

Northview Heights Midrise

New Building with Apartments and Ammenities 246 Penfort Street, Pittsburgh, PA 15214

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect.
The Architect will forward questions as appropriate to the consulting engineers.

Owner:
Allies & Ross Management
and Development, Corp.
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Structural Engineer:
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Engergy Performance Engineer:
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2121 Noblestown Road,
Suite 222
Pittsburgh, PA 15205
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rhosken@buildingperformarch.com
contact: Rob Hosken, AIA, C.E.M.

Plan Review & Inspection:
City of Pittsburgh
Department of permits,
Licenses and Inspections
200 Ross Street
3rd floor, room 320
Pittsburgh, PA 15205
ph: 412.255.2175

Signatures

Owner: _____ **date:** _____

Contractor: _____ **date:** _____

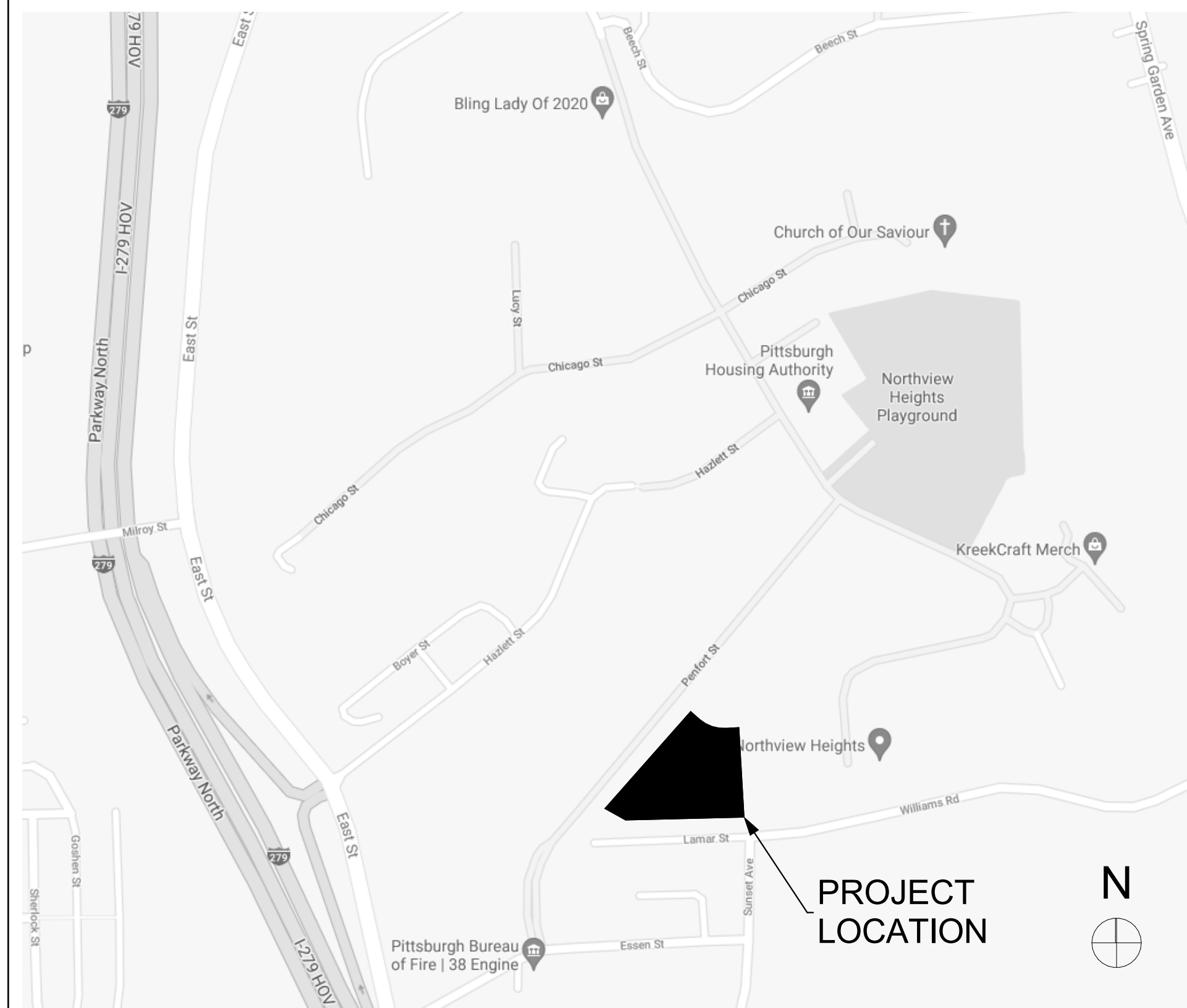
Architect: _____ **date:** _____

PHFA: _____ **date:** _____

PHFA Project No. 2023-XXX (fka 2021-156)

Project Location

PITTSBURGH, PENNSYLVANIA
NOT TO SCALE



Code Conformance Information

Applicable Codes
General: 2018 International Building Code
ANSI/ICC A117.1 2009
2018 IBC Chapter 11 and related provisions in other chapters
Section 504 of the Federal Rehabilitation Act of 1973
The Fair Housing Act of 1988 7 Fair Housing Design Manual
Uniform Federal Accessibility Standards (UFAS)
PHFA Vistability (per Submission Guide Section 1.08)
2018 International Energy Conservation Code
2017 NEC (NFPA 70)
2018 International Fire Code
2018 International Fuel Gas Code
2018 International Mechanical Code
2017 Allegheny County Health Department Plumbing Code
2016 NFPA 72
2016 NFPA 13

Project Summary

General Building / Project Information
Classification of Work: New Construction
Occupancy Group: A-3, R-2, S-1, M, B
Stories: 4
Gross Area: 48,377 G.S.F. 12,115 G.S.F. 1st Floor. 12,424 G.S.F. 2nd Floor. 12,406 G.S.F. 3rd Floor. 11,432 G.S.F. 4th Floor.

Unit Count & Gross Square Footage	Unit Type	Ansi Type B	Ansi Type A	Hearing / Vision Impaired
G.S.F. 444	1 Bedroom / 1 Bath	31	4	
902	2 Bedroom / 1 Bath	4	2	1
Total: 43 Units		35	6 (Twice 5%)	2 (Twice 2%)

BUILDING SQUARE FOOTAGE MATRIX					
Space #	Space Name	Space Type	Gross S.F.	Net S.F.	50% Gross S.F. 50% Net S.F.
1st Floor:					
100	Vestibule	Circulation	100	88	
101	Lobby & Mail Area	Residential Common	475	447	
101a	Hallway	Circulation	895	840	
102 & 102a	Community Room & Kitchenette	Residential Common	1,125	982	
103	Social Services	Residential Common	151	144	
104	Multi-Purpose Room	Residential Common	460	424	
105	Administration Office	Residential Common	170	154	
106	Development Facilities and Maintenance	Residential Common	280	261	
106a	Trash Room	Residential Common	210	196	
107	Bike Parking Room	Residential Common	100	88	
108	Computer Room	Residential Common	180	167	
109	Trash Chute Room	Residential Common	55	46	
109a	Mechanical Closet	Residential Common	32	27	
110a	Staff Restroom	Residential Common	55	49	
110b	Womens Restroom	Residential Common	55	49	
110c	Mens Restroom	Residential Common	55	49	
111	Utilities	Residential Common	360	336	180
117	North Stair Tower	Circulation	175	145	
118	South Stair Tower	Circulation	165	135	
120	Water Utility Room	Residential Common	126	110	63
150	Commerical Space	Residential Common	4,500	4,288	
Unit 1A T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1B S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 2A S	2 Bedroom, Type B	Residential Unit	See Unit Plan		
2nd Floor:					
200	Hallway	Residential Common	1,470	1,335	
210	Trash Chute Room	Residential Common	60	48	
210a	Mechanical Closet	Residential Common	32	24	
217	North Stair Tower	Circulation	175	145	
218	South Stair Tower	Circulation	165	135	
Unit 1C S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T A	1 Bedroom, Type A	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1C T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1D T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 2C S	2 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E S A	1 Bedroom, Type A	Residential Unit	See Unit Plan		
Unit 2B S A	2 Bedroom, Type A	Residential Unit	See Unit Plan		
3rd Floor:					
300	Hallway	Residential Common	1,470	1,335	
310	Trash Chute Room	Residential Common	60	48	
310a	Mechanical Closet	Residential Common	32	24	
317	North Stair Tower	Circulation	175	145	
318	South Stair Tower	Circulation	165	135	
Unit 1C S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T H/V	1 Bedroom, Type B, Hearing/Vision	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1C T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1D T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 2C S	2 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1E S A	1 Bedroom, Type A	Residential Unit	See Unit Plan		
Unit 2B T A	2 Bedroom, Type A	Residential Unit	See Unit Plan		
4th Floor:					
400	Hallway	Residential Common	1,470	1,335	
402	Communal Room	Residential Common	410	381	
410	Trash Chute Room	Residential Common	60	48	
410a	Mechanical Closet	Residential Common	32	24	
415	Laundry Room	Residential Common	290	264	
417	North Stair Tower	Circulation	175	145	
418	South Stair Tower	Circulation	165	135	
Unit 1F S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 2E T	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan		
Unit 1G T A	1 Bedroom, Type A	Residential Unit	See Unit Plan		
Unit 2D S H/V	2 Bedroom, Type B, Hearing/Vision	Residential Unit	See Unit Plan		

Abbreviations

A.F.F.	Above Finish Floor	EQUIP.	Equipment	MISC.	Miscellaneous
A.P.	Access Panel	E.F.	Exhaust Fan	N.I.C.	Not In Contract
ACOUST.	Acoustical	EXIST.	Existing	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXP.	Expansion		
ADH.	Adhesive	E.J.	Expansion Joint	O.C.	On Center
ADJUST.	Adjustable	ESH	Exterior Sheathing	OPP.	Opposite
A/C	Air Conditioning	EXIST.	Existing	O.H.	Overhead
ALT.	Alteration	EXP.	Exposed		
ALTN.	Alternate	EXT.	Exterior	PR.	Pair
ALUM.	Aluminum	E.I.F.S.	Exterior Insulation & Finish System	PLAS.	Plaster
A.O.R.	Area of Refuge			PLAS.LAM.	Plastic Laminate
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	P.C.	Plumbing Contractor
ARCH.	Architectural	FF.	Finish Floor	PLYWD.	Plywood
ASB.	Asbestos	FIN	Finish	POLY.	Polyethylene
ASPH.	Asphalt	FIN.FLR.	Finish Floor	P.V.C.	Polyvinyl Chloride
AUTO.	Automatic	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	Prefabricated
AVG.	Average	F.E.	Fire Extinguisher		
BLK.	Block	FLR.	Floor	RE.	Refer To
BD.	Board	F.D.	Floor Drain	REF.	Refrigerator
BOT.	Bottom	FTG.	Footing	R.C.P.	Reinforced Concrete Pipe
BLDG.	Building	GA.	Gauge	REINF.	Reinforcement
		G.C.	General Contractor	RD.	Room
C.I.P.	Cast In Place	G.F.I.	Ground Fault Interrupter	RM.	Room
C.B.	Catch Basin	GYP.	Gypsum	S.A.T.	Suspended Acoustical Tile
CEM.	Cement	G.W.B.	Gypsum Wall Board	SCHED.	Schedule
CER.	Ceramic	GSH.	Gypsum Sheathing	SH.	Sheet
CG.	Corner Guard	HIC	Handicap	SH.	Similar
C.M.T.	Ceramic Mosaic Tile	H.V.A.C.	Heating, Ventilation & Air Conditioning	S.C.	Solid Core
C.W.T.	Ceramic Wall Tile	HT	Height	SPECS.	Specifications
C.O.	Cleanout	HC	Hollow Core	SQ.	Square
CL.	Center Line	H.M.	Hollow Metal	S.F.	Square Foot
CLO.	Closet	HORIZ.	Horizontal	S.S.	Stainless Steel
C.W.	Cold Water	HR.	Hour	STL.	Steel
CLG.	Ceiling	H.W.	Hot Water	STOR.	Storage
COL.	Column	IN.	Inch	STRUCT.	Structural
CONC.	Concrete	I.M.	Insulated Metal	TEL.	Telephone
C.M.U.	Concrete Masonry Unit	INSUL.	Insulation or Insulated	THK.	Thick
CONT.	Continuous	INT.	Interior	T.B.D.	To Be Determined
CORR.	Corridor	INV.	Interior	T&G.	Tongue & Groove
C.M.P.	Corrugated Metal Pipe	ISO.	Isolation	T.O.	Top Of
CRS.	Courses	JAN.	Janitor's Closet	T.G.	Top Of Grade
		J.T.	Joint	T.O.S.	Top Of Steel
DIA.	Diameter	LAM.	Laminate	TYP.	Typical
DET.	Detail	LAV.	Lavatory	UNFIN.	Unfinished
DGL.	Dens Glass Gold	LG.	Long	U.N.O.	Unless Noted Otherwise
DR.	Door	M.D.F.	Medium Density Fiberboard	V.B.	Vapor Barrier
DN.	Down	M.D.H.	Magnetic Door Holder	V.F.Y.	Verify In Field
D.S.	Downspout	M.H.	Manhole	VERT.	Vertical
DWG.	Drawing	MFR.	Manufacturer	VEST.	Vestibule
D.F.	Drinking Fountain	MAX.	Maximum	V.C.T.	Vinyl Composition Tile
D.I.P.	Ductile Iron Pipe	MECH.	Mechanical	W.H.	Water Heater
		MET.	Metal	W.W.F.	Welded Wire Fabric
EA.	Each	MIN.	Minimum	WIN.	Window
E.W.	Each Way			W.	With
ELEC.	Electrical			W/O	Without
E.C.	Electrical Contractor			WD.	Wood
EL.	Elevation				
ELEV.	Elevation				

Fukui Architects Pc

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seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

COVER SHEET

scale
As Noted

date
December 3rd, 2023

no. 1 of 233

Sheet No.

TS01

Project #2040

Drawing Index

TITLE SHEETS

TS01 COVER SHEET	PROJECT LOCATION CODE CONFORMANCE INFORMATION BUILDING SQUARE FOOTAGE MATRIX ABBREVIATIONS
TS02 DRAWING INDEX	DRAWING INDEX TITLE SHEET DRAWING INDEX CIVIL DRAWING INDEX LANDSCAPE DRAWING INDEX ARCHITECTURAL DRAWING INDEX STRUCTURAL DRAWING INDEX PLUMBING DRAWING INDEX MECHANICAL DRAWING INDEX ELECTRICAL DRAWING INDEX FIRE PROTECTION DRAWING INDEX FIRE ALARM
TS04 OCCUPANCY PLANS	1ST FLOOR OCCUPANCY PLAN 2ND FLOOR OCCUPANCY PLAN 3RD FLOOR OCCUPANCY PLAN 4TH FLOOR OCCUPANCY PLAN
TS05 FIRST FLOOR LIFE SAFETY PLAN	1ST FLOOR LIFE SAFETY PLAN LIFE SAFETY PLAN LEGEND
TS06 SECOND FLOOR LIFE SAFETY PLAN	2ND FLOOR LIFE SAFETY PLAN LIFE SAFETY PLAN LEGEND
TS07 THIRD FLOOR LIFE SAFETY PLAN	3RD FLOOR LIFE SAFETY PLAN LIFE SAFETY PLAN LEGEND
TS08 FOURTH FLOOR LIFE SAFETY PLAN	4TH FLOOR LIFE SAFETY PLAN LIFE SAFETY PLAN LEGEND
TS09 FIRST FLOOR ACCESSIBILITY PLAN	1ST FLOOR ACCESSIBILITY PLAN ACCESSIBILITY CLEARANCES
TS10 SECOND FLOOR ACCESSIBILITY PLAN	2ND FLOOR ACCESSIBILITY PLAN ACCESSIBILITY CLEARANCES
TS11 THIRD FLOOR ACCESSIBILITY PLAN	3RD FLOOR ACCESSIBILITY PLAN ACCESSIBILITY CLEARANCES
TS12 FOURTH FLOOR ACCESSIBILITY PLAN	4TH FLOOR ACCESSIBILITY PLAN ACCESSIBILITY CLEARANCES
TS13 PHFA DOCUMENTS	2 - ARCHITECTS CERTIFICATION FOR SELECTION CRITERIA ARCHITECTS CERTIFICATION FOR THRESHOLD CRITERIA
TS14 PHFA TAB 02 CHECKLISTS	PHFA TAB 02 CHECKLISTS
TS15 PHFA TAB 02 CHECKLISTS	PHFA TAB 02 CHECKLISTS
TS16 ENTERPRISE GREEN COMMUNITIES CHECKLIST	ENTERPRISE GREEN COMMUNITIES CHECKLIST
CIVIL	
C100 TITLE SHEET	TITLE SHEET
C101 GENERAL NOTES	GENERAL NOTES ROOF PLAN NOTES
1 TOPOGRAPHY SURVEY	TOPOGRAPHY SURVEY
C103 DEMOLITION PLAN	DEMOLITION PLAN
C200 SITE PLAN	SITE PLAN
C201 ADA ENLARGEMENT PLAN	ADA ENLARGEMENT PLAN
C202 ADA ENLARGEMENT PLAN	ADA ENLARGEMENT PLAN
C203 ENTRANCE ENLARGEMENT PLAN	ENTRANCE ENLARGEMENT PLAN
C204 ENTRANCE ENLARGEMENT PLAN	ENTRANCE ENLARGEMENT PLAN
C250 SITE DETAILS	SITE DETAILS
C300 GRADING PLAN	GRADING PLAN
C301 GRADING ENLARGEMENT PLAN	GRADING ENLARGEMENT PLAN
C400 POST CONSTRUCTION STORMWATERMANAGEMENT PLAN	POST CONSTRUCTION STORMWATERMANAGEMENT PLAN
C450 STORMWATERMANAGEMENT DETAILS	STORMWATERMANAGEMENT DETAILS
C451 STORMWATERMANAGEMENT DETAILS	STORMWATERMANAGEMENT DETAILS
C452 STORMWATERMANAGEMENT DETAILS	STORMWATERMANAGEMENT DETAILS
C453 STORMWATERMANAGEMENT DETAILS	STORMWATERMANAGEMENT DETAILS
C454 STORMWATERMANAGEMENT DETAILS AND PROFILES	STORMWATERMANAGEMENT DETAILS AND PROFILES
C455 STORMWATERMANAGEMENT DETAILS AND PROFILES	STORMWATERMANAGEMENT DETAILS AND PROFILES
C456 STORMWATERMANAGEMENT PROFILES	STORMWATERMANAGEMENT PROFILES
C500 UTILITY PLAN	UTILITY PLAN
C550 UTILITY DETAILS	UTILITY DETAILS
C551 SANITARY PROFILES	SANITARY PROFILES
C552 FIRE TANK DETAILS	FIRE TANK DETAILS
C553 PWSA DETAILS	PWSA DETAILS
C554 WATERSERVICE ENLARGEMENT PLAN	WATERSERVICE ENLARGEMENT PLAN
C600 EROSION AND SEDIMENTATION CONTROL PLAN	EROSION AND SEDIMENTATION CONTROL PLAN
C650 EROSION AND SEDIMENTATION CONTROL NOTES	EROSION AND SEDIMENTATION CONTROL NOTES
C651 EROSION AND SEDIMENTATION CONTROL DETAILS	EROSION AND SEDIMENTATION CONTROL DETAILS
C652 EROSION AND SEDIMENTATION CONTROL DETAILS	EROSION AND SEDIMENTATION CONTROL DETAILS
C701 LIGHTING PLAN	LIGHTING PLAN
C750 LIGHTING DETAILS	DETAILS

LANDSCAPE

L01 TREE PRESERVATION PLAN	TREE PRESERVATION PLAN
L100 SCHEDULES	SCHEDULES
L101 SITE IMPROVEMENTS PLAN	SITE IMPROVEMENTS PLAN
L201 TOPSOIL PLAN	TOPSOIL PLAN
L301 LAYOUT & DIMENSION PLAN - LANDSCAPE	LAYOUT & DIMENSION PLAN - LANDSCAPE
L302 LAYOUT & DIMENSION PLAN - LANDSCAPE ENLARGEMENTS	LAYOUT & DIMENSION PLAN - LANDSCAPE ENLARGEMENTS
L303 LAYOUT & DIMENSION PLAN - LANDSCAPE ENLARGEMENTS	LAYOUT & DIMENSION PLAN - ACCESSIBILITY ENLARGEMENTS
L304 LAYOUT & DIMENSION PLAN - ACCESSIBILITY ENLARGEMENTS	LAYOUT & DIMENSION PLAN - ACCESSIBILITY ENLARGEMENTS
L400 SITE DETAILS	SITE DETAILS
L401 SITE DETAILS	SITE DETAILS
L402 SITE DETAILS	SITE DETAILS
L403 SITE DETAILS	SITE DETAILS
L404 SITE DETAILS	SITE DETAILS
L405 SITE DETAILS	SITE DETAILS
L500 PLANTING SCHEDULE & NOTES	PLANTING SCHEDULE & NOTES
L501 PLANTING PLAN - TREES	PLANTING PLAN - TREES
L502 PLANTING PLAN - UNDERSTORY	PLANTING PLAN - UNDERSTORY
L503 PLANTING DETAILS	PLANTING DETAILS
L600 IRRIGATION PLAN	IRRIGATION PLAN
L601 IRRIGATION NOTES AND DETAILS	IRRIGATION NOTES AND DETAILS
ARCHITECTURAL	
A101 FOUNDATION PLAN	FOUNDATION PLAN FOUNDATION PLAN NOTES
A102 FIRST FLOOR PLAN	1ST FLOOR FLOOR PLAN NOTES 1ST FLOOR
A103 SECOND FLOOR PLAN	2ND FLOOR FLOOR PLAN NOTES 2ND FLOOR
A104 THIRD FLOOR PLAN	3RD FLOOR FLOOR PLAN NOTES 3RD FLOOR
A105 FOURTH FLOOR PLAN	4TH FLOOR FLOOR PLAN NOTES 4TH FLOOR
A106 ROOF PLAN	ROOF PLAN ROOF PLAN NOTES
A107 FIRST FLOOR REFLECTED CEILING PLAN	1ST FLOOR REFLECTED CEILING PLAN REFLECTED CEILING PLAN LEGEND
A108 SECOND FLOOR REFLECTED CEILING PLAN	2ND FLOOR REFLECTED CEILING PLAN REFLECTED CEILING PLAN LEGEND
A109 THIRD FLOOR REFLECTED CEILING PLAN	3RD FLOOR REFLECTED CEILING PLAN REFLECTED CEILING PLAN LEGEND
A110 FOURTH FLOOR REFLECTED CEILING PLAN	4TH FLOOR REFLECTED CEILING PLAN REFLECTED CEILING PLAN LEGEND
A111 FIRST FLOOR FINISH PLAN	1ST FLOOR FINISH PLAN FLOOR FINISH LEGEND CALL BUTTON DETAIL
A112 SECOND FLOOR FINISH PLAN	2ND FLOOR FINISH PLAN FLOOR FINISH LEGEND CALL BUTTON DETAIL
A113 THIRD FLOOR FINISH PLAN	3RD FLOOR FINISH PLAN FLOOR FINISH LEGEND CALL BUTTON DETAIL
A114 FOURTH FLOOR FINISH PLAN	4TH FLOOR FINISH PLAN FLOOR FINISH LEGEND CALL BUTTON DETAIL
A115 FIRST FLOOR FURNISHINGS PLAN	FIRST FLOOR FURNISHINGS PLAN FURNISHINGS LIST
A116 FOURTH FLOOR FURNISHINGS PLAN	FOURTH FLOOR FURNISHINGS PLAN FURNISHINGS LIST
A117 ENLARGED PLANS	ENLARGED 1ST FLOOR ELEVATOR LOBBY PLAN ENLARGED 2ND FLOOR ELEVATOR LOBBY PLAN ENLARGED COMMON RESTROOM PLANS ENLARGED 1ST FLOOR NORTH STAIR TOWER PLAN ENLARGED 1ST FLOOR SOUTH STAIR TOWER PLAN ENLARGED LAUNDRY ROOM ENLARGED PLAN NOTES ACCESSIBILITY CLEARANCES
A201 NORTH AND EAST ELEVATIONS	NORTH AND EAST ELEVATIONS
A202 SOUTH AND WEST ELEVATIONS	SOUTH AND WEST ELEVATIONS
A301 TRANSVERSE BUILDING SECTION	TRANSVERSE BUILDING SECTION BUILDING SECTION NOTES
A302 LONGITUDINAL BUILDING SECTION	LONGITUDINAL BUILDING SECTION WATER/UTILITY ROOM SECTION BUILDING SECTION NOTES
A303 STAIR TOWER SECTIONS	TRANSVERSE SOUTH STAIR TOWER SECTION LONGITUDINAL SOUTH STAIR TOWER SECTION LONGITUDINAL NORTH STAIR TOWER SECTION TRANSVERSE NORTH STAIR TOWER SECTION BUILDING SECTION NOTES
A304 WALL SECTIONS A-E	WALL SECTIONS A-E BUILDING SECTION NOTES

ARCHITECTURAL (CONT.)

A305 WALL SECTIONS F-H	WALL SECTIONS F-H BUILDING SECTION NOTES
A306 TRASH CHUTE SECTIONS	BOTTOM OF TRASH CHUTE & COMPACTOR SECTION BUILDING SECTION NOTES TOP OF TRASH CHUTE SECTION BOTTOM OF TRASH CHUTE SECTION
A401 UNIT 1A T: 1 BEDROOM W/ BATH TUB (TYPE B)	UNIT 1A T
A402 UNIT 1B S: 1 BEDROOM W/ SHOWER (TYPE B)	UNIT 1B S
A403 UNIT 1C T: 1 BEDROOM W/ BATH TUB (TYPE B)	UNIT 1C T
A404 UNIT 1C S: 1 BEDROOM W/ SHOWER (TYPE B)	UNIT 1C S
A405 UNIT 1D T: 1 BEDROOM W/ BATH TUB (TYPE B)	UNIT 1D T
A406 UNIT 1E T: 1 BEDROOM W/ BATH TUB (TYPE B)	UNIT 1E T
A407 UNIT 1E T A: 1 BEDROOM W/ BATH TUB (TYPE A)	UNIT 1E T A
A408 UNIT 1E T HV: 1 BEDROOM W/ BATH TUB (TYPE B) (HEARING/VISION)	UNIT 1E T HV
A409 UNIT 1E S: 1 BEDROOM W/ SHOWER (TYPE B)	UNIT 1E S
A410 UNIT 1E S A: 1 BEDROOM W/ SHOWER (TYPE A)	UNIT 1E S A
A411 UNIT 1F S: 1 BEDROOM W/ SHOWER (TYPE B)	UNIT 1F S
A412 UNIT 1G T: 1 BEDROOM W/ BATH TUB (TYPE B)	UNIT 1G T
A413 UNIT 1G S: 1 BEDROOM W/ SHOWER (TYPE B)	UNIT 1G S
A414 UNIT 1G T A: 1 BEDROOM W/ BATH TUB (TYPE A)	UNIT 1G S A
A415 UNIT 2A S: 2 BEDROOM W/ SHOWER (TYPE B)	UNIT 2A S
A416 UNIT 2B T A: 2 BEDROOM W/ BATH TUB (TYPE A)	UNIT 2B T A
A417 UNIT 2B S A: 2 BEDROOM W/ SHOWER (TYPE A)	UNIT 2B S A
A418 UNIT 2C S: 2 BEDROOM W/ SHOWER (TYPE B)	UNIT 2C S
A419 UNIT 2D S HV: 2 BEDROOM W/ SHOWER (TYPE B) (HEARING/VISION)	UNIT 2D S HV
A420 UNIT 2E T: 2 BEDROOM W/ BATH TUB (TYPE B)	UNIT 2E T
A421 UNIT DETAILS: KITCHEN CABINETS, CLOSETS, RANGE EXHAUST	UNIT 2E T
A422 UNIT ACCESSIBILITY AND FURNITURE PLANS	UNIT ACCESSIBILITY AND FURNITURE PLANS
A423 UNIT ACCESSIBILITY AND FURNITURE PLANS	UNIT ACCESSIBILITY AND FURNITURE PLANS
A424 UNIT ACCESSIBILITY AND FURNITURE PLANS	UNIT ACCESSIBILITY AND FURNITURE PLANS
A425 UNIT ACCESSIBILITY AND FURNITURE PLANS	UNIT ACCESSIBILITY AND FURNITURE PLANS
A426 UNIT ACCESSIBILITY AND FURNITURE PLANS	UNIT ACCESSIBILITY AND FURNITURE PLANS
A427 UNIT SHOWER AND BATH TUB GRAB BAR DETAILS	TRANSFER-TYPE SHOWER ELEVATIONS ROLL-IN SHOWER ELEVATIONS BATH TUB ELEVATIONS
A501 WALL ASSEMBLIES	WALL ASSEMBLIES
A502 FLOOR/CEILING & ROOF/CEILING ASSEMBLIES	FLOOR/CEILING & ROOF/CEILING ASSEMBLIES
A503 BUILDING DETAILS	BUILDING DETAILS
A504 BUILDING AND ELEVATOR DETAILS	BUILDING DETAILS ELEVATOR ACCESSORY MOUNTING LOCATIONS ELEVATOR JAMB DETAIL CALL BUTTON DETAIL VISUAL SIGNAL DETAILS TACTILE SIGNALS DETAIL
A505 COMPARTMENTALIZATION DETAILS	COMPARTMENTALIZATION DETAILS
A506 WALL FLASHING DETAILS	WALL FLASHING DETAILS
A507 FOOTING DETAILS	FOOTING DETAILS
A508 MONUMENT SIGN DETAILS	MONUMENT SIGN DETAILS
A509 DOOR DETAILS	DOOR DETAILS
A510 WINDOW DETAILS	WINDOW DETAILS
A511 STOREFRONT & THRESHOLD DETAILS	STOREFRONT DETAILS
A512 RESTROOM ELEVATIONS	RESTROOM ELEVATIONS
A513 KITCHENETTE, MAILBOXES, AND LAUNDRY ROOM ELEVATIONS	KITCHENETTE, MAILBOXES, AND LAUNDRY ROOM ELEVATIONS
A514 STAIR DETAILS	STAIR GUARD RAIL ELEVATION STAIR DETAIL HAND RAIL DETAIL STAIRWAY ACCESSIBILITY: BOTTOM OF RUN STAIRWAY ACCESSIBILITY: TOP OF RUN
A601 DOOR AND WINDOW SCHEDULES	WINDOW TYPES DOOR TYPES WINDOW SCHEDULE DOOR SCHEDULE: BUILDING DOOR NOTES ANSI LOCK FUNCTIONS
A602 FINISH SCHEDULE	INTERIOR SIGNAGE FINISH SCHEDULE: BUILDING MATERIAL FINISHES
A701 UL U528	UL U528
A702 UL L577	UL L577
A703 UL P533	UL P533
A704 UL P561	UL P561
A705 UL U301	UL U301
A706 UL U305	UL U305
A707 UL U311	UL U311
A708 UL U438	UL U438
A709 UL U906	UL U906
A710 UL H505	UL H505

STRUCTURAL

S001 GENERAL STRUCTURAL NOTES	GENERAL STRUCTURAL NOTES
S002 GENERAL STRUCTURAL NOTES	GENERAL STRUCTURAL NOTES
S101 FOUNDATION PLAN	FOUNDATION PLAN
S201 SECOND FLOOR FRAMING PLAN	SECOND FLOOR FRAMING PLAN
S202 THIRD FLOOR FRAMING PLAN	THIRD FLOOR FRAMING PLAN
S203 FOURTH FLOOR FRAMING PLAN	FOURTH FLOOR FRAMING PLAN
S204 ROOF FRAMING PLAN	ROOF FRAMING PLAN
S301 FIRST FLOOR SHEAR WALL PLAN	FIRST FLOOR SHEAR WALL PLAN
S302 SECOND FLOOR SHEAR WALL PLAN	SECOND FLOOR SHEAR WALL PLAN
S303 THIRD FLOOR SHEAR WALL PLAN	THIRD FLOOR SHEAR WALL PLAN
S304 FOURTH FLOOR SHEAR WALL PLAN	FOURTH FLOOR SHEAR WALL PLAN
S401 STRUCTURAL DETAILS	STRUCTURAL DETAILS
S402 STRUCTURAL DETAILS	STRUCTURAL DETAILS
S403 STRUCTURAL DETAILS	STRUCTURAL DETAILS
S404 STRUCTURAL DETAILS	STRUCTURAL DETAILS

PLUMBING

P00 LEGEND AND GENERAL NOTES	LEGEND AND GENERAL NOTES
P101 FIRST FLOOR PLUMBING PLAN	FIRST FLOOR PLUMBING PLAN
P102 SECOND FLOOR PLUMBING PLAN	SECOND FLOOR PLUMBING PLAN
P103 THIRD FLOOR PLUMBING PLAN	THIRD FLOOR PLUMBING PLAN
P104 FOURTH FLOOR PLUMBING PLAN	FOURTH FLOOR PLUMBING PLAN
P105 ROOF VENT PENETRATION PLAN	ROOF VENT PENETRATION PLAN
P201 ENLARGED PLUMBING PLAN	ENLARGED PLUMBING PLAN
P202 ENLARGED PLUMBING PLAN	ENLARGED PLUMBING PLAN
P203 ENLARGED PLUMBING PLAN	ENLARGED PLUMBING PLAN
P204 ENLARGED PLUMBING PLAN	ENLARGED PLUMBING PLAN
P301 WATER RISER DIAGRAMS	WATER RISER DIAGRAMS
P302 WATER RISER DIAGRAMS	WATER RISER DIAGRAMS
P303 WATER RISER DIAGRAMS	WATER RISER DIAGRAMS
P304 WATER RISER DIAGRAMS	WATER RISER DIAGRAMS
P305 SANITARY RISER DIAGRAMS	SANITARY RISER DIAGRAMS
P306 SANITARY RISER DIAGRAMS	SANITARY RISER DIAGRAMS
P307 SANITARY RISER DIAGRAMS	SANITARY RISER DIAGRAMS
P308 SANITARY RISER DIAGRAMS	SANITARY RISER DIAGRAMS
P401 DETAILS	DETAILS
P402 DETAILS	DETAILS
P403 RADON SYSTEM DETAILS	RADON SYSTEM DETAILS
P501 SCHEDULES	SCHEDULES

MECHANICAL

M000 MECHANICAL COVER SHEET	MECHANICAL COVER SHEET
M101 MECHANICAL FIRST FLOOR PLAN	MECHANICAL FIRST FLOOR PLAN
M102 MECHANICAL SECOND FLOOR PLAN	MECHANICAL SECOND FLOOR PLAN
M103 MECHANICAL THIRD FLOOR PLAN	MECHANICAL THIRD FLOOR PLAN
M104 MECHANICAL FOURTH FLOOR PLAN	MECHANICAL FOURTH FLOOR PLAN
M201 MECHANICAL PIPING FIRST FLOOR PLAN	MECHANICAL PIPING FIRST FLOOR PLAN
M202 MECHANICAL PIPING SECOND FLOOR PLAN	MECHANICAL PIPING SECOND FLOOR PLAN
M203 MECHANICAL PIPING THIRD FLOOR PLAN	MECHANICAL PIPING THIRD FLOOR PLAN
M204 MECHANICAL PIPING FOURTH FLOOR PLAN	MECHANICAL PIPING FOURTH FLOOR PLAN
M300 MECHANICAL ENLARGED ONE BEDROOM UNIT PLANS	MECHANICAL ENLARGED ONE BEDROOM UNIT PLANS
M301 MECHANICAL ENLARGED ONE BEDROOM UNIT PLANS	MECHANICAL ENLARGED ONE BEDROOM UNIT PLANS
M302 MECHANICAL ENLARGED TWO BEDROOM UNIT PLANS	MECHANICAL ENLARGED TWO BEDROOM UNIT PLANS
M303 MECHANICAL ENLARGED TWO BEDROOM UNIT PLANS	MECHANICAL ENLARGED TWO BEDROOM UNIT PLANS
M400 MECHANICAL DETAILS	MECHANICAL DETAILS
M401 MECHANICAL DETAILS	MECHANICAL DETAILS
M500 MECHANICAL SCHEDULES	MECHANICAL SCHEDULES
M501 MECHANICAL SCHEDULES	MECHANICAL SCHEDULES
M502 MECHANICAL SCHEDULES	MECHANICAL SCHEDULES

ELECTRICAL

E000 ELECTRICAL COVER SHEET	ELECTRICAL COVER SHEET
E101 ELECTRICAL FIRST FLOOR PLAN	ELECTRICAL FIRST FLOOR PLAN
E102 ELECTRICAL SECOND FLOOR PLAN	ELECTRICAL SECOND FLOOR PLAN
E103 ELECTRICAL THIRD FLOOR PLAN	ELECTRICAL THIRD FLOOR PLAN
E104 ELECTRICAL FOURTH FLOOR PLAN	ELECTRICAL FOURTH FLOOR PLAN
E200 ELECTRICAL ENLARGED FLOOR PLANS	ELECTRICAL ENLARGED FLOOR PLANS
E201 ELECTRICAL ENLARGED UNIT PLANS	ELECTRICAL ENLARGED UNIT PLANS
E202 ELECTRICAL ENLARGED UNIT PLANS	ELECTRICAL ENLARGED UNIT PLANS
E203 ELECTRICAL ENLARGED UNIT PLANS	ELECTRICAL ENLARGED UNIT PLANS
E204 ELECTRICAL ENLARGED UNIT PLANS	ELECTRICAL ENLARGED UNIT PLANS
E205 ELECTRICAL ENLARGED UNIT PLANS	ELECTRICAL ENLARGED UNIT PLANS
E206 ELECTRICAL ENLARGED UNIT PLANS	ELECTRICAL ENLARGED UNIT PLANS
E300 ELECTRICAL POWER DISTRIBUTION RISER & DETAILS	ELECTRICAL POWER DISTRIBUTION RISER & DETAILS
E301 ELECTRICAL FIRE ALARM RISER & DETAILS	ELECTRICAL FIRE ALARM RISER & DETAILS
E302 ELECTRICAL CATV / PHONE RISER & DETAILS	ELECTRICAL CATV / PHONE RISER & DETAILS
E303 ELECTRICAL LIGHTING CONTROL DIAGRAMS	ELECTRICAL LIGHTING CONTROL DIAGRAMS
E304 ELECTRICAL DETAILS	ELECTRICAL DETAILS
E400 ELECTRICAL SCHEDULES	ELECTRICAL SCHEDULES
E401 ELECTRICAL SCHEDULES	ELECTRICAL SCHEDULES

FIRE PROTECTION

FP00 FIRE PROTECTION LEGEND AND GENERAL NOTES	FIRE PROTECTION LEGEND AND GENERAL NOTES
FP101 FIRE PROTECTION PLAN	FIRE PROTECTION PLAN
FP102 FIRE PROTECTION PLAN	FIRE PROTECTION PLAN
FP103 FIRE PROTECTION PLAN	FIRE PROTECTION PLAN
FP201 ENLARGED FIRE PROTECTION PLAN	ENLARGED FIRE PROTECTION PLAN
FP301 DETAILS	DETAILS

FIRE ALARM

FA100 FIRE ALARM FLOOR PLANS	FIRE ALARM FLOOR PLANS
FA101 FIRE ALARM FLOOR PLANS	FIRE ALARM FLOOR PLANS
FA200 FIRE ALARM ENLARGED UNIT PLANS	FIRE ALARM ENLARGED UNIT PLANS
FA300 FIRE ALARM & RISER DETAILS	FIRE ALARM & RISER DETAILS

Fukui Architects Pc

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

DRAWING INDEX

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	of.	TS02
2	233	
Project #2040		

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
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CODE CONFORMANCE INFORMATION

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	of.	TS03
3	233	
Project #2040		

Code Conformance Information

4-STORY APARTMENT BUILDING WITH (4) 1 & 2 BEDROOM UNITS

PROJECT NAME: Northview Heights Midrise

APPLICABLE CODES:

Assembly:	2018 International Building Code ANSI/ICC A117.1-2009 704, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 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seal

general notes

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revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

OCCUPANCY PLANS

scale
As Noted

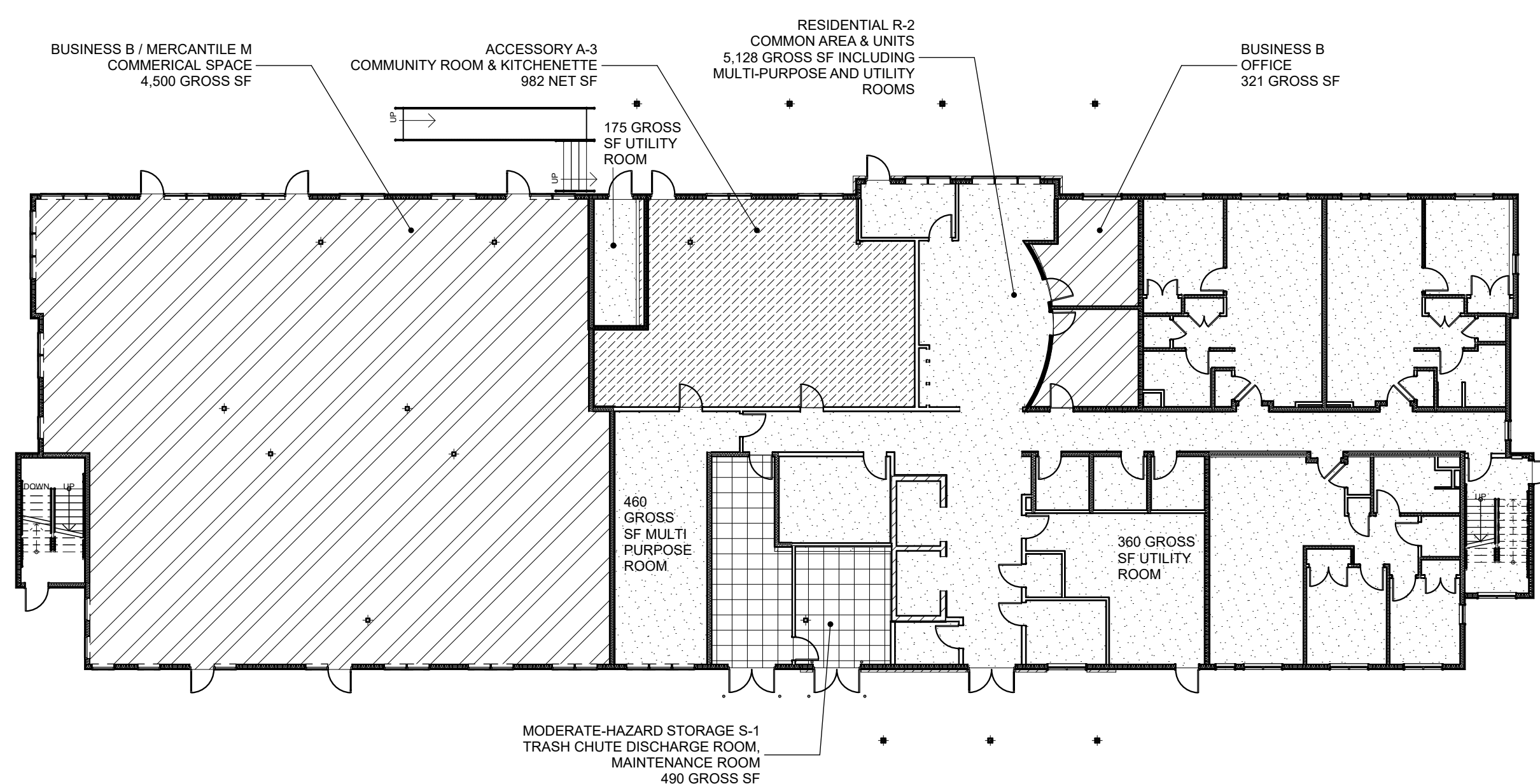
date
December 3rd, 2023

no. of.
4 233

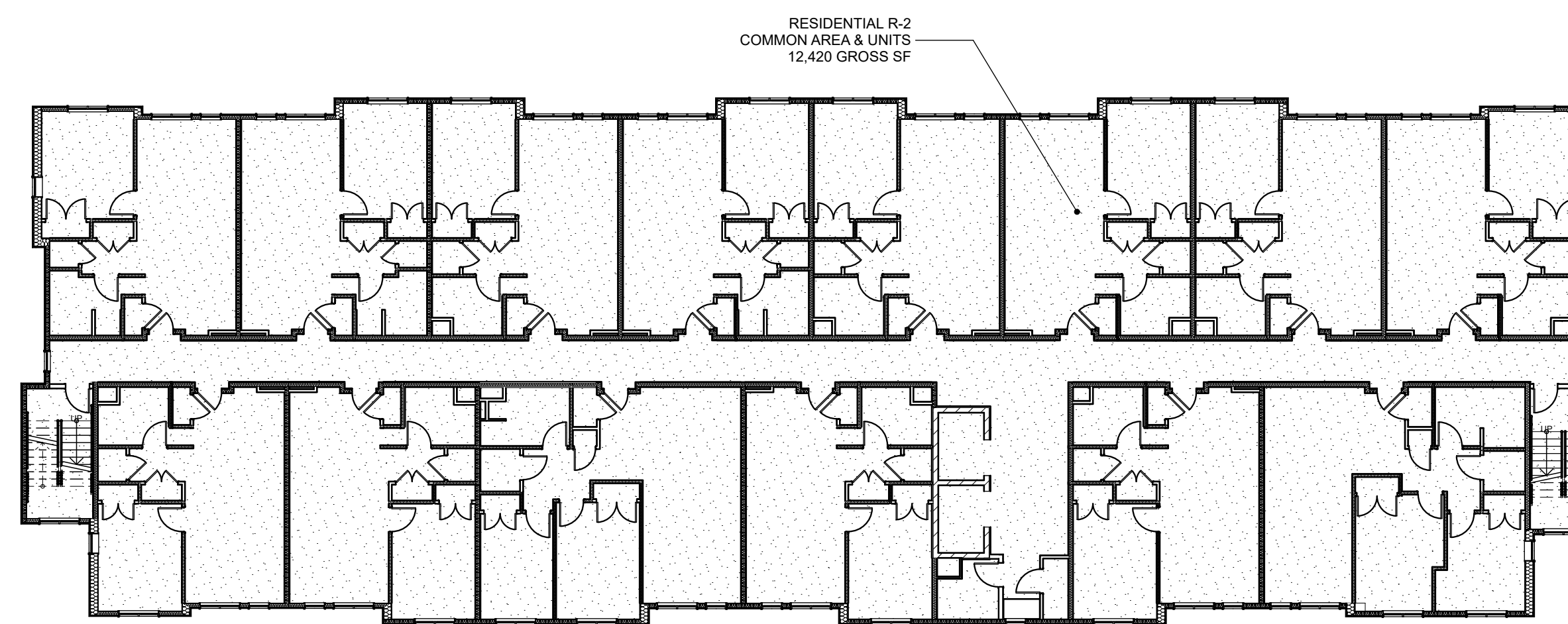
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TS04

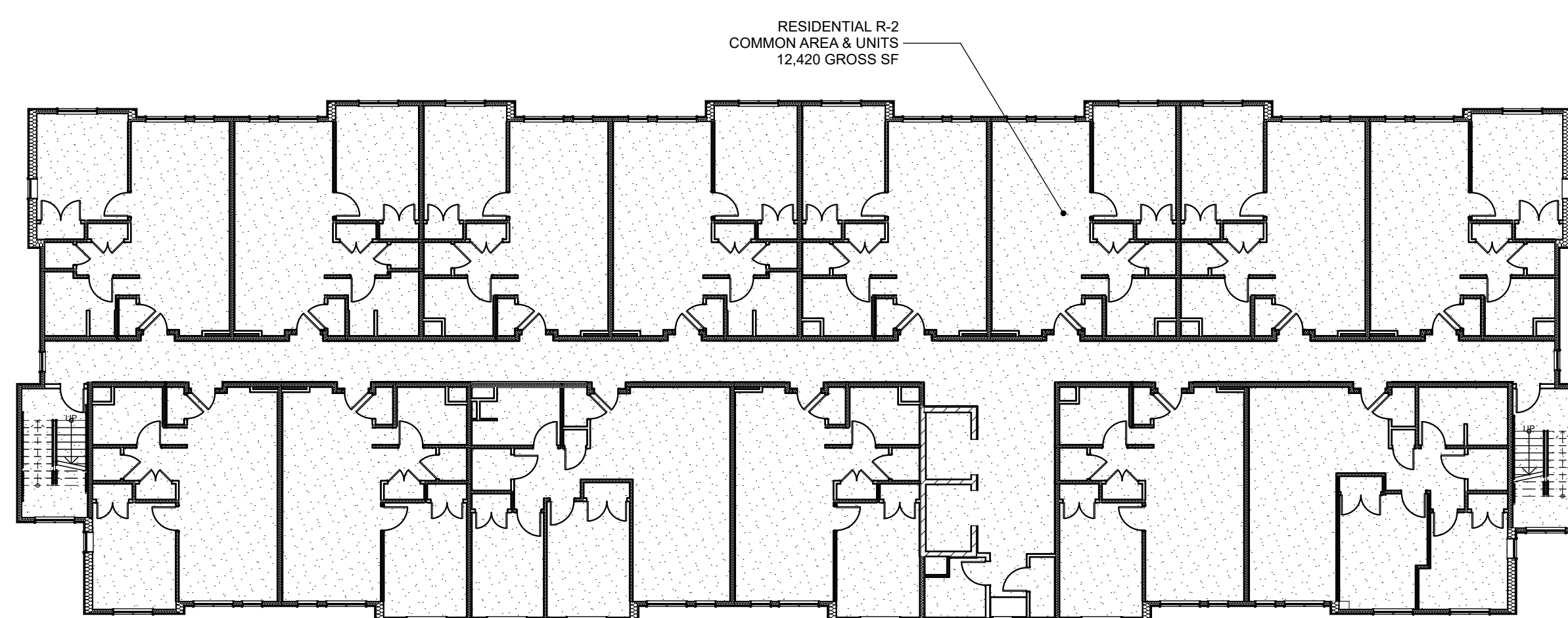
Project #2040



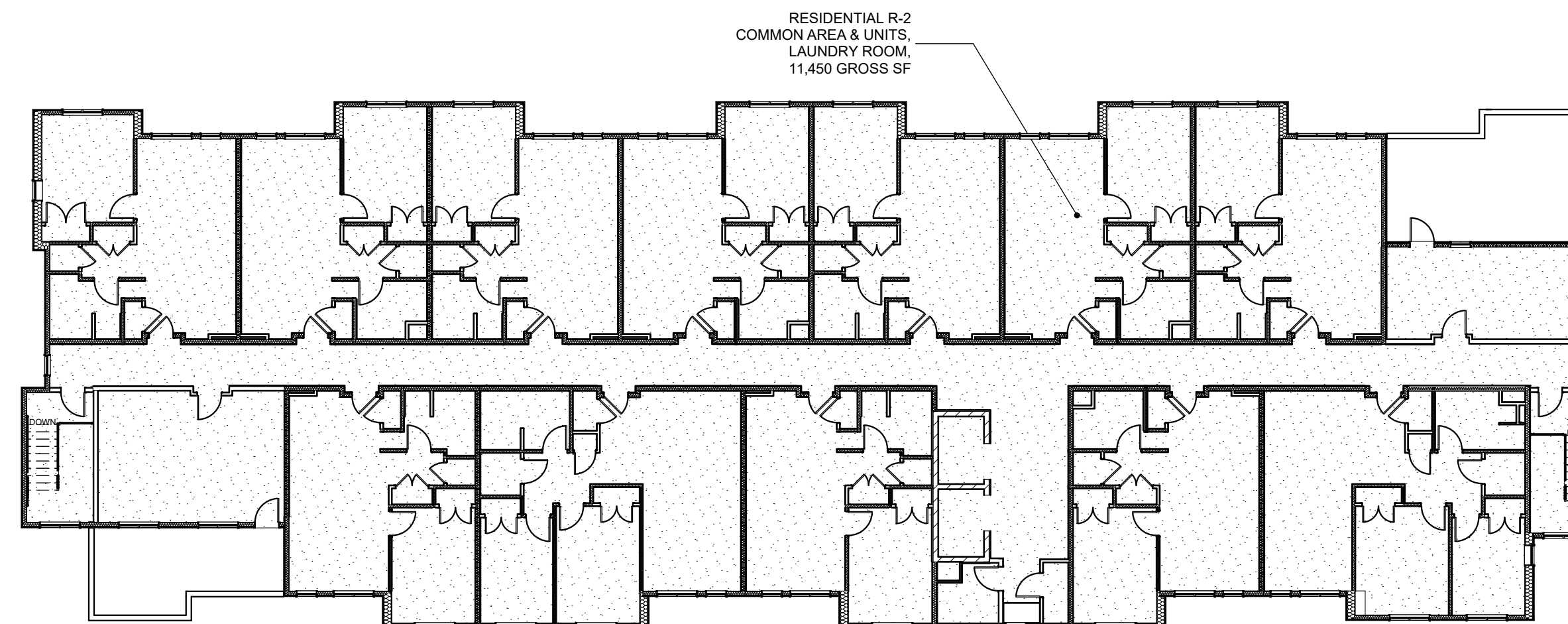
1 1ST FLOOR OCCUPANCY PLAN
SCALE: 1/16" = 1'-0"



2 2ND FLOOR OCCUPANCY PLAN
SCALE: 1/16" = 1'-0"



3 3RD FLOOR OCCUPANCY PLAN
SCALE: 1/16" = 1'-0"



4 4TH FLOOR OCCUPANCY PLAN
SCALE: 1/16" = 1'-0"

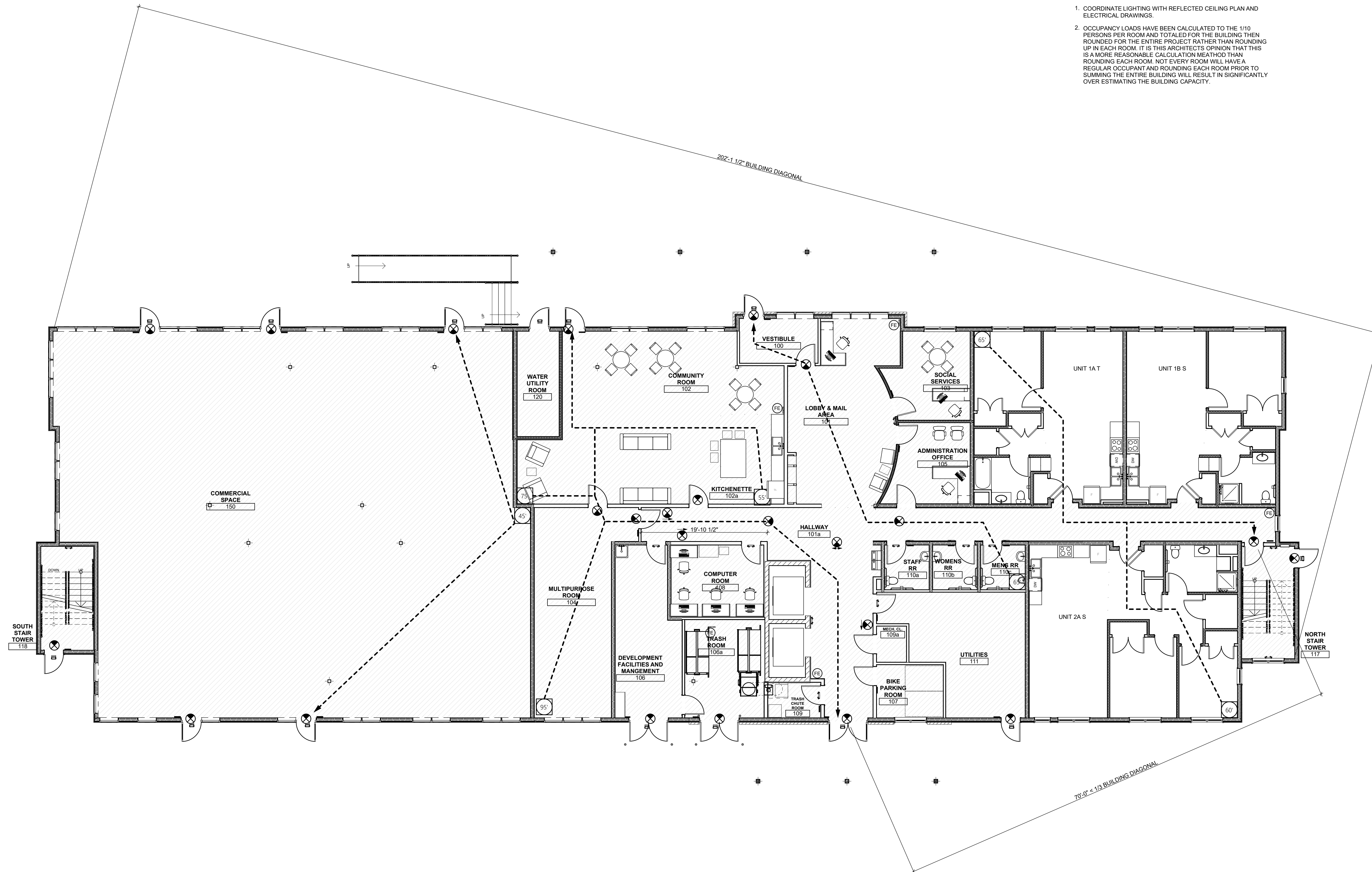


LIFE SAFETY PLAN LEGEND

- EXIT PATH
- (X) TRAVEL DISTANCE TO EXIT OR EXIT ACCESS DOORWAY
- (⊗) NON-DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTS
- (⊗) DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTS
- EXTERIOR EMERGENCY LIGHTING
- INTERIOR EMERGENCY LIGHTING
- TACTILE EXIT SIGN, SEE A2 FOR DETAILS
- TACTILE ACCESSIBLE R.R. SIGN, SEE A2 FOR DETAILS
- PLACARD STATING THE SPRINKLER FIRE PROTECTION SYSTEM SHALL BE ACTUATED PRIOR TO USING THIS FIRE EXTINGUISHER
- (⊗) EXTERIOR EMERGENCY LIGHTING (EXISTING LOCATION AND FIXTURE)
- (FE) FIRE EXTINGUISHER- TYPE "ABC"

GENERAL LIFE SAFETY NOTES

1. COORDINATE LIGHTING WITH REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS.
2. OCCUPANCY LOADS HAVE BEEN CALCULATED TO THE 1/10 PERSONS PER ROOM AND TOTALED FOR THE BUILDING THEN ROUNDED FOR THE ENTIRE PROJECT RATHER THAN ROUNDED UP IN EACH ROOM. IT IS THIS ARCHITECTS OPINION THAT THIS IS A MORE REASONABLE CALCULATION METHOD THAN ROUNDED EACH ROOM. NOT EVERY ROOM WILL HAVE A REGULAR OCCUPANT AND ROUNDED EACH ROOM PRIOR TO SUMMING THE ENTIRE BUILDING WILL RESULT IN SIGNIFICANTLY OVER ESTIMATING THE BUILDING CAPACITY.



seal

general notes

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revisions

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200 Ross Street
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Client:
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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FIRST FLOOR LIFE SAFETY PLAN

scale	As Noted
date	December 3rd, 2023
no.	5
of.	233

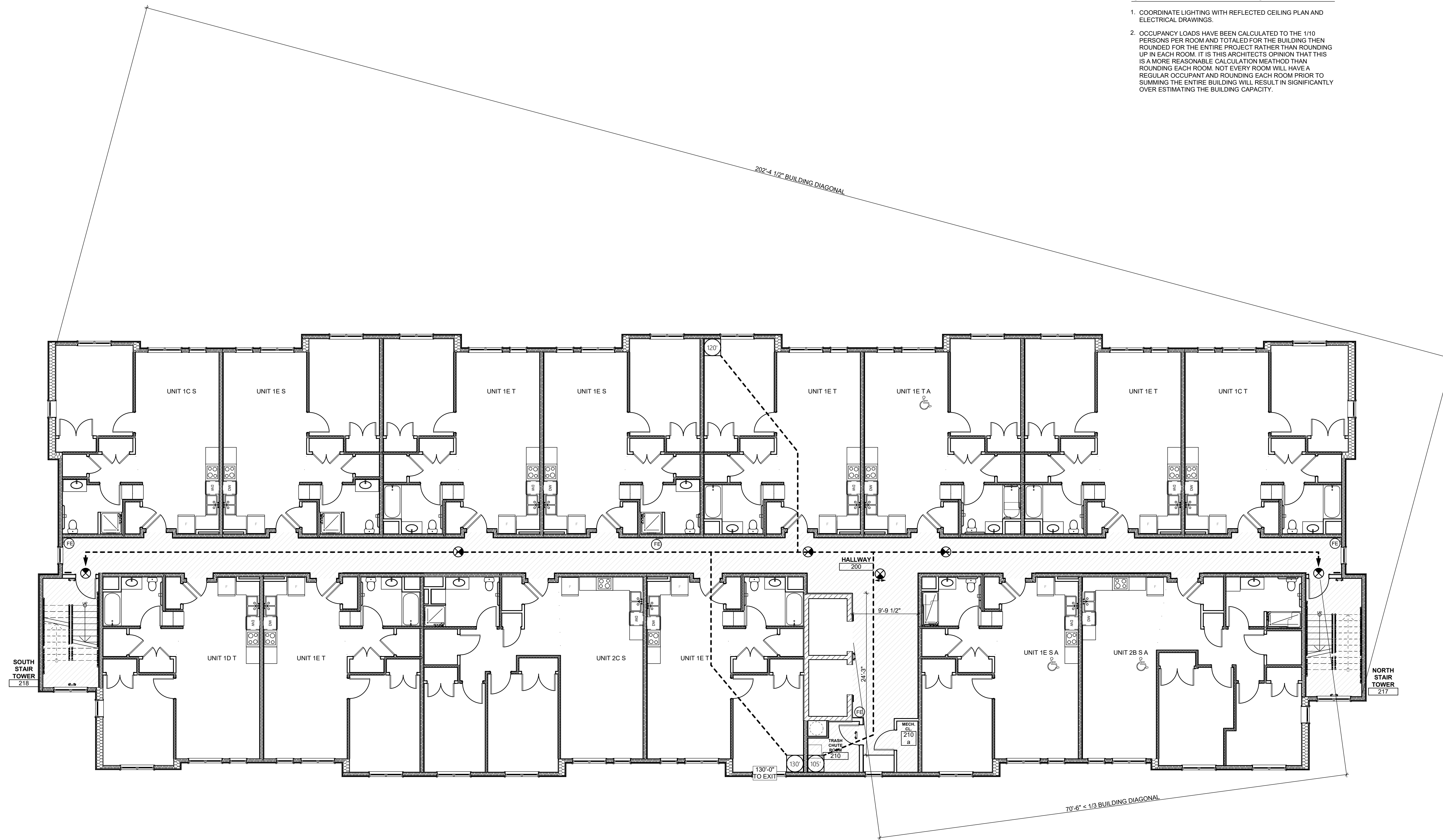
Sheet No.
TS05
Project #2040

LIFE SAFETY PLAN LEGEND

- > EXIT PATH
- (X) TRAVEL DISTANCE TO EXIT OR EXIT ACCESS DOORWAY
- (X) NON-DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTS
- (X) DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTS
- EXTERIOR EMERGENCY LIGHTING
- INTERIOR EMERGENCY LIGHTING
- TACTILE EXIT SIGN, SEE A2 FOR DETAILS
- TACTILE ACCESSIBLE R.R. SIGN, SEE A2 FOR DETAILS
- PLACARD STATING THE SPRINKLER FIRE PROTECTION SYSTEM SHALL BE ACTUATED PRIOR TO USING THIS FIRE EXTINGUISHER
- (X) EXTERIOR EMERGENCY LIGHTING (EXISTING LOCATION AND FIXTURE)
- (FE) FIRE EXTINGUISHER- TYPE "ABC"

GENERAL LIFE SAFETY NOTES

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1 2ND FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



seal

general notes

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revisions

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Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SECOND FLOOR LIFE SAFETY
PLAN

scale
As Noted

date
December 3rd, 2023

no. of.
6 233

Sheet No.

TS06

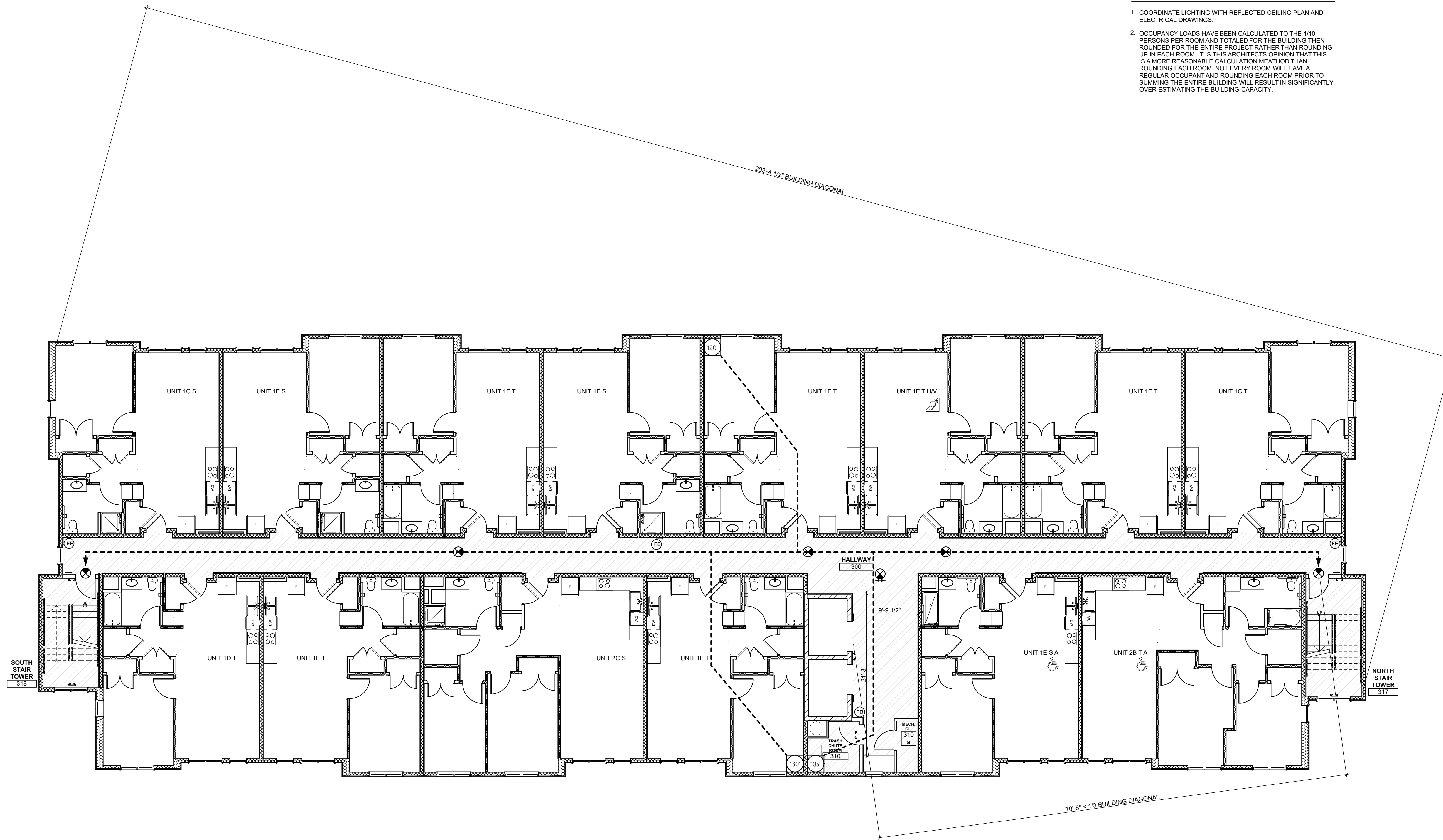
Project #2040

LIFE SAFETY PLAN LEGEND

- EXIT PATH
- (X) TRAVEL DISTANCE TO EXIT OR EXIT ACCESS DOORWAY
- (X) NON-DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTS
- (X) DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTS
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- (FE) FIRE EXTINGUISHER- TYPE "ABC"

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seal

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Project Location:

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246 Penfort Street
Pittsburgh, PA 15214

drawing title

THIRD FLOOR LIFE SAFETY
PLAN

scale
As Noted

date
December 3rd, 2023

no. of.
7 233

Sheet No.

TS07

Project #2040



ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
- (C) DOOR WIDTH+24" LATCH SIDE X 48"
- (D) 60" X 66" (TYPE A W.C. W/ LAV. OVERLAP EXCEPTION)
- (E) 30" X 48" CLEAR FLOOR SPACE
- (F) 30" X FULL LENGTH OF BATHTUB (60" MIN) BATHTUB CLEARANCE
- (G) 60" X 56" (W.C.)
- (H) 60" DIA. TURNING SPACE
- (I) DOOR WIDTH+12" LATCH SIDE X 48"
- (J) DOOR WIDTH+24" LATCH SIDE X 54"
- (K) 36" X 48" SHOWER CLEARANCE
- (L) 60" X 60" T-SHAPED TURNING SPACE
- (M) 36" X FULL LENGTH OF ROLL-IN SHOWER
- (N) 36" WIDE UN-OBSTRUCTED PATH OF EGRESS
- (O) 30" CLEARANCE (AROUND BED)
- (P) REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING

seal

general notes

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revisions

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Client:

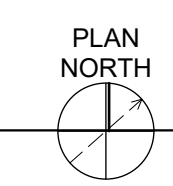
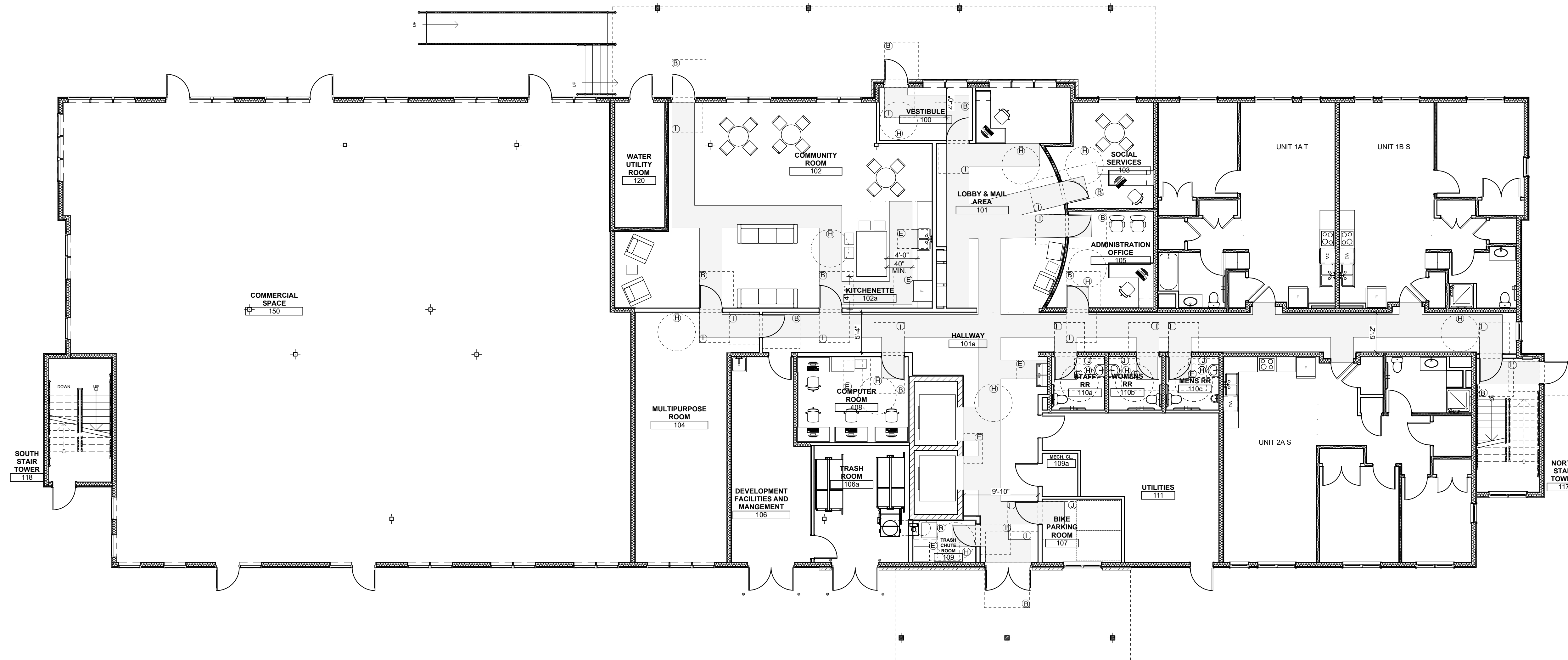
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FIRST FLOOR ACCESSIBILITY
PLAN



1 1ST FLOOR ACCESSIBILITY PLAN
SCALE: 1/8" = 1'-0"

scale	As Noted
date	December 3rd, 2023
no.	9
of.	233

Sheet No.	TS09
Project #	2040

ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
- (C) DOOR WIDTH+24" LATCH SIDE X 48"
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- (F) 30" X FULL LENGTH OF BATHTUB (60" MIN) BATHTUB CLEARANCE
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- (O) 30" CLEARANCE (AROUND BED)
- (P) REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING

seal

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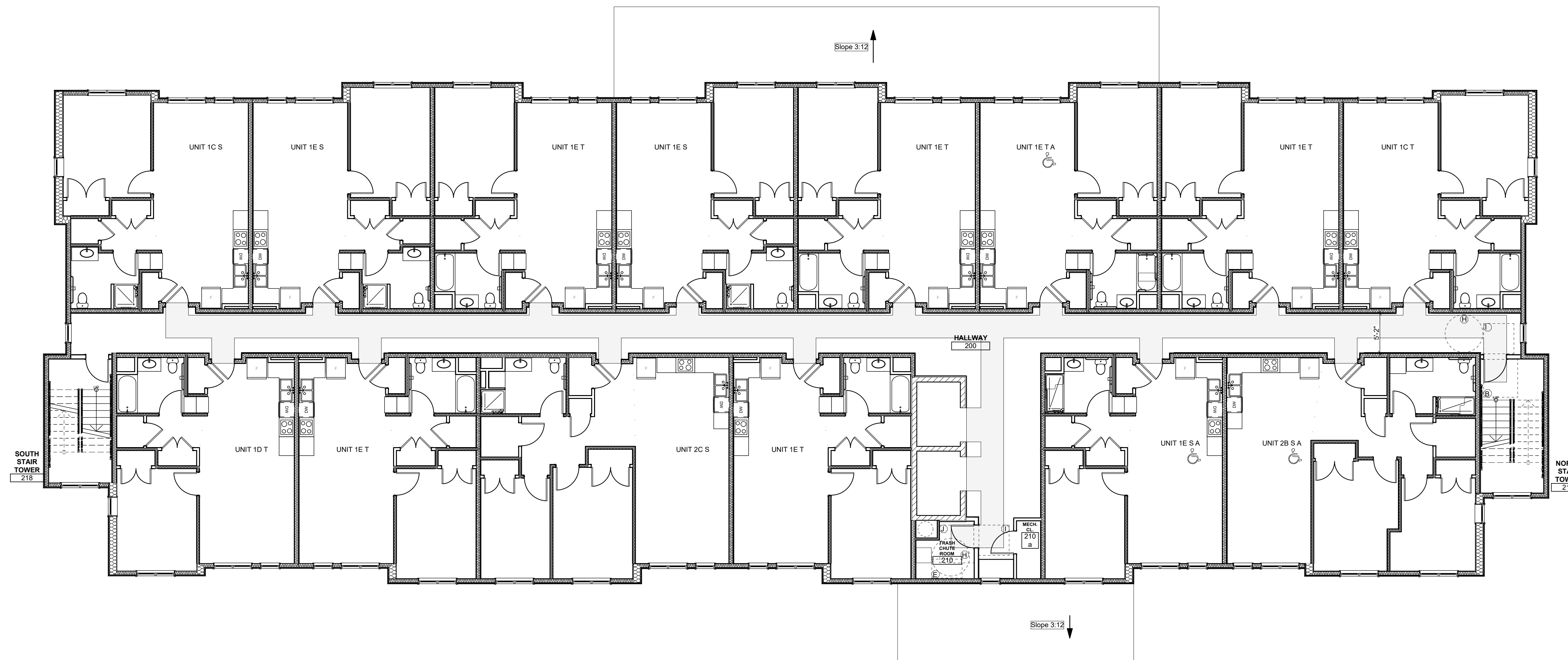
Allies & Ross Management and
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246 Penfort Street
Pittsburgh, PA 15214

drawing title

SECOND FLOOR ACCESSIBILITY
PLAN



scale	As Noted
date	December 3rd, 2023
no.	10
of.	233

Sheet No.

TS10

Project #2040

ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
- (C) DOOR WIDTH+24" LATCH SIDE X 48"
- (D) 60" X 66" (TYPE A W.C. W/ LAV. OVERLAP EXCEPTION)
- (E) 30" X 48" CLEAR FLOOR SPACE
- (F) 30" X FULL LENGTH OF BATHTUB (60" MIN) BATHTUB CLEARANCE
- (G) 60" X 56" (W.C.)
- (H) 60" DIA. TURNING SPACE
- (I) DOOR WIDTH+12" LATCH SIDE X 48"
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seal

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

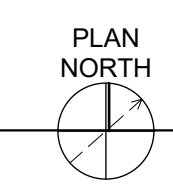
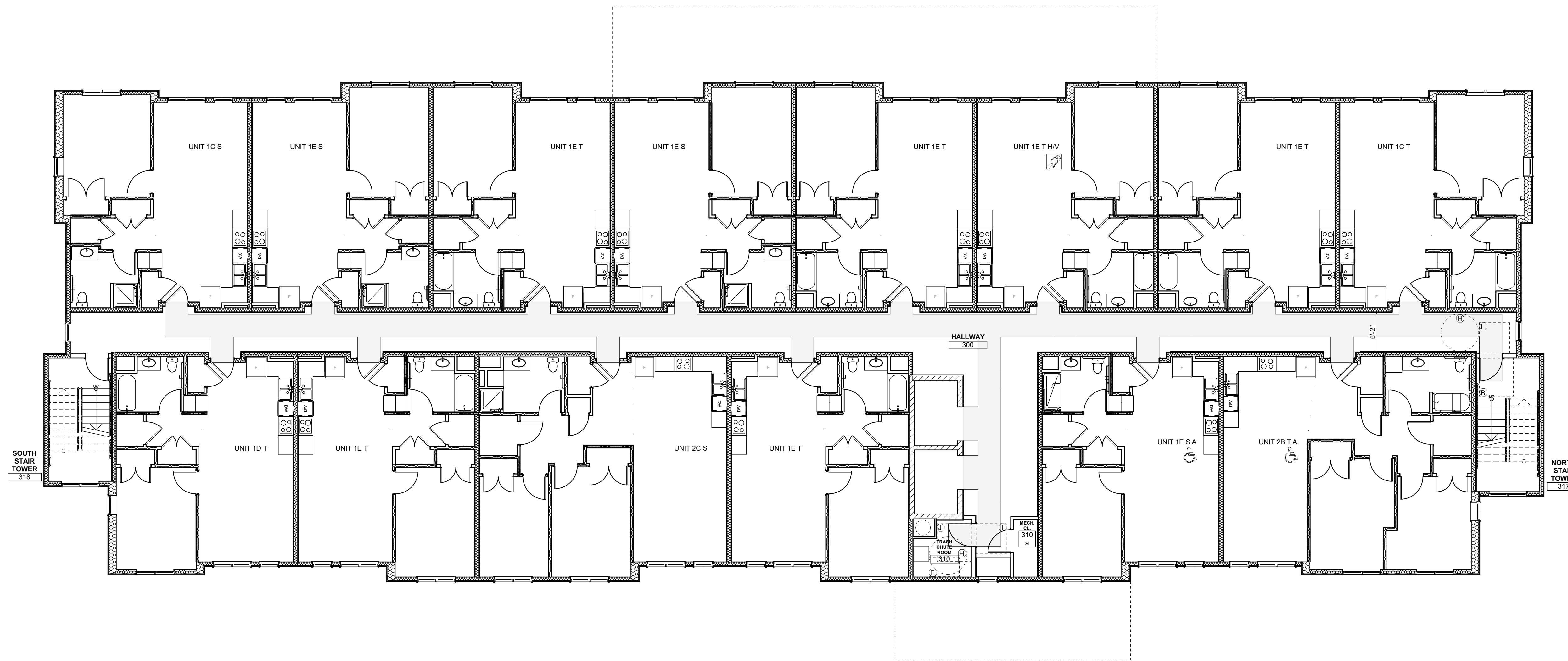
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

THIRD FLOOR ACCESSIBILITY
PLAN



1 3RD FLOOR ACCESSIBILITY PLAN
SCALE: 1/8" = 1'-0"

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	11	TS11
of.	233	
		Project #2040

ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
- (C) DOOR WIDTH+24" LATCH SIDE X 48"
- (D) 60" X 66" (TYPE A W.C. W/ LAV. OVERLAP EXCEPTION)
- (E) 30" X 48" CLEAR FLOOR SPACE
- (F) 30" X FULL LENGTH OF BATHTUB (60" MIN) BATHTUB CLEARANCE
- (G) 60" X 56" (W.C.)
- (H) 60" DIA. TURNING SPACE
- (I) DOOR WIDTH+12" LATCH SIDE X 48"
- (J) DOOR WIDTH+24" LATCH SIDE X 54"
- (K) 36" X 48" SHOWER CLEARANCE
- (L) 60" X 60" T-SHAPED TURNING SPACE
- (M) 36" X FULL LENGTH OF ROLL-IN SHOWER
- (N) 36" WIDE UN-OBSTRICTED PATH OF EGRESS
- (O) 30" CLEARANCE (AROUND BED)
- (P) REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

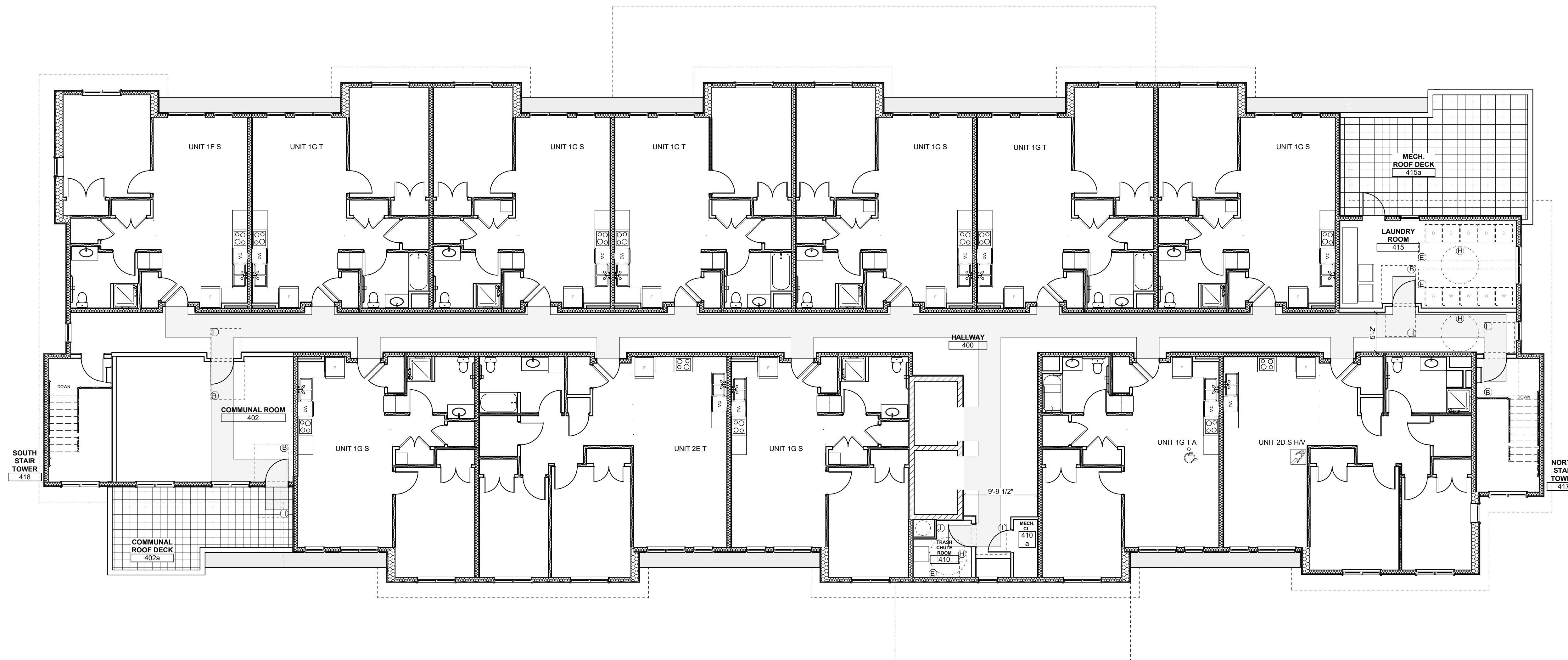
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FOURTH FLOOR ACCESSIBILITY
PLAN



1 4TH FLOOR ACCESSIBILITY PLAN
SCALE: 1/8" = 1'-0"



scale	As Noted
date	December 3rd, 2023
no.	12
of.	233

Sheet No.

TS12

Project #2040

Design Architect's/Applicant's Certification
Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Northview Heights Midrise

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics

Energy Conservation/Green Building

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.

Smart Site Selection - The development is located on, or is a(n):

KO Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of an environmental hazard must be within the scope of this project to qualify for these points.)

KO Blight Remediation or Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)

Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

KO Enterprise Green Communities – 2020
 LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) – Silver
 LEED v4 BD+C Multifamily Midrise – Silver **OR**
 LEED v4 BD+C New Construction & Major Renovation – Silver (4 stories or more)
 ICC 700-2020 National Green Building Standard – Silver

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA	256
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Design Architect's/Applicant's Certification
Of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Northview Heights Midrise

The development referenced above includes the following threshold criteria. (Initial all that apply.) The Applicant must request a waiver under Tab #20 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

Development Amenities

As the **DESIGN ARCHITECT**, I certify that:

KO An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the site requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)

KO Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and in accessible units containing a washer and dryer in the unit. If the development is providing common laundry facilities and designed for home ownership, hook-ups for washers and dryers must also be provided in each unit. All washing machines must be Energy Star® labeled.

KO An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)

KO All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA	264
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This preservation development will achieve certification under one of the green building standards indicated below:

Enterprise Green Communities – 2020 Moderate Rehab
 LEED v4 O+M – Multifamily – Certified
 ICC 700-2020 National Green Building Standard Under Section 305.2 – Whole Building Rating – Bronze
 ICC 700-2015 National Green Building Standard Under Section 305.4 – Functional Areas Rating – Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of project registration/Pre-Build Certification will be required with the Development Submission drawings/specification package.

Energy Efficiency Goals (Only one of the following may be selected)

KO The development will exceed the energy efficiency requirements of Energy Star (Current Version) by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful Applicants in this category will be required to submit a preliminary HERS report with the Development Submission drawings/specification package. The preliminary report must include testing of a sampling of each Unit type in all areas within the Building(s) (i.e. Ground floor end & inner Units, Intermediate floor end & inner Units, Upper floor end & inner Units, etc.).

A full HERS Report, certified by the HERS Rater, must be submitted upon construction completion. The full HERS Report must include testing of either a sampling of each Unit type in all areas within the Building(s) (i.e. Ground floor end & inner Units, Intermediate floor end & inner Units, Upper floor end & inner Units, etc.) OR ALL Units within the Building(s). A certificate for EACH Unit (100%) must be provided at construction completion and submitted with the Project Closeout documents. If the certificates are not provided by submission of the Placed-In-Service package, negative ranking points may be assessed.

New Construction

KO For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
 For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehabs:

For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
 For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA	257
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Preservation (Moderate Rehab) *:

For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
 For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

NOTE:

Buildings that fall under the Energy Star® Multi-Family New Construction (MFNC) program must use the REMrate HERS rating program as verification for these points but must follow the Energy Rating Index (ERI) pathway to achieve the Energy Star® label. The ERI pathway must be used for any selections above.

All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawings/specification package.

The Report must include the Zero Energy Ready Home certificate, showing the Unit was designed in conformance with U.S. Department of Energy guidelines and the project meets or exceeds the minimum criteria.

The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.plus.org or www.passiv.de/en for additional guidance.) **Passive House Certification is required.**

- The applicant must contract with a qualified* Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WP) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WP to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/floor/roof construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). *Qualified is defined as having completed a minimum of two similar Passive House buildings, or an inexperienced certified consultant working under the supervision of a qualified consultant.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA	258
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Fair Housing

As the **DESIGN ARCHITECT**, I certify that:

KO New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable.

KO The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards Guide.

KO Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1 (Edition currently adopted by PA UCC)

Energy Conservation & Green Building Criteria

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures:

KO All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

KO In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the International Energy Conservation Code (Edition currently adopted by PA UCC) Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the International Energy Conservation Code (Edition currently adopted by PA UCC) Chapter 5 by 7%, as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

KO **Energy Conservation & Green Building Criteria** - In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the International Energy Conservation Code (Edition currently adopted by PA UCC) Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the International Energy Conservation Code (Edition currently adopted by PA UCC) Chapter 5 by 7%, as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA	266
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- The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information.
- After funding awards have been made, all successful applicants will be required to obtain a PHUS Design Certification or PHI pre-certification under the normal time frame and procedures, and forward this to PHFA as part of the Development Submission drawing/specification package.
- During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who has not been involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA.

As the Passive House consultant, I hereby certify that:

- I have contracted with the applicant to provide services necessary to assure that this development will meet standards of the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS);
- Based on schematic drawings and specifications, discussions with, and assumptions made by the development team (developer, architect, engineer and contractor) I have completed a Passive House Planning Package (PHPP) or a WUFI Passive (WP) energy model that shows that the building(s) will meet the requirements of the Passive House program. **A copy of the energy model is included with the application.**
- If awarded an allocation of Low-income Housing Tax Credits and/or Agency funding, a PHUS Design Certification or PHI pre-certification will be included in the Development Submission drawing/specification package to PHFA.
- It is understood that final Passive House certification is required;
- A copy of my Passive House certificate has been submitted with this certification, along with a list of previous Passive House experience with contact information and PHUS/PHI project numbers for each project. If less than two Passive House projects have been completed, I have partnered with a Passive House consultant with two or more completed projects. A copy of their Passive House certificate along with a list of their previous Passive House experience including contact information has been provided.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA	259
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A REScheck certificate must be provided with the Development Submission drawing/specification package.

KO Provide a REScheck certificate for each Unit type in all areas within the Building(s) (i.e. Ground floor end & inner Units, Intermediate floor end & inner Units, Upper floor end & inner Units, etc.) for envelope only.

OR Provide a REScheck certificate for each Unit type in all areas within the Building(s) (i.e. Ground floor end & inner Units, Intermediate floor end & inner Units, Upper floor end & inner Units, etc.) for UA envelope. UA reporting compares the actual Building UA with a "target"

OR Provide a REScheck certificate for the entire Building, envelope only. Where multiple Buildings are proposed, a certificate for EACH Building is required.

KO In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over 10 stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version (current version) for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area lighting shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

KO All developments utilizing central system refrigerant flow type HVAC shall meet or exceed Energy Star criteria specification for light commercial equipment or have the Energy Star Label.

In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

KO All developments utilizing central system refrigerant flow type HVAC shall meet or exceed Energy Star criteria specification for light commercial equipment or have the Energy Star Label.

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA	267
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Large Family Units

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms.

*High rise developments and senior housing cannot qualify for this category.

Urban Percentage	Suburban/Rural Percentage
>15-20%	>10-15%
>20-25%	>15-20%
>25%	>20%

State number of three or more bedroom affordable units to be developed: _____
 State percentage of three or more bedroom units to the total number of units in the development: _____

DESIGN ARCHITECT

Signed: _____ Date: 12/03/2023
 Print: Kento Ohmori
 Firm: Fukui Architects

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____
 Print: _____
 Signed: _____ Date: _____
 Print: _____

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA	261
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For ALL new construction, rehabilitation and preservation applications:

As the **APPLICANT**, I certify that: _____
 When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists.

KO As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments: The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria. (Not applicable if seeking certification under a National Green Building program in Selection Criteria.)

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

KO As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following green building features:

- No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- All domestic water pipes except for cold water PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the 1st grade floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

As the **DESIGN ARCHITECT**, I certify that for preservation developments:

The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria.)

Enterprise Green Communities Criteria for Preservation Developments

Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the following mandatory 2020 Enterprise Green Communities criteria, as amended:

- Environmental Remediation (Follow Enterprise and PHFA Tab 17.8.34 requirements)
- Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)
- Ecosystem Services/Landscaping (applicable only to new landscaping)
- Water-Conserving Fixtures (Applicable only to new fixtures)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA	268
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- Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)
- Energy Star Appliances (Applicable only to new appliances)
- Lighting (Applicable only to new lighting fixtures)
- Heather Material Selection (Applicable only to new paints, coatings and primers)
- Bath, Kitchen Laundry surfaces
- Managing Moisture: Foundations (Applicable to new addition foundations)
- Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)
- Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only)
- Integrated Pest Management (Applicable only if identified as a problem in the PCNA)
- Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements)
- Emergency Management Manual (Follow Enterprise requirements)

Broadband Infrastructure

KO The installation of broadband infrastructure is required in all projects, in compliance with Federal Register 51 FR 31161 "Narrowing the Digital Divide through Installation of Broadband Infrastructure." Infrastructure must be provided in each dwelling unit meeting the Federal Communications Commission's (FCC's) definitions in effect at the time the pre-construction estimates are generated. Currently the FCC defines broadband speeds as 25 Mbps download and 3 Mbps upload.

Smoke Free Policy

As the **APPLICANT**, I certify that:

_____ At construction completion, a policy prohibiting the use of prohibited tobacco products in all living units and interior areas including but not limited to hallways, rental and administrative offices, laundry and common areas, as well as outdoor areas within 25 feet of all buildings in the development, outdoor gathering spaces and tot lots will be implemented.

Home Ownership

As the **DESIGN ARCHITECT**, I certify that:

_____ 100% of the units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hookups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided. In addition, all utilities must be individually metered.

Flood Plain Certification

As the **DESIGN ARCHITECT**, landscape architect or civil engineer) I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is: (Check all that apply)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA	269
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KO Outside any flood area _____ Outside of a flood way
 Inside a 500 year flood area _____ Inside a flood way
 Inside a 100 year flood area _____

Energy Rebate Analysis (ERA)

A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts will be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. **The energy rebates is not basis eligible and will be removed from basis on a tax credit development.** Prior to closing the developer will be required to submit an updated ERA which includes:

- List of eligible utility, local, regional, state, or federal rebate programs;
- Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- Calculations, energy models, or other technical data to support recommendations;
- Letters, program data information, or other documentation from utility providers to support noted programs; and
- If renewable energy strategies are proposed, a cost/benefit analysis.

DESIGN ARCHITECT

Signed: _____ Date: 12/03/2023
 Print: Kento Ohmori
 Firm: Fukui Architects

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____
 Print: _____
 Signed: _____ Date: _____
 Print: _____

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA	270
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PHFA Threshold Criteria - No Smoking - NVM (2021.8.30)r1

Created:	2021-08-30
By:	Jerome Frank (jerome.frank@hacp.org)
Status:	Signed
Transaction ID:	CLUC8H0ABAMAndoq25z3R2h2NDW3V13nPg2v1xh

"PHFA Threshold Criteria - No Smoking - NVM (2021.8.30)r1" Hi story

- Document emailed to Jerome Frank (jerome.frank@hacp.org) 2021-08-30 - 1:29:49 PM GMT - IP address: 65.199.18.195
- Document emailed to JW Kim (jungwook.kim@hacp.org) for signature 2021-08-30 - 1:45:33 PM GMT
- Email viewed by JW Kim (jungwook.kim@hacp.org) 2021-08-30 - 2:58:13 PM GMT - IP address: 74.125.212.5
- Document e-signed by JW Kim (jungwook.kim@hacp.org) Signature Date: 2021-08-30 - 2:58:13 PM GMT - Time Source: server - IP address: 65.199.18.195
- Document emailed to Ashley Yourick (ashley.yourick@hacp.org) for signature 2021-08-30 - 2:58:53 PM GMT
- Email viewed by Ashley Yourick (ashley.yourick@hacp.org) 2021-08-30 - 3:05:37 PM GMT - IP address: 74.125.212.5
- Document e-signed by Ashley Yourick (ashley.yourick@hacp.org) Signature Date: 2021-08-30 - 3:05:51 PM GMT - Time Source: server - IP address: 65.199.18.195
- Document emailed to Michelle Hoyle (michelle.hoyle@hacp.org) for signature 2021-08-30 - 3:08:54 PM GMT
- Email viewed by Michelle Hoyle (michelle.hoyle@hacp.org) 2

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penford Street
Pittsburgh, PA 15214

PHFA TAB 02 CHECKLISTS

scale	As Noted
date	December 3rd, 2023
no.	of.
14	233

Sheet No.

TS14

Project #2040

rehabilitation developments, PHFA has adopted the goal of providing visitability to as many as possible for the purpose of allowing persons with disabilities the ability to visit neighbors and friends. Please refer to our VisitAbility.com Guidelines, Section 1.08.

7. **Air Conditioning** – Refer to Section 2.06 Mechanical Requirements Checklist

8. **Building Security:**
 A. All developments with shared entrances must be equipped with an intercom/security system or equivalent to control access to the building. The system shall not rely on a connection to the telephone service.
 B. All dwelling unit entrance doors must be equipped with dead bolt lockset, a passage latch set and a door knocker or doorbell with viewer.
 C. All dwelling units must be equipped with an identification number.

