

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1131 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 4 BEDROOM UNIT

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Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,084 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	8

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Ffg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1131 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, DRAWING LIST, CODE AND
CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

Materials Legend

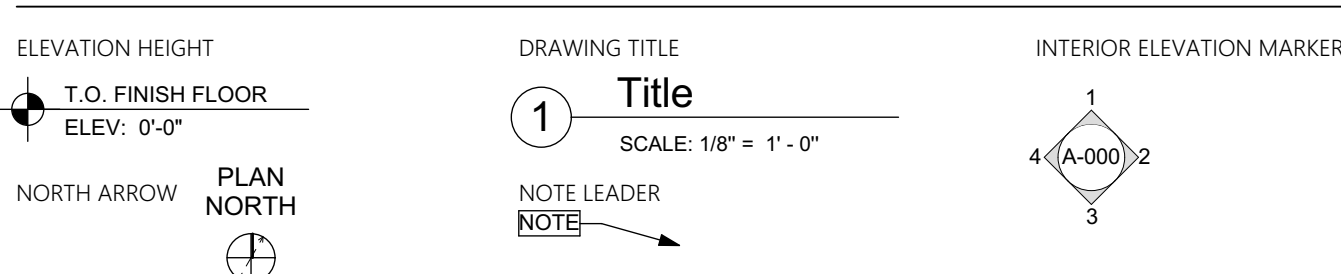
NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

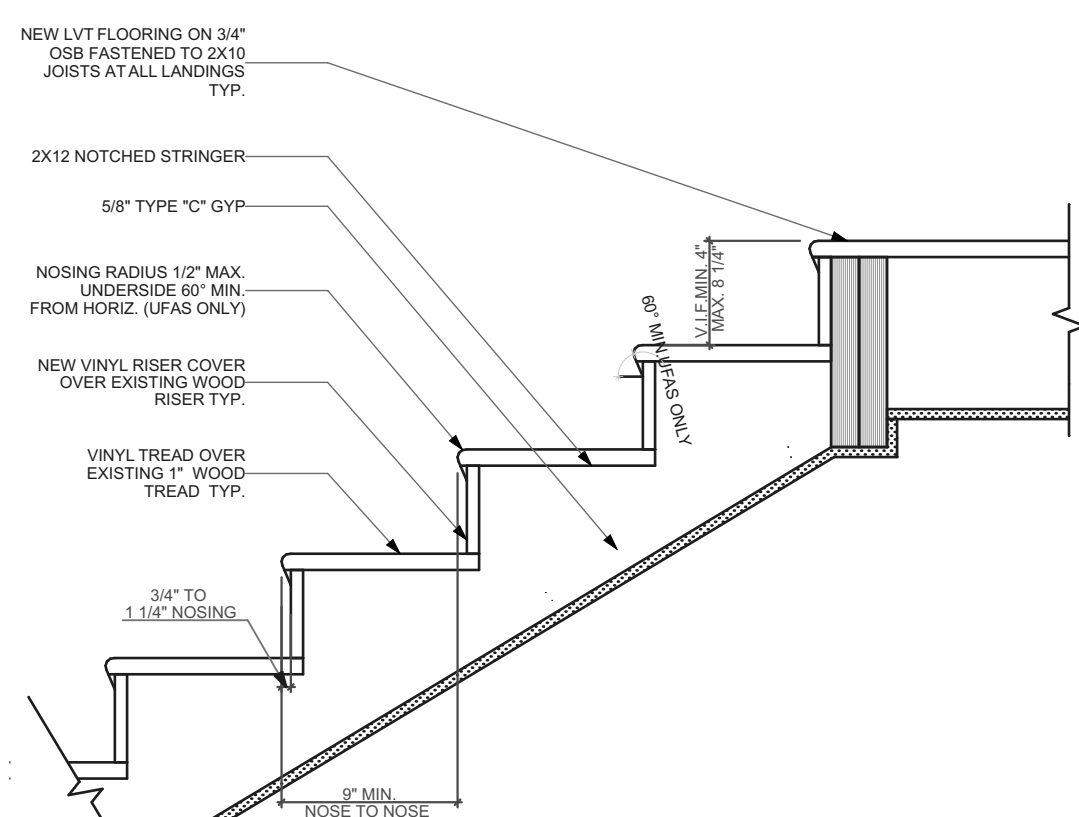
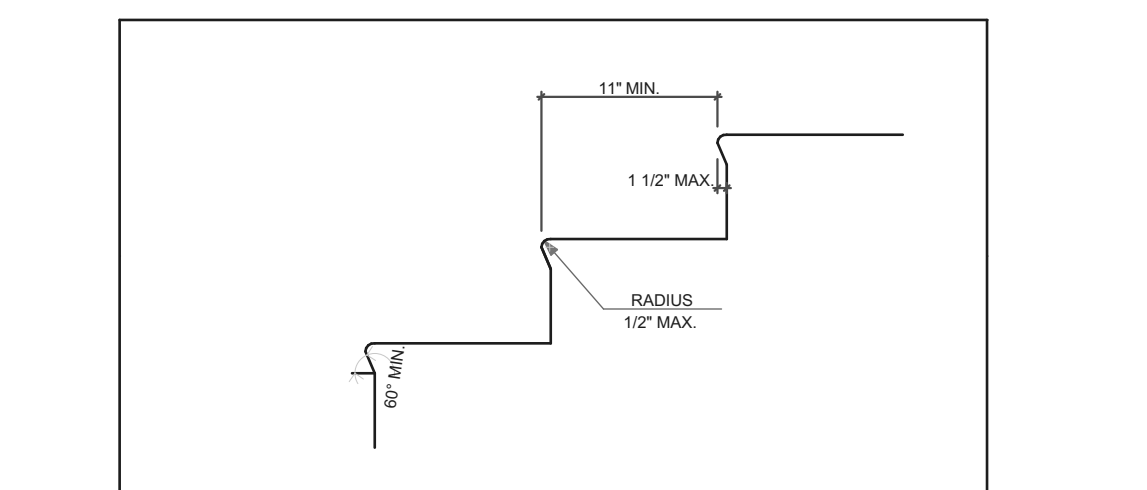
Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
APPROX.	Approximate	F.F.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
ARCH.	Architectural	FIN.FLR.	Finish Floor	P.V.C.	Polyvinyl Chloride
ASB.	Asbestos	F.F.	Finish Floor	PRE-FAB.	Prefabricated
ASPH.	Asphalt	F.A.C.P.	Fire Alarm Control Panel	REF.	Refer To
AUTO.	Automatic	F.E.	Fire Extinguisher	R.F.	Refrigerator
AVG.	Average	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
BLK.	Block	F.D.	Floor Drain	REIN.	Reinforcement
BD.	Board	FTG.	Footing	RD.	Roof Drain
BOT	Bottom	GA.	Gauge	RM.	Room
BUDG	Building	G.C.	General Contractor	S.A.T.	Suspended Acoustical Tile
C.I.P.	Cast In Place	G.F.I.	Ground Fault Interrupter	SCHED.	Schedule
C.B.	Catch Basin	GYP.	Gypsum	SHT.	Sheet
CEM.	Cement	G.W.B.	Gypsum Wall Board	SIM.	Similar
CER.	Ceramic	GSH	Gypsum Sheathing	S.C.	Solid Core
CG	Corner Guard	H/C	Handicap	SPECS.	Specifications
C.M.T.	Ceramic Mosaic Tile	H.V.A.C.	Heating, Ventilation & Height	SO.	Square Foot
C.W.T.	Ceramic Wall Tile	HC	Hollow Core	S.F.	Stainless Steel
C.O.	Cleanout	H.M.	Hollow Metal	S.S.	Steel
CL.	Center Line	HORIZ.	Horizontal	STL.	Storage
CLO.	Closet	HR.	Hour	STOR.	Structural
C.W.	Cold Water	H.W.	Hot Water	STRUC.T.	Structural
CLG.	Ceiling	IN.	Inch	TEL.	Telephone
CLR.	Clearance	IN.	Inch	THK.	Thick
COL.	Column	IM.	Insulated Metal	T.B.D.	To Be Determined
CONC.	Concrete	INSUL.	Insulation or insulated	T&G	Tongue & Groove
C.M.U.	Concrete Masonry Unit	INT.	Interior	T.O.F.	Top Of
CONT.	Continuous	INV.	Invert	T.G.	Top Of Grade
CORR.	Corridor	ISO.	Isolation	T.O.S.	Top Of Steel
C.M.P.	Corrugated Metal Pipe	JAN.	Janitor's Closet	TYP.	Typical
CRS.	Courses	J.T.	Joint	UNFIN.	Unfinished
DA.	Diameter	LAM.	Laminate	U.N.O.	Unless Noted Otherwise
DET.	Detail	LAV.	Lavatory	V.B.	Vapor Barrier
DGL.	Dens Glass Gold	LG.	Long	VERT.	Vertical
DR.	Door	M.D.F.	Medium Density Fiberboard	VEST.	Vestibule
D.N.	Down	M.D.H.	Magnetic Door Holder	V.C.T.	Vinyl Composition Tile
D.S.	Downspout	M.H.	Manhole	V.I.F.	Verify In Field
DWG.	Drawing	MFR.	Manufacturer	W.H.	Water Heater
D.F.	Drinking Fountain	MAX.	Maximum	W.R.B.	Water Resistant Barrier
D.I.P.	Ductile Iron Pipe	MECH.	Mechanical	W.W.F.	Welded Wire Fabric
EA.	Each	MET.	Metal	WIN.	Window
E.W.	Each Way	MIN.	Minimum	W/	With
ELEC.	Electrical			W/O	Without
E.C.	Electrical Contractor			WD.	Wood
EL.	Elevation				

Symbols



1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL

SCALE: 1" = 1'-0"

THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION

WINDOW SCHEDULE						
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	3'-0"	1'-9"	8'-0"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B	2'-9"	2'-0"	7'-8 1/4"	GLASS BLOCK	<input type="checkbox"/>	<input type="checkbox"/>
C	2'-8"	5'-0"	7'-8"	VINYL	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D	2'-8"	7'-0"	7'-0"	FIBERGLASS	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E	2'-5"	4'-1"	7'-11"	VINYL	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	2'-8"	4'-4"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G	4'-10"	4'-6"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I	2'-4 1/2"	4'-1"	7'-1"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE				
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.
1	3'-0"x7'-0"	I	FIBERGLASS	FIBERGLASS
2	2'-8"x7'-0"	II	FIBERGLASS	FIBERGLASS
3	2'-0"x6'-8"	III	WOOD	WOOD
4	2'-0"x6'-8"	III	WOOD	WOOD
5	3'-0"x6'-8"	III	WOOD	WOOD
6	2'-4"x6'-8"	III	WOOD	WOOD
7	2'-6"x6'-8"	IV	WOOD	WOOD
8	4'-0"x6'-8"	IV	WOOD	WOOD
9	2'-4"x6'-8"	III	WOOD	WOOD
10	2'-6"x6'-8"	III	WOOD	WOOD
A	5'-0 1/2"x6'-8"	---	---	---
A	5'-0"x6'-8"	---	---	---

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT

I EXTERIOR INSULATED FIBERGLASS DOOR
INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOX SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

II EXTERIOR INSULATED FIBERGLASS DOOR
INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE, HARDWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

III INTERIOR WOOD DOOR
INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

IV INTERIOR WOOD DOUBLE DOOR
INTERIOR 2 PANEL DOUBLE WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

seal

general notes

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project title

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HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
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1131 SHEFFIELD STREET
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drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

scale
As Noted

date
May 6, 2022

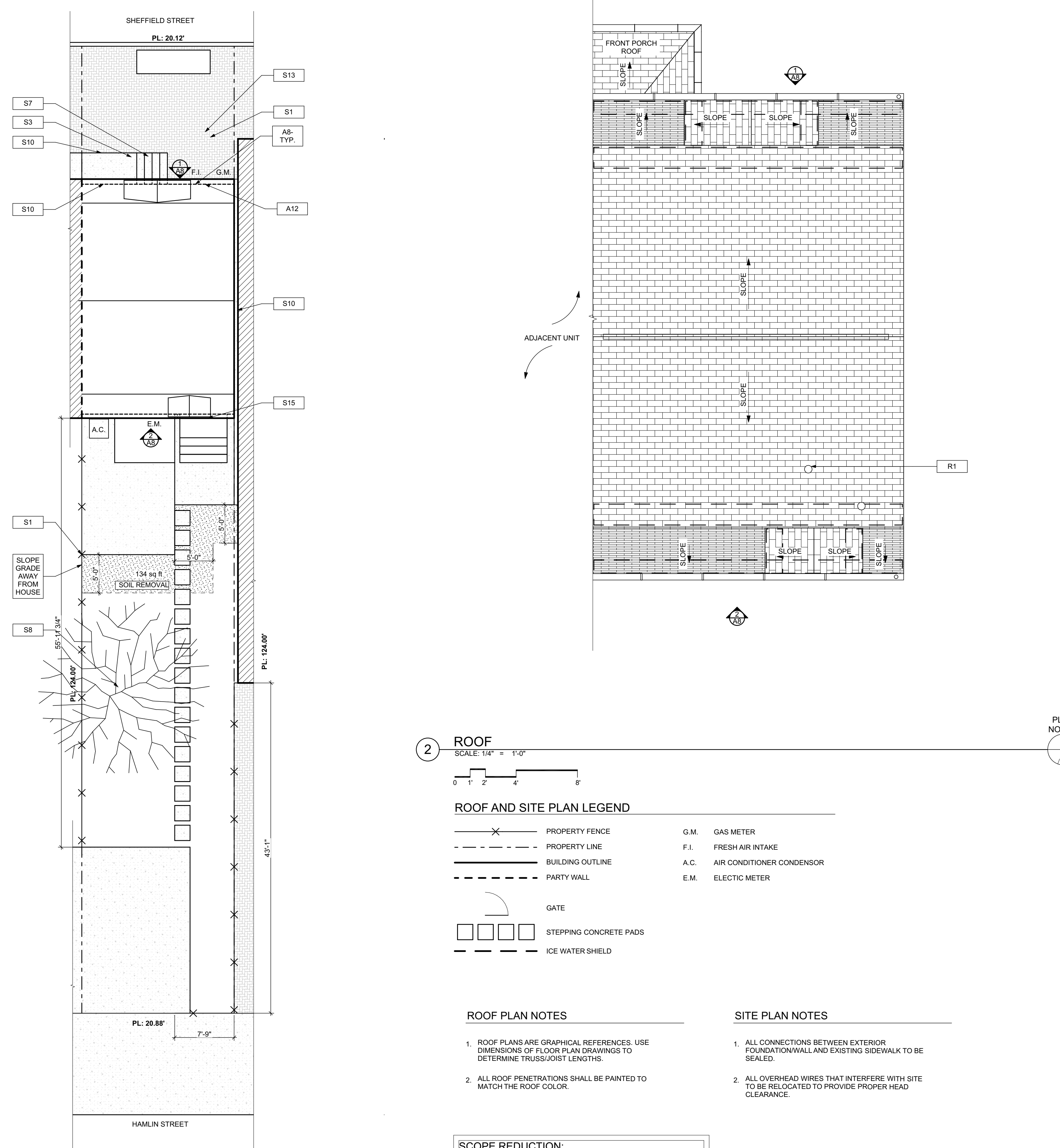
no. **3**

of. **12**

Sheet No.

A2

Project #2006



SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- S1 AT LOCATION SHOWN REMOVE ±" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER FINISHERS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLEAR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING TRIM FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND APPLICABLE CORNERS OR FLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR IN-WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

seal

general notes

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2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1131 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

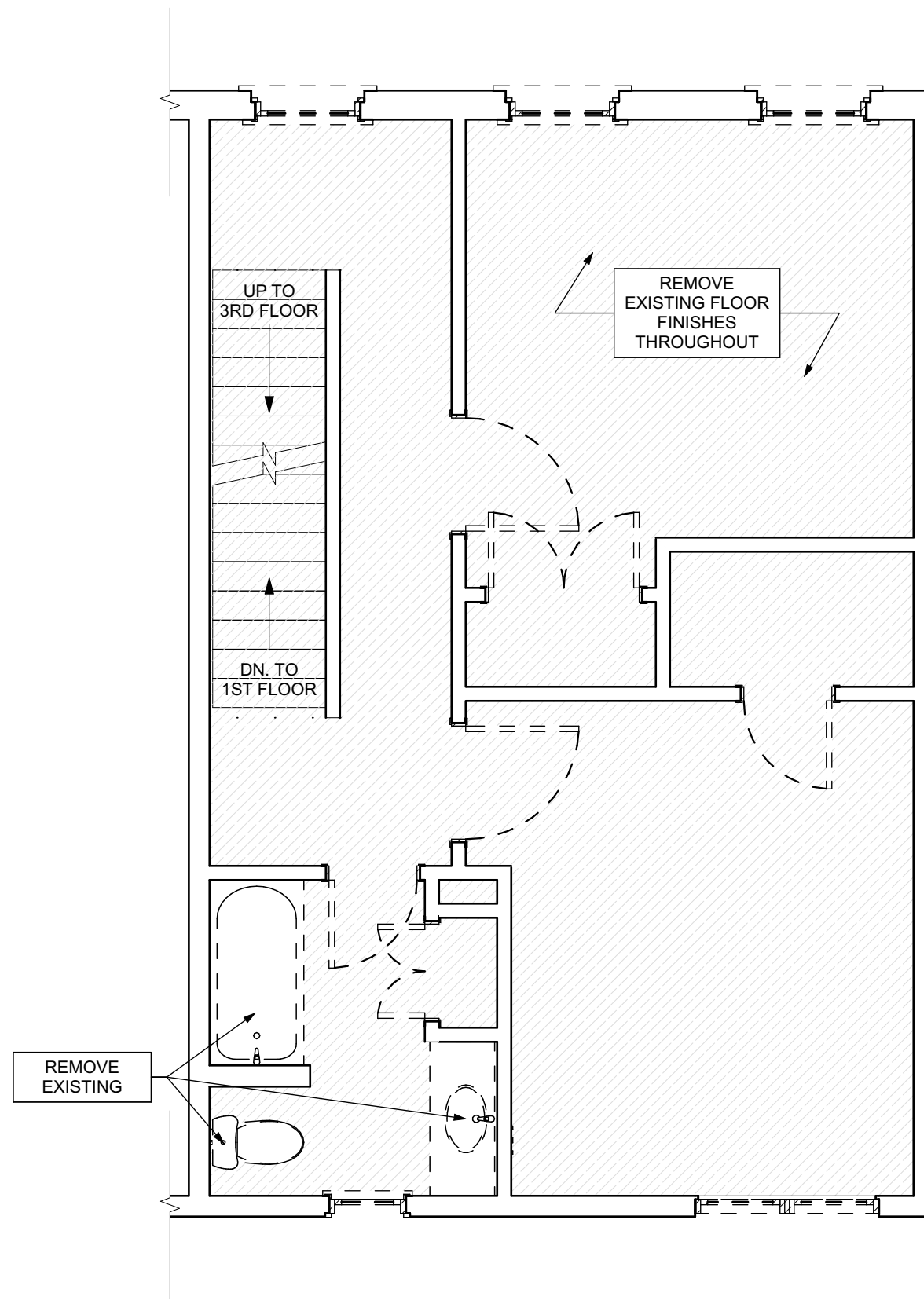
drawing title

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

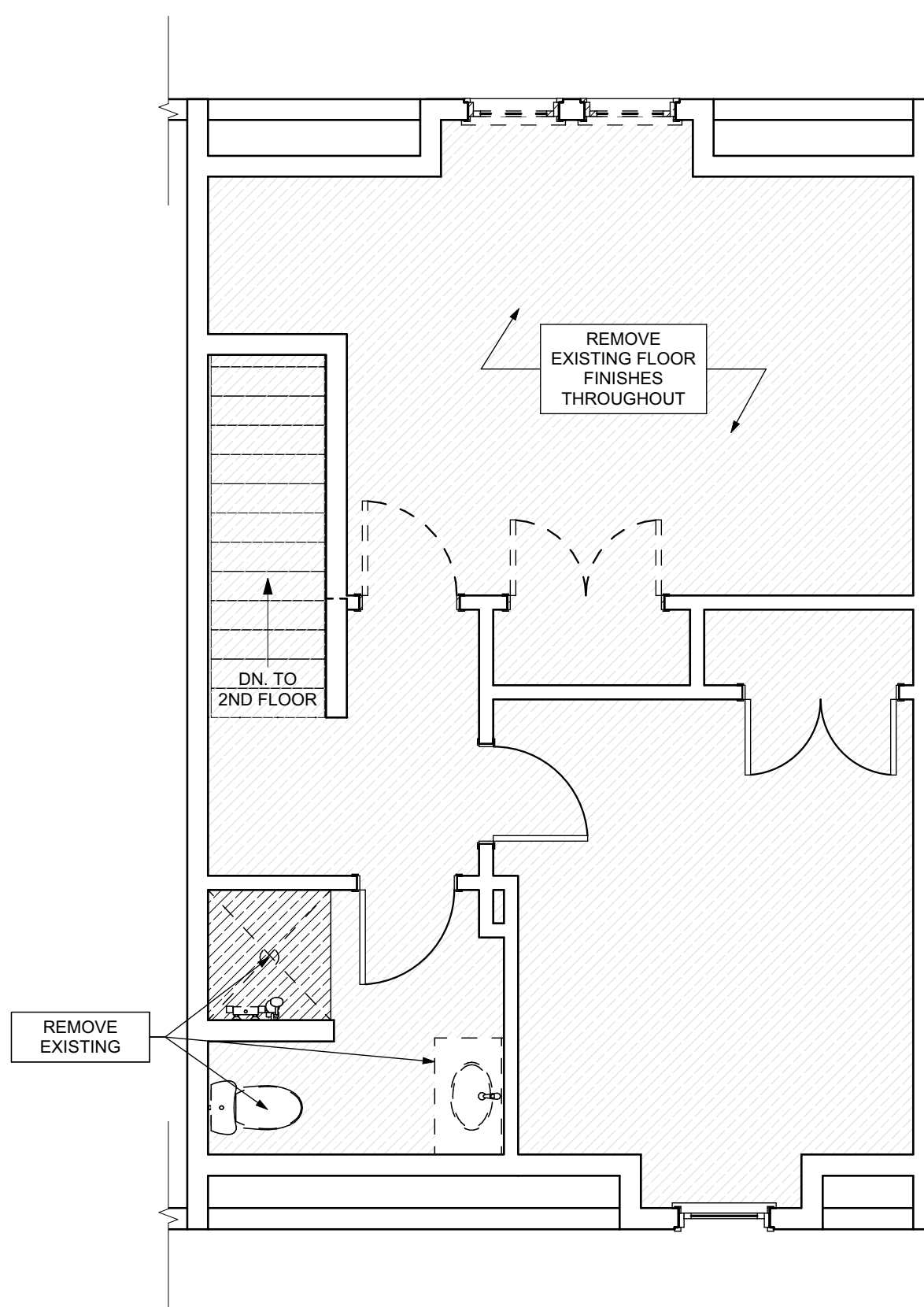
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BIR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

scale	As Noted
date	May 6, 2022
no.	5
of.	12

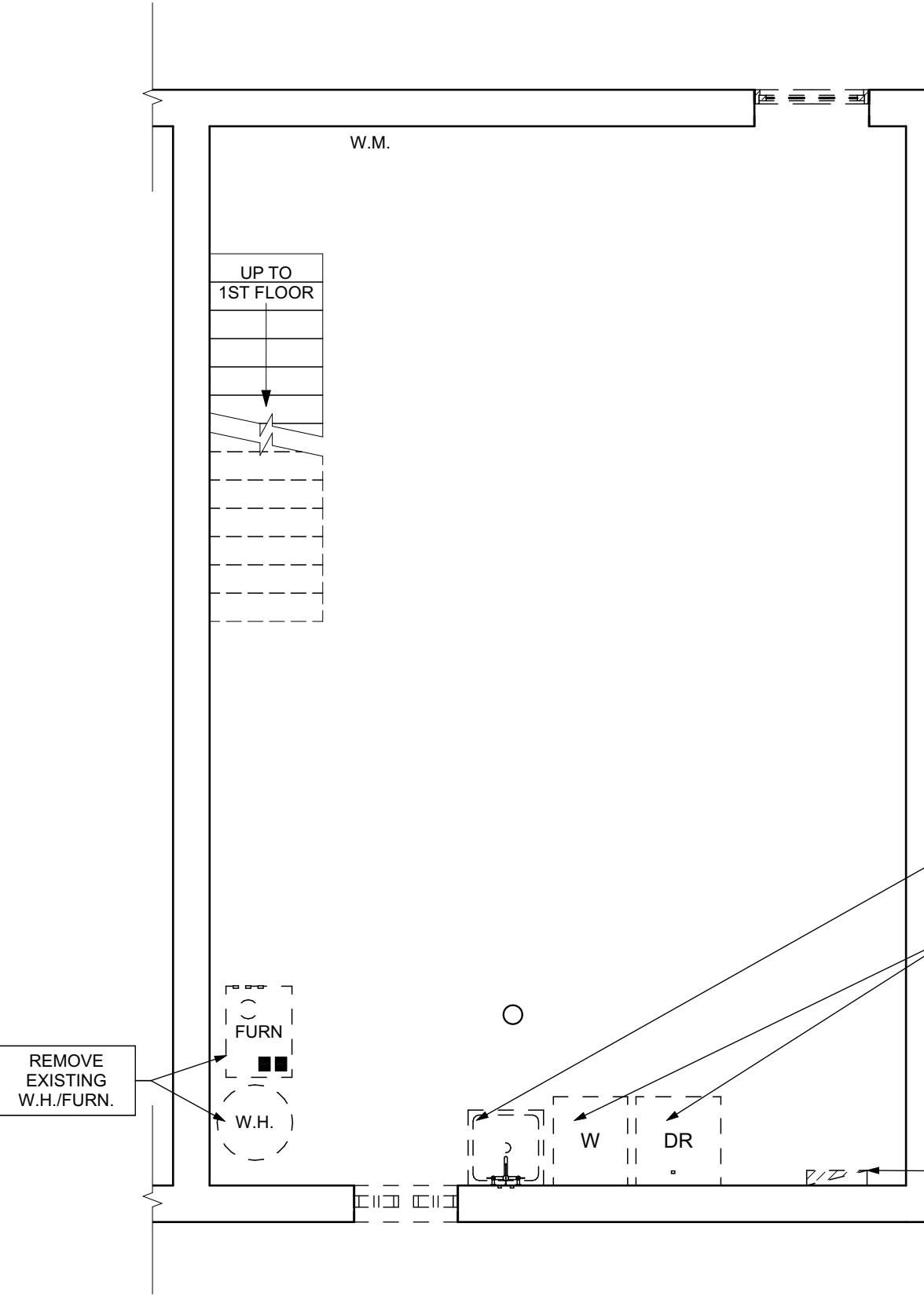
Sheet No.	A4
Project #	2006



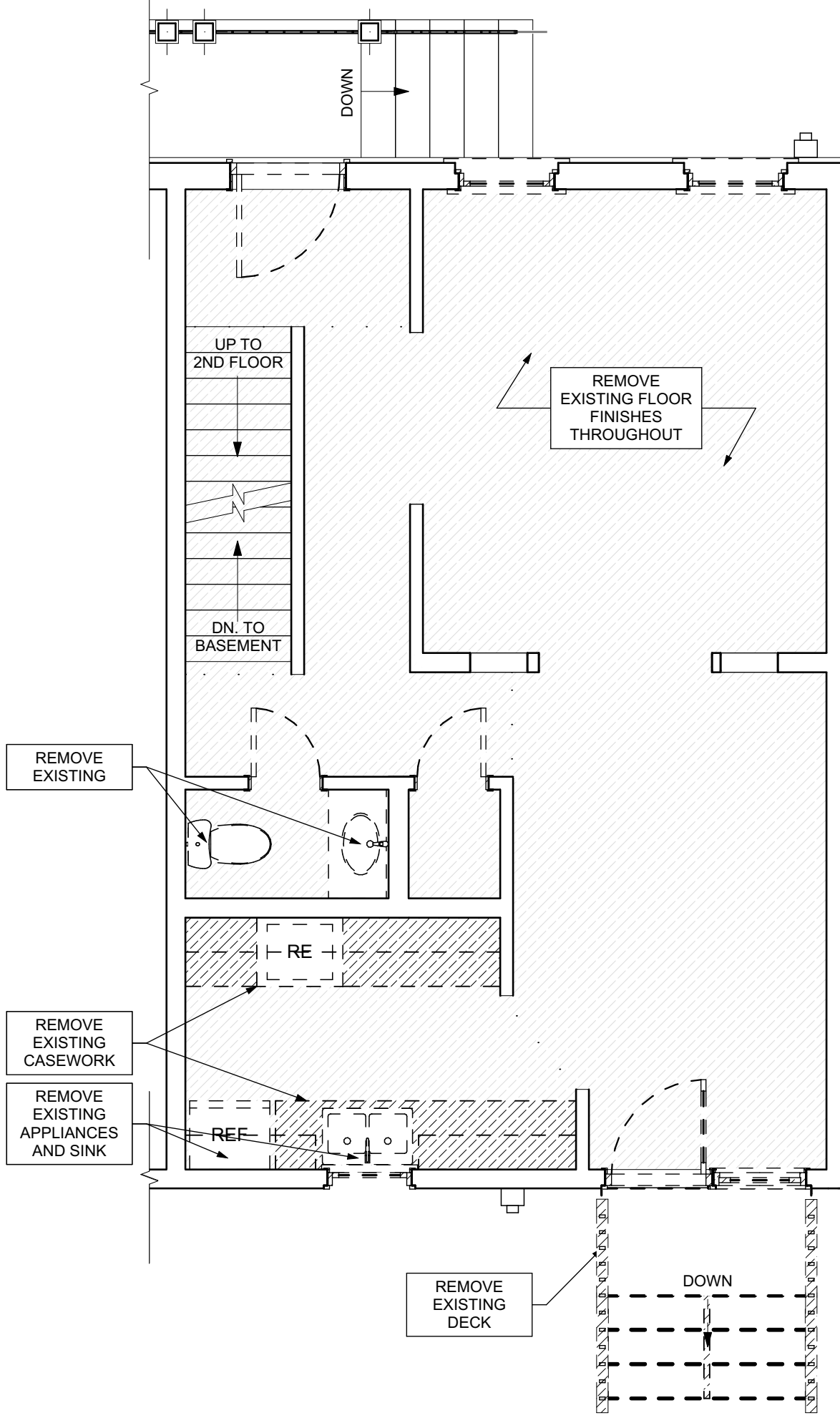
3 SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



4 THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL. IF THERE IS NO JUNCTION BOX, AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYS FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

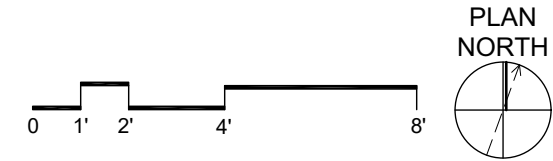
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



SITE

- S17** AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18** UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19** TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW 2X4 TIE TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20** EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21** SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22** POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- S23** REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24** TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25** ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26** REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S27** REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28** REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE CLEAR HEIGHT OF 12" MIN.
- S29** REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30** REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1** DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, GUTTERS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1** REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2** IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3** BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4** RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5** LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNRESTRICTED CLOSURE OF DOOR. REGRADE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6** WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. PATCH AND PAINT AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY AND SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. PATCH TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7** REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8** SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9** EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10** DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11** ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOOR AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. BRACE AND SHORE FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND BRACE. CHECK FOR PLASTER. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12** EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13** CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14** UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15** ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16** SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17** CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18** NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1** NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2** EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1** PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2** REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3** INSPECTION CONDUCTED RECOMMENDS ADDING DELUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR WITH FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4** EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

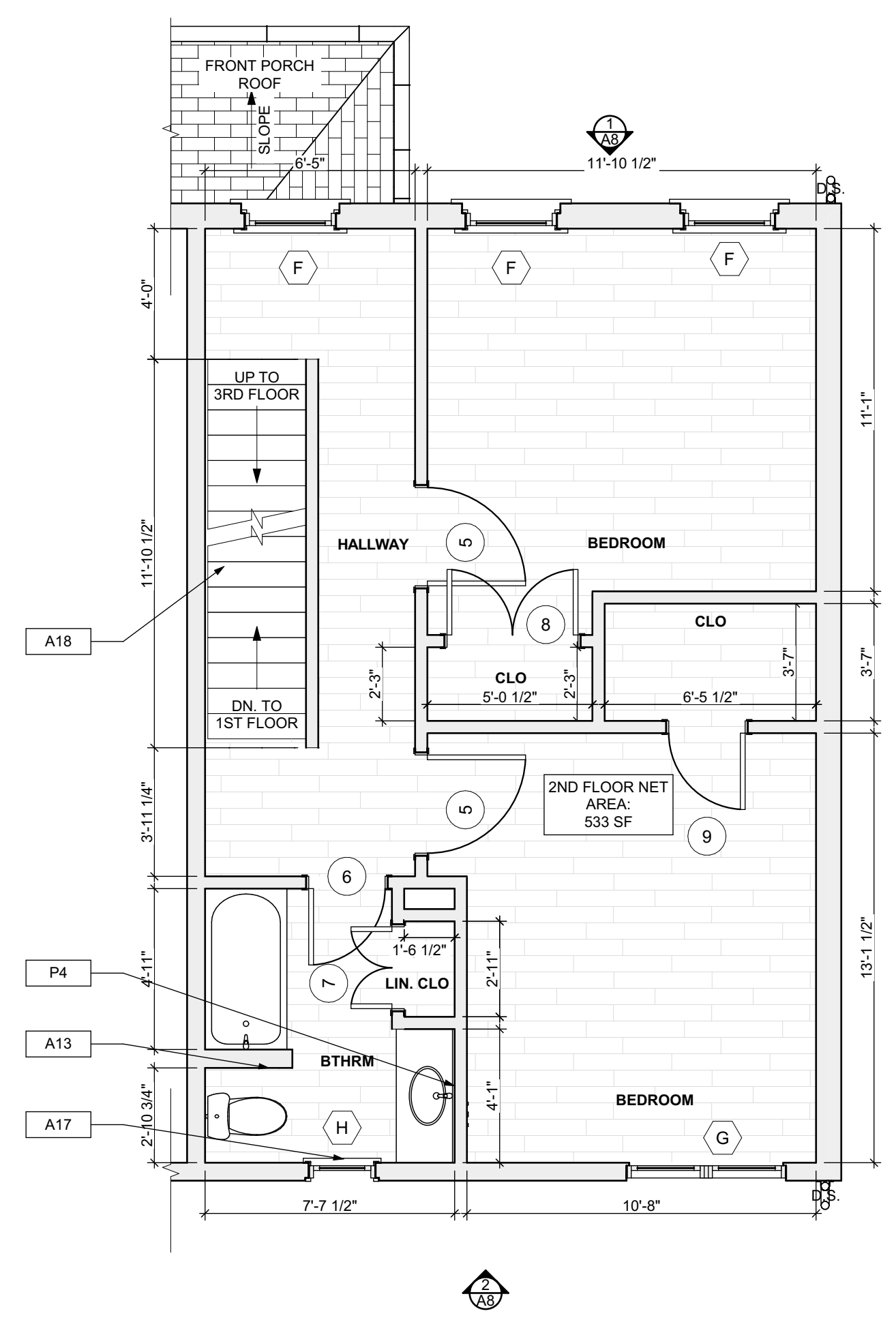
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1131 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

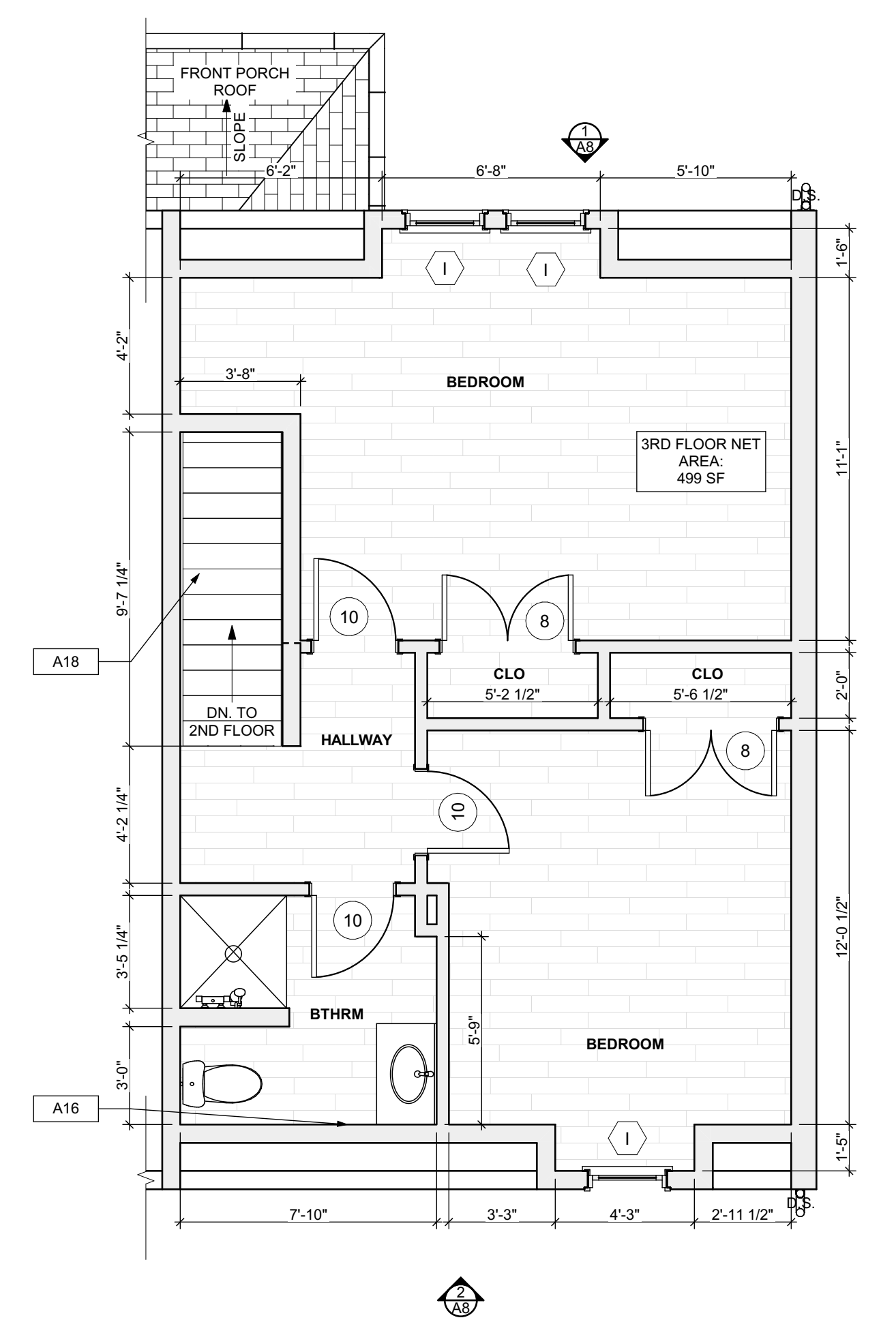
drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

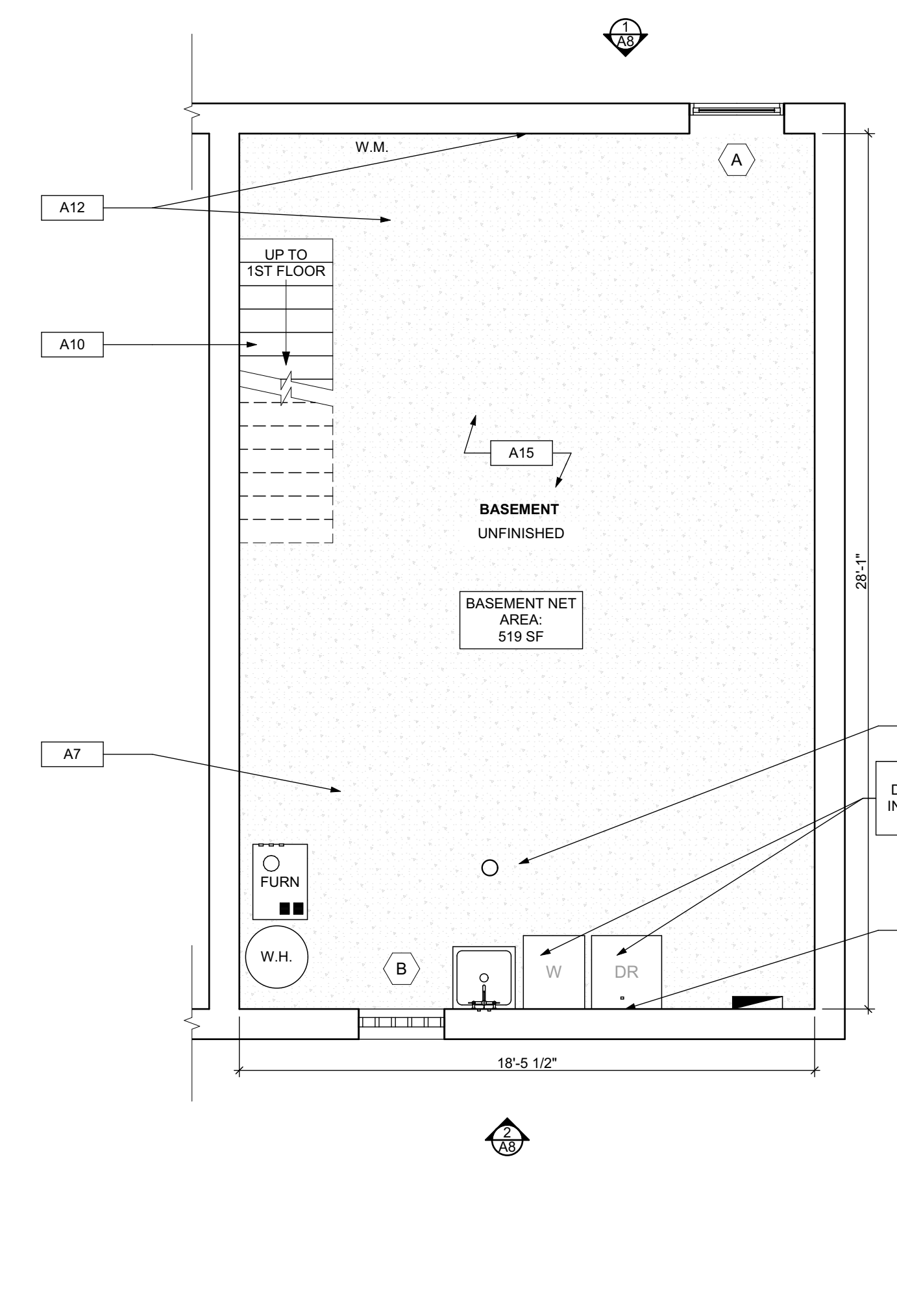
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date	May 6, 2022	
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of.	12	
		Project #2006



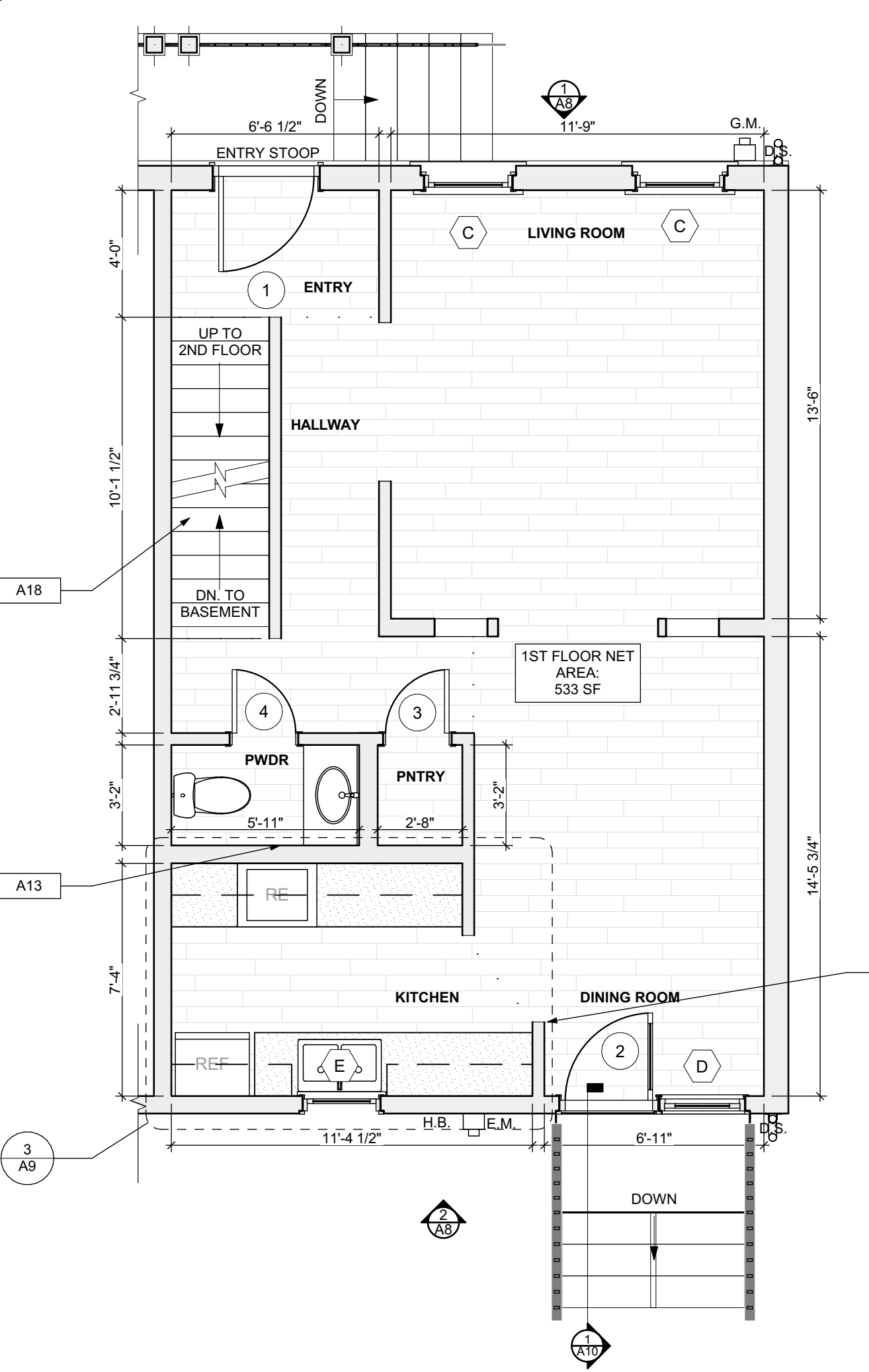
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

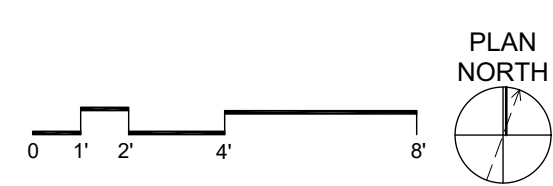


2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY AND REGUE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 70% REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S21 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S22 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POSTS. PROVIDE NEW PRESSURE TREATED POST WITH NEW 2" X 4" TIE. CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S23 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S24 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S25 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S26 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S27 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S28 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR HORIZONTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S29 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S30 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S31 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WIRE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE. RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12' MIN.
- S32 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S33 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR BRACES AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. PATCH TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVAL EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LAB FOR NEW STANDARD 2'X2'1" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. WIRE BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. PROVIDE DELUMINER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1131 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB. B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

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date	May 6, 2022	
no.	7	A6 Project #2006
of.	12	

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drawing title

NORTH ELEVATION, SOUTH
ELEVATION, GRAPHIC SCALES,
SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no. 9 of 12

Sheet No.

A8

Project #2006

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS. OR STAIR PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COLOUR OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING TRIM. PER NEW STANDARD 2"X4". SPREAD FOOTING AND APRON GLE. CONNECTOR PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR IN-WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

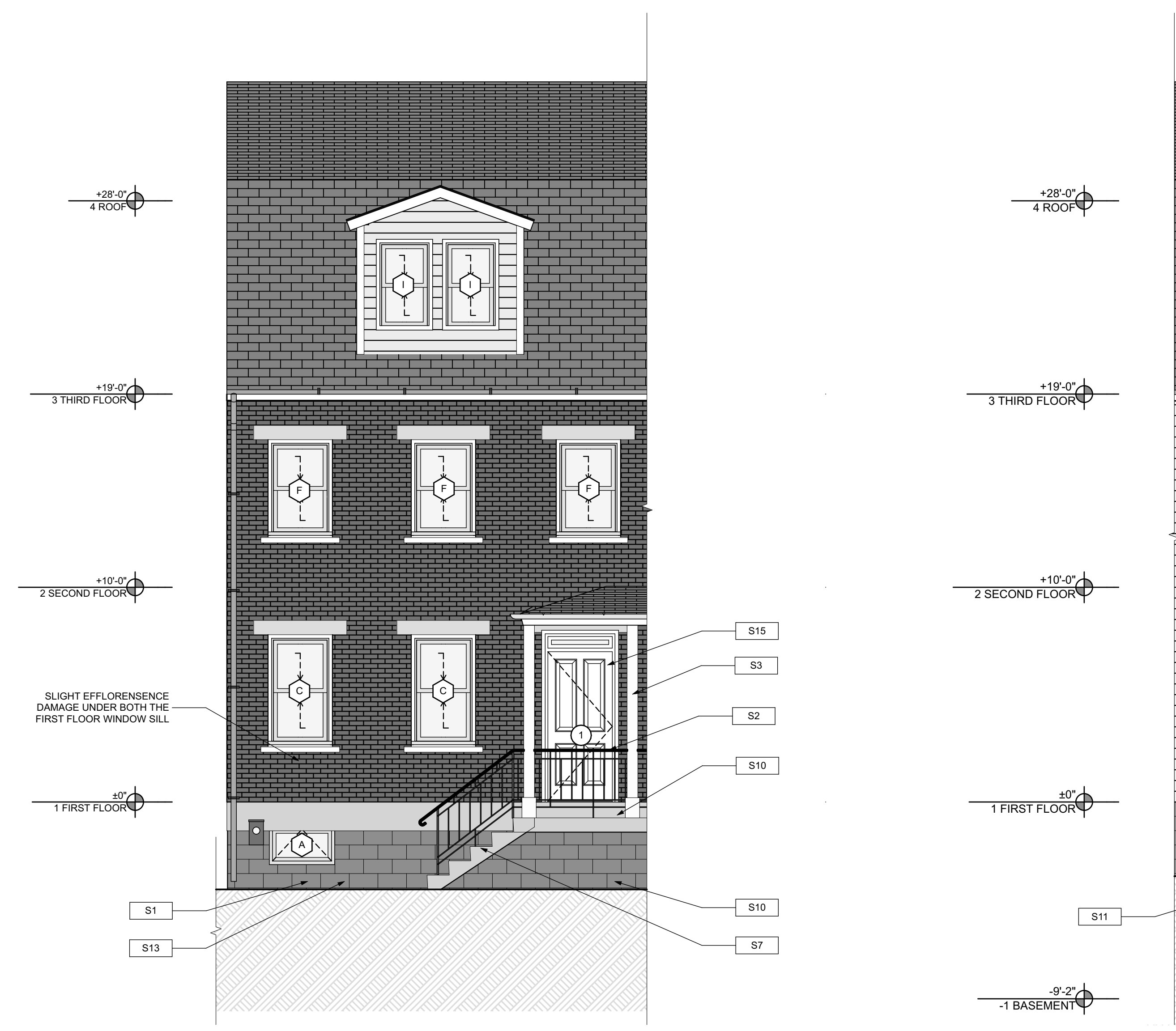
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- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BIKER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

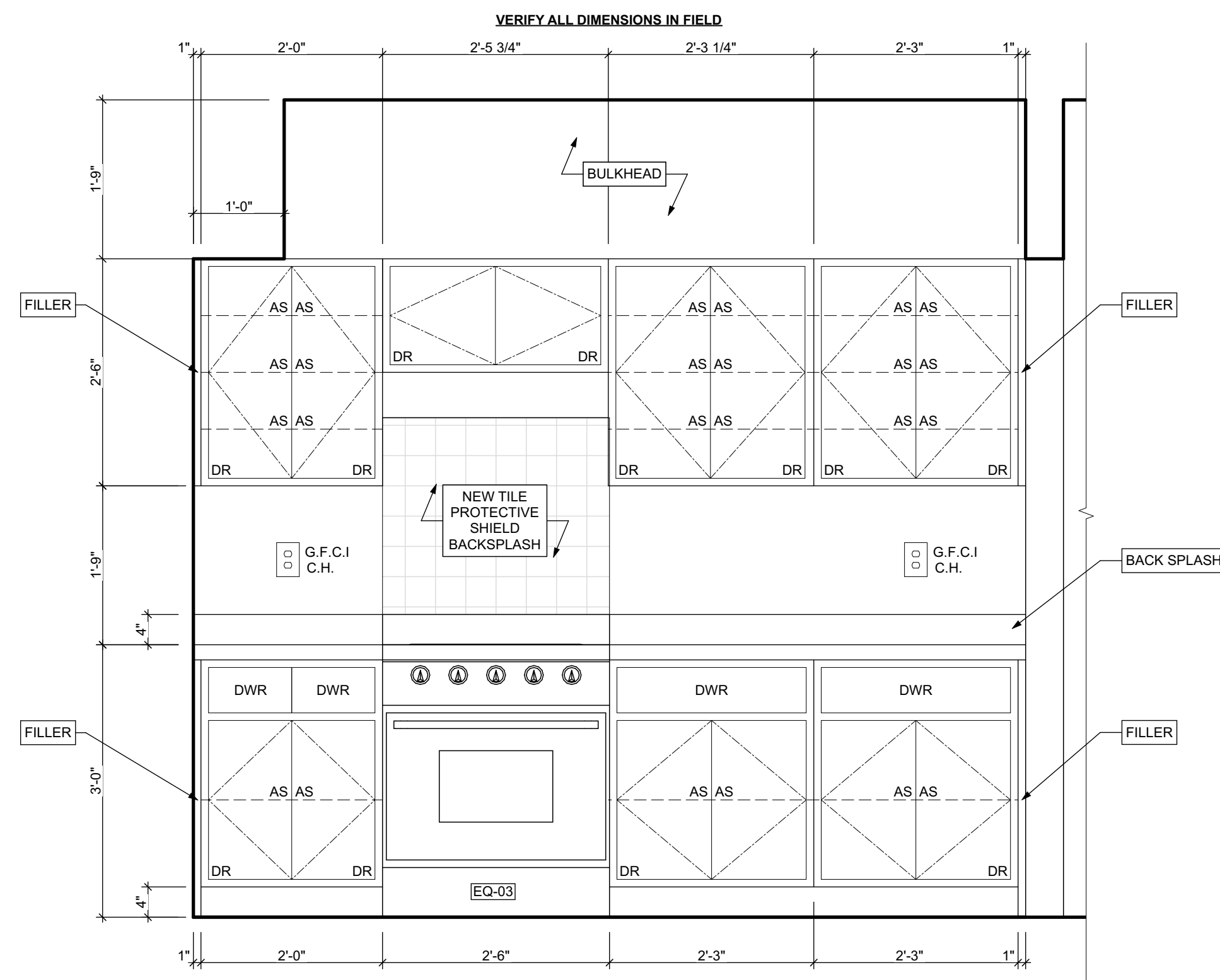
GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

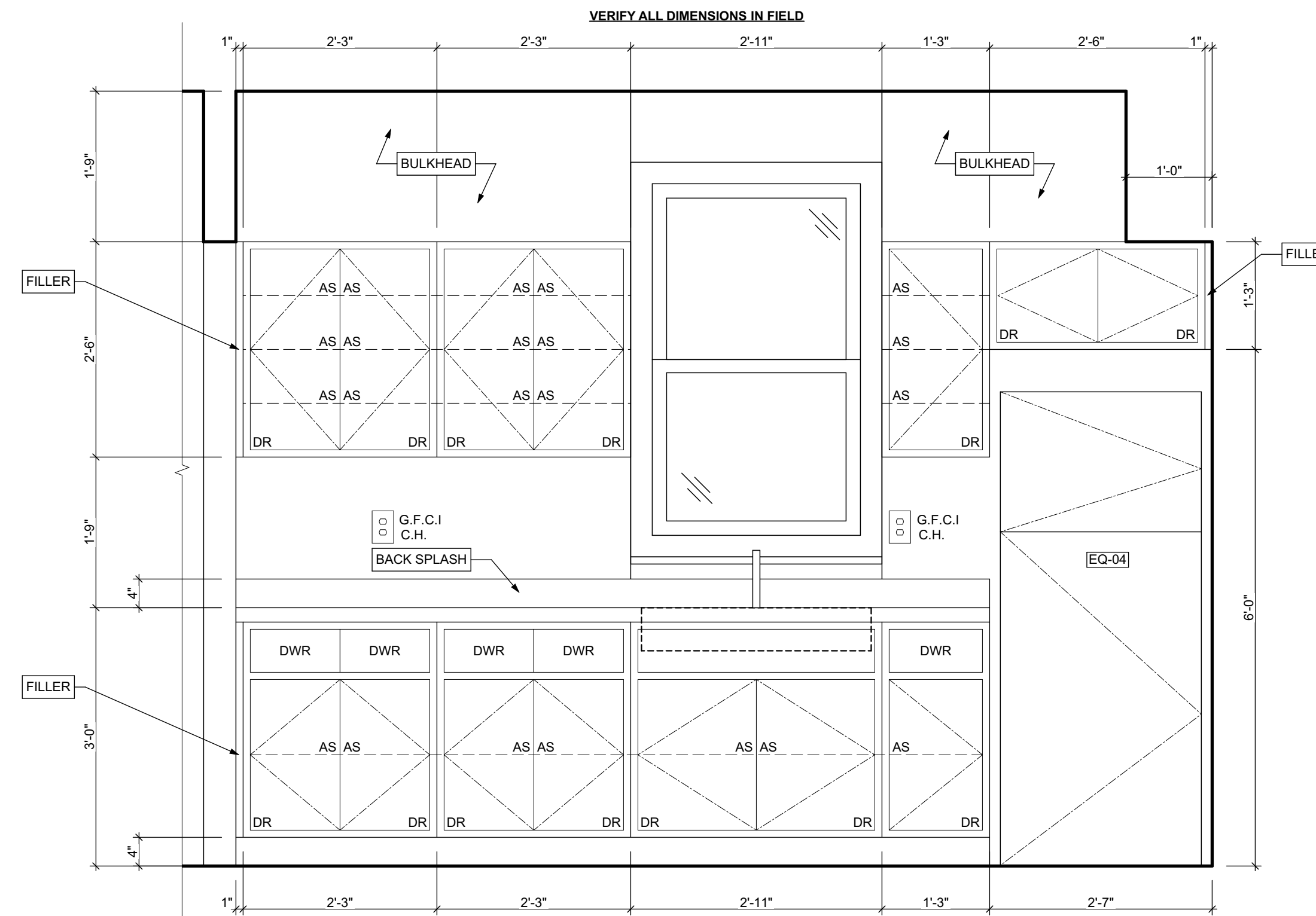


1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

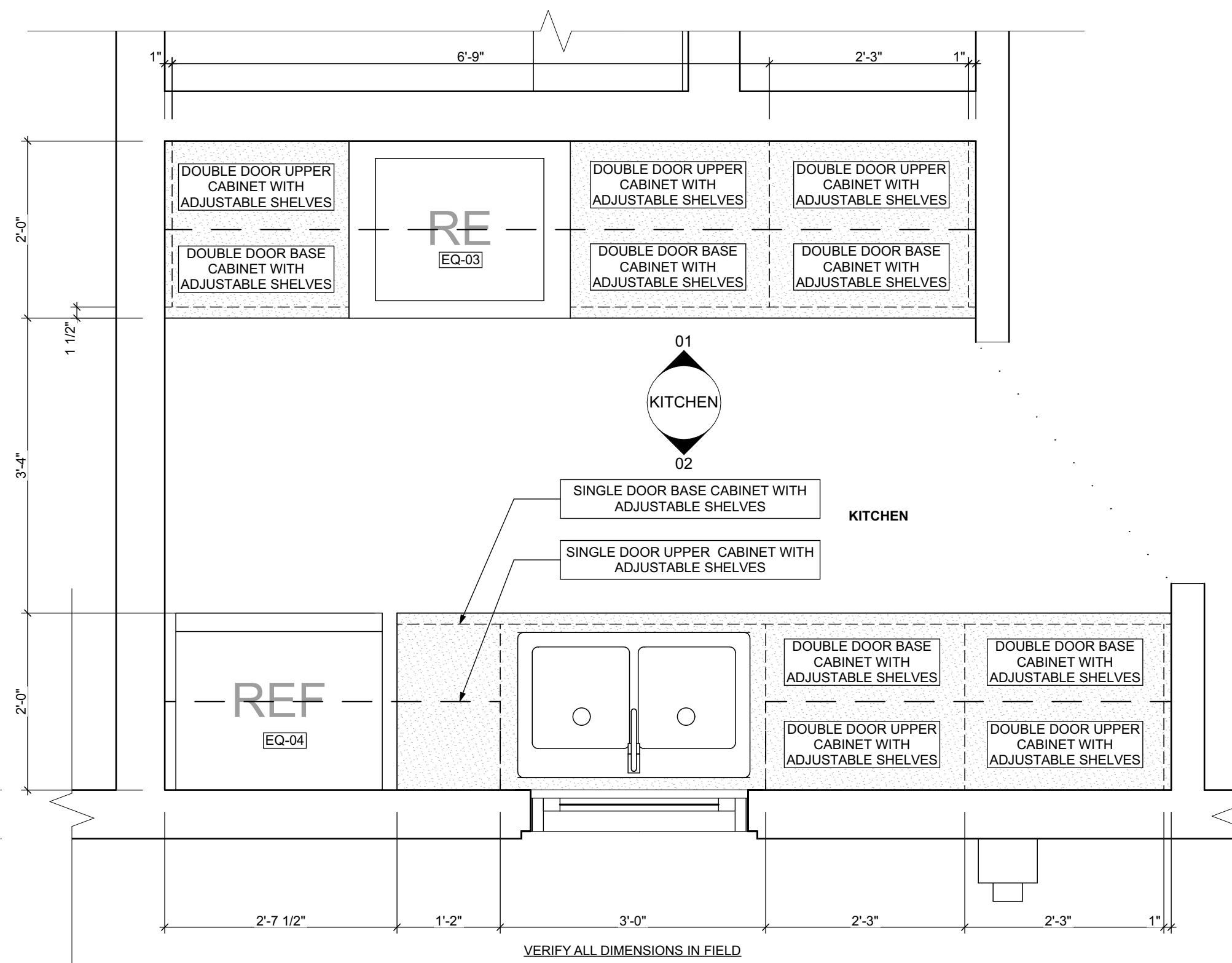
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE			
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	-	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition. Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater. Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	3	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391 S-000	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T26963P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION.

seal

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drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

scale
As Noted

date
May 6, 2022

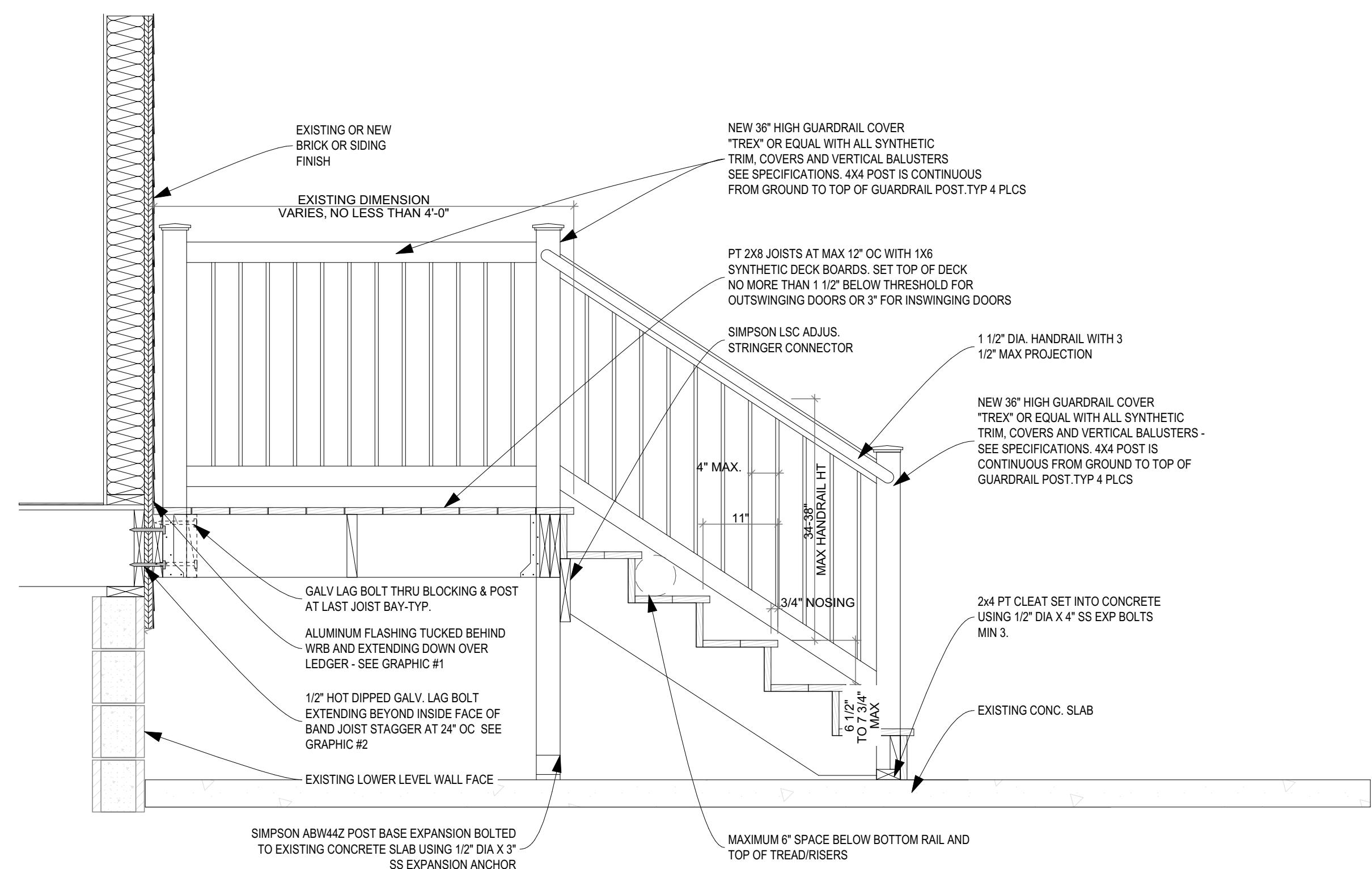
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Sheet No.

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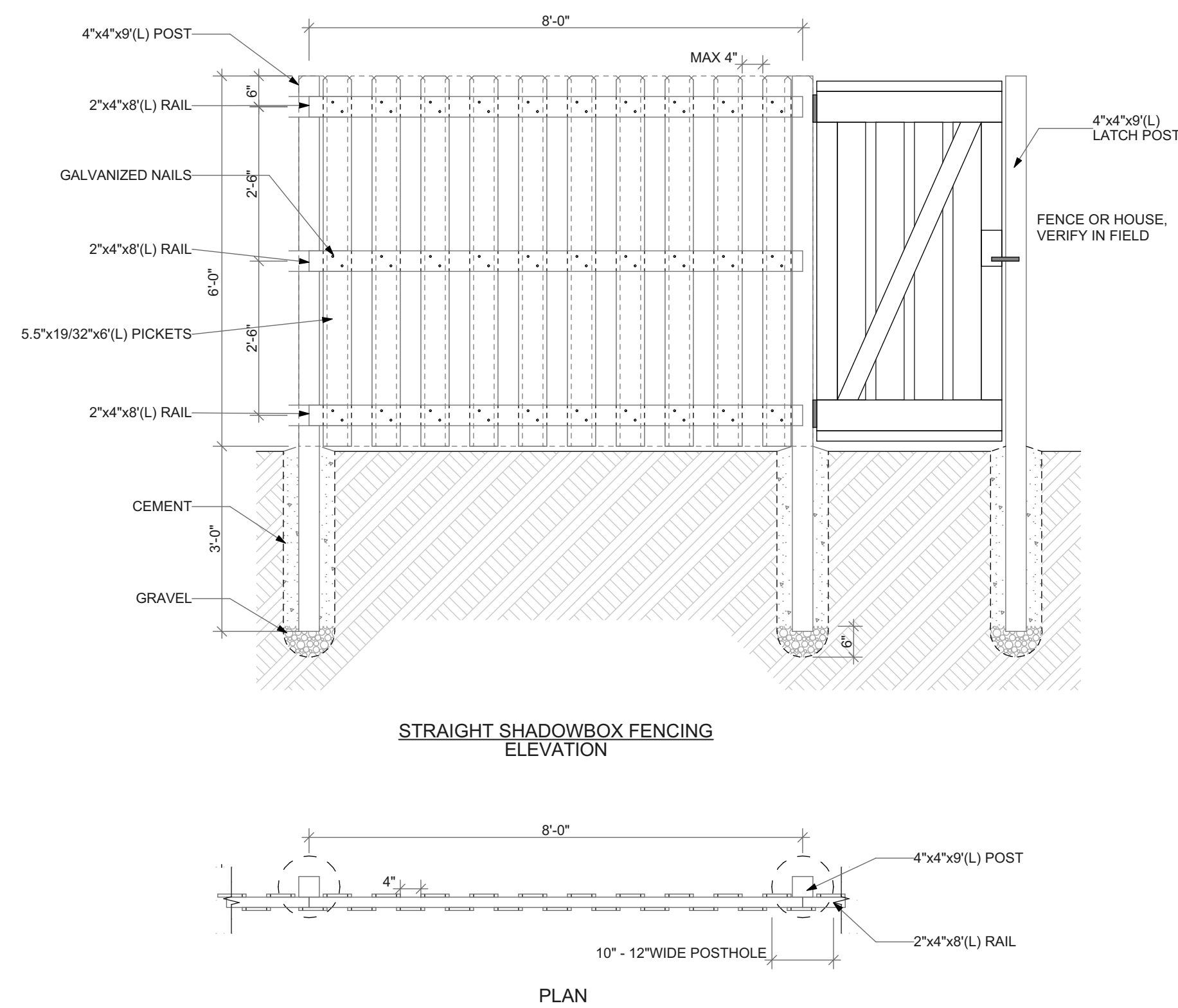
Project #2006



STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

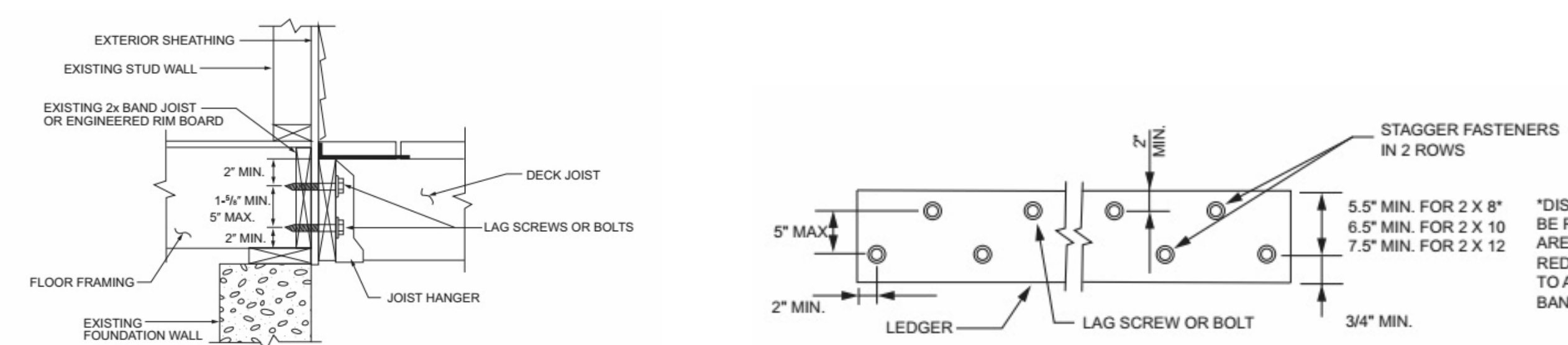
1 DECK SECTION DETAIL

SCALE: 3/4" = 1'-0"

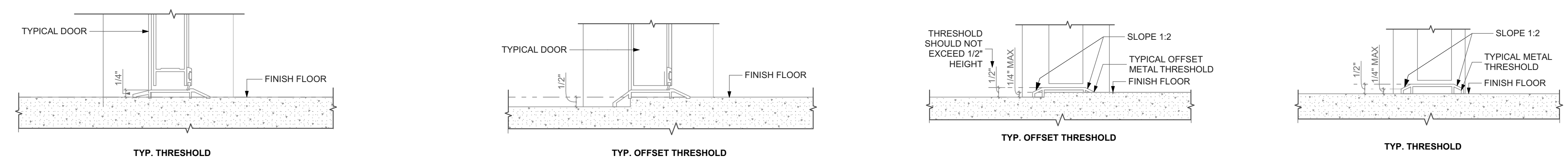
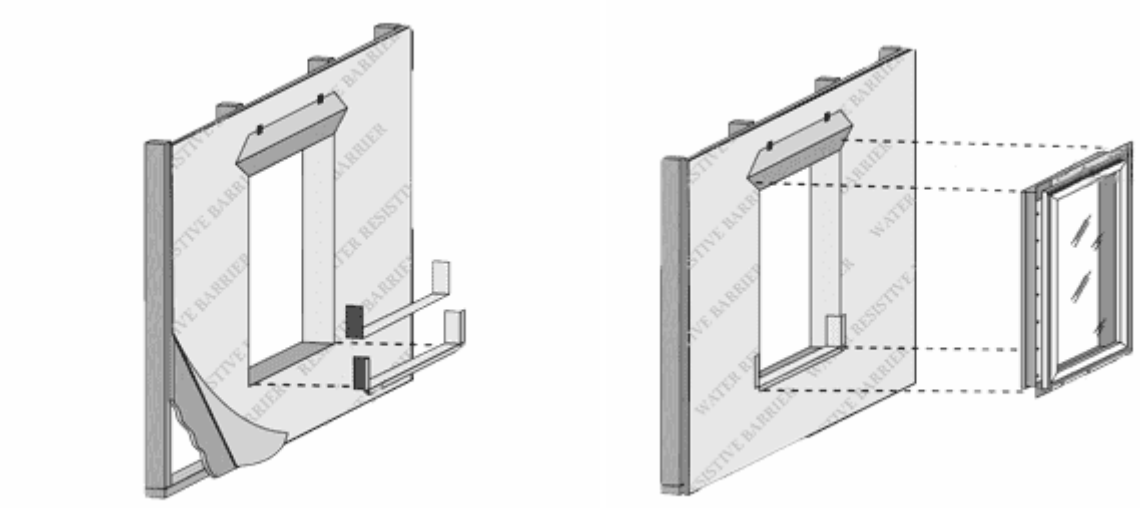
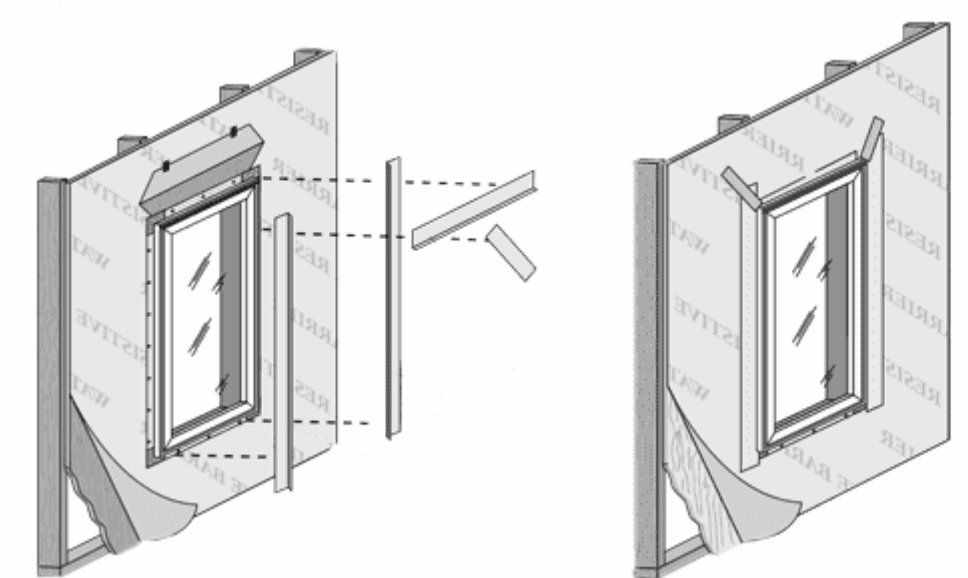


2 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD

SCALE: 3\"/>

5 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

seal

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DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	11	A10
of.	12	
		Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1133 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

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GENERAL DEMOLITION NOTES DEMOLITION PLAN LEGEND GRAPHIC SCALES THIRD FLOOR / DEMO PLAN SECOND FLOOR / DEMO PLAN BASEMENT / DEMO PLAN FIRST FLOOR / DEMO PLAN SMALL UNIT KEYNOTES	
A6 FLOOR/FINISH/MECH/PLUMB. PLANS	
GRAPHIC SCALES FLOOR PLAN LEGEND THIRD FLOOR/FINISH/MECH/PLUMB. PLAN SECOND FLOOR/FINISH/MECH/PLUMB. PLAN BASEMENT/FINISH/MECH/PLUMB. PLAN FIRST FLOOR/FINISH/MECH/PLUMB. PLAN SMALL UNIT KEYNOTES	
A7 REFL. CLG. / POWER / DATA PLANS	
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN SECOND FLOOR REFL. CLG. / POWER / DATA PLAN BSMT REFL. CLG. / POWER / DATA PLAN FIRST FLOOR REFL. CLG. / POWER / DATA PLAN SMALL UNIT KEYNOTES RCP LEGEND	
A8 ELEVATIONS	
NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN KITCHEN ELEVATION01 KITCHEN ELEVATION02	
A10 DETAILS	
DECK ENLARGED DETAILS WINDOW INSTALLATION UNDER VINYL SIDING DECK SECTION DETAIL EXTERIOR DOOR THRESHOLD WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,941 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

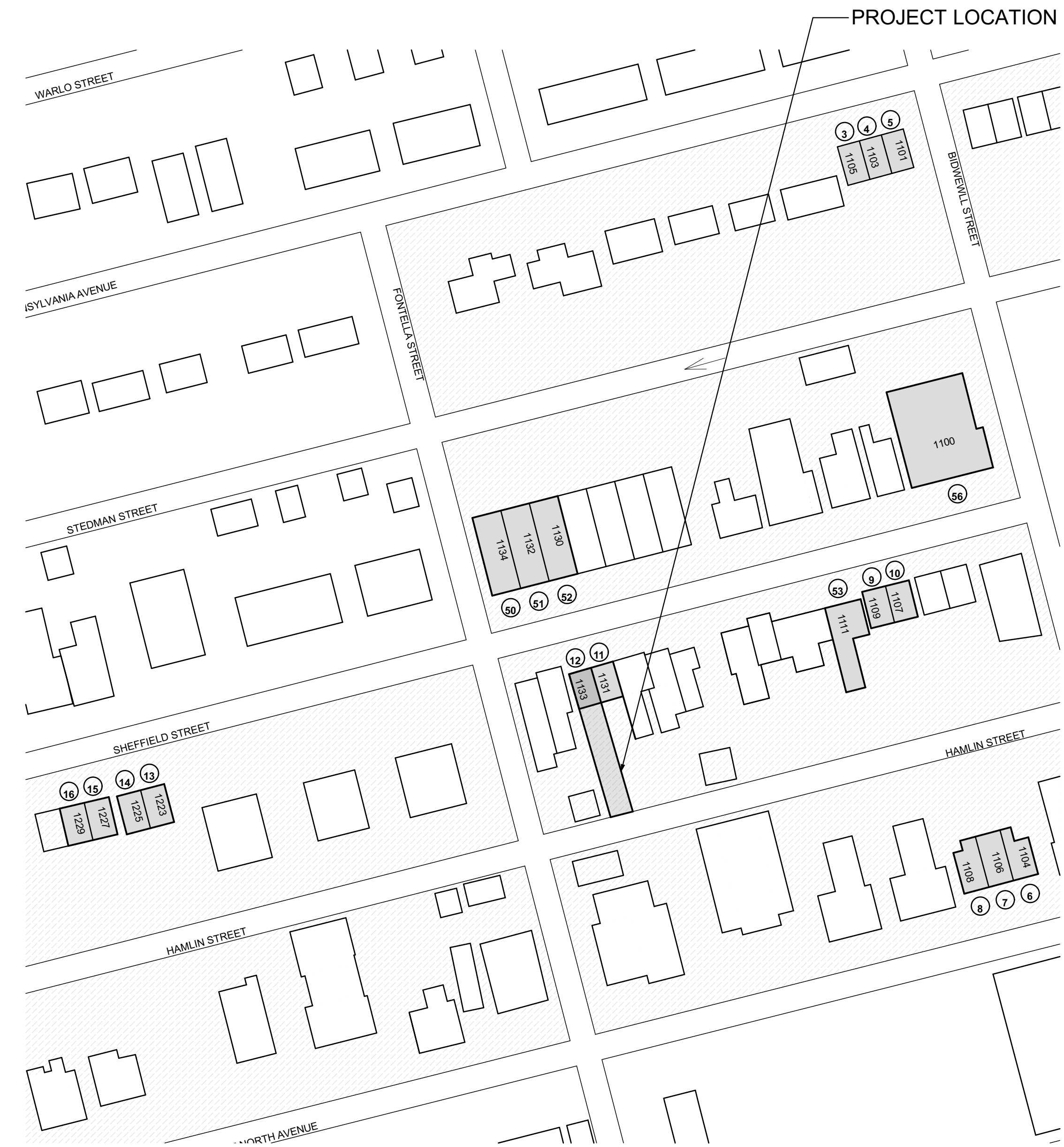
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1133 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale
As Noted

date
May 6, 2022

no. of.

2

12

Sheet No.

A1

Project #2006

seal

general notes

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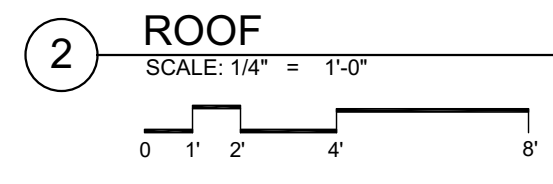
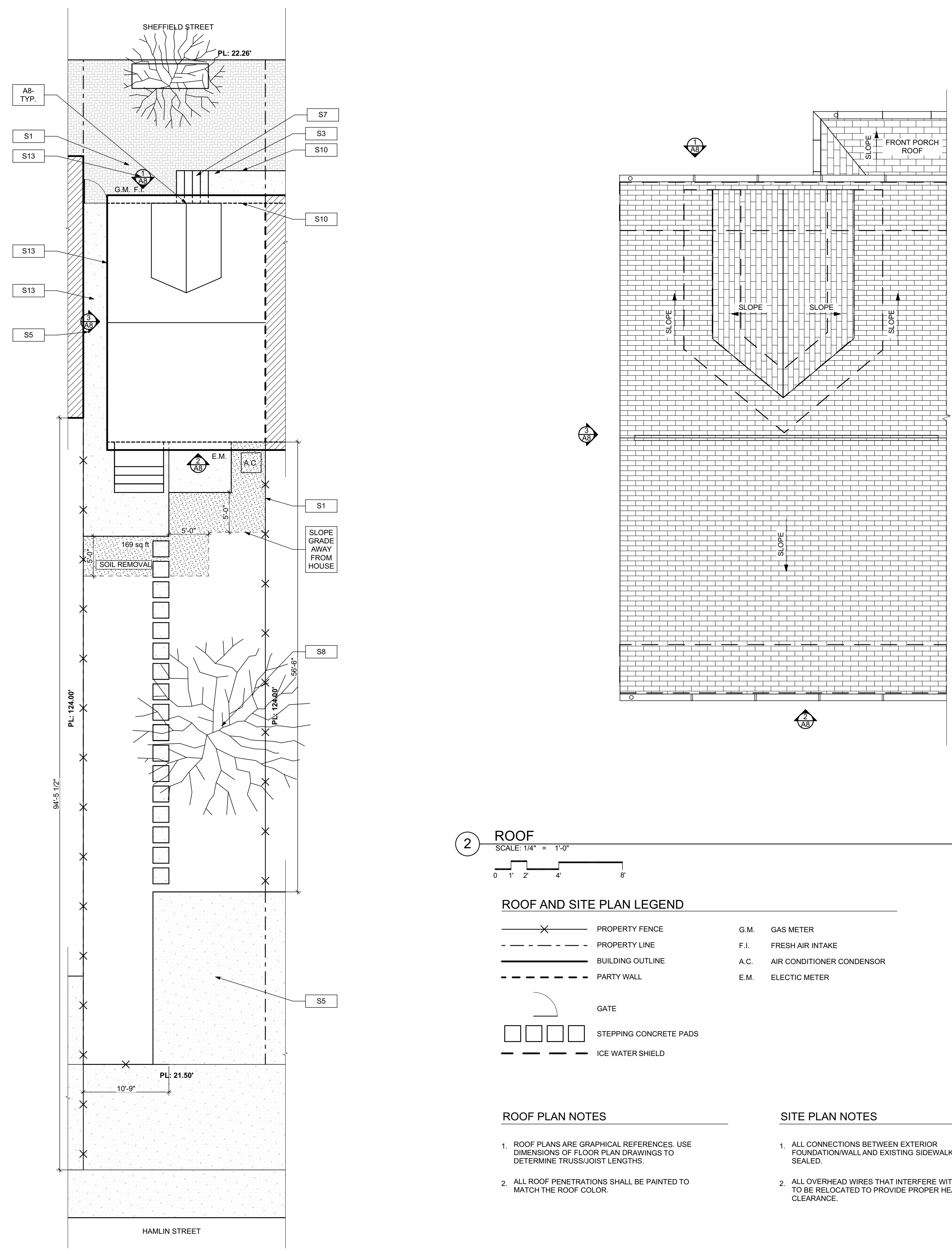
Project Location:
MANCHESTER SCATTERED SITES
1133 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF, ROOF PLAN
NOTES, ROOF AND SITE PLAN
LEGEND, GRAPHIC SCALES,
SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	5	A4 Project #2006
of.	12	

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL TO MEET SLOPE REQUIREMENTS. TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DROIP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODSHEATHING OR SHEATHING AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT ELECTRIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINATOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO EXISTING STRUCTURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



ROOF AND SITE PLAN LEGEND

	PROPERTY FENCE	G.M.	GAS METER
	PROPERTY LINE	F.I.	FRESH AIR INTAKE
	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
	PARTY WALL	E.M.	ELECTIC METER
	GATE		
	STEPPING CONCRETE PADS		
	ICE WATER SHIELD		

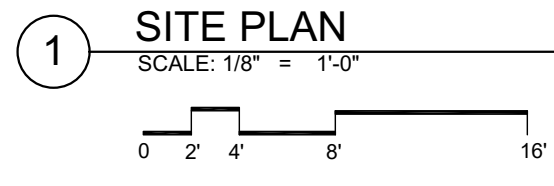
ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



1 SITE PLAN
SCALE: 1/8" = 1'-0"



PLAN NORTH

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.

3. All work shall be installed in accordance with applicable codes and regulations.

4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.

5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.

6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1133 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

BASEMENT/FINISH/MECH./PLUMB. B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

scale As Noted

date May 6, 2022

no. 7 of 12

Sheet No. A6

Project #2006

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REVEAL TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. RE-SEED TO MATCH EXISTING VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN CONCRETE AND WALKWAY. PROVIDE TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT. PROVIDE NEW CONCRETE. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TIE. CONCAUSE AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH 5/8" JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENT, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH 5/8" JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT OUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE UP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

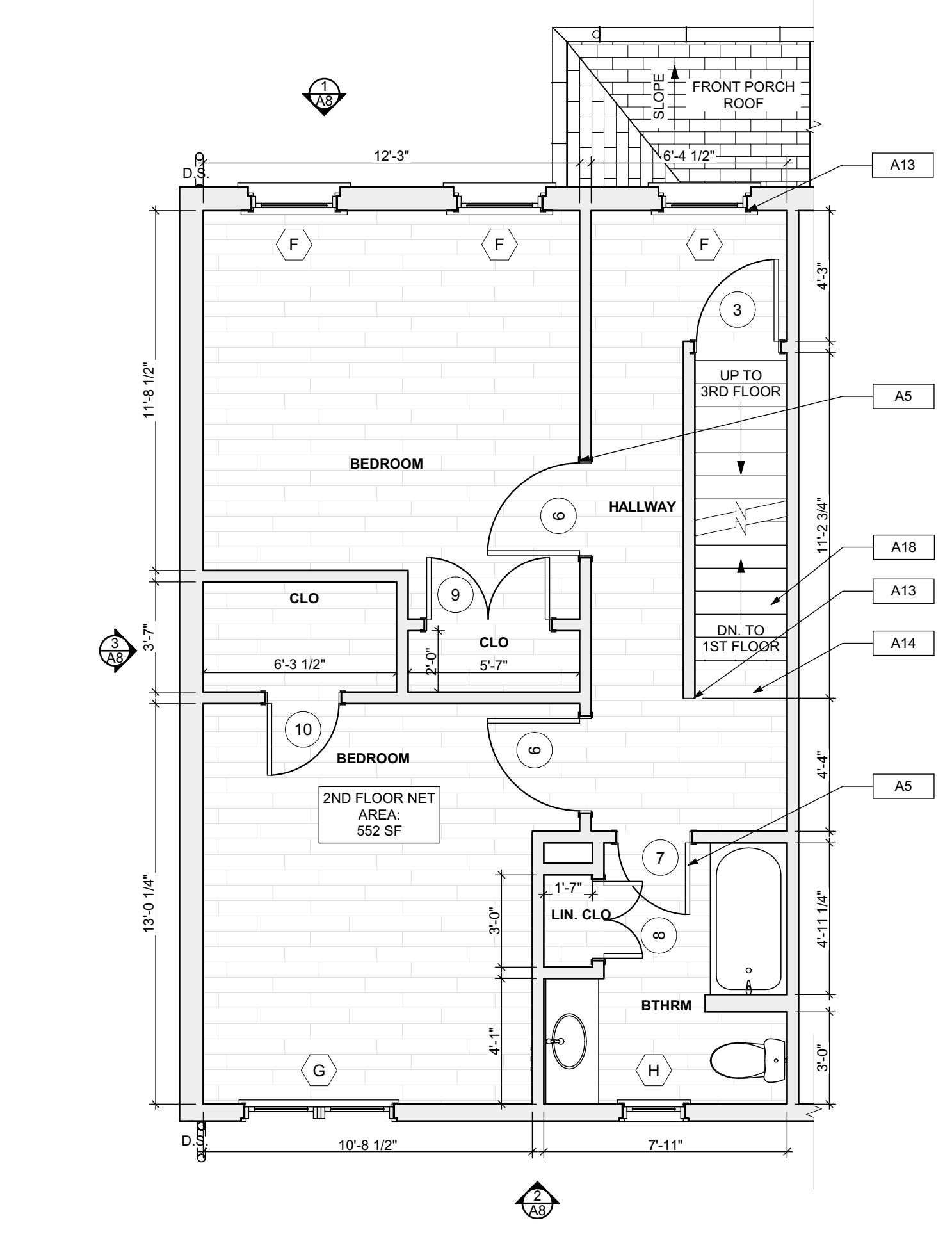
- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A12 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A13 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A14 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A15 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM DRAINAGE OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A16 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS TO BE REPLACED AS NECESSARY. AT WINDOWS, REPAIR OR REPLACE AS NECESSARY. AT TILE WALLS, REMOVE DRYWALL, REPAIR OR REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A17 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A19 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A20 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CROMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A21 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2XX11 SPREAD FOOTING AND APPROPRIATE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A22 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A23 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A24 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A25 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A26 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A27 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

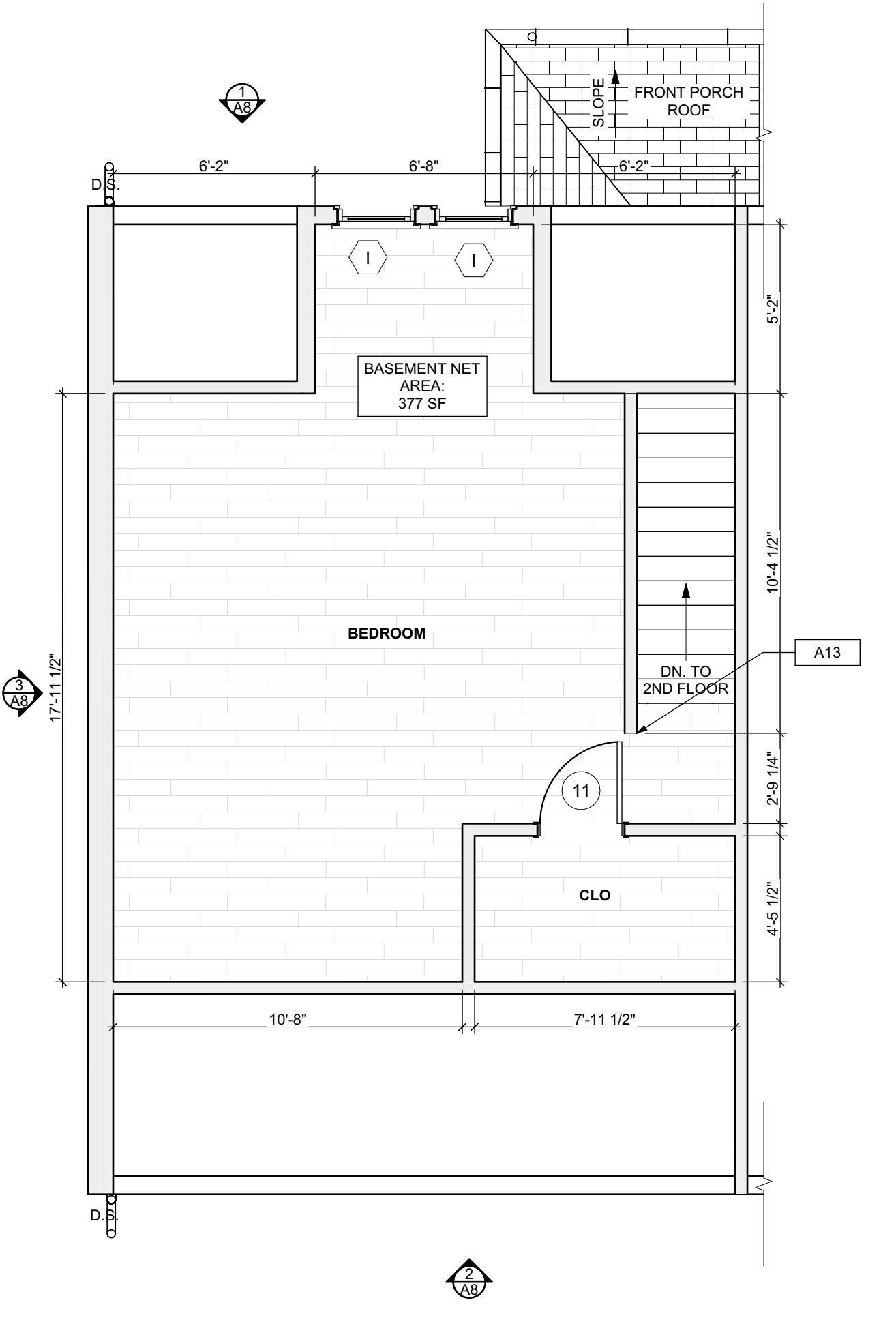
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

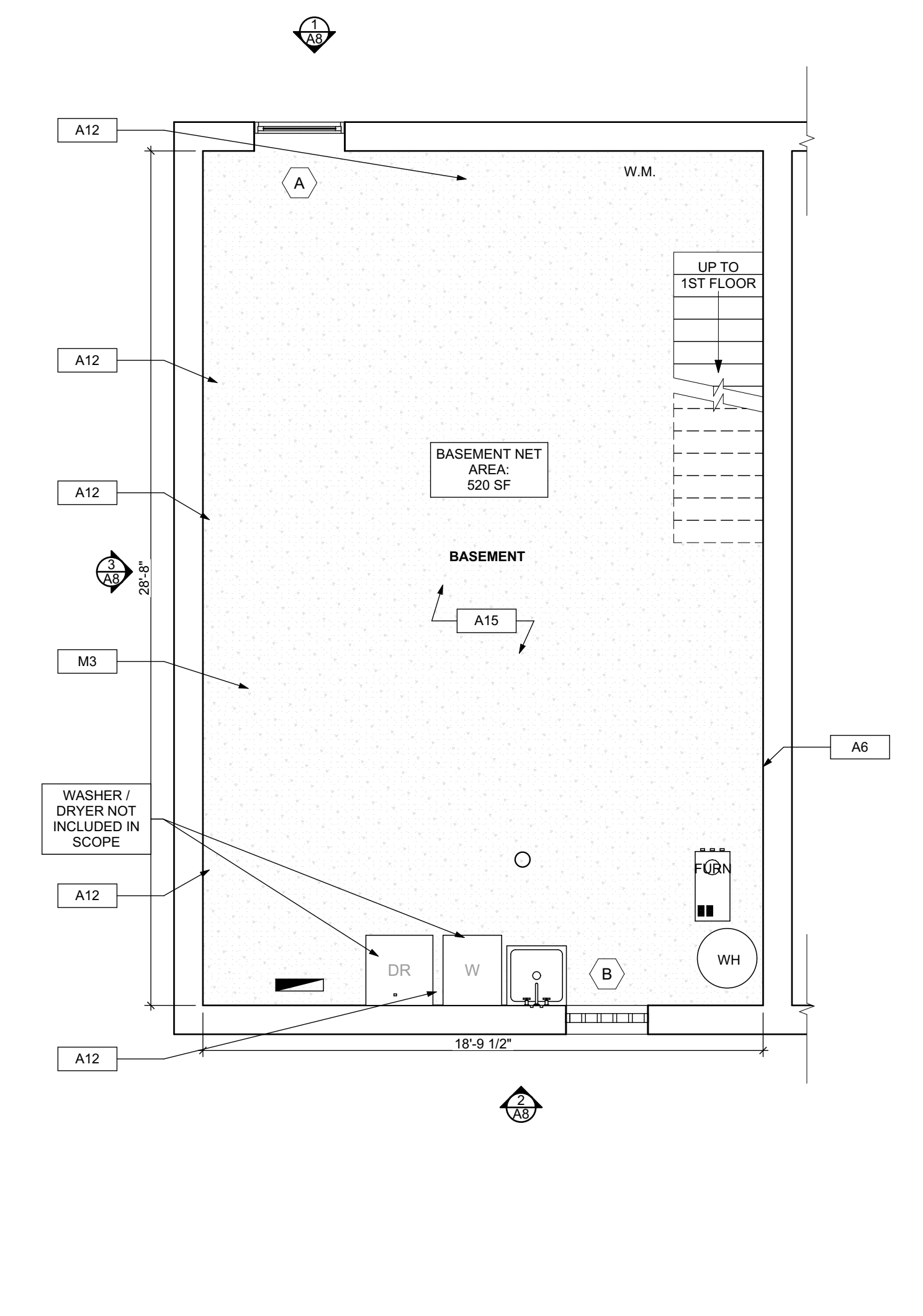
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT OR PURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DUCT INSULATION IN SPACE TO MITIGATE MOISTURE CONTROL. REFER TO DETAIL DRAWINGS FOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



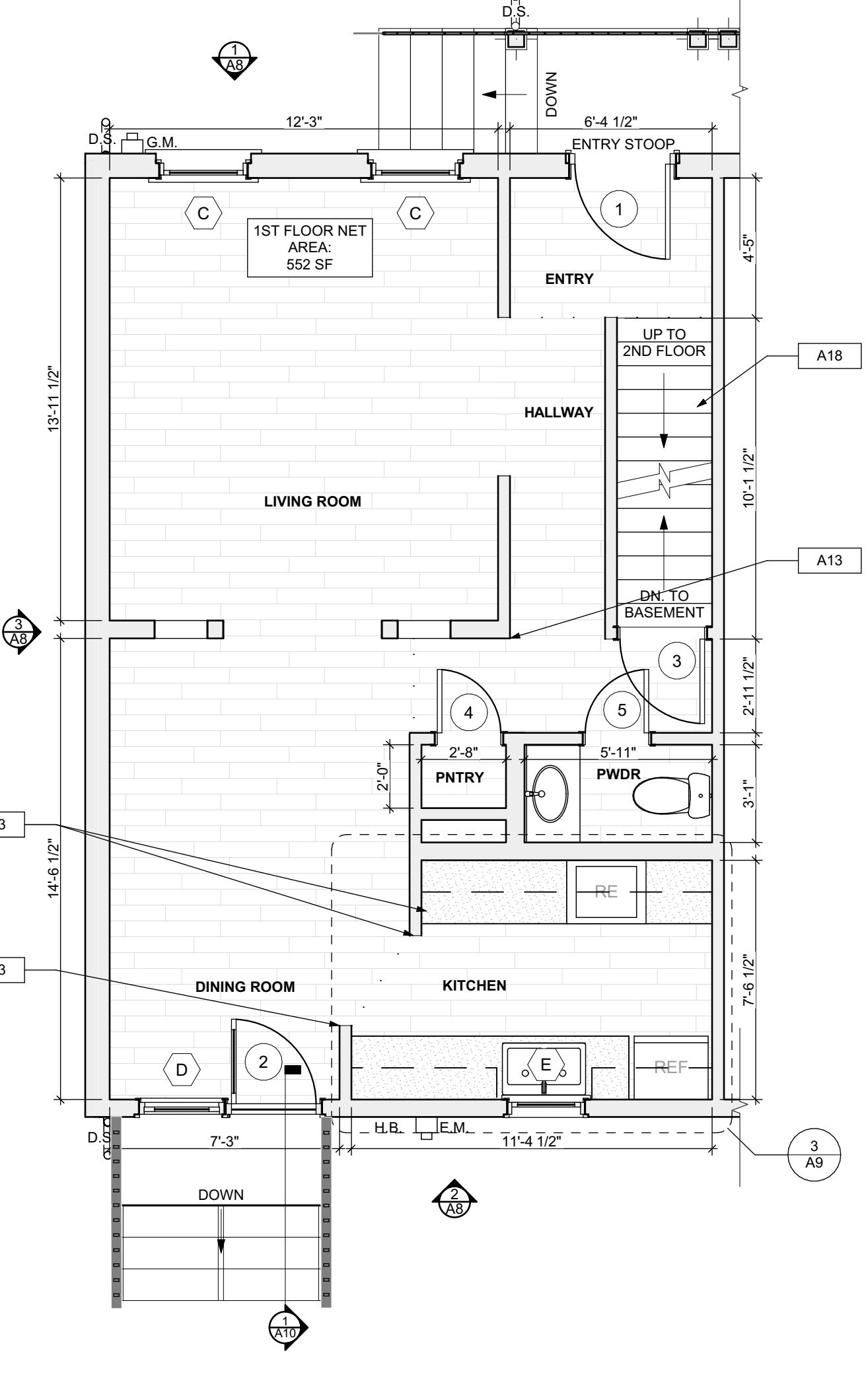
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



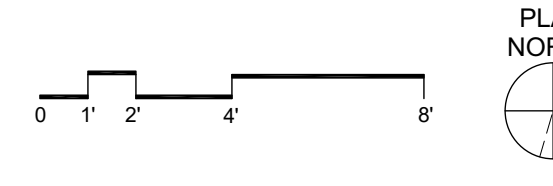
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

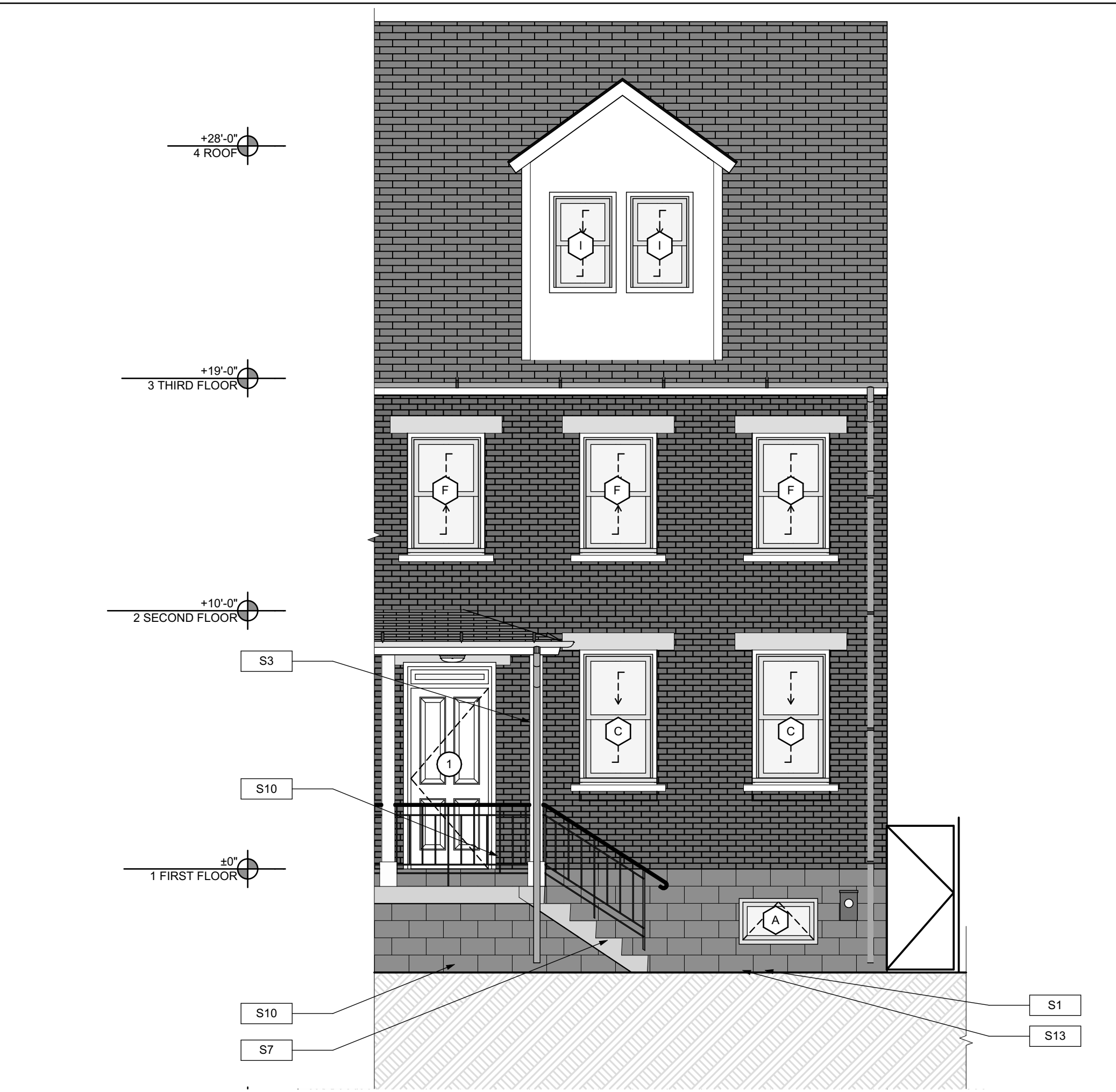
FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

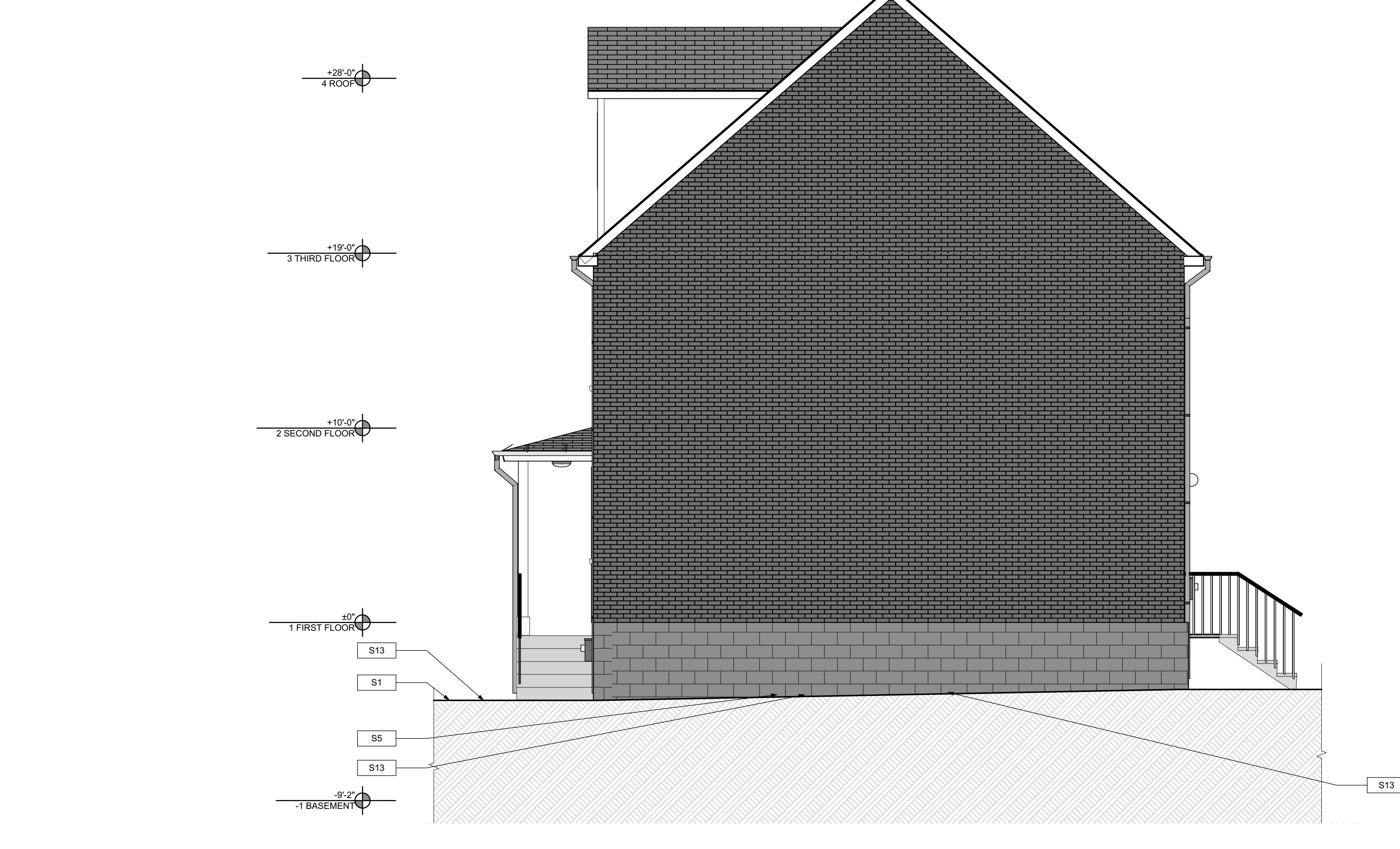




2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



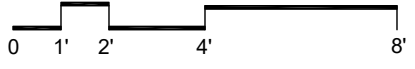
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. GRAV. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL. POUR CONCRETE TO SLOPE TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHOR. EXISTING PORCH AND REMOVE OUT OF CONSTRUCTION. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH 1/2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLEARANCE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS, JOISTS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAW CUT FLOORING AS FOR NEW STANDARD 2"x4". SPREAD FOOTING AND APPLY EXISTING OR FLAT. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BRUSHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTROLLED. REPAIR OR REPLACE AS NECESSARY. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

- general notes**
1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies before additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 3. All work shall be installed in accordance with applicable codes and regulations.
 4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

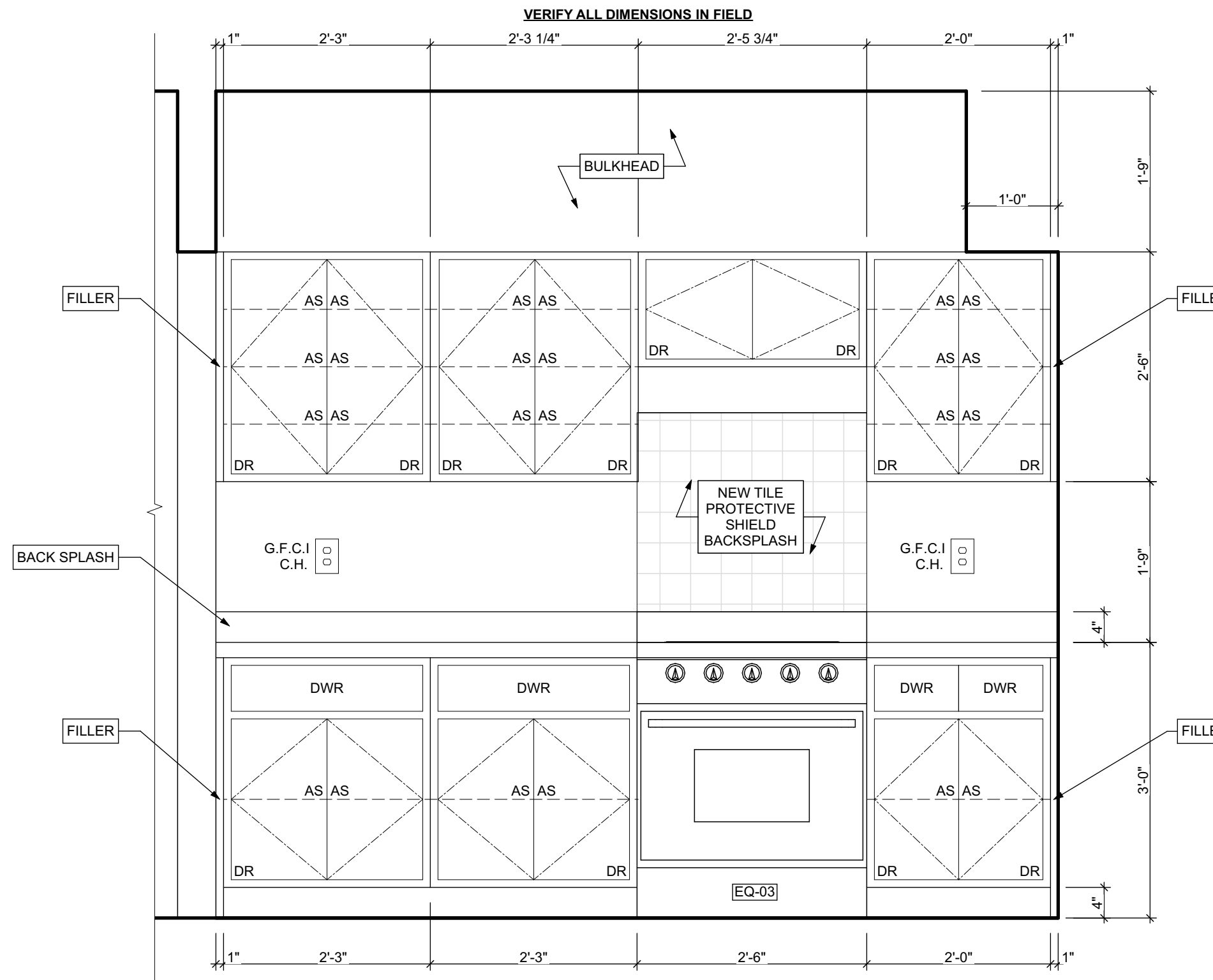
- revisions**
- ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

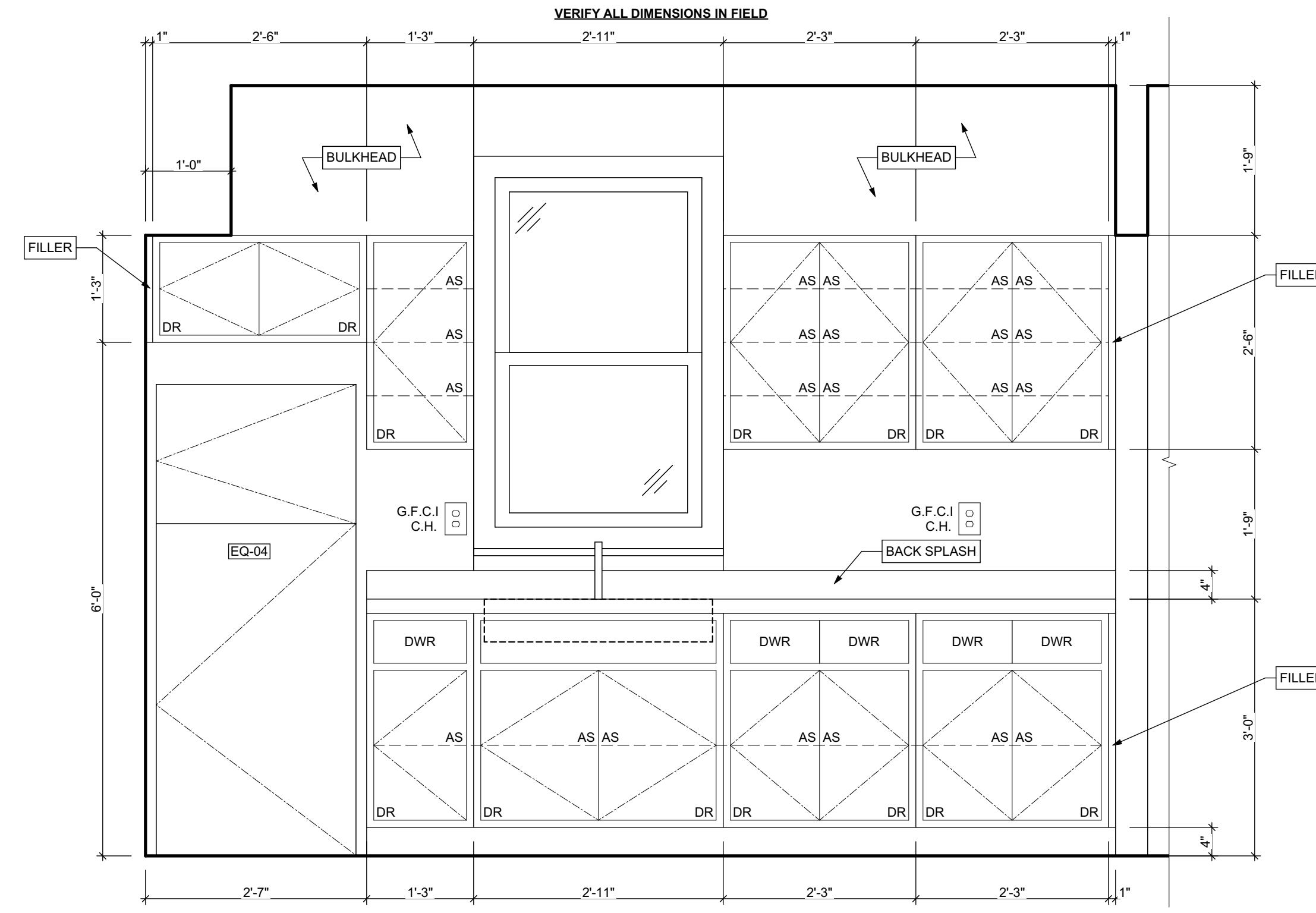
Project Location:
MANCHESTER SCATTERED SITES
1133 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title
NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

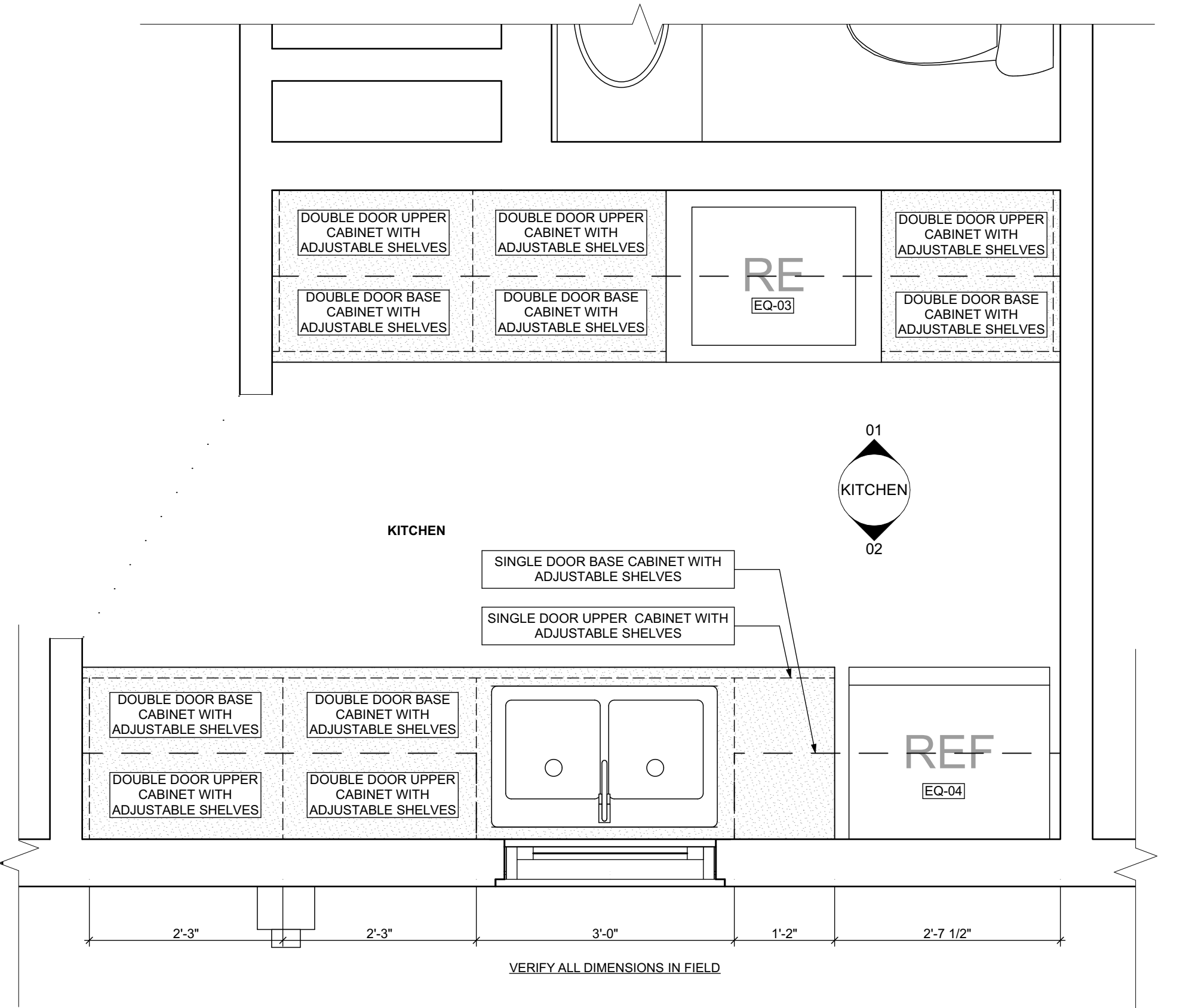
scale As Noted		Sheet No. <h1>A8</h1> Project #2006	
date May 6, 2022			
9	12		



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	1	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLT EX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	Electric hot water pump power direct vent

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1EBF2D00B	black 18", type 18MSTA

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 60/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	0	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	0	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391 S.020	Princeton 30W x 60" L, White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T834ZEP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. REF TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITIES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

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HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1133 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 02,
KITCHEN ELEVATION 01,
FIRST FLOOR KITCHEN ENLARGED
PLAN

scale
As Noted

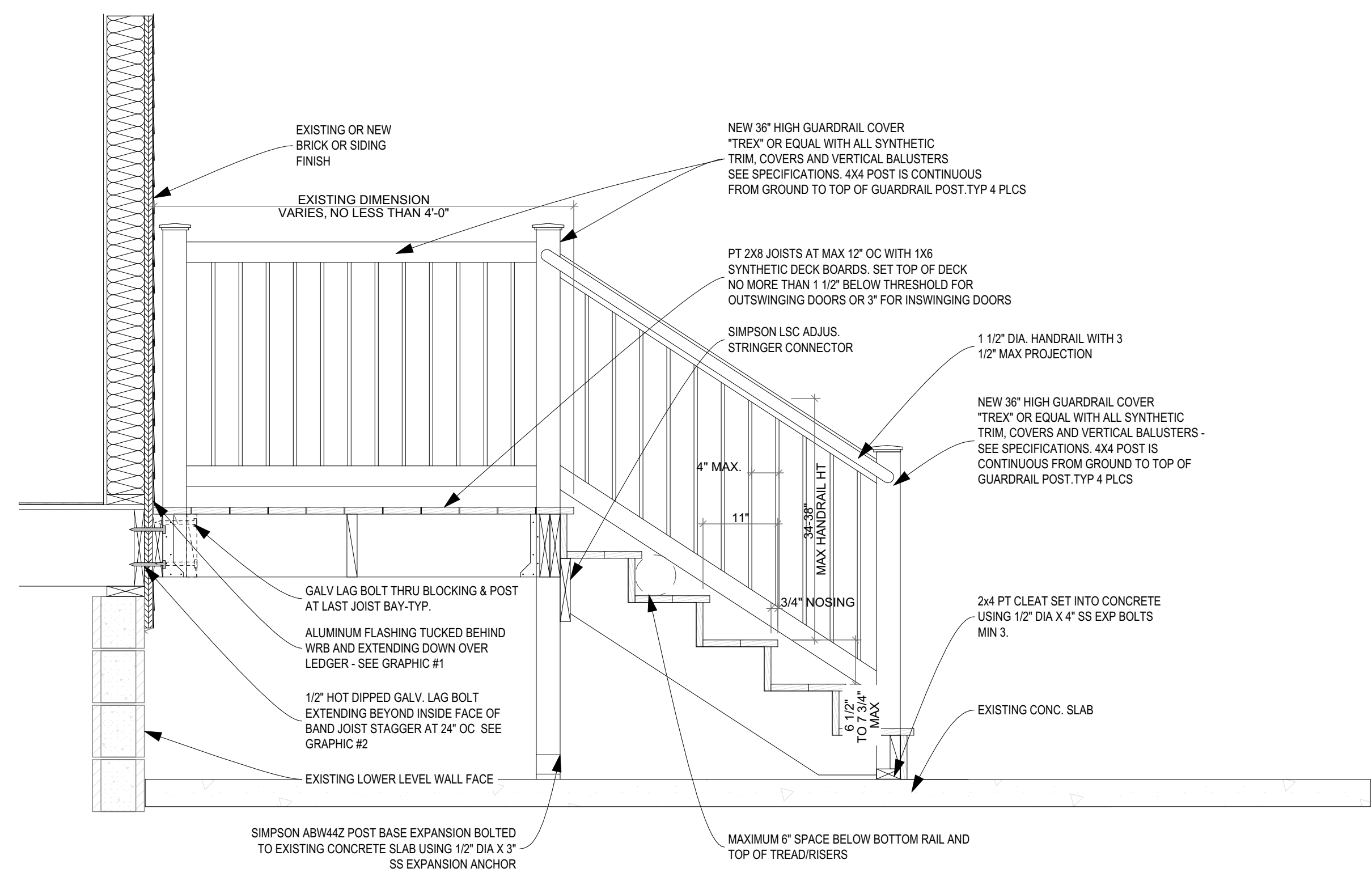
date
May 6, 2022

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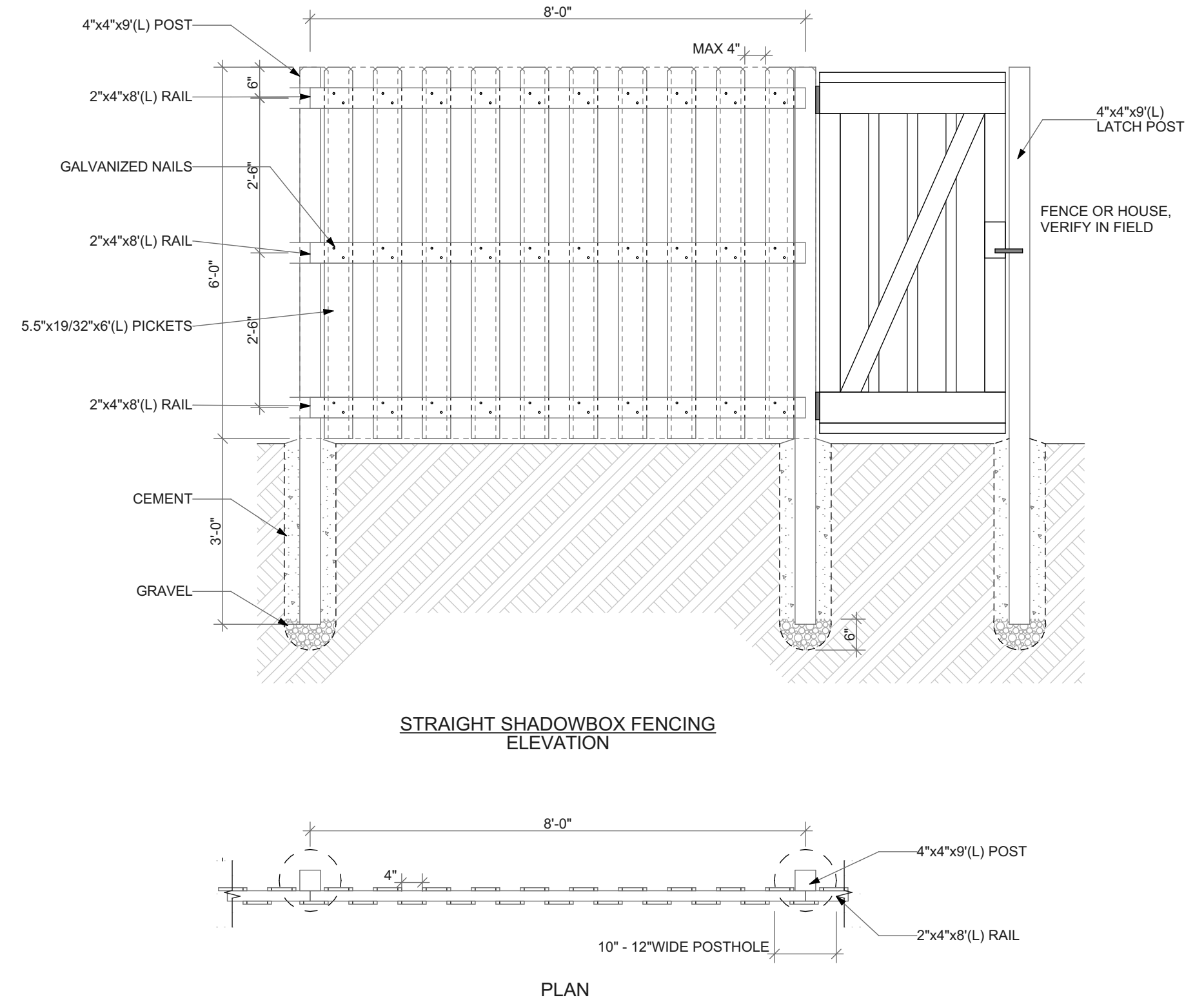
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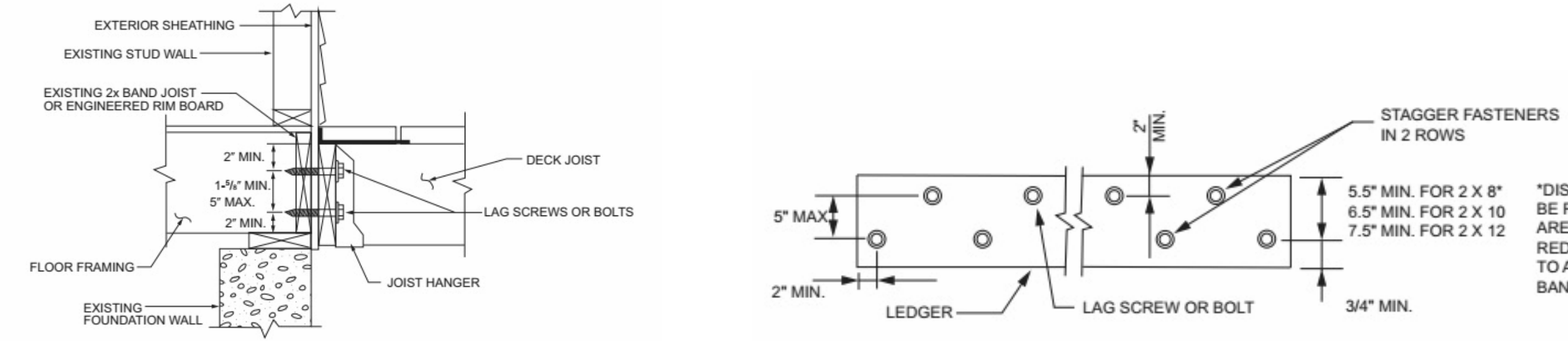
Project #2006



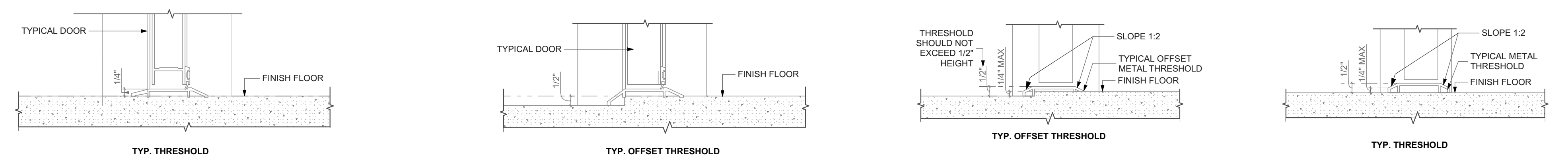
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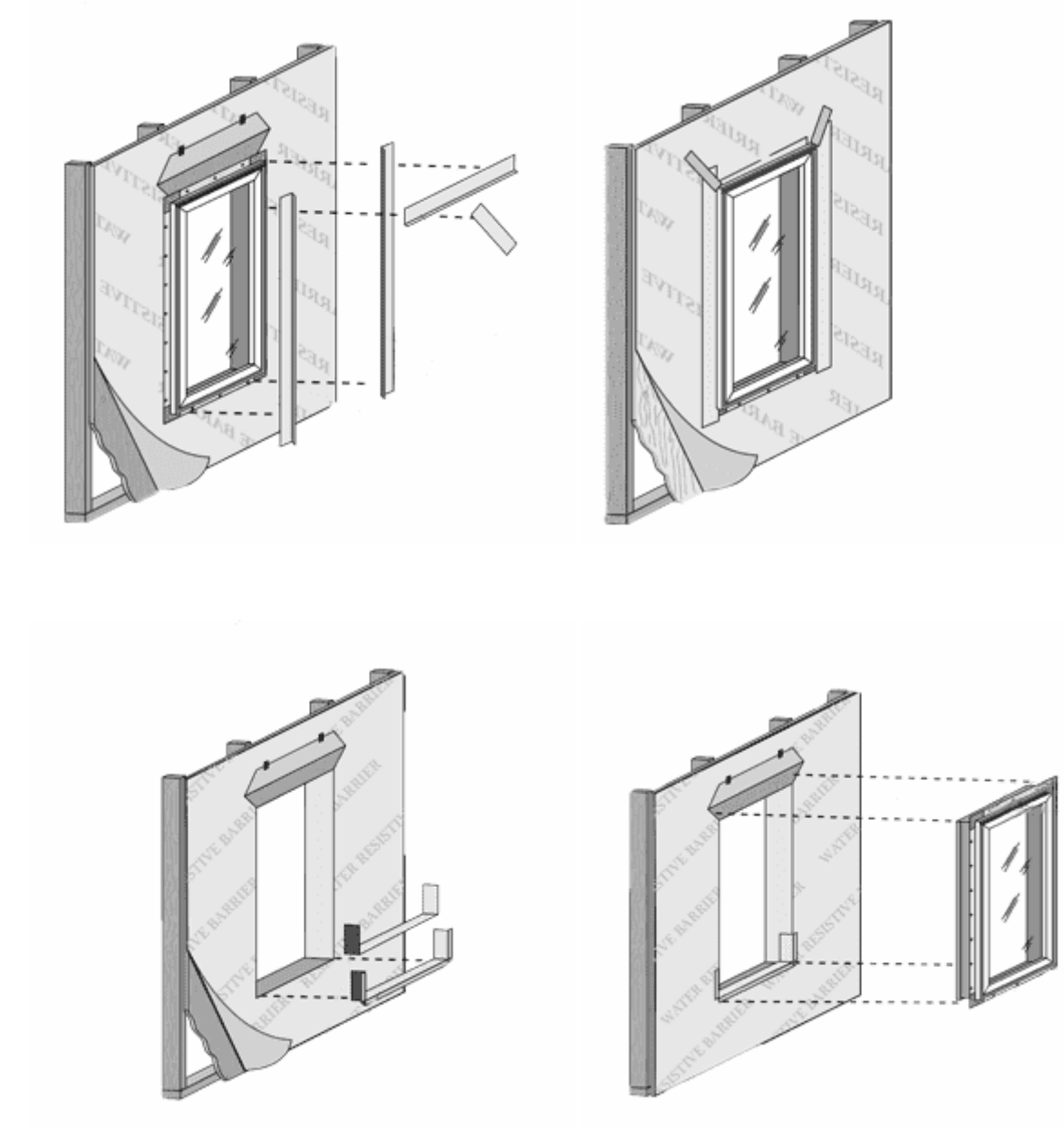
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

general notes

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drawing title

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15233

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1223 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

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A4 SITE PLAN AND ROOF PLAN	
ROOF	
SITE PLAN	
ROOF AND SITE PLAN LEGEND	
ROOF PLAN NOTES	
GRAPHIC SCALES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
GRAPHIC SCALES	
GENERAL DEMOLITION NOTES	
DEMOLITION PLAN LEGEND	
SMALL UNIT KEYNOTES	
THIRD FLOOR / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
BASEMENT / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
A6 FLOOR/FINISH/MECH/PLUMB. PLANS	
FIRST FLOOR-FINISH/MECH./PLUMB. PLAN	
BASEMENT-FINISH/MECH./PLUMB. PLAN	
GRAPHIC SCALES	
FLOOR PLAN LEGEND	
THIRD FLOOR-FINISH/MECH./PLUMB. PLAN	
SECOND FLOOR-FINISH/MECH./PLUMB. PLAN	
SMALL UNIT KEYNOTES	
A7 REFL. CLG. / POWER / DATA PLANS	
GRAPHIC SCALES	
LIGHTING SCHEDULE	
SMALL UNIT KEYNOTES	
RCP LEGEND	
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
BASEMENT REFL. CLG. / POWER / DATA PLAN	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
A8 ELEVATIONS	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
EAST ELEVATION	
SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION01	
KITCHEN ELEVATION02	
A10 DETAILS	
DECK ENLARGED DETAILS	
WINDOW INSTALLATION UNDER VINYL SIDING	
DECK SECTION DETAIL	
EXTERIOR DOOR THRESHOLD	
WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,995 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	5

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 205 Ross Street Pittsburgh, PA 15219 mackenzie.pleskovic@haacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpce.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1223 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale
As Noted

date
May 6, 2022

no. of.

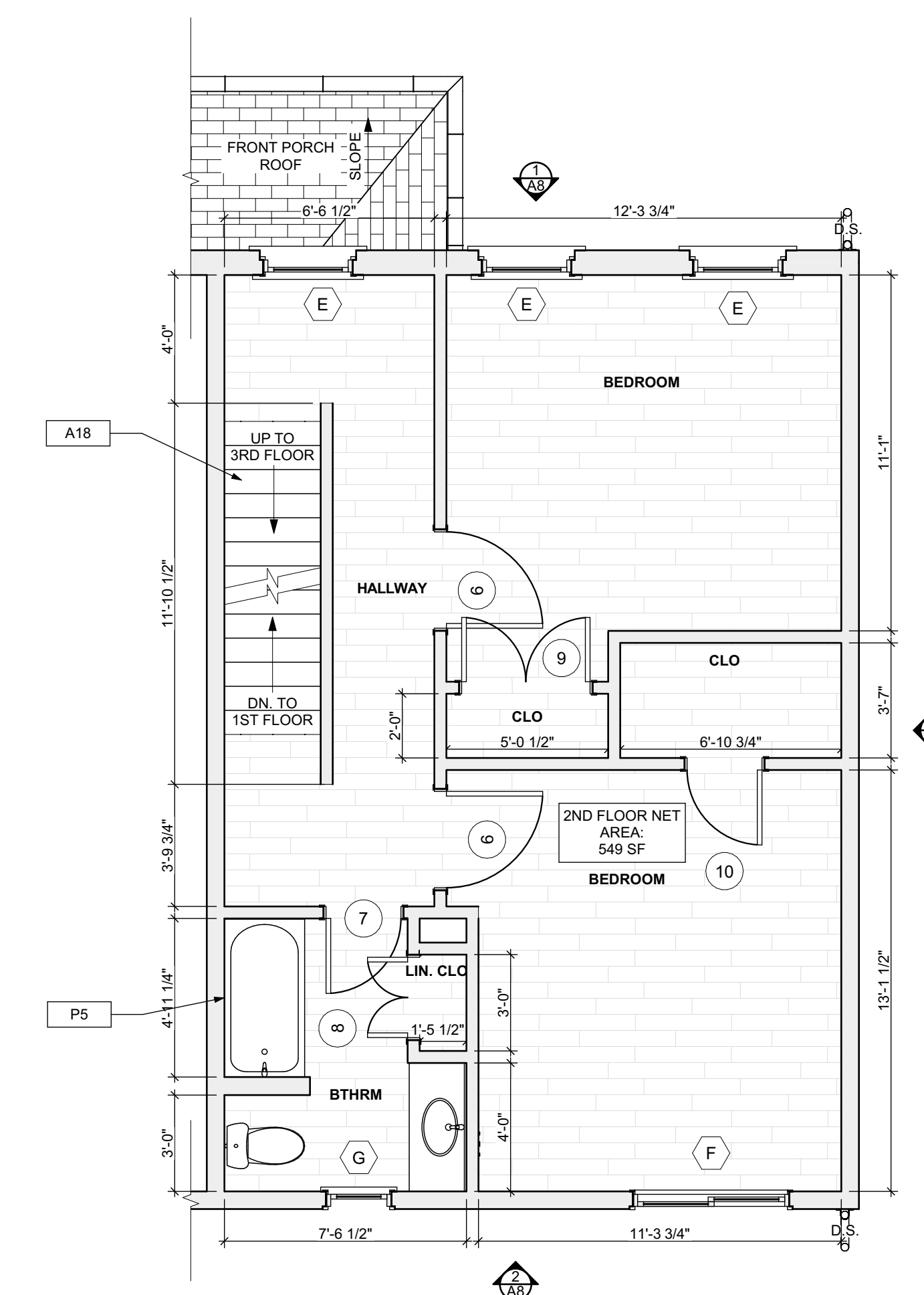
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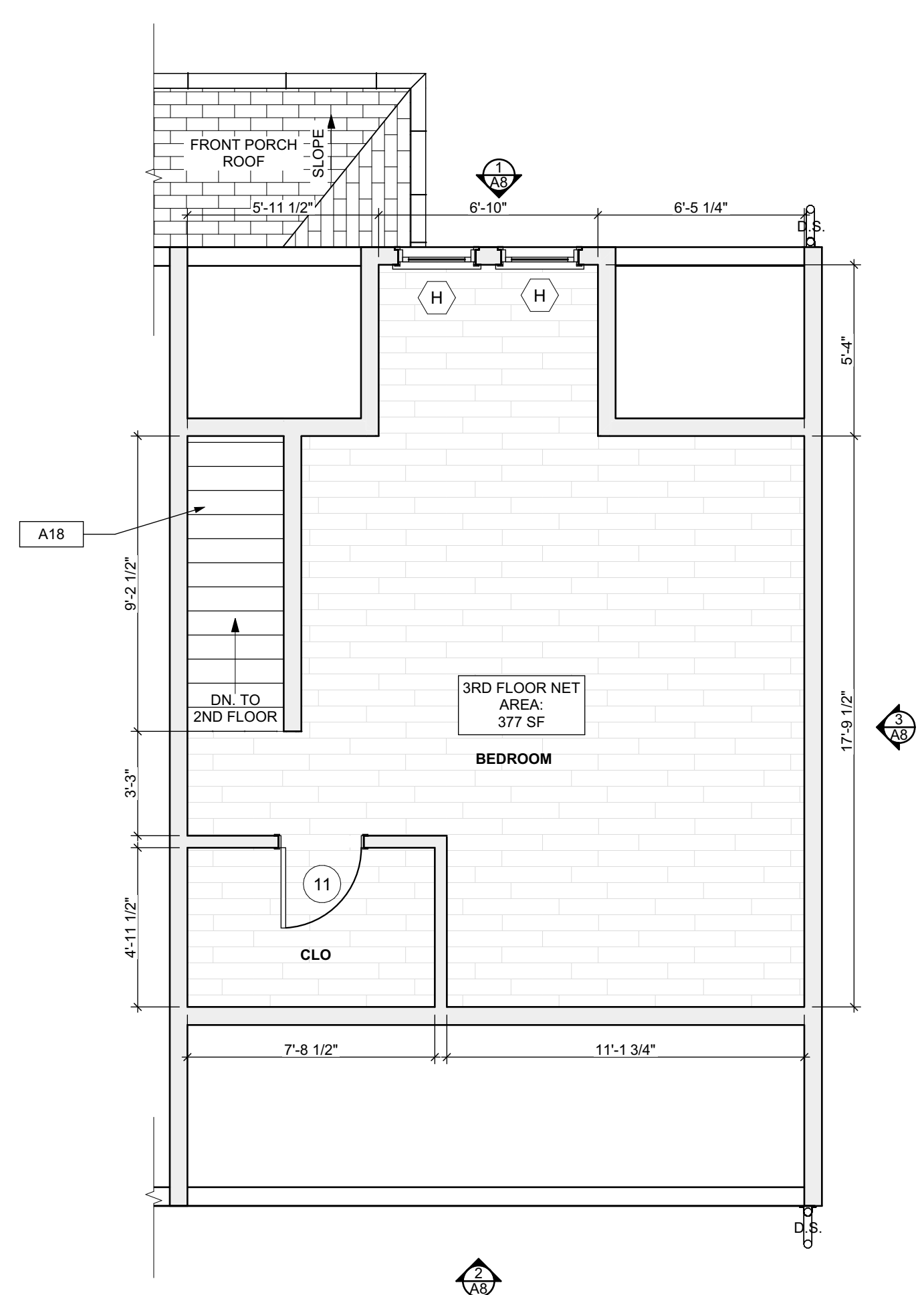
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A1

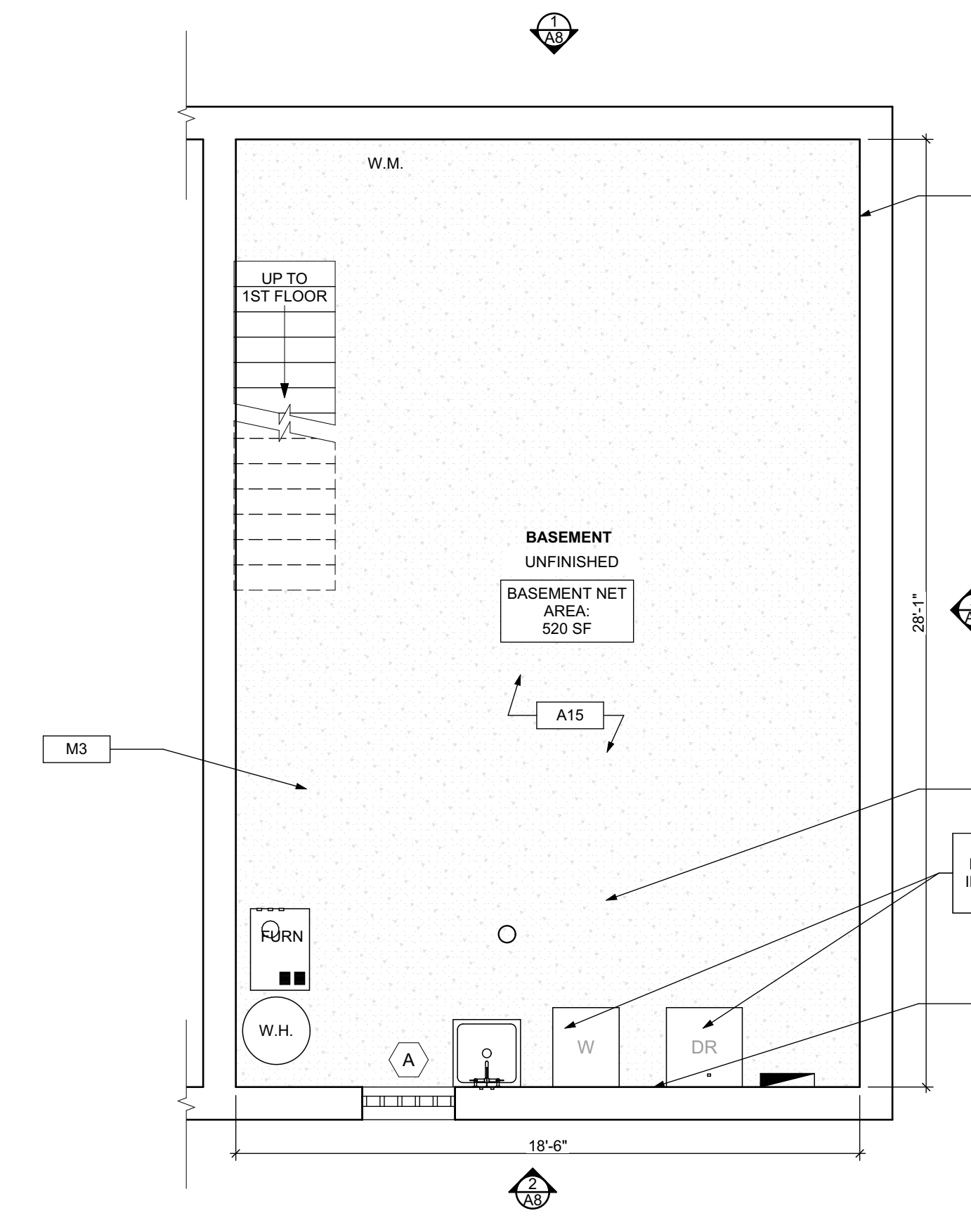
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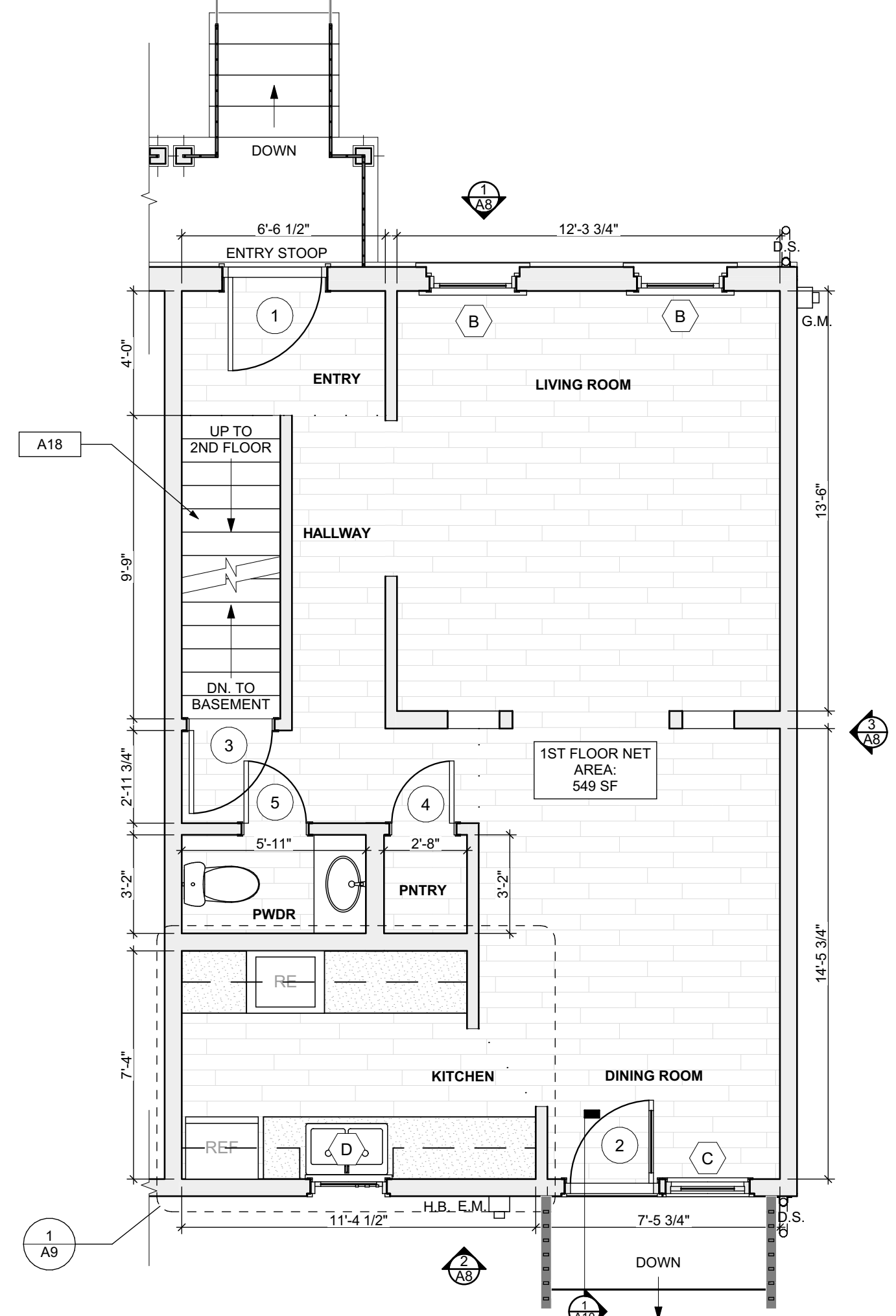
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

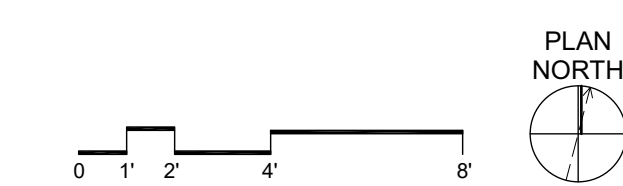


2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- E.M. ELECTRIC METER
- H.B. HOSE BIBB
- DRYER

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY AND RED LAYER TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S21 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S23 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT. PROVIDE NEW CONCRETE. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S24 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S25 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S26 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S27 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S28 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S29 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S30 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S31 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S32 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE CLEAR HEIGHT OF 12" MIN.
- S33 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S34 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOOR FINISHES. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WITH WATER RESISTANT TILE. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LATH FOR NEW STANDARD 2X4X1" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELUMINESCER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

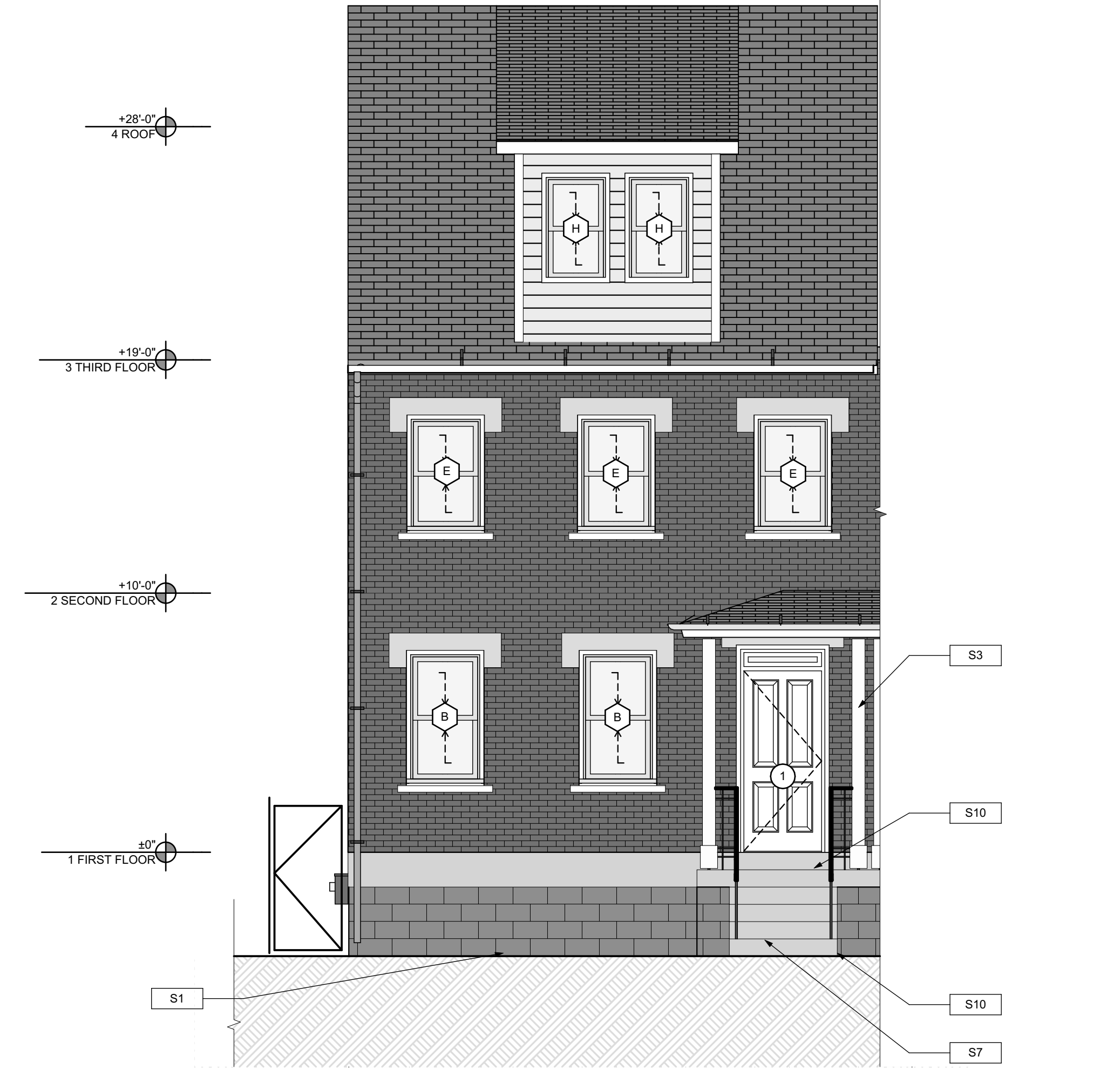
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1223 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

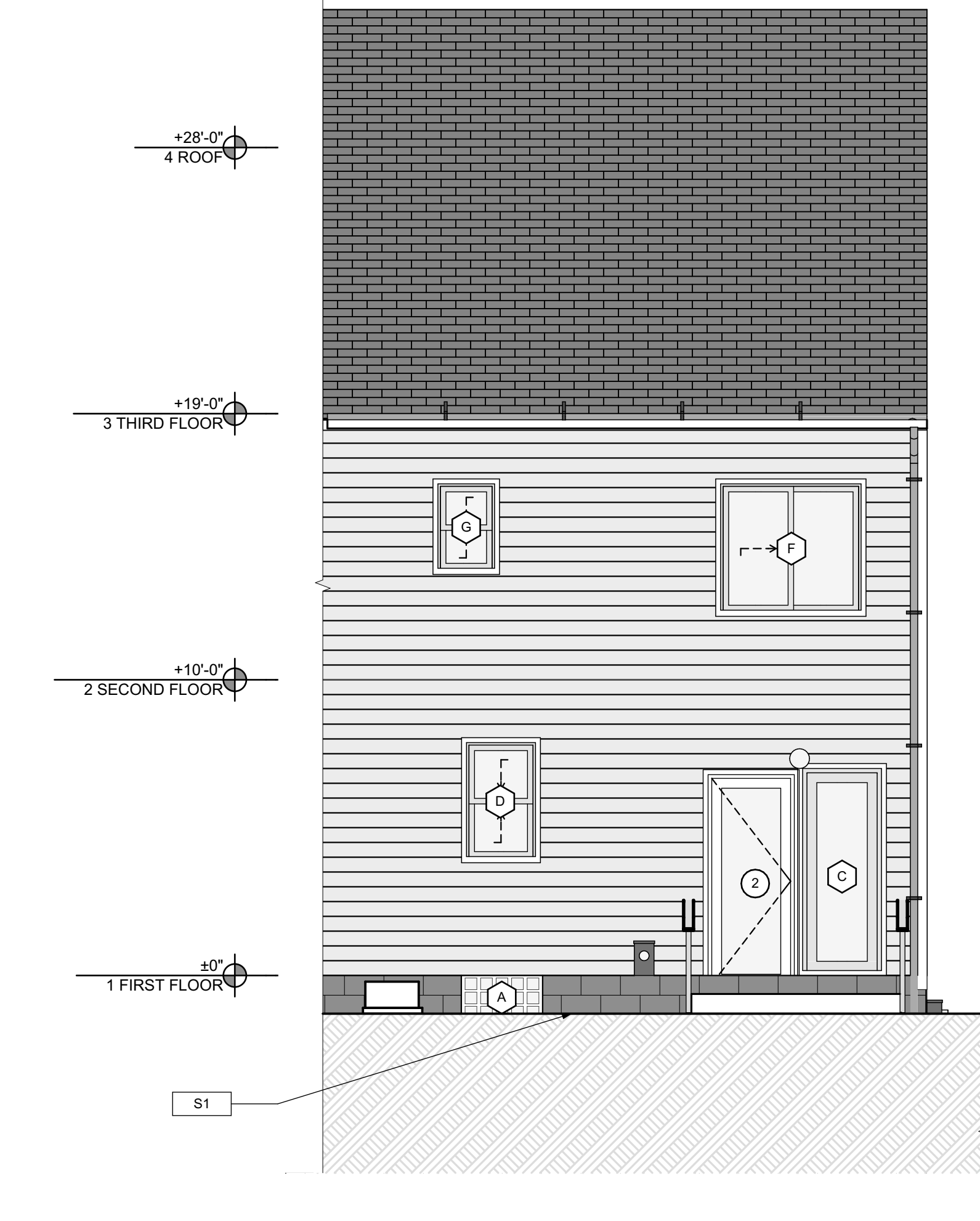
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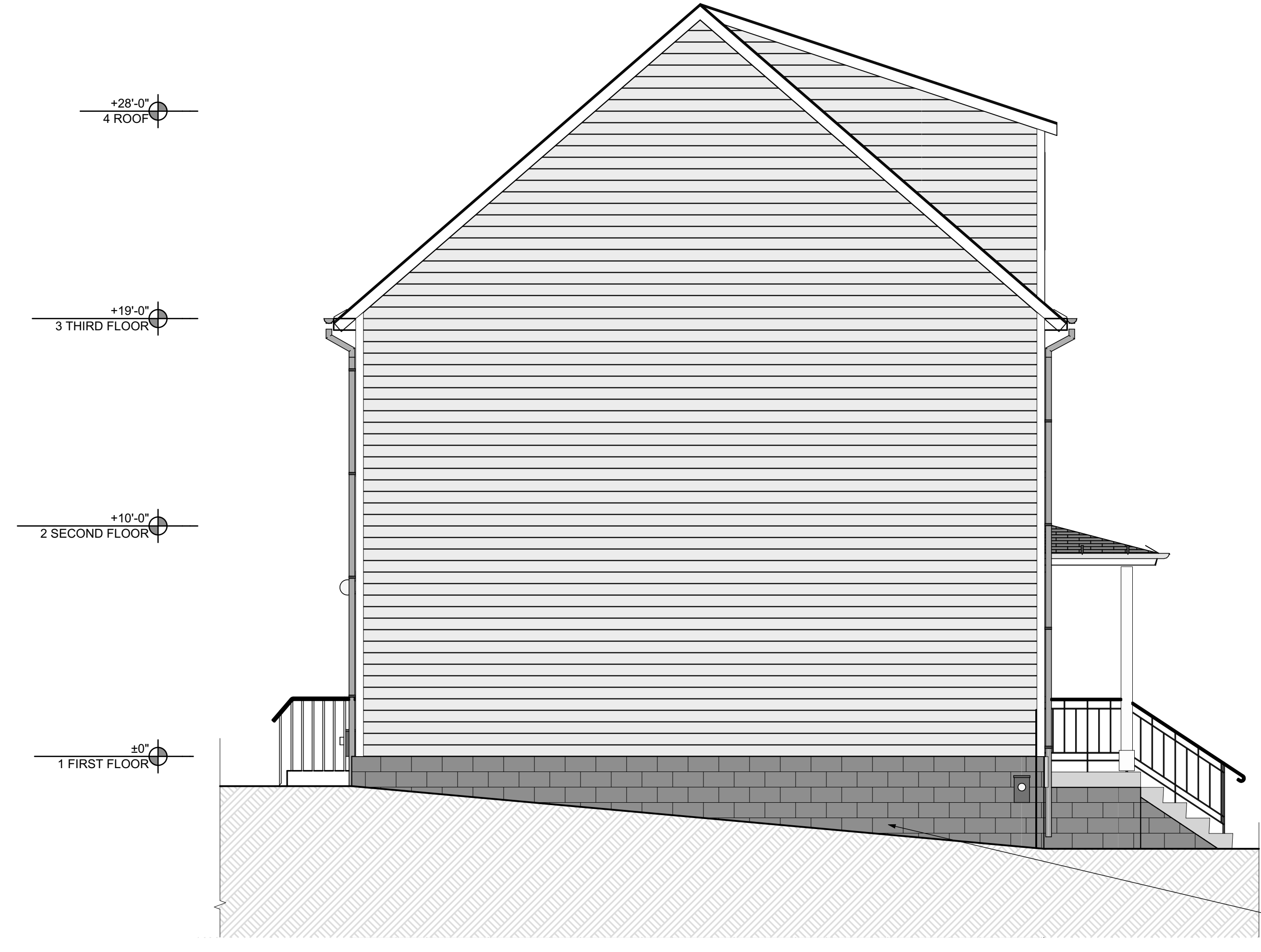
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date	May 6, 2022	
no.	7	of. A6 Project #2006
	12	



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



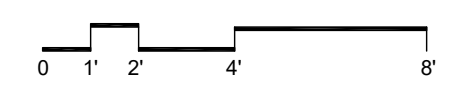
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 10' OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF BEARING SUPPORT. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BAYERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND HEADERS AS NECESSARY AT WINDOWS, DOORS, AND ALL TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTROL. PROVIDE DELIMITOR. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

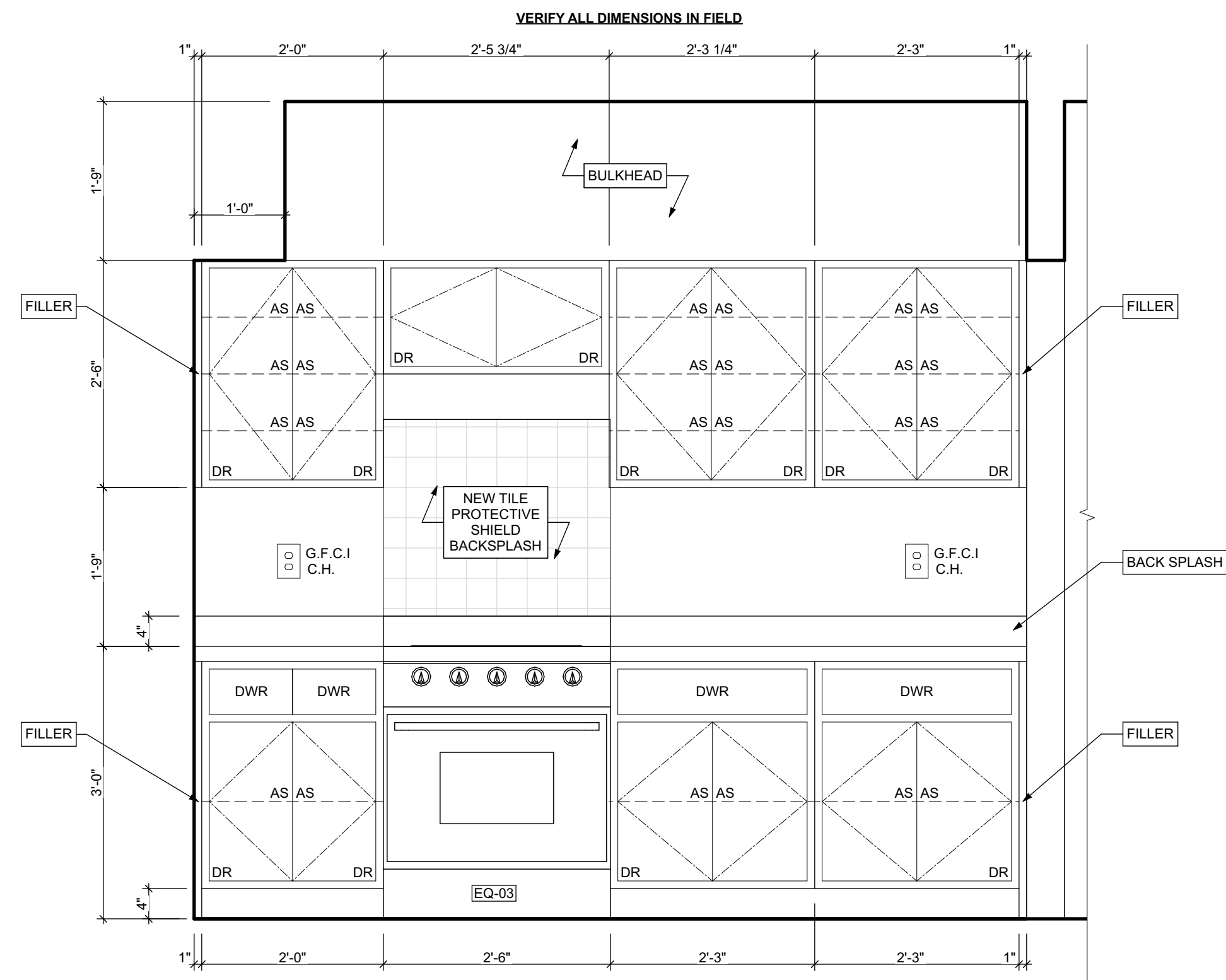
Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1223 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

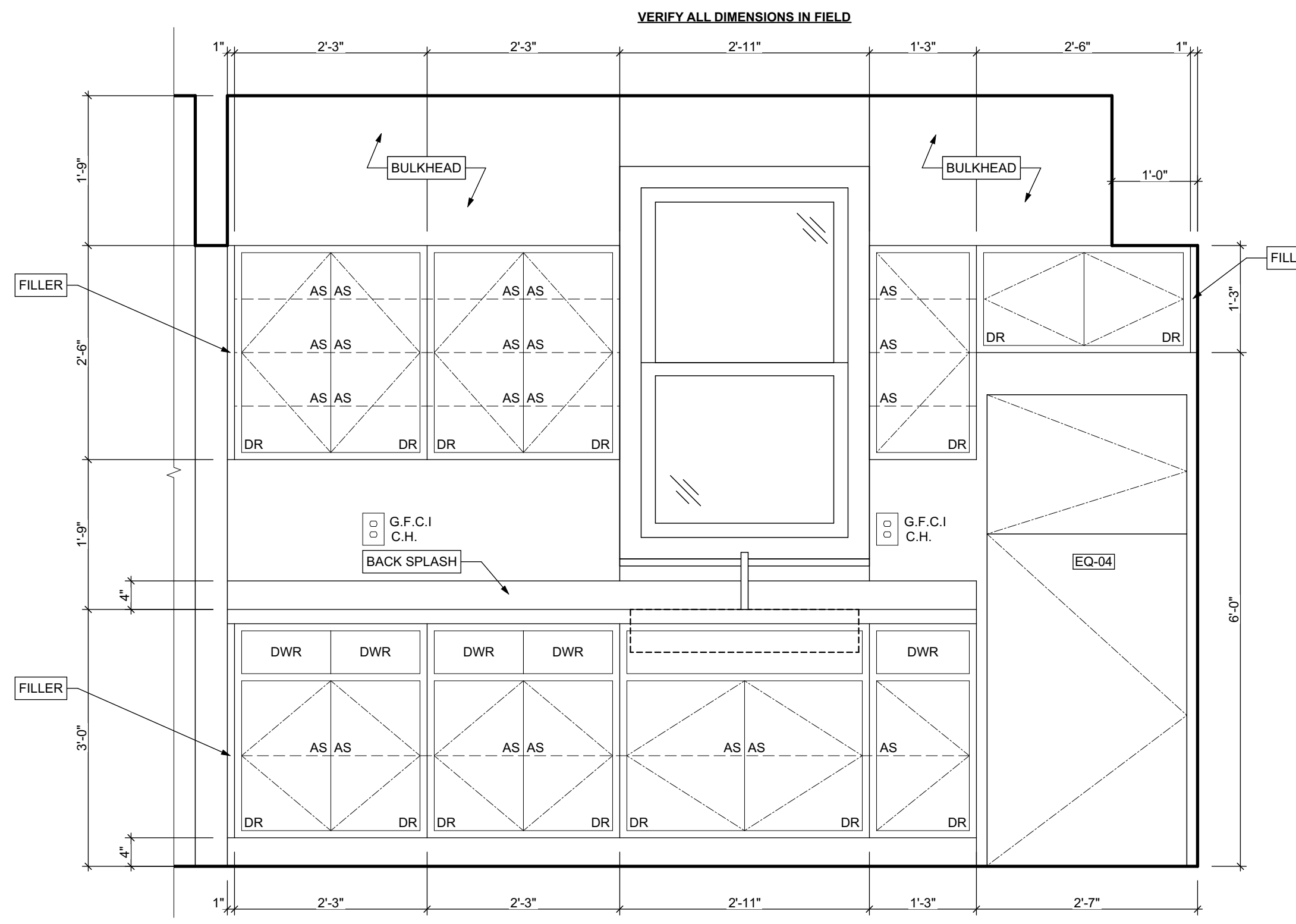
drawing title

NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8 Project #2006
of.	12	



2 KITCHEN ELEVATION 01
 SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
 SCALE: 3/4" = 1'-0"

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

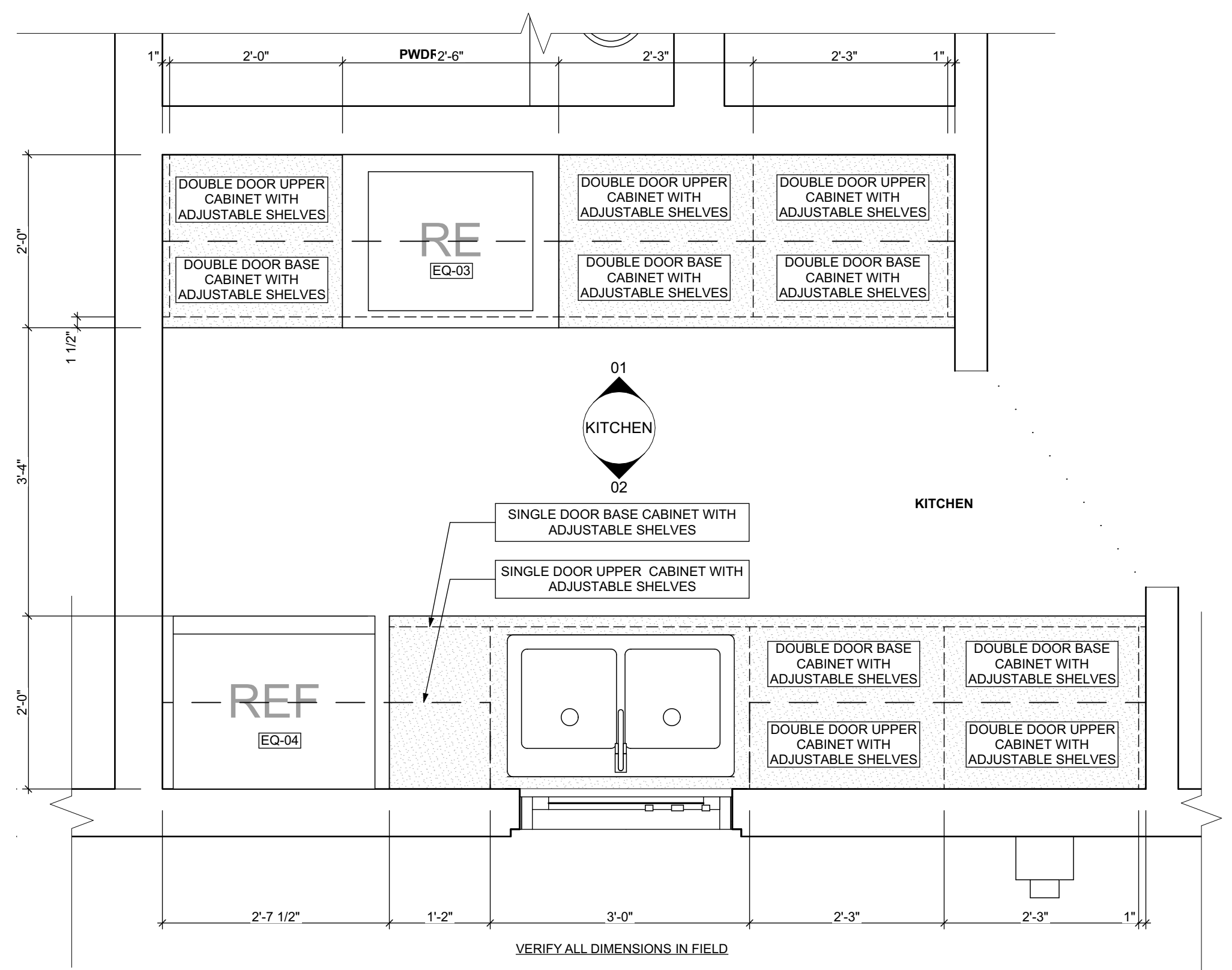
project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1223 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

FIRST FLOOR KITCHEN
 ENLARGED PLAN, KITCHEN
 ELEVATION 01, KITCHEN
 ELEVATION 02



1 FIRST FLOOR KITCHEN ENLARGED PLAN
 SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE			
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 051VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKA	Electric Baseboard Radition. Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater. Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

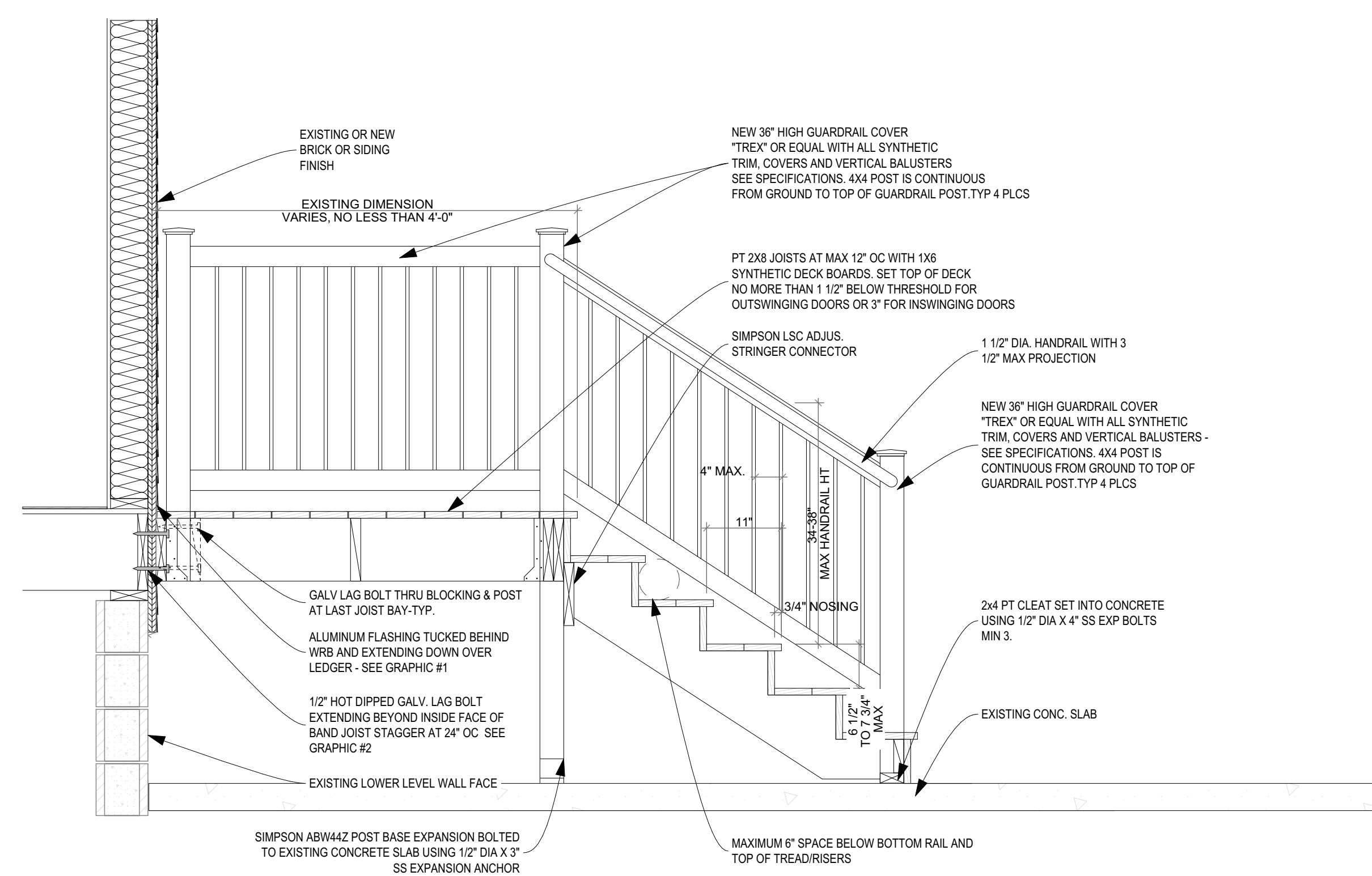
APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391-S-020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GLY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

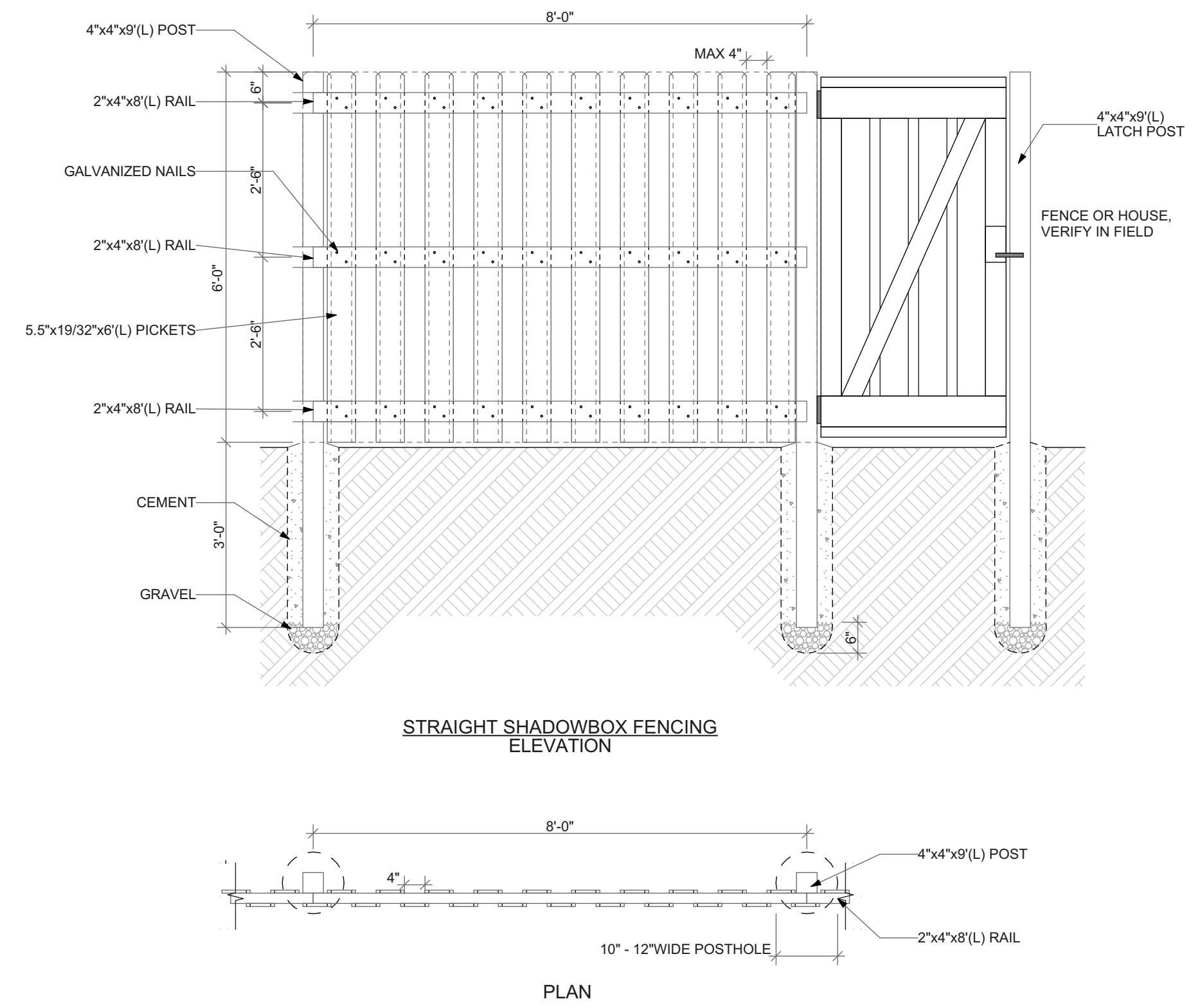
1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
 2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

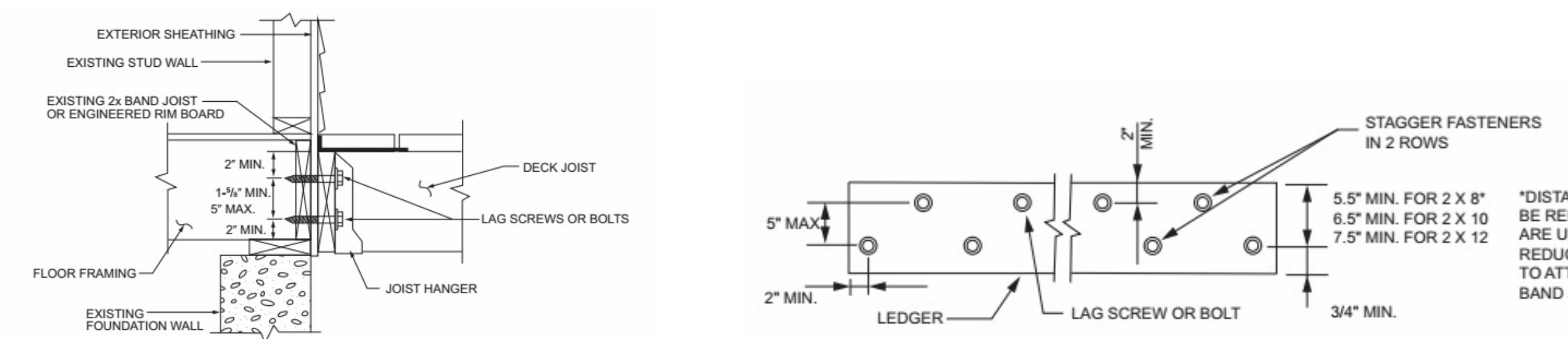
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date	May 6, 2022	
no.	10	A9 Project #2006
of.	12	



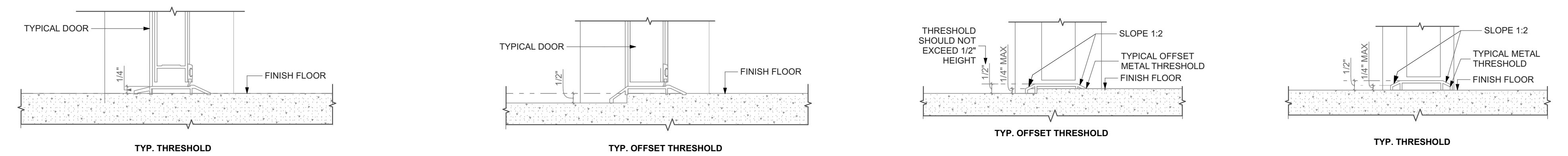
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



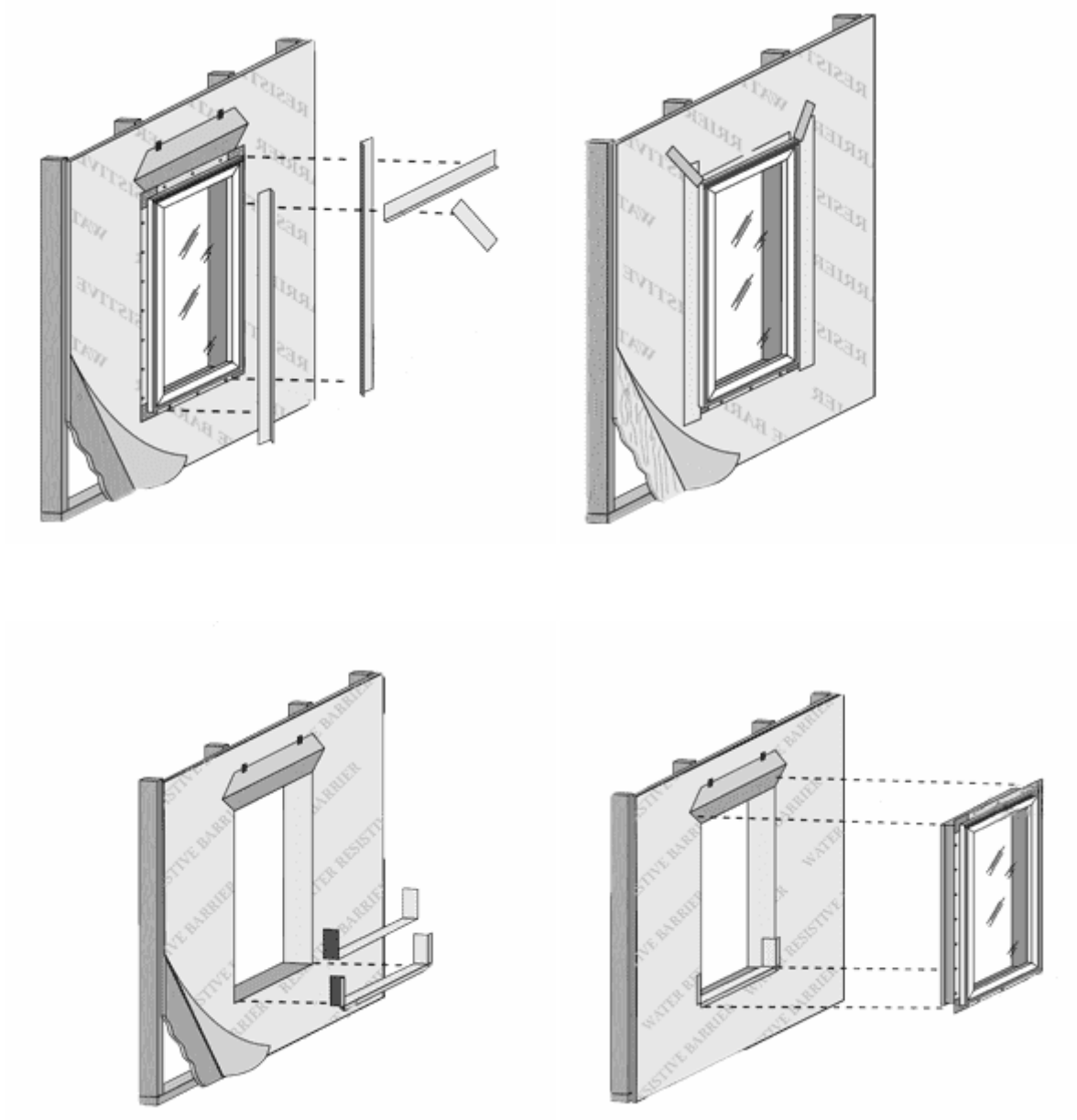
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1223 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1225 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 2 BEDROOM UNIT

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WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,983 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 205 Ross Street Pittsburgh, PA 15219 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

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revisions

ISSUED FOR PERMIT: 04.25.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1225 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233






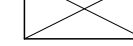

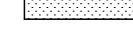
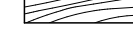

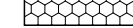
drawing title

**MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO**

scale	As Noted	Sheet No.
date	April 25, 2022	
no.	2	A1 Project #2006
of.	12	

Materials Legend

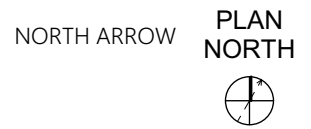
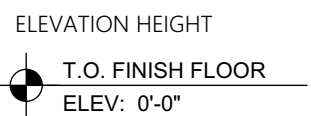
NOT ALL MATERIALS USED

-  EARTH
-  COMPACTED STONE FILL
-  CONCRETE
-  STEEL
-  RIGID INSULATION
-  BLOCKING
-  BATT INSULATION
-  GYPSUM WALL BOARD
-  WOOD
-  PLYWOOD SHEATHING
-  SPRAY FOAM INSULATION

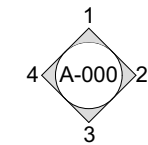
Abbreviations

A.F.F. Above Finish Floor	ELEV. Elevation	MISC. Miscellaneous
A.P. Access Panel	EQUIP. Equipment	N.I.C. Not In Contract
ACOUST. Acoustical	E.F. Exhaust Fan	N.T.S. Not To Scale
A.C.T. Acoustical Ceiling Tile	EXP. Existing	O.C. On Center
ADH. Adhesive	E.J. Expansion Joint	OPP. Opposite
ADJUST. Adjustable	ESH. Exterior Sheathing	O.H. Overhead
A/C Air Conditioning	EXIST. Existing	PR. Pair
ALT. Alteration	EXP. Exposed	PLAS. Plaster
ALTN. Alternate	EXT. Exterior	PLAS.LAM. Plastic Laminate
ALUM. Aluminum	E.I.F.S. Exterior Insulation & Finish System	P.C. Plumbing Contractor
A.O.R. Area of Refuge	F.R.P. Fiberglass Reinforced Polyester	PLYWD. Plywood
APPROX. Approximate	F.F. Finish Floor	POLY. Polyethylene
ARCH. Architectural	FIN.FLR. Finish Floor	P.V.C. Polyvinyl Chloride
ASB. Asbestos	F.A.C.P. Fire Alarm Control Panel	P.F.F. Prefabricated
ASPH. Asphalt	F.E. Fire Extinguisher	RE. Refer To
AUTO. Automatic	FLR. Floor	REF. Refrigerator
AVG. Average	F.D. Floor Drain	R.C.P. Reinforced Concrete Pipe
BLK. Block	FTG. Footing	REIN. Reinforcement
BD. Board	GA. Gauge	RD. Roof Drain
BLDG. Building	G.C. General Contractor	RM. Room
C.I.P. Cast In Place	G.F.I. Ground Fault Interrupter	S.A.T. Suspended Acoustical Tile
C.B. Catch Basin	GYP. Gypsum	SCHED. Schedule
CEM. Cement	G.W.B. Gypsum Wall Board	SHT. Sheet
CER. Ceramic	GSH. Gypsum Sheathing	SIM. Similar
CG. Corner Guard	H/C Handicap	S.C. Solid Core
C.M.T. Ceramic Mosaic Tile	H.V.A.C. Heating, Ventilation & Air Conditioning	S.P.C.S. Specifications
C.W.T. Ceramic Wall Tile	HT Height	SQL. Square
C.O. Cleanout	HC Hollow Core	S.F. Square Foot
CL. Center Line	H.M. Hollow Metal	S.S. Stainless Steel
CLO. Closet	HORIZ. Horizontal	STL. Steel
C.W. Cold Water	HR. Hour	STOR. Storage
CLS. Ceiling	H.W. Hot Water	STRUCT. Structural
CLR. Clearance	IN. Inch	TEL. Telephone
COL. Column	I.M. Insulated Metal	THK. Thick
CONC. Concrete	INSUL. Insulation or Insulated	T.B.D. To Be Determined
C.M.U. Concrete Masonry Unit	INT. Interior	T&G Tongue & Groove
CONT. Continuous	INV. Invert	T.O. Top Of
CORR. Corridor	ISO. Isolation	T.G. Top Of Grade
C.M.P. Corrigated Metal Pipe	JAN. Janitor's Closet	T.O.S. Top Of Steel
CRS. Courses	J.T. Joint	TYP. Typical
DIA. Diameter	LAM. Laminate	UNFIN. Unfinished
DET. Detail	LAV. Lavatory	UN.O. Unless Noted Otherwise
DGL. Dens Glass Gold	LG. Long	V.B. Vapor Barrier
DR. Door	M.D.F. Medium Density Fiberboard	VERT. Vertical
DN. Down	M.D.H. Magnetic Door Holder	VEST. Vestibule
D.S. Downspout	M.H. Manhole	V.C.T. Vinyl Composition Tile
DWG. Drawing	MFR. Manufacturer	V.I.F. Verify In Field
D.F. Drinking Fountain	MAK. Maximum	W.H. Water Heater
D.I.P. Ductile Iron Pipe	M.ECH. Mechanical	W.R.B. Water Resistant Barrier
EA. Each	MET. Metal	W.W.F. Welded Wire Fabric
E.W. Each Way	MIN. Minimum	WIN. Window
ELEC. Electrical		W/ With
E.C. Electrical Contractor		W/O Without
EL. Elevation		WD. Wood

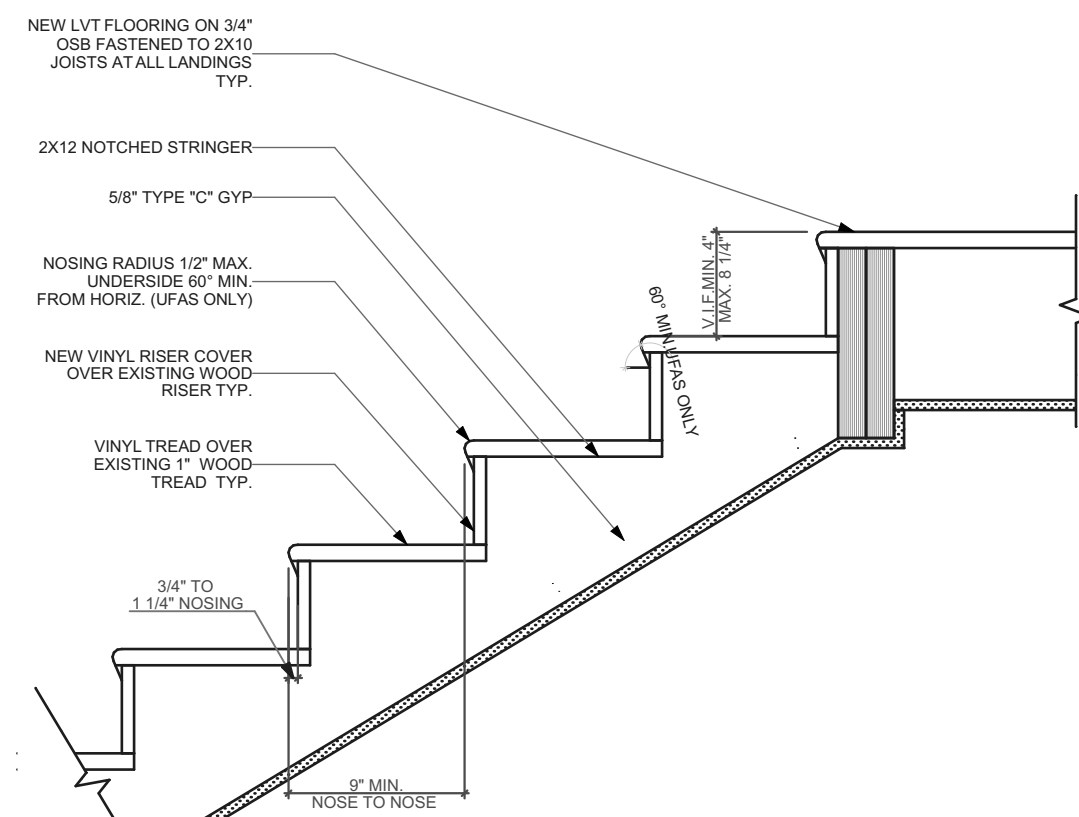
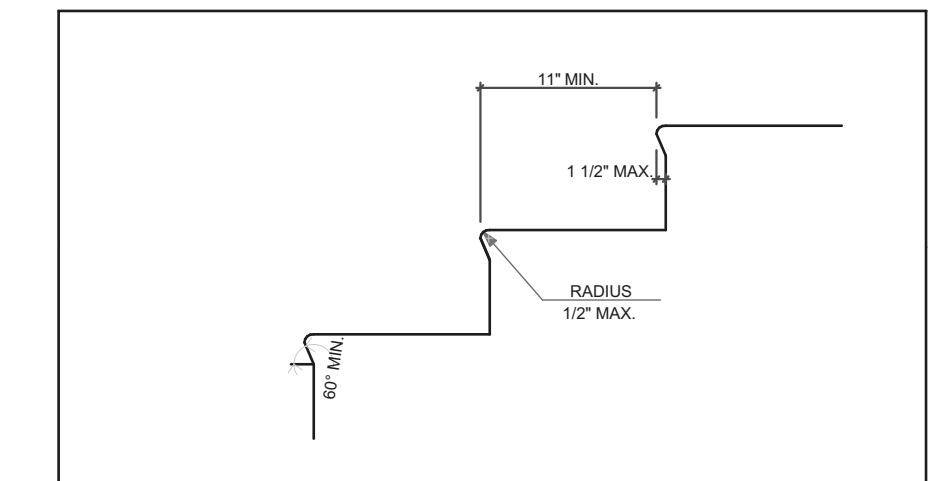
Symbols



INTERIOR ELEVATION MARKER



1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL
SCALE: 1" = 1'-0"

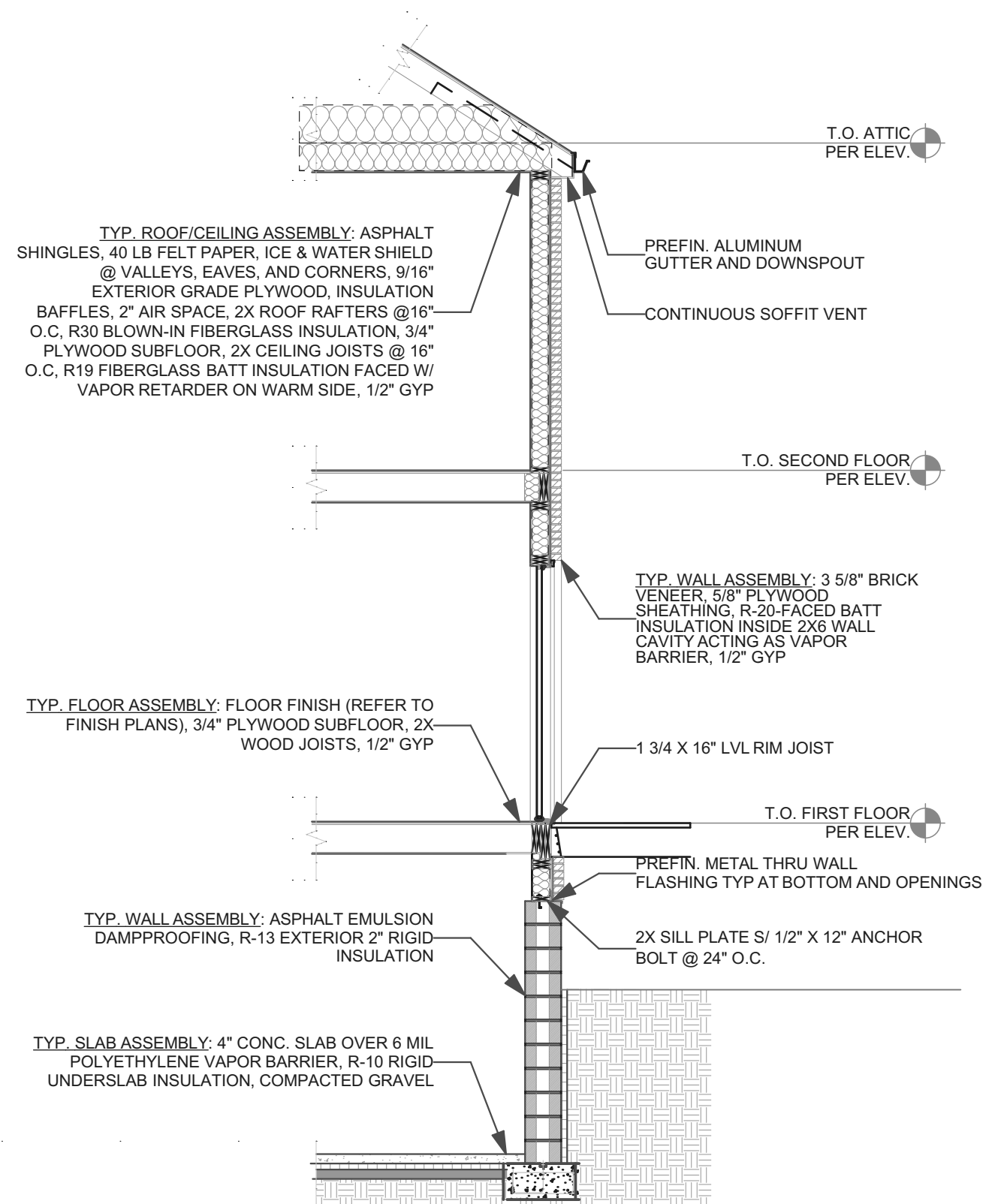
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-9"	2'-0"	9'-2"	GLASS BLOCK	<input type="checkbox"/>	<input type="checkbox"/>
B	2'-9"	5'-1"	7'-7"	VINYL CLAD WOOD	<input type="checkbox"/>	<input type="checkbox"/>
C	2'-8"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E	2'-9"	4'-6"	6'-9"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G	4'-10"	4'-5"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H	2'-4"	4'-1"	7'-2"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS. ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	3'-0"x7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	3'-0"x7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"x6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
6	3'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4"x6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6"x6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0"x6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE

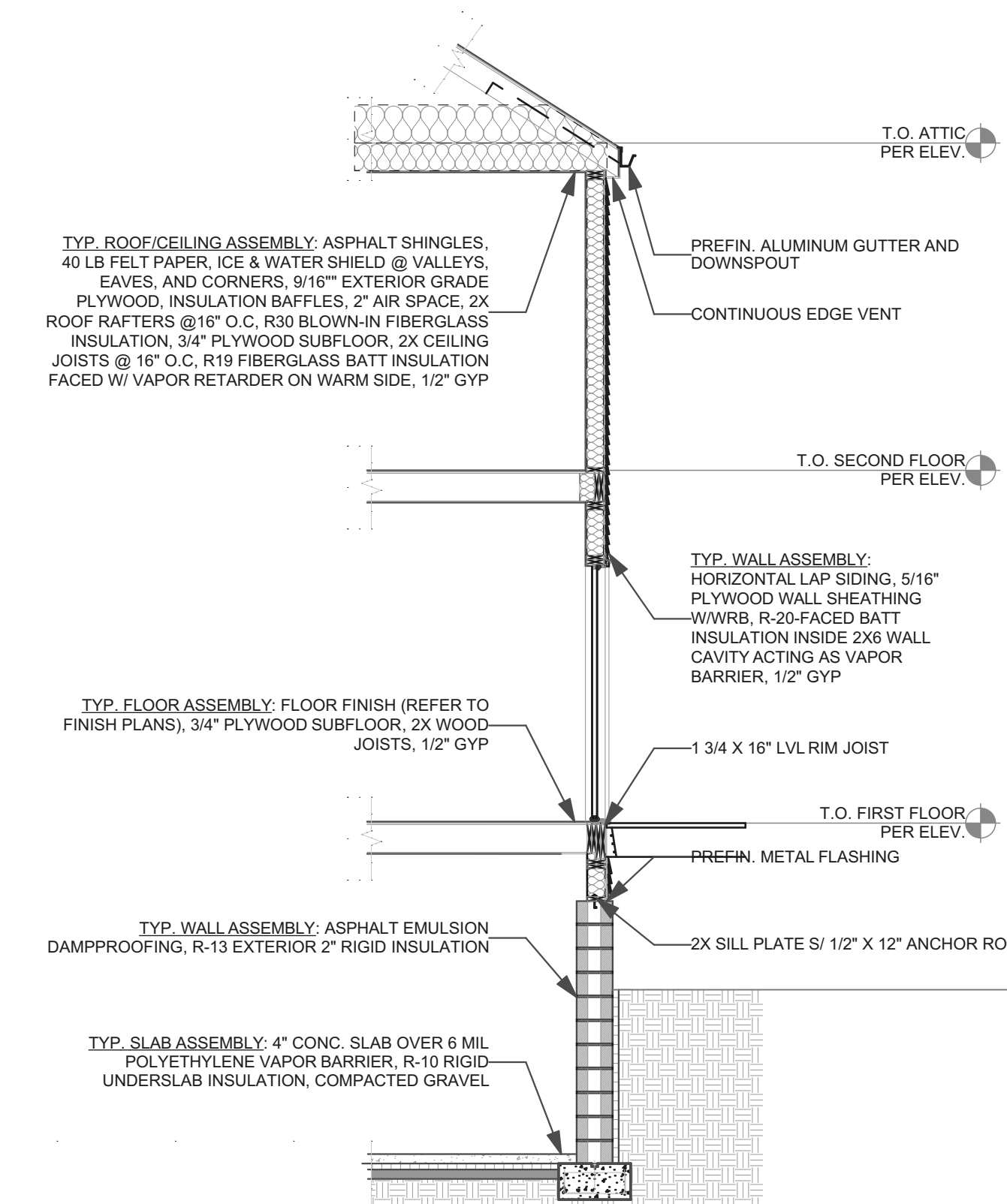
ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS. ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

2 BRICK WALL SECTION



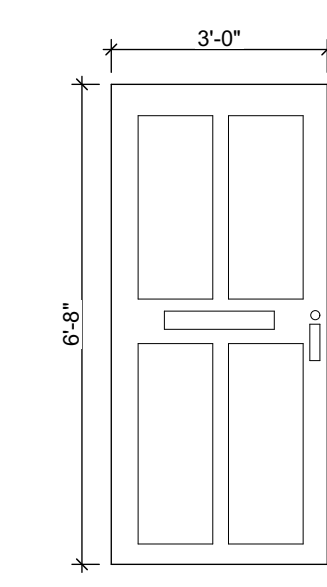
THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

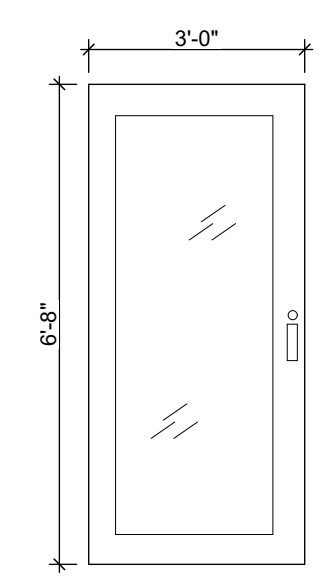


THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

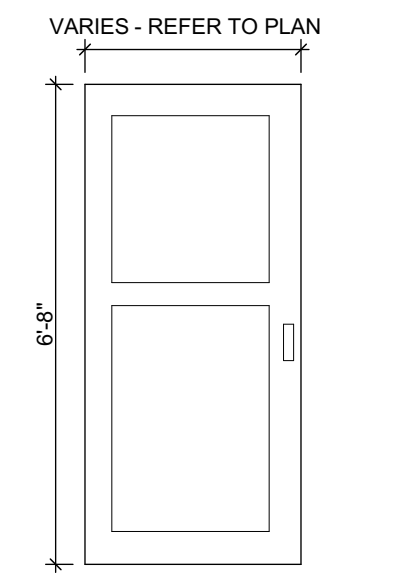
FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHR	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



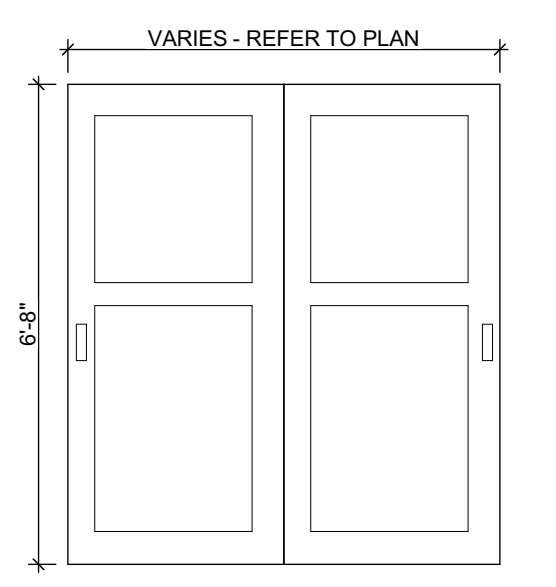
I EXTERIOR INSULATED FIBERGLASS DOOR
INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOX SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



II EXTERIOR INSULATED FIBERGLASS DOOR
INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. GLAZED OPENINGS TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE, HARDWARE AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



III INTERIOR WOOD DOOR
INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



IV INTERIOR WOOD DOUBLE DOOR
INTERIOR 2 PANEL DOUBLE WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 04.25.2022

project title

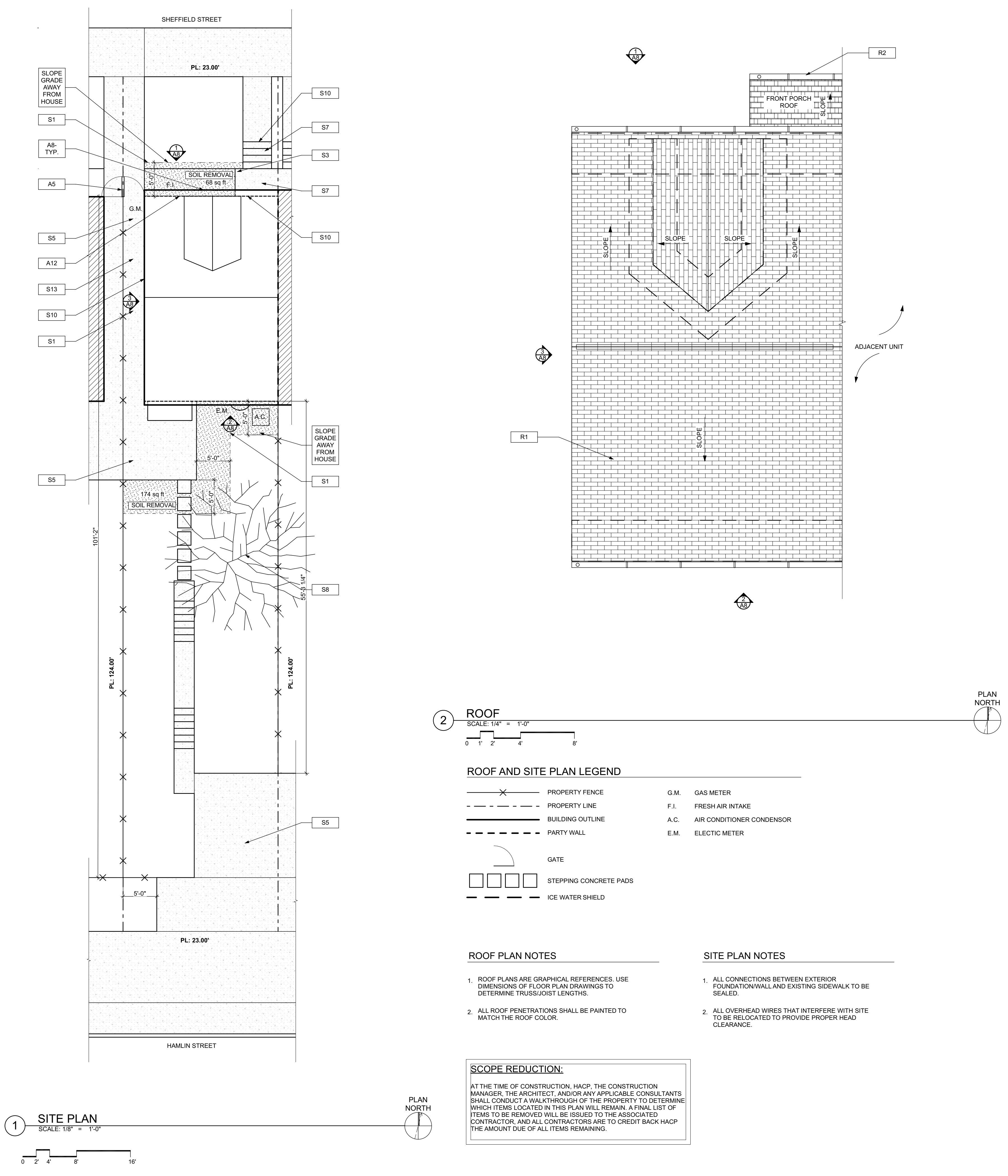
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1225 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPE, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

scale As Noted	Sheet No. A2
date April 25, 2022	
no. 3	of. 12
Project #2006	



- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL TO MEET SLOPE REQUIREMENTS. TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE WAY. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROIP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS TO BE REPAIRED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"x2"x1" SPREAD FOOTING AND BRACE. CHECK FOR FLOORING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT ELECTRIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIPMENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE. CHECK FOR CONDENSATION. ADD DELUMINESCER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 04.25.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1225 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	April 25, 2022	
no.	5	A4 Project #2006
of.	12	

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

ISSUED FOR PERMIT: 04.25.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1225 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale		As Noted	
date		April 25, 2022	
no.	of.	A5	
6	12		
		Project #2006	

- | SITE | |
|------------|--|
| S17 | AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL. IF SLOPE, POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REG. GRA. DISTURBED VEGETATION PER SPECIFICATIONS. |
| S18 | UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. |
| S19 | TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SIDEWALK. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. |
| S20 | EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 1/4" WITH 2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE WVE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. |
| S21 | SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 1/4" WITH 2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE WVE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. |
| S22 | POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS. |
| S23 | REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. |
| S24 | TIRM EXISTING TREE AWAY FROM BUILDING AS REQ'D. |
| S25 | ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. |
| S26 | REGROUT AND POINT MASONRY AS NECESSARY. GROUT SHALL MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. |
| S27 | REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. |
| S28 | REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN. |
| S29 | REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY. |
| S30 | REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS. |

- | ROOF | |
|-----------|---|
| R1 | DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS. |

- | ARCHITECTURAL | |
|---------------|---|
| A1 | REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. |
| A2 | IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. |
| A3 | BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. |
| A4 | RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. |
| A5 | LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM INSTALLATION OF FLOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY. |
| A6 | WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. |
| A7 | REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. |
| A8 | SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS. |
| A9 | EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING. |
| A10 | DETERIORATING INTERIOR STAIR BEYOND REPAIR. REPAIR OR REPLACE INTERIOR STAIR WITH NEW WOOD STAIR WITH WOOD STRINGERS, RIMWOOD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. |
| A11 | ADJUSTABLE STEEL COLUMN, BRACE AND SHORE. FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"x2"x1/2" SPREAD FOOTING AND APPLY CORNER CHAMFER ON FINISH. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. |
| A12 | EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. |
| A13 | CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. |
| A14 | UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. |
| A15 | ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. |
| A16 | SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR. |
| A17 | CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. |
| A18 | NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS. |

- | PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S. | |
|--|--|
| P1 | NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. |
| P2 | EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL. |

- | MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S. | |
|---|---|
| M1 | PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION. |
| M2 | REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. |
| M3 | INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINATOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELUMINATOR TO EXISTING SPACE. ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. |
| M4 | EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY. |

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

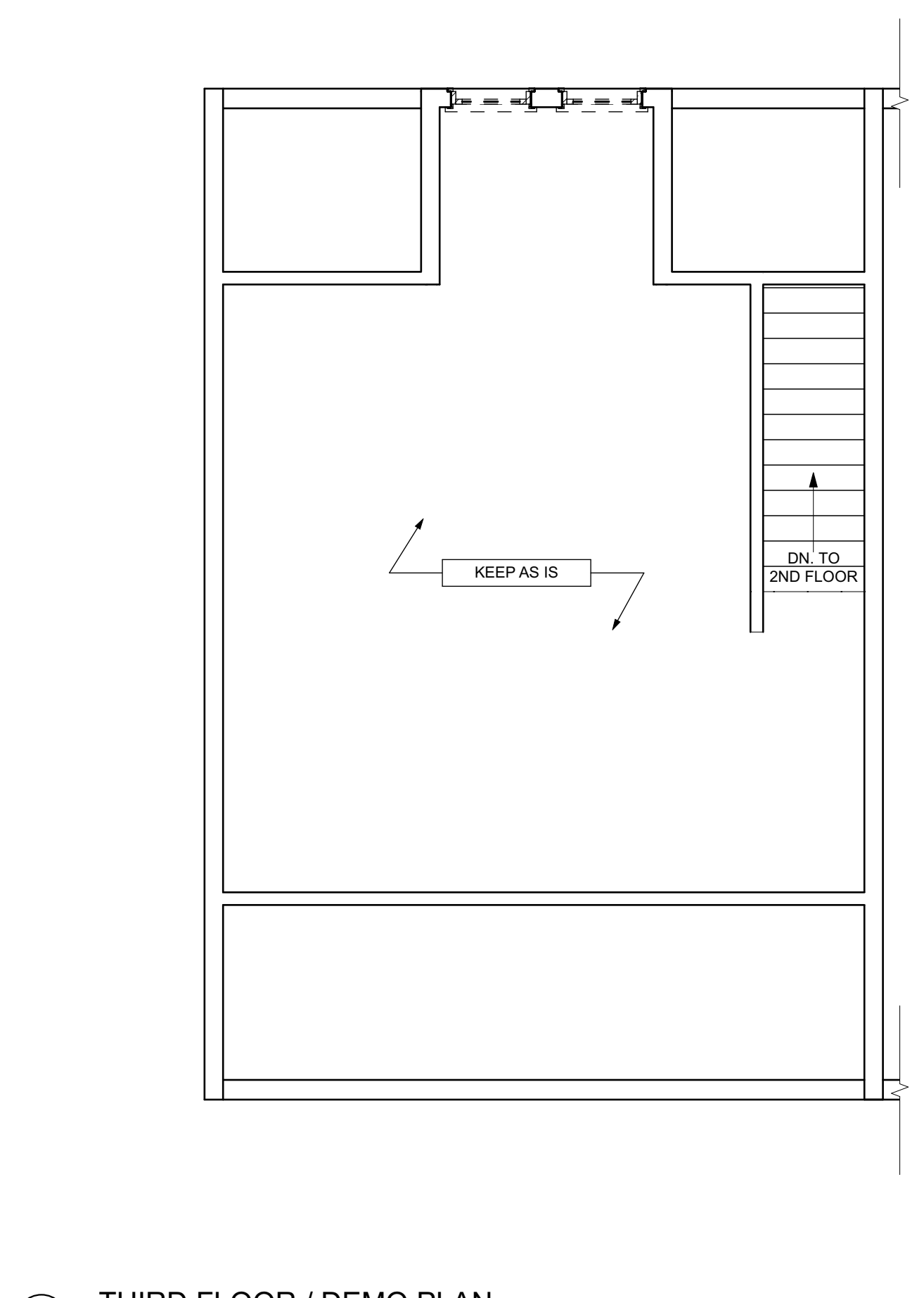
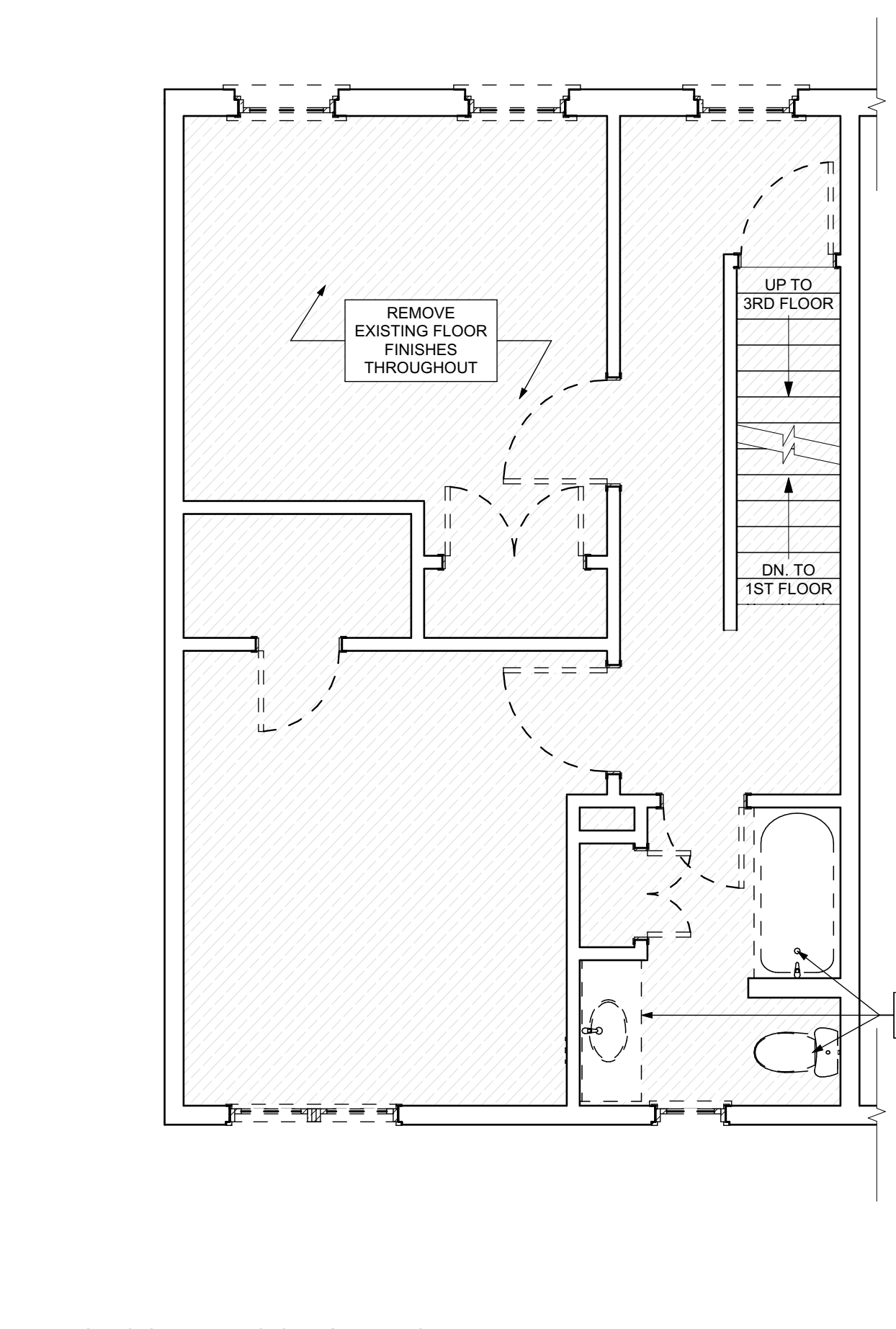
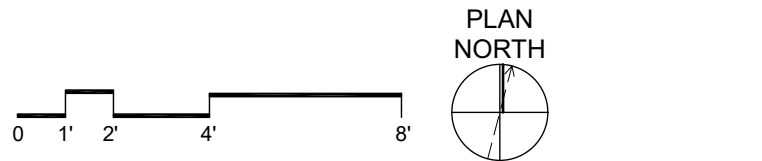
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

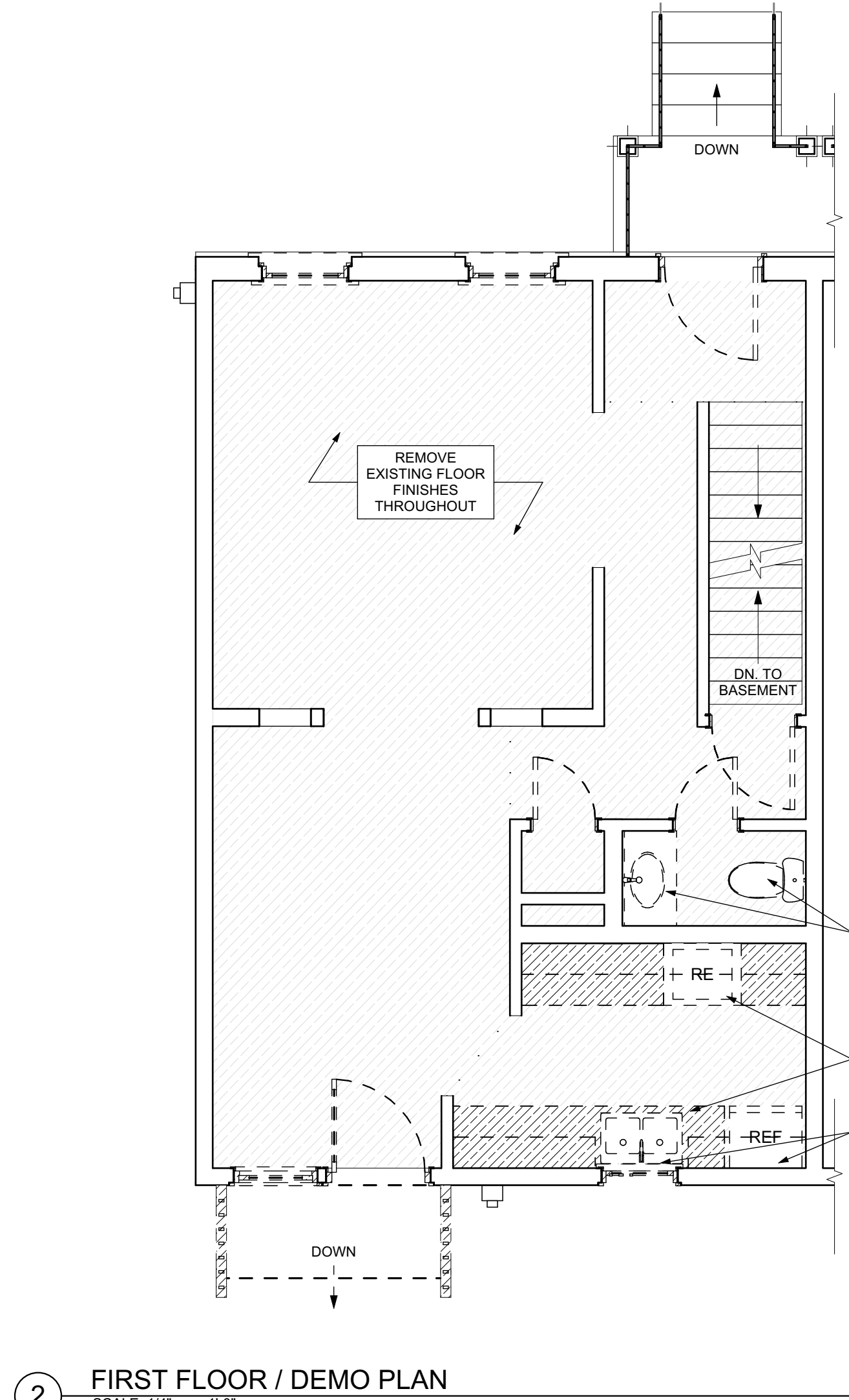
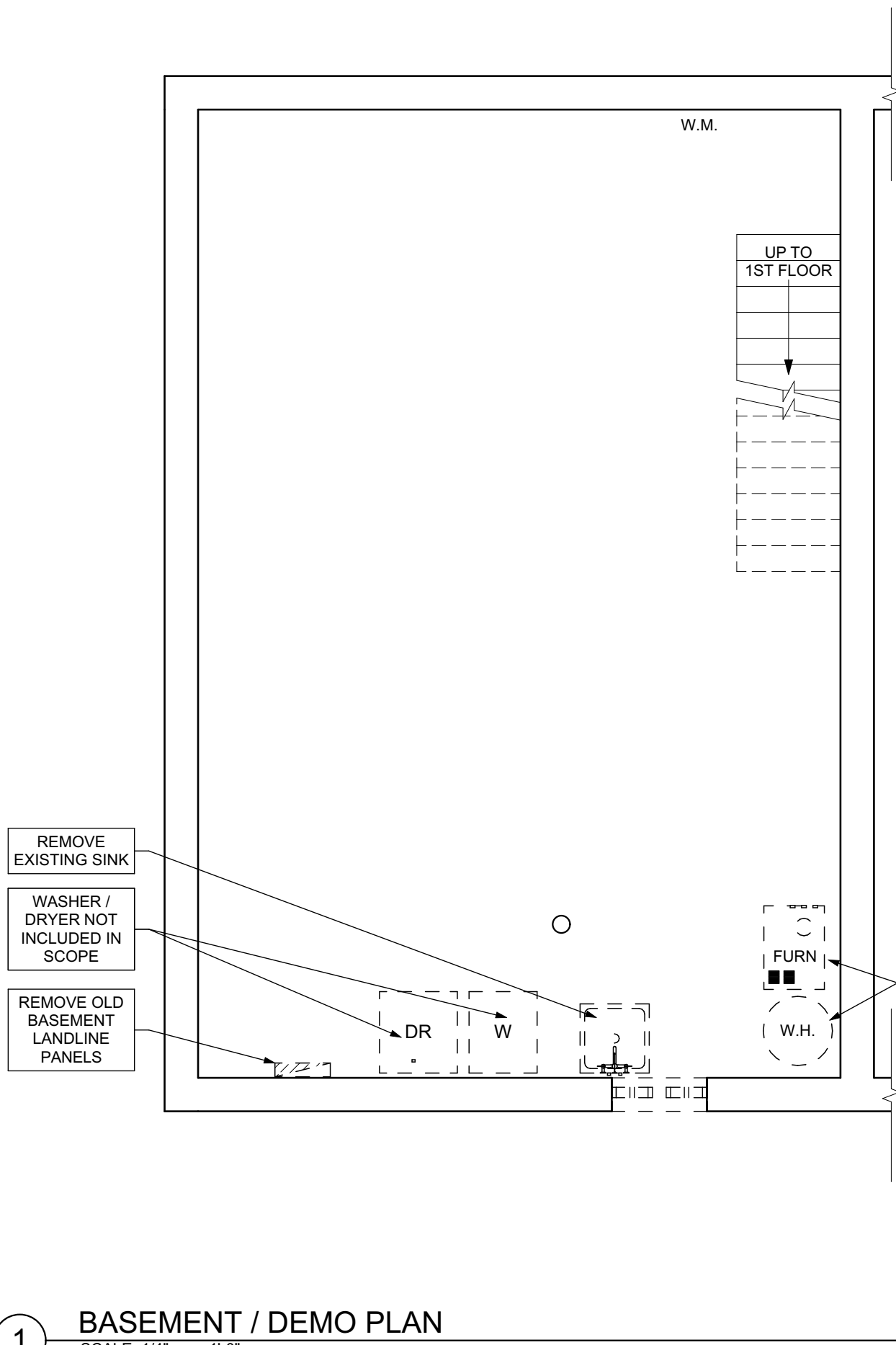
GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



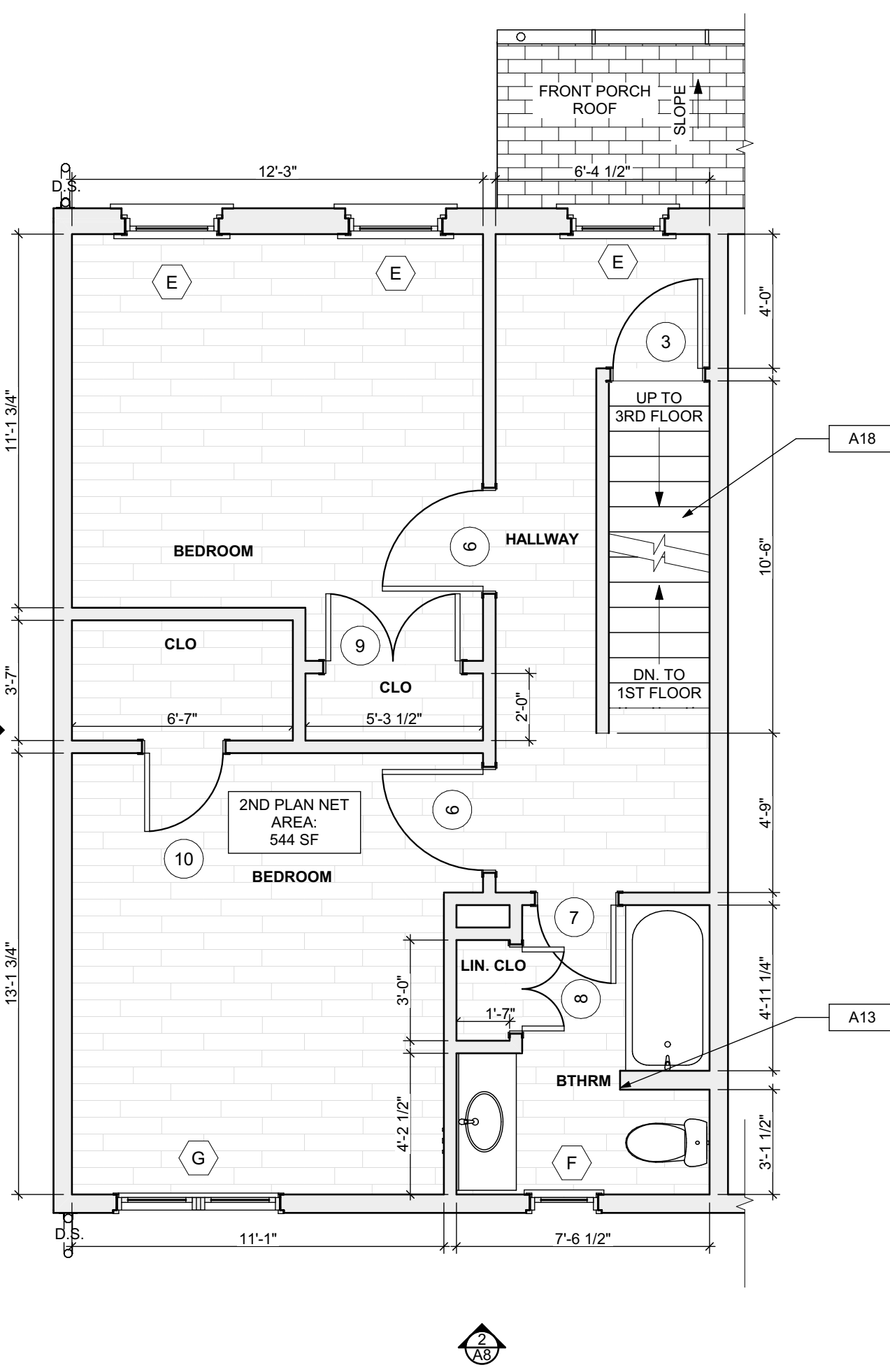
3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

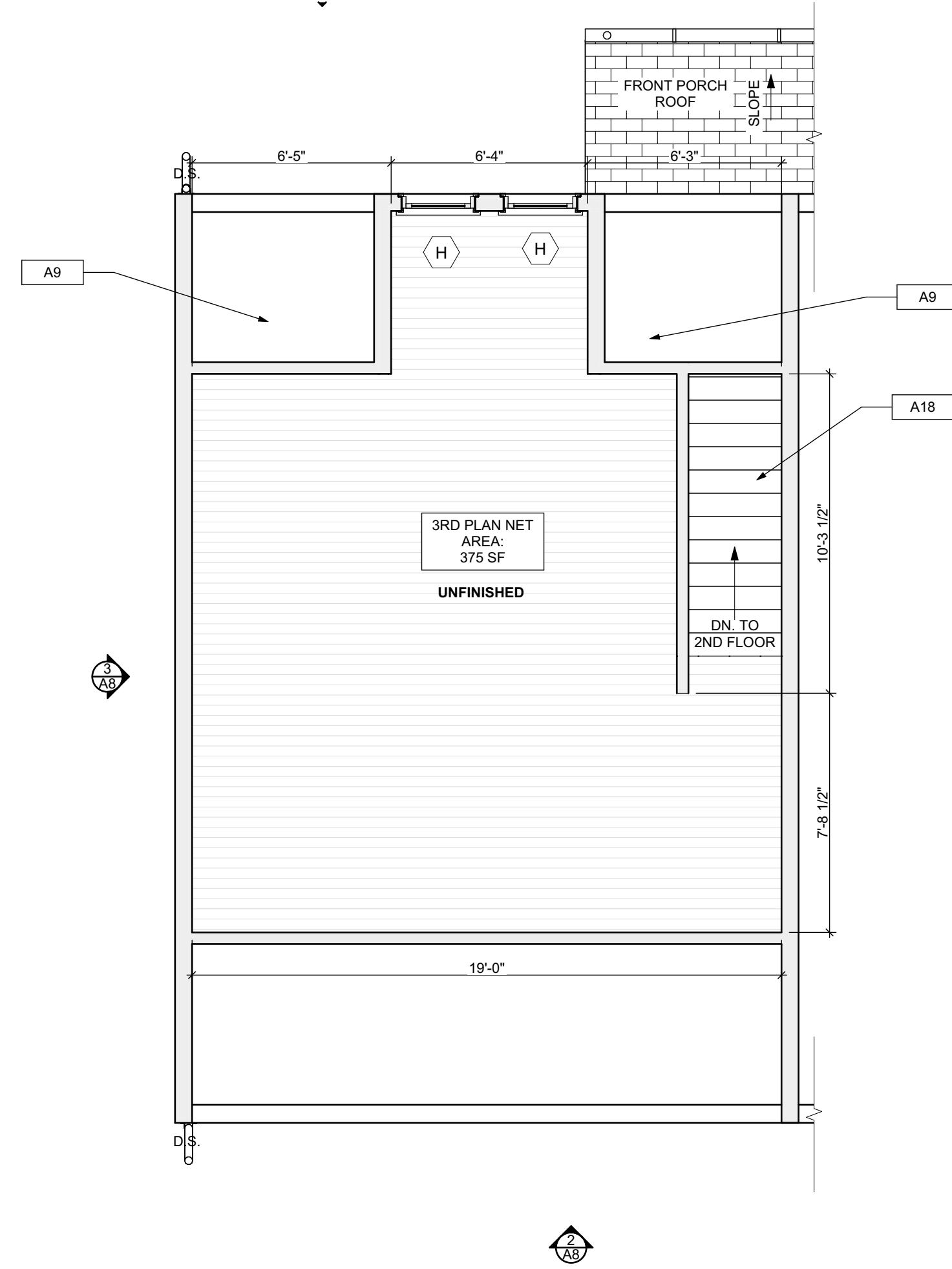


1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"

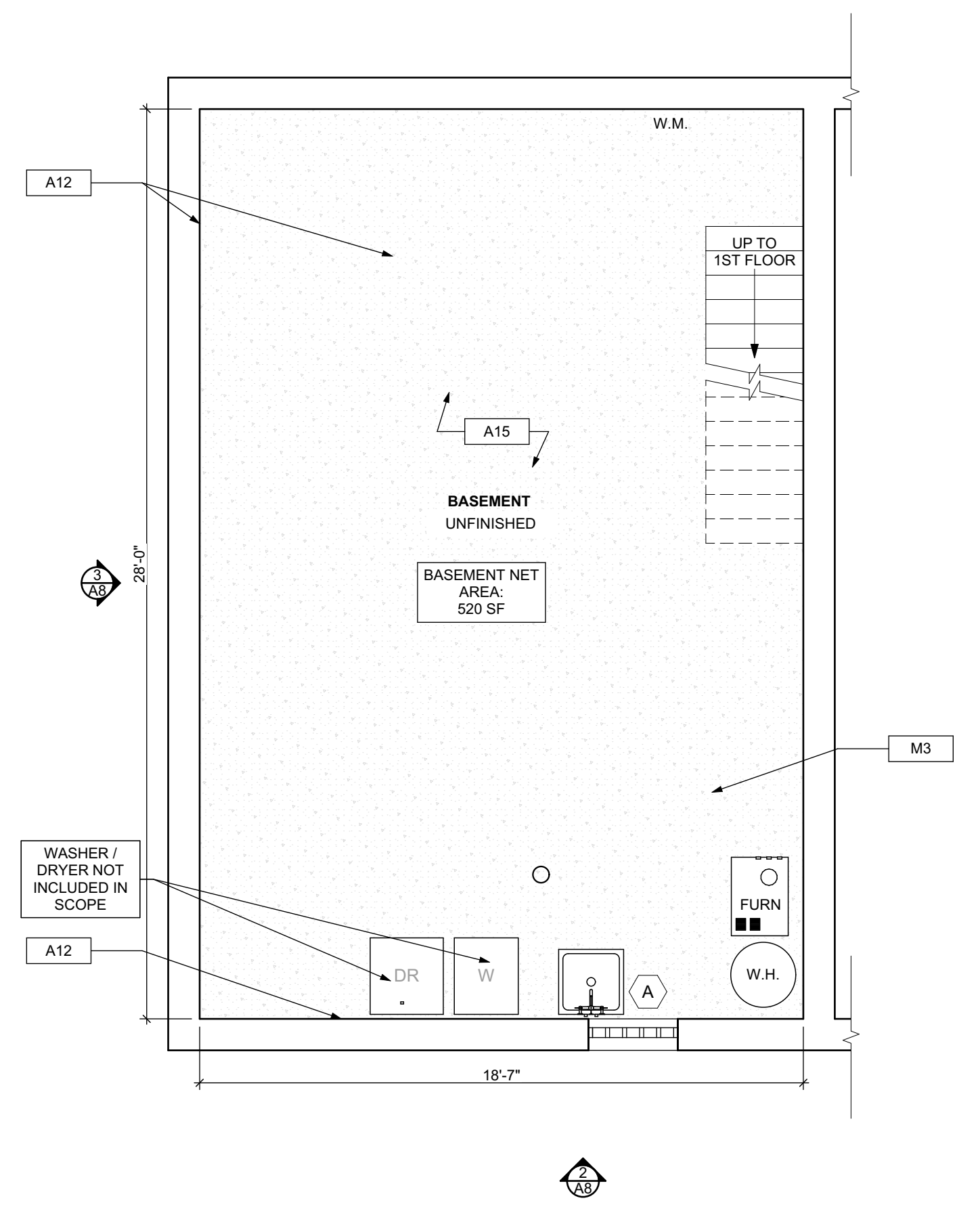
2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



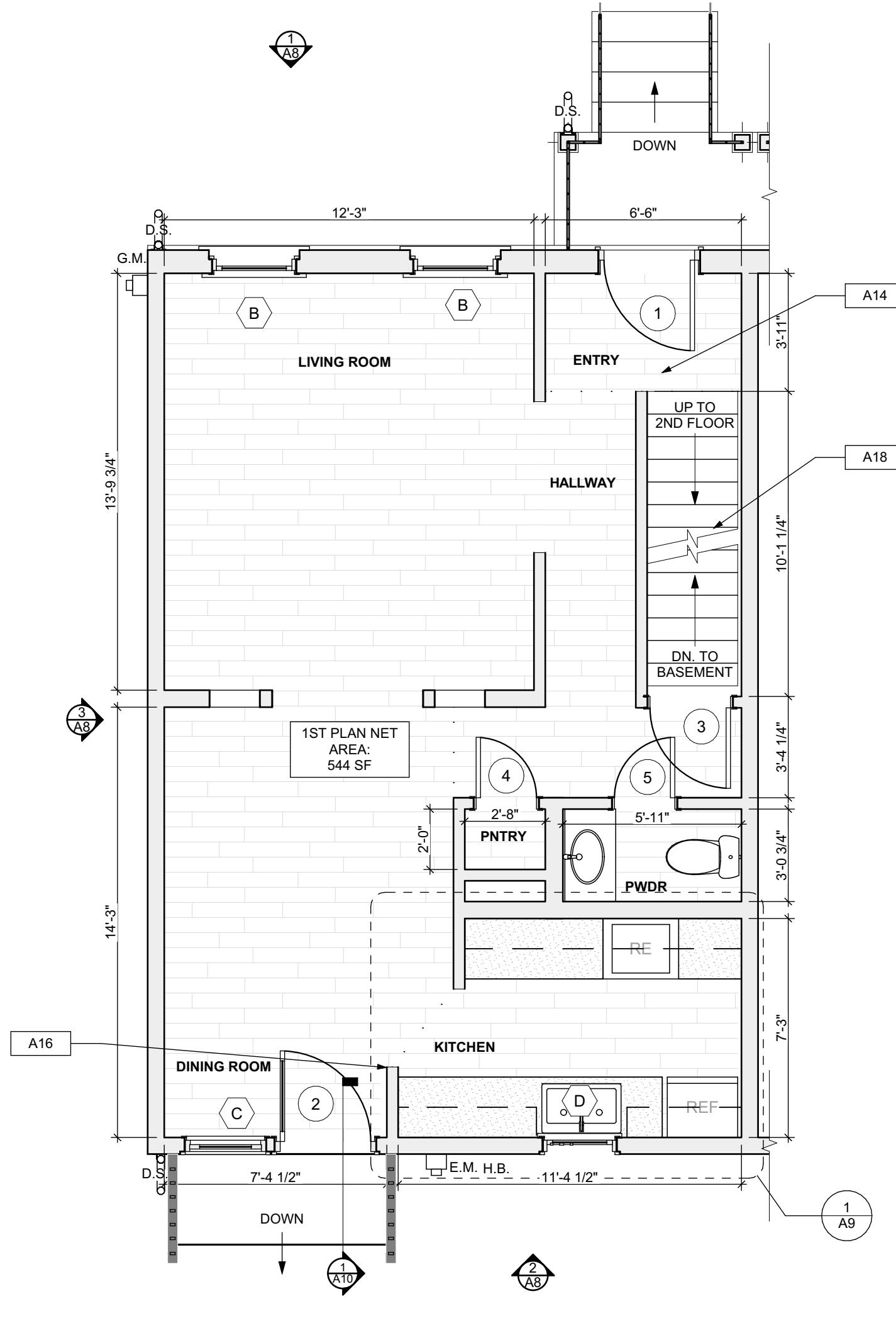
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



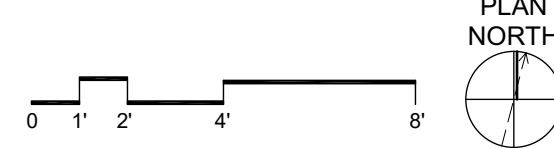
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. REINFORCE CONCRETE IS PRESENT MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF AREA. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 1" SPAN. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIRS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 1" SPAN. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOOR COVERING. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR BRUSH AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LAB FOR NEW STANDARD 2XX4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELUMINESCER. INSURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 04.25.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1225 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, GRAPHIC SCALES, FLOOR
PLAN LEGEND, SMALL UNIT
KEYNOTES

scale
As Noted

date
April 25, 2022

no. of.

7 12

Sheet No.

A6

Project #2006

seal

general notes

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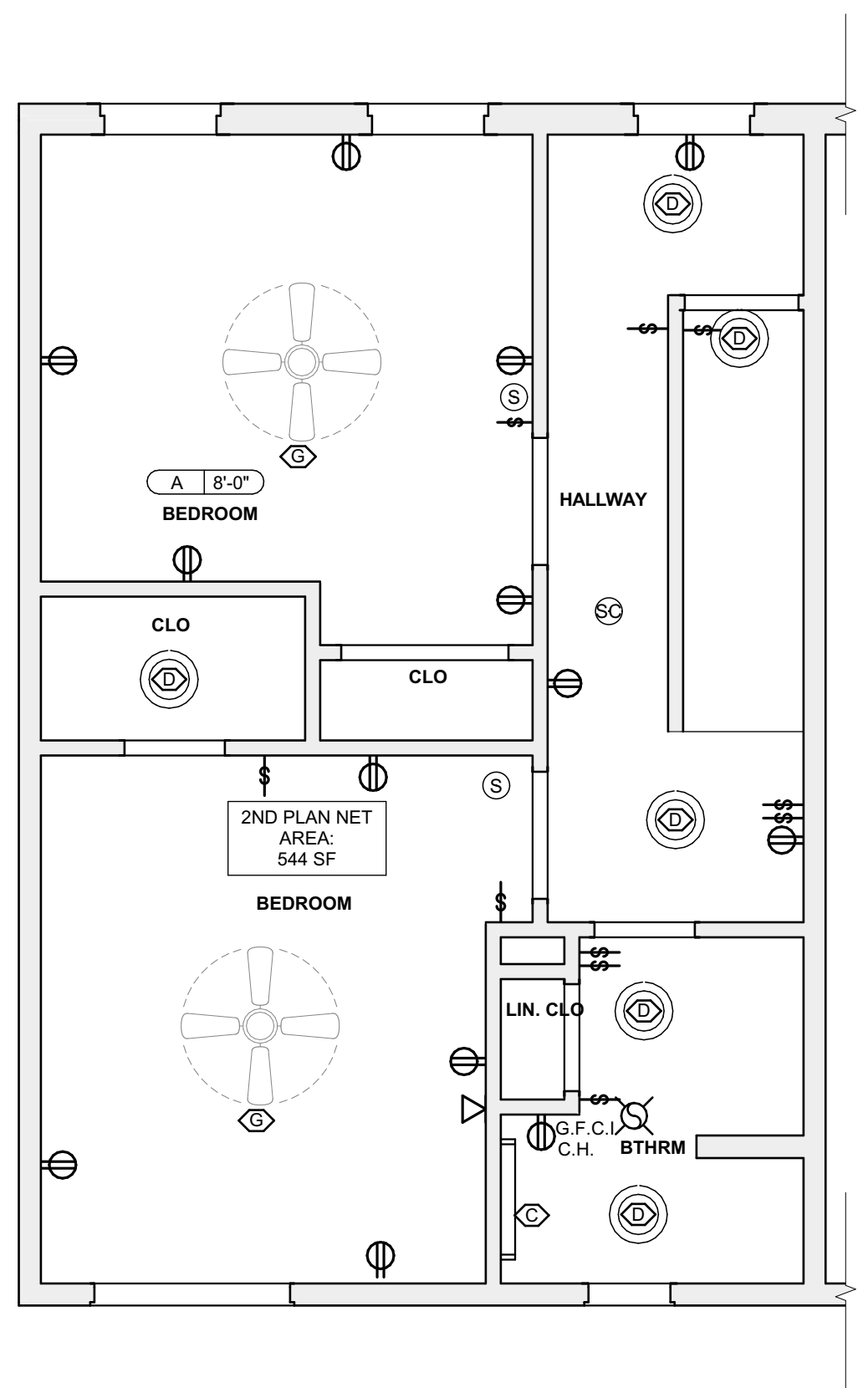
drawing title

BASEMENT REFL. CLG. / POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE

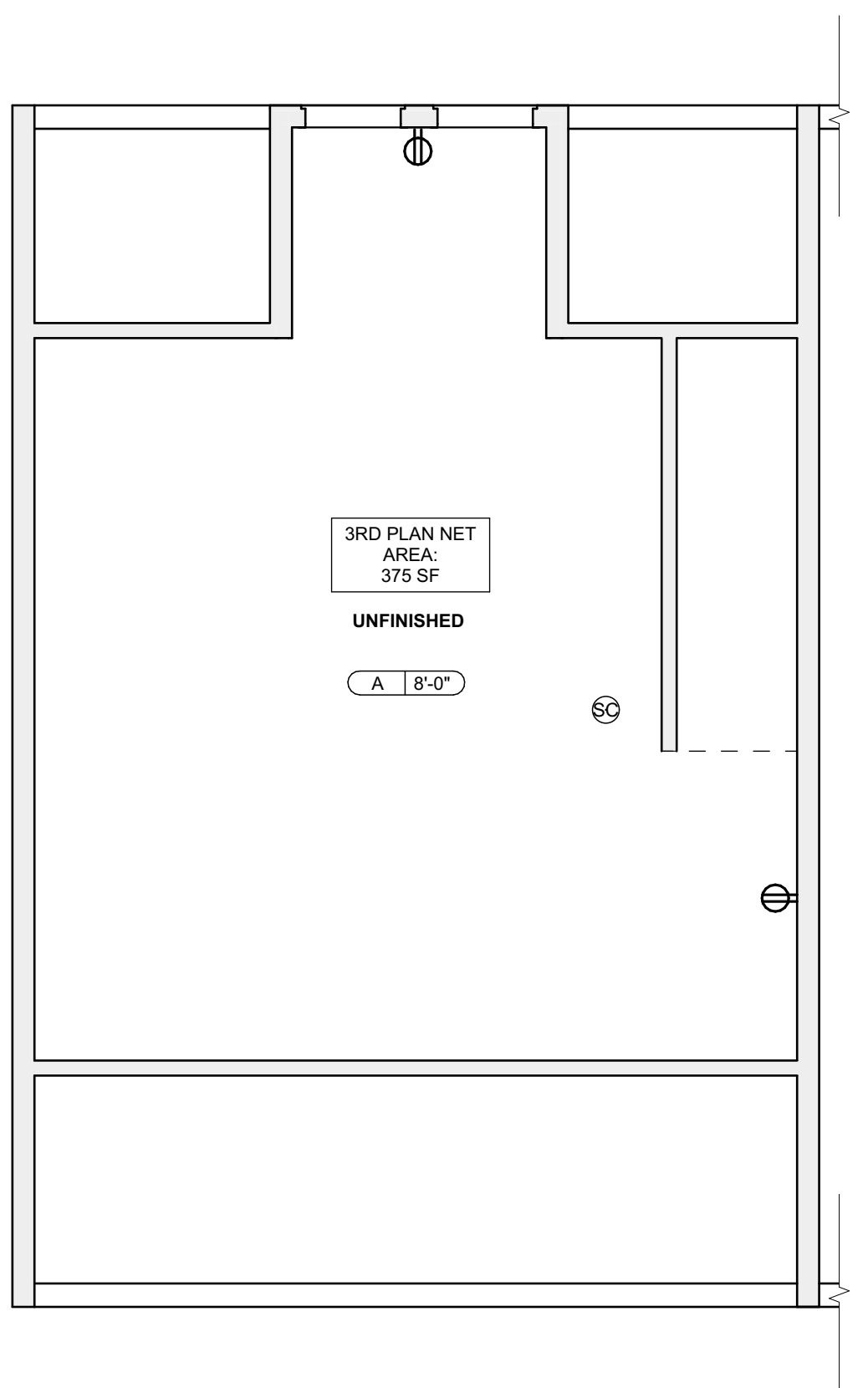
scale	As Noted	Sheet No.
date	April 25, 2022	
no.	8	A7 Project #2006
of.	12	

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NL18	1
	C	Long Bathroom Light Bar - Replacement: Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112VH	10
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

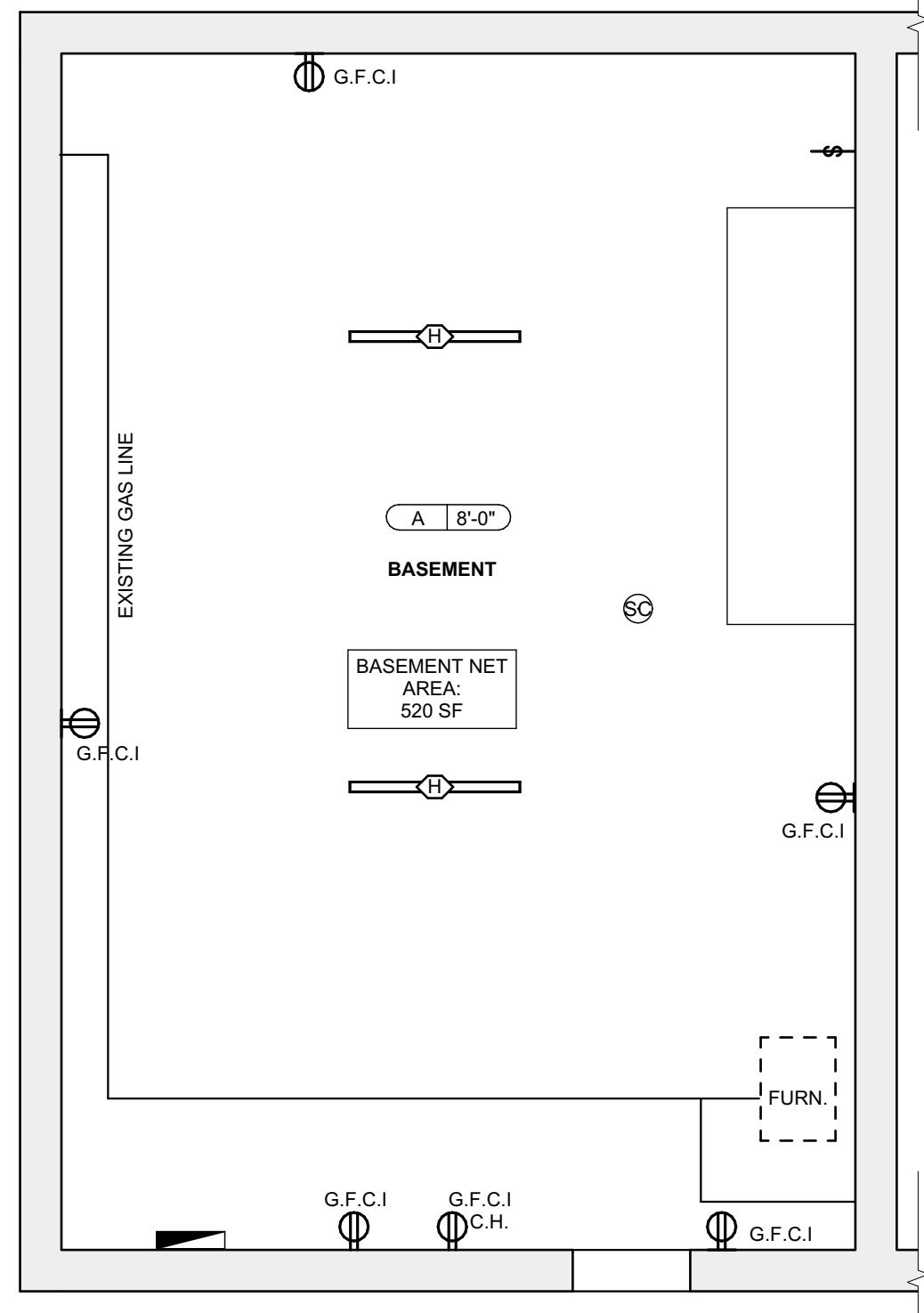
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF



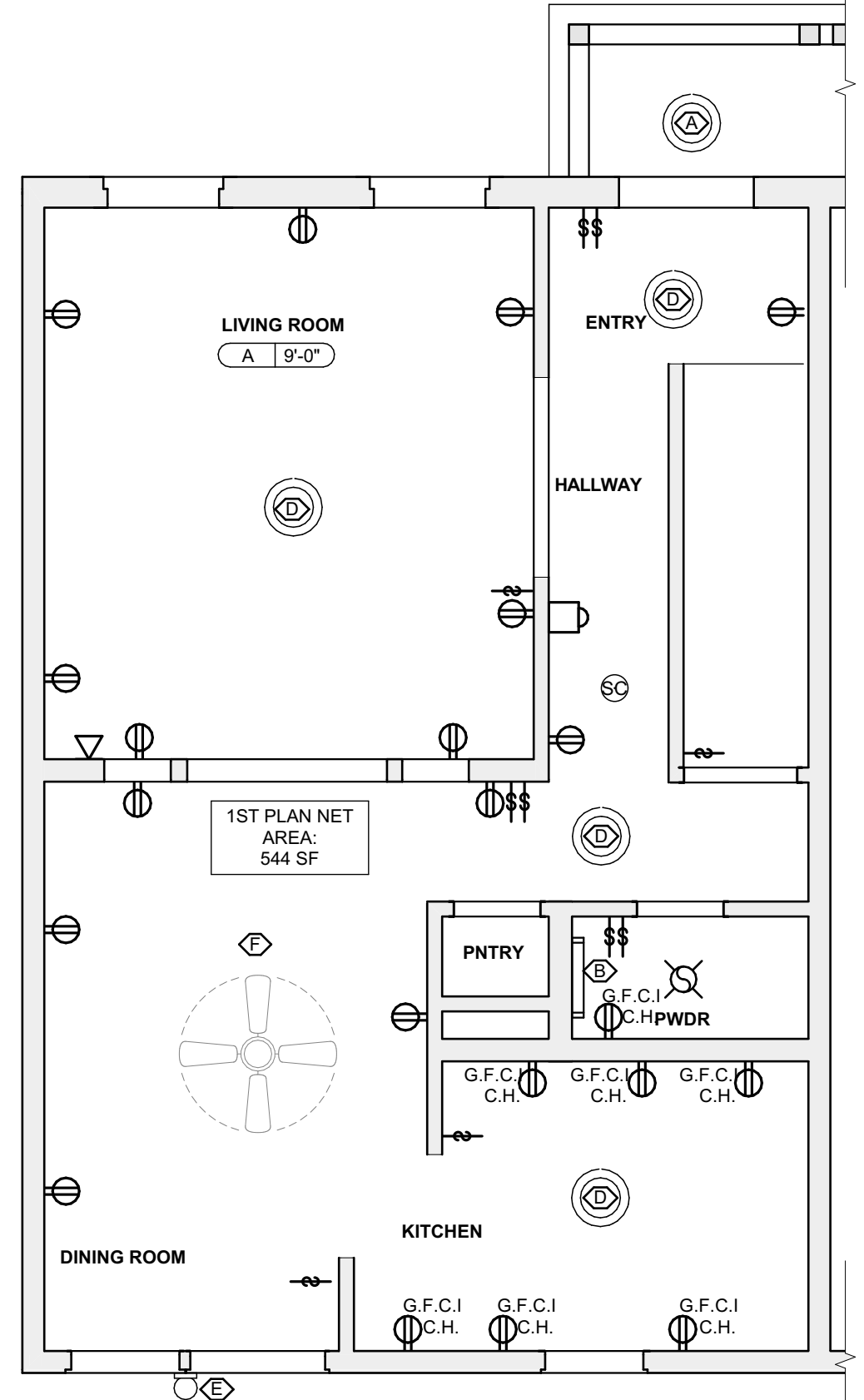
3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

RCP LEGEND - (See Specifications for basis of Design)

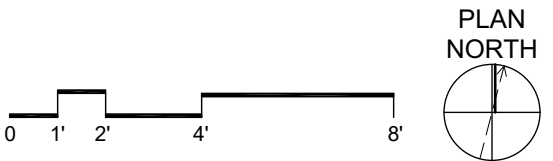
- Ⓢ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- Ⓢ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- Ⓢ ELECTRICAL METER
- Ⓢ THERMOSTAT
- Ⓢ DATA RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- Ⓢ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ LIGHT SWITCH
- Ⓢ EXHAUST FAN
- Ⓢ DOORBELL
- A | X'-X" GWB CEILING / CEILING HEIGHT
- B | X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS; MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
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revisions

ISSUED FOR PERMIT: 04.25.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1225 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

NORTH ELEVATION, SOUTH ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

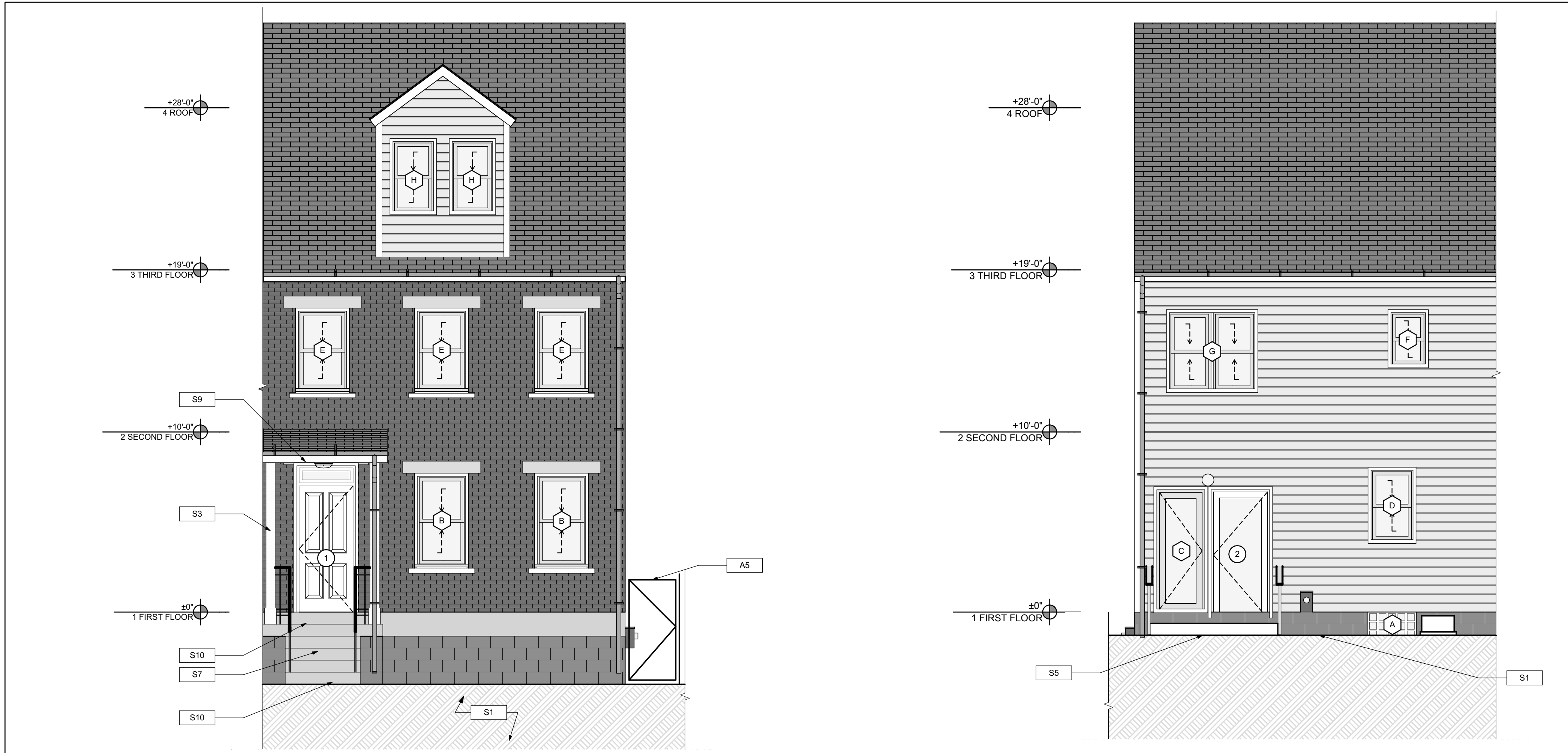
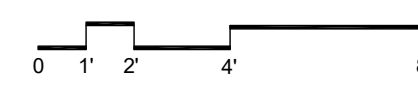
scale	As Noted
date	April 25, 2022
no.	9
of.	12

Sheet No.
A8
 Project #2006

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. RES. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF AREA SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COUPLER OF DOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR BRACES AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2X2X1 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT ELECTRONIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINATOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO CONDENSURE. ADDITIONAL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

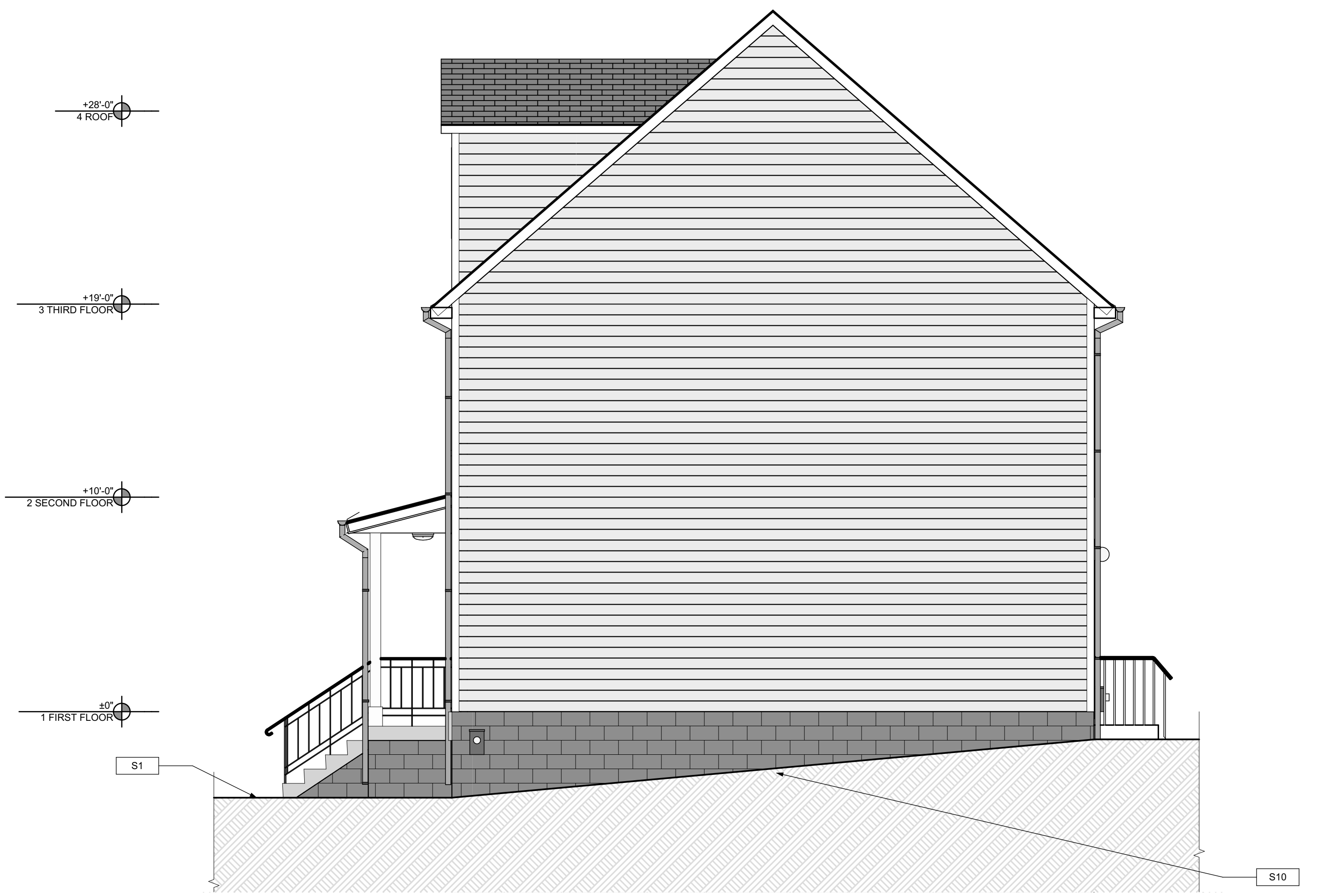
GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

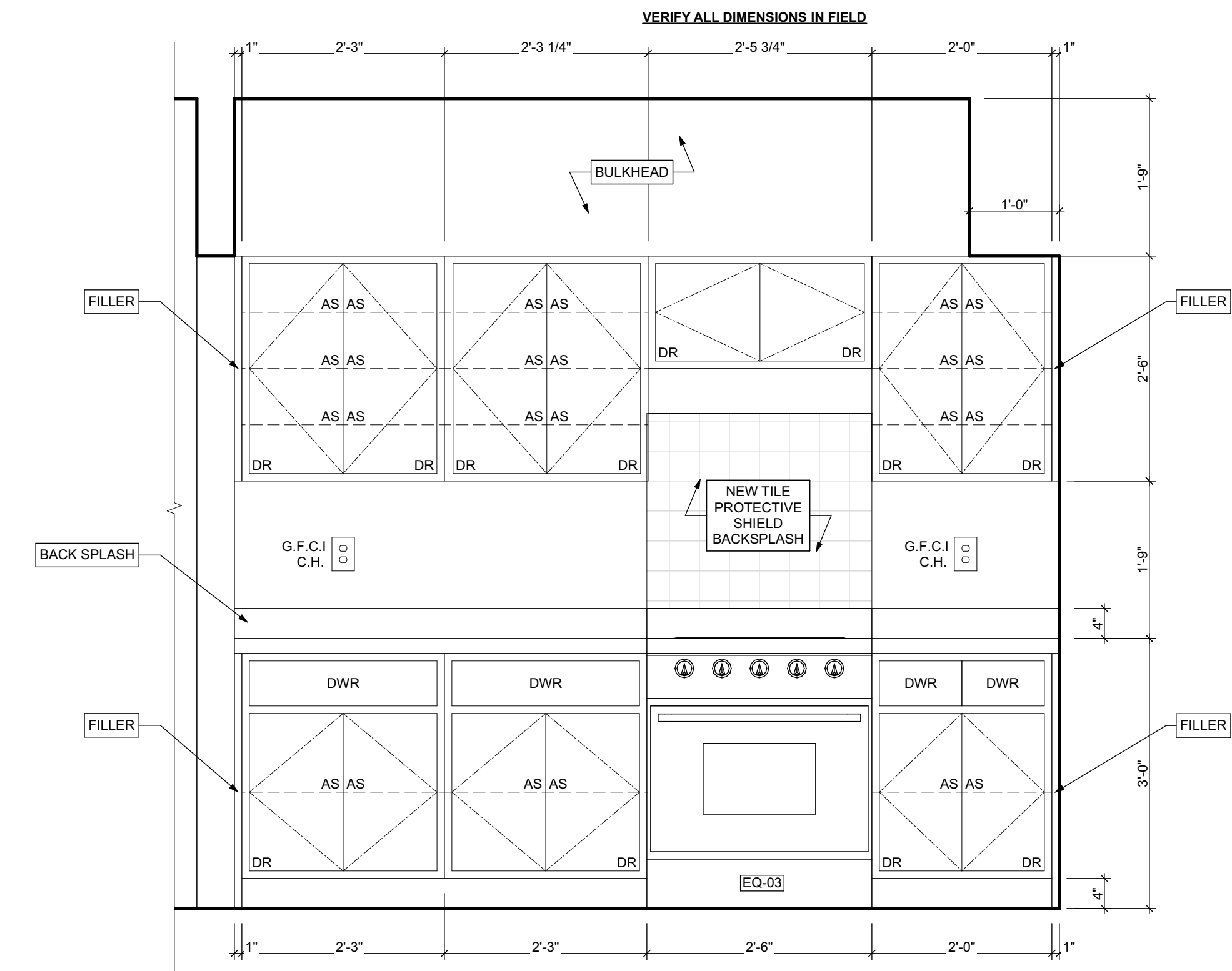


1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

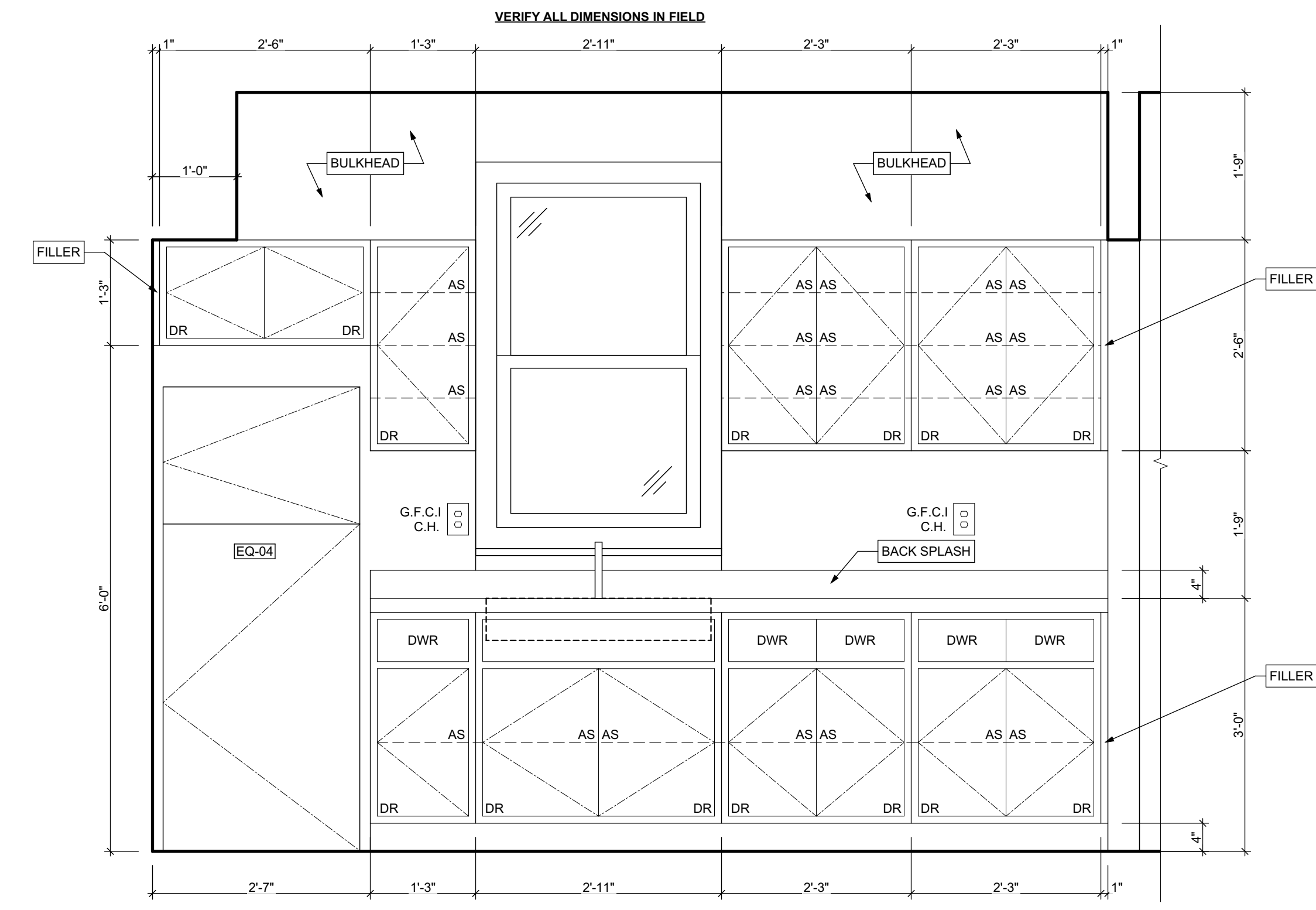
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



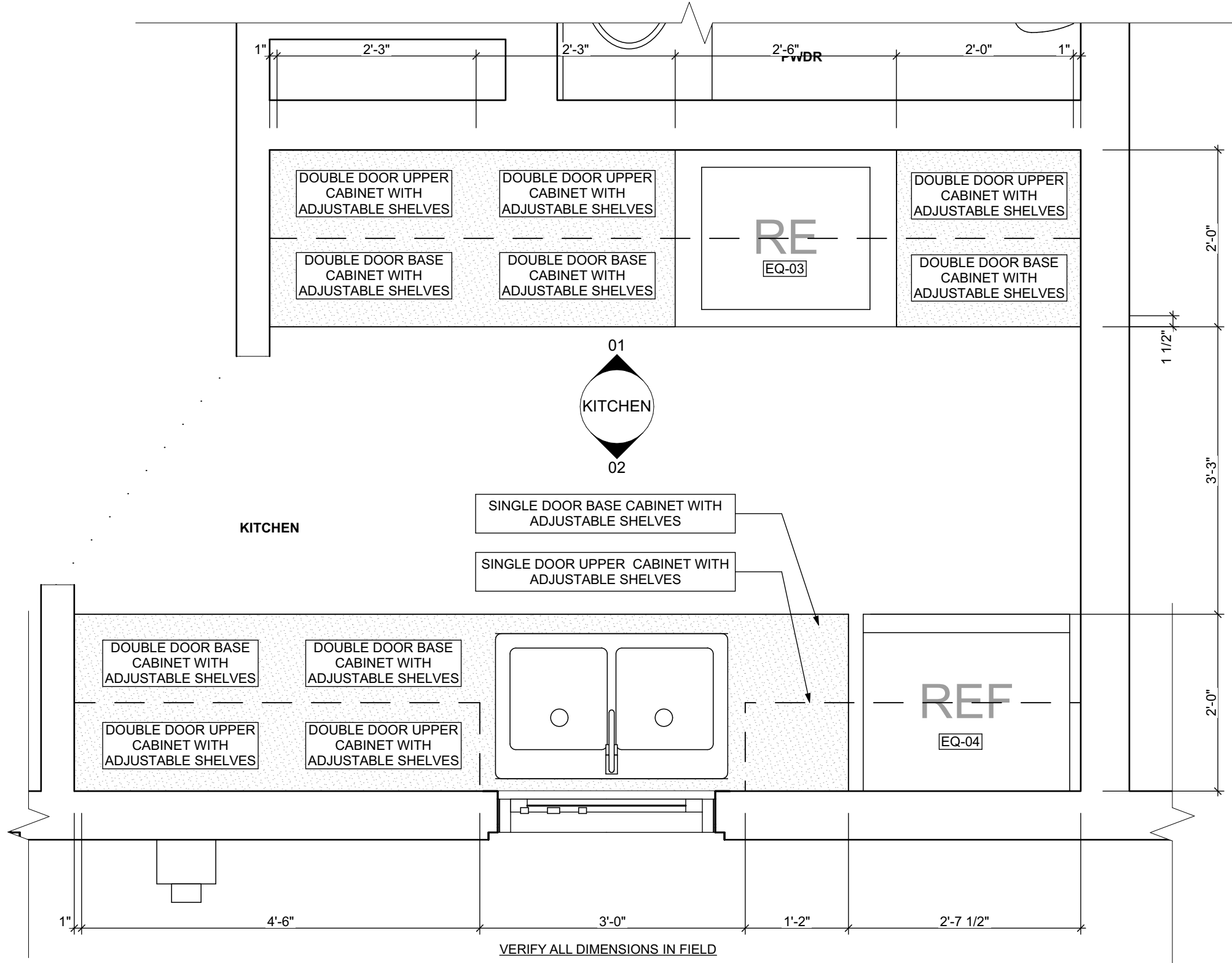
3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



1 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	2	Eviva Steek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxxrow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKA	Electric Baseboard Radiation, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric Heat Pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PRCLINE-XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2D800	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GLY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale

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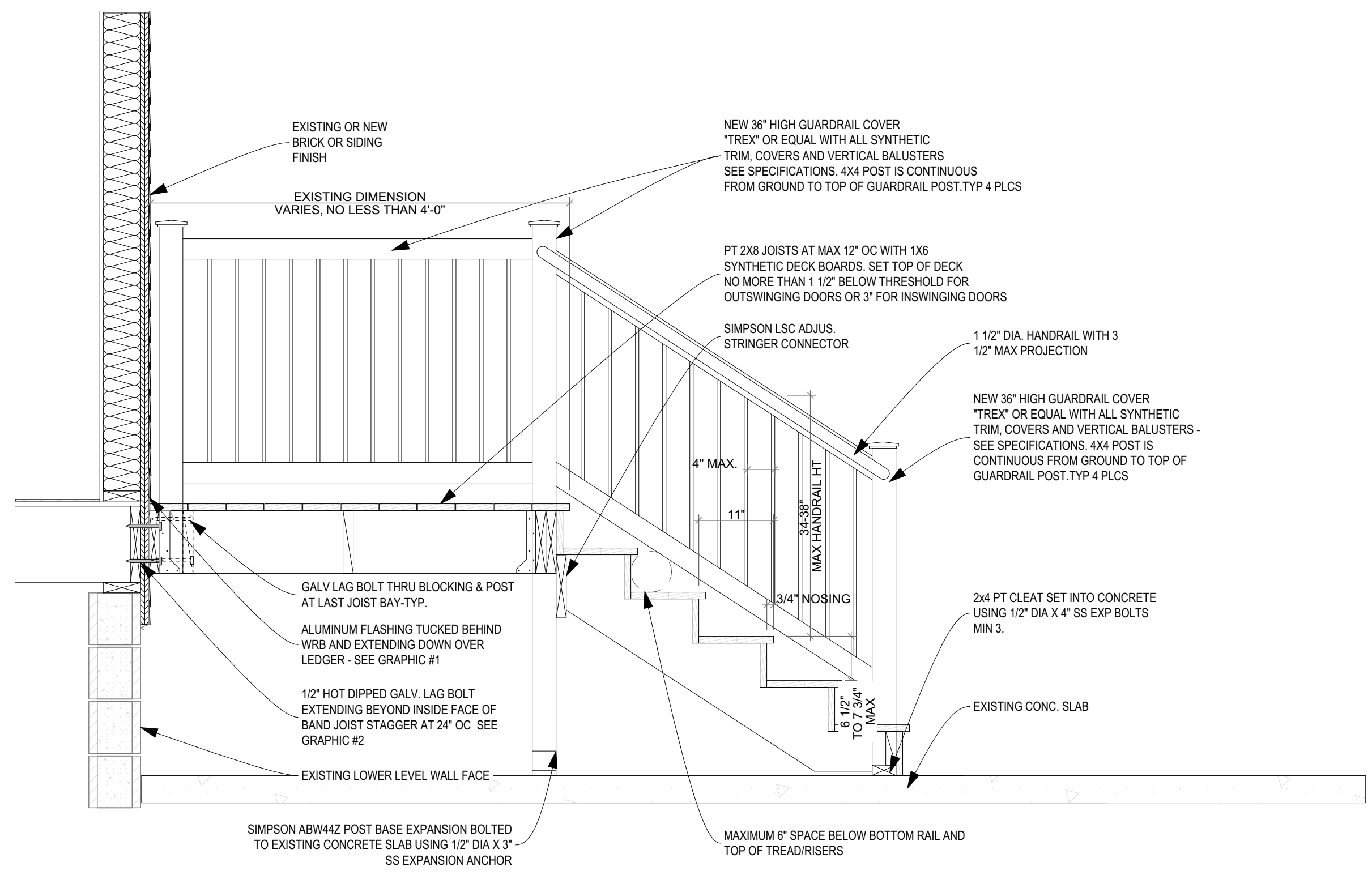
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1225 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
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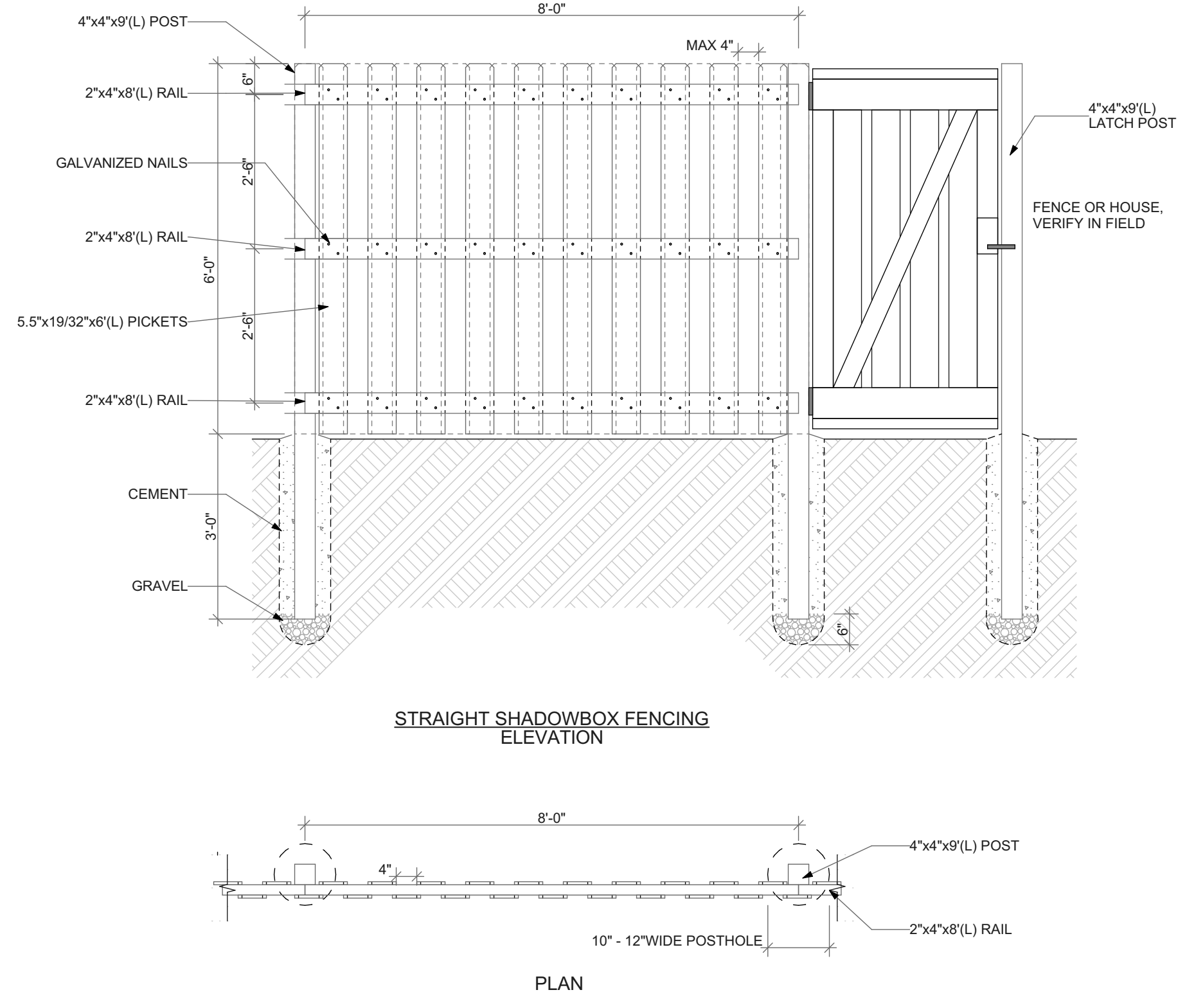
drawing title

FIRST FLOOR KITCHEN
ENLARGED PLAN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02

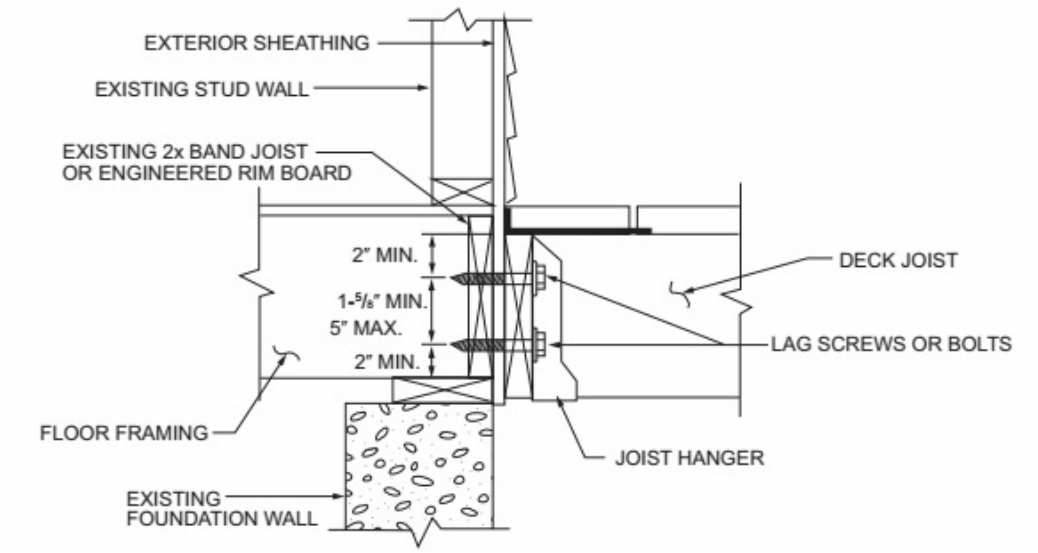
scale As Noted	Sheet No. A9 Project #2006
date April 25, 2022	
no. 10	of. 12



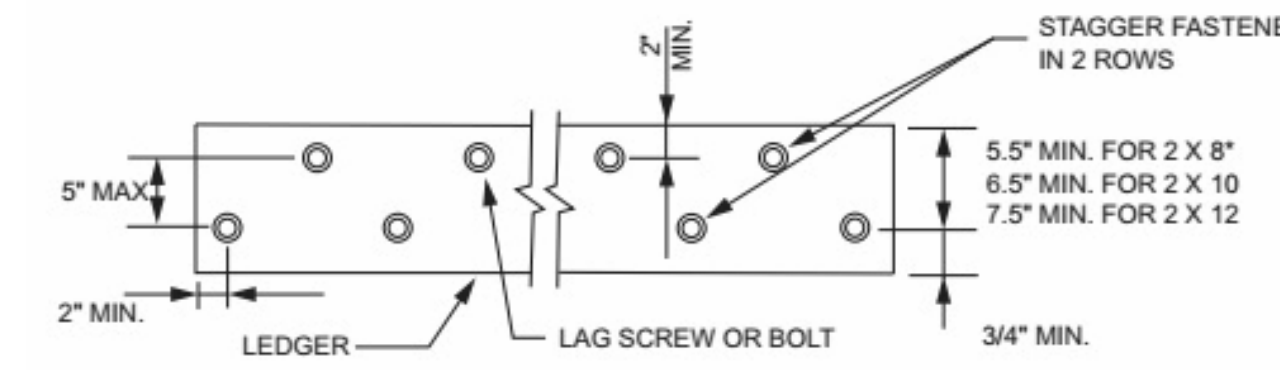
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



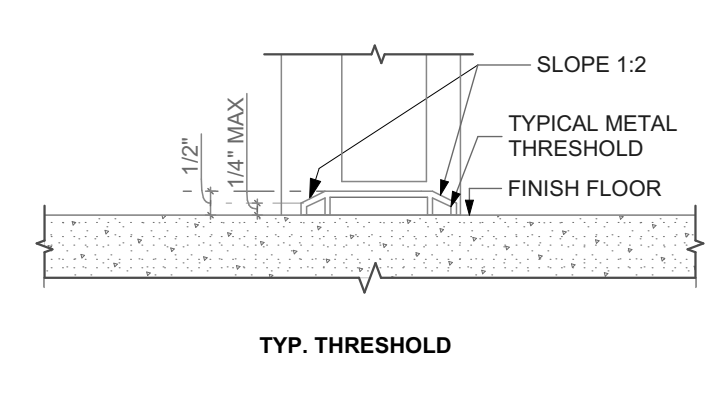
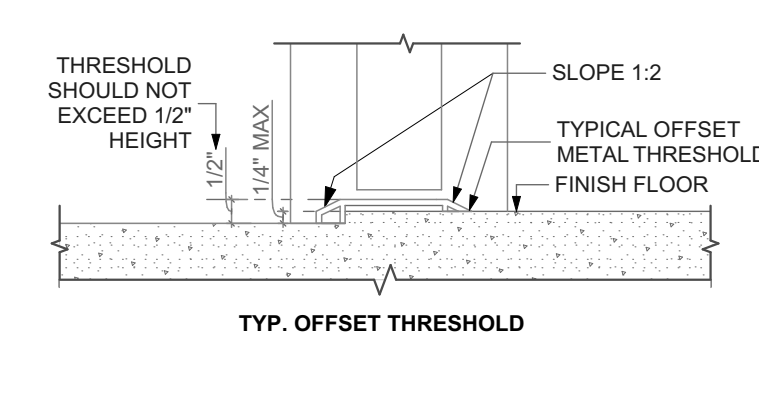
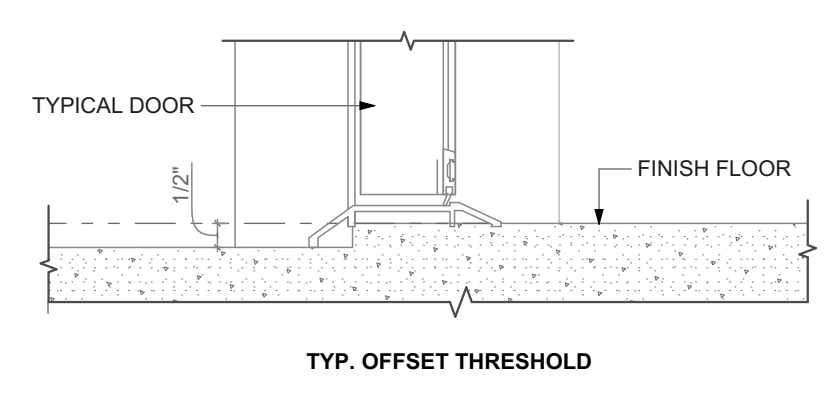
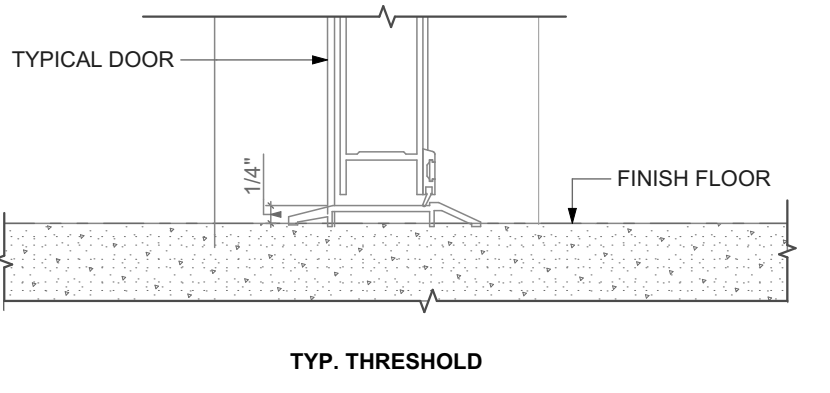
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



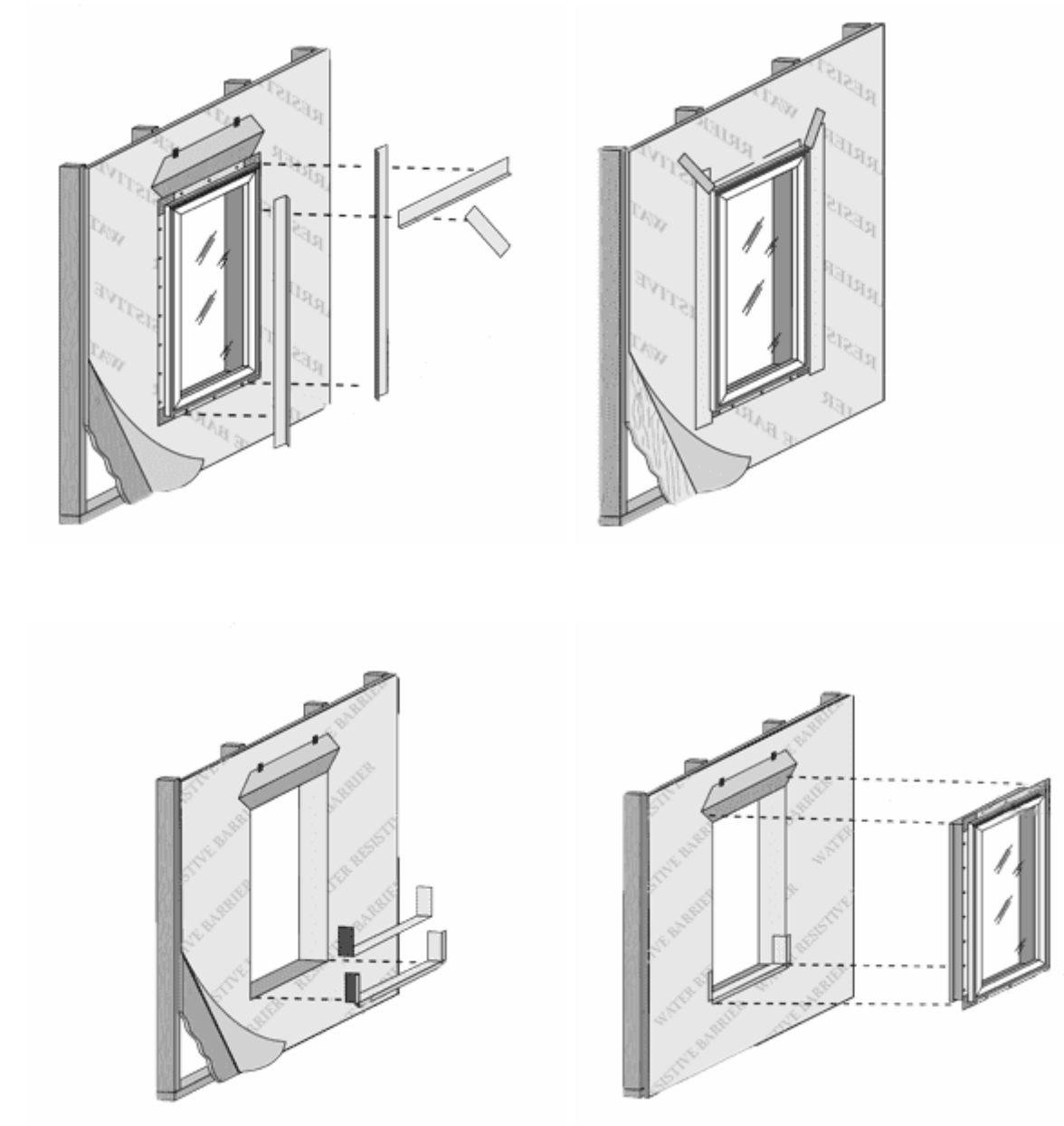
3 DECK ENLARGED DETAILS



*DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4.5" IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2 X 8 LEDGERS TO 2 X 8 BAND JOISTS.



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

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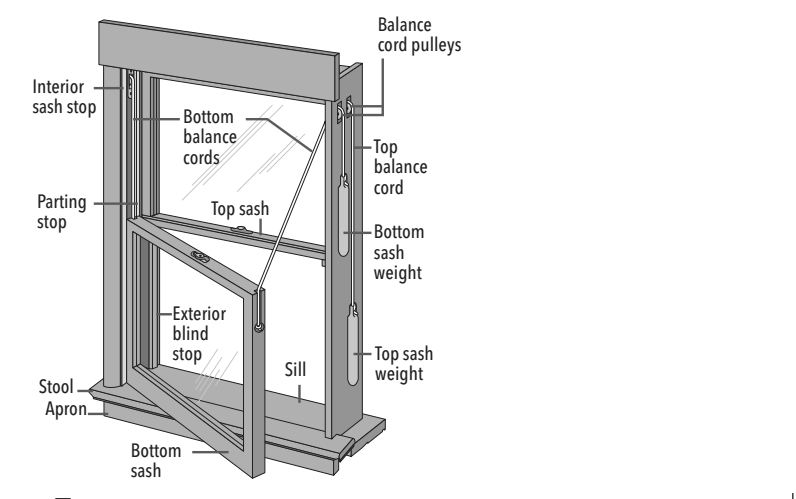
drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	April 25, 2022
no.	11 of 12

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Project #	#2006

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

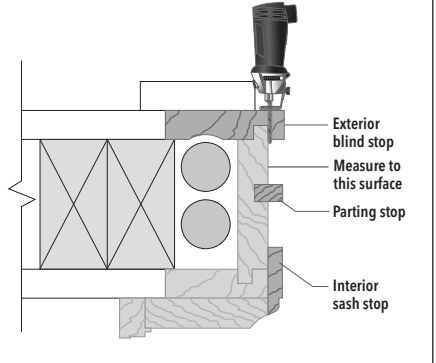


1 REMOVE THE EXISTING SASHES

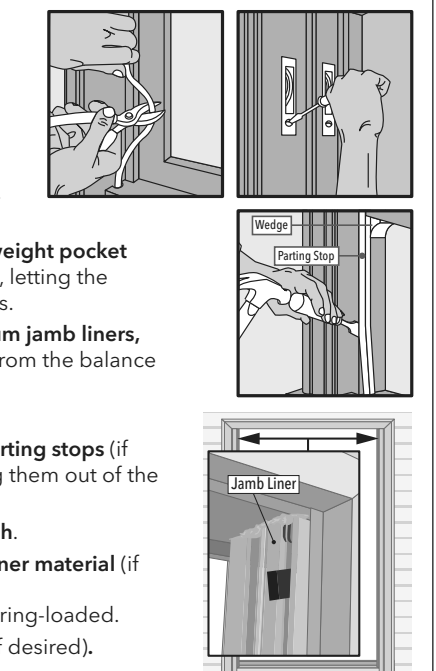
CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

- Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.



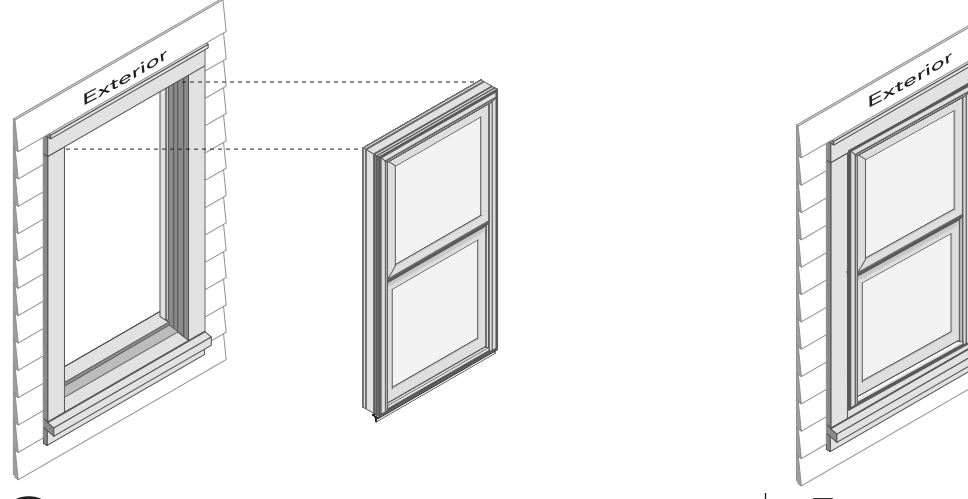
- Remove the exterior stops at the head and jambs using a chisel, reciprocating saw, ratchet or equivalent. Cut them flush with the side of the frame.
- Remove the upper sash and dispose of it properly.
- For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.
- Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
- Carefully remove the lower sash.
- Remove any remaining jamb liner material (if applicable).
Caution: Some balances are spring-loaded.
- Insulate the weight chamber (if desired).



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POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

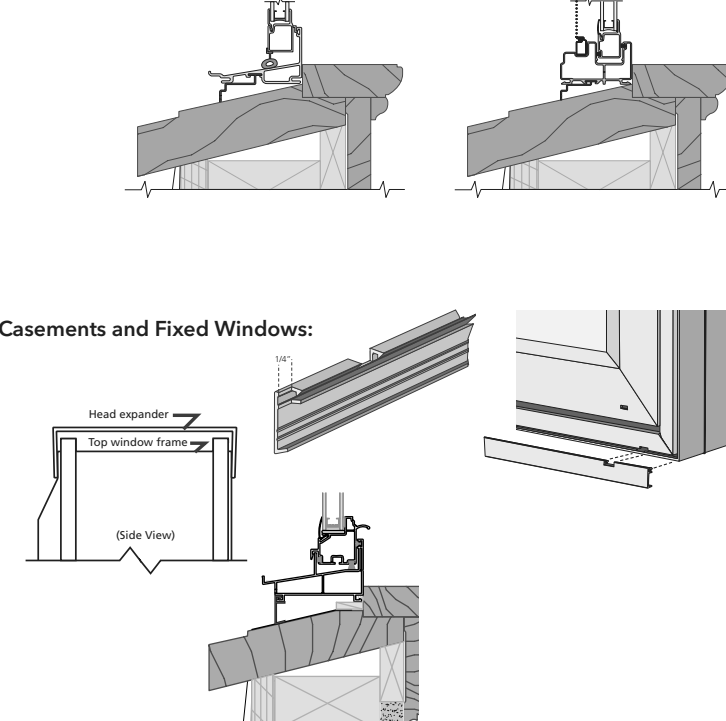


3 PREPARE THE WINDOW (Continued)

- Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes. **Refer to the anchoring instructions at the end of this booklet.**

Ensure the window frame remains fully embedded in sealant.

- Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).
- Pella® Lifestyle Series Dual-Pane only:** Push the remaining tabs of the band into the jambliner holes.
- Check for plumb, level, square and window operation. Make any necessary adjustments to shims and finish installing frame screws.
- Adjust the screw jacks (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash.
- Tilt the lower sash inward to locate the jamb jacks in the interior balance channel near the checkrail.
- Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.
- Install exterior sealant. Refer to the exterior sealant instructions at the end of this booklet.
- Install exterior frame expanders at this time (if necessary).

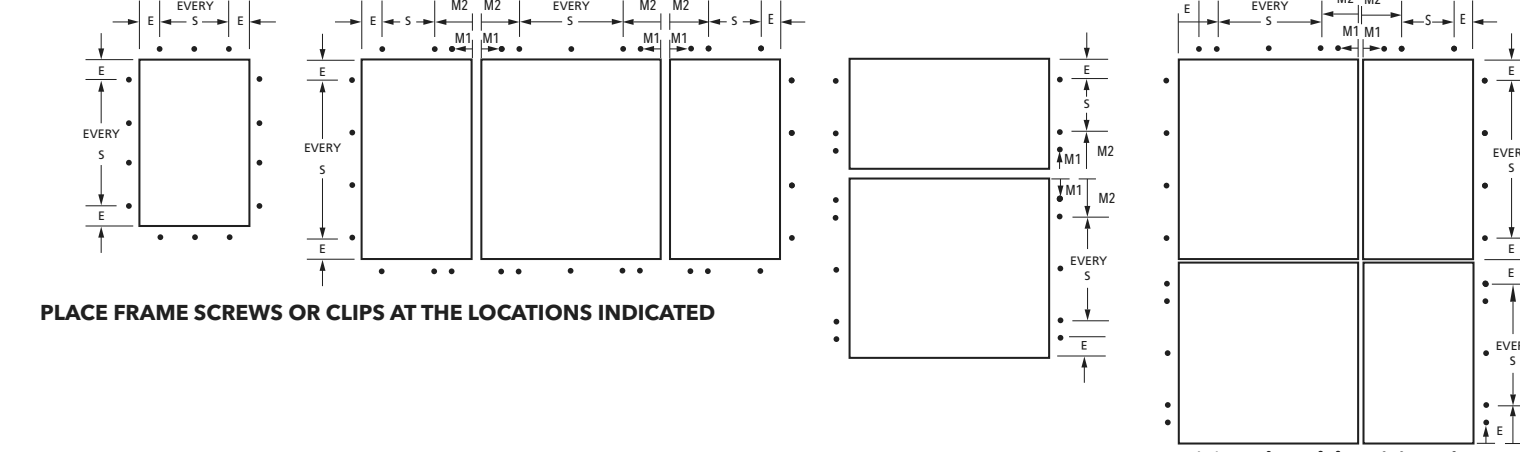


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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



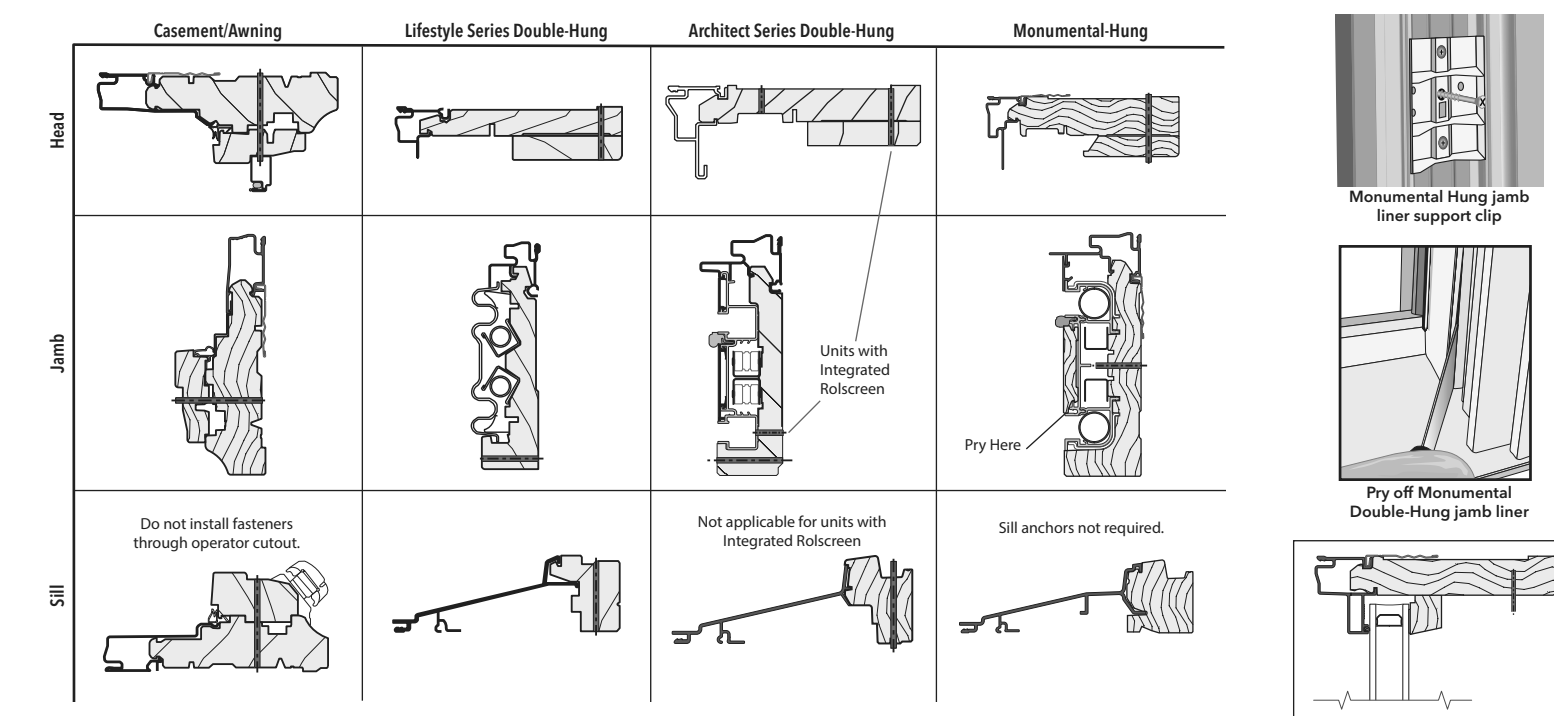
PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement / Awning	6"	16"	3"	6"	#8x3" Finish Screw	For windows with integrated RollScreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid RollScreen components in the head and sill.
Double- or Single- Hung	6"	16"	3"	6"	#8x3" Finish Screw	
Fixed Frame	6"	16"	3"	6"	#8x3" Finish Screw	
Monumental HD® > 54" x 96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame for secure clips. Drive additional screws through the frame for secure clips centered between each jamb liner support clip.

M1 anchor required if design pressure exceeds 20 psf. For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



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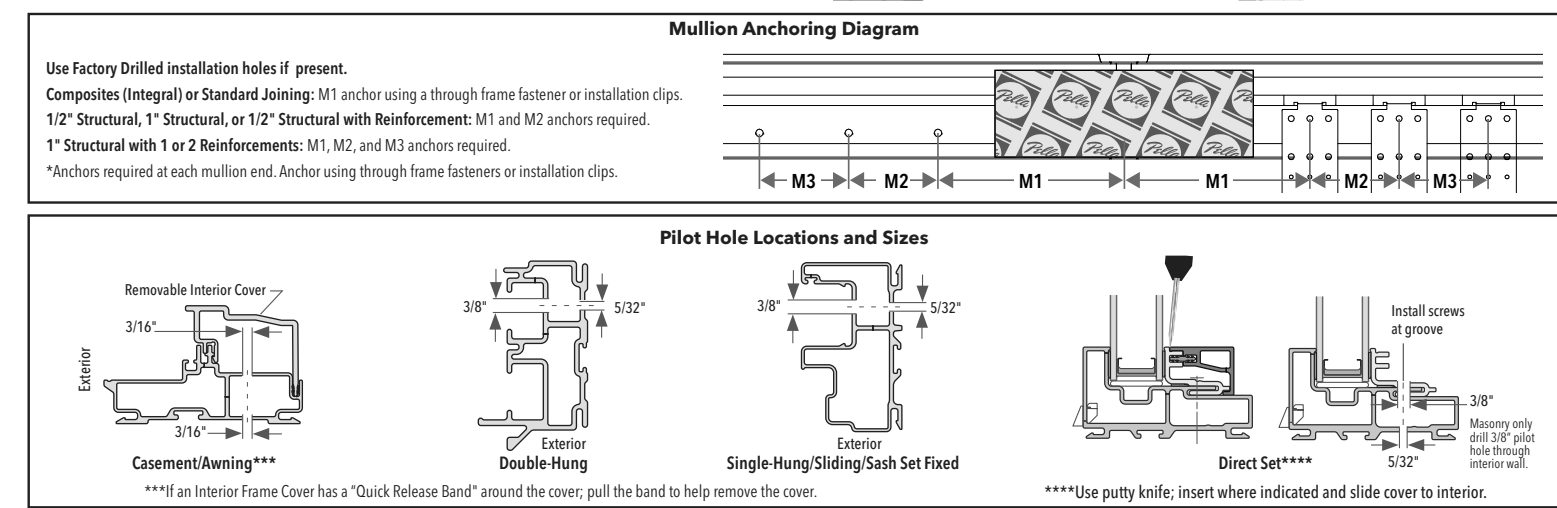
BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener*	Special Notes
Sliding and Sash Set Fixed	6"	16"	3"	6"	#8 x 1-1/2" Pan Head (provided)	Installation clips required for anchoring at the sill.
Single Hung	6"	16"	3"	6"	#8 x 1-1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double Hung	6"	16"	3"	6"	#8 x 1-1/2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning - Vent and Fixed	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Direct Set	6"	15"	3"	6"	#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).

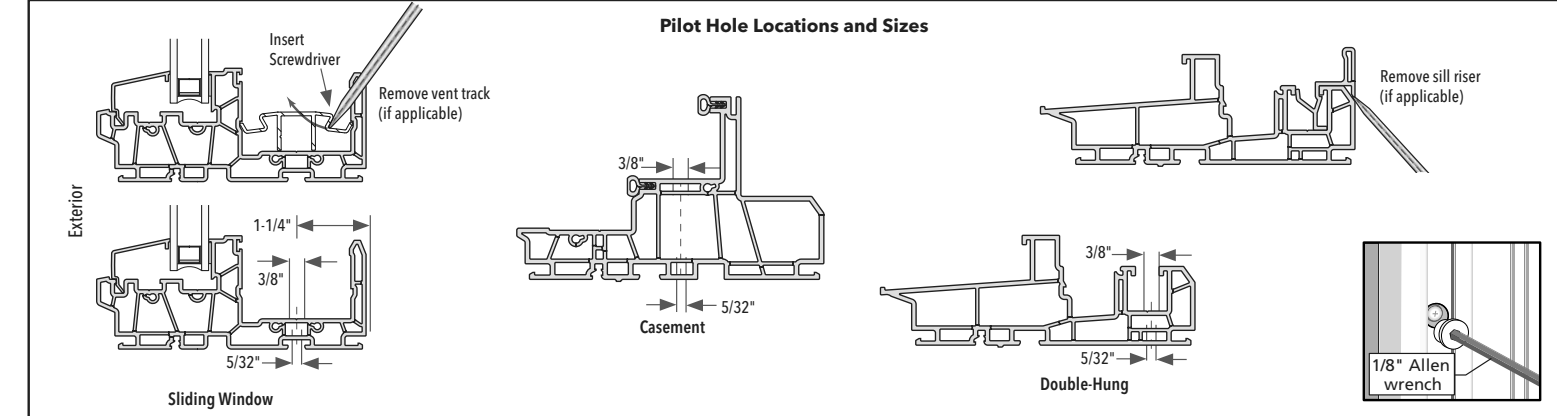
Clip Anchor Method Only
Slide clips into the frame groove and locate on the anchoring spacers. Use a small piece of flashing tape to hold the clips in place.
***For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	3"	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	3"	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double and Single Hung	6"	16"	3"	6"	#10x2-1/2" Pan Head (provided)	

* Use Factory Drilled installation holes if present. Install hole plugs after driving screws. For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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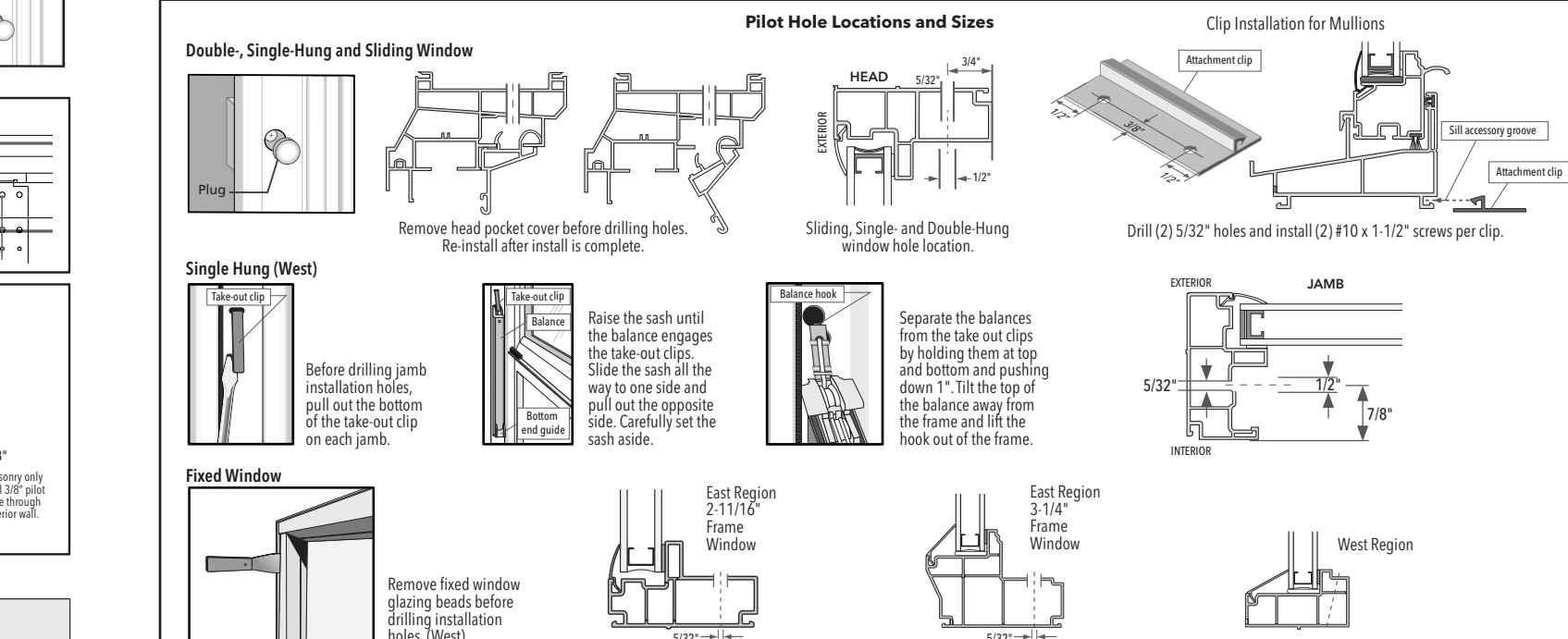
BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single Hung (West)	6"	16"	3"	6"	#8 x 1-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double Hung (East)	6"	16"	3"	6"	#10 x 2" Pan Head (provided)	High Performance DH (3) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (4) #8 x 2" screws at head mullion ends and (4) clips at sill mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PG50 Performance installs.
Fixed Window	4"	16"	4"	8"	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

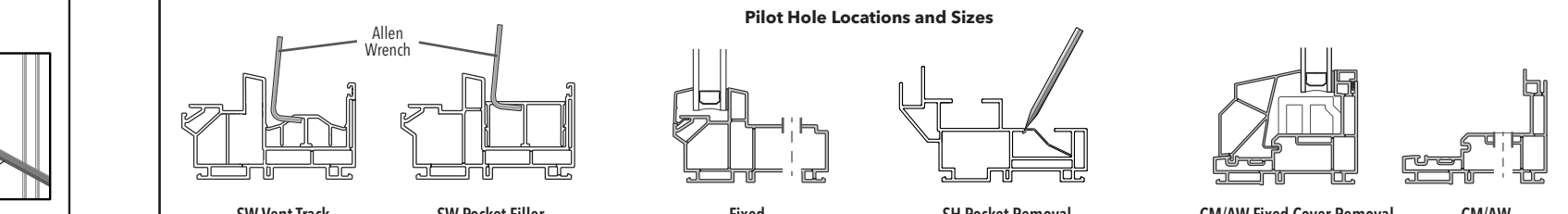
All venting products: Head and sill anchors are required on composite only. *** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
CM/SK (single units)	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes for a PG50 Performance installs.
DH / SH / FX	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	
SW #PG50	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	
FX CM/AW	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	

All venting products: Head and sill anchors are required on composite only. *** For DH & SH units >42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes. *** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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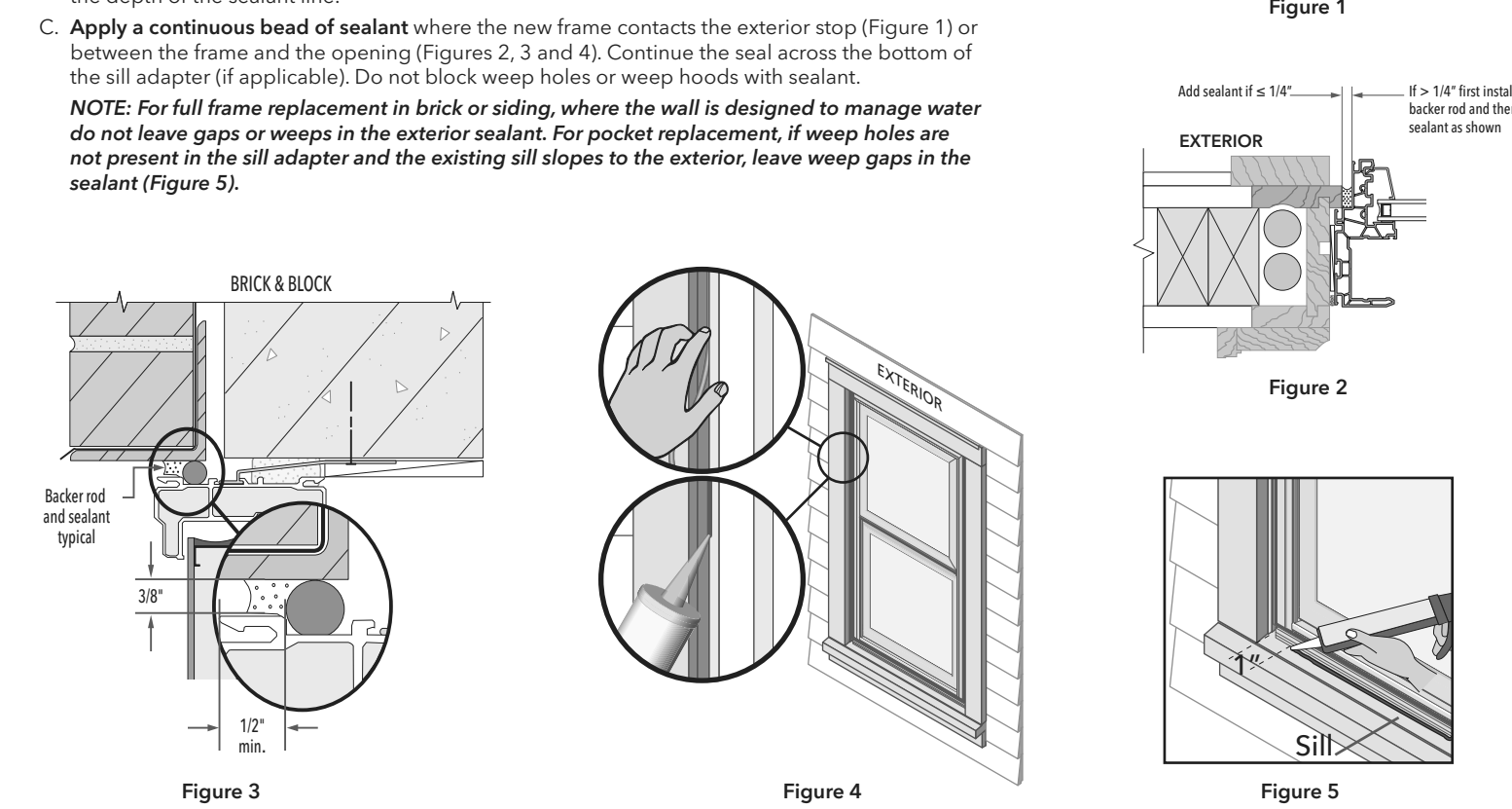
INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

- Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity. **NOTE: Apply foam between the frame and rough opening. NOT between jamb extensions and the rough opening.**
- To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal. Backer rod (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.
- For windows set against drywall return or wood interior stops:
 - Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam. **Note: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.**
- Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

Exterior Sealant Instructions

- CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.
- If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
 - Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
 - Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant. **NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the interior seal. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).**



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general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT; 04.25.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1225 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

WINDOW REMOVAL / REPLACEMENT (PELLA)

scale	As Noted
date	April 25, 2022
no.	12
of.	12
A11 Project #2006	

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1227 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 4 BEDROOM UNIT

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Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,111 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	8

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@haacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of Permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO**

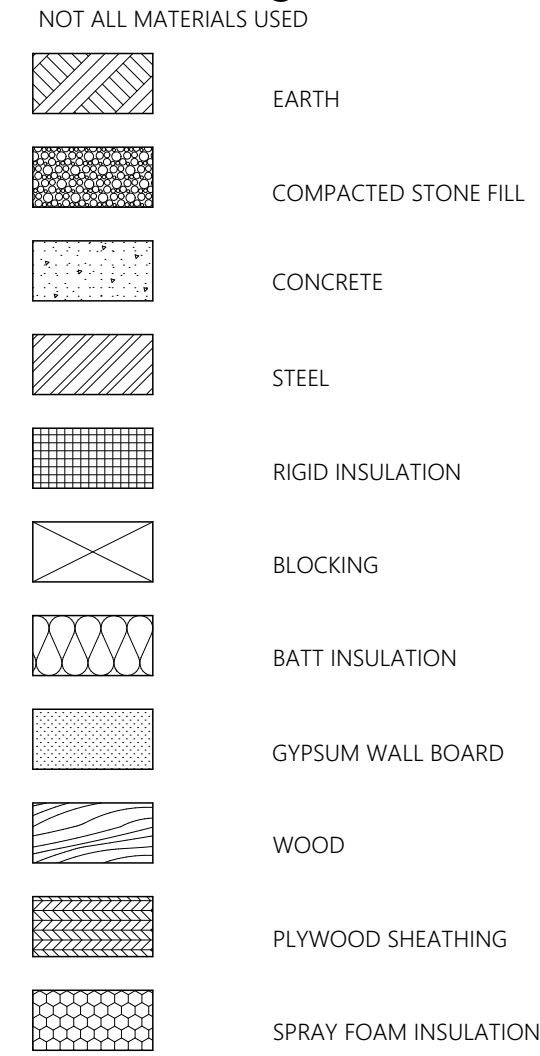
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date	May 6, 2022
no.	2
of.	12

Sheet No.

A1

Project #2006

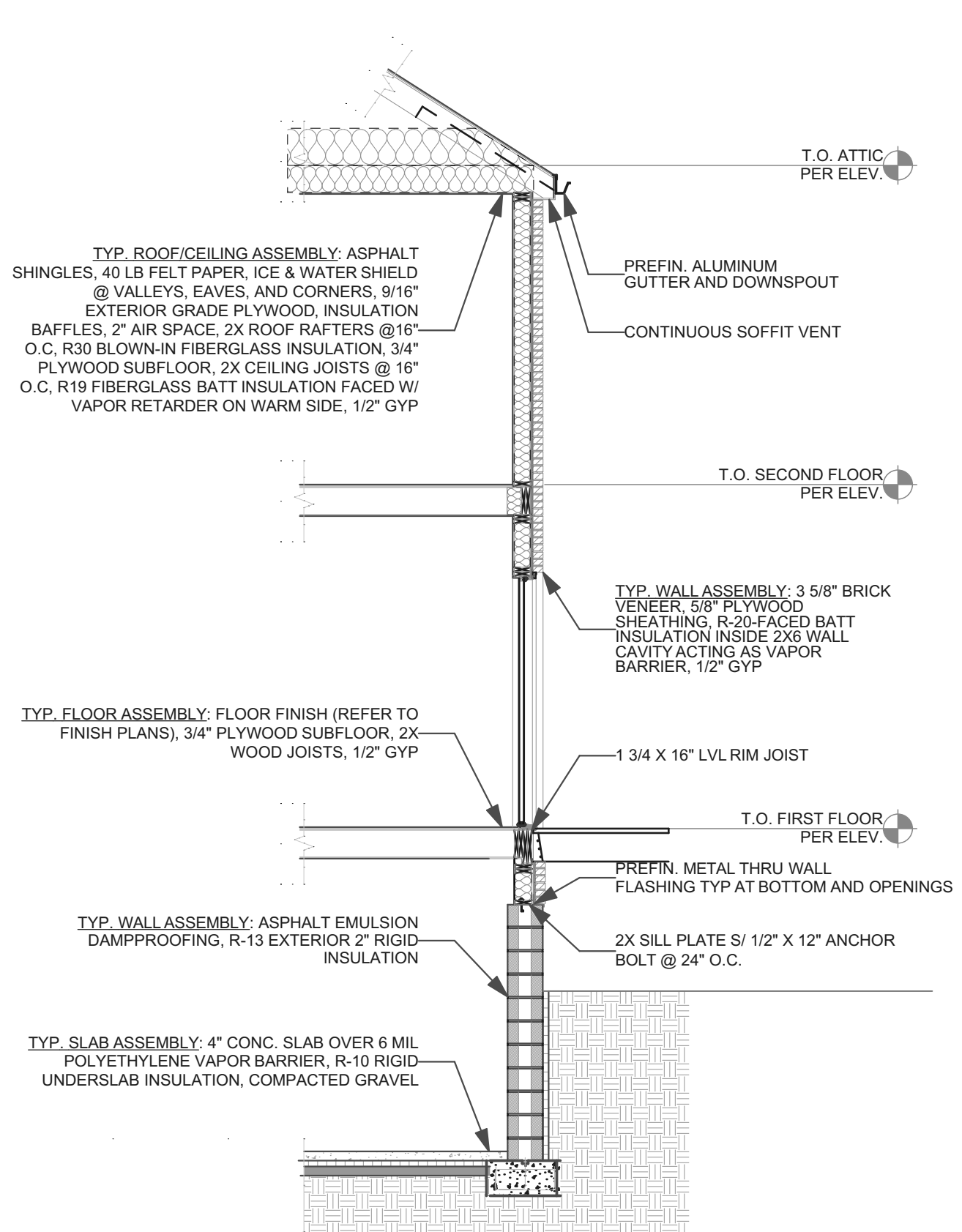
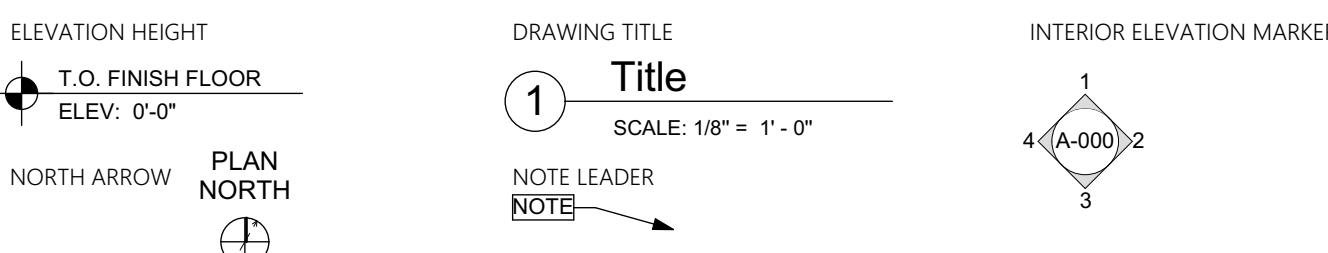
Materials Legend



Abbreviations

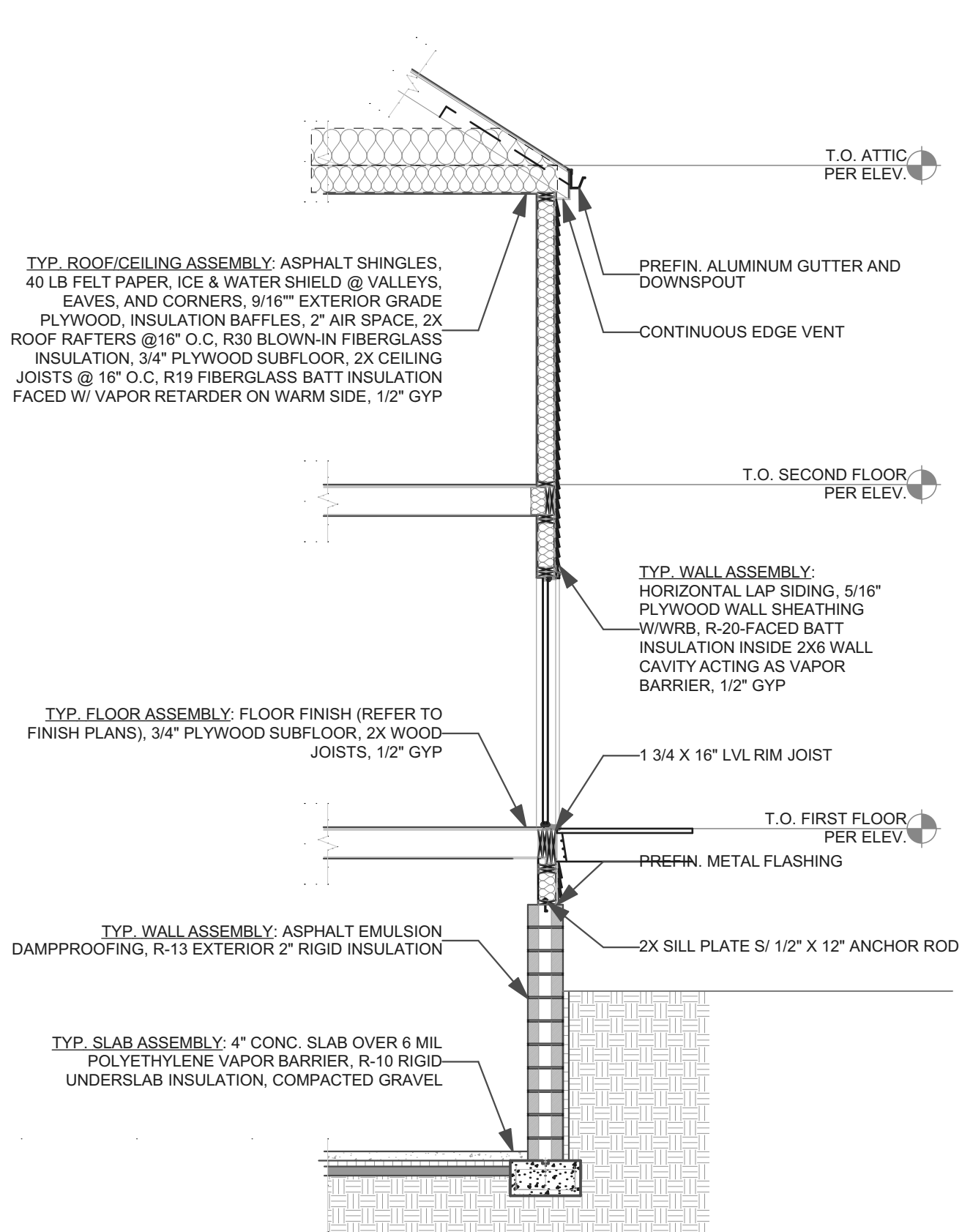
A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed Exterior	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	E.I.F.S.	Exterior Insulation & Finish System	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	F.F.	Fiberglass Reinforced Polyester	P.W.D.	Plywood
APPROX.	Approximate	FIN.FLR.	Finish Floor	POLY.	Polyethylene
ARCH.	Architectural	F.A.C.P.	Fire Alarm Control Panel	P.V.C.	Polyvinyl Chloride
ASB.	Asbestos	F.E.	Fire Extinguisher	PRE-FAB.	Prefabricated
ASPH.	Asphalt	FLR.	Floor	RE	Refer To
AUTO.	Automatic	BD.	Board	REF.	Refrigerator
AVG.	Average	BOT	Bottom	R.C.P.	Reinforced Concrete Pipe
		BLDG	Building	REINF.	Reinforcement
				RD.	Roof Drain
				RM.	Room
				S.A.T.	Suspended Acoustical Tile
				SCHED.	Schedule
				SHT.	Sheet
				SIM.	Similar
				S.C.	Solid Core
				S.P.E.C.S.	Specifications
				SQ.	Square
				S.F.	Square Foot
				S.S.	Stainless Steel
				STL.	Steel
				STOR.	Storage
				STRUCT.	Structural
				TEL	Telephone
				THK.	Thick
				T.B.D.	To Be Determined
				T&G	Tongue & Groove
				T.O.	Top Of
				T.G.	Top Of Grade
				T.O.S.	Top Of Steel
				TYP.	Typical
				UNFIN.	Unfinished
				U.N.O.	Unless Noted Otherwise
				V.B.	Vapor Barrier
				VERT.	Vertical
				VEST.	Vestibule
				V.C.T.	Vinyl Composition Tile
				V.I.F.	Verify in Field
				W.H.	Water Heater
				W.R.B.	Water Resistant Barrier
				W.W.F.	Welded Wire Fabric
				WIN.	Window
				W/	With
				W/O	Without
				WD.	Wood

Symbols



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

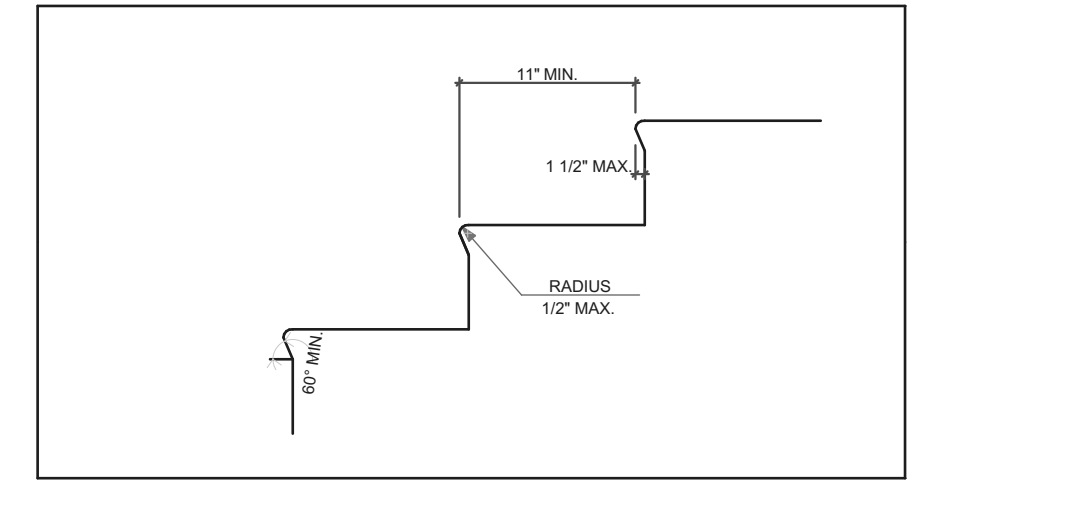
2 BRICK WALL SECTION



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

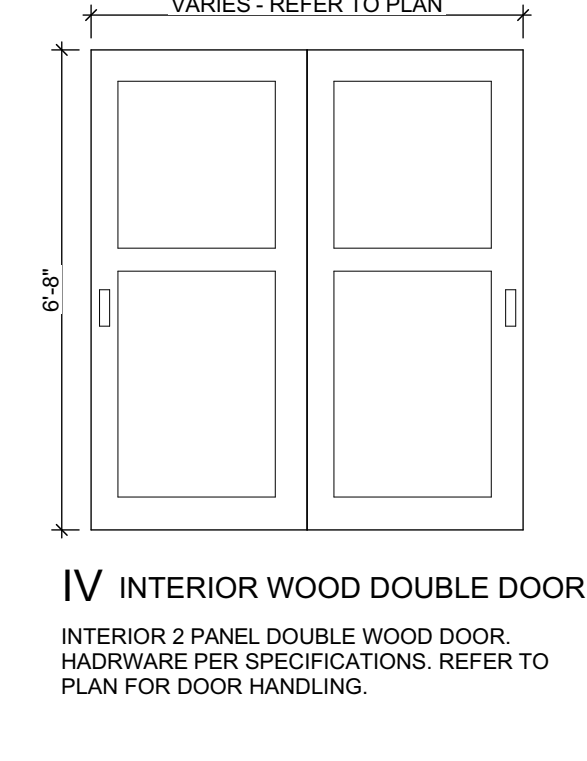
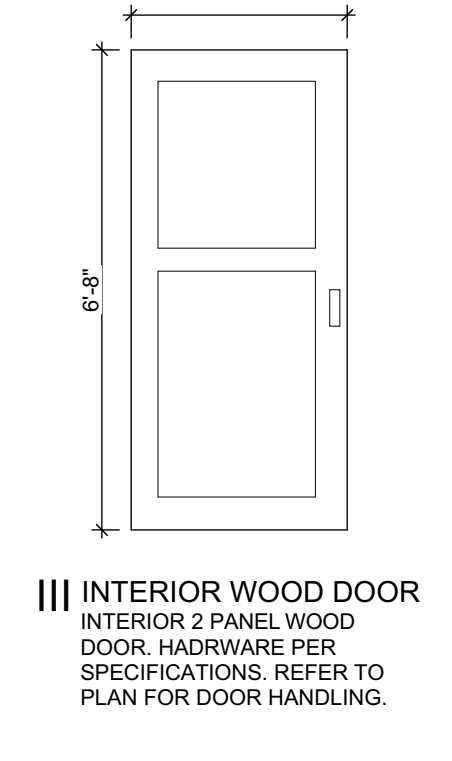
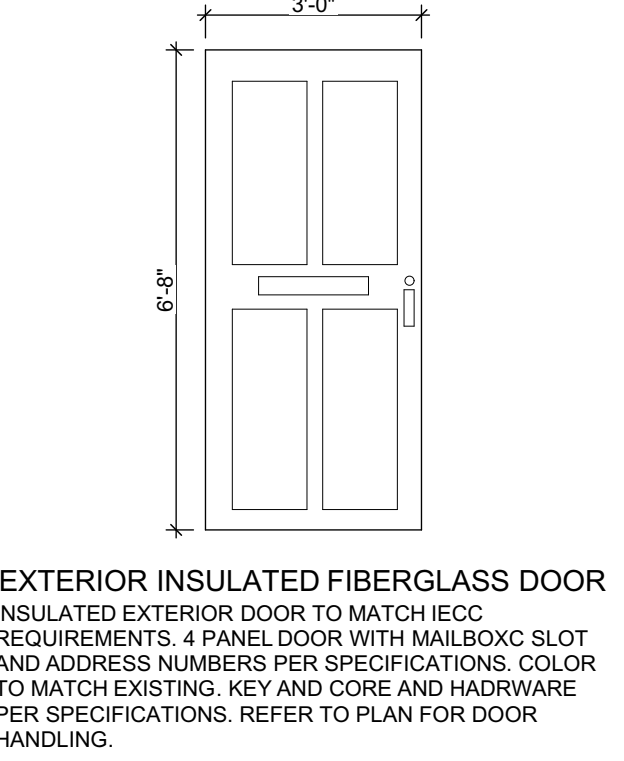
1 ABBREVIATIONS AND MATERIALS



ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-6"	1'-9"	7'-11 1/4"	VINYL CLAD WOOD	☒	☐
B	2'-9"	2'-0"	8'-7 3/4"	GLASS BLOCK	☐	☐
C	2'-9"	5'-0"	7'-8"	VINYL CLAD WOOD	☒	☐
D	2'-8"	7'-0"	7'-0"	FIBERGLASS	☐	☒
E	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	☒	☐
F	2'-9"	4'-4"	6'-9"	VINYL CLAD WOOD	☒	☐
G	4'-10"	4'-6"	6'-8"	VINYL CLAD WOOD	☒	☐
H	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	☒	☐
I	2'-4 1/2"	4'-1"	7'-1"	VINYL CLAD WOOD	☒	☐

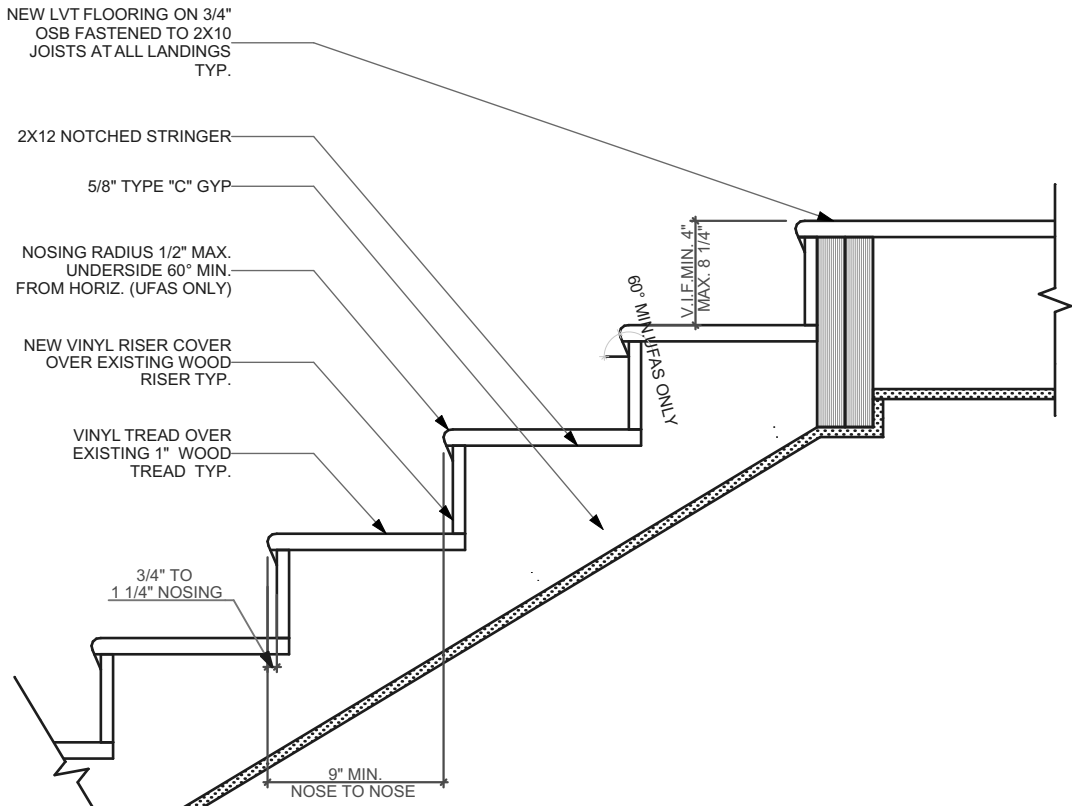
ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS.
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	3'-0" x 7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	2'-8" x 7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8" x 6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0" x 6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
6	3'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4" x 6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6" x 6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0" x 6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4" x 6'-8"	III	WOOD	WOOD	PASSAGE
11	2'-6" x 6'-8"	III	WOOD	WOOD	PRIVACY

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS.
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL

- scale**
- general notes**
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
- revisions**

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1227 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

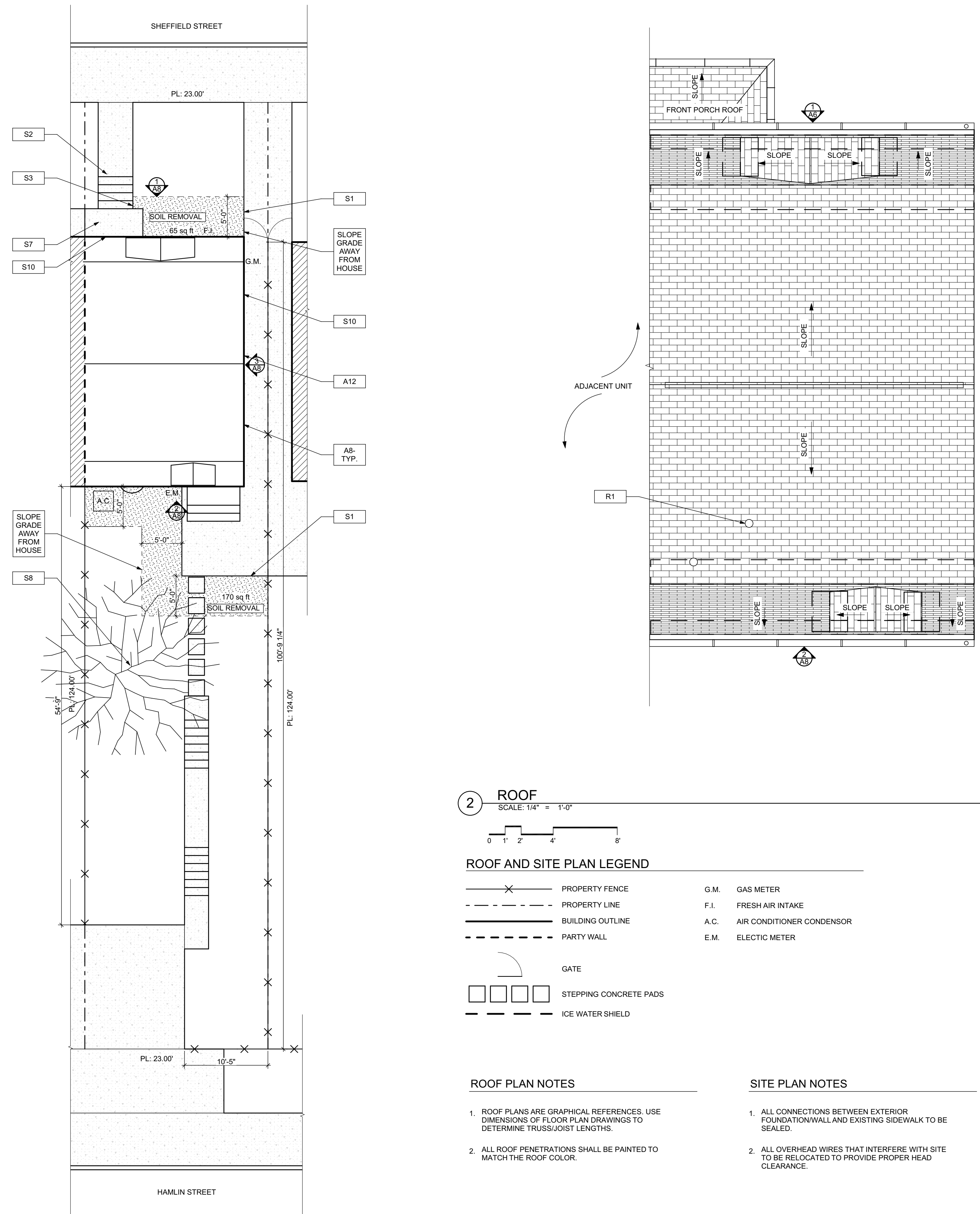
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	5	A4 Project #2006
of.	12	

- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF SLOPE FOUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT TO BE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MINIMUM 1" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS OR STUBS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS, DOORS, AND TILE SOURCES. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/ISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND BRACE. COLUMN OR PLATE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR IR-WALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER BIK IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR QUALITY. ADD DELIMITERS. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



2 ROOF
SCALE: 1/4" = 1'-0"

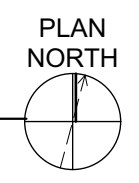
ROOF AND SITE PLAN LEGEND

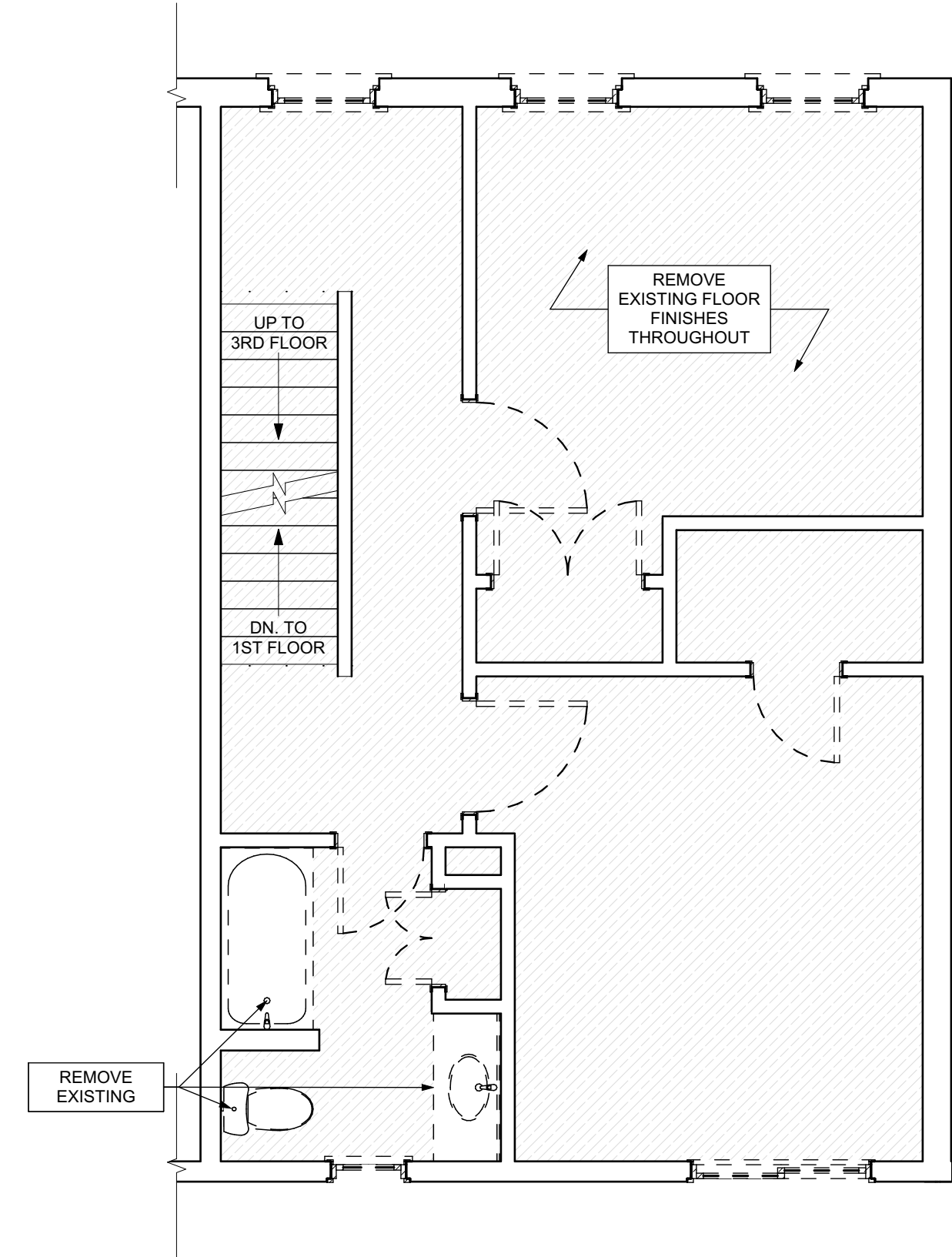
	PROPERTY FENCE	G.M.	GAS METER
	PROPERTY LINE	F.I.	FRESH AIR INTAKE
	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
	PARTY WALL	E.M.	ELECTIC METER
	GATE		
	STEPPING CONCRETE PADS		
	ICE WATER SHIELD		

- ROOF PLAN NOTES**
- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
 - ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.
- SITE PLAN NOTES**
- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
 - ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

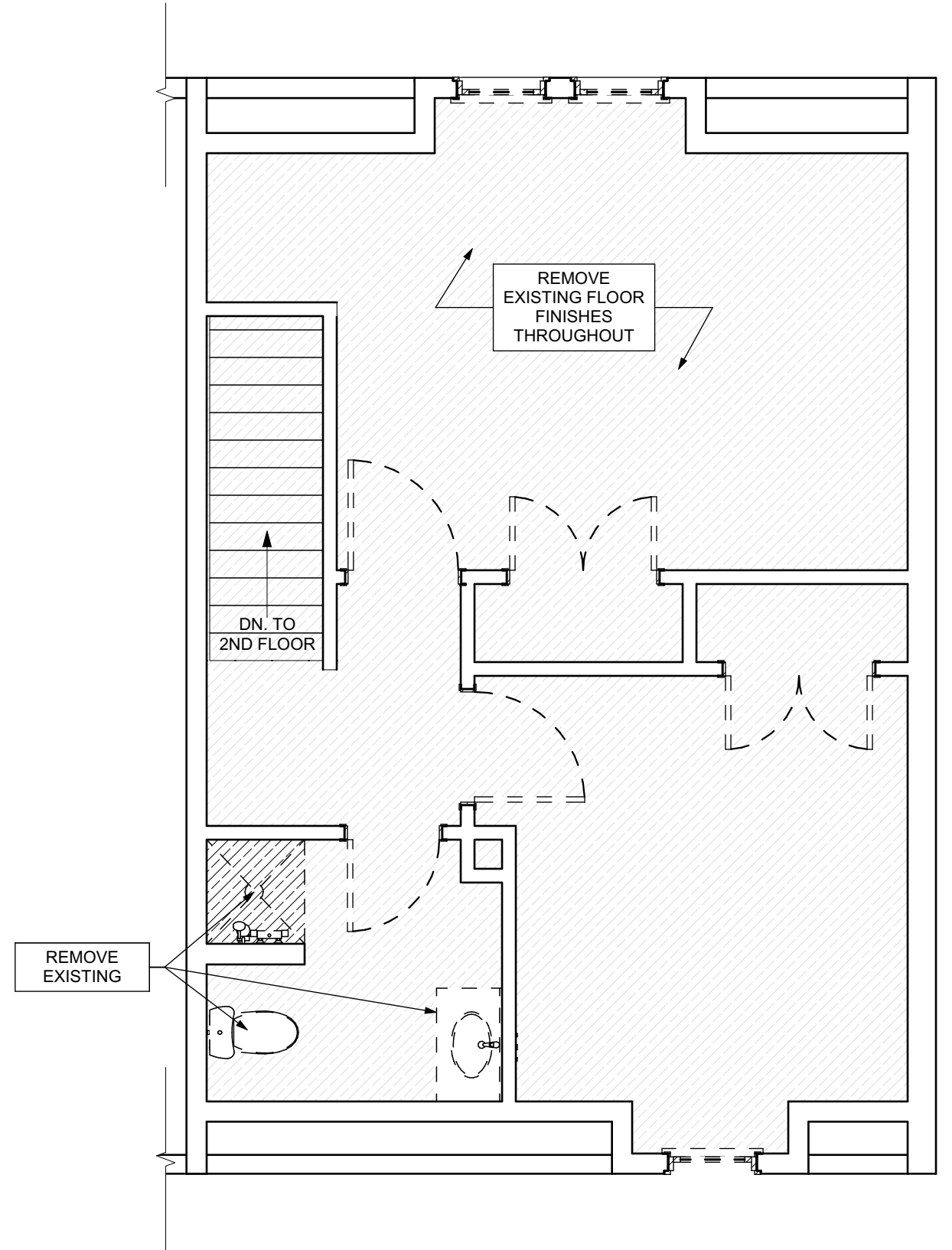
SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

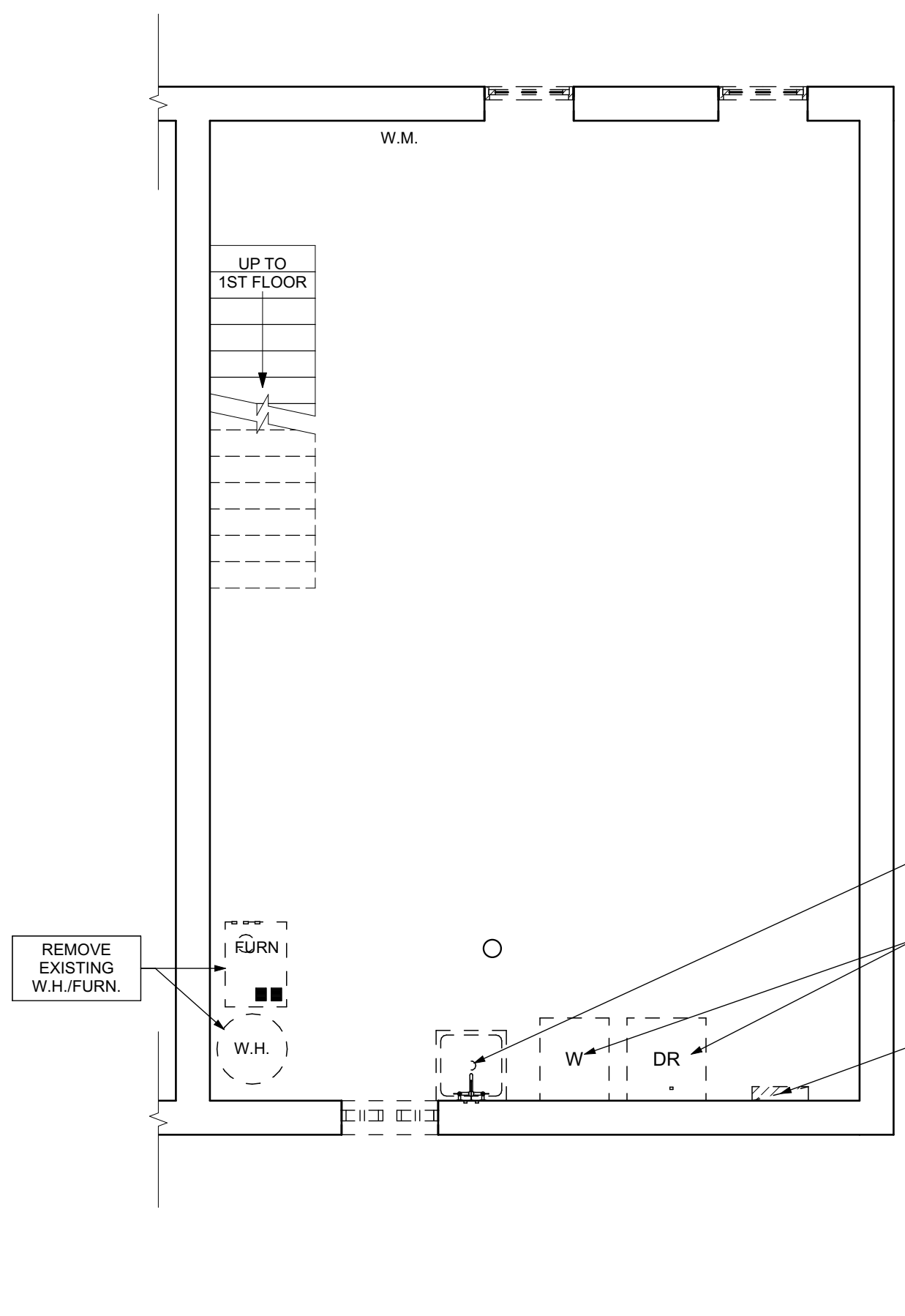




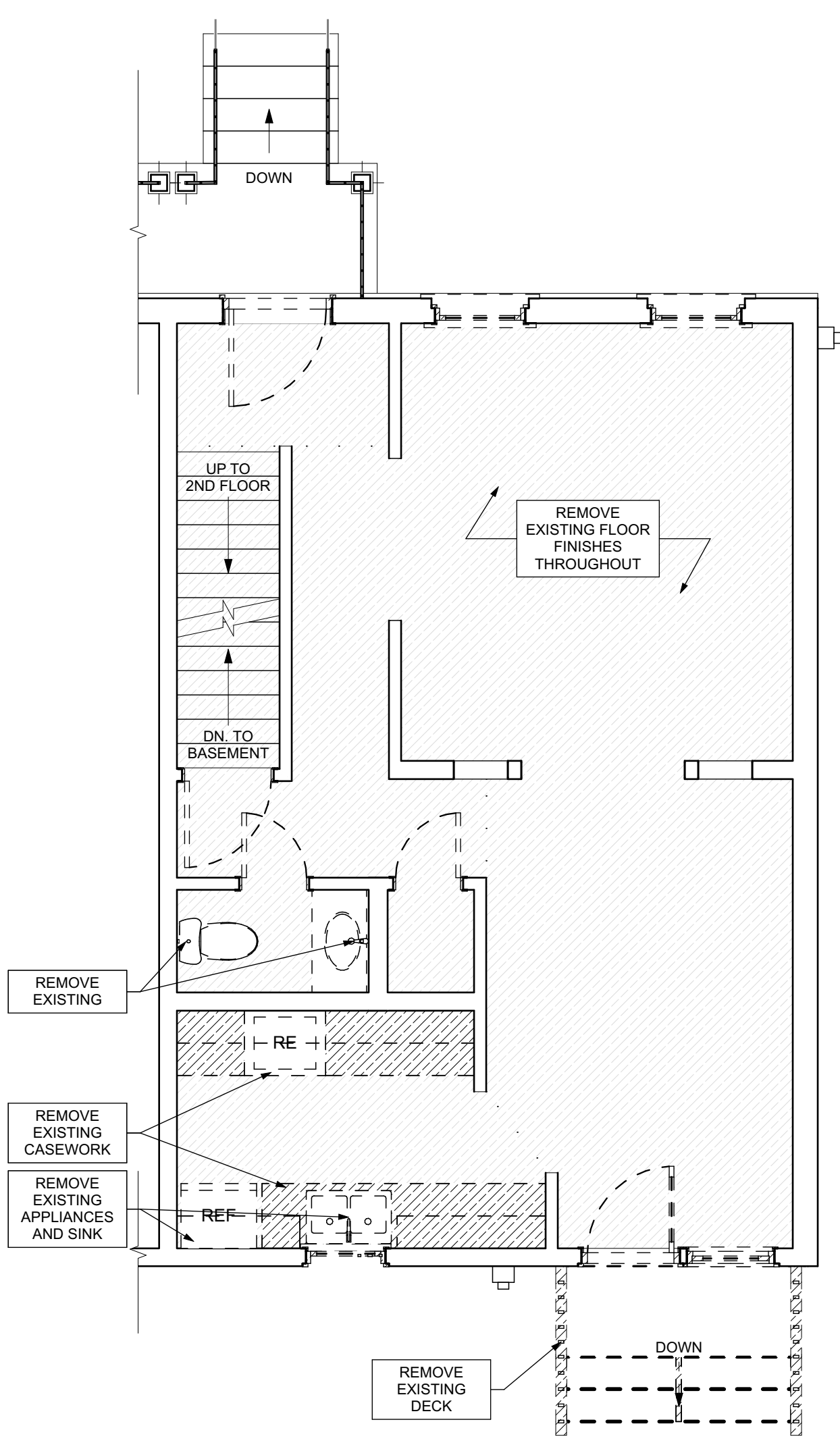
3 SECOND FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"



4 THIRD FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
10. ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

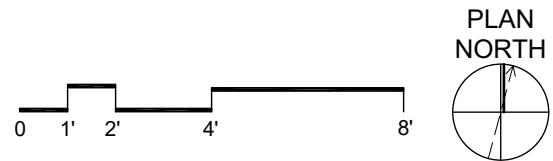
Legend defining hatched areas for 'DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA', 'DEMOLISH EXISTING CASWORK IN HATCHED AREA', and 'FUTURE PHASE TO REMAN AS-IS UNLESS NOTED OTHERWISE.'

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALK-THROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. RE-SEED CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
S18 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAYS. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE BRICKWORK. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 1/4" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS. OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 1/4" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG TO EXPOSE FOUNDATION. PROVIDE WEED BARRIER. GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
A4 RUSTED STRUCTURAL BEAM COLUMN, OR CORNER OR PLATE, BRACE AND TIEBACK TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL MEMBERS. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOW. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS. REPAIR OR REPLACE TREADS AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING BEAM FOR NEW STANDARD 2"x4" SPREAD FOOTING AND BRACE TO COLUMN OR PLATE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOOR OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
P2 EXISTING FUTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AIRFLOW. REFER TO SPECIFICATIONS.
M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELIMITER TO PREVENT ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

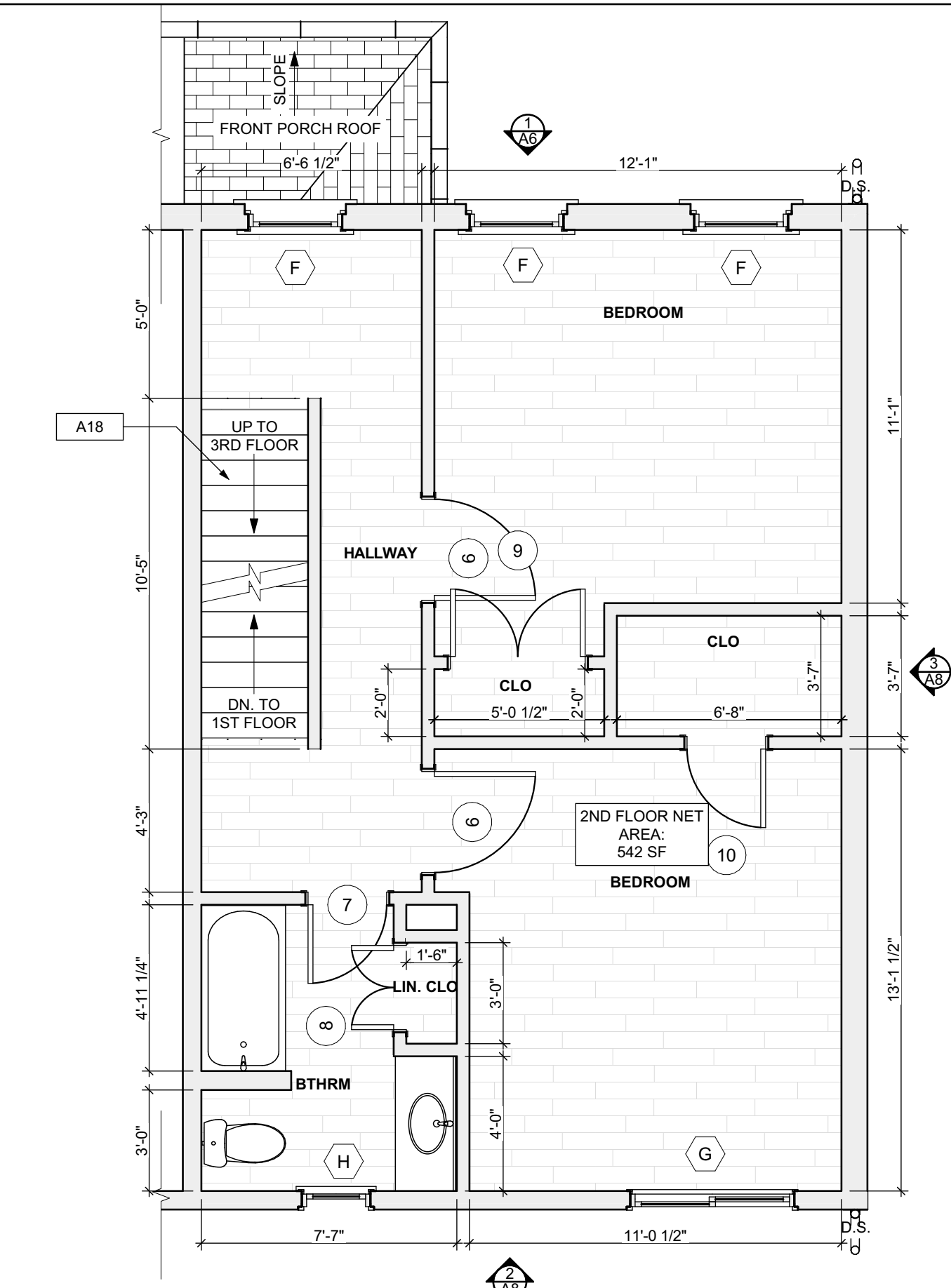
Owner: HACP 200 ROSS STREET PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES 1227 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

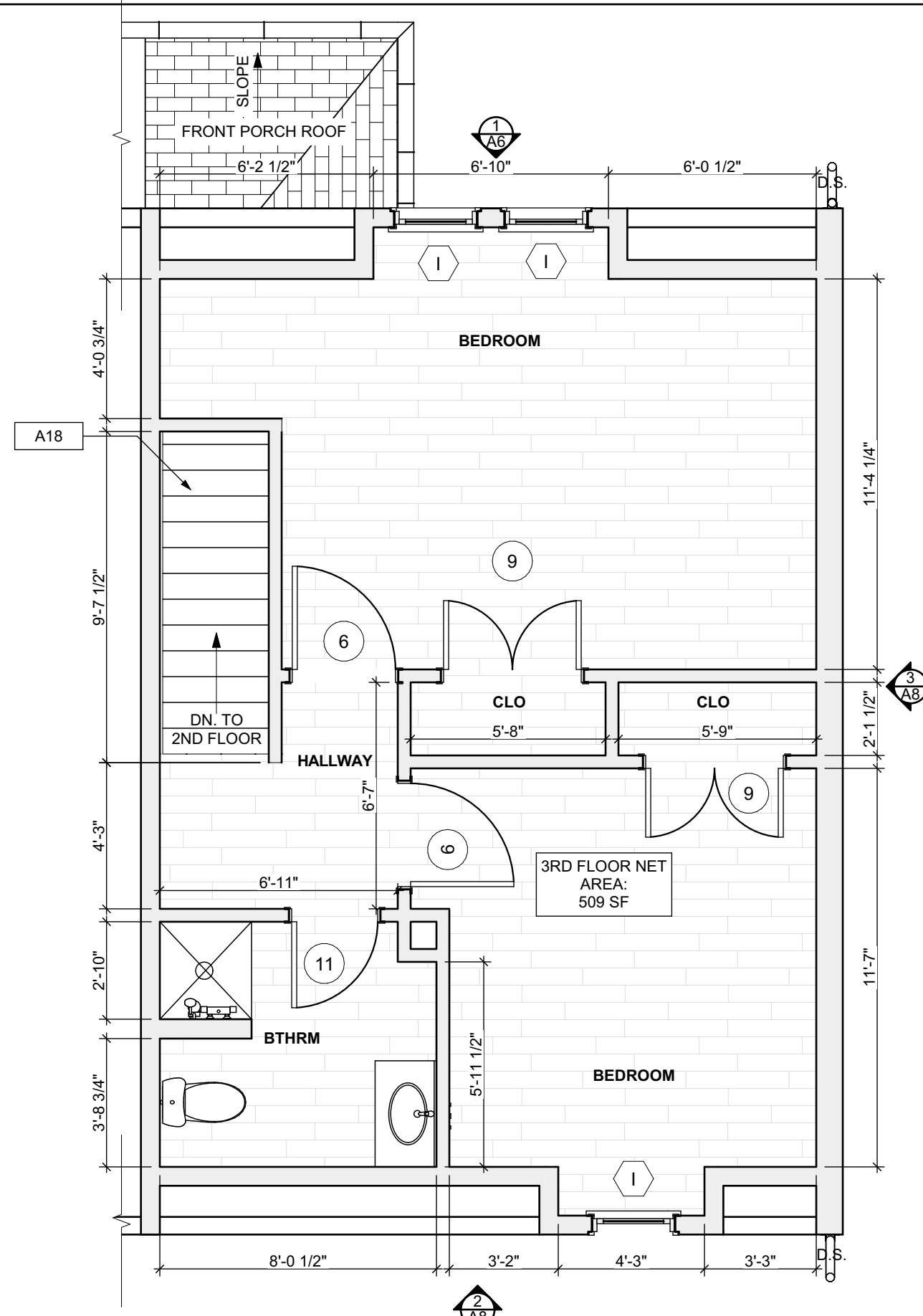
drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

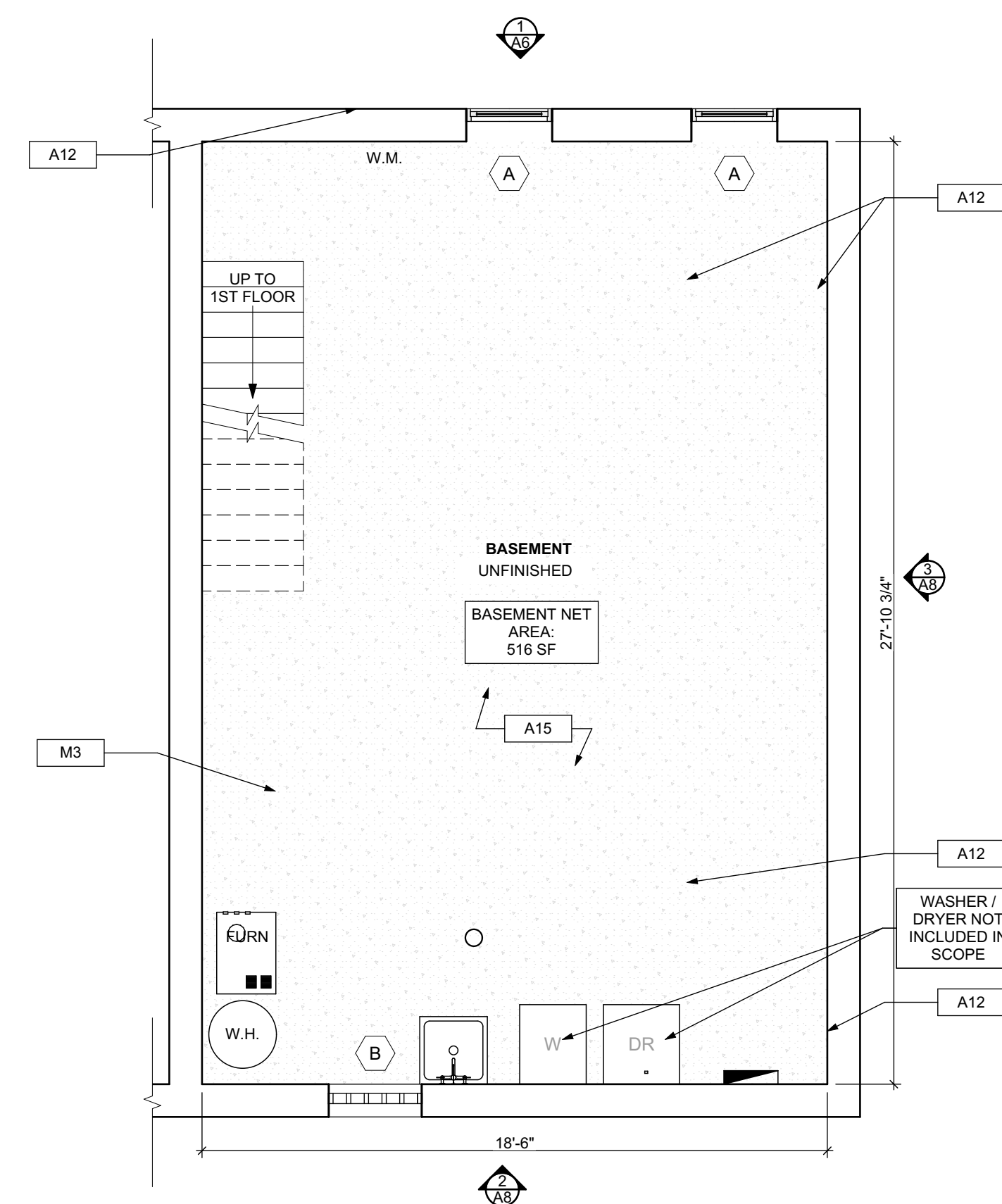
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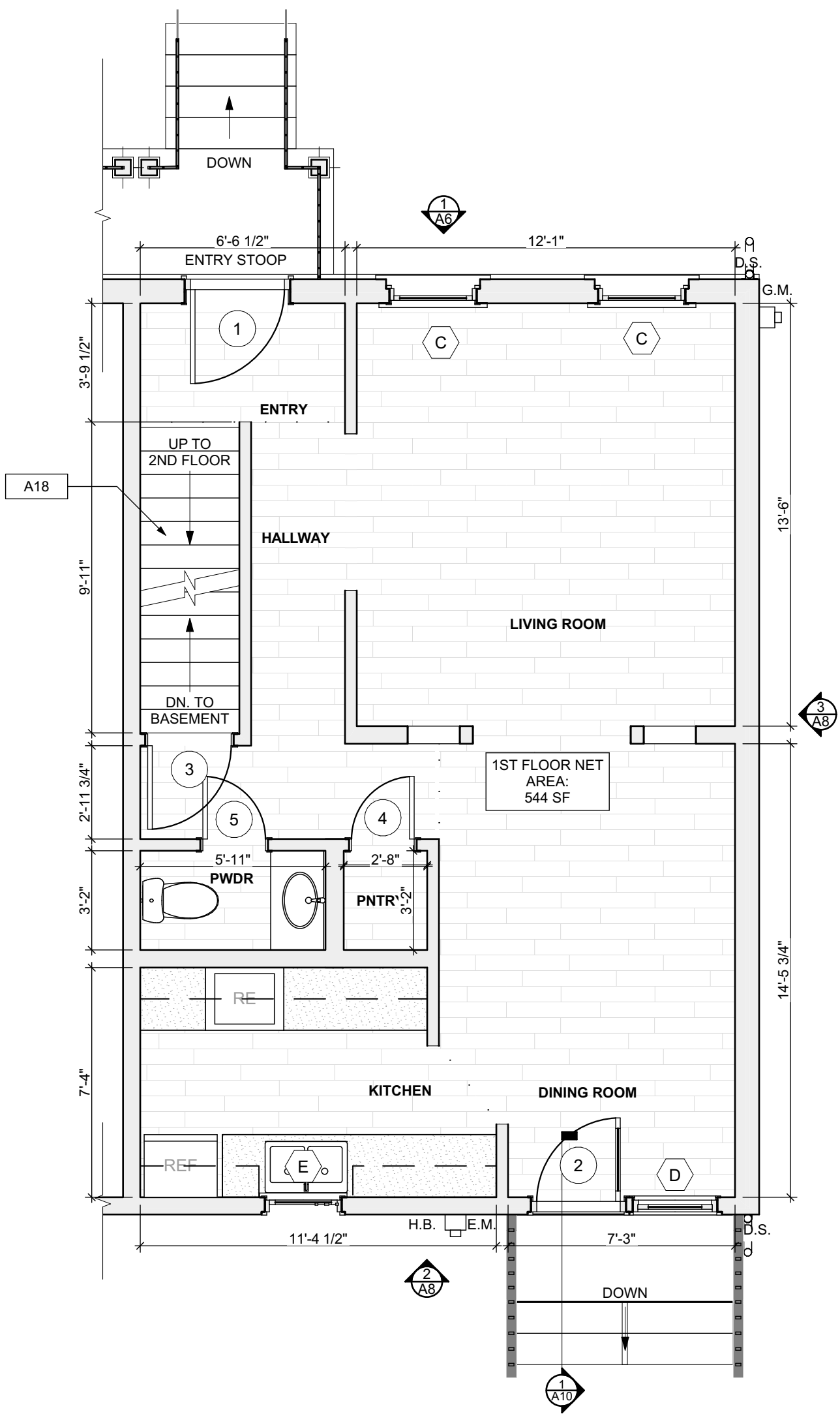
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



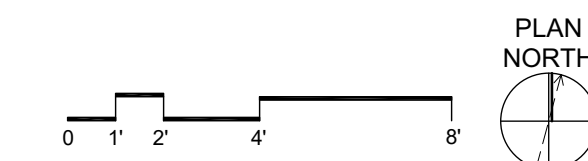
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACPC, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACPC THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. REPAIR CONCRETE IS PRESENT MINIMUM 3" OVER 2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE BRICKWORK. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH DRAINAGE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH DRAINAGE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC REPAIR SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT EXISTING GROUND TO PROVIDE A MINIMUM 6" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPS TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R17 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A17 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPALL SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A18 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A19 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A20 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A21 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REGRADE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A22 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS, BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A23 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A24 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A25 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A26 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A27 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A28 NEW TRENDS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P17 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P22 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

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- M22 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M23 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTRIBUTED BY EXISTING FURNACE. CHECK FOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M24 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
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5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219


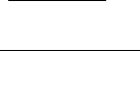
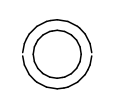
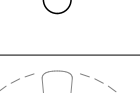

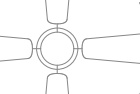
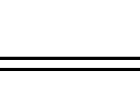
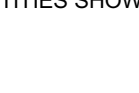
Project Location:
MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

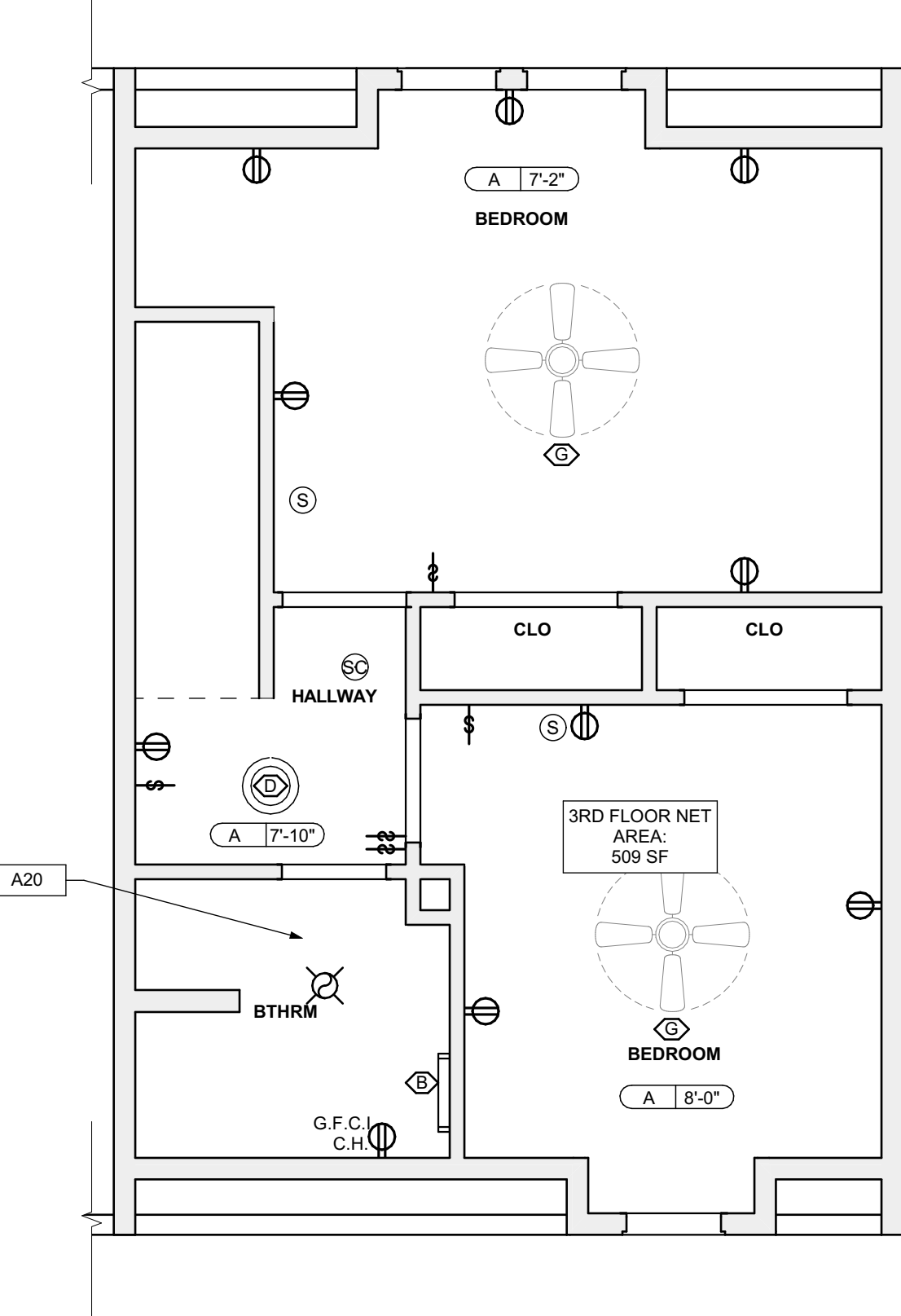
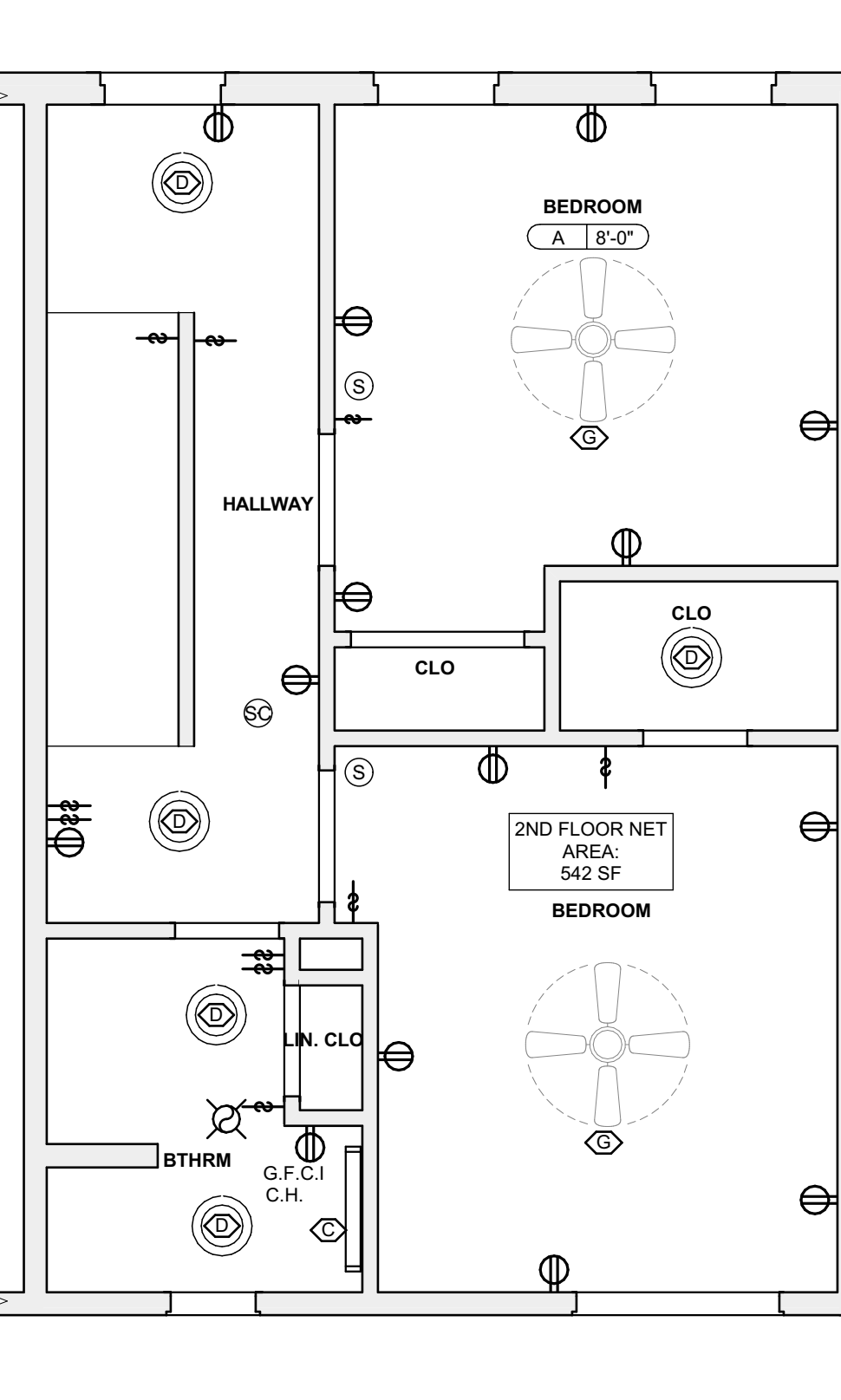
BASEMENT/FINISH/MECH./PLUMB
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, GRAPHIC SCALES, FLOOR
PLAN LEGEND, SMALL UNIT
KEYNOTES

scale As Noted	Sheet No. A6 Project #2006
date May 6, 2022	
no. 7	of. 12

LIGHTING SCHEDULE

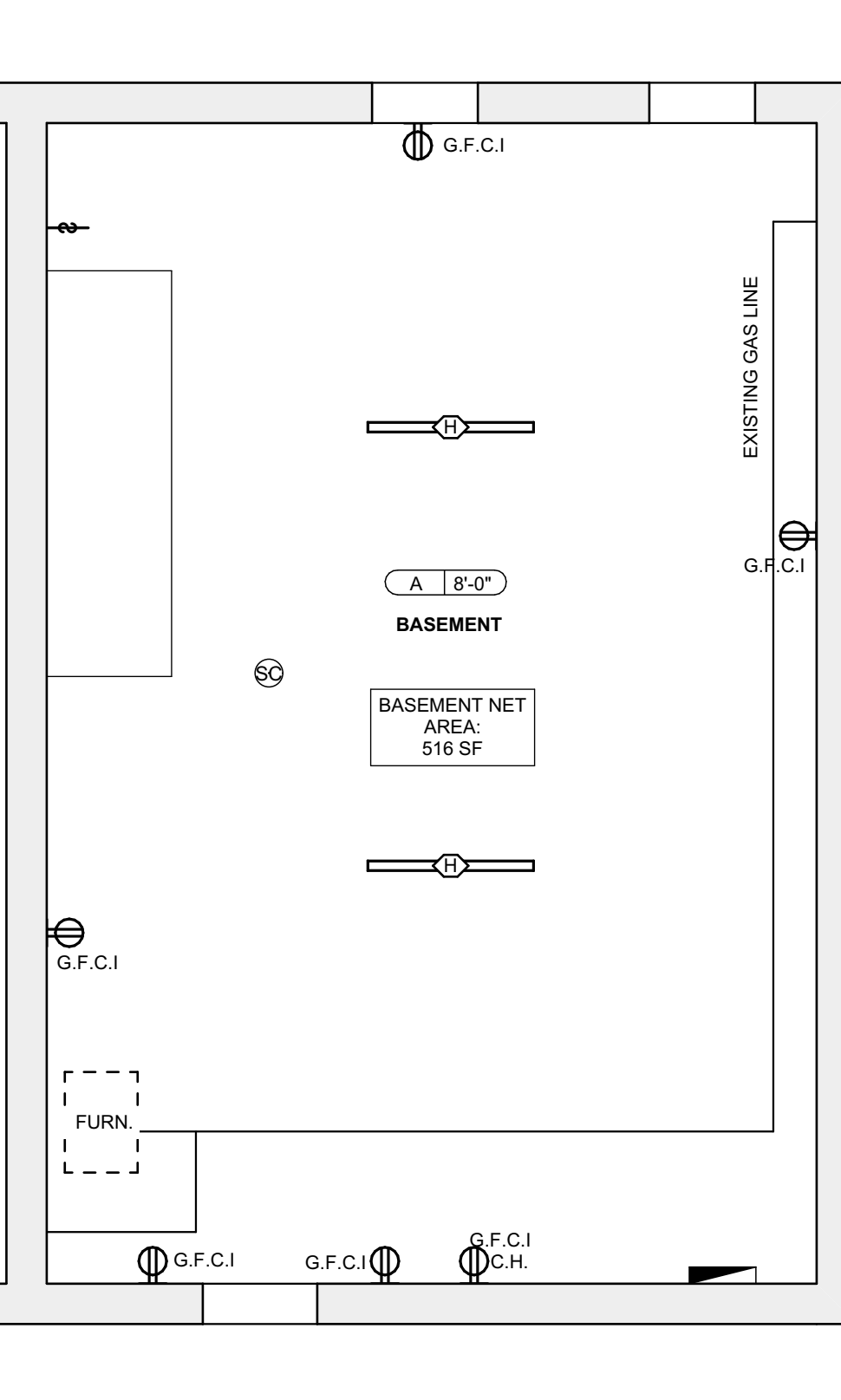
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	2
	C	Long Bathroom Light Bar - Replacement : Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #6112VWH	10
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	4
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

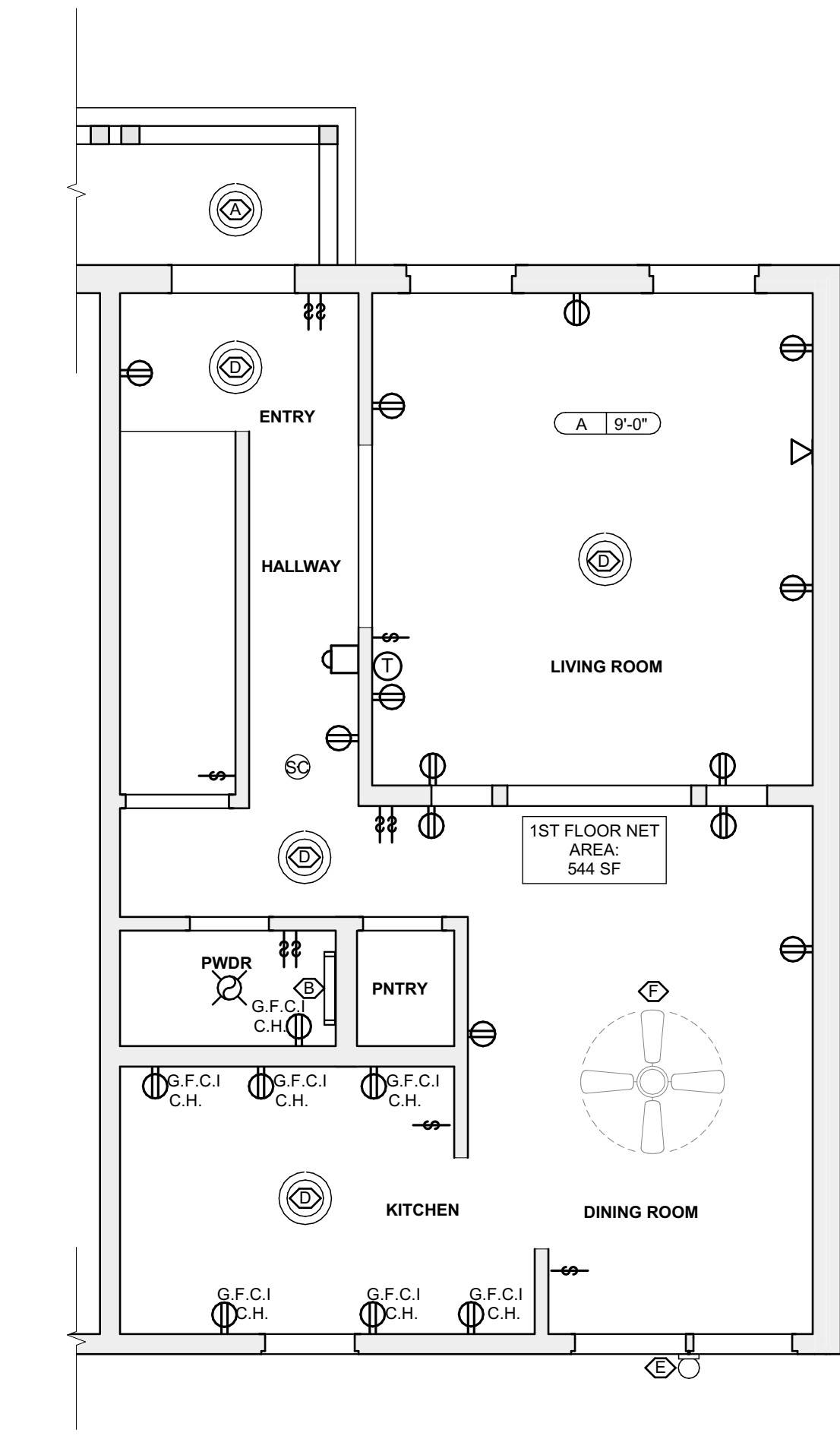


3 SECOND FLOOR REFL. CLG/ POWER / DATA PLAN SCALE: 1/4" = 1'-0"

4 THIRD FLOOR REFL. CLG/ POWER / DATA PLAN SCALE: 1/4" = 1'-0"
















1 BASEMENT REFL. CLG/ POWER / DATA PLAN SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG/ POWER / DATA PLAN SCALE: 1/4" = 1'-0"

RCP LEGEND - (See Specifications for basis of Design)

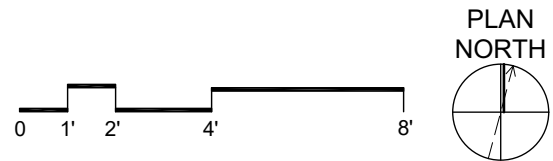
-  SMOKE ALARM. PROVIDE NEW WHERE SHOWN
-  SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
-  ELECTRICAL METER
-  THERMOSTAT
-  DATA RECEPTICAL, 18" A.F.F. U.O.N.
-  ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
-  ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
-  GROUND FAULT CIRCUIT INTERRUPTER
-  GROUND FAULT CIRCUIT INTERRUPTER
-  LIGHT SWITCH
-  EXHAUST FAN
-  DOORBELL
-  A X-X' GWB CEILING / CEILING HEIGHT
-  B X-X' UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



- SITE**
- [S1] AT LOCATION SHOWN. REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. SUE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL. SLOPE 4" PER 1' FOR 2' MINIMUM. TOPPING TO MEET SLOPE REQUIREMENTS. POUR CONCRETE TO PRESENT MINIMUM 3' OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE BRICKS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE WITH 1/8" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE WITH 1/8" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
 - [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DROPP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT. PREP AND PAINT PER SPECIFICATIONS.
 - [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TRIMBACK AS NECESSARY TO PLUMB WALL.
 - [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE. AS NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS.
 - [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUBS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKLEHOLD EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CHANGES OR FALTERS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBTILING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
 - [A15] ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - [A16] SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY REFER TO PLUMB. DWG.'S.**
- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY REFER TO MECH. DWG.'S.**
- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIPMENT DUCT OR FURNACE.
 - [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION FROM AIR FILTERS. PROVIDE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies before, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG/ POWER / DATA PLAN, SECOND FLOOR REFL. CLG/ POWER / DATA PLAN, THIRD FLOOR REFL. CLG/ POWER / DATA PLAN, LIGHTING SCHEDULE, SMALL UNIT KEYNOTES, RCP LEGEND, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	8	A7 Project #2006
of.	12	

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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- All work shall be installed in accordance with applicable codes and regulations.
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- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

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Owner:
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200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
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PITTSBURGH, PENNSYLVANIA
15233

NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	of. A8 Project #2006
	12	

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. RE-PLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTH. TIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH DRAINAGE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAV. BAYERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH DRAINAGE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COVERAGE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND SHEATHING AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

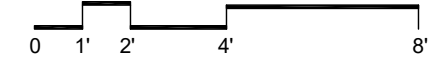
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. REPAIR MOISTURE CONTRIBUTION ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

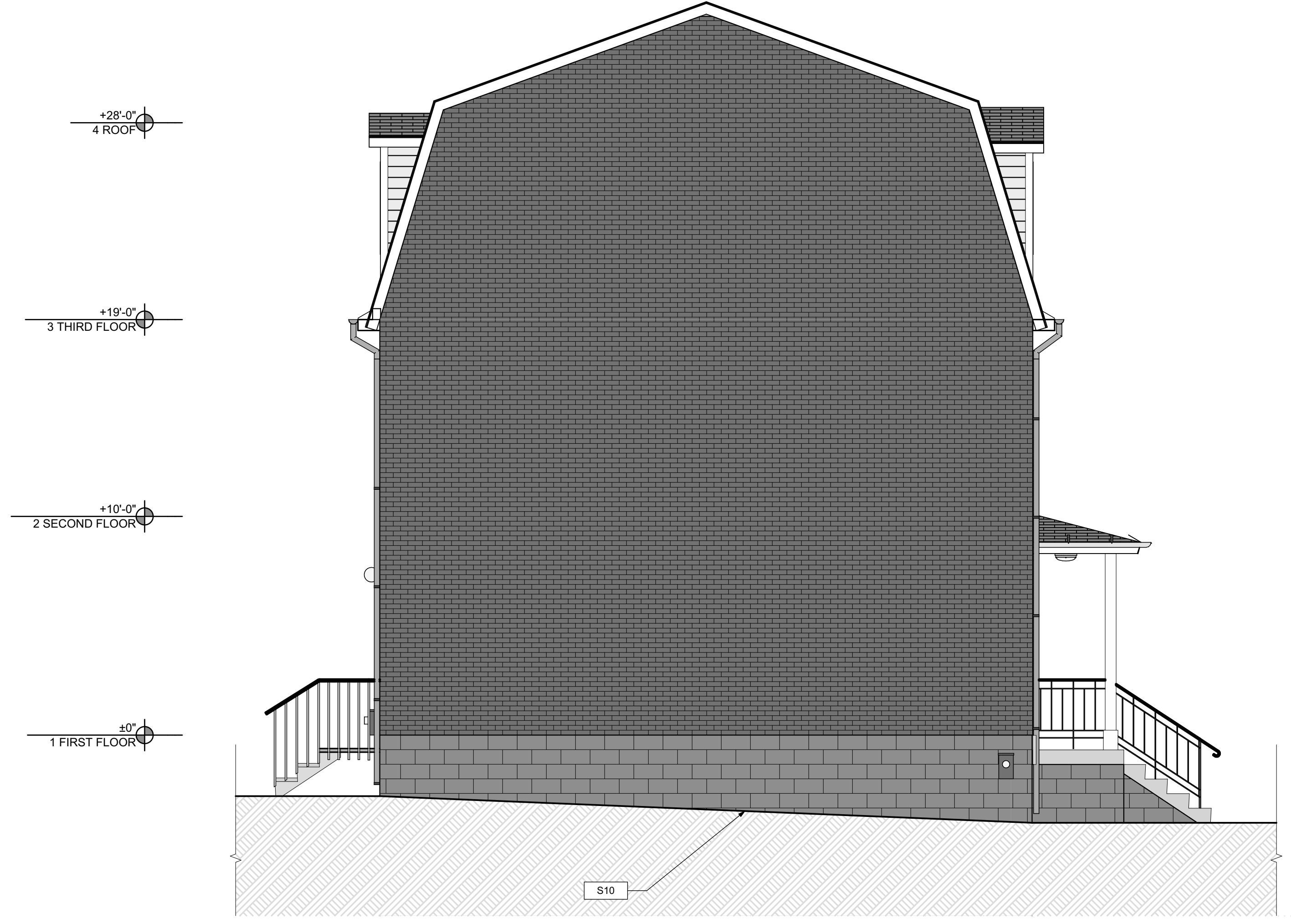
SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



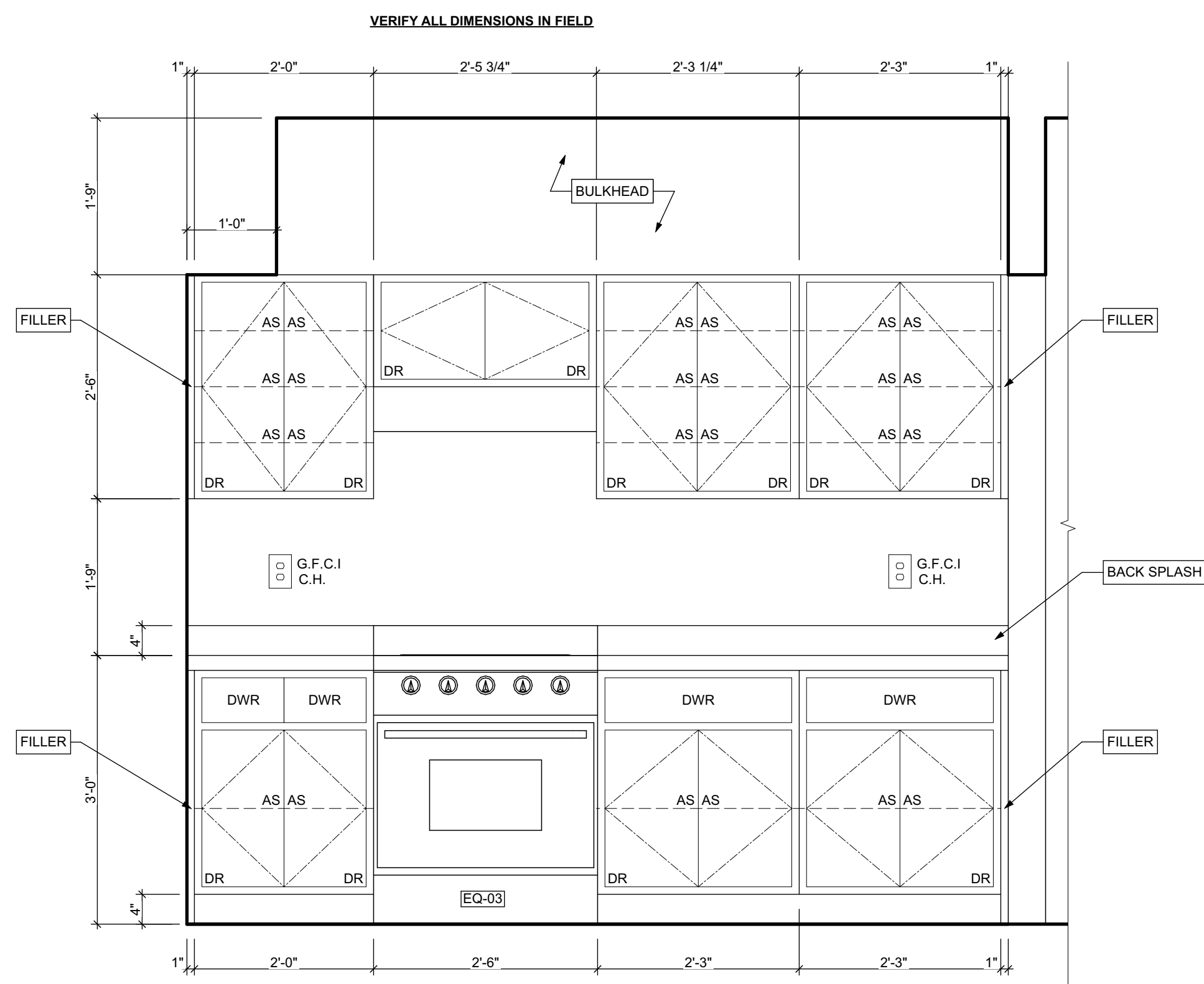
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



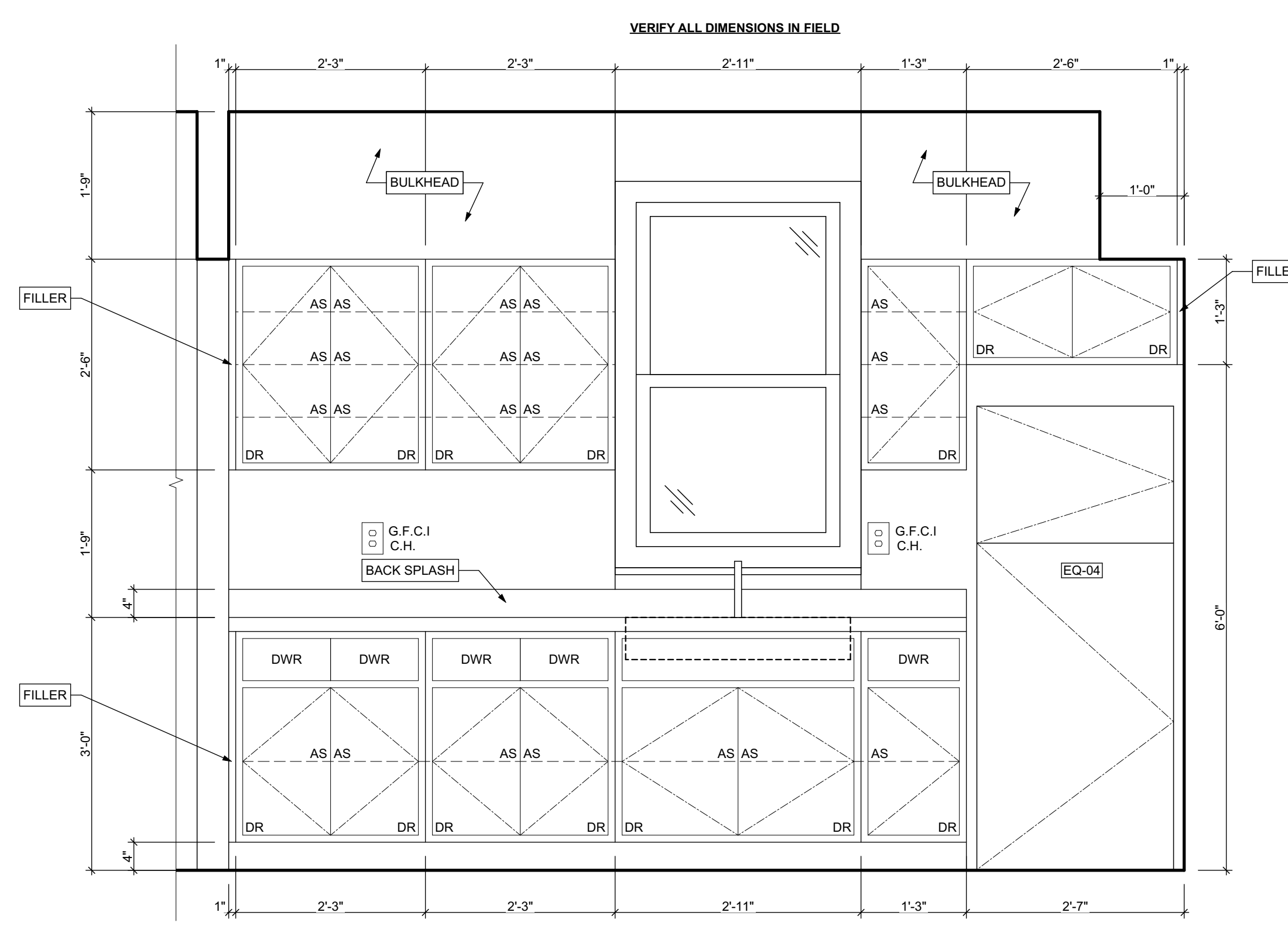
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



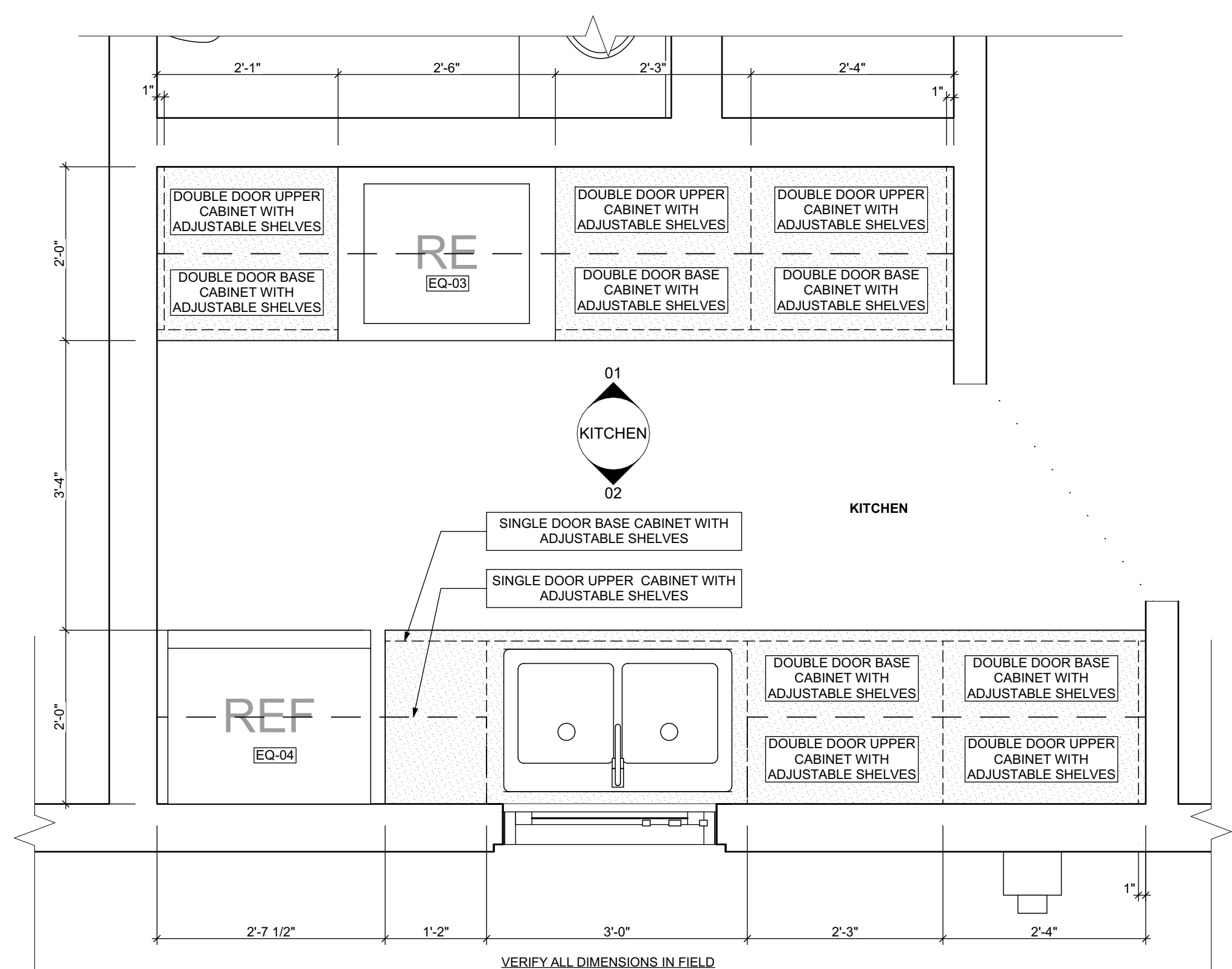
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	MODEL	DIMENSIONING NOTES
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent		Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicine cabinet in same location
TOWEL BAR	4	MOEN Contemporary 24 in. Towel Bar in Chrome		Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome		Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome		Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radiation, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1EBFZDB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 30"W x 60" L	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

scale
As Noted

date
May 6, 2022

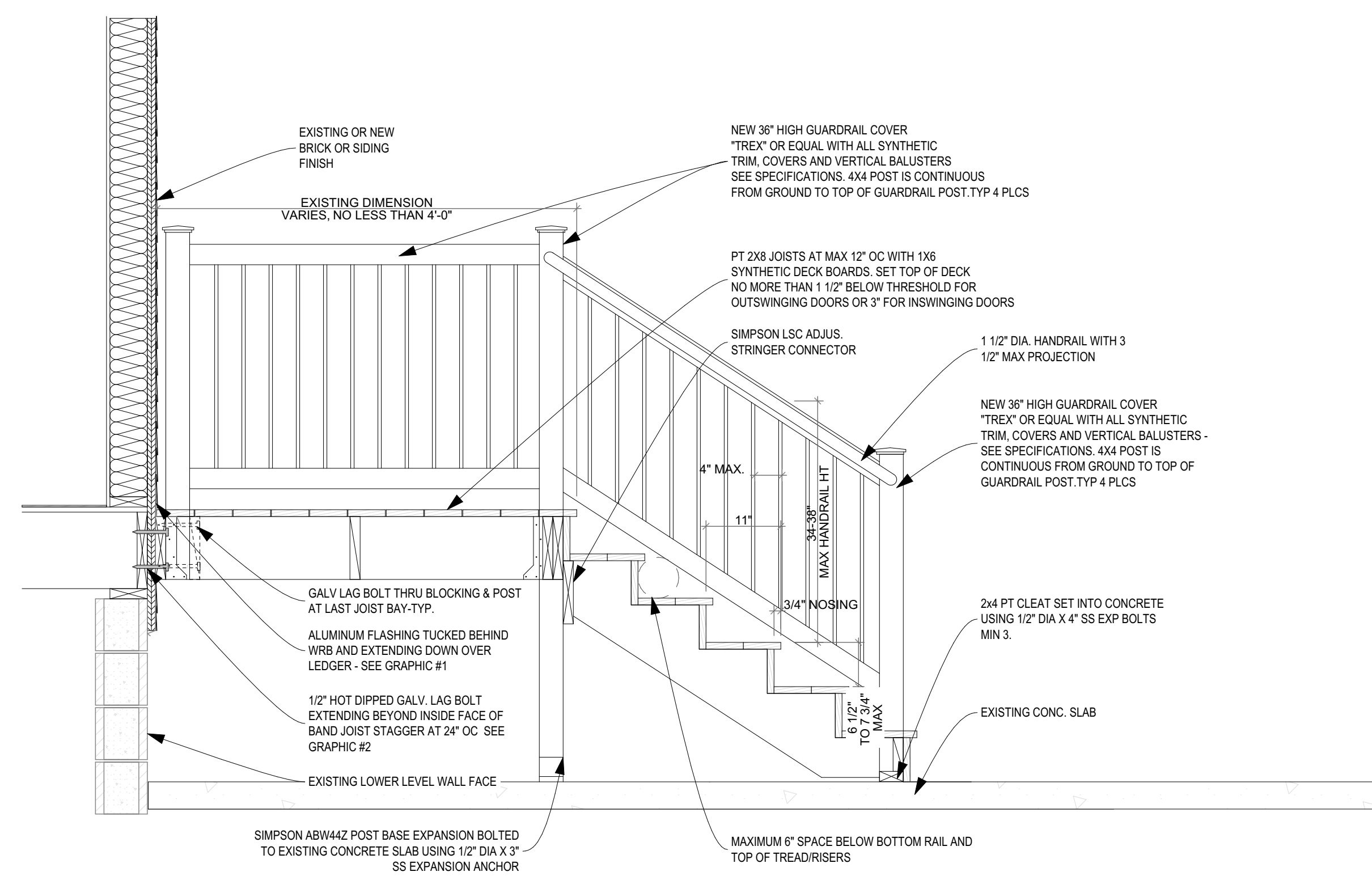
no. 10

of 12

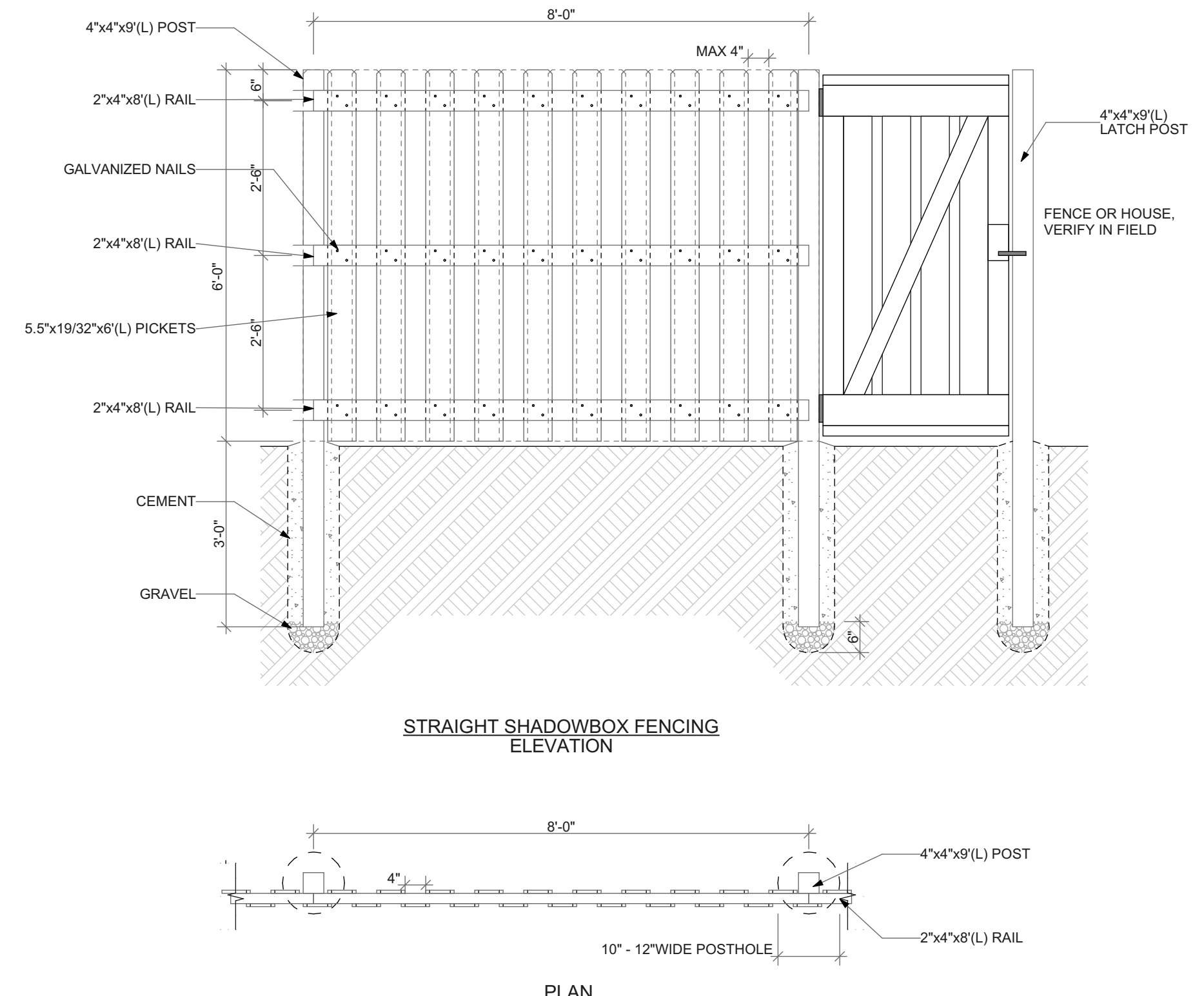
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A9

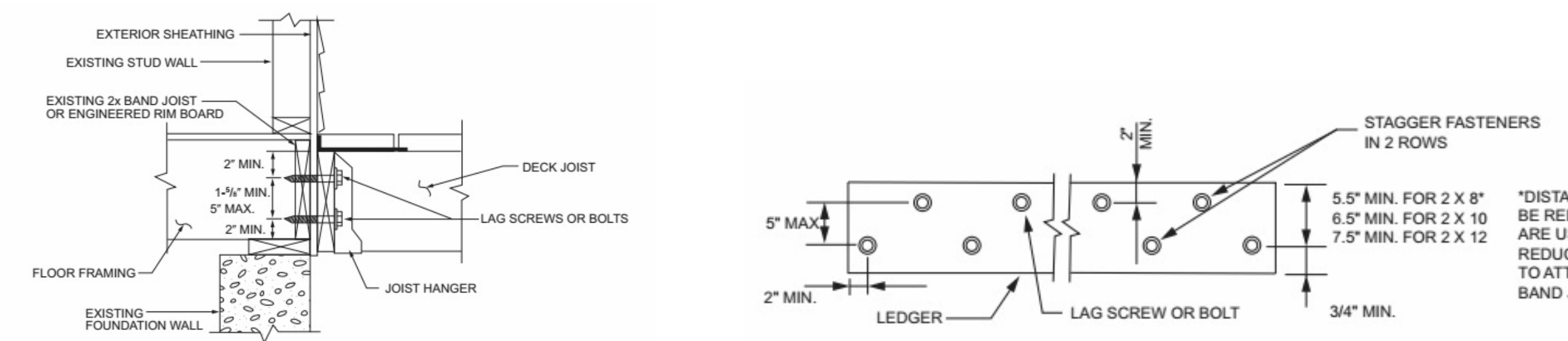
Project #2006



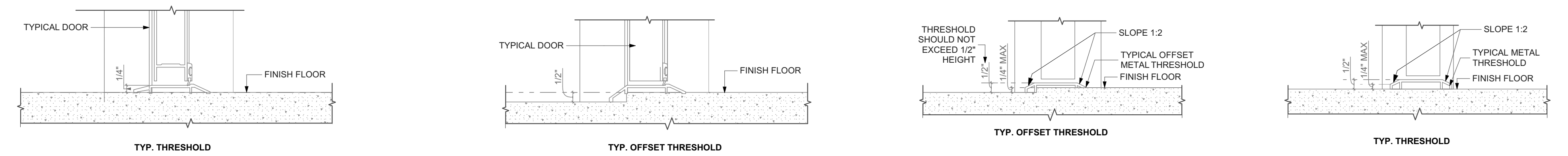
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



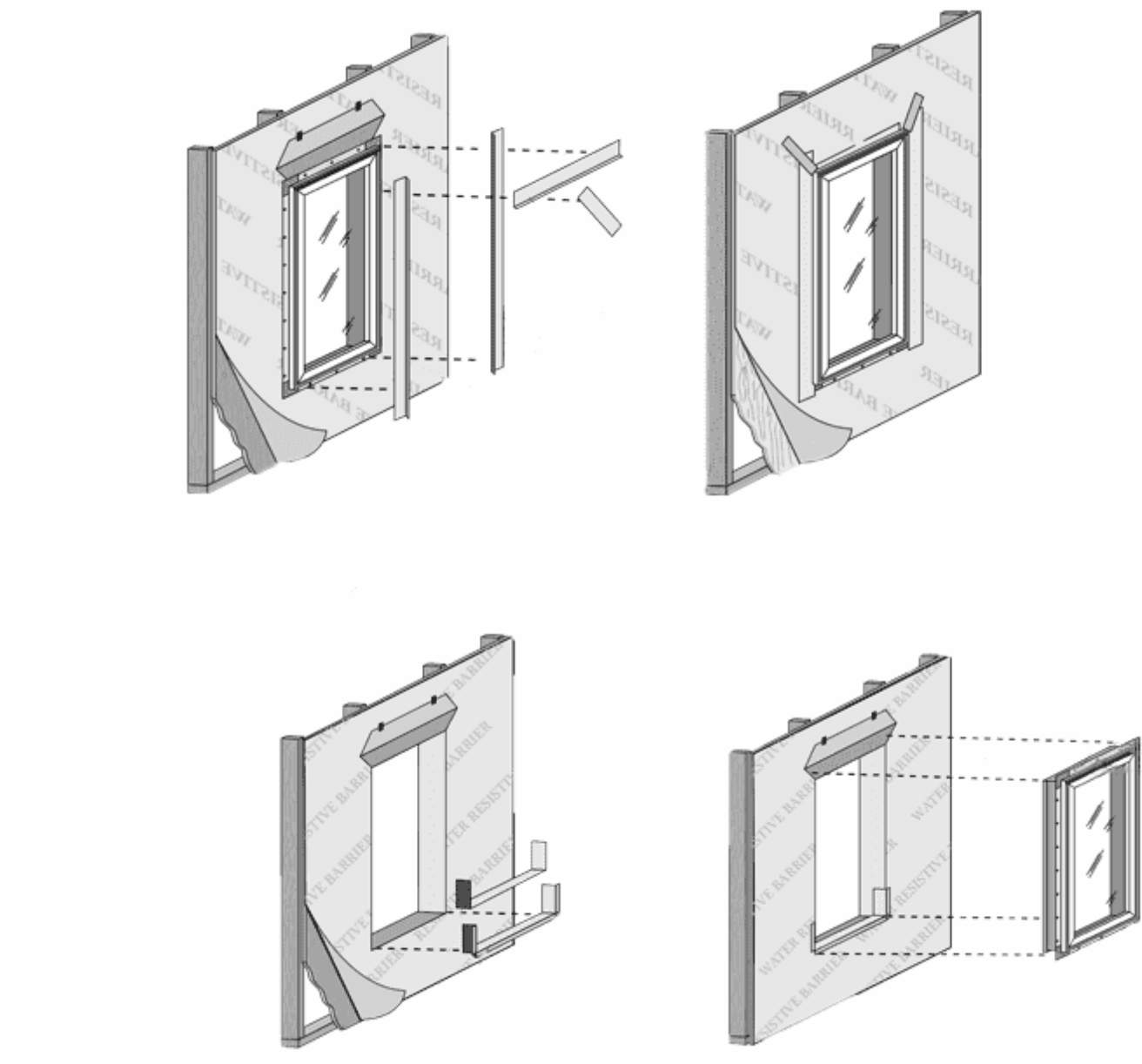
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies...
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces...
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect...

ISSUED FOR PERMIT; 05.06.2022

Owner: HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES
1227 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

WINDOW REMOVAL/ REPLACEMENT (PELLA)

Table with columns for scale (As Noted), date (May 6, 2022), sheet number (A11), and project number (Project #2006).

BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

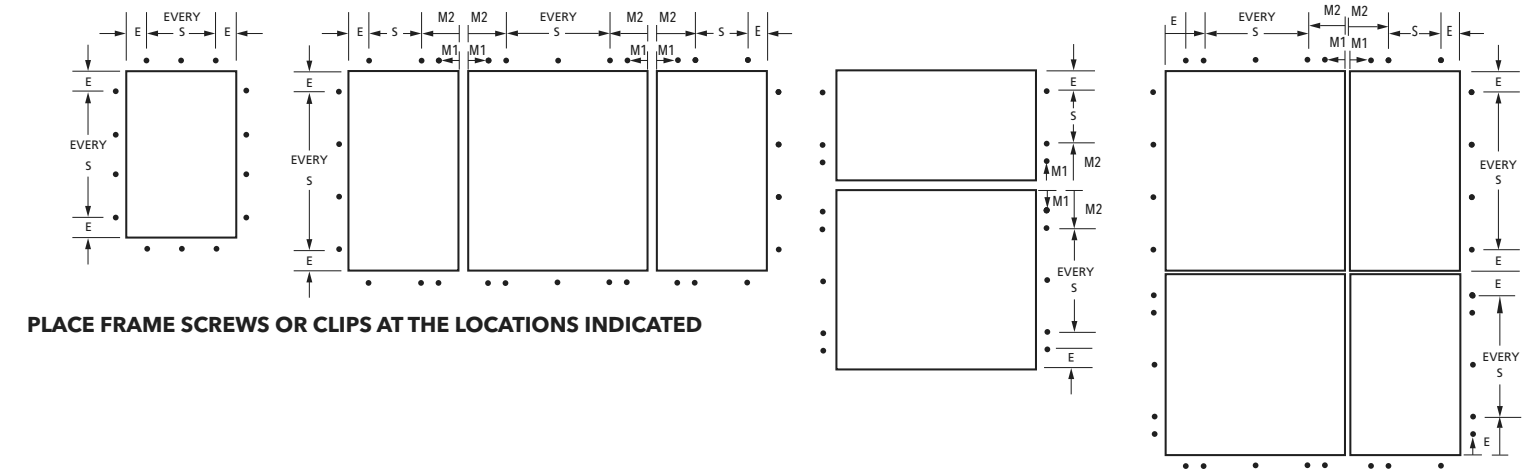
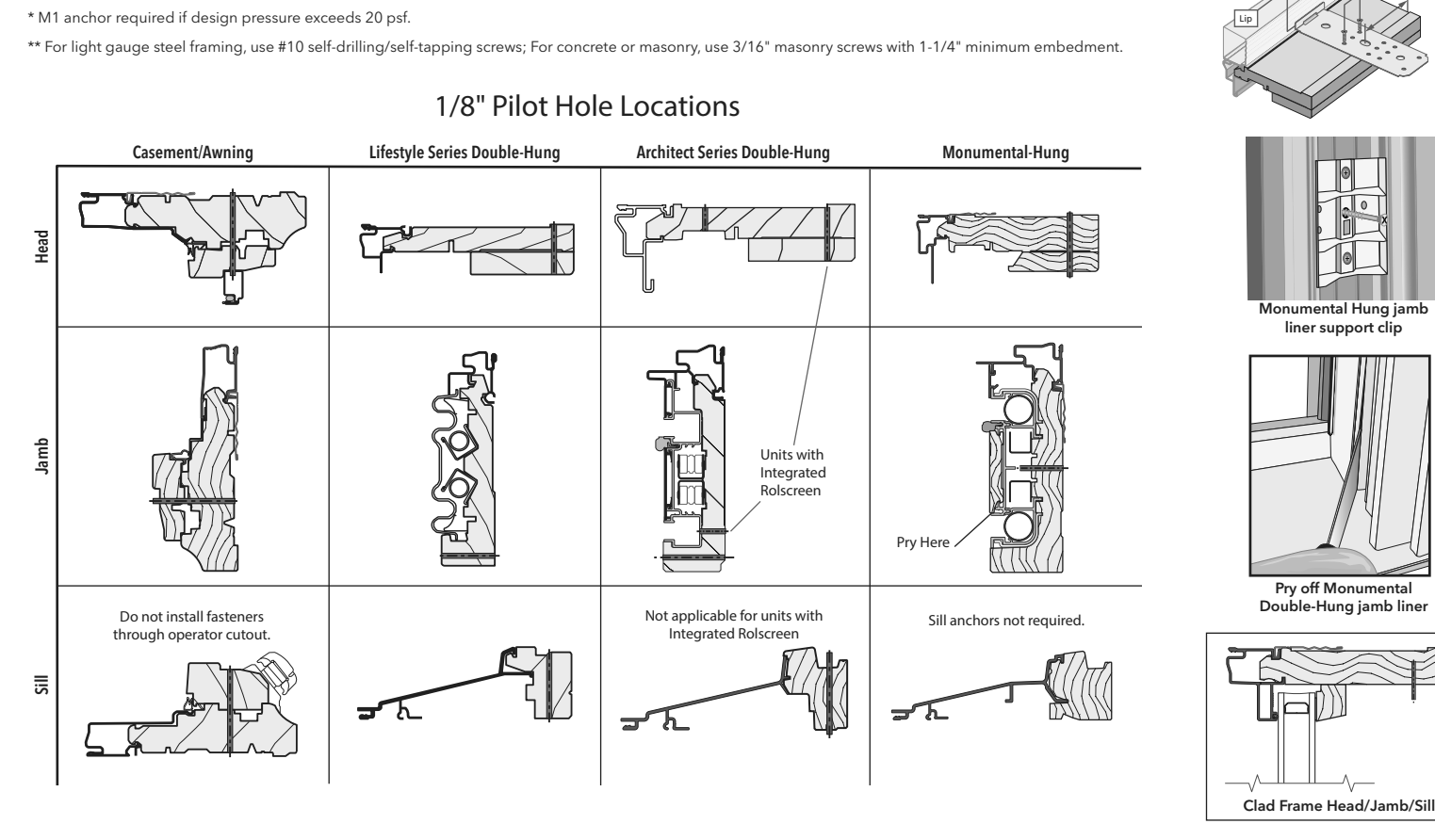
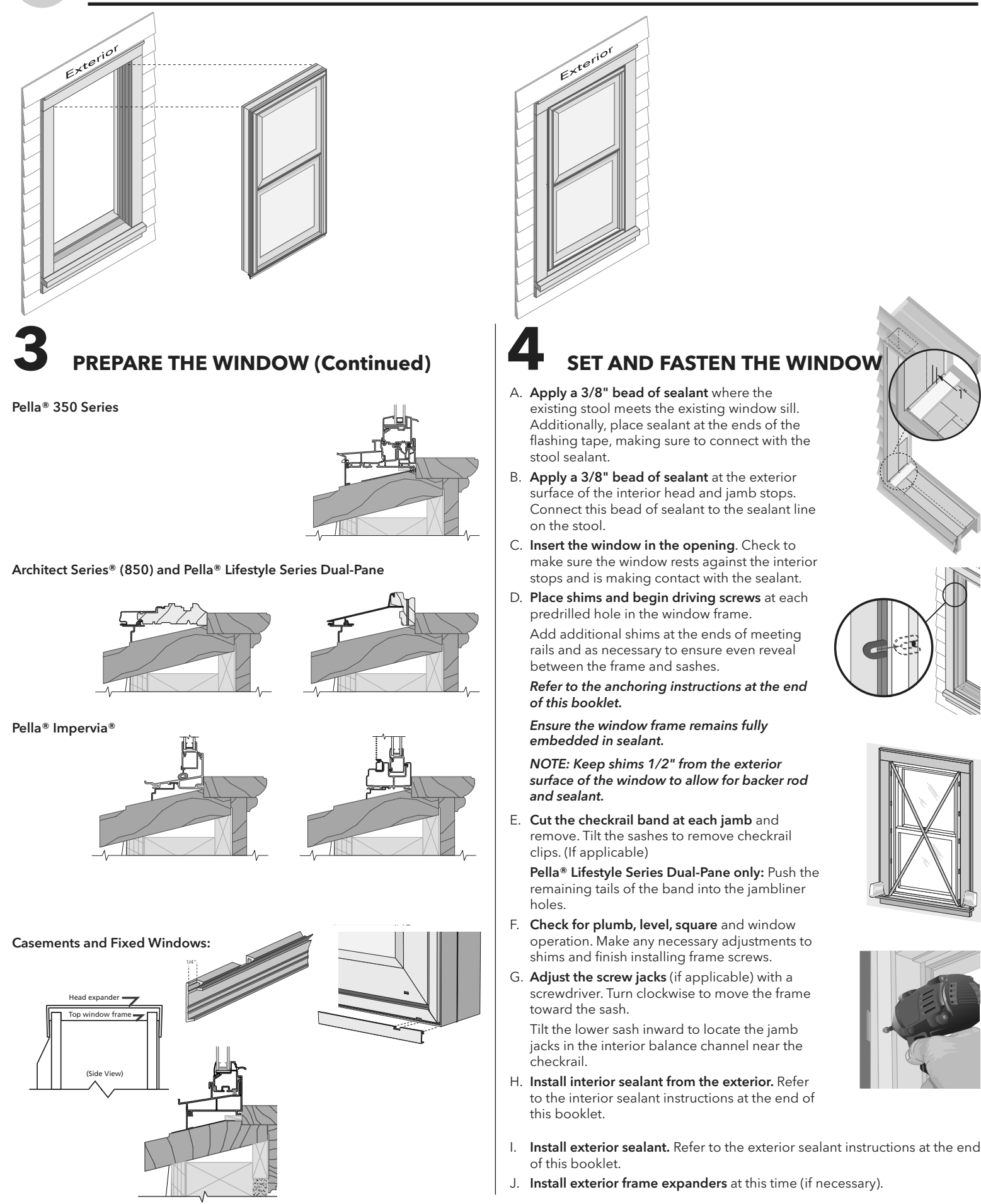


Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (IS), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, Wood**, and Special Notes.



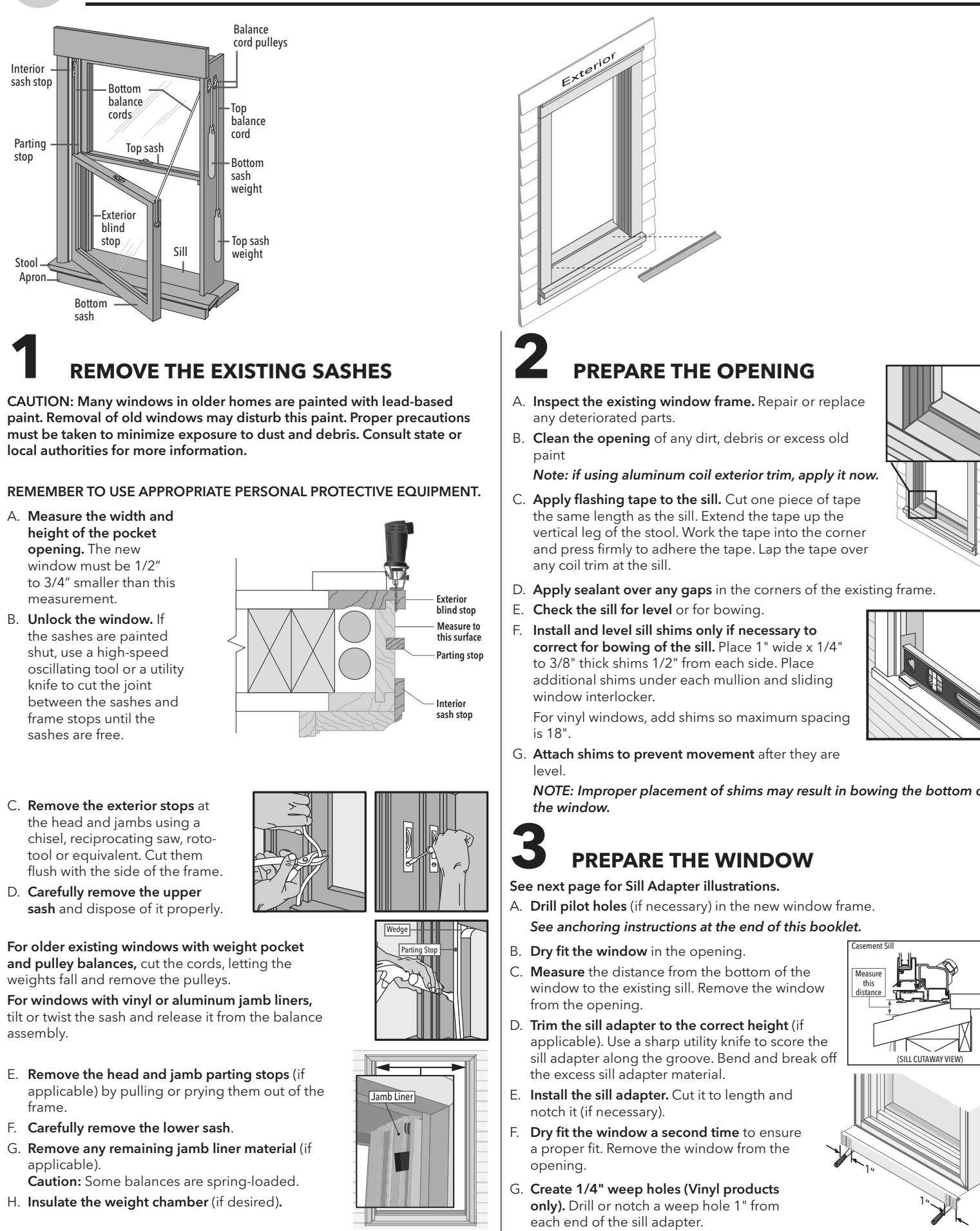
BRPF - 17 Revised 07/13/2021 © 2019 Pella Corporation PR_BFE

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



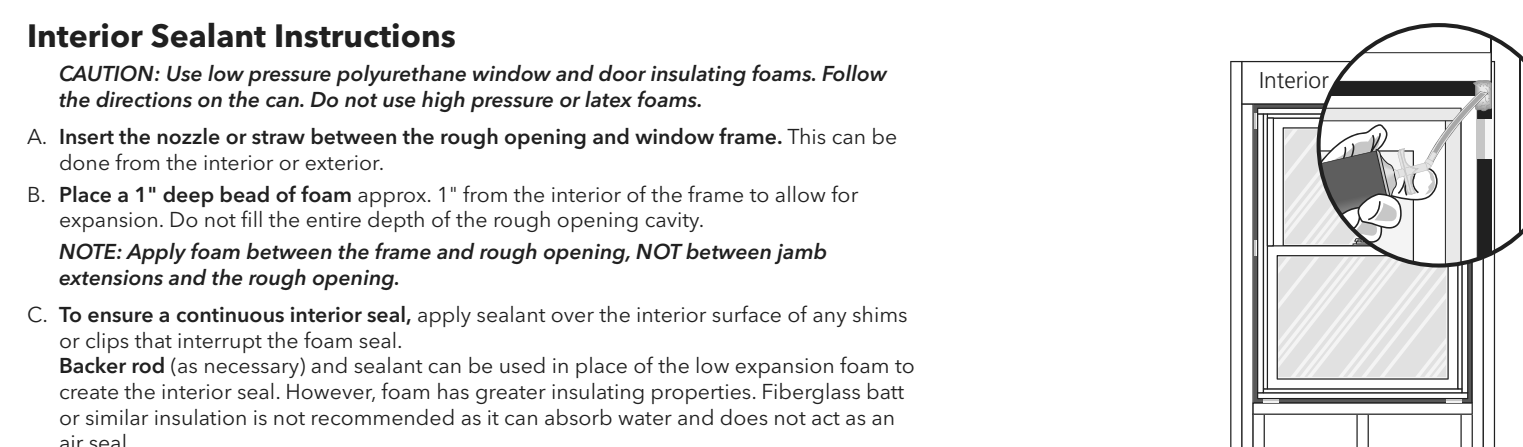
BRPF - 8 Revised 07/13/2021 © 2019 Pella Corporation PR_BFE

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



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INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOWS



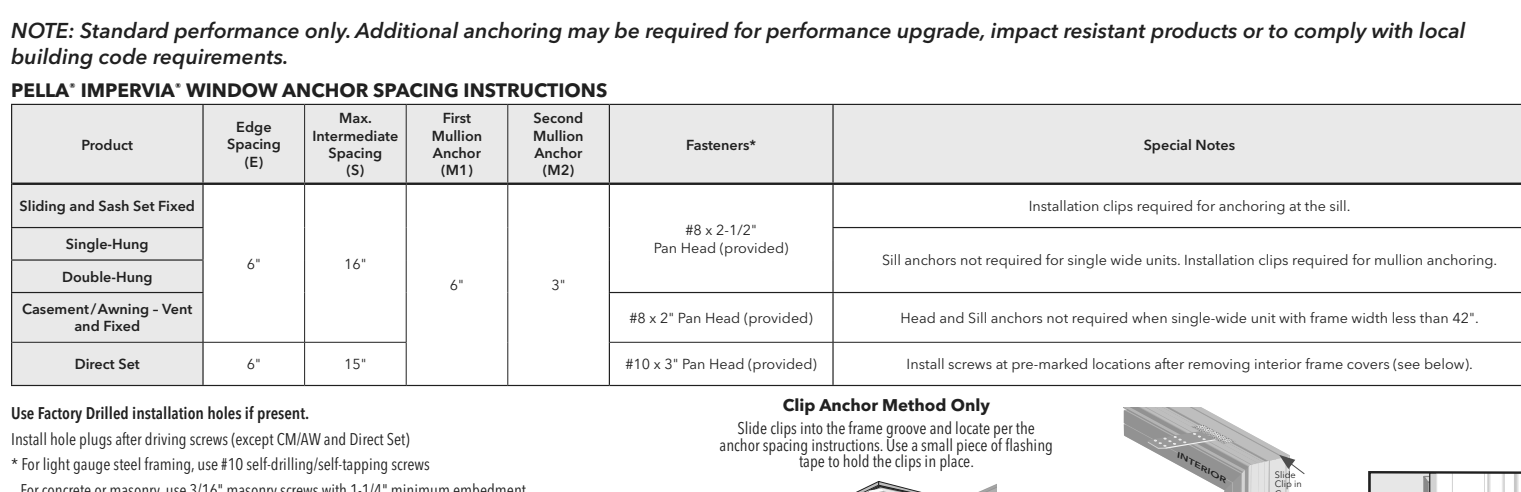
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BLOCK FRAME AND RENOVATION* / THERMASTAR BY PELLA* / PELLA* 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (IS), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, Wood**, and Special Notes.

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BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOWS ANCHOR INSTRUCTIONS



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PELLA* 350 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (IS), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, Wood**, and Special Notes.

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PELLA* 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (IS), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, Wood**, and Special Notes.

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PELLA* 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (IS), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, Wood**, and Special Notes.

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MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1229 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 4 BEDROOM UNIT

Drawing Index

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EXTERIOR DOOR THRESHOLD	
WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,123 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	8

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

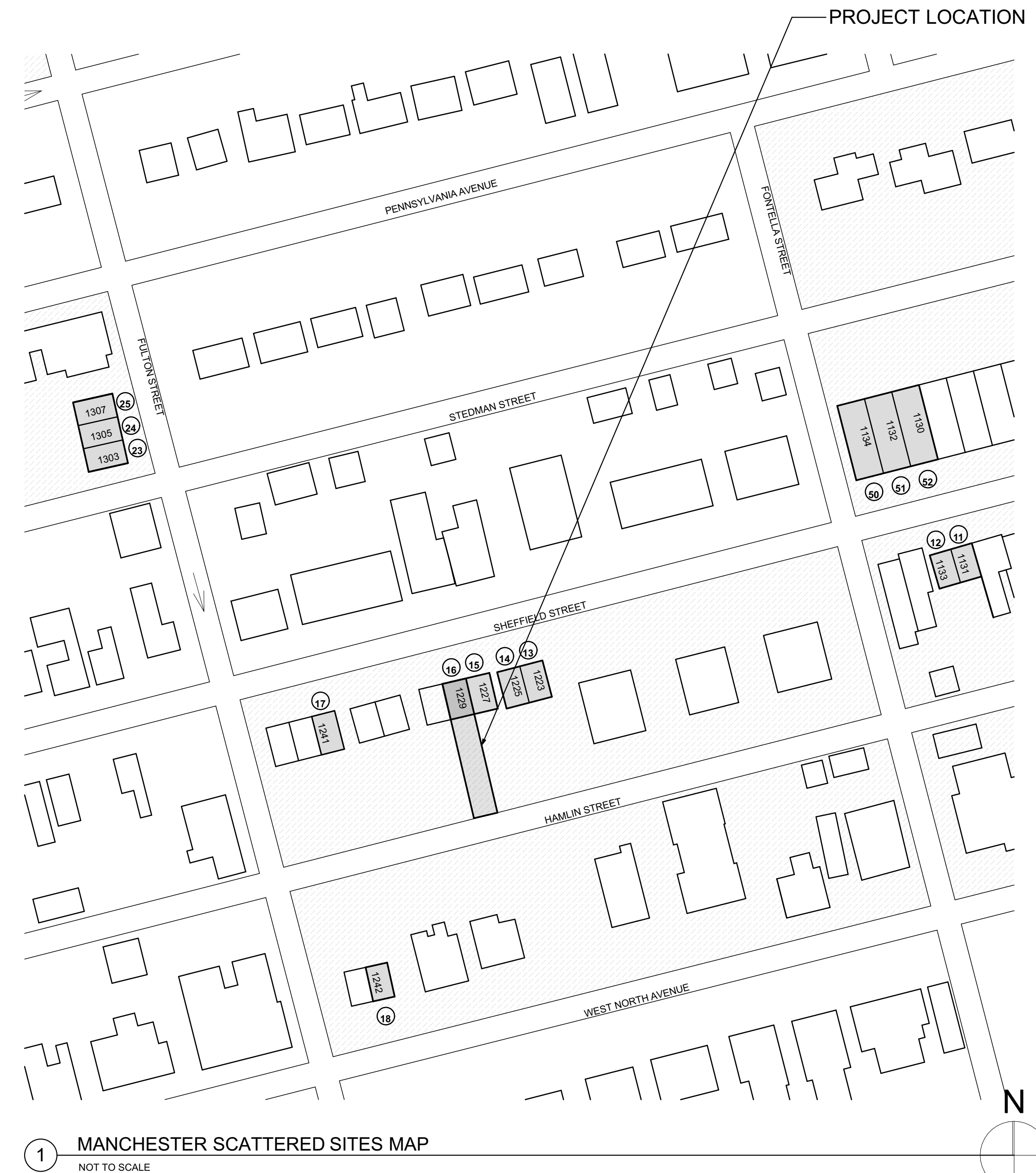
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

©2022 Fukui Architects, Pc

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, DRAWING LIST, CODE AND
CONTACT INFO

scale		Sheet No.
As Noted		
date		A1
May 6, 2022		
no.	of.	Project #2006
2	12	

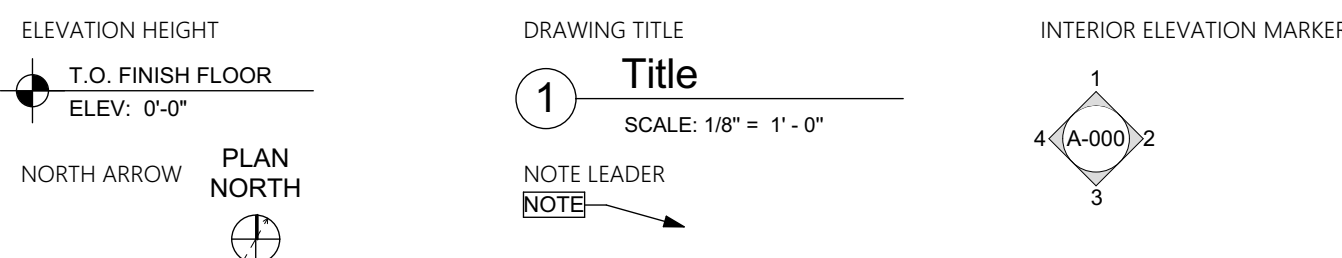
Materials Legend

NOT ALL MATERIALS USED	
[Hatched Pattern]	EARTH
[Dotted Pattern]	COMPACTED STONE FILL
[Cross-hatched Pattern]	CONCRETE
[Vertical Line Pattern]	STEEL
[Horizontal Line Pattern]	RIGID INSULATION
[Diagonal Line Pattern]	WOOD
[Grid Pattern]	PLYWOOD SHEATHING
[Stippled Pattern]	SPRAY FOAM INSULATION

Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
ARCH.	Architectural	F.F.	Finish Floor	P.V.C.	Polyvinyl Chloride
ASB.	Asbestos	FIN.FLR.	Finish Floor	PRE-FAB.	Prefabricated
ASPH.	Asphalt	F.A.C.P.	Fire Alarm Control Panel	RE	Refer To
AUTO.	Automatic	F.E.	Fire Extinguisher	REF.	Refrigerator
AVG.	Average	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
BLK.	Block	F.D.	Floor Drain	REINF.	Reinforcement
BD	Board	FTG.	Footing	RD.	Roof Drain
BOT	Bottom	GA.	Gauge	RM.	Room
BLDG	Building	G.C.	General Contractor	S.A.T.	Suspended Acoustical Tile
C.I.P.	Cast In Place	G.F.I.	Ground Fault Interrupter	SCHED.	Schedule
C.B.	Catch Basin	GYP.	Gypsum	SHT.	Sheet
CEM.	Cement	G.W.B.	Gypsum Wall Board	SIM.	Similar
CER.	Ceramic	GSH.	Gypsum Sheathing	S.C.	Solid Core
CG	Corner Guard	H/C	Handicap	SPECS.	Specifications
C.M.T.	Ceramic Mosaic Tile	H.V.A.C.	Heating, Ventilation & Height	SQ.	Square
C.W.T.	Ceramic Wall Tile	HT	Height	S.F.	Square Foot
C.O.	Cleanout	H.C.	Hollow Core	S.S.	Stainless Steel
CL	Center Line	H.M.	Hollow Metal	STL.	Steel
CLO.	Closet	HORIZ.	Horizontal	STOR.	Storage
C.W.	Cold Water	HR.	Hour	STRUCT.	Structural
CLG.	Ceiling	H.W.	Hot Water	TEL.	Telephone
CLR.	Clearance	IN.	Inch	THK.	Thick
COL.	Column	I.M.	Insulated Metal	T.B.D.	To Be Determined
CONC.	Concrete	INSUL.	Insulation or Insulated	T&G.	Tongue & Groove
C.M.U.	Concrete Masonry Unit	INT.	Interior	T.O.	Top Of
CONT.	Continuous	INV.	Invert	T.G.	Top Of Grade
CORR.	Corridor	ISO.	Isolation	T.O.S.	Top Of Steel
C.M.P.	Corrugated Metal Pipe	JAN.	Janitor's Closet	TYP.	Typical
CRS.	Courses	J.T.	Joint	UNFIN.	Unfinished
DIA.	Diameter	LAM.	Laminate	U.N.O.	Unless Noted Otherwise
DET	Detail	LAV.	Lavatory	V.B.	Vapor Barrier
DGL	Dens Glass Gold	LG.	Long	VERT.	Vertical
DR.	Door	M.D.F.	Medium Density Fiberboard	VEST.	Vestibule
DN.	Down	M.D.H.	Magnetic Door Holder	V.C.T.	Vinyl Composition Tile
D.S.	Downspout	M.H.	Manhole	V.I.F.	Verify In Field
DWG.	Drawing	MFR.	Manufacturer	WH.	Water Heater
D.F.	Drinking Fountain	MAX.	Maximum	W.R.B.	Water Resistant Barrier
D.I.P.	Ductile Iron Pipe	MECH.	Mechanical	W.W.F.	Welded Wire Fabric
EA.	Each	MET.	Metal	WIN.	Window
E.W.	Each Way	MIN.	Minimum	W/	With
ELEC.	Electrical			W/O	Without
E.C.	Electrical Contractor			WD.	Wood
EL.	Elevation				

Symbols



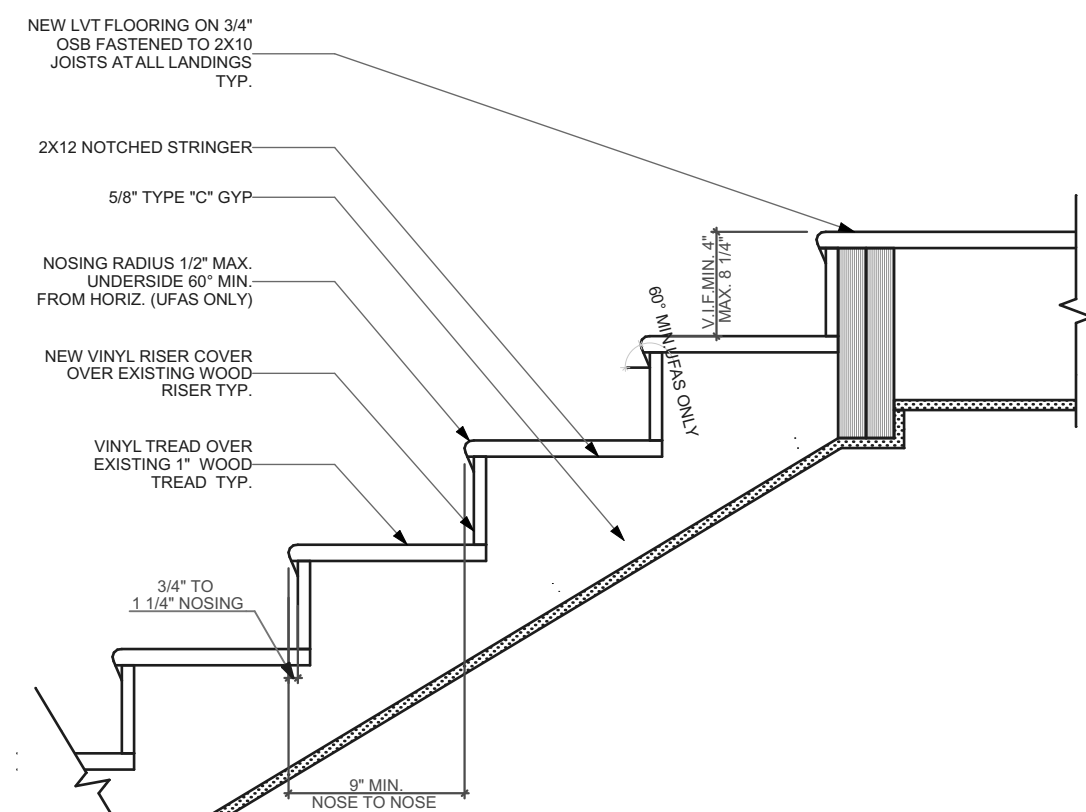
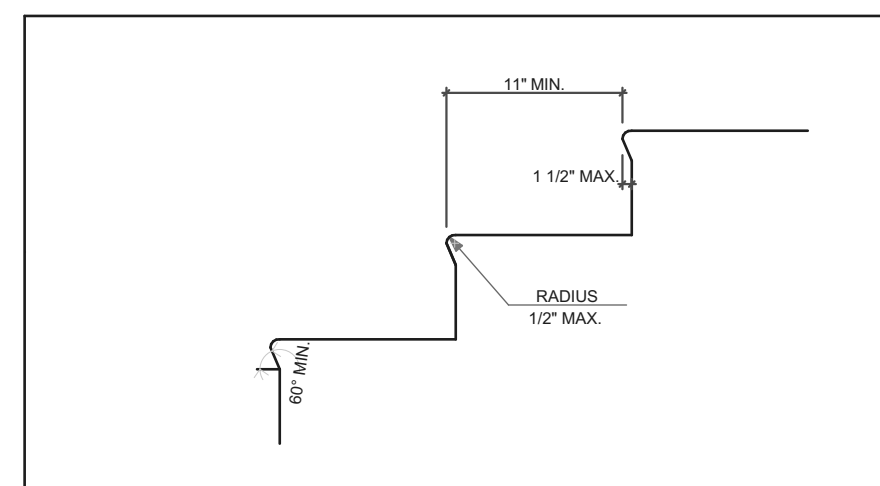
THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION

THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

1 ABBREVIATIONS AND MATERIALS



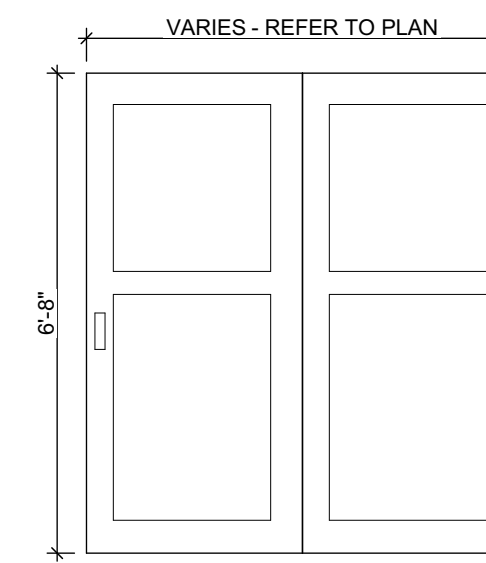
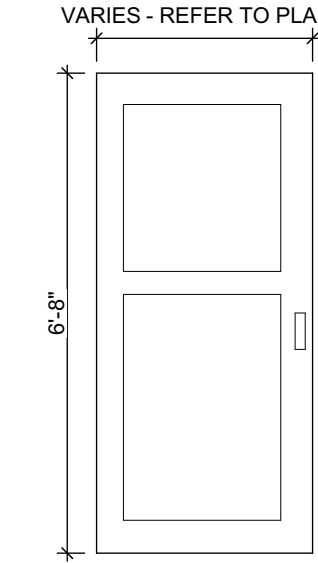
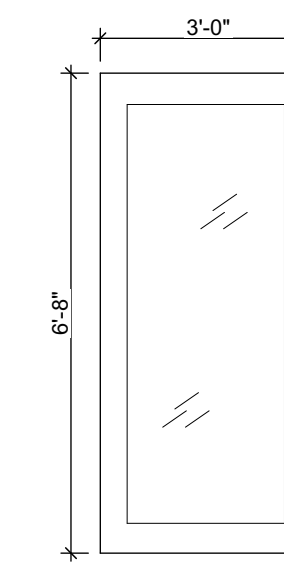
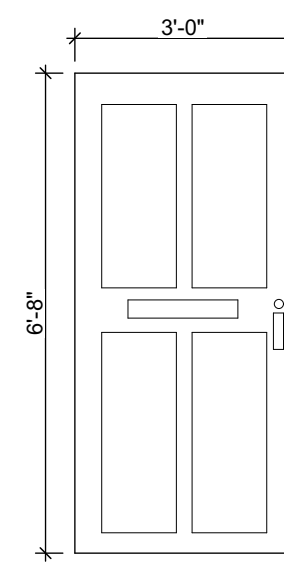
THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL SCALE: 1\"/>

ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	3'-0"	1'-6"	8'-0"	VINYL CLAD WOOD	☒	☐
B	2'-9"	2'-0"	8'-5 1/4"	GLASS BLOCK	☐	☐
C	2'-9"	5'-1"	7'-7"	VINYL CLAD WOOD	☒	☐
D	2'-8"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS	☐	☒
E	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	☒	☐
F	2'-9"	4'-6"	6'-9"	VINYL CLAD WOOD	☒	☐
G	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	☒	☐
H	4'-10"	4'-5"	6'-8"	VINYL CLAD WOOD	☒	☐
I	2'-4"	4'-1"	7'-0"	VINYL CLAD WOOD	☒	☐
J	2'-4"	4'-1"	7'-1"	VINYL CLAD WOOD	☒	☐

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS
 ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
 GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

NAME	FLOOR
BEDROOM	09 LVT
BTHR	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



I EXTERIOR INSULATED FIBERGLASS DOOR
 INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOX SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

II EXTERIOR INSULATED FIBERGLASS DOOR
 INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HARDWARE AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

III INTERIOR WOOD DOOR
 INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

IV INTERIOR WOOD DOUBLE DOOR
 INTERIOR 2 PANEL DOUBLE WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL	FRAME MTL	HARDWARE (REFER TO SPECS)
1	3'-0"x7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	2'-9"x7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"x6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
6	3'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4"x6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6"x6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0"x6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE
11	2'-6"x6'-8"	III	WOOD	WOOD	PRIVACY

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
 ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
 GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1229 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

scale As Noted
 date May 6, 2022
 no. 3 of 12

Sheet No.

A2

Project #2006

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL TO MEET SLOPE REQUIREMENTS.
- S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE BRICK POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BRICKS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DEPRESSION JOINT AND CAULK BELOW NEW SLAB. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH EXISTING AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR AND SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK GLAZING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS TO BE REPAIRED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2"x4" SPREAD FOOTING AND BRACE. CHECK FOR FLOORING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR QUALITY. ADDRESS ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF, ROOF PLAN
NOTES, ROOF AND SITE PLAN
LEGEND, GRAPHIC SCALES,
SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

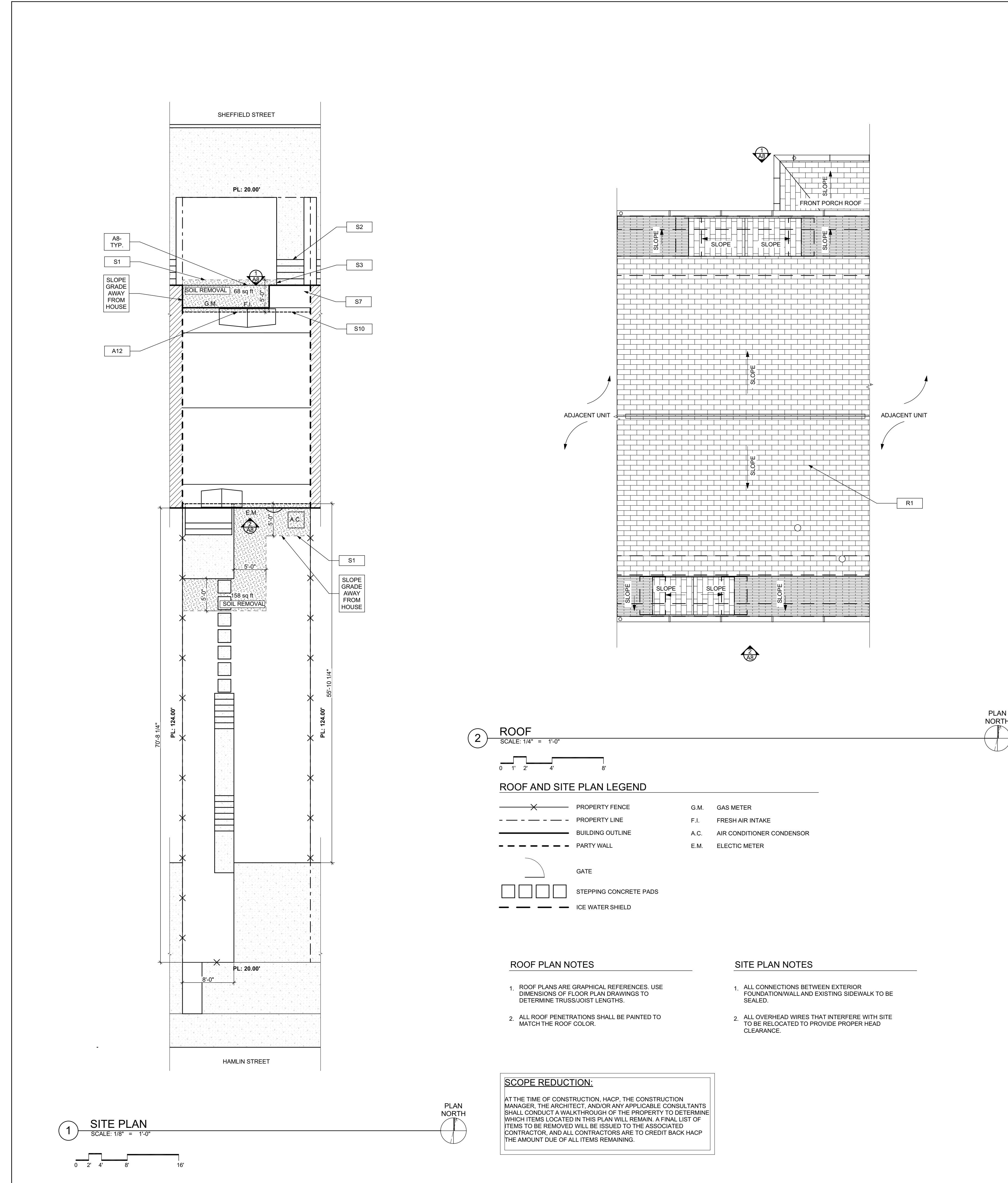
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of. **12**

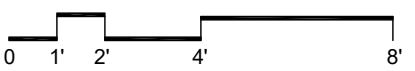
Sheet No.

A4

Project #2006



2 ROOF
SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

- X— PROPERTY FENCE
- - - PROPERTY LINE
- BUILDING OUTLINE
- - - PARTY WALL
- ⤴ GATE
- STEPPING CONCRETE PADS
- - - ICE WATER SHIELD
- G.M. GAS METER
- F.I. FRESH AIR INTAKE
- A.C. AIR CONDITIONER CONDENSOR
- E.M. ELECTRIC METER

ROOF PLAN NOTES

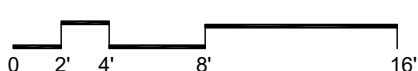
1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

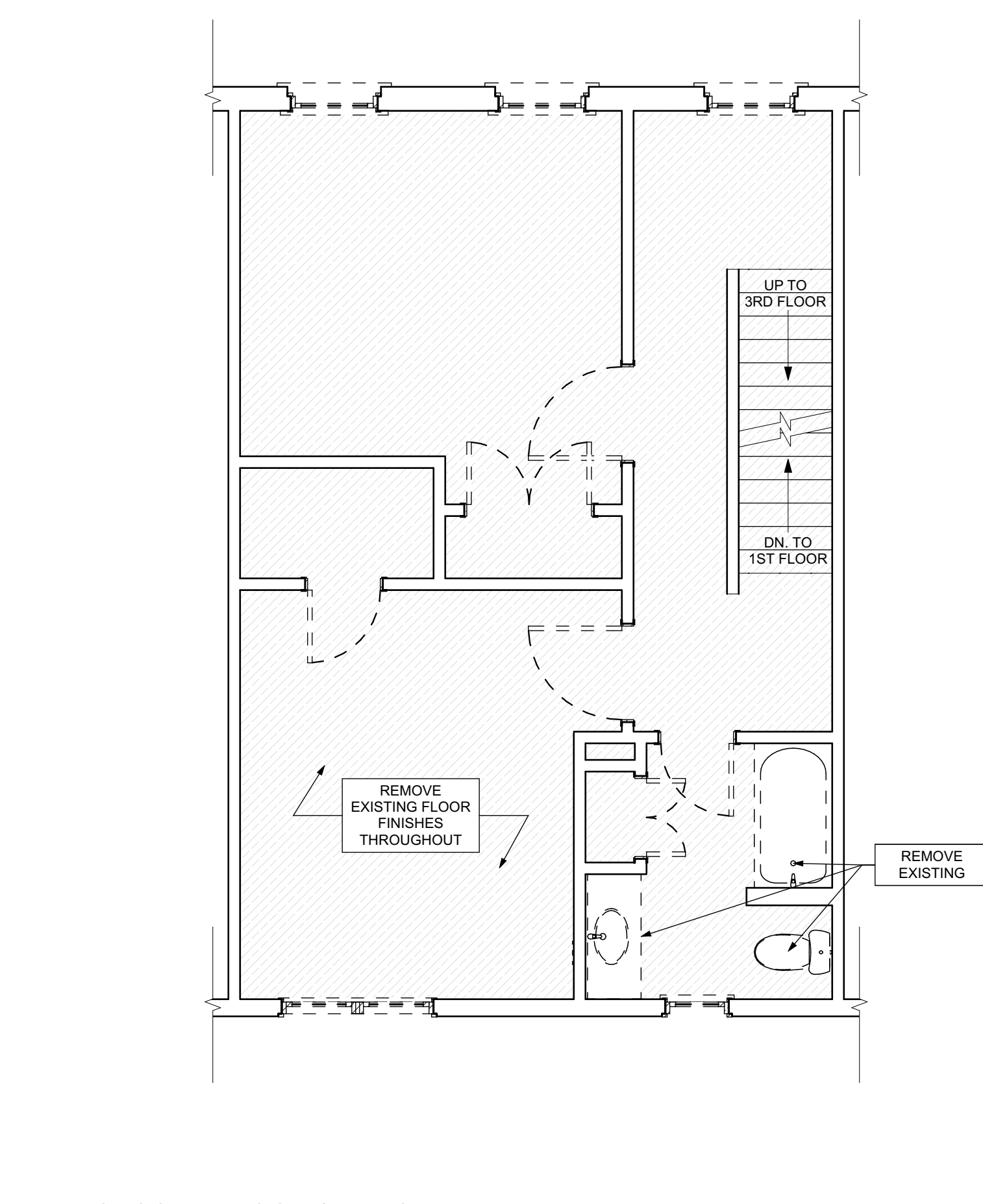
1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

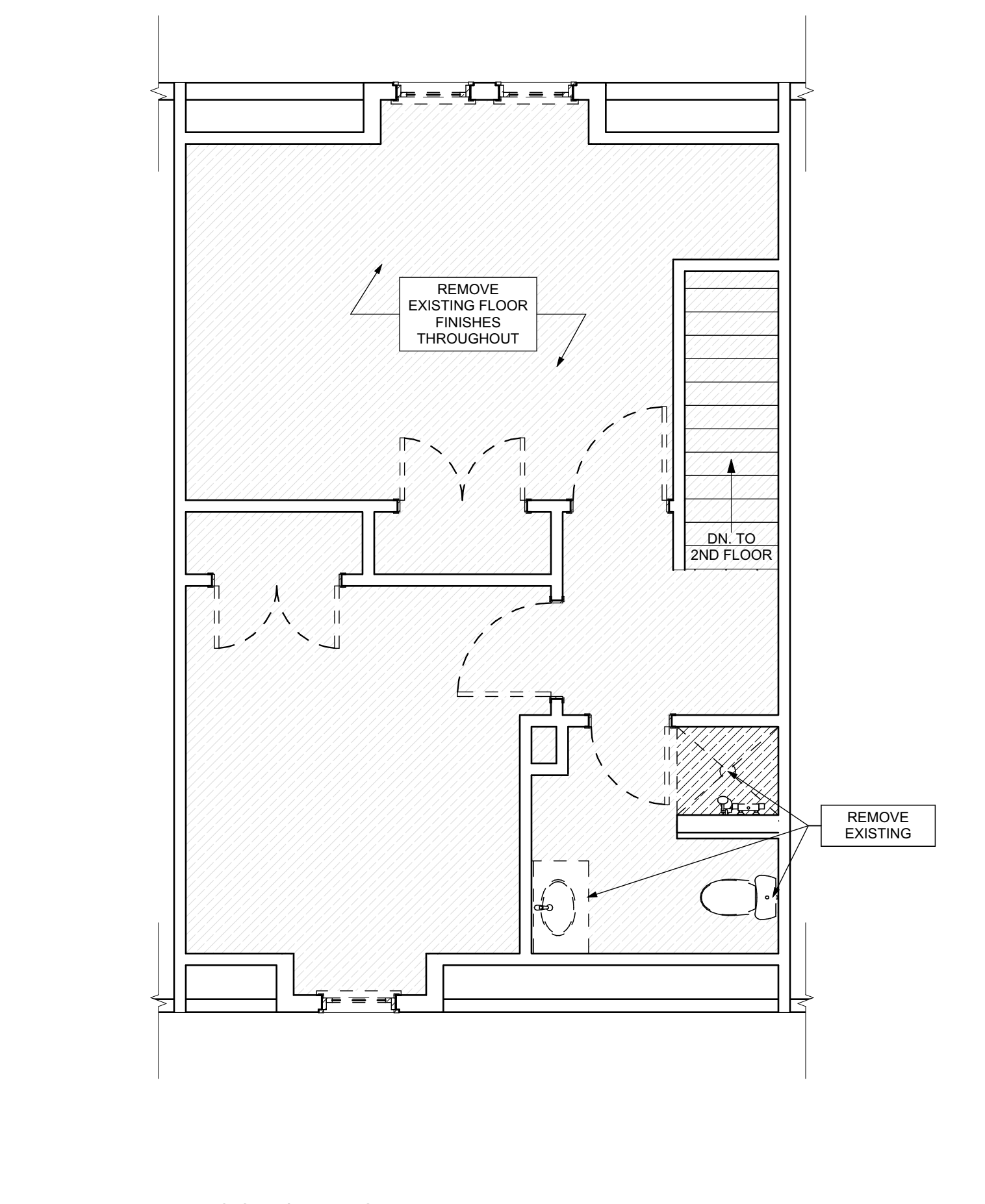
1 SITE PLAN
SCALE: 1/8" = 1'-0"



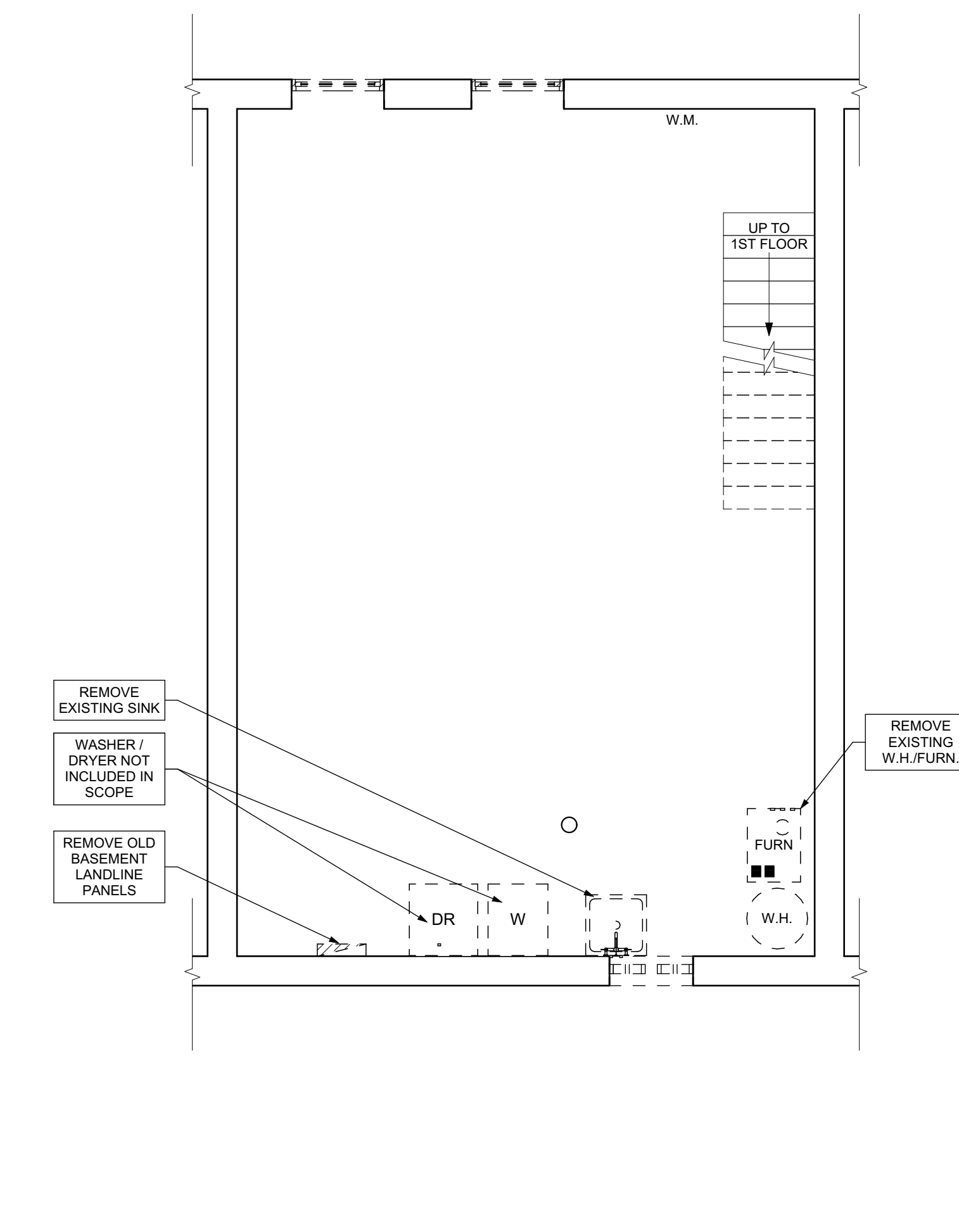
PLAN NORTH



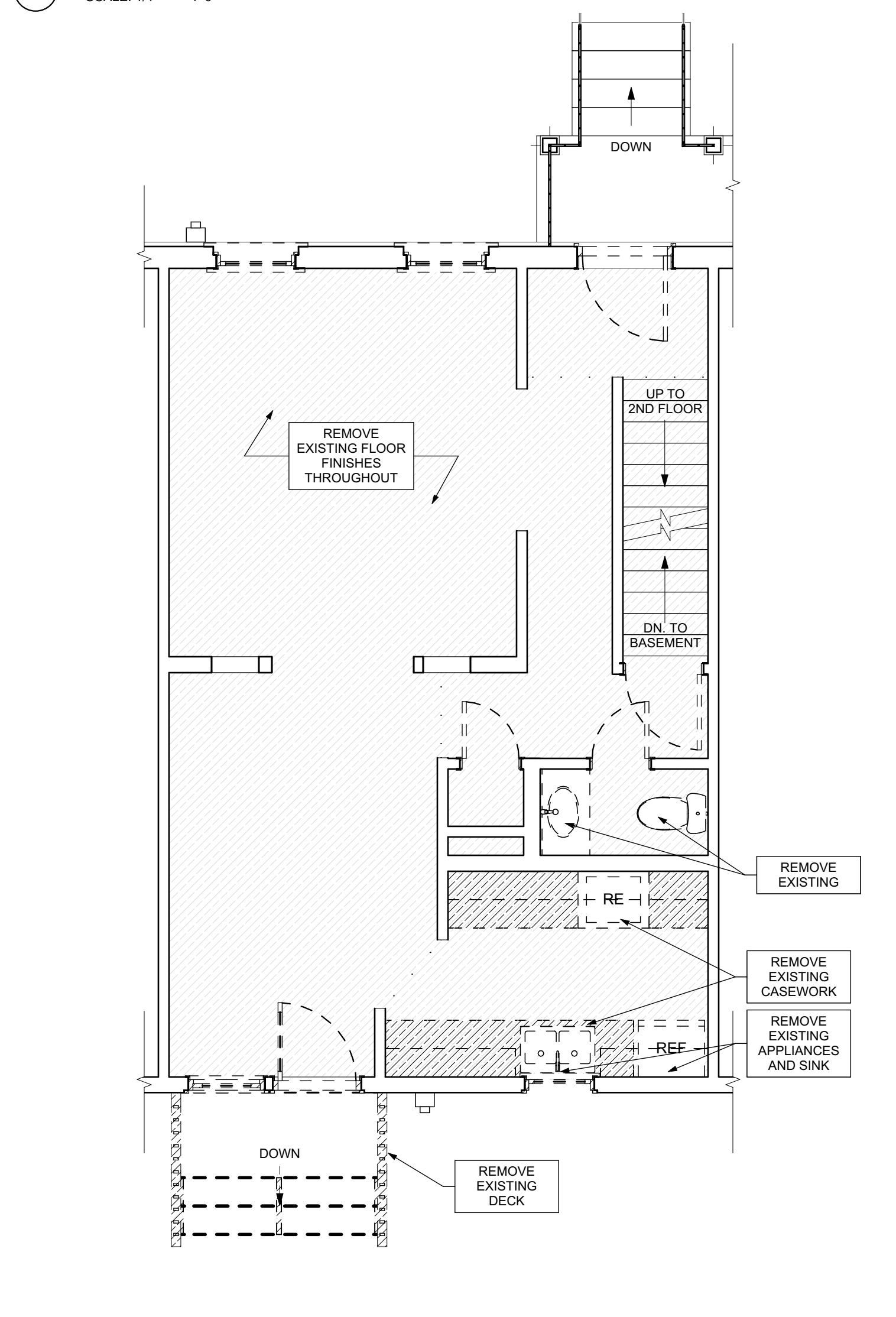
3 SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



4 THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRTY, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEVED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

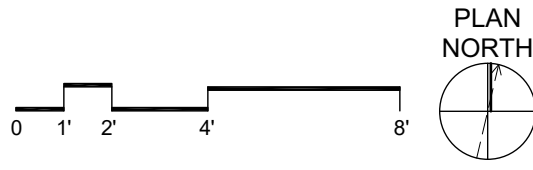
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF SLOPE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1/2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S21 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S23 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S24 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" WITH 1/2" JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S25 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" WITH 1/2" JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S26 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S27 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S28 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S29 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S30 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PATCHING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S31 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S32 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, REGRADE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S33 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S34 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION TO BE REPAIRED. REMOVE AND REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM WEAR OF FLOORING. REMOVE DRYER DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. PATCH AND REPAIR. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FOR BRACE AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPROX. 4" CHANNEL OR FLAT IRON. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO ATTACHED CEILING. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILLER OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal



general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

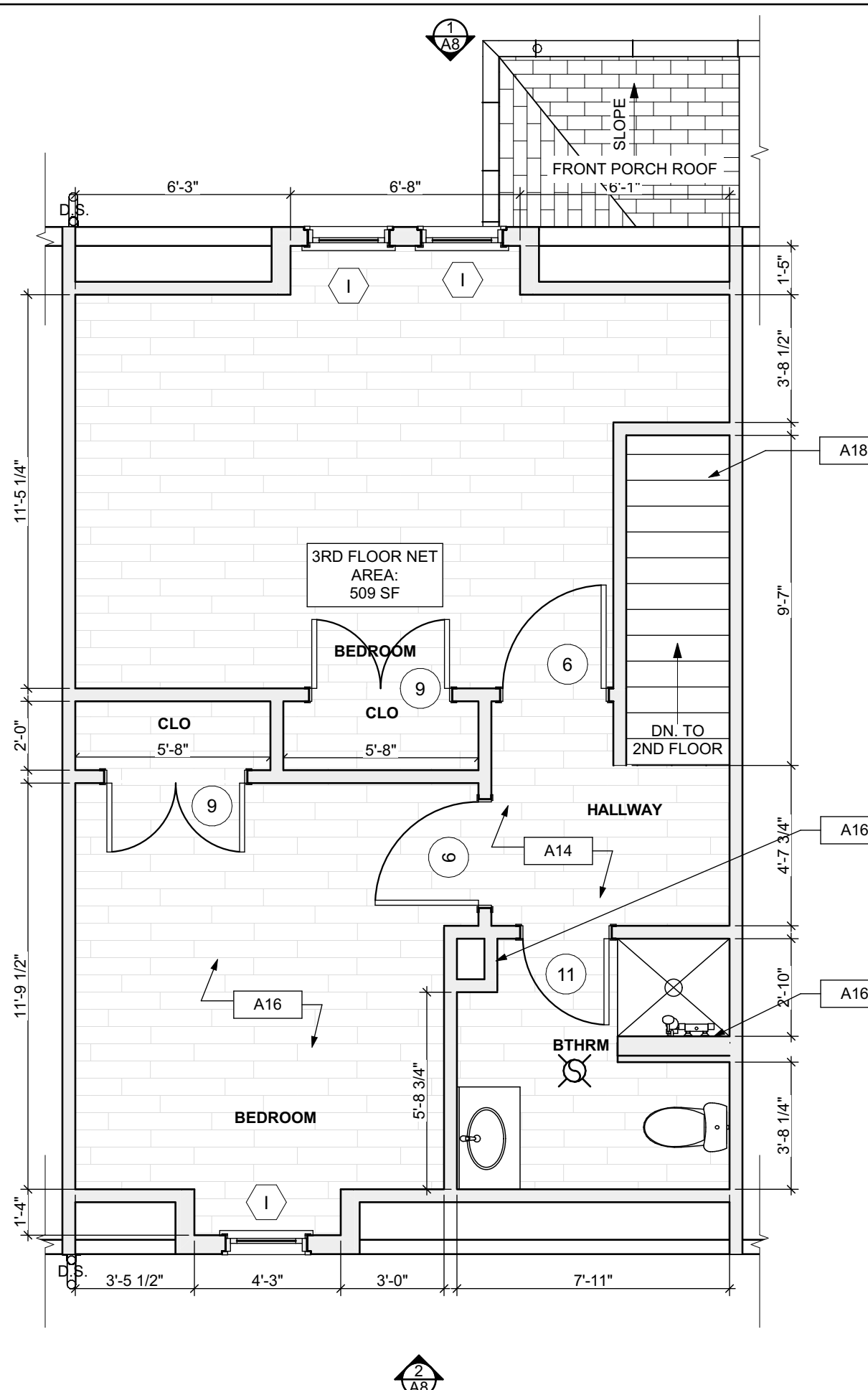
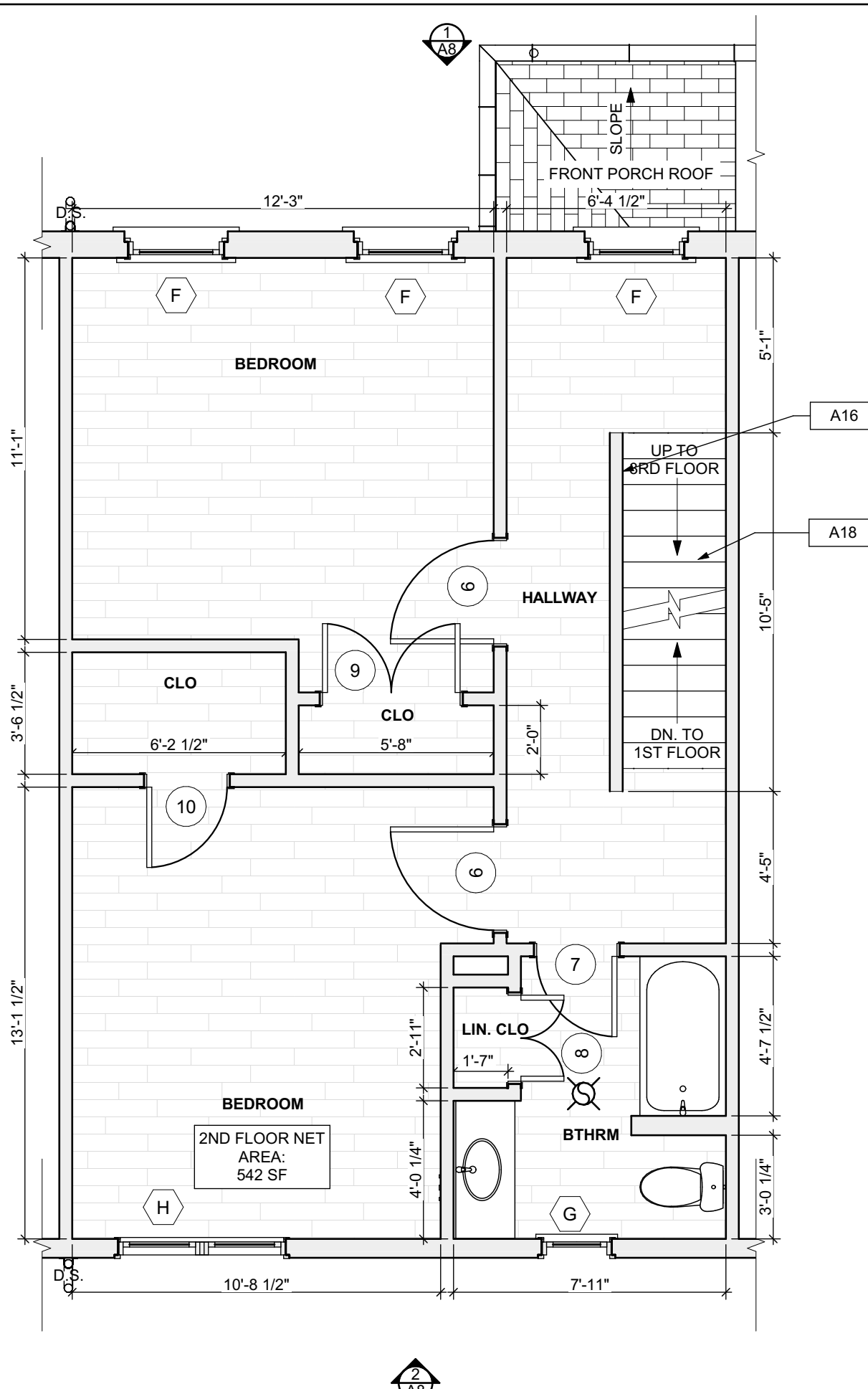
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1229 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

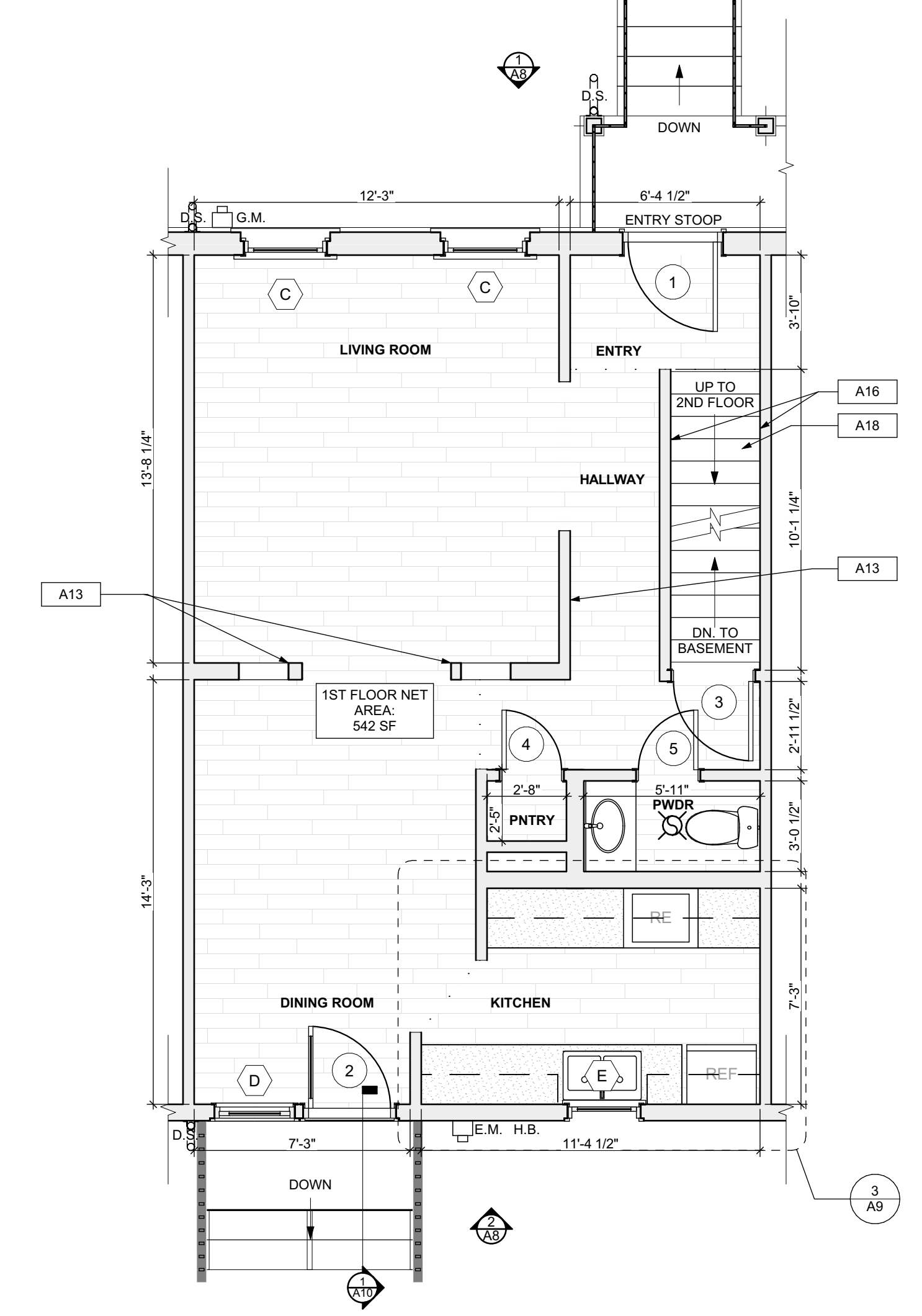
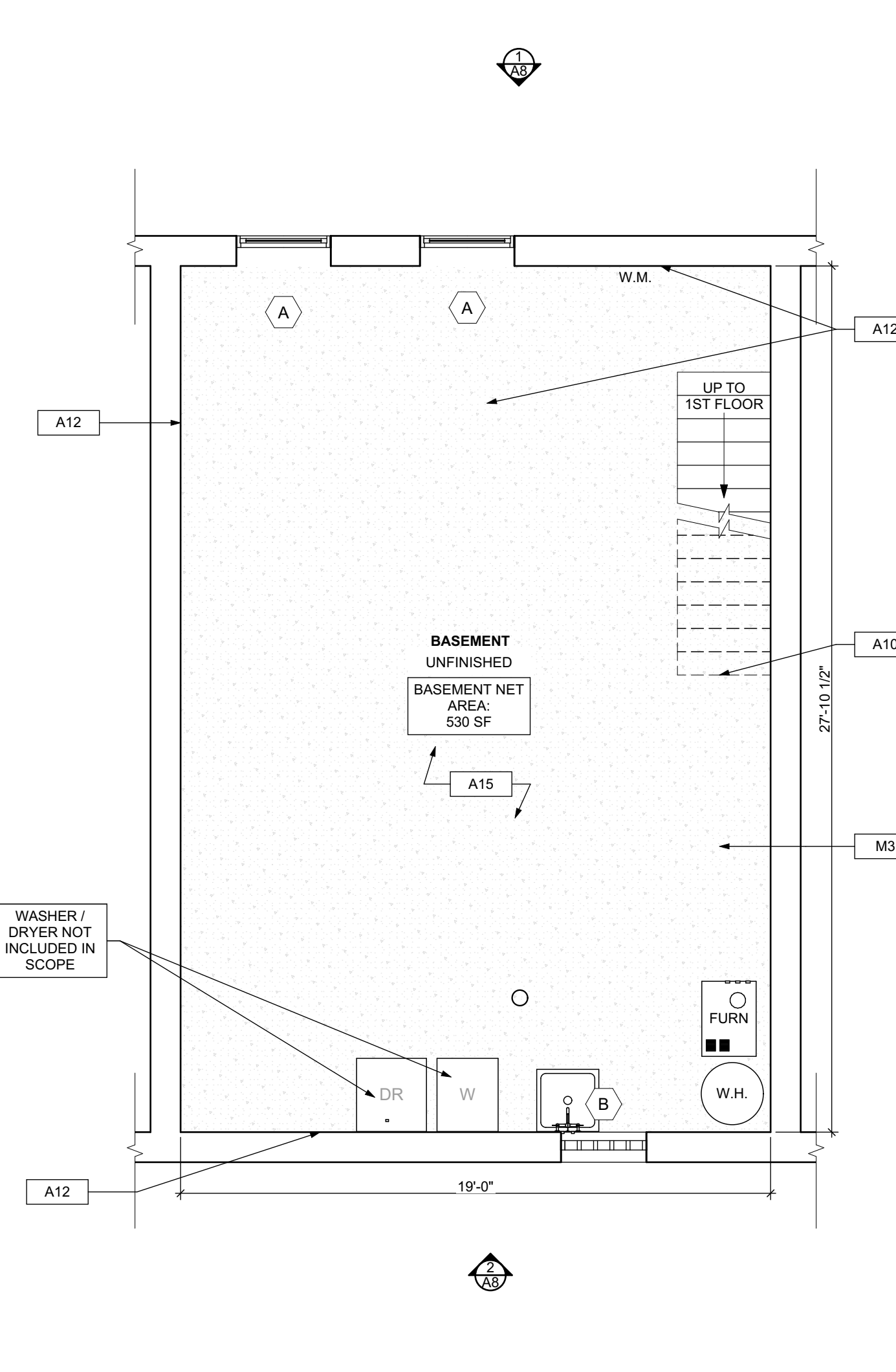
BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale As Noted	Sheet No. A5 Project #2006
date May 6, 2022	
no. 6	of. 12



3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



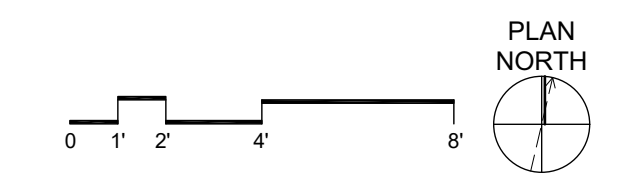
1 BASEMENT /FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNACE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1: AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE, POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS, WIRE REINFORCE TO PRESENT MINIMUM 3' OVER 3'-0" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2: UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3: TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE SUPPORT POST, PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4: EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRS PROVIDED, NEW CONCRETE PER SPECIFICATIONS. CONCRETE PND TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WW, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5: SAWCUT AND REMOVE OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WW, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6: POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7: REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8: TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9: ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR TRIMERS, REMOVE DAMAGED AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10: REGROUT AND POINT MASONRY AS NECESSARY. GROUT OUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11: REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER, PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12: REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICES, DRIP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13: REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- S14: REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. REMOVE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1: DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1: REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2: IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3: BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4: RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5: LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNPAVED SURFACE OF DOOR. REPAIR, REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6: WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATH, OR HEADERS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS, RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD, ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7: REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8: SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9: EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER, PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10: DETERIORATING INTERIOR STAIR BEYOND REPAIR. REPAIR EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11: ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING AS PER NEW STANDARD 2XX4" SPREAD FOOTING AND APPLY STEEL CORNER FOR STEEL. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12: EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13: CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14: UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15: ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16: SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17: CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18: NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1: NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2: EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1: PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2: REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR PURNAGE.
- M3: INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. PROVIDE DELUMINER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4: EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT /FINISH/MECH./PLUMB. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

scale
As Noted
date
May 6, 2022

no. **7** of **12**

Sheet No.
A6
Project #2006

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

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HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

BASEMENT REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG/ POWER / DATA PLAN, SECOND FLOOR REFL. CLG/ POWER / DATA PLAN, THIRD FLOOR REFL. CLG/ POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES

scale
As Noted

date
May 6, 2022

no.
8

of.
12

Sheet No.

A7

Project #2006

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	C	Long Bathroom Light Bar - Replacement : Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #6112WH	9
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	4
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

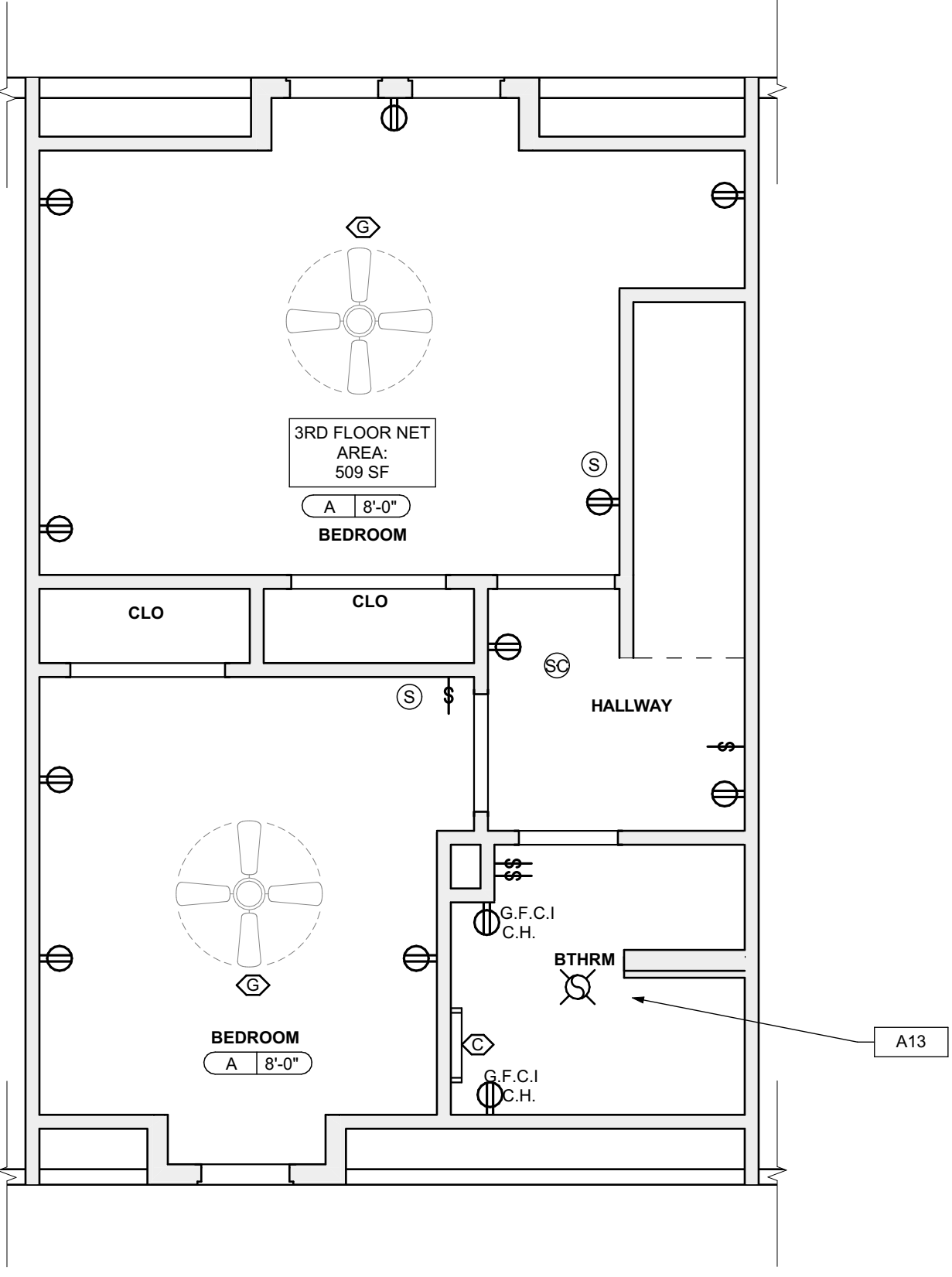
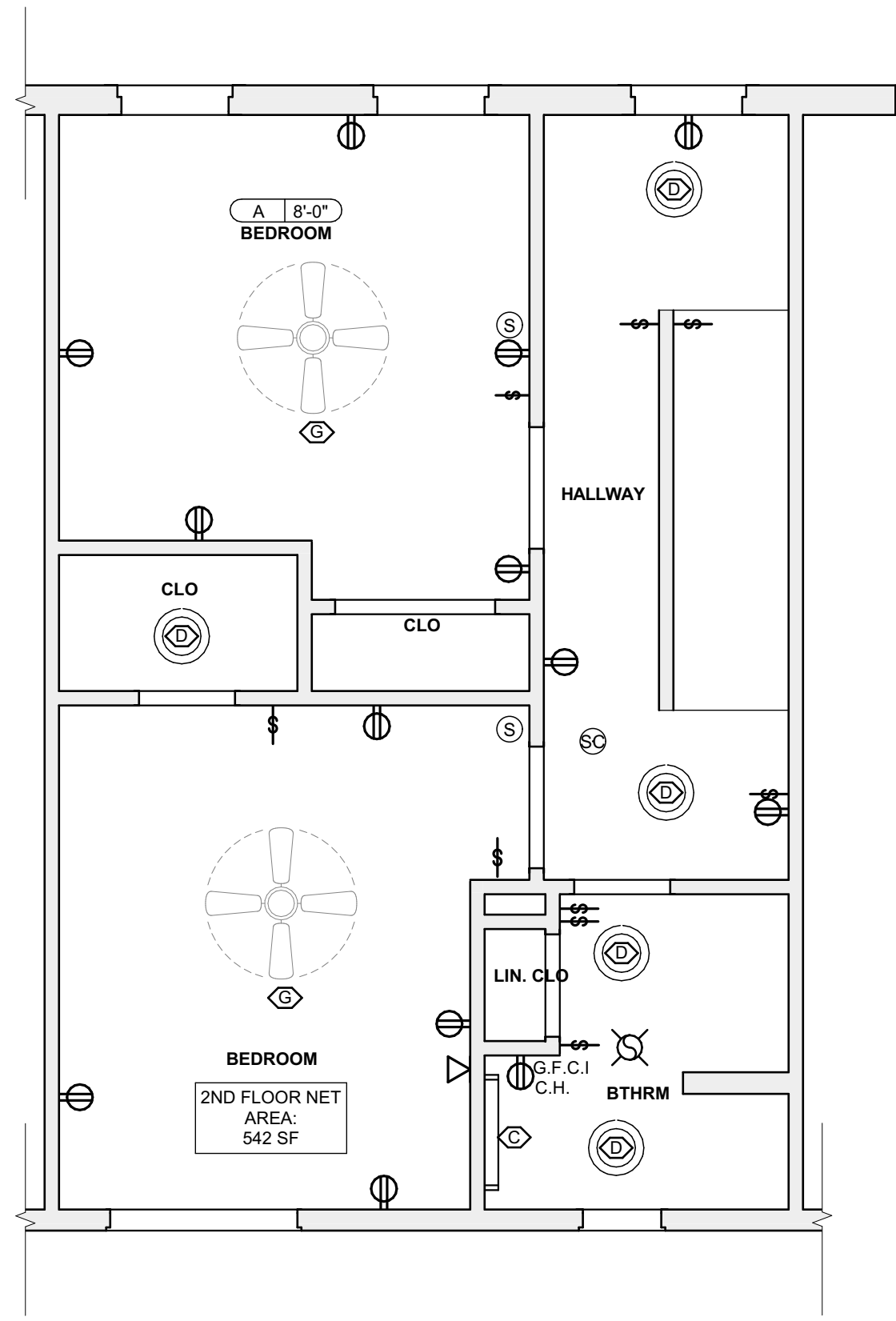
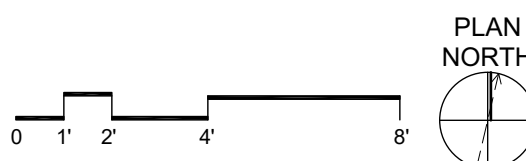
- SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SMOKE/ CARBON MONOXIDECOMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- GROUND FAULT CIRCUIT INTERRUPTER
- GROUND FAULT CIRCUIT INTERRUPTER
- LIGHT SWITCH
- EXHAUST FAN
- DOORBELL
- GWB CEILING / CEILING HEIGHT
- UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

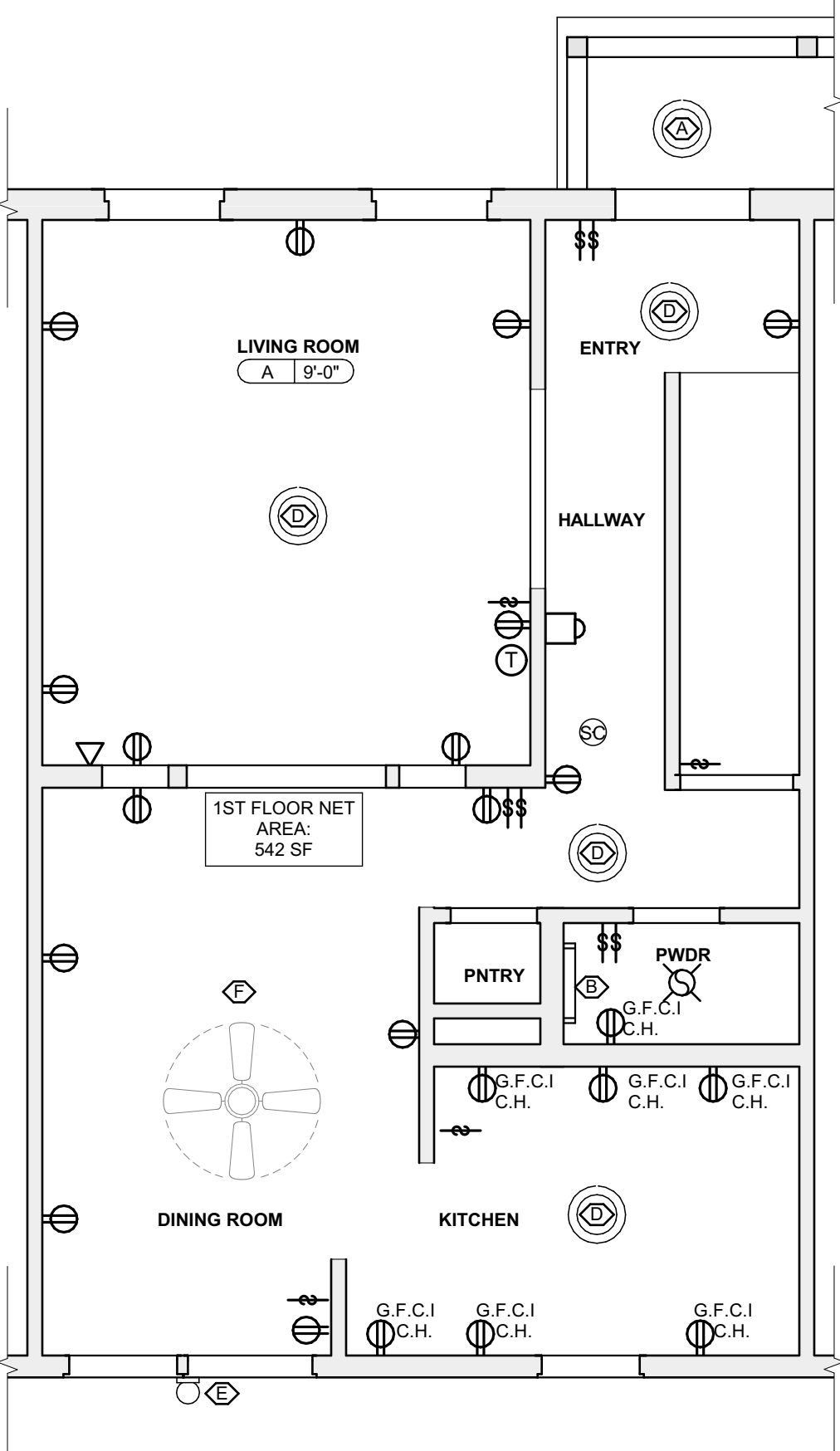
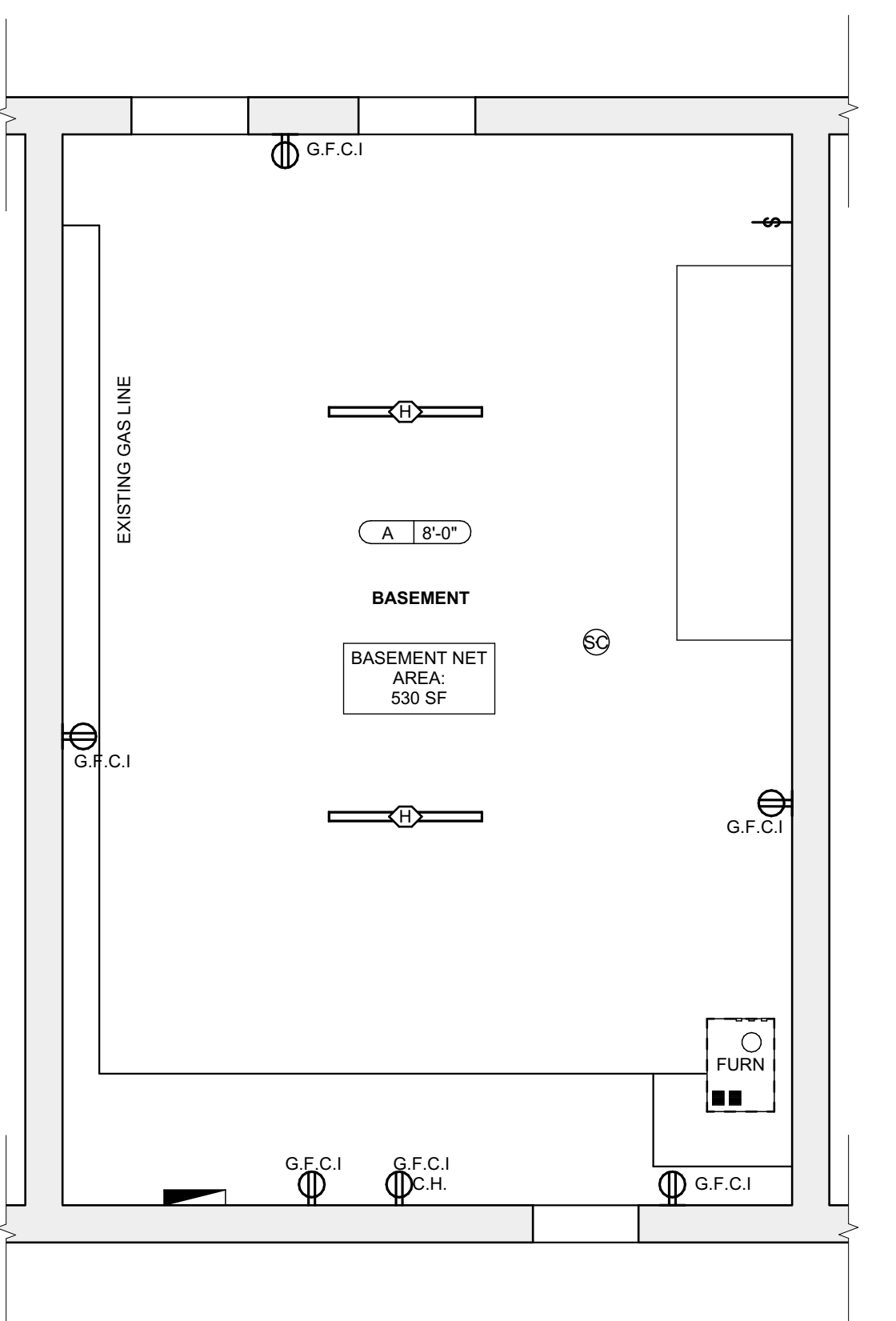
GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



3 SECOND FLOOR REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

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Project Location:
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 PITTSBURGH, PENNSYLVANIA
 15233

NORTH ELEVATION, SOUTH ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
 As Noted
 date
 May 6, 2022
 no. 9 of 12

Sheet No.
A8
 Project #2006

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE WAY. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR FIN WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

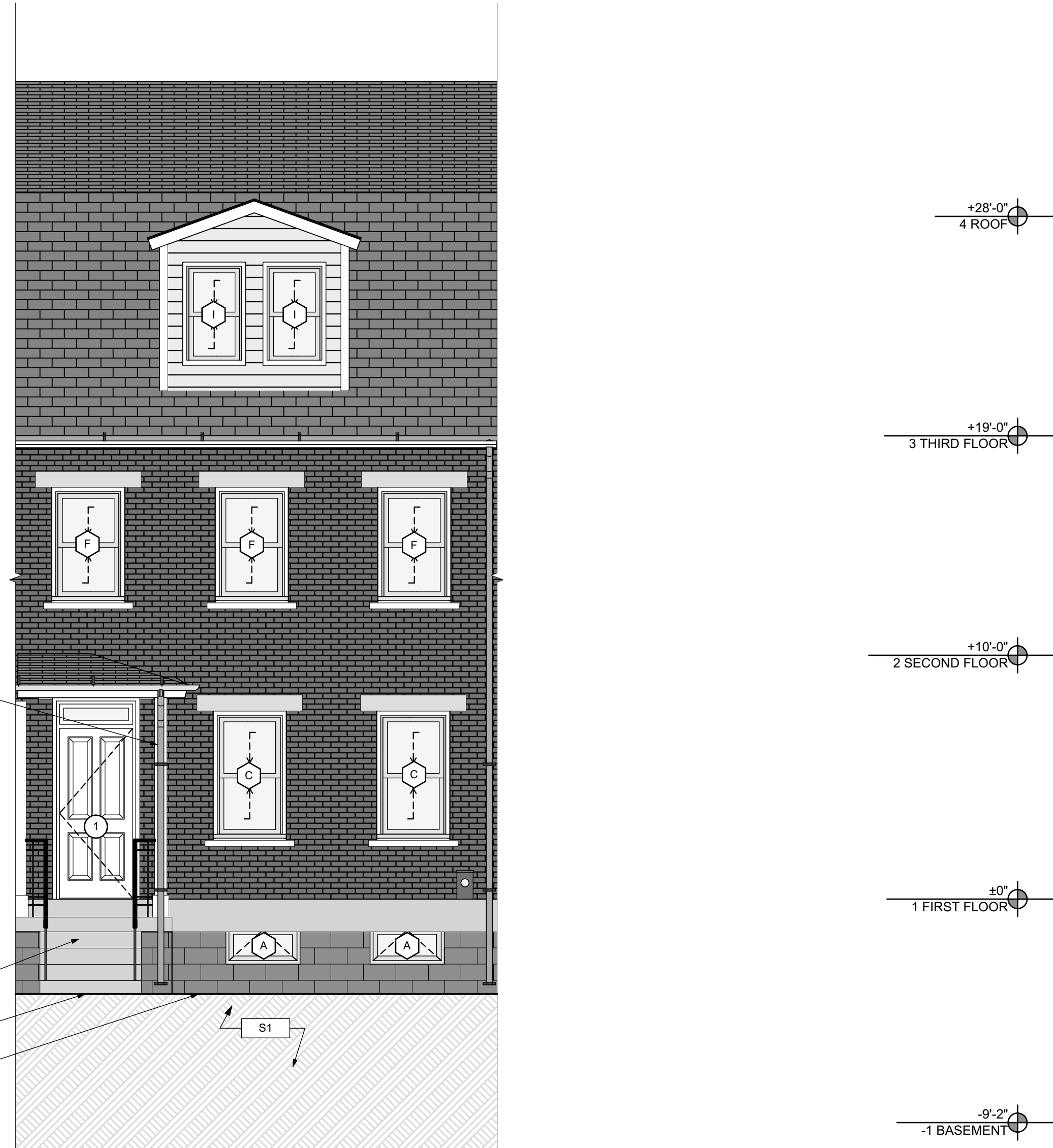
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

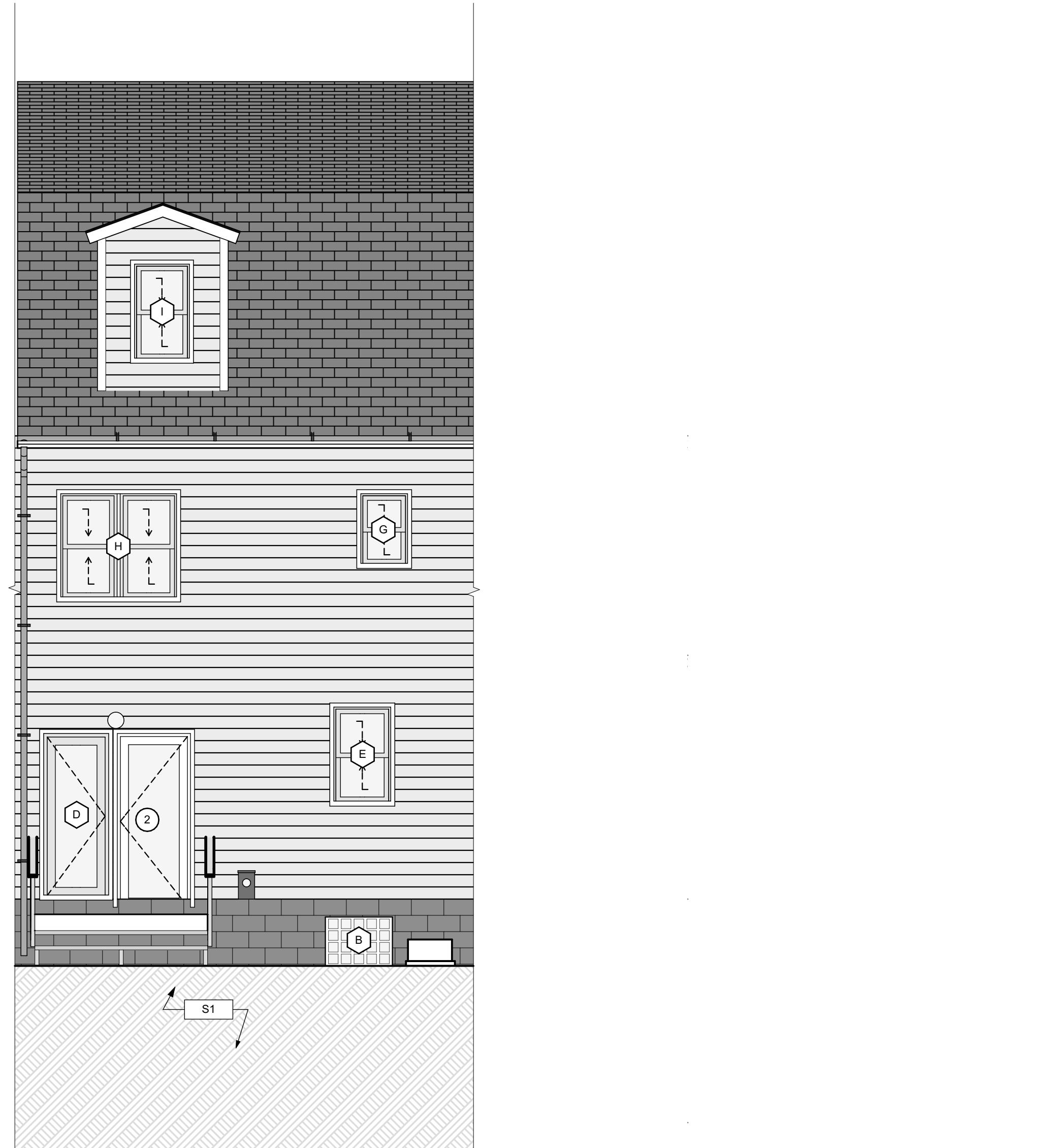
- M1 PROPERLY SUPPORT ELECTRIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTAMINATION OF DUCTWORK. REFER TO ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

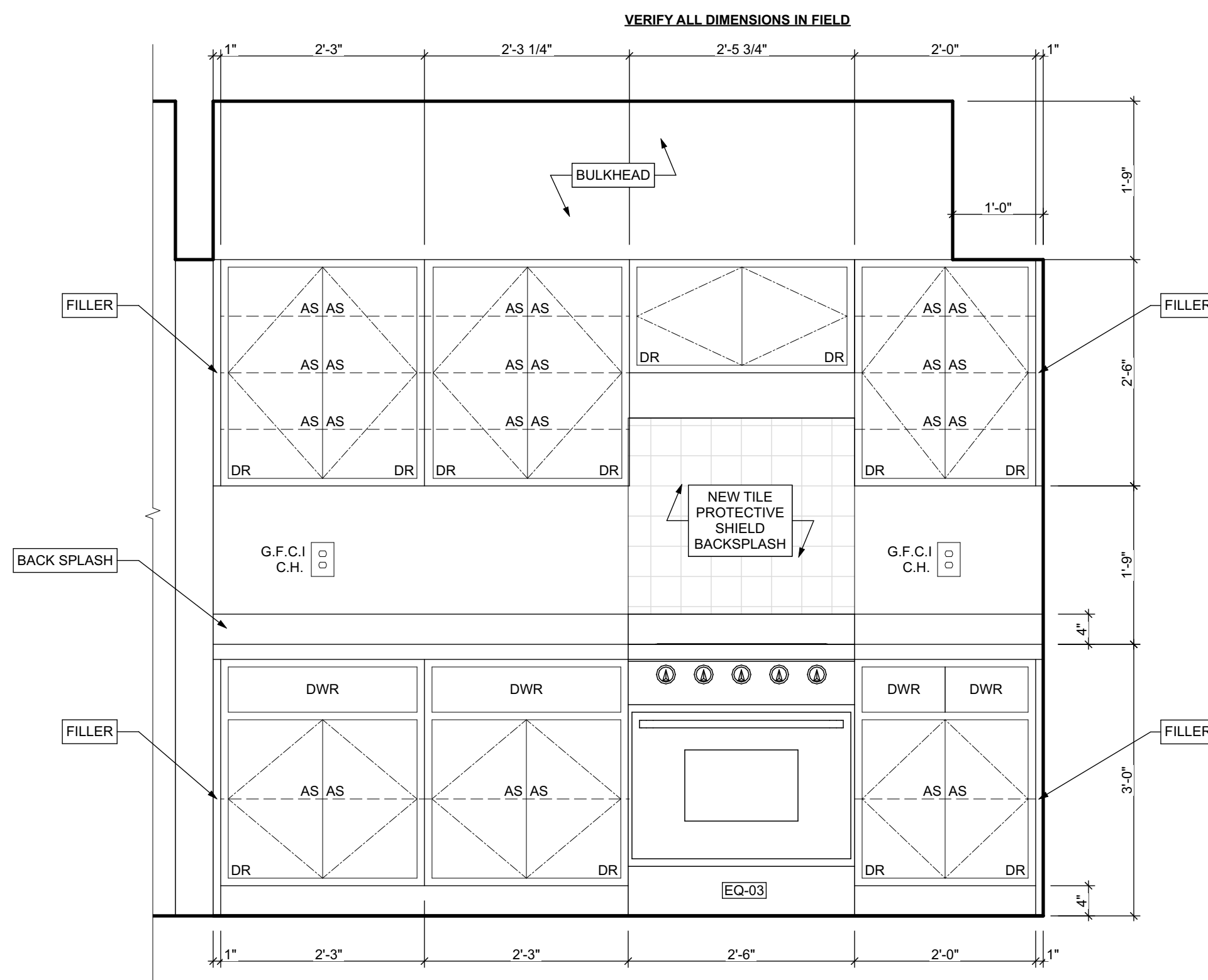
SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



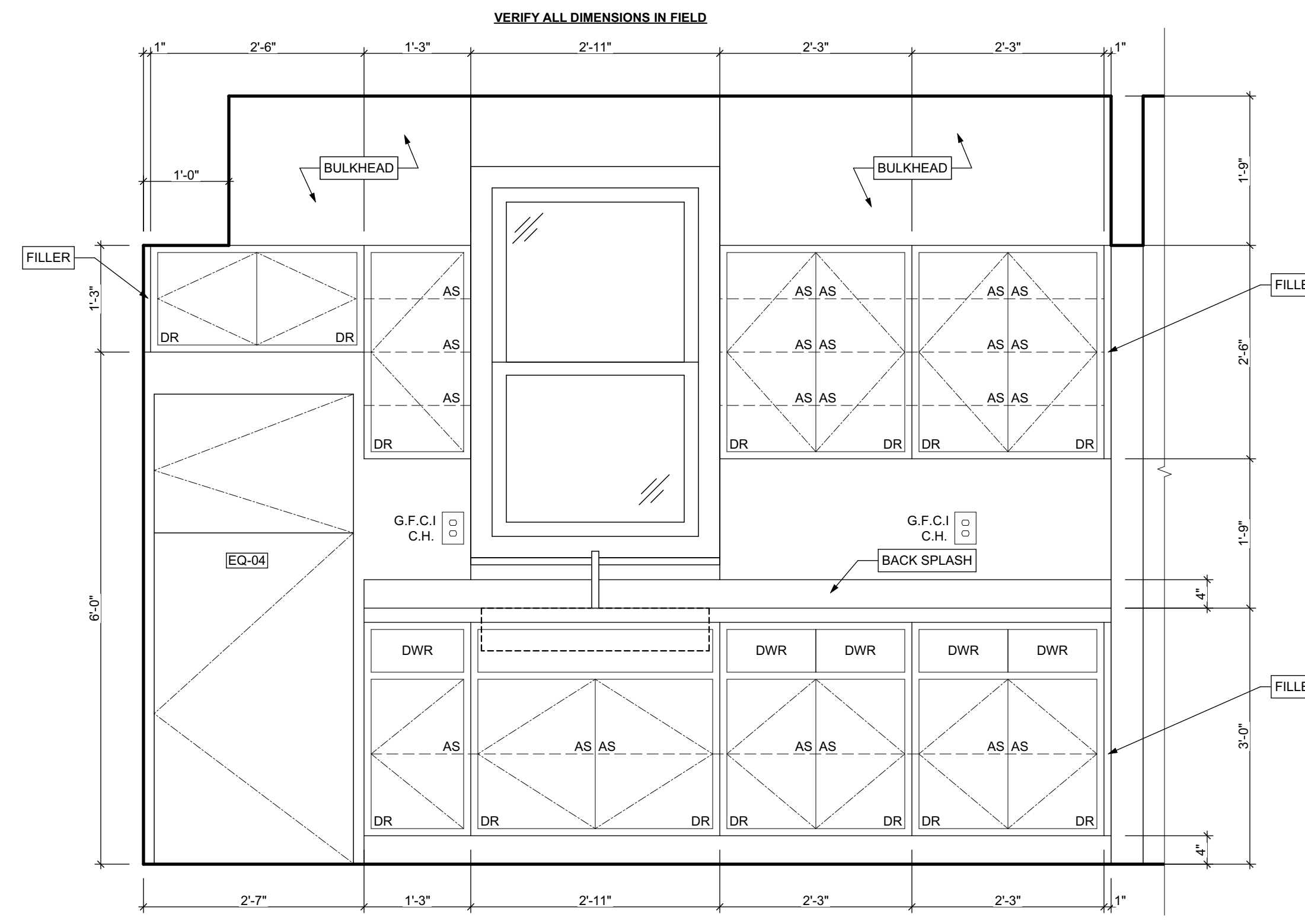
1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"
 0 1 2 4 8'



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 0 1 2 4 8'



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"

seal

general notes

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- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

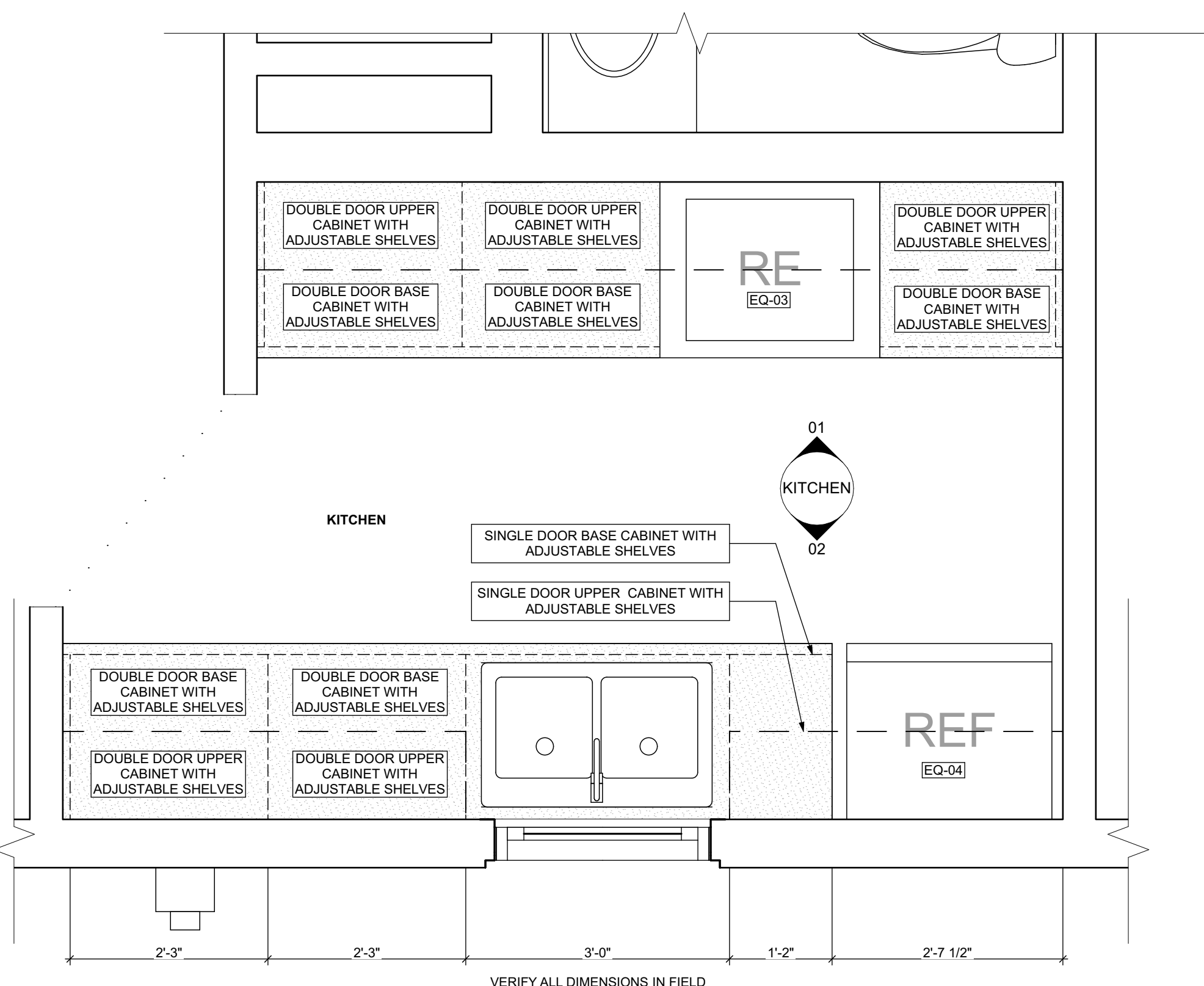
project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN**



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	4	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASX - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 051VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radiation, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2D800	black 18", type 18MSTA

PLUMBING SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCETS	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCETS	-	3	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions, Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30" W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T269E3P / T634ZEP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E. L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E. L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale
As Noted

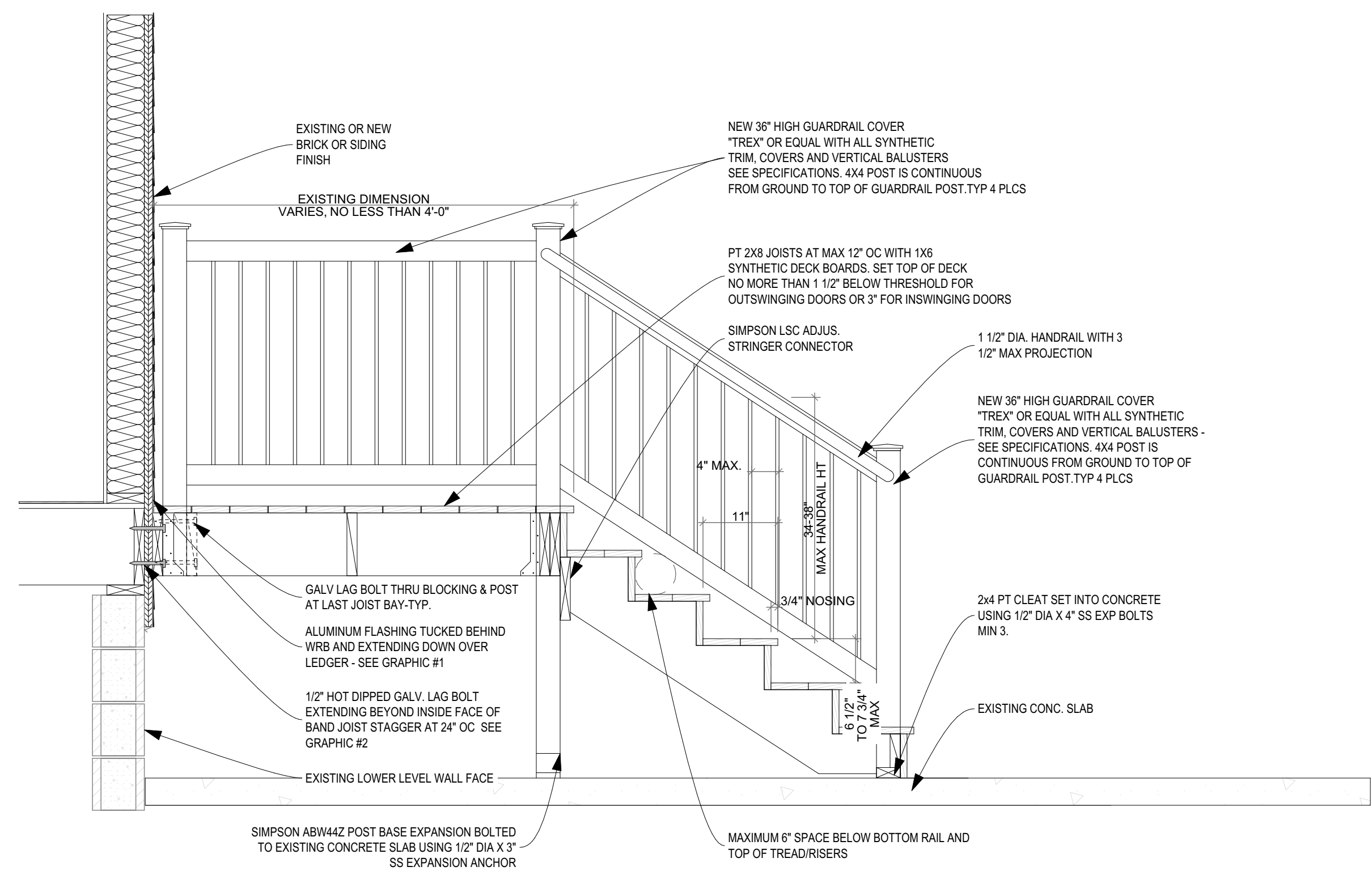
date
May 6, 2022

no. 10 of 12

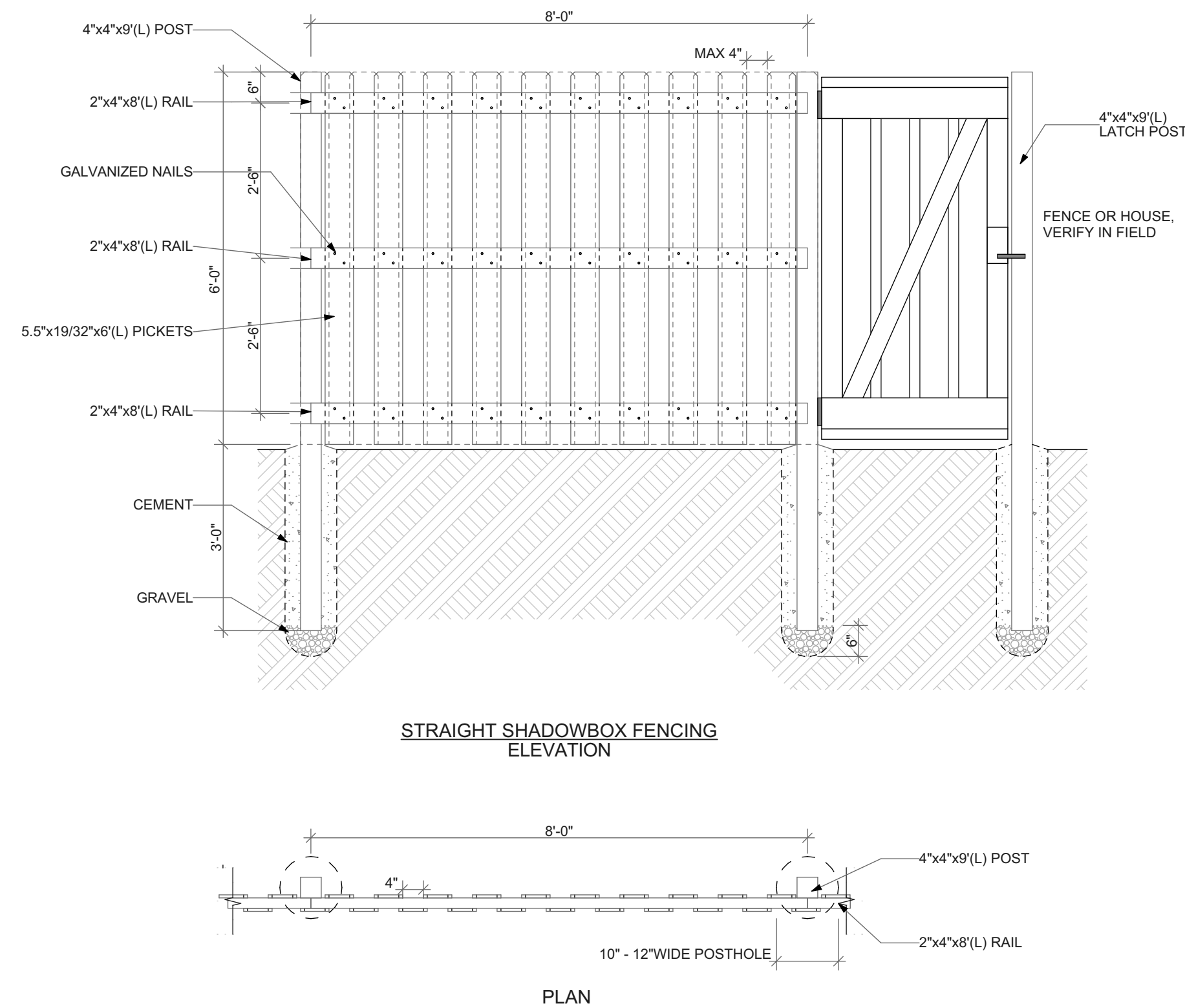
Sheet No.

A9

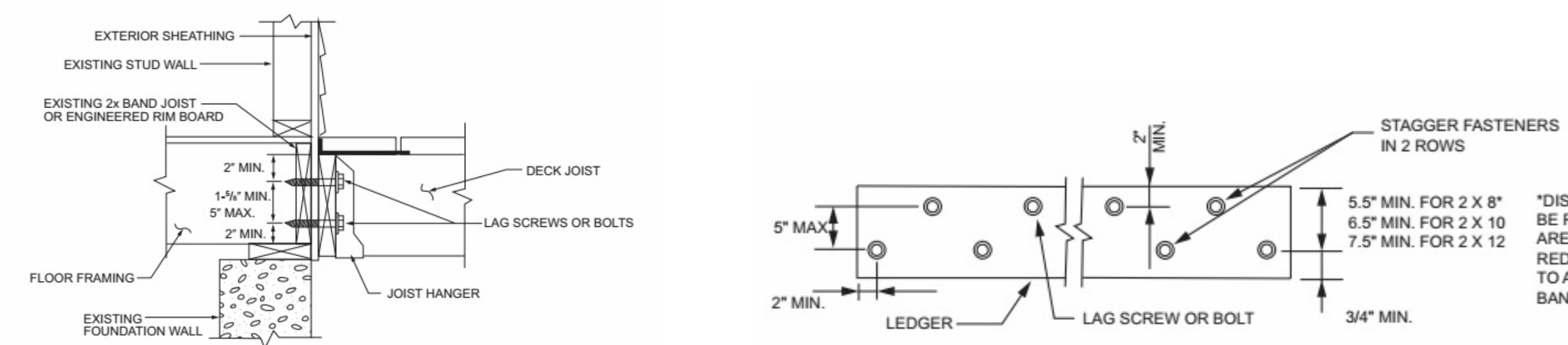
Project #2006



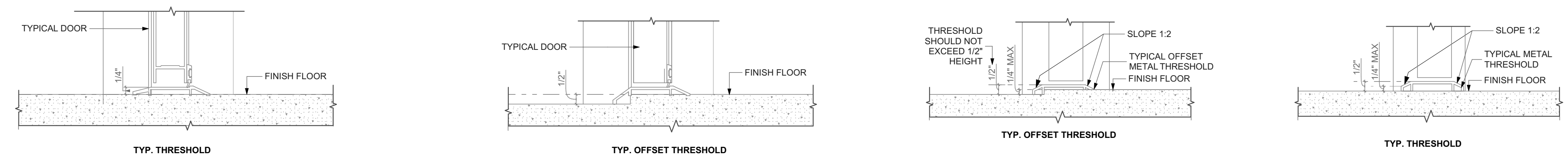
STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



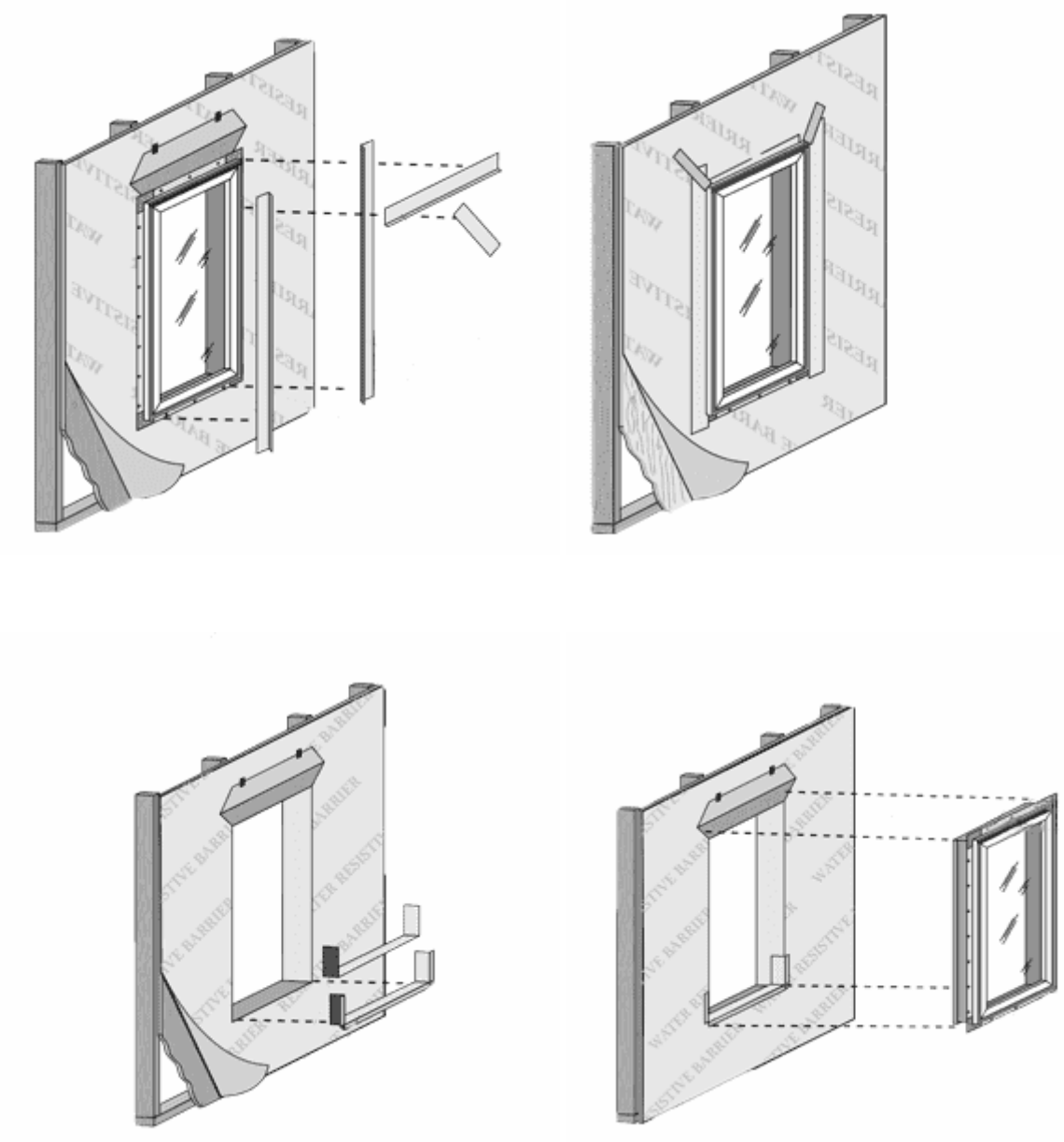
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

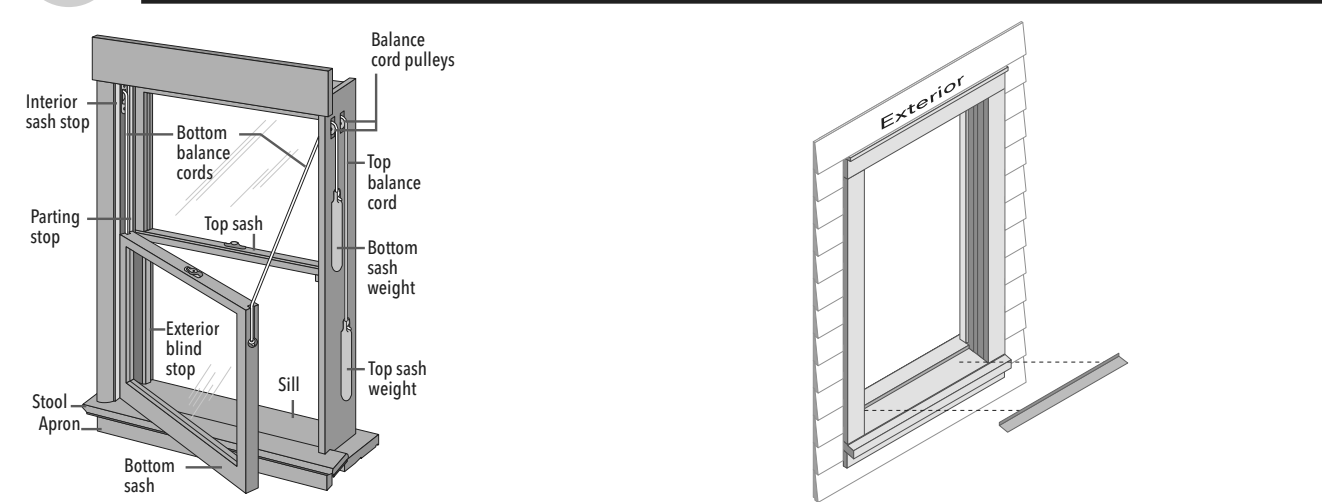
drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.
A10
Project #2006

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

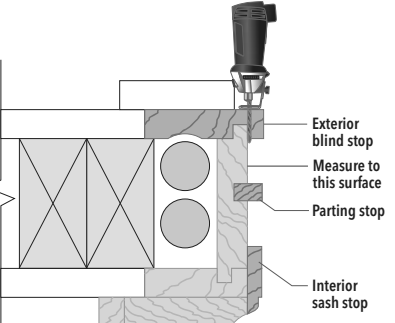


1 REMOVE THE EXISTING SASHES

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

A. **Measure the width and height of the pocket opening.** The new window must be 1/2" to 3/4" smaller than this measurement.
B. **Unhook the window.** If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.



C. **Remove the exterior stops at the head and jamb** using a chisel, reciprocating saw, ratchet tool or equivalent. Cut them flush with the side of the frame.
D. **Carefully remove the upper sash and dispose of it properly.**

For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys.
For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.

E. **Remove the head and jamb parting stops** (if applicable) by pulling or prying them out of the frame.
F. **Carefully remove the lower sash.**
G. **Remove any remaining jamb liner material** (if applicable).
Caution: Some balances are spring-loaded.
H. **Insulate the weight chamber** (if desired).

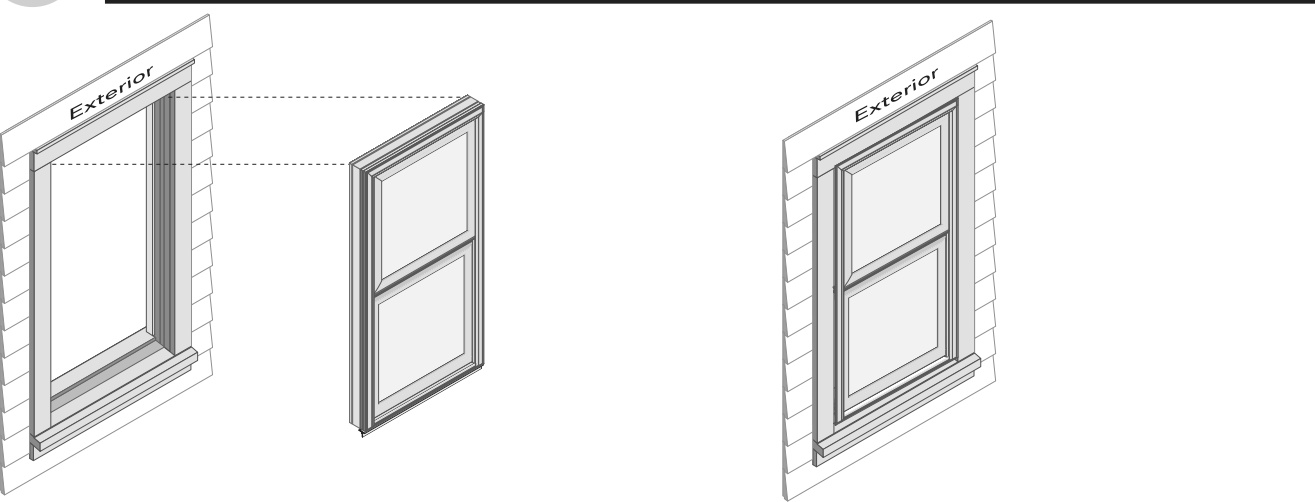
2 PREPARE THE OPENING

A. **Inspect the existing window frame.** Repair or replace any deteriorated parts.
B. **Clean the opening** of any dirt, debris or excess old paint.
C. **Apply flashing tape to the sill.** Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.
D. **Apply sealant over any gaps** in the corners of the existing frame.
E. **Check the sill for level** or for bowing.
F. **Install and level sill shims only if necessary to correct for bowing of the sill.** Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlock.
For vinyl windows, add shims so maximum spacing is 18".
G. **Attach shims to prevent movement** after they are level.
NOTE: Improper placement of shims may result in bowing the bottom of the window.

3 PREPARE THE WINDOW

See next page for Sill Adapter Illustrations.
A. **Drill pilot holes** (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
B. **Dry fit the window in the opening.**
C. **Measure the distance** from the bottom of the window to the existing sill. Remove the window from the opening.
D. **Trim the sill adapter to the correct height** (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
E. **Install the sill adapter.** Cut it to length and notch it (if necessary).
F. **Dry fit the window a second time** to ensure a proper fit. Remove the window from the opening.
G. **Create 1/4" weep holes** (Vinyl products only). Drill cut notch a weep hole 1" from each end of the sill adapter.

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



3 PREPARE THE WINDOW (Continued)

Pella® 350 Series

Architect Series® (850) and Pella® Lifestyle Series Dual-Pane

Pella® Impervia®

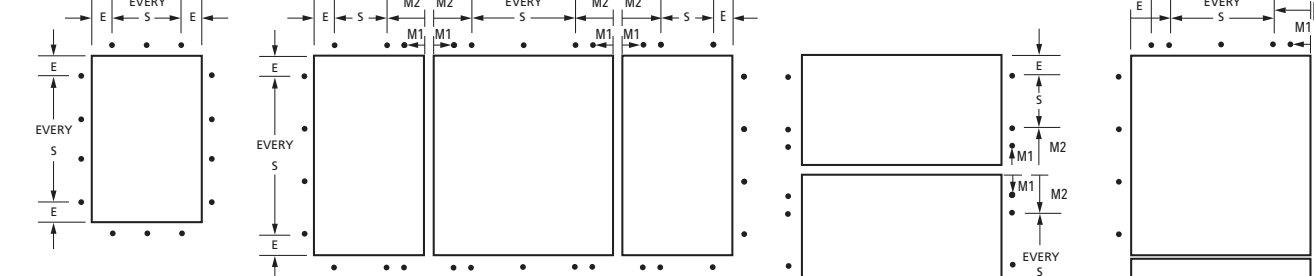
Casements and Fixed Windows:

4 SET AND FASTEN THE WINDOW

A. **Apply a 3/8" bead of sealant** where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
B. **Apply a 3/8" bead of sealant at the exterior surface** of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
C. **Insert the window in the opening.** Check to make sure the window rests against the interior stops and is making contact with the sealant.
D. **Place shims and begin driving screws** at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even leveling between the frame and sashes.
Refer to the anchoring instructions at the end of this booklet.
Ensure the window frame remains fully embedded in sealant.
NOTE: Keep shims 1/2" from the exterior surface of the window to allow for backer rod and sealant.
E. **Cut the checkrail band at each jamb** and remove. Tilt the sashes to remove checkrail clips. (If applicable)
F. **Check for plumb, level, square** and window operation. Make any necessary adjustments to shims and finish installing frame screws.
G. **Adjust the screw jacks** (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash.
Tilt the lower sash inward to locate the jamb jacks in the interior balance channel near the checkrail.
H. **Install interior sealant from the exterior.** Refer to the interior sealant instructions at the end of this booklet.
I. **Install exterior sealant.** Refer to the exterior sealant instructions at the end of this booklet.
J. **Install exterior frame expanders** at this time (if necessary).

BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

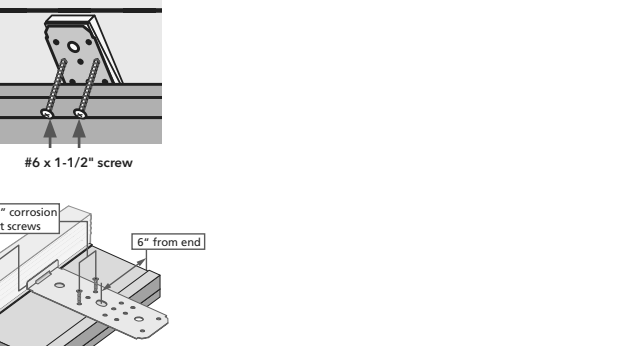
Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



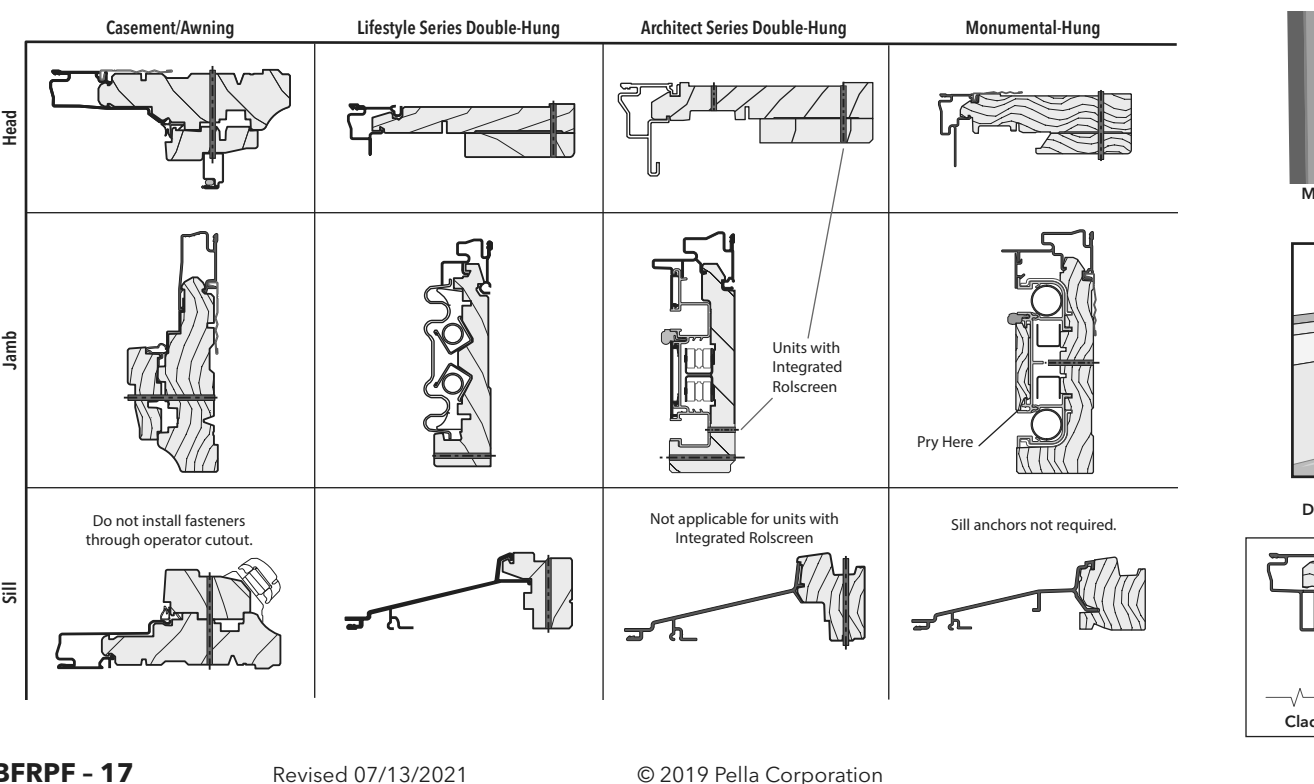
PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (IS)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x3" Finish Screw	For windows with integrated Robloclean® retractable screens, drive jamb screws at each factory pre-punched hole in the jamb over each screen. 2 additional screws through the frame on each side. Drive additional screws through the frame for secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame for secure clips centered between each jamb liner support clip.
Double or Single-Hung	6"	16"	3"	6"	#8x3" Finish Screw	
Fixed Frame	6"	16"	3"	6"	#8x3" Finish Screw	
Monumental DH 54" x 96"	6"	16"	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip into bottom checkrail and center of each sash. Drive 2 additional screws through the frame on each side. Drive additional screws through the frame for secure clips centered between each jamb liner support clip.



1/8" Pilot Hole Locations



BFRPF - 7 Revised 07/13/2021 © 2019 Pella Corporation PR_BFE

BFRPF - 8 Revised 07/13/2021 © 2019 Pella Corporation PR_BFE

BFRPF - 17 Revised 07/13/2021 © 2019 Pella Corporation PR_BFE

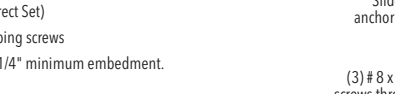
Pella® BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

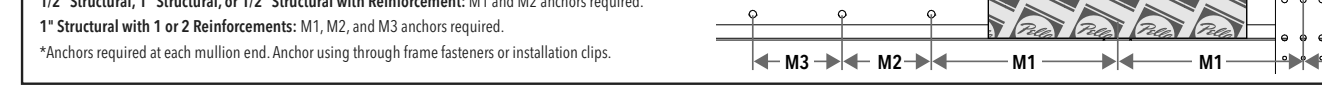
PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (IS)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed					#8 x 2 1/2" Pan Head (provided)	Installation clips required for anchoring at the sill.
Single-Hung	6"	16"	4"	3"	#8 x 2 1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	3"	6"	#8 x 2 1/2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame widths less than 42".
Casement/Awning-Vent and Fixed	6"	16"	4"	3"	#10 x 3" Pan Head (provided)	Head clips at sill at mullions and centered under fixed casements in 3-wide combinations.
Direct Set	6"	16"	4"	3"	#10 x 3" Pan Head (provided)	Head clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

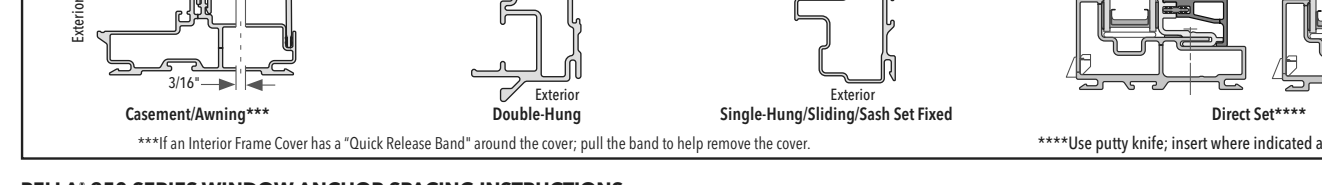
Use Factory Drilled installation holes if present. Install hole plugs after driving screws (see CM/AV and Direct Set).
** For light gauge steel framing, use #10 self-drilling/self-tapping screws.
*** For concrete or masonry use 3/16" masonry screws with 1-1/4" minimum embedment.



Mullion Anchoring Diagram



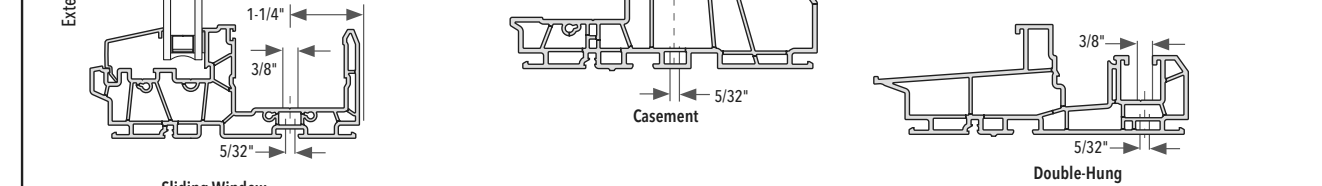
Pilot Hole Locations and Sizes



PELLA® 350 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (IS)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 6" from the center of the meeting rail at the head and sill of sliding windows.
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Double and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

Use Factory Drilled installation holes if present. Install hole plugs after driving screws.
** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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Pella® BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

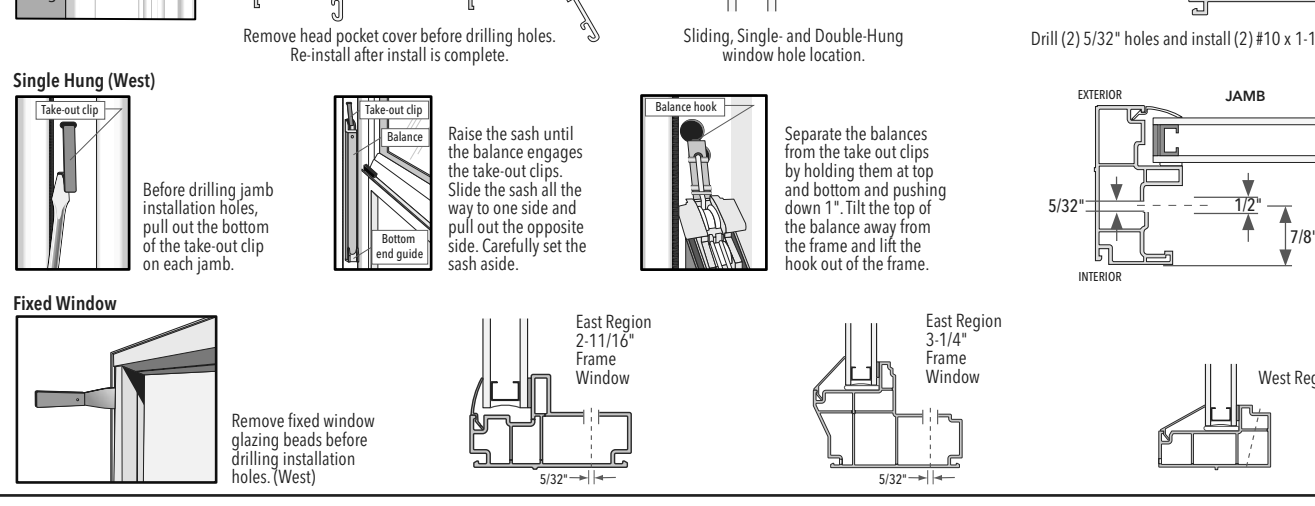
NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® / PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (IS)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2 1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double-Hung (East)					Factory Pre-Drilled**	High Performance DH (3) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (4) #8 x 2" screws at head mullion ends and 4 clips at sill mullion ends 2" and 6" from mullion. Use self adhesive spacer at all installation holes for a P200 Performance Install.
Fixed Window	4"	16"	4"	6"	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

All venting products: Head and sill anchors are required on composites only.
** Use Factory Drilled installation holes if present.
*** For DH & SH units >42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.
*** For DH & SH units >42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.
*** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

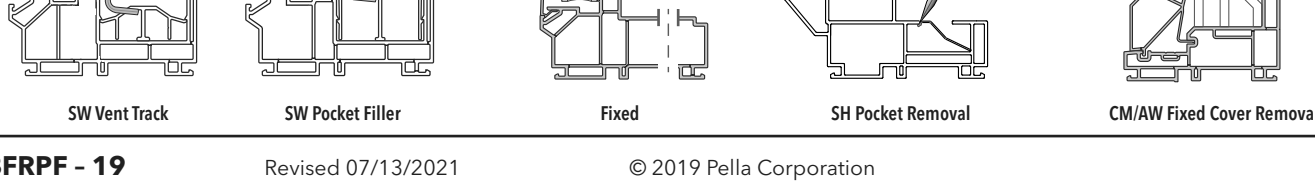
Pilot Hole Locations and Sizes



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (IS)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
DH/SH/FX	6"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes for a P200 Performance Install.
SW	6"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at all with mullions only.
SW 2P/250	6"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at all with mullions only.
CM/AV	6"	16"	3"	6"	Factory pre-drilled holes in Jamb and Head, clips at sill 4" Edge Spacing and 12" Max. Spacing.	Clip only 6" Edge Spacing and 12" Max. Spacing.
FX CM/AV	6"	16"	3"	6"	Factory pre-drilled holes in Jamb and Head, clips at sill 4" Edge Spacing and 12" Max. Spacing.	Clip only 6" Edge Spacing and 12" Max. Spacing.

All venting products: Head and sill anchors are required on composites only.
** Use Factory Drilled installation holes if present.
*** For DH & SH units >42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.
*** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

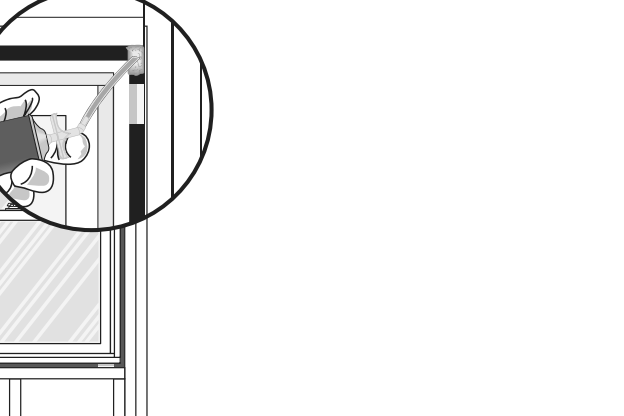


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Pella® INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

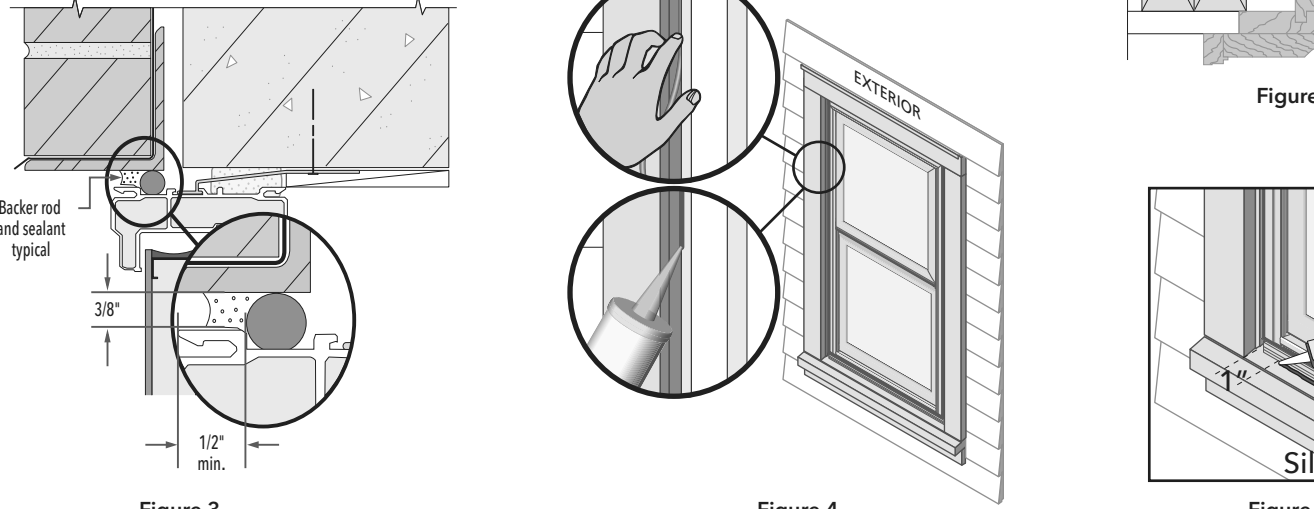
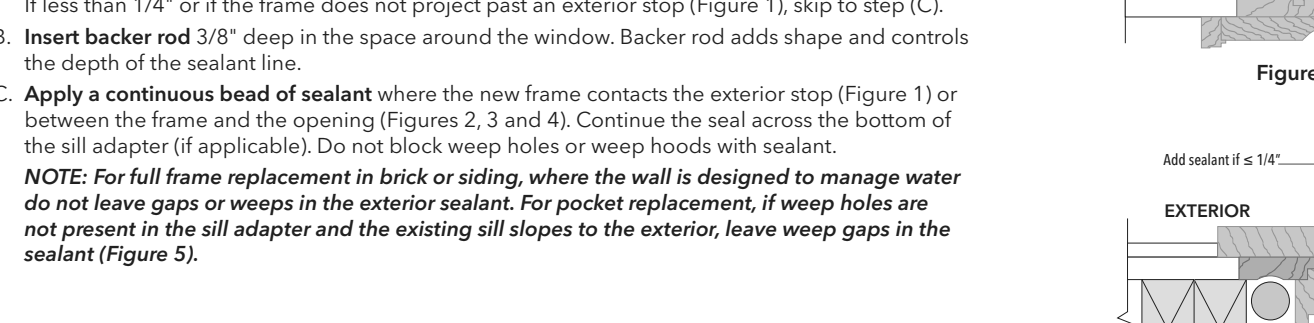
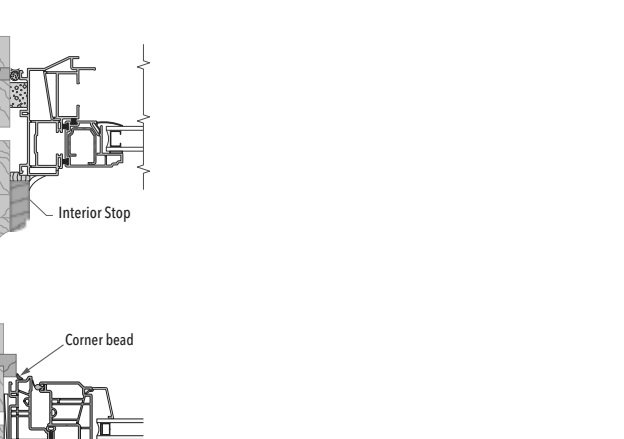
Interior Sealant Instructions

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.
A. Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
B. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.
NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening.
C. To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal.
Backer rod (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass bats or similar insulation is not recommended as it can absorb water and does not act as an air seal.



Exterior Sealant Instructions

CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.
A. If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
B. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
C. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant.
NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the exterior sealant. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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general notes

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- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT; 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1229 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

WINDOW REMOVAL/ REPLACEMENT (Pella)

scale As Noted	Sheet No.
date May 6, 2022	A11
no. 12	Project #2006
of. 12	

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1241 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

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Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,236 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 205 Ross Street Pittsburgh, PA 15219 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street
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drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

Materials Legend

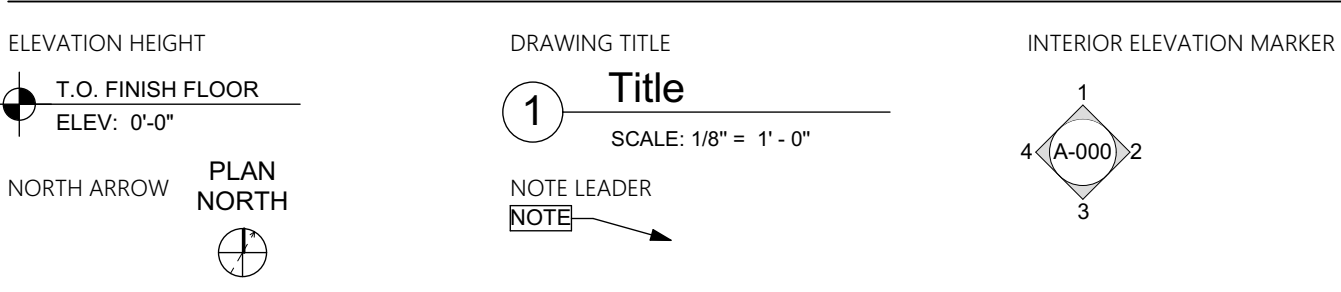
NