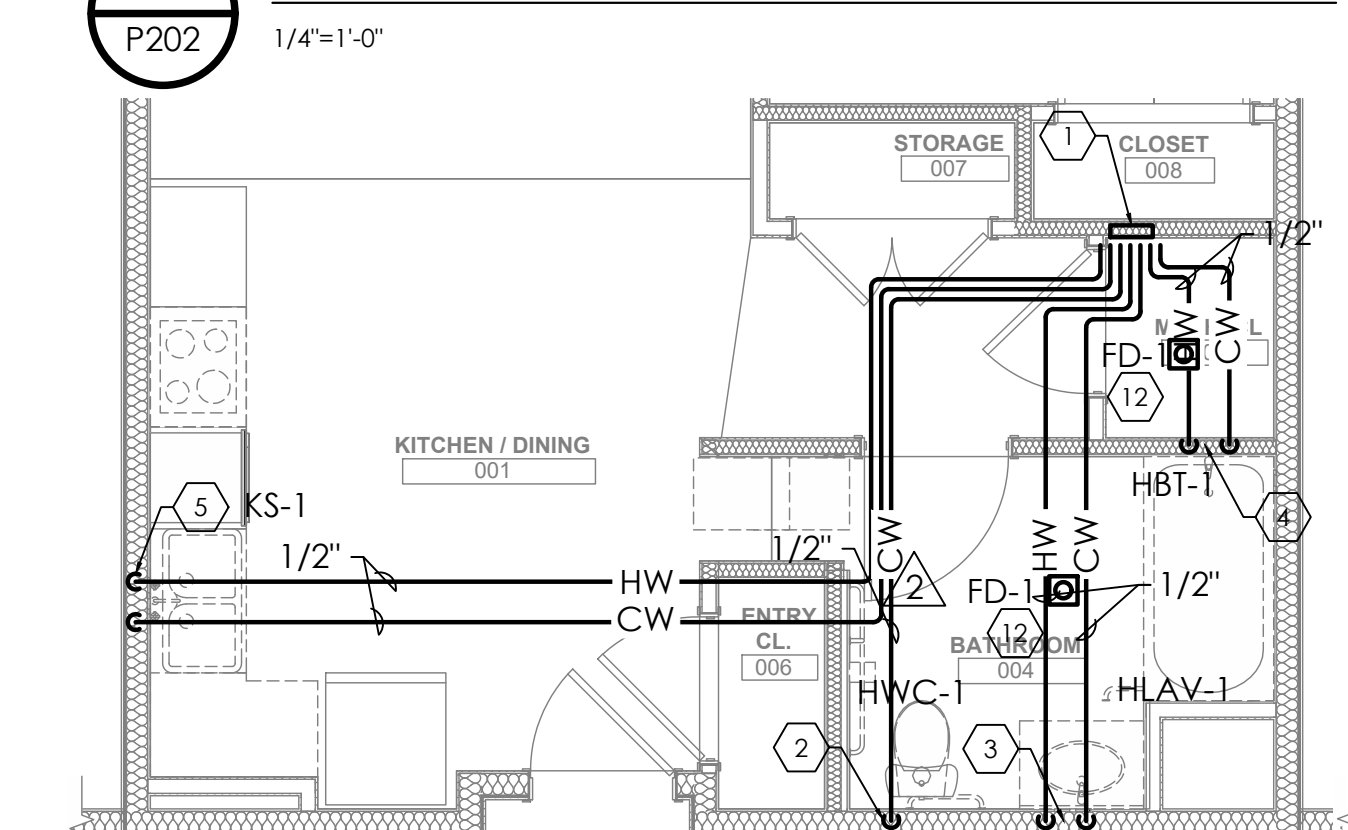
11 UNIT 1G S WATER PLUMBING PLAN

12 UNIT 1G S SANITARY PLUMBING PLAN



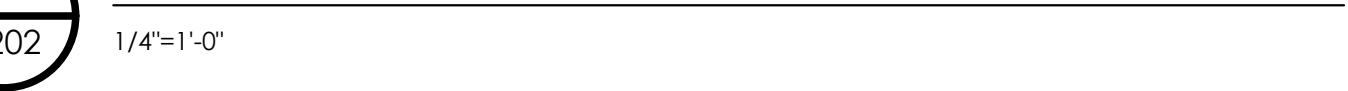
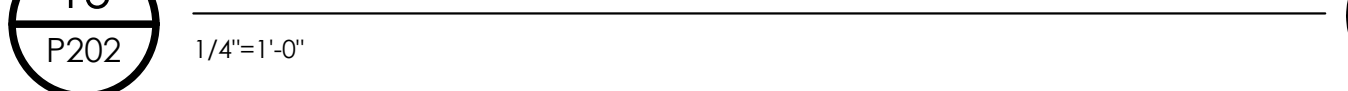
13 UNIT 1G T WATER PLUMBING PLAN

14 UNIT 1G T SANITARY PLUMBING PLAN



15 UNIT 1G T A WATER PLUMBING PLAN

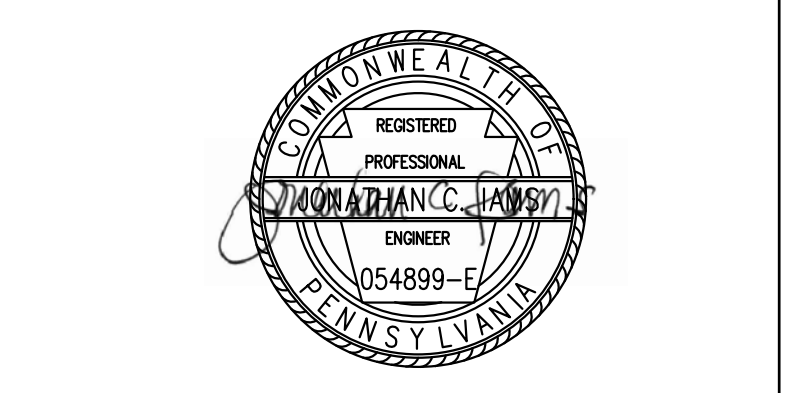
14 UNIT 1G T A SANITARY PLUMBING PLAN



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 205 Ross Street
 Pittsburgh, Pennsylvania 15219
 ph 412.281.6001 fx 412.281.6002

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 ENGINEERING ENVIRONMENTS
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 Suite 301
 Pittsburgh, PA 15212
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revisions

no.	description

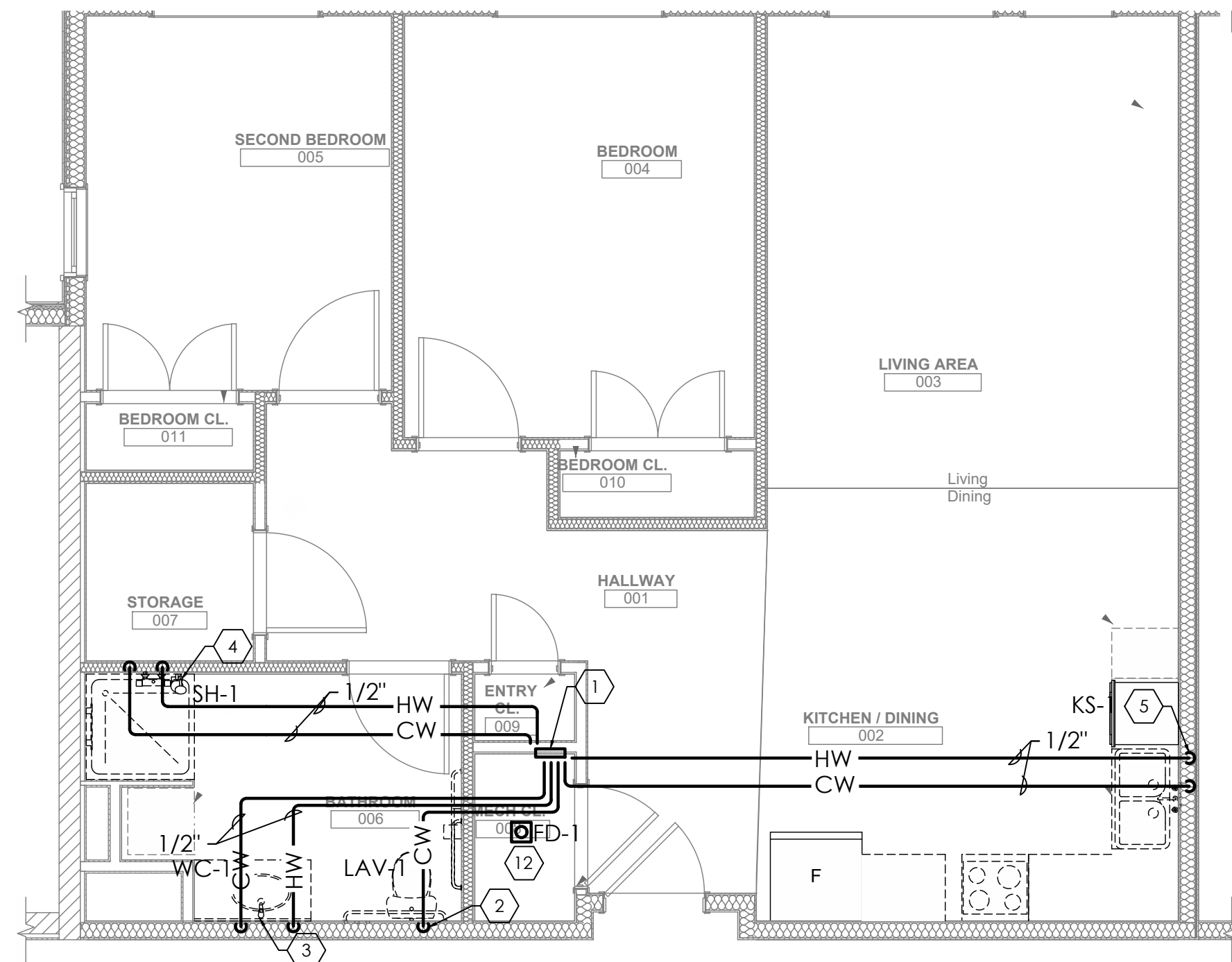
owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

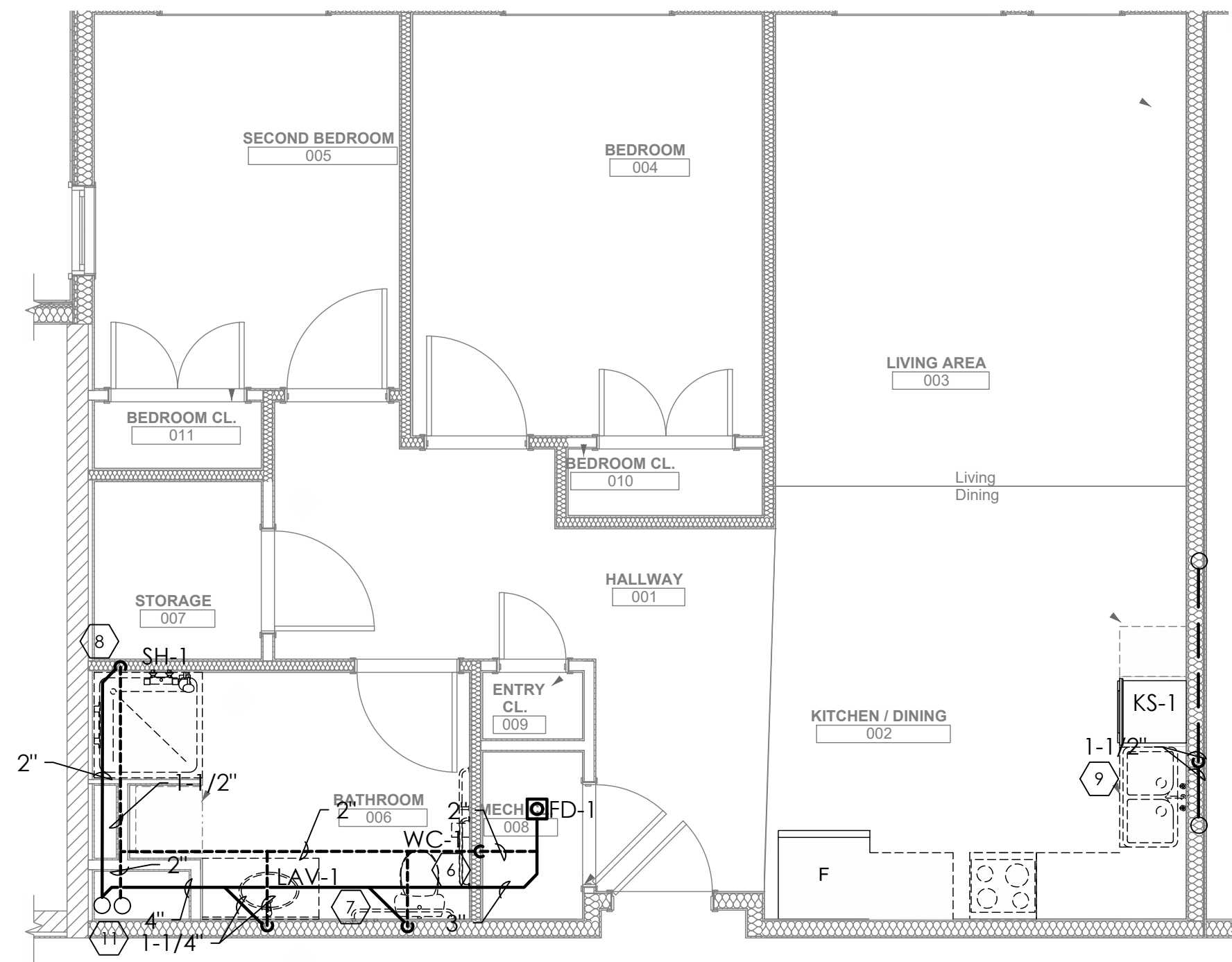
Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title
ENLARGED PLUMBING PLAN

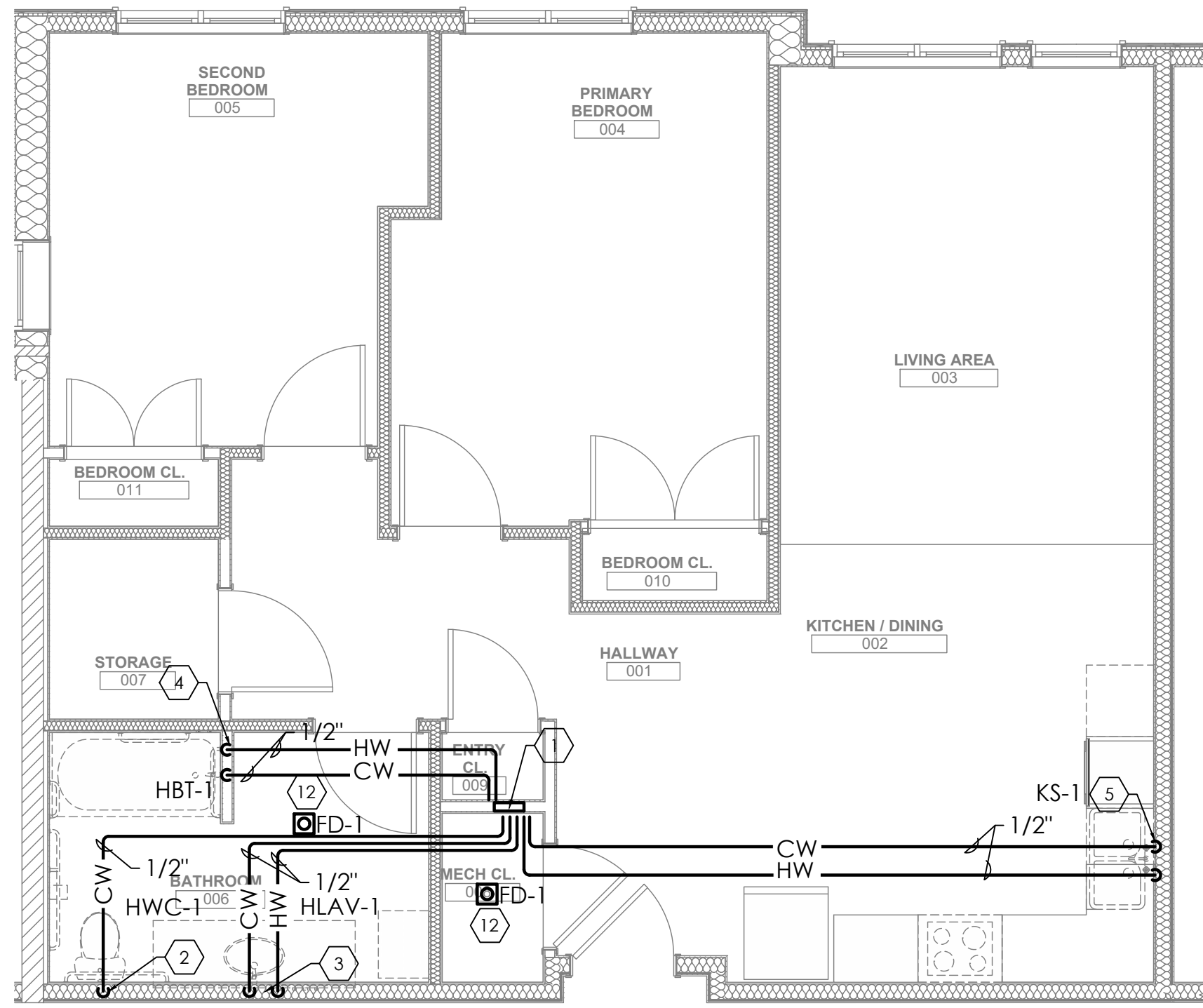
scale As Noted	Sheet No. P202 Project #2040
date December 3rd, 2023	
no. 171	of. 233



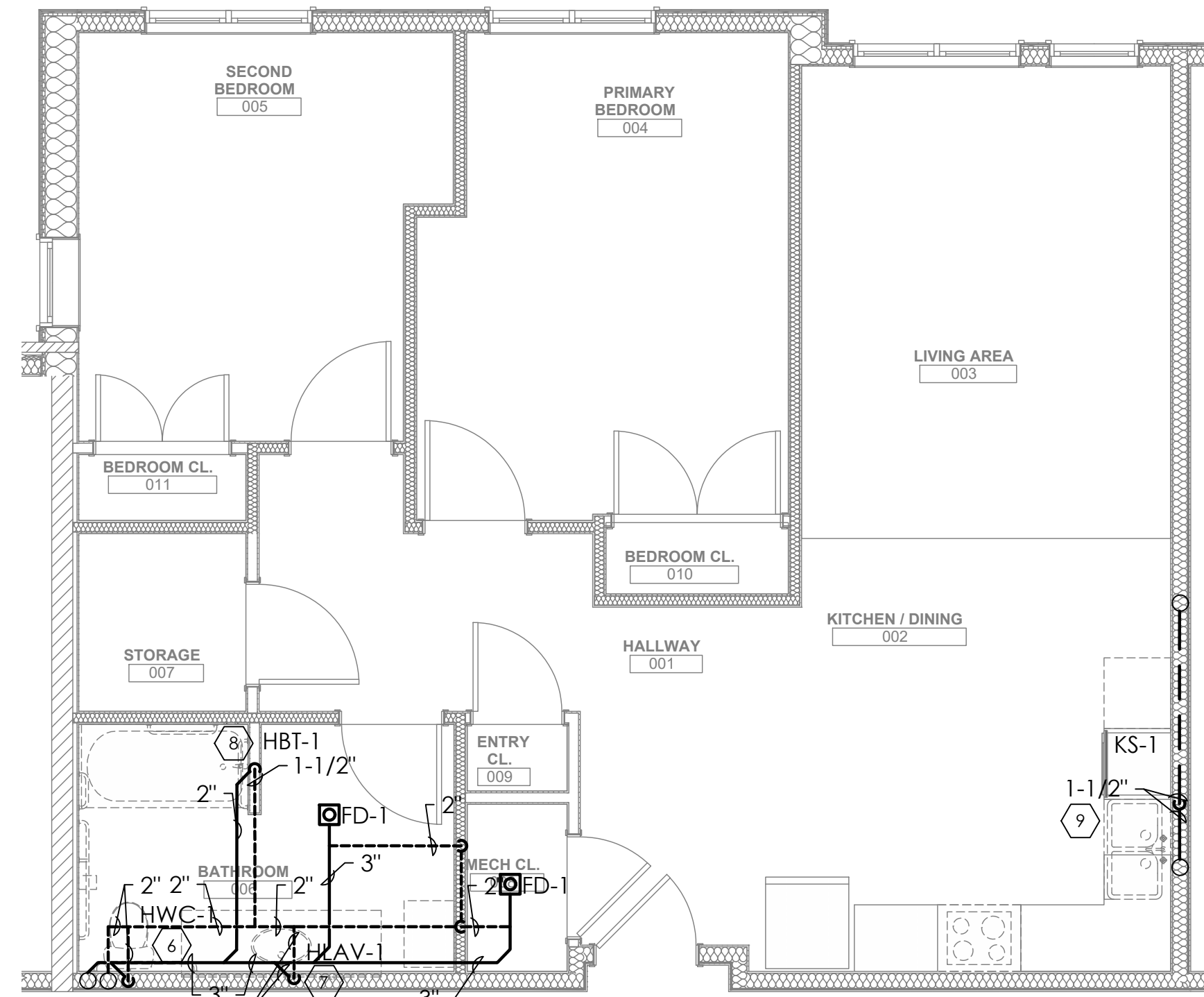
1 UNIT 2A S WATER PLUMBING PLAN
P203 1/4"=1'-0"



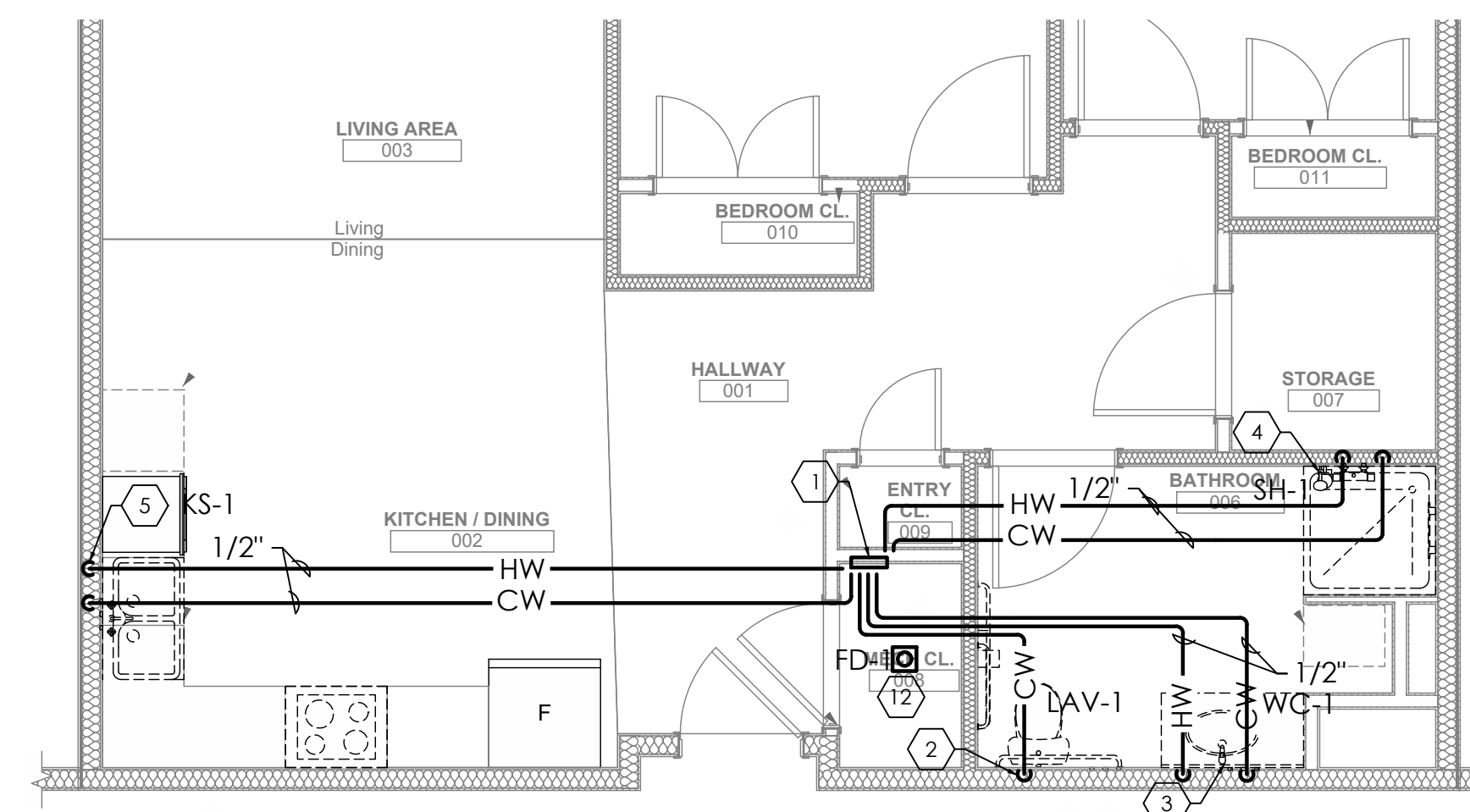
2 UNIT 2A S SANITARY PLUMBING PLAN
P203 1/4"=1'-0"



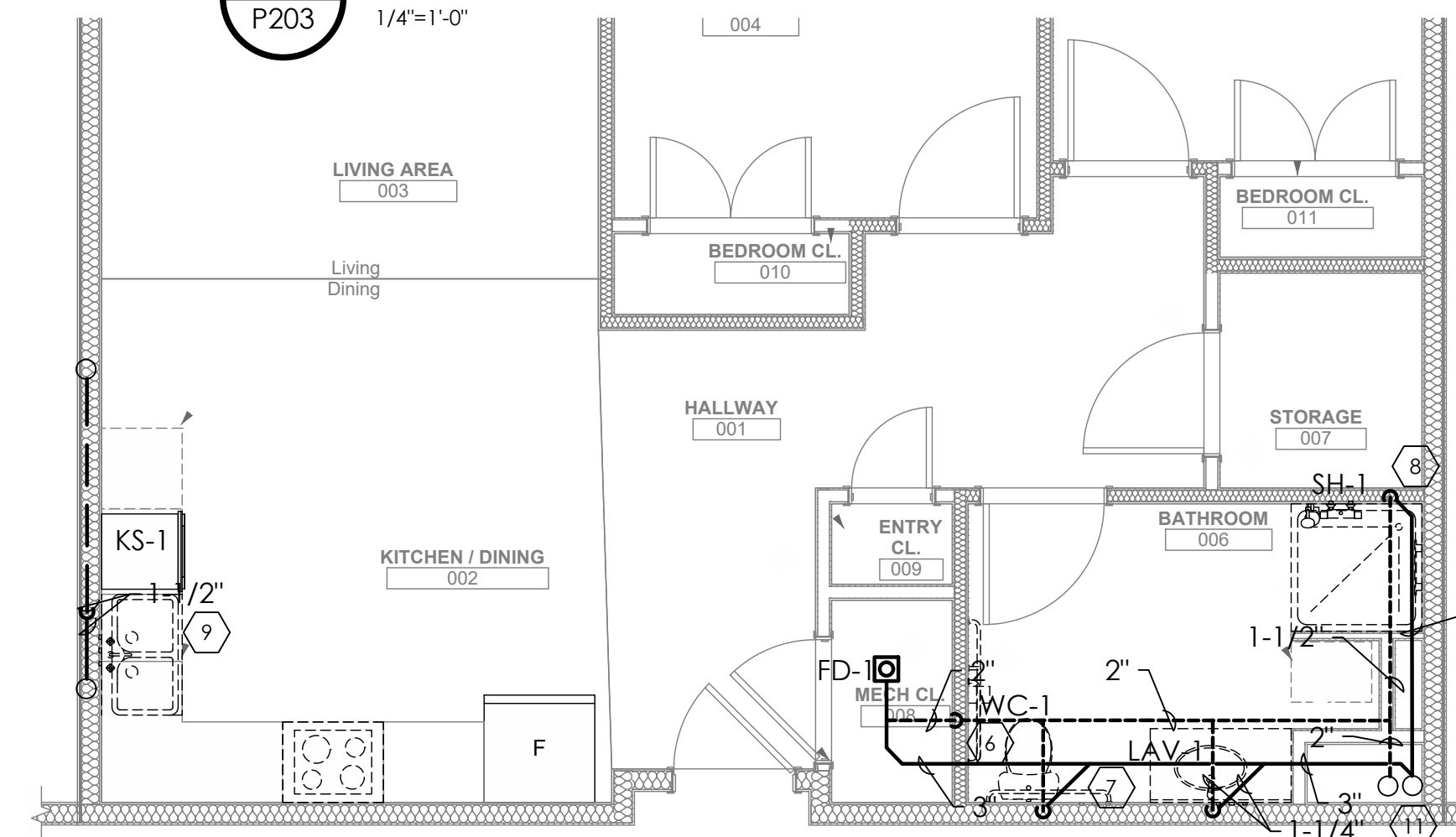
3 UNIT 2B T A WATER PLUMBING PLAN
P203 1/4"=1'-0"



4 UNIT 2B T A SANITARY PLUMBING PLAN
P203 1/4"=1'-0"



5 UNIT 2C S WATER PLUMBING PLAN
P203 1/4"=1'-0"



6 UNIT 2C S SANITARY PLUMBING PLAN
P203 1/4"=1'-0"

KEYED NOTES:

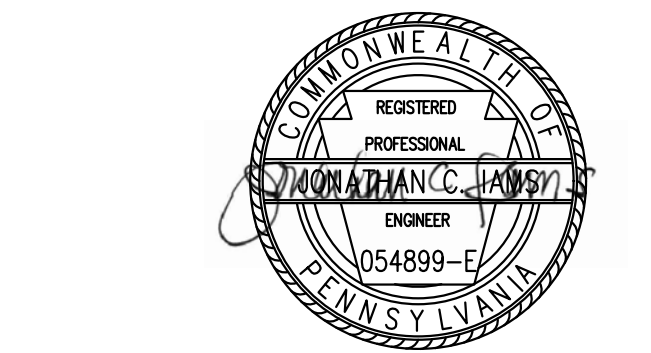
1. PEX MANIFOLD CONNECTION FOR CW AND HW.
2. 1/2" CW DOWN TO TOILET.
3. 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
4. 1/2" CW AND 1/2" HW DOWN TO BATH TUB.
5. 1/2" CW AND 1/2" HW DOWN TO KITCHEN SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
6. 2" VENT AND 3" SANITARY FROM TOILET.
7. 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
8. 1-1/2" VENT AND SANITARY TO BATH TUB/SHOWER.
9. 1-1/2" VENT AND 1-1/2" SANITARY FROM KITCHEN SINK. INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
10. 1/2" CW AND 1/2" HW DOWN TO WASHER.
11. 4" VENT AND 4" SANITARY STACK.
12. PROVIDE PRECISION PLUMBING PRODUCTS SINGLE TRAP PRIMER AT FLOOR DRAIN FROM LAV.

Fukui Architects Pc

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revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title
ENLARGED PLUMBING PLAN

scale
As Noted

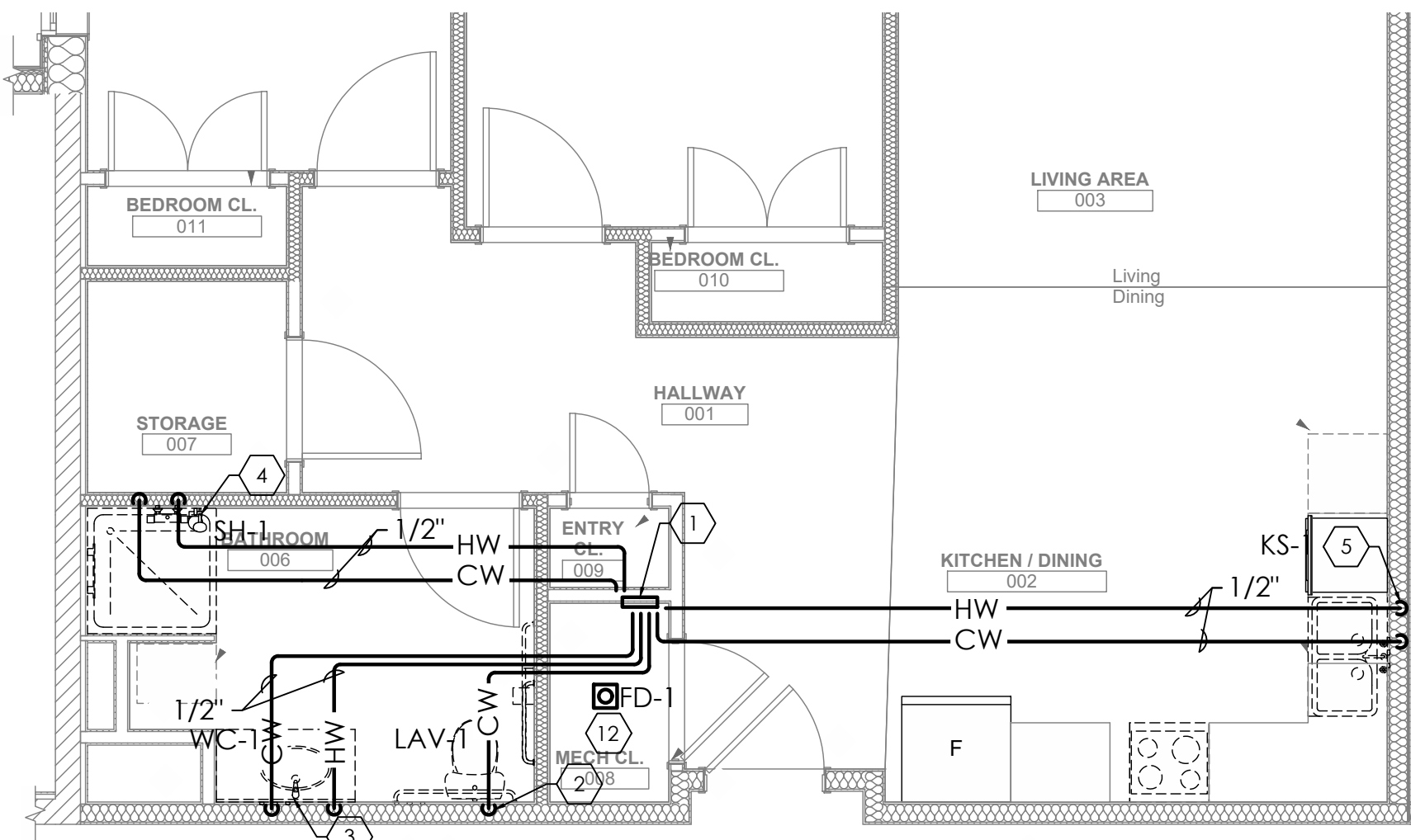
date
December 3rd, 2023

no. of.
172 **233**

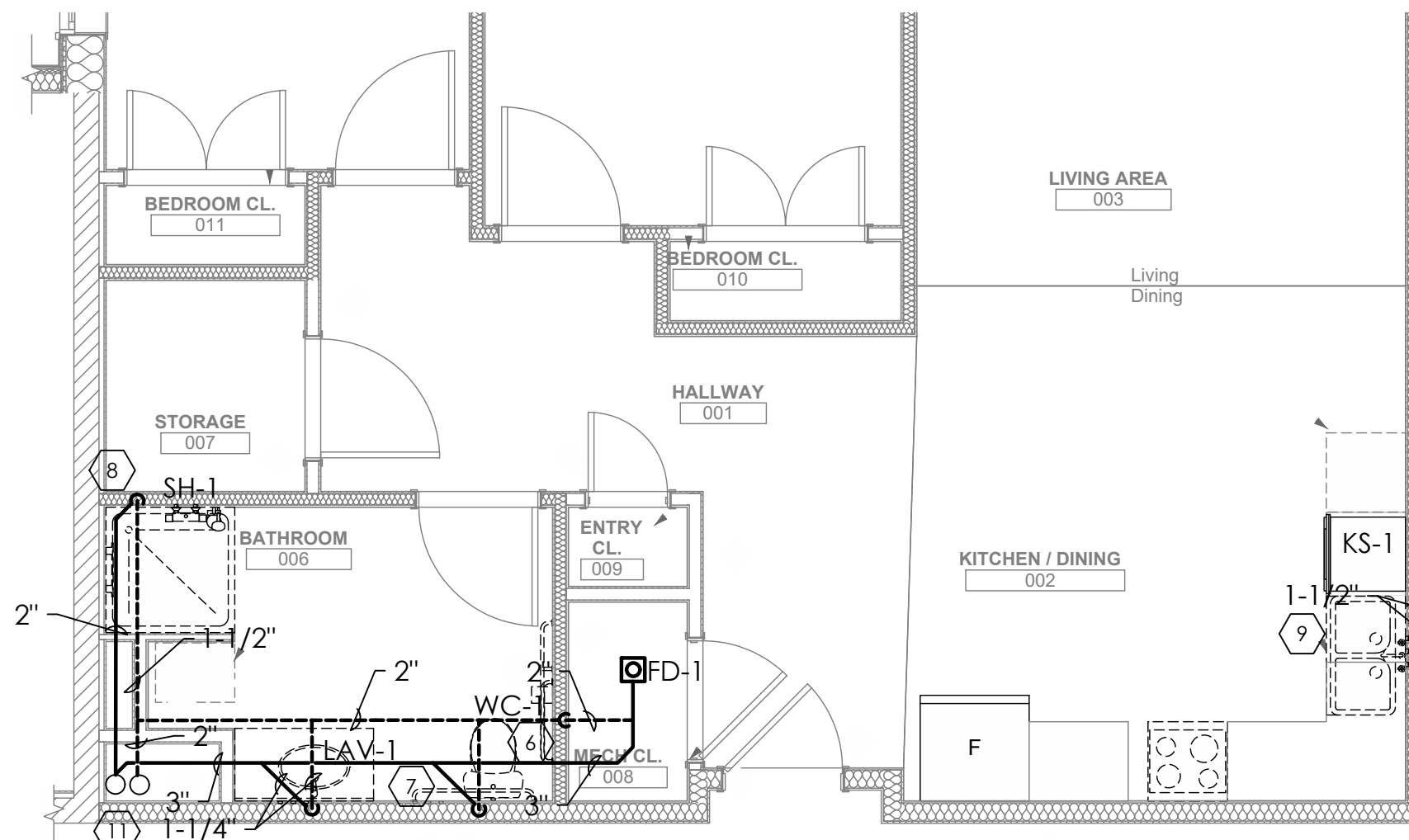
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P203

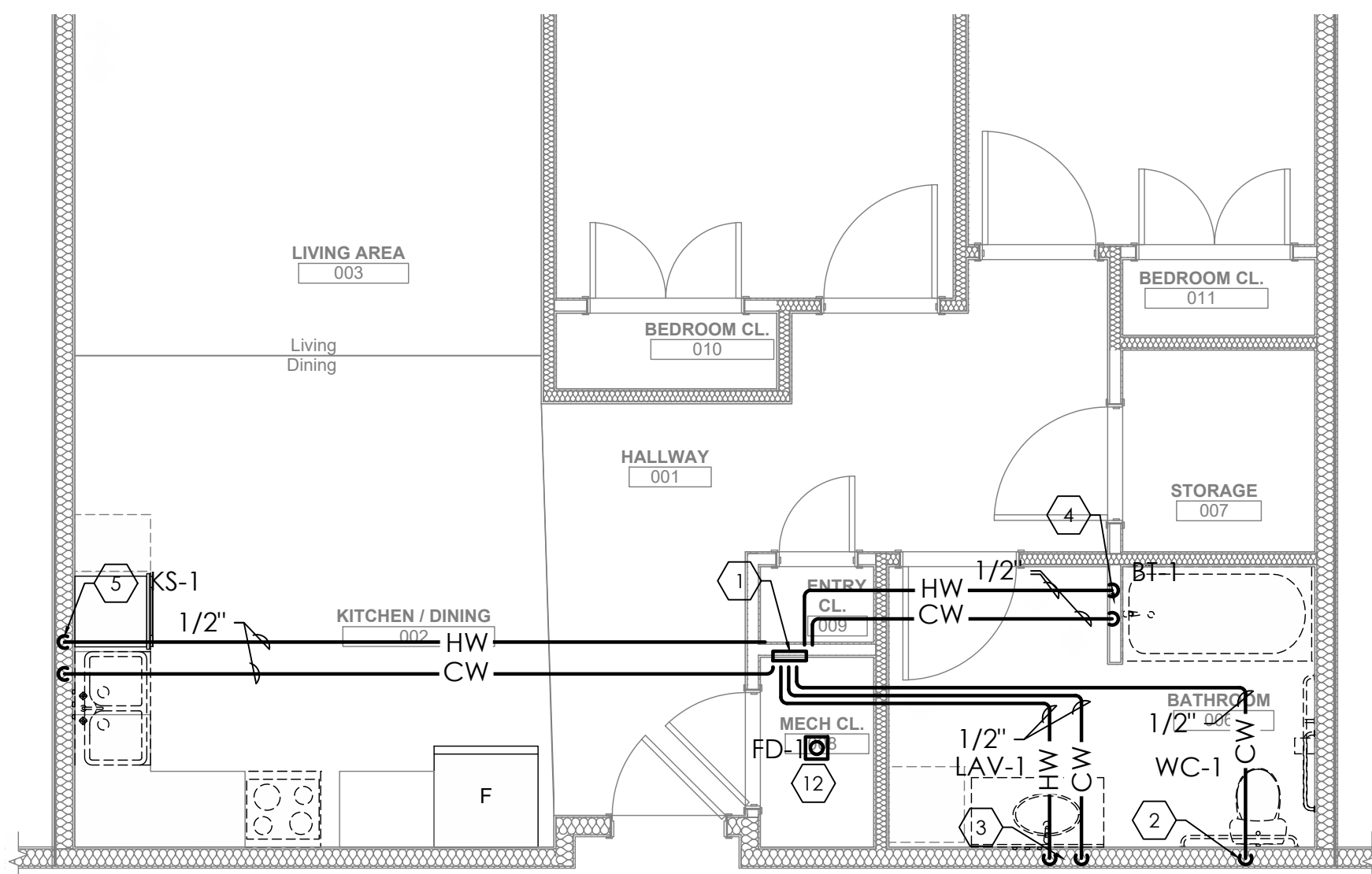
Project #2040



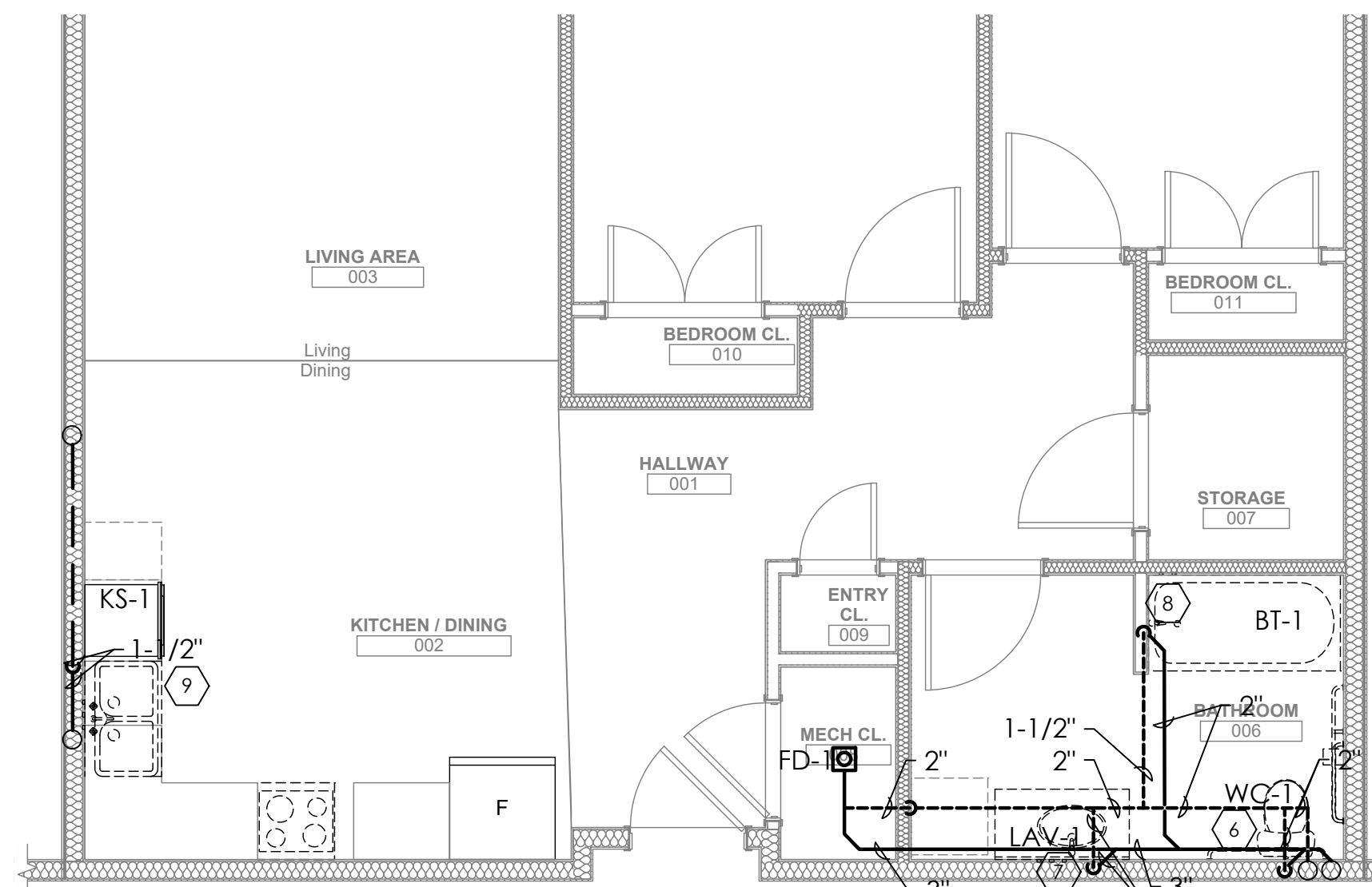
1 UNIT 2D S HV WATER PLUMBING PLAN
P204 1/4"=1'-0"



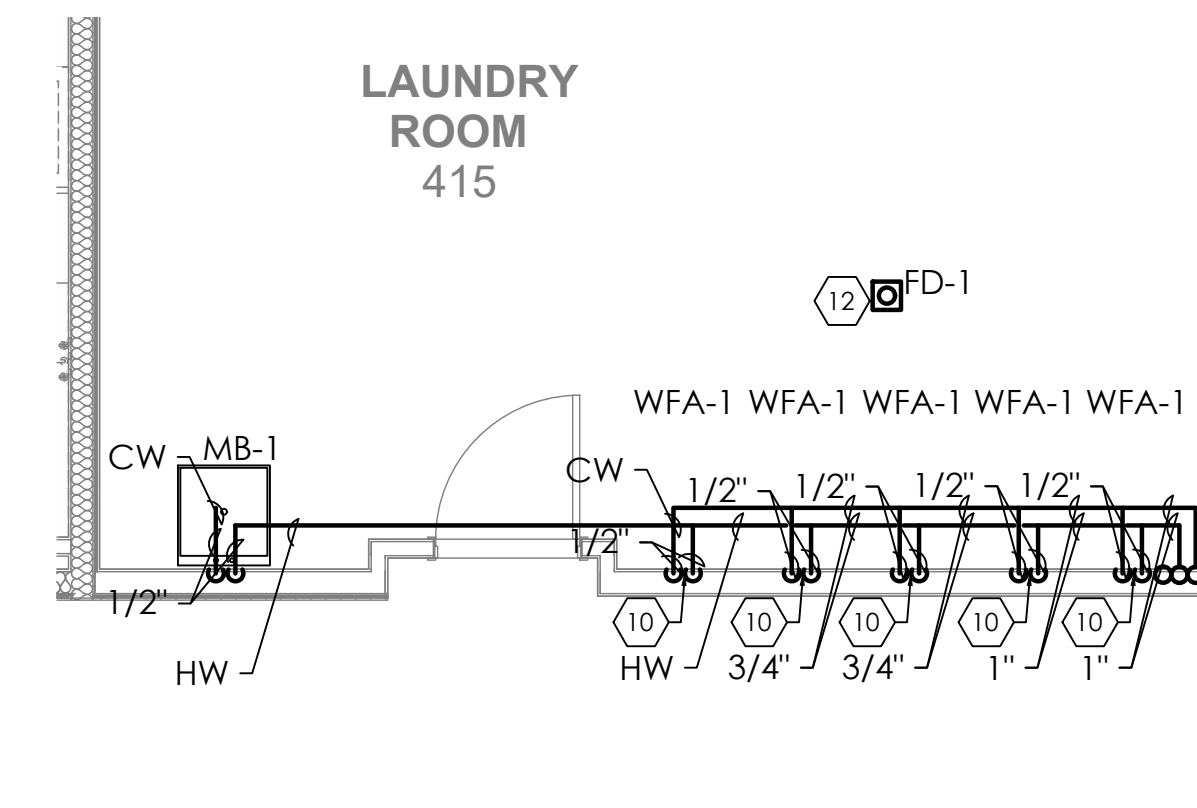
2 UNIT 2D S HV SANITARY PLUMBING PLAN
P204 1/4"=1'-0"



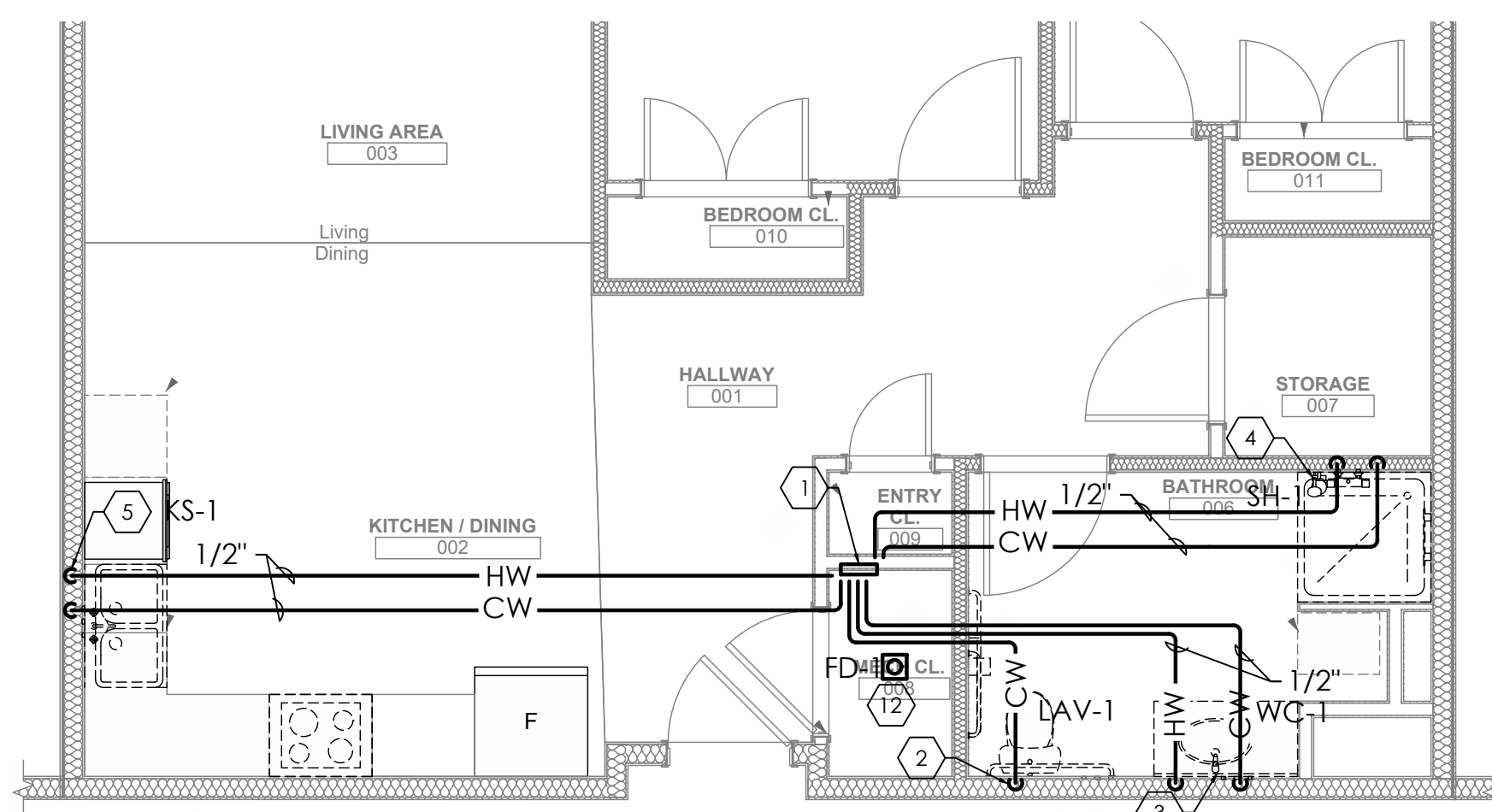
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P204 1/4"=1'-0"



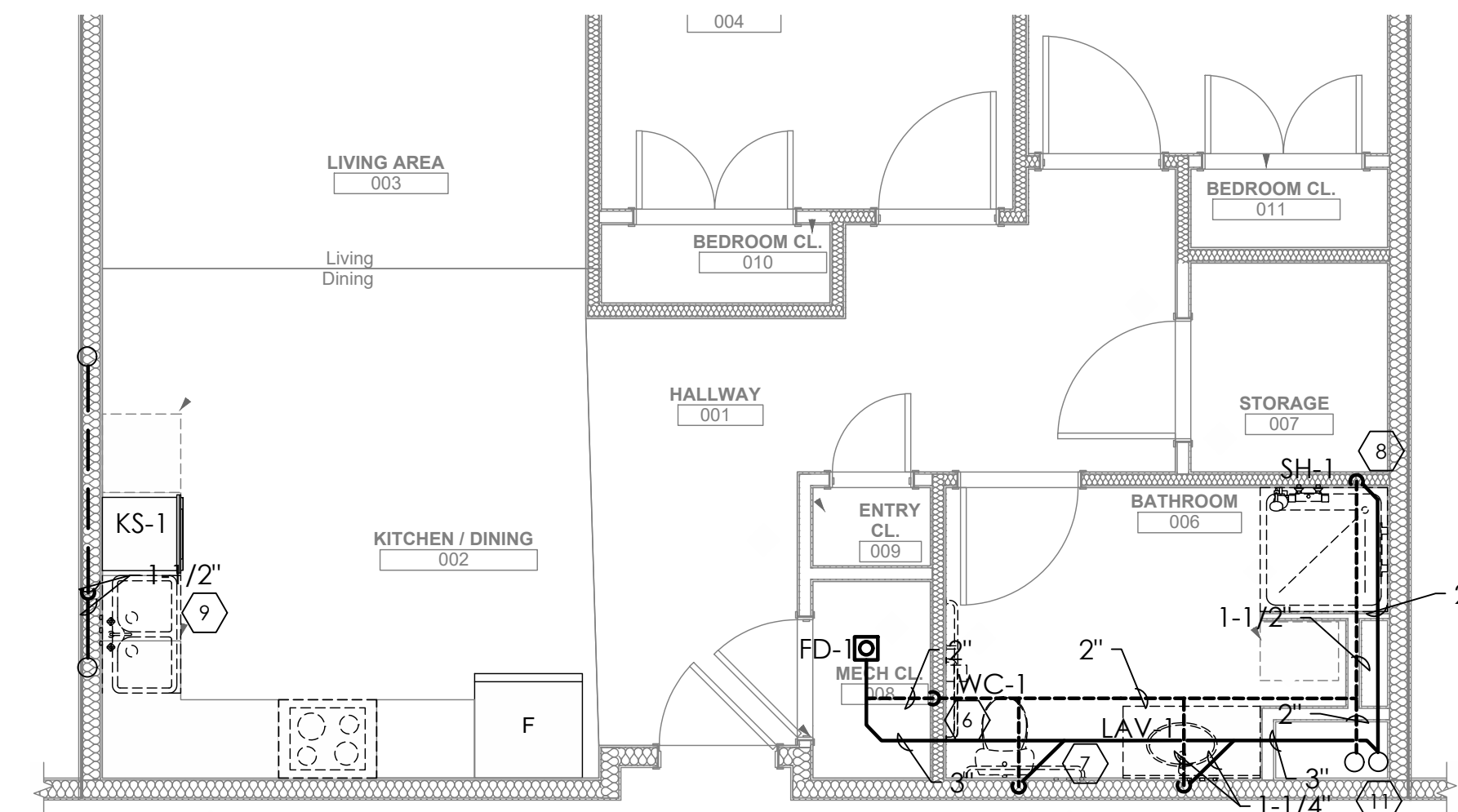
4 UNIT 2E SANITARY PLUMBING PLAN
P204 1/4"=1'-0"



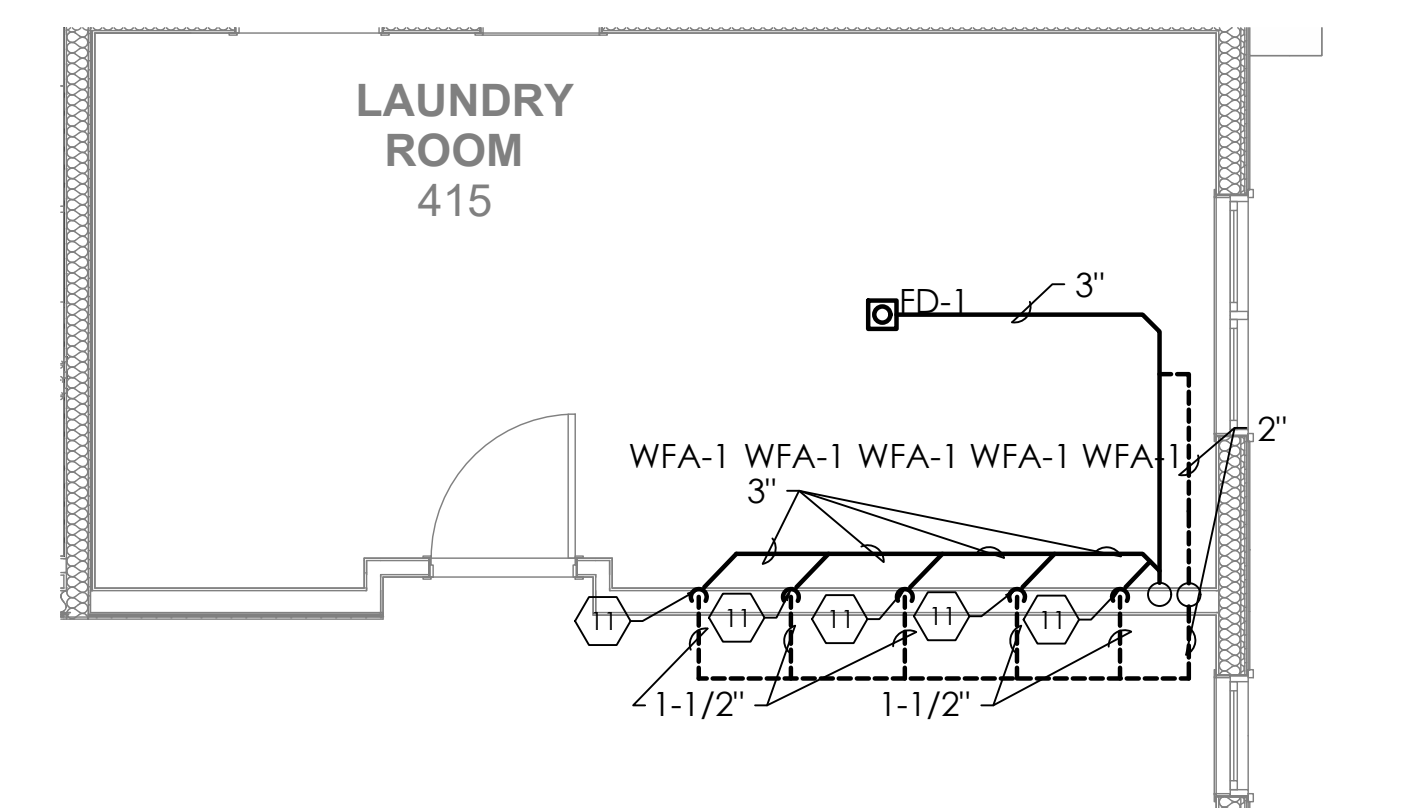
7 LAUNDRY ROOM WATER PLUMBING PLAN
P204 1/4"=1'-0"



5 UNIT 2C S WATER PLUMBING PLAN
P204 1/4"=1'-0"



6 UNIT 2C S SANITARY PLUMBING PLAN
P204 1/4"=1'-0"



8 LAUNDRY ROOM SANITARY PLUMBING PLAN
P204 1/4"=1'-0"

KEYED NOTES:

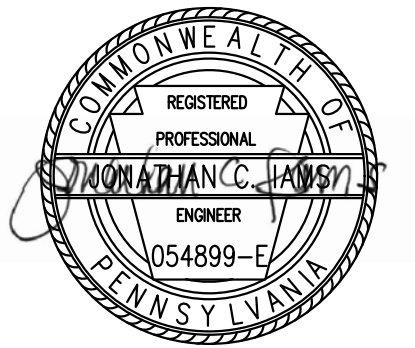
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2. 1/2" CW DOWN TO TOILET.
3. 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
4. 1/2" CW AND 1/2" HW DOWN TO BATH TUB.
5. 1/2" CW AND 1/2" HW DOWN TO KITCHEN SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
6. 2" VENT AND 3" SANITARY FROM TOILET.
7. 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
8. 4" VENT AND 4" SANITARY STACK. BATH TUB VENT AND SANITARY CONNECTED TO STACK.
9. 1-1/2" VENT AND 1-1/2" SANITARY FROM KITCHEN SINK. INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
10. 1/2" CW AND 1/2" HW ROUGH-INS FOR LAUNDRY UNITS SUPPLIED BY OWNER.
11. 1-1/2" VENT AND 2" SANITARY FROM OWNER-SUPPLIED WASHER.
12. PROVIDE PRECISION PLUMBING PRODUCTS SINGLE TRAP PRIMER AT FLOOR DRAIN FROM LAV.

Fukui Architects Pc

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revisions

project title

Owner:
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200 Ross Street
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Client:
Allies & Ross Management and
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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

ENLARGED PLUMBING PLAN

scale
As Noted

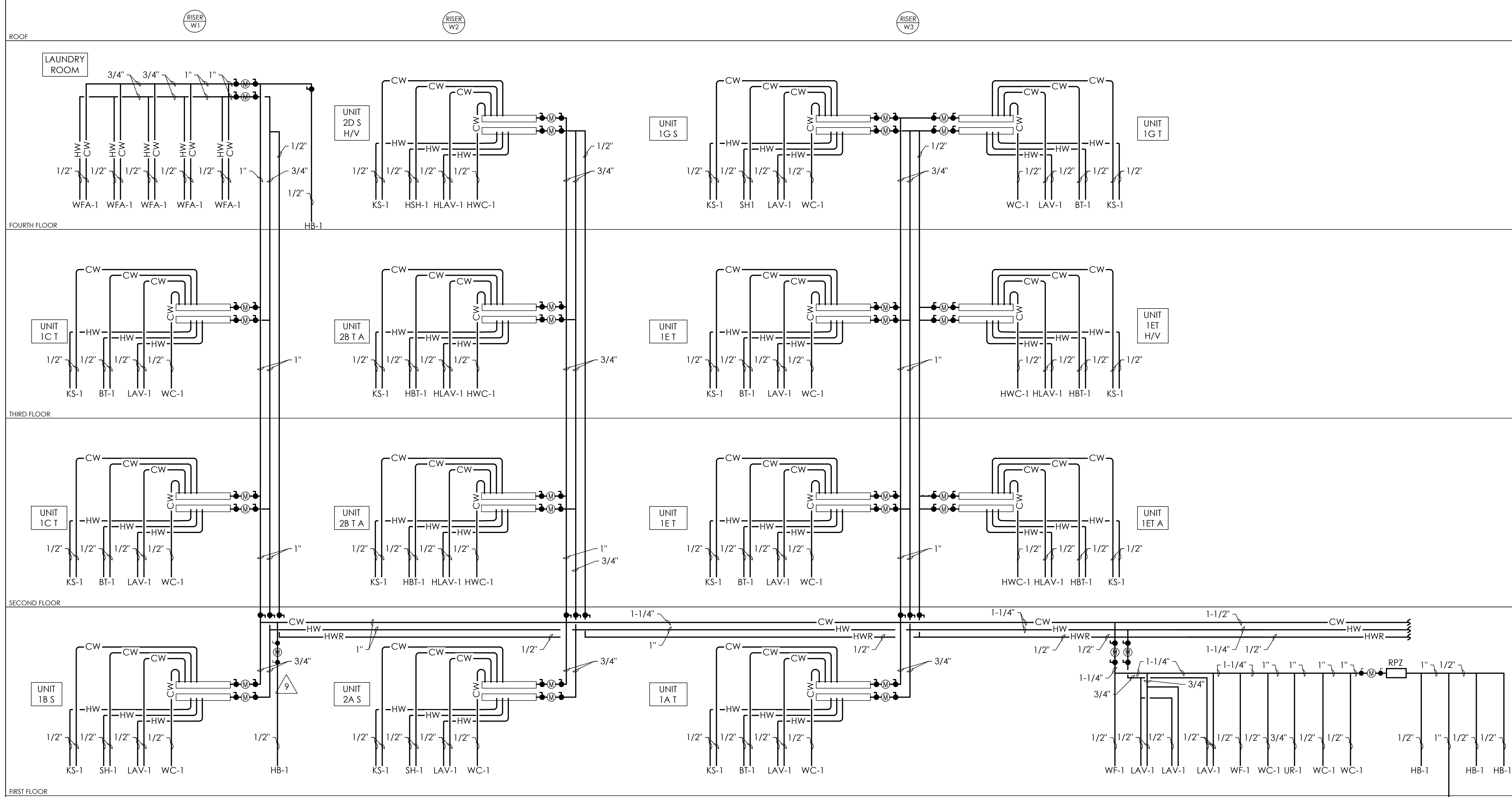
date
December 3rd, 2023

no. **173** of. **233**

Sheet No.

P204

Project #2040



1
P301 NTS
WATER RISER DIAGRAMS

1" COPPER PIPE BURIED 12" IN LANDSCAPE BED, STUB UP WITH FEMALE ADAPTER 12" FROM BUILDING.

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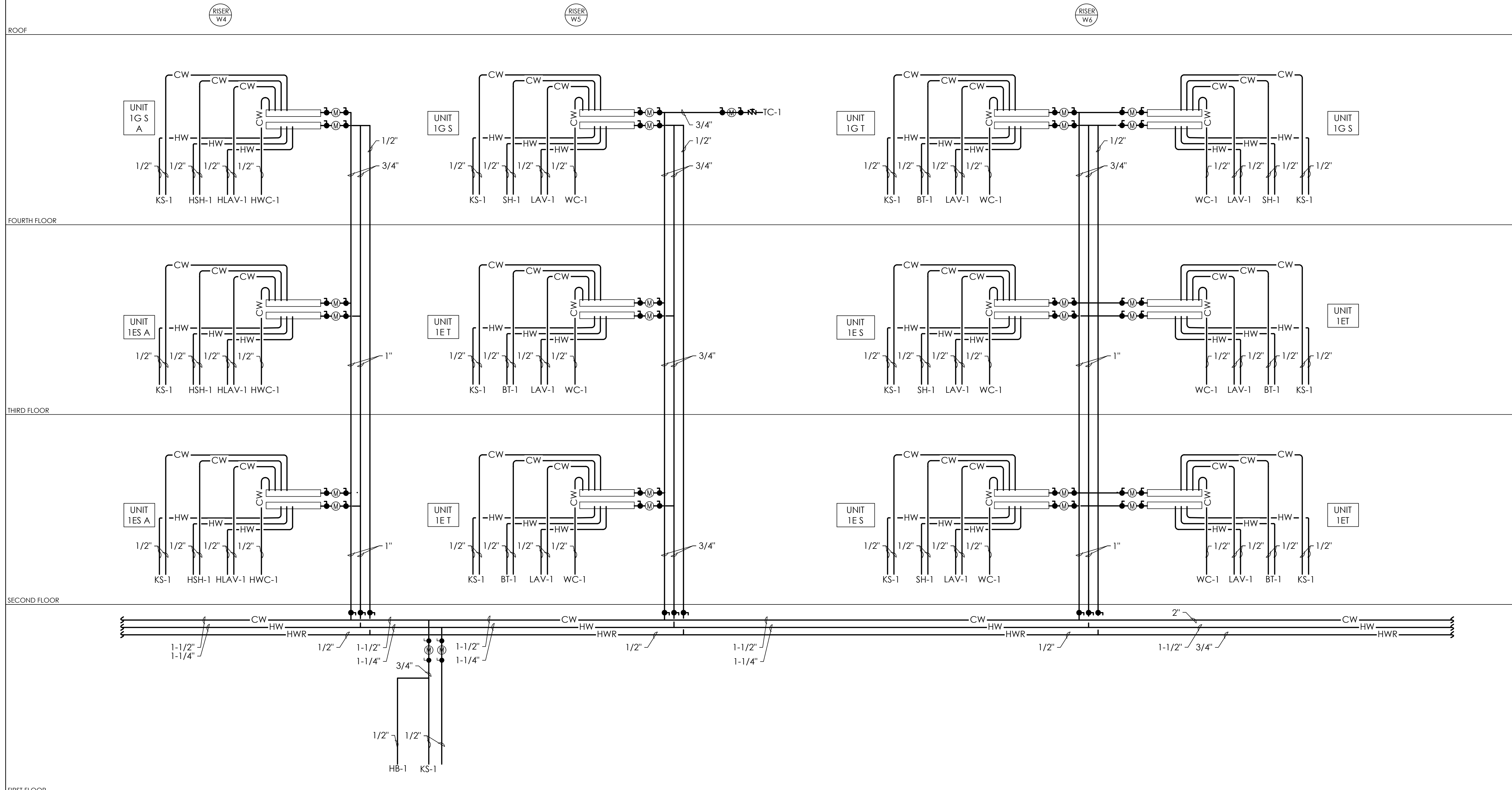


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- revisions**

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200 Ross Street
Pittsburgh, PA 15219
Project Location:
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246 Penfort Street
Pittsburgh, PA 15214

drawing title
WATER RISER DIAGRAMS

scale As Noted	Sheet No. P301 Project #2040
date December 3rd, 2023	
no. 174	of. 233



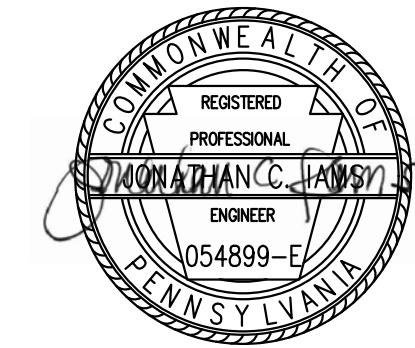
1 WATER RISER DIAGRAM
P302 NTS

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revisions

project title

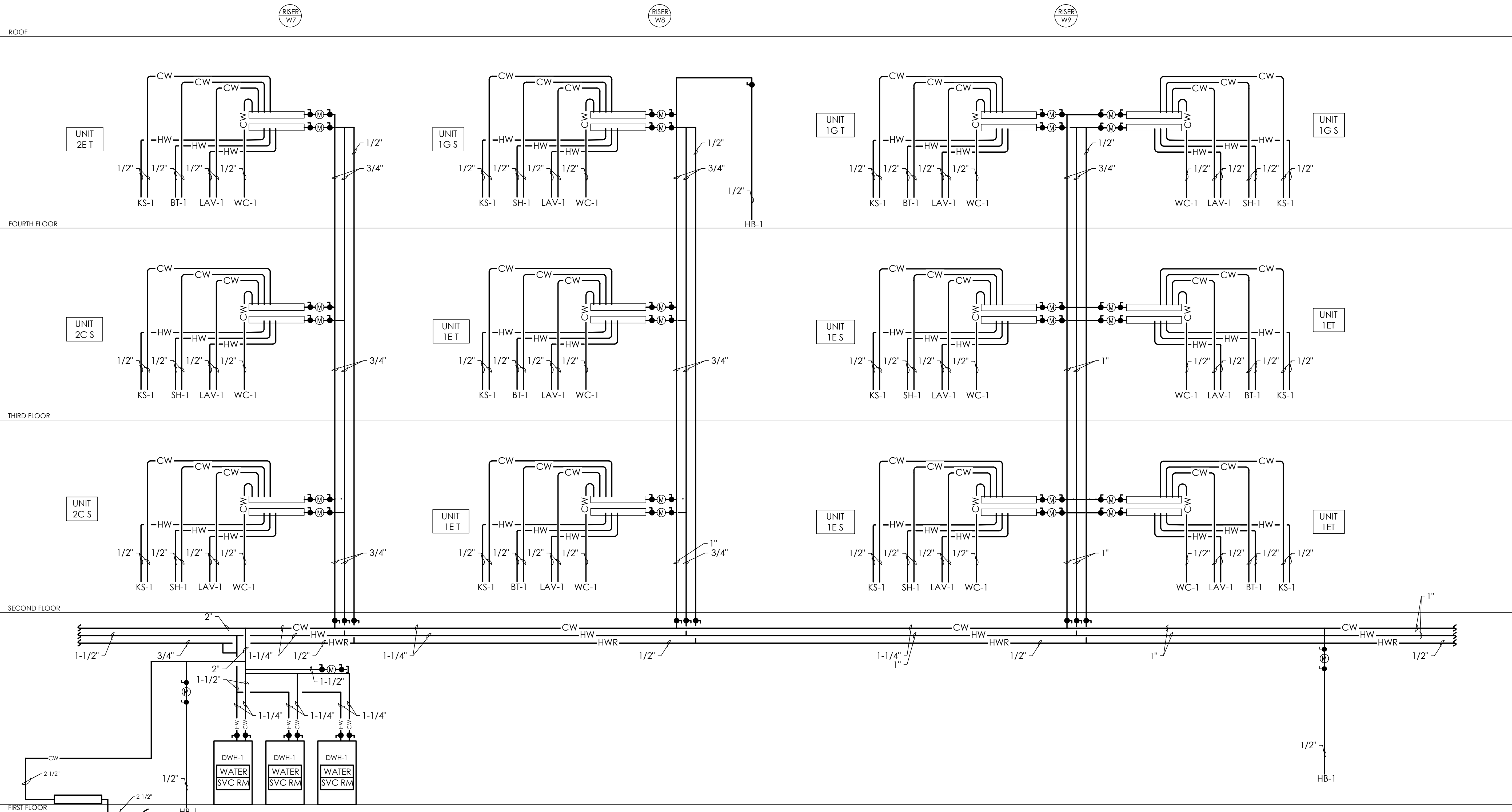
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
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Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title
WATER RISER DIAGRAM

scale As Noted	Sheet No. P302 Project #2040
date December 3rd, 2023	
no. 175	of. 233



1 WATER RISER DIAGRAM
P303 NTS

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200 Ross Street
Pittsburgh, PA 15219

Project Location:
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246 Penfort Street
Pittsburgh, PA 15214

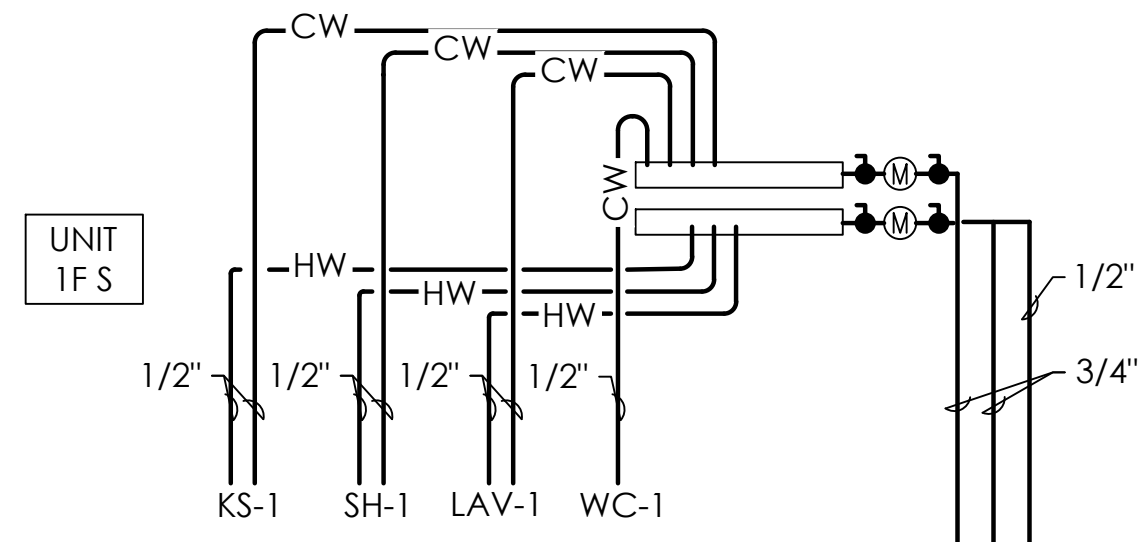
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date December 3rd, 2023	
no. 176	of. 233

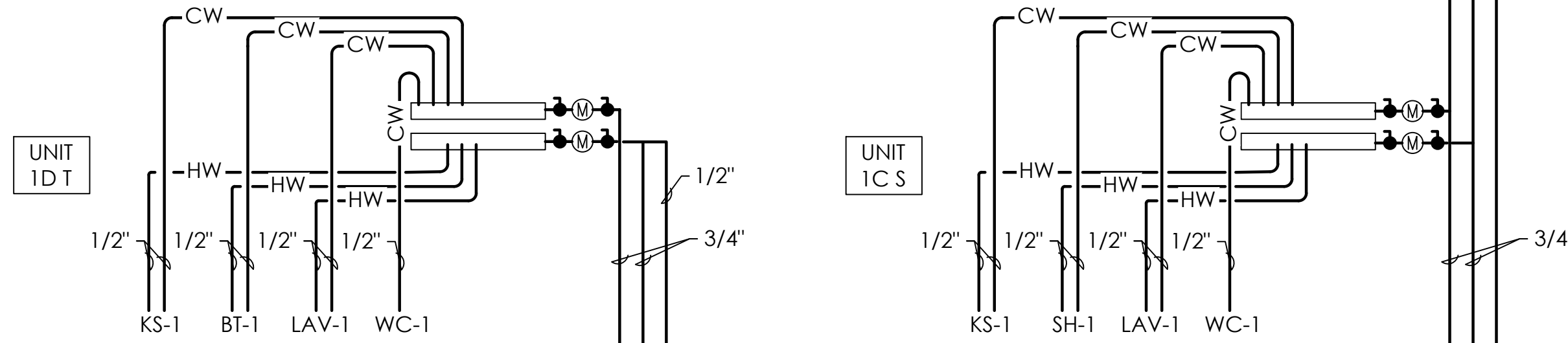
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RISER
W10

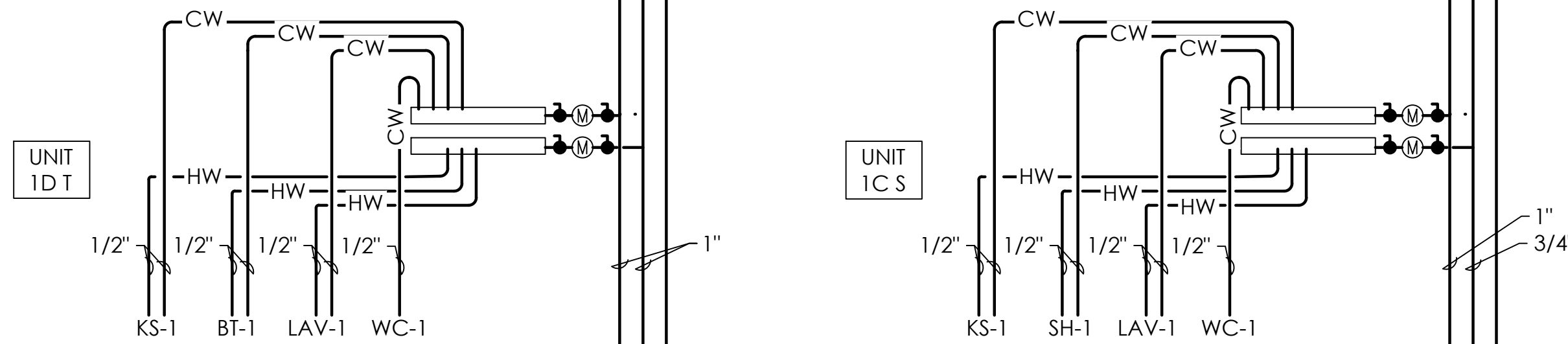
RISER
W11



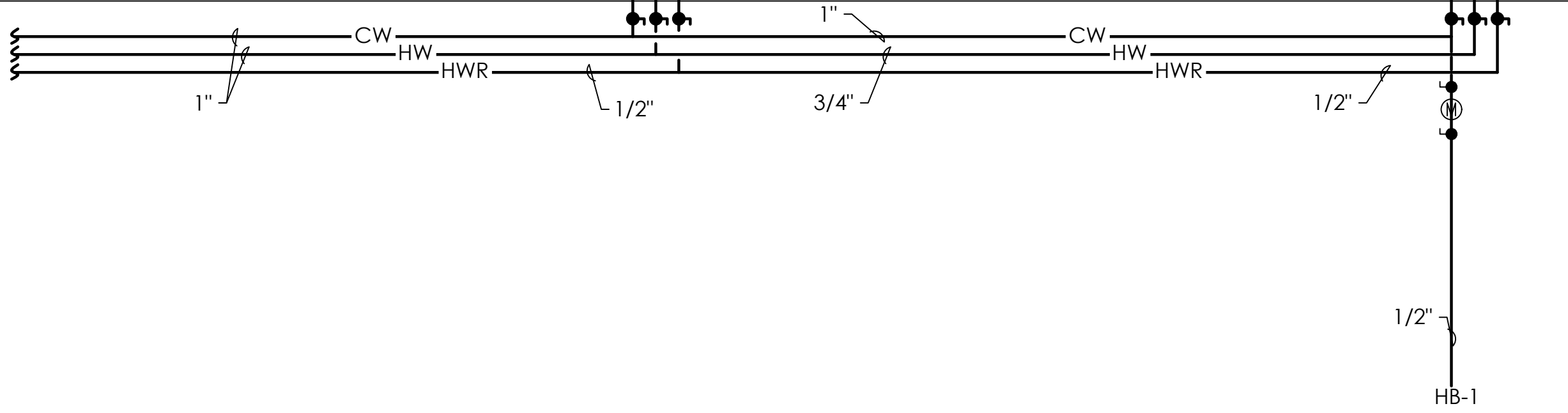
FOURTH FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

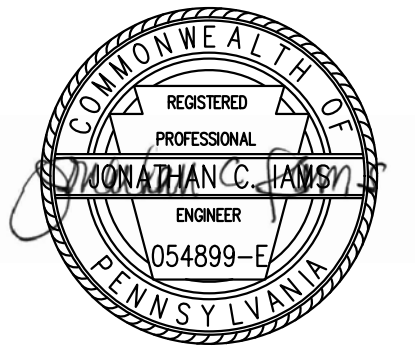
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P304 NTS
WATER RISER DIAGRAM

Fukui Architects Pc

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Pittsburgh, Pennsylvania 15219
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revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

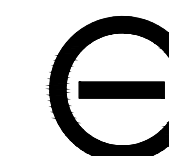
Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

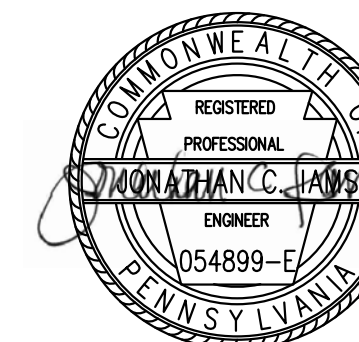
WATER RISER DIAGRAM

scale As Noted	Sheet No. P304 Project #2040
date December 3rd, 2023	
no. 177	of. 233



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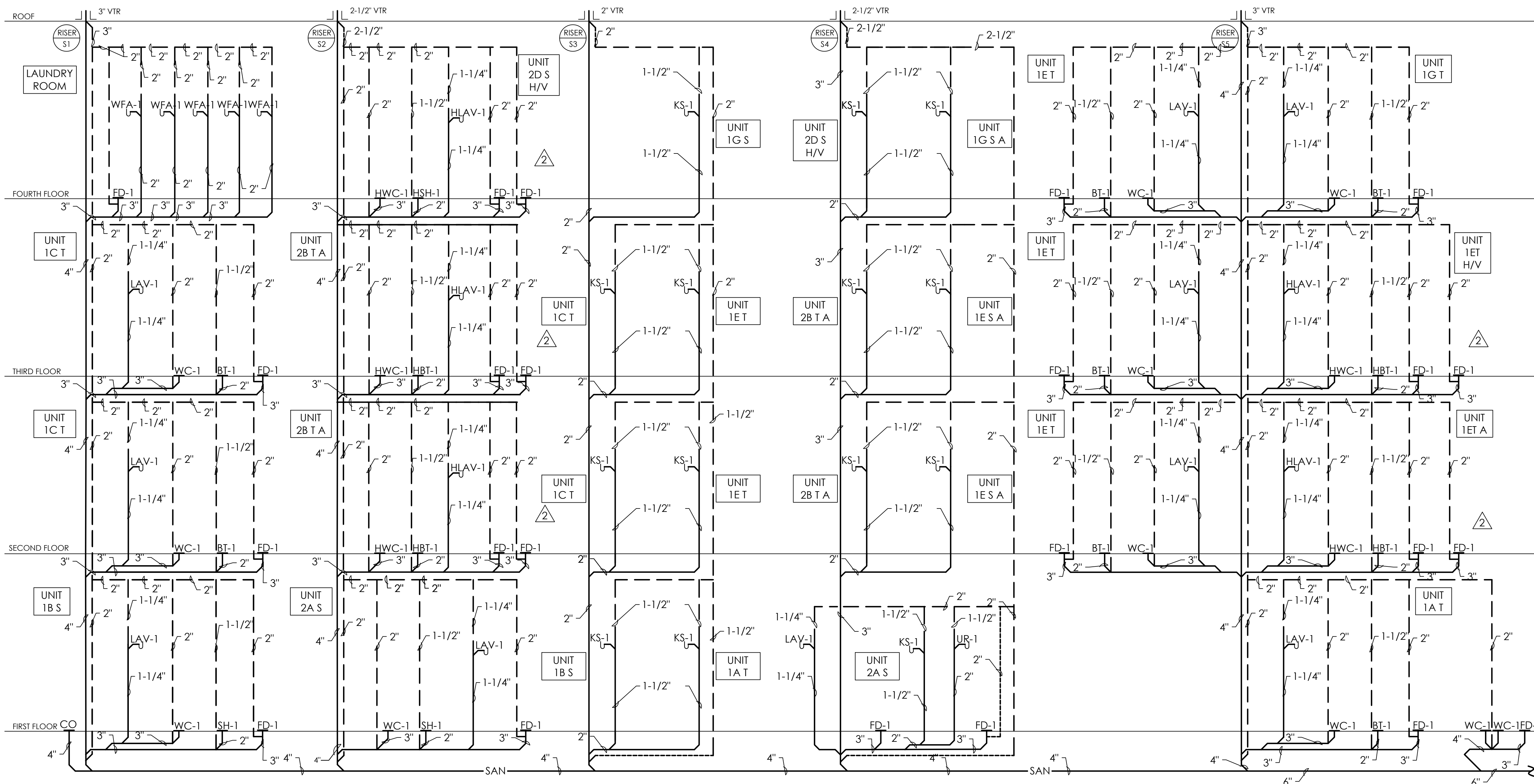
seal



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revisions



1 SANITARY RISER DIAGRAM
P305 NTS

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SANITARY RISER
DIAGRAM

scale
As Noted

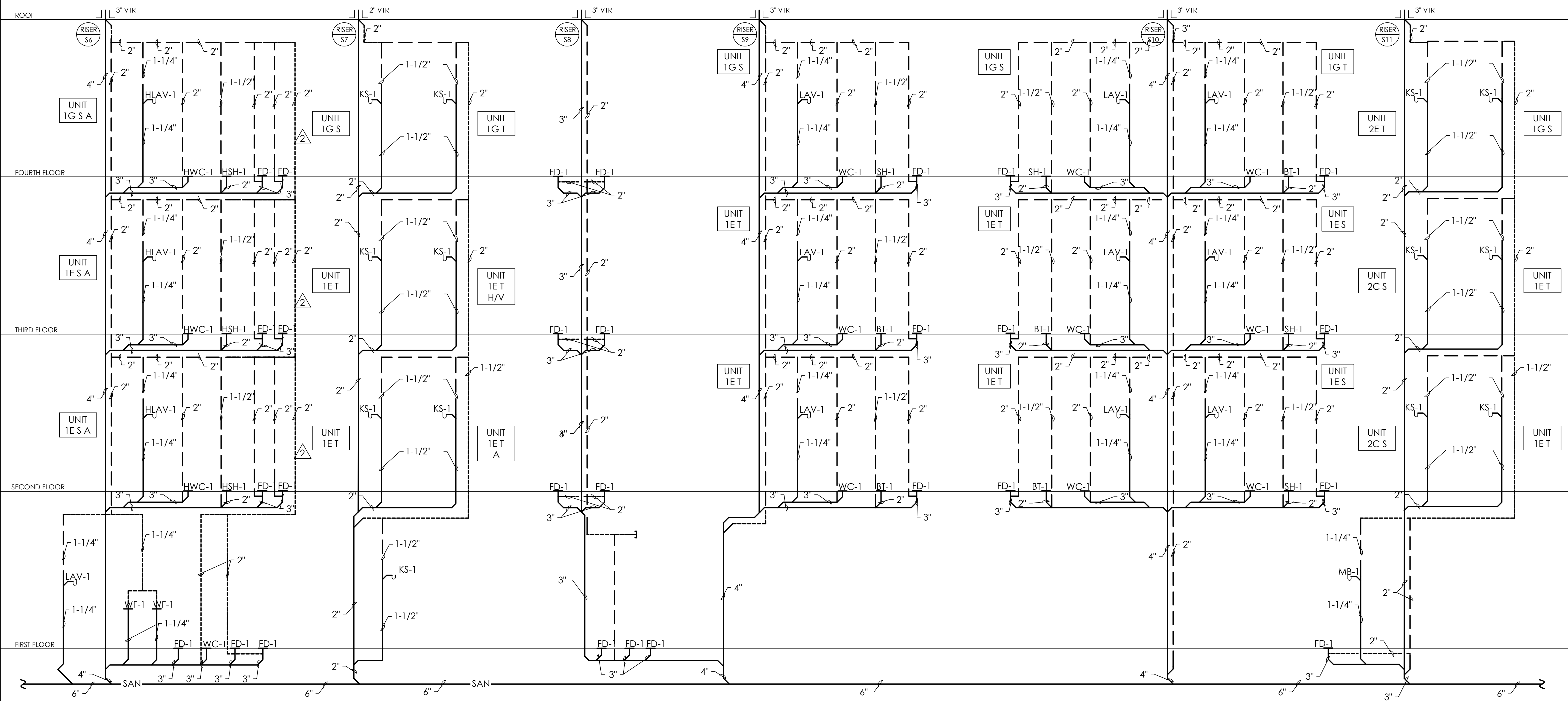
date
December 3rd, 2023

no. of.
178 233

Sheet No.

P305

Project #2040



1 SANITARY RISER DIAGRAM
P306 NTS

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seal



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revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

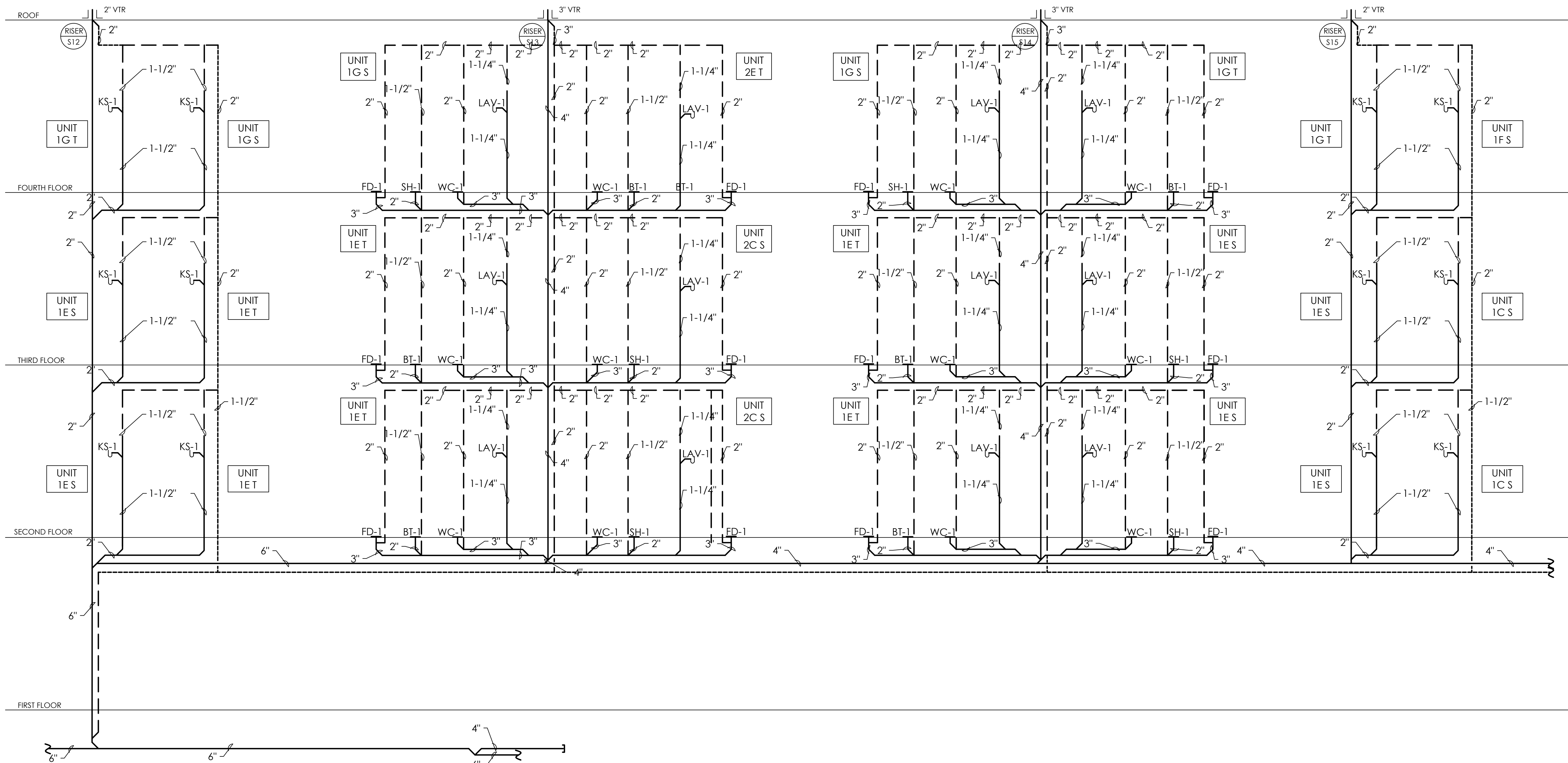
Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

**SANITARY RISER
DIAGRAM**

scale As Noted	Sheet No. P306 Project #2040
date December 3rd, 2023	
no. 179	of. 233



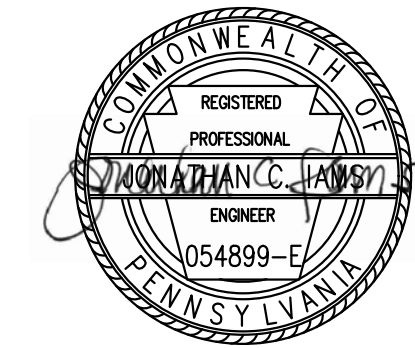
1 SANITARY RISER DIAGRAM
P307 NTS

Fukui Architects Pc

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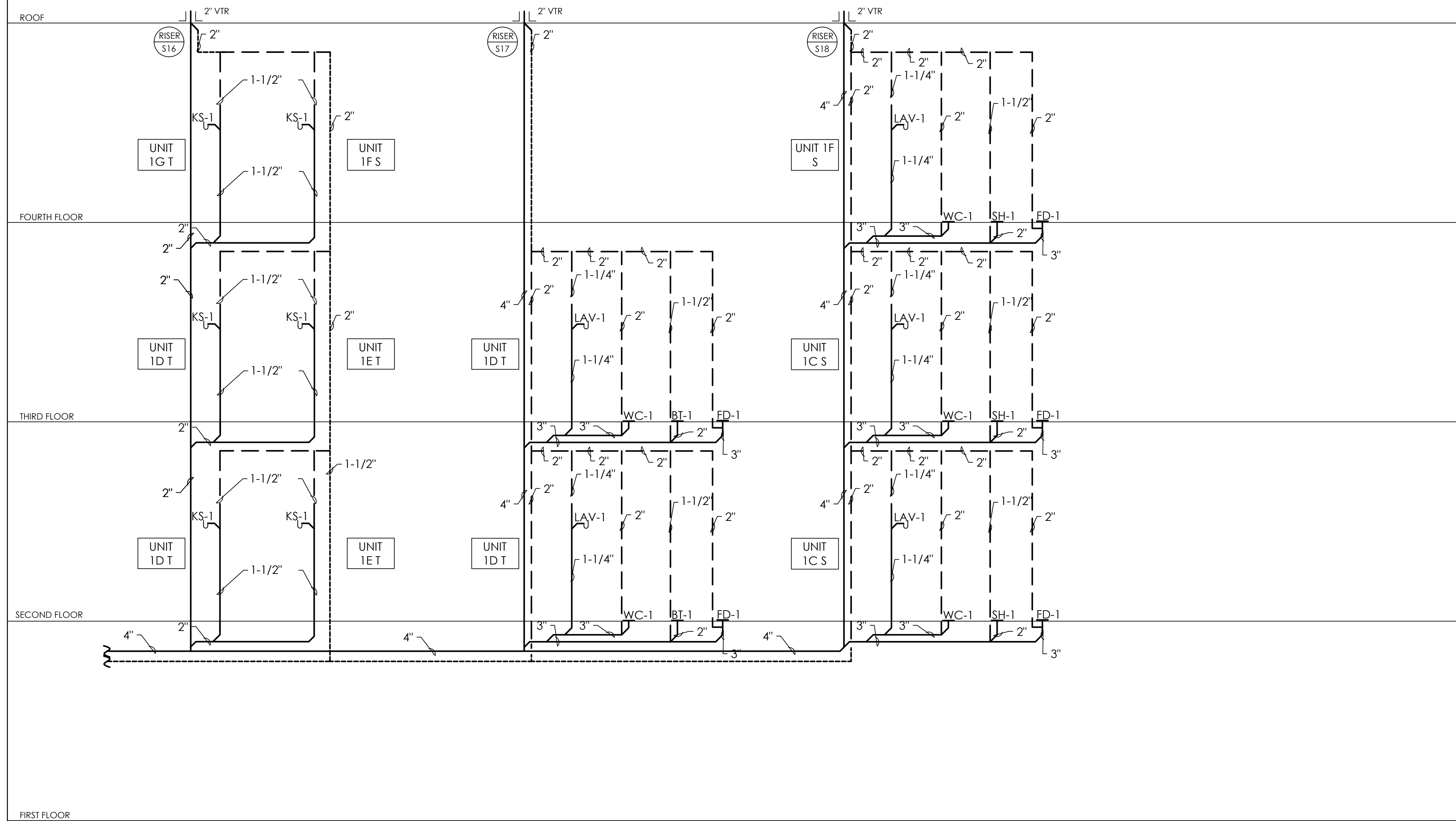
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**SANITARY RISER
DIAGRAM**

scale As Noted	Sheet No. P307 Project #2040
date December 3rd, 2023	
no. 180	of. 233



1 SANITARY RISER DIAGRAM
P308 NTS

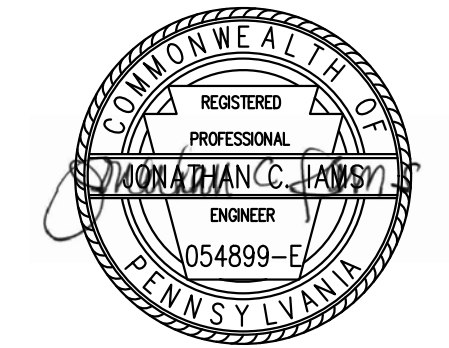
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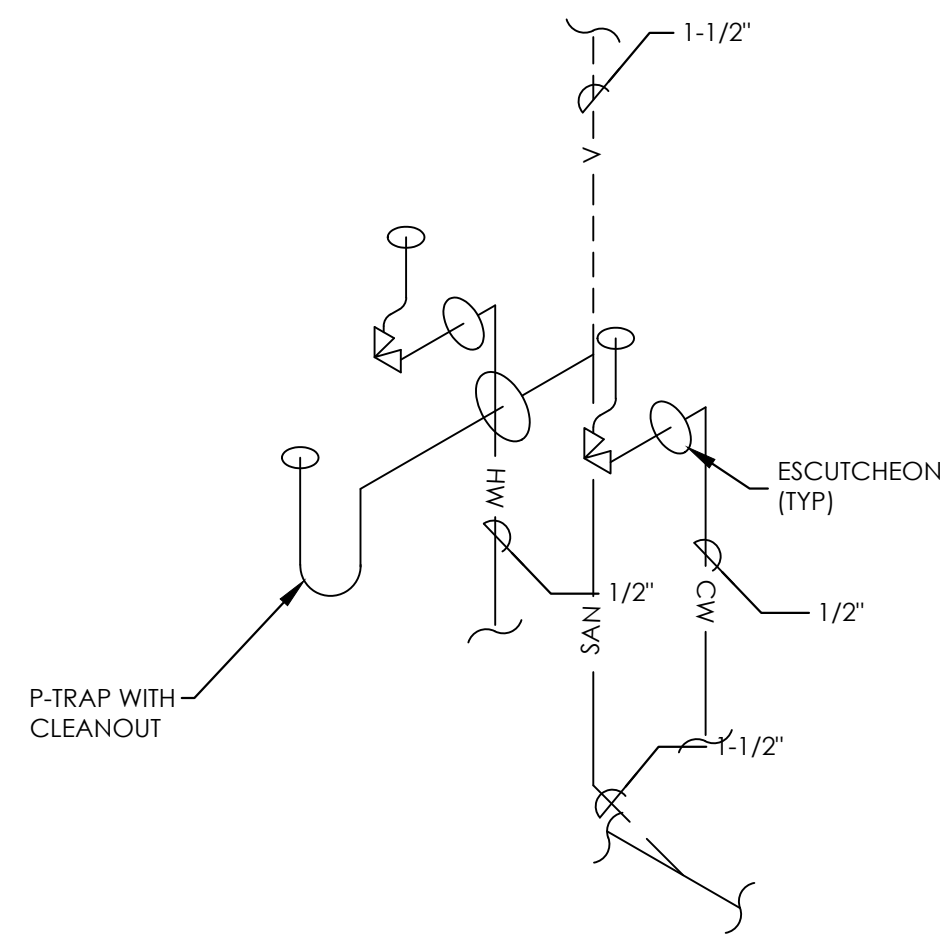
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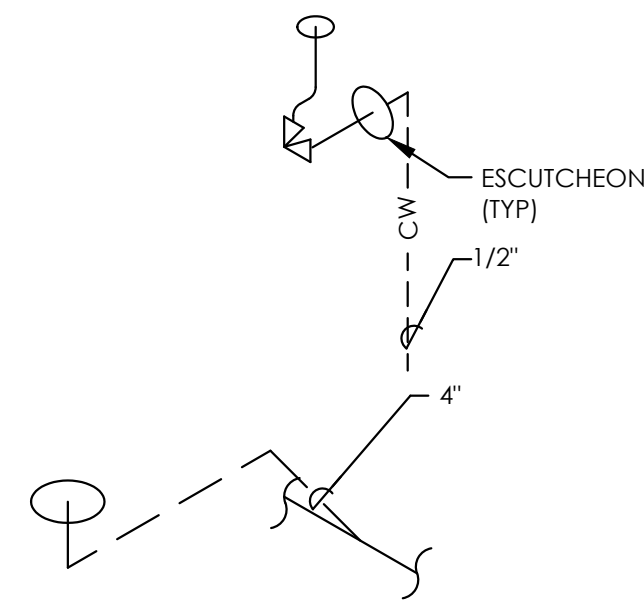
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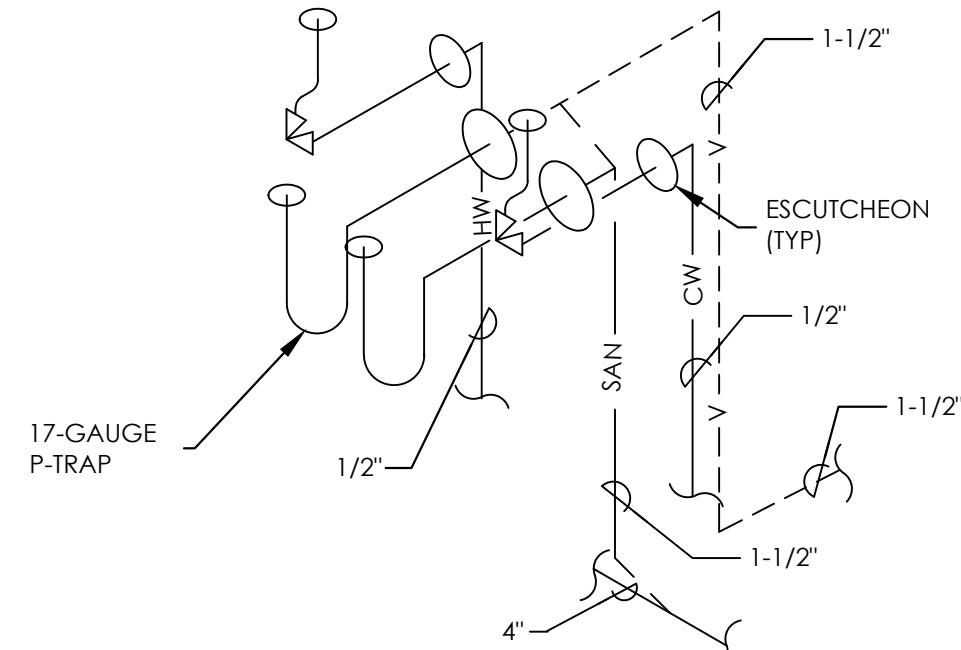
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date December 3rd, 2023	
no. 181	of. 233



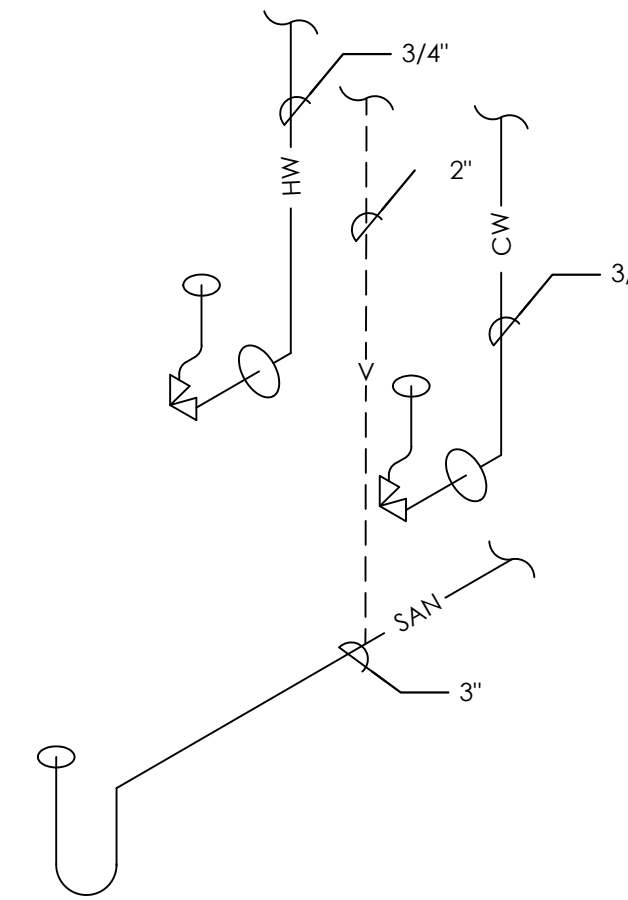
1 SINK PIPING DETAIL
P401 NTS



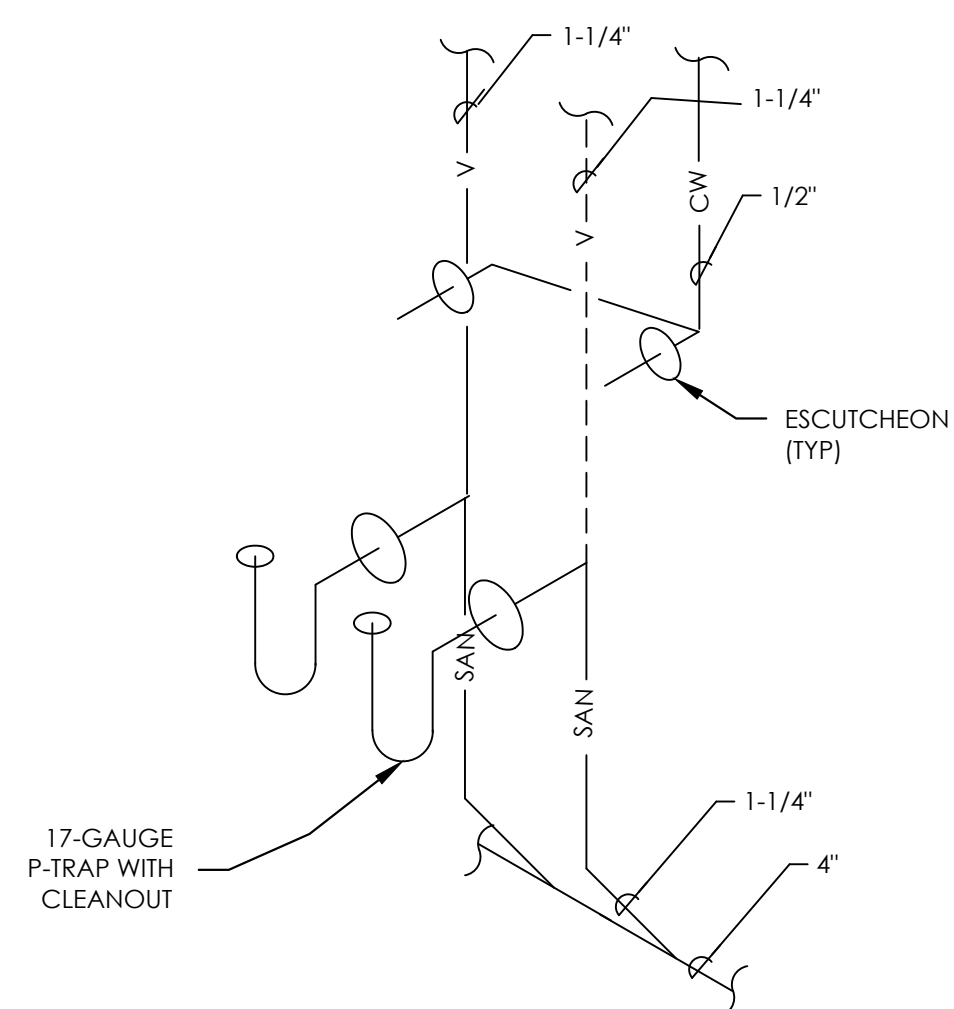
2 WATER CLOSET PIPING DETAIL
P401 NTS



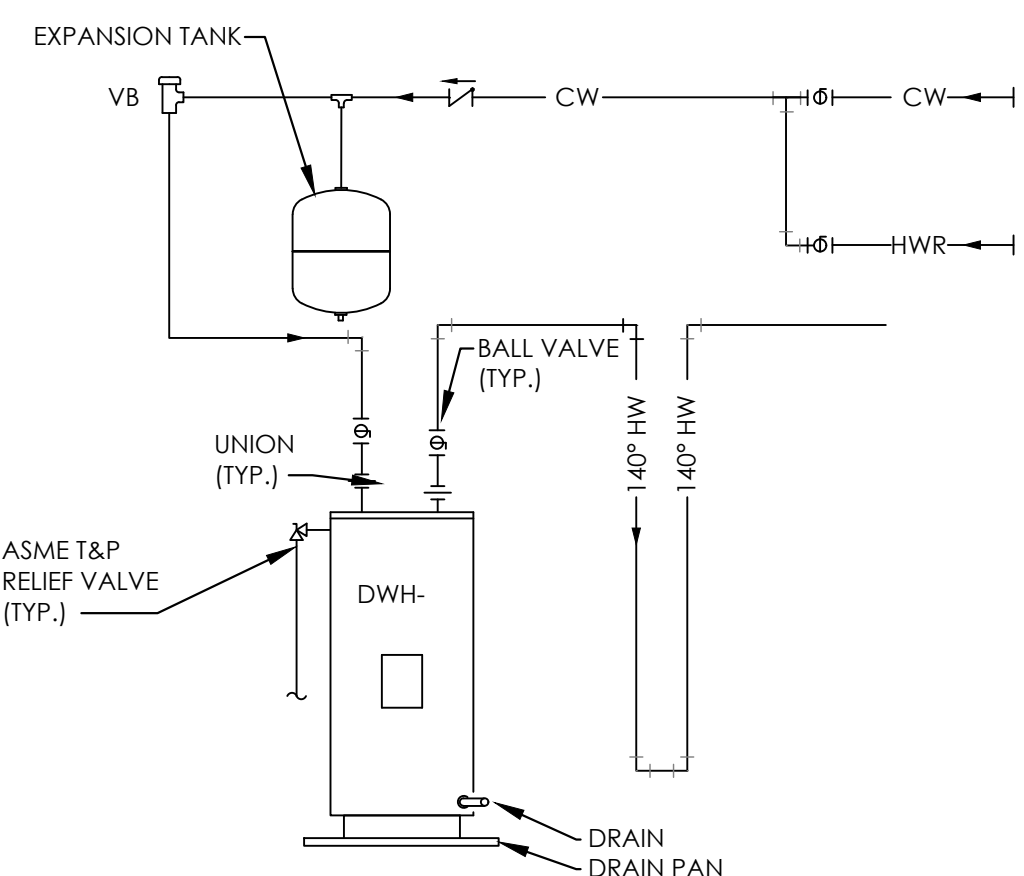
3 KITCHEN SINK PIPING DETAIL
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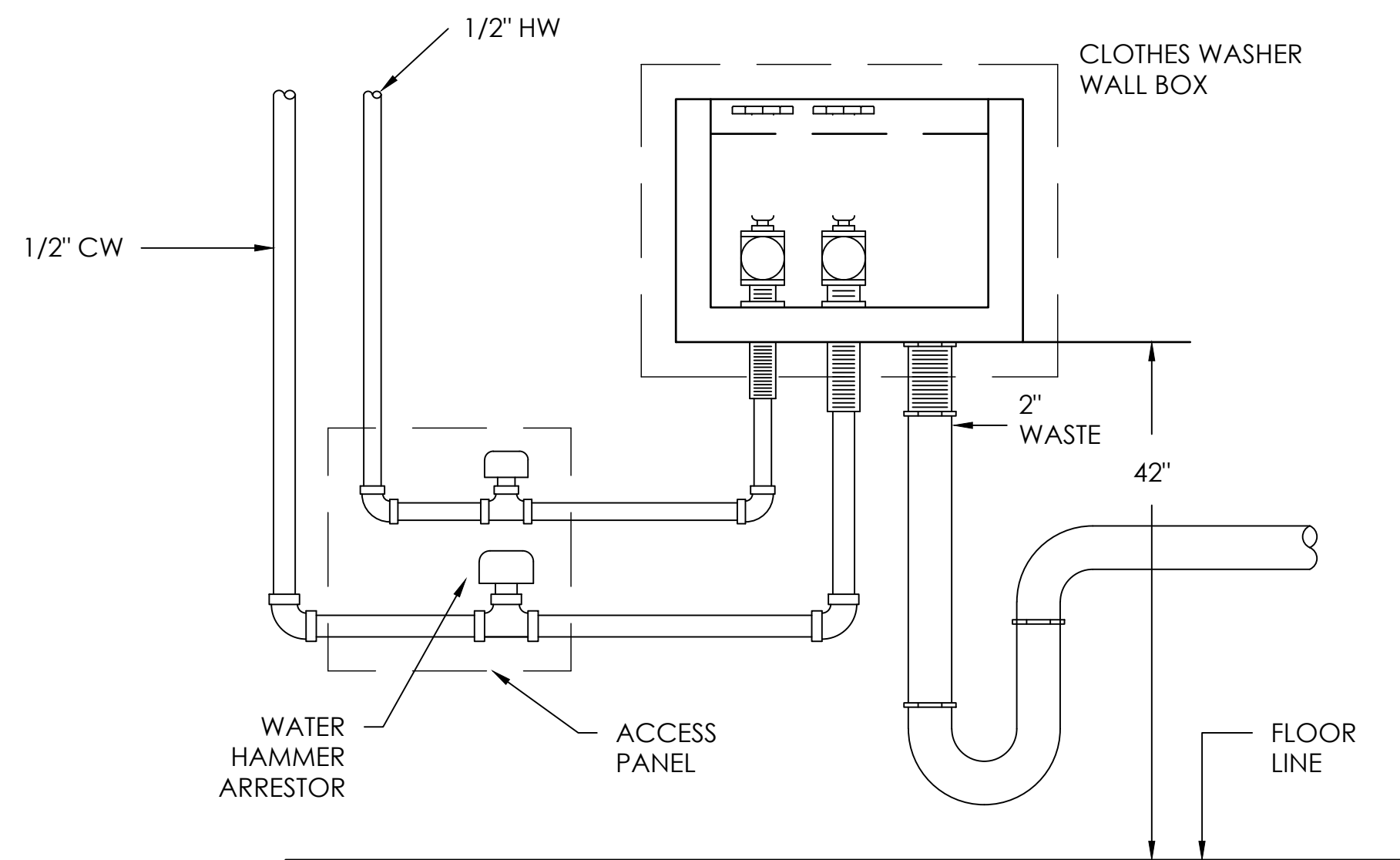
4 MOP BASIN PIPING DETAIL
P401 NTS



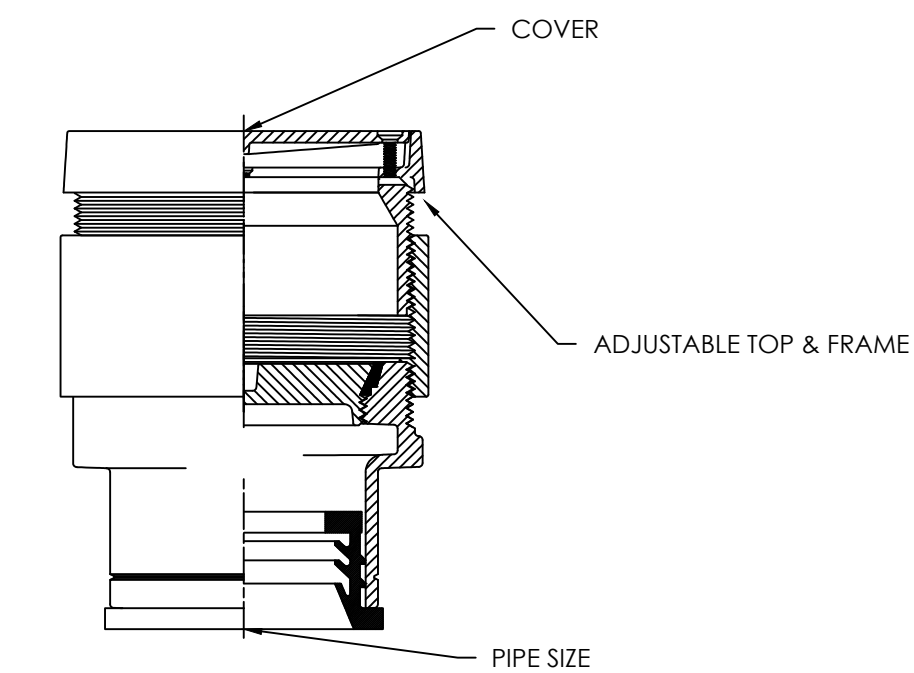
5 EWC PIPING DETAIL
P401 NTS



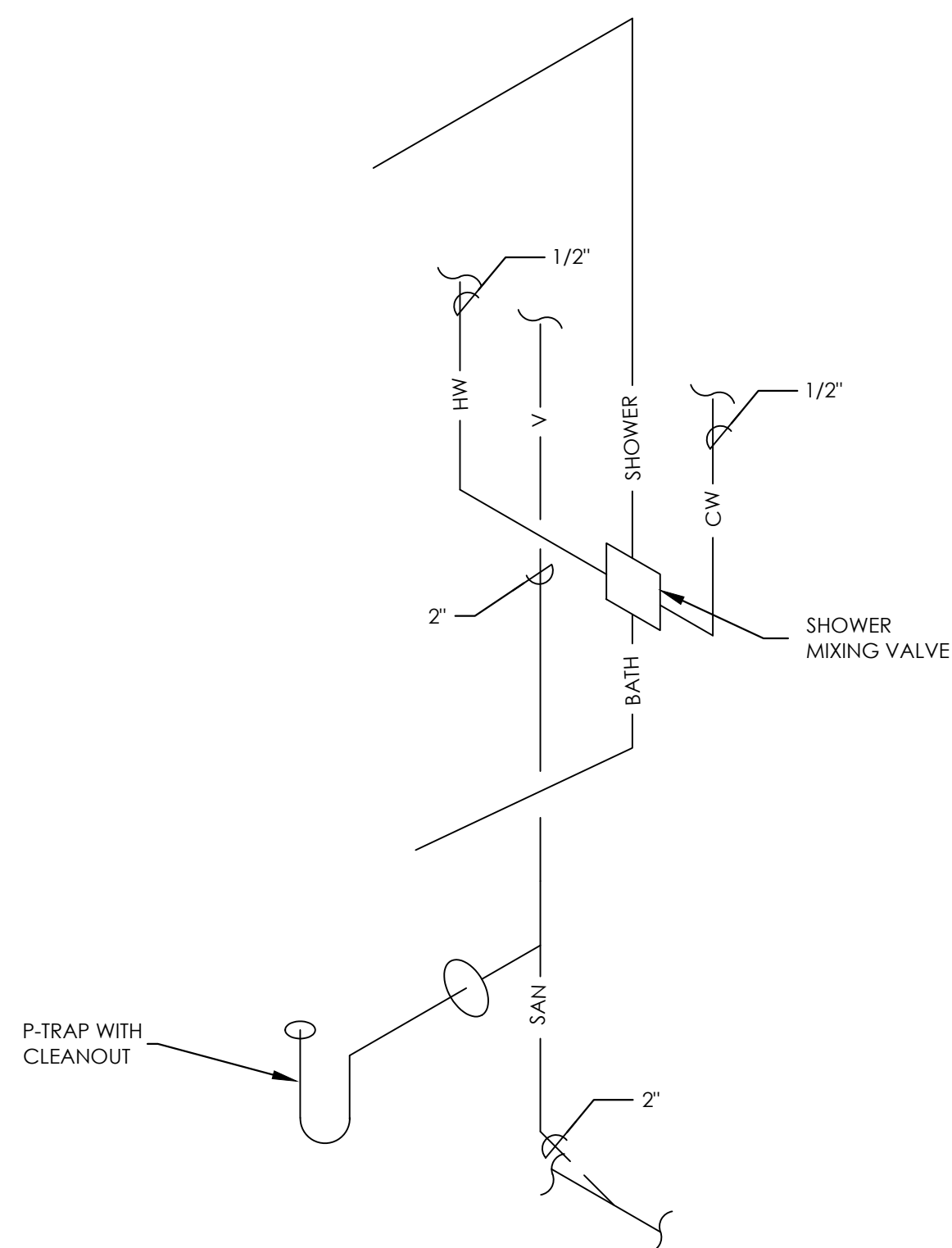
6 WATER HEATER DIAGRAM (DHW-)
P401 NTS



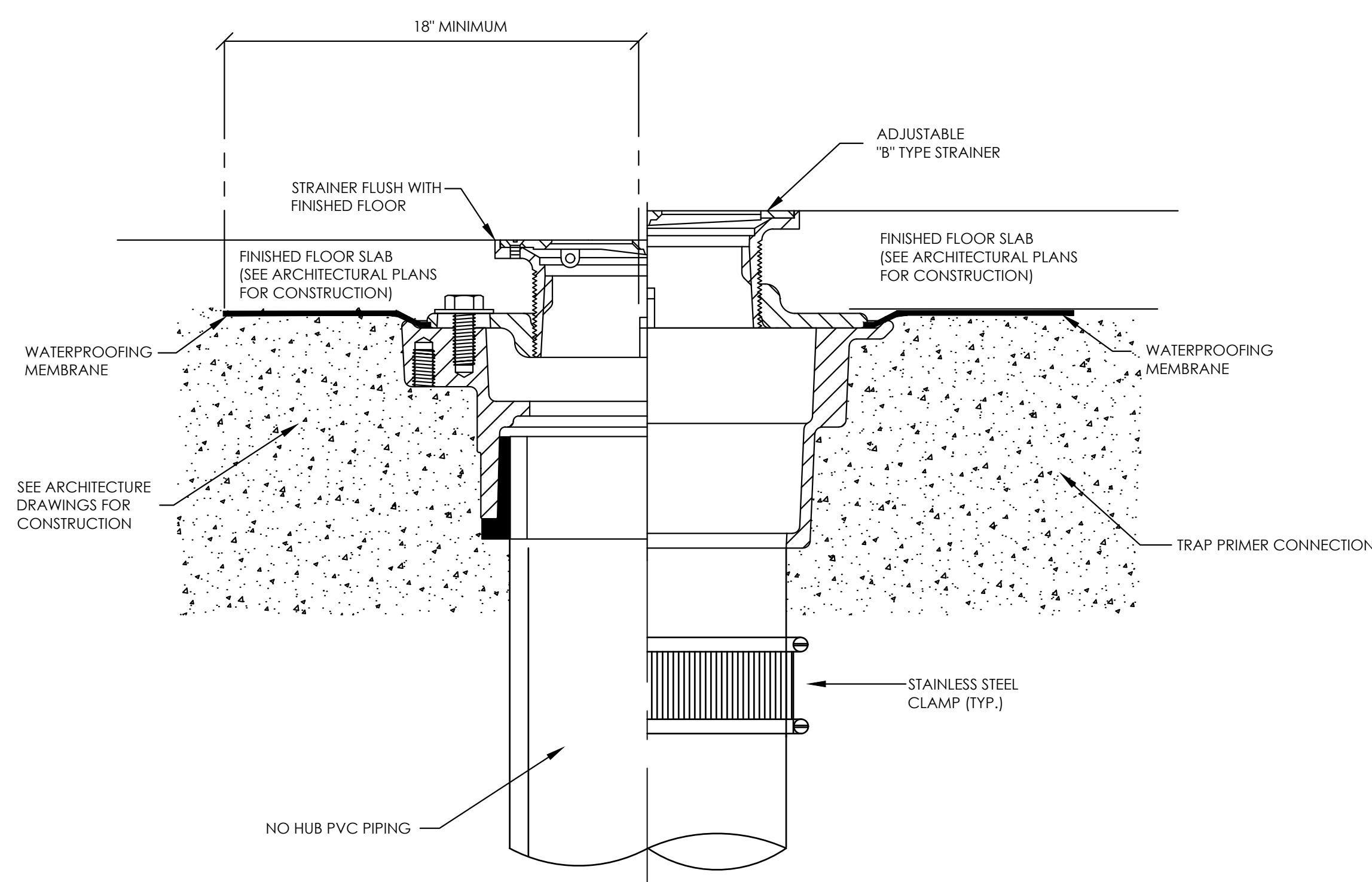
7 WASHER FILLER ASSEMBLY PIPING DETAIL
P401 NTS



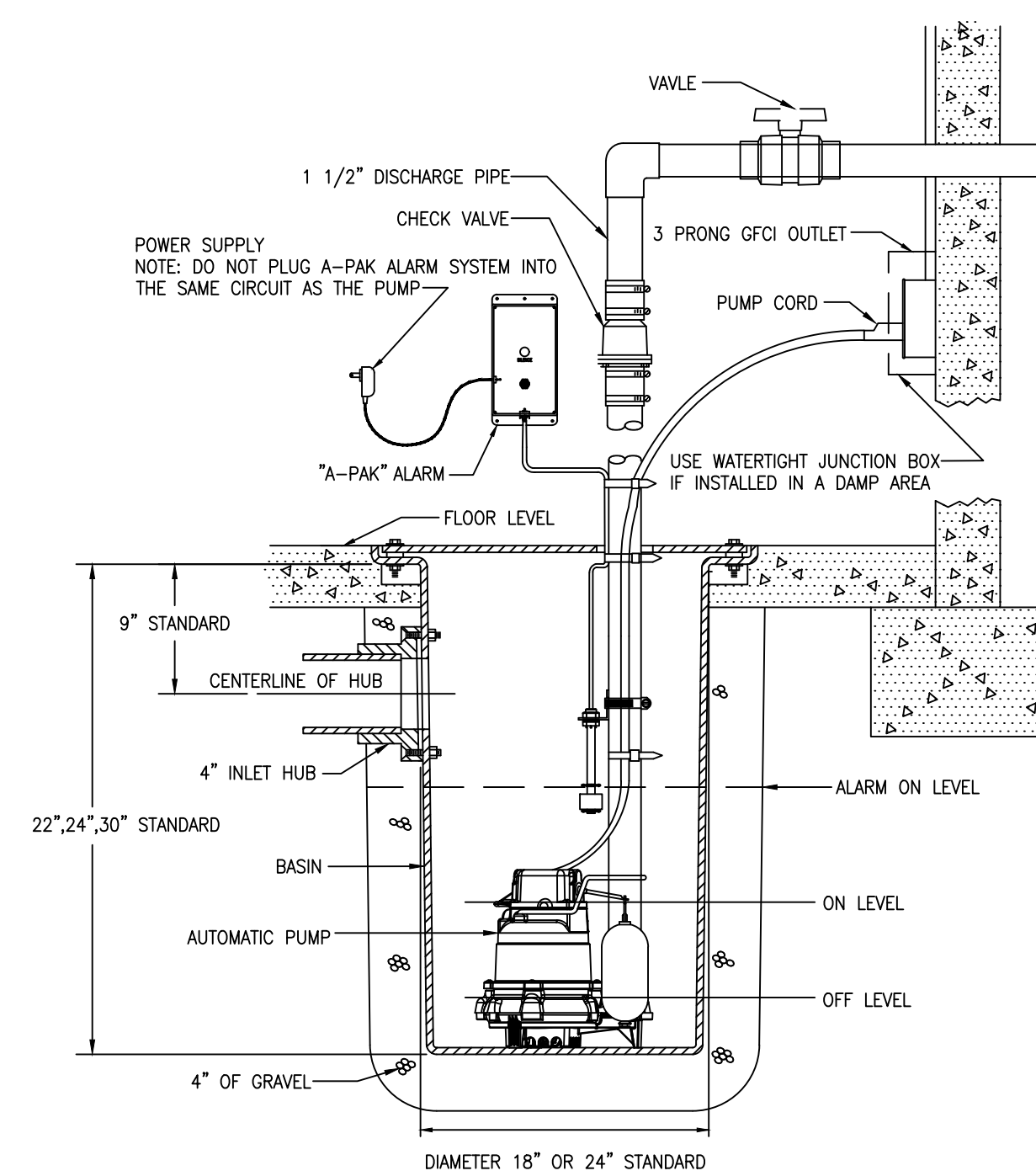
8 CLEAN-OUT DETAIL
P401 NTS



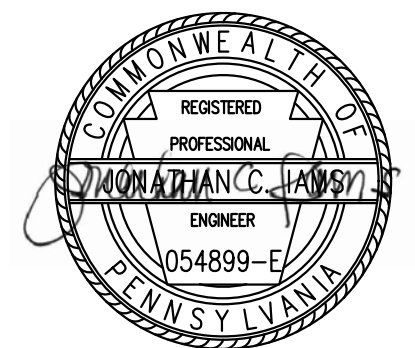
9 BATH/SHOWER PIPING DETAIL
P401 NTS



10 FLOOR DRAIN DETAIL (FD-1)
P401 NTS



11 SUMP PUMP DETAIL
P401 NTS



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drawing title

DETAILS

scale
As Noted

date
December 3rd, 2023

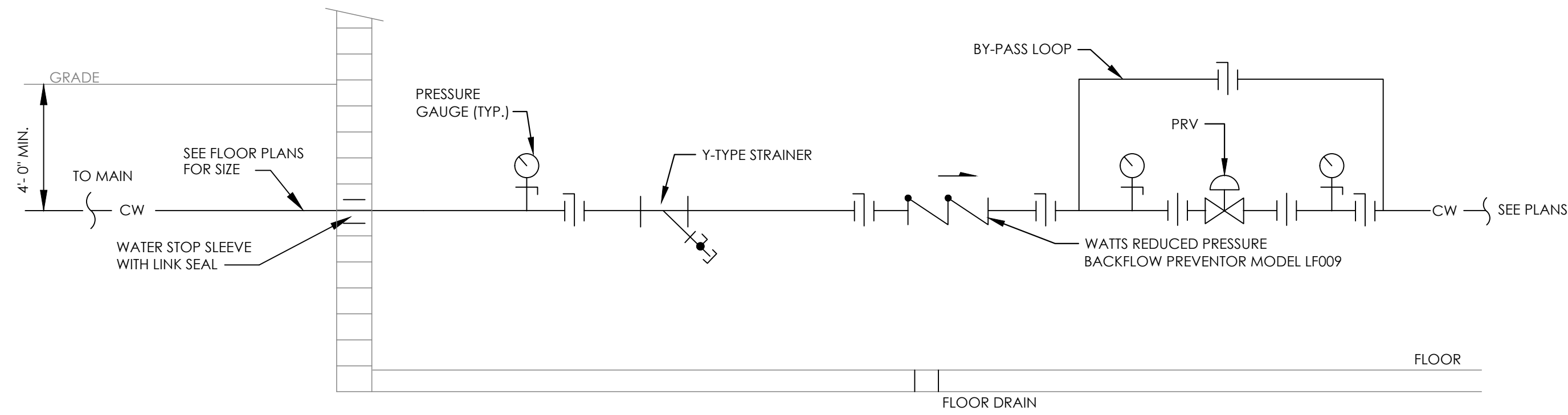
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182 233

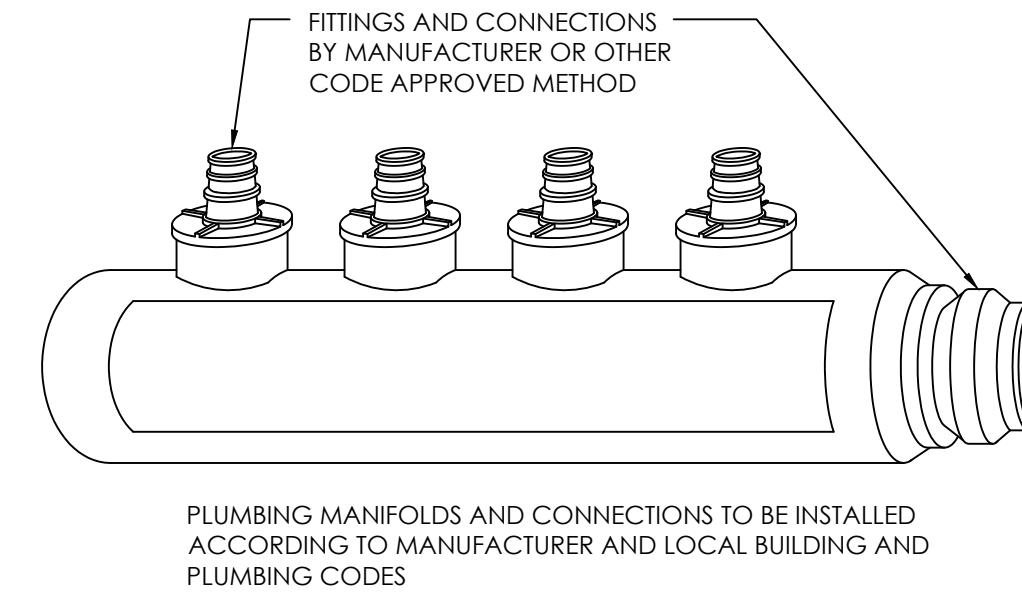
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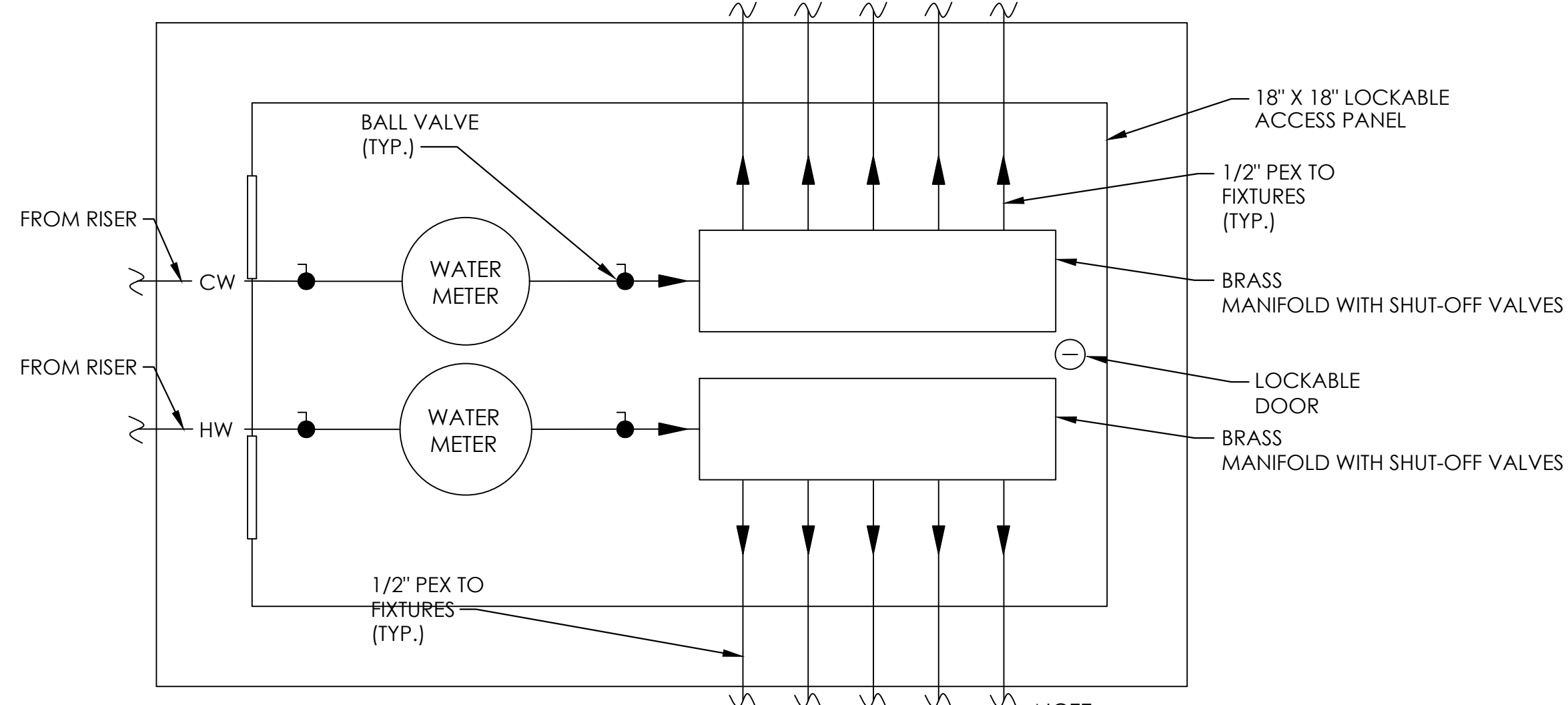
Project #2040



1 WATER SERVICE ENTRANCE DIAGRAM
P402 NTS



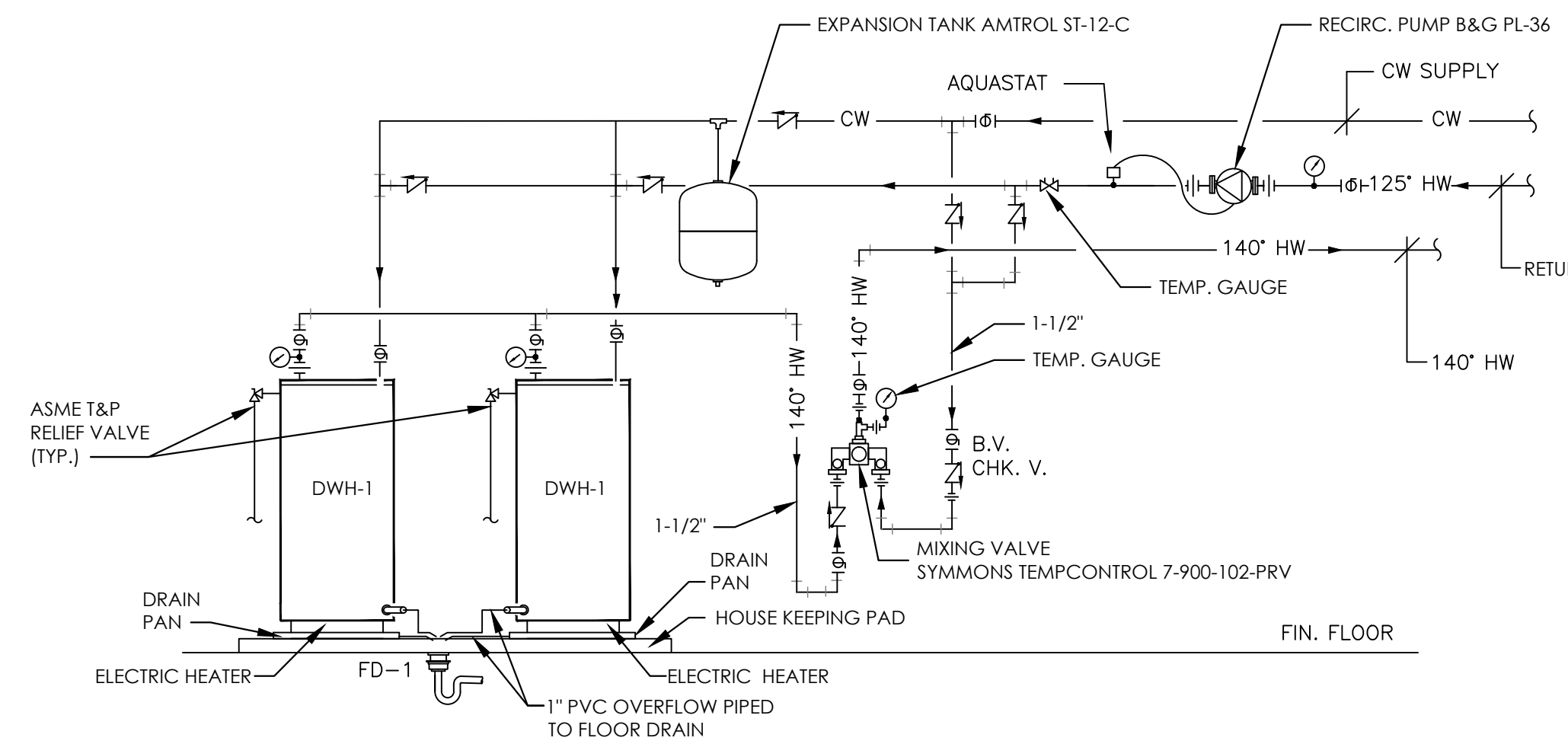
2 PEX MANIFOLD DETAIL
P402 NTS



NOTE: MANIFOLD BLOCK TO BE VANGUARD MANABLOC OR APPROVED EQUAL WITH A CONTINUOUS LENGTH OF PIPE FROM MANIFOLD TO FIXTURE.

NOTE: ALL DOMESTIC WATER PLUMBING SYSTEMS USING PEX OR OTHER CROSS-LINKED POLYETHYLENE PIPING SHALL BE INSTALLED WITH MANIFOLDS IN EACH INDIVIDUAL DWELLING UNIT. THE MANIFOLDS SHALL BE ACCESSIBLE BY MEANS OF AN ACCESS PANEL OR DOOR. ALL PIPING FROM THE MANIFOLD BLOCK TO EACH PLUMBING FIXTURE SHALL BE A SINGLE LENGTH OF CONTINUOUS POLYETHYLENE CROSS-LINKED PIPE (NO JOINTS ARE ALLOWED).

3 APARTMENT ACCESS PANEL DETAIL
P402 NTS



4 WATER HEATER PIPING DETAIL
P-402 NTS



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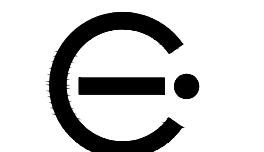
DETAILS

scale	As Noted
date	December 3rd, 2023
no.	183
of.	233

Sheet No.

P402

Project #2040



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drawing title

**RADON SYSTEM
DETAILS**

scale
As Noted

date
December 3rd, 2023

no. of.
184 233

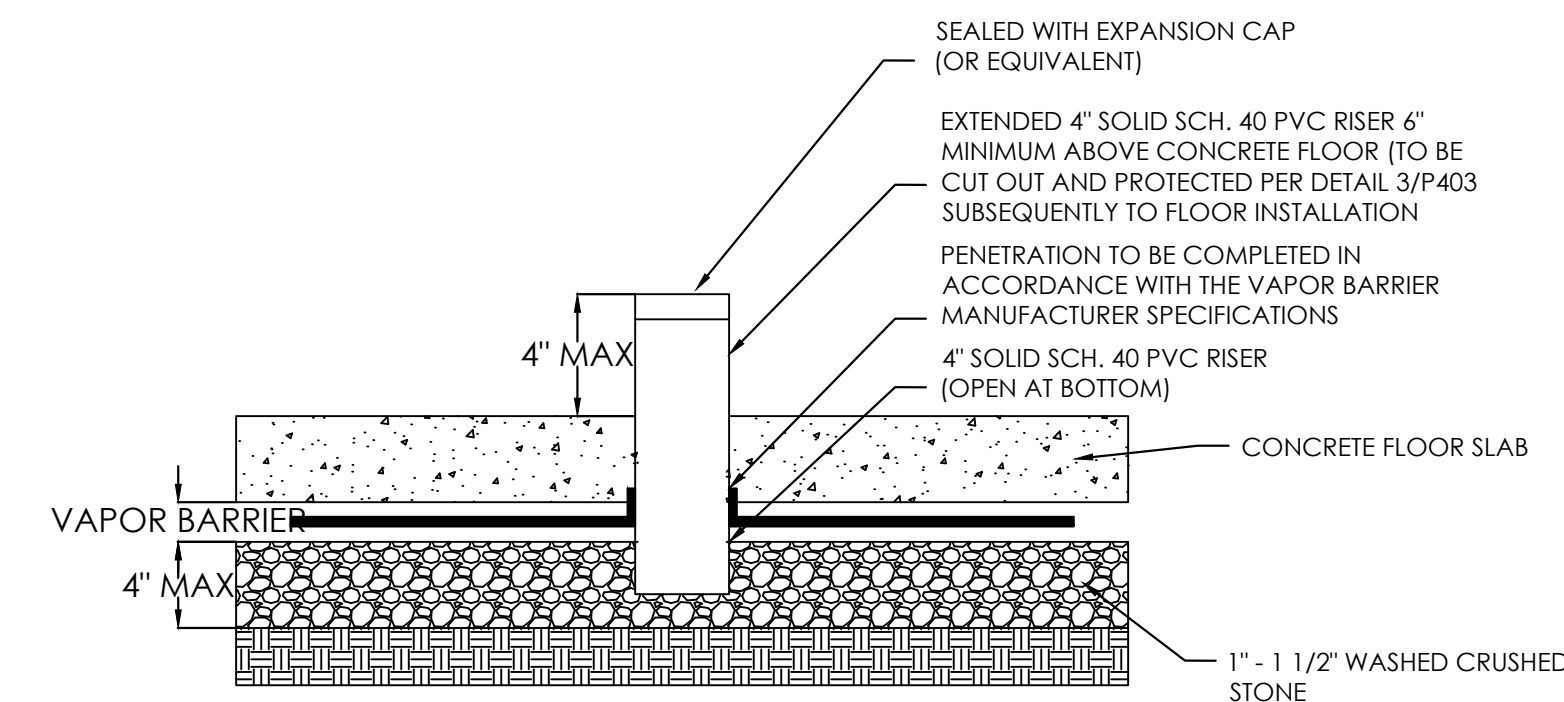
Sheet No.

P403

Project #2040

RADON GENERAL NOTES:

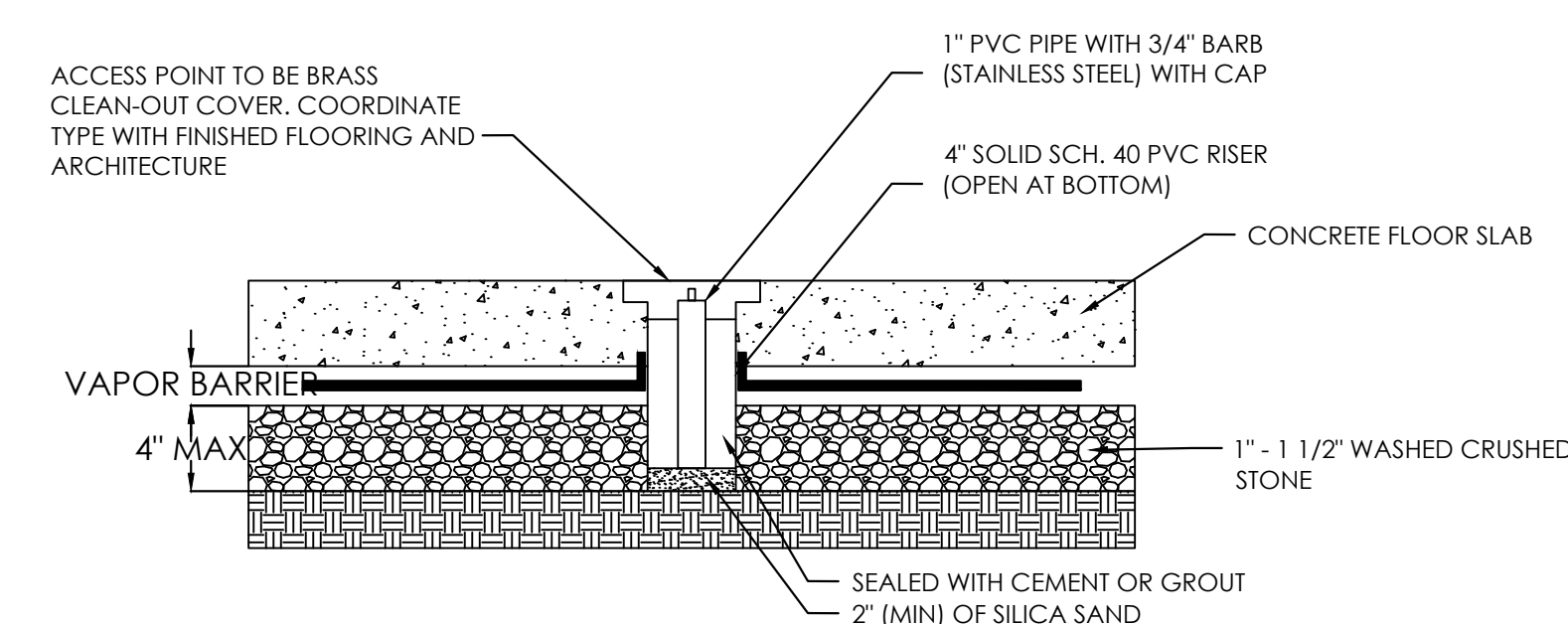
- ALL RADON PIPING TO BE SCHEDULE 40 PERFORATED PVC.
- PROVIDE 6" SLIP JOINT ON VERTICAL TEE TO ACCOMMODATE FOR SETTLING AND MOVEMENT IN THE PIPE.
- ALL SOLID HORIZONTAL PIPING IS TO BE SLOPED TO PERFORATED PIPE TO AVOID CONDENSATION BUILD-UP.
- ARCHITECT TO FINALIZE TESTING PORT LOCATIONS AND CAPS.
- SUCTION FAN TO BE SELECTED AND INSTALLED BY OTHERS IF APPLICABLE AFTER TESTING AND CALCULATIONS ARE AVAILABLE.
- LOW-SHRINK CONCRETE SLABS TO BE POURED TIGHT TO WALLS AND PENETRATING OBJECTS. WHEN EXPANSION JOINT MATERIAL IS USED, SEAL JOINTS USING POLYURETHANE CAULK OR EQUIVALENT.
- RADON CONTRACTOR IS RESPONSIBLE FOR SEALING ALL RADON PIPING ABOVE CONCRETE SLAB INCLUDING CAPPING AND SEALING ALL TESTING AND SAMPLE PORTS.
- LOCATION OF ACCESS PANEL FOR DIFFERENTIAL PRESSURE GAUGE TO BE FINALIZED BY ARCHITECTURE.



NOTES:

- DESIGN OF FOUNDATION, SLAB AND RELATED FEATURES REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.

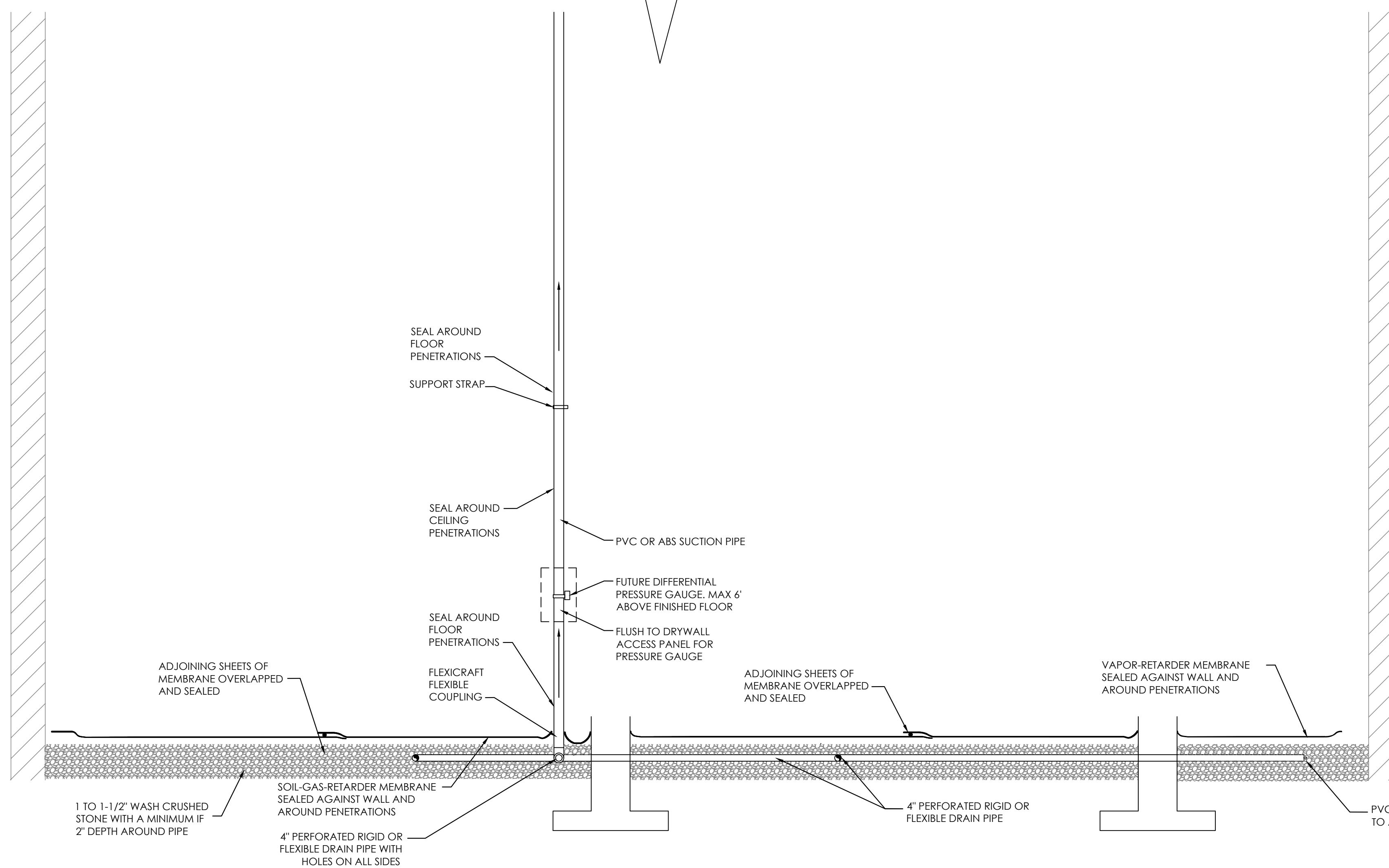
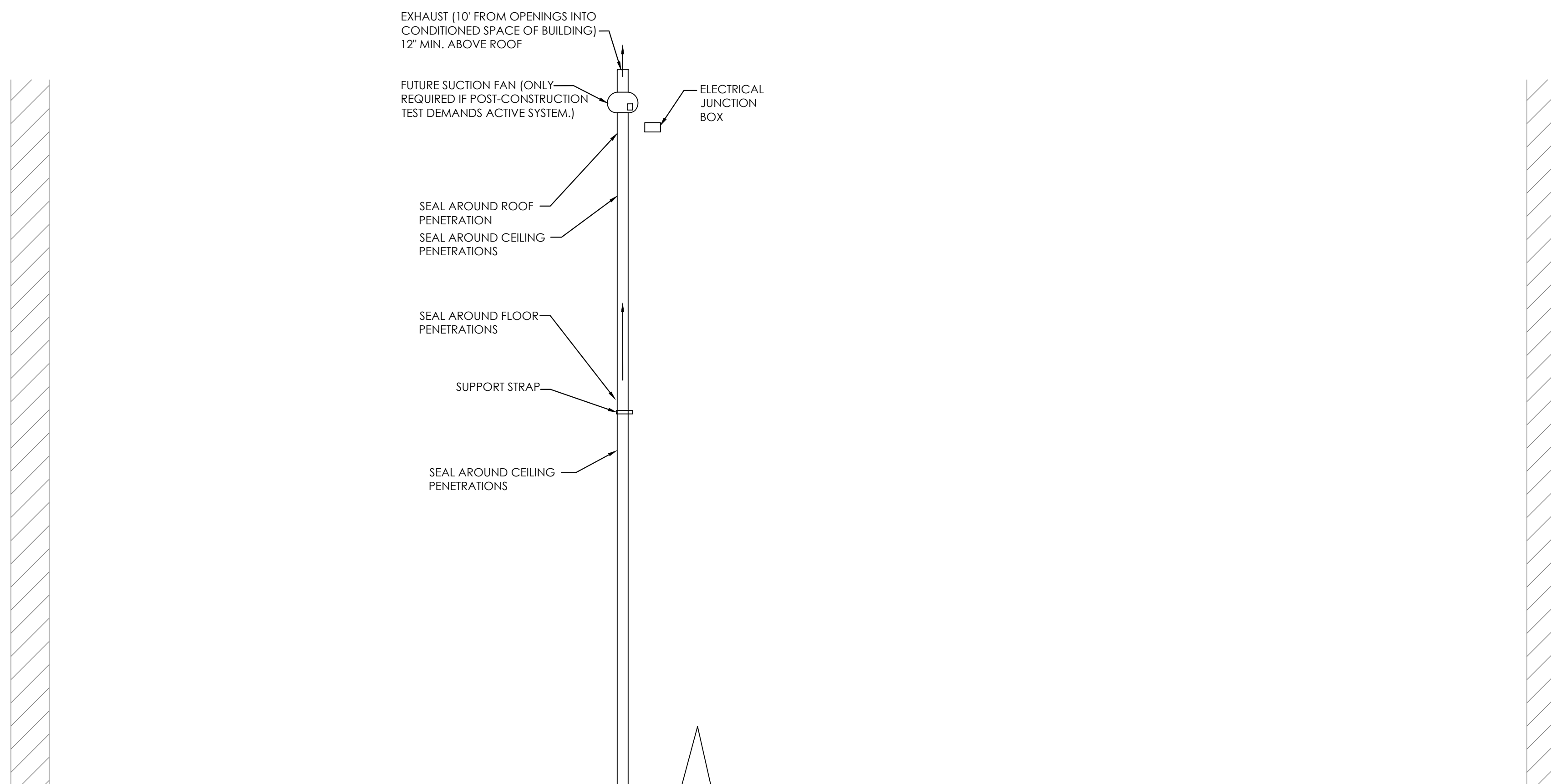
2 SUB-SLAB SAMPLE ACCESS POINT
NO SCALE



NOTES:

- DESIGN OF FOUNDATION, SLAB AND RELATED FEATURES REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- SAMPLE POINT TO BE COMPLETED AFTER CONSTRUCTION OF CONCRETE FLOOR AT THE SUB-SLAB SAMPLE POINT

3 SUB-SLAB SAMPLE POINT
NO SCALE



1 RADON PIPING DETAIL
1/4" = 1'-0"

PLUMBING PIPING MATERIAL AND INSULATION SCHEDULE

TYPE	SYSTEM	MATERIAL	FITTINGS	JOINTS	PIPE SIZE	INSULATION
CW	POTABLE COLD WATER	COPPER TUBING: ASTM B88, TYPE 'L', HARD	COPPER FITTINGS: ASME B16.22, WROUGHT	ASTM B32, SOLDER, GRADE 95TA, LEAD FREE	ALL SIZES	1" FIBERGLASS INSULATION FOR 1" AND LOWER
CW	POTABLE COLD WATER (APARTMENT UNITS)	PEX-g TUBING	PEX-g FITTINGS: ASTM F1960	---	ALL SIZES	1.5" FIBERGLASS INSULATION FOR 1.5" PIPES AND HIGHER
HW	POTABLE HOT WATER	COPPER TUBING: ASTM B88, TYPE 'L', HARD	COPPER FITTINGS: ASME B16.22, WROUGHT	ASTM B32, SOLDER, GRADE 95TA, LEAD FREE	ALL SIZES	1" FIBERGLASS INSULATION FOR 1" AND LOWER
HW	POTABLE HOT WATER (APARTMENT UNITS)	PEX-g TUBING	PEX-g FITTINGS: ASTM F1960	---	ALL SIZES	1.5" FIBERGLASS INSULATION FOR 1.5" PIPES AND HIGHER
G	NATURAL GAS	SCHEDULE 40 THREADED STEEL	SCHEDULE 40 THREADED STEEL	THREADED	ALL SIZES	NO INSULATION
SAN	BELOW GRADE SANITARY	SCHEDULE 40 PVC	SCHEDULE 40 PVC	GLUED	ALL SIZES	NO INSULATION
SAN	SANITARY	SCHEDULE 40 PVC	PVC	GLUED	ALL SIZES	NO INSULATION
V	VENT	SCHEDULE 40 PVC	PVC	GLUED	ALL SIZES	NO INSULATION
ST	BELOW GRADE STORM	SCHEDULE 40 PVC	PVC	GLUED	ALL SIZES	NO INSULATION
RWC	ABOVE GRADE STORM	SCHEDULE 40 PVC	PVC	GLUED	ALL SIZES	1" FIBERGLASS INSULATION FOR HORIZONTAL PIPING
RD	RADON (UNDERGROUND)	PERFORATED PVC	PVC	GLUED	ALL SIZES	NO INSULATION
RD	RADON	SCHEDULE 40 PVC	PVC	GLUED	ALL SIZES	NO INSULATION

PLUMBING FIXTURE SCHEDULE

TAG	MANUFACTURER	MODEL	DESCRIPTION	FLOW RATE	CW	HW	SAN	V	REMARKS
WC-1	GERBER	WS-21-512	VIPER 1.28 GPF ELONGATED TOILET	1.28 GPF	1/2"	-	3" / 4"	2"	MAINLINE ML170 SOLID PLASTIC SEAT, WATERSEBSE-LABELED
HWC-1	GERBER	WS-21-518	VIPER 1.28 GPF ERGOHEIGHT ADA ELONGATED TOILET	1.28 GPF	1/2"	-	4"	2"	MAINLINE ML170 SOLID PLASTIC SEAT, WATERSEBSE-LABELED
LAV-1	GERBER	13-894-SP	WICKER PARK SELF-RIMMING LAVATORY	-	-	-	1-1/4"	1-1/4"	
(LAV-1 FAUCET)	SYMMONS	S-9612-1.5	ORIGINS SINGLE HANDLE CENTERSET LAVATORY FAUCET	1.5 GPM	1/2"	1/2"	-	-	WATERSEBSE-LABELED
BT-1	OASIS	TS-6032/FH	VURSA SERIES TUB/SHOWER 60" X 32" X 72-1/2"	-	-	-	1-1/4"	1-1/4"	FAIR HOUSING WALL REINFORCEMENT
(BT-1 FAUCET)	SYMMONS	9602-PLR	TUB / SHOWER TRIM	1.5 GPM	1/2"	1/2"	-	-	WATERSEBSE-LABELED
HBT-1	FREEDOM SHOWERS	APTG3260TSADA3P	60" X 32" ACCESSIBLE TUB-SHOWER COMBINATION, ADA COMPLIANT	-	-	-	2"	2"	
(HBT-1 FAUCET)	SYMMONS	6601	1.5 GPM SINGLE LEVER SHOWER SYSTEM WITH ADJUSTABLE SHOWER SPRAY	1.5 GPM	1/2"	1/2"	-	-	SYMMONS 9603-PLR HANDSHOWER WITH SLIDEBAR, WATERSENSE-LABELED
SH-1	STERLING	72240100	36" x 36" ED SHOWER WITH BACKERBOARDS	-	-	-	2"	2"	FAIR HOUSING WALL REINFORCEMENT
(SH-1 FAUCET)	SYMMONS	6601	1.5 GPM SINGLE LEVER SHOWER SYSTEM WITH ADJUSTABLE SHOWER SPRAY	1.5 GPM	1/2"	1/2"	-	-	WATERSEBSE-LABELED
HSHR-1	FREEDOM SHOWERS	APFQ3838BF1PRRF	38"X38" ROLL IN SHOWER, ADA COMPLIANT	-	-	-	2"	2"	
HSHR-1	FREEDOM SHOWERS	APFXST6232LDCOL	60"X30" ADA COMPLIANT ALCOVE SHOWER WITH FULL PLYWOOD BACKING, SEAT, GRAB BARS, SOAP DISHES.	-	-	-	-	-	
(HSHR-1 FAUCET)	SYMMONS	6601	1.5 GPM SINGLE LEVER SHOWER SYSTEM WITH ADJUSTABLE SHOWER SPRAY	1.5 GPM	1/2"	1/2"	-	-	SYMMONS 9603-PLR HANDSHOWER WITH SLIDEBAR, WATERSENSE-LABELED
MB-1	MUSTEE	19F	UTILATUB LAUNDRY/UTILITY TUB	-	-	-	3"	2"	
(MB-1 FAUCET)	KOHLER	K-15271-4	4" CENTERSET 6" SWING SERVICE SINK FAUCET	2.2 GPM	1/2"	1/2"	-	-	
KS-1	KOHLER	K-5267-1	STAINLESS STEEL 33" X 22" X 9" DOUBLE BOWL DROP-IN SINK WITH SINGLE FAUCET HOLE	-	-	-	1-1/2"	1-1/2"	
(KS-1 FAUCET)	KOHLER	K-22972	PULL-DOWN SINGLE-HANDLE KITCHEN FAUCET	1.5 GPM	1/2"	1/2"	-	-	
(KS-1 GARBAGE DISPOSAL)	INSINKERATOR	BADGER 5	1/2 HP MOTOR, GALVANIZED STEEL CONSTRUCTION, CONTINUOUS FEED GARBAGE DISPOSAL WITH STEEL GRINDING ELEMENTS.	-	-	-	-	-	
WF-1	ELKAY	LZWS-LRPBM28K	EZH2O BOTTLE FILLING STATION WITH INTEGRAL SWIRLFLO FOUNTAIN	8 GPH	1/2"	1/2"	1-1/4"	1-1/4"	
WFA-1	OATLEY	38529	WASHING MACHINE FILLER ASSEMBLY	0.5 GPM	1/2"	1/2"	2"	2"	
FD-1	ZURN	Z4158	FLOOR DRAIN BODY ASSEMBLY WITH "TYPE B" STRAINER	-	-	-	3" / 4"	2"	PROVIDE TRAP PRIMER CONNECTION ON ALL FLOOR DRAINS ABOVE GRADE
CO	ZURN	Z-1440	FLOOR CLEANOUT	-	-	-	3" / 4"	-	
TP-1	PRECISION PLUMBING PRODUCTS	P2-500	PRESSURE DROP ACTIVATED TRAP PRIMER	-	1/2"	-	-	-	
HB-1	ZURN	Z1341	WALL FAUCET	-	1/2"	-	-	-	
(HB-1 BOX)	ZURN	Z1341-BOX	FAUCET BOX	-	-	-	-	-	
RD-1	JAY R SMITH	1470	8" PROMENADE DECK DRAIN, SIZE A	-	-	-	-	-	
NOTE: VERIFY ALL FINISHES WITH ARCHITECT	MEPLUM ARCHITECT	T-10/ECODER	LEAD-FREE WATER METER WITH REMOTE METER READING, LEAK, TAMPER, REVERSE FLOW DETECTION.	-	-	-	-	-	

ELECTRIC WATER HEATER SCHEDULE

TAG	MANUFACTURER	MODEL	STORAGE (GAL)	DELIVERY TEMP. (°F)	RECOVERY (GPH)	DELTA TEMP. (°F)	VOLT/PH/HZ	CURRENT (A)	ELECTRIC REQUIRED (KW)	CW/HW SIZES	REMARKS
DWH-1	AO SMITH	CAHP 120	119	140	90	100	208/1/60	67	11.13	2" / 2"	-

SUMP PUMP SCHEDULE

TAG	MANUFACTURER	MODEL NUMBER	CAPACITY	VOLTAGE	AMP	HP	NOTES
SP-1	LIBERTY PUMP	ELV280	50 GPM	115	15	1/2	ELEVATOR SUMP PUMP WITH OILTECTOR CONTROL AND ALARM

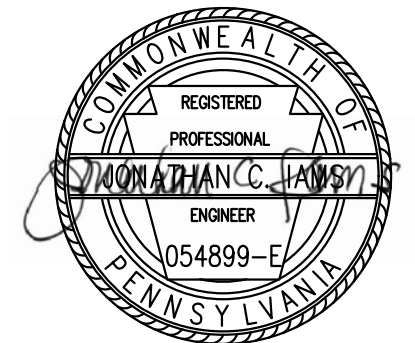
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general notes

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revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SCHEDULES

scale
As Noted

date
December 3rd, 2023

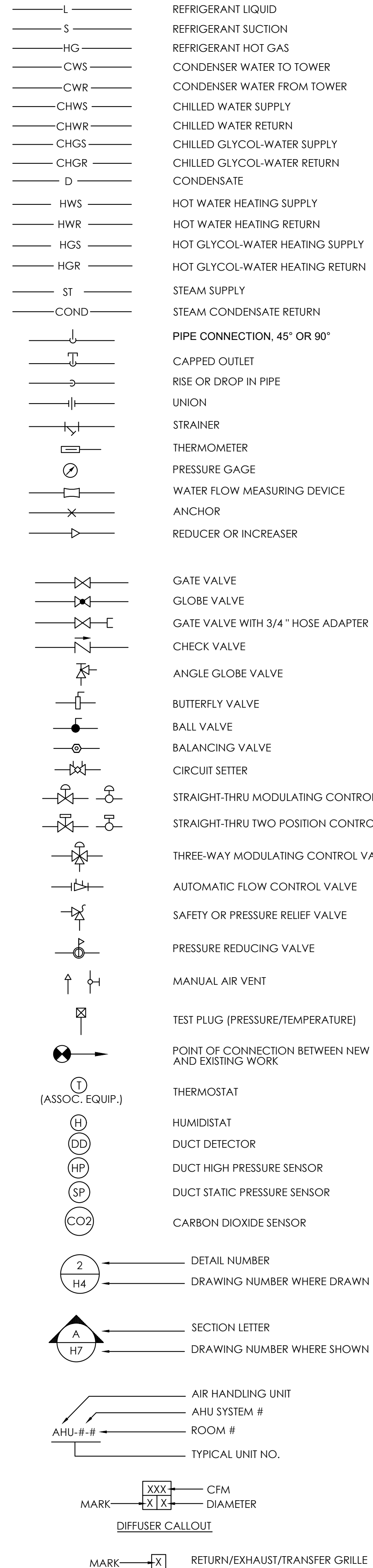
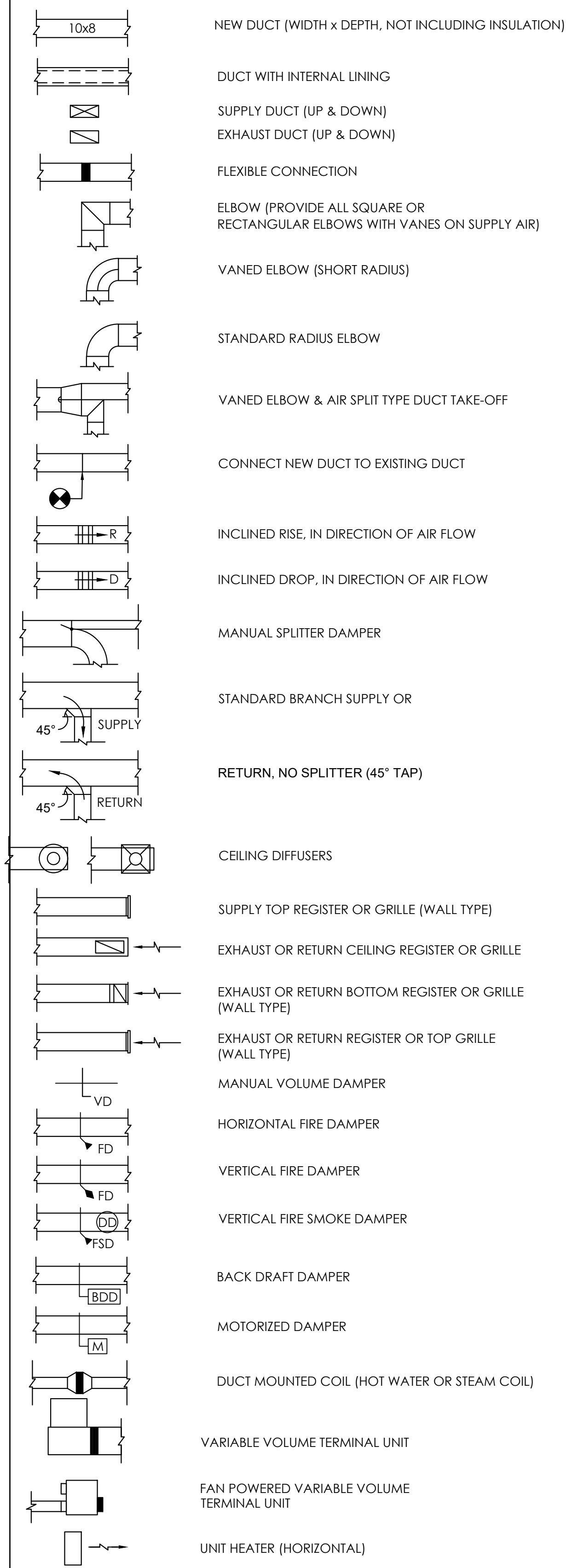
no. **185** of. **233**

Sheet No.

P501

Project #2040

HVAC SYMBOLS & LEGEND:



HVAC ABBREVIATIONS:

AC	AIR CONDITIONING UNIT
ACC	AIR COOLED CONDENSER
ACCU	AIR COOLED CONDENSING UNIT
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AP	ACCESS PANEL
BFC	BELOW FINISHED CEILING
BIW	BACKWARD INCLINED WHEEL
BG	BOTTOM GRILLE (WALL TYPE)
BJ	BETWEEN JOISTS
BOD	BOTTOM OF DUCT
BR	BOTTOM REGISTER (WALL TYPE)
C	CONVERTOR
CC	COOLING COIL
CCF	CENTRIFUGAL CEILING FAN
CD	CEILING DIFFUSER
CF	CENTRIFUGAL FAN
CG	CEILING GRILLE
CH	CHILLER UNIT
CO	CLEAN OUT
COMP.	COMPRESSOR
CONV.	CONVECTOR
CP	CONDENSATE PUMP
CR	CEILING REGISTER
CU	CONDENSING UNIT
CUH	CABINET UNIT HEATER
CW	COLD WATER
D _b	DRY BULB TEMPERATURE
dB	DECIBELS
DD	DUCT SMOKE DETECTOR
Dp	DEWPOINT TEMPERATURE
DPR	DAMPER
DWG(S)	DRAWING(S)
DX	DIRECT EXPANSION
EA	EXHAUST AIR
EC	ELECTRICAL CONTRACTOR
EDH	ELECTRIC COIL DUCT HEATER
EER	ENERGY EFFICIENCY RATIO
EF	EXHAUST FAN
EFR	END OF MAIN DRIP (STEAM)
ERV	ENERGY RECOVERY UNIT
ERP	ELECTRIC RADIANT CEILING PANEL
ET	EXPANSION TANK
EUH	ELECTRIC UNIT HEATER
EX	EXISTING
ETR	EXISTING TO REMAIN
FC	FAN COIL UNIT
FCW	FORWARD CURVED FAN
FLR	FLOOR
FDR	FIRE DAMPER
FTR	FIN TUBE RADIATION
GH	GRAVITY HOOD
GC	GENERAL CONTRACTOR
GRV	GRAVITY RELIEF VENTILATOR
HC	HEATING COIL
HOOD	HOOD
HEX	HEAT EXCHANGER
HF	HEPA FILTER
HP	HORSEPOWER
HPR	HIGH PRESSURE STEAM CONDENSATE RETURN
HPS	HIGH PRESSURE STEAM
HRP	HYDRONIC RADIANT CEILING PANEL
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
IFB	INTEGRAL FACE AND BYPASS
IU	INDUCTION UNIT
IV	INLET VANES
LCD	LINEAR CEILING DIFFUSER
LPR	LOW PRESSURE STEAM CONDENSATE RETURN
LPS	LOW PRESSURE STEAM
LBS/HR	POUNDS PER HOUR
MA	MAKEUP AIR
MB	MIXING BOX
MC	MECHANICAL CONTRACTOR
MAX	MAXIMUM
MIN	MINIMUM
NOM	NOMINAL
NO	NORMALLY OPEN
NC	NORMALLY CLOSED
OA	OUTDOOR AIR
P	PUMP
PC	PLUMBING CONTRACTOR
PD	PRESSURE DROP
PRV	PRESSURE REDUCING VALVE
RA	RETURN AIR
RF	RETURN FAN
RFS	RECOMMENDED FUSE SIZE
RH	REHEAT COIL
Rh	RELATIVE HUMIDITY
RV	POWER TYPE ROOF VENTILATOR
SA	SUPPLY AIR
SD	SMOKE DAMPER
Sp. Gr.	SPECIFIC GRAVITY
SP	STATIC PRESSURE
SPS	STATIC PRESSURE SENSOR
TJ	THROUGH JOISTS
TYP	TYPICAL
UC	UNDERCUT
UH	UNIT HEATER
UJ	UNDER JOISTS
UV	UNIT VENTILATOR
VAV	VARIABLE AIR VOLUME
VCC	VOLUMETRIC CONTROL CENTER
VD	VOLUME DAMPER (MANUAL OPPOSED BLADE)
VFD	VARIABLE FREQUENCY DRIVE
VP	VACUUM PUMP
VR	VACUUM STEAM CONDENSATE RETURN
Wb	WET BULB TEMPERATURE
WF	WATER FILTER
WFM	WATER FLOW MEASURING DEVICE
WP	WEATHER PROOF

HVAC GENERAL NOTES:

- ALL MATERIALS FURNISHED AND ALL WORK INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER AND ALL APPLICABLE CODES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THE LATEST APPLICABLE EDITIONS OF NFPA, IEEE, OSHA, SMACNA, INTERNATIONAL MECHANICAL CODE, INTERNATIONAL BUILDING CODE, STATE, COUNTY, AND LOCAL CODES.
- HVAC CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR A COMPLETE AND OPERABLE SYSTEM AS PART OF THE CONTRACT. FAILURE TO REVIEW DOES NOT RELIEVE THE CONTRACTOR OF FULFILLING THE CONTRACTUAL OBLIGATIONS.
- THE HVAC CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES, AND OTHER COSTS IN CONNECTION WITH HIS WORK. THE CONTRACTOR SHALL FILE ALL NECESSARY APPROVALS OF ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK JURISDICTION. THE CONTRACTOR SHALL INCLUDE IN HIS SCOPE OF WORK, WITHOUT EXTRA COST TO THE OWNER, ALL LABOR, MATERIALS, SERVICES, APPARATUS, IN ORDER TO COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, RIGGING, APPLIANCES, TOOLS AND ACCESSORIES REQUIRED TO PROVIDE, INSTALL, CONNECT, AND TEST THE COMPLETE HEATING, VENTILATING AND AIR CONDITIONING SYSTEM AND ASSOCIATED EQUIPMENT IN ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS.
- THE EXACT MOUNTING HEIGHTS AND LOCATIONS OF ALL HVAC EQUIPMENT SHALL BE FIELD VERIFIED AND COORDINATED WITH ALL OTHER MECHANICAL, ELECTRICAL, ARCHITECTURAL, AND STRUCTURAL SYSTEMS.
- COORDINATE INSTALLATION OF ALL NEW WORK WITH ARCHITECTURAL AND STRUCTURAL PLANS AND ALL OTHER TRADES. CONTRACTOR SHALL TAKE ALL INTERFERENCES INTO CONSIDERATION. PROVIDE ALL NECESSARY OFFSETS AND TRANSITIONS WITH AREAS EQUIVALENT TO DUCT SIZES INDICATED ON DRAWINGS.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL DIMENSIONS AND STRUCTURAL STEEL LOCATIONS AND SIZES. COORDINATE INSTALLATION OF ALL PIPING AND DUCTWORK, AND INSTALL ALL PIPING IN JOIST SPACE OR AS HIGH AS POSSIBLE TO PERMIT INSTALLATION OF ALL DUCTWORK. OFFSET DUCTWORK AS REQUIRED IN ORDER TO ACCOMMODATE WORK OF ALL OTHER TRADES.
- DO NOT INSTALL ANY MECHANICAL WORK ABOVE ELECTRICAL PANELS OR EQUIPMENT.
- FOR ALL BRANCH DUCT CONNECTIONS TO MAIN TRUNK, PROVIDE 45 DEGREE TRANSITION FITTING OR CONICAL TAP FOR ROUND DUCT. BUTT FITTINGS ARE NOT PERMITTED. PROVIDE MANUAL VOLUME DAMPER WITH LOCKING QUADRANT IN ALL BRANCH RUNOUTS TO GRILLES AND DIFFUSERS.
- PROVIDE MITERED ELBOW WITH TURNING VANES OR ELBOW WITH CENTERLINE RADIUS EQUAL TO 1.5 TIMES DUCT WIDTH AT ALL CHANGES IN DIRECTION.
- INSTALL ALL FIRE DAMPERS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE UL FIRE DAMPERS WITH BLADES OUT OF AIR STREAM. PROVIDE ACCESS DOOR AT ALL FIRE DAMPER LOCATIONS. FIRE DAMPERS IN RETURN AIR TRANSFER DUCTS ONLY MAY HAVE BLADES IN AIR STREAM.
- THE FINISH AND COLOR OF ALL EXPOSED DUCTWORK, EQUIPMENT, AND AIR DEVICES SHALL BE COORDINATED WITH THE ARCHITECT. DUCTWORK THAT IS TO BE PAINTED SHALL BE OIL FREE.
- VERIFY ALL EQUIPMENT VOLTAGES WITH THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT.
- PROVIDE DISCONNECT SWITCHES FOR ALL HVAC EQUIPMENT INCLUDING WEATHERPROOF UNITS AS REQUIRED.
- PROVIDE PHASE LOSS PROTECTION FOR ALL POLY-PHASE MOTOR DEVICES.
- THE FINAL LOCATION OF AIR DEVICES MUST BE COORDINATED WITH THE REFLECTED CEILING PLAN AND ALL OTHER MECHANICAL, ELECTRICAL, ARCHITECTURAL, AND STRUCTURAL SYSTEMS.
- DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET STEEL, EXCEPT WHERE NOTED, IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE ASHRAE, NFPA, AND SMACNA RECOMMENDATIONS. SIZES AS SHOWN INDICATE INSIDE CLEAR DIMENSIONS OF THE AIR PASSAGE.
- DUCT SIZES MUST BE VERIFIED FOR CLEARANCES AT THE JOB SITE PRIOR TO FABRICATION. DIMENSIONS MAY BE CHANGED TO ACCOMMODATE CONSTRUCTION AS LONG AS EFFECTIVE CROSS-SECTIONAL AREA IS MAINTAINED.
- ALL CEILING MOUNTED EQUIPMENT MUST BE SUPPORTED DIRECTLY FROM BUILDING STRUCTURE WITH COMBINATION SPRING AND NEOPRENE- IN-SHEAR HANGERS AND ROD. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED TO ADEQUATELY SUPPORT THE LOAD.
- PROVIDE FLEXIBLE CONNECTIONS AND VIBRATION ISOLATION ON ALL HVAC EQUIPMENT.
- HVAC EQUIPMENT SHALL NOT RUN DURING CONSTRUCTION.
- PROVIDE AIR VENTS AT HIGHEST POINTS OF HYDRONIC SYSTEM.
- ALL MOTORS SHALL BE NEMA PREMIUM EFFICIENCY MOTORS.
- PROVIDE COGGED BELTS FOR ALL FAN DRIVES.
- M.C. SHALL BE RESPONSIBLE FOR ALL LOOSE LINTELS NECESSARY FOR INSTALLATION OF HIS MATERIALS. SIZES OF LINTELS SHOWN ON STRUCTURAL DRAWINGS.

HVAC GENERAL NOTES (CONT.):

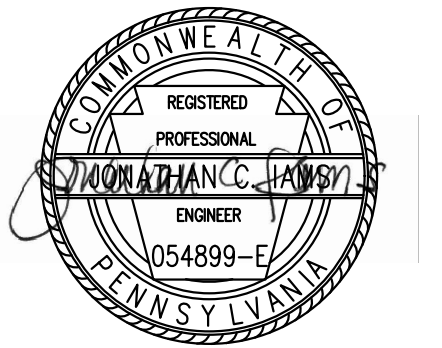
- CONTRACTOR TO VERIFY THAT ALL MATERIALS, CONDUITS, PIPES, AND WIRING SHALL BE PLENUM RATED IF EXPOSED IN PLENUM SPACE. NON-PLENUM RATED MATERIALS MUST BE PROTECTED SUCH THAT A PLENUM RATING IS MAINTAINED BETWEEN THE MATERIAL OR DEVICE AND THE PLENUM SPACE. CONTRACTOR SHALL NOTIFY ENGINEER IF NON-PLENUM-RATED WIRING EXISTS.
- ALL METALLIC AND NON-METALLIC DUCTWORK JOINTS AND SEAMS SHALL BE SEALED, TAPED OR GASKETED.
- ALL METALLIC AND NON-METALLIC DUCTWORK JOINTS AND SEAMS SHALL BE SEALED, TAPED OR GASKETED. THE MECHANICAL CONTRACTOR SHALL HAVE A THIRD PARTY CONTRACTOR TEST AND BALANCE ALL SYSTEMS PER DESIGN DOCUMENTS. PROVIDE A COPY OF THE TESTING AND BALANCING REPORT TO THE ENGINEER AND A COPY TO THE MECHANICAL INSPECTOR FOR REVIEW.
- ALL CONTROL DEVICES, HEAT EXCHANGERS, AND HVAC SYSTEM COMPONENTS SHALL BE ACCESSIBLE WITHOUT DISABLING FUNCTION OR VIOLATING A FIRE RATED ASSEMBLY OR REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, VENTING SYSTEMS OR PIPING/DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED. A LEVEL WORKING SURFACE OF AT LEAST 30" DEEP BY 30" WIDE SHALL BE PROVIDED ON CONTROL SIDE OF APPLIANCE.
- FLOAT CONTROL SWITCHES SHALL BE INSTALLED ON ALL HVAC EQUIPMENT IN WHICH CONDENSATE DRAIN PIPING IS UTILIZED AND REQUIRED. A DETECTION OF OVERFLOW OR FAILURE BY THE FLOAT CONTROL SWITCH SHALL DEACTIVATE THE HVAC EQUIPMENT IT IS ASSOCIATED WITH.
- CONDENSATE PUMPS SHALL BE CONNECTED TO APPLIANCES OR EQUIPMENT WHERE NOTED SUCH THAT WHEN THE CONDENSATE PUMP FAILS, THE APPLIANCE OR EQUIPMENT BEING SERVED BY THE PUMP WILL BE DE-ENERGIZED AND SHALL SHUT DOWN. FLOAT CONTROLS SHALL BE WIRED IN SERIES WITH HVAC EQUIPMENT TO ENSURE THIS CONDITION.
- THE MAXIMUM LENGTH OF EXHAUST DUCT FOR A DRYER SHALL BE DETERMINED BY THE INSTALLATION AND MAXIMUM EQUIVALENT LENGTH REQUIREMENTS OF THE DRYER MANUFACTURER.
- REFRIGERATION ACCESS PORTS SHALL BE PROTECTED IN ACCORDANCE WITH IMC 2015 SECTION 1101.10 WHENEVER REFRIGERANT IS ADDED TO OR REMOVED FROM REFRIGERATION OR AIR CONDITIONING SYSTEMS.
- CONDENSATE DRAIN LINES TO BE CONFIGURED OR EQUIPPED TO ALLOW FOR MAINTENANCE OF THE DRAIN. CAPS OR TEES, CROSS FITTINGS, UNIONS, REMOVABLE MECHANICAL COUPLERS AND SPECIALTY DEVICES MAY BE USED TO ALLOW FOR MAINTENANCE OF CONDENSATE DRAIN PIPING.
- ALL EXHAUST AIR AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES. BIRDSCREENS ARE TO BE PROVIDED FOR ALL MECHANICAL AIR INTAKE AND EXHAUST OUTLET LOUVERS.

Fukui Architects Pc

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revisions

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Pittsburgh, PA 15219

Project Location:
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246 Penfort Street
Pittsburgh, PA 15214

drawing title

MECHANICAL COVERSHEET

scale
As Noted

date
December 3rd, 2023

no. **186** of. **233**

Sheet No.

M000

Project #2040

GENERAL NOTES

- FOR ALL AIR HANDLING UNITS AND BRANCH CONTROLLERS CONCEALED ABOVE GYPSUM CEILINGS, AN ACCESS PANEL MUST BE PROVIDED FOR SERVICE AND MAINTENANCE PER THE MANUFACTURER'S SERVICE REQUIREMENTS. THE ACCESS PANEL MUST ALSO BE SUFFICIENTLY SIZED TO PERMIT THE REMOVAL AND REINSTALLATION OF THE AIR HANDLING UNIT AND BRANCH CONTROLLER. REFER TO ARCHITECTURAL SPEC.
- COORDINATE ALL DUCTWORK AND EQUIPMENT WITH STRUCTURAL.
- COORDINATE FINAL DIFFUSER LOCATIONS WITH LIGHT FIXTURES. LIGHT FIXTURES SHALL TAKE PRECEDENCE. SHIFT DIFFUSERS AS REQUIRED.
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- COORDINATE ALL EXTERIOR TERMINATIONS WITH ARCHITECTURAL DRAWINGS.

DRAWING NOTES

- TRANSITION DUCT AS REQUIRED TO CONNECT TO OUTDOOR AIR INTAKE. INTAKE MUST BE A MINIMUM OF 10 FT FROM ALL MECHANICAL EXHAUST TERMINATIONS.
- EXHAUST LOUVER WITH PLENUM. EXHAUST TERMINATION MUST BE A MINIMUM OF 3 FT FROM OPERABLE OPENINGS INTO THE BUILDING AND 10 FT FROM INTAKES.
- UNIT ACCESS PANEL. REFER TO GENERAL NOTE 1.
- OUTDOOR AIR INTAKE INSTALLED IN CANOPY CEILING. TRANSITION DUCT AS REQUIRED TO CONNECT TO INTAKE. INTAKE MUST BE A MINIMUM OF 10 FT FROM ALL MECHANICAL EXHAUST TERMINATIONS.
- EXTEND OA DUCT INTO WATER UTILITY ROOM. DUCT SHALL MATCH INTAKE LOUVER DIMENSIONS. PROVIDE MOTORIZED DAMPER INTERLOCKED WITH EF-1.
- IN-LINE EXHAUST FAN SHALL BE MOUNTED TIGHT TO CEILING ABOVE WITH VIBRATION ISOLATORS.

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revisions

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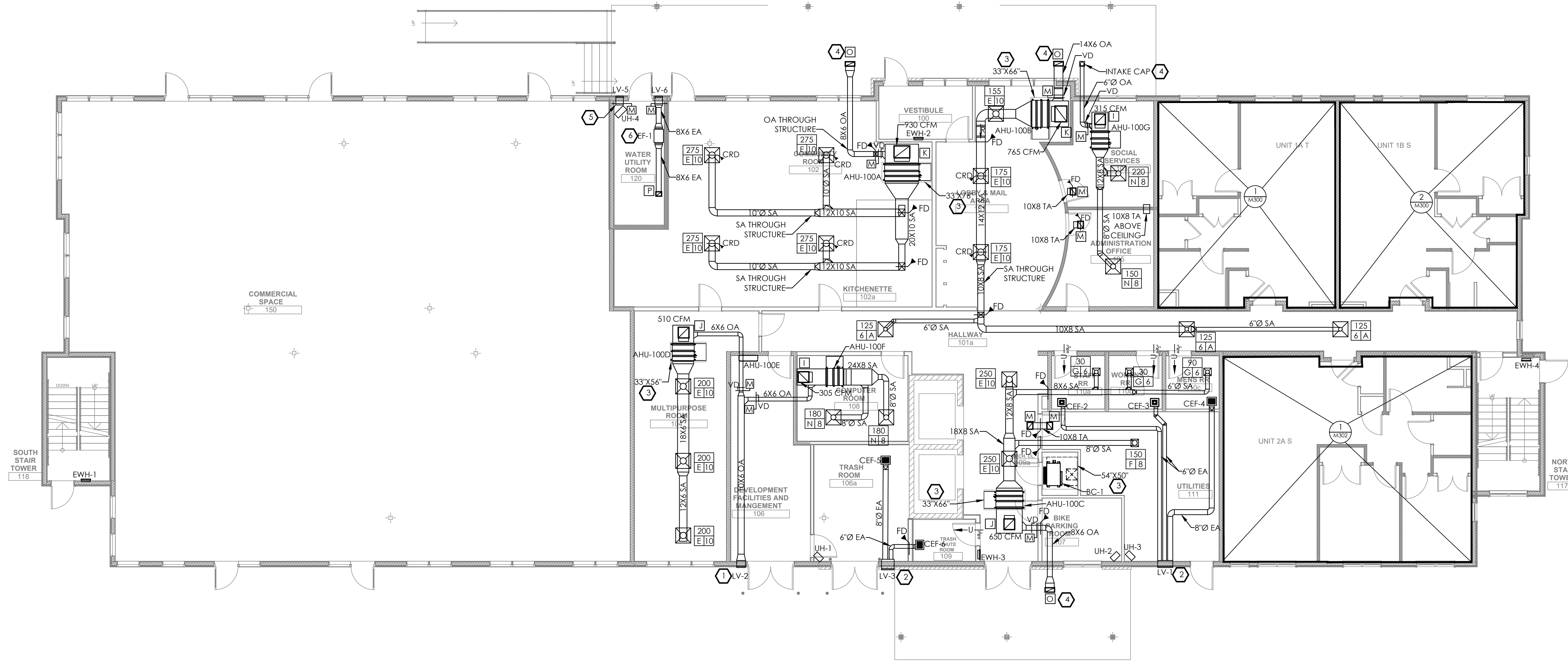
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drawing title

**MECHANICAL
FIRST FLOOR PLAN**



1 MECHANICAL FIRST FLOOR PLAN
M101 1/8" = 1' 0"

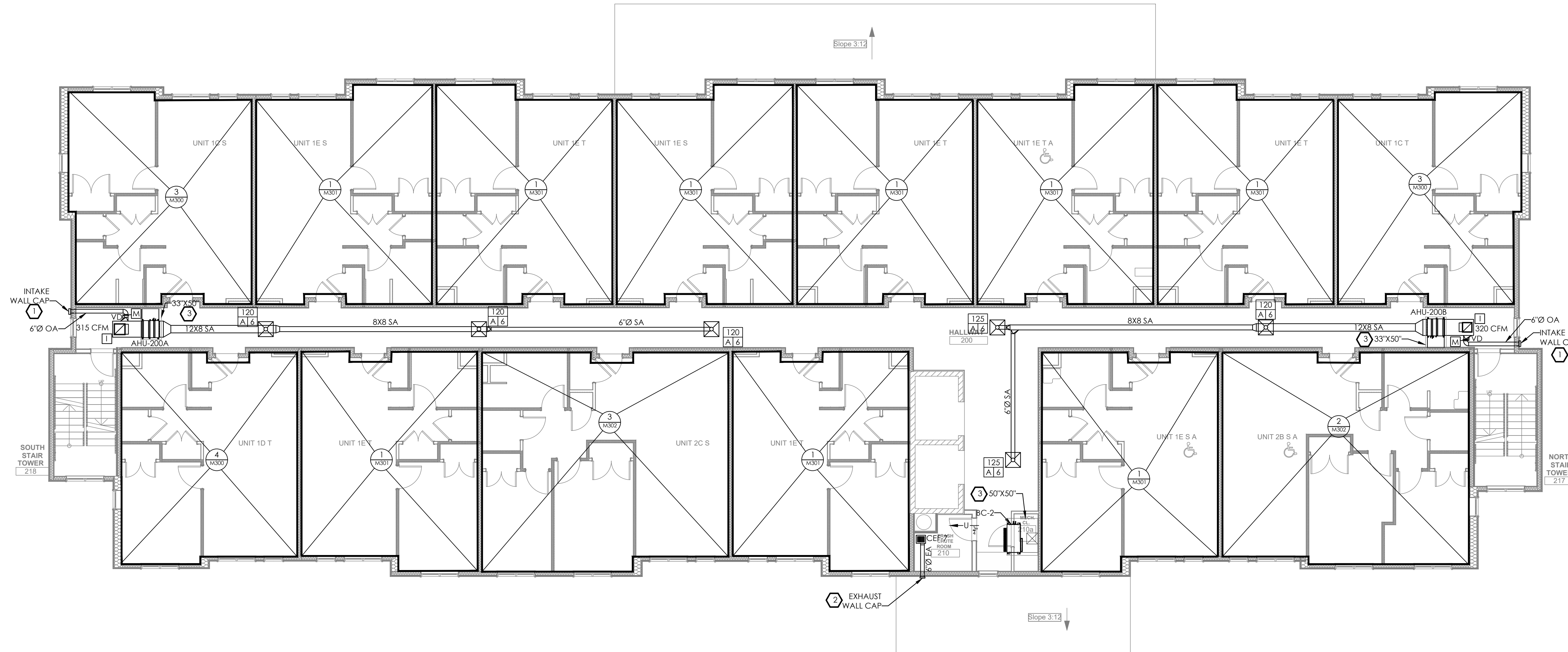
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date December 3rd, 2023	
no. 187	of. 233

GENERAL NOTES

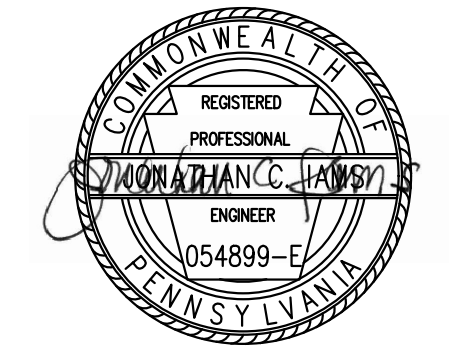
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MECHANICAL SECOND FLOOR PLAN
 1/8" = 1' 0"



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**MECHANICAL
 SECOND FLOOR PLAN**

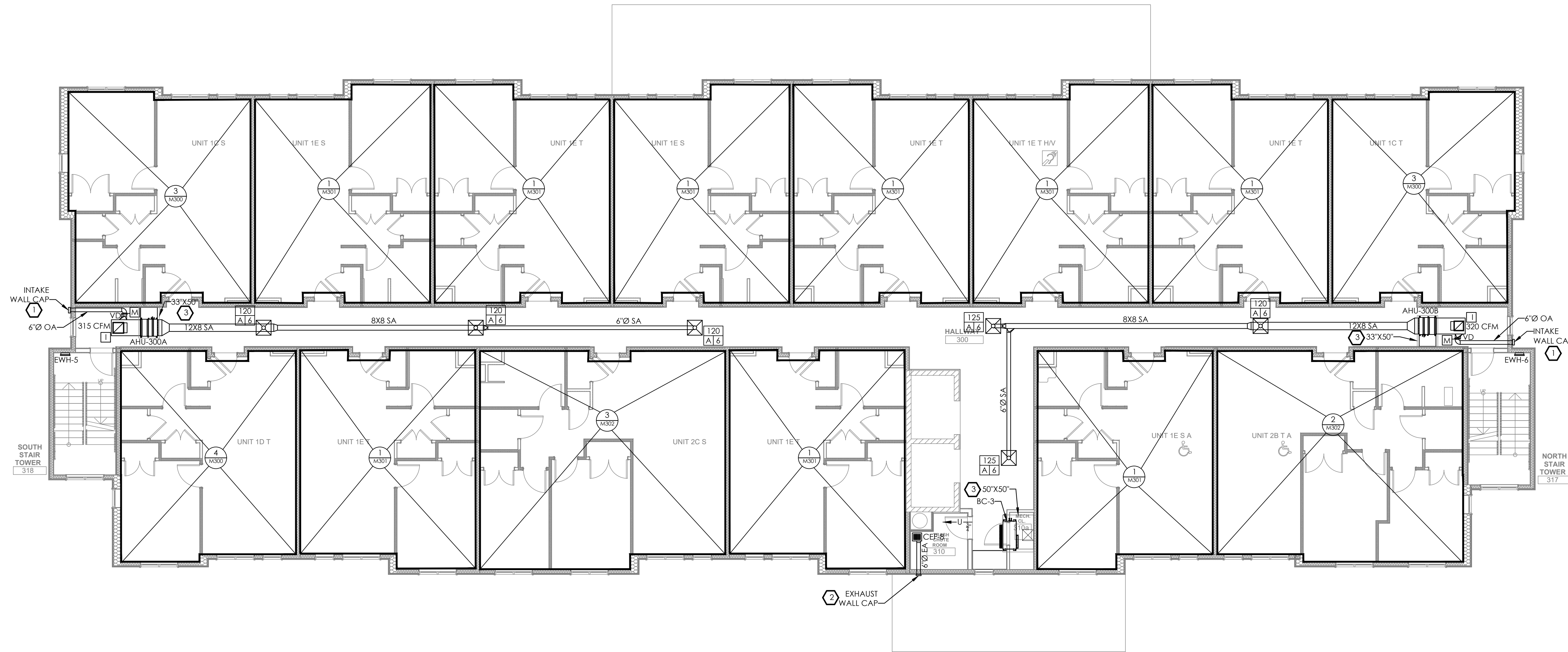
scale As Noted	Sheet No. M102 Project #2040
date December 3rd, 2023	
no. 188	of. 233

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1 MECHANICAL THIRD FLOOR PLAN
M103 1/8" = 1' 0"

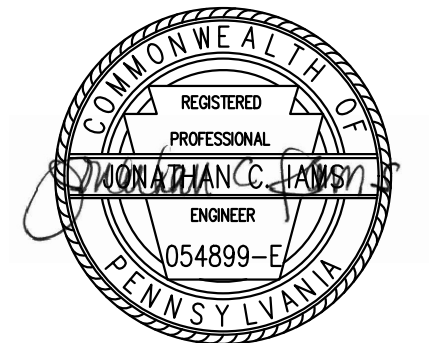
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Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

**MECHANICAL
THIRD FLOOR PLAN**

scale
As Noted
date
December 3rd, 2023
no. of.
189 **233**

Sheet No.

M103

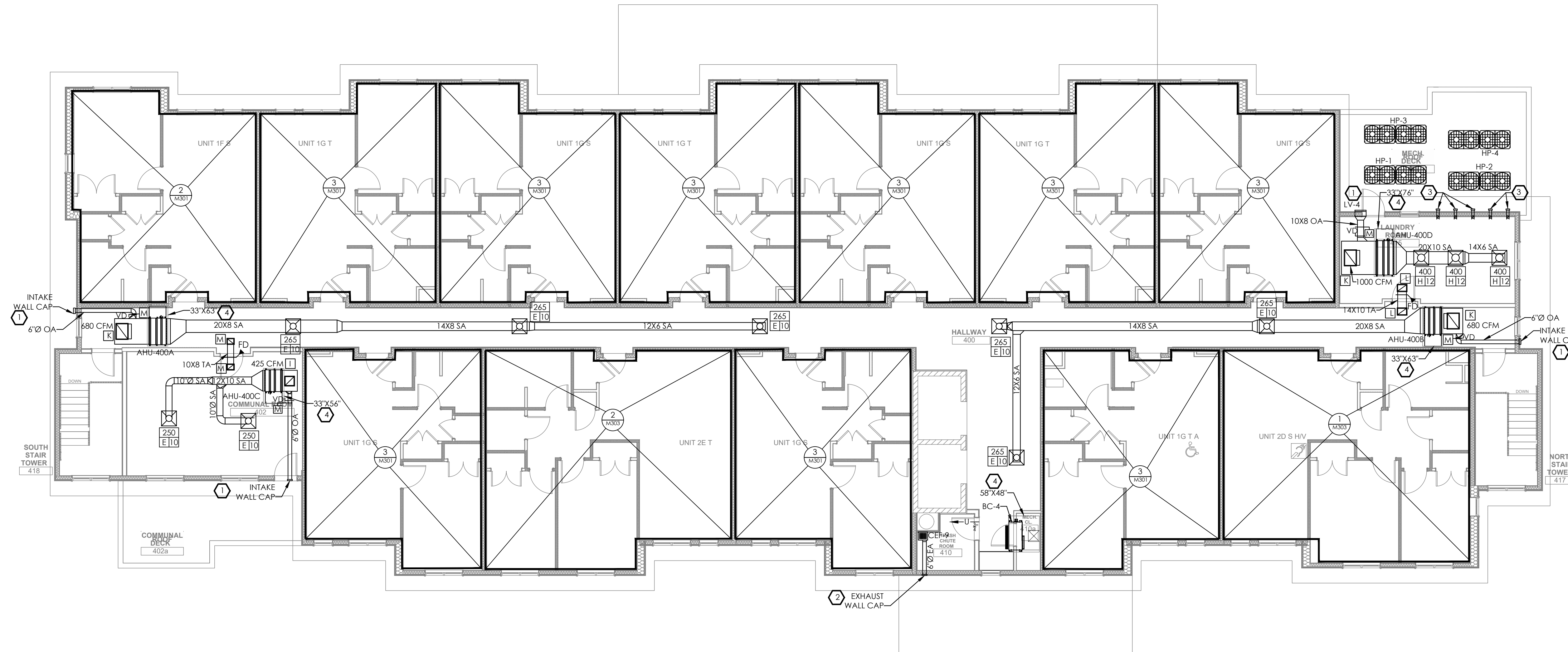
Project #2040

GENERAL NOTES

- FOR ALL AIR HANDLING UNITS AND BRANCH CONTROLLERS CONCEALED ABOVE GYPSUM CEILINGS, AN ACCESS PANEL MUST BE PROVIDED FOR SERVICE AND MAINTENANCE PER THE MANUFACTURER'S SERVICE REQUIREMENTS. THE ACCESS PANEL MUST ALSO BE SUFFICIENTLY SIZED TO PERMIT THE REMOVAL AND REINSTALLATION OF THE AIR HANDLING UNIT AND BRANCH CONTROLLER. REFER TO ARCHITECTURAL SPEC.
- COORDINATE ALL DUCTWORK AND EQUIPMENT WITH STRUCTURAL.
- COORDINATE FINAL DIFFUSER LOCATIONS WITH LIGHT FIXTURES. LIGHT FIXTURES SHALL TAKE PRECEDENCE. SHIFT DIFFUSERS AS REQUIRED.
- PROVIDE VOLUME CONTROL DAMPERS AND MOTORIZED DAMPERS ON ALL OUTDOOR AIR BRANCH DUCTS CONNECTED TO INDOOR AIR HANDLING UNITS. PROVIDE ACCESS PANELS AS REQUIRED FOR DAMPERS.
- ALL SUPPLY, RETURN AND OUTDOOR AIR DUCTWORK SHALL BE INSTALLED BELOW STRUCTURE (UNLESS INDICATED OTHERWISE). ALL EXHAUST DUCTWORK SHALL BE ROUTED THROUGH STRUCTURE.
- COORDINATE ALL EXTERIOR TERMINATIONS WITH ARCHITECTURAL DRAWINGS.

DRAWING NOTES

- TRANSITION DUCT AS REQUIRED TO CONNECT TO OUTDOOR AIR INTAKE. INTAKE MUST BE A MINIMUM OF 10 FT FROM ALL MECHANICAL EXHAUST TERMINATIONS.
- TRANSITION DUCT AS REQUIRED TO CONNECT TO EXHAUST TERMINATION. EXHAUST TERMINATION MUST BE A MINIMUM OF 3 FT FROM OPERABLE OPENINGS INTO THE BUILDING AND 10 FT FROM INTAKES.
- DRYER VENT TERMINATION WITH INTEGRAL BACKDRAFT DAMPER. VERIFY VENT SIZE WITH MANUFACTURER. VENT MUST TERMINATE A MINIMUM OF 3 FT FROM OPERABLE OPENINGS INTO THE BUILDING, 10 FT FROM INTAKES AND 2 FT ABOVE ROOF DECK.
- UNIT ACCESS PANEL. REFER TO GENERAL NOTE 1.



1 MECHANICAL FOURTH FLOOR PLAN
M104 1/8" = 1' 0"



general notes

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- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

**MECHANICAL
FOURTH FLOOR PLAN**

scale	As Noted
date	December 3rd, 2023
no.	190
of.	233

Sheet No.

M104

Project #2040

GENERAL NOTES

- FOR ALL AIR HANDLING UNITS AND BRANCH CONTROLLERS CONCEALED ABOVE GYPSUM CEILINGS, AN ACCESS PANEL MUST BE PROVIDED FOR SERVICE AND MAINTENANCE PER THE MANUFACTURER'S SERVICE REQUIREMENTS. THE ACCESS PANEL MUST ALSO BE SUFFICIENTLY SIZED TO PERMIT THE REMOVAL AND REINSTALLATION OF THE AIR HANDLING UNIT AND BRANCH CONTROLLER. REFER TO ARCHITECTURAL SPEC.
- COORDINATE ALL REFRIGERANT PIPING AND EQUIPMENT WITH STRUCTURAL.
- REFRIGERANT PIPING SHOWN IS SCHEMATIC ONLY.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTATS FOR EACH AIR HANDLING UNIT. ALL THERMOSTATS IN COMMON AREAS SHALL BE PROVIDED WITH LOCKABLE COVERS. COORDINATE THERMOSTAT LOCATIONS AND LOCKABLE COVER REQUIREMENTS WITH OWNER.

DRAWING NOTES

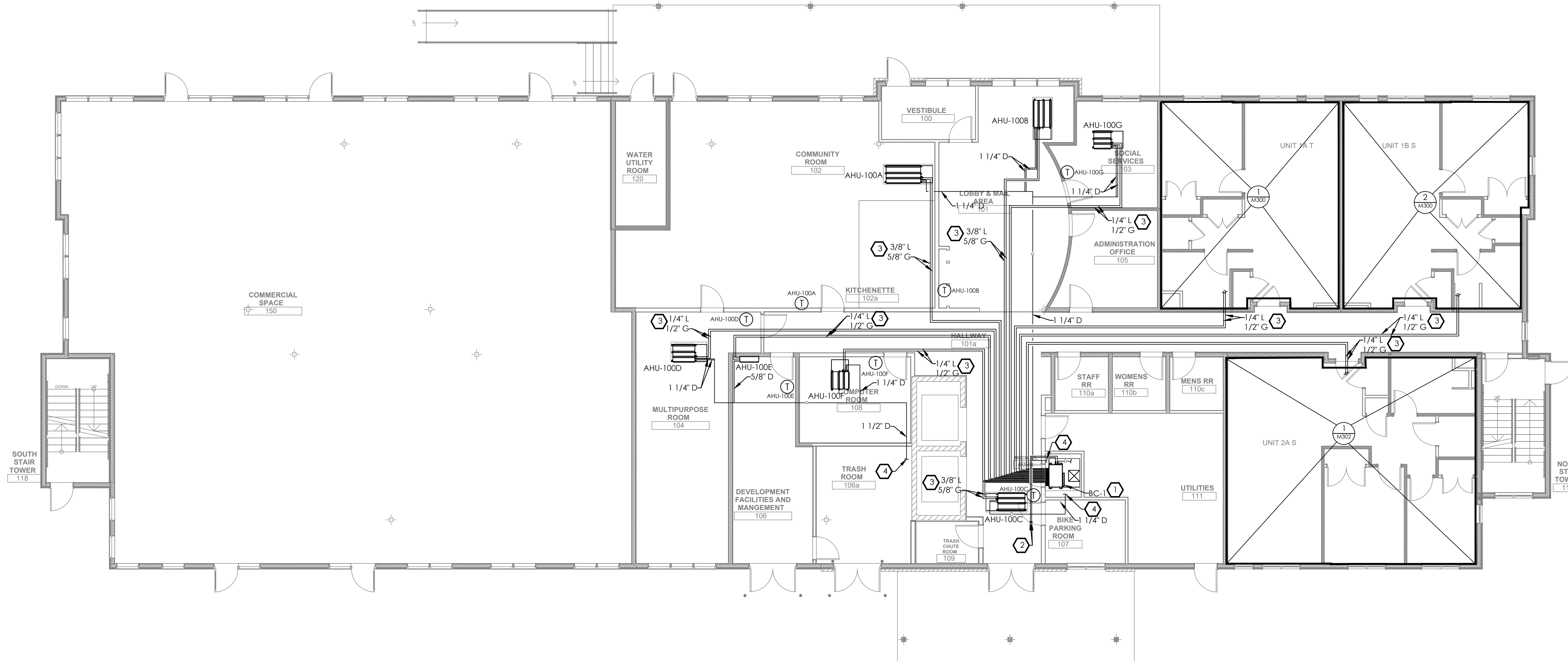
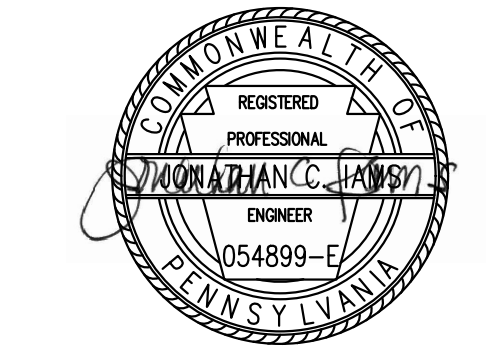
- INSTALL BC CONTROLLER PER MANUFACTURER'S REQUIREMENTS. DISCHARGE CONDENSATE AT FLOOR DRAIN IN MECHANICAL CLOSET.
- LIQUID AND GAS REFRIGERANT PIPING FROM ASSOCIATED OUTDOOR UNIT TO BC CONTROLLER. COORDINATE ROUTING IN THE FIELD. VERIFY QUANTITIES, SIZES AND LINE LENGTHS WITH MANUFACTURER.
- LIQUID AND GAS REFRIGERANT PIPING FROM BC CONTROLLER TO INDOOR AIR HANDLING UNIT. COORDINATE ROUTING IN THE FIELD. VERIFY QUANTITIES, SIZES AND LINE LENGTHS WITH MANUFACTURER.
- CONDENSATE FROM AIR HANDLING UNIT AND SECONDARY DRAIN PAN TO FLOOR DRAIN. VERIFY DRAIN PIPE SIZES AND QUANTITIES WITH MANUFACTURER.

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1 MECHANICAL PIPING FIRST FLOOR PLAN
M201 1/8" = 1' 0"

general notes

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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

**MECHANICAL PIPING
FIRST FLOOR PLAN**

scale As Noted	Sheet No. M201 Project #2040
date December 3rd, 2023	
no. 191	of. 233

GENERAL NOTES

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DRAWING NOTES

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- CONDENSATE FROM AIR HANDLING UNIT AND SECONDARY DRAIN PAN TO NEAREST FLOOR DRAIN. VERIFY DRAIN PIPE SIZES AND QUANTITIES WITH MANUFACTURER.

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general notes

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revisions

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Project Location:
Northview Heights Midrise
246 Penfort Street
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drawing title

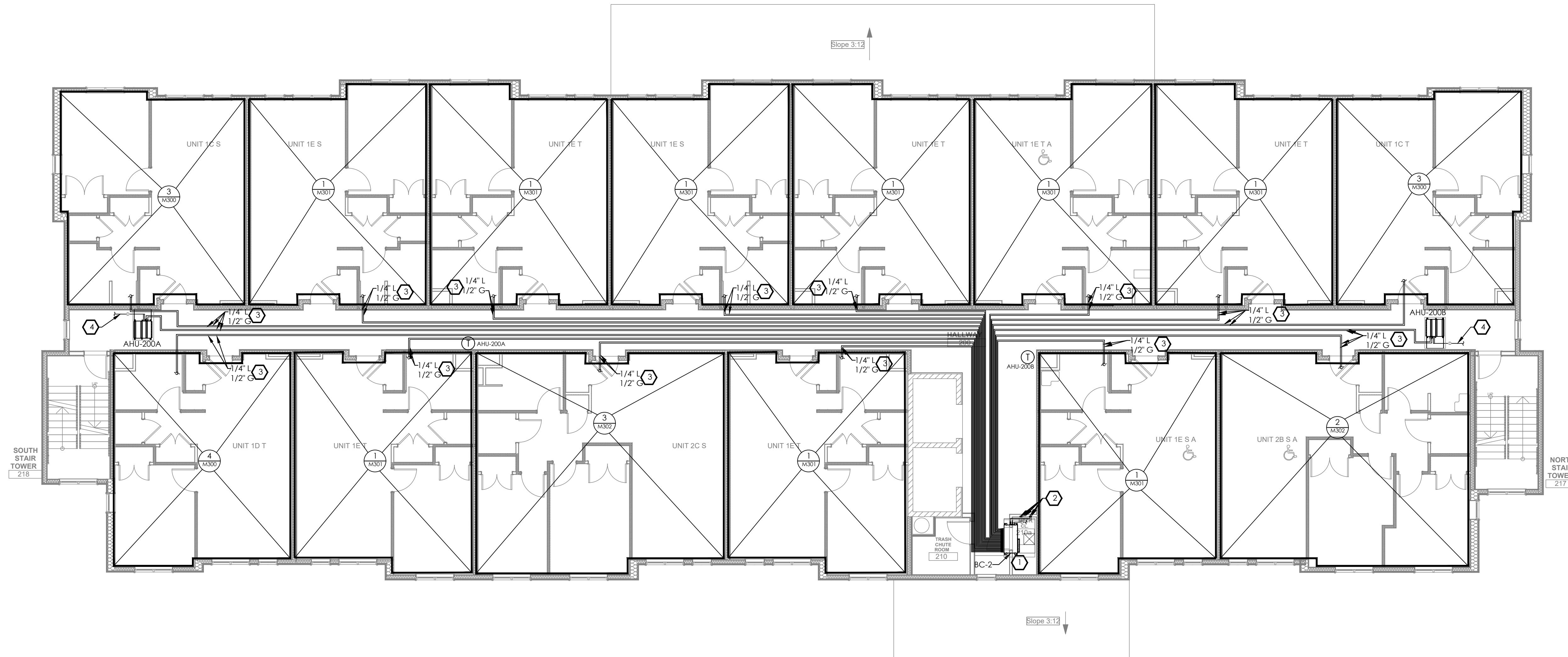
**MECHANICAL PIPING
SECOND FLOOR PLAN**

scale
As Noted
date
December 3rd, 2023
no. 192 of. 233

Sheet No.

M202

Project #2040



1
MECHANICAL PIPING SECOND FLOOR PLAN
M202 1/8" = 1' 0"

GENERAL NOTES

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general notes

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revisions

project title

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200 Ross Street
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Project Location:
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246 Penfort Street
Pittsburgh, PA 15214

drawing title

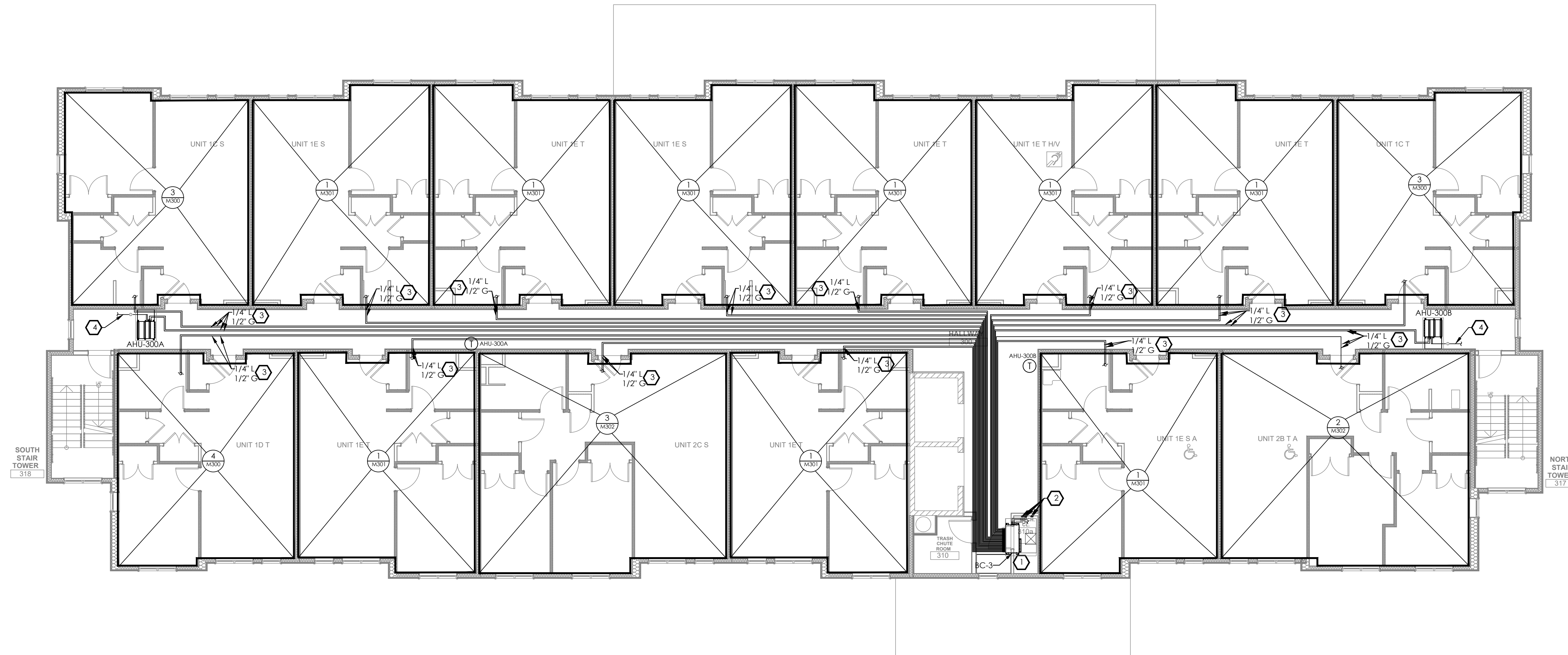
**MECHANICAL PIPING
THIRD FLOOR PLAN**

scale
As Noted
date
December 3rd, 2023
no. of.
193 **233**

Sheet No.

M203

Project #2040



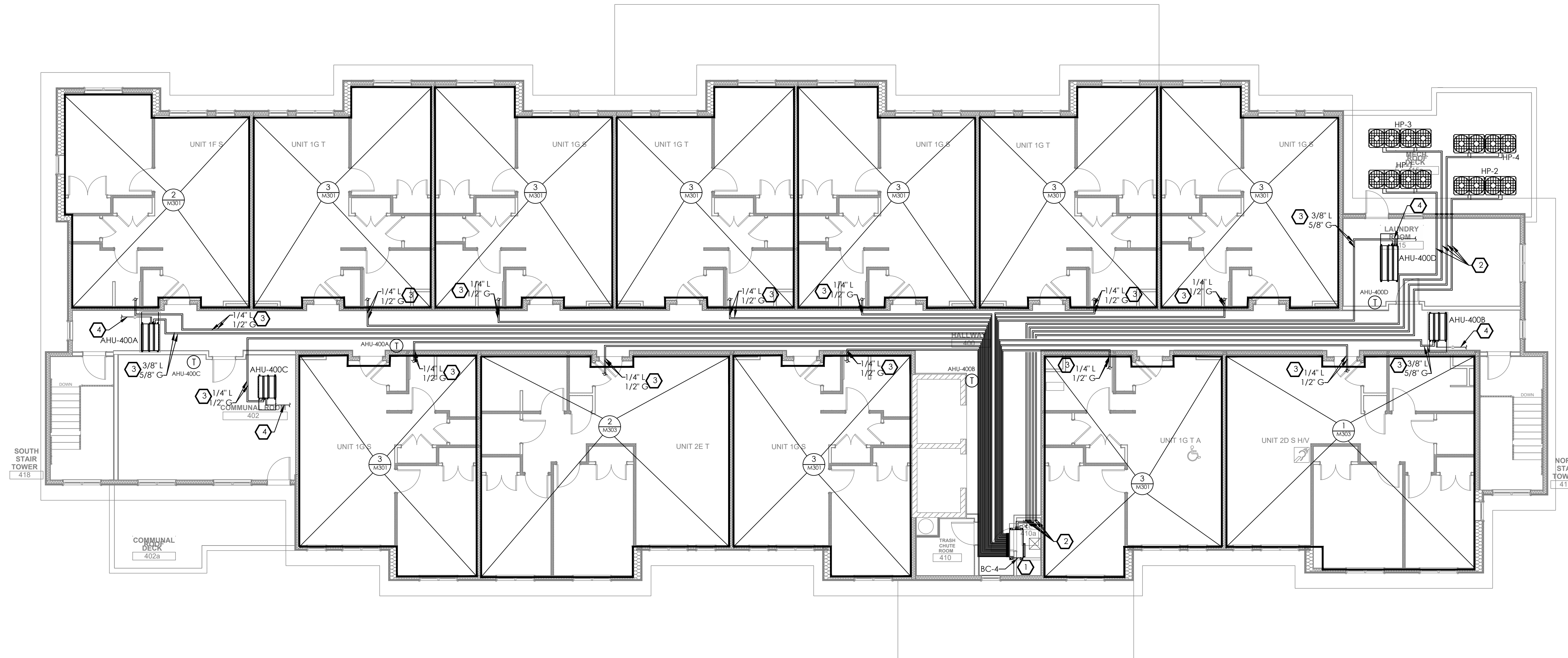
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M203
MECHANICAL PIPING THIRD FLOOR PLAN
1/8" = 1' 0"

GENERAL NOTES

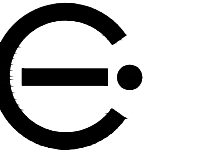
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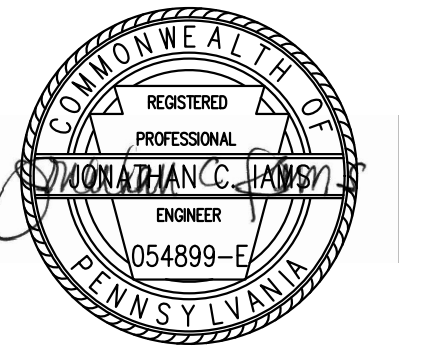
1 MECHANICAL PIPING FOURTH FLOOR PLAN
 M204 1/8" = 1' 0"



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drawing title

**MECHANICAL PIPING
 FOURTH FLOOR PLAN**

scale	As Noted
date	December 3rd, 2023
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Sheet No.
M204
 Project #2040