9. **Below-Grade Units** – The maximum distance a floor level in any dwelling unit may be below finished grade elevation outside the unit is 4'-0". Finish grade must slope away from the building. Area wells/window wells are permitted in Rehabilitation Developments with PHFA approval.

10. **Bedrooms:**
 A. 1 1/2 baths must be provided for 3 bedroom units and 2 bathrooms must be provided for 4 or more bedroom units (one may include a shower).
 B. Vanity basins must be provided for all bathrooms. Vanity basins are recommended in powder rooms unless an additional storage cabinet or closet is provided. Removable fronts are suggested for handicapped adaptable units.

C. All bathrooms must have a minimum of (2) 24" towel bars, a toilet paper holder, a shower rod in the tub/shower unit or shower unit, a medicine cabinet with a mirror and a light fixture located above the mirror. Towel bars in bathrooms must be able to accommodate full size towels. Towel bars should be mounted not less than 28" AFF and no higher than 56" AFF. A 24" double towel bar is acceptable if the space does not allow for (2) – 24" towel bars to be installed. Powder rooms must have a minimum of (1) 12" towel bar or towel ring, toilet paper holder and a mirror with a light fixture located over the mirror.

11. Kitchens:

A. Ranges must be provided in all units, except SROs with common cooking facilities, and in community room kitchens and kitchenettes in Elderly (55+/62+) developments. All units must be equipped with 30" ranges (self-cleaning type required in common areas and all dwelling units). Ranges must not be located abutting partitions. A protective shield must be provided on the section of wall directly behind all ranges. The protection must extend from the top of the range to the underside of the hood or cabinet above for the width of the range or more. Protective shields must be high pressure plastic laminate, enameled steel, or stainless steel.
 B. Ducted range hoods with fans and lights must be provided above all ranges (Re-circulating range hoods are allowed in buildings if an intake grille is located near the range).

1. Wood must be decay resistant species, pressure treated (labeled in accordance with the applicable AWPB Standard), vacuum and non-pressured treated (conforming to NWMA IS-A and bearing the NWMA Seal of Approval) or a minimum of 2 coats of high quality exterior grade sealer, stain or paint must be applied to all sills, edges and all trim of objectionable splitters, checks, shakes, warping, loose knots, decay, and stains.

2. Concrete must be precast reinforced concrete, sealed with a minimum of 2 coats of acrylic sealer. If color is specified, it must be cast integrally.
 3. Metals must be anodized aluminum or galvanized steel.
 4. Fiberglass must be "super strength" fiberglass. Lightweight fiberglass is not permitted.

24. **Lawn Seeding:** Loose seed shall only be permitted to patch small utility excavation, etc. All other seeding shall be one of the following:
 A. Hydro seed – Contractor shall be responsible for watering, feeding, and mowing until mature growth is established.
 B. Sod – Contractor shall be responsible for watering and feeding for 3 months after installation.

25. Waste Disposal: (Check applicable systems)

A. Garbage disposals are recommended where wet garbage presents sanitation problems. Disposals are required in mid- or high-rise buildings if trash chutes and compactors are not provided.
 B. Trash rooms(s) – All trash rooms must contain a hose bib and floor drain and have a durable water-resistant floor finish.
 C. Trash compactor.

D. Dumpster(s): Outdoor collection areas must have concrete pads and be visually screened, (e.g. evergreen hedges or shrubs, masonry, pressure treated wood or vinyl fence enclosures). The type of collection service must be determined in advance of design in order to establish the correct size and number of areas and the required service vehicle access and clearance. A minimum 6" thick, reinforced structural concrete pad (approximately 10' x width of dumpster enclosure) must be provided in front of the collection area to prevent pavement damage by the garbage trucks for dumpster type collection.
 E. Outdoor trash collection areas, with multiple resident unit trash containers, must have concrete pads, be visually screened (masonry, pressure treated wood or vinyl fence enclosures) from public view and have concrete sidewalk access from the collection area to each dwelling unit and/or public collection area (street).

F. Recycling provisions – The size, number and design of collection area(s) must conform to the requirements of the local recycling ordinance.

26. **Fire Extinguishers** – Provide a minimum of one 5-pound, 2A:10B:C rated fire extinguisher in all units with a range or cook top. Other fire extinguishers must be provided for the development as required by code. Fire extinguishers cannot be mounted under the sink in accessible units or under the sink in the community room kitchen. If mounted in a closet, it

2.04 DEVELOPMENT SUBMISSION REQUIREMENTS CHECKLIST
(New Construction and Substantial Rehabilitation-ALL FUNDING TYPES)

Development Name: Northview Heights Midrise PHFA No. 2023-XXX (Rev. 2021-156)

The undersigned certifies that all items have been provided in the drawings and/or the specifications.

Design Architect (Print or type): Kento Ohmori

Design Architect (Signature):

Date: 12/03/2023

Check the appropriate box if the development conforms to the requirement. Check if it is applicable or if it is not applicable. The architect must submit a written request to PHFA for any waiver of the PHFA Design Requirements or for any items that are neither checked nor indicated as not applicable.

1. **Minimum Unit Size Requirements**
 The following matrix established the minimum and maximum allowable net square footage area for units funded by PHFA. Net square footage shall be measured from the inside face of the exterior walls to the inside face of interior demising walls. The net area does not include unfinished outdoor storage space, spaces for heating and cooling equipment located outside the unit, garages, or porches, patios, and balconies. Rehabilitation developments may vary from the minimums and maximums by 10% if acceptable furnishing plans are provided. Accessible units may vary from the maximums as required to provide an accessible route and accessibility maneuvering clearances. An Efficiency Dwelling Unit is defined as having a single habitable room without demising walls/doors separating the Living, Dining, Kitchen and Sleeping areas. Refer to Section 1 for additional requirements and Section 1 "Definitions" for SRO and Efficiency Unit designations.

Unit/Room Type	No. of Units	Accessible Units		Adaptable Units		Net SF**	Gross SF*
		ADA	HV	ADA	HV		
SRO							
EFF							
1 BR	36	4	1			695	710
2 BR	7	2	1			975	1000
3 BR							
4 BR							
Community Room						982	1125
Circulation (hallways, stairs & etc.)						6053	6765
Other						3911	4580
Unit Total	43	6	2	37	37		

*Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages, and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multi-story spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios, and balconies shall not be included in the gross building area.
 ** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one side in each type.

C. **Blowdown** Provide concealed 1 1/2" thick wood blocking at the following locations:
 A. All wall mounted accessories (curtains, blinds, towel bars, toilet accessories).
 B. Grab bars – Blocking for installed or future grab bars shall be continuous behind the bar location. Where small grab bars are installed for Visibility or Fair Housing Act conformance, the blocking shall be sized to accommodate the grab bars required by ANSI A117.1-2009 (or edition currently adopted by PA UCC).

17. **Laundry Facilities:** Single unit, combination washers/dryers are not acceptable in any unit. Stackable washers and dryers will not be allowed in accessible units. In developments with shared facilities, the laundry shall be located in a separate room and not be shared with a Community Room or other common area.
 A. Central laundry facilities must be provided unless individual washers and dryers are provided in each unit. For developments consisting of numerous buildings, several small facilities may be provided in lieu of one facility.
 B. If central facilities are provided, at least one washer and one dryer must be provided for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of 2 washers and 2 dryers required in each facility.
 C. A minimum of 1 front loading washer and dryer must be provided in each common laundry facility and in accessible units with laundry facilities.
 D. If central facilities are provided in developments that will convert to homeownership, washer and dryer hookups must be provided within the dwelling unit.
 E. Washer and dryer areas located within a unit must be concealed unless located in a basement.
 F. Stackable washers and dryers may be used in units with 2 or less bedrooms. Large capacity side by side washers and dryers must be provided in units with 3 or more bedrooms.
 G. A built in sorting counter, hanging rod or space for a table and portable hanger must be provided as well as space for chairs in all laundry facilities.
 H. The equipment may be coin operated type leased from a concessionaire.

21. **Parking and Sidewalks:**
 A. The parking ratio must be in conformance with the local zoning ordinance unless a variance is obtained.
 B. A minimum of 5% of the total number of parking spaces must meet the latest accessibility standards. If parking spaces are provided for each unit, accessible spaces must be provided for each accessible unit. If parking spaces are provided at a ratio of less than one space per unit, accessible spaces at a minimum shall be provided at the same ratio.
 C. A minimum of 1 accessible parking space must be provided for visitors and must be able to accommodate a van.
 D. A minimum of (1) accessible parking space must be provided near the Community Building/Management Office and must be able to accommodate a van.
 E. All driveways, streets and parking lots must be paved.
 F. In municipalities without a zoning ordinance or parking regulations, a minimum of 1 parking space per dwelling unit plus 1 space per employee and 2 accessible guest spaces must be provided.
 G. Pedestrian sidewalks must be cast in place concrete, minimum 4" thick over 4" minimum clean 28 stone base. Bituminous sidewalks are not permitted.
 H. Accessible parking spaces and sidewalks that are part of the accessible route shall have their slope noted in percent.

22. **Outdoor Recreational Facilities:** Should be considered if none exists in close proximity to the development site. List the recreation equipment planned for the development below:

- A. Gazebo _____
- B. Barbecue _____
- C. Raised bed gardening planters _____

23. **Materials for Outdoor Furnishings, Equipment and Recreational Structures:**

A. Benches, tables, chairs and play equipment and structures must be of the following materials or combinations thereof:

2.02 DEVELOPMENT TABULAR SCHEDULE

Development Name: Northview Heights Midrise PHFA No. 2023-XXX (Rev. 2021-156)

Design Architect (Signature):

1. Number of Buildings: 1

2. Building Height (Stories): 55 feet

3. Building Code (IBC): IBC Construction Type: SA

4. Structural System: Wood frame, Masonry

5. Exterior Finishes: Brick, Cementitious Siding, Vinyl Siding

6. Gross Building Area*: 48,134

7. Gross Commercial Area (SFR): 4,500 Percentage of Gross Building Area: 9.35%

8. Number of On-Site Parking Spaces: 37

9. Required Variance: Use Variance, Height Variance

10. **Applicable Accessibility Regulations:**

Section 504: UFAS: PALICC: FHAA: ADA:

Unit/Room Type	No. of Units	Accessible Units		Adaptable Units		Net SF**	Gross SF*
		ADA	HV	ADA	HV		
SRO							
EFF							
1 BR	36	4	1			695	710
2 BR	7	2	1			975	1000
3 BR							
4 BR							
Community Room						982	1125
Circulation (hallways, stairs & etc.)						6053	6765
Other						3911	4580
Unit Total	43	6	2	37	37		

*Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages, and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multi-story spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios, and balconies shall not be included in the gross building area.
 ** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one side in each type.

14. **Signage:**

A. A building or development identification sign must be provided in a highly visible location (may be freestanding or attached to the building). The sign must contain the development name, development phone number, TTY number, the equal opportunity logo, and the accessible housing logo.
 B. All dwelling units with exterior entrances shall have street address/unit number identification, 3' minimum in height.
 C. All permanent interior signage, including individual apartment identification, must comply with ADA, UFAS and ANSI A117.1-2009 (or edition currently adopted by PA UCC) requirements.
 D. A floor identification sign shall be provided outside the elevator doors on each floor.
 E. Room identification signs must be provided for all community, management, maintenance, and public spaces.

15. **Closets and Storage:** The space (SF) created by closets deeper than 24" but less than 48" will not count towards the required minimum square feet if the closet has full height hanging space or shelves.
 A. All closets must have doors that fully conceal the contents of the closet.
 B. Closet door widths shall be sized to offer maximum access to the closet interior. The closet interior shall not extend more than 12" on each side of the door opening.
 C. All closet shelves and rods 4'-0" or longer must be provided with center supports. Closets in accessible units must have shelves and rods mounted within the accessible reach range in accordance with the ADA Guidelines.
 D. Pantry storage must be provided and must be concealed (2 linear feet minimum x 18" minimum depth closet or an 18" minimum width pantry cabinet is acceptable).
 E. Linen storage must be provided and must be concealed (2 linear feet minimum x 18" minimum depth closet, separate from a bedroom or coat closet or an 18" minimum width linen cabinet is acceptable).
 F. An entry closet must be provided (2 linear feet minimum x 24" minimum depth).
 G. All units must have a minimum of 3' linear of miscellaneous storage space.*
 H. A minimum of 5 linear feet of full height hanging space must be provided in each primary bedroom within a unit.
 I. A minimum of 3' linear feet of full height hanging space must be provided in each additional bedroom within a unit.
 K. General occupancy (family) units with 2 or more bedrooms must have an additional, separate 9 SF of storage space inside or outside of the unit in a basement or other space.*
 L. SRO's must provide adequate closet or wardrobe cabinet for clothes storage.
 Note: Stackable type storage, located in common storage facilities, is not permitted in Elderly (55+ or 62+) developments.
 * Calculation of storage space shall be floor area only and not calculated by individual shelves or shelving.

2.02 DEVELOPMENT SUBMISSION CHECKLIST

Development Name: Northview Heights Midrise PHFA No. 2023-XXX (Rev. 2021-156)

The undersigned certifies that all items have been provided with the required submission.

Design Architect (Print or type): Kento Ohmori

Design Architect (Signature):

Date: 12/03/2023

If insufficient documentation is submitted, PHFA Staff will notify the Development Officer indicating the deficiencies. A review will only be performed when all documentation is received by PHFA. PDF files are not an acceptable form of review. Hard copies must be submitted. When submitting the below information, ensure items 4, 5, 7, 9, 11, 12 & 14 – 16 are submitted in loose form. The Development Submission must include the following:

For all Developments:

- 1. (2) Sets of bound drawings.
- 2. (2) Sets of bound specifications.
- 3. (2) Copies of the Development Requirements Checklist (Section 2.04-New Construction/ Substantial Rehab OR Section 3.02-Preservation).
- 4. (1) Copy of the Development Tabular Schedule (Also include on the drawings).
- 5. (2) Copies of the Proof of compliance with all certifications submitted as part of the loan application (Selection Criteria and Threshold Criteria – Also include on the drawings).
- 6. (1) Copy of the Full Phase I Environmental Site Assessment and Supplemental Environmental Reports (i.e. Phase I, Asbestos, LPI, Lead in water, radon testing and etc.) on CD.
- 7. (1) Copy of the REScheck/COMcheck certification.
- 8. (1) Copy of the preliminary Home Energy Rating System (HERS) report by a certified HERS rater and proof of project registration/prebuild certification.
- 9. (2) Copies of the applicable National Green Building Checklist, as certified to in the application.
- 10. (1) Copy of the ALTA Land Title Survey, HUD Surveyor's Report and Legal Description (not required for Tax Credit Only Developments).
- 11. (1) Copy of the completed Development Submission Construction Cost Estimate. Allowances in the construction budget are not permitted.
- 12. (1) Copy of the Development Security and Maintenance Requirements Checklist for Urban Locations.
- 13. (1) Copy of the Mechanical Requirements Checklist.
- 14. (1) Copy of the Electrical Requirements Checklist.
- 15. (1) Copy of the Estimated Utility Costs.

For all Developments receiving PennHOMES/Agency 1* Mortgage:

- 16. (1) Copy of the Structural Engineer's Report by a registered Structural Engineer, if required (rehabilitation developments only).
- 17. (1) Copy of the Subsoil Investigation Report with design recommendations by a qualified Geotechnical Firm (for new construction and new additions – include in the Specification Manual).

C. Consideration should be given to the installation of electronic high temperature limiting devices on the stopwatt elements of electric ranges, or the installation of powder-based stopwatt fire suppression canisters above electric or gas ranges.

D. Kitchen cabinets must meet PHFA standards (refer to PHFA Kitchen Cabinet Minimum Standards, Section 1.25). Cabinets in accessible units must have loop type hardware throughout.

E. A minimum of (1) 15" wide drawer base must be provided in all kitchens.

F. Refrigerators must be provided with all units except SROs with common cooking facilities. All refrigerators must be frost-free and must have 2 doors (separate doors for freezers and refrigerator compartments). **Minimum size: EF 14.0 cu. ft., 1 BR – 15.0 cu. ft., 2 BR – 15 cu. ft., 3 BR – 15.0 cu. ft. and 4BR – 17.0 cu. ft.**

G. In general occupancy units with 2 or more bedrooms, double sinks are required unless dishwashers are provided.

H. Where dishwashers are supplied, they must be 24" wide, full size, under counter type. *Note: No open shelving or cabinets will be permitted.*

12. **Flooring:** Where carpet, sheet vinyl, VCT or laminate flooring is used, the floor/ceiling assembly must comply with sound rating requirements found in this Section.

- A. Carpet must meet the acceptance criterion of Federal Standard DDOCF1-70 for Flammability or Class II, 0.2watts/cm² per the International Building Code, whichever is greater. Carpeting in units must be a minimum of 24 oz. goods and in public spaces, a minimum of 28 oz. goods. Parquet, hardwood, tile, or equal quality flooring may be substituted where sound transmission is not a factor.
- B. Where provided, carpet padding must be a minimum of Class 2, 8.5 lb./cu. ft. (32 oz./sq. yd.) density goods meeting HUD UM-72 requirements.
- C. Where carpet is provided in accessible units, direct glued down carpet must be used.
- D. Carpeting is recommended throughout the apartments with the exception of utility closets, laundry areas, bathrooms, kitchens, and entrance foyers where entry is directly from the outside (e.g. in townhouses). Hard surface flooring may be substituted for carpet if documentation, which verifies that sound transmission ratings and impact isolation ratings will be met, is provided.
- E. Sheet vinyl must be full spread adhesive installation, using maximum width possible to avoid seams.
- F. Bathroom floor finish must be ceramic tile or sheet vinyl. Vinyl composition tile (VCT) is not acceptable.
- G. Luxury Vinyl Tile (LVT) is permitted in bathrooms, only if the manufacturer's documentation specifically indicates the product is permitted in bathrooms and is provided in the specifications.

13. **Furnishings:**

A. All windows, half-lite (minimum) entrance doors, sliding glass door and patio doors within habitable spaces must be equipped with blocking for a curtain rod and horizontal blinds, vertical blinds, or other opaque blinds. (High quality commercial grade roller shades are permitted at large expanses of glass).

B. Community spaces must be furnished with blocking for a curtain rod and horizontal blinds, vertical blinds, or other opaque blinds. (High quality commercial grade roller shades are permitted at large expanses of glass).

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penford Street
Pittsburgh, PA 15214

PHFA TAB 02 CHECKLISTS

scale	As Noted
date	December 3rd, 2023
no.	15 of 233

Sheet No.
TS15
Project #2040

2.06 MECHANICAL REQUIREMENTS CHECKLIST

Development Name: Northview Heights Midrise PHFA No.: 2023-XXX (Rev 2021-196)

The undersigned certifies that all items have been provided in the drawings and/or the specifications.

Design Architect (Print or type): Kenjo Ohmori

Date: 12/03/2023

Check the appropriate box if the development conforms to the requirement. Check A if it is applicable or NA if it is not applicable. A waiver request must be submitted for any items that are neither checked nor indicated as not applicable.

The Design Developments for Preservation Developments will be reviewed on an individual development basis, but the below listed requirements will apply to the greatest extent possible.

Contract Documents must be complete and enforceable by the Architect/Engineer and the Agency's Field Representative.

- Shower/Tub Combinations** – Every bathtub must be furnished with shower fittings. All tubs and showers must have an anti-scald valve. Baths with accessible showers must include a drain in the bathroom floor in addition to the shower. Single piece tub/shower units must not be installed directly to studs on exterior walls but must be installed over taped gypsum wallboard to eliminate air infiltration.
- Water Usage** – Plumbing fixtures in dwelling units and common areas shall meet the following water usage rates or as amended by the selection of any Green Building Program or any Energy Efficiency Program:
 - Toilets – 1.28 gpf
 - Urinals – 0.5 gpf
 - Showerheads – 2.0 gpm
 - Kitchen faucets – 2.0 gpm
 - Lavatory faucets – 1.5 gpm
- Exposed Piping and Conduit** – Exposed refrigerant, power, and control wiring from building to the remote condensing unit must be protected. Piping must be bundled and covered with PVC split insulation jacket with cemented joints.
- Ratchet Exhaust** – Must be provided with a combination fan and light range hood and must be controlled by a separate switch and be ducted to the exterior (recirculating type range hoods may remain in preservation developments and may be used in developments utilizing an ERV or HRV system with an exhaust grille in the kitchen).
- Gas Furnaces** – All gas furnaces shall be Energy Star labeled.
- Ventilation** – Requirements of the International Building Code shall be followed for ventilation of the following areas:
 - NA Elevator machine rooms.**

2.05 DEVELOPMENT SECURITY AND MAINTENANCE REQUIREMENTS

Development Name: Northview Heights Midrise PHFA No.: 2023-XXX (Rev 2021-196)

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Design Architect (Print or type): Kenjo Ohmori

Date: 12/03/2023

Check the appropriate box if the development conforms to the requirement. Check A if it is applicable or NA if it is not applicable. A waiver request must be submitted for any items that are neither checked nor indicated as not applicable.

The Design Developments for Preservation Developments will be reviewed on an individual development basis, but the below listed requirements will apply to the greatest extent possible.

Contract Documents must be complete and enforceable by the Architect/Engineer and the Agency's Field Representative.

- All developments with shared entrances (low, mid, and high rise and garden apartments) must be equipped with an apartment intercom system or equivalent security system at the main entrance(s) used by tenants and the public on a regular basis. The intercom system must not rely on a connection to the telephone service. Hearing and vision impaired units must have facilities for residents to identify and allow visitors to enter the building without having to leave their units.
- All dwelling unit entrance doors must be equipped with a passage latch set, dead bolt lockset, knocker, viewer, and an apartment/unit identification number.
- As much as possible, the building(s) must be oriented on the site so that all parts of the site can be observed from the building(s) and from the surrounding streets. Avoid blind corners and courtyards unless they can be secured.
- Place all meters so that they are protected from vandalism and can be read from outside the building.
- For family type developments, fence in recreational and landscaped areas with decorative security fencing with factory applied color finish of appropriate height to prevent trespassing and vandalism. Cyclone or equal fencing with a factory applied color finish of appropriate height may be used at selective secondary areas only with PHFA approval.
- Provide "Door Ajar" alarms or, where approved by code, electromagnetic release devices for secondary or fire exit doors.
- Where practicable, provide decorative code approved security grilles or screens for basement and first floor windows with sills less than 60" above exterior finished grade.
- Avoid through wall penetrations, (e.g., removable AC units, exhaust grilles, etc.), unless small enough to prevent entry and provide a minimum of 60" above exterior finished grade.
- Masonry or equal exteriors are recommended. At a minimum, the first 8" above grade should be masonry or equivalent strength material with "Anti-Graffiti" coating.
- Minimize front and side yard setbacks facing public rights-of-way as much as possible and to the extent allowable by code and zoning.
- Provide hard surfaces for all areas where landscaping is unlikely to survive, (e.g., brick or other decorative paving for building setbacks and walks or stepping stones in areas subject to foot traffic).

2.07 ELECTRICAL REQUIREMENTS CHECKLIST

Development Name: Northview Heights Midrise PHFA No.: 2023-XXX (Rev 2021-196)

The undersigned certifies that all items have been provided in the drawings and/or the specifications.

Design Architect (Print or type): Kenjo Ohmori

Date: 12/03/2023

Check the appropriate box if the development conforms to the requirement. Check A if it is applicable or NA if it is not applicable. A waiver request must be submitted for any items that are neither checked nor indicated as not applicable.

The Design Developments for Preservation Developments will be reviewed on an individual development basis, but the below listed requirements will apply to the greatest extent possible.

- Electrical Systems and Equipment** – Must be designed and constructed in accordance with the International Residential Code or NFPA 70 National Electrical Code as applies.
- Site Lighting**
 - Lighting fixtures must be shatter resistant and tamperproof. Lamps must be high efficiency design, low energy type (e.g. L.E.D. or other low energy source. Provide: 5 fc minimum).
 - Provide for day/night on-off control via timers and/or photo-control. Local luminaires control is acceptable.
 - Site lighting and its ancillary install requirements must be inclusive in the within the closing development cost.
- Utility Metering** – To discourage the waste of energy and to encourage conservation, PHFA suggests individual electrical metering whenever possible. Electric bulk metering may be provided if the rate schedule justifies its use.
- Smoke Detectors** – Must be furnished and installed in the following areas:
 - In the areas adjacent to the sleeping area, one in each bedroom and a minimum of one detector on each floor including the basement in multistory dwellings. Detectors must be 120 volt AC type with battery backup. Detectors are required whether the dwelling units are sprinklered or not.
 - Hearing/vision impaired units must have strobe/horn type visual signaling devices wired to the unit's smoke detectors and the building fire alarm system (if provided) and must be visible in all rooms of the dwelling unit including the bathroom(s).
 - Public areas** – in all public areas sprinklered or not.
 - Storage rooms** – in all unsprinklered storage rooms; in all storage rooms in excess of 100 SF, sprinklered or not.
 - Mechanical and electrical rooms** – All mechanical and electrical rooms must have a smoke or heat detector, sprinklered or not. Mechanical closets in individual units are not required to have detectors unless required by code.
 - Stair towers** – at the top of each stair tower.
 - Trash rooms** – in the trash collecting room and at the top of the trash chute.

Note: All utilities must be individually metered in units designated for conversion to homeownership.

2.08 ENERGY EFFICIENCY

Development Name: Northview Heights Midrise PHFA No.: 2023-XXX (Rev 2021-196)

The undersigned certifies that all items have been provided in the drawings and/or the specifications.

Design Architect (Print or type): Kenjo Ohmori

Date: 12/03/2023

Check the appropriate box if the development conforms to the requirement. Check A if it is applicable or NA if it is not applicable. A waiver request must be submitted for any items that are neither checked nor indicated as not applicable.

The Design Developments for Preservation Developments will be reviewed on an individual development basis, but the below listed requirements will apply to the greatest extent possible.

Contract Documents must be complete and enforceable by the Architect/Engineer and the Agency's Field Representative.

- All roof trusses with insulation located along the bottom chord shall be "energy" or "raised heel" trusses which allow for full depth (uncompressed) insulation to extend to the exterior face of the insulation.
- Interior wall insulation at all below grade walls shall be foil-faced rigid foam insulation board rated for an exposed installation (in storage or mechanical rooms) or rigid foam insulation board covered with a code approved material (in all finished areas). All joints in the insulation board shall be air sealed. Fiberglass or cellulose insulation shall not be allowed.
- Rim joints that are not insulated on the exterior shall be air sealed and insulated with unfaced rigid foam insulation with edges sealed with closed cell spray foam insulation or entirely with closed cell spray foam insulation.
- The foundation insulation at all slab-on-grade construction shall begin at the top of the slab and extend the code required depth below grade. The top of the insulation may be beveled at 45 degree angle per the International Energy Conservation Code.
- Radon** Refer to Section 1.21
 - Sub slab depressurization system.
 - Common bases (non-tenant) power source in close proximity to vents for installation of fans (if required).
 - An Indicator, signifying the fan is in operation, must be visible in a common area.
- The Architect has reviewed the Design Architect's Certification for Threshold and Selection Criteria** submitted in the loan application and hereby certifies that he/she has incorporated all certified amenities into the Contract Documents and that the checklists have been included on the drawings.

38. PHFA Supplemental Accessibility Requirements:

- Common Areas Designed for Mobility Impairments**
 - A full width kick plate must be provided on both sides of all exterior doors, all accessible unit entrance doors and all common area doors that permit tenant access.
 - Wall corner guards (textured vinyl 1 1/2" x 1 1/2" minimum) must be provided at all outside wall corners in all common areas.
 - Ranges in common kitchens or Kitchettes must be self-cleaning type.
 - All developments must be designed with a minimum of 5% accessible units and an additional minimum of 2% hearing/vision impaired units.
- Accessible Dwelling Units** – All accessible units shall conform to the requirements for ICC/ANSI A117.1-2009 (or editions currently adopted by PA UCC) "Type A Units". For developments with federal funding and subject to the Uniform Federal Accessibility Standards (UFAS), note that HUD allows conformance with the 2010 ADA in lieu of UFAS, with a few limitations. In addition, the following PHFA provisions are required:
 - A full width kick plate must be provided on both sides of all accessible unit entrance doors, interior doors that permit passage and on one side of all other doors.
 - Wall corner guards (textured, vinyl 1 1/2" x 1 1/2" minimum) must be provided at all outside wall corners within accessible units.
 - Grab bars must be installed at all required locations.
 - A minimum of 50% of the accessible units shall include a bathroom with an accessible shower (not applicable to dwelling units in general occupancy developments with only one bathing fixture). The remaining accessible units shall have an accessible tub/shower. Accessible showers shall have a curb height of 3/4". The shower shall include a built-in folding seat, shower controls and an adjustable height hand-held shower head within reach of the seat and a collapsible dam at the shower entrance. All bathrooms with 3/4" curbed showers shall have a floor drain provided in the bathroom floor outside of the shower. Trench drains will not be permitted. A removable seat shall be provided in all accessible tub/showers. Elderly developments are encouraged to provide accessible showers in 100% of the Units.
 - Shower heads and mirrors in accessible units shall be mounted to permit use by those with mobility impairments and those without.
 - Due to the requirement for knee space beneath the sink and work counter in accessible kitchens and the lavatory in accessible baths and the minimal accessibility of wall cabinets, pantry and linen cabinets or closets must be provided in accessible units.
 - Removable kitchen and bath base cabinets may be installed at the areas requiring knee space. These cabinets must be removable without disconnection of any plumbing lines. The walls, floor and sides of adjacent cabinets must be finished, and wall base installed during the initial construction.
 - Refrigerators should be located to allow doors to open 180°.
 - Ranges must be self-cleaning type.
 - A 30" work surface with knee space (or removable cabinet) beneath must be provided beside the oven in all accessible kitchens.

must be located so that the closet contents cannot obstruct the view of or access to the exit/entrance.

- Basements** – Must have 4" concrete floors with vapor barriers over 4" clean stone base.
- Termite Infestation** – Measures must be taken to protect the building from termite infestation. Termite shields or borate-based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "1st grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings).
- Environmental Remediation Requirements** – The Architect must indicate in the Contract Documents any environmental remediation work to be performed on the site. This must be shown as part of the Scope of work described in the Contract Documents. This is required to identify that remediation work needs to be done, so the proper officials will be made aware of the need to certify the work was properly performed. In the case where the environmental remediation work is not part of the Scope of Work, it must be clearly noted in order to place the responsibility on the party responsible for the work.
- Sound Transmission**

Location	IC*	STC**
Partitions	NA	50/55/51**
Flooring/Ceiling	50/55/51**	50/55/51**

 - Impact Isolation Class** for floor/ceiling assemblies separating living units from other living units and from public spaces and service areas with moderate noise levels.
 - Sound Transmission Class** for partitions separating living units from other living units and from public spaces and service areas with moderate noise levels.

*** (S) represents the IC and STC Class for separations between living units and high noise areas (e.g. mechanical, emergency generator and trash compactor rooms, elevator, trash chutes and chutes, laundry, and maintenance areas, etc.).
- Substrates** – Ceramic tile or EPS (Dryvit) interior or exterior finished shall only be installed over cementitious or masonry substrates. Moisture-resistant gypsum board is NOT allowed.
- Ice Dam Protection** – A self-adhesive membrane underlayment shall be installed at all roof eaves and valleys. At eaves, membrane shall extend up roof for a horizontal distance of 24" from interior face of outside wall.
- Drainage Barrier** – A drainage barrier is required behind all siding and masonry veneer in wood framed construction.
- Reroofing** – All reroofing applications must include the removal of the existing roofing system down to the roof deck.
- Elderly (55+ /62+) Facilities Amenities:** Required physical and design accommodation features and amenities:
 - Handrails on both sides of common area corridors. Handrail ends must return to the wall.

- Trash rooms**.
- Laundry rooms**.
- Mechanical and Electrical rooms**.
- Corridors**.
- Air Conditioning Requirements (Mechanical Cooling):**
 - The living areas and bedrooms of all dwelling units in new construction, substantial rehabilitation and Preservation developments must be air conditioned. Window air conditioners will not be considered as meeting this criterion, except in Preservation developments (unless Code does not permit this arrangement).
 - In new construction, substantial rehabilitation and Preservation developments, all common areas must be air conditioned, except for stair towers, mechanical and storage areas.
- Compressor Warranty** – A minimum 5 year compressor and refrigeration circuit warranty is required on all developments for all refrigeration (mechanical cooling) units. This includes through-the-wall equipment, split systems, and central systems.
- Chemical Feeders** – A one shot type, 2 quart minimum capacity chemical feeder must be installed on all developments utilizing central hot and/or chilled water piping systems.
- Utility Metering** – To discourage the waste of energy and to encourage conservation, PHFA suggests individual gas metering whenever possible. Gas bulk metering may be provided if the rate schedule justifies its use. Water metering may be bulk and/or individual metering as required by the local utility company.
- Clothes Dryers** – Exhaust ductwork must be rigid duct with accessible cleanouts to vacuum clean entire duct system.
- Water Coolers** – If provided, water coolers must be dual height type with standard and accessible height spouts.
- Accessible Urinals** – Insulate or otherwise protect the hot, cold and drain piping exposed below the kitchen sink and bathroom lavatories.
- Sprinkler System** – All group R-2 buildings and townhouses must be provided with an automatic fire suppression system throughout all buildings and structures in accordance with the PA UCC and the International Building Code as applies. All sprinkler/water rooms must be heated.
- Pipe and Duct Insulations** – All water piping and heating/cooling ductwork must be located within the conditioned space, (i.e., on dwelling unit side of the air barrier on the interior of the exterior wall and roof/ceiling assemblies).
- Water Heaters** – All water heaters must have a drip pan connected through a trap to a waste line. Minimum capacity water heaters must be provided as follows:
 - 3 BR units and above – 50 gal.
 - 2 BR units – 40 gal.
 - 1 BR units – 30 gal.
 - Efficiency units – 30 gal.
 - Elderly units – 30 gal.
- Central Domestic Hot Water Systems** – All central hot water piping systems shall include a pumped return to prevent bio-hazard growth.

- Domestic Water Plumbing Systems Using PEX or Other Cross-Linked Polyethylene Piping** – Shall be installed with manifolds in the main living area. The manifold shall be accessible by means of an access panel or door. All piping from the manifold block to each plumbing fixture shall be a single length of continuous polyethylene cross-linked pipe (no joints are allowed).
 - Insulation on hot or cold PEX piping is not required within an apartment unit, unless it is required to obtain certifications under the various Green Building or Energy Programs. Provide additional PEX insulation if required by local code.
 - PEX piping only (Unvented tank water heater systems): Insulate hot water lines from the water heater, including valving, to the manifold. The insulation will stop at the manifold.
 - PEX piping only (Central systems): Insulate from the apartment shut-off valve, including the valve and/or to the manifold, whichever occurs last in the stream, and any re-circulating piping and/or check valve.
- Grilles, Registers and Diffusers, Single Point Exhaust Fans**
 - Return Register** – In multi-level units, a return grille is required on each level, as prescribed in the 2006/2009 IRC through ACCA Manual D. This shall also apply to all PHFA multi-level units constructed under the IBC. The return air duct may be a plenum type as permitted by code and all applicable fire codes must be satisfied.
 - All wall or ceiling mounted Grilles, Registers, and Diffusers must be secured to separate metal frame / flange or other hard blocking and NOT solely to the gypsum wall board, or similar finish material. A detail will be shown on the drawings for this installation. Inclusive will be all necessary air sealing of the frame /flange to the outlet duct.
 - Single point exhaust fans, e.g., bathroom fans or similar, [housing] will be secured to the building structure and not to the wallboard or similar finish material. Fan exhaust grilles will fit flush to the finish surface without the use of non-manufacturer supplied gaskets or sealants.
- Air Conditioning Requirements (Mechanical Cooling):**
 - Sealing** – All duct joints and seams shall be sealed with mastic or similar product as listed in SMACNA Manual N.
 - Hangers** – Duct hangers shall not include fasteners that penetrate the duct.
 - Equipment Servicing** – In mechanical rooms or closets containing multiple pieces of equipment, it must be possible to service and replace each piece of equipment without removing any other equipment.
 - Electric Resistance Heat** – An HVAC system utilizing electric resistance heating as the primary heat source shall not be allowed in PHFA developments.
 - Exposed Plumbing** – All plumbing lines must be concealed except in mechanical rooms and unfinished basements only.
 - Shut-off Valves** – Shut-off valves must be installed at the main water line(s) where they enter the unit and on each line at all plumbing fixtures, including the water heater.
 - Central Facilities** are provided in developments that will convert to homeownership, washer and dryer hookups must be provided within the dwelling unit.

Note: Abandoned equipment in existing buildings will not be permitted and must be removed from the Site.

Note: All utilities must be individually metered in units designated for conversion to homeownership.

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2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
CRITERIA CHECKLIST	
This checklist provides an overview of the technical requirements within the Enterprise Green Communities Criteria. To achieve Enterprise Green Communities Certification, all projects must achieve compliance with the Criteria mandatory requirements applicable to that construction type. New Construction projects must also achieve at least 40 optional points, and Substantial and Moderate Rehab projects must also achieve at least 30 optional points. These projects that also comply with Criterion 5.2b or Criterion 5.14 will be recognized with Enterprise Green Communities Certification Plus.	
1. INTEGRATIVE DESIGN	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	1.1 Integrative Design: Project Priorities Survey Complete the Project Priorities Survey, which can be found in the Appendix.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	1.2 Integrative Design: Charities and Coordination Meetings Develop an integrative design process that moves the outputs of the Project Priorities Survey into action through a series of collaborative meetings. Prioritize multi-benefit strategies. Assign responsibility within your design and development teams for accountability.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	1.3 Integrative Design: Documentation Include Enterprise Green Communities Criteria information in your contract documents and construction specifications (Division 1 Section 01 81 3 Sustainable Design Requirements) as necessary for the construction team to understand the requirements and how they will be verified. Ensure, and indicate, that the drawings and specifications have been generated to be compliant and meet the certification goals.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	1.4 Integrative Design: Construction Management Create, implement, and document your contractor/subcontractor education plan to ensure that all persons working on-site fully understand their role in achieving the project objectives. Include a summary of the Project Priorities Survey (C1) in the sustainability goals, and anticipated risks of each party in regards to the performance expected of the project. Attach and reference this training plan to Division 1 Section 01 81 3 Sustainable Design Requirements. Include timeline estimates for performance training and verification schedules in the overall construction schedule. As a minimum, review requirements for Criteria 8.5, 8.2, and 8.3, and begin preparing these documents with relevant information from design and construction.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	1.5 Design for Health and Well-Being: Health Action Plan Follow Steps 1-6 of the Health Action Plan Framework per the full criteria. (2 points with extra 2 points for Step 7) This includes: 1) Commit to embedding health into the project lifecycle; 2) Partner with a general health professional; 3) Collect and analyze community health data; 4) Engage with community stakeholders to prioritize health data and strategies; 5) Identify strategies to address those health issues; 6) Create an implementation plan; and 7) Create a monitoring plan.
SUBTOTAL OPTIONAL POINTS	
4	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
4. WATER	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.1 Water-Conserving Fixtures Reduce total indoor water consumption by at least 20% compared to baseline indoor water consumption chart. Any new toilet, showerhead, and lavatory fixture must be WaterSense certified. For all single-family homes and all dwelling units in buildings three stories or lower, the supply pressure may not exceed 60 psi.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.2 Advanced Water Conservation Reduce total indoor water consumption by at least 30% compared to baseline indoor water consumption chart. Any new toilet, showerhead, and lavatory fixture must be WaterSense certified.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.3 Water Quality Mandatory Option: Mandatory for Substantial Rehab of buildings built before 1986. Optional for all other building types. Replace lead service lines (2 points). Mandatory: For multifamily buildings with either a cooling tower, a centralized hot water system, or 10+ stories. Develop a Legionella water management program. Optional: Test and remediate as indicated for lead, nitrate, arsenic, and coliform bacteria.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.4 Monitoring Water Consumption and Leaks Conduct pressure-loss tests and visual inspections to determine if there are leaks in leaks. AND Install an advanced water monitoring and leak detection system capable of identifying and shutting water off during anomalous water events. OR Install a device to separately monitor water consumption of each cold branch off the apartment line riser for each dwelling unit and for each cold water riser and for domestic hot water cold water feed for each building or each toilet that allows remote monitor readings common laundry facilities, boiler makeup water, outdoor water consumption, and water consumption in any non-residential spaces.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.5 Efficient Plumbing Layout and Design Shut off the flow of water in any piping/mainline between the fixture and the water heating source or recirculation line. No more than 60 gpm of water will be collected from the fixture before a 30-degree Fahrenheit rise in temperature is observed. Recirculation system must be demand-installed.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.6 Non-Potable Water Reuse Harvest, treat, and reuse rainwater and/or greywater to meet a portion of the project's non-potable water needs. 10% reuse (2 points), 20% reuse (4 points), 30% reuse (5 points), 40% reuse (6 points).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	4.7 Access to Potable Water During Emergencies Provide residents with ready access to potable water in the event of an emergency that disrupts normal access to potable water, including disruptions related to power outages that prevent pumping water to upper floors of multifamily buildings or pumping of water from on-site wells, per one of the three options listed.
SUBTOTAL OPTIONAL POINTS	
15	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
7. HEALTHY LIVING ENVIRONMENT	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.1 Radon Mitigation (Mandatory for New Construction and Substantial Rehab) For New Construction in EPA Zone 1 areas, install passive radon-resistant features before the slab and a vertical vent pipe with junction box within 10 feet of electrical outlet in case active system should prove necessary in the future. For Substantial Rehab projects in EPA Zone 1, test before and after the retrofit and mitigate per the specified protocols.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.2 Reduce Lead Hazards in Pre-1978 Buildings (Mandatory for Substantial Rehab of Buildings Constructed Before 1978) Conduct lead risk assessment or inspection to identify lead hazards. Control identified lead hazards using lead abatement or interim controls, using lead-safe work practices that minimize and contain dust.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.3 Combustion Equipment For New Construction and Rehab projects: Specify power-vented or direct-vent equipment when installing any new combustion appliance for space or water heating that will be located within the conditioned space. If there are any combustion appliances within the conditioned space, install one hard-wired carbon monoxide (CO) alarm with battery backup function for each sleeping area above per National Fire Protection Association (NFPA) 72. For Rehabs: If there is any combustion equipment located within the conditioned space for space or water heating that is not power-vented or direct-vent and that is not scheduled for replacement, conduct combustion safety testing prior to and after the retrofit, remediate as indicated.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.4 Garage Isolation Provide a continuous air barrier between the conditioned space and any garage space to prevent the migration of any contaminants into the living space. Visually inspect common walls and ceilings between attached garages and living spaces to ensure that they are air-sealed before insulation is installed. Do not install ductwork or air handling equipment for the conditioned space in a garage. For all connecting doors between conditioned space and garage, make airtight. Install one hard-wired CO alarm with battery backup function for each sleeping zone of the project, placed per NFPA 72 unless the garage is mechanically ventilated or an open parking structure.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.5 Integrated Pest Management Seal all wall, floor, and joint penetrations with low-VOC caulking of other appropriate non-toxic sealing methods to prevent pest entry.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.6 Smoke-Free Policy (Mandatory and Optional) Mandatory: Implement and enforce a smoke-free policy in all common area and within a 25-foot perimeter around the exterior of all residential buildings. Lease language must prohibit smoking in these locations and provide a graduated enforcement policy. Make the smoke-free policy readily available. Optional: Expand the policy above to include all indoor spaces in the property.
SUBTOTAL OPTIONAL POINTS	
10	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
16. RESILIENT COMMUNITIES: Multi-Hazard/Vulnerability Assessment Conduct a four-part assessment (social, physical, functional, financial) to identify critical risk factors of your property and implement at least two action strategies to enable the project to adapt to, and mitigate, climate-related or seismic risks. See full criteria for more guidance.	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	17. Resilient Communities: Strengthening Cultural Resilience Integrate community and resident participation in the development processes so that the built environment honors cultural identity, resident values, and community histories. Option 1: Complete a Cultural Resilience Assessment. OR Option 2: Convene a Cultural Advisory Group.
SUBTOTAL OPTIONAL POINTS	
0	
2. LOCATION + NEIGHBORHOOD FABRIC	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.1 Inclusive Site Protection All projects must: 1. Protect floodplain functions (e.g., storage, habitat, water quality) by limiting new development within the 100-year floodplain of all types of watercourses. 2. Preserve and protect aquatic ecosystems, including wetlands and riparian habitats, that provide critical ecosystem functions for fish, other wildlife, and people. 3. Protect ecosystem function by avoiding the development of areas that contain habitat for plant and animal species identified as threatened or endangered. 4. Conserve the most productive agricultural soils by protecting prime farmland, unique farmland, and farmland of statewide or local importance. If your site contains any of these ecologically sensitive features, follow the specific Requirements under that subheading.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.2 Connections to Existing Development and Infrastructure (Mandatory for New Construction projects that do not qualify as Rural/Rural/Small Town) Locate the project on a site with access to existing roads, water services, and other infrastructure and within or contiguous to (having at least 25% of the perimeter bordering) existing development. Connect the project to the existing pedestrian network. For sites over 5 acres, provide connections to adjacent transit network at least every 800 feet. In all planned bike paths to existing bike paths.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.3 Compact Development (Mandatory for New Construction) At a minimum, build the residential density (dwelling units/lot) of the census block group where the project is located. In Rural/Rural/Small Town locations that do not have zoning requirements, build a minimum net density of 5 units per acre for single-family housing; 10 units per acre for multifamily buildings, single and two-story; and 15 units per acre for multifamily buildings greater than two-stories.
SUBTOTAL OPTIONAL POINTS	
4	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
5. OPERATING ENERGY	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	5.1 Building Performance Standard (Mandatory for New Construction) Certify all buildings with residential units in the project through either ENERGY STAR Multifamily New Construction, ENERGY STAR Manufacture Homes, and/or ENERGY STAR Certified Homes as relevant. AND Provide projected operating energy use intensity and projected operating building emissions intensity.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	5.2 Building Performance Standard (Mandatory for Rehab) Provide projected operating energy use intensity and projected operating building emissions intensity. AND Conduct commissioning for commissioning, insulation installation, and HVAC systems as indicated. AND one of the following options: • ENX Option: ENX100 for each dwelling unit. Exception for some Rehabs built before 1980. • ASHRAE Option: Energy performance of a completed building equivalent to, or better than, ASHRAE 90.1-2010 using an energy model created by a qualified energy services provider according to Appendix G (ENX-2010).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	5.3a Moving to Zero Energy: Additional Reductions in Energy Use (Not available for projects following Criterion 5.2a or 5.4) Projects in C2 1.4.4 following this criterion must also comply with Criterion 7B. Design and construct a building that is projected to be more efficient than what is required by Criteria 5.2a, ASHRAE 90.1 score of 5 lower than required by 5.2a b) following EIR path for compliance OR 10% greater efficiency than required following ASHRAE path for 5.2a compliance (3 points).
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	5.3b Moving to Zero Energy: Near Zero Certification (Mandatory for Enterprise Green Communities Certification Plus) (Not available for projects following Criterion 5.2a or 5.4) Projects in C2 1.4.4 following this criterion must also comply with Criterion 7B. Certify the project in a program that requires advanced levels of building envelope performance such as DOE ZEB (2 points) and/or PHI Classic or PHUS (3 points).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	5.3c Moving to Zero Energy: Photovoltaic/Solar Hot Water Ready (Not available for projects following Criterion 5.2a or 5.4) Orient, design, engineer, wire, and plumb the development through the Photovoltaic Ready pathway or Solar Hot Water Ready pathway to accommodate installation of photovoltaic (PV) or solar hot water system in the future.
SUBTOTAL OPTIONAL POINTS	
15	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
7. HEALTHY LIVING ENVIRONMENT	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.2 Ventilation (Mandatory for New Construction and Substantial Rehab; Optional for Moderate Rehab) For each dwelling unit in full accordance with ASHRAE 62.2-2019, include: • A local mechanical exhaust system in each bathroom (2 points) (Moderate Rehab) • A local mechanical exhaust system in each kitchen (2 points) (Moderate Rehab) • A whole-house mechanical ventilation system (2 points) (Moderate Rehab) Verify fresh air intake rate either within ±10 CFM or ±1% 10% of design value. For each multifamily building of four or more stories, in full accordance with ASHRAE 62.2-2019, include: • A mechanical ventilation system for all hallways and common spaces (3 points) (Moderate Rehab) For all project types, in addition to the above requirements: • All systems and ductwork must be installed per manufacturer's recommendations. • All bathroom fans must be ENERGY STAR-labeled and need to operate on time. • If using central ventilation systems with rooftop fans, each fan must be direct-vent and variable-speed with speed controller mounted near the fan. Fans with design CFM 200-2000 must also have an ECM motor.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.6 Dehumidification (Mandatory for projects in Climate Zones 1A, 2A, 3A, and 4A following Criterion 5.2a, 5.2b, or 5.4. Optional for all other properties). Option 1: Design, select, and install supplemental dehumidification equipment to keep relative humidity below 60%. OR Option 2: Equip all dwelling units with dedicated space, drain, and electrical hook-up for permanent supplemental dehumidification systems to be installed if needed and install their H monitoring equipment as described.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.9 Construction Pollution Management Option 1: Earn the EPA Indoor AirPlus label. OR Option 2: All dwelling units, seal all heating, cooling, and ventilation lines and supply floor ducts and returns throughout construction to prevent construction debris from entering. Flush all dwelling units after completion of construction and to accompany for either 48 hours or at least 1,000 CFM for 12 of floor area, then replace all air handling equipment (fans). OR Option 3: Ensure all exterior wall and party wall penetrations are sealed with acoustical sealant, all party walls and floor-ceiling assemblies have an STC rating of at least 55, and exterior windows and doors in projects near a significant exterior noise source have an STC rating of at least 35.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.8 Noise Reduction Option 1: Test and demonstrate that noise levels in bedrooms meet 30 dB LAeq (continuous) and 45 dBA (max, single shot). OR Option 2: Provide a noise abatement plan specific to the site covering general noise mitigation techniques in accordance with 24 CFR 98.2. OR Option 3: Ensure all exterior wall and party wall penetrations are sealed with acoustical sealant, all party walls and floor-ceiling assemblies have an STC rating of at least 55, and exterior windows and doors in projects near a significant exterior noise source have an STC rating of at least 35.
SUBTOTAL OPTIONAL POINTS	
3	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.4 Compact Development Exceed the residential density (dwelling units/acre) of the census block group in which your project is located. Exceed by 2x for (2 points) required by 2a for (1 point). In Rural/Rural/Small Towns that do not have zoning requirements, build a minimum net density of 15 units per acre for single-family housing, 12 units per acre for multifamily buildings, single and two-story, and 20 units per acre for multifamily buildings greater than two-stories (2 points).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.5 Proximity to Services and Community Resources (Mandatory for New Construction) Locate the project within a 0.5-mile walk distance of at least four or a 1-mile walk distance of at least seven, of the listed services. For projects that qualify as Rural/Rural/Small Town, locate the project within 5 miles of at least four of the listed services.
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.6 Preservation of and Access to Open Space for Rural/Rural/Small Town (Mandatory for New Construction Rural/Rural/Small Town) Option 1: Locate the project within a 0.25-mile walk distance of dedicated public open space that is a minimum of 0.75 acres; or at least 80% of which unpaved. OR Option 2: Set aside a minimum of 10% (minimum of 0.25 acres) of the total project acreage as open and accessible to all residents; at least 80% of which unpaved. OR Option 3: Set aside a percentage of permanent open space for use by all residents; at least 80% of which unpaved (20% (2 points), 30% (3 points), 40% = written statement of preservation/conservation policy (5 points)).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.7 Preservation of and Access to Open Space Option 1: Locate the project within a 0.25-mile walk distance of dedicated open space that is a minimum of 0.75 acres; or at least 80% of which unpaved. OR Option 2: Set aside a percentage of permanent open space for use by all residents; at least 80% of which unpaved (20% (2 points), 30% (3 points), 40% = written statement of preservation/conservation policy (5 points)).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.8 Access to Transit (Mandatory for New Construction projects that do not qualify as Rural/Rural/Small Town; Optional for other project types) Mandatory: New Construction, not Rural/Rural/Small Town Locate projects within a 0.5-mile walk distance of transit services (bus, rail and/or ferry), consisting of at least 45 or more transit rides per weekday with some type of weekend service. Optional: New Construction, not Rural/Rural/Small Town Locate the project along dedicated bike trails or lanes (Class I, II, or IV) that lead to high-quality transit services (100 trips per day) within 3 miles (2 points). Optional: Rehabilitation, not Rural/Rural/Small Town Locate projects within a 0.5-mile walk distance of public transit services (bus, rail and/or ferry), consisting of at least 45 or more transit rides per weekday with some type of weekend service (2 points). Locate the project along dedicated bike trails or lanes (Class I, II, or IV) that lead to high-quality transit services (100 trips per day) within 3 miles (2 points). Optional: New Construction and Rehabilitation, Rural/Rural/Small Town Locate the project within 0.5-mile walk distance of public transit services with at least 45 rides per weekday and some weekend service (2 points). Rural locations that do not have zoning requirements, OR, locate the project within 5 miles of one of the following transit options: 1) public share program; 2) dial-a-ride program; 3) employer vanpool; 4) park-and-ride; 5) public/private regional transportation.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.9 Access to Transit (Mandatory for New Construction projects that do not qualify as Rural/Rural/Small Town; Optional for other project types) Mandatory: New Construction, not Rural/Rural/Small Town Locate projects within a 0.5-mile walk distance of transit services (bus, rail and/or ferry), consisting of at least 45 or more transit rides per weekday with some type of weekend service. Optional: New Construction, not Rural/Rural/Small Town Locate the project along dedicated bike trails or lanes (Class I, II, or IV) that lead to high-quality transit services (100 trips per day) within 3 miles (2 points). Optional: Rehabilitation, not Rural/Rural/Small Town Locate projects within a 0.5-mile walk distance of public transit services (bus, rail and/or ferry), consisting of at least 45 or more transit rides per weekday with some type of weekend service (2 points). Locate the project along dedicated bike trails or lanes (Class I, II, or IV) that lead to high-quality transit services (100 trips per day) within 3 miles (2 points). Optional: New Construction and Rehabilitation, Rural/Rural/Small Town Locate the project within 0.5-mile walk distance of public transit services with at least 45 rides per weekday and some weekend service (2 points). Rural locations that do not have zoning requirements, OR, locate the project within 5 miles of one of the following transit options: 1) public share program; 2) dial-a-ride program; 3) employer vanpool; 4) park-and-ride; 5) public/private regional transportation.
SUBTOTAL OPTIONAL POINTS	
11	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
6. MATERIALS	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	6.1 Recycled Content and Ingress Prevention Use building products that feature, and disclose, their recycled content. The building product must make up 75% by weight or cost of a project category for the project and be composed of at least 25% post-consumer recycled content.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	6.2 Recycled Content and Ingress Prevention Use building products that feature, and disclose, their recycled content. The building product must make up 75% by weight or cost of a project category for the project and be composed of at least 25% post-consumer recycled content.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	6.3 Chemical Hazard Optimization Install products that have third-party verification of optimization to 100 ppm or better per the options listed within the full criteria.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	6.4 Healthier Material Selection Select all interior paints, coatings, primers, and wallpaper; interior adhesives and sealants; flooring; insulation; and composite wood as specified. Optional points also given.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	6.5 Environmentally Responsible Material Selection Select concrete, steel, or insulation with a publicly disclosed EPD (3 points), and/or use FSC certified wood (2 points). Refer to criterion 7.2(c).
SUBTOTAL OPTIONAL POINTS	
15	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.11 Active Design: Promoting Physical Activity (All projects must comply with at least one of other Criterion 7B, 7C, or 7D. 7C and 7D are not available for that criterion, but are available for projects that are not within 0.5 miles of a transit station.) Option 1: Encourage Everyday Star (large buildings) that include stairs as the only means to travel from one floor to another are not eligible for this option. Provide a staircase that is accessible and usable from the main lobby and is visible within a 5-foot walking distance from any point in the lobby per the specifications listed. Floor point-of-design signage. OR Option 2: Activity Spaces. Provide on-site dedicated recreation space with exercise or play opportunities for adults and children that is open and accessible to all residents; see criterion for specifics.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.12 Beyond ADA: Universal Design (All projects must comply with at least one of other Criterion 7B, 7C, or 7D. 7C and 7D are not available for that criterion, but are available for projects that are not within 0.5 miles of a transit station.) Select and implement at least one of the Options with at least three different strategies as at least 75% units. Option 1: Create welcoming and accessible spaces and encourage equitable use and social connections. Option 2: Create spaces that are easy and intuitive to use and navigable. Option 3: Promote safety and create spaces that allow for human error. Option 4: Create spaces that can be accessed and used with minimal physical effort. Option 5: Create spaces with the appropriate size and space to allow for use, whatever the user's level of mobility, size, or posture.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	7.13 Healing-Centered Design (All projects must comply with at least one of other Criterion 7B, 7C, or 7D. 7C and 7D are not available for that criterion, but are available for projects that are not within 0.5 miles of a transit station.) Select and implement at least two of the Options with at least two different strategies listed at least 75% units. Option 1: Provide an environment that promotes healing of mind and perceived safety. Option 2: Create healing spaces that allow for personalization and/or manipulation to meet individual and community needs. Option 3: Connect residents and staff to a living landscape and the natural environment. Option 4: Utilize art and culture in project design and programming and promote social connections.
SUBTOTAL OPTIONAL POINTS	
13	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
LOCATION + NEIGHBORHOOD FABRIC	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.9 Improving Connectivity to the Community Improve access to community amenities through at least one of the options incentivizing biking mobility or improving access to transit.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.10 Passive Solar Heating/Cooling Design and build with passive solar design, orientation, and shading that meet the guidelines specified.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.11 Adaptive Reuse of Buildings Rehabilitate and adapt an existing structure that was not previously used as housing. Design the project to adapt, renovate, or reuse at least 25% of the existing structure and envelope.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.12 Access to Fresh, Local Foods Provide residents and staff with access to fresh, local foods through one of the following options: Option 1: Neighborhood Farms and Gardens Option 2: Community-Supported Agriculture Option 3: Proximity to Farmers Market
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.13 Access to Fresh, Local Foods Provide residents and staff with access to fresh, local foods through one of the following options: Option 1: Neighborhood Farms and Gardens Option 2: Community-Supported Agriculture Option 3: Proximity to Farmers Market
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.14 Local Economic Development and Community Wealth Creation Demonstrate that local job placement for construction employment and subcontractor hiring was part of your bidding process, and how it functioned during construction. OR Demonstrate that you achieved at least 20% local employment. OR Provide physical space for small business, nonprofits, and/or skills and workforce education.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.15A Access to Broadband: Broadband Ready (Mandatory for New Construction and Rehabilitation projects in Urban Locations) Integrate broadband infrastructure so that when broadband service comes to a community, the property can be easily connected include a network of mini-ducts or conduit throughout the building, extending from the expected communications access point to each network termination point in the building.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	2.15B Access to Broadband: Broadband Ready (Mandatory for New Construction and Rehabilitation projects in Urban Locations) Integrate broadband infrastructure so that when broadband service comes to a community, the property can be easily connected include a network of mini-ducts or conduit throughout the building, extending from the expected communications access point to each network termination point in the building.
SUBTOTAL OPTIONAL POINTS	
4	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	6.5 Environmentally Responsible Material Selection Select concrete, steel, or insulation with a publicly disclosed EPD (3 points), and/or use FSC certified wood (2 points). Refer to criterion 7.2(c).
SUBTOTAL OPTIONAL POINTS	
15	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
8. OPERATIONS, MAINTENANCE, AND RESIDENT ENGAGEMENT	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	8.1 Building Operations & Maintenance Manual and Plan (For all multifamily projects) Develop a manual with thorough building operations and maintenance (OM&M) guidance and a complementary plan. The manual and plan should be developed over the course of the project design, development, and construction stages, and should include sections/tables addressing the list of topics.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	8.2 Emergency Management Manual (For all multifamily projects) Provide a manual on emergency operations targeted toward operations and maintenance staff and other building personnel. The manual should address responses to various types of emergencies, working with those that have the greatest probability of negatively affecting the project. The manual should provide guidance as to how to sustain the delivery of adequate housing throughout an emergency and cover a range of topics, including but not limited to: • communication plans for staff and residents • useful contact information for public utility and other service providers • infrastructure and building "shutdown" procedures • plan for regular testing of backup energy systems, if these exist
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	8.3 Resident Manual Provide a guide for homeowners and renters that explains the intent, benefits, use, and maintenance of their home's green features and practices. The Resident Manual should encourage green and healthy activities per the list of topics.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	8.4 Walk-Throughs and Orientations to Property Operation Provide a comprehensive walk-through and orientation for all residents, property manager(s), and building operations staff.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	8.5 Energy and Water Data Collection and Monitoring For rental properties, upload project energy and water performance data in an online utility benchmarking platform for at least five years from time of construction completion per one of the methods provided; grant Enterprise view access for the period. For owner-occupied units, collect and monitor utility data in a manner that allows for easy access and review.
SUBTOTAL OPTIONAL POINTS	
0	
TOTAL OPTIONAL POINTS	
62	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST	
M = MANDATORY # = OPTIONAL POINTS	
3. SITE IMPROVEMENTS	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.1 Environmental Remediation Determine whether there are any hazardous materials present on the site through one of the four methods listed. Mitigate any contaminants found.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.2 Minimization of Disturbance During Staging and Construction If providing staging, it must be native or climate-appropriate (selected) to the region and appropriate to the site's soil and microclimate. Do not introduce any invasive plant species. Plant, seed, or landscape all disturbed areas.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.3 Ecosystem Services/Landscape (Mandatory, if providing landscaping) If providing landscaping, it must be native or climate-appropriate (selected) to the region and appropriate to the site's soil and microclimate. Do not introduce any invasive plant species. Plant, seed, or landscape all disturbed areas.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.4 Surface Stormwater Management (Mandatory for New Construction; Mandatory for Substantial and Moderate Rehab projects if stormwater is collected) Test or retain on-site precipitation equivalent to the 60th percentile precipitation event. Where not feasible due to geotechnical issues, soil conditions, or the size of the site, treat or retain the minimum volume possible.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.5 Surface Stormwater Management Through on-site infiltration, evapotranspiration, and rainwater harvesting, retain precipitation volume from 70% precipitation event (2 points), 80% precipitation event (3 points), or 90% precipitation event (3 points).
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.6 Efficient Irrigation and Water Reuse (Mandatory, if permanent irrigation is installed) If irrigation is utilized, install an efficient irrigation system per the requirements listed.
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MANDATORY	3.7 Efficient Irrigation and Water Reuse (Optional, if irrigation is utilized) Meet the requirements of Criterion 3.6. AND: Option 1: Install an efficient irrigation system equipped with a WaterSense labeled weather-based irrigation controller (WBC). OR Option 2: At least 50% of the site's irrigation satisfied by water use from the sources listed.
SUBTOTAL OPTIONAL POINTS	
4	

STANDARD GENERAL NOTES:

1. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SAFETY OF PERSONS AND PROPERTY.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
3. CONTRACTOR IS REQUIRED TO COMPLY WITH APPLICABLE CODES, ORDINANCES, RESOLUTIONS, POLICIES, AND PROCEDURES, IN GENERAL.
4. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS.
5. CONTRACTOR SHALL PROVIDE LIGHTS, SIGNS, BARRICADES, FLAGGERS OR OTHER DEVICES NECESSARY TO PROVIDE SAFETY.
6. THE CONTRACTOR SHALL RESTORE PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO IT'S ORIGINAL CONDITION, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL REMOVE SUBSURFACE OBSTRUCTIONS OR ABANDONED UTILITY LINES WITHIN THE DEMOLITION AREA AS PART OF THIS PROJECT.
8. **WARNING:** THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE LOCATIONS INDICATED. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXACT LOCATIONS OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES, AND TO PROCEED WITH GREAT CARE IN EXECUTING WORK. 72 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL 1-800-242-1776.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS. REMOVE AND PROPERLY DISPOSE, OFF SITE, RUBBISH, WASTE MATERIALS, LITTER, AND OTHER FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS TO A SMOOTH EVEN-TEXTURED SURFACE.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
11. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH OTHER CONTRACTORS PERFORMING WORK ON THE JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
12. THE CONTRACTOR IS REQUIRED TO HAVE COPIES OF PERMITS AND PLANS ON SITE DURING CONSTRUCTION.
13. CONTRACTOR SHALL VERIFY PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
14. THE OWNER OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTORS WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
15. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR THE OWNER'S REPRESENTATIVE, SHALL BE REPLACED AT THE CONTRACTORS EXPENSE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
17. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO DO SO.
18. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT EXISTING IMPROVEMENTS WILL BE PROTECTED FROM DAMAGE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FOUR FEET OR MORE IN DEPTH, ADEQUATE METHODS FOR PROTECTION OF WORKERS IS REQUIRED.
19. STATIONING HEREIN IS ALONG STREET CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
20. RETURN RADII AND CURB DATA ARE MEASURED TO BACK OF WEDGE CURB, AND TO THE FRONT FACE OF CONCRETE CURB UNLESS OTHERWISE NOTED.
21. UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER. NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO THE EXISTING SYSTEM IS MADE.
22. EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
23. LENGTHS AND PERCENT SLOPE OF SANITARY SEWERS AND STORM DRAINS, AS WELL AS POTENTIAL CONFLICTS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTING SUCH ENTITIES.
24. IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
25. CONTRACTOR SHALL PROVIDE TRAFFIC MAINTENANCE AND PROTECTION AS PER PADOT PUBLICATION 203.

GENERAL NOTES:

- A. IF TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS COMPLETED BY OTHERS. RED SWING CONSULTING SERVICES, LLC WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND OTHER EXISTING IMPROVEMENTS AS NOTED.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- G. CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE PENNSYLVANIA D.O.T. OFFICE.

MANAGEMENT OF FILL DUE DILIGENCE
DEP DOC.# 258-2182-773

ENVIRONMENTAL DUE DILIGENCE - INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

CLEAN FILL - UNCONTAMINATED, NONWATER-SOLUBLE, NONDECOMPOSIBLE INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH. (25 PA. CODE §§ 271.101 AND 287.101) THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED.

SITE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE TECHNICAL GUIDANCE AS PUT FORTH IN THE MANAGEMENT OF FILL DOCUMENT #258-2182-773 (LATEST REV.), IN ORDER TO DETERMINE IF THE FILL TO BE USED CLASSIFIES AS CLEAN OR REGULATED FILL AND HOW THAT FILL CAN BE USED.

GENERAL UTILITY NOTES:

1. LENGTHS AND PERCENT SLOPE OF SANITARY SEWERS AND STORM DRAINS, AS WELL AS POTENTIAL CONFLICTS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTING SUCH ENTITIES.
2. UTILITIES SHALL BE INSTALLED, DISCONNECTED, AND/OR RELOCATED IN ACCORDANCE WITH THE CODES AND SPECIFICATIONS OF THAT UTILITY AUTHORITY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FEES ASSOCIATED WITH INSTALLATION AND INSPECTION OF UTILITY UNLESS OTHER ARRANGEMENTS ARE MADE WITH OWNER.
4. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO LOCATION, RELOCATION, REMOVAL AND/OR INSTALLATION OF SITE UTILITIES.
5. PLUMBING CONTRACTOR SHALL CONTACT LOCAL HEALTH DEPARTMENT CONCERNING FILING OF UTILITY PLAN, AND PAYMENT OF FEES RELATED TO WATER AND SANITARY SEWER LINE CONSTRUCTION.
6. CONTRACTOR SHALL ADJUST FRAMES AND GRATES FOR EXISTING INLETS, MANHOLES, AND VALVES TO REMAIN.
7. UTILITY LINES REQUIRING TESTING SHALL BE TESTED IN ACCORDANCE WITH THE UTILITY COMPANY CODES AND SPECIFICATIONS.
8. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
9. UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER. NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO THE EXISTING SYSTEM IS MADE.
10. EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE CONTRACTOR'S SOLE EXPENSE.

CONTACT LIST:

PROJECT ENGINEER

RED SWING CONSULTING SERVICES, LLC
4314 OLD WILLIAM PENN HWY, SUITE 101
MONROEVILLE, PA 15146
PHONE: (724) 325-1215
CONTACT: MATTHEW SMITH, P.E.

SURVEYOR

SCI-TEK CONSULTANTS, INC.
665 RODI ROAD
PITTSBURGH, PA 15235
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CONTACT: JEREMY R. GATTEN

LAND OWNER/DEVELOPER

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200 ROSS STREET
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ARCHITECT

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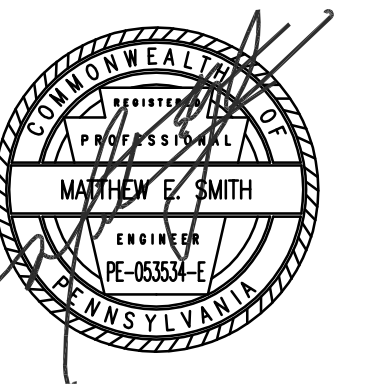
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seal



general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

GENERAL NOTES

scale As Noted	Sheet No. C101 Project #2040
date December 3rd, 2023	
no. 18	of. 233

NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY SCI-TEK CONSULTANTS, INC., COMPLETED IN MAY 2017 AND FIELD-REVIEWED IN MARCH 2022.
- HORIZONTAL DATUM: PA STATE PLANE COORDINATES (SOUTH ZONE) NAD83(2011); VERTICAL DATUM: NAVD83. GRID NORTH, BEARINGS AND ELEVATIONS WERE DERIVED FROM THE KEYNET GPS VRS NETWORK.
- CONTOURS SHOWN WERE PRODUCED FROM AN ACTUAL GROUND SURVEY. CONTOUR INTERVAL IS 1 FOOT.
- STREET RIGHT-OF-WAY WIDTHS OBTAINED FROM THE CITY OF PITTSBURGH DEPARTMENT OF PUBLIC WORKS AS REFERENCED HEREON.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ATTORNEY'S TITLE OPINION OR TITLE COMMITMENT AND THEREFORE EASEMENTS, RIGHTS OF WAY, CONDITIONS, COVENANTS AND/OR RESTRICTIONS, AND/OR TITLE ISSUES THAT BURDEN THE PROPERTY MAY EXIST OTHER THAN THOSE THAT ARE SHOWN HEREON.
- THIS PLAN IS NOT VALID UNLESS IT CONTAINS THE SIGNATURE AND SEAL OF THE PROFESSIONAL LAND SURVEYOR.
- SANITARY AND STORM SEWER INFORMATION (PIPE SIZE, MATERIAL AND INVERT ELEVATION) WAS OBTAINED FROM FIELD-LOCATED STRUCTURES, WHERE ACCESSIBLE AND/OR OBSERVABLE AND MAY NOT BE UNIFORM THROUGHOUT THE RUN CONNECTING THE STRUCTURES. THE UNDERGROUND PIPE RUNS WERE NOT SURVEYED AND MAY NOT BE STRAIGHT BETWEEN STRUCTURES AS SHOWN. SOME OF THE STRUCTURES WERE FILLED WITH DEBRIS AND/OR WATER AT THE TIME OF SURVEY AND THEREFORE PIPE CONNECTIVITY, INVERT ELEVATION, SIZE, AND MATERIAL COULD NOT BE ASCERTAINED. ALTHOUGH DUE DILIGENCE WAS EXERCISED IN LOCATING STRUCTURES, IT IS POSSIBLE THAT INTERMEDIATE STRUCTURES MAY EXIST THAT ARE NOT SHOWN DUE TO OBSCURITY DURING THE SURVEY.
- UNDERGROUND UTILITY LOCATIONS SHOWN ARE BASED ON A COMBINATION OF SURVEYED UTILITY APPURTENANCES IN THE FIELD AND SURVEYED MARKINGS ON THE GROUND PROVIDED BY UTILITY COMPANIES THAT RESPONDED THROUGH THE PA ONE CALL SYSTEM. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, UTILITY LOCATION REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. THEREFORE, SCI-TEK MAKES NO REPRESENTATION AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED MARKINGS WITH RESPECT TO THE ACTUAL LOCATIONS OF THE UNDERGROUND UTILITIES.
- THE LIMITS OF UNDERGROUND GEOTHERMAL UTILITIES ARE BASED ON AS-BUILT PLANS SHOWING THE EXTENTS OF UNDERGROUND GEOTHERMAL PIPES IN REFERENCE TO BUILDING FLOOR PLANS. THE ARRANGEMENT AND DIMENSIONS OF THE INDIVIDUAL BUILDING FLOOR PLANS ON THE AS-BUILT PLANS ARE NOT ABSOLUTELY CONSISTENT WITH THE EXISTING EXTERIOR BUILDING CORNERS THAT WERE SURVEYED. THEREFORE, SCI-TEK DOES NOT MAKE ANY REPRESENTATION AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED PLANS WITH RESPECT TO THE ACTUAL LOCATIONS OF THE UNDERGROUND GEOTHERMAL UTILITIES.
- TITLE COMMITMENT NO. NCS-848841-PITT, DATED MAY 24, 2017 BY FIRST AMERICAN TITLE INSURANCE COMPANY - NATIONAL COMMERCIAL SERVICES, ONE OXFORD CENTRE, SUITE 4235, 301 GRANT STREET, PITTSBURGH PA 15219

TITLE COMMITMENT NO. NCS-848841-PITT SCHEDULE B - SECTION II ITEMS ADDRESSED:

SCHEDULE B - EXCEPTIONS FROM COVERAGE

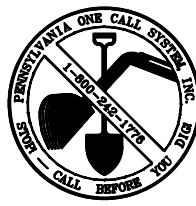
- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREIN COVERED BY THIS COMMITMENT. **NONE PLOTTABLE**
- RIGHTS OR CLAIMS BY PARTIES IN POSSESSION UNDER THE TERMS OF ANY UNRECORDED LEASE OR AGREEMENT(S) OF SALE, (MAY BE REMOVED BY AFFIDAVIT). **NONE PLOTTABLE**
- UNRECORDED EASEMENTS, DISCREPANCIES OR CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA CONTENT AND ENCROACHMENTS, WHICH AN ACCURATE AND SATISFACTORY LAND TITLE SURVEY WOULD DISCLOSE. **NONE PLOTTABLE**
- POSSIBLE INTERIM REAL ESTATE TAXES BY REASON OF INCREASED ASSESSMENTS FOR NEW CONSTRUCTION AND/OR MAJOR IMPROVEMENTS, A LIEN NOT YET DUE AND PAYABLE. **NONE PLOTTABLE**
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN IN THE PUBLIC RECORDS. **NONE PLOTTABLE**
- COAL AND MINING RIGHTS AND ALL RIGHTS RELATED THERETO. NOTICE: THIS DOCUMENT DOES NOT INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT. (SEE 52 P.S. 1551) **NONE PLOTTABLE**
- OIL, GAS OR MINERAL INTERESTS AND ALL RIGHTS INCIDENT THERETO NOW OR PREVIOUSLY CONVEYED, TRANSFERRED, LEASED, EXCEPTED OR RESERVED. **NONE PLOTTABLE**
- SUBJECT TO ALL ROADS, PUBLIC OR PRIVATE, AFFECTING THE PREMISES AND THE RIGHTS OF OTHERS THEREIN. **SHOWN HEREON**
- SUBJECT TO ALL MATTERS SHOWN ON THE PLAN AS RECORDED IN THE RECORDER'S OFFICE OF ALLEGHENY COUNTY, PENNSYLVANIA IN PLAN BOOK VOLUME 74 PAGE 84. **10' SEWER RIGHT-OF-WAY SHOWN HEREON**
- RIGHT OF WAY CONTAINED IN DEED BOOK VOLUME 3803 PAGE 579. **PLOTTABLE BUT UNABLE TO LOCATE FROM INFORMATION PROVIDED SEE "INSET A" ON THIS SHEET**
- RIGHTS GRANTED TO DUQUESNE LIGHT COMPANY AS SET FORTH IN DEED BOOK VOLUME 3708 PAGE 282. DOES NOT IMPACT SUBJECT TRACT LOT. **DOES NOT IMPACT SUBJECT TRACT LOT 1**
- EASEMENT AND ENTRY AGREEMENT BY AND BETWEEN WARNER CABLE CORP. OF PITTSBURGH AND HOUSING AUTHORITY OF THE CITY OF PITTSBURGH AS SET FORTH IN DEED BOOK VOLUME 6426 PAGE 380. **NO PLOTTABLE DESCRIPTION - BLANKET TYPE EASEMENT**
- UTILITY POLE ATTACHMENT AGREEMENT BY AND BETWEEN HOUSING AUTHORITY OF THE CITY OF PITTSBURGH AND WARNER CABLE CORP. OF PITTSBURGH AS SET FORTH IN DEED BOOK VOLUME 6426 PAGE 389. **NO PLOTTABLE DESCRIPTION**

LEGEND:

- CONCRETE AREAS
- 5/8" REBAR & CAP SET
- TEMPORARY BENCHMARK
- STORM WATER STRUCTURE
- STORM SEWER MANHOLE
- COMBINED SEWER MANHOLE
- FIRE HYDRANT
- UTILITY POLE
- LIGHT POLE
- SIGN
- WATER VALVE
- GAS VALVE
- TREE WITH TRUNK DIAMETER
- OVERHEAD ELECTRIC/TELEPHONE LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- UNDERGROUND STORM DRAIN LINE
- UNDERGROUND COMBINED SEWER LINE
- UNDERGROUND GEOTHERMAL LINE
- 100 - MAJOR TOPOGRAPHIC CONTOUR LINE WITH ELEVATION
- 10 - MINOR TOPOGRAPHIC CONTOUR LINE WITH ELEVATION
- X - CHAIN LINK FENCE
- TREE LINE
- - - ADJOINING PROPERTY LINE
- - - PROPERTY LINE

ABBREVIATIONS:

- TC TERRA COTTA PIPE
- ELEV ELEVATION
- MH MANHOLE
- INV INVERT
- BOT BOTTOM
- CONC CONCRETE
- DI DRAIN INLET
- DPW DEPARTMENT OF PUBLIC WORKS
- POB POINT OF BEGINNING



Pennsylvania One Call System, Inc.
Call 3 Business Days Before You Dig!
1-800-242-1776 or 8-1-1
POCS Serial No. : 20171002552
Date: 04/10/2017

CONTRACTORS ARE REQUIRED TO NOTIFY THE FACILITY OWNERS NOT LESS THAN THREE (3) NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK WHEN USING POWERED EQUIPMENT ON PUBLIC OR PRIVATE PROPERTY ANYWHERE IN THE COMMONWEALTH. CONTRACTORS ARE RESPONSIBLE FOR PRESERVING THE FACILITY OWNER MARKINGS, TO EXERCISE DUE CARE AND EMPLOY PRUDENT TECHNIQUES WITHIN THE TOLERANCE ZONE. CONTRACTORS SHOULD KEEP EACH OPERATOR AT THE SITE INFORMED AND EVALUATE THE PREMISES IF NECESSARY. NOTIFICATION SHOULD BE MADE THROUGH THE PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776 or 8-1-1).

To Northview Midrise, LLC., PNC Bank, ARMDC, First American Title Insurance Company, Columbia Housing SLP Corporation, an Oregon Corporation, its successors and/or assigns, PNC Real Estate Tax Credit Company Institutional Fund, a Delaware limited liability company/partnership, its successors and/or assigns:

This is to certify that this map or plat and the survey on which it was based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B, 7C, 8, 9, 10a, 10b, 11, 12, 13, 14, 16, 17, 18, 19 AND 20 of Table A thereof, as applicable. The fieldwork was completed in May 2021.

PRELIMINARY

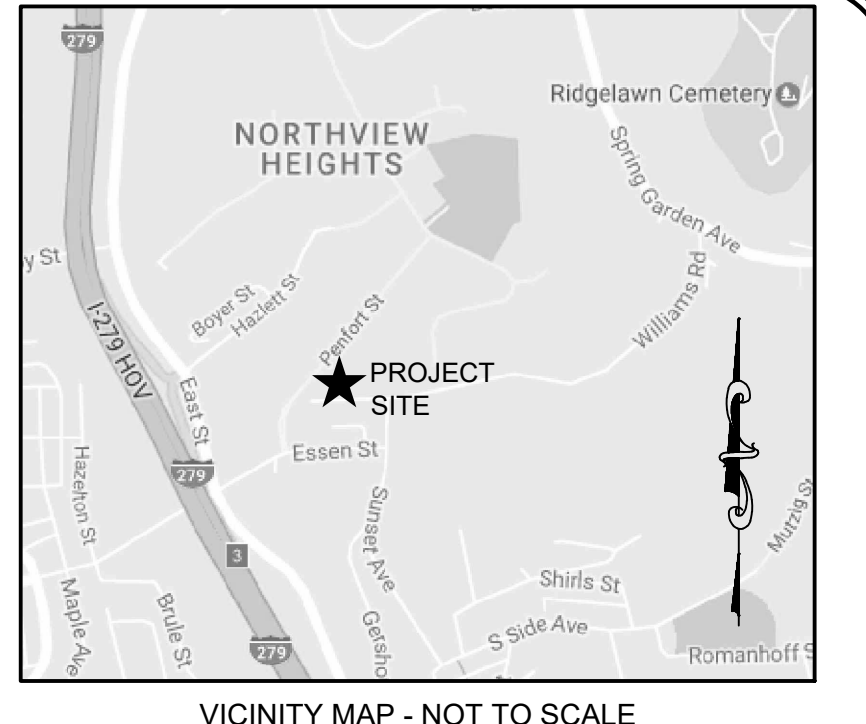
Jeremy R. Gatten, PLS #SU075445 Date

SciTek
CONSULTANTS, INC.
655 RODI ROAD - PITTSBURGH PA 15235
PHONE: (412) 371-4460 FAX: (412) 371-4462
www.scitekanswers.com

PROJECT: HOUSING AUTHORITY OF THE CITY OF PITTSBURGH
PITTSBURGH, PENNSYLVANIA
NORTHVIEW HEIGHTS MIDRISE
26TH WARD - PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA

SHEET TITLE: ALTA/NSPS LAND TITLE SURVEY
246 PENFORT STREET, PITTSBURGH, PA

SCIT-TEK PROJECT ID: 17-781 & 22-1084
SURVEYED: JRG/JDB CHECKED: JRG
DRAFTED: JDB DATE: 3-17-2022
DWG SCALE: AS SHOWN
DRAWING NO.: 1



NOTES (CONTINUED):

- ALL OF LOT 1 LIES IN FEMA FLOOD ZONE X, ACCORDING TO FIRM PANEL 42003C0332H, MAP EFFECTIVE DATE SEPTEMBER 26, 2014.
- NO ZONING REPORT WAS PROVIDED DESCRIBING BUILDING SETBACK REQUIREMENTS. A LETTER FROM CITY OF PITTSBURGH CITY PLANNING DEPT., DATED DEC. 1, 2017 STATES "THE PROJECT WAS APPROVED FOR ZONING," BUT NO SETBACK REQUIREMENTS WERE NOTED.
- AN ALTA/NSPS LAND TITLE SURVEY OF THE ENTIRE TRACT OF 88.625 ACRES WAS NOT REQUIRED. SCI-TEK CONDUCTED A PARTIAL ALTA/NSPS LAND TITLE SURVEY IN THE AREA OF THE PROPOSED DEVELOPMENT SITE (3.956 ACRES LOT 1).
- NO BUILDINGS EXIST ON PROPOSED LOT 1.
- SEE PLAN ENTITLED ELECTRICAL SITE PLAN BY IAMS CONSULTING, LLC DATED 11/29/17, DRAWING NO. E010.
- CONTINGENT UPON EASEMENT CONVEYANCE AT CLOSING, THE SUBJECT TRACT WILL HAVE BOTH VEHICULAR AND PEDESTRIAN ACCESS TO A PUBLIC RIGHT-OF-WAY.
- THERE ARE 46 PLANNED PARKING SPACES AVAILABLE FOR USE ON THE SUBJECT TRACT.
- NOTE TO DEVELOPER: THERE IS AN EXISTING EASEMENT FOR GEOTHERMAL UTILITIES UPON THE SUBJECT TRACT.
- SEE PLAN ENTITLED EXISTING CONDITIONS AND DEMOLITION PLAN BY THE GATEWAY ENGINEERS, INC. DATED NOVEMBER 29, 2017, DRAWING NO. C051.
- SOIL PILES OBSERVED IN MARCH 2022, SHOWN HEREON, INDICATE EVIDENCE OF EARTH MOVING ACTIVITY.

RECORD LOT DESCRIPTION:

LEASEHOLD PARCEL:
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE 26TH WARD OF THE CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA, BEING LOT 1 ON THE SUBDIVISION OF THE HOUSING AUTHORITY OF THE CITY OF PITTSBURGH, RECORDED NOVEMBER 9, 2017 IN PLAN BOOK VOLUME 294 PAGE 159, RECORDED JANUARY 31, 2018 IN PLAN BOOK VOLUME 295 PAGE 125, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF LAMAR STREET, ALSO BEING A POINT ON THE SOUTHERLY LINE OF THE TRACT OWNED BY THE HOUSING AUTHORITY OF THE CITY OF PITTSBURGH;
THENCE RUNNING SOUTH 88°37'24" WEST ALONG AND CONTIGUOUS WITH THE SAID NORTHERLY RIGHT-OF-WAY LINE OF LAMAR STREET AND THE LINE OF THE HOUSING AUTHORITY OF THE CITY OF PITTSBURGH A DISTANCE OF 500.06 FEET TO A POINT, A CORNER OF THE HOUSING AUTHORITY OF THE CITY OF PITTSBURGH;
THENCE LEAVING THE SAID NORTHERLY RIGHT-OF-WAY LINE OF LAMAR STREET AND THE LINE OF THE HOUSING AUTHORITY OF THE CITY OF PITTSBURGH RUNNING ACROSS THE SAID TRACT OWNED BY THE HOUSING AUTHORITY OF THE CITY OF PITTSBURGH ALONG A NEW LINE THE FOLLOWING SIX (6) COURSES AND DISTANCES:
NORTH 60°58'30" WEST A DISTANCE OF 98.65 FEET TO A POINT ON THE EASTERLY SIDE OF PENFORT STREET;
THENCE ALONG AND PARALLEL WITH PENFORT STREET NORTH 41°28'24" EAST A DISTANCE OF 546.37 FEET TO A POINT;
THENCE SOUTH 48°31'38" EAST A DISTANCE OF 50.98 FEET TO A POINT;
THENCE ALONG THE ARC OF A TANGENTIAL CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 70°55'11" EAST FOR A CHORD DISTANCE OF 111.13 FEET TO A POINT. SAID CURVE HAVING A RADIUS OF 145.86 FEET AND AN ARC LENGTH OF 114.01 FEET;
THENCE NORTH 86°41'15" EAST A DISTANCE OF 59.29 FEET TO A POINT;
THENCE SOUTH 3°18'45" EAST A DISTANCE OF 379.19 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.956 ACRES OR 172,314 SQUARE FEET, MORE OR LESS.

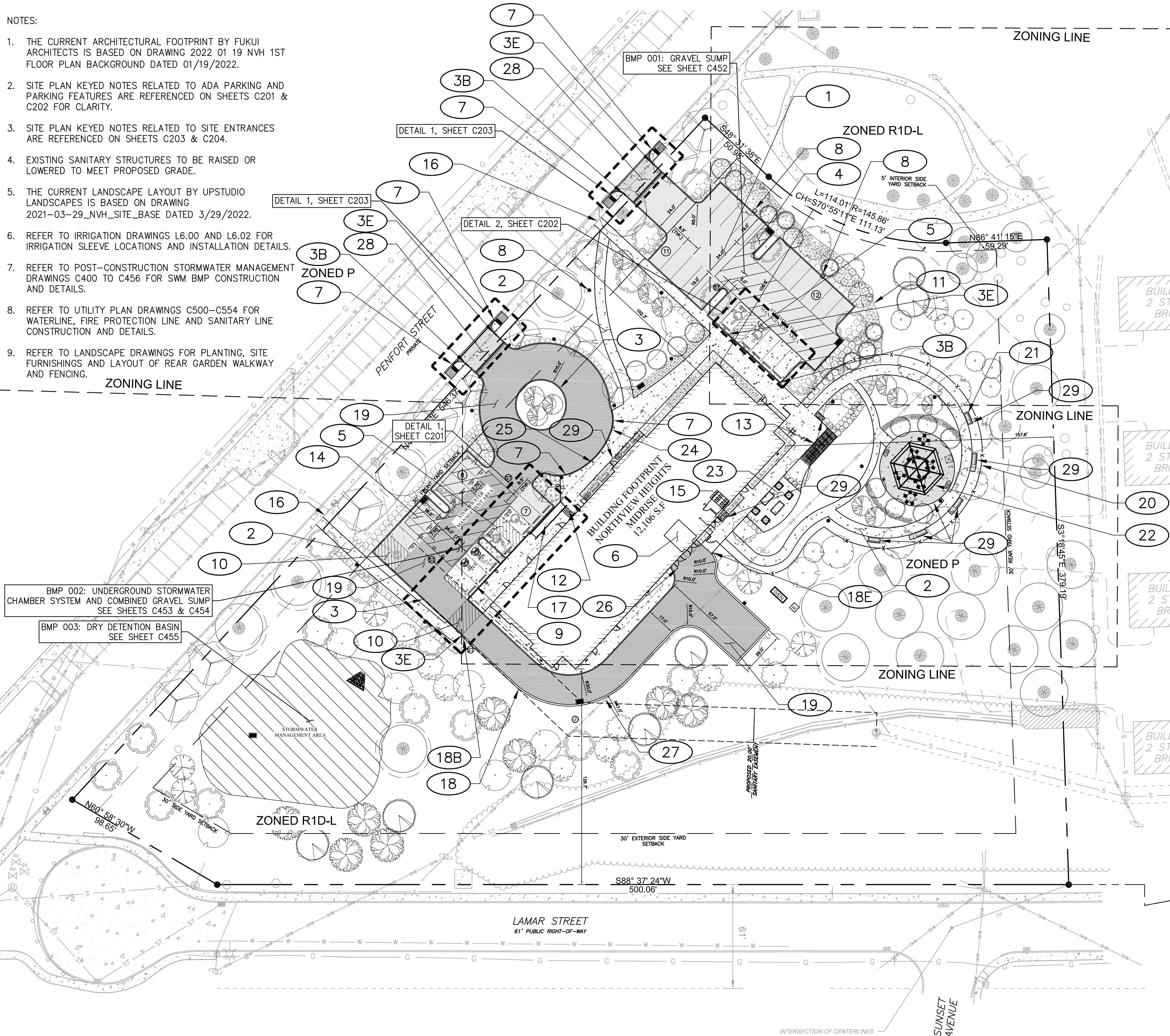
REFERENCES:

- PLANS ENTITLED NORTH VIEW HEIGHTS PLAN OF LOTS, DATED MAY 9, 1963 BY AFFILIATED ENGINEERS, INC.
- SEWER INDEX PLAT 077 BY SHNEIDER ENGINEERS FOR THE CITY OF PITTSBURGH.
- PLANS ENTITLED NORTHVIEW HEIGHTS FAMILY COMMUNITY DEMOLITION OF BUILDINGS NO. 33, 34, 35, 36, 37 HACP CONTRACT NO. 10110.940, DATED OCTOBER 20, 2011 BY RSH ARCHITECTS FOR HOUSING AUTHORITY OF THE CITY OF PITTSBURGH, SHEET C-4.
- PLANS ENTITLED PLANS OF EXISTING CONDITIONS NORTHVIEW HEIGHTS ROOFING STUDY HACP TASK ORDER 7, DATED 9/26/2012 BY SENATE ENGINEERING COMPANY FOR HOUSING AUTHORITY-CITY OF PITTSBURGH, SHEETS 1-3 OF 10, DRAWING NO. D-5488, JOB NO. 1015.
- PLANS ENTITLED PLAN OF LOTS SITUATE IN RESERVE TOWNSHIP DATED FEBRUARY 14, 1873 BY WM MCHENDRY-C.E. PAGE 42 AND 43.
- DEED DATED JANUARY 17, 1957 BETWEEN BERTHA E. GRUENDEL AND HOUSING AUTHORITY OF THE CITY OF PITTSBURGH, RECORDED IN DEED BOOK VOLUME 3658, PAGE 57.
- DEED DATED JANUARY 23, 1957 BETWEEN LOUIS LANG AND HILDA LANG AND HOUSING AUTHORITY OF THE CITY OF PITTSBURGH, RECORDED IN DEED BOOK VOLUME 3597, PAGE 238.
- GEOTHERMAL HVAC HEAT PUMP AS-BUILT PLANS ENTITLED HVAC REVISIONS - NORTHVIEW HEIGHTS, REVISION DATED 7/12/2009 BY TRISON GEOTHERMAL HVAC EXPERTS.
- PLAN ENTITLED ELECTRICAL SITE PLAN BY IAMS CONSULTING, LLC DATED 11/29/17, DRAWING NO. E010.
- PLAN ENTITLED EXISTING CONDITIONS AND DEMOLITION PLAN BY THE GATEWAY ENGINEERS, INC. DATED NOVEMBER 29, 2017, DRAWING NO. C051.

PRINT DATE: 3/17/22 FILE LOCATION: CUSTOMERS\2022\22-1084 HACP NORTHVIEW HEIGHTS MIDRISE - ALTA UPDATE DRAWINGS
FILE NAME: NORTHVIEW HEIGHTS - ALTA UPDATE.DWG

NOTES:

1. THE CURRENT ARCHITECTURAL FOOTPRINT BY FUKUI ARCHITECTS IS BASED ON DRAWING 2022 01 19 NVH 1ST FLOOR PLAN BACKGROUND DATED 01/19/2022.
2. SITE PLAN KEYED NOTES RELATED TO ADA PARKING AND PARKING FEATURES ARE REFERENCED ON SHEETS C201 & C202 FOR CLARITY.
3. SITE PLAN KEYED NOTES RELATED TO SITE ENTRANCES ARE REFERENCED ON SHEETS C203 & C204.
4. EXISTING SANITARY STRUCTURES TO BE RAISED OR LOWERED TO MEET PROPOSED GRADE.
5. THE CURRENT LANDSCAPE LAYOUT BY UPSTUDIO LANDSCAPES IS BASED ON DRAWING 2021-03-29_NVH_SITE_BASE DATED 3/29/2022.
6. REFER TO IRRIGATION DRAWINGS L6.00 AND L6.02 FOR IRRIGATION SLEEVE LOCATIONS AND INSTALLATION DETAILS.
7. REFER TO POST-CONSTRUCTION STORMWATER MANAGEMENT DRAWINGS C400 TO C456 FOR SWM BMP CONSTRUCTION AND DETAILS.
8. REFER TO UTILITY PLAN DRAWINGS C500-C554 FOR WATERLINE, FIRE PROTECTION LINE AND SANITARY LINE CONSTRUCTION AND DETAILS.
9. REFER TO LANDSCAPE DRAWINGS FOR PLANTING, SITE FURNISHINGS AND LAYOUT OF REAR GARDEN WALKWAY AND FENCING.



LOT INFORMATION		
SITE ADDRESS:	250 PENFORT ST PITTSBURGH, PA 15219	
COUNTY:	ALLEGHENY COUNTY	
BLOCK & LOT:	77-D & 50	
TOTAL LOT AREA:	172,314 FT ² OR 3.96 Acs.	
ZONING DISTRICT:	R1D-L, P	
PARKING CALCULATIONS		
PARKING SUMMARY:		
TOTAL PARKING REQUIRED - (1) PER UNIT / (43) PROPOSED UNITS = (43) SPACES REQUIRED	PROPOSED UNITS - 43 x 1 = 43 SPACES REQUIRED	
BICYCLE PARKING REDUCTION - 30% OF (43) SPACES = (13) SPACES.	(43) SPACES - (13) SPACES = (30) SPACES REQUIRED W/ BICYCLE REDUCTION	
TOTAL PARKING PROVIDED - (34) SPACES W/ (4) ADA ACCESSIBLE PARKING SPACES* (38 TOTAL)		
BICYCLE PARKING PROVIDED - (27) SPACES, (5) INTERNAL	*SEE SHEET C202 FOR OPTION OF (2) ADDITIONAL ADA SPACES.	
LOT AREA, YARD AND HEIGHT REQUIREMENTS		
ZONING DISTRICT: R1D-L	REQUIRED	PROVIDED
MINIMUM LOT AREA	5,000 FT ²	172,314 FT ² OR 3.96 Acs.
MINIMUM LOT AREA PER UNIT	3,000 FT ²	11,815 FT ²
MINIMUM FRONT SETBACK	30 FT	102.3 FT
MINIMUM REAR SETBACK	30 FT	157.6 FT
MINIMUM EXTERIOR SIDEYARD SETBACK	30 FT	106.5 FT
MINIMUM INTERIOR SIDEYARD SETBACK	5 FT	5 FT
MAXIMUM HEIGHT OF STRUCTURE	40 FT (NOT TO EXCEED 3 STORIES)	4 STORIES - 55 FT ZBA CASE DCP-2021-11021
ZONING DISTRICT: P	REQUIRED	PROVIDED
MINIMUM LOT AREA	3,200 FT ²	172,314 FT ² OR 3.96 Acs.
MAXIMUM FLOOR AREA RATIO	1:1	SEE ARCHITECTURAL PLANS
MINIMUM FRONT SETBACK	30 FT	102.0 FT
MINIMUM REAR SETBACK	20 FT	157.2 FT
MINIMUM EXTERIOR SIDEYARD SETBACK	20 FT	106.1 FT
MINIMUM INTERIOR SIDEYARD SETBACK	5 FT	5 FT
MAXIMUM HEIGHT OF STRUCTURE	40 FT	4 STORIES - 55 FT ZBA CASE DCP-2021-11021

- ### SITE PLAN KEYED NOTES
1. PROPOSED STANDARD DUTY ASPHALT PARKING AREA. (TYP.) SEE (8) C250
 2. PROPOSED ADA ACCESSIBLE SIDEWALK. SEE (2) C250
 3. PROPOSED 6" CONCRETE CURB. (TYP.) SEE (5) C250
 4. PROPOSED STANDARD 8.5'X19' PARKING SPACES. (TYP.)
 5. PROPOSED 8'X19' ADA ACCESSIBLE PARKING SPACES ON STANDARD DUTY CONCRETE. (TYP.) SEE (11) C250 & (1) C250
 6. PROPOSED INTERNAL TRASH COLLECTION AREA.
 7. PROPOSED BEGINNING OF FLUSH CURB TO 6" CURB TRANSITION. SEE (14) C250
 8. PROPOSED LIGHT POLE. (TYP.) (SEE SHEET C701).
 9. PROPOSED PRECAST CONCRETE WHEEL STOP. (TYP.) SEE (9) C250
 10. PROPOSED 4" PAINT STRIPING.
 11. PROPOSED MULCH AREA. (TYP.) SEE LANDSCAPING PLANS.
 12. PROPOSED EXTERIOR STAIRS WITH HANDRAIL. (SEE ARCHITECTURAL PLANS)
 13. PROPOSED EXTERNAL COVERED BIKE RACK (TYP. OF 25 SPACES.) (SEE LANDSCAPE ARCHITECTURE PLANS)
 14. PROPOSED 7.75' X 16.5' COMPACT PARKING SPACE (TYP.)
 15. PROPOSED INTERNAL BIKE RACK (TYP. OF 5 SPACES.) (SEE ARCHITECTURAL PLANS)
 16. PROPOSED NEW/EXISTING SIDEWALK JOINT.
 17. PROPOSED ADA ACCESSIBILITY RAMP. (SEE SHEET C201)
 18. PROPOSED ASPHALT WEDGE CURB. SEE (7) C250
 19. PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE (8) C250
 20. PROPOSED PERIMETER FENCE. (SEE LANDSCAPE ARCH. PLANS)
 21. PROPOSED BENCH. (TYP.) (SEE LANDSCAPE ARCH. PLANS)
 22. PROPOSED GAZEBO AREA. (SEE LANDSCAPE ARCH. PLANS)
 23. PROPOSED PLANTER AND PATIO. (TYP.) (SEE LANDSCAPE ARCH. PLANS)
 24. PROPOSED CONCRETE FLUSH CURB. SEE (6) C250
 25. PROPOSED CONCRETE BOLLARD. (TYP. OF 6 @ 8' O.C.) SEE (10) C250
 26. PROPOSED CONCRETE BOLLARDS FOR TRASH AREA. (SEE ARCH PLANS FOR SPACING.)
 27. UTILITY POLE TO BE EXTENDED OR REPLACED TO PROVIDE 15' CLEARANCE UNDERNEATH OVERHEAD LINES.
 28. PROPOSED 6" CONCRETE DRIVEWAY APRON.
 29. PROPOSED 6" CONCRETE FOR FURNITURE MOUNTING. (SEE LANDSCAPE ARCH. PLANS)

PAVEMENT LEGEND	
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	4" CONCRETE SIDEWALK/ADA PARKING
	6" CONCRETE PAD FOR FURN. MOUNTING/ DRIVEWAY APRONS

LEGEND	
	BEGINNING OF CALL OUT ELEMENT (e.g. WEDGE CURB)
	END OF CALL OUT ELEMENT (e.g. WEDGE CURB)
	PARKING SPACE COUNT NUMBERS
	PROPOSED WATERLINE VAULT

Know what's below. Call before you dig.

PA ONE CALL SERIAL No. 2021240872 AS PER CALL FOR MAPS BY RED SWING GROUP SEPTEMBER 1st 2021

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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RED SWING GROUP
ENGINEERS & SURVEYORS
4314 OLD WILLIAM PENN HWY
SUITE 101
MONROEVILLE, PA 15146
OFFICE: 724.325.1215

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- revisions**

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

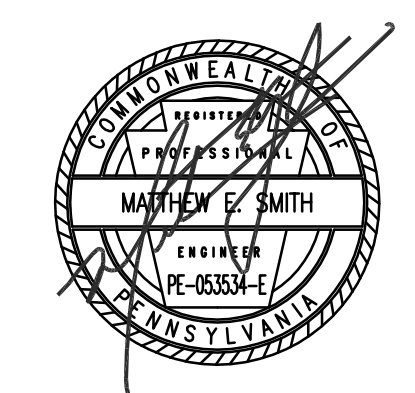
Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SITE PLAN

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	21	C200
of.	233	
		Project #2040



general notes

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revisions

ADA ENLARGEMENT PLAN KEYED NOTES

- PROPOSED 8'x19' ADA ACCESSIBLE PARKING SPACES. (TYP.) SEE (11) C250
- PROPOSED ADA SYMBOL. (TYP.) SEE (12) C250
- PROPOSED ADA ACCESSIBLE PARKING SIGN. (TYP.) SEE (13) C250
- PROPOSED PRECAST CONCRETE WHEEL STOP. (TYP.) SEE (9) C250
- PROPOSED 4" PAINT STRIPING
- PROPOSED CONCRETE FLUSH CURB. SEE (6) C250
- PROPOSED BEGINNING OF FLUSH CURB TO 6" CURB TRANSITION. SEE (14) C250
- PROPOSED CONCRETE PAVEMENT. SEE (1) C250
- PROPOSED ADA ACCESSIBLE SIDEWALK. SEE (2) C250
- PROPOSED ELECTRIC VEHICLE PARKING AREA. (SEE MEP PLANS FOR DETAILS)
- PROPOSED ELECTRIC VEHICLE CHARGING PEDESTAL. (TYP.) (SEE MEP PLANS FOR DETAILS)

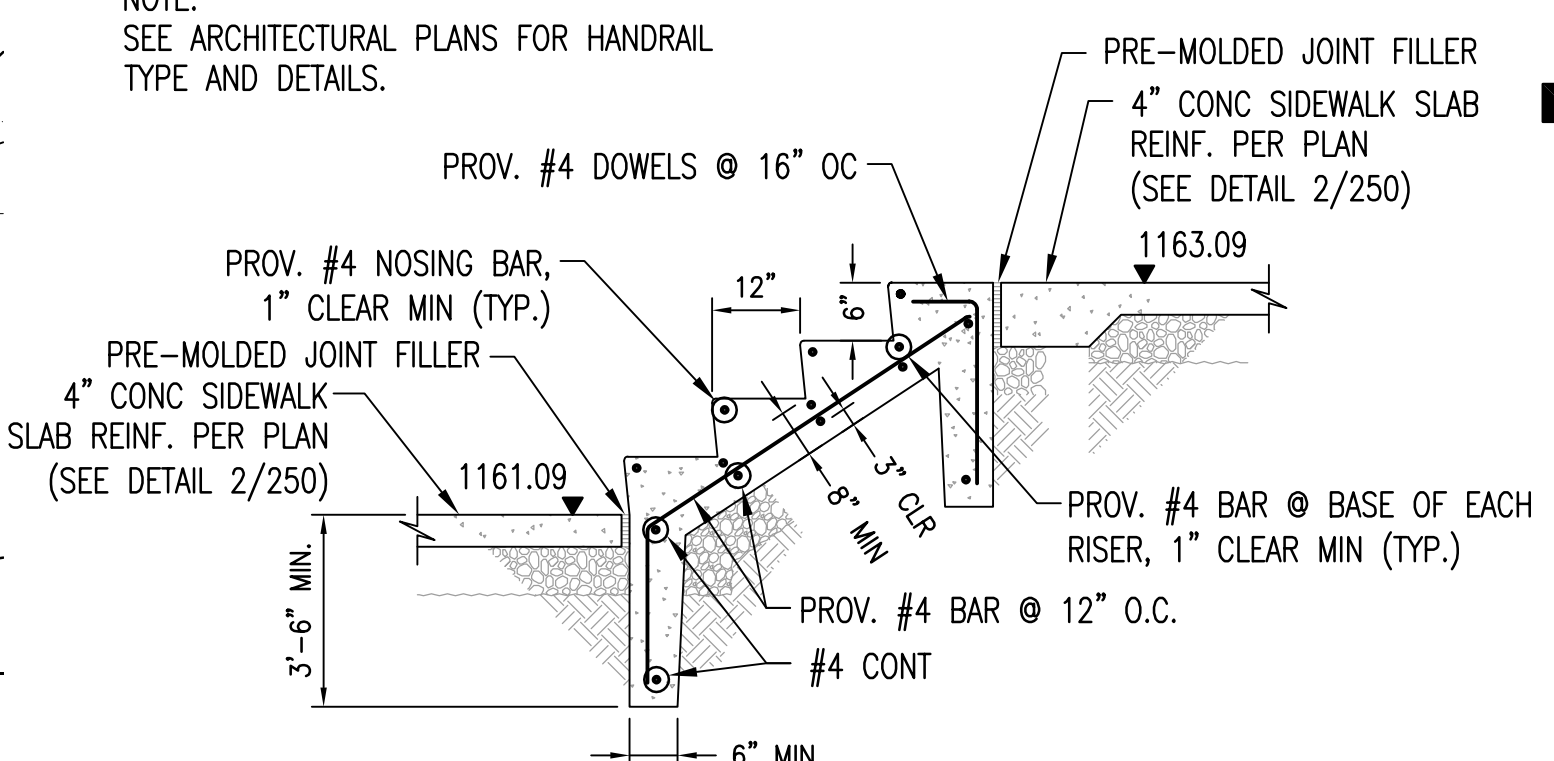
LEGEND

	CONCRETE
	PAINT STRIPING
	CONCRETE FLUSH CURB
	CONCRETE 6" CURB
	SANITARY CLEANOUT C.O.
	STORM CLEANOUT C.O.
	EXISTING MINOR/MAJOR CONTOURS 1150
	PROPOSED MINOR/MAJOR CONTOURS 1149

NOTES:

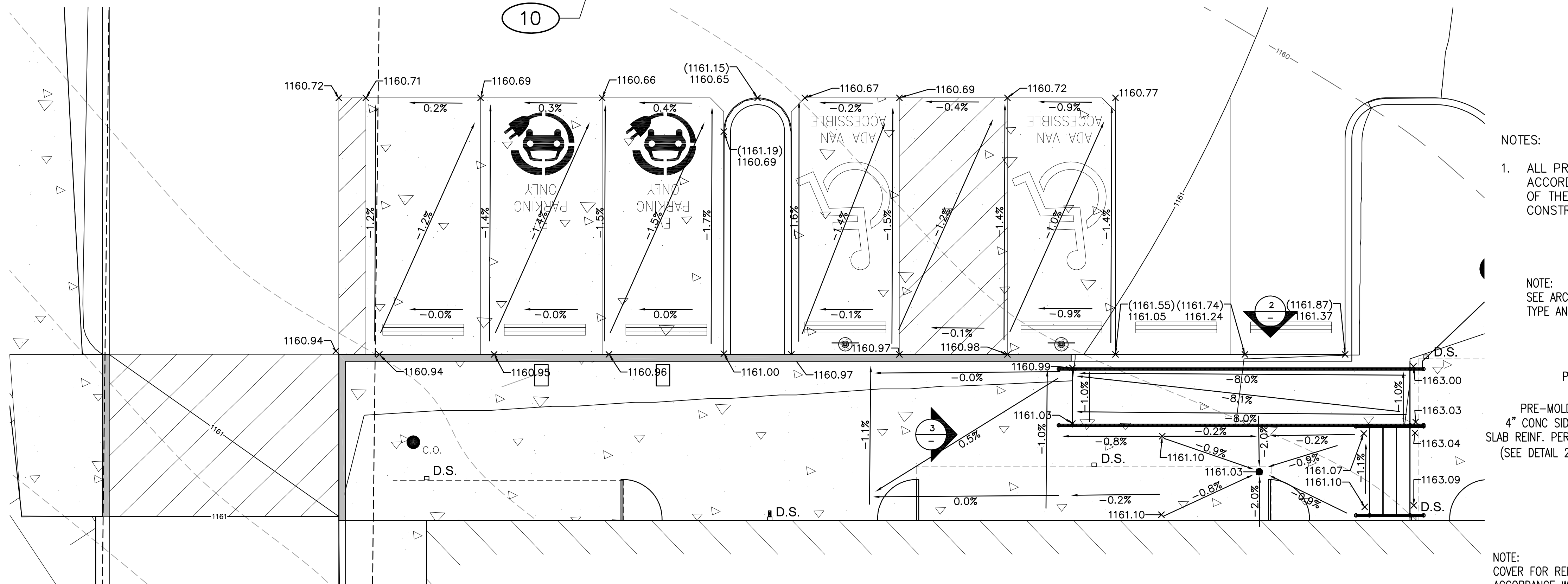
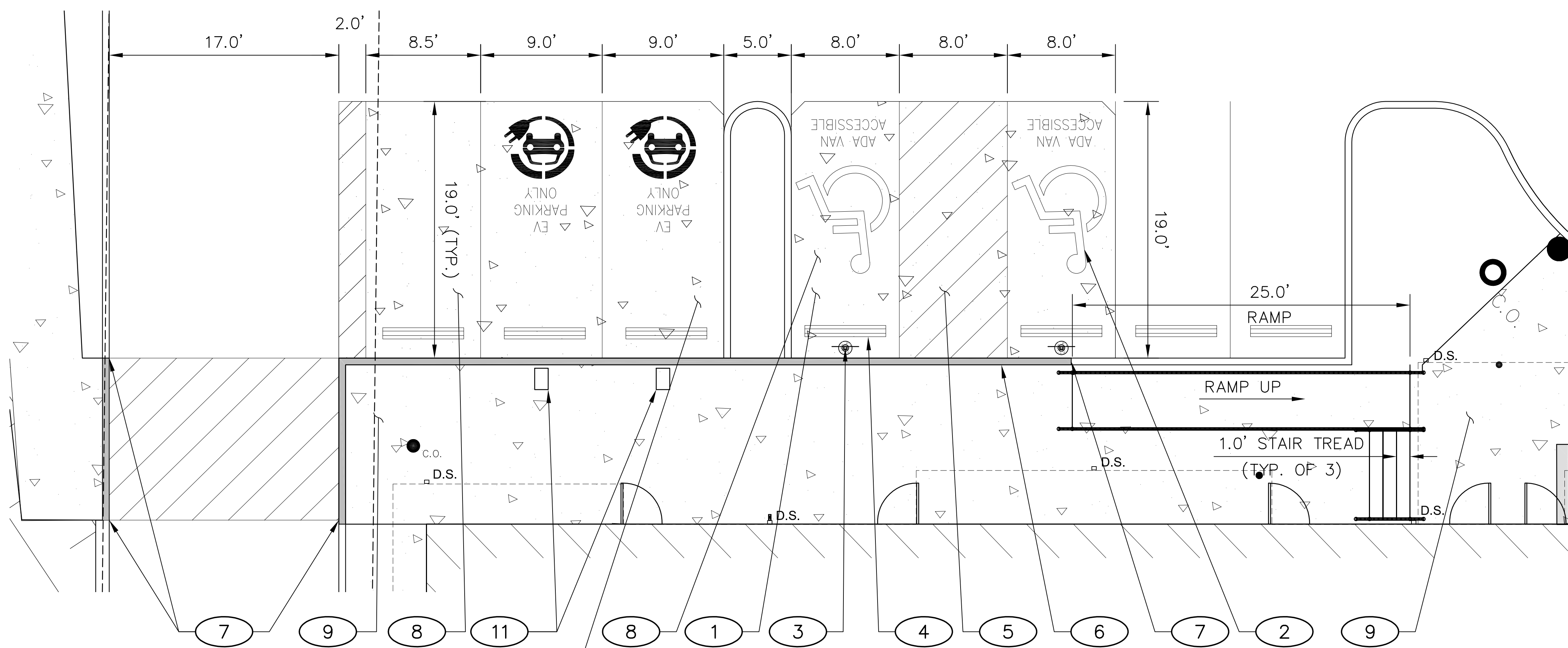
- ALL PROPOSED SIDEWALKS, RAMPS, AND CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, UFAS, AND ANSI STANDARDS. MORE STRINGENT OF THE ACCESSIBILITY REQUIREMENTS ACROSS STANDARDS TO DICTATE CONSTRUCTION PRACTICES.

NOTE:
SEE ARCHITECTURAL PLANS FOR HANDRAIL TYPE AND DETAILS.

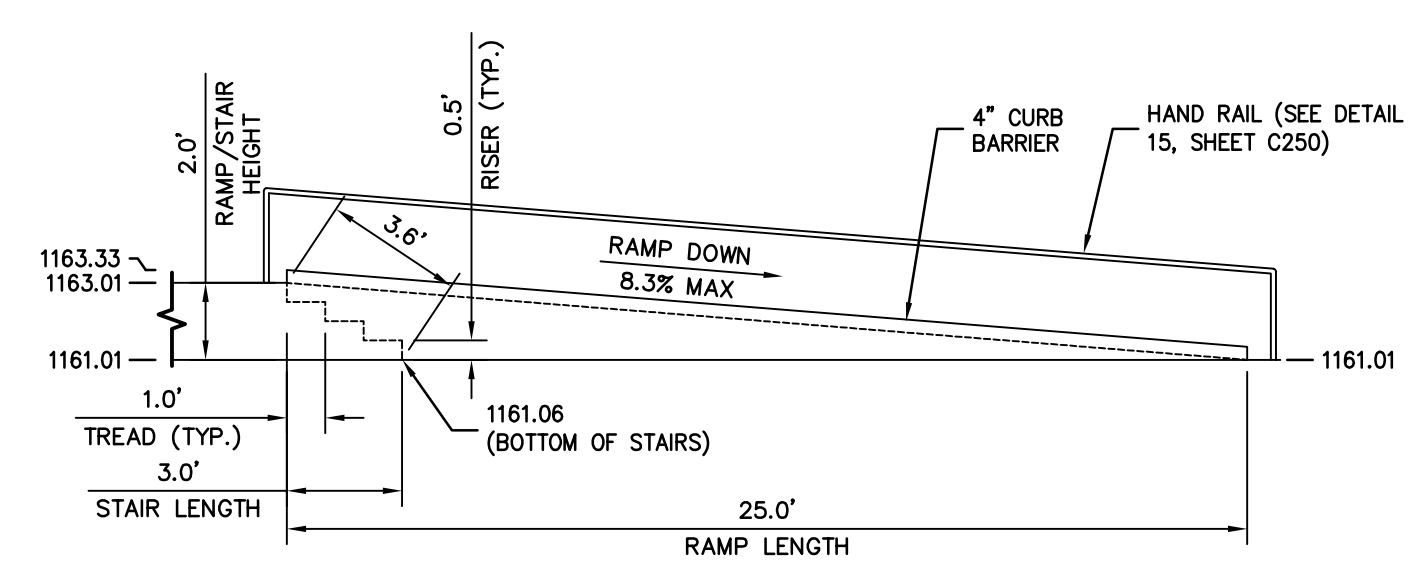


NOTE:
COVER FOR REINFORCEMENT TO BE PROVIDED IN ACCORDANCE WITH ACI 318 BUILDING CODE.

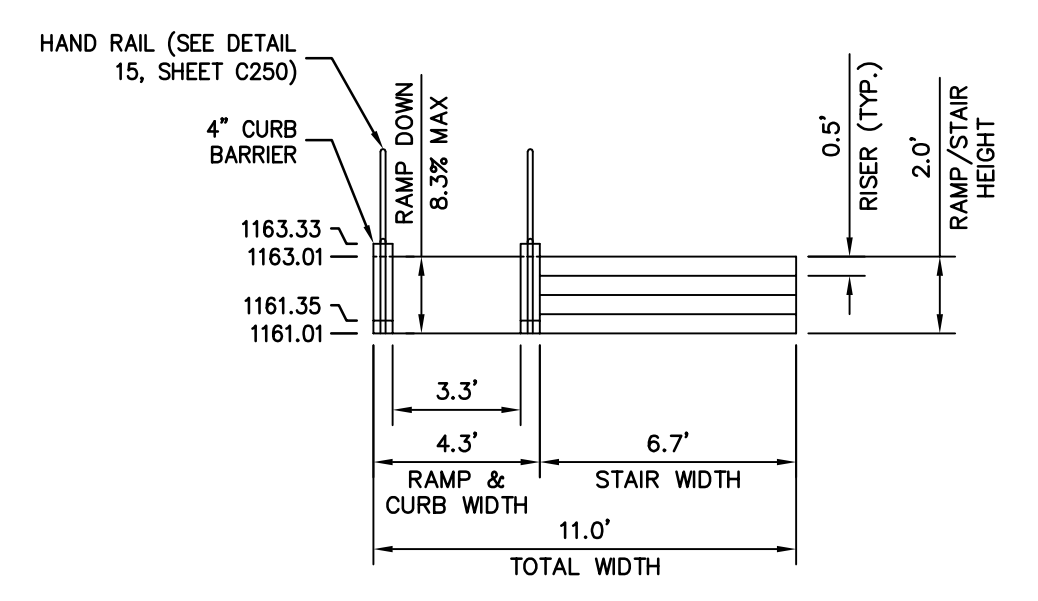
EXTERIOR STAIR SECTION ON GRADE
NOT TO SCALE



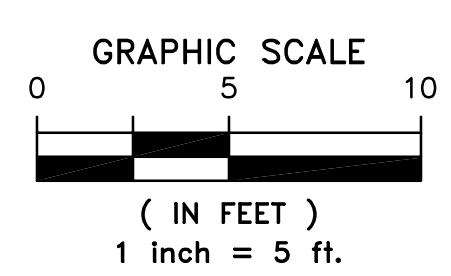
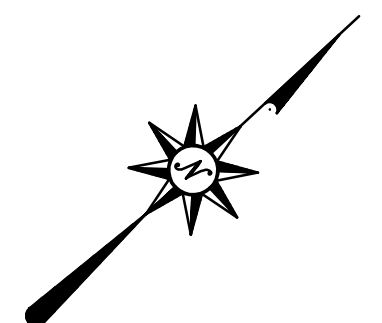
ADA DETAIL ENLARGEMENT 1
SCALE: AS NOTED



NORTHWEST RAMP ELEVATION
SCALE: AS NOTED



NORTHWEST RAMP ELEVATION
SCALE: AS NOTED



CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS NOTICE IN DESIGN STAGE.
STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

scale	As Noted
date	December 3rd, 2023
no.	22
of.	233

Sheet No.	C201
Project #	2040

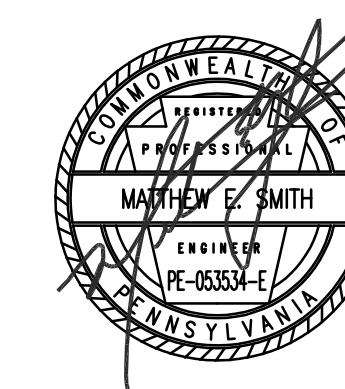
I:\Users\CK\AppData\Local\Temp\pds\pub\ah_2708921-142 - HACP - Northwest Hls - Base.dwg, Plotout: Nov 29, 2023, 5:01pm



Know what's below.
Call before you dig.
PA ONE CALL SERIAL No. 20212440672 AS PER CALL
FOR MAPS BY REF: CMM: GROUP SEPTEMBER 1st 2021



seal



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revisions

- 1 REVISED 2022/02/09
- 2 REVISED 2022/03/04
- 3 REVISED 2022/03/30

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Northview Heights Midrise
250 Penfort Street
Pittsburgh, PA 15214

drawing title

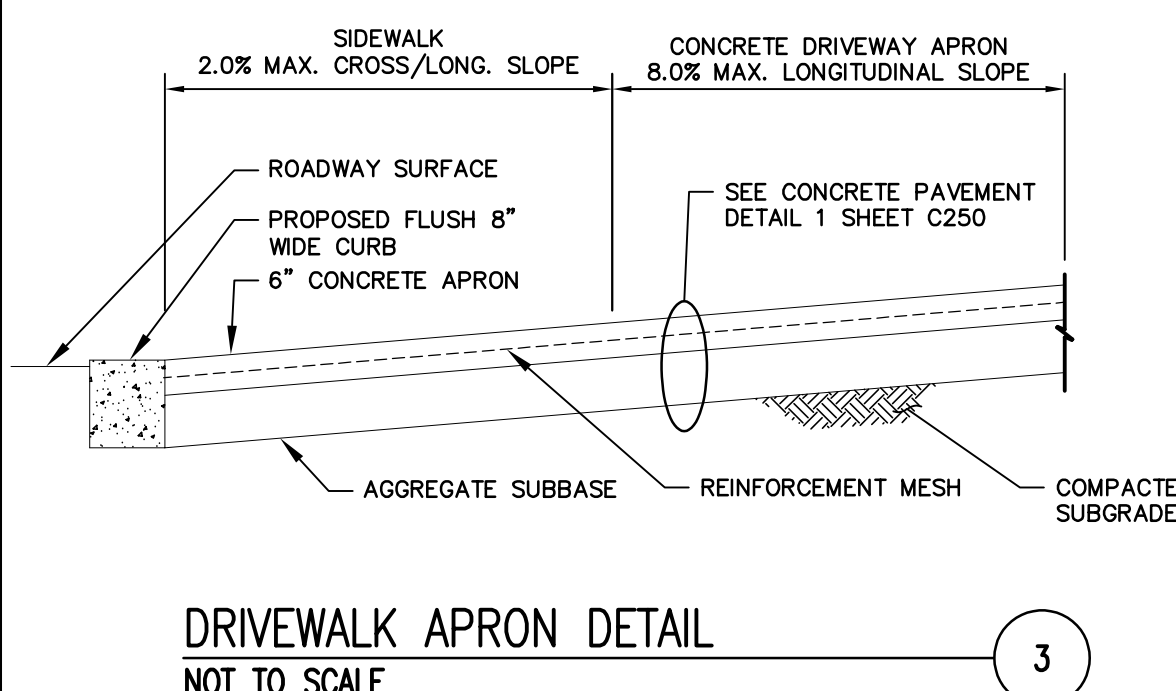
ENTRANCE ENLARGEMENT PLAN
SHEET 1 OF 2

ENTRANCE ENLARGEMENT KEYED NOTES

- 1 PROPOSED 6" CONCRETE CURB. SEE (5) C250
- 2 PROPOSED CONCRETE FLUSH CURB. SEE (6) C250
- 3 PROPOSED TYPE 1 CURB RAMP. SEE (2) C203
- 4 PROPOSED 12" TRENCH DRAIN. SEE (4) C452
- 5 PROPOSED FLUSH CURB TO 6" CURB TRANSITION. SEE (14) C250
- 6 PROPOSED DRIVEWAY APRON. SEE (3) C203
- 7 FLUSH CURB TO TRANSITION FROM 8" WIDE EXISTING TO 6" WIDE PROPOSED (TYP.)

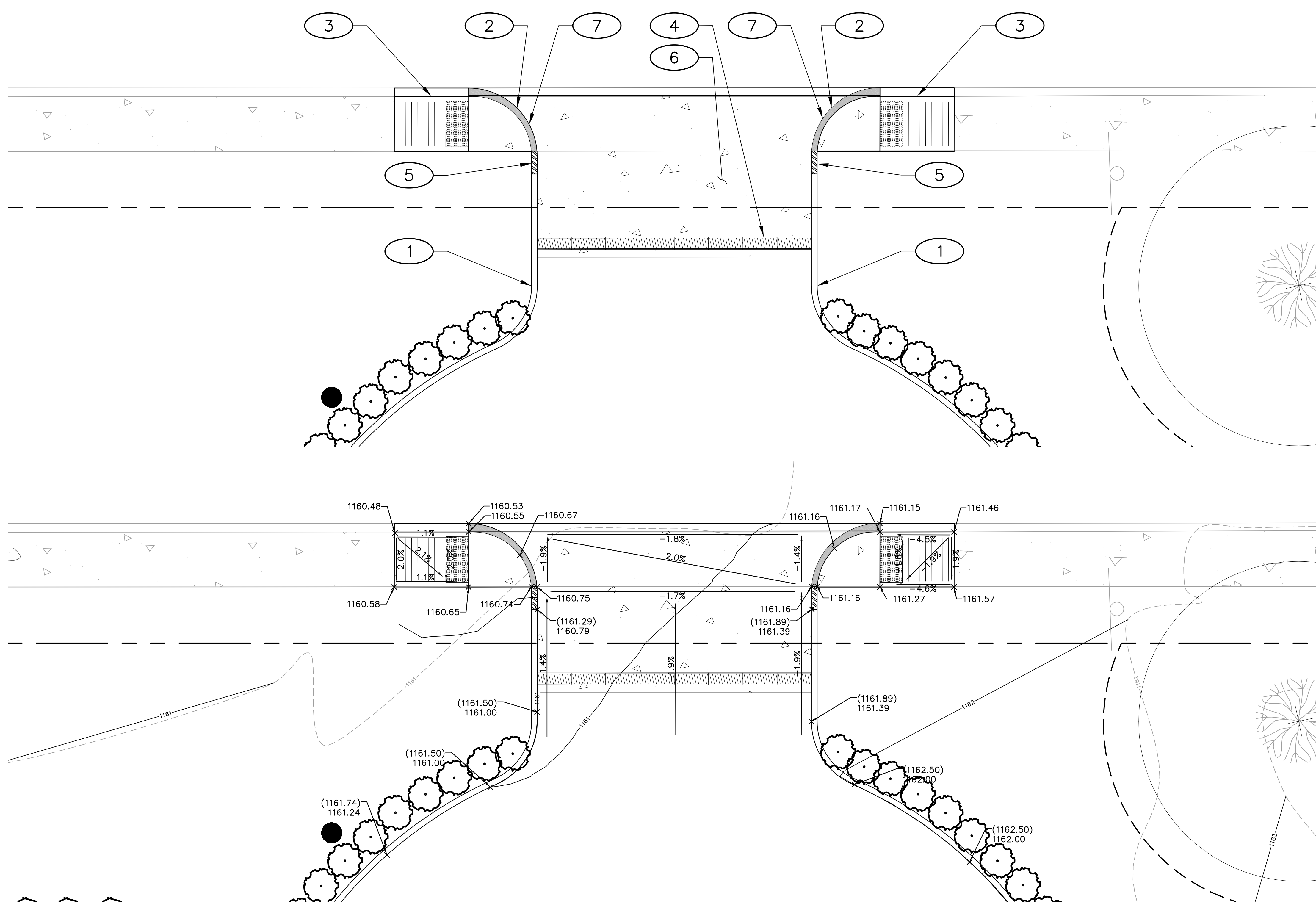
LEGEND

	EXISTING CONCRETE
	EXISTING 8" WIDE CURB
	PROPOSED CONCRETE FLUSH CURB
	PROPOSED CONCRETE 6" CURB
	12" TRENCH DRAIN
	TYPE 1 CURB RAMP

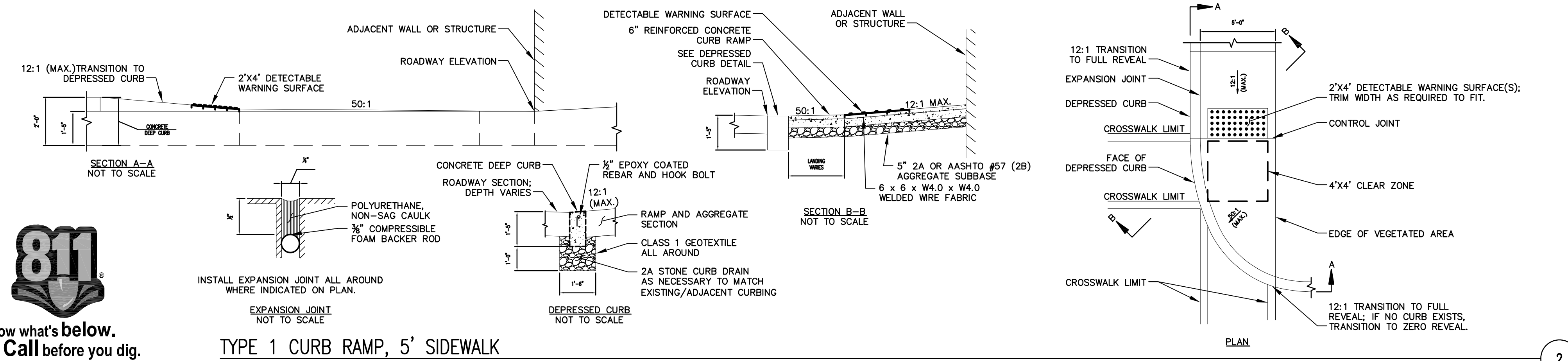


TYPE 1 CURB RAMP DETAIL NOTES:

- DETECTABLE WARNING SURFACE (DWS) TO BE CAST-IN-PLACE, REPLACEABLE, WET-SET; COLOR: FEDERAL YELLOW (33538) FOR ALL ZONES, PER ADA SOLUTIONS, INC. PART NO. 2436DPAV2 OR EQUAL.
- USE ONLY A CONCRETE COATING AND SEALER THAT IS CLEAR WHEN CURED.
- CONCRETE TO BE PENNDOT CLASS "AAA" AT BOTH CURB RAMP AND DWS PAD.
- INSTALL CURBS SEPARATELY FROM HANDICAP CURB RAMPS. MONOLITHIC POURS WILL NOT BE ACCEPTED.
- SLOPES GIVEN ARE THE MAXIMUM. RAMPS WILL NOT BE ACCEPTED IF THE MAXIMUM SLOPES ARE EXCEEDED.
- CLEAR ZONE MUST BE ENTIRELY WITHIN CROSSWALK LINES AND OUT OF TRAVEL LANES FOR RAMP TO BE COMPLIANT.
- THIS HANDICAP RAMP DETAIL IS A STANDARD FOR IDEAL SITE CONDITIONS. IF EXISTING SITE CONDITIONS DO NOT OTHERWISE ALLOW THE RAMP TO BE CONSTRUCTED AS DEPICTED IN THIS DRAWING, AND ALTERED VERSION CAN BE CONSTRUCTED, CONTINGENT UPON REVIEW AND APPROVAL OF TECHNICAL INFEASIBILITY FORM.

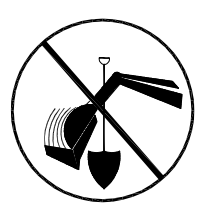
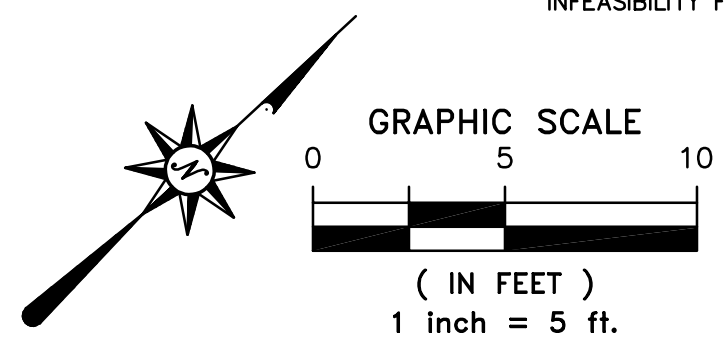


ADA DETAIL ENLARGEMENT 1
SCALE: AS NOTED



Know what's below.
Call before you dig.
PA ONE CALL SERIAL No. 2021240872 AS PER CALL FOR MAPS BY 811 SWING GROUP SEPTEMBER 1st 2021

TYPE 1 CURB RAMP, 5' SIDEWALK
NOT TO SCALE

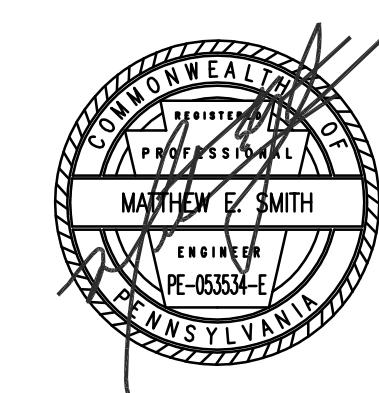


CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776

scale	As Noted	Sheet No.
date	December 10, 2021	
no.	24	C203
of.	233	
		Project #2040



seal



general notes

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revisions

project title

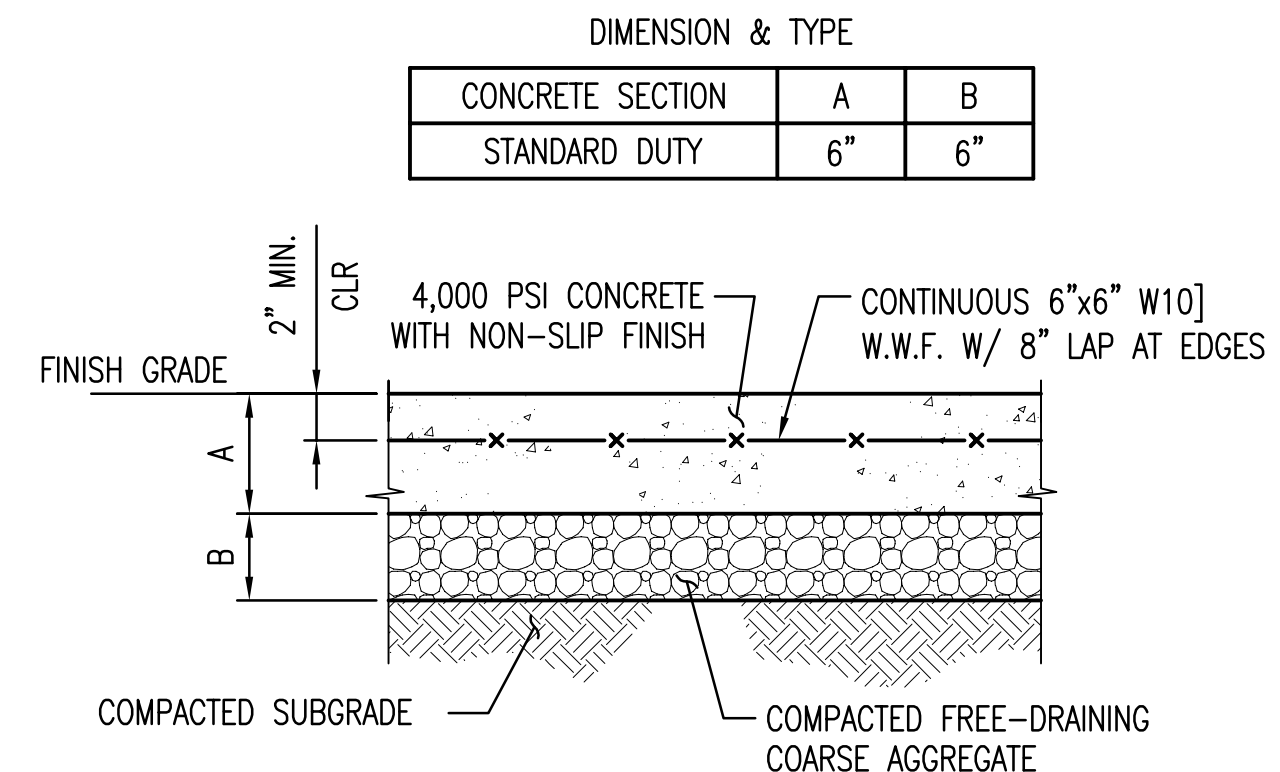
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

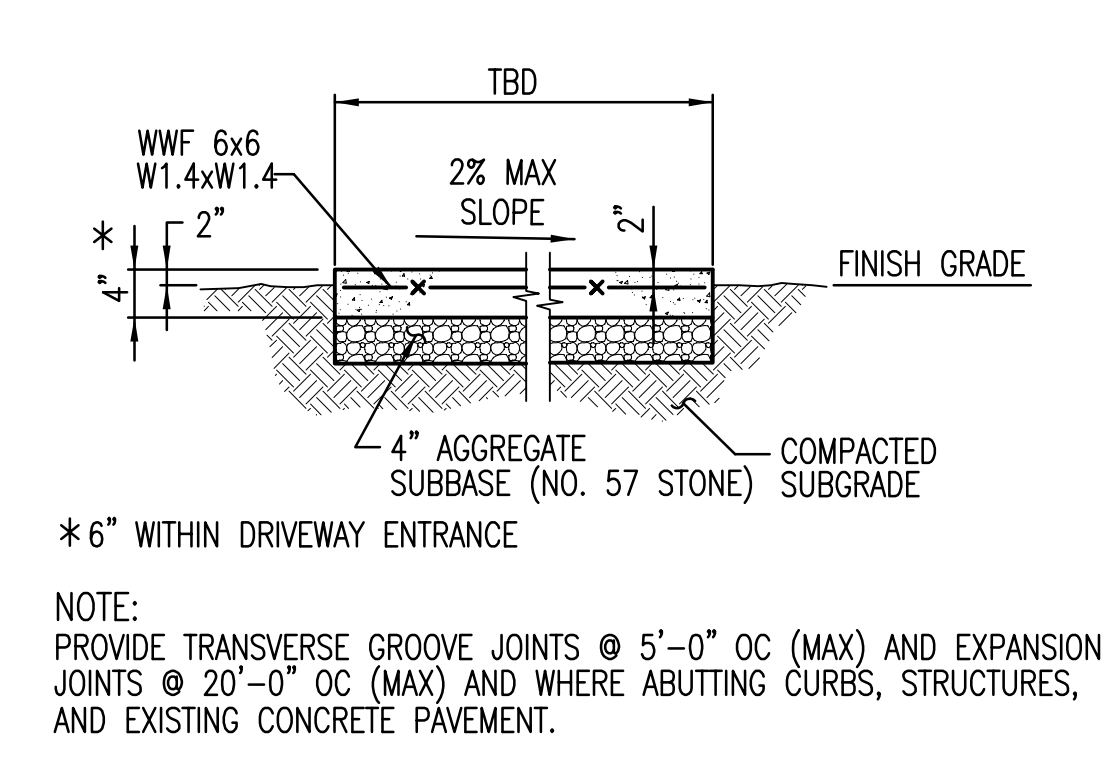
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

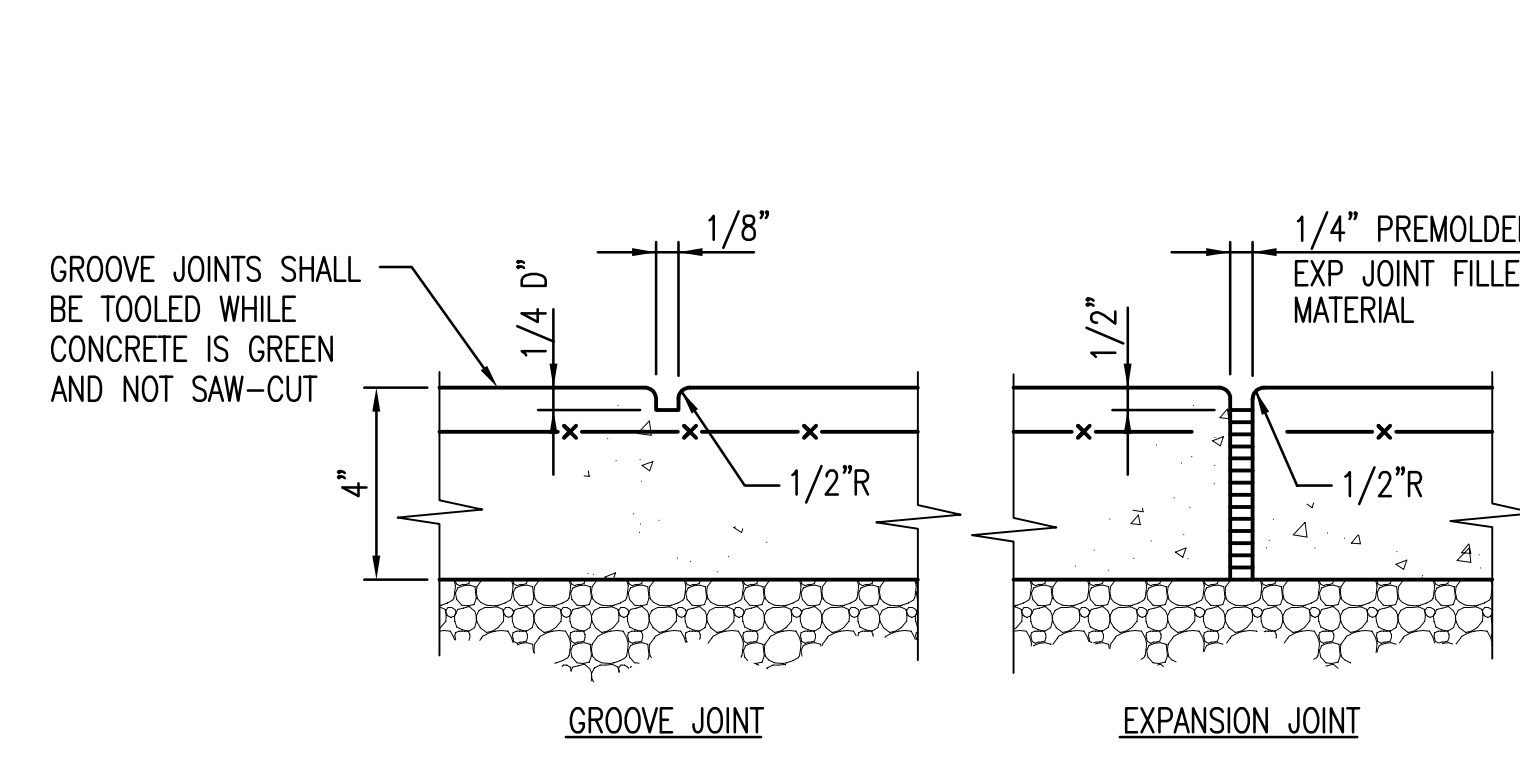
SITE DETAILS



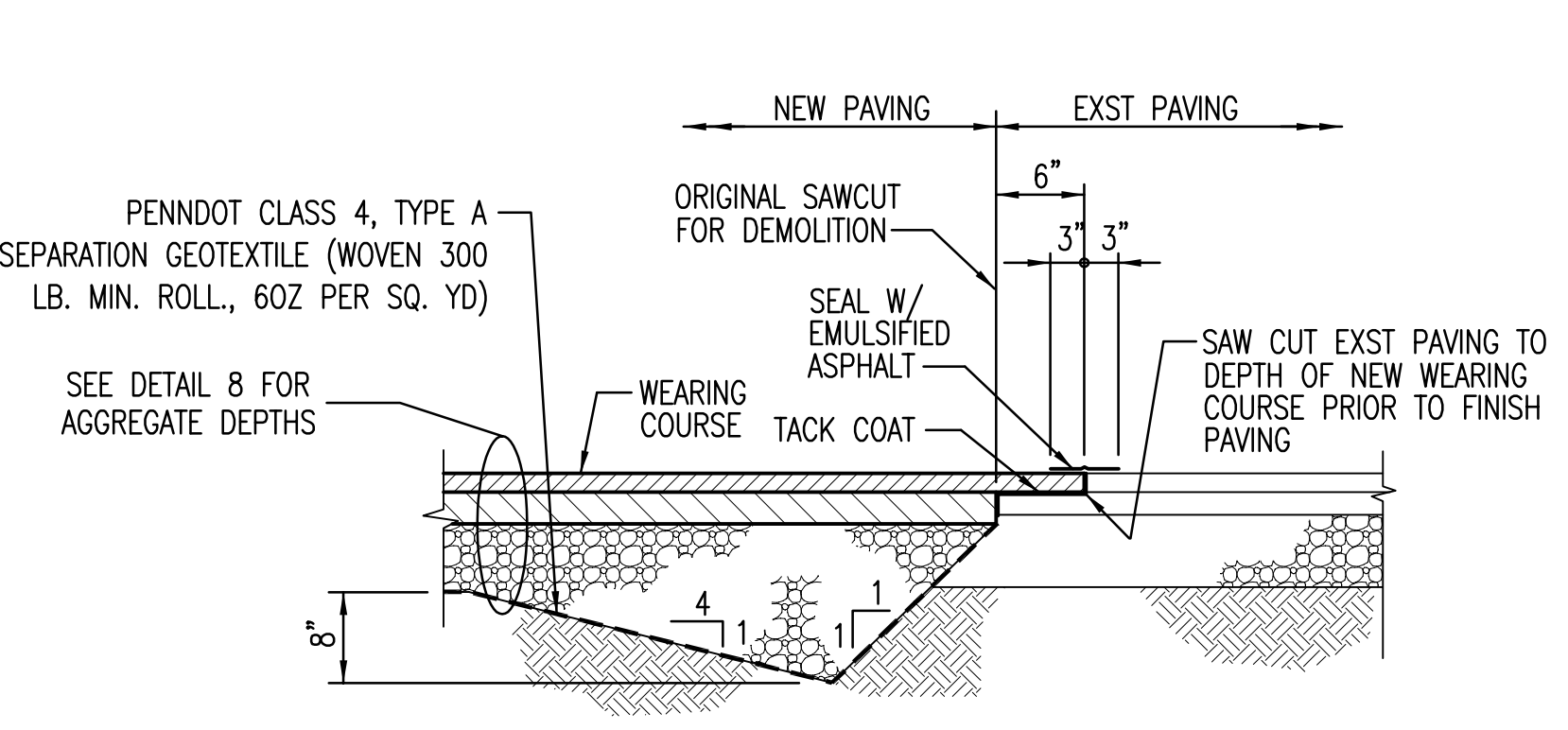
CONCRETE PAVEMENT
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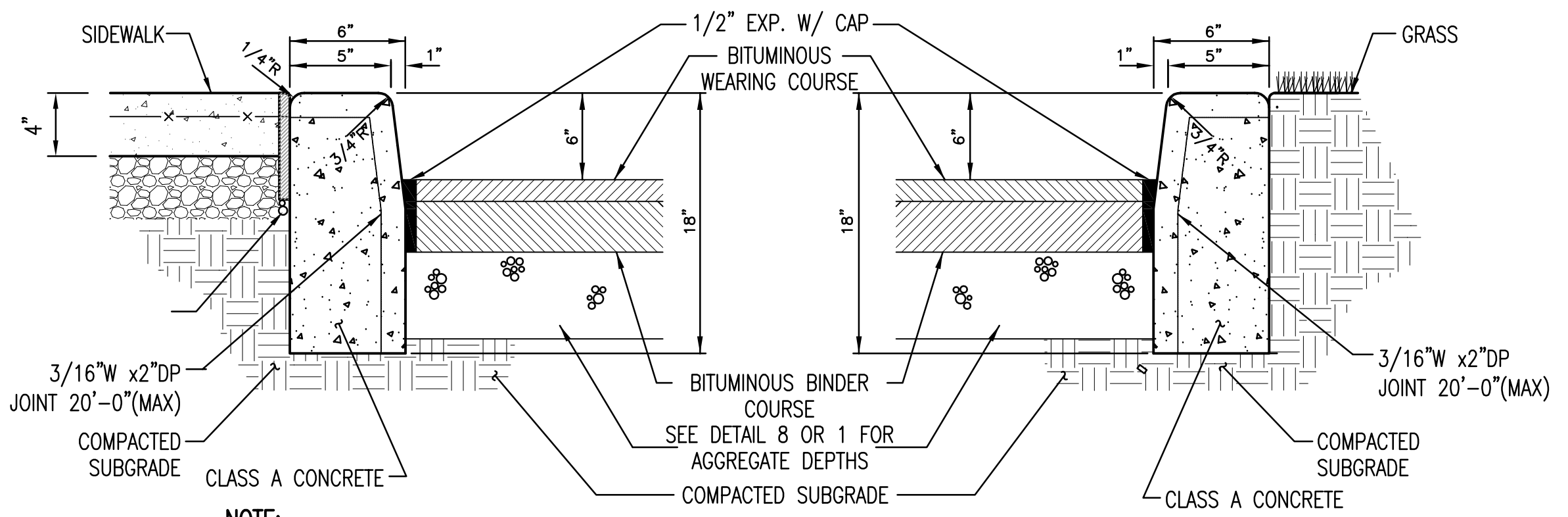
TYPICAL SIDEWALK
NOT TO SCALE



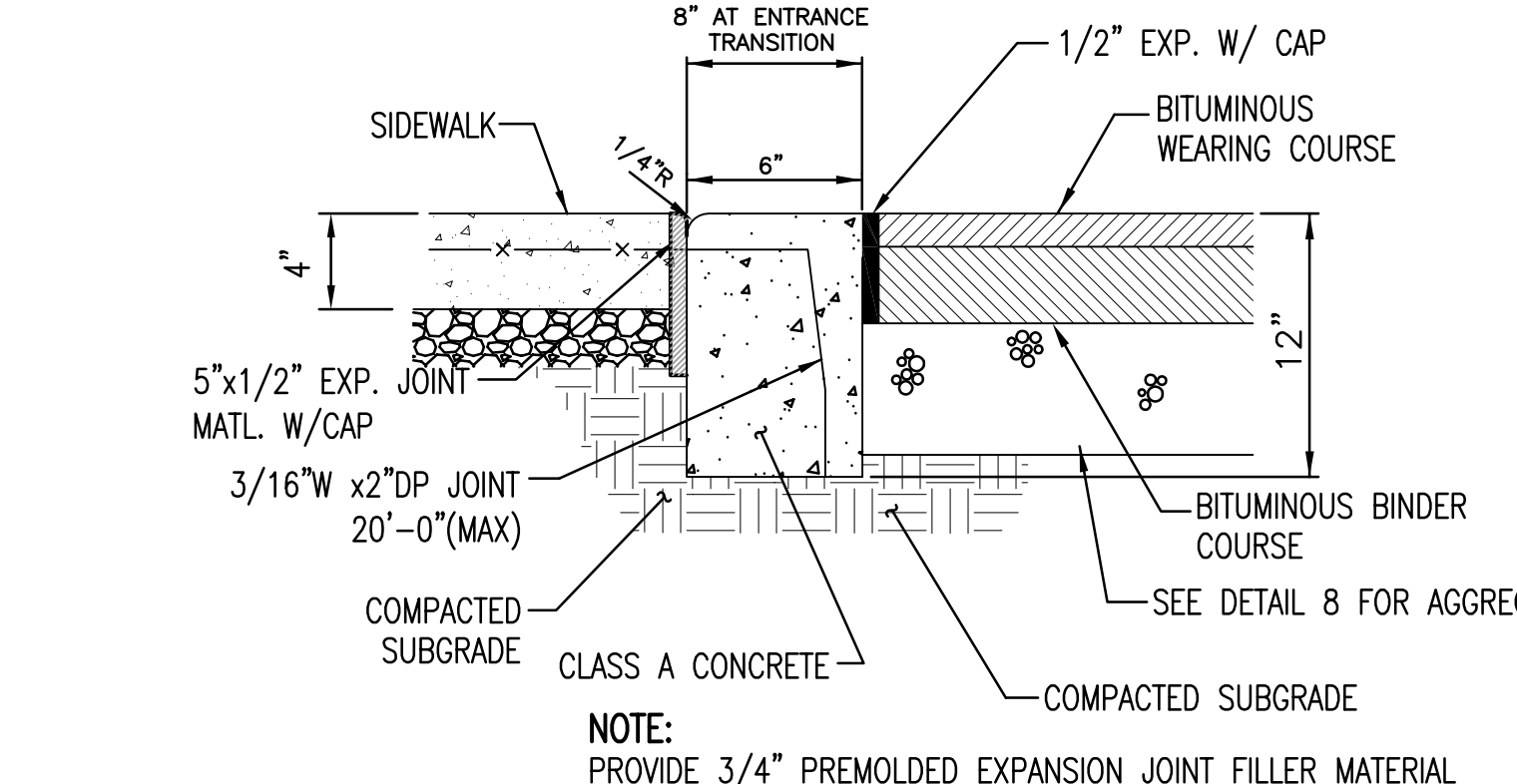
CONCRETE SIDEWALK JOINTS
NOT TO SCALE



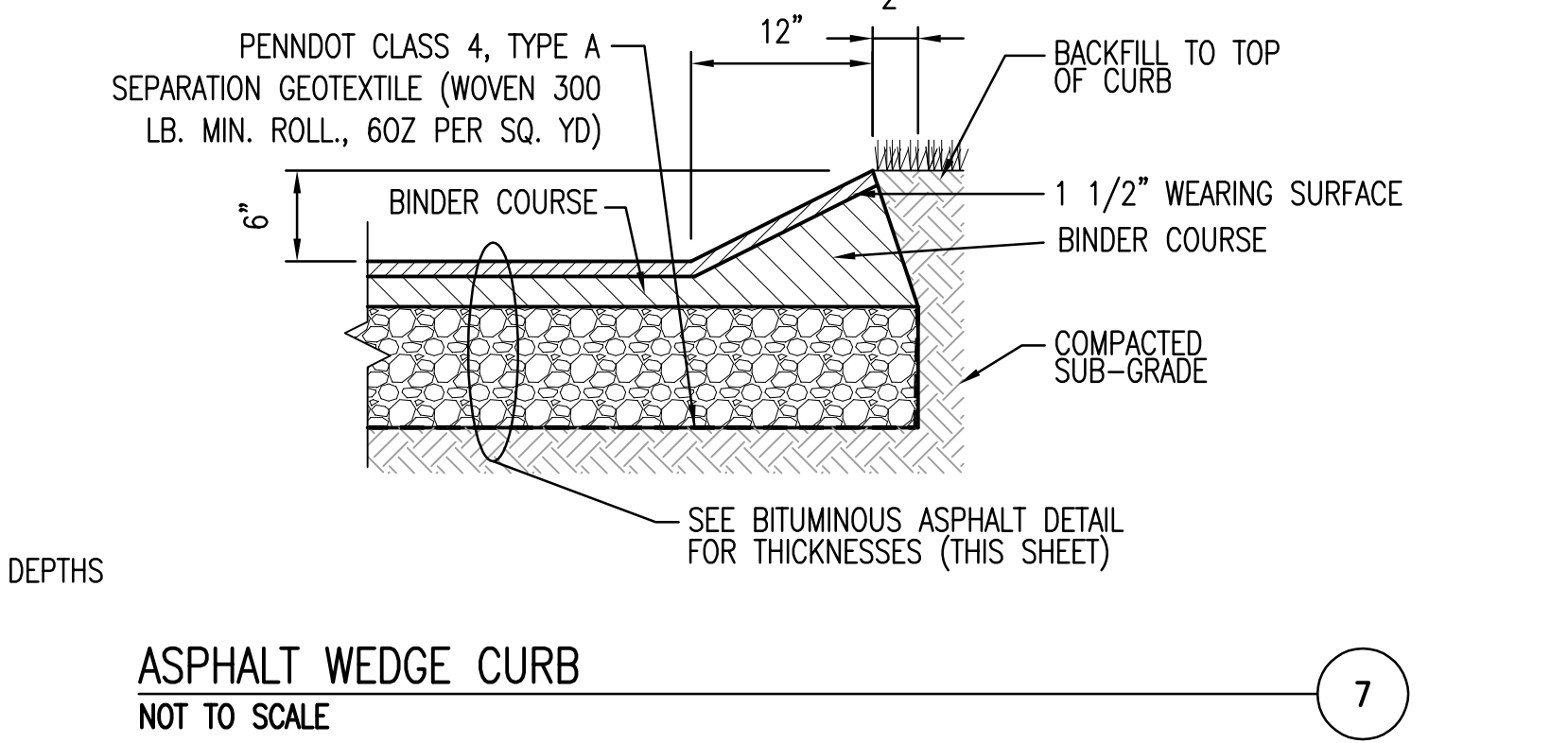
NEW/EXISTING PAVEMENT JOINT
NOT TO SCALE



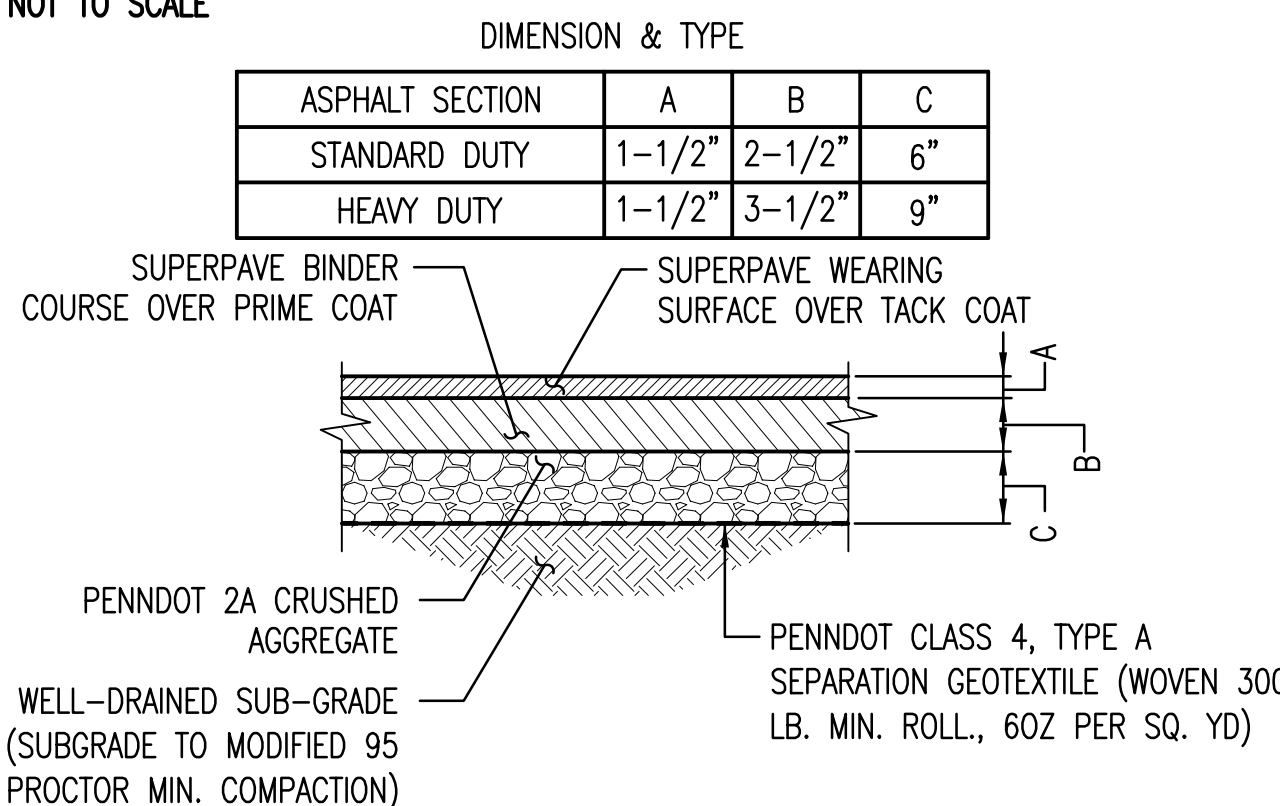
6" CONCRETE CURB DETAIL
NOT TO SCALE



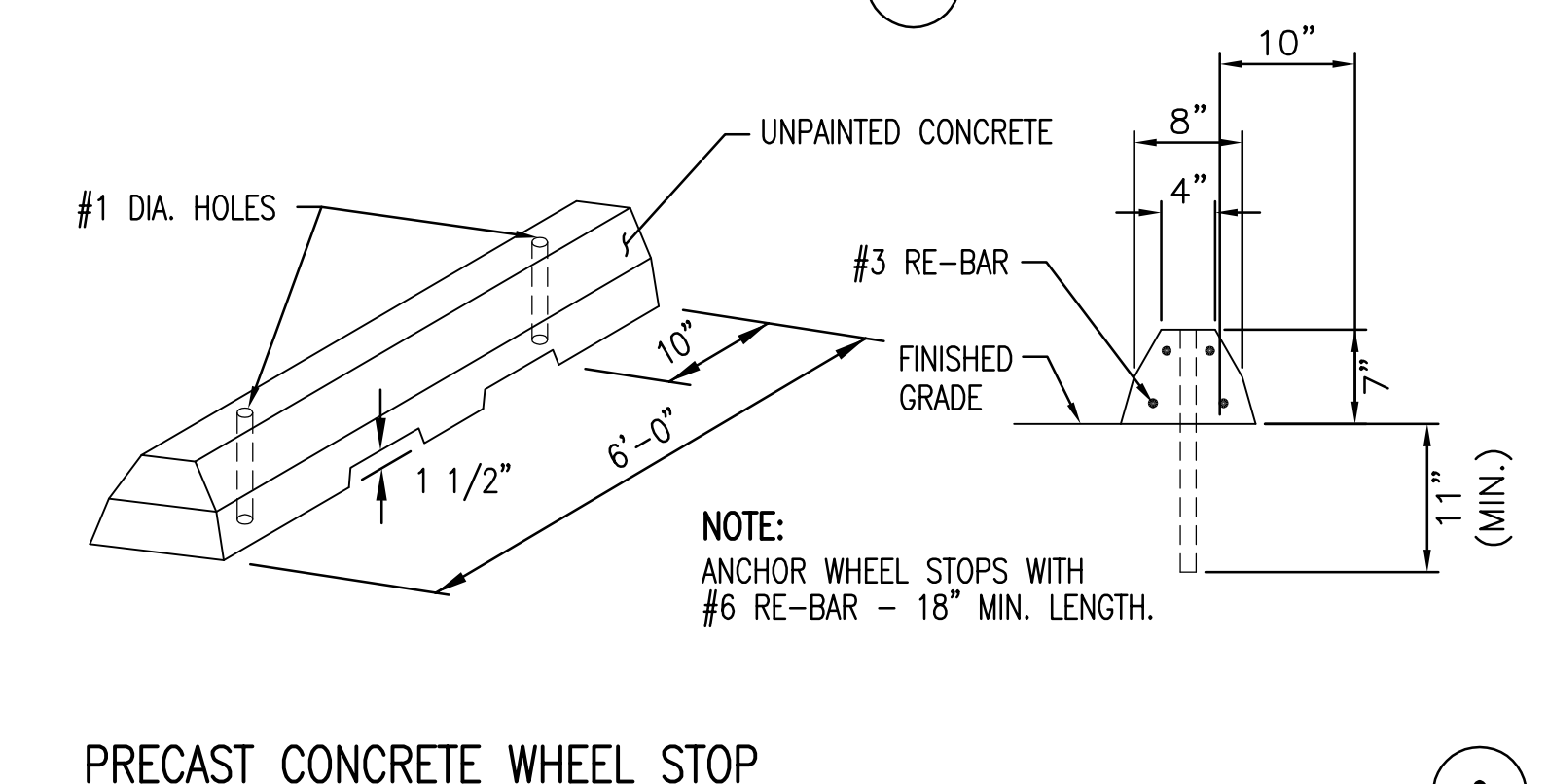
FLUSH CURB DETAIL
NOT TO SCALE



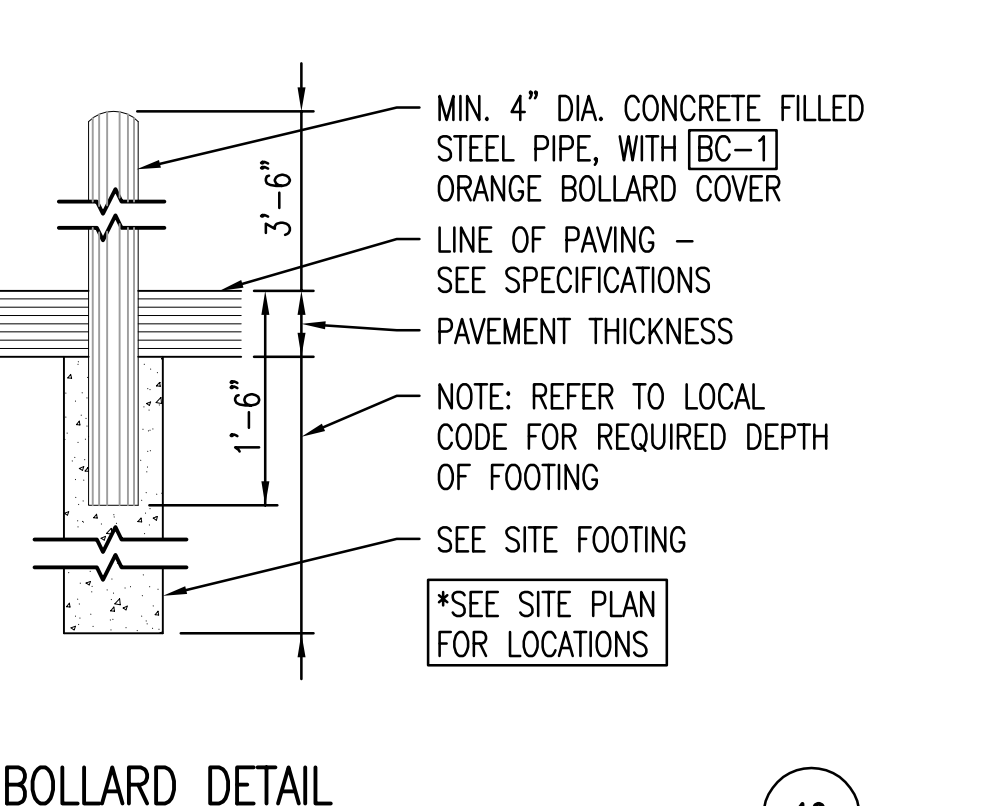
ASPHALT WEDGE CURB
NOT TO SCALE



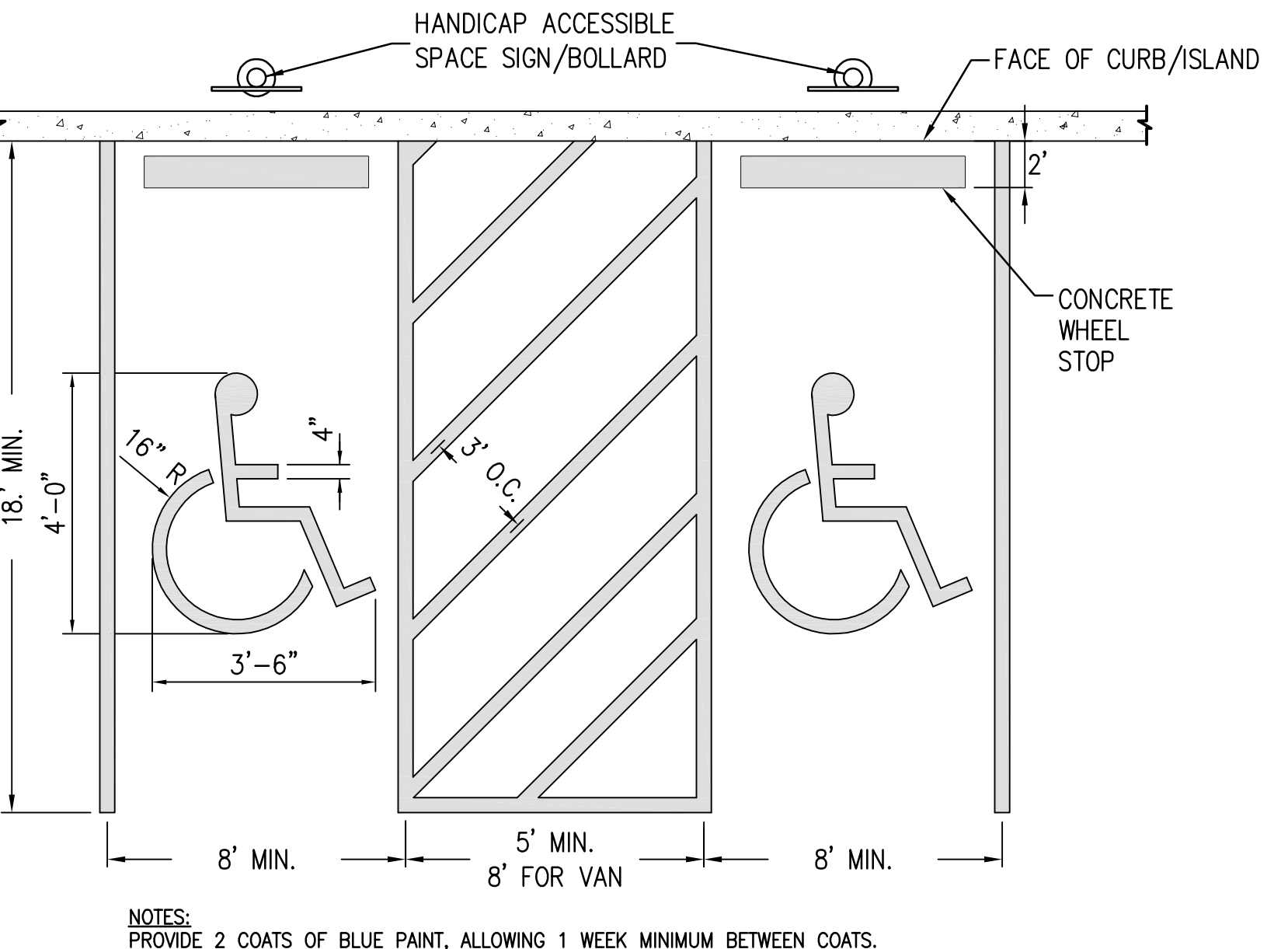
BITUMINOUS ASPHALT PAVEMENT
NOT TO SCALE



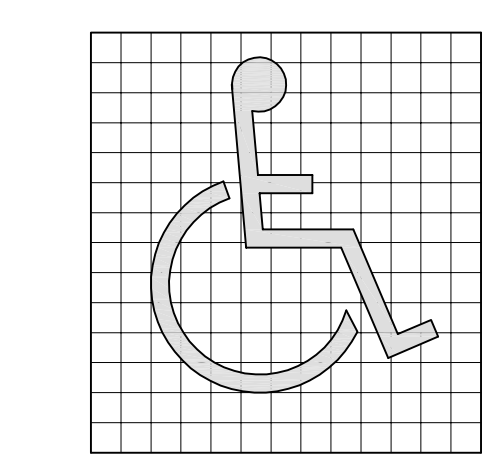
PRECAST CONCRETE WHEEL STOP
NOT TO SCALE



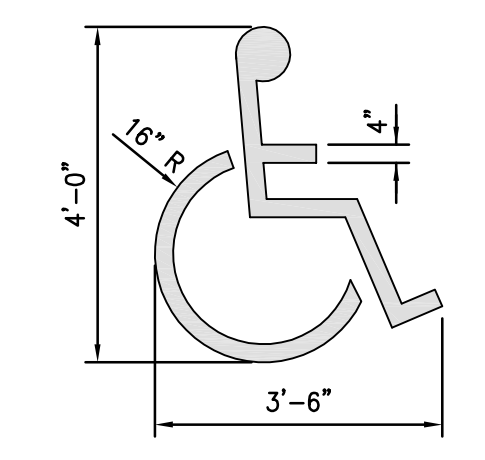
BOLLARD DETAIL
NOT TO SCALE



STANDARD ADA VAN PARKING LAYOUT
NOT TO SCALE



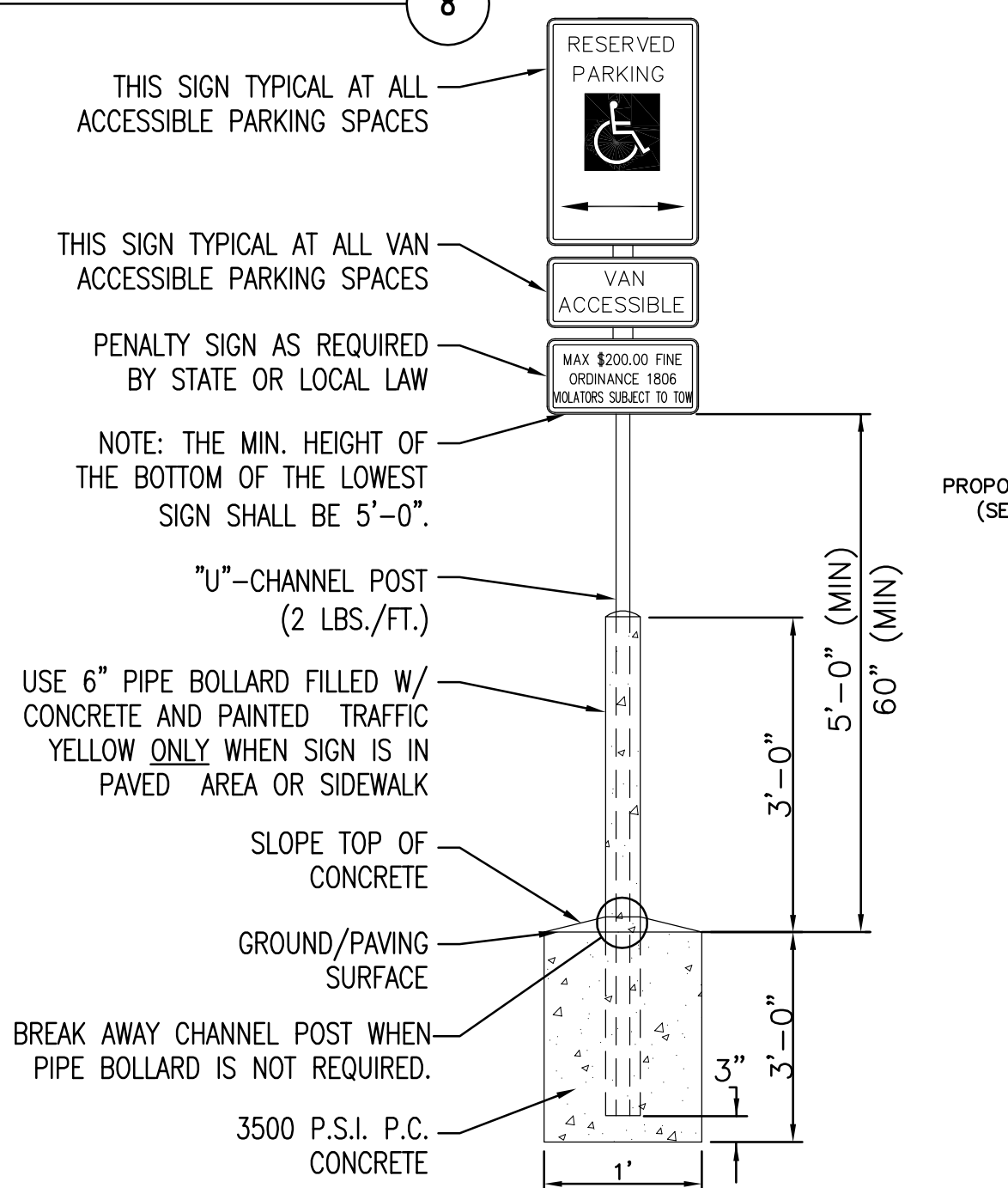
PROPORTIONING GUIDE



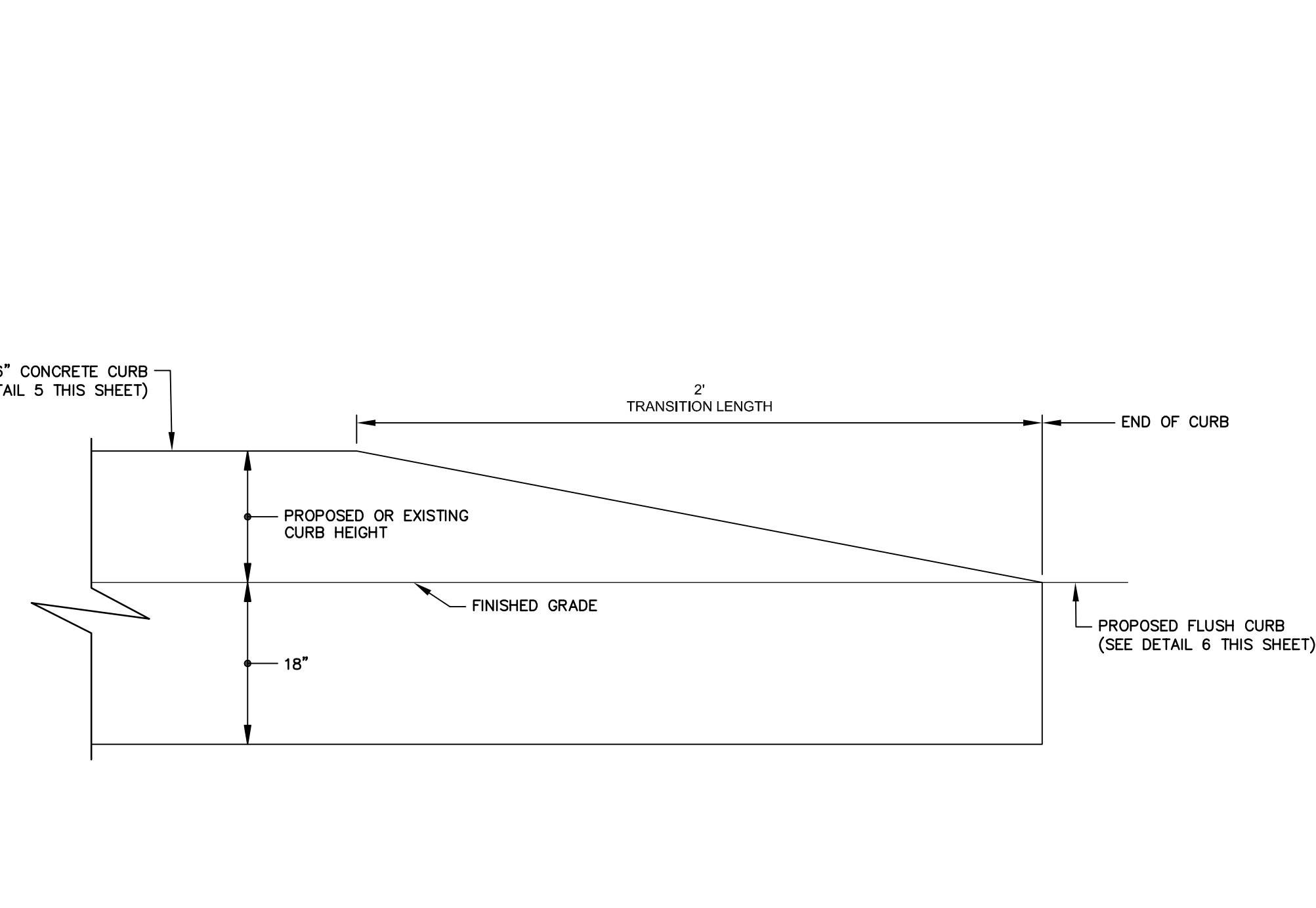
ACCESSIBILITY SYMBOL PAINTED ON PAVEMENT

NOTES:
PROVIDE 2 COATS OF BLUE PAINT, ALLOWING 1 WEEK MINIMUM BETWEEN COATS.

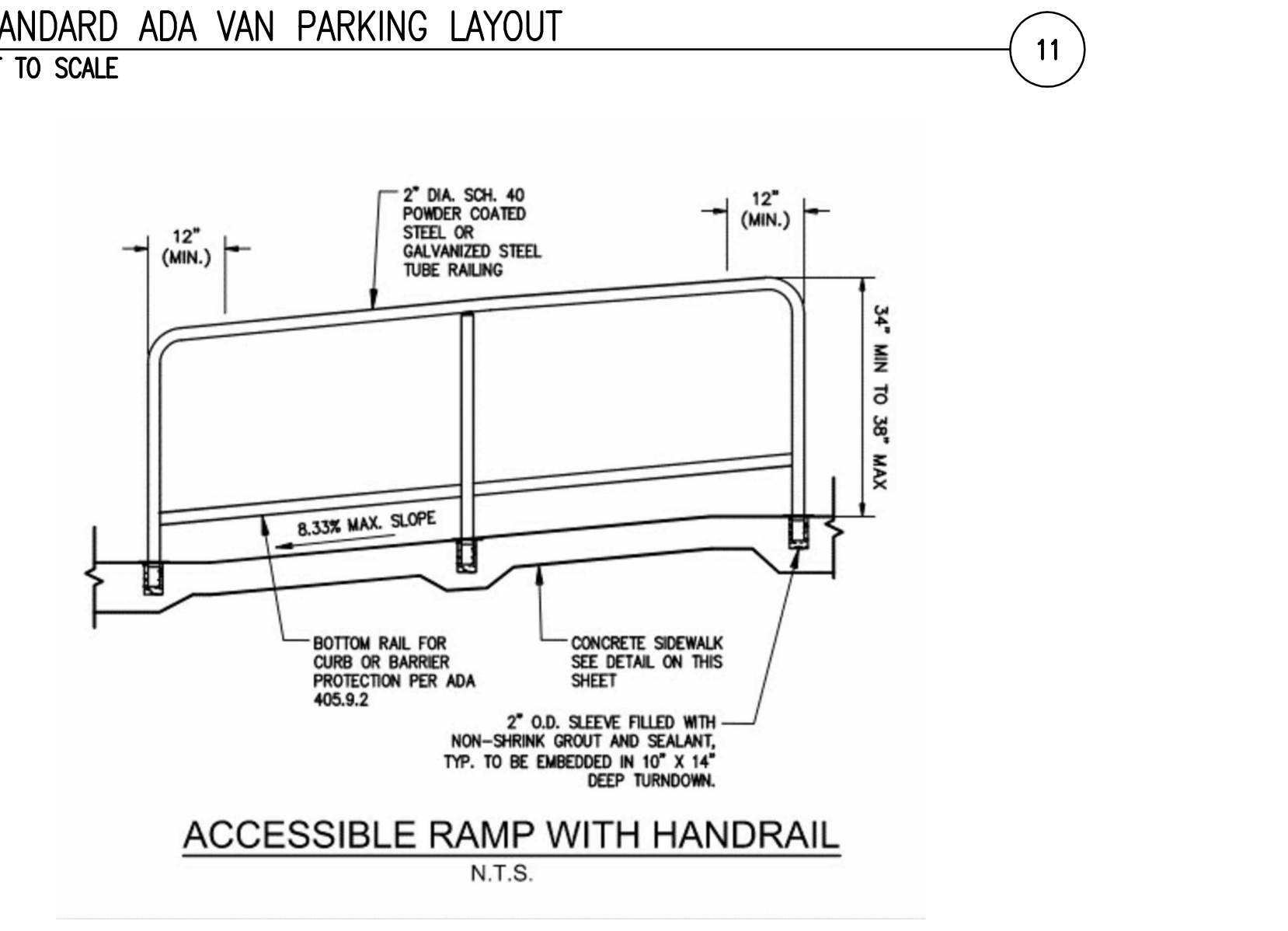
ACCESSIBLE SYMBOL
NOT TO SCALE



TYPICAL ACCESSIBILITY SIGN DETAIL
NOT TO SCALE

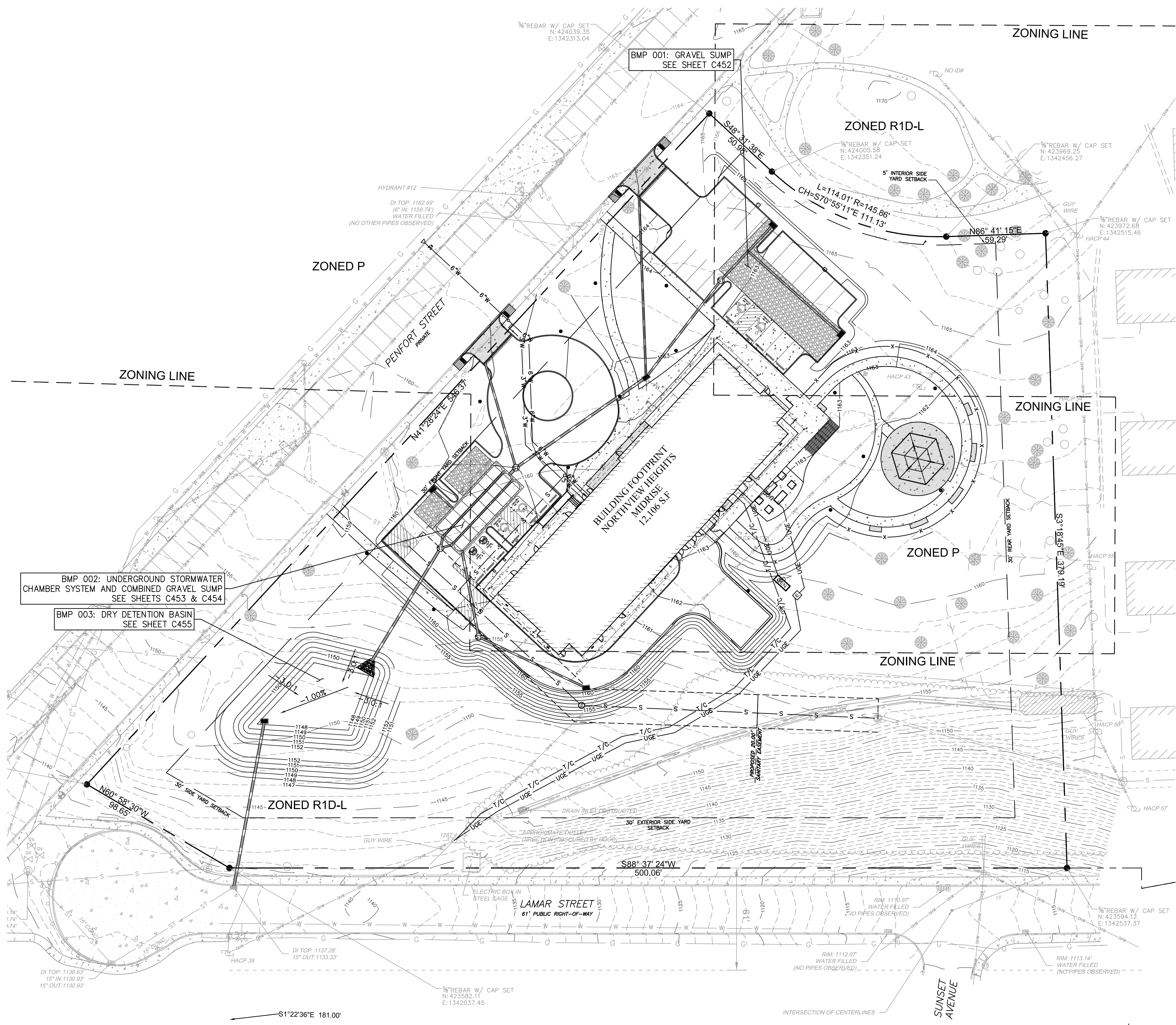


PLAIN CEMENT CONCRETE CURB - TRANSITIONS
NOT TO SCALE



SIDEWALK WITH HANDRAIL
NOT TO SCALE

I:\Users\CK\AppData\Local\Temp\pds\pds\2708921-1942 - HACP - Northview Hts - Base.dwg, Plot Date: Nov 29, 2023, 5:01 PM



LEGEND

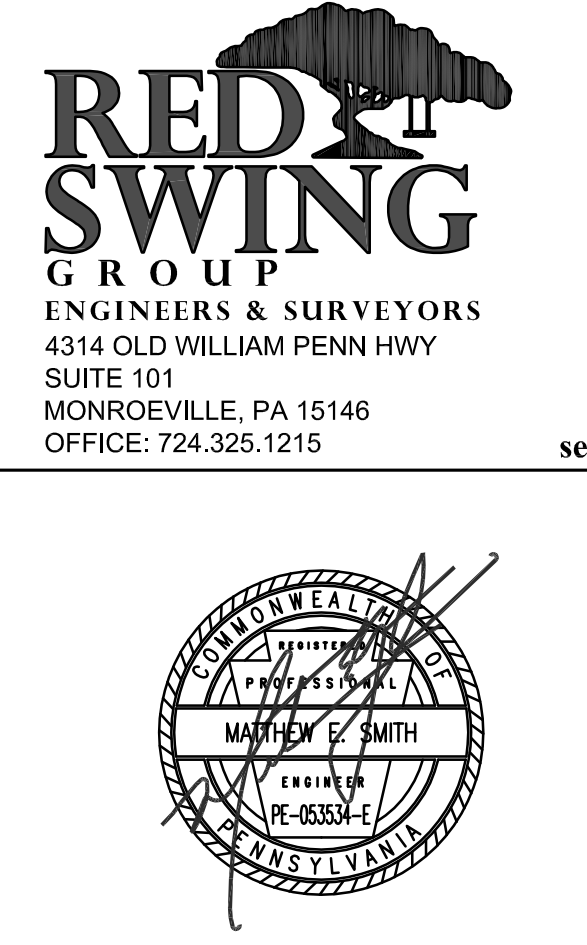
- PROPOSED UNDERGROUND STORMWATER DETENTION FACILITY
- EXISTING STORM PIPE
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
-
-
- PROPOSED SANITARY LINE
- PROPOSED ELECTRICAL TRANSFORMER
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- EXISTING MINOR/MAJOR CONTOURS
- PROPOSED MINOR/MAJOR CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

CUT/FILL TABLE

960 CU YD CUT
4,562 CU YD FILL
3,602 CU YD CUT/FILL

- ### NOTES:
- CUT/FILL QUANTITIES DO NOT INCLUDE CALCULATIONS OF MATERIAL DISPLACED BY UNDERGROUND STORMWATER MANAGEMENT SYSTEMS, UTILITIES AND TRENCHING, PAVING AND SUBBASE, BUILDING FOUNDATIONS, ETC. QUANTITY PROVIDED IS THE DIFFERENCE BETWEEN EXISTING GRADE AND FINAL GRADE ONLY.
 - PROPOSED SIDEWALKS, RAMPS, AND CURB RAMPS TO AND FROM R.O.W ON ENTIRE SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, UFAS, AND ANSI STANDARDS. MORE STRINGENT OF THE ACCESSIBILITY REQUIREMENTS ACROSS STANDARDS TO DICTATE CONSTRUCTION PRACTICES.
 - EXISTING SANITARY STRUCTURES TO BE RAISED OR LOWERED TO MEET PROPOSED GRADE.
 - FLUSH CURB TRANSITION TO MATCH EXISTING CURB REVEAL ON PENFORT STREET.
 - CONTRACTOR TO ENSURE PROPOSED CONCRETE AREAS WILL NOT CONTAIN TRIPPING HAZARDS INCLUDING UTILITY STRUCTURE LIDS, SLAB JOINTS, ETC...

Fukui Architects Pc
 205 Ross Street
 Pittsburgh, Pennsylvania 15219
 ph 412.281.6001 fx 412.281.6002
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revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

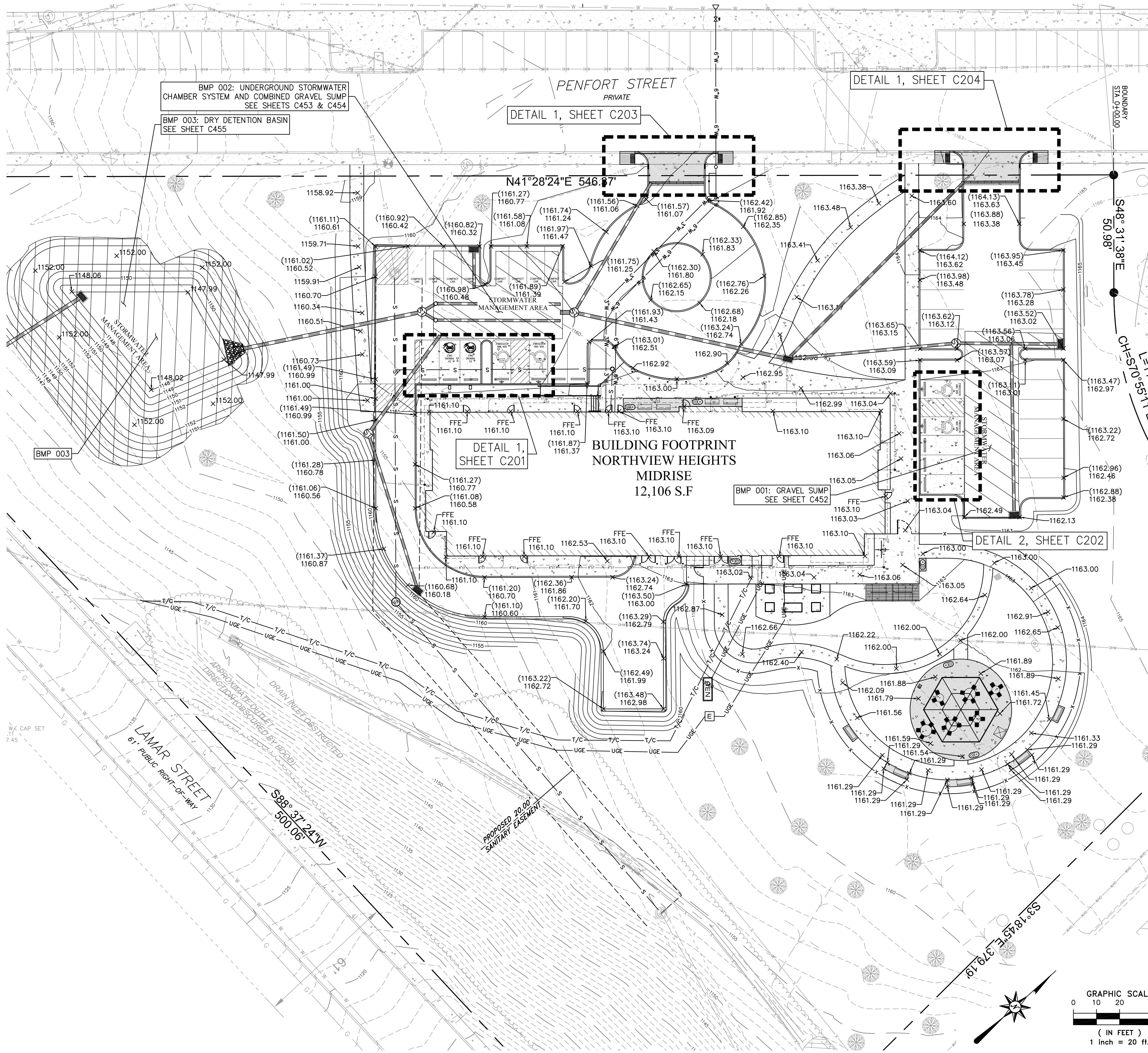
drawing title
OVERALL GRADING PLAN

PA ONE CALL SERIAL No. 20212440672 AS PER CALL FOR MAPS BY 811 CALL CENTER SERVICE PROVIDER 1st 2021

GRAPHIC SCALE
 0 15 30 60
 (IN FEET)
 1 inch = 30 ft.

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	27	C300
of.	233	
		Project #2040



LEGEND

- PROPOSED UNDERGROUND STORMWATER DETENTION FACILITY
- EXISTING STORM PIPE
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
-
-
- PROPOSED SANITARY LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- EXISTING MINOR/MAJOR CONTOURS
- PROPOSED MINOR/MAJOR CONTOURS
- EX: 895.25 EXISTING SPOT ELEVATION
- 895.25 PROPOSED SPOT ELEVATION

CUT/FILL TABLE

960 CU YD CUT
4,562 CU YD FILL
3,602 CU YD CUT/FILL

- ### NOTES:
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Fukui Architects Pc
 205 Ross Street
 Pittsburgh, Pennsylvania 15219
 ph 412.281.6001 fx 412.281.6002

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RED SWING GROUP
 ENGINEERS & SURVEYORS
 4314 OLD WILLIAM PENN HWY
 SUITE 101
 MONROEVILLE, PA 15146
 OFFICE: 724.325.1215

seal

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- ### revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title
GRADING ENLARGEMENT PLAN

Know what's below. Call before you dig.

PA ONE CALL SERIAL No. 20212440672 AS PER CALL FOR MAPS BY RED SWING GROUP SEPTEMBER 1st, 2021

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776

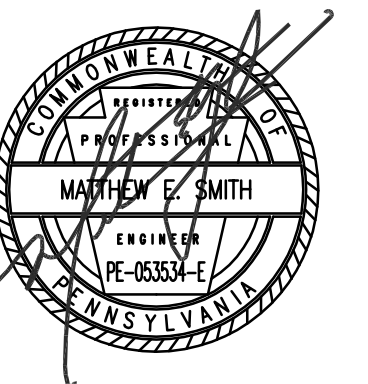
GRAPHIC SCALE

(IN FEET)
 1 inch = 20 ft.

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	28	C301
of.	233	
		Project #2040



seal



general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

**POST CONSTRUCTION
STORMWATER MANAGEMENT
PLAN**

scale
As Noted

date
December 3rd, 2023

no. of.
29 **233**

Sheet No.

C400

Project #2040

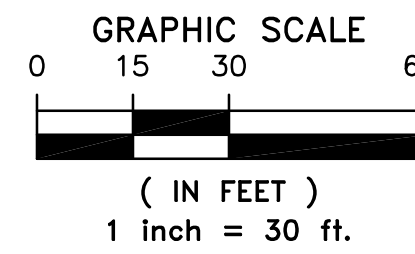
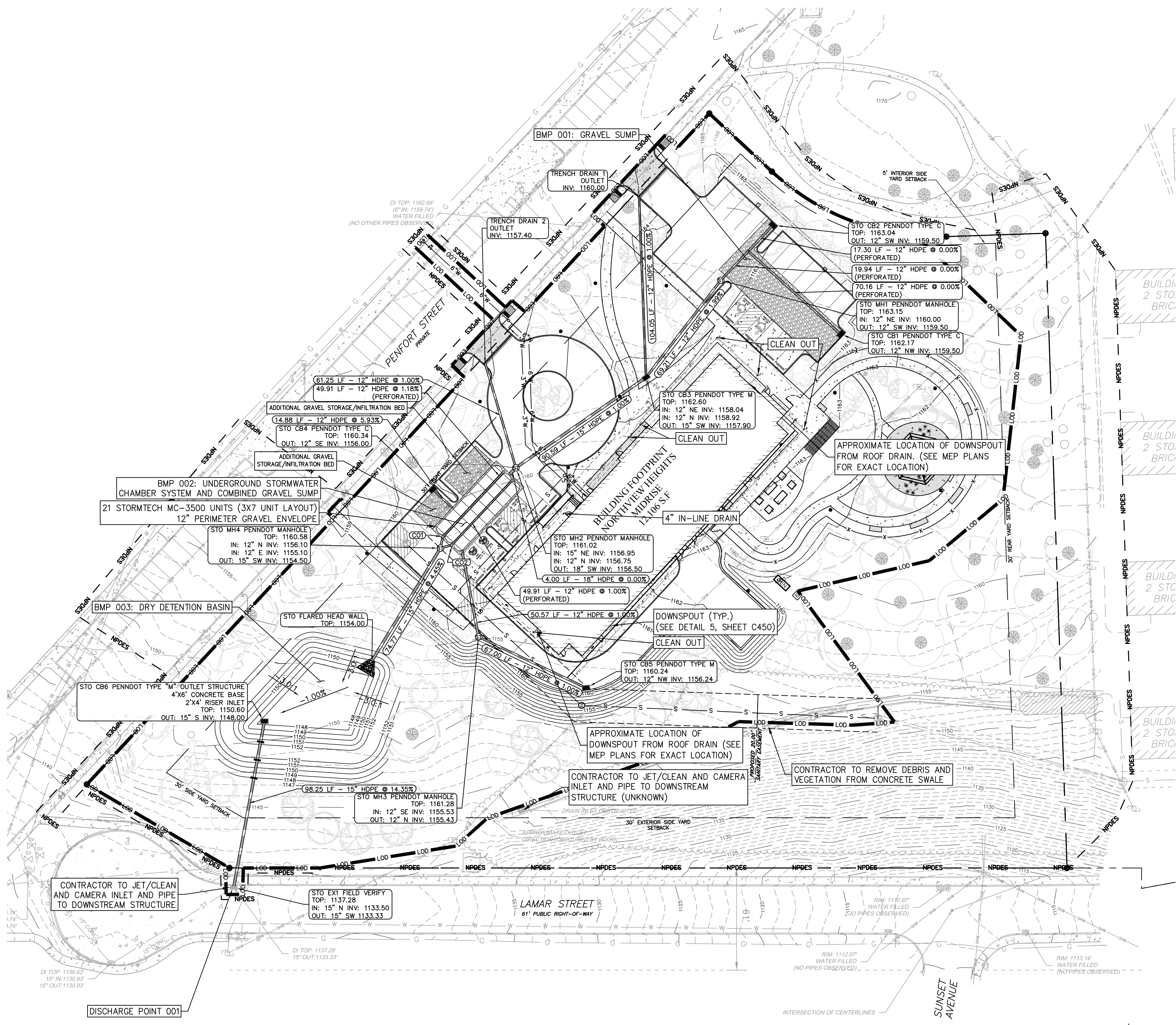
LEGEND

- LOD PROPOSED LIMIT OF DISTURBANCE
- NPDES EXISTING NPDES BOUNDARY
- PROPOSED GRAVEL SUMP WITH SUBSURFACE INFILTRATION BED
- PROPOSED UNDERGROUND STORMWATER CHAMBER SYSTEM AND COMBINED GRAVEL SUMP
- ST EXISTING STORM PIPE
- PROPOSED TRENCH DRAIN
- PROPOSED STORM PIPE
- ST PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING MINOR/MAJOR CONTOURS
- PROPOSED MINOR/MAJOR CONTOURS
- PROPOSED 8" STORM COLLECTION PIPE
- PROPOSED 6" STORM COLLECTION PIPE
- PROPOSED STORM COLLECTION PIPE
- PROPOSED TREES

- NOTES:
- PROPOSED STORM INLETS SHALL HAVE TRASH GUARD INSERTS INSTALLED.
 - UTILITY STRUCTURES (DRAINS, CLEAN-OUTS, PULL BOXES, ETC.) WITHIN ADA PATHWAYS TO HAVE ADA COMPLIANT LIDS

MATERIAL RECYCLING AND DISPOSAL NOTES

- MATERIAL RECYCLING AND DISPOSAL NOTES:**
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF BUILDING MATERIALS AND CONSTRUCTION WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE. THE FOLLOWING DEFINE WHAT SHOULD BE CONSIDERED "CONSTRUCTION WASTE" AND "CLEAN FILL":
 - A. CONSTRUCTION WASTE - INCLUDES BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.
 - B. CLEAN FILL - UNCONTAMINATED, NON-WATER-SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THIS INCLUDES SOIL, ROCK, STONE DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. IT DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE SURFACE WATERS UNLESS OTHERWISE AUTHORIZED, MILLED ASPHALT, OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.
 - PARTIES RESPONSIBLE FOR THE EXCAVATION OF SITE MATERIALS OR THE IMPORT OF FILL MATERIALS ARE RESPONSIBLE TO ENSURE THAT "ENVIRONMENTAL DUE DILIGENCE" IN THE DETERMINATION OF CLEAN FILL MATERIAL IS EITHER REMOVED FROM THE SITE OR USED AS FILL FOR THE SITE. MATERIAL IDENTIFIED AS HAZARDOUS MUST BE DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL GUIDELINES AND REGULATIONS.
 - A. ENVIRONMENTAL DUE DILIGENCE - INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
 - BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN ESCP APPROVED BY THE LOCAL CONSERVATION DISTRICT OF THE DEP, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS. THE OPERATOR SHALL ALSO NOTIFY THE LOCAL CONSERVATION DISTRICT IN WRITING OF RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
 - REMOVE DEMOLITION MATERIALS TO A SUITABLE DISPOSAL SITE IN A RESPONSIBLE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF EXCESS MATERIAL OFF-SITE TO AN APPROVED FACILITY (AS PER NOTE 8, AND SEE NOTE 7 FOR THE DEFINITION OF CONSTRUCTION WASTES).

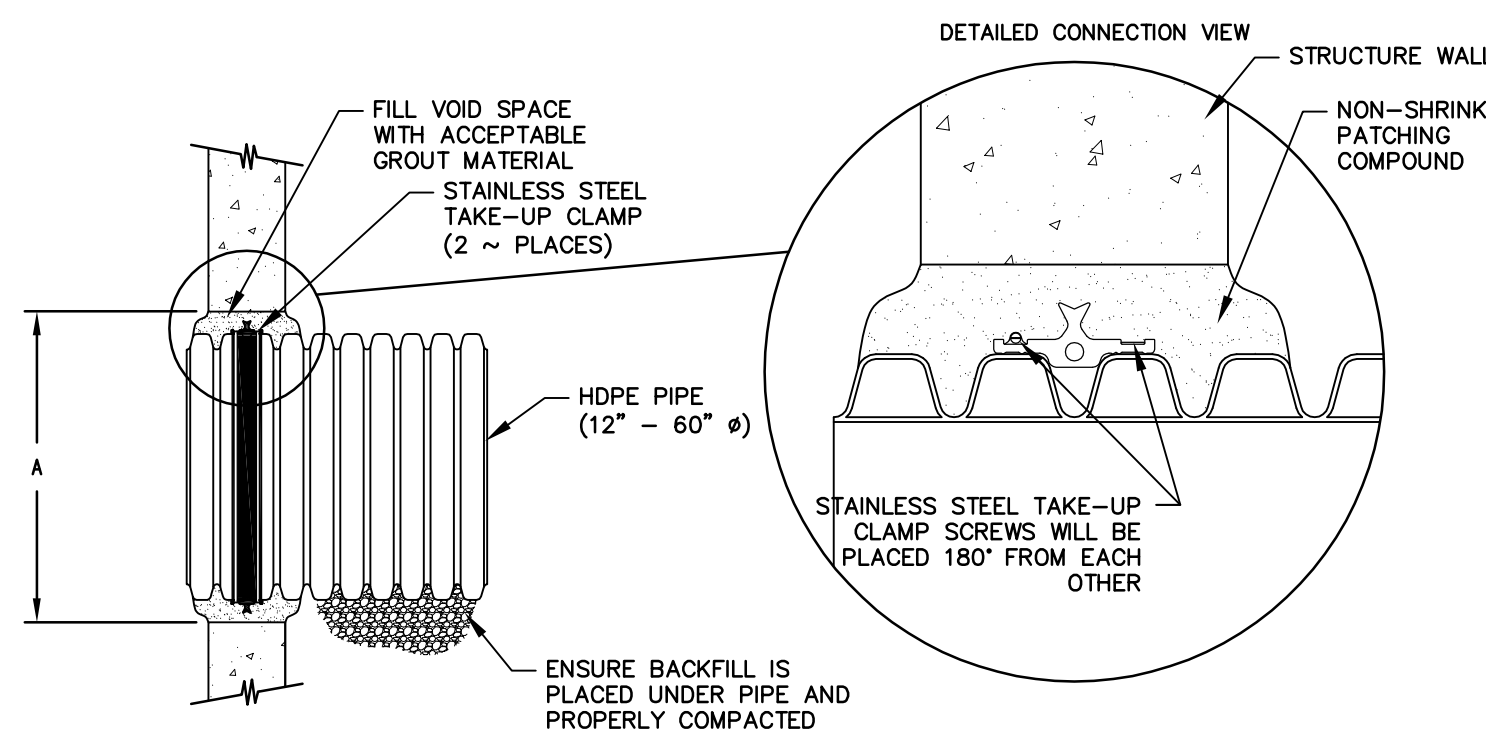


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PENNSYLVANIA LAW REQUIRES
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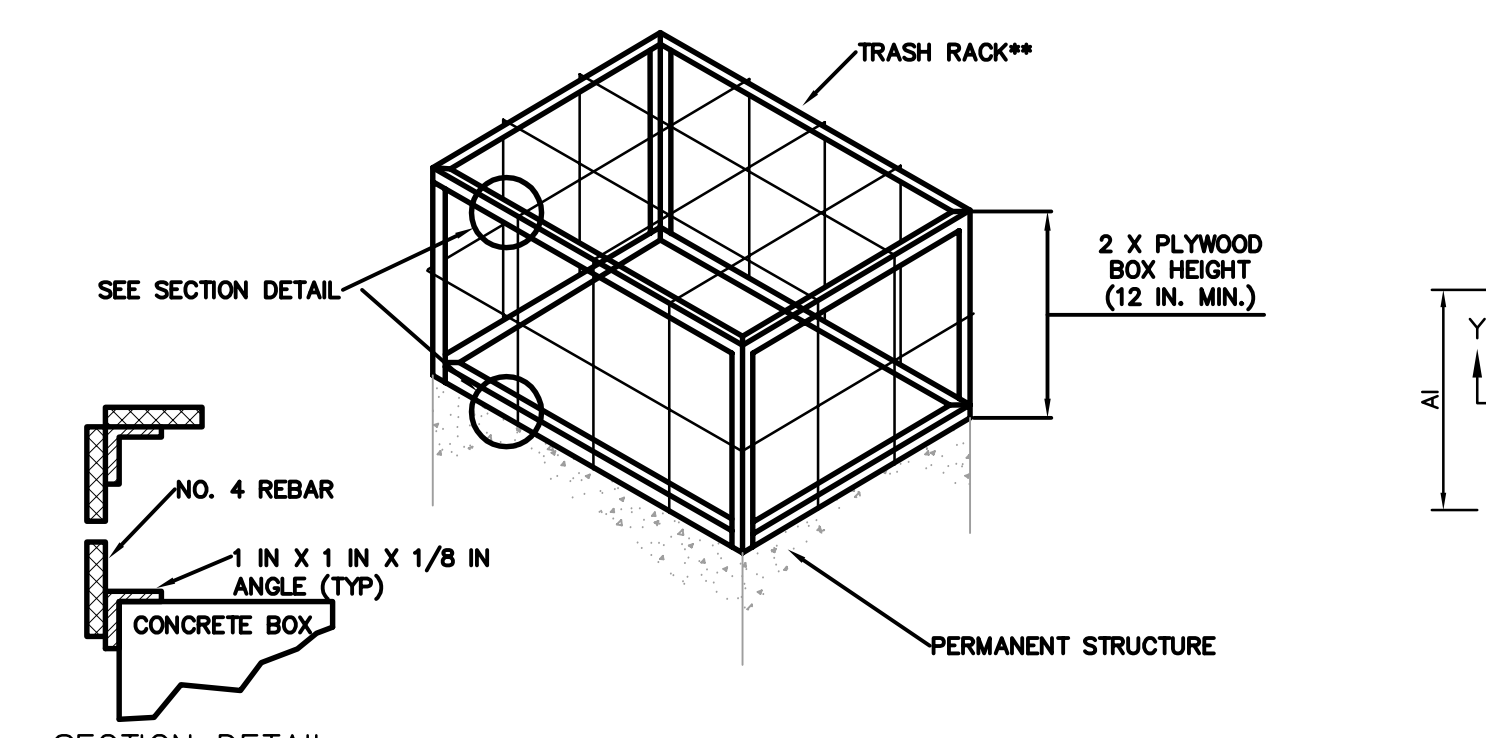
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PIPE SIZE	PIPE OD		MIN. DISTANCE PIPE INVERT TO STRUCTURE
	A-PROFILE	H-PROFILE	
12"	14.5"	N/A	19.5"
15"	17.6"	N/A	23.00"
18"	21.2"	N/A	26.50"
24"	27.8"	N/A	33.25"
30"	35.1"	N/A	40.50"
36"	41.1"	41.1"	47.00"
42"	47.7"	48.0"	53.00"
48"	53.6"	54.0"	59.00"
60"	66.3"	67.3"	72.00"

NOTES:
 PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST ENSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND STRUCTURE.
 SEE STANDARD DETAIL WATERSTOP INSTALLATION FOR INSTALLATION RECOMMENDATIONS.
 FOLLOW MANUFACTURE SPECIFICATION IF VARIES FROM THOSE PROVIDED.

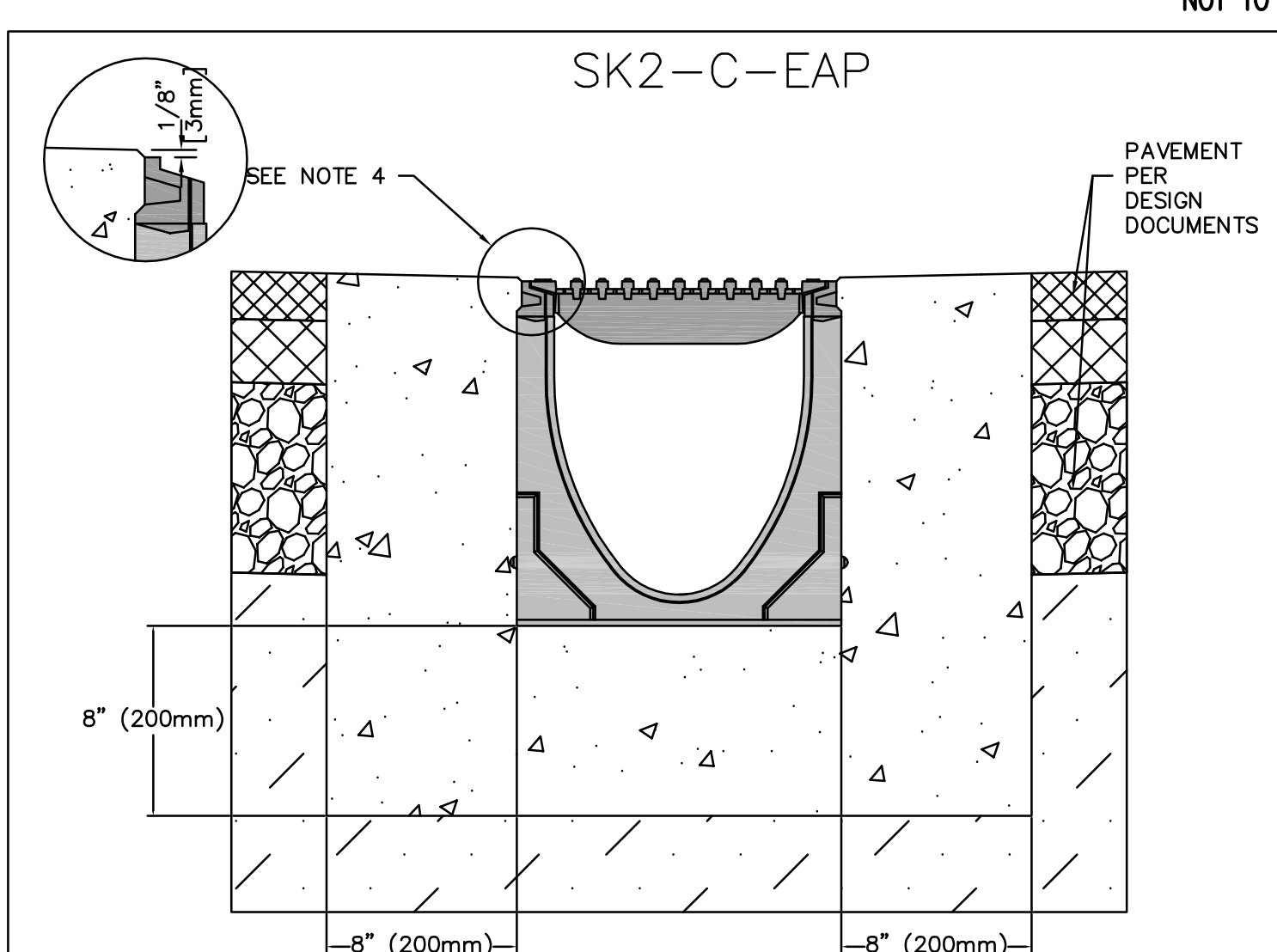
12" - 60" HDPE WATERSTOP GROUDED STRUCTURE CONNECTION
NOT TO SCALE



* 3/4 IN. PRESSURE TREATED PLYWOOD BOX WITH 2 IN. X 2 IN. PRESSURE TREATED CORNER SUPPORTS, SET INTO 1-1/2 IN. GRATE OFFSETS, CAULK ALL SEAMS TO FORM WATERTIGHT SEALS.
 ** TRASH RACK COMPOSED OF 1 IN. X 1 IN. X 1/8 IN. L. (TYP.) AND #4 BARS (TYP.) WELDED TO THE ANGLES AND AT EACH INTERSECTION OF THE BARS; #4 BARS SPACED AT HALF THE DIAMETER OF THE BARREL MAX.

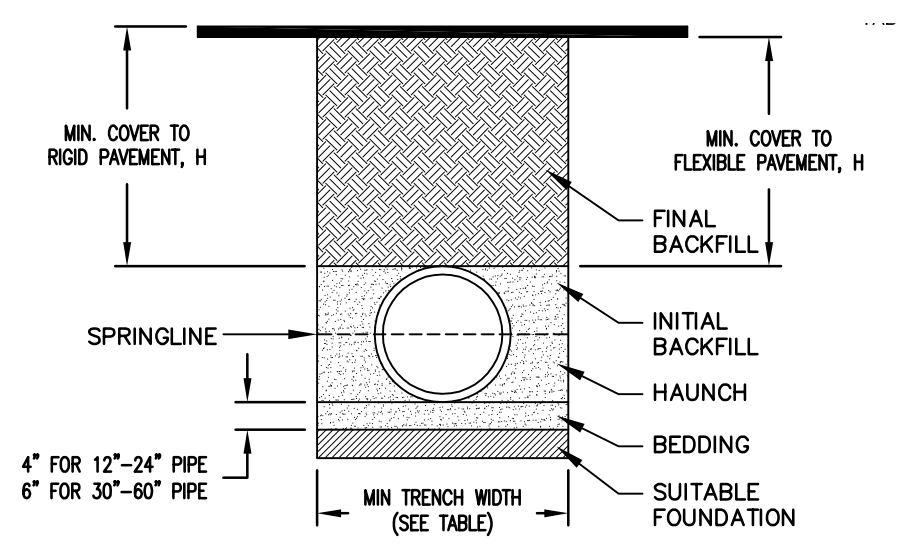
NOTES:
 BOX SHALL BE BOLTED, STRAPPED, OR OTHERWISE SECURED TO THE PERMANENT RISER.
 ALL JOINTS SHALL BE WATER TIGHT.
 CLOGGED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.

STANDARD CONSTRUCTION DETAIL #7-10 TRASH RACK FOR PERMANENT STRUCTURE
NOT TO SCALE



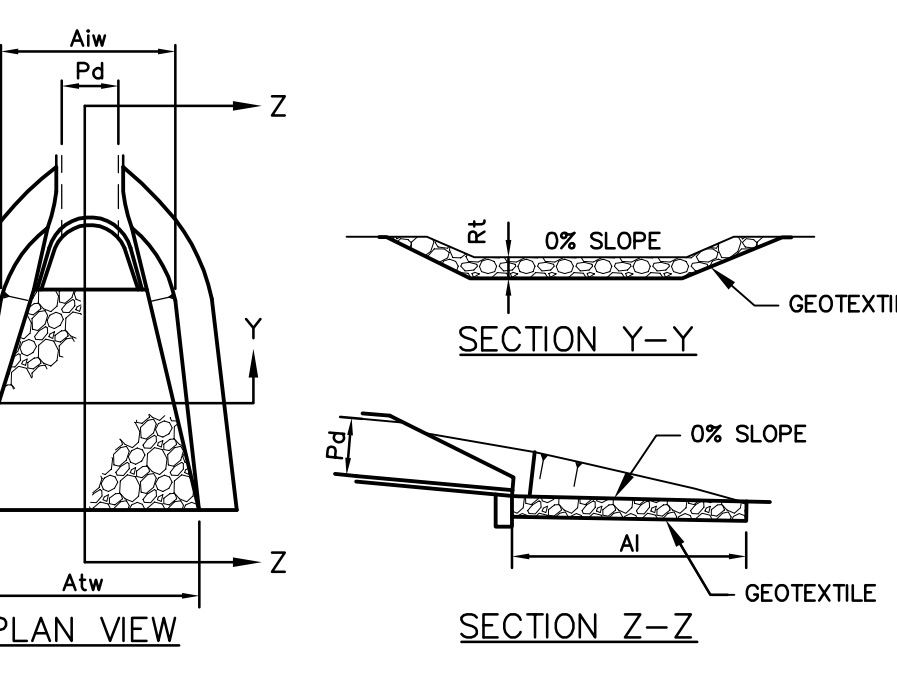
NOTES:
 1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
 2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
 4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
 5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
 6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

TRENCH DRAIN DETAIL
NOT TO SCALE



NOTES:
 1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321, CLASS IVB MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
 2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" (300mm-600mm) DIAMETER PIPE, 6" (150mm) FOR 30"-60" (750mm-1500mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
 5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
 6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTTATION. FOR TRAFFIC APPLICATIONS, CLASS I OR II MATERIAL COMPACTED TO 90% SPD AND CLASS III COMPACTED TO 95% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" (300mm) UP TO 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 7. FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

HP STORM TRENCH INSTALLATION DETAIL
NOT TO SCALE



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP SIZE R--	THICK. RT (IN)	LENGTH AI (FT)	INITIAL AIw (FT)	TERMINAL AIw (FT)
1	15"	5	27	8	4	12

NOTES:
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE

RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE

SPECIFICATION CLAUSE

POWERDRAIN S200K - LOAD CLASS C

GENERAL
 THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE S200K CHANNEL SYSTEM WITH DUCTILE IRON EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
 CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN/POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN DUCTILE IRON EDGE RAIL.
 MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:
 COMPRESSIVE STRENGTH: 14,000 PSI
 FLEXURAL STRENGTH: 4,000 PSI
 TENSILE STRENGTH: 1,500 PSI
 WATER ABSORPTION: 0.07%
 FROST PROOF: YES
 DILUTE ACID AND ALKALI RESISTANT: YES
 B117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 8" (200mm) NOMINAL INTERNAL WIDTH WITH A 10.2" (260mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION.
 GRATES SHALL BE SECURED USING EITHER THE "POWERLOCK" BOLTLESS LOCKING SYSTEM OR THE 4 BOLT LOCKING OPTION. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

TRENCH DRAIN ATTACHMENT DETAIL
NOT TO SCALE

PIPE DIA	MIN. TRENCH WIDTH
12"	30"
15"	36"
18"	42"
24"	48"
30"	54"
36"	60"
42"	66"
48"	72"
60"	84"

PIPE DIA.	SURFACE LIVE LOADING CONDITION	
	H=25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
60"	12"	48"

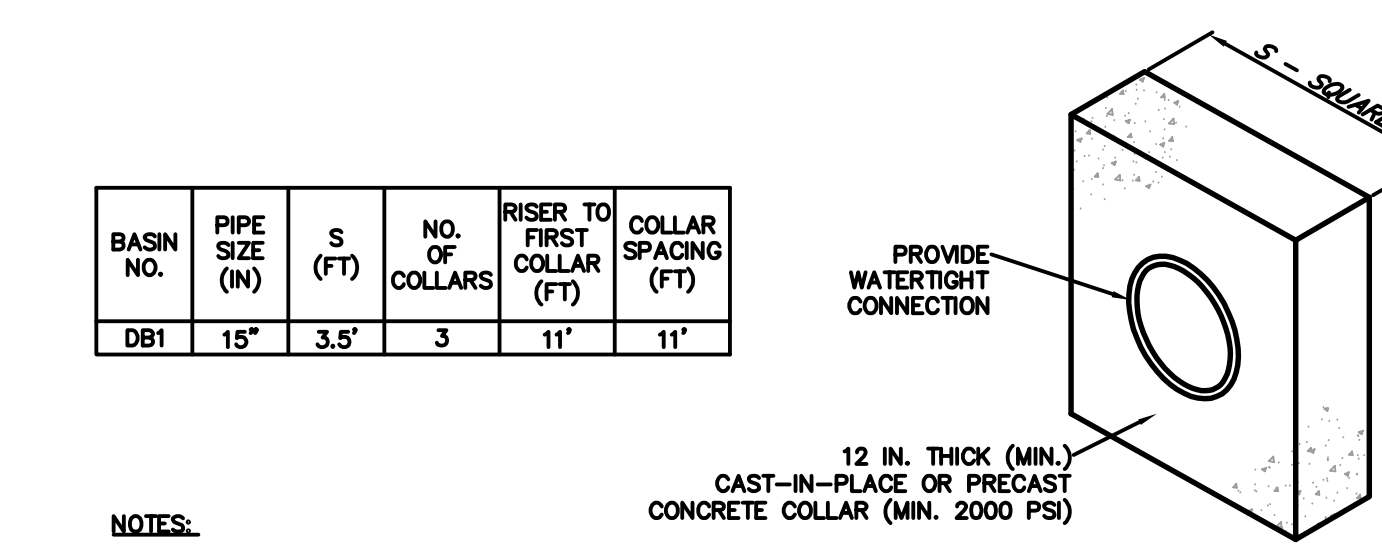
* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

PIPE DIA	TABLE 3. MAXIMUM COVER FOR ADS HP STORM PIPE, FT.			
	CLASS I	CLASS II	CLASS III	CLASS IV
12"	41	28	21	16
15"	42	29	21	16
18"	44	30	21	16
24"	37	28	18	14
30"	39	27	19	14
36"	28	20	14	10
42"	30	21	14	10
48"	29	20	14	9
60"	29	20	14	9

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12. LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
 NO HYDROSTATIC PRESSURE
 UNIT WEIGHT OF SOIL (γ) = 120 PCF

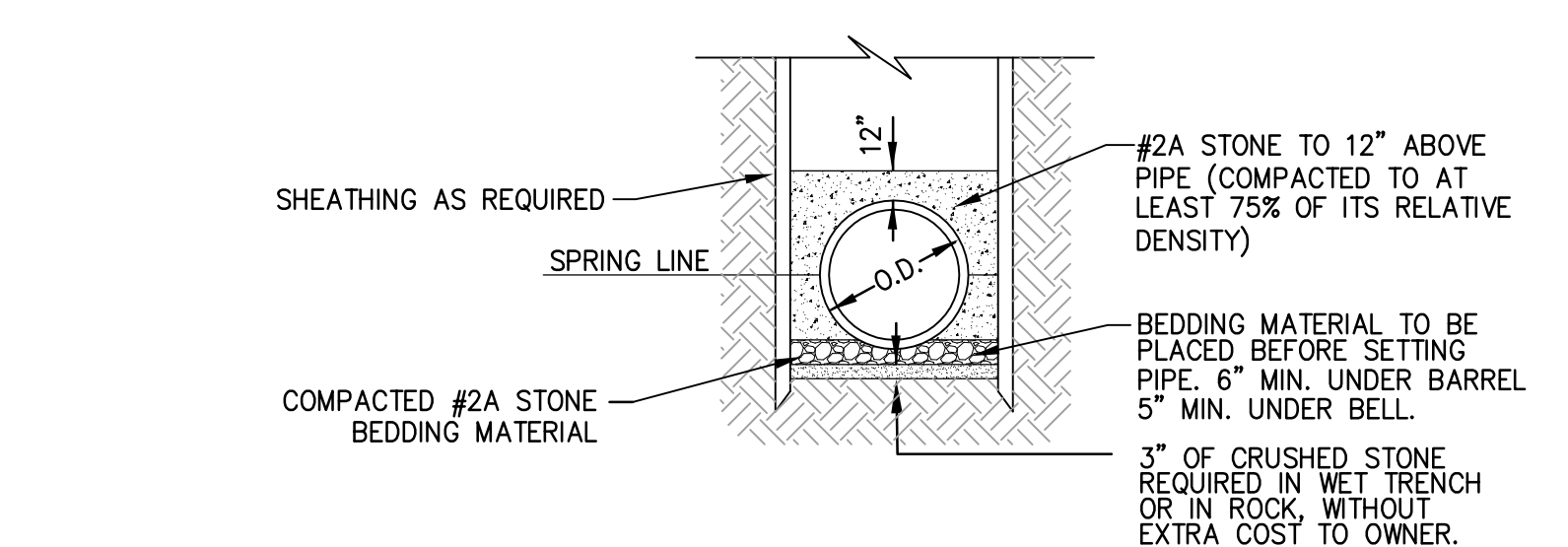
NOTES:
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 7. FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

HP STORM TRENCH INSTALLATION DETAIL
NOT TO SCALE



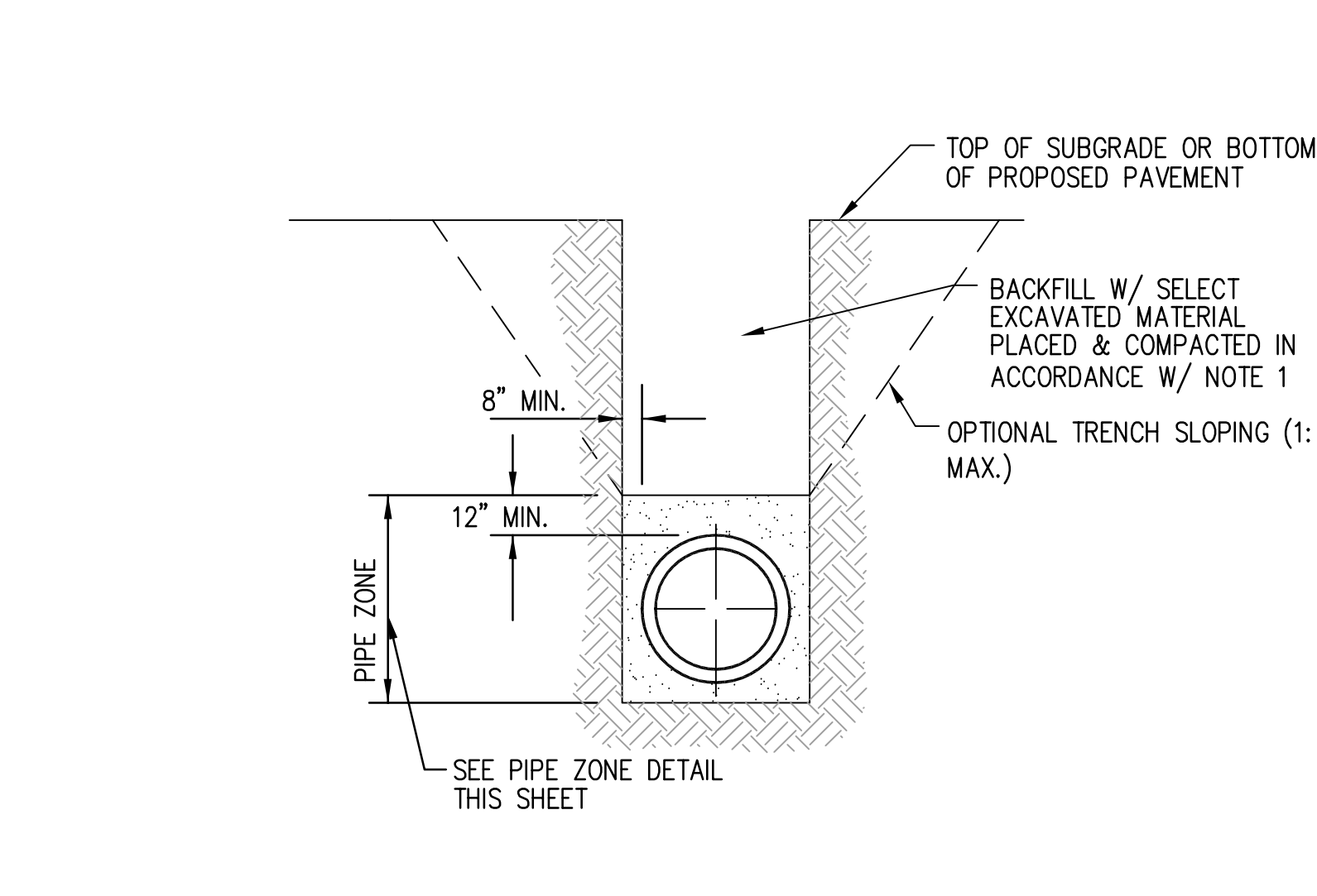
NOTES:
 ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
 COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

STANDARD CONSTRUCTION DETAIL #7-16 CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS
NOT TO SCALE



NOTE:
 1) THE TRENCH WALL SHALL BE SUBSTANTIALLY VERTICAL IN THE PIPE ZONE. MAXIMUM TRENCH WIDTH SHALL BE OD + 24 INCHES AND MINIMUM TRENCH WIDTH SHALL BE OD - 24 INCHES.

PIPE ZONE DETAIL - STORM
NOT TO SCALE



TRENCH SECTION - STORM
NOT TO SCALE

TRENCH SECTION - STORM
NOT TO SCALE

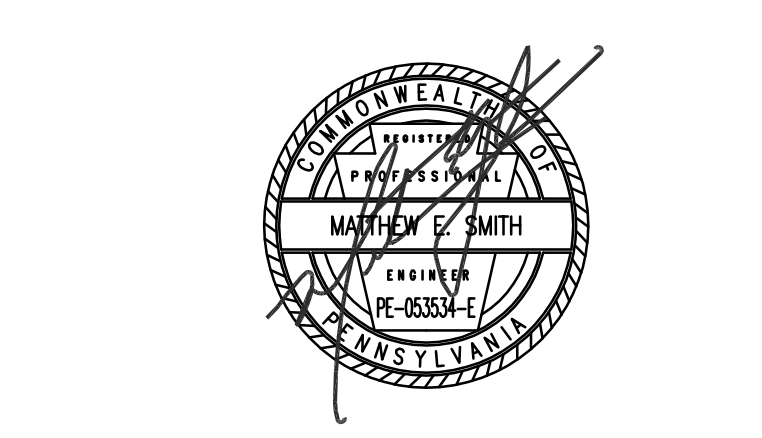
STRUCTURE NAME	STRUCTURE TYPE	STRUCTURE DETAILS	PIPES IN	PIPES OUT
CB1	PENNDOT TYPE C	SURFACE ELEV. = 1162.17 SUMP = 1159.50 INV OUT = 1159.50		12" Corrugated HDPE Pipe INV OUT = 1159.50
CB2	PENNDOT TYPE C	SURFACE ELEV. = 1163.04 SUMP = 1159.5 INV OUT = 1159.50		12" Corrugated HDPE Pipe INV OUT = 1159.50
CB3	PENNDOT TYPE M	SURFACE ELEV. = 1162.60 SUMP = 1157.9 INV IN = 1158.04 INV IN = 1158.92 INV OUT = 1157.90	12" CORRUGATED HDPE PIPE INV IN = 1158.04 12" HDPE PIPE INV IN = 1158.92	15" Corrugated HDPE Pipe INV OUT = 1157.90
CB4	PENNDOT TYPE C	SURFACE ELEV. = 1160.34 SUMP = 1156.0 INV OUT = 1156.00		12" HDPE Pipe INV OUT = 1156.00
CB5	PENNDOT TYPE M	SURFACE ELEV. = 1160.24 SUMP = 1156.2 INV OUT = 1156.24		12" HDPE Pipe INV OUT = 1156.24
CB6	PENNDOT TYPE M	SURFACE ELEV. = 1150.60 SUMP = 1148.0 INV OUT = 1148.00		15" Corrugated HDPE Pipe INV OUT = 1148.00
C01	CLEANOUT	SURFACE ELEV. = 1160.53 SUMP = 1156.0 INV IN = 1156.08 INV OUT = 1155.98	12" CORRUGATED HDPE PIPE INV IN = 1156.08	12" Corrugated HDPE Pipe INV OUT = 1155.98
C02	CLEANOUT	SURFACE ELEV. = 1160.58 SUMP = 1154.5 INV IN = 1154.46 INV OUT = 1155.20	12" HDPE PIPE INV IN = 1154.46	12" HDPE PIPE INV OUT = 1155.20
MH1	PENNDOT MANHOLE	SURFACE ELEV. = 1163.15 SUMP = 1159.5 INV IN = 1160.00 INV OUT = 1159.50	12" CORRUGATED HDPE PIPE INV IN = 1160.00	12" Corrugated HDPE Pipe INV OUT = 1159.50
MH2	PENNDOT MANHOLE	SURFACE ELEV. = 1161.02 SUMP = 1156.0 INV IN = 1156.95 INV IN = 1156.75 INV OUT = 1156.50	15" CORRUGATED HDPE PIPE INV IN = 1156.95 12" HDPE PIPE INV IN = 1156.75	18" Corrugated HDPE Pipe INV OUT = 1156.50
MH3	PENNDOT MANHOLE	SURFACE ELEV. = 1161.28 SUMP = 1155.4 INV IN = 1155.53 INV OUT = 1155.43	12" HDPE PIPE INV IN = 1155.53	12" Concrete Pipe INV OUT = 1155.43
MH4	PENNDOT MANHOLE	SURFACE ELEV. = 1160.58 SUMP = 1152.5 INV IN = 1156.10 INV IN = 1155.10 INV OUT = 1154.50	12" CORRUGATED HDPE PIPE INV IN = 1156.10 12" HDPE PIPE INV IN = 1155.10	15" Corrugated HDPE Pipe INV OUT = 1154.50
TD1	TRENCH DRAIN	SURFACE ELEV. = 1163.02 SUMP = 1160.0 INV OUT = 1160.00		12" HDPE Pipe INV OUT = 1160.00
TD2	TRENCH DRAIN	SURFACE ELEV. = 1160.88 SUMP = 1157.4 INV OUT = 1157.40		12" HDPE Pipe INV OUT = 1157.40

STORM STRUCTURE AND PIPE SCHEDULE
NOT TO SCALE

Fukui Architects Pc
 205 Ross Street
 Pittsburgh, Pennsylvania 15219
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RED SWING GROUP
 ENGINEERS & SURVEYORS
 4314 OLD WILLIAM PENN HWY
 SUITE 101
 MONROEVILLE, PA 15146
 OFFICE: 724.325.1215



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 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.
- revisions**

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and
 Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

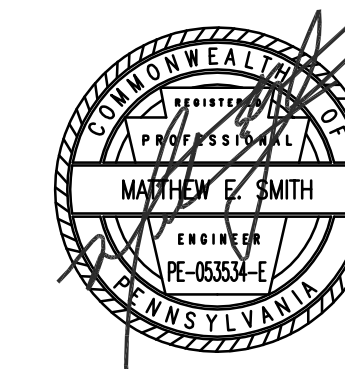
**STORMWATER MANAGEMENT
 DETAILS SHEET 2 OF 7**

scale
 As Noted

date
 December 3rd, 2023

no. of.
 31 233

Sheet No.
C451
 Project #2040



general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
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revisions

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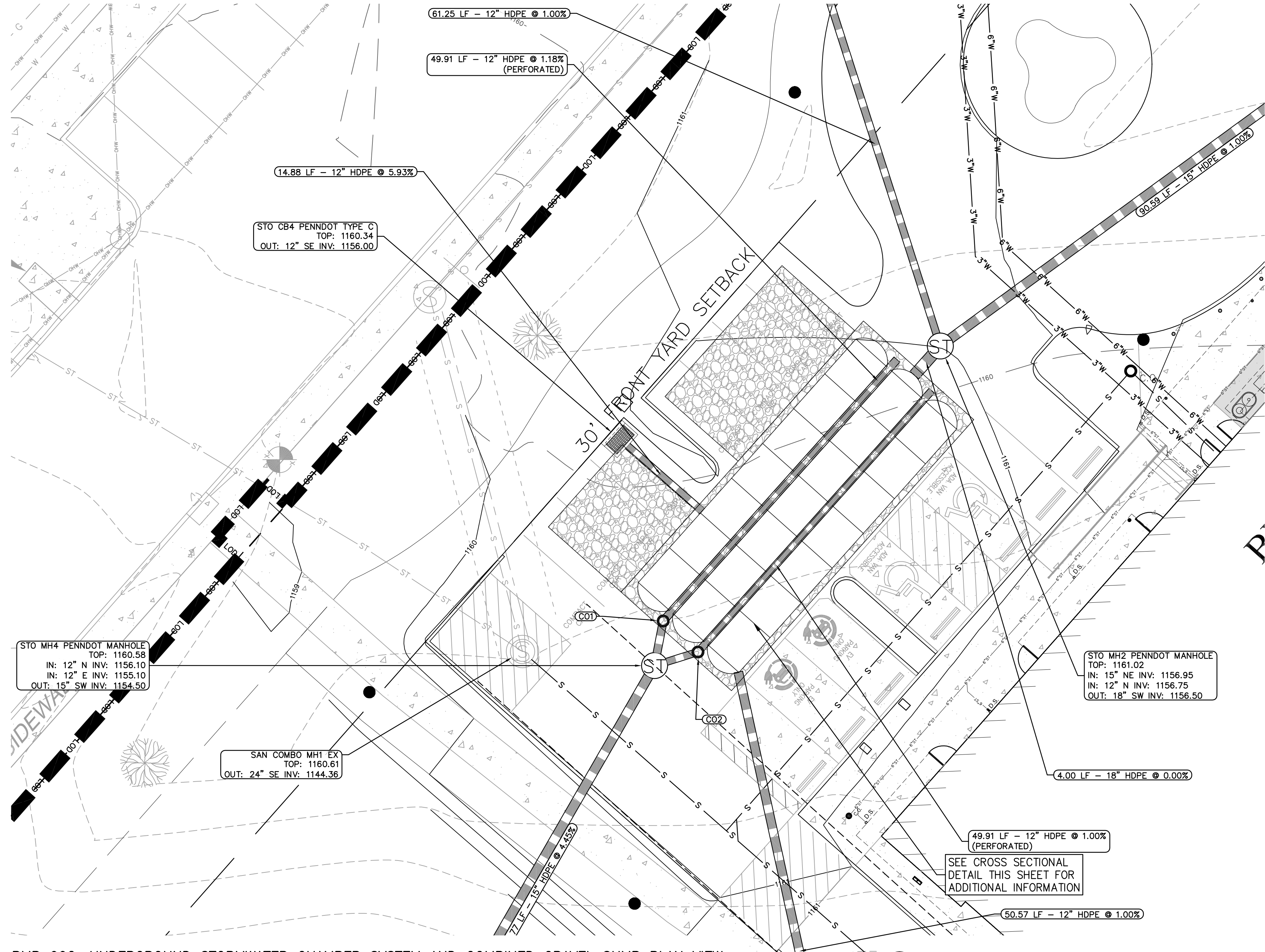
drawing title

STORMWATER MANAGEMENT DETAILS AND PROFILES SHEET 4 OF 7

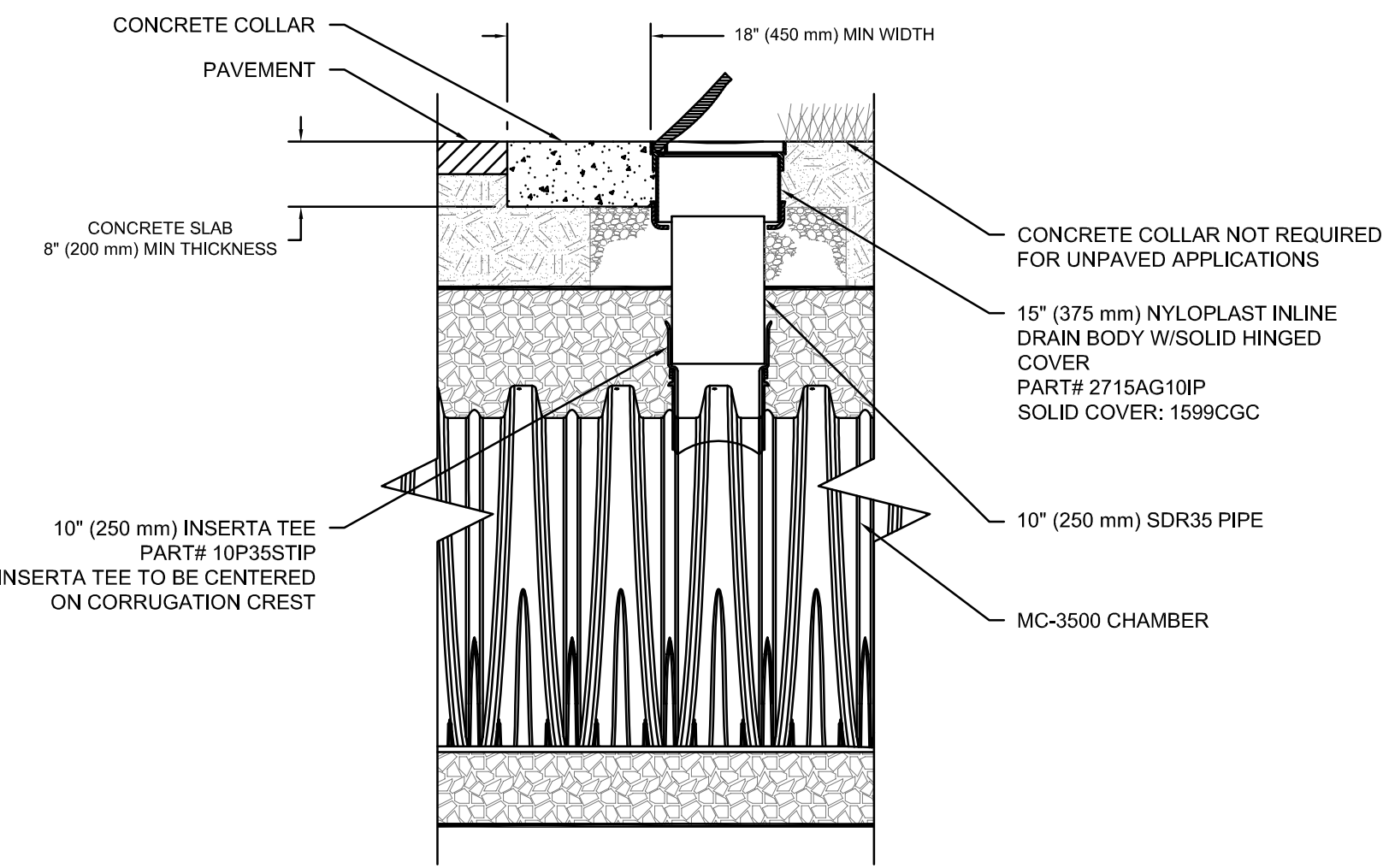
scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	33	C453
of.	233	
		Project #2040

LEGEND

- LOD LIMIT OF DISTURBANCE
- PROPOSED UNDERGROUND STORMWATER CHAMBER SYSTEM AND COMBINED GRAVEL SUMP
- EXISTING STORM LINE
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING MINOR/MAJOR CONTOURS
- PROPOSED MINOR/MAJOR CONTOURS
- PROPOSED SANITARY SEWER
- PROPOSED 3" WATER LINE
- PROPOSED 6" WATER LINE
- PROPOSED 6" STORM COLLECTION PIPE

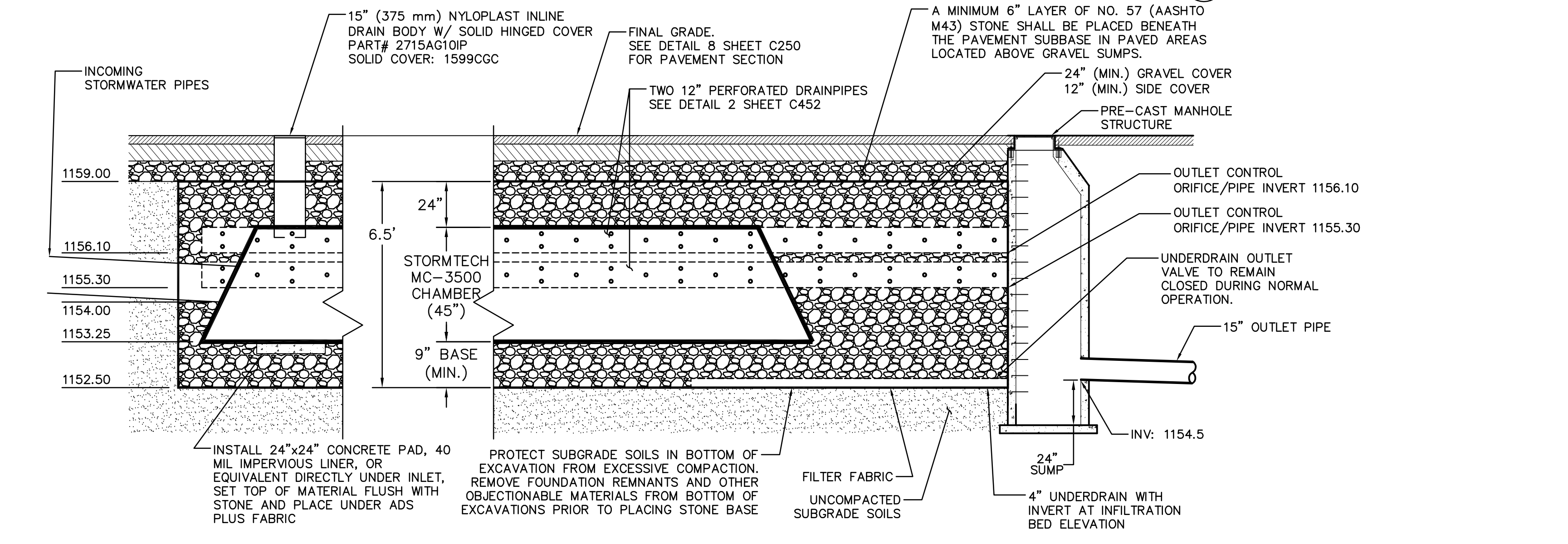
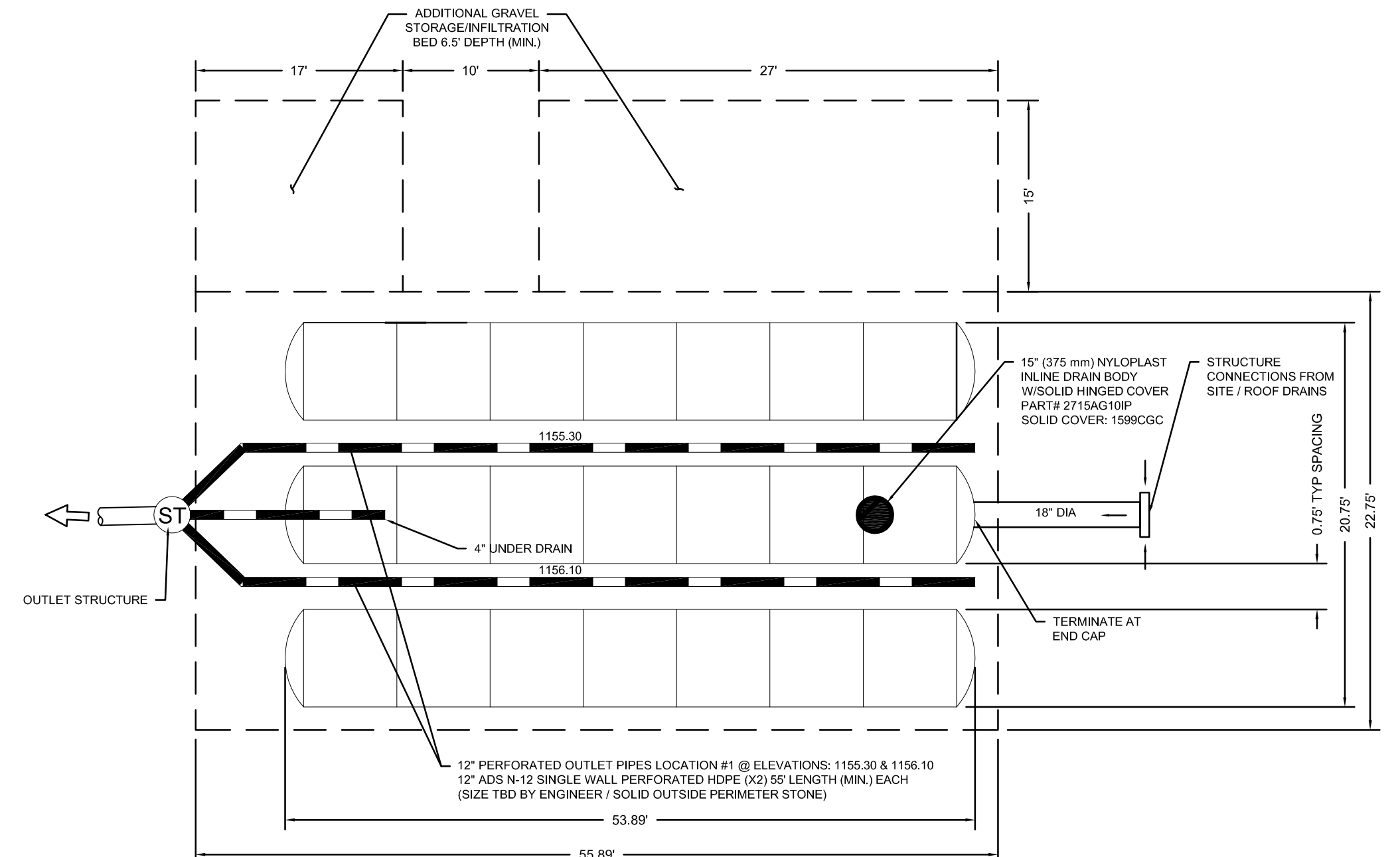


BMP 002: UNDERGROUND STORMWATER CHAMBER SYSTEM AND COMBINED GRAVEL SUMP PLAN VIEW
1"=10'



MC-3500 10" (250 mm) INSPECTION PORT DETAIL
NTS

MC-3500 10" (250 mm) INSPECTION PORT DETAIL
NOT TO SCALE



BMP 002 UNDERGROUND STORMWATER CHAMBER SYSTEM AND COMBINED GRAVEL SUMP TYPICAL CROSS-SECTION
NOT TO SCALE

MAINTENANCE SCHEDULE

CONTROL MEASURE	INSPECTION INTERVAL	PROBLEMS	POTENTIAL REMEDIES
UNDERGROUND STORMWATER CHAMBER SYSTEM AND GRAVEL SUMP WITH SUBSURFACE INFILTRATION BED	QUARTERLY AND AFTER EACH MAJOR RAINFALL EVENT	SEDIMENT LEVEL AND DEBRIS BUILD-UP	REMOVE, AND DISPOSE OF, SEDIMENT AND DEBRIS ACCUMULATION PROPERLY WHEN BASIN IS COMPLETELY DRY.

BMP 002 UNDERGROUND STORMWATER CHAMBER SYSTEM AND COMBINED GRAVEL SUMP
NOT TO SCALE

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MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1-MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 8.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN. AND 1) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED GREIP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

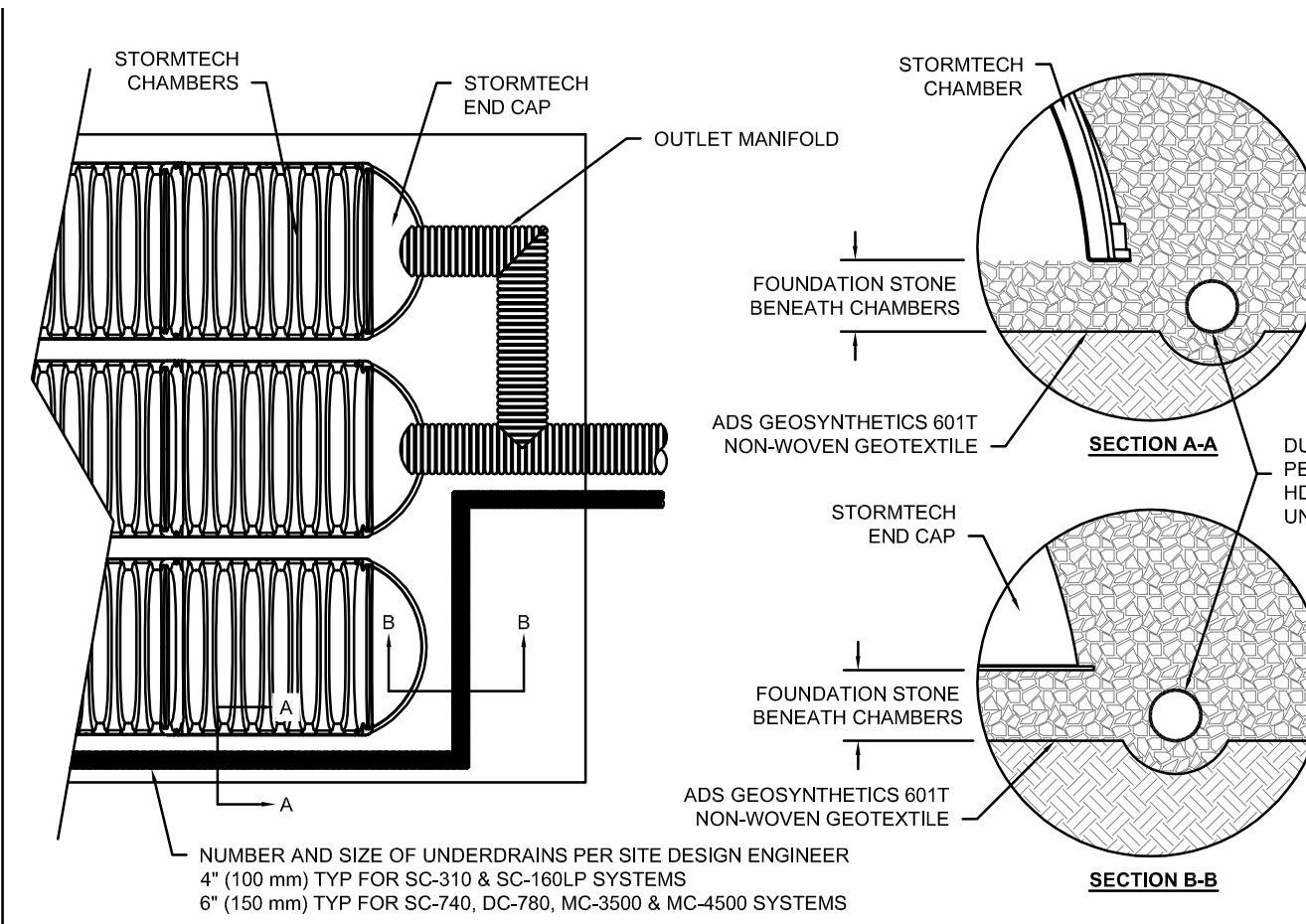
- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONES/HOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXITORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

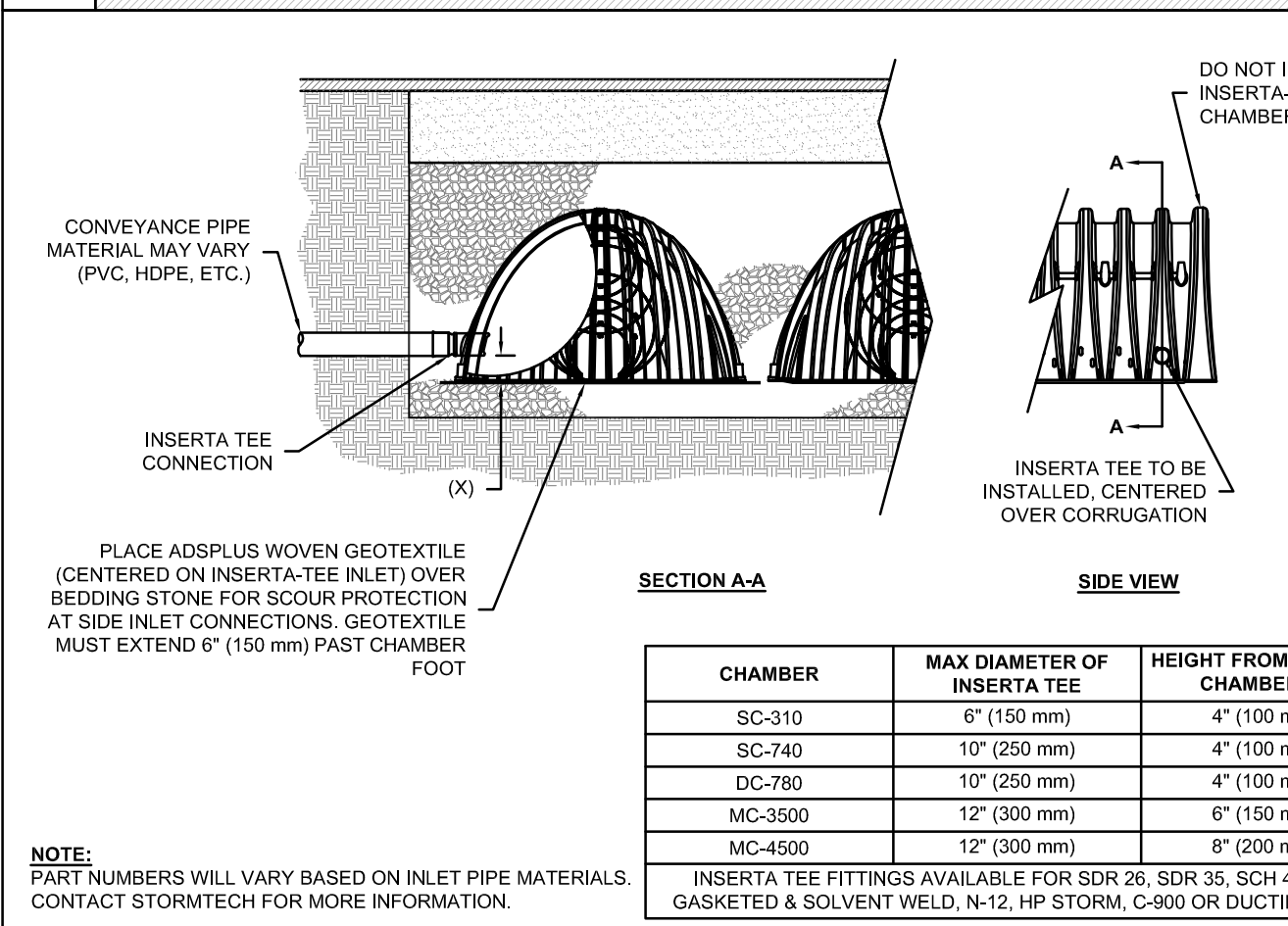
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE".
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

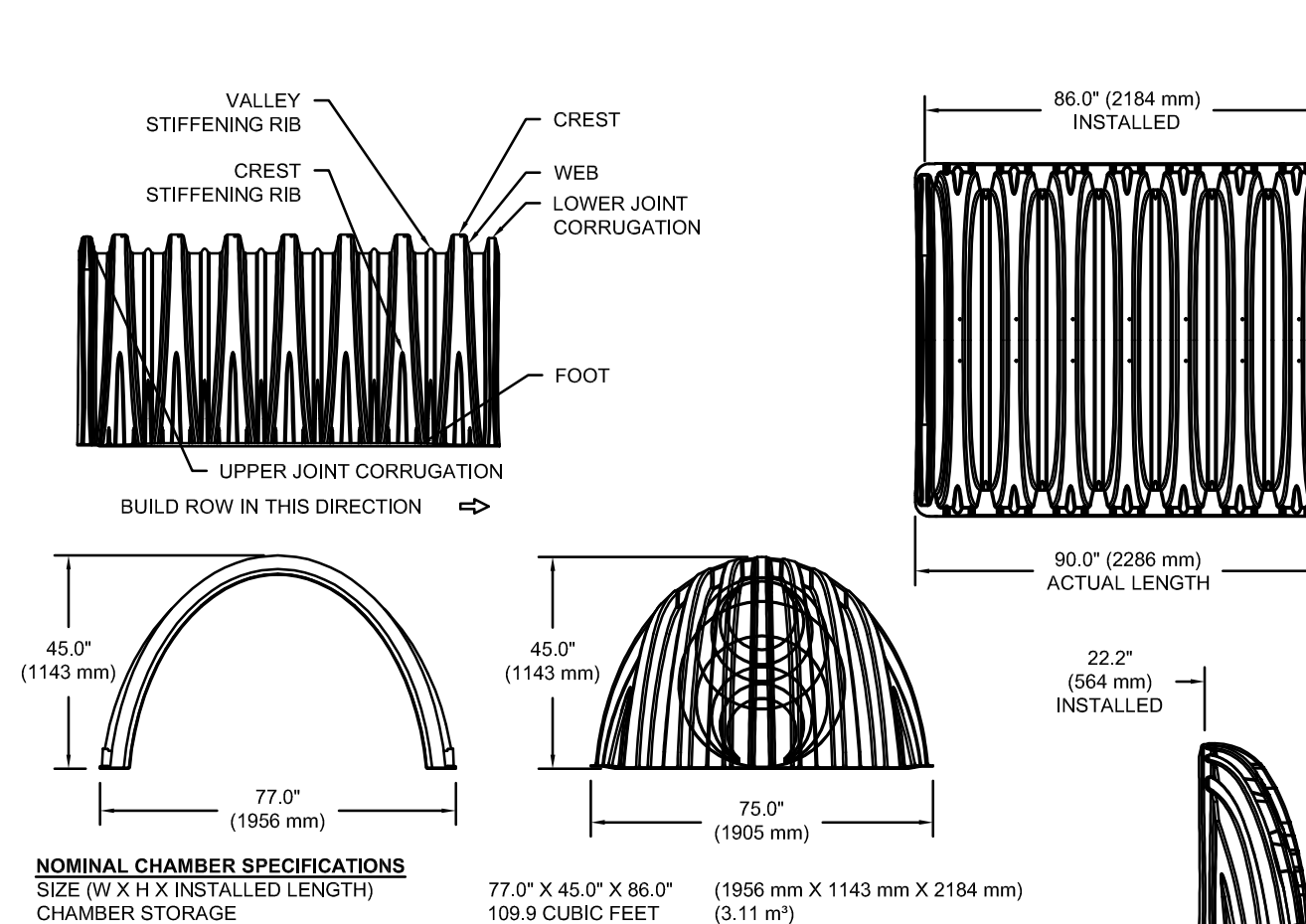
CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



1 UNDERDRAIN DETAIL



2 INSERTA-TEE SIDE INLET DETAIL



NOMINAL CHAMBER SPECIFICATIONS	77.0" X 45.0" X 86.0"	(1956 mm X 1143 mm X 2184 mm)
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 22.2"	(1905 mm X 1143 mm X 564 mm)
CHAMBER STORAGE	109.9 CUBIC FEET	(3.11 m ³)
MINIMUM INSTALLED STORAGE*	175.0 CUBIC FEET	(4.96 m ³)
WEIGHT	134 lbs.	(60.9 kg)

NOMINAL END CAP SPECIFICATIONS	75.0" X 45.0" X 22.2"	(1905 mm X 1143 mm X 564 mm)
SIZE (W X H X INSTALLED LENGTH)	14.9 CUBIC FEET	(0.42 m ³)
END CAP STORAGE	45.1 CUBIC FEET	(1.29 m ³)
MINIMUM INSTALLED STORAGE*	49 lbs.	(22.2 kg)
WEIGHT	---	---

*ASSUMES 12" (305 mm) STONE ABOVE, 6" (152 mm) STONE FOUNDATION, 6" (152 mm) STONE BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"

PART #	STUB	B	C
MC3500EPP06T	6" (150 mm)	33.21" (844 mm)	---
MC3500EPP06B	---	---	0.66" (17 mm)
MC3500EPP08T	8" (200 mm)	31.16" (791 mm)	---
MC3500EPP08B	---	---	0.81" (21 mm)
MC3500EPP10T	10" (250 mm)	29.04" (738 mm)	---
MC3500EPP10B	---	---	0.93" (24 mm)
MC3500EPP12T	12" (300 mm)	26.36" (670 mm)	---
MC3500EPP12B	---	---	1.35" (34 mm)
MC3500EPP15T	15" (375 mm)	23.39" (594 mm)	---
MC3500EPP15B	---	---	1.50" (38 mm)
MC3500EPP18T	18" (450 mm)	20.03" (509 mm)	---
MC3500EPP18TW	---	---	1.77" (45 mm)
MC3500EPP18TB	---	---	---
MC3500EPP24TW	24" (600 mm)	14.48" (368 mm)	---
MC3500EPP24BC	---	---	2.06" (52 mm)
MC3500EPP24SW	---	---	2.75" (70 mm)
MC3500EPP30BC	30" (750 mm)	---	---

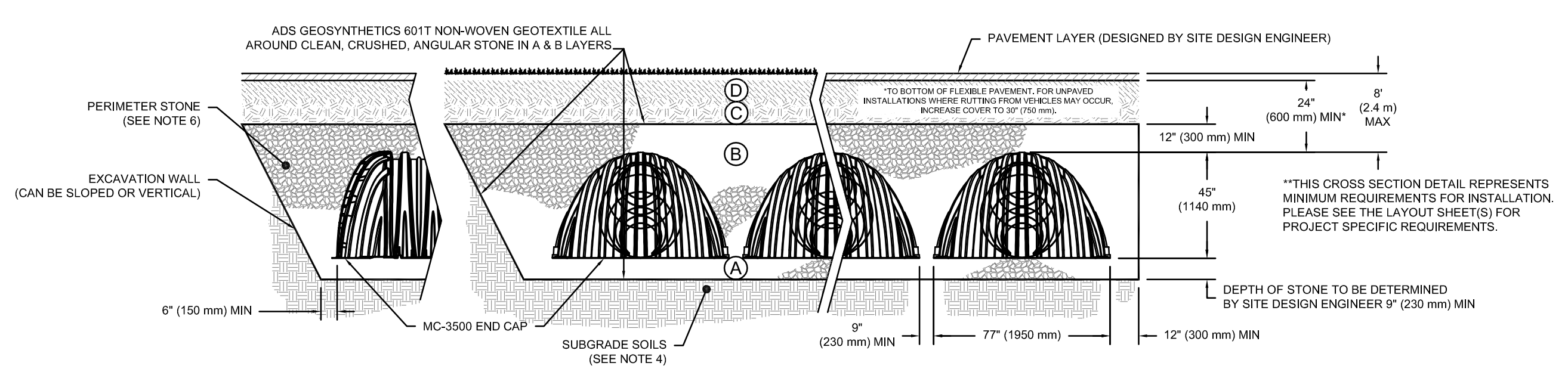
NOTE: ALL DIMENSIONS ARE NOMINAL

CUSTOM PARTIAL CUT INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 18" (450 mm) SIZE OR SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT	
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B) LAYERS TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 97, 6, 67, 68, 7, 78, 8, 88, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A) LAYERS TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

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- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
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4 MC-3500 CROSS SECTION DETAIL

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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RED SWING GROUP
ENGINEERS & SURVEYORS
4314 OLD WILLIAM PENN HWY
SUITE 101
MONROEVILLE, PA 15146
OFFICE: 724.325.1215

seal

general notes

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revisions

project title

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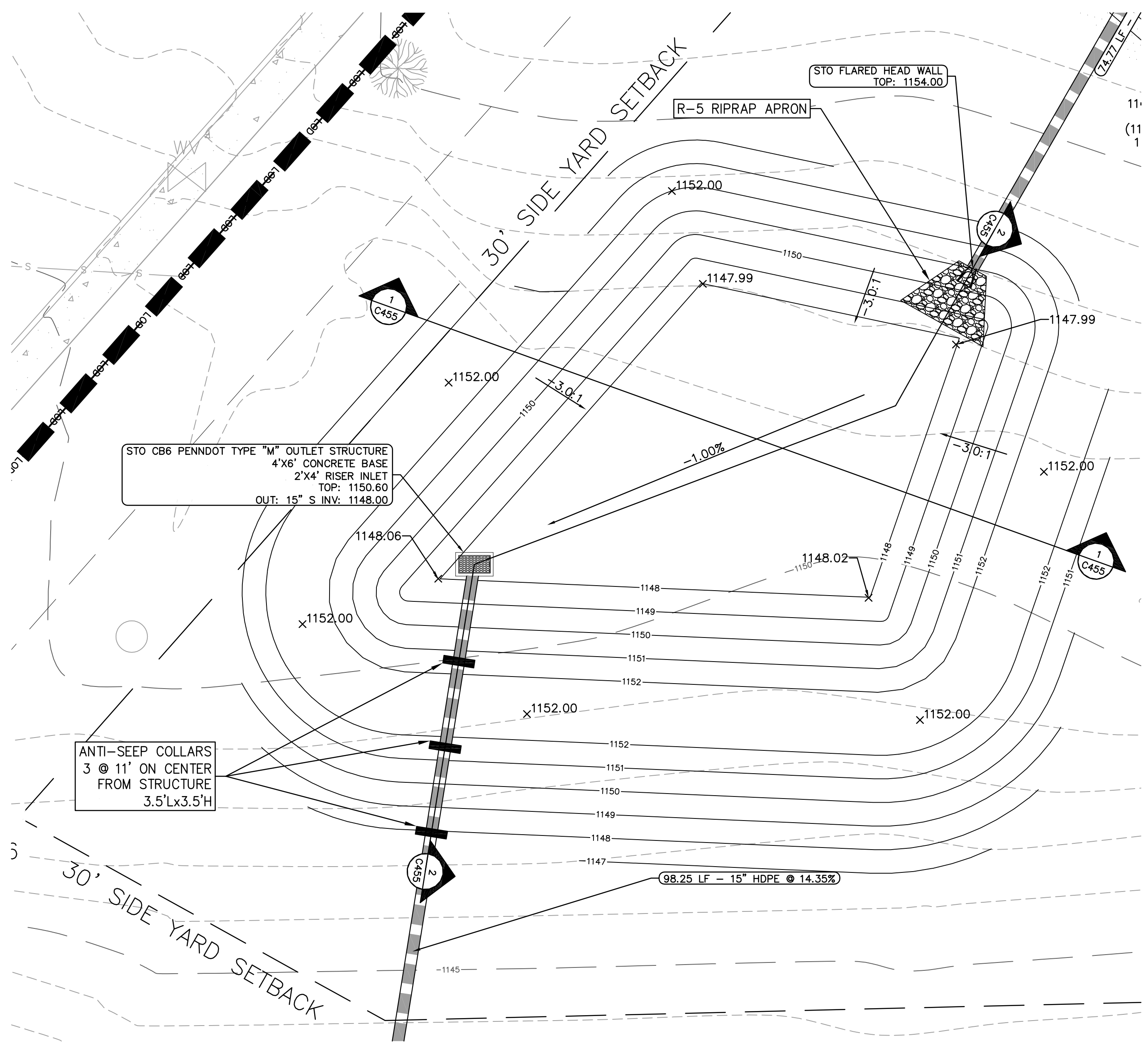
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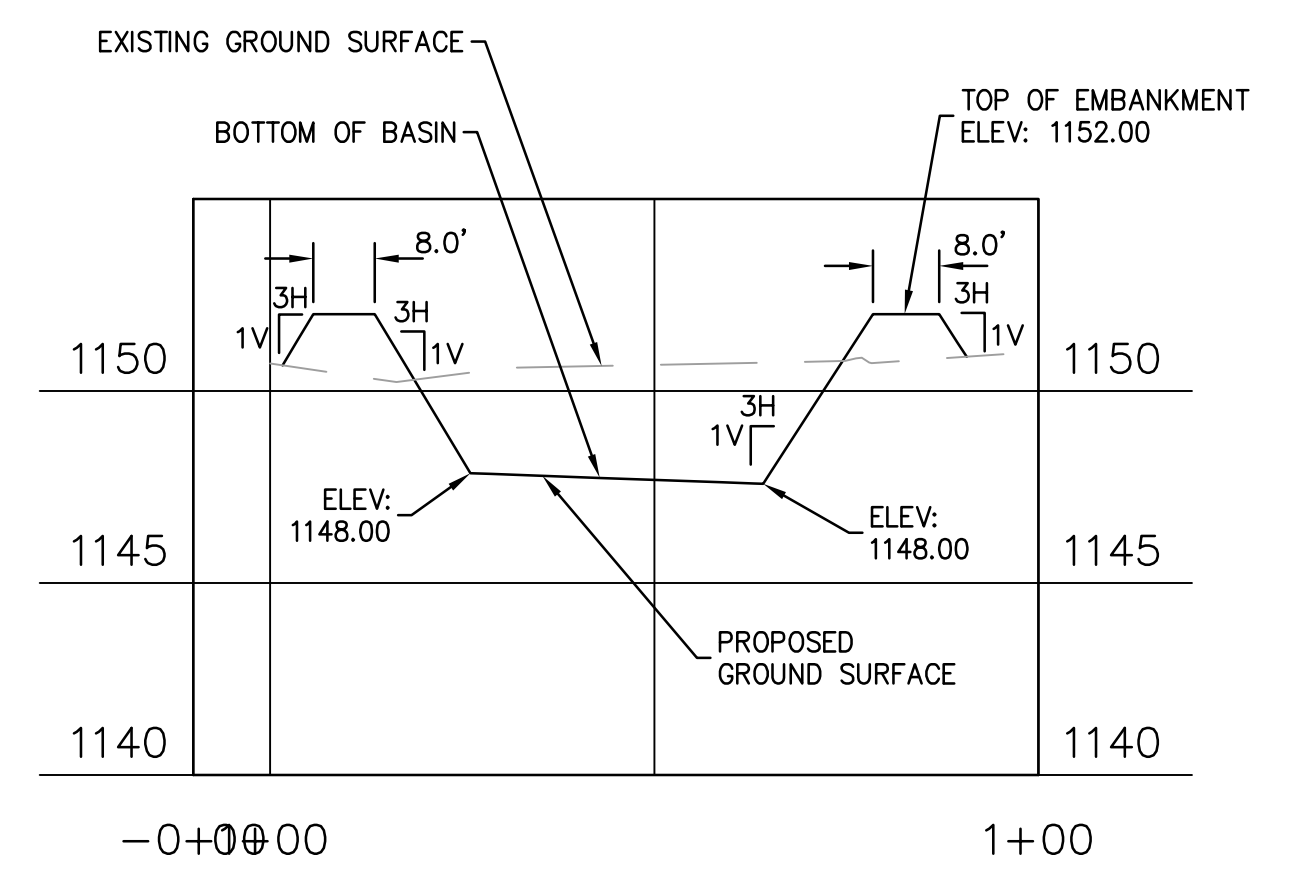
drawing title

**STORMWATER MANAGEMENT
DETAILS SHEET 5 OF 7**

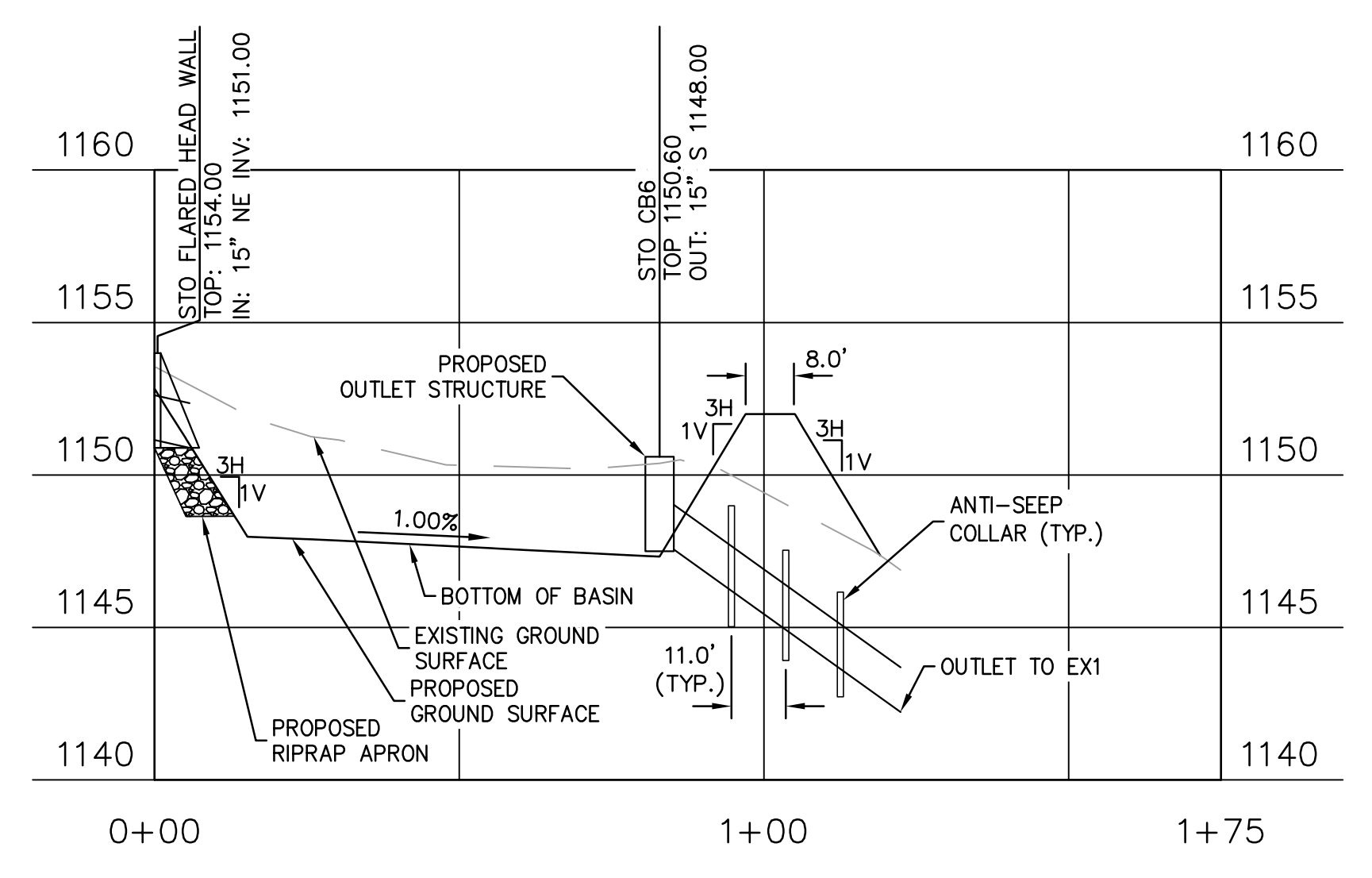
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date	December 3rd, 2023	
no.	34	C454 Project #2040
of.	233	



BMP 003: PROPOSED DRY DETENTION BASIN PLAN VIEW
1"=10'



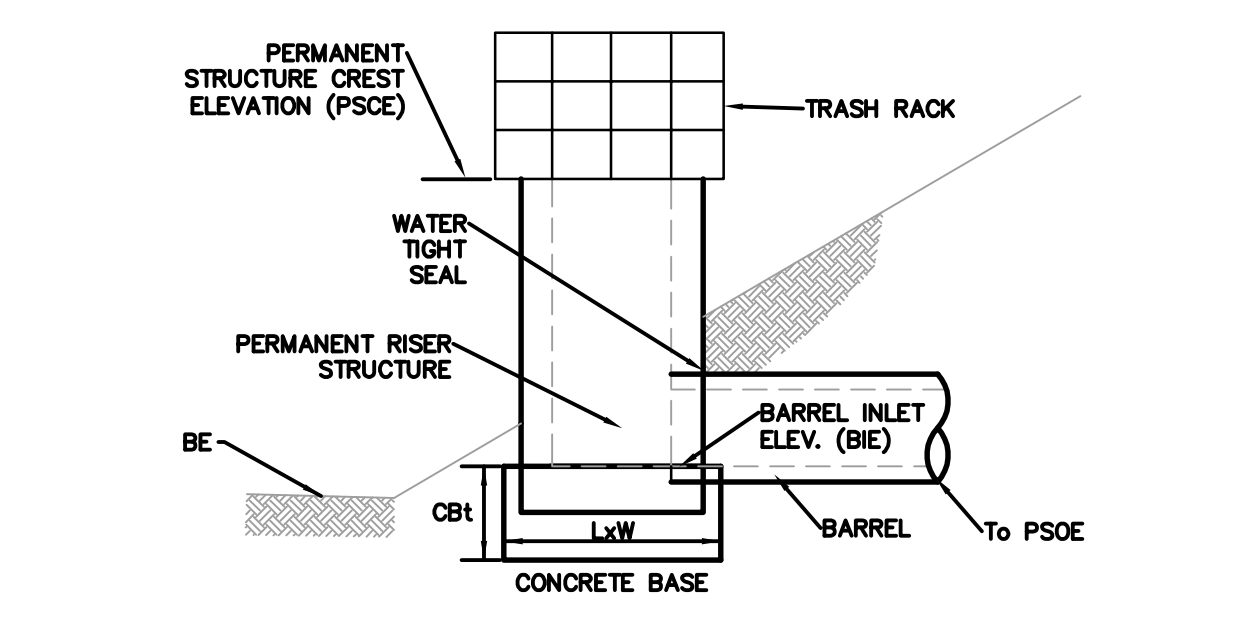
BASIN PROFILE 1-1
SEE GRAPHIC SCALE



BASIN PROFILE 2-2
SEE GRAPHIC SCALE

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED RIPRAP APRON
- PROPOSED STORM PIPE
- PROPOSED FLARED END WALL
- PROPOSED OUTFALL STRUCTURE
- EXISTING MINOR/MAJOR CONTOURS
- PROPOSED MINOR/MAJOR CONTOURS



BASIN NAME	MATL	CREST ELEV PSCe (FT)	OUTLET ELEV PSCe (FT)	BARREL INLET ELEV BIE (FT)	CONCRETE BASE LENGTH X WIDTH (IN)	THICKNESS CBT (IN)
BASIN	2"x4" PRECAST CONCRETE	1150.60	1133.50	1148.00	48 X 72	18.0

RISER & CONCRETE BASE DETAIL
NOT TO SCALE

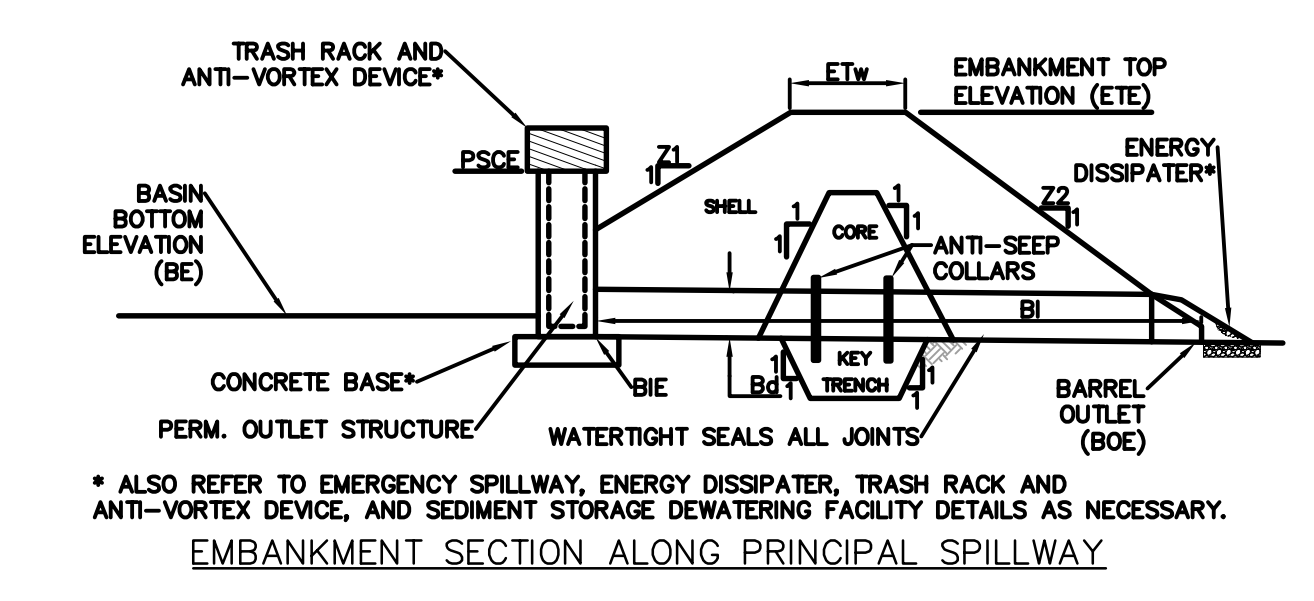
NOTES:

A MINIMUM OF 2-#8 REBAR SHALL BE PLACED AT RIGHT ANGLES AND PROJECTING THROUGH SIDES OF RISER TO ANCHOR IT TO CONCRETE BASE. REBAR SHALL PROJECT A MINIMUM OF 1/4 RISER DIAMETER BEYOND OUTSIDE OF RISER.

CONCRETE BASE SHALL BE POURED IN SUCH A MANNER SO AS TO INSURE THAT CONCRETE FILLS BOTTOM OF RISER TO INVERT OF THE OUTLET PIPE TO PREVENT RISER FROM BREAKING AWAY FROM THE BASE. MINIMUM BASE WIDTH EQUALS 2 TIMES RISER DIAMETER.

EMBEDDED SECTION OF ALUMINUM OR ALUMINIZED PIPE SHALL BE PAINTED WITH ZINC CHROMATE OR EQUIVALENT.

CLOGGED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.



BASIN NO.	Z1 (FT)	Z2 (FT)	OUTSIDE DIM. (IN)	RISER STRUCTURE			BARREL				
				CREST ELEV TRCE (FT)	MATL	TEMP RISER EXT. ELEV TRC (FT)	DIA Bg (IN)	INLET ELEV BIE (FT)	MATL	LENGTH B (FT)	OUTLET ELEV BOE (FT)
BASIN	3.0	3.0	24x48	1150.6	CONCRETE	NA	15.0	1148.0	HDPE	98.0	1133.5

TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	EMBANKMENT		BOTTOM ELEV BE (FT)
		KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	
1152.0	8.0	2.0	4.0	1148.0

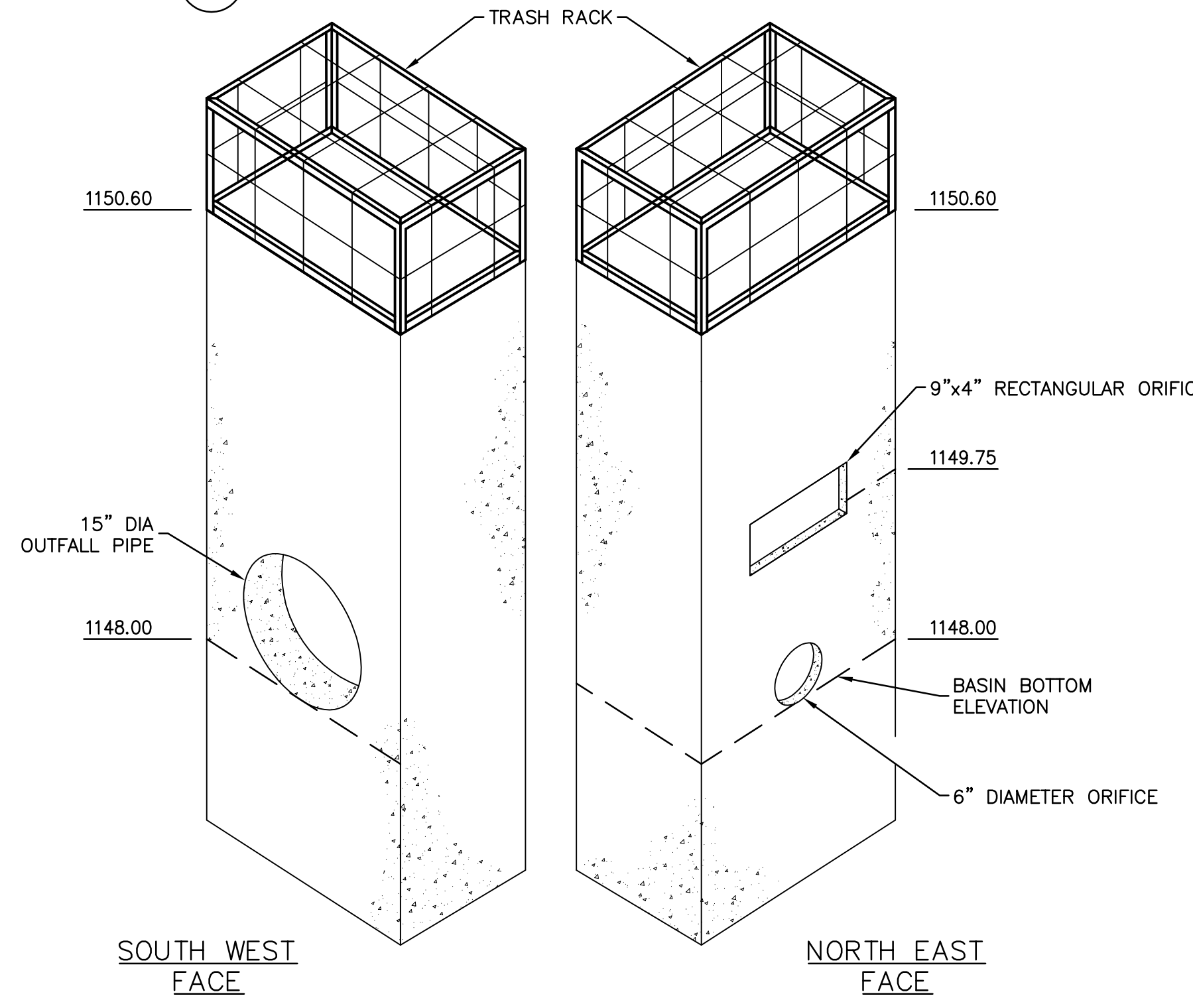
DETENTION BASIN EMBANKMENT DETAIL
NOT TO SCALE

NOTES:

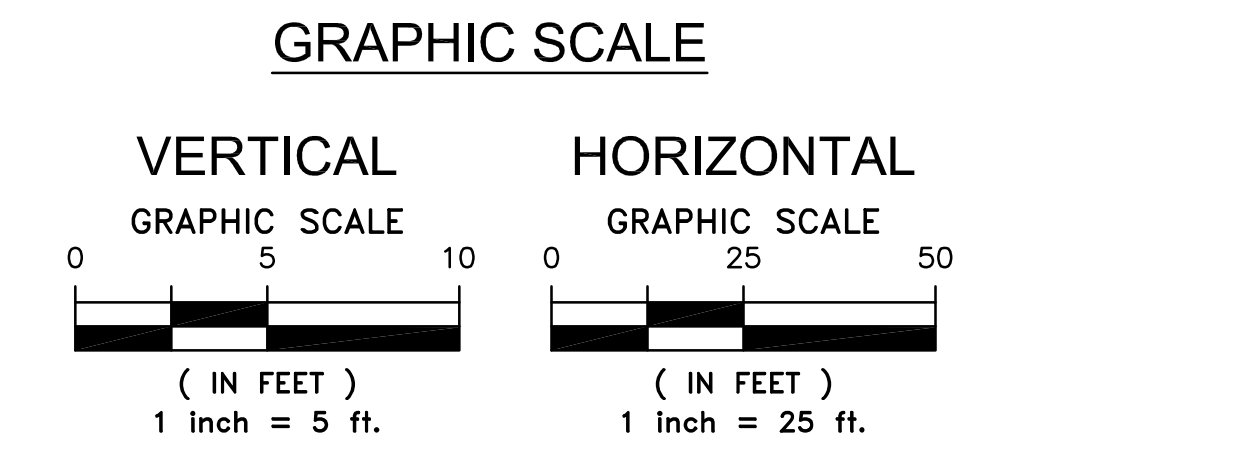
AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS. UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE EAS PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.

ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES SHALL BE PROVIDED.

BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE CHECKED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATER SHALL BE REPLACED IMMEDIATELY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS INSIDE THE BASIN STABILIZED AS NECESSARY.



BASIN 2'x4' OUTFALL DETAILS
NOT TO SCALE

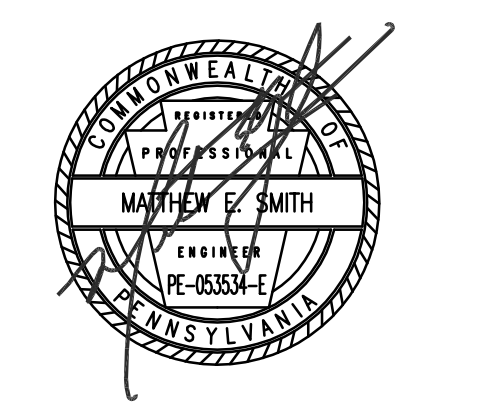


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4314 OLD WILLIAM PENN HWY
SUITE 101
MONROEVILLE, PA 15146
OFFICE: 724.325.1215

seal



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- revisions**

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
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200 Ross Street
Pittsburgh, PA 15219

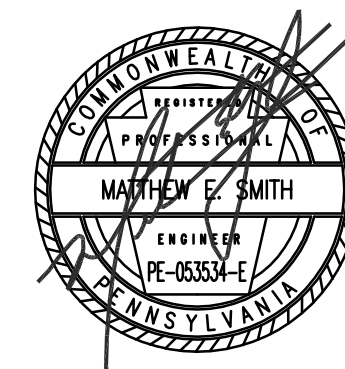
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

STORMWATER MANAGEMENT DETAILS AND PROFILES SHEET 6 OF 7

scale As Noted	Sheet No. C455 Project #2040
date December 3rd, 2023	
no. 35	of. 233

I:\Users\CK\AppData\Local\Temp\AutoCAD_27088921-1842 - HACP\Northview Hts - Basin.dwg, Plotter: New 29, 2023, 1:50:20pm



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drawing title

UTILITY PLAN

SITE UTILITY NOTES

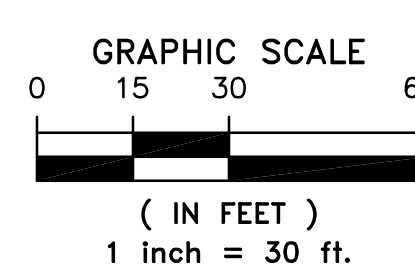
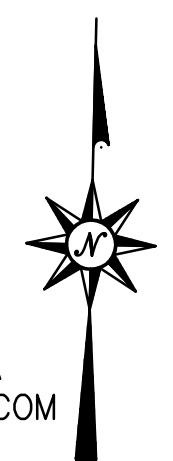
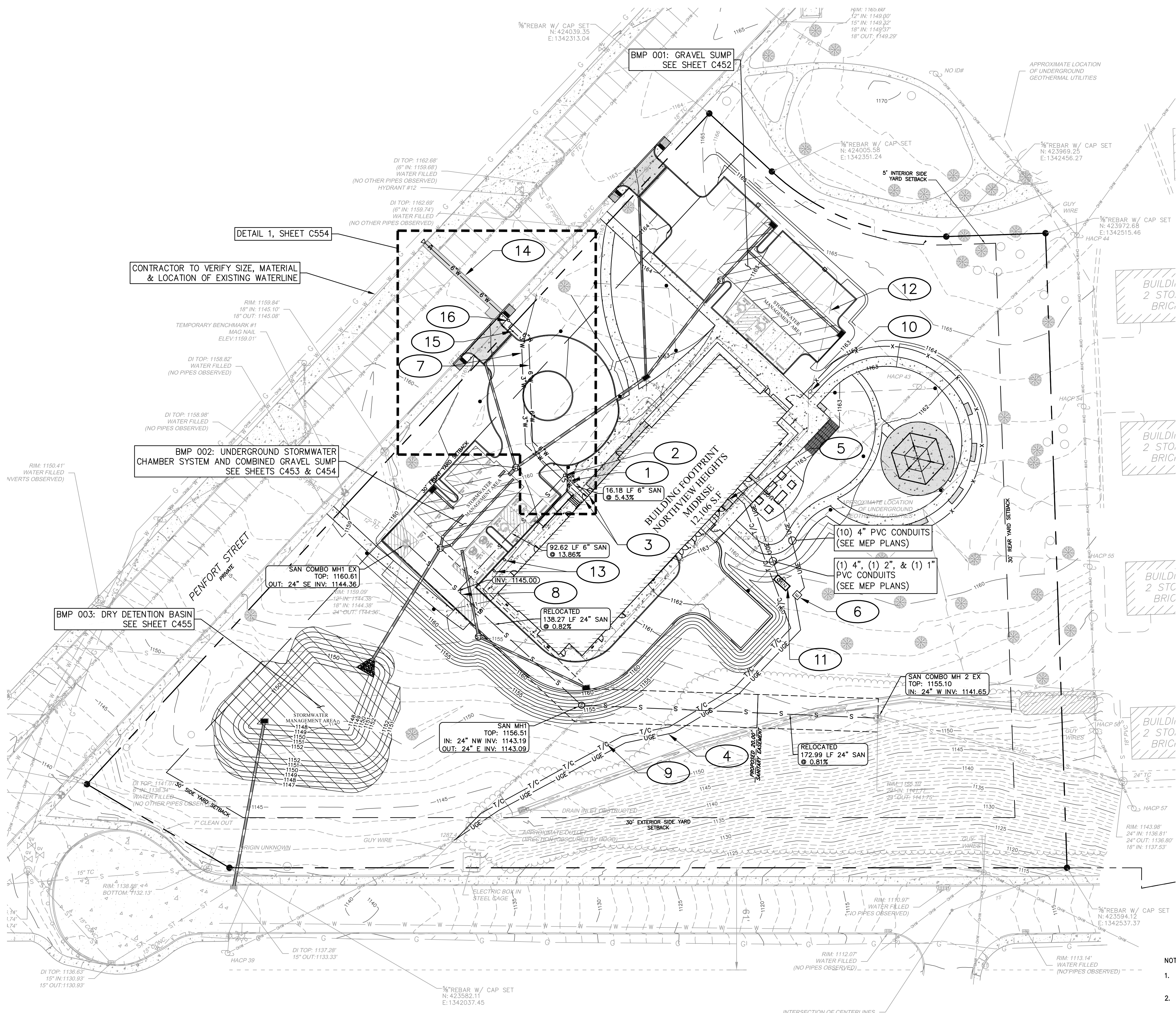
- PROPOSED SANITARY SEWER LATERAL. CONTRACTOR TO COORDINATE WITH SANITARY SEWER SERVICE PROVIDER FOR FIELD CONNECTION TO EXISTING SYSTEM.
- PROPOSED SANITARY CLEANOUT. SEE (3)
- PROPOSED WATERLINES TO BE CAPPED 1'-0" OUTSIDE BUILDING (3" TO 2.5" REDUCER TO BE COORDINATE WITH MEP DRAWINGS).
- PROPOSED UNDERGROUND ELECTRIC. (2) 5" PVC.
- PROPOSED FIRE DEPARTMENT CONNECTION. CONTRACTOR TO COORDINATE WITH FIRE MARSHAL AND ARCHITECT FOR EXACT LOCATION.
- PROPOSED ELECTRICAL TRANSFORMER. (BY DLC)
- PROPOSED 6" WATER SERVICE LINE TO BE SPLIT TO 3" DOMESTIC AND 6" FIRE PROTECTION LINE. COORDINATE WITH WATER SERVICE PROVIDER FOR FIELD CONNECTION TO EXISTING SYSTEM.
- PROPOSED 6" PVC SDR 35 TO 24" SANITARY WYE TO BE INSTALLED AND CAPPED DURING 24" SANITARY MAIN RELOCATION. SEE (2) (C550)
- PROPOSED TELEPHONE/COMMUNICATIONS CONDITS. (2) 4" PVC.
- PROPOSED ELECTRICAL PULL BOXES. (TYP.) (SEE MEP PLANS)
- PROPOSED GENERATOR. (SEE MEP PLANS)
- PROPOSED UNDERGROUND CONDUITS FOR LIGHTING. (TYP.) (SEE MEP PLANS)
- PROPOSED ELECTRIC VEHICLE CHARGING PEDESTAL. (SEE MEP PLANS)
- ASPHALT PAVEMENT EXCAVATION AND REPLACEMENT, SEE (8) (C250)
- PROPOSED VALVE BOX, SEE (WB) (C552)
- PROPOSED 6" CURB STOP

LEGEND

	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING OVERHEAD WIRE
	EXISTING SANITARY LATERAL
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	EXISTING GEOTHERMAL UTILITIES
	PROPOSED GAS LINE
	PROPOSED UNDERGROUND ELECTRIC LINES
	PROPOSED TELE. & COMMUNICATIONS LINES
	PROPOSED 24" RE-ROUTED SANITARY LINE
	PROPOSED 6" SANITARY LATERAL WHERE NOTED
	PROPOSED STORM LINE
	PROPOSED 3" WATER LINE
	PROPOSED 6" WATER LINE
	PROPOSED GENERATOR (SEE MEP PLANS)
	PROPOSED 8" STORM COLLECTION PIPE
	PROPOSED 6" STORM COLLECTION PIPE
	PROPOSED STORM COLLECTION PIPE
	PROPOSED WATER VALVE
	PROPOSED VALVE BOX

NOTES:

- SEE MEP PLANS FOR UNDERGROUND ELECTRICAL ROUTING TO LIGHT POLE BASES AND OTHER EXTERIOR LIGHTING FIXTURES.
- EXISTING CONDITIONS SHOWN HEREIN WERE OBTAINED FROM FUKUI ARCHITECTS IN DWG FILED NAMED NORTHVIEW HEIGHTS ALTA UPDATE-DRAFT 2022-3-17 AND DATED 3/17/2022 PER SURVEY PERFORMED BY SG-TEK. RED SWING CONSULTING SERVICES, LLC IS NOT RESPONSIBLE FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES. CONTRACTOR TO VERIFY ALL QUANTITIES, MATERIAL TYPES AND SIZES AS NECESSARY FOR BIDDING AND CONSTRUCTION.



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PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS NOTICE IN DESIGN STAGE.
STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

GAS SERVICE
PEOPLES GAS COMPANY LLC
375 NORTH SHORE DRIVE
PITTSBURGH, PA 15212
CONTACT: MICHAEL DENNY
EMAIL: MICHAEL.DENNY@PEOPLES-GAS.COM

WATER SERVICE
PITTSBURGH WATER & SEWER
AUTHORITY
1200 PENN AVENUE
PITTSBURGH, PA. 15222
CONTACT: RICK OBERMEIER
EMAIL: robermeier@pgh2o.com

SANITARY SEWER
PITTSBURGH WATER & SEWER
AUTHORITY
1200 PENN AVENUE
PITTSBURGH, PA. 15222
CONTACT: RICK OBERMEIER
EMAIL: robermeier@pgh2o.com

ELECTRIC SERVICE
DUQUESNE LIGHT COMPANY
2645 NEW BEAVER AVE
PA-TD
PITTSBURGH, PA. 15233
CONTACT: KYLIE PARISON
EMAIL: kparison@duqlight.com

TELEPHONE SERVICE
VERIZON PENNSYLVANIA LLC
1026 HAY ST
PITTSBURGH, PA. 15221
CONTACT: DEBORAH BARUM
EMAIL: deborah.d.delia@verizon.com

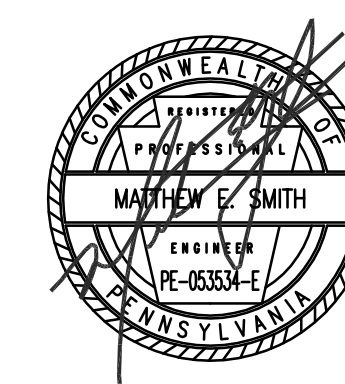
CABLE
COMCAST
1530 CHARTIERS AVE
PITTSBURGH, PA. 15204
CONTACT: ANASTASIYA MAKSAKOVA
ANASTASIYA_MAKSKOVA@COMCAST.COM

scale
As Noted

date
December 3rd, 2023

no. of.
37 233

Sheet No.
C500
Project #2040



general notes

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revisions

project title

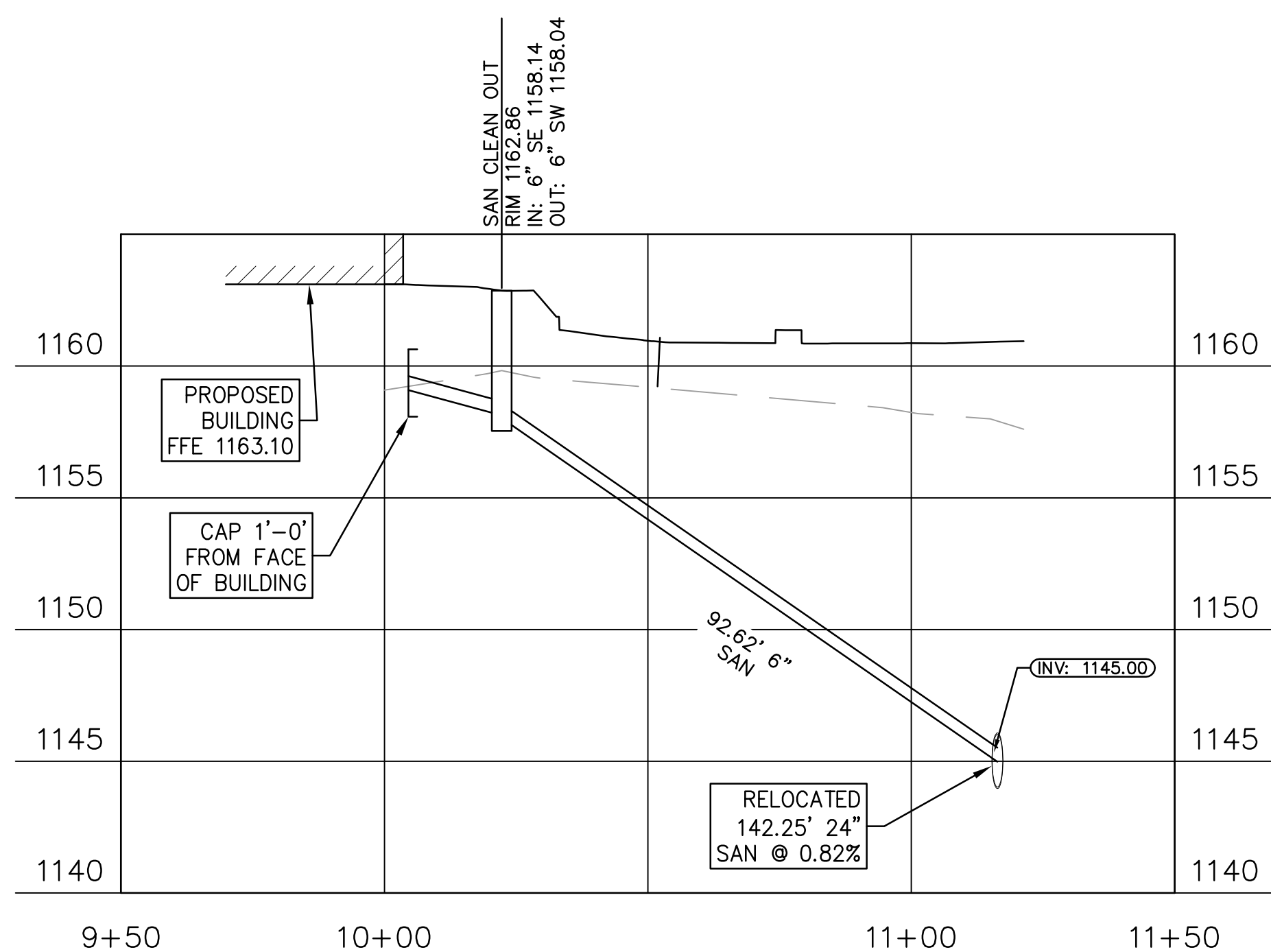
Owner:
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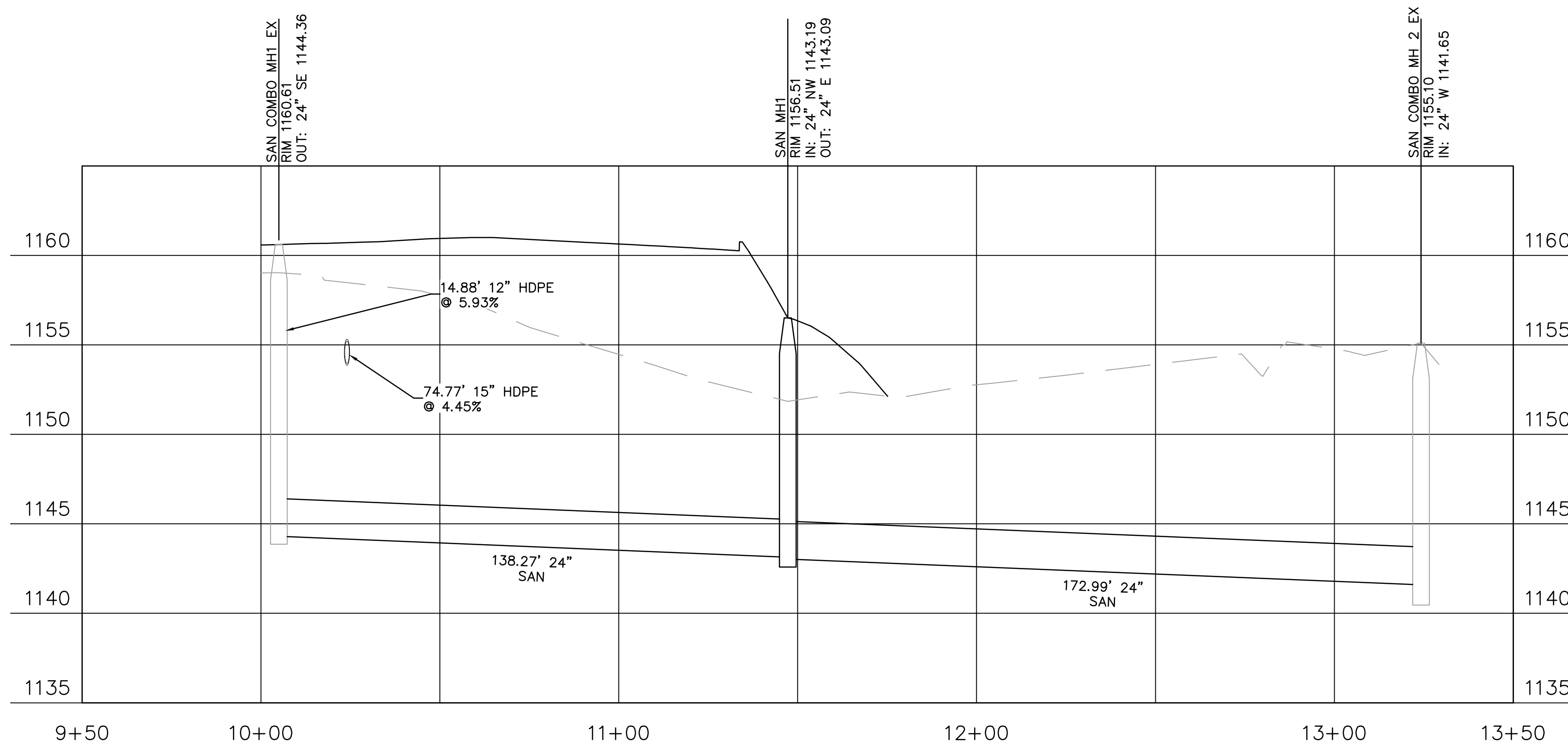
drawing title

SANITARY PROFILES



SANITARY LATERAL PROFILE
SEE GRAPHIC SCALE

1

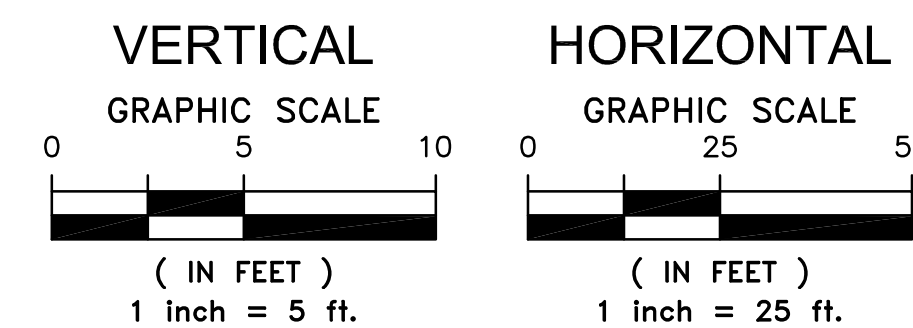


SANITARY RE-ROUTING PROFILE
SEE GRAPHIC SCALE

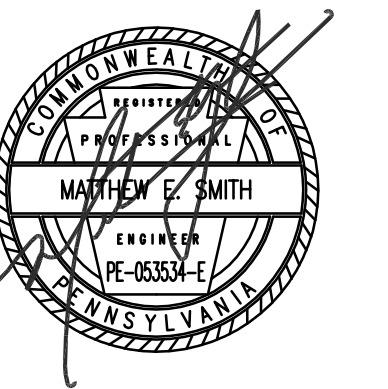
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LEGEND	
	EXISTING GRADE
	PROPOSED GRADE

GRAPHIC SCALE



scale As Noted	Sheet No. C551 Project #2040
date December 3rd, 2023	
no. 39	of. 233



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drawing title

PWSA DETAILS 1 OF 2

scale
As Noted

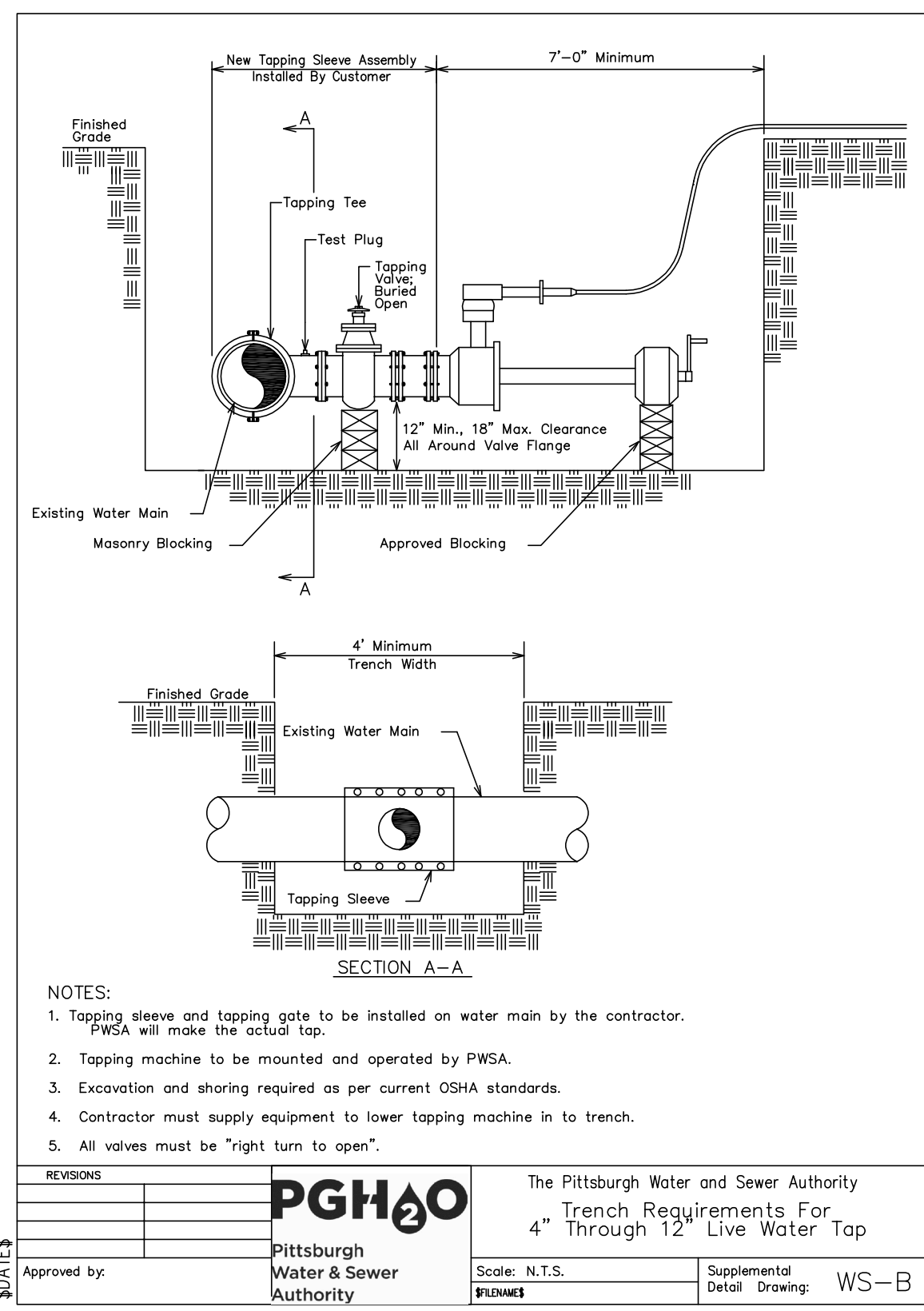
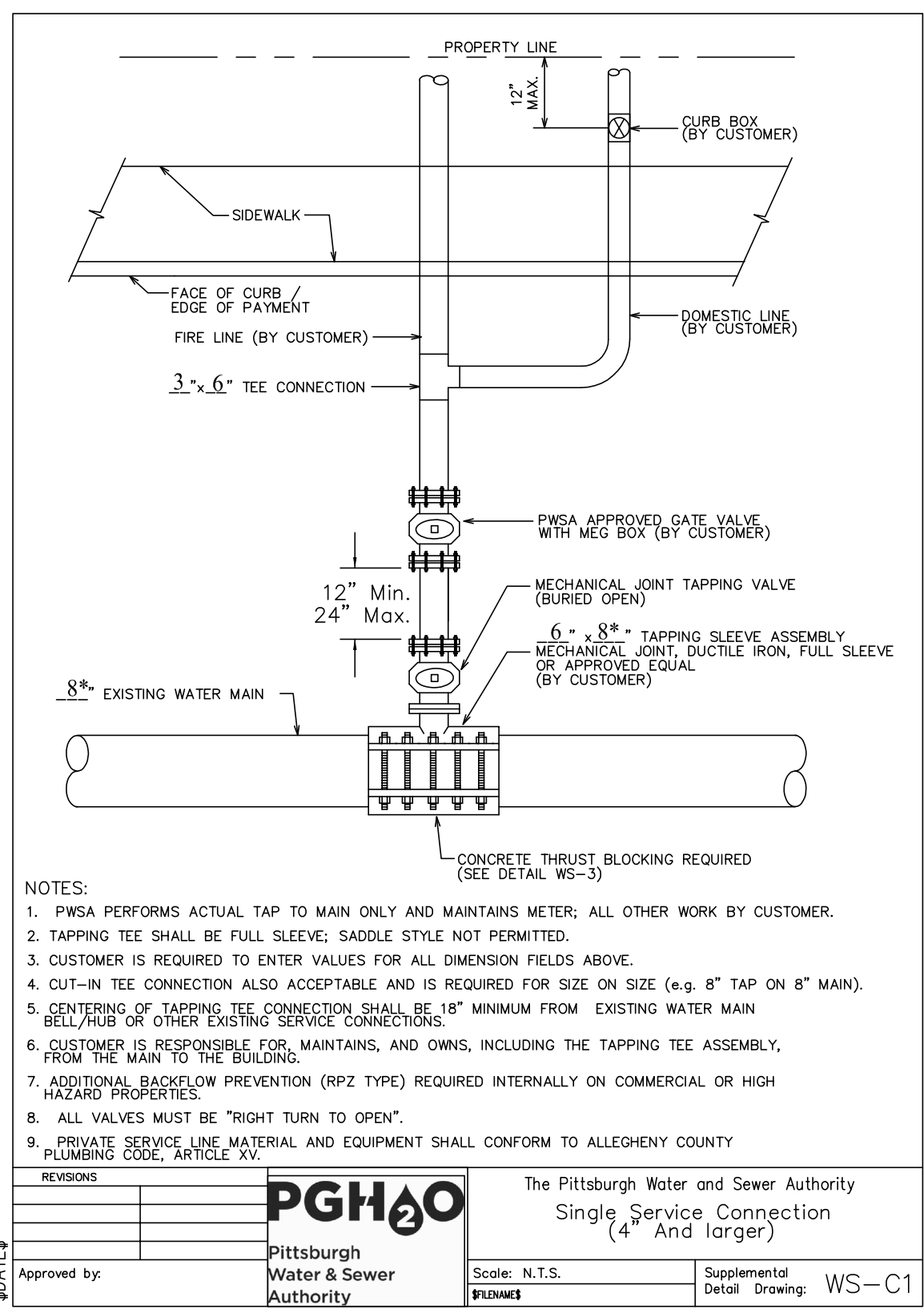
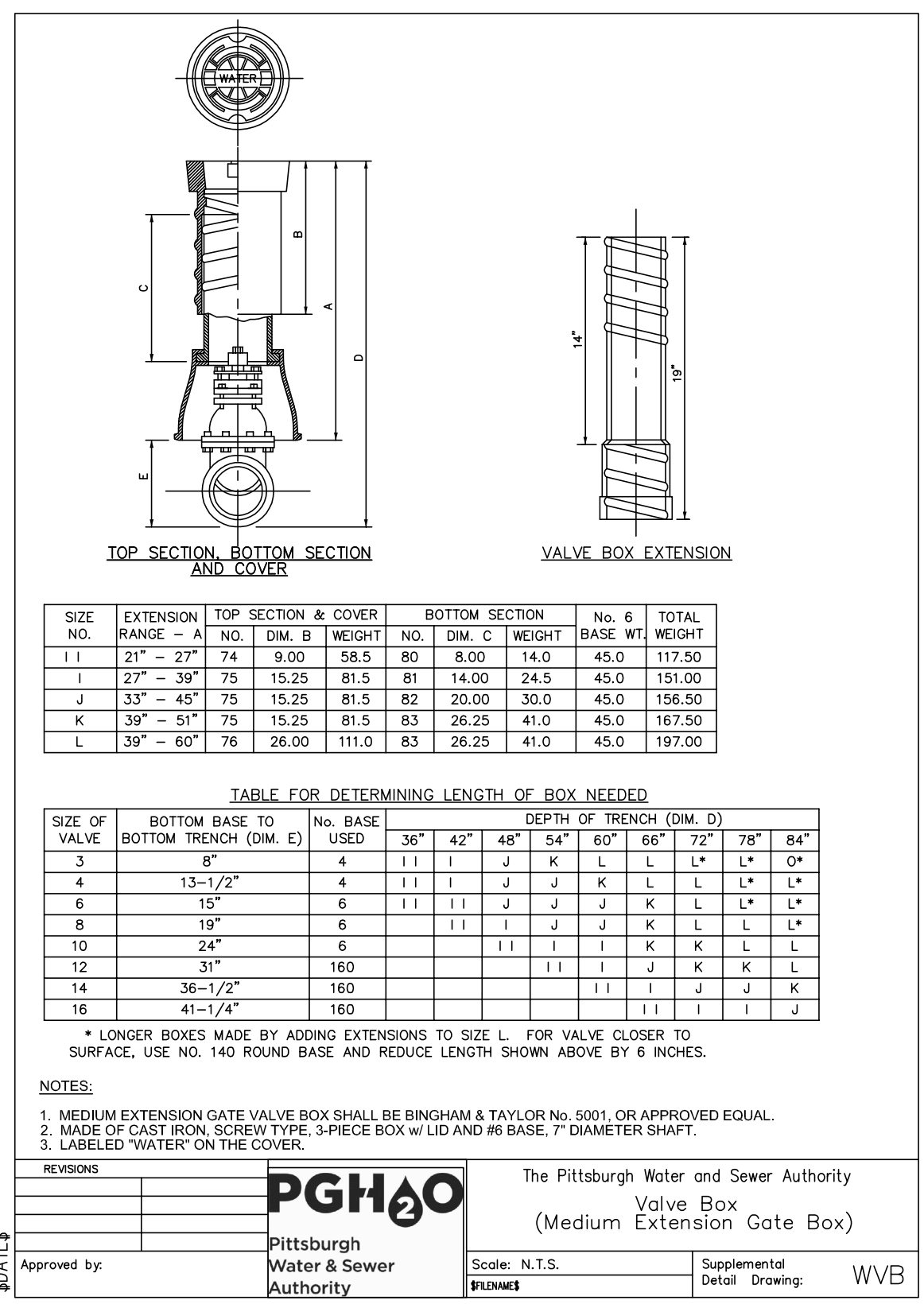
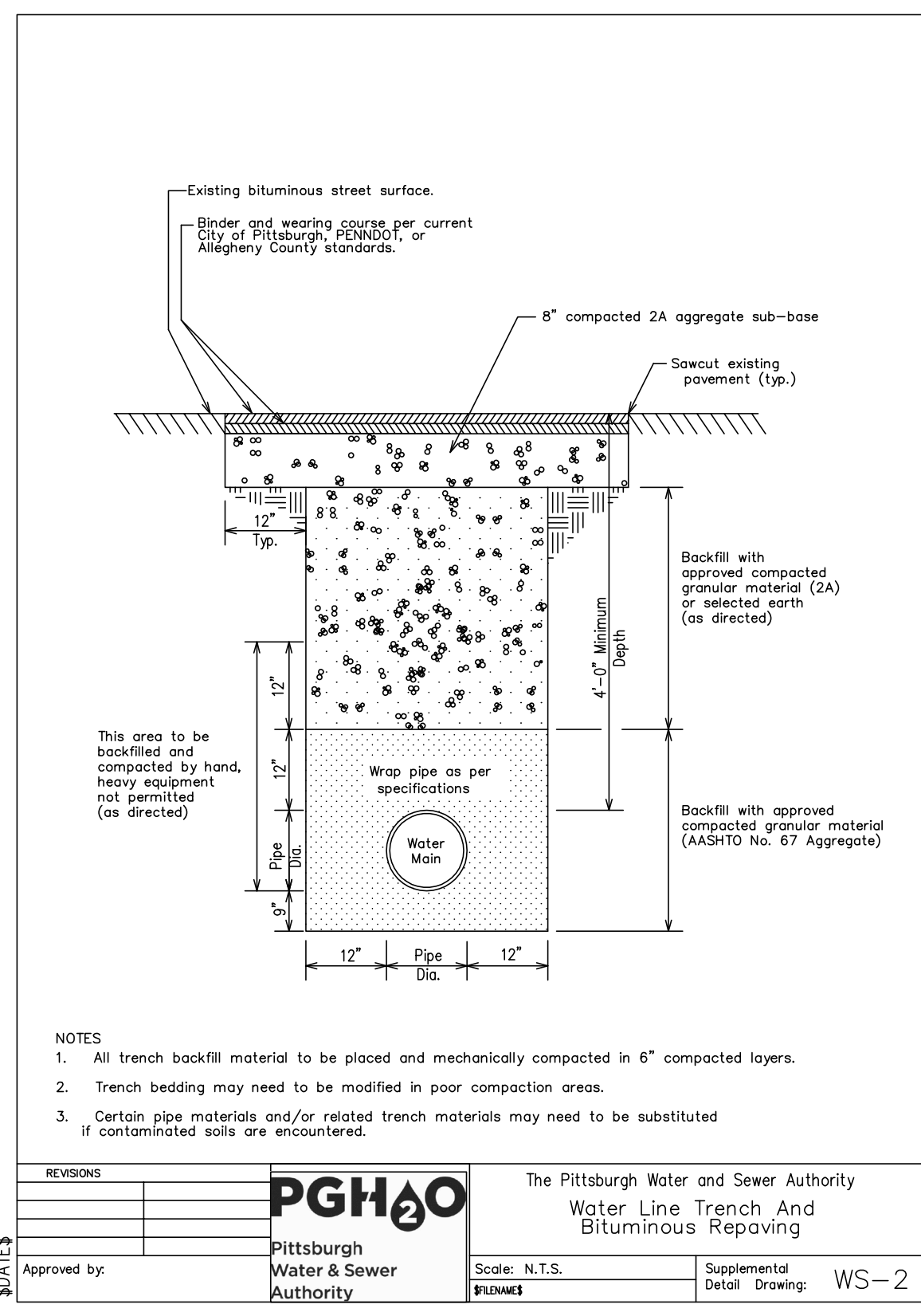
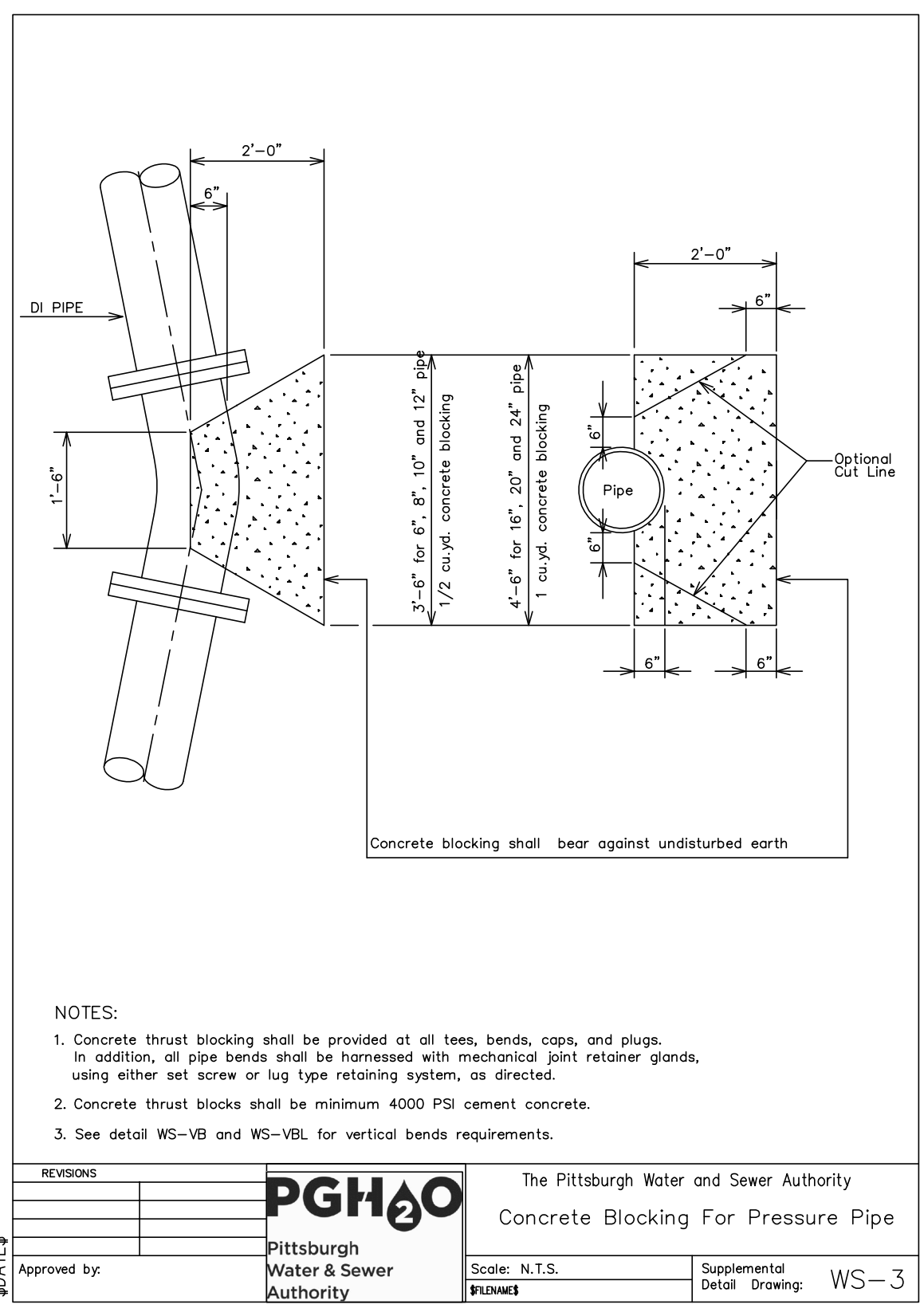
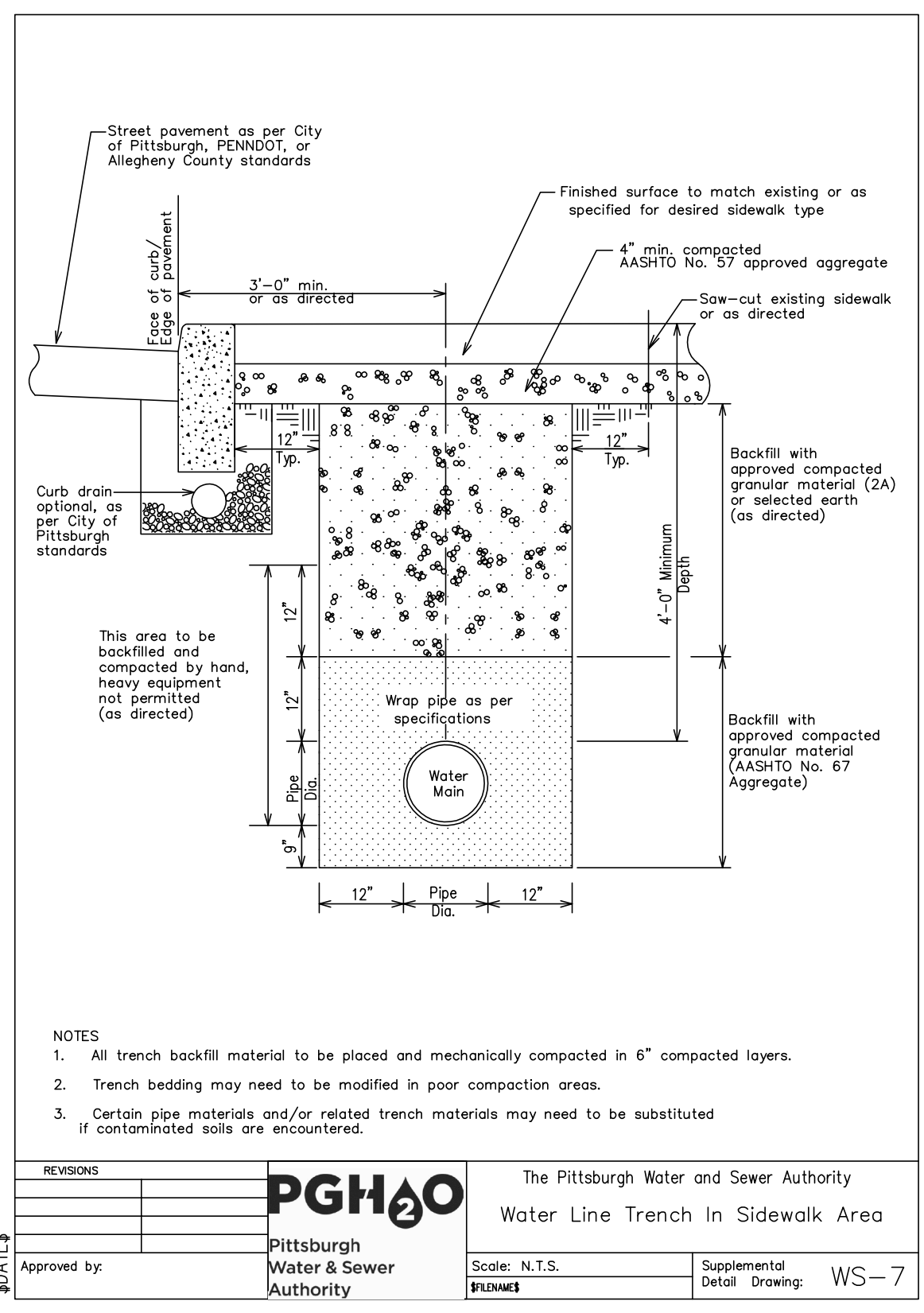
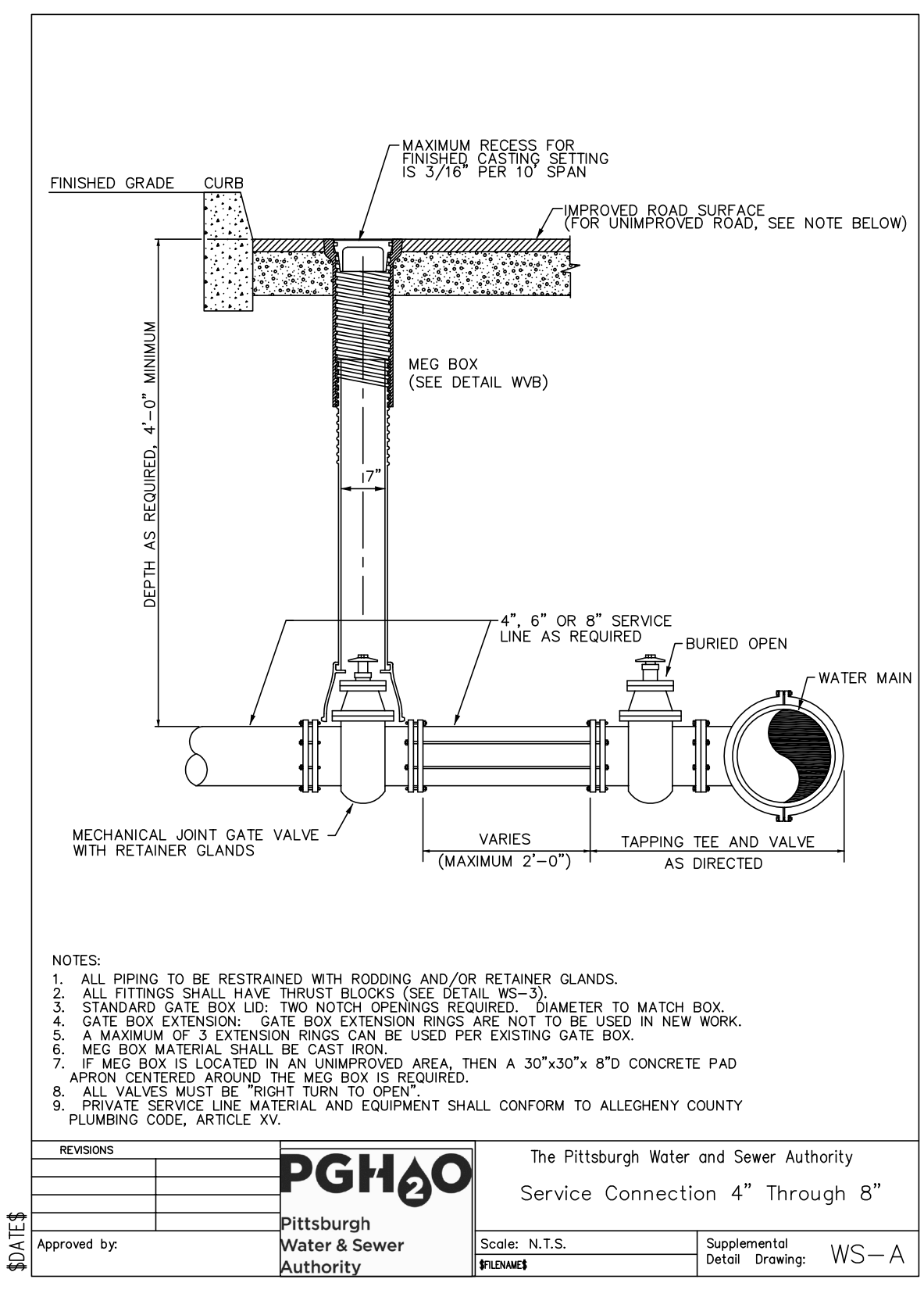
date
December 3rd, 2023

no. of
40 **233**

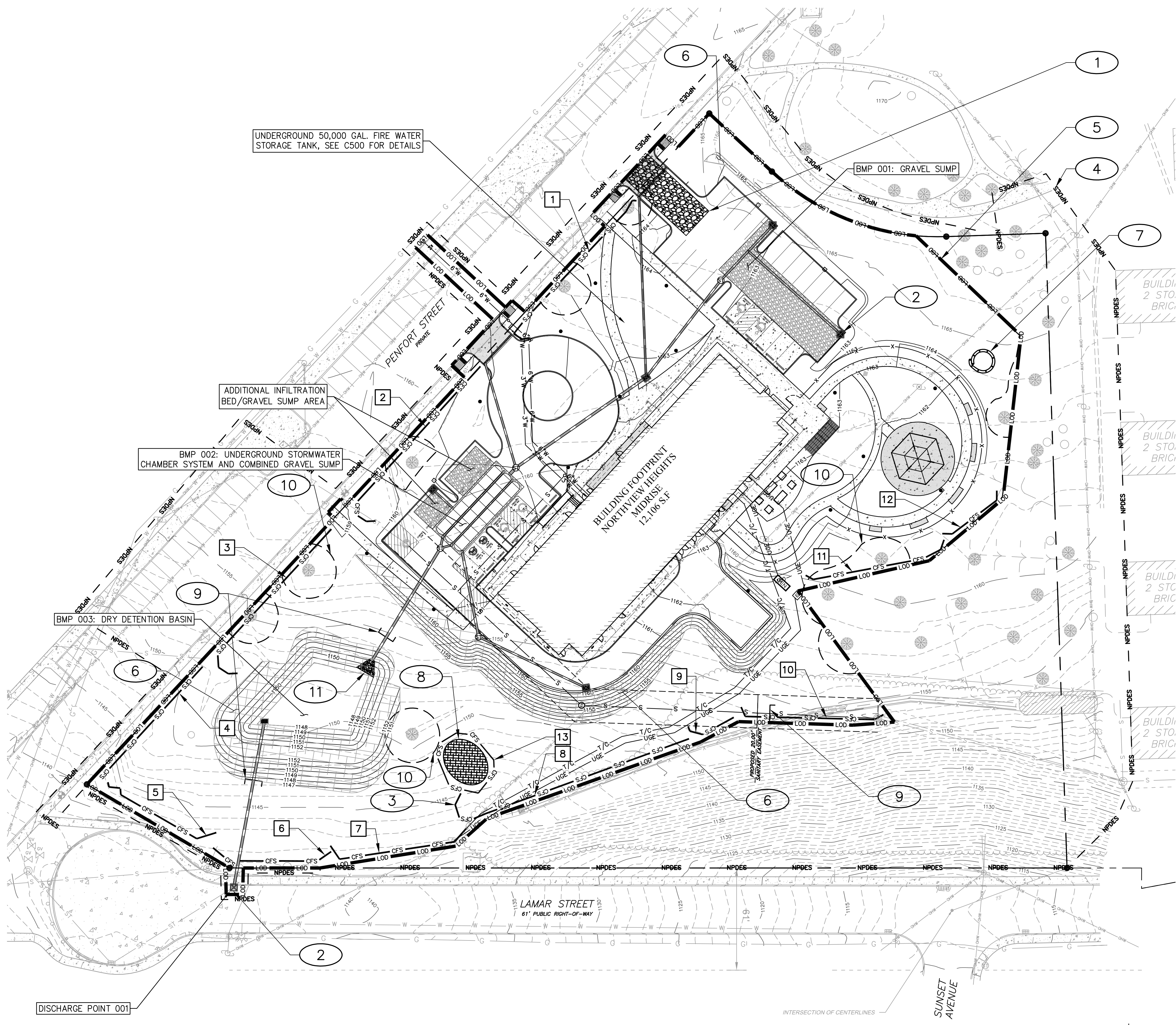
Sheet No.

C552

Project #2040



*CONTRACTOR TO CONFIRM EXISTING PIPE SIZE



EROSION AND SEDIMENTATION CONTROL NOTES

- 1 PROPOSED ROCK CONSTRUCTION ENTRANCE. SEE 6 C651
- 2 PROPOSED INLET PROTECTION. SEE 4 C651
- 3 PROPOSED COMPOST FILTER SOCK. SEE 1 C651
- 4 EXISTING NPDES BOUNDARY.
- 5 PROPOSED LIMIT OF DISTURBANCE.
- 6 PROPOSED EROSION CONTROL BLANKET. SEE 8 C651
- 7 PROPOSED CONCRETE WASHOUT. SEE 5 C651
- 8 PROPOSED TOPSOIL STOCKPILE AREA. SEE 9 C651
- 9 PROPOSED TRENCH PLUG. SEE 3 C652
- 10 PROPOSED TREE PROTECTION/ORANGE CONSTRUCTION FENCE (TYP.) SEE 2 C652
- 11 PROPOSED RIP-RAP APRON, SEE 2 C652

LEGEND

- PROPOSED ROCK CONSTRUCTION ENTRANCE.
- PROPOSED LIMIT OF DISTURBANCE.
- EXISTING NPDES BOUNDARY.
- PROPOSED COMPOST FILTER SOCK.
- PROPOSED INLET PROTECTION.
- PROPOSED EROSION CONTROL BLANKET.
- PROPOSED TOPSOIL STOCKPILE AREA.
- PROPOSED CONCRETE WASHOUT AREA.
- PROPOSED TRENCH PLUG
- PROPOSED RIP-RAP APRON
- EXISTING MINOR/MAJOR CONTOURS.
- PROPOSED MINOR/MAJOR CONTOURS.

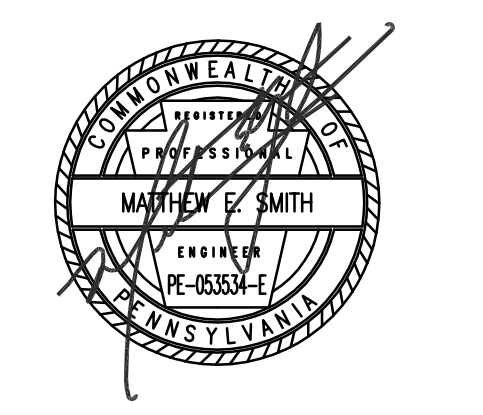
COMPOST FILTER SOCK SIZING

SOCK NUMBER:	SOCK SIZE (IN):
1	12
2	12
3	12
4	12
5	32
6	32
7	32
8	32
9	24
10	24
11	12
12	12
13	12

- NOTES:
- CLEARING AND GRUBBING SHALL ONLY OCCUR WITHIN OF THE LIMITS OF DISTURBANCE. REFER TO LANDSCAPE PLANS FOR TREE PRESERVATION (SHEET L0.01) AND TREE REPLACEMENT SCHEDULE (SHEET 5.00)

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 Pittsburgh, Pennsylvania 15219
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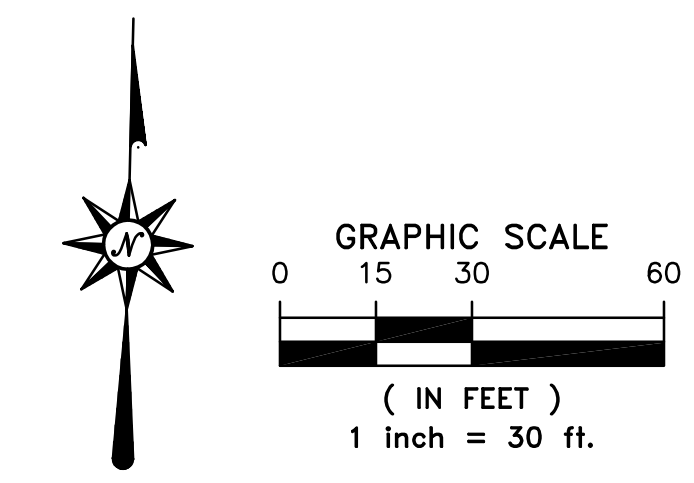
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 Pittsburgh, PA 15219

Project Location:
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 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

EROSION AND SEDIMENTATION CONTROL PLAN

811
 Know what's below.
 Call before you dig.
 PA ONE CALL SERIAL No. 20212440672 AS PER CALL FOR MAPS BY REF: CWWG: GRVLP: SEPTEMBER 1st 2021



CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776

scale As Noted	Sheet No. C600 Project #2040
date December 3rd, 2023	
no. 43	of. 233

GENERAL SEEDING SPECIFICATIONS

THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RECOMMENDS USING THE PENN STATE "EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND" MANUAL AS A REFERENCE FOR SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING, AND SEEDING METHODS. SPECIFICATIONS FOR THESE ITEMS MAY ALSO BE OBTAINED FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, SECTION 804 OR BY CONTACTING THE APPLICABLE COUNTY CONSERVATION DISTRICT.

VEGETATED AREAS WILL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES IS ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BEST MANAGEMENT PRACTICE ("BMP") WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPs THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED.

TEMPORARY SEEDING SPECIFICATIONS

PRELIMINARY PREPARATION: ALL AREAS THAT WILL BE SEEDED MUST BE LOOSENEED USING MECHANICAL MEANS. SOIL MUST BE LOOSENEED TO A DEPTH OF AT LEAST TWO-INCHES.

LIME AND FERTILIZER: APPLY 1 TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE AND FERTILIZER AS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL GRADE LIMESTONE AT A RATE OF 1 TON PER ACRE, AND APPLY FERTILIZER AT 500 POUNDS OF 10-10-10 FERTILIZER PER ACRE (E.G., 166.67 POUNDS NITROGEN (N), 166.67 POUNDS PHOSPHORUS (P₂O₅), AND 166.67 POUNDS POTASSIUM (K₂O) PER ACRE. WORK LIME AND FERTILIZER INTO A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLE 11.2.

SEED: ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE IDENTIFIED BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OUTLINED BELOW. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

SPECIES	PURITY (%)	READY GERMINATION (%)	TOTAL GERMINATION (%)	PURE LIVE SEED SEEDING RATE ¹ (LBS/ACRE)
SPRING-SUMMER				
SPRING OATS, OR	98	85	85	64
ANNUAL RYEGRASS, OR	95	85	85	10
SUMMER-FALL				
ANNUAL RYEGRASS, OR	95	85	85	10
WINTER RYE, OR	98	85	85	90
WINTER WHEAT	98	85	85	112

1- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY THE PLS AS SHOWN ON THE SEED TAG. THUS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.

MULCH: ALL SEEDED AREAS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN OAT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.

APPLY MULCH AT A RATE OF 3 TONS PER ACRE (I.E., 140 POUNDS PER 1,000 SQUARE FEET OR 1,240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED IMMEDIATELY AFTER APPLICATION. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE CONTOUR.

STEEP SLOPE SEEDING SPECIFICATIONS

STEEP SLOPE SEEDING MIXTURE (FOR USE ON GRADES AT 3:1 OR GREATER SLOPES): ALL SLOPES GREATER THAN 3:1 SHALL BE COVERED WITH AN EROSION CONTROL BLANKET IN ADDITION TO RECEIVING A GRASS SEEDING MIXTURE.

WHEN CONDITIONS PERMIT, NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS (ERNST MIX ERNMx-181 OR APPROVED EQUIVALENT) CAN BE UTILIZED ON STEEP SLOPES. REFER TO LANDSCAPE ARCHITECT PLANS AND PROJECT SPECIFICATIONS FOR SEEDING LOCATIONS AND ADDITIONAL INFORMATION ON SEEDING MIXES AND PLANTING.

PERMANENT SEEDING SPECIFICATIONS

PRELIMINARY PREPARATION: GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH TOPSOIL PARALLEL TO FINISH GRADE LEAVING ROOM FOR TOPSOIL PLACEMENT. PLACE TOPSOIL OVER SEEDED AREAS IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS. TOPSOIL SHOULD BE PLACED AT A GREATER THICKNESS THAN SPECIFIED TO ALLOW FOR SETTLEMENT AND LIGHT ROLLING. THE FINAL COVER MUST CONFORM TO THE PROPOSED LINES, GRADES AND ELEVATIONS. REFER TO LANDSCAPE ARCHITECTURAL PLANS AND PROJECT SPECIFICATIONS FOR SEEDING LOCATIONS AND ADDITIONAL INFORMATION ON SEEDING MIXES AND PLANTING.

LIME AND FERTILIZER: PLACE LIME AND FERTILIZE AS SPECIFIED IN THE PROJECT SPECIFICATIONS.

THE FERTILIZER AND LIMESTONE MUST BE THOROUGHLY INCORPORATED INTO THE SOIL BY MECHANICAL MEANS (E.G., ROTOTILLING) TO THE MINIMUM DEPTH SPECIFIED FOR THE PROJECT.

THE ENTIRE SURFACE MUST THEN BE REGRADED AND ROLLED. ALL AREAS THAT WILL BE SEEDED MUST BE LOOSENEED USING MECHANICAL MEANS. SOIL MUST BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES.

SEED: SEEDING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.

ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 100% GERMINATION BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OUTLINED BELOW OR BY PROJECT SPECIFICATIONS.

UNDERSTORY PLANTING PLAN AREA DESIGNATION*	SEED MIX	MIX SUPPLIER
DETENTION BASIN	ERNMX-183	ERNST SEEDS
NO-MOW COVER	PDOT-L (PennDOT)	ERNST SEEDS
LAWN	"TALL FESCUE PLUS"	EH GRIFFITH
STEEP SLOPE	ERNMX-181	ERNST SEEDS

*REFER TO LANDSCAPE ARCHITECTURAL PLAN SHEET L5.02 PLANTING PLAN - UNDERSTORY FOR DESIGNATED SEEDING AREAS.

MULCH: SEEDED AREAS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN OAT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. ALTERNATIVE MULCHES MAY BE USED IN ACCORDANCE WITH THE PROJECT SPECIFICATION. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.

APPLY MULCH AT A RATE OF 3 TONS PER ACRE (I.E., 140 POUNDS PER 1,000 SQUARE FEET OR 1,240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED OR OTHERWISE BONDED WITH ASPHALT EMULSION IN ACCORDANCE WITH PROJECT SPECIFICATIONS IMMEDIATELY AFTER APPLICATION. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE CONTOUR.

FURTHER NOTES

EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE CONTRIBUTORY DRAINAGE AREAS OF THOSE CONTROLS.

AFTER FINAL SITE STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE IMMEDIATELY STABILIZED. FINAL STABILIZATION IS DEFINED AS THE ACHIEVEMENT OF A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED ON ALL CONTRIBUTORY DRAINAGE AREAS.

SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH RUNOFF EVENT.

ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 4 DAYS MUST BE TEMPORARILY STABILIZED. DISTURBED AREAS THAT ARE EITHER AT FINISHED GRADE OR WILL NOT BE DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.

CONSTRUCTION SEQUENCE

THE OVERALL SITE-WORK GENERALLY CONSISTS OF EARTH-MOVING ACTIVITIES OVER APPROXIMATELY 2.95 +/- ACRES OF DISTURBED AREA TO PERFORM THE CONSTRUCTION OF THE MID-RISE APARTMENT COMPLEX, WHICH INCLUDES STORMWATER MANAGEMENT FACILITIES, NEW UTILITY INSTALLATION, LANDSCAPING, AND ASSOCIATED GRADING. THE CONSTRUCTION IS PROPOSED TO PROCEED IN THE FOLLOWING MANNER:

- AT LEAST SEVEN (7) DAYS BEFORE STARTING EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE CONTRACTORS INVOLVED IN PROPOSED EARTH DISTURBANCE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, AND A REPRESENTATIVE OF THE LOCAL CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS BEFORE STARTING EARTH DISTURBANCE ACTIVITIES, CONTRACTORS INVOLVED IN PROPOSED EARTH DISTURBANCE SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- STAKE OUT THE LIMIT OF DISTURBANCE FOR THE ACTIVE PORTION OF THE PROJECT.
- INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
- INSTALL ALL COMPOST FILTER SOCK PROTECTION AS SHOWN ON THE PLAN.
- INSTALL INLET PROTECTION AROUND EXISTING SITE INLETS.
- TREES THAT ARE TO BE PROTECTED DURING CONSTRUCTION, AS SHOWN ON THE PLANS, SHALL BE TEMPORARILY PROTECTED WITH STANDARD SNOW FENCE OR GRASS CONSTRUCTION FENCE IN ACCORDANCE WITH DETAILS SHOWN ON LANDSCAPE PLANS. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SET UP DESIGNATED TOPSOIL STOCKPILE AREA TO STORE STRIPPED TOPSOIL THROUGH SITE GRADING TO BE UTILIZED FOR RE-VEGETATION AND STABILIZATION.
- PROCEED WITH SITE DEMOLITION AND HALL-OFF OPERATIONS.
- AS THE CONSTRUCTION PAD AREA IS CLEARED, BEGIN EARTHWORK ACTIVITIES TO BRING SITE TO ROUGH GRADE ELEVATIONS PER GEOTECHNICAL RECOMMENDATIONS. SILT SLOPE STABILIZATION SHOULD OCCUR IN 15 TO 25 FOOT VERTICAL INCREMENTS. NO MORE THAN 15,000 SQ FT OF DISTURBED AREA WHICH IS TO BE STABILIZED BY VEGETATION SHOULD REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING. DISTURBED SLOPES GREATER THAN 3:1 MUST BE COVERED WITH EROSION CONTROL BLANKETS AS SPECIFIED.
- INSTALL CONCRETE WASHOUT FACILITY.
- INSTALL PUMPED WATER FILTER BAGS WHERE NECESSARY.
- BEGIN AND COMPLETE INSTALLATION OF WALL(S) AS NECESSARY TO BRING SITE TO/NEAR FINAL GRADE ELEVATIONS.
- BUILDING CONSTRUCTION MAY COMMENCE AFTER AREAS REACH FINAL GRADE ELEVATIONS AND THE CONCRETE WASHOUT FACILITY IS INSTALLED.

IMPORTANT: OPEN FOUNDATION AREAS MUST BE PROTECTED FROM ACCUMULATING STORMWATER RUNOFF. STORMWATER THAT ACCUMULATES IN OPEN FOUNDATION AREAS MUST BE REMOVED VIA A PUMP AND FILTER BAG.

- INSTALL SANITARY SEWER LATERALS (IF APPLICABLE). LIMIT DAILY TRENCH EXCAVATION AND SANITARY LINE INSTALLATION TO THE LENGTH OF PIPE PLACEMENT, BEDDING, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (WEATHER PERMITTING).
- COMMENCE INSTALLING SITE STORM PIPES AND STRUCTURES ENSURING NO WATER ENTERS THE STRUCTURES UNTIL AREAS TRIBUTARY TO THE STRUCTURES ARE STABILIZED. STORM PIPES AND STRUCTURES SHALL BE INSTALLED STARTING FROM THE DOWN GRADIENT END AND WORKING IN AN UP-GRADE MANNER. INSTALL FILTER INLET PROTECTION IN ALL NEW INLETS AS THEY ARE INSTALLED. LIMIT DAILY TRENCH EXCAVATION AND STORM LINE INSTALLATION TO THE LENGTH OF PIPE PLACEMENT, BEDDING, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (WEATHER PERMITTING). TRENCH SPOILS SHALL BE USED UP-GRADE/INLET OF UTILITY TRENCH AS A TEMPORARY BERM TO DIVERT UPHILL RUNOFF FROM EXCAVATIONS.

CRITICAL STAGE: CONSTRUCTION OF THE DRY EXTENDED DETENTION BASIN BMP.

IMPORTANT: STORMWATER RUNOFF IS NOT TO BE DIRECTED TO UNPROTECTED STORMWATER CONVEYANCE SYSTEMS UNTIL THE SITE IS AT FINAL GRADE AND STABILIZED.

- CONSTRUCT THE DETENTION BASIN EMBANKMENT, INCOMING HEADWALL/RIPRAP APRON, AND INSTALL THE OUTLET STRUCTURE IN ACCORDANCE WITH THE PROJECT PLAN AND DETAIL. PERMANENT STABILIZATION MEASURES TO ALL DISTURBED SURFACES DURING CONSTRUCTION OF THE DETENTION BASIN AS SOON AS PRACTICABLE IN ACCORDANCE WITH PROJECT PLANS AND DETAILS.

IMPORTANT: THE INSTALLATION OF THE DETENTION BASIN OUTLET STRUCTURE/PIPE IS A CRITICAL STAGE OF THE STORMWATER MANAGEMENT PLAN. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER ONE WEEK PRIOR TO EXPECTED OUTLET CONSTRUCTION SO THAT THE INSTALLATION CAN BE OBSERVED.

CRITICAL STAGE: CONSTRUCTION OF THE GRAVEL SUMP AND UNDERGROUND STORMWATER CHAMBER SYSTEM BMPs

- CONSTRUCTION OF INFILTRATION BEDS FOR THE TWO (2) GRAVEL SUMPS CAN COMMENCE.

A. EXCAVATE TO THE BOTTOM SPECIFIED FOR EACH SYSTEM IN THE PROJECT PLANS AND DETAILS TAKING CARE TO MINIMIZE COMPACTION IN THE BOTTOM OF THE EXCAVATIONS INSOFAR AS POSSIBLE. REMOVE UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO OLD FOUNDATIONS, LARGE COBBLES/BOULDERS, CONSTRUCTION DEBRIS LEFT FROM DEMOLITION OF FORMER STRUCTURES, ETC. SURFACES WITHIN THE INFILTRATION BED THAT ARE COMPACTED DURING CONSTRUCTION SHALL BE LOOSENEED/SCARIFIED TO PROMOTE INFILTRATION PRIOR TO CONTINUING WITH GRAVEL/CHAMBER INSTALLATION.

B. PLACE SPECIFIED GEOTEXTILE IN BOTTOM OF EXCAVATION IN A MANNER THAT WILL ALLOW ENTIRE SYSTEM TO BE ENCAPSULATED ONCE CONSTRUCTED IN ACCORDANCE WITH PROJECT DETAILS. INSTALL PERFORATED UNDERDRAIN PIPE WRAPPED IN FABRIC WITH CLOSED VALVE IN OUTLET STRUCTURE TO ALLOW FOR FUTURE MAINTENANCE.

C. BACKFILL EXCAVATIONS WITH SPECIFIED DRAINAGE AGGREGATE TO THE ELEVATION OF THE INVERT OF THE UNDERGROUND CHAMBER SYSTEM AND/OR PERFORATED OUTLET PIPES. INSTALL CHAMBERS AND PERFORATED OUTLET PIPES IN ACCORDANCE WITH PROJECT PLANS AND DETAILS AND MANUFACTURER'S INSTRUCTIONS. THE ENGINEER OR THEIR REPRESENTATIVE SHALL BE ALLOWED TO INSPECT THE OUTLET STRUCTURES AND OUTLET PIPES DURING THIS CRITICAL STAGE.

D. INSTALL PERFORATED INLET PIPES AND STRUCTURES, AND INSPECTION PORTS/CLEANOUTS AS NECESSARY AS CONTINUING TO BACKFILL THE EXCAVATIONS. FULLY ENCAPSULATE EACH GRAVEL SUMP SYSTEM IN FABRIC PRIOR TO CONTINUING BACKFILLING AND/OR CONSTRUCTING ABOVE SYSTEMS.

IMPORTANT: THE INSTALLATION OF THE UNDERGROUND GRAVEL SUMP OUTLET STRUCTURES/PIPES ARE CRITICAL STAGES OF THE STORMWATER MANAGEMENT PLAN. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER ONE WEEK PRIOR TO EXPECTED OUTLET CONSTRUCTION SO THAT THE INSTALLATION CAN BE OBSERVED.

- INSTALL BUILDING UTILITY SERVICE LINES AND CONDUITS. LIMIT DAILY TRENCH EXCAVATION AND UTILITY LINE INSTALLATION TO THE LENGTH OF PIPE PLACEMENT, BEDDING, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (WEATHER PERMITTING). EXISTING PAVEMENT AND/OR SIDEWALK IN PATH OF UTILITY TRENCHING SHALL BE SAW-CUT AND/OR CONCRETE PANELS REMOVED TO NEAREST JOINT INSOFAR AS POSSIBLE.
- BACKFILL AND RESTORE UTILITY TRENCHES WITHIN EXISTING ROADWAYS AS SOON AS PRACTICABLE.
- POUR AND APPROPRIATELY TOOL CONCRETE CURBING AND PADS.
- PLACE NEW CONCRETE/PAVEMENT SURFACES. INSTALL SITE FEATURES SUCH AS BIKE RACKS, GAZEBOS, SIDEWALKS, ETC.. REMAINING AREA SHALL RECEIVE PERMANENT SEEDING/PLANTING IN ACCORDANCE WITH THE LANDSCAPE PLAN, AND SEEDED AREAS ARE TO BE MULCHED PER PROJECT DETAILS.

THE SITE WILL BE CONSIDERED STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES IS ACHIEVED. WHEN SITE WORK IS COMPLETE AND THE SITE IS STABILIZED, REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL BMPs, INCLUDING, BUT NOT LIMITED TO, COMPOST FILTER SOCKS, INLET PROTECTION, THE ROCK CONSTRUCTION ENTRANCE, AND THE CONCRETE WASHOUT FACILITY. DISTURBANCE CAUSED AS A RESULT OF EROSION AND SEDIMENT CONTROL BMP REMOVAL SHALL BE IMMEDIATELY VEGETATED AND STABILIZED.

UTILITY TRENCH CONSTRUCTION SEQUENCE:
EXPOSED TRENCH EXCAVATIONS HAVE HIGH POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION. SINCE THESE EXCAVATIONS ARE TYPICALLY LOCATED AT LOWER ELEVATIONS ALONG OR ACROSS EARTH DISTURBANCE SITES, OPEN TRENCHES SERVE TO CONCENTRATE SEDIMENT-LADEN RUNOFF AND CONVEY IT TO SITE BOUNDARIES OR WATERWAYS. AN EFFECTIVE MEASURE TO REDUCE EROSION AND SEDIMENTATION DURING UTILITY CONSTRUCTION IS TO LIMIT THE SPECIFIC SCHEDULE AND SCOPE OF WORK ACTIVITIES AS FOLLOWS DURING CONSTRUCTION:

- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE OF TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY (WEATHER PERMITTING).
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING, SITE RESTORATION AND STABILIZATION OPERATIONS.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (WEATHER PERMITTING).
- TRENCH PIPES WILL BE SPACED AND CONSTRUCTED IN ACCORDANCE WITH THE TRENCH PLUG DETAIL ON THE PLAN SHEETS.
- WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING WATER TO A CONTROL FACILITY OR FILTER BAG FOR THE REMOVAL OF SEDIMENT. WHEN THE FILTER BAG IS ½-FULL IT SHOULD BE REPLACED. ACCUMULATED SEDIMENT SHALL BE MIXED WITH SOIL AND PROPERLY DISPOSED OF ON THE SITE IF POSSIBLE OR DISPOSED OF AT AN OFFSITE AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF EXCESS MATERIAL OFF-SITE AT A DEP APPROVED FACILITY. OFFSITE DUMPING FACILITIES SHALL HAVE AN APPROVED EROSION & SEDIMENT CONTROL PLAN.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO APPROXIMATE FINAL CONTOUR, AND THE APPROPRIATE TEMPORARY EROSION CONTROL MEASURE OR FACILITY WILL BE INSTALLED. SEEDING AND MULCHING OF DISTURBED AREAS WILL BE PERFORMED AT THE END OF EACH WORK WEEK.

EXCEPTIONS:
IN CERTAIN SITUATIONS, TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED. IN THESE SITUATIONS, THE REQUIREMENTS LISTED ABOVE WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
1. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
2. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO APPROXIMATE FINAL CONTOUR, APPROPRIATE TEMPORARY EROSION CONTROLS WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.

MAINTENANCE PROGRAM

MAINTENANCE OF TEMPORARY CONTROLS:
MAINTAIN TEMPORARY CONTROL MEASURES THROUGHOUT THE PROJECT PERIOD AS OUTLINED IN THE "MAINTENANCE SCHEDULE" SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE.

IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO PERFORM INSPECTIONS OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES TO ENSURE THAT THEY ARE WORKING PROPERLY. THESE INSPECTIONS MUST BE CONDUCTED WEEKLY, AND DURING OR IMMEDIATELY AFTER EVERY RUNOFF EVENT. THE INSPECTION WILL INCLUDE, BUT NOT BE LIMITED TO:

- INSPECT ALL CONTROLS AND REPAIR OR REPLACE AS NEEDED.
- INSPECT ALL SLOPES FOR SIGNS OF EROSION AND/OR SEDIMENTATION, AND REPAIR AS NEEDED.

AN ADEQUATE SUPPLY OF ADDITIONAL EROSION/SEDIMENTATION CONTROL MATERIALS (E.G., STRAW BALES, EROSION NETTING, PLASTIC COVERING, WIRE MESH, SAND AND BURLAP, SANDBAGS, ROCKS AND GRAVEL) MUST BE STOCKPILED ON-SITE. THESE SUPPLIES MUST BE USED FOR EMERGENCY REPAIRS TO/OR REPAIRS OF EXISTING SOIL EROSION AND SEDIMENTATION CONTROLS.

MAINTENANCE OF PERMANENT CONTROLS:
THE OWNER/DEVELOPER WILL MAINTAIN PERMANENT CONTROL FACILITIES.

CLEANING FREQUENCY AND ULTIMATE DISPOSAL OF WASTE:
CLEANING FREQUENCIES ARE SPECIFIED WITHIN THE MAINTENANCE SCHEDULE. SILT AND SEDIMENT REMOVED FROM ALL CONTROL MEASURES SHOULD BE MIXED WITH SOIL DURING EARTHWORK AND PROPERLY DISPOSED OF ON-SITE.

EROSION AND SEDIMENTATION CONTROL NOTES

EROSION AND SEDIMENTATION CONTROL NOTES:

- A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS, NOTES, AND DETAILS DRAWINGS (STAMPED/SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL GENERALLY PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE PROVIDED. BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED ESOIP OR REVISIONS TO OTHER PLANS THAT MAY AFFECT OR IMPACT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LOCAL CONSERVATION DISTRICT OR DEP.
- IN ADDITION TO THE PERMIT APPLICANT, INDIVIDUALS OR PARTIES WANTING TO CONDUCT INTRUSIVE EARTH DISTURBANCE ACTIVITIES ARE REQUIRED TO BE ADDED TO THE NPDES PERMIT AS A CO-PERMITTEE (IF NPDES APPLICABLE).
- AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, AND A REPRESENTATIVE OF THE LOCAL CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
- IMPORTANT:** IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BMPs TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PADEP) OFFICE.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND CONSTRUCTION WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE. THE FOLLOWING DEFINE WHAT SHOULD BE CONSIDERED "CONSTRUCTION WASTE" AND "CLEAN FILL":

A. CONSTRUCTION WASTE - INCLUDES BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.

B. CLEAN FILL - UNCONTAMINATED, NON-WATER-SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL THIS INCLUDES SOIL, ROCK, STONE DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. IT DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE SURFACE WATERS UNLESS OTHERWISE AUTHORIZED, MILLED ASPHALT, OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.

8) ALL PARTIES RESPONSIBLE FOR THE EXCAVATION OF SITE MATERIALS OR THE IMPORT OF FILL MATERIALS ARE RESPONSIBLE TO ENSURE THAT "ENVIRONMENTAL DUE DILIGENCE" IN THE DETERMINATION OF CLEAN FILL MATERIAL IS EITHER REMOVED FROM THE SITE OR USED AS FILL FOR THE SITE. ANY MATERIAL IDENTIFIED AS HAZARDOUS MUST BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL GUIDELINES AND REGULATIONS.

A. ENVIRONMENTAL DUE DILIGENCE - INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

9) BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN ESCP APPROVED BY THE LOCAL CONSERVATION DISTRICT OF THE DEP, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS. THE OPERATOR SHALL ALSO NOTIFY THE LOCAL CONSERVATION DISTRICT IN WRITING OF ALL RECEIVING SPOIL OR BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.

10) THE ROCK CONSTRUCTION ENTRANCE WILL BE THE ONLY ENTRANCE USED BY CONSTRUCTION VEHICLES. NO CONSTRUCTION VEHICLES SHALL BE PERMITTED TO ENTER AREAS OUTSIDE OF THE LIMIT OF DISTURBANCE BOUNDARIES AS SHOWN ON THE E&S PLAN DRAWING.

11) THE CONTRACTOR SHALL TAKE ALL APPROPRIATE ACTIONS NECESSARY TO PREVENT TRUCKS FROM DEPOSITING SEDIMENT ON THE PUBLIC STREETS. SEDIMENT TRACKED ONTO PUBLIC ROADWAYS OR SIDEWALKS SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED OF IN THE MANAGER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

12) REMOVE ALL DEMOLITION MATERIALS TO A SUITABLE DISPOSAL SITE IN A RESPONSIBLE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIAL OFF-SITE TO AN APPROVED FACILITY (AS PER NOTE 8, AND SEE NOTE 7 FOR THE DEFINITION OF CONSTRUCTION WASTES).

13) CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO BE WITHIN THE IDENTIFIED DISTURBANCE LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIAL OFF-SITE TO AN APPROVED FACILITY (AS PER NOTE 8 AND SEE NOTE 7 FOR THE DEFINITION OF CONSTRUCTION WASTES).

14) **IMPORTANT:** STORMWATER RUNOFF IS NOT TO BE DIRECTED TO UNPROTECTED STORMWATER MANAGEMENT SYSTEMS, STORMWATER CONVEYANCE SYSTEMS, OR INFILTRATION BED AREAS UNTIL THE SITE IS AT FINAL GRADE AND STABILIZED.

15) STOCKPILE HEIGHTS MUST NOT EXCEED 15 FEET. STOCKPILE SIDE SLOPES MUST BE 3H:1V MAXIMUM.

16) DURING UTILITY LINE CONSTRUCTION, EXCAVATE UTILITY LINE TRENCHES ONLY AS REQUIRED. LIMIT ADVANCE EXCAVATION TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. TRENCH PIPES, AS SHOWN ON THE DRAWINGS, ARE TO BE INSTALLED PER PADEP CHAPTER 102 REQUIREMENTS. WATER, WHICH ACCUMULATES IN THE OPEN TRENCH, WILL BE COMPLETELY REMOVED BY PUMPING INTO A FILTER BAG IN ACCORDANCE WITH PADEP CHAPTER 102 REQUIREMENTS. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL GRADE, AND SEEDED AND MULCHED PER THE PERMANENT SEEDING SCHEDULE.

17) FILTREXX SILTSOXX™, INLETSOXX™, RUNOFF DIVERSION SOXX™, AND ANY OTHER FILTREXX BMPs EMPLOYED AS PART OF THE ESCP FOR THE PROJECT MUST FOLLOW THE MANUFACTURER'S DISPOSAL/RECYCLING INSTRUCTIONS FOR EACH SPECIFIC BMP UTILIZED THROUGHOUT THE PROJECT'S CONSTRUCTION AND EARTHMOVING OPERATIONS.

18) DURING FOUNDATION CONSTRUCTION, PUMP WATER ACCUMULATED IN OPEN TRENCHES INTO FILTER BAGS IN ACCORDANCE WITH PADEP CHAPTER 102 REQUIREMENTS. REFER TO DETAIL 7 ON C603. WHEN THE FILTER BAG IS ½-FULL IT SHOULD BE REPLACED. ANY ACCUMULATED SEDIMENTATION WILL BE MIXED WITH SOIL AND PROPERLY DISPOSED OF ON THE SITE IF POSSIBLE OR DISPOSED OF AT AN OFFSITE AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIAL OFF-SITE TO AN APPROVED FACILITY (AS PER NOTE 8).

19) **IMPORTANT:** A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED, AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED, SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.

20) ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN ACCORDANCE WITH NOTE 8.

21) ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED UPON REACHING FINAL GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.

22) AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 4 INCHES PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.

23) UNTIL THE SITE IS STABILIZED, ALL E&S BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL E&S BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

24) UPON COMPLETION OF ANY EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.

25) EROSION AND SEDIMENTATION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT STABILIZATION OF ALL TRIBUTARY AREAS HAS BEEN ACHIEVED. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY ONE OF THE FOLLOWING:

A. A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED.

B. AN ACCEPTABLE BMP THAT PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.

26) AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID RE-VEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSION SHOULD BE DONE ONLY DURING GERMINATING SEASON.

27) UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

28) **IMPORTANT:** FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

FILL PLACEMENT NOTES:

1) ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.

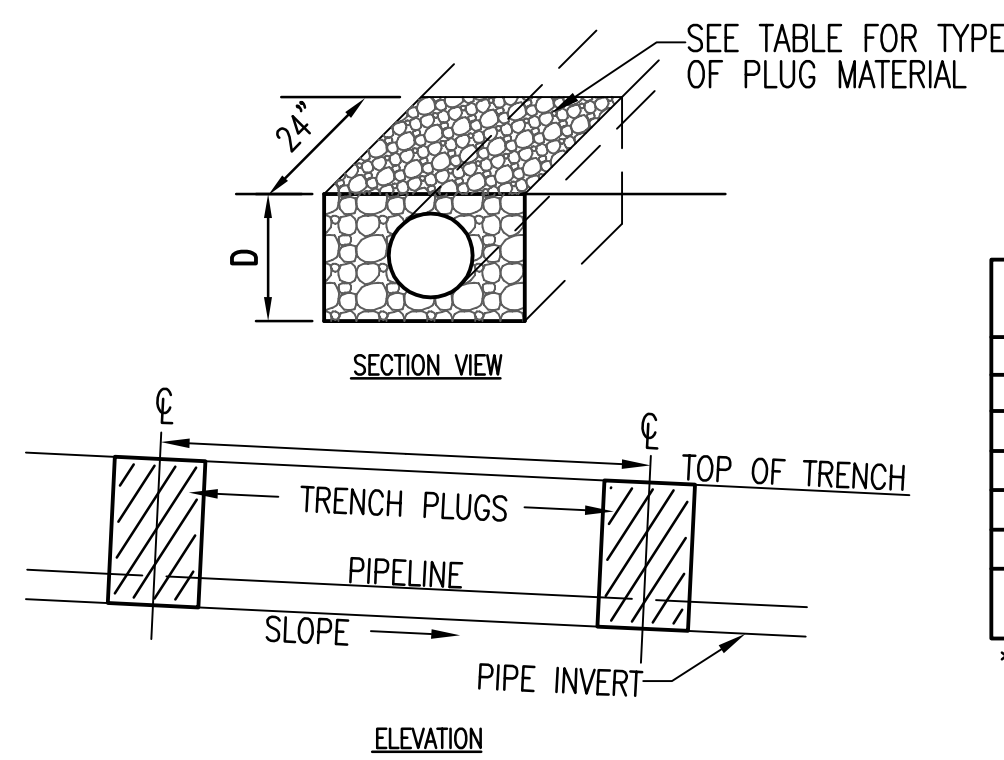
2) ALL FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.

3) FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.

4) FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.

5) FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

6) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL EARTHWORK RE



REQUIRED SPACING (L) AND MATERIAL FOR TRENCH PLUGS

TRENCH SLOPE (%)	L (FEET)	PLUG MATERIAL
0-5	--	NONE
5-15	500	EARTH FILLED SACKS **
15-25	300	EARTH FILLED SACKS **
25-35	200	EARTH FILLED SACKS **
35-100	100	EARTH FILLED SACKS **
OVER 100	50	CEMENT FILLED BAGS (WETTED) OR MORTARED STONE

** TOPSOIL MAY NOT BE USED TO FILL SACKS.

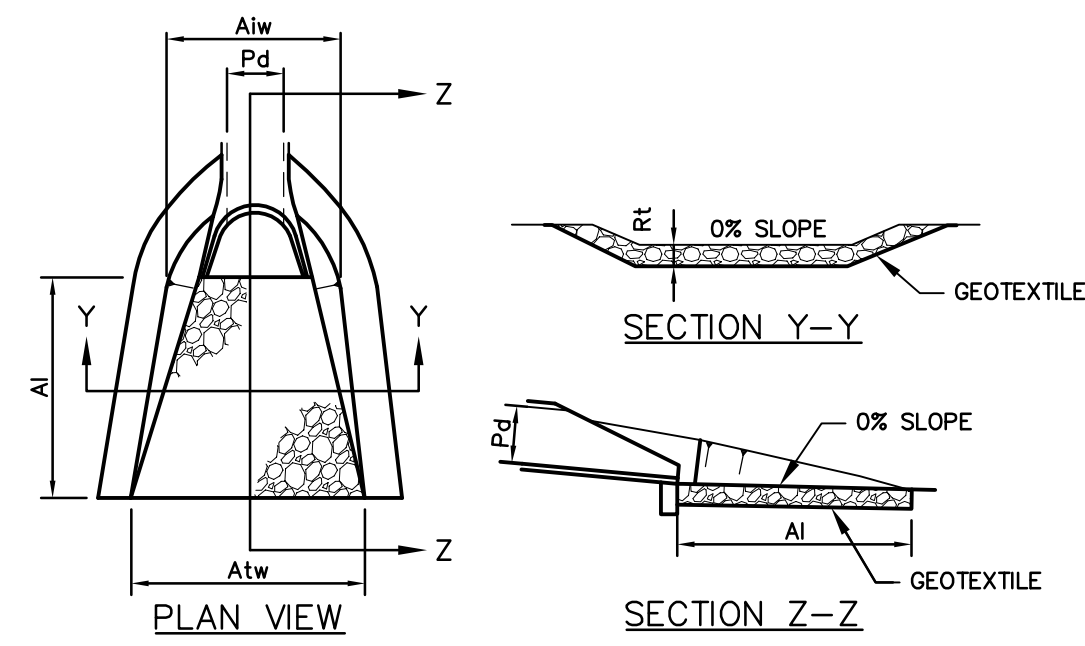
NOTES

- PIPELINES WITH JOINTS THAT ALLOW A MANUFACTURED LENGTH OF PIPE TO BE PLACED IN THE TRENCH WITH THE PIPE JOINT ASSEMBLED/MADE IN THE TRENCH REQUIRE AN OPEN PIPELINE TRENCH THAT IS ONLY SLIGHTLY LONGER THAN THE LENGTH OF PIPE BEING INSTALLED. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY. SOIL SUPPLEMENTS, SEED AND MULCH SHOULD BE APPLIED WITHIN SEVEN DAYS AFTER THE PIPELINE/UTILITY LINE IS INSTALLED.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH IS TO BE COMPLETELY REMOVED BY PUMPING, WITH THE USE OF FILTER BAGS; BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.

UTILITY EXCAVATION TRENCH PLUGS

NOT TO SCALE

1



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP			APRON	
		SIZE R--	THICK. Rt (IN)	LENGTH Lt (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
1	15	5	27	8	4	12

NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

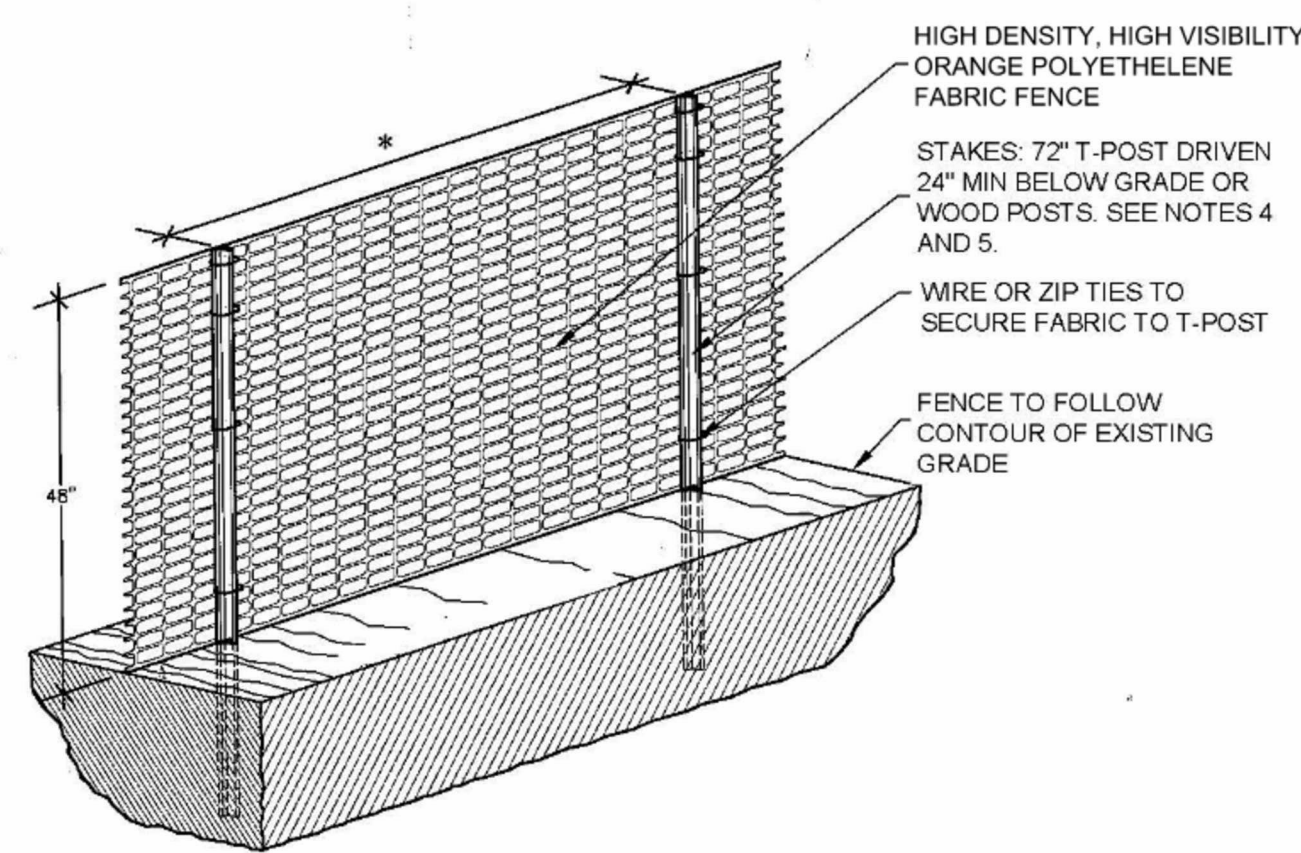
STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET
WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE

RIPRAP APRON AT PIPE OUTLET

WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE

2



* 20' MAXIMUM SPACING

NOTES:

- PRESERVATION FENCE (AGENCY DISCRETION) SHALL BE USED IN LOCATIONS IDENTIFIED SOLELY BY THE ENGINEER AND IS NOT INTENDED FOR THE CONVENIENCE OF THE CONTRACTOR.
- PLACE FENCE OUTSIDE THE DRIP LINE OF TREES.
- FENCE FABRIC TO BE FASTENED SECURELY TO POSTS USING WIRE OR PLASTIC ZIP TIES.
- WHEN USING WOOD POSTS THE POSTS SHALL BE OF HARDWOOD WITH A WEDGE OR PENCIL TIP AT ONE END, 72" MIN. LENGTH, AND 2" X 2" NOMINAL CROSS SECTION. USE ONE 2" GALVANIZED WIRE STAPLE TO ATTACH FABRIC TO WOOD POSTS.
- METAL T-POST SHALL HAVE A MINIMUM WEIGHT OF 0.85 LB/FT OF LENGTH.

ORANGE CONSTRUCTION FENCE

NOT TO SCALE

3

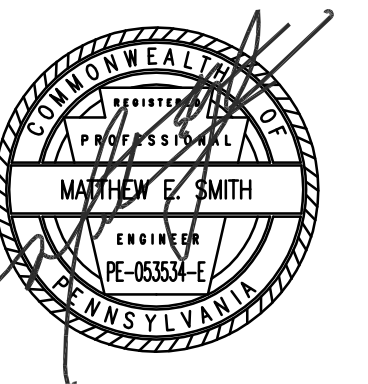
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general notes

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revisions

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drawing title

EROSION AND SEDIMENTATION
CONTROL DETAILS 2 OF 2

scale As Noted	Sheet No. C652 Project #2040
date December 3rd, 2023	
no. 46	of. 233

SOLID STATE AREA LIGHTING

RAZAR SERIES-LED

OPTICAL CHARACTERISTICS
 Heavy cast low copper aluminum (A356 alloy, ±0.2% copper) casting with integral cooling fins. Fine dimpled texture and anodized surface is milled flat (surface roughness Ra = 0.07) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ELECTRICAL CHARACTERISTICS
 Heavy cast low copper aluminum (A356 alloy, ±0.2% copper) casting with integral cooling fins surrounding the electrical compartment and on flat surface on the top of the arm to accommodate a photometric reference. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188". Cast and ringed driver assembly cover is integrated with wing compartment cover.

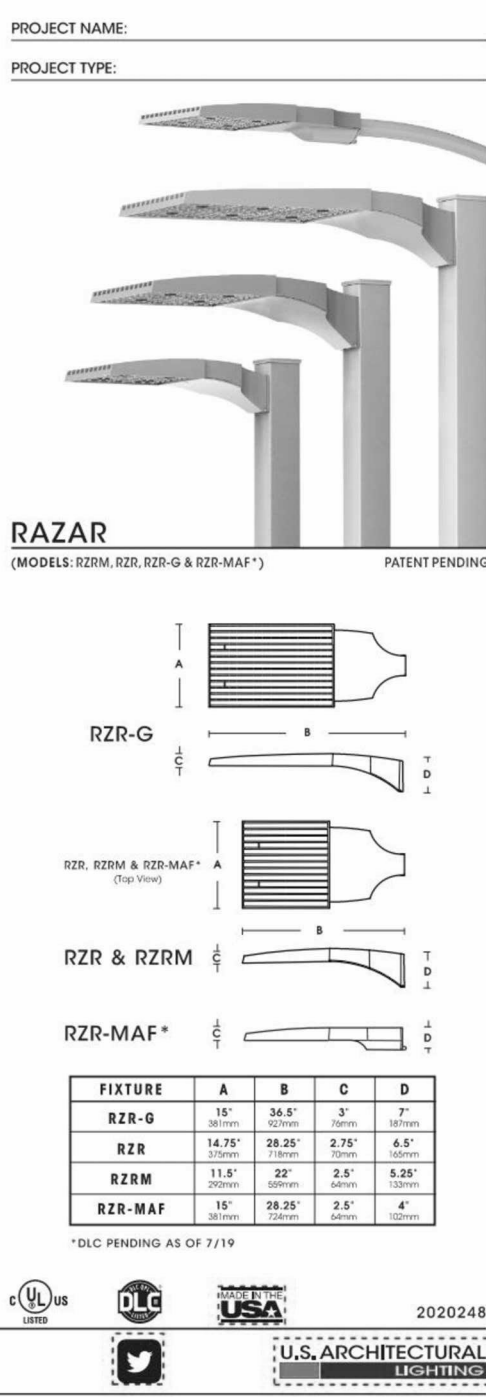
LED DRIVERS
 Constant current electronic with a power factor of > 0.90 and a maximum operating temperature of 40°C (104°F). Drivers (1) to (4) are all recognized and mounted directly against the Electrical Reference to facilitate thermal transfer. Heat down by unobstructed convection. Drivers are terminated by double wire bonding between the driver and optical array. Drivers consist of an input of 120 V/277 V, 50/60 Hz AC and a 24 V/48 V DC output. Dimmable driver is standard. Driver has a minimum of 3kV internal surge protection. Luminaire is equipped with 20kV surge protector for field accessible installation.)

LED OUTPUT
 High output LEDs are utilized with drive currents ranging from 250mA to 1.05A. LEDs are mounted on a 1.5mm thick aluminum standard Neutral White (5000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

AMBER LEDs
 PCA (Phosphor Converted Amber) LED utilize phosphors to convert color output from blue LEDs and have a light output of 100 lm/W. The blue spectral bandwidth is 450-470 nm. The amber material that emits light in the amber spectral bandwidth only without the use of phosphors.

FINISH
 Electrochromically applied TGIC Polyester Powder Coat on substrate prepared with 200 mesh power wash of 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400 mesh for maximum gloss and durability.

MAINTAINANCE
 Redaen Post Top Area Luminaire. Fits standard 2 1/8" O.D. horizontal form two (2) stops with two (2) bolts each enclose the lower half of the luminaire. Upper half of the luminaire on self-centering stems that position the angle of the luminaire at 0°, 15°, 30°, 45° up from the horizontal. All hardware is stainless steel.



RAZAR SERIES-LED

LED/ELECTRICAL GUIDE (pg. 1)

Approximate Average Lumens ±400K
(Source: minimum of 400000)

LED SOURCE TYPE	350MA	700MA	1050MA
24 LED 24 PLED Opto Module - 350MA	24,381	48,761	73,142
24 LED 24 PLED Opto Module - 700MA	48,761	97,521	146,281
24 LED 24 PLED Opto Module - 1050MA	73,142	146,281	219,421

SPEC/ORDERING INFORMATION

MODEL	OPTICS	LED MODE	VOLTAGE	FINISH	OPTIONS
24 LED	24 PLED Opto	350MA	120V/277V	BLACK	CHALK/DRAINAGE FOR HARDWARE/SERVICES
24 LED	24 PLED Opto	700MA	120V/277V	BLACK	CHALK/DRAINAGE FOR HARDWARE/SERVICES
24 LED	24 PLED Opto	1050MA	120V/277V	BLACK	CHALK/DRAINAGE FOR HARDWARE/SERVICES

RAZAR SERIES-LED

LED/ELECTRICAL GUIDE (pg. 2)

Approximate Average Lumens ±400K
(Source: minimum of 400000)

LED SOURCE TYPE	350MA	700MA	1050MA
40 LED 40 PLED Opto Module - 350MA	37,761	75,521	113,281
40 LED 40 PLED Opto Module - 700MA	75,521	151,041	226,561
40 LED 40 PLED Opto Module - 1050MA	113,281	226,561	340,841

SPEC/ORDERING INFORMATION

MODEL	OPTICS	LED MODE	VOLTAGE	FINISH	OPTIONS
40 LED	40 PLED Opto	350MA	120V/277V	BLACK	CHALK/DRAINAGE FOR HARDWARE/SERVICES
40 LED	40 PLED Opto	700MA	120V/277V	BLACK	CHALK/DRAINAGE FOR HARDWARE/SERVICES
40 LED	40 PLED Opto	1050MA	120V/277V	BLACK	CHALK/DRAINAGE FOR HARDWARE/SERVICES

Redaen Post Top Area Luminaire

Specifications
 EPA: 100 (100 sq ft)
 Length: 24"
 Width: 24"
 H: 12"
 Luminaire Height: 26"
 Weight: 38lb

Ordering Information

Accessories
 RZR-EM, RZR-M, RZR-MAX, RZR-MAI

Mounting
 PTA, RAZP120, RAZP123

Control Options
 DIM, DALI, 0-10V, 1-10V

Performance Data

Lumen Output
 Table showing lumen output for various configurations.

Lumen Ambient Temperature (LAT) Multiplier
 Table showing multipliers for different ambient temperatures.

Projected LED Lumen Maintenance
 Table showing lumen maintenance over time.

Orientation Diagrams

Standard Optic, House side Shield, Rotated 90°

Ordering Information

EXAMPLE: RAZP12 LED P3 30K SYM MVOLT PTA PIR DNAXD

Series	Performance package	Color temperature	Distribution	Voltage	Mounting option
RAZP12	P1	3000K	24°	120V/277V	PTA

Ordering Information

EXAMPLE: RAZP12 LED P3 30K SYM MVOLT PTA PIR DNAXD

Series	Performance package	Color temperature	Distribution	Voltage	Mounting option
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Standard Optic, House side Shield, Rotated 90°

WDGE2 LED

Architectural Wall Sconce Precision Reflective Optic

Specifications
 Depth (D1): 7"
 Depth (D2): 1.5"
 Height: 9"
 Width: 11.5"
 Weight (without optics): 13.5 lb

Ordering Information
EXAMPLE: WDGE2 LED P3 40K BRV MF VOLT SMT DBXDB

Series	Package	Color Temperature	Distribution	Voltage	Mounting
WDGE2	P1	4000K	24°	120V/277V	SMT

Ordering Information

EXAMPLE: WDGE2 LED P3 40K BRV MF VOLT SMT DBXDB

Series	Package	Color Temperature	Distribution	Voltage	Mounting
WDGE2	P1	4000K	24°	120V/277V	SMT

Performance Data

Lumen Output
 Table showing lumen output for various configurations.

Lumen Ambient Temperature (LAT) Multiplier
 Table showing multipliers for different ambient temperatures.

Projected LED Lumen Maintenance
 Table showing lumen maintenance over time.

Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRL)
Networked Control (NTRAB2)

Orientation Diagrams
 PIR, PIRL, PIRH, PIRB

Fukui Architects Pc

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 Pittsburgh, Pennsylvania 15219
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revisions

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Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfor Street
 Pittsburgh, PA 15214

drawing title

LIGHTING DETAILS

Method Ambient Sensor
 D=17"
 H=9" (Standard controls)
 17" (48" AR) controls, 27" antenna will be pointing down behind the arm
 W=11.5"

PIRB - Surface Mounted Back Box Use when there is no junction box available.
 D=17.5"
 H=11.5"
 W=11.5"

AMB - 3/8" Architectural Wall Sconce
 D=3.5"
 H=4.5"
 W=7.5"

FEATURES & SPECIFICATIONS

INSTALLATION
 Mounting hardware and electrical wiring shall be installed in accordance with applicable codes and regulations. The contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.

WARRANTY
 Five (5) year warranty on the luminaire. Complete warranty terms located at: [www.lithonia.com/warranty](#)

REVISIONS
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 Pittsburgh, PA 15222
 United States

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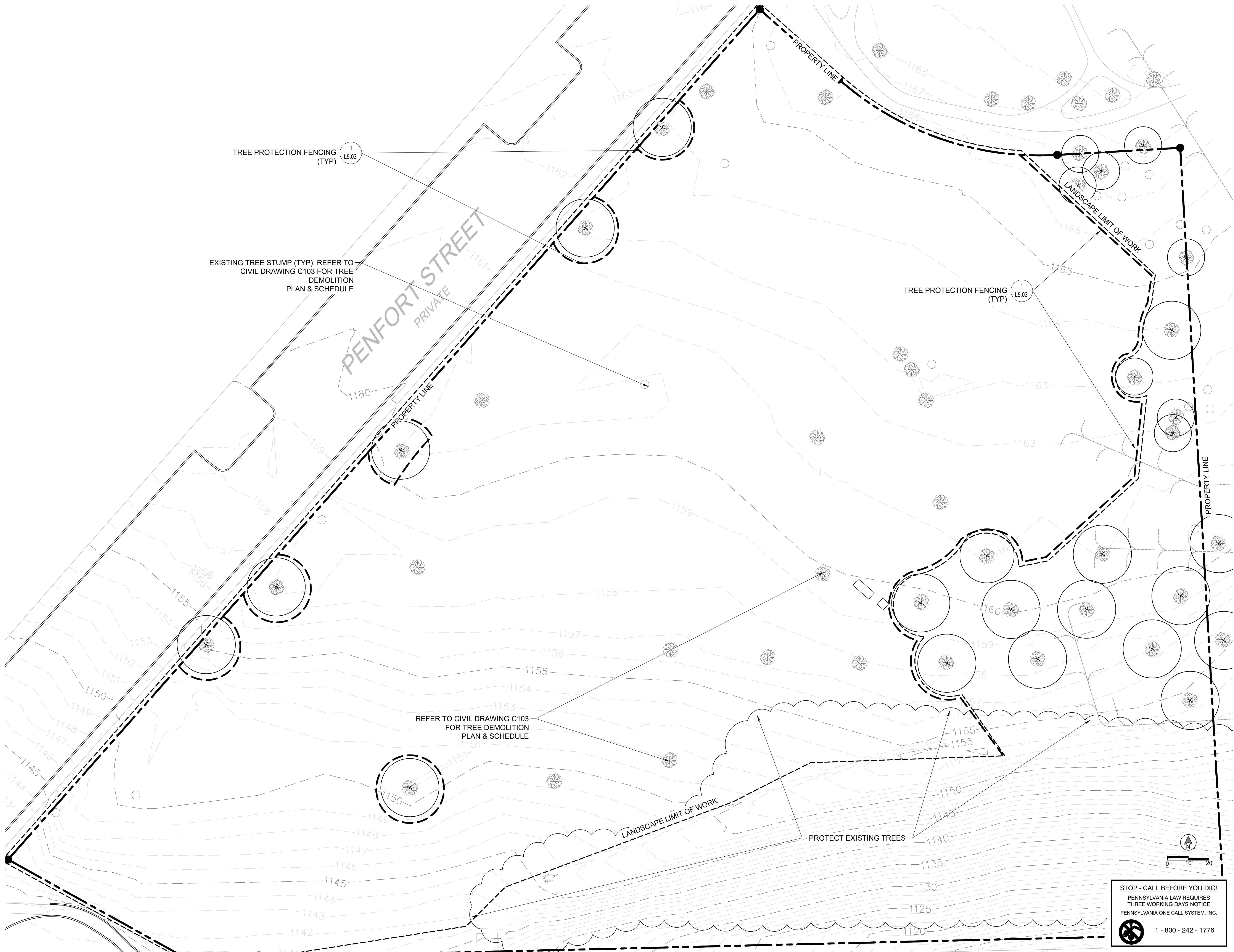
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Tree Preservation Plan



STOP - CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 THREE WORKING DAYS NOTICE
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 1 - 800 - 242 - 1776

scale
 1"=20'-0"
 date
 December 3rd, 2023
 no. **49** of **233**

Sheet No.
L0.01
 Project #2040

Site Furnishing Schedule

SITE FURNISHINGS SCHEDULE							
Code	Qty.	Type	Manufacturer	Model, Color, etc.	Attachment	Detail	Notes
F-01	9	BACKED BENCH	KEYSTONE RIDGE DESIGNS	BESSEMER BENCH WITH BACK, 6FT, GLOSS BLACK POWDERCOAT	SURFACE MOUNT	REFER TO DETAIL 1 ON SHEET L4.00	REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
F-02	6	DUAL RECYCLE/LITTER RECEPTACLE	KEYSTONE RIDGE DESIGNS	HARMONY DUAL RECYCLE/LITTER RECEPTACLE, 32 GALLON WITH ELEVATED LIDS AND PLASTIC LINER, GLOSS BLACK POWDERCOAT	SURFACE MOUNT	REFER TO DETAIL 2 ON SHEET L4.00	REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
F-03	3	BIKE RACK	KEYSTONE RIDGE DESIGNS	SONANCE 9 BIKE CAPACITY BIKE RACK, GLOSS BLACK POWDERCOAT	EMBED MOUNT	REFER TO DETAIL 3 ON SHEET L4.00	REQUIRES SUBSURFACE CONCRETE FOOTING PER MANUFACTURER'S SPECIFICATIONS
F-04	4	SQUARE RAISED PLANTERS	TOURNESOL SITE WORKS	WILSHIRE SQUARE FRP FIBERGLASS PLANTER, 36" X 36" X 30" HEIGHT WITHOUT TOE KICK, MODEL #WR-3600F, SMOOTH FINISH, WITH STANDARD DRAIN HOLES (DHC), WITH REINFORCED BOTTOM AND WATER RESISTANT PLATE (LSP-1212) (QUANTITY OF PLATES REQUIRED PER MANUFACTURER RECOMMENDATIONS)	SURFACE MOUNT	REFER TO DETAIL 3 ON SHEET L4.04	COLOR PALETTE TO BE PROVIDED FOR ARCHITECT/OWNER SELECTION, REQUIRES CORROSION-RESISTANT ANCHORS (NOT PROVIDED)
F-05	2	4 SEAT DINING TABLE	KEYSTONE RIDGE DESIGNS	EASTON 40" ROUND TABLE WITH UMBRELLA HOLE AND 4 SEATS WITH BACK, PERFORATED TABLE TOP, GLOSS BLACK POWDERCOAT	SURFACE MOUNT	REFER TO DETAIL 4 ON SHEET L4.00	REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
F-06	3	5 SEAT DINING TABLE (ADA ACCESSIBLE)	KEYSTONE RIDGE DESIGNS	EASTON 60" ROUND TABLE WITH UMBRELLA HOLE 5 SEATS WITH BACK AND ONE ADA OPENING, PERFORATED TABLE TOP, GLOSS BLACK POWDERCOAT	SURFACE MOUNT	REFER TO DETAIL 5 ON SHEET L4.00	REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
F-07	1	GROUP GRILL	PLAYWORLD	PEDESTAL GROUP GRILL, STEEL WITH BLACK ENAMEL FINISH	SURFACE MOUNT	REFER TO DETAIL 6 ON SHEET L4.00	MOUNT TO PAVING PER MANUFACTURER'S SPECIFICATIONS, REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
F-08	4	RECTANGULAR RAISED PLANTER	TOURNESOL SITE WORKS	WILSHIRE RECTANGULAR FRP FIBERGLASS PLANTER, 120" X 18" X 30" HEIGHT, MODEL WR-1201830, SMOOTH FINISH, WITH STANDARD DRAIN HOLES (DHC), WITH REINFORCED BOTTOM AND WATER RESISTANT PLATE (LSP-1212) (QUANTITY OF PLATES REQUIRED PER MANUFACTURER RECOMMENDATIONS)	SURFACE MOUNT	REFER TO DETAIL 3 ON SHEET L4.04	COLOR PALETTE TO BE PROVIDED FOR ARCHITECT/OWNER SELECTION, REQUIRES CORROSION-RESISTANT ANCHORS (NOT PROVIDED)
F-09	1	3 SEAT DINING TABLE (ADA ACCESSIBLE)	KEYSTONE RIDGE DESIGNS	EASTON 40" ROUND TABLE WITH UMBRELLA HOLE AND 3 SEATS WITH BACK AND ONE ADA OPENING, PERFORATED TABLE TOP, GLOSS BLACK POWDERCOAT	SURFACE MOUNT	REFER TO DETAIL 2 ON SHEET L4.04	REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
F-10	1	ACCESSIBLE GRILL	PILOT ROCK	ACCESSIBLE PARK GRILL MODEL ASW-20 B18 S6, WITH WITH BOLT-DOWN BASE PLATE, AND 8"X16" SWIVEL SHELF ATTACHED ON BASE POST, HEAT RESISTANT BLACK ENAMEL PAINT	SURFACE MOUNT	REFER TO DETAIL 4 ON SHEET L4.05	REQUIRES STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED)
OUTDOOR SHELTERS							
Code	Qty.	Type	Manufacturer	Model, Color, etc.	Attachment	Detail	Notes
F-11	1	PAVILION	ICON	OPEN AIR STEEL HEXAGON PAVILION STRUCTURE, MODEL # HX32-9M-P4 WITH MANUFACTURER PRE-DRILLED HOLES FOR ELECTRICAL WIRING (*PAVILION HAS LIGHTING- REFER TO ELECTRICAL SITE PLAN & SCHEDULE FOR INFORMATION), SURFACE MOUNT WITH BASE COVERS	SURFACE MOUNT	REFER TO SHEET L4.01 AND L4.02 *REFER TO E010 FOR ELECTRICAL SITE PLAN AND E400 ELECTRICAL SCHEDULE FOR PAVILION LIGHTING	REQUIRES SUBSURFACE CONCRETE FOOTING PER MANUFACTURER'S SPECIFICATIONS, COLOR PALETTE TO BE PROVIDED FOR ARCHITECT/OWNER SELECTION, REFER TO ELECTRICAL DRAWINGS FOR PAVILION LIGHTING
F-12	1	COVERED BIKE SHELTER	ICON	MONOSLOPE BIKE SHELTER, MODEL # MC7.5X24M-P3, SURFACE MOUNT WITH BASE COVER	SURFACE MOUNT	REFER TO SHEET L4.03 AND L4.04	REQUIRES SUBSURFACE CONCRETE FOOTING PER MANUFACTURER'S SPECIFICATIONS, COLOR PALETTE TO BE PROVIDED FOR ARCHITECT/OWNER SELECTION
MANUFACTURERS							
ICON SHELTER SYSTEMS, INC.			HTTPS://WWW.ICONSHELTERS.COM/		JEFFREY ASSOCIATES 897 ROUTE 910 INDIANOLA, PA 15051 PHONE: 1-800-221-8995 EMAIL: CHRIS@JEFFREYASSOCIATES.COM		
KEYSTONE RIDGE DESIGNS, INC.			HTTPS://WWW.KEYSTONERIDGEDESIGNS.COM/		ADAM BENJAMIN TERRITORY MANAGER KEYSTONE RIDGE DESIGNS, INC. 670 MERCER RD BUTLER, PA 16001-1840 PHONE: (724) 284-1213 EXT 240 EMAIL: ADAMB@KEYSTONERIDGEDESIGNS.COM		
PILOT ROCK			WWW.PILOTROCK.COM		JEFFREY ASSOCIATES 897 ROUTE 910 INDIANOLA, PA 15051 PHONE: 1-800-221-8995 CHRIS@JEFFREYASSOCIATES.COM		
PLAYWORLD			HTTPS://PLAYWORLD.COM/		JEFFREY ASSOCIATES 897 ROUTE 910 INDIANOLA, PA 15051 PHONE: 1-800-221-8995 CHRIS@JEFFREYASSOCIATES.COM		
TOURNESOL SITEWORKS			WWW.TOURNESOL.COM		CONTACT: HEATHER HUFFER TOURNESOL SITEWORKS PHONE (800) 542-2282 EMAIL: HHUFFER@TOURNESOL.COM		
NOTE: INSTALL SITE FURNISHINGS PER MANUFACTURER'S SPECIFICATIONS. QUANTITIES SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.							

GENERAL NOTES: PRIOR TO CONSTRUCTION:

- CONTRACTOR SHALL OBTAIN ALL RELEVANT DRAWINGS, DETAILS AND SPECIFICATIONS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS, REVIEW DRAWINGS AND PROPOSED WORK PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SITE IMPROVEMENTS THAT ARE NOTED TO REMAIN AND SHALL COORDINATE WITH PENNSYLVANIA ONE CALL SYSTEM, INC. TO VERIFY LOCATION OF ALL UTILITIES. CALL 1-800-242-1776.
- CONTRACTOR SHALL REMOVE ALL VEGETATION WITHIN THE LIMIT OF WORK UNLESS OTHERWISE NOTED. DO NOT DISTURB OR REMOVE EXISTING TREES/VEGETATION DESIGNATED TO BE PROTECTED OR THOSE LOCATED OUTSIDE THE LIMIT OF WORK. REFER TO SHEET C103 IN CIVIL DRAWINGS FOR SITE DEMOLITION PLAN. REFER TO L0.01 FOR TREE PRESERVATION PLAN.
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND APPURTENANCES (ABOVE AND BELOW GROUND) UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE OF EXISTING UTILITIES, STRUCTURES, AND PIPES PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ANY PROPOSED IMPROVEMENTS ARE IN CONFLICT WITH EXISTING FEATURES SO THAT LOCATION ADJUSTMENTS CAN BE MADE IF NECESSARY.
- VERIFY LAYOUT OF LANDSCAPE ELEMENTS WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK AND ADJUST AS REQUIRED.
- FOR REAR GARDEN WALKWAYS LOCATE CONTROL AND EXPANSION JOINTS AS SHOWN ON L3.02. PROVIDE EXPANSION JOINTS WHERE CONCRETE WALK ABUTS EXISTING AND PROPOSED BUILDINGS, SITE WALLS AND EXISTING PAVEMENTS. REFER TO CIVIL DRAWINGS FOR ALL OTHER SIDEWALKS.

Fukui Architects Pc

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United States
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Fax 412.756-3080

scale



general notes

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revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

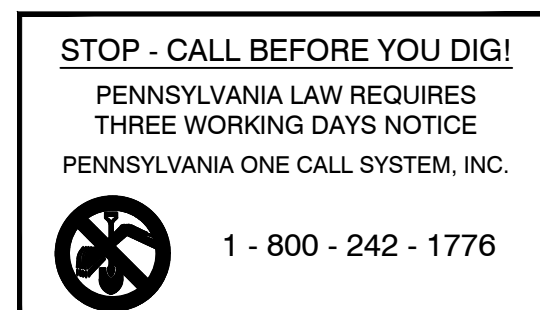
Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

Schedules

scale n/a	Sheet No. L1.00 Project #2040
date December 3rd, 2023	
no. 50	of. 233



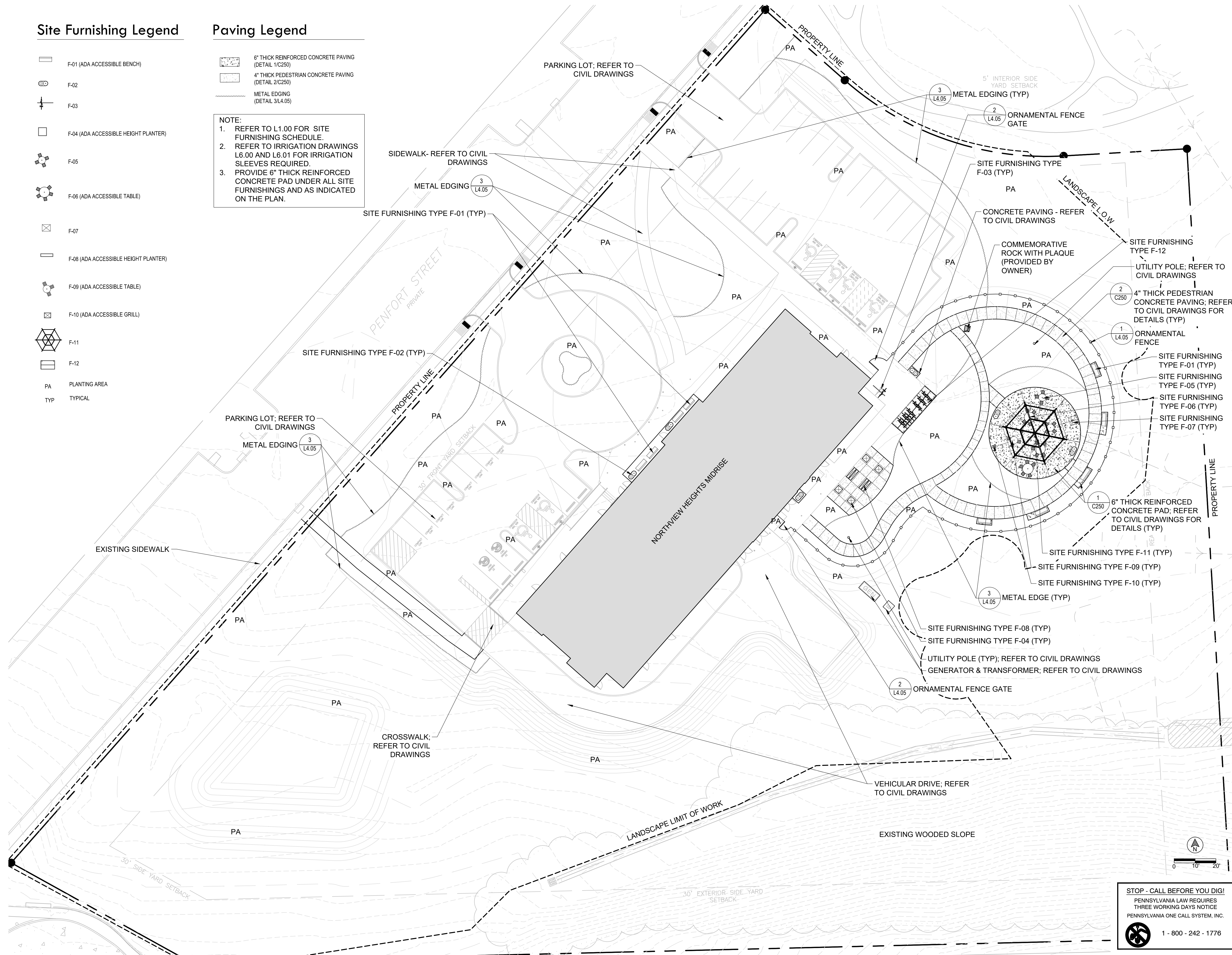
Site Furnishing Legend

- F-01 (ADA ACCESSIBLE BENCH)
- F-02
- F-03
- F-04 (ADA ACCESSIBLE HEIGHT PLANTER)
- F-05
- F-06 (ADA ACCESSIBLE TABLE)
- F-07
- F-08 (ADA ACCESSIBLE HEIGHT PLANTER)
- F-09 (ADA ACCESSIBLE TABLE)
- F-10 (ADA ACCESSIBLE GRILL)
- F-11
- F-12
- PA PLANTING AREA
- TYP TYPICAL

Paving Legend

- 6" THICK REINFORCED CONCRETE PAVING (DETAIL 1/C250)
- 4" THICK PEDESTRIAN CONCRETE PAVING (DETAIL 2/C250)
- METAL EDGING (DETAIL 3/L4.05)

NOTE:
 1. REFER TO L1.00 FOR SITE FURNISHING SCHEDULE.
 2. REFER TO IRRIGATION DRAWINGS L6.00 AND L6.01 FOR IRRIGATION SLEEVES REQUIRED.
 3. PROVIDE 6" THICK REINFORCED CONCRETE PAD UNDER ALL SITE FURNISHINGS AND AS INDICATED ON THE PLAN.



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 Pittsburgh, PA 15219

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 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

Site Improvements Plan

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scale
 1"=20'-0"

date
 December 3rd, 2023


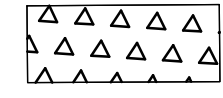


no. **51** of **233**

Sheet No.

L1.01

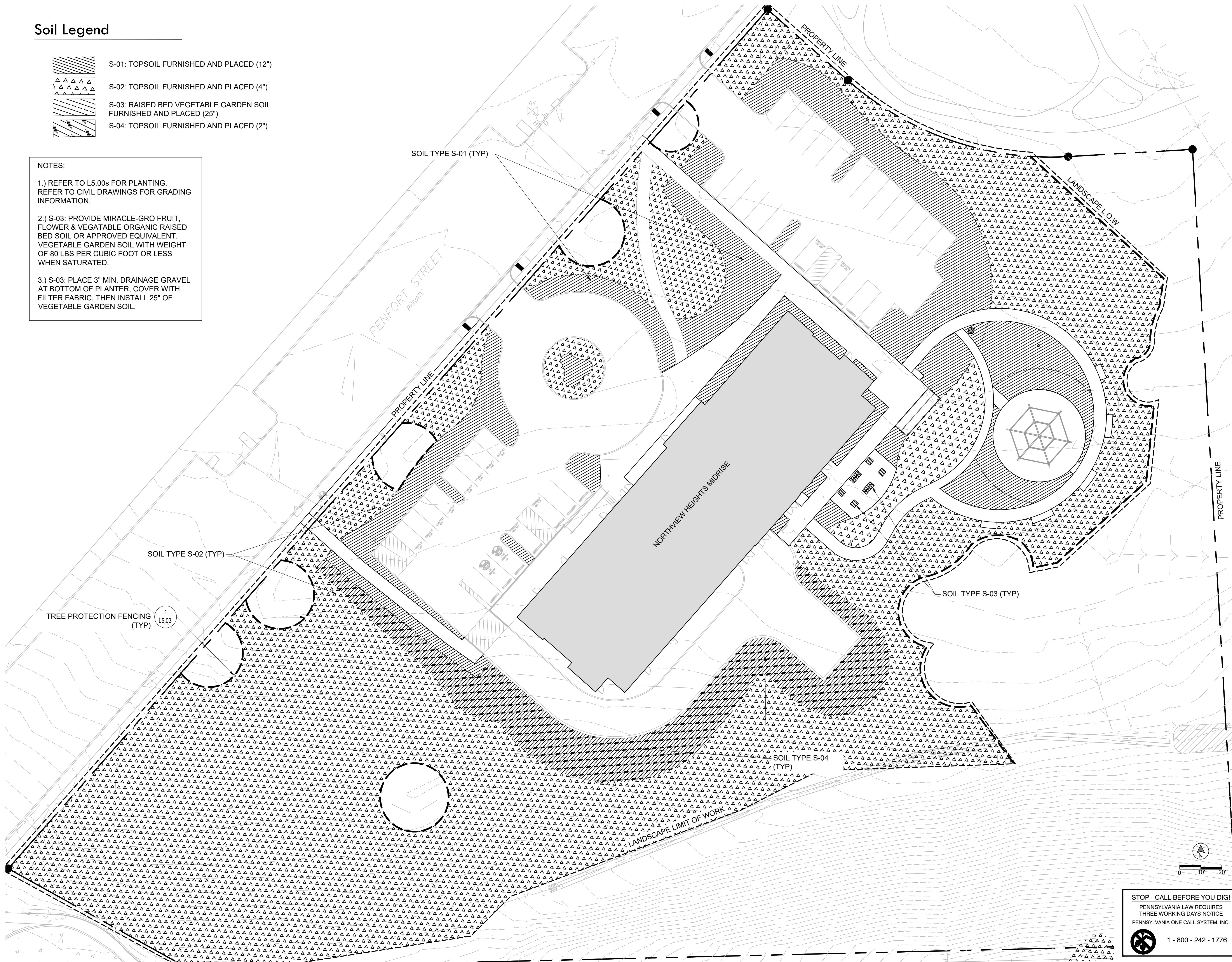
Project #2040

Soil Legend

-  S-01: TOPSOIL FURNISHED AND PLACED (12")
-  S-02: TOPSOIL FURNISHED AND PLACED (4")
-  S-03: RAISED BED VEGETABLE GARDEN SOIL FURNISHED AND PLACED (25")
-  S-04: TOPSOIL FURNISHED AND PLACED (2")

NOTES:

- 1.) REFER TO L5.00s FOR PLANTING. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.
- 2.) S-03: PROVIDE MIRACLE-GRO FRUIT, FLOWER & VEGETABLE ORGANIC RAISED BED SOIL OR APPROVED EQUIVALENT. VEGETABLE GARDEN SOIL WITH WEIGHT OF 80 LBS PER CUBIC FOOT OR LESS WHEN SATURATED.
- 3.) S-03: PLACE 3" MIN. DRAINAGE GRAVEL AT BOTTOM OF PLANTER, COVER WITH FILTER FABRIC, THEN INSTALL 25" OF VEGETABLE GARDEN SOIL.



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general notes

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revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and
 Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

Topsail Plan

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scale 1"=20'-0"

date December 3rd, 2023

no. 52 of 233

Sheet No.

L2.01

Project #2040

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project title

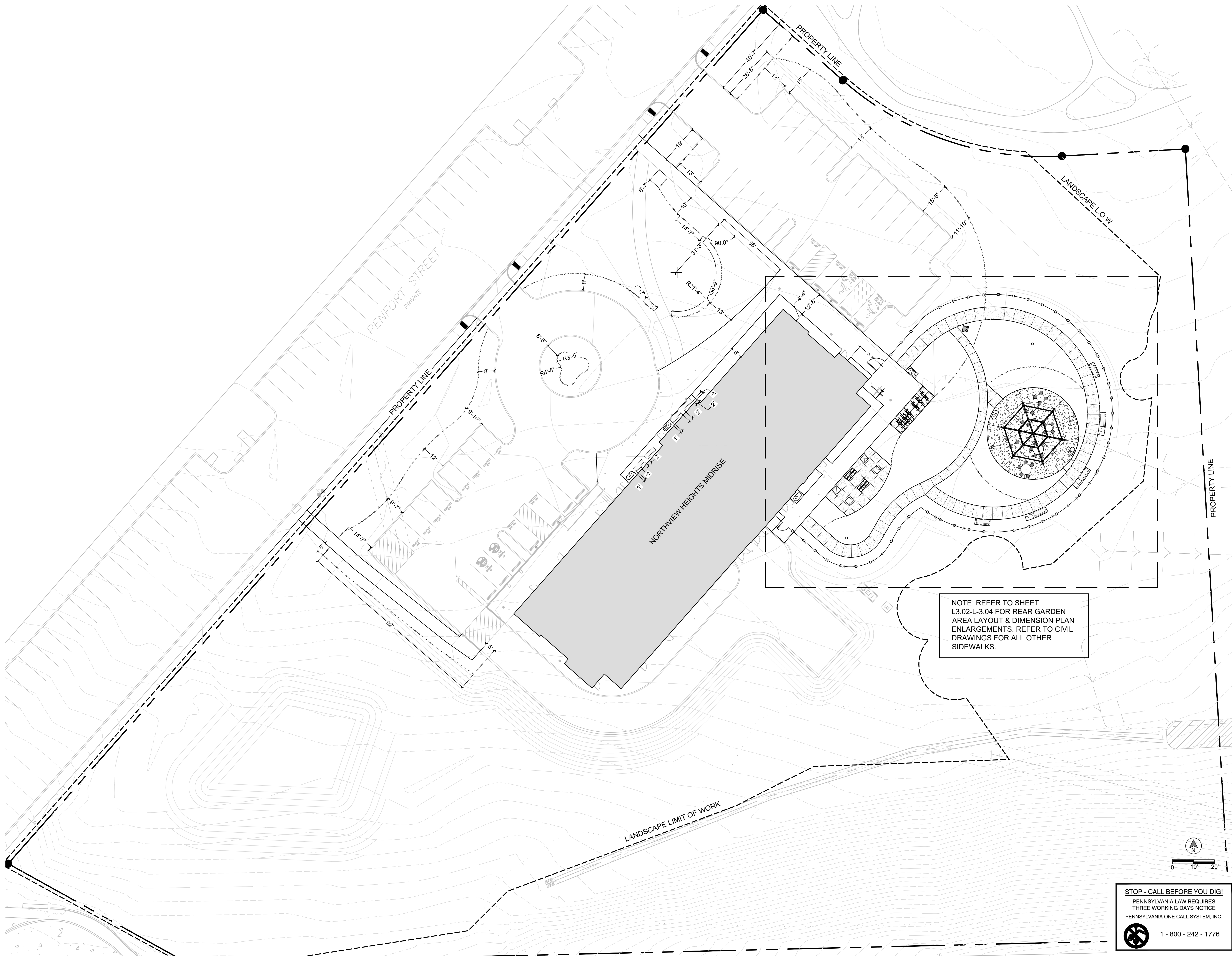
Owner:
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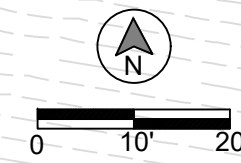
Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

Layout & Dimension Plan- Landscape



NOTE: REFER TO SHEET
 L3.02-L-3.04 FOR REAR GARDEN
 AREA LAYOUT & DIMENSION PLAN
 ENLARGEMENTS. REFER TO CIVIL
 DRAWINGS FOR ALL OTHER
 SIDEWALKS.

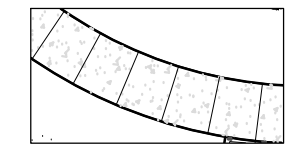
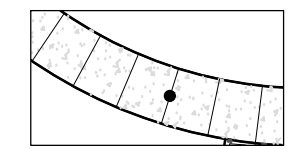


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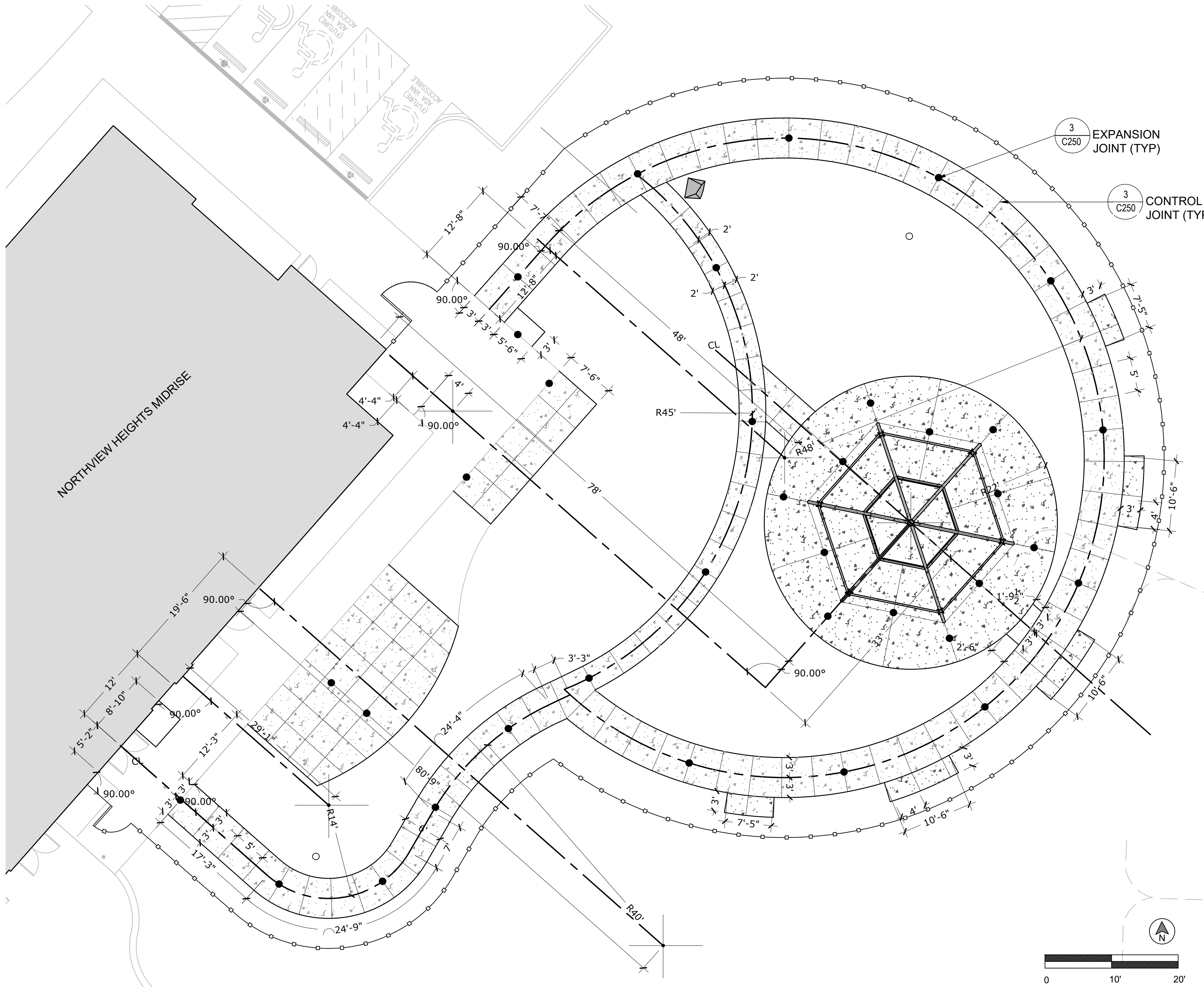
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 date
 December 3rd, 2023
 no. of.
53 **233**

Sheet No.
L3.01
 Project #2040

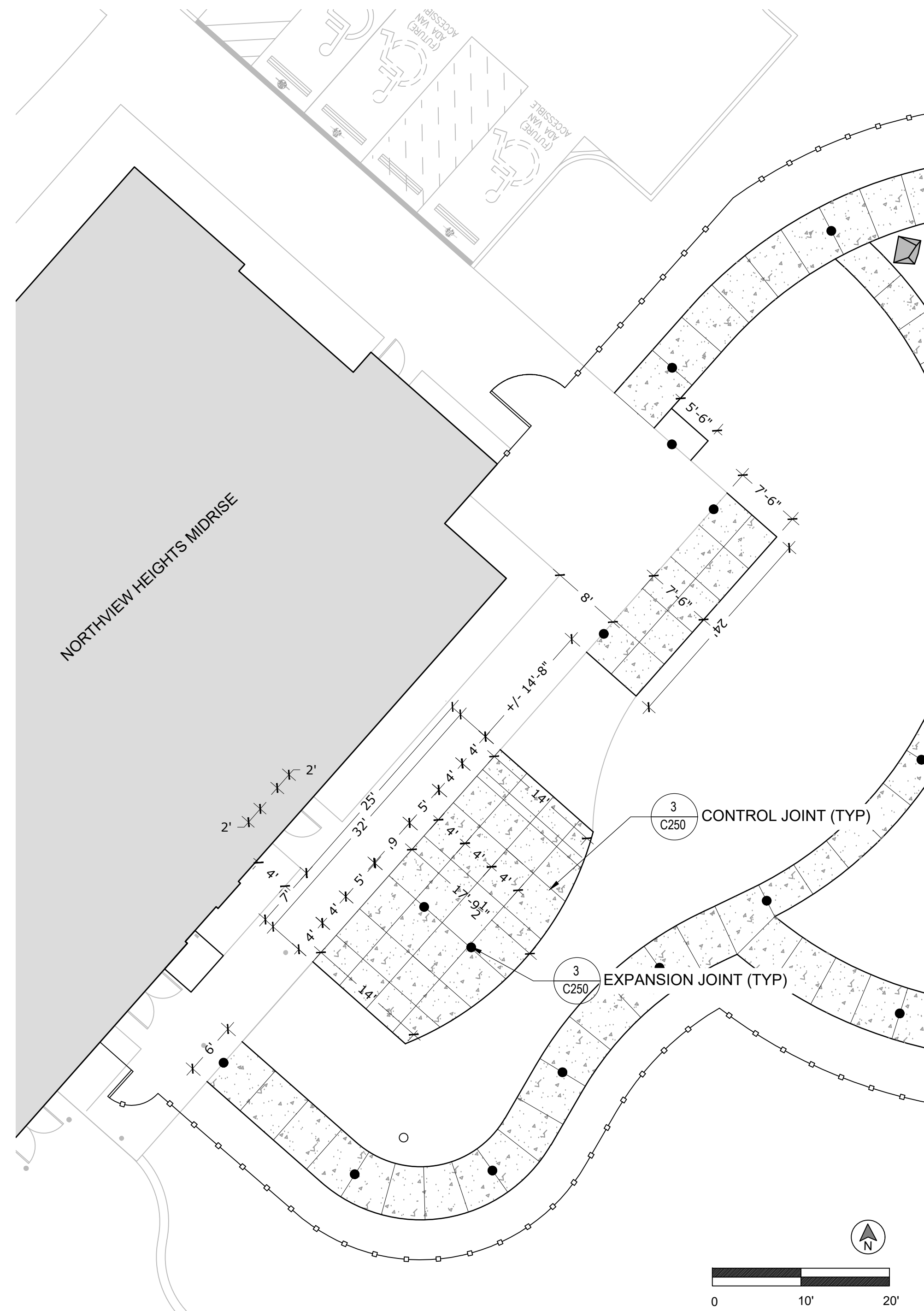
Legend

-  CONTROL JOINT
(5' SPACING TYP) REFER TO
CIVIL DETAIL SHEET C201.
-  EXPANSION JOINT
(25' MAX SPACING TYP)
REFER TO CIVIL DETAIL
SHEET C201.

NOTE: REAR GARDEN WALKWAYS SHOWN
BELOW. REFER TO CIVIL DRAWINGS FOR ALL
OTHER PROJECT SIDEWALKS.



1 GARDEN WALKWAY - FLATWORK LAYOUT
SCALE: 1"=10'-0"



2 GARDEN PATIO- FLATWORK LAYOUT
SCALE: 1"=10'-0"

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Project Location:
Northview Heights Midrise
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drawing title

**Layout & Dimension Plan -
Landscape Enlargements**

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scale 1"=10'-0"	Sheet No. L3.02 Project #2040
date December 3rd, 2023	
no. of. 54 233	



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project title

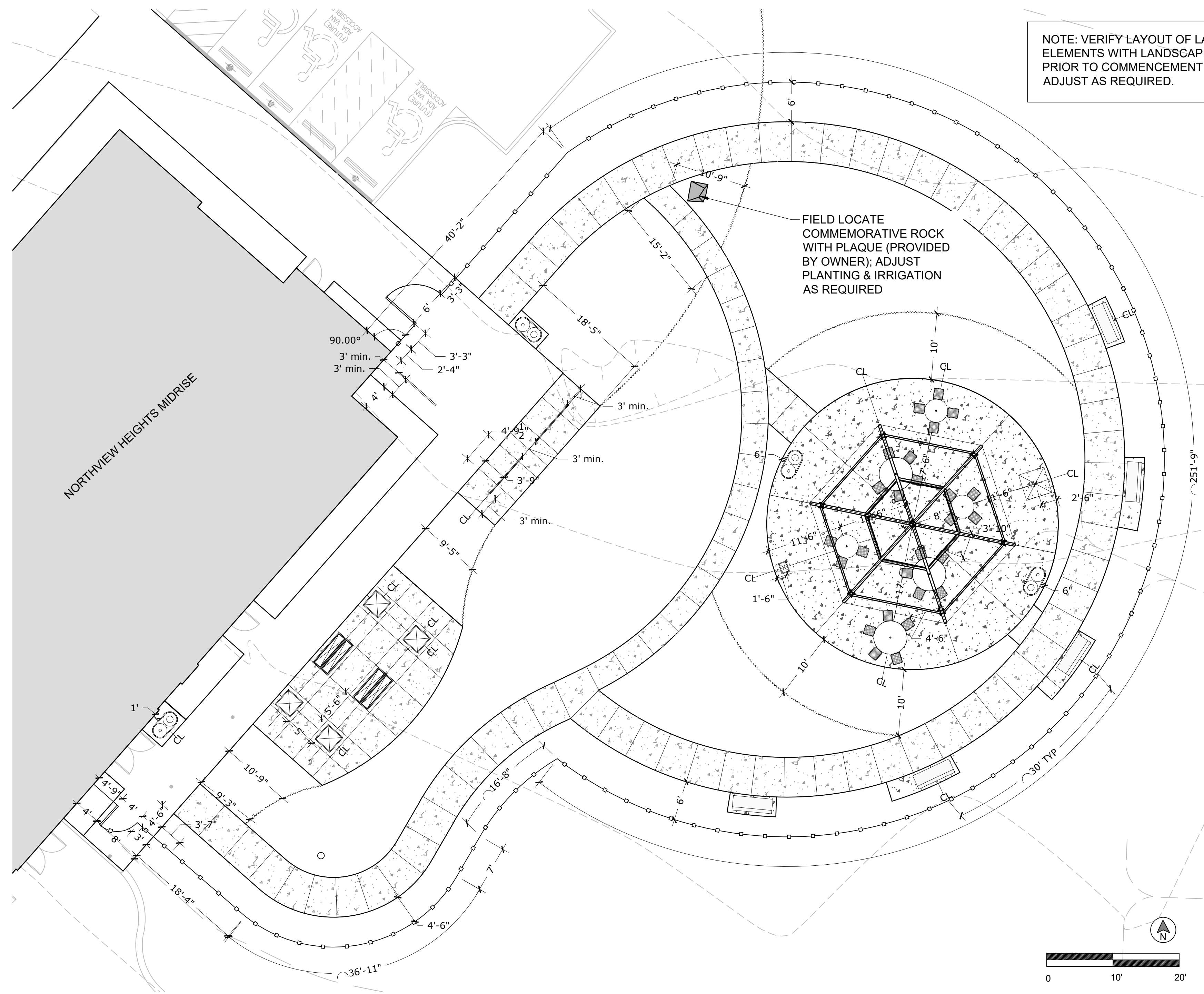
Owner:
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200 Ross Street
Pittsburgh, PA 15219

Project Location:
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246 Penfort Street
Pittsburgh, PA 15214

drawing title

**Layout & Dimension Plan -
Landscape Enlargements**



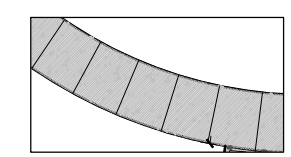
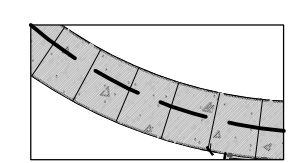
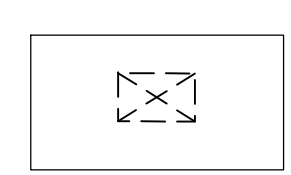
1 GARDEN AREA -ENLARGEMENT
SCALE: 1"=10'-0"

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scale 1"=10'-0"
date December 3rd, 2023
no. 55 of. 233

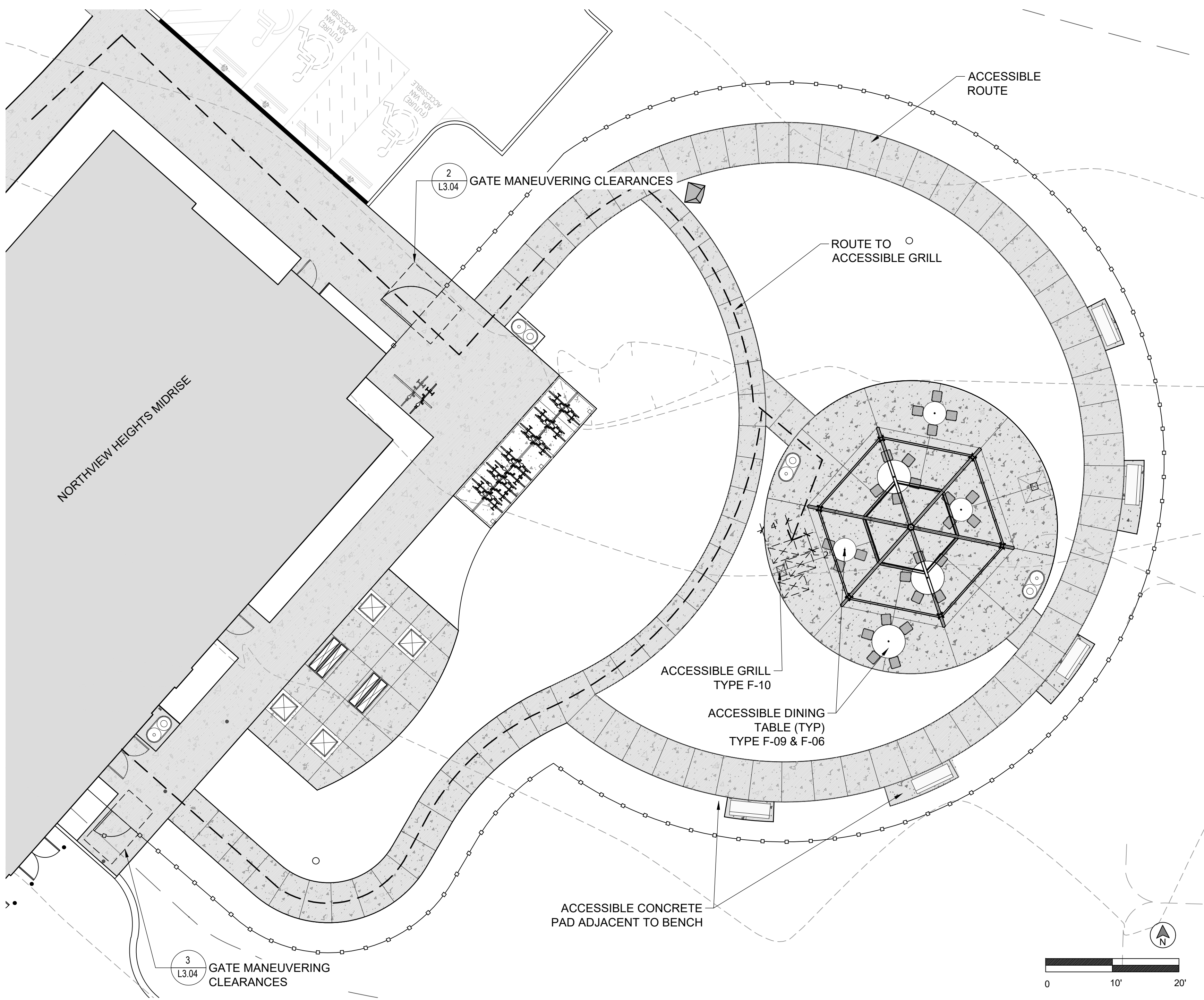
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L3.03
Project #2040

Legend

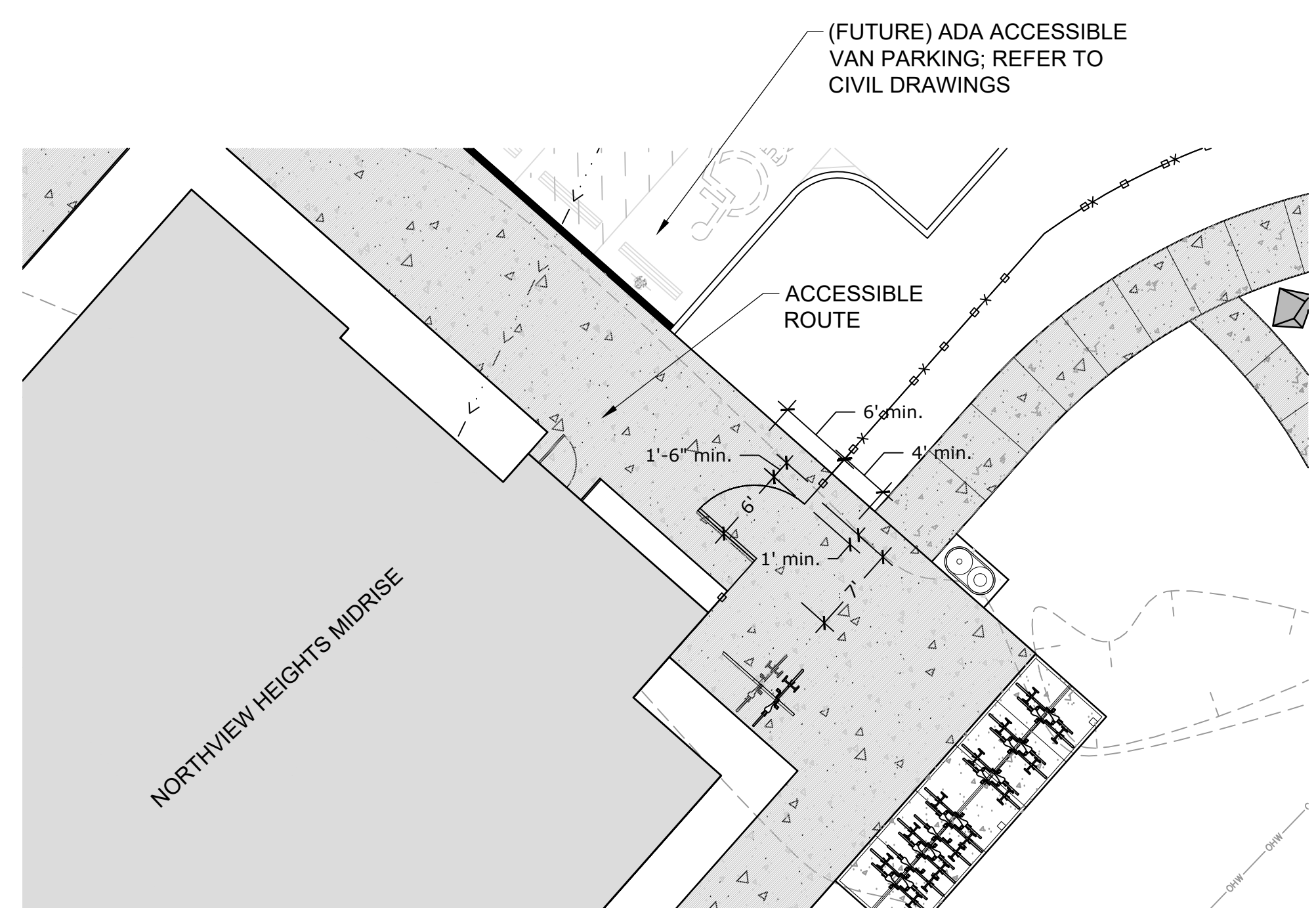
-  ACCESSIBLE ROUTE
-  MOST DIRECT ROUTE TO ADA ACCESSIBLE GRILL (ADA ACCESSIBLE ROUTE)
-  SIZE OF CLEAR FLOOR SPACE AT ACCESSIBLE GRILL. MINIMUM SIZE 48" X 30" (4' X 2.5')

NOTE: REAR GARDEN WALKWAYS SHOWN BELOW. REFER TO CIVIL DRAWINGS FOR ALL OTHER PROJECT SIDEWALKS.

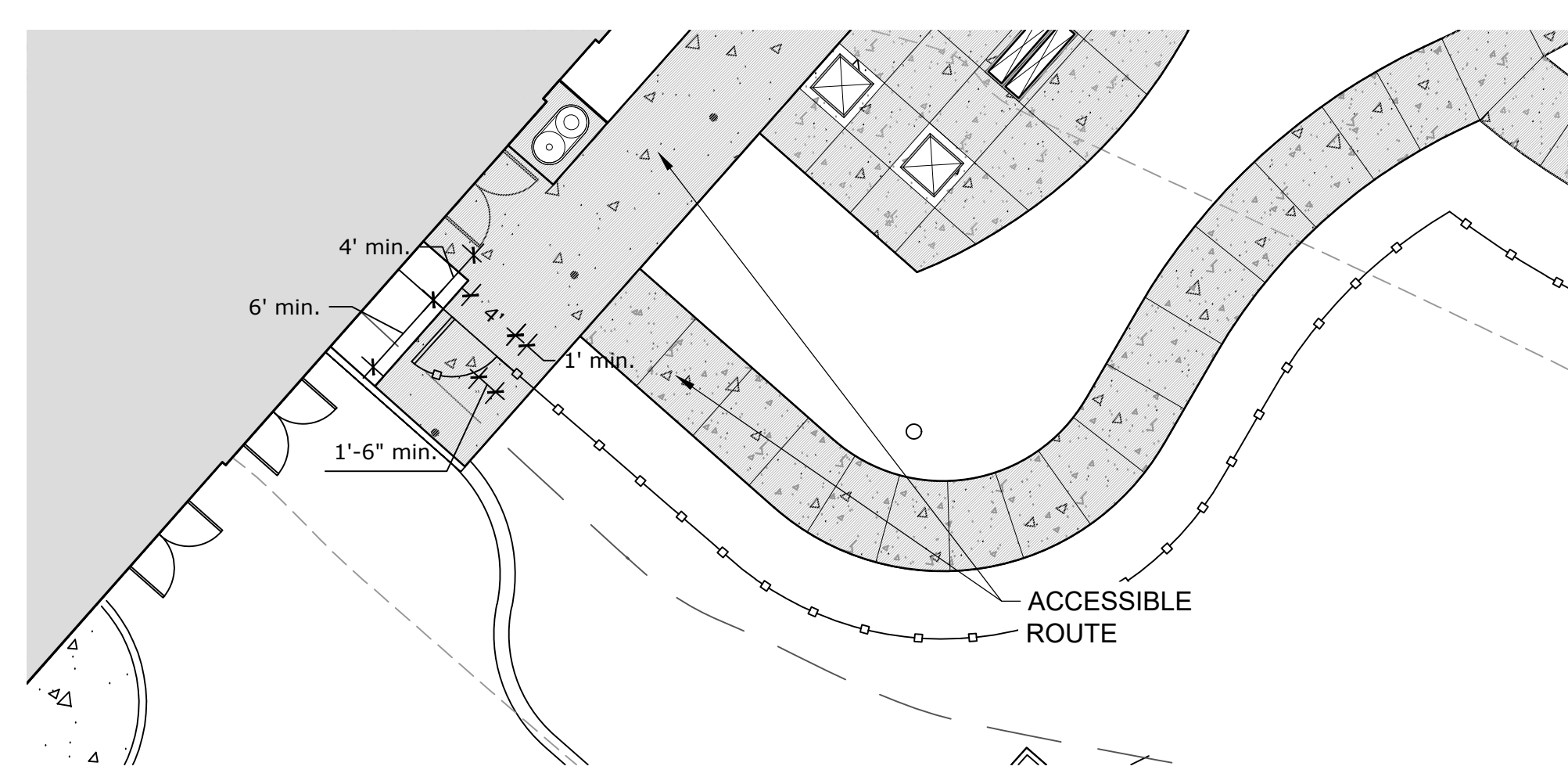
- ACCESSIBLE ROUTE:
1. ROUTE SHALL HAVE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE.
 2. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.



1 ACCESSIBLE ROUTE TO ADA GRILL AND SEATING
SCALE: 1"=10'-0"



2 GATE MANEUVERING CLEARANCES- EAST GATE
SCALE: 1"=10'-0"



3 GATE MANEUVERING CLEARANCES- REAR GATE
SCALE: 1"=10'-0"



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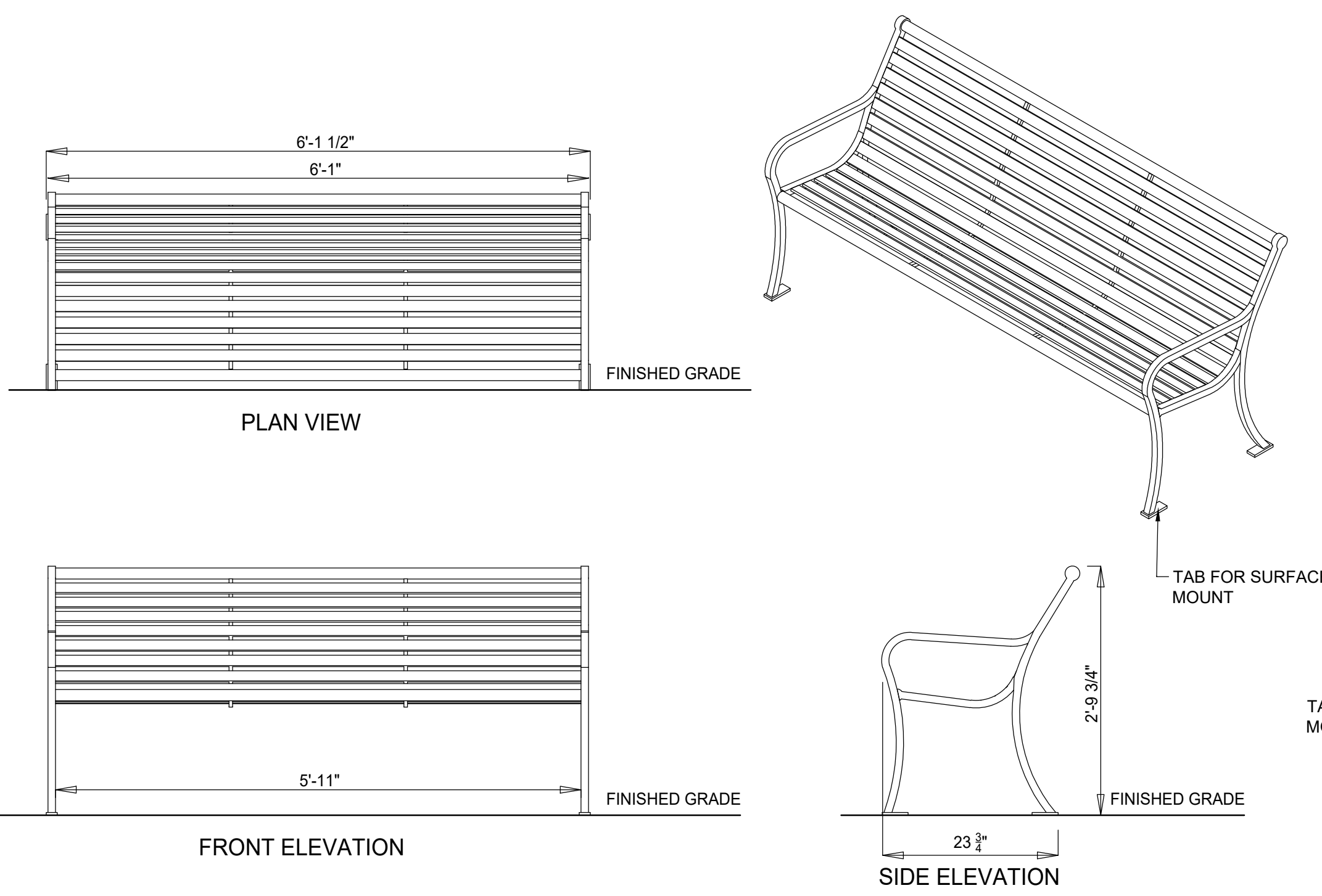
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drawing title

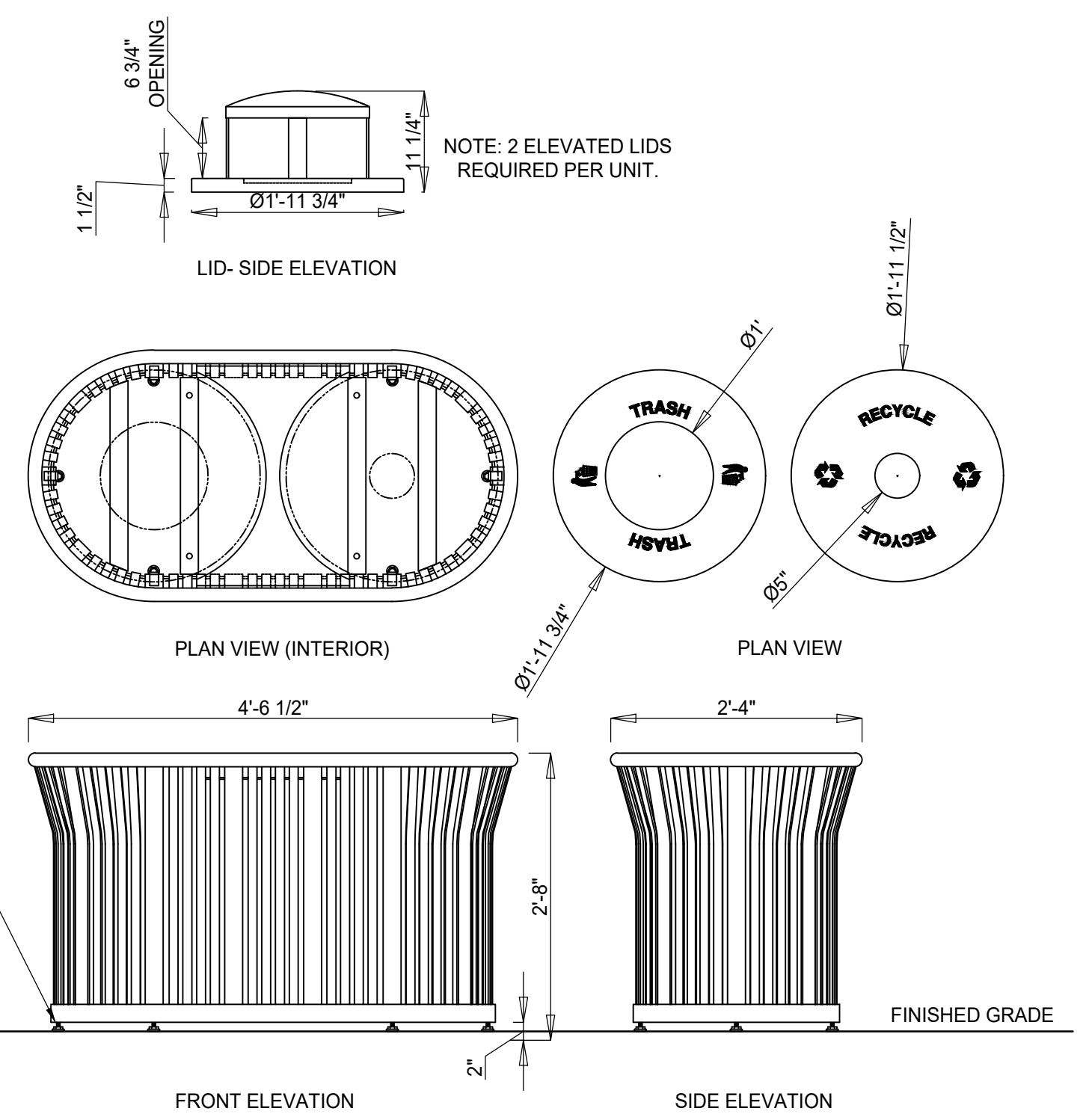
Layout & Dimension Plan - Accessibility Enlargements

STOP - CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
THREE WORKING DAYS NOTICE
PENNSYLVANIA ONE CALL SYSTEM, INC.
1 - 800 - 242 - 1776

scale 1"=10'-0"	Sheet No. L3.04 Project #2040
date December 3rd, 2023	
no. 56	of. 233

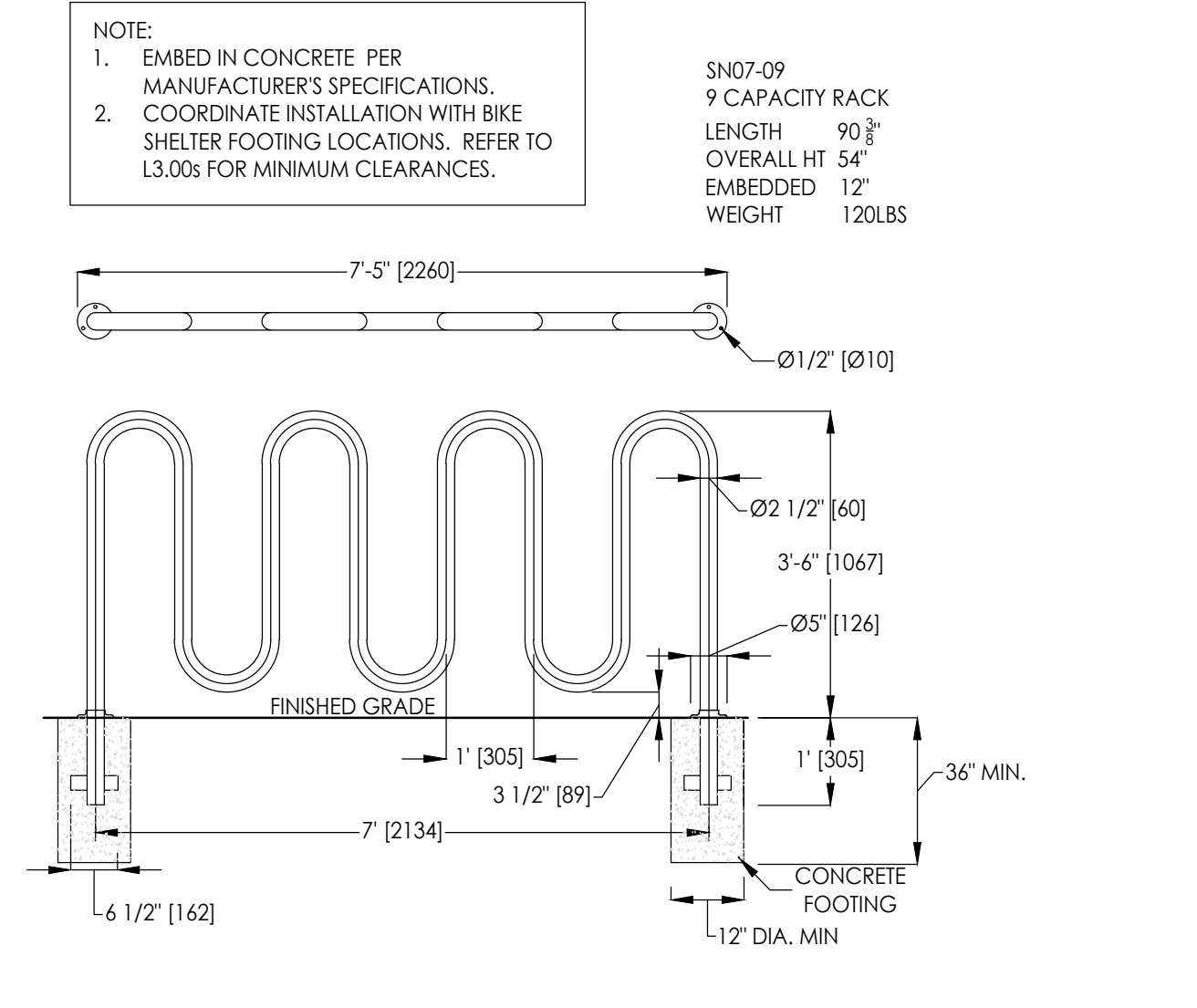


1 BACKED BENCH (F-01)
SCALE: 3/4"=1'-0"

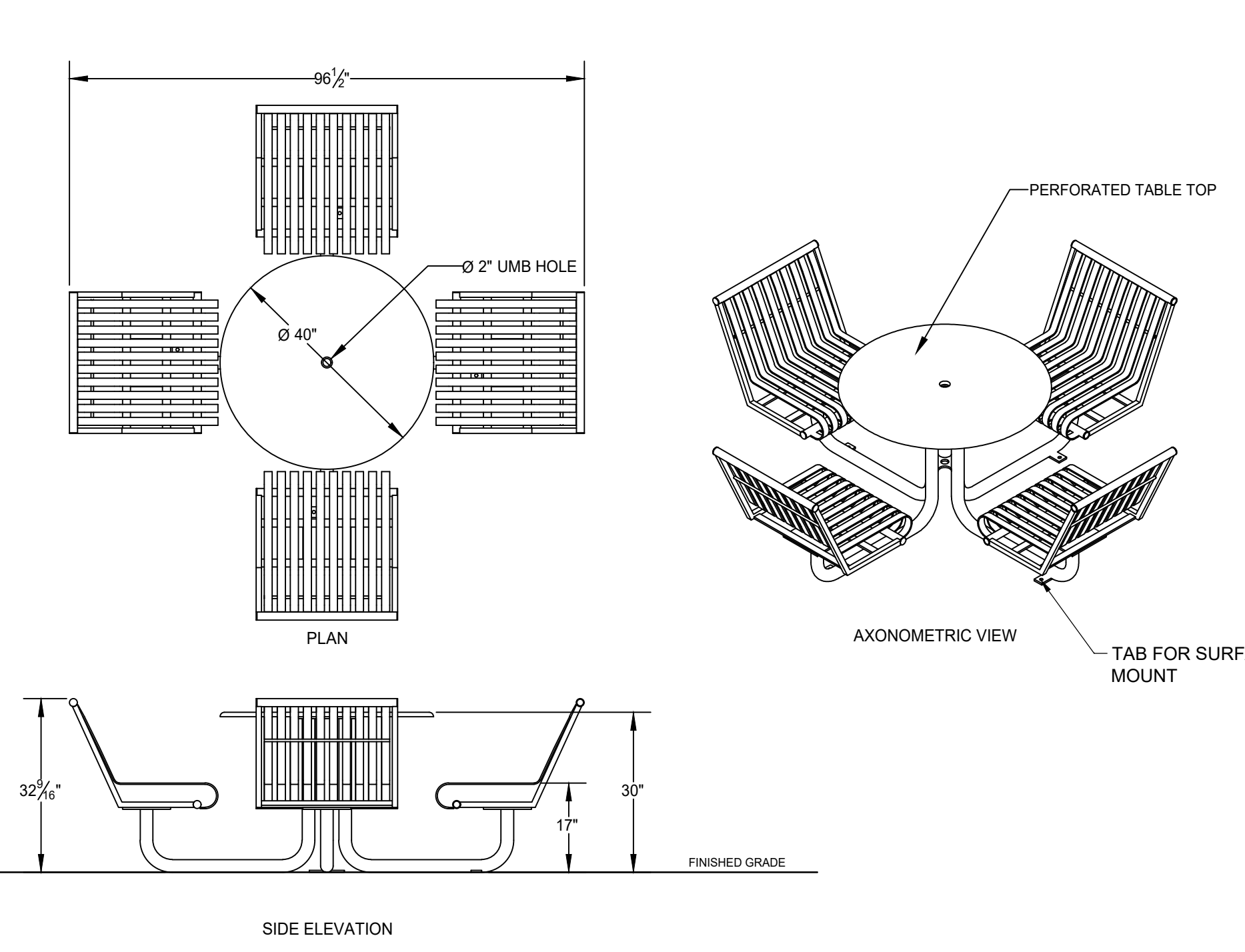


2 DUAL RECYCLE/LITTER RECEPTACLE (F-02)
SCALE: NTS

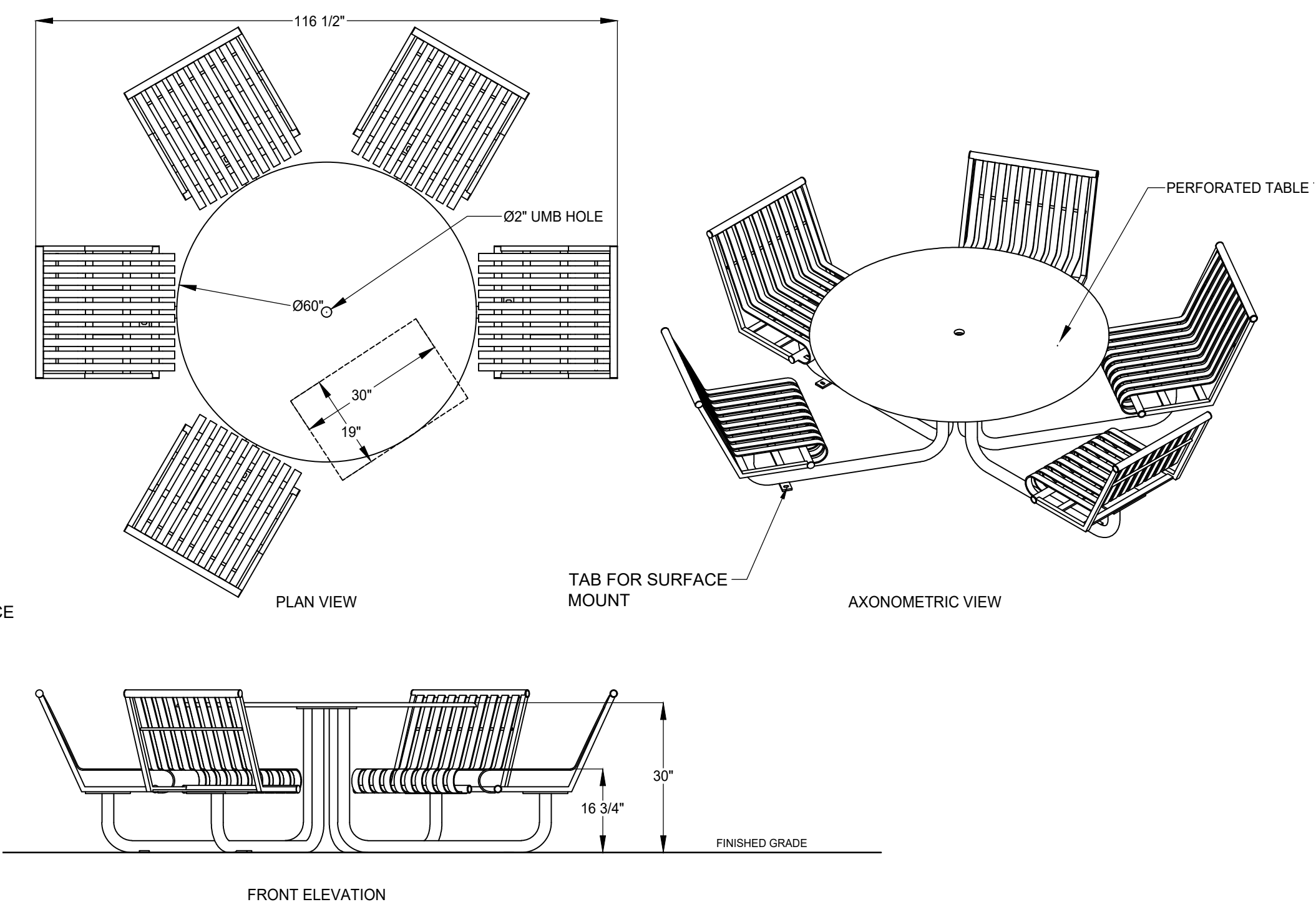
NOTES:
 1. REFER TO L1.00 FOR SITE FURNISHING SCHEDULE.
 2. VERIFY LAYOUT OF LANDSCAPE ELEMENTS WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK AND ADJUST AS REQUIRED.
 3. SURFACED MOUNTED FURNISHINGS REQUIRE STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED).
 4. SURFACE MOUNT TO CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR CONCRETE DETAIL.
 5. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



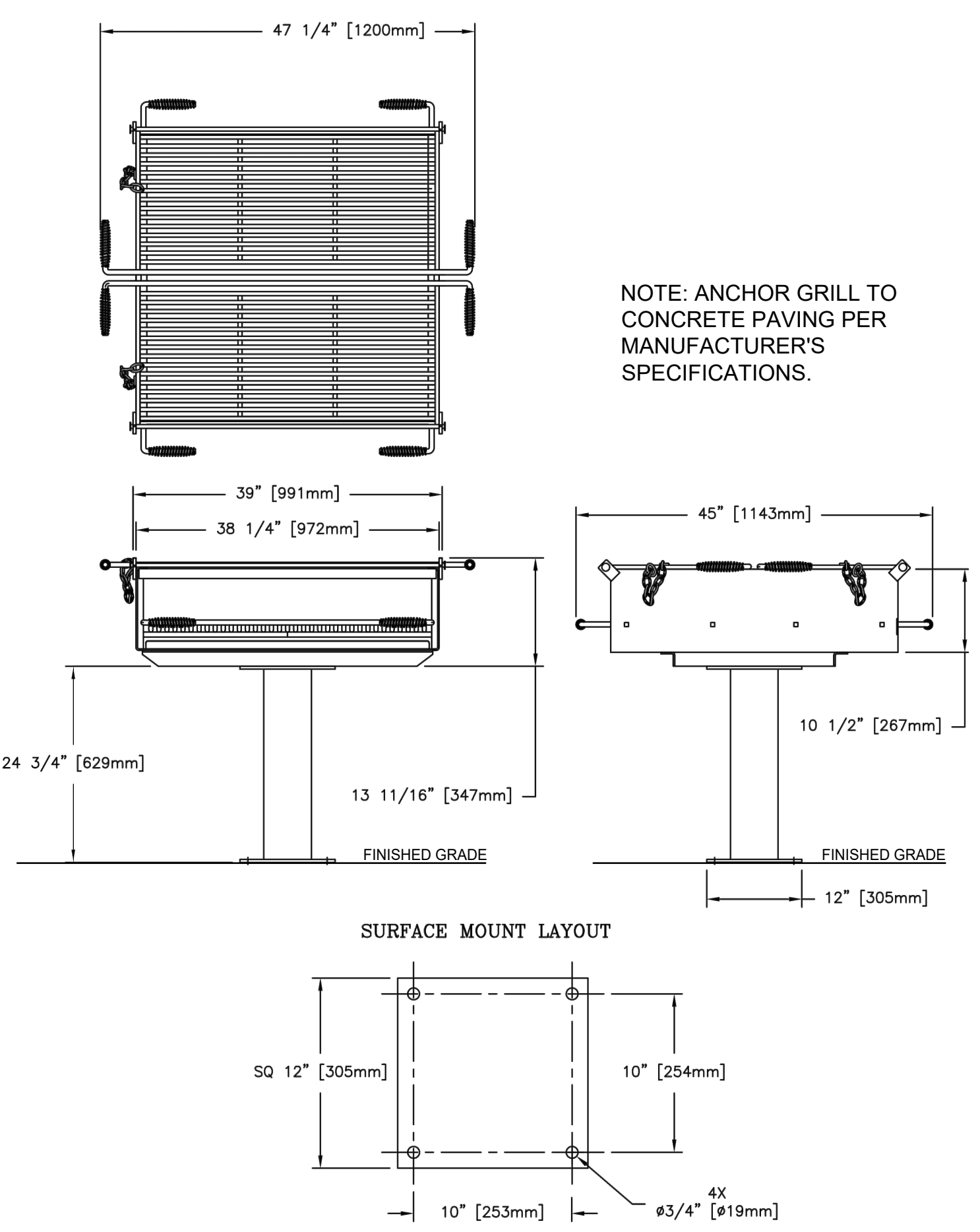
3 BIKE RACK (F-03)
SCALE: NTS



4 4 SEAT DINING TABLE (F-05)
SCALE: 1/2"=1'-0"



5 5 SEAT DINING TABLE (ADA ACCESSIBLE) (F-06)
SCALE: 1/2"=1'-0"



6 GROUP GRILL (F-07)
SCALE: NOT TO SCALE

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 1-800-242-1776

Fukui Architects Pc
 205 Ross Street
 Pittsburgh, Pennsylvania 15219
 ph 412.281.6001 fx 412.281.6002
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 SUBCONSULTANT
UPSTUDIO
 LANDSCAPES
 606 Liberty Avenue, Suite 226
 Pittsburgh, PA 15222
 United States
 Tel 412.203.3524
 Fax 412.756.3080



- general notes**
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:
 Allies & Ross Management and
 Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

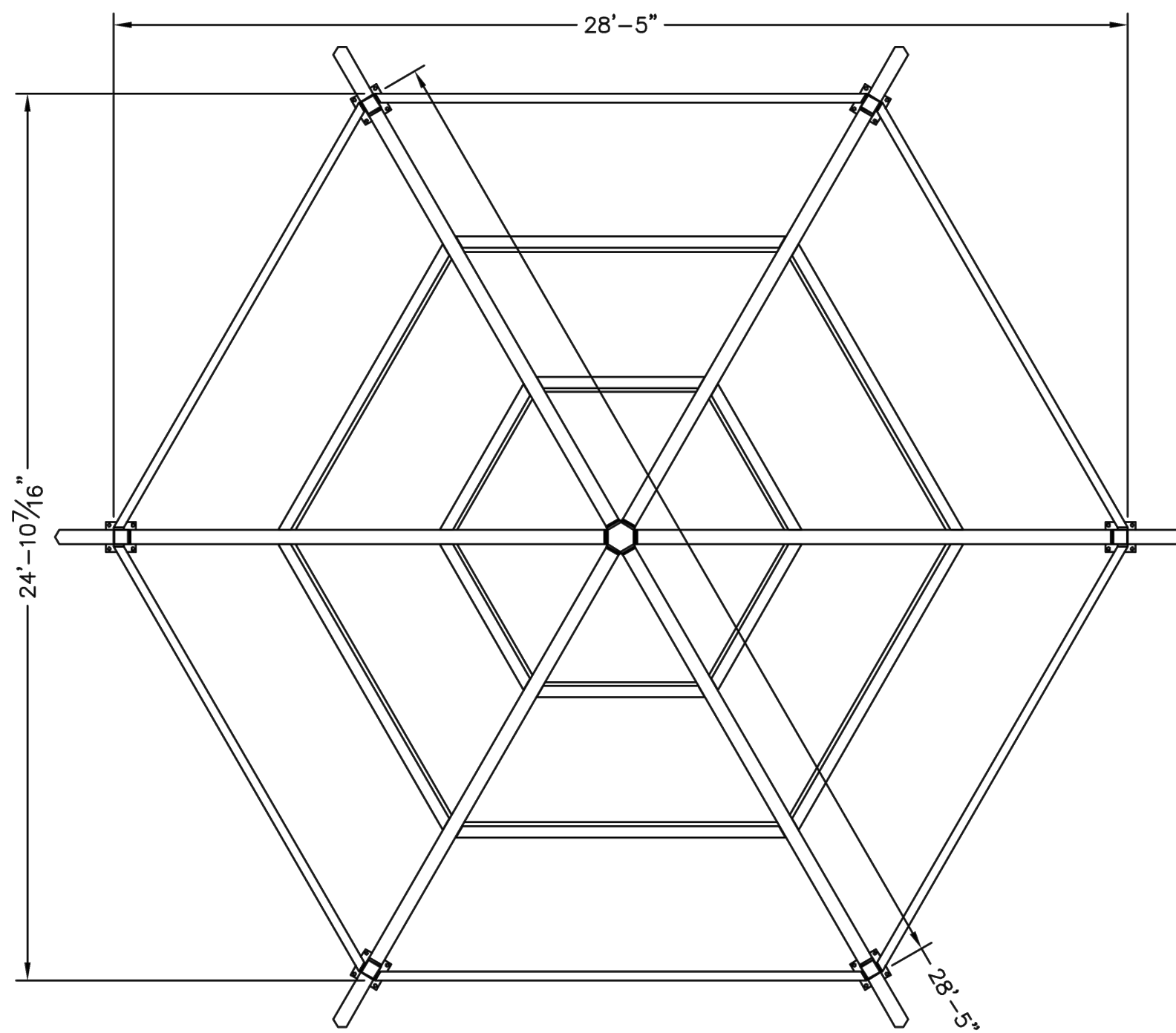
Site Details

Scale
 As Shown

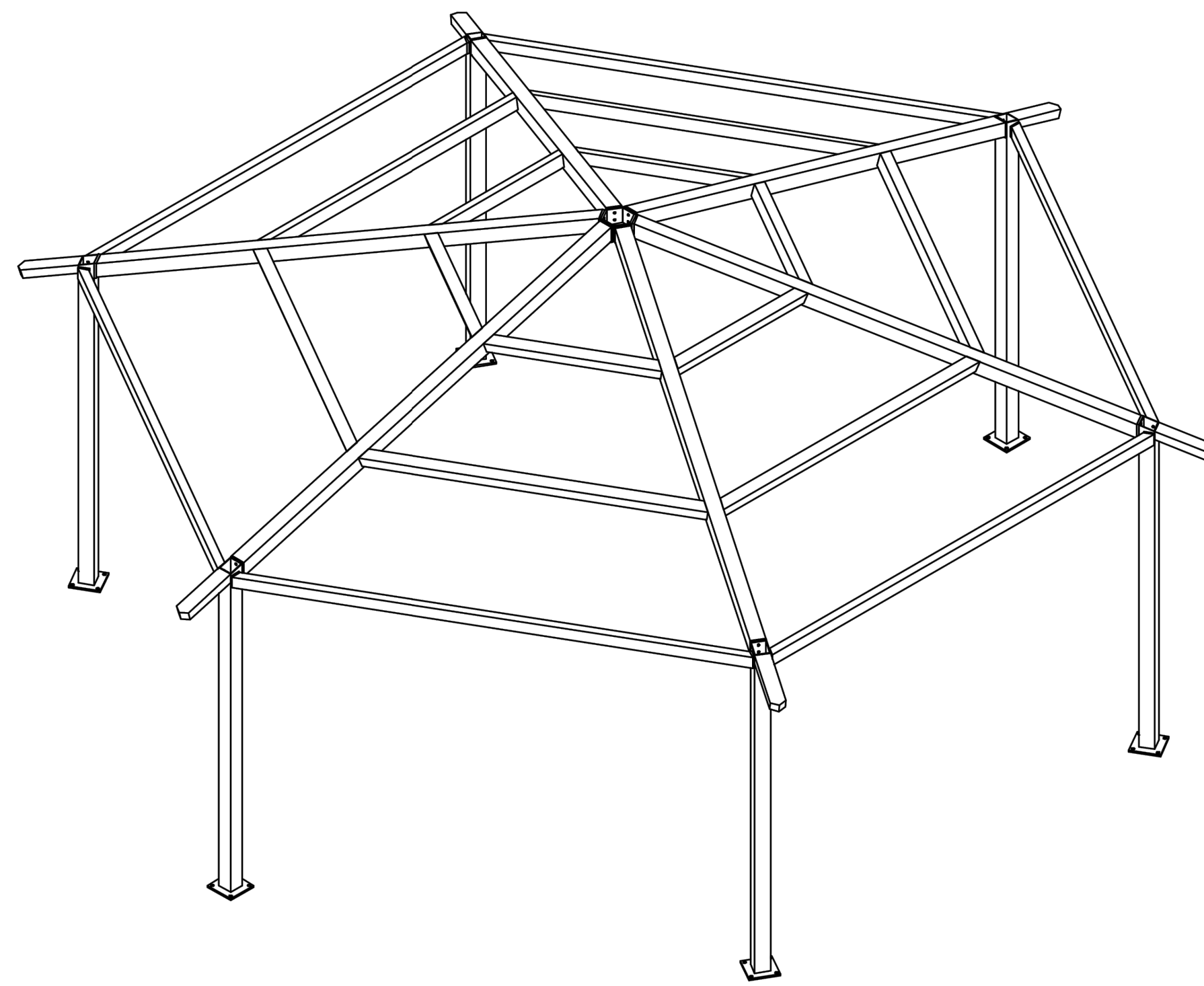
Date
 December 3rd, 2023

no. of.
57 **233**

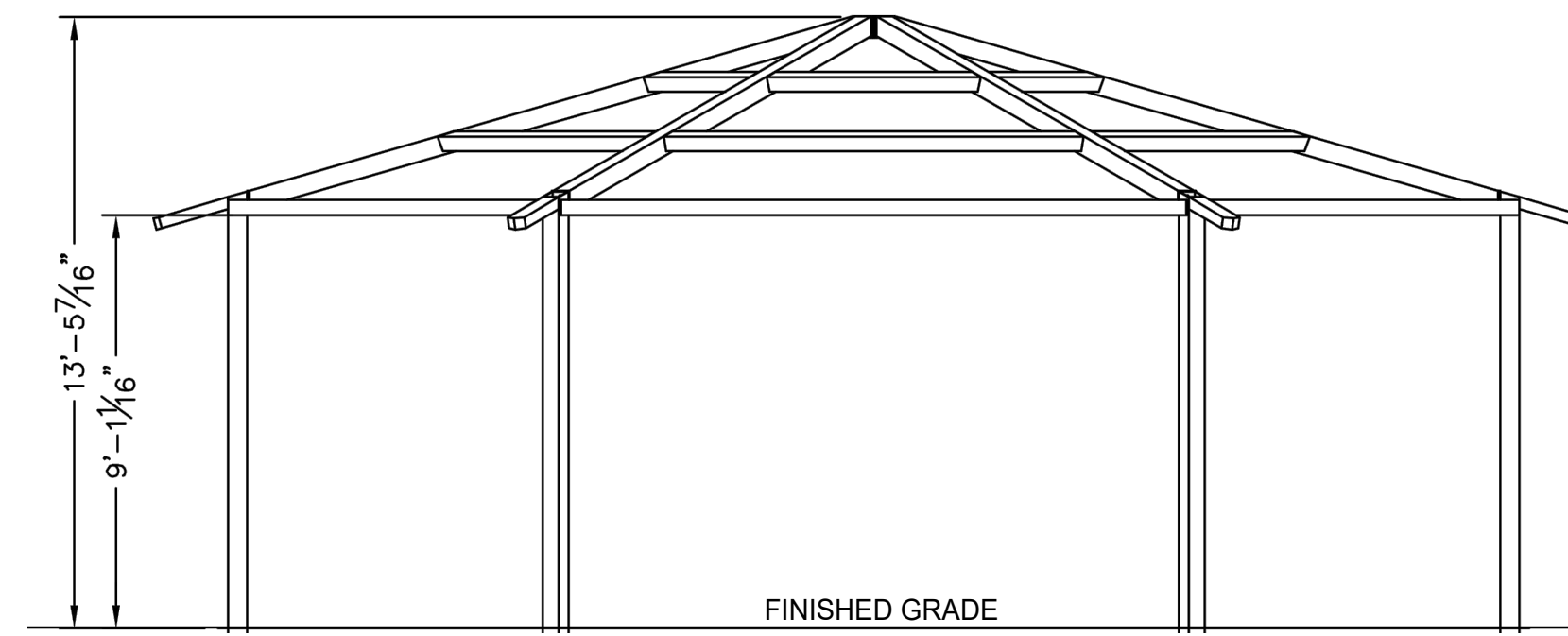
Sheet No.
L4.00
 Project #2040



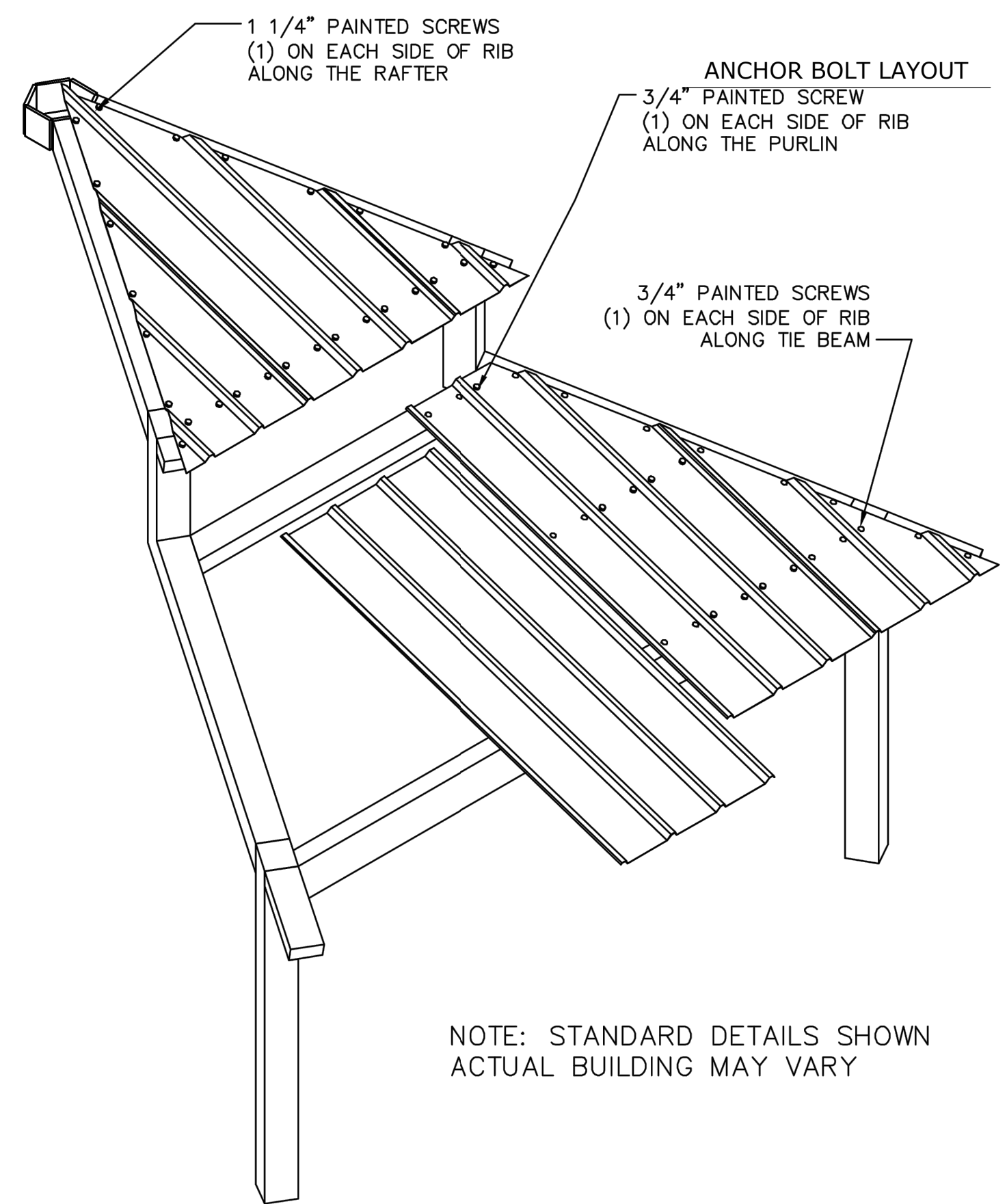
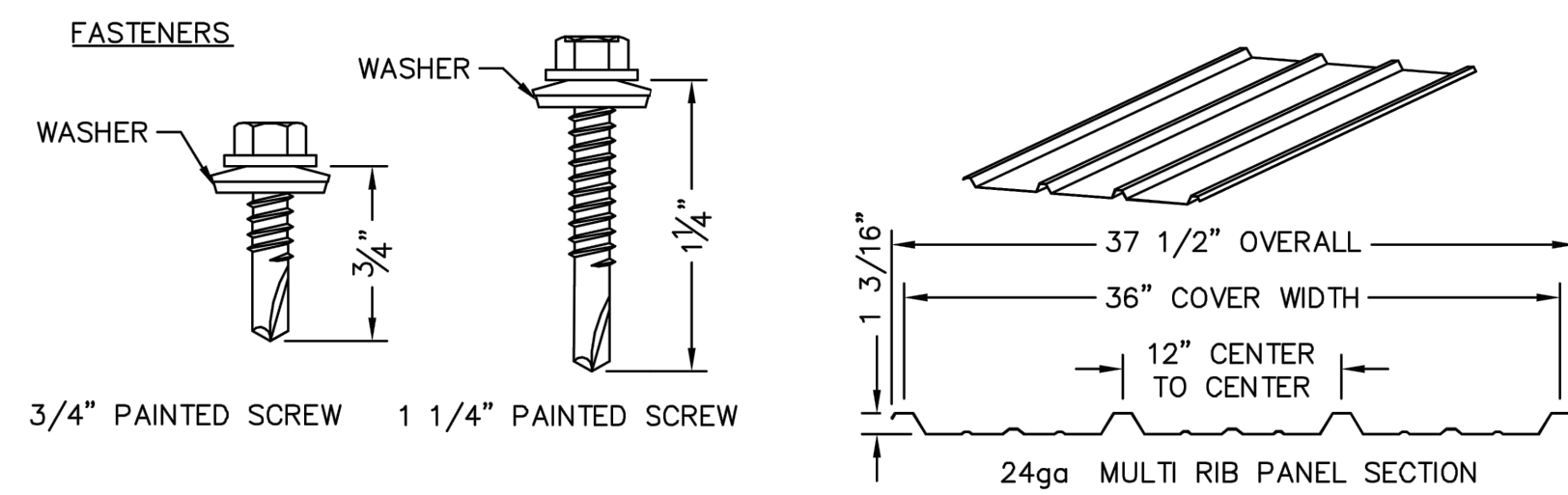
PLAN



ISOMETRIC



FRONT ELEVATION

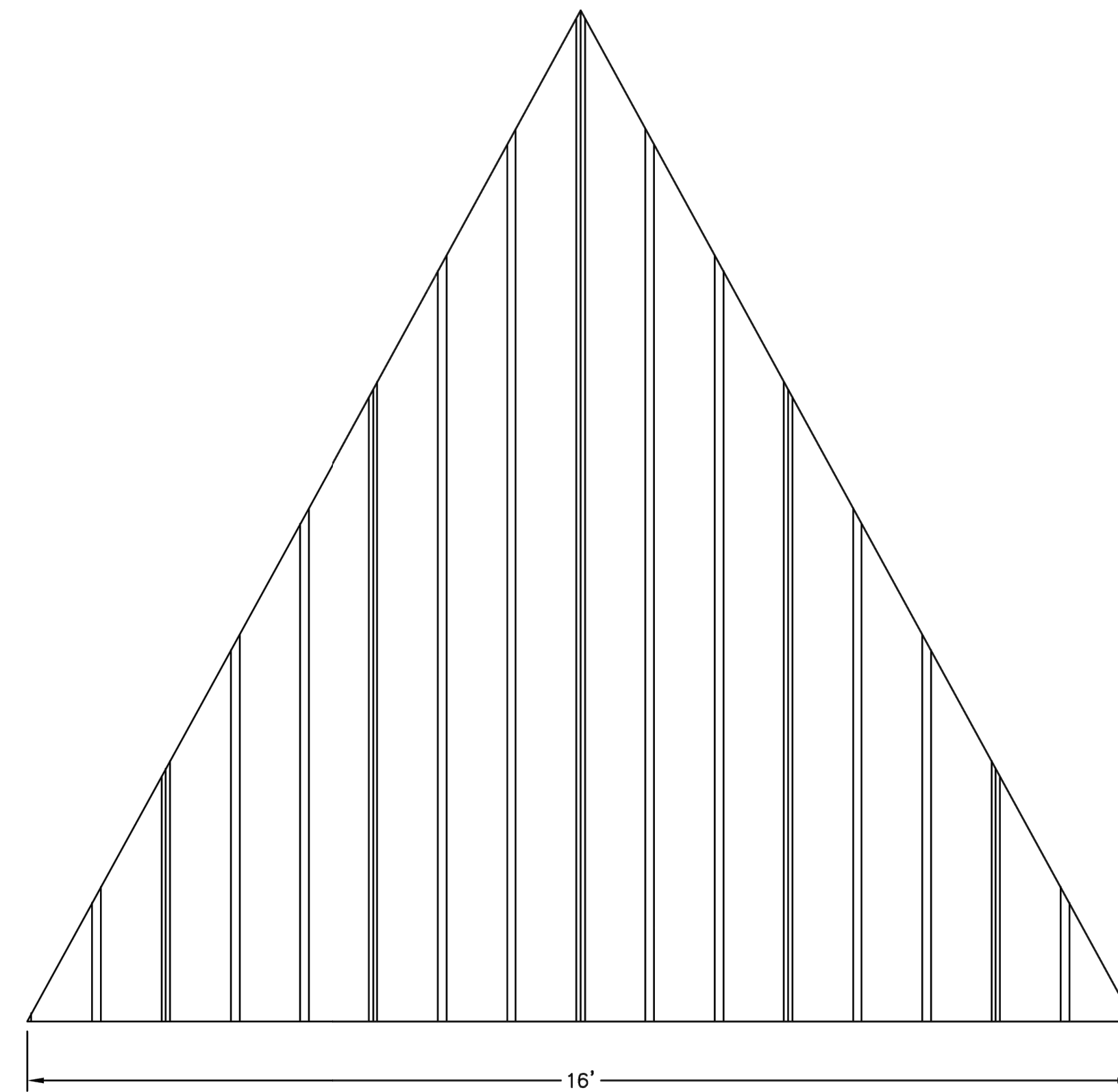


NOTE: STANDARD DETAILS SHOWN
ACTUAL BUILDING MAY VARY

ALL STRUCTURAL COMPONENTS WILL BE:
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW

NOTE:
COLUMN SIZE: HSS5x5x0.1875

- NOTE:
1. FIELD VERIFY CONDITIONS TO REFLECT OPTIMAL LAYOUT SHOWN.
 2. SHELTER MANUFACTURER TO PROVIDE STAMPED DRAWINGS PREPARED BY A LICENSED ENGINEER FOR THE STRUCTURE AND FOUNDATION DESIGN.
 3. PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 4. ATTACH POSTS TO CONCRETE FOOTINGS PER MANUFACTURER'S SPECIFICATIONS.
 5. USE CONCRETE SPREAD FOOTINGS DUE TO GEOTHERMAL LOCATIONS IN THE AREA.
 6. CONTRACTOR TO COORDINATE THE LOCATION OF THE ELECTRICAL WIRING WITH THE PAVILION FOOTING LOCATIONS.
 7. REFER TO ELECTRICAL DRAWINGS FOR PAVILION LIGHTING. (SEE E010 FOR ELECTRICAL SITE PLAN AND E400 ELECTRICAL SCHEDULE).



ROOF LAYOUT



general notes

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revisions

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Pittsburgh, PA 15214

drawing title

Site Details

SUBCONSULTANT



606 Liberty Avenue, Suite 226
Pittsburgh, PA 15222
United States
Tel 412.203.3524
Fax 412.756.3080

seal



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revisions

project title

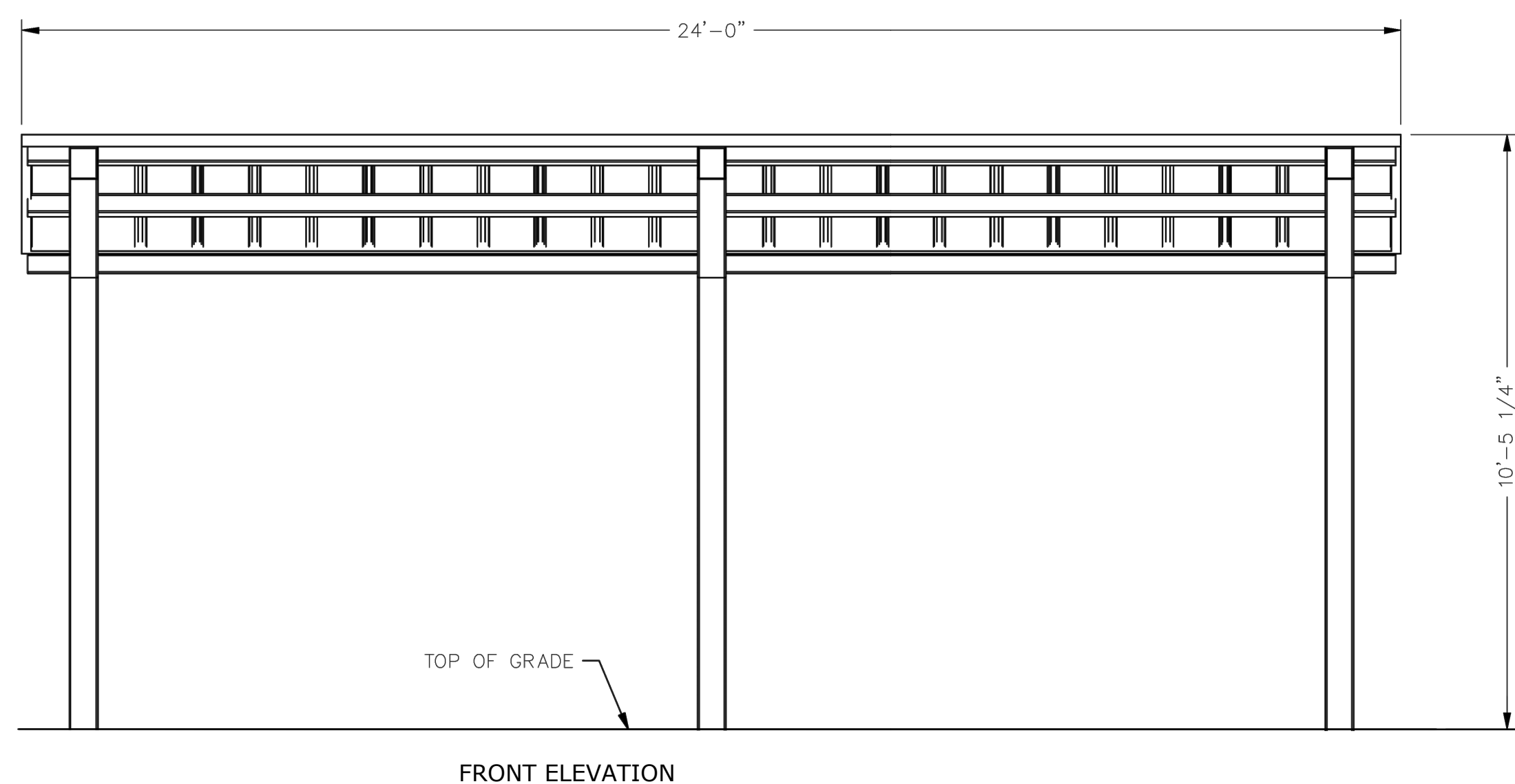
Owner:
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Pittsburgh, PA, 15219

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200 Ross Street
Pittsburgh, PA 15219

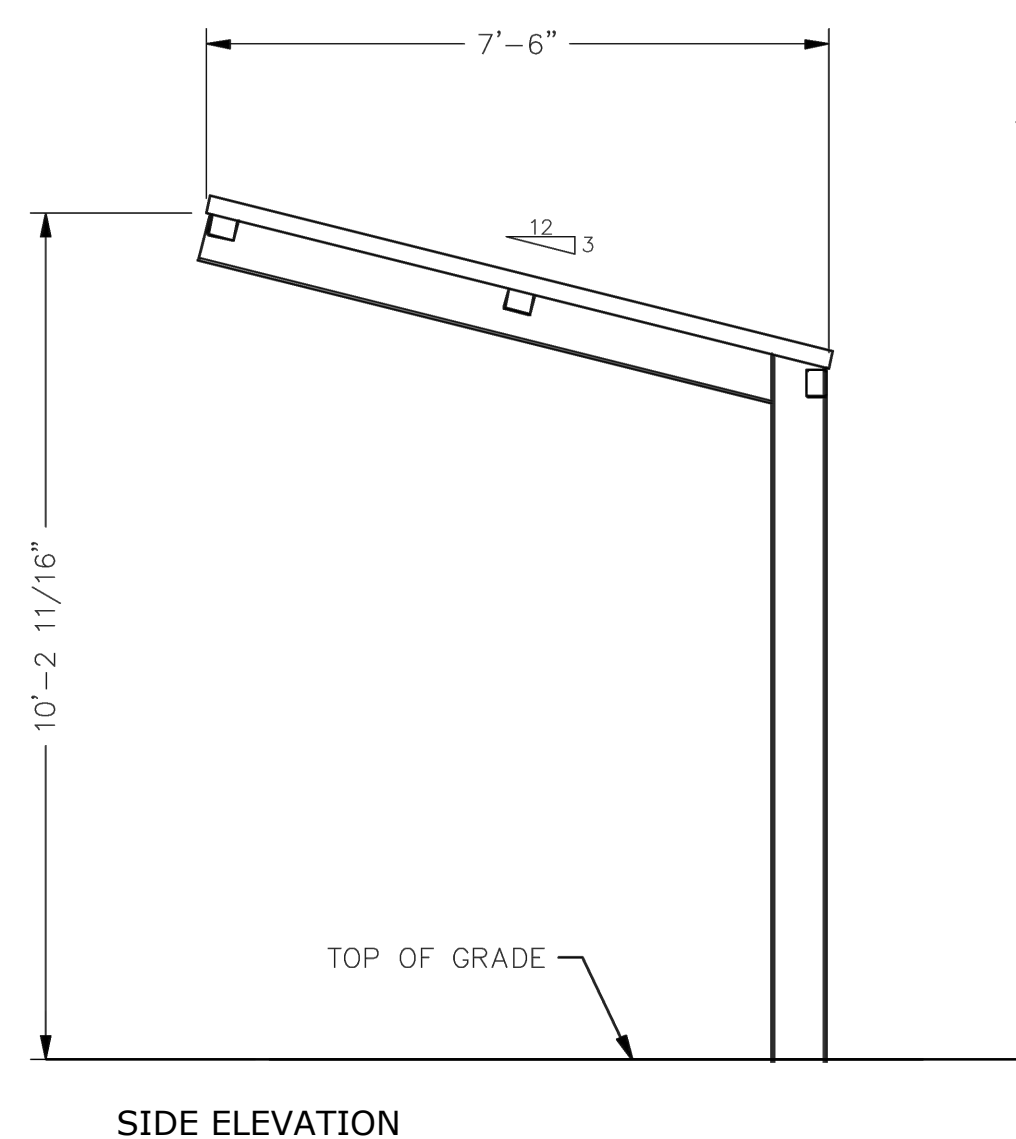
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

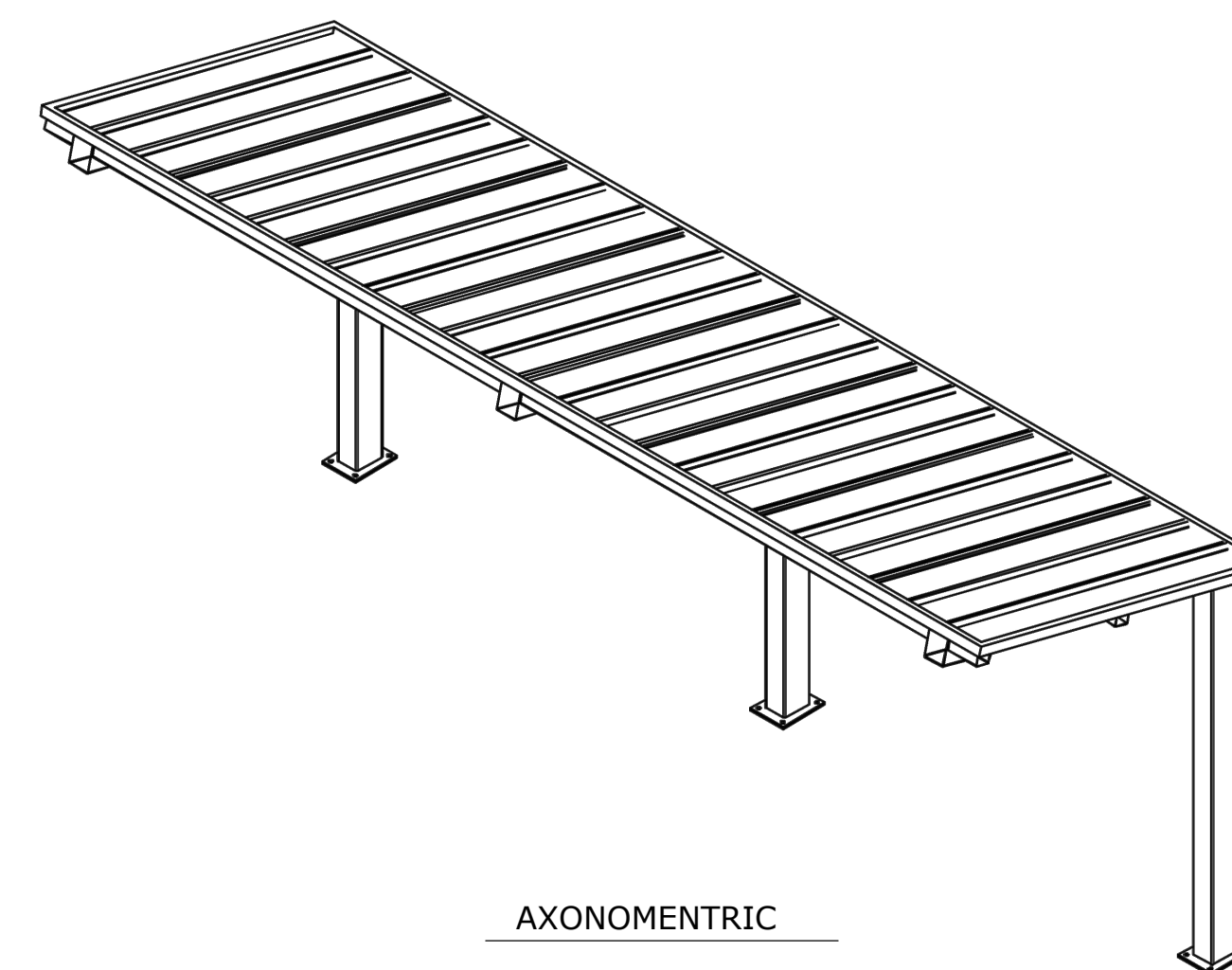
Site Details



FRONT ELEVATION

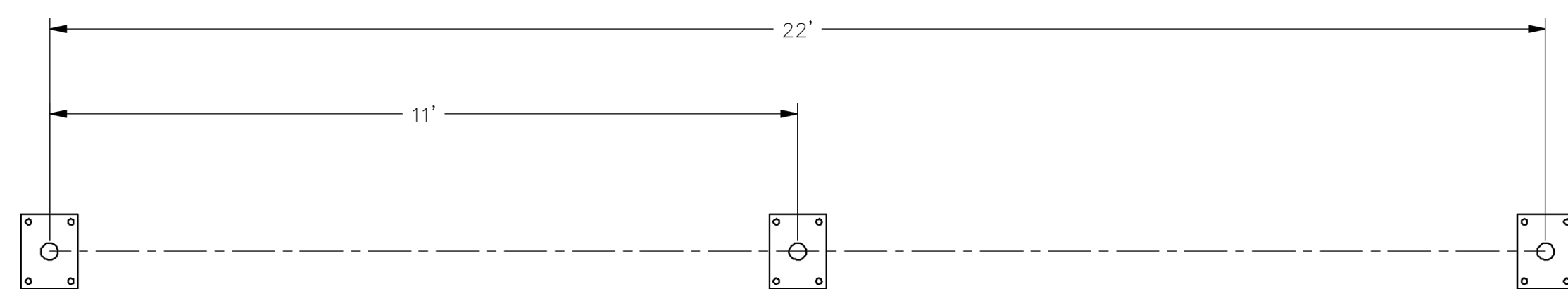


SIDE ELEVATION

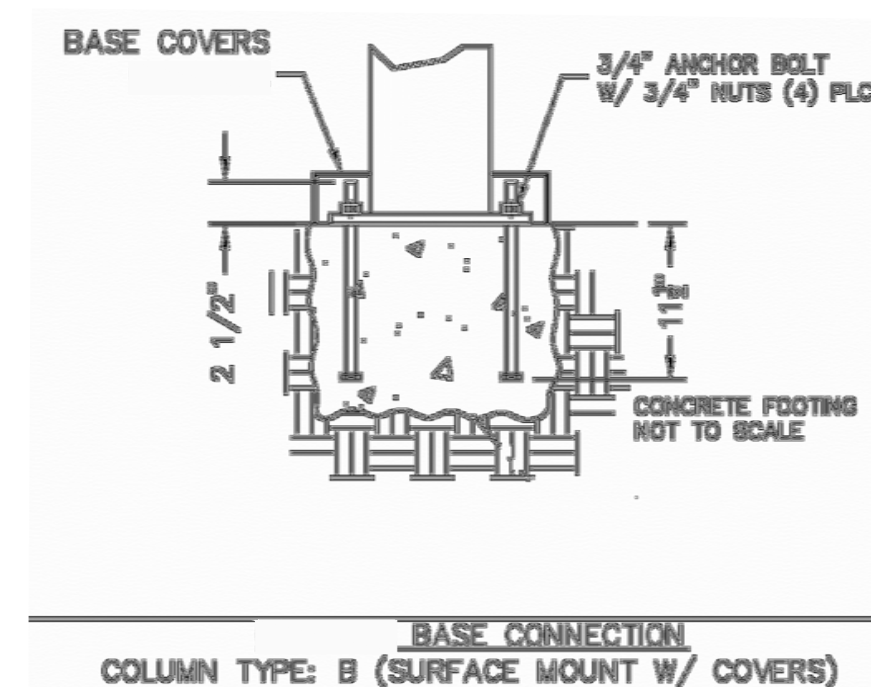


AXONOMETRIC

ELEVATIONS



PLAN- ANCHOR BOLT LAYOUT

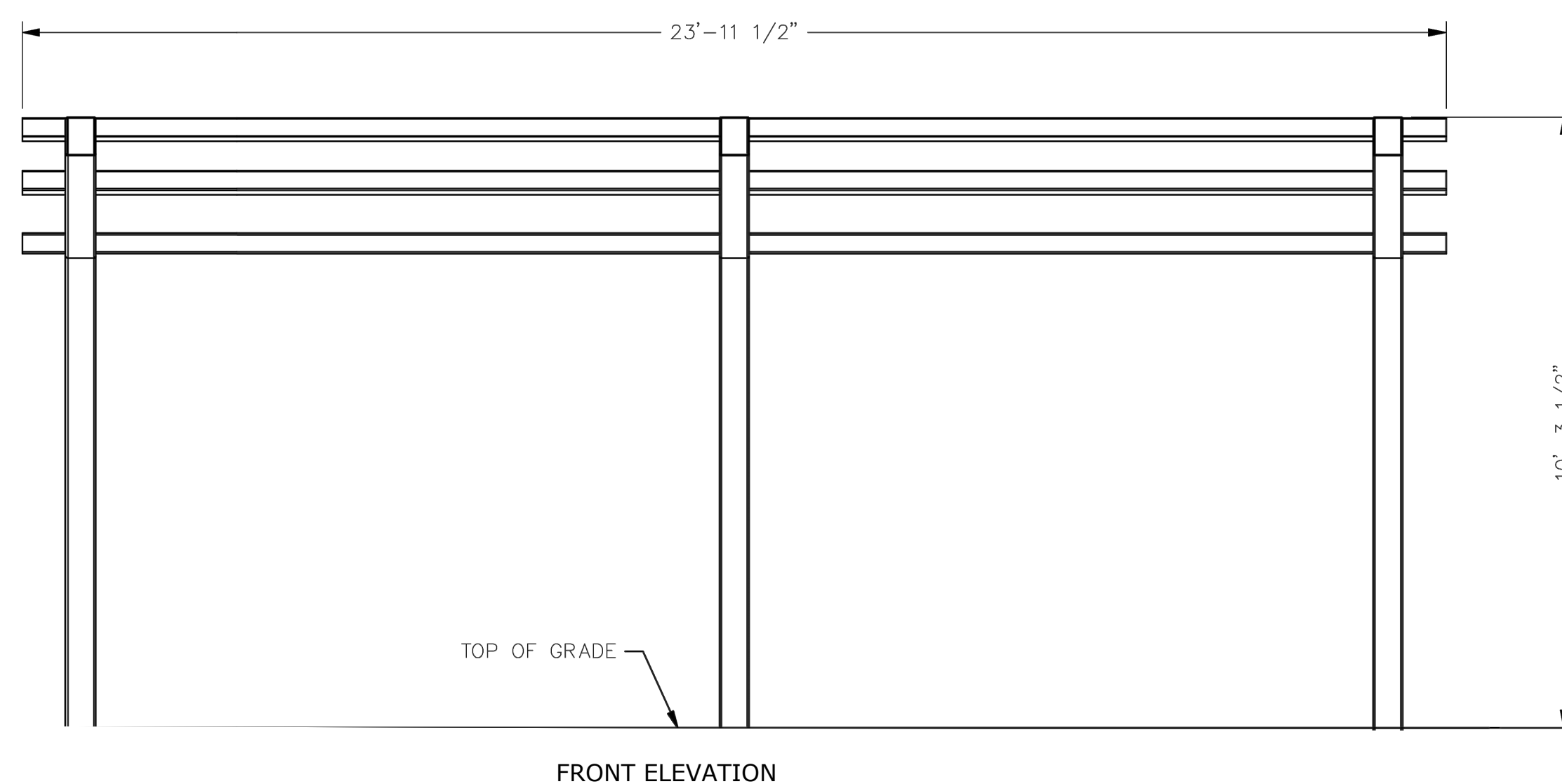


- NOTE:
- FIELD VERIFY CONDITIONS TO REFLECT OPTIMAL LAYOUT SHOWN.
 - SHELTER MANUFACTURER TO PROVIDE STAMPED DRAWINGS PREPARED BY A LICENSED ENGINEER FOR THE STRUCTURE AND FOUNDATION DESIGN.
 - PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ATTACH POSTS TO CONCRETE FOOTINGS PER MANUFACTURER'S SPECIFICATIONS.

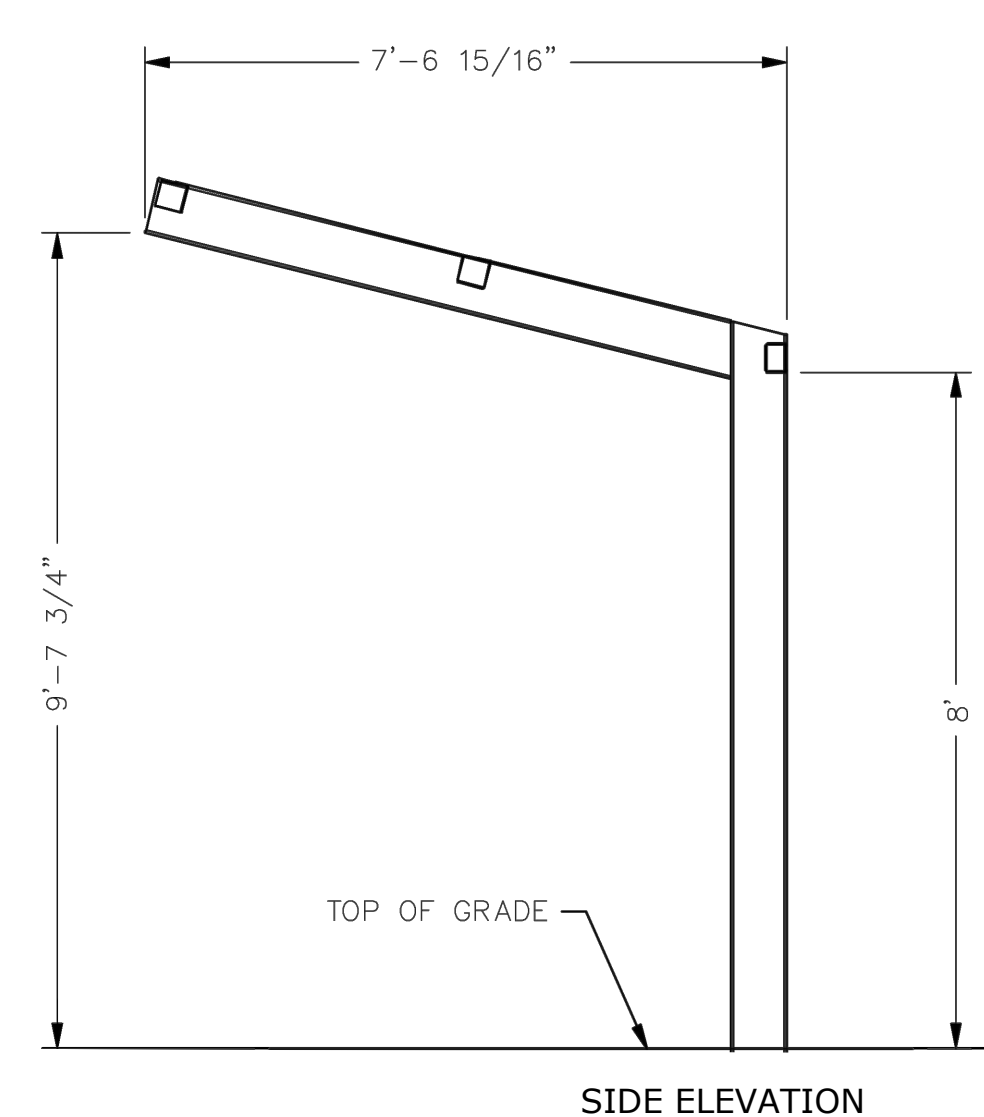
ANCHOR BOLT LAYOUT

ALL STRUCTURAL COMPONENTS WILL BE:
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW

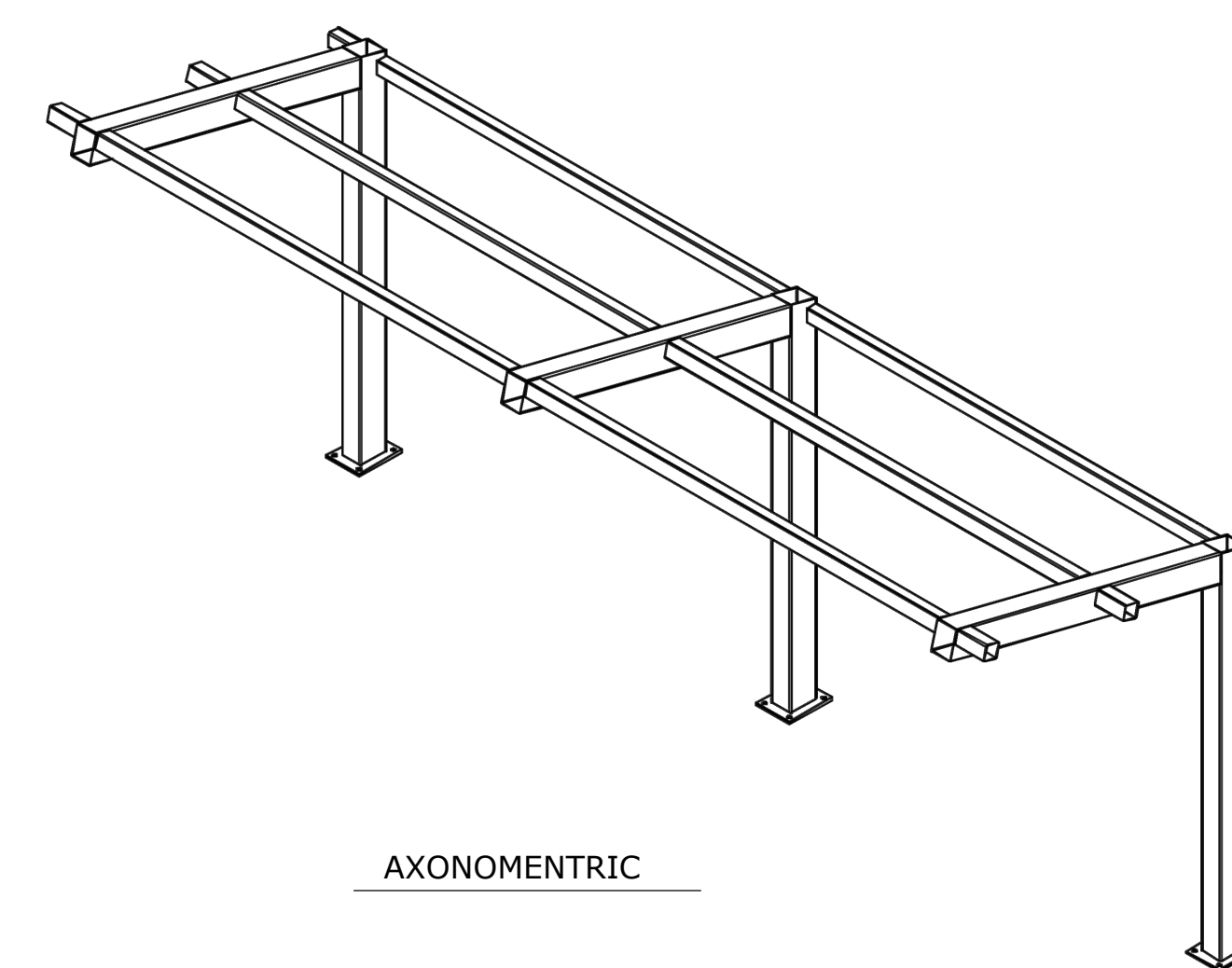
NOTE:
COLUMN SIZE: HSS8X6X0.1875



FRONT ELEVATION



SIDE ELEVATION



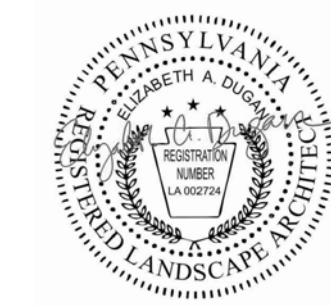
AXONOMETRIC

FRAME

1 COVERED BIKE SHELTER (F-10)
SCALE: NOT TO SCALE

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scale As Shown	Sheet No.
date December 3rd, 2023	L4.03
no. 60 of 233	
Project #2040	



general notes

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revisions

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200 Ross Street
Pittsburgh, PA 15219

Project Location:

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246 Penfort Street
Pittsburgh, PA 15214

drawing title

Site Details

Scale
As Shown

date
December 3rd, 2023

no. of.
61 233

Sheet No.

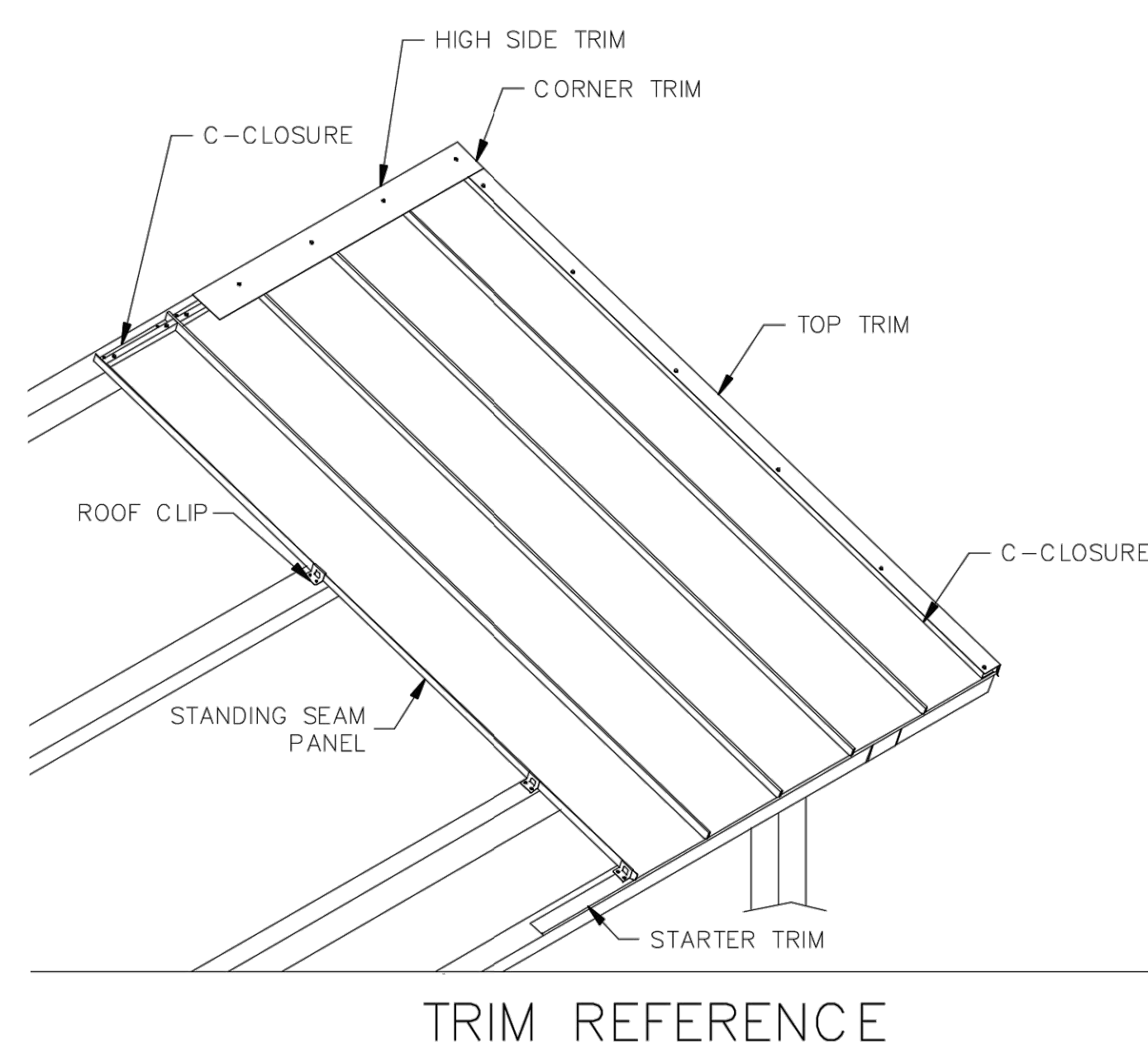
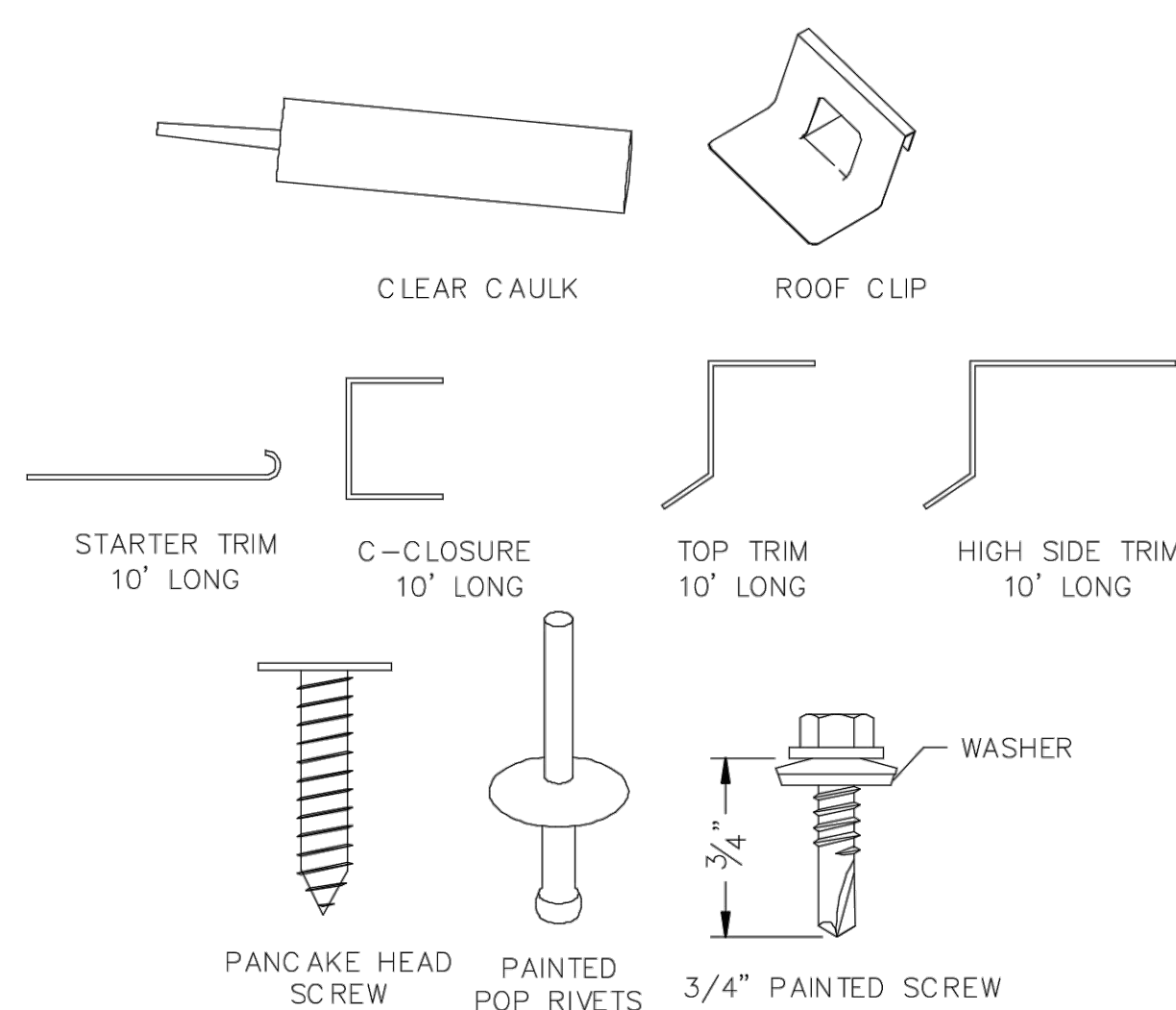
L4.04

Project #2040

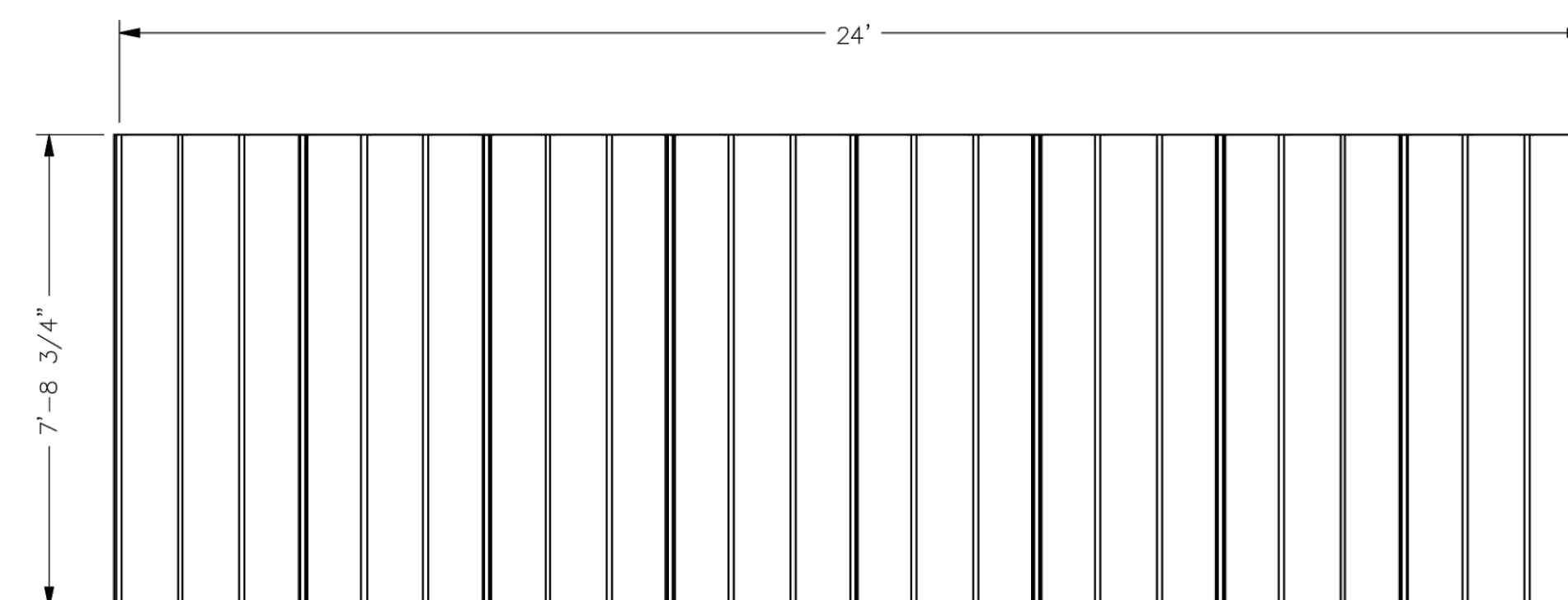
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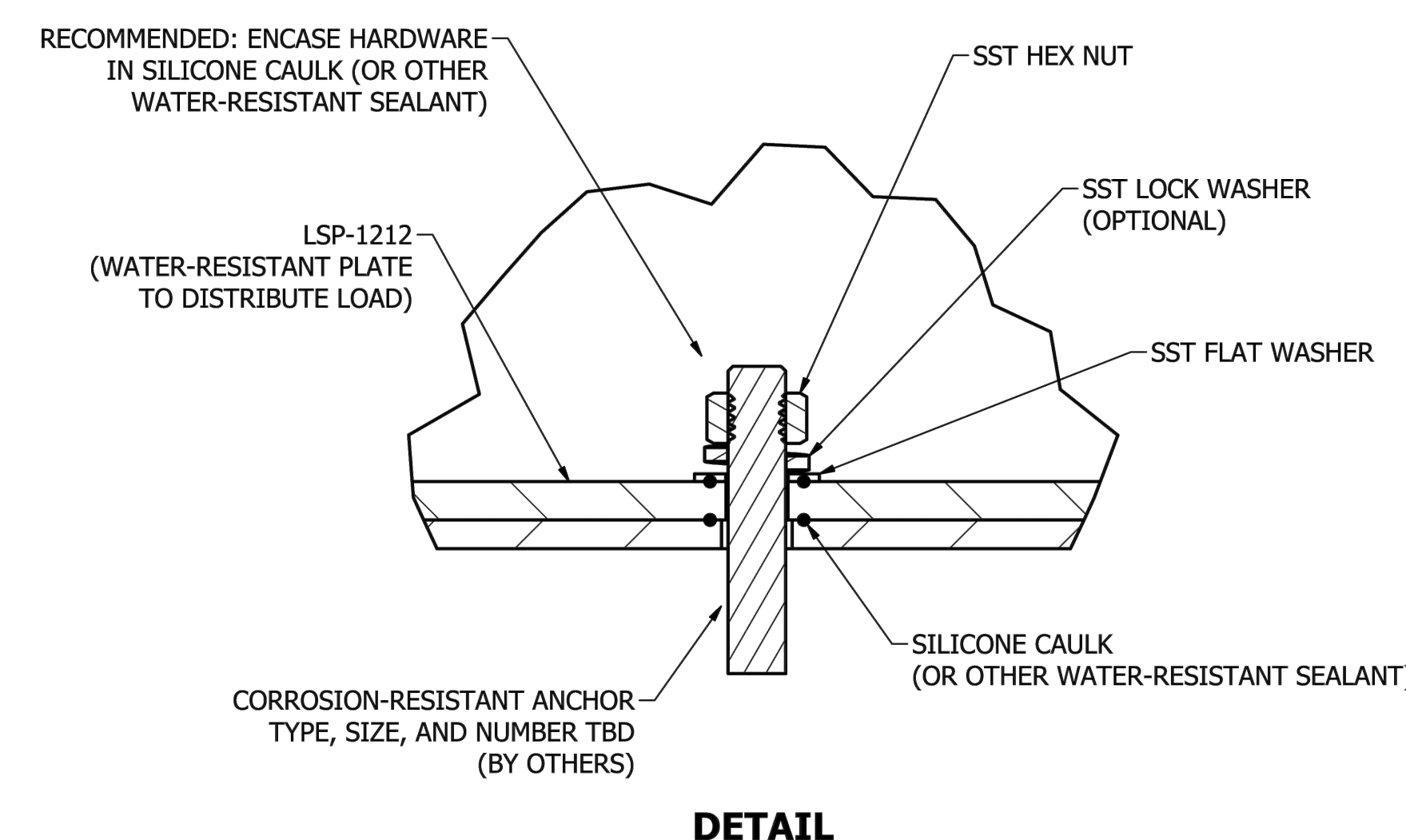


- NOTE:
- FIELD VERIFY CONDITIONS TO REFLECT OPTIMAL LAYOUT SHOWN.
 - SHELTER MANUFACTURER TO PROVIDE STAMPED DRAWINGS PREPARED BY A LICENSED ENGINEER FOR THE STRUCTURE AND FOUNDATION DESIGN.
 - PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - EMBED POSTS IN CONCRETE FOOTINGS PER MANUFACTURER'S SPECIFICATIONS.

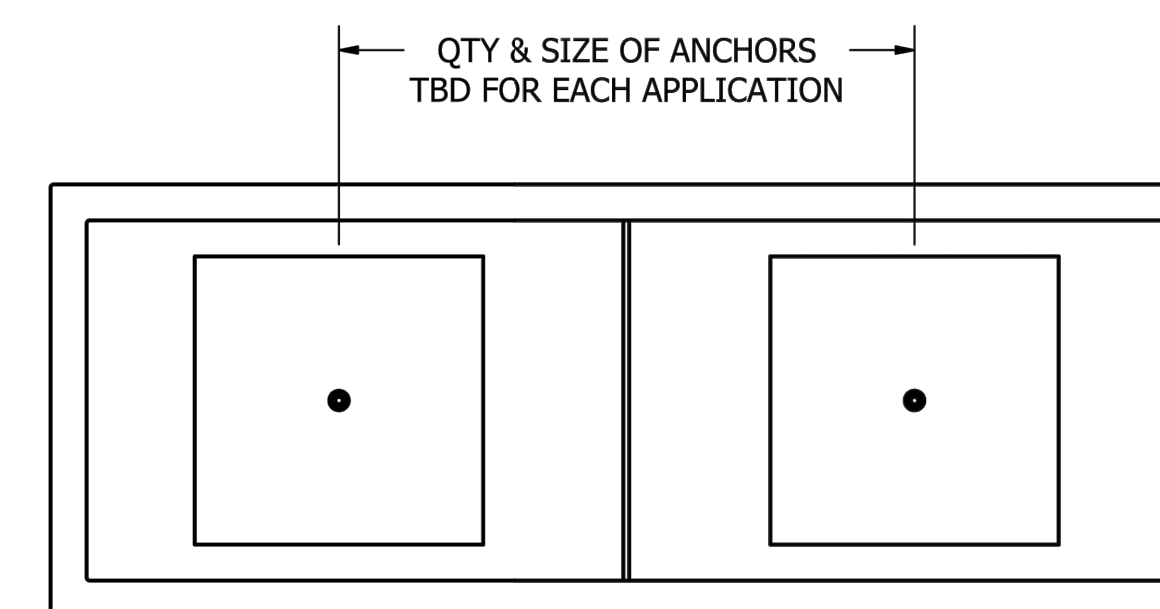


MULTI-RIB ROOF LAYOUT

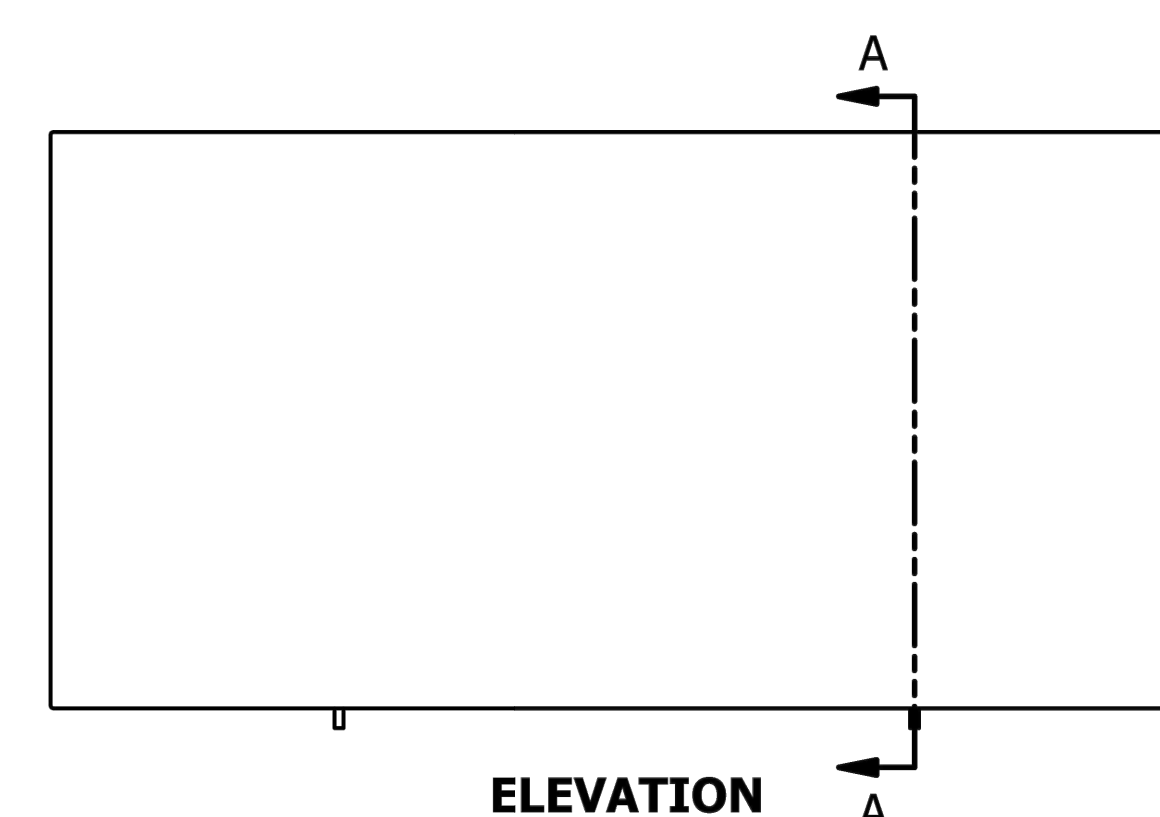
- NOTES:
- REFER TO L1.00, SITE FURNISHING SCHEDULE, FOR PLANTER TYPES.
 - TYPICAL PLANTER LAYOUT SHOWN.
 - VERIFY LAYOUT OF LANDSCAPE ELEMENTS WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK AND ADJUST AS REQUIRED.
 - SURFACED MOUNTED FURNISHINGS REQUIRE STAINLESS STEEL ANCHOR BOLTS (NOT PROVIDED).
 - SURFACE MOUNT TO CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR CONCRETE DETAIL.
 - INSTALL PER MANUFACTURER'S SPECIFICATIONS.



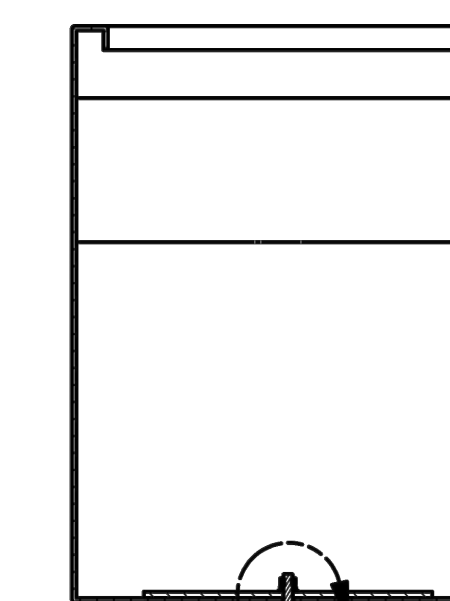
DETAIL



PLAN



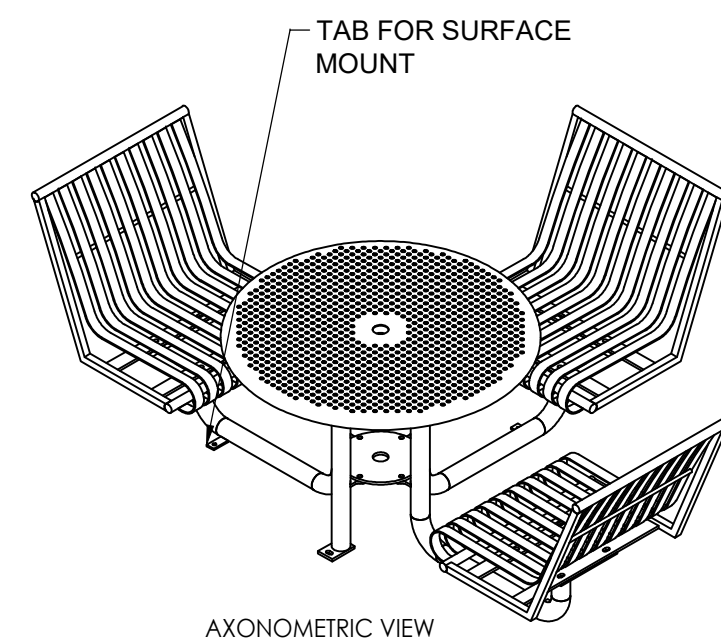
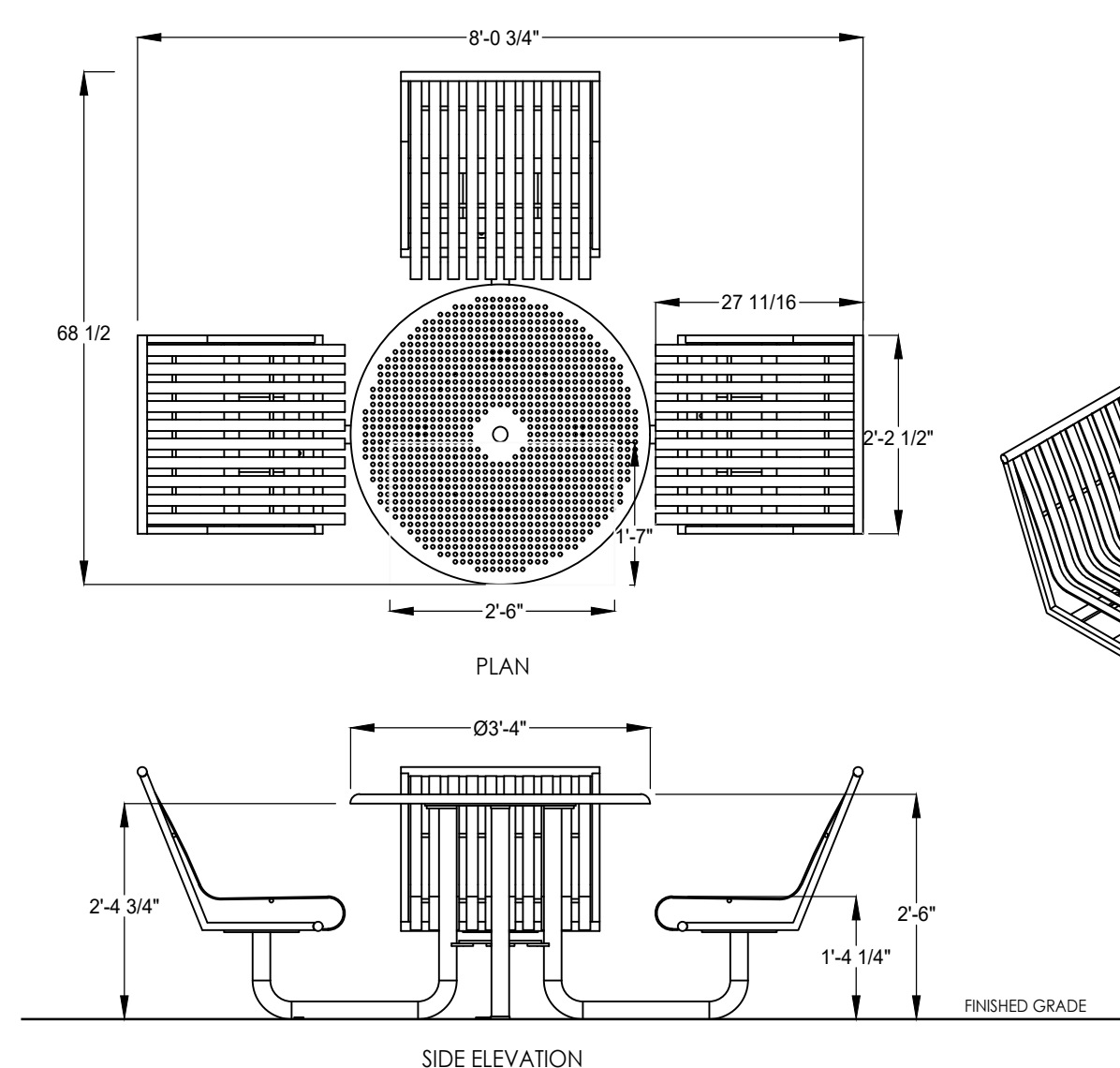
ELEVATION



SECTION

3 PLANTER- TYPICAL ANCHORING
SCALE: NOT TO SCALE

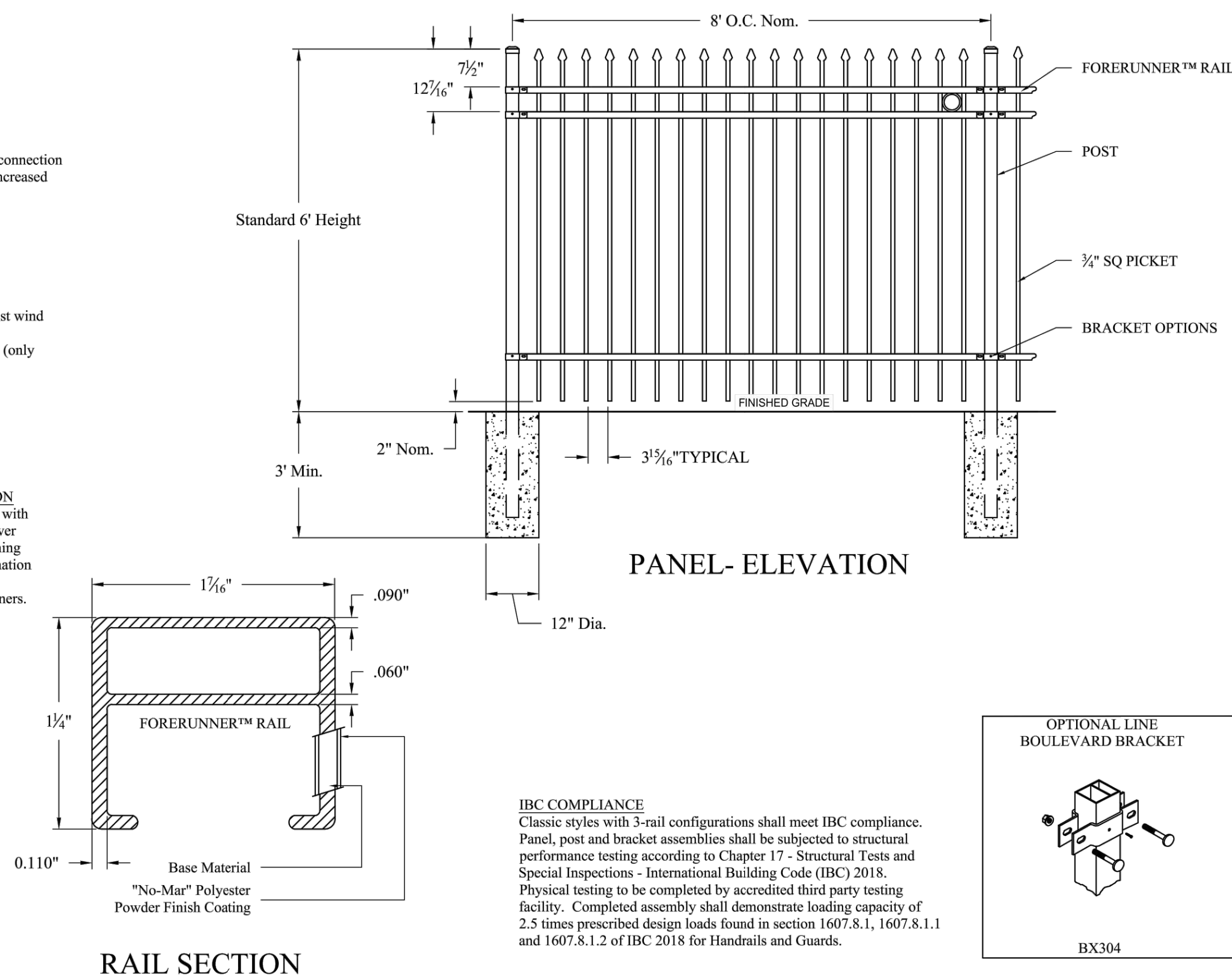
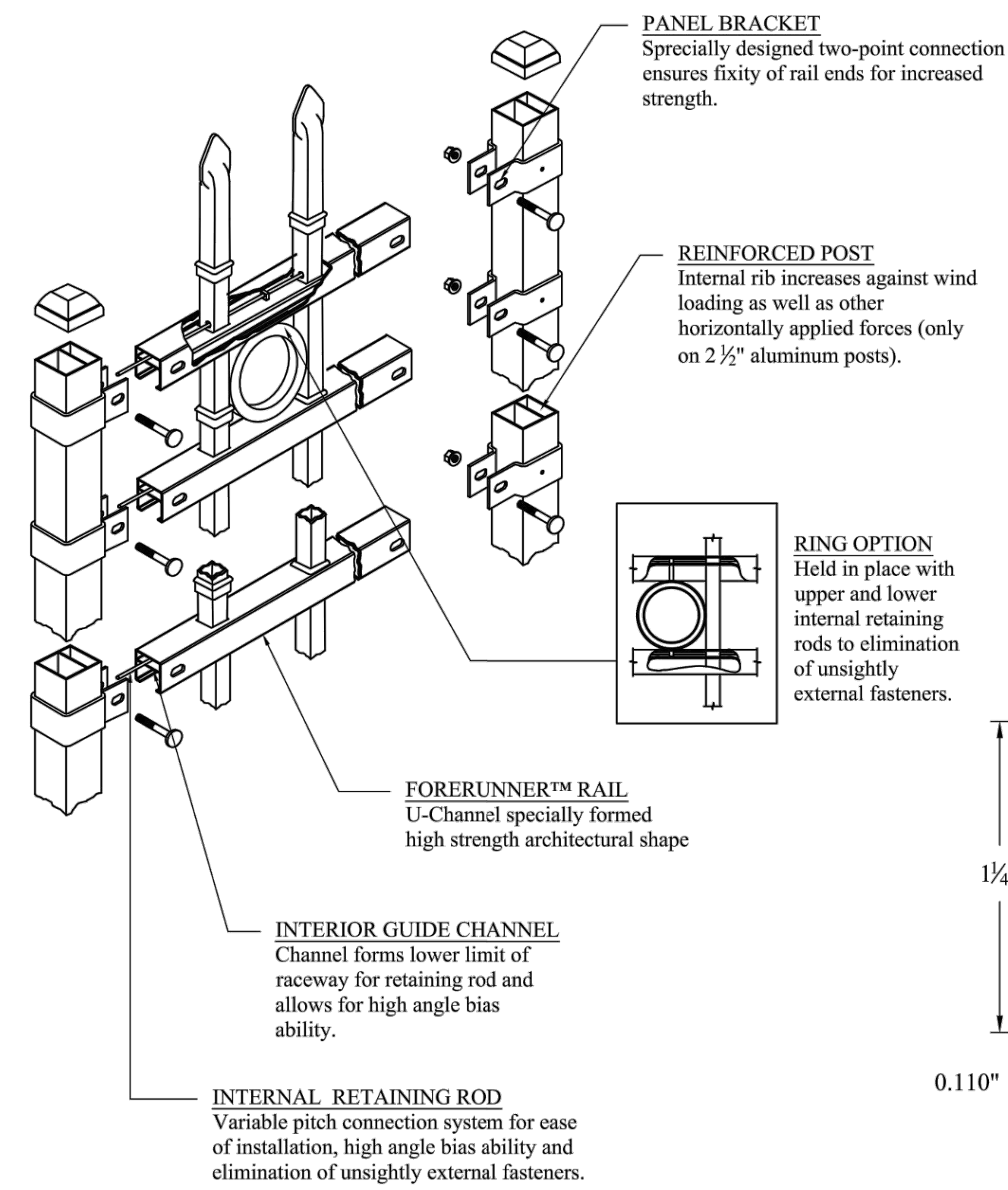
- NOTES:
- REFER TO L1.00 FOR SITE FURNISHING SCHEDULE.
 - VERIFY LAYOUT OF LANDSCAPE ELEMENTS WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK AND ADJUST AS REQUIRED.
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 - SURFACE MOUNT TO CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR CONCRETE DETAIL.
 - INSTALL PER MANUFACTURER'S SPECIFICATIONS.



2 3 SEAT DINING TABLE (ADA ACCESSIBLE) (F-09)
SCALE: NOT TO SCALE

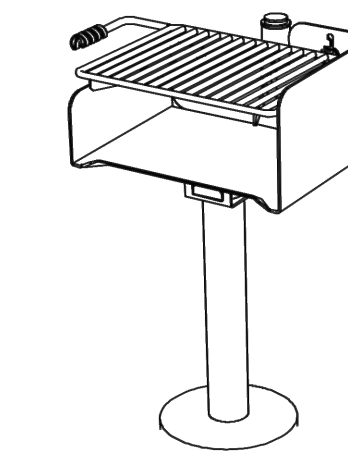
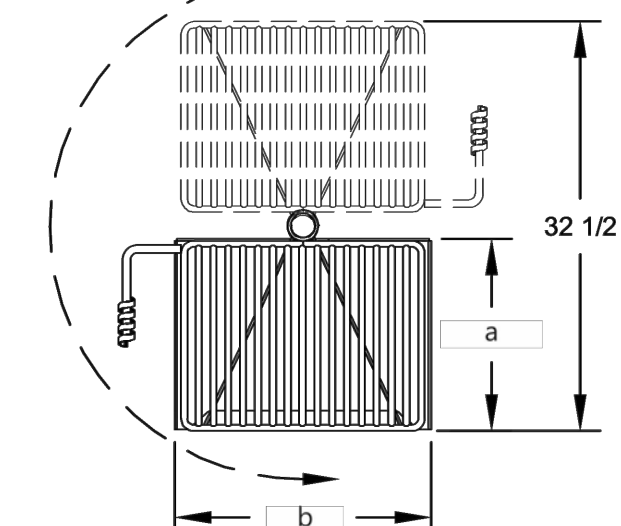
1 COVERED BIKE SHELTER - ROOF LAYOUT (F-10)
SCALE: NOT TO SCALE

- NOTES:
1. BASIS OF DESIGN PRODUCT: AMERISTAR "ECHELON PLUS" COMMERCIAL ORNAMENTAL ALUMINUM FENCE WITH FULLY RAKEABLE PANELS. REFER TO SPECIFICATIONS.
 2. POST SIZE AND GAUGE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE ECHELON PLUS™ SPECIFICATIONS FOR POST SIZING CHART.
 3. VALUES SHOWN ARE NOMINAL AND NOT TO BE USED FOR INSTALLATION PURPOSES. SEE PRODUCT SPECIFICATION FOR INSTALLATION REQUIREMENTS.
 4. FIELD VERIFY CONDITIONS TO REFLECT OPTIMAL LAYOUT SHOWN.
 5. PROVIDE SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 6. EMBED POSTS IN CONCRETE FOOTINGS PER MANUFACTURER'S SPECIFICATIONS.
 7. REFER TO SPECIFICATIONS FOR POST, PICKET AND FORERUNNER RAIL SIZING.
 8. RAKE FENCE TO MEET PROPOSED GRADES.

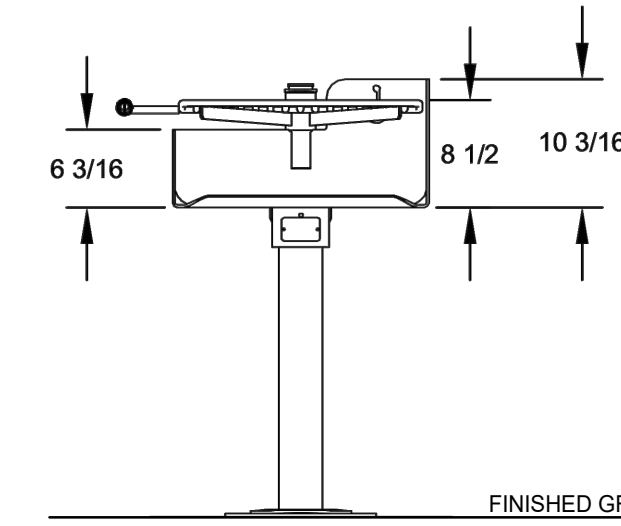


- NOTES:
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 4. SURFACE MOUNT TO CONCRETE PAVING. REFER TO CIVIL DRAWINGS FOR CONCRETE DETAIL.
 5. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

GRATE ROTATES 180° FROM OVER FIRE WITH 5 LBS. OF FORCE. HANDLE IS NEVER OVER FIRE



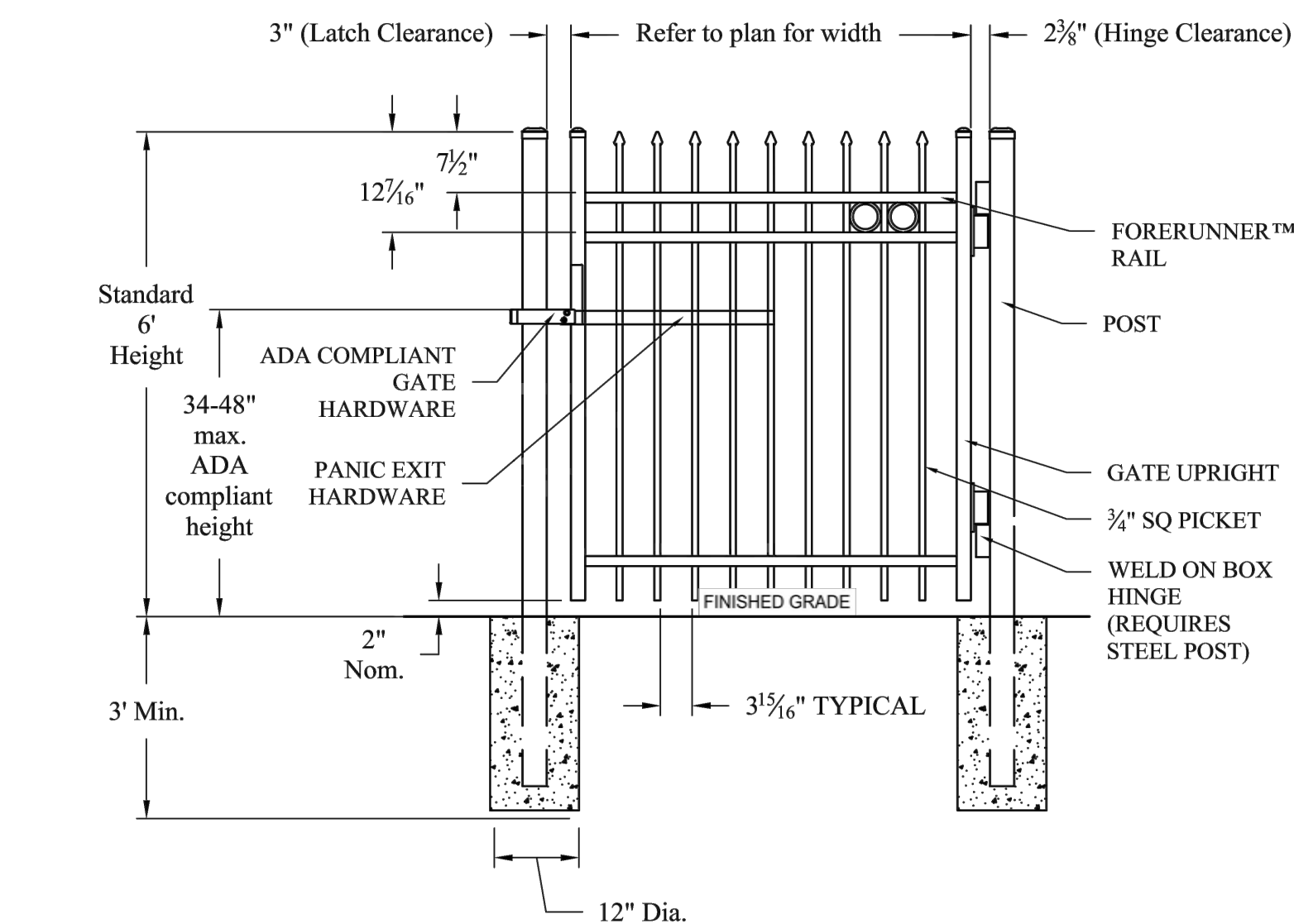
NOTE: SWIVEL SHELF ACCESSORY NOT SHOWN.



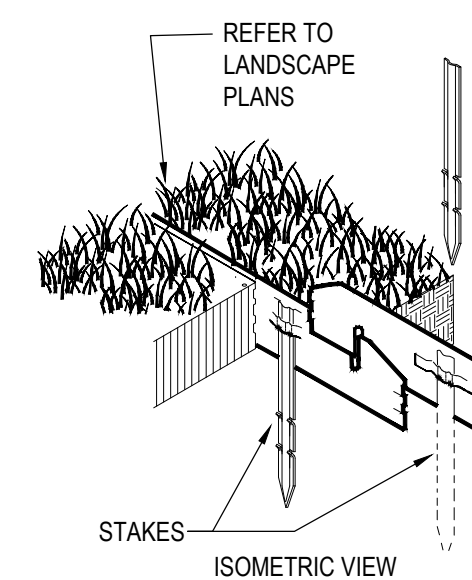
MODEL NUMBER	DIMENSION	
	a	b
ASW-20	15-1/8"	19-3/8"

1 ORNAMENTAL FENCE
SCALE: NOT TO SCALE

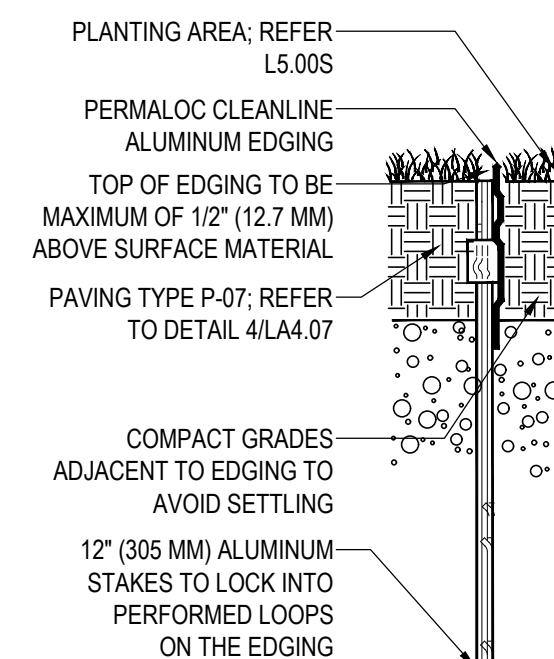
4 ACCESSIBLE GRILL (F-10)
SCALE: NOT TO SCALE



- NOTES:
1. BASIS OF DESIGN PRODUCT: AMERISTAR "ECHELON PLUS" COMMERCIAL ORNAMENTAL ALUMINUM GATE TO MATCH FENCE WITH SOFT CLOSURE HINGES AND ADA COMPLIANT HARDWARE. REFER TO SPECIFICATIONS.
 2. POST SIZE AND GAUGE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE ECHELON PLUS™ SPECIFICATIONS FOR POST SIZING CHART.
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 7. REFER TO SPECIFICATIONS FOR POST, PICKET AND FORERUNNER RAIL SIZING.



- NOTES:
1. CLEANLINE 3/16" X 4", 0.072" THICK ALUMINUM EDGING WITH 0.135" EXPOSED TOP LIP, WITH NATURAL ALUMINUM MILL FINISH.
 2. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
 3. 16" SECTION TO INCLUDE (6) 12" ALUMINUM STAKES.
 4. CORNERS - CUT BASE EDGING UP HALF WAY AND FOR A CONTINUOUS CORNER.
 5. PERMALOC CLEANLINE AS MANUFACTURED BY PERMALOC CORPORATION. WWW.PERMALOC.COM OR APPROVED EQUIVALENT



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2 ORNAMENTAL FENCE GATE
SCALE: NOT TO SCALE

3 METAL EDGING
SCALE: NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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SUBCONSULTANT

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LANDSCAPES

606 Liberty Avenue, Suite 226
Pittsburgh, PA 15222
United States
Tel 412.203.3524
Fax 412.756.3080



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Pittsburgh, PA 15214

drawing title

Site Details

Scale
As Shown

date
December 3rd, 2023

no. of.

62 233

Sheet No.

L4.05

Project #2040

Tree Schedule

TREE SCHEDULE						
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (MIN.)	CONDITION	TOTAL CALIPER INCHES	NOTES
10	ACER RUBRUM 'BRANDYWINE'	BRANDYWINE RED MAPLE	2 1/2" CAL.	B&B	25	MATCHING SPECIMENS
10	ACER SACCHARUM	SUGAR MAPLE	3" CAL.	B&B	30	
9	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	7'-8' HT (2" CAL.)	B&B	18	CLUMP, MULTI-TRUNK, CALIPER LISTED INDICATES SUM OF INDIVIDUAL TRUNK CALIPERS
11	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	7'-8' HT (2" CAL.)	B&B	22	SINGLE TRUNK
8	CERCIS CANADENSIS	EASTERN REDBUD	2- 21/2" CAL	B&B	16	SINGLE TRUNK
7	CLADRASTIS KENTUCKEA	YELLOWWOOD	2 1/2"-3" CAL	B&B	14	
13	CORNUS X RUTGAN	STELLAR PINK DOGWOOD	2- 21/2" CAL	B&B	26	SINGLE TRUNK, MATCHING SPECIMENS
23	NYSSA SYLVATICA	BLACK TUPELO	3" CAL.	B&B	69	
6	PICEA GLAUCA	WHITE SPRUCE	10'-12' HT	B&B	15	10'-12' HEIGHT (CALIPER CALCULATIONS ARE BASED ON A 2 1/2" CALIPER TREE)
6	PLATANUS X ACERIFOLIA 'EXCLAMATION'	EXCLAMATION LONDON PLANETREE	3" - 3 1/2" CAL.	B&B	18	MATCHING SPECIMENS, STREET TREE
8	QUERCUS COCCINEA	SCARLET OAK	3" CAL.	B&B	24	
10	ULMUS AMERICANA 'LEWIS & CLARK' PRAIRIE EXPEDITION	PRAIRIE EXPEDITION AMERICAN ELM	2 1/2" CAL.	B&B	25	
6	ULMUS 'FRONTIER'	FRONTIER ELM	2 1/2" CAL.	B&B	15	MATCHING SPECIMENS
TOTAL CALIPER INCHES					317	TOTAL OF PROPOSED TREE PLANTINGS

NOTE: QUANTITIES SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES FOR PLANTING AREAS. B&B = BALLED & BURLAPPED, CONT= CONTAINER, O.C.= ON CENTER SPACING

NOTE: PLANT SCHEDULES SHOWN ARE COMPRISED OF NATIVE AND APPROPRIATE PLANT SPECIES THAT ARE ADAPTED TO THE SITE CONDITIONS, CLIMATE AND DESIGN INTENT.

GENERAL PLANTING NOTES

- COORDINATE PLANTINGS WITH EXISTING AND PROPOSED UTILITY LOCATIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY UTILITIES OR FEATURES THAT INTERFERE WITH PROPOSED IMPROVEMENTS.
- UTILIZE ONLY PLANTS GROWN IN THE SAME USDA PLANTING ZONES (PER THE USDA PLANT HARDINESS MAP) AS THOSE OF THE PROJECT SITE.
- ALL PLANTS SHALL BE FURNISHED AND INSTALLED IN STRICT ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK". ANSI 260.1, AS PUBLISHED AND APPROVED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS TO BE STAKED IN THE FIELD BY CONTRACTOR FOR APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO PLANTING INSTALLATION.
- CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS IN LOCATIONS AND TO DEPTHS AS SHOWN ON PLAN OR ON DETAILS.
- PROVIDE MULCH RING AROUND INDIVIDUAL TREES (BOTH EXISTING AND PROPOSED). 4' MINIMUM MULCH RING AT SHADE/CANOPY TREES. 3' MICH RING - AT ORNAMENTAL/FLOWERING TREES.
- REFER TO SPECIFICATIONS FOR MULCH.
- NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE PLANT SCHEDULE AND PLAN PRIOR TO ORDERING PLANT MATERIALS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE CALENDAR YEAR AFTER WRITTEN NOTICE OF ACCEPTANCE OF ALL PLANTING WORK.
- NO SUBSTITUTIONS FOR PLANT SPECIES AND VARIETIES WILL PERMITTED WITH OUT APPROVAL BY OWNER'S REPRESENTATIVE.
- SHOULD THERE BE A DISCREPANCY BETWEEN THE PLANT SCHEDULES AND THE PLANTING PLAN, THE FOLLOWING GOVERNS:
 - NUMBER OF PLANT MATERIAL- PLANTING PLAN GOVERNS
 - SIZE OF PLANTS - LARGEST SIZE GOVERNS
 - TYPE OF PLANT MATERIAL - AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

TOPSOIL:

- TOPSOIL SHALL BE SUPPLIED BY THE CONTRACTOR. TOPSOIL MUST BE TESTED ACCORDING TO SPECIFICATIONS PRIOR TO ITS USE. TOPSOIL TEST RESULTS AND AMENDMENT RECOMMENDATIONS SHALL BE PROVIDED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TOPSOIL SHALL BE 4 INCHES IN LAWN AREAS AND 12 INCHES IN PLANTING BEDS. REFER TO L2.01.

Shrub Schedule

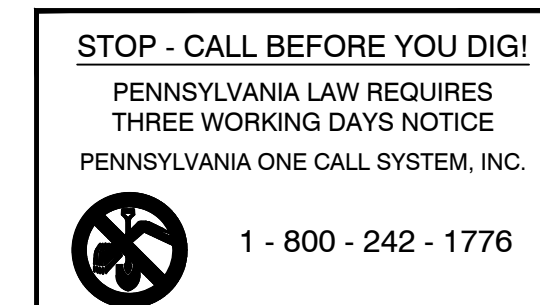
SHRUB SCHEDULE						
QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE (MIN.)	CONDITION	NOTES
107	CAH	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	2-3' HT.	#3 CONT.	FULL AND BUSHY TO GROUND
33	CSC	CORNUS SERICEA 'CARDINAL'	RED TWIG DOGWOOD	42" HT.	#7 CONT.	FULL AND BUSHY TO GROUND, PARKING LOT BUFFER (DENSE TWIGGY STRUCTURE)
44	CSF	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	2-3' HT.	#3 CONT.	FULL AND BUSHY TO GROUND
36	FGM	FOTHERGILLA GARDENII 'MT. AIRY'	MT. AIRY DWARF FOTHERGILLA	42" HT.	#7 CONT.	FULL AND BUSHY TO GROUND, PARKING LOT
25	FMB	FOTHERGILLA MAJOR 'BLUE SHADOW'	BLUE SHADOW FOTHERGILLA	2-3' HT.	#3 CONT.	FULL AND BUSHY TO GROUND
16	HPL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HARDY HYDRANGEA	2-3' HT.	#3 CONT.	FULL AND BUSHY TO GROUND
170	IG	ILEX GLABRA	INKBERRY HOLLY	42" HT.	#7 CONT.	FULL AND BUSHY TO GROUND, PARKING LOT BUFFER (EVERGREEN)
103	IGC	ILEX GLABRA 'CHAMZIN'	NORDIC INKBERRY HOLLY	18"-24" HT.	#3 CONT.	FULL AND BUSHY TO GROUND
4	IVJ	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	2-3' HT.	#3 CONT.	FULL AND BUSHY TO GROUND, 1 MALE PLANT PER EVERY 9 FEMALE RED SPRITE OR BERRY HEAVY PLANT
28	IVN	ILEX VERTICILLATA NANA 'RED SPRITE'	RED SPRITE WINTERBERRY	2-3' HT.	#3 CONT.	FULL AND BUSHY TO GROUND

NOTE:
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 2) B&B = BALLED & BURLAPPED, CONT= CONTAINER, O.C.= ON CENTER SPACING, GAL=GALLON
 3) REFER TO L5.00s FOR SHRUB LAYOUT/SPACING.

Perennials, Groundcovers, & Grasses Schedule

PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVERS						
QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE (MIN.)	CONDITION	NOTES
282	AM	ACHILLEA X MOONSHINE	MOONSHINE YARROW	#1 CONT.	CLUMP	SPACING 18" O.C.
151	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#2 CONT	CLUMP	SPACING AS SHOWN ON PLAN
478	EPP	ECHINACEA PURPUREA 'POW WOW WILD BERRY'	WILD BERRY PURPLE CONEFLOWER	#1 CONT.	CLUMP	SPACING 18" O.C.
137	HPP	HEUCHERA X 'PLUM PUDDING'	PLUM PUDDING CORAL BELLS	#1 CONT.	CLUMP	SPACING 18" O.C.
1386	LM	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	#2 CONT.	CONT.	SPACING 12" O.C.
110	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	#2 CONT	CLUMP	SPACING AS SHOWN ON PLAN
96	PVN	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	2-3' HT.	CONT.	SPACING AS SHOWN ON PLAN
236	PAL	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#2 CONT	CLUMP	SPACING 18" O.C.
57	RAG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	#1 CONT.	CLUMP	12"-15" HT., SPACING 48" O.C.
295	SSA	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONE CROP	#1 CONT.	CLUMP	SPACING 18" O.C.
SEED MIXES						
N/A	N/A	LAWN SEED	REFER TO SPECIFICATIONS	N/A	N/A	N/A
N/A	N/A	LOW-MOW FESCUE SEED MIX	REFER TO SPECIFICATIONS	N/A	N/A	N/A
N/A	N/A	SLOPE SEED MIX	REFER TO SPECIFICATIONS	N/A	N/A	N/A
N/A	N/A	DETENTION BASIN SEED MIX	REFER TO SPECIFICATIONS	N/A	N/A	N/A

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 GRASSES, GROUNDCOVERS AND PERENNIALS UTILIZE TRIANGULAR SPACING. REFER TO PLANS FOR HATCHED AREAS.



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seal



general notes

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- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:

HACP
 200 Ross Street
 Pittsburgh, PA, 15219

Client:

Allies & Ross Management and
 Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:

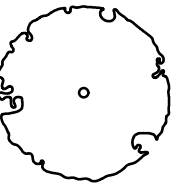
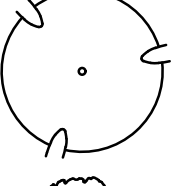
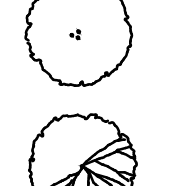
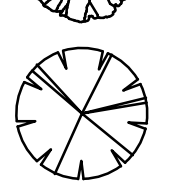
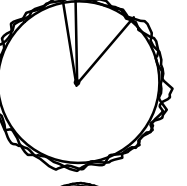
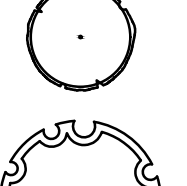
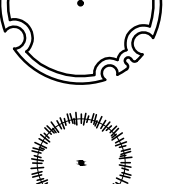
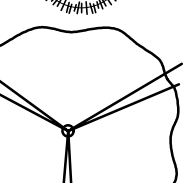
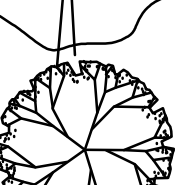
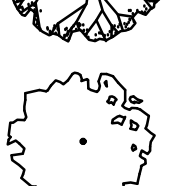
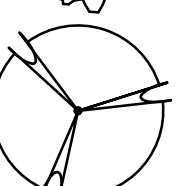
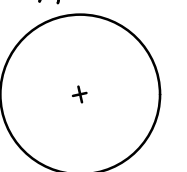
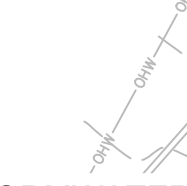

Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

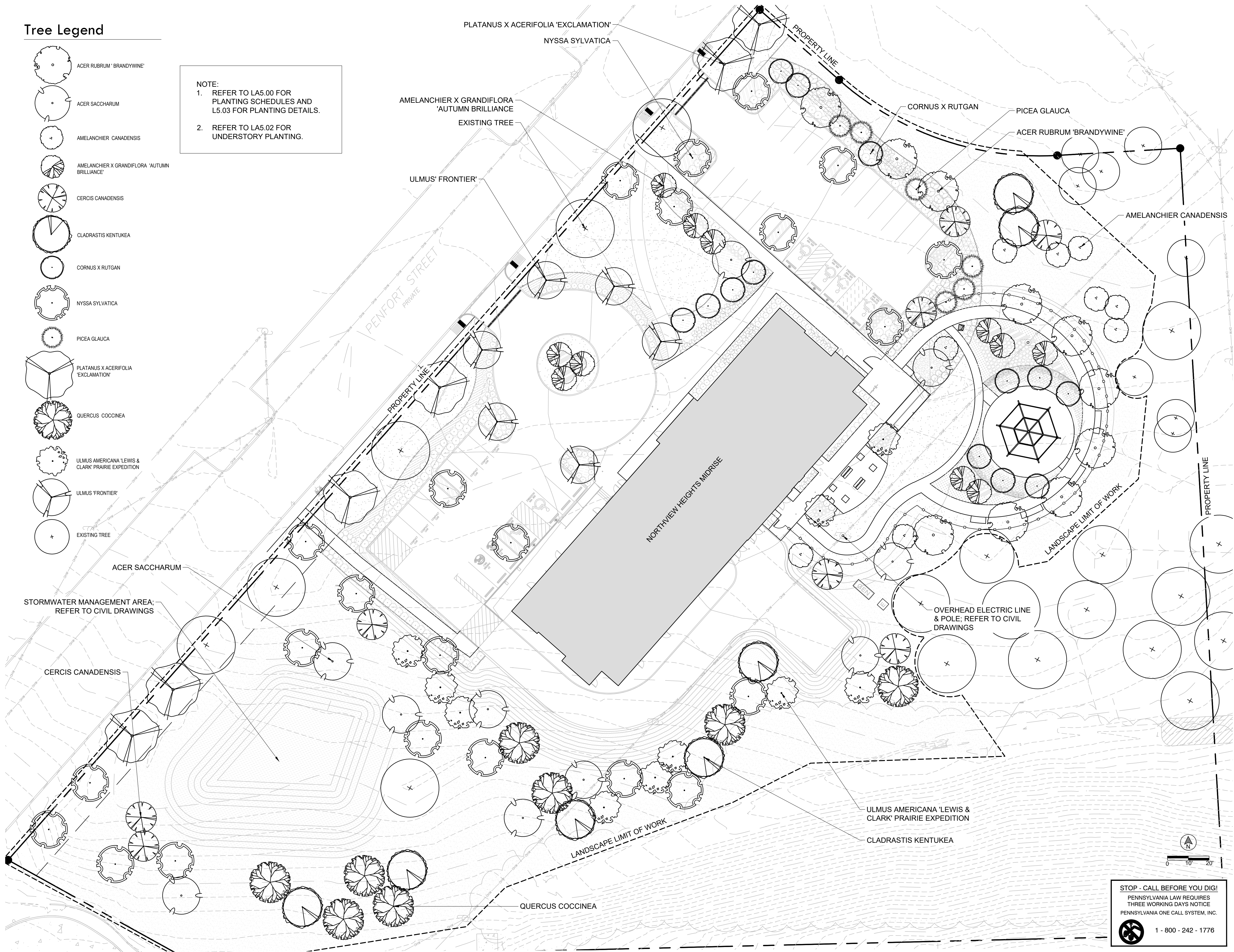
Planting Schedules & Notes

scale n/a	Sheet No. L5.00 Project #2040
date December 3rd, 2023	
no. 63	of. 233

Tree Legend

-  ACER RUBRUM 'BRANDYWINE'
-  ACER SACCHARUM
-  AMELANCHIER CANADENSIS
-  AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'
-  CERCIS CANADENSIS
-  CLADRASTIS KENTUKEA
-  CORNUS X RUTGAN
-  NYSSA SYLVATICA
-  PICEA GLAUCA
-  PLATANUS X ACERIFOLIA 'EXCLAMATION'
-  QUERCUS COCCINEA
-  ULMUS AMERICANA 'LEWIS & CLARK' PRAIRIE EXPEDITION
-  ULMUS 'FRONTIER'
-  EXISTING TREE

NOTE:
 1. REFER TO LA5.00 FOR PLANTING SCHEDULES AND L5.03 FOR PLANTING DETAILS.
 2. REFER TO LA5.02 FOR UNDERSTORY PLANTING.



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Project Location:
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 246 Penfort Street
 Pittsburgh, PA 15214

drawing title
 Planting Plan- Trees

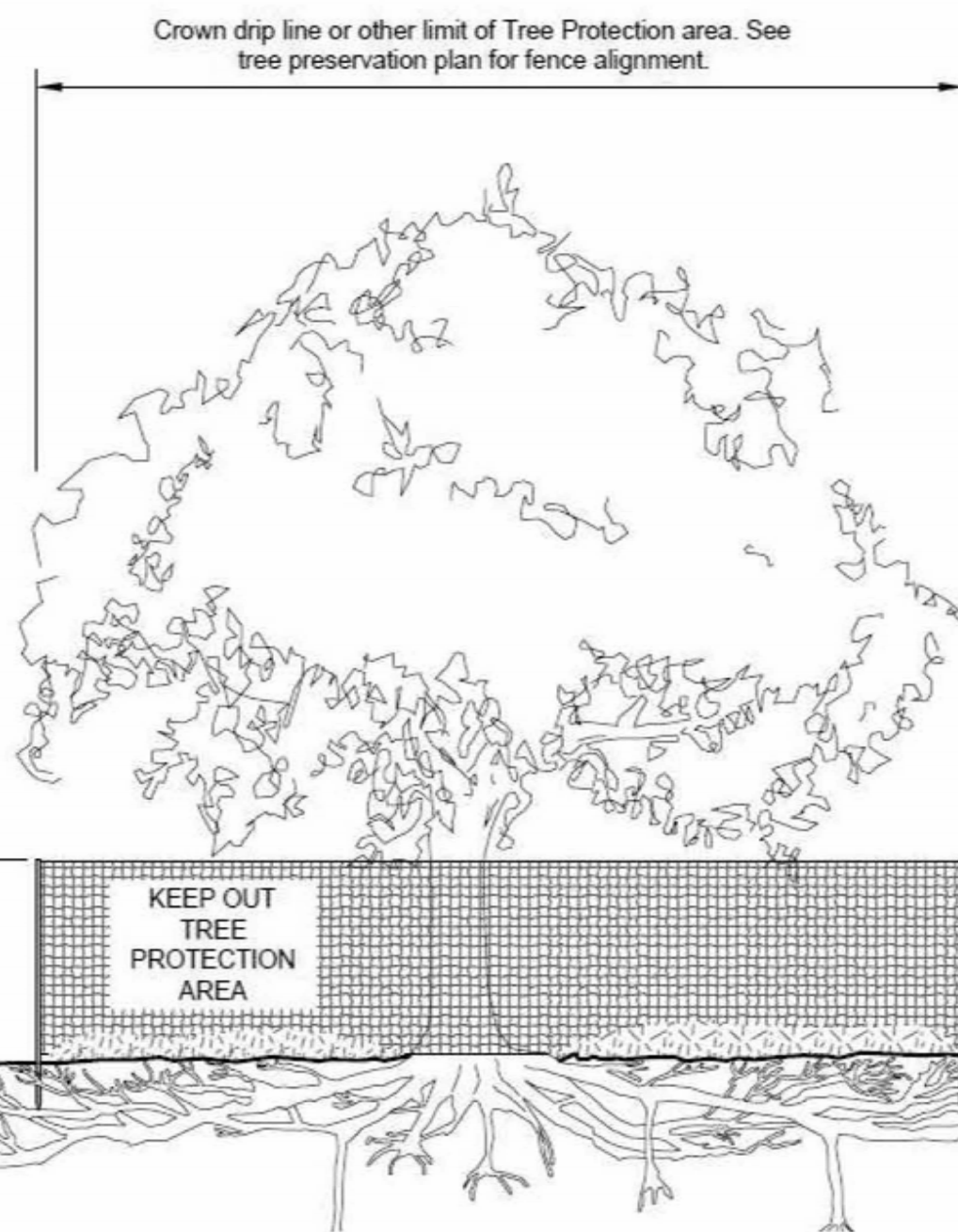
STOP - CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 THREE WORKING DAYS NOTICE
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 1 - 800 - 242 - 1776

scale 1"=20'-0"	Sheet No. L5.01 Project #2040
date December 3rd, 2023	
no. 64	of. 233

NOTE:
CONTRACTOR SHALL COMPLY WITH CITY OF PITTSBURGH TREE PROTECTION ZONE (TPZ) POLICY.

INSTALL TREE PROTECTION PRIOR TO ANY WORK DONE ON SITE, INCLUDING DEMOLITION. REFER TO L0.01 FOR LOCATIONS.

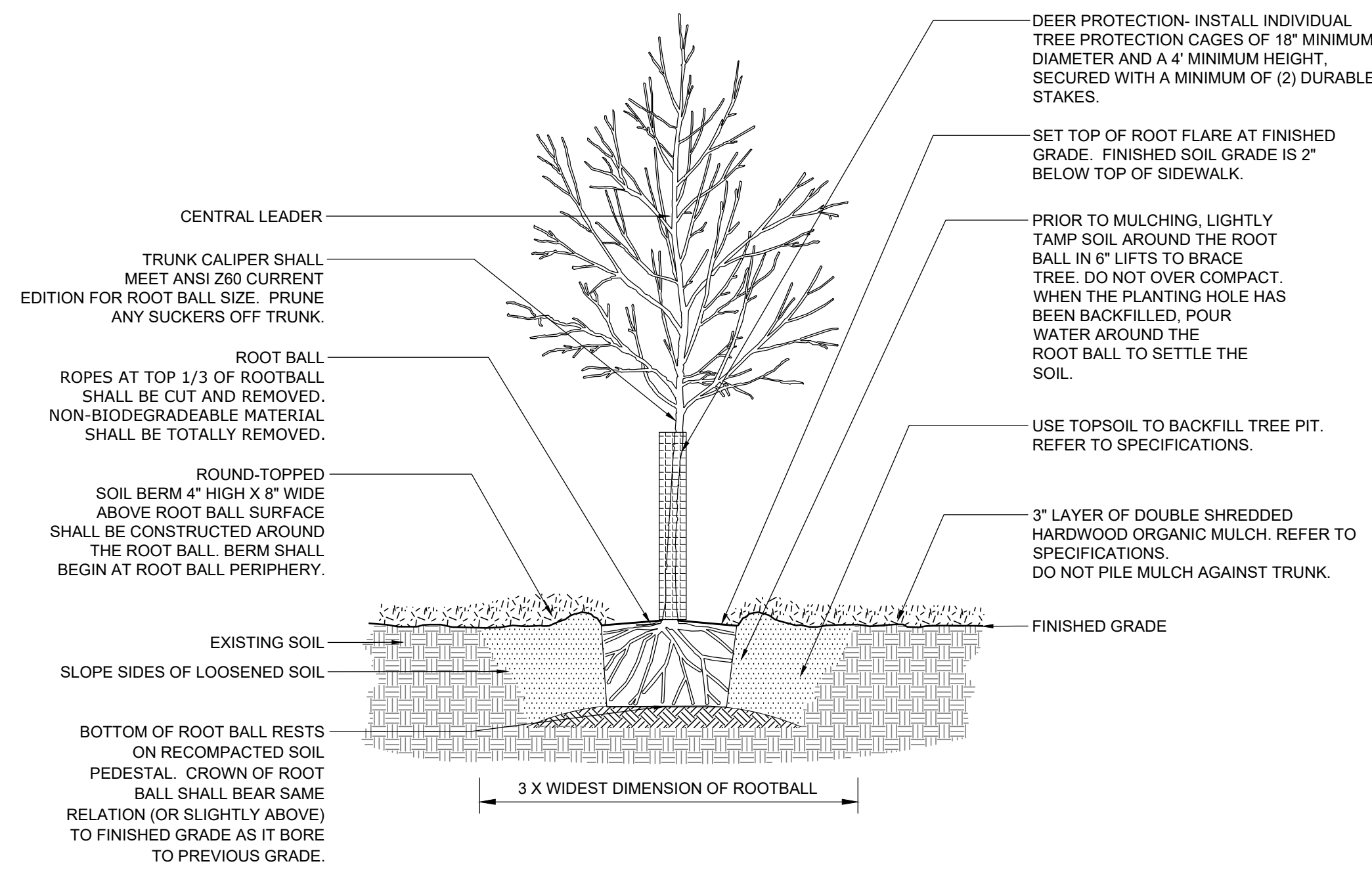
- WITHIN TREE PROTECTION ZONES:**
1. NO STORAGE- SOIL OR CONSTRUCTION MATERIALS SHALL NOT BE STORED IN TREE PROTECTION AREAS.
 2. HAND WORK ONLY - NO MACHINERY
 3. DO NOT STORE MATERIALS
 4. NO PARKING
 5. NO CLEANING OR WASHING OFF EQUIPMENT
 6. NO SIGNS ON TREES, POST ON FENCE. SEE DETAIL.
 7. NO STOCKPILES OF TOPSOIL, GRAVEL, ETC.



- Notes:
- 1- See specifications for additional tree protection requirements.
 - 2- If there is no existing irrigation, see specifications for watering requirements.
 - 3- No pruning shall be performed except by approved arborist.
 - 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
 - 5- See site preparation plan for any modifications with the Tree Protection area.

6" Tall chain link fence, posts every 10' or less

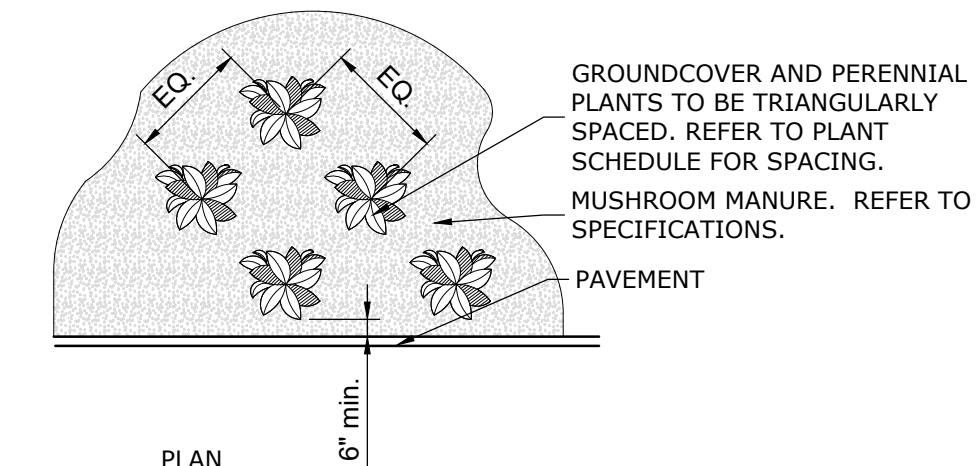
Sign content shall be as in example below or as otherwise provided by City Forester. Signs shall measure no less than 8 1/2" X 11", on a construction orange background, placed at 50' intervals.



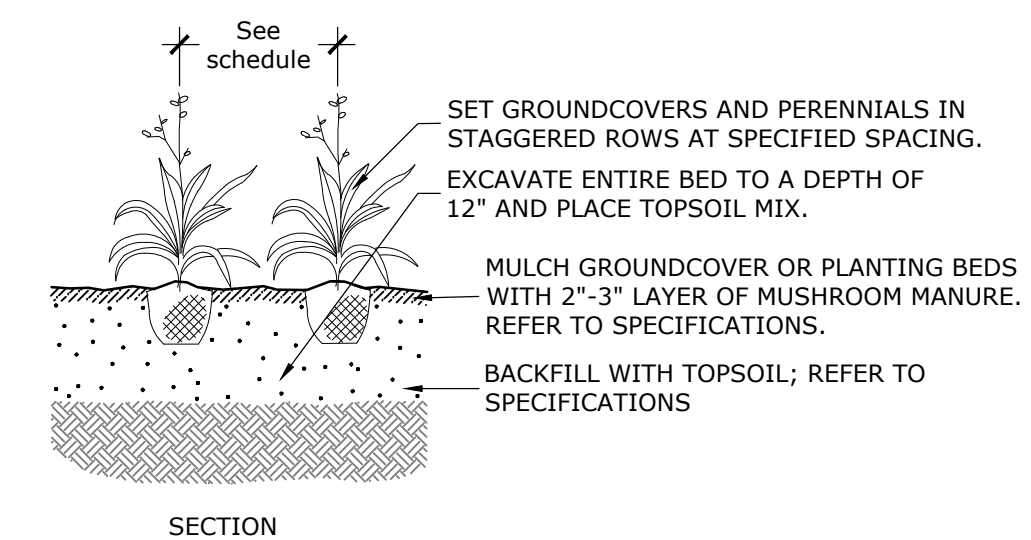
PLANTS DUG WITH FIRM, NATURAL BALLS OF EARTH IN WHICH THEY ARE GROWN, WITH BALL SIZE NOT LESS THAN DIAMETER AND DEPTH RECOMMENDED BY ANSI Z60.1 FOR TYPE AND SIZE OF TREE OR SHRUB REQUIRED; WRAPPED, TIED, RIGIDLY SUPPORTED, AND DRUM-LACED AS RECOMMENDED BY ANSI Z60.1 CURRENT EDITION.

2 DECIDUOUS TREE PLANTING

NOT TO SCALE



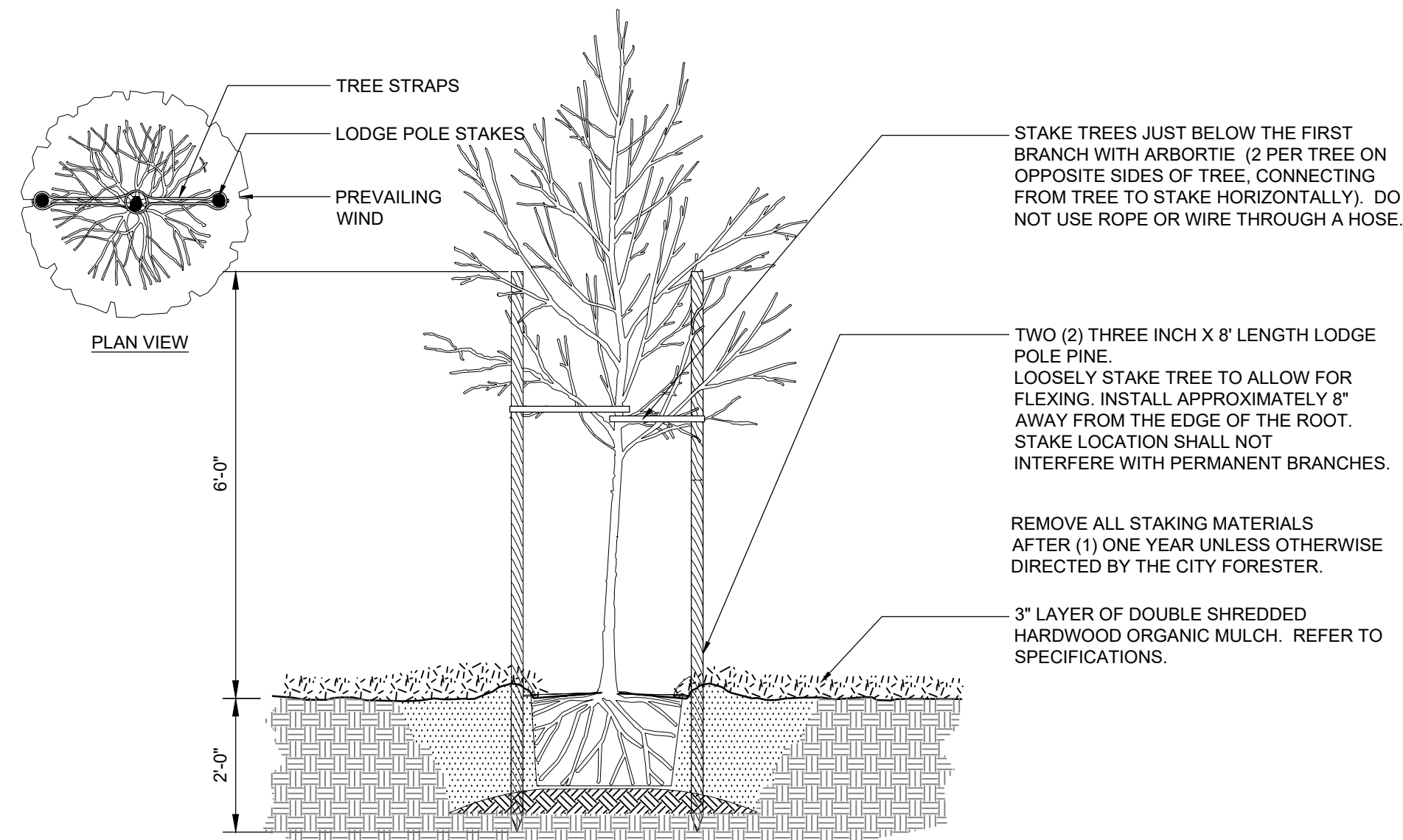
- NOTES:
- 1- SEE PLANTING LEGEND FOR PERENNIAL OR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
 - 2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).
 - 3- SETTLE SOIL AROUND ROOT BALL OF EACH PERENNIAL OR GROUNDCOVER PRIOR TO MULCHING.



NOTE:
ALL CONTAINER GROWN PERENNIAL PLANTS AND GROUNDCOVERS SHALL BE HEALTHY, VIGOROUS, WELL ROOTED, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. A CONTAINER GROWN PERENNIAL PLANT SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM ROOT BALL. CONTAINER SHALL BE RIGID ENOUGH TO HOLD BALL SHAPE AND PROTECT ROOT MASS DURING SHIPPING AND BE SIZED ACCORDING TO ANSI Z60.1-CURRENT EDITION FOR KIND, TYPE, AND SIZE OF PLANT REQUIRED.

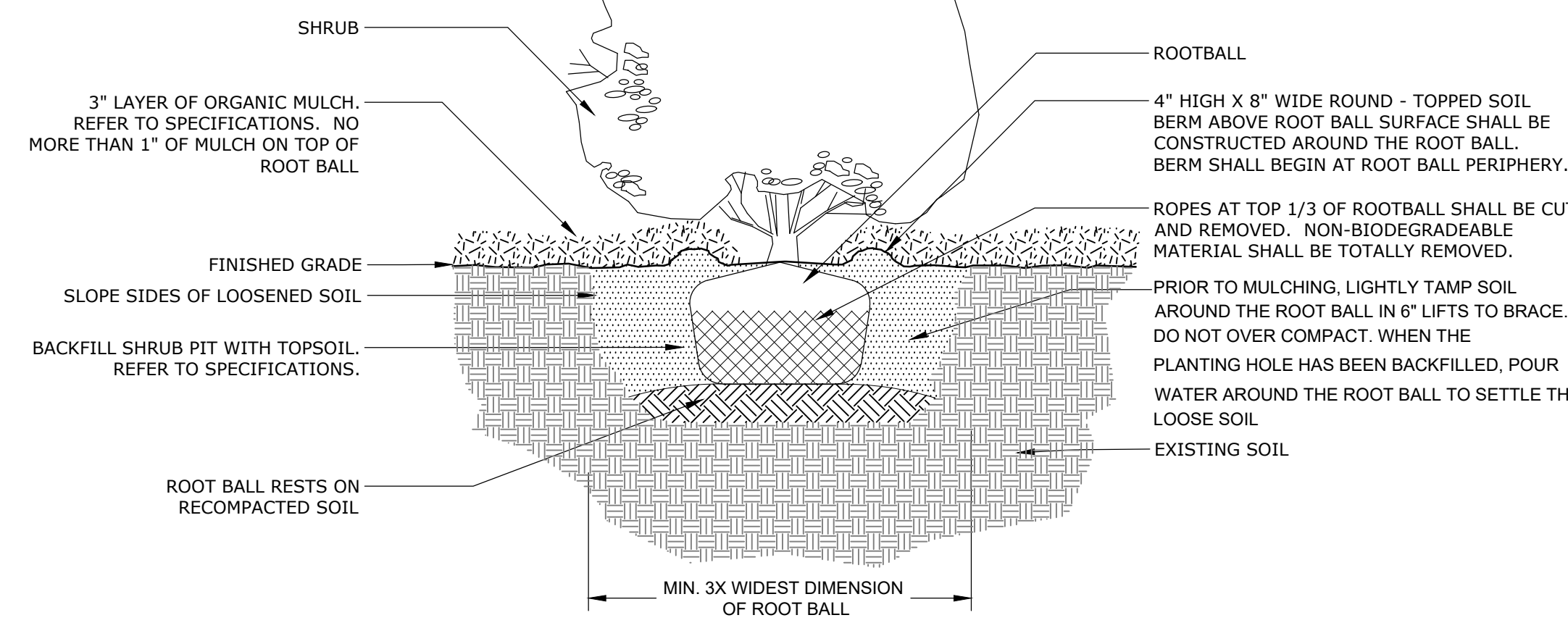
1 TREE PROTECTION

NOT TO SCALE



3 TREE STAKING(WITH 2 LODGE POLES)

NOT TO SCALE



NOTE: BALLED AND BURLAPPED PLANTS DUG WITH FIRM, NATURAL BALLS OF EARTH IN WHICH THEY ARE GROWN, WITH BALL SIZE NOT LESS THAN DIAMETER AND DEPTH RECOMMENDED BY ANSI Z60.1-CURRENT EDITION FOR TYPE AND SIZE OF TREE OR SHRUB REQUIRED; WRAPPED, TIED, RIGIDLY SUPPORTED, AND DRUM-LACED AS RECOMMENDED BY ANSI Z60.1-CURRENT EDITION.

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4 SHRUB PLANTING

NOT TO SCALE

5 PERENNIAL & GROUNDCOVER PLANTING

NOT TO SCALE

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United States



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Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

Planting Details

scale
As Shown

date
December 3rd, 2023

no. of
66 233

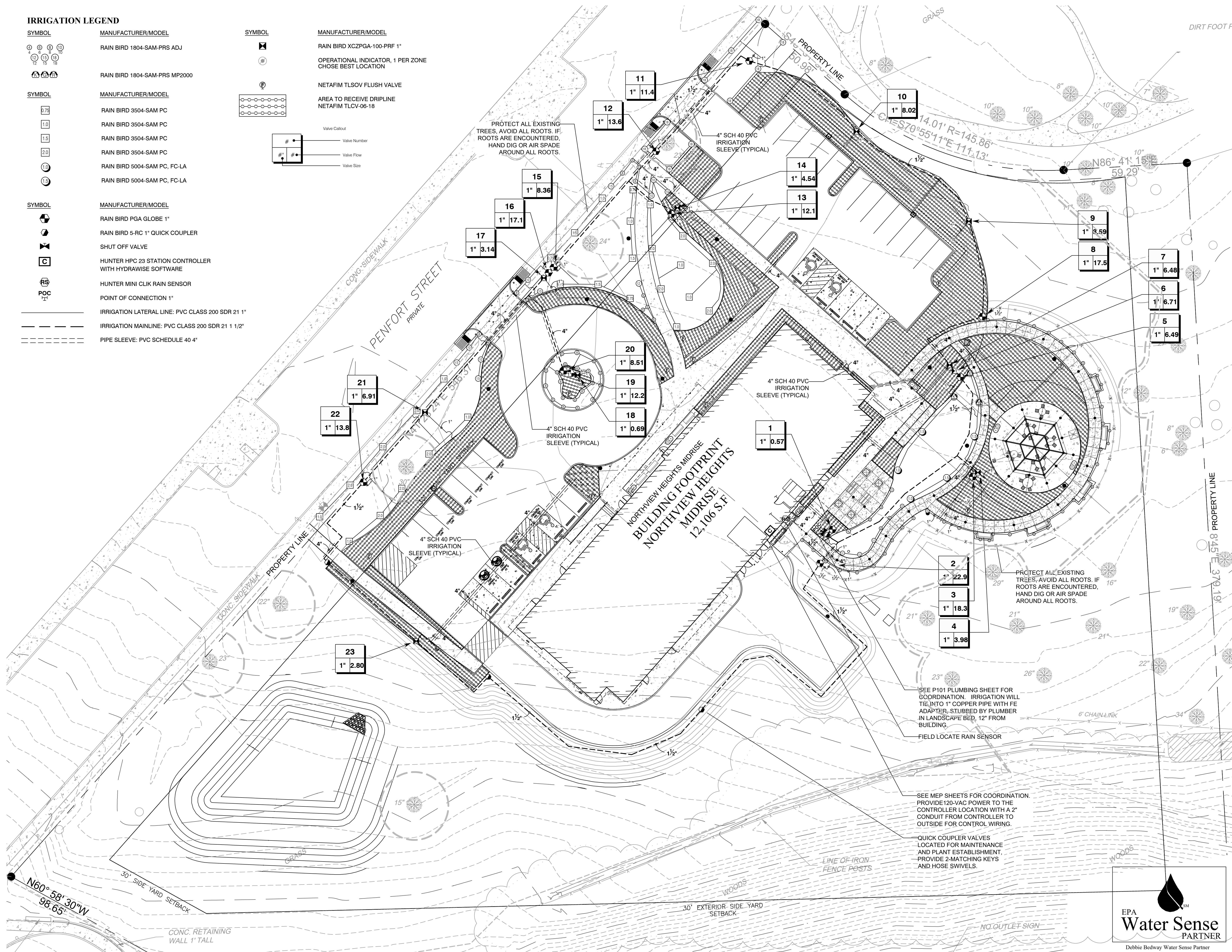
Sheet No.

L5.03

Project #2040

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL	SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD 1804-SAM-PRS ADJ		RAIN BIRD XCZPGA-100-PRF 1"
	RAIN BIRD 1804-SAM-PRS MP2000		OPERATIONAL INDICATOR, 1 PER ZONE CHOOSE BEST LOCATION
	RAIN BIRD 3504-SAM PC		NETAFIM TL50V FLUSH VALVE
	RAIN BIRD 3504-SAM PC		AREA TO RECEIVE DRIPLINE NETAFIM TLCV-06-18
	RAIN BIRD 3504-SAM PC		Valve Callout
	RAIN BIRD 3504-SAM PC		Valve Flow
	RAIN BIRD 5004-SAM PC, FC-LA		Valve Size
	RAIN BIRD 5004-SAM PC, FC-LA		
	RAIN BIRD PGA GLOBE 1"		
	RAIN BIRD 5-RC 1" QUICK COUPLER		
	SHUT OFF VALVE		
	HUNTER HPC 23 STATION CONTROLLER WITH HYDRAWISE SOFTWARE		
	HUNTER MINI KLIK RAIN SENSOR		
	POINT OF CONNECTION 1"		
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1"		
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 1 1/2"		
	PIPE SLEEVE: PVC SCHEDULE 40 4"		



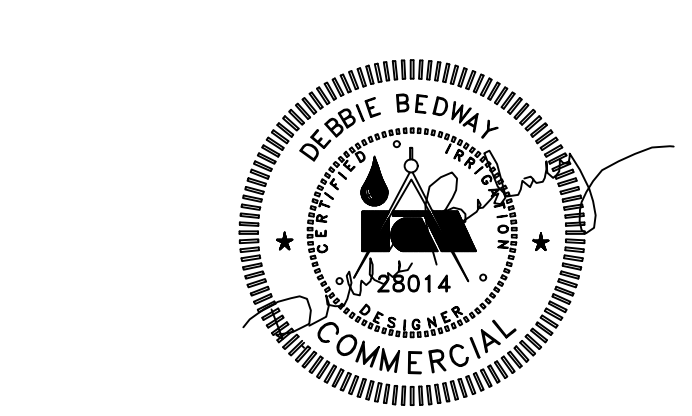
Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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seal



general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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revisions

NO.	DATE	DESCRIPTION
1		
2		
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4		
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project title

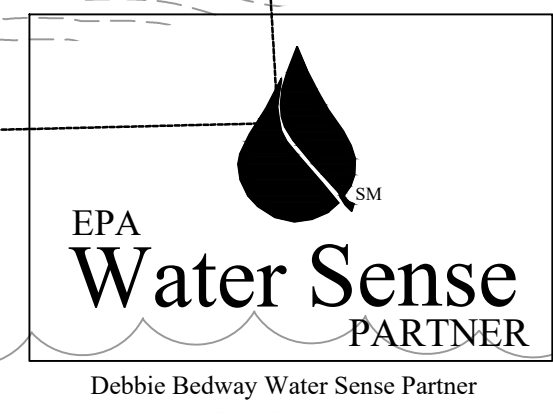
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

Irrigation Plan



scale 1" = 20' 0"	Sheet No. L6.00
date December 3rd, 2023	
Project #2040	

IRRIGATION GENERAL NOTES

1. THE IRRIGATION SYSTEM IS DIAGRAMMATIC BASED UPON THE INFORMATION PROVIDED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. THE SUCCESSFUL CONTRACTOR IS RESPONSIBLE TO INSTALL A SYSTEM THAT WILL PROPERLY COVER ALL AREAS INDICATED ON THE DESIGN. ACTUAL LAYOUT OF PIPING, SPRINKLER HEADS, VALVES, CONTROLLERS AND OTHER RELATED EQUIPMENT SHALL BE DETERMINED ON SITE. FIELD CHANGES SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. IRRIGATION CONTRACTOR MUST BE FULLY AWARE OF THE EXISTING CONDITIONS PRIOR TO BIDDING. SITE WILL BE MADE AVAILABLE FOR INSPECTION. COORDINATE WITH LA.

IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES AND UTILITIES AND MAKE THE NECESSARY ADJUSTMENTS TO ACCOMMODATE THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS. THERE MAY BE TIMES WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS THAT EXIST MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, SUCH OBSTRUCTIONS SHOULD BE BROUGHT TO THE ATTENTIONS OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND COSTS THAT OCCUR.

2. THIS SYSTEM SHALL BE INSTALLED USING ACCEPTED AND QUALITY INSTALLATION STANDARDS AS USED IN THE INDUSTRY. ALL MANUFACTURERS SPECIFICATIONS WILL BE FOLLOWED.

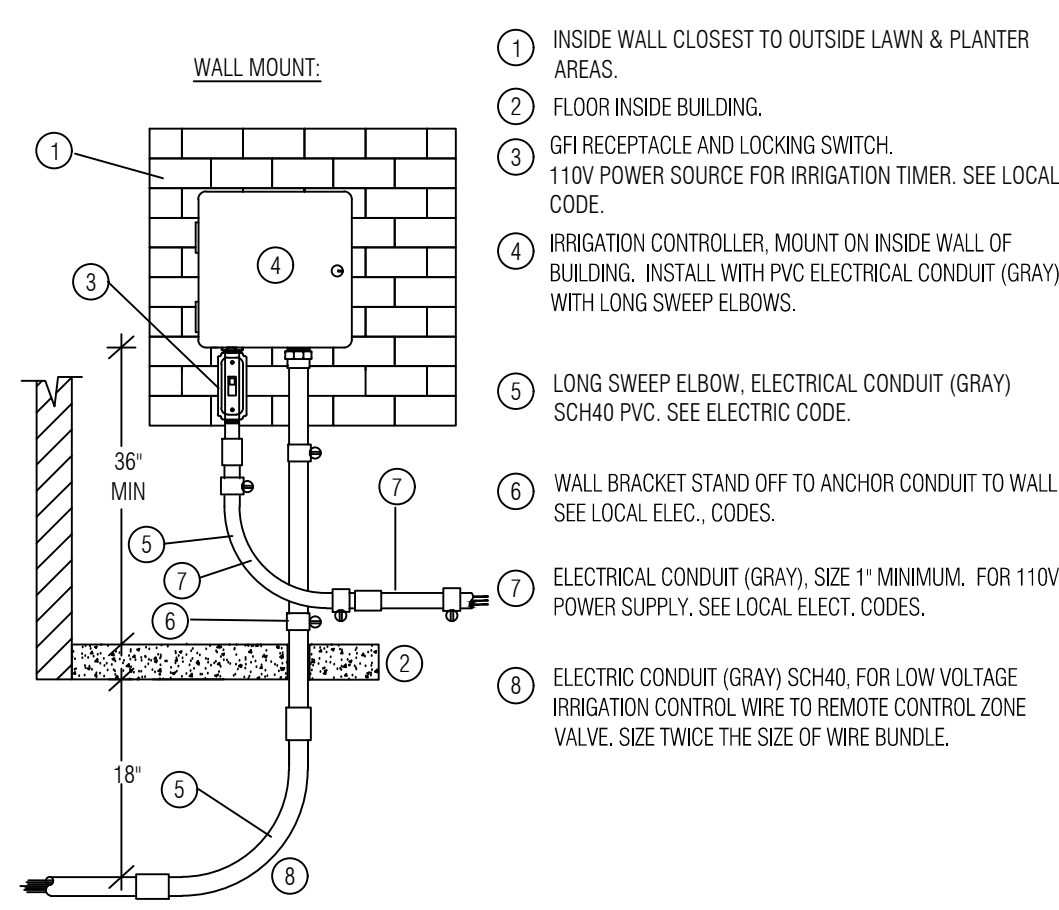
3. SYSTEM DESIGN IS BASED ON PRESSURE AND FLOW INFORMATION PROVIDED BY OTHERS, STATIC PRESSURE WAS GIVEN AS TBD AND THE SIZE OF THE P.O.C. IS AS INDICATED ON THE DRAWING. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT DIFFERENCES BETWEEN REQUIREMENTS AND THE ACTUAL READINGS TO THE OWNER'S REPRESENTATIVE.

4. ALL VALVES SHALL BE PLACED IN THE APPROXIMATE AREA AS SHOWN ON THE PLANS.

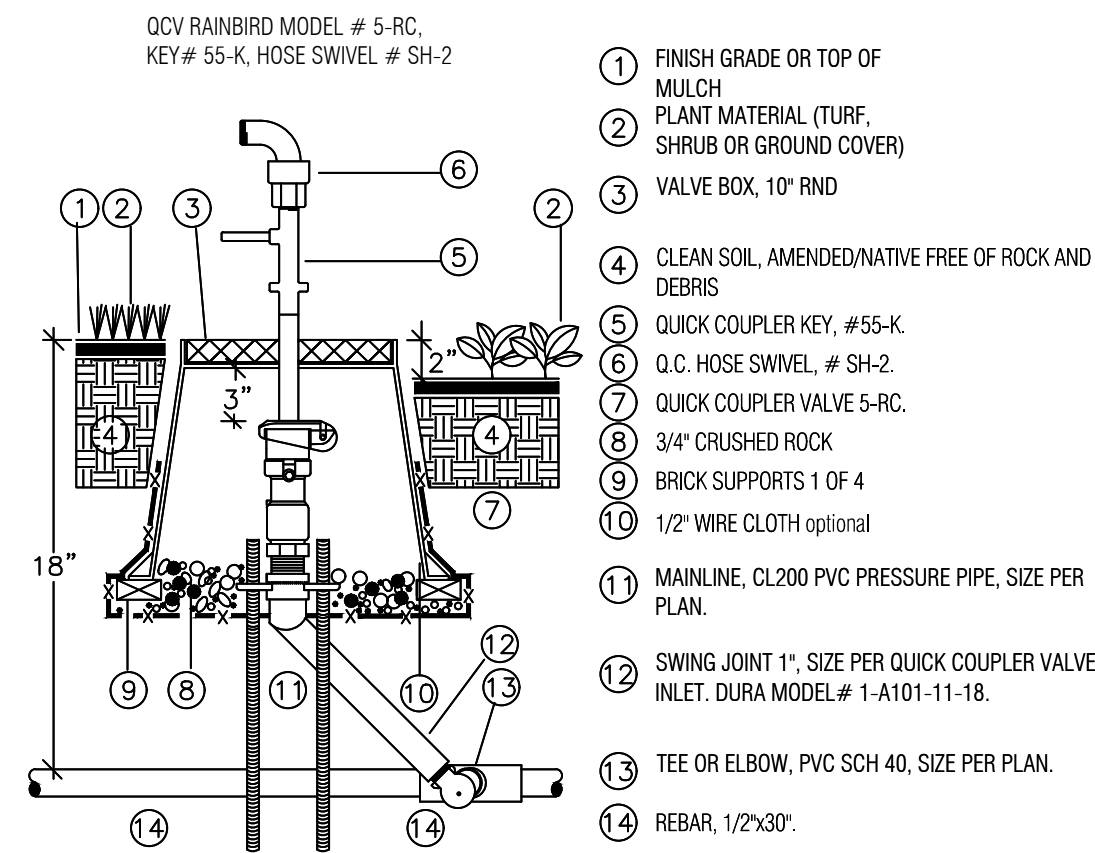
5. IRRIGATION CONTRACTOR IS TO LOCATE ALL WATERLINES AND UTILITIES AS NEEDED FOR THE IRRIGATION. ALL INFORMATION IS TO BE VERIFIED PRIOR TO ANY INSTALLATION OF THE PROJECT.

6. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN UP ASSOCIATED WITH HIS WORK.

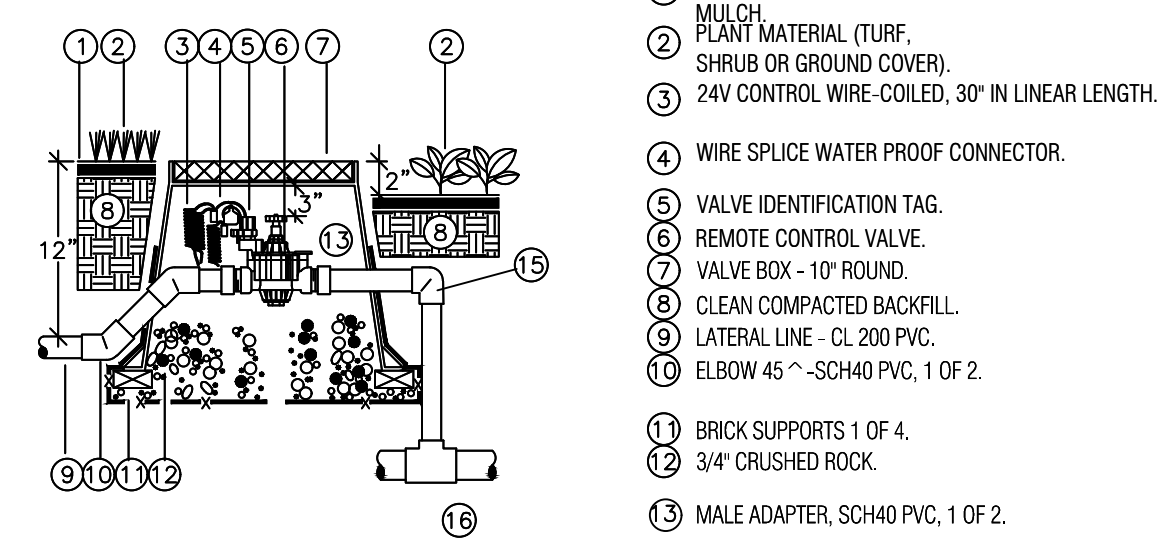
7. IRRIGATION CONTRACTOR SHALL ALL PROVIDE THE FIRST WINTERIZATION, SPRING TURN ON, HEAD ADJUSTMENTS AND CONTROLLER MAINTENANCE IN BID.



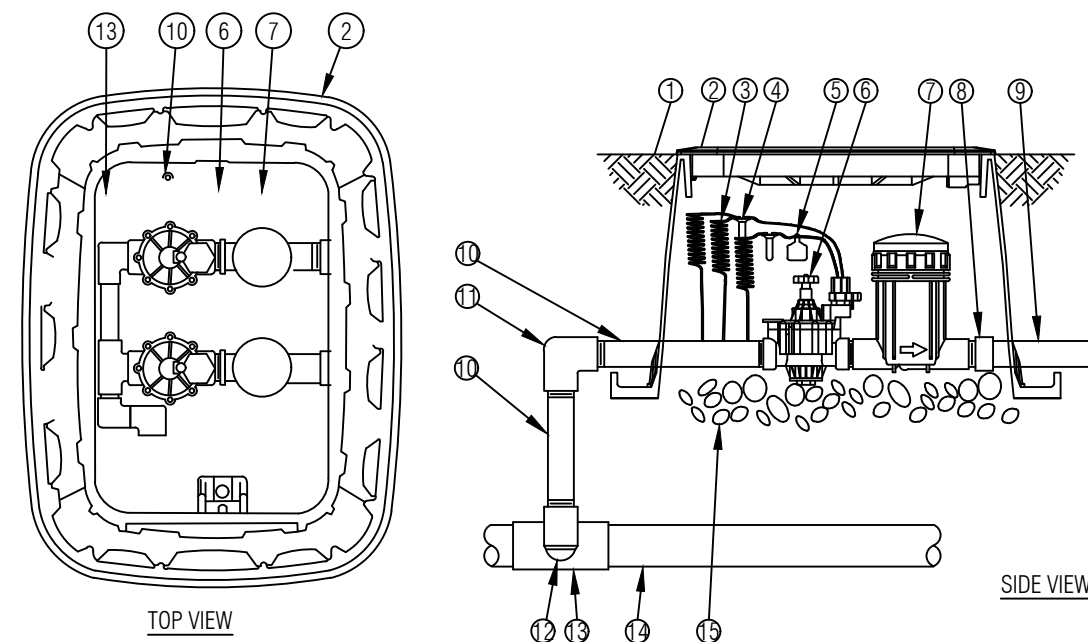
1 CONTROLLER INSTALLATION
Scale: NTS SECTION



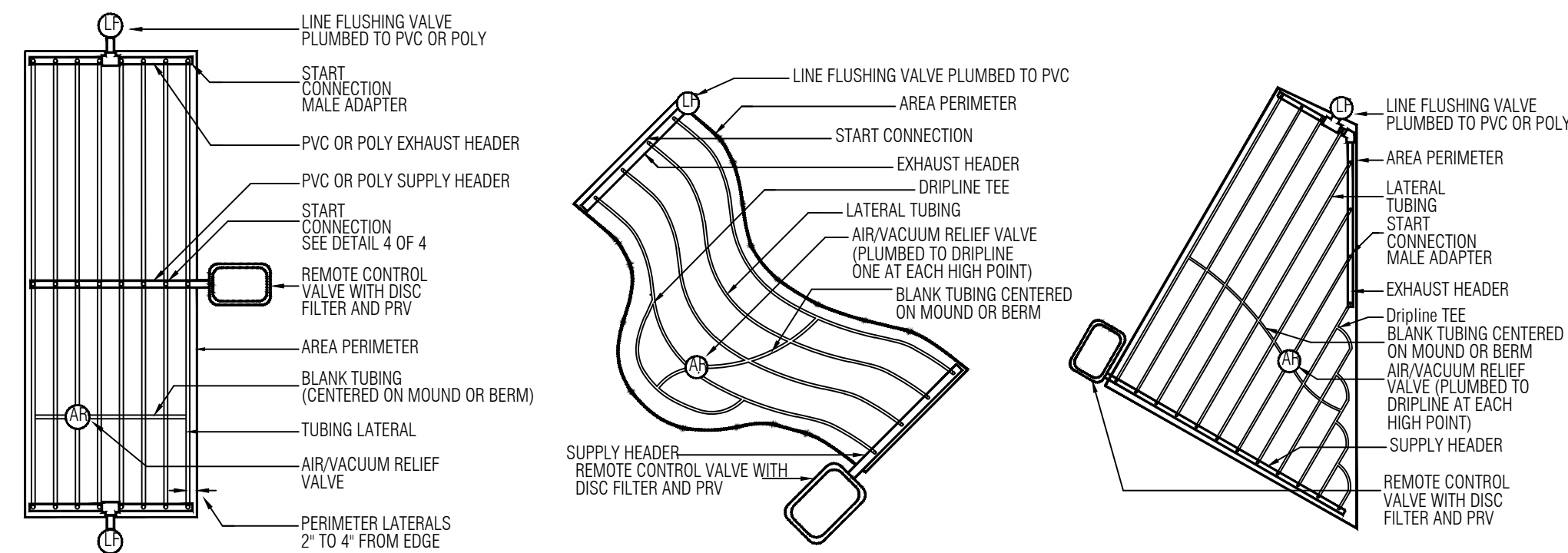
2 QUICK COUPLER VALVE INSTALLATION
Scale: NTS SECTION



3 RAINBIRD PGA SOLENOID VALVE
Scale: NTS SECTION



4 DRIP VALVE INSTALLATION
Scale: NTS SECTION



5 SPRINKLER INSTALLATION
Scale: NTS SECTION

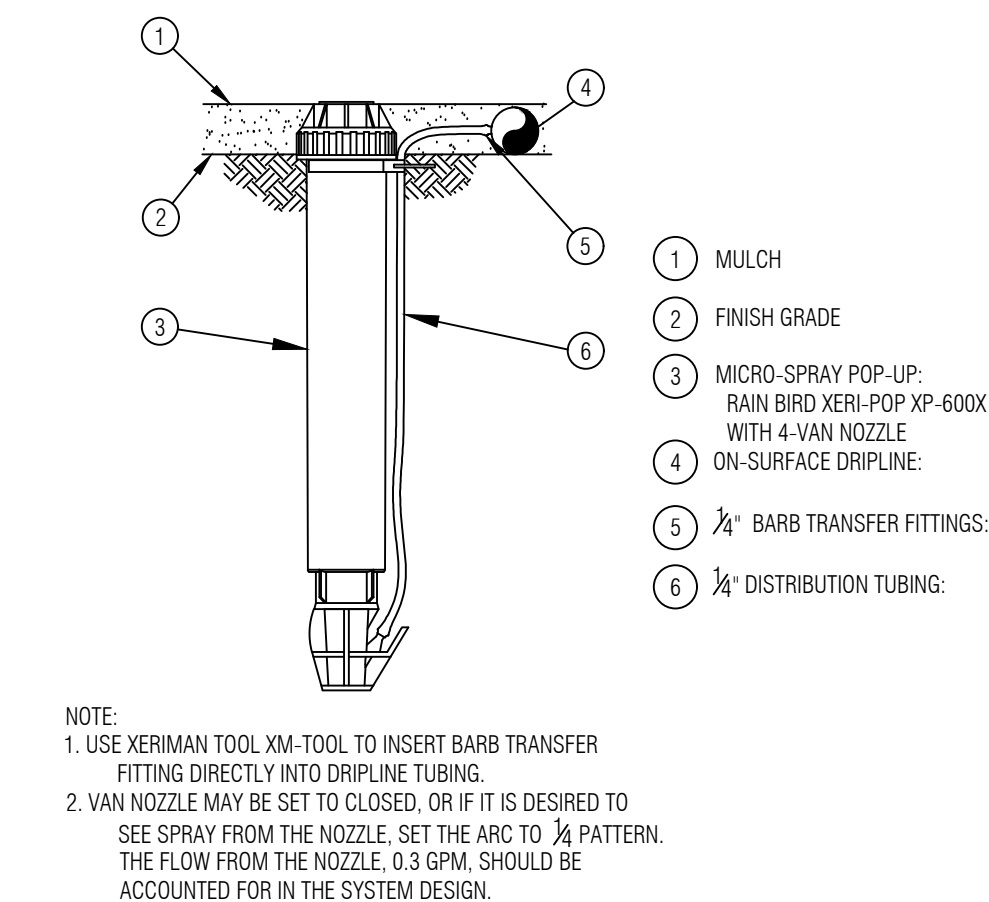
6 DRIPLINE INSTALLATION
Scale: NTS SECTION

Inlet Pressure psi	18" Spacing Nominal Flow (GPH)	
	0.6	0.9
15	357	273
20	408	313
30	494	378
40	560	428
50	614	470

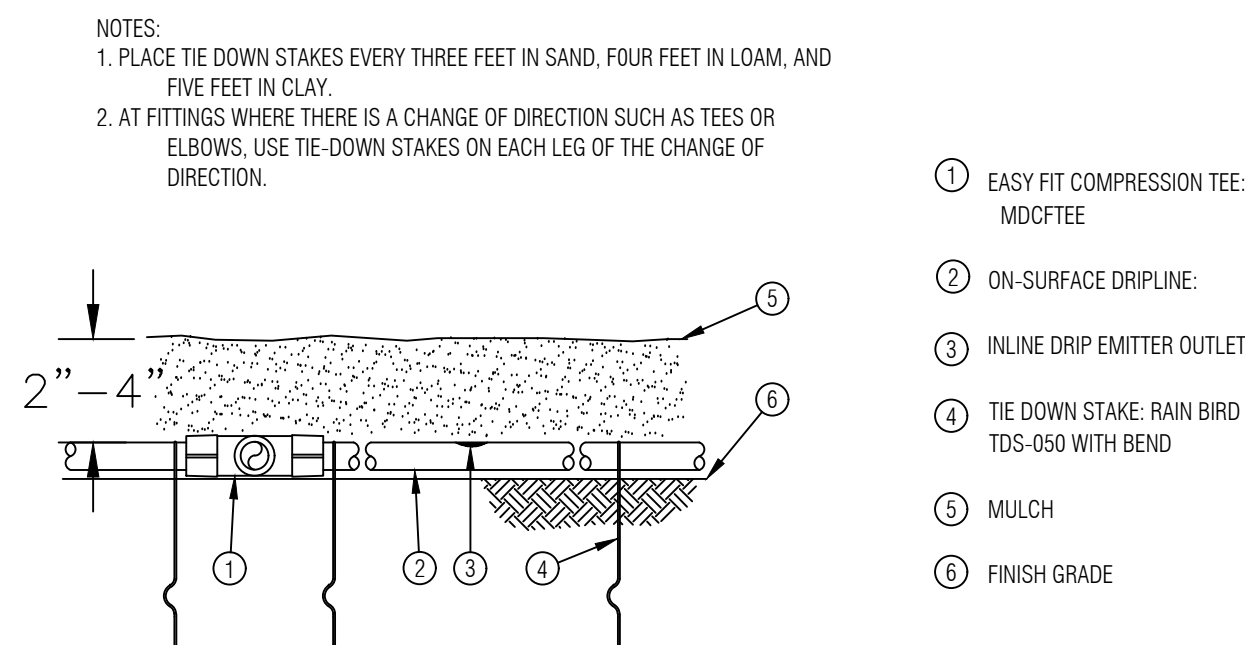
NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON NETAFIM WEB SITE (WWW.NETAFIM.COM) FOR SUGGESTED SPACING.
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.

WATER SCHEDULE/WATER USAGE TO BE USED AS A GUIDE ONLY

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PGA Globe	Turf Spray	3.38 in/h	1	18	256.8	36.7
2	Rain Bird PGA Globe	Turf Spray	1.39 in/h	1	44	685.8	98.0
3	Rain Bird PGA Globe	Turf Spray	0.88 in/h	1	68	902.1	128.9
4	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.56 in/h	1	107	561.8	80.3
5	Rain Bird PGA Globe	Shrub Rotary	0.47 in/h	0.75	97	629.4	209.8
6	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.52 in/h	1	116	946.6	135.2
7	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.54 in/h	1	111	1,577	225.3
8	Rain Bird PGA Globe	Turf Spray	0.4 in/h	1	149	1,701	243.0
9	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.52 in/h	1	116	1,285	183.6
10	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.54 in/h	1	113	1,135	162.1
11	Rain Bird PGA Globe	Turf Spray	1.25 in/h	1	48	547.0	78.1
12	Rain Bird PGA Globe	Turf Spray	1.54 in/h	1	40	545.8	78.0
13	Rain Bird PGA Globe	Turf Rotor	0.7 in/h	1	86	1,043	149.0
14	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.61 in/h	1	98	1,147	163.8
15	Rain Bird PGA Globe	Turf Rotor	0.67 in/h	1	90	752.4	107.5
16	Rain Bird PGA Globe	Turf Spray	1.61 in/h	1	38	648.5	92.6
17	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.6 in/h	1	100	441	63.0
18	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.64 in/h	1	95	97.9	14.0
19	Rain Bird PGA Globe	Turf Spray	2.86 in/h	1	21	257.2	36.7
20	Rain Bird PGA Globe	Turf Spray	2.71 in/h	1	23	195.7	28.0
21	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.57 in/h	1	106	937.0	133.9
22	Rain Bird PGA Globe	Turf Rotor	0.57 in/h	1	105	1,451	207.3
23	Rain Bird XCZPGA-100-PRF	Area for Dripline	0.71 in/h	1	85	442	63.1
TOTALS:					1,874	18,186	2,718



7 OPERATIONAL INDICATOR
Scale: NTS SECTION

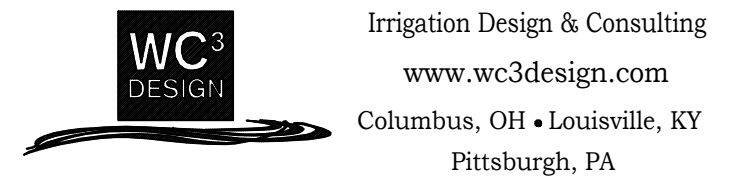


8 DRIPLINE INSTALLATION
Scale: NTS SECTION

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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seal



general notes

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revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219


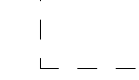
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

Irrigation Notes and Details

scale NTS	Sheet No. L6.01 Project #2040
date December 3rd, 2023	
no. 68	of. 233

FOUNDATION PLAN LEGEND

-  EXTERIOR, ELEVATOR STEM WALL. REFER TO STRUCTURAL DRAWINGS.
-  EXTERIOR STEM WALL SPREAD FOOTING, SLAB. REFER TO STRUCTURAL DRAWINGS.

GENERAL FOUNDATION PLAN NOTES

1. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NOT ALL STRUCTURAL STEM WALL OR FOOTINGS ARE DRAWN ON THIS FOUNDATION PLAN. SEE STRUCTURAL DRAWINGS.
2. DIMENSIONS DRAWN ARE FROM FACE OF STUD AND FACE OF CONCRETE BLOCK STEM WALL.
3. INTERIOR SLABS - SEE SECTION FOR INSULATION BOARD UNDER SLAB. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR CONCRETE, REINFORCING, AND DETAILS.
4. EXTERIOR SLABS - SLOPE MIN. 1/8" PER FT. TO SHED WATER AWAY FROM BUILDING. REFER TO STRUCTURAL AND CIVIL DRAWINGS AND SPECIFICATIONS, CONCRETE, REINFORCING, AND DETAILS.

seal

general notes

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revisions

project title

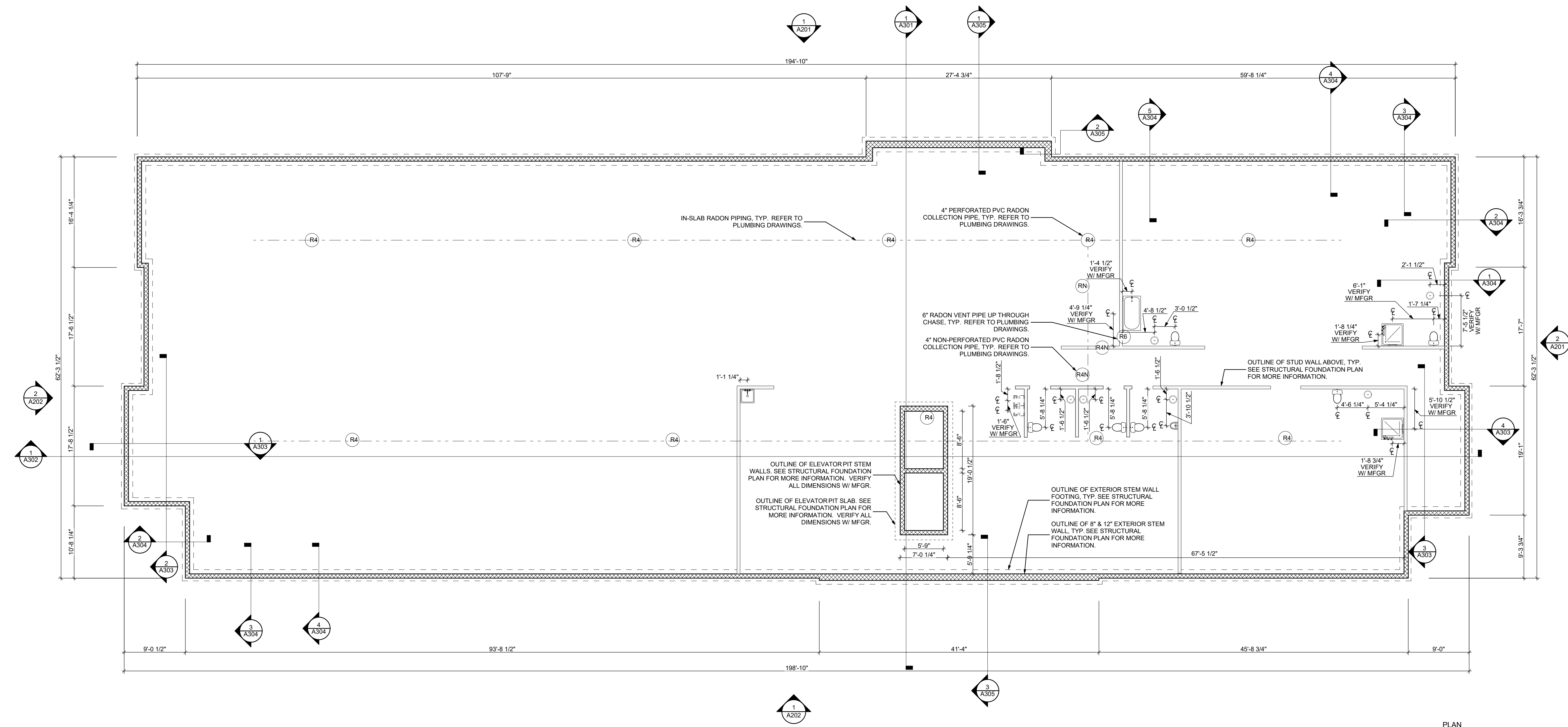
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

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200 Ross Street
Pittsburgh, PA 15219

Project Location:
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246 Penfort Street
Pittsburgh, PA 15214

drawing title

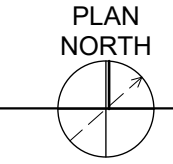
FOUNDATION PLAN



1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

scale	As Noted
date	December 3rd, 2023
no.	69
of.	233

Sheet No.	A101
Project #	2040



FLOOR PLAN LEGEND

- XXXXXX ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- WALL TYPE, REFER TO WALL TYPES SHEET

- 9 REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
- 10 REFER TO PLUMBING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
- 11 RADON STACK - PASSIVE RADON MITIGATION SYSTEM. REFER TO PLUMBING DRAWINGS FOR TYPICAL VENTING DETAIL. SYSTEM TO BE ACTIVATED IF NECESSARY.
- 12 PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
- 13 PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
- 14 PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
- 15 FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
- 16 ALL FIRST FLOOR ENTRANCES SHALL HAVE ZERO-STEP ENTRY.
- 17 ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS. VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
- 18 ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.P. DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
- 19 REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
- 20 ALL GYP. IN RESTROOMS SHALL BE MOISTURE RESISTANT GYP.
- 21 REFER TO A505 FOR AIR SEALING NOTES.

GENERAL FLOOR PLAN NOTES

- 1 PROVIDE 2X BLOCKING @ EXTERIOR WALLS FOR SHEATHING OR GYP WALL BOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- 2 THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3 ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILING, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
- 4 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 5 DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
- 6 ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
- 7 GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
- 8 VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETS OR FABRICATING MILLWORK.

scale

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revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

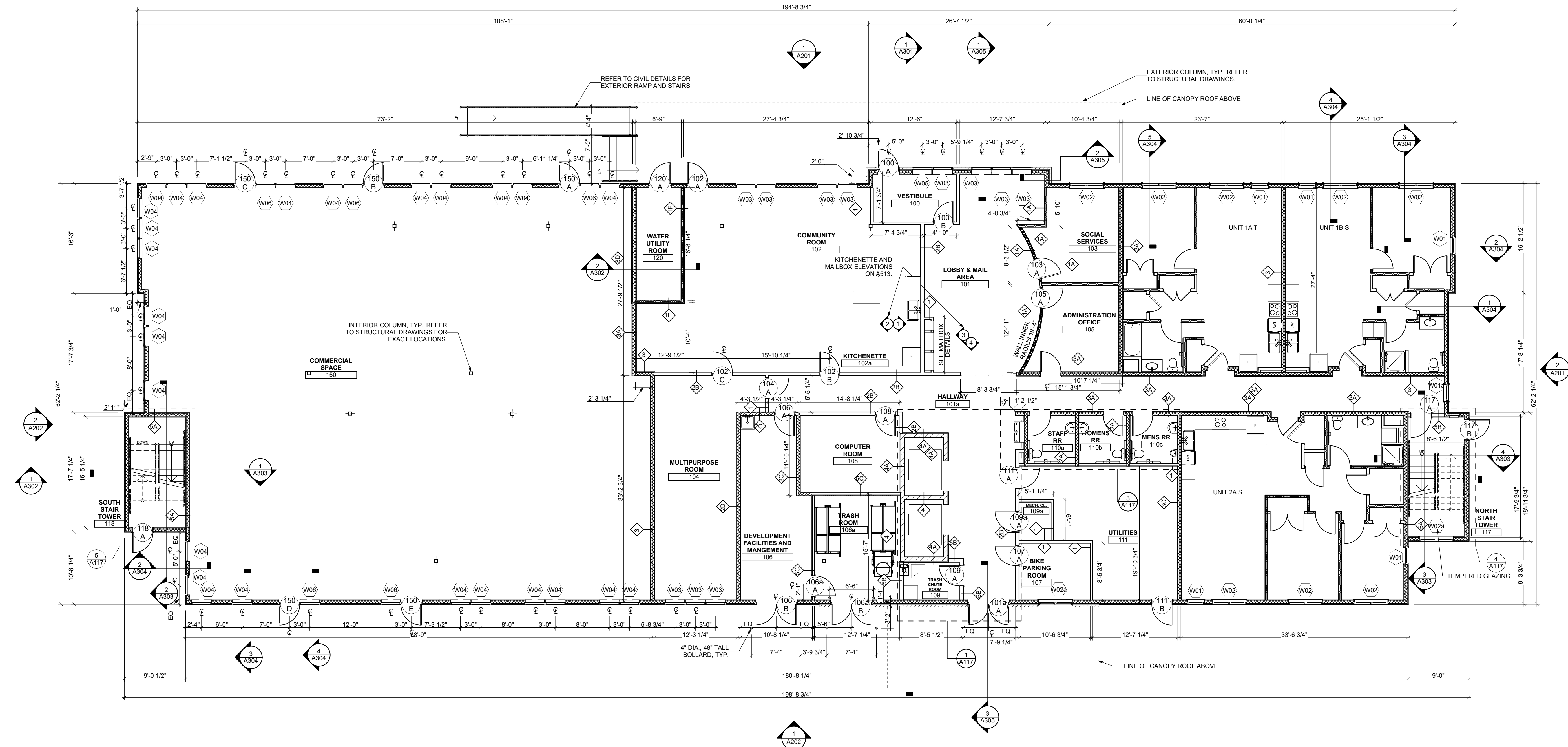
Client:
 Allies & Ross Management and
 Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

FIRST FLOOR PLAN

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	70	A102
of.	233	
		Project #2040



1 1ST FLOOR
 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- WALL TYPE, REFER TO WALL TYPES SHEET

- 9 REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
- 10 REFER TO PLUMBING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
- 11 RADON STACK - PASSIVE RADON MITIGATION SYSTEM. REFER TO PLUMBING DRAWINGS FOR TYPICAL VENTING DETAIL. SYSTEM TO BE ACTIVATED IF NECESSARY.
- 12 PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
- 13 PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
- 14 PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
- 15 FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
- 16 ALL FIRST FLOOR ENTRANCES SHALL HAVE ZERO-STEP ENTRY.
- 17 ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS. VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
- 18 ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.P. DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
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- 5 DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
- 6 ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
- 7 GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
- 8 VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.

scale

general notes

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revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

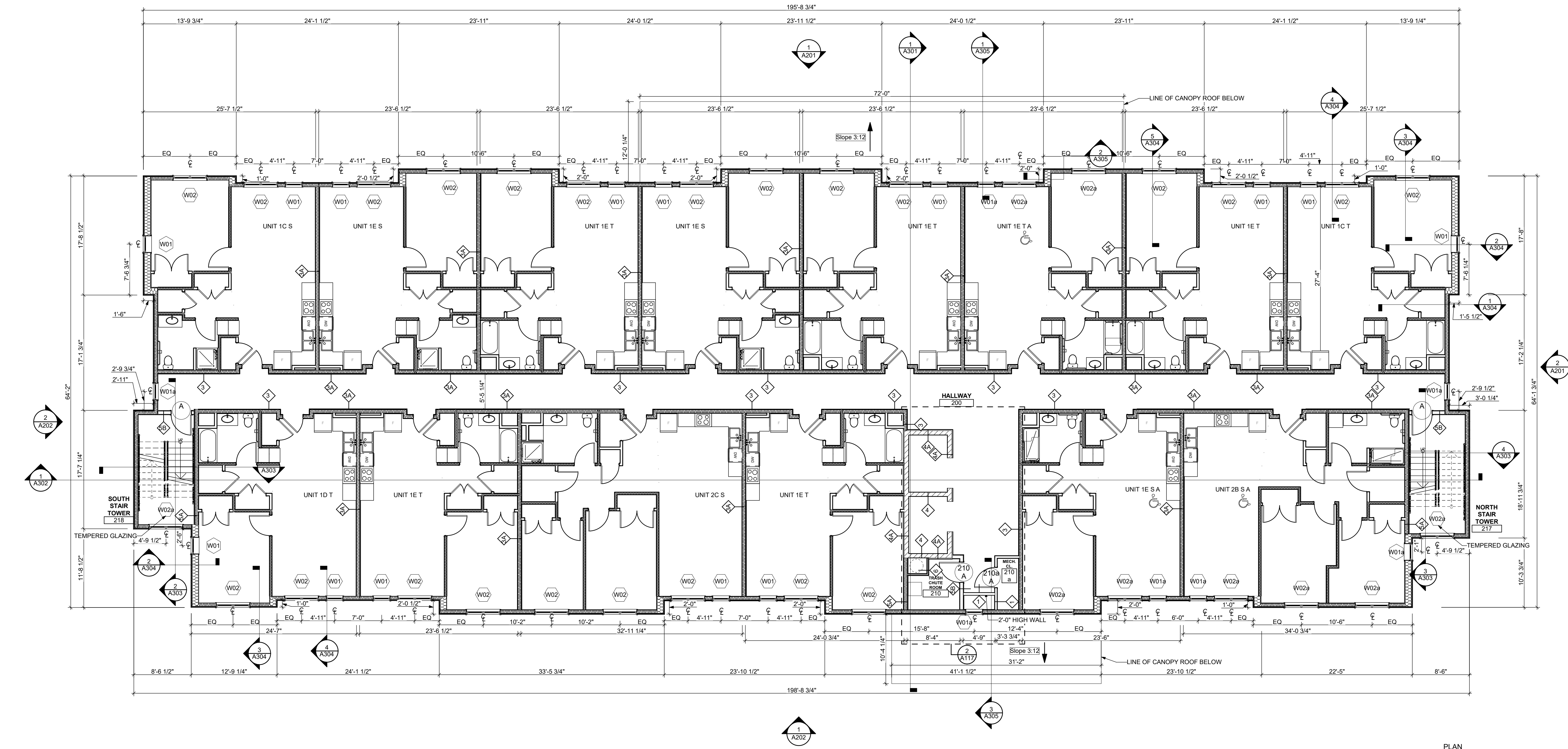
Client:
 Allies & Ross Management and Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

SECOND FLOOR PLAN

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	71	A103
of.	233	
		Project #2040



1 2ND FLOOR
 SCALE: 1/8" = 1'-0"



FLOOR PLAN LEGEND

- XXXXXX ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- WALL TYPE, REFER TO WALL TYPES SHEET

- 9 REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
- 10 REFER TO PLUMBING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
- 11 RADON STACK - PASSIVE RADON MITIGATION SYSTEM. REFER TO PLUMBING DRAWINGS FOR TYPICAL VENTING DETAIL. SYSTEM TO BE ACTIVATED IF NECESSARY.
- 12 PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
- 13 PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
- 14 PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
- 15 FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
- 16 ALL FIRST FLOOR ENTRANCES SHALL HAVE ZERO-STEP ENTRY.
- 17 ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS. VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
- 18 ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.P. DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
- 19 REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
- 20 ALL GYP. IN RESTROOMS SHALL BE MOISTURE RESISTANT GYP.
- 21 REFER TO A505 FOR AIR SEALING NOTES.

GENERAL FLOOR PLAN NOTES

- 1 PROVIDE 2X BLOCKING @ EXTERIOR WALLS FOR SHEATHING OR GYP WALL BOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- 2 THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3 ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
- 4 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 5 DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
- 6 ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
- 7 GENERAL CONTRACTOR TO VERIFY VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
- 8 VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.

scale

general notes

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- 3. All work shall be installed in accordance with applicable codes and regulations.
- 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
 HACP
 200 Ross Street
 Pittsburgh, PA, 15219

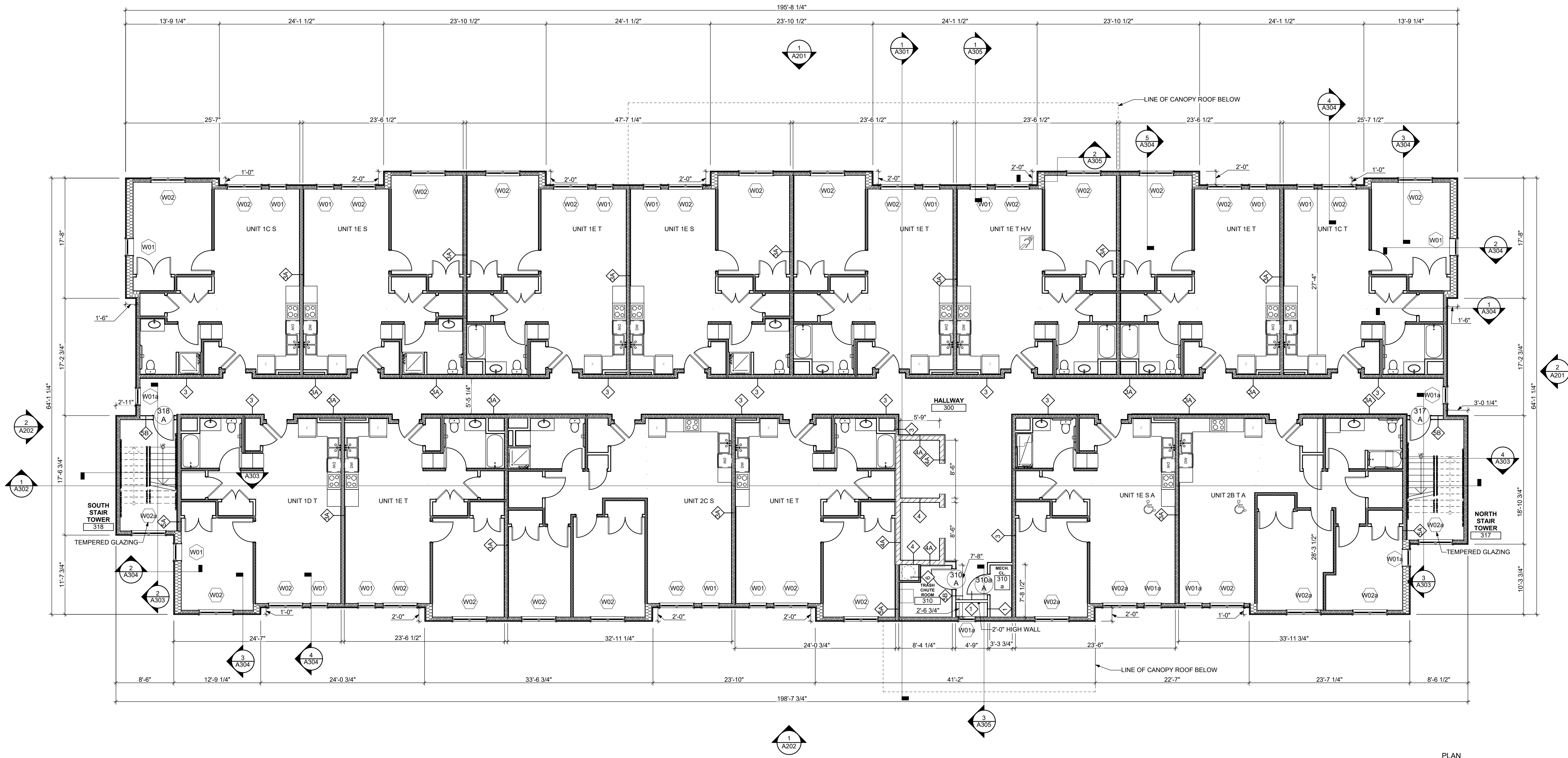
Client:
 Allies & Ross Management and Development Corporation (ARMDC)
 200 Ross Street
 Pittsburgh, PA 15219

Project Location:
 Northview Heights Midrise
 246 Penfort Street
 Pittsburgh, PA 15214

drawing title

THIRD FLOOR PLAN

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	72	A104
of.	233	
		Project #2040



1 3RD FLOOR
 SCALE: 1/8" = 1'-0"



FLOOR PLAN LEGEND

- XXXXXX ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. PROVIDE 2X BLOCKING @ EXTERIOR WALLS FOR SHEATHING OR GYP WALL BOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
3. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILING, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
5. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
6. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
7. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
8. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.

9. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
10. REFER TO PLUMBING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
11. RADON STACK - PASSIVE RADON MITIGATION SYSTEM. REFER TO PLUMBING DRAWINGS FOR TYPICAL VENTING DETAIL. SYSTEM TO BE ACTIVATED IF NECESSARY.
12. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
13. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
14. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
15. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
16. ALL FIRST FLOOR ENTRANCES SHALL HAVE ZERO-STEP ENTRY.
17. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS. VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
18. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.P. DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
19. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
20. ALL GYP. IN RESTROOMS SHALL BE MOISTURE RESISTANT GYP.
21. REFER TO A505 FOR AIR SEALING NOTES.

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

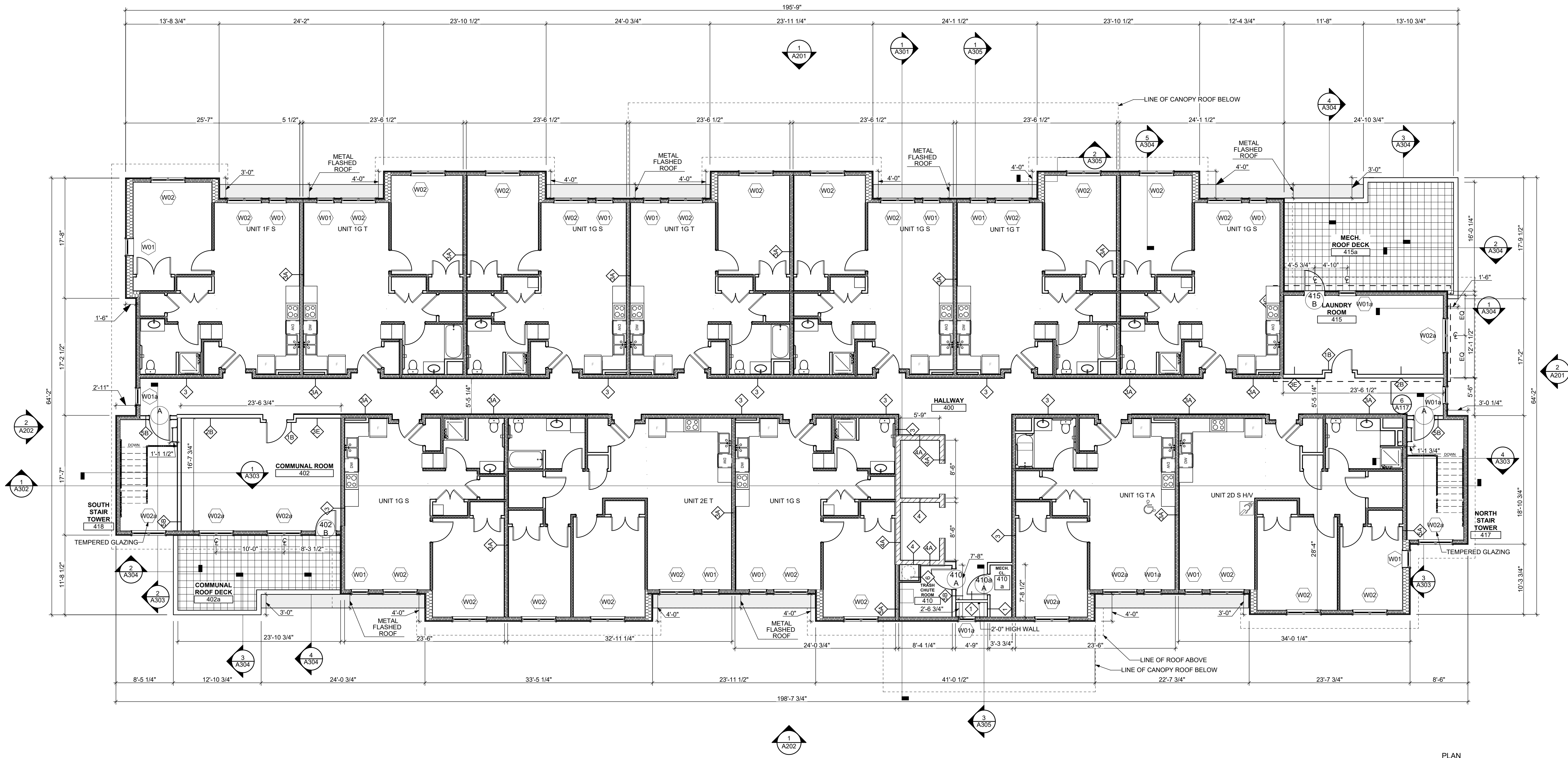
Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FOURTH FLOOR PLAN

scale	As Noted	Sheet No.
date	December 3rd, 2023	
no.	73	A105
of.	233	
		Project #2040



1 4TH FLOOR
SCALE: 1/8" = 1'-0"

VENTILATION CALCULATIONS

TOTAL ATTIC AREA: 12,450 SQ. FT.
12,450 * 1/300 = 41.5 SQ. FT. = REQUIRED VENTED AREA.
41.5 * 0.4 = 16.6 SQ. FT.
41.5 * 0.5 = 20.75 SQ. FT.



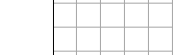
RIDGE VENTS: 20+125+10+5 = 160 LIN. FT.
@ 19 SQ. IN./LF = 20 SQ. FT.

EAVE VENTS: 6+24+20+40+20+34+10+26+12+20+20+20+20+20+20 = 352 LIN. FT.
@ 9 SQ. IN./LF = 22 SQ. FT.

TOTAL VENTILATION: 20+22 = 42 SQ. FT.

RIDGE VENTS PROVIDE AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTING AREA. RIDGE VENTS ARE LOCATED NOT MORE THAN 3 FEET BELOW TO RIDGE OR HIGHEST POINT IN THE ATTIC SPACE.

ROOF PLAN LEGEND

-  ICE AND WATER SHIELD UNDERLAYMENT
-  ASPHALT SHINGLE ROOF, REFER TO SPECIFICATIONS
-  12" X 12" BLOCK PATIO PAVERS, REFER TO SPECIFICATIONS

GENERAL ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS. DIMENSIONS SHOWN ARE DRAWN FROM FINISHED FACE TO FINISHED FACE.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.
3. D.S. - 3/4" DOWNSPOUT. REFER TO PLUMBING AND CIVIL DRAWINGS FOR DOWNSPOUT TERMINATION (SPLASH BLOCK OR STORMWATER TIE-IN).
4. EXACT ROOF TRUSS/JOIST LAYOUT AND DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND FRAMING SUBCONTRACTOR. TRUSS/JOIST LAYOUT SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL, PLUMBING CONTRACTORS PRIOR TO SUBMISSION OF TRUSS SHOP DRAWINGS, FABRICATION AND INSTALLATION TO ENSURE THE PROPOSED LAYOUT PROVIDES NECESSARY CLEARANCES FOR THE MECHANICAL, ELECTRICAL AND PLUMBING TRADE ELEMENTS, FIXTURES, DUCTING, AND PIPING.
5. NO ROOF PENETRATIONS OR OPENINGS ARE PERMITTED WITHIN 4'-0" OF THE 1-HOUR DEMISING WALLS.
6. ROOF SHEATHING TO BE 5/8" OSB SHEATHING EXCEPT FOR AREAS WITHIN 4'-0" OF THE 1-HOUR DEMISING WALLS. SHEATHING WITHIN 4'-0" OF THE 1-HOUR DEMISING WALLS TO BE 5/8" FIRE RETARDANT TREATED SHEATHING.
7. ALL ROOFS TO BE SLOPED 1/4" PER FT. MIN. ALL GUTTERS SHALL SLOPE 1/8" PER FT. TOWARDS DOWNWARD UNLESS NOTED OTHERWISE.
8. PROVIDE ICE AND WATER SHIELD UNDERLAYMENT AT ALL SHINGLED ROOF AREAS WITH SLOPES LESS THAN 4:12.

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

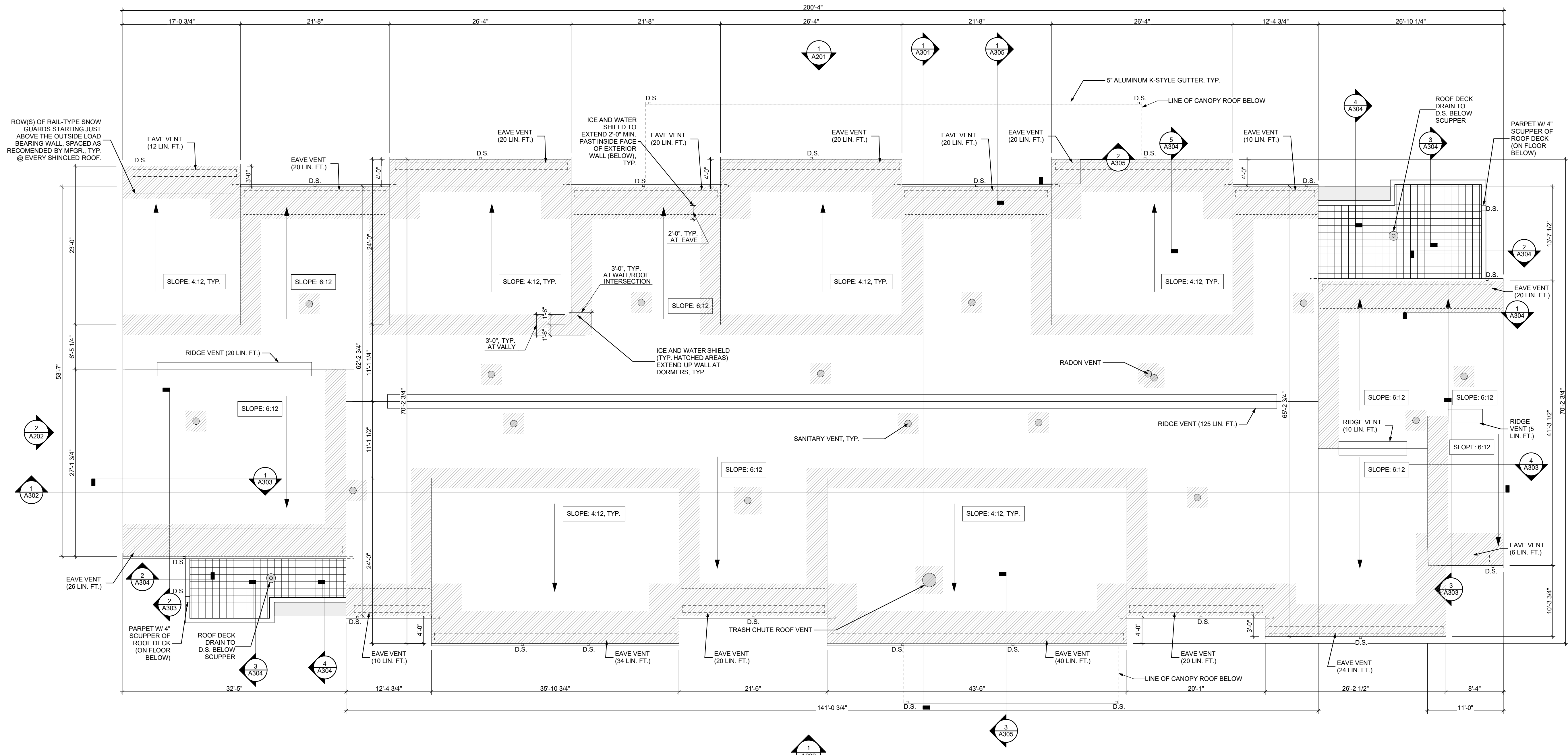
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

ROOF PLAN



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

scale	As Noted
date	December 3rd, 2023
no.	74
of.	233

Sheet No.
A106
Project #2040



REFLECTED CEILING PLAN LEGEND

- CEILING TYPES
- CEILING MATERIAL AND HEIGHT
 - CEILING SOFFIT
 - 24" x 48" ACOUSTIC CEILING TILES
- LIGHTING TYPES AND EQUIPMENT
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
- BATHROOM VENT FAN
 - CEILING ACCESS HATCH
 - SUPPLY AIR DIFFUSER
 - SMOKE DETECTOR:
(CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPs ARE DRAWN SEPARATELY FROM BUILDING RCPs.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

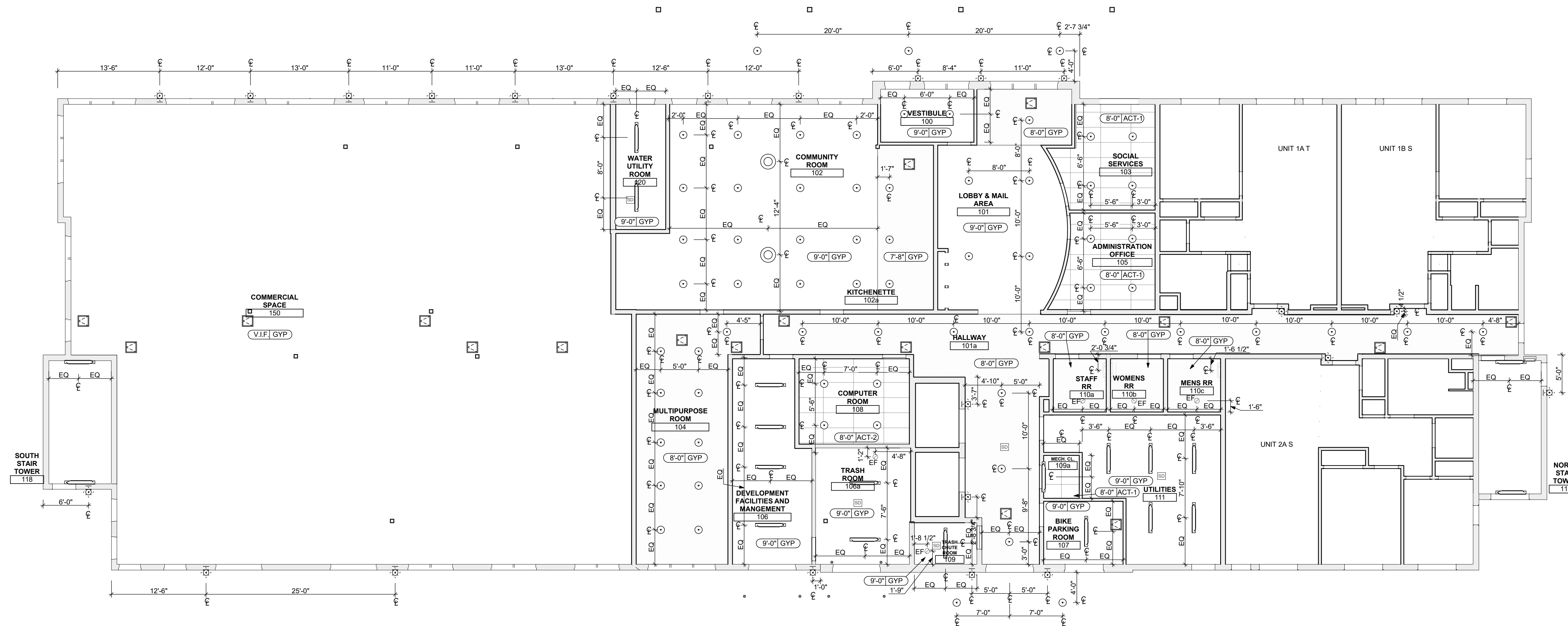
Owner:
HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

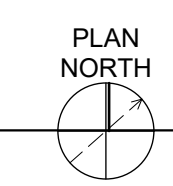
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FIRST FLOOR REFLECTED
CEILING PLAN



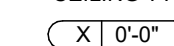






1 1ST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



scale	As Noted
date	December 3rd, 2023
no.	75
of.	233

Sheet No.	A107
Project #	2040

REFLECTED CEILING PLAN LEGEND

- CEILING TYPES
-  CEILING MATERIAL AND HEIGHT
 -  CEILING SOFFIT.
 -  24" x 48" ACOUSTIC CEILING TILES
- LIGHTING TYPES AND EQUIPMENT
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
-  BATHROOM VENT FAN
 -  CEILING ACCESS HATCH
 -  SUPPLY AIR DIFFUSER
 -  SMOKE DETECTOR:
(CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPs ARE DRAWN SEPARATELY FROM BUILDING RCPs.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA, 15219

Client:

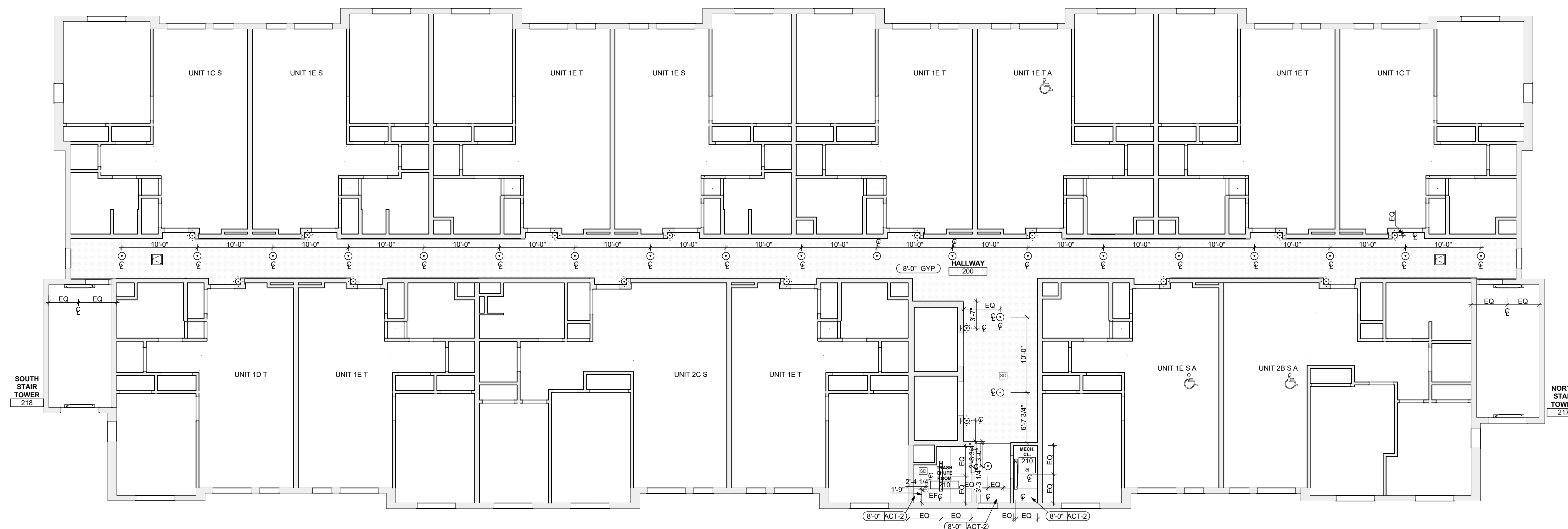
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:

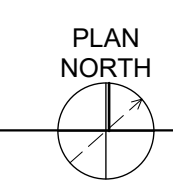
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SECOND FLOOR REFLECTED
CEILING PLAN



1 2ND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



scale	As Noted
date	December 3rd, 2023
no.	76
of.	233

Sheet No.
A108
Project #2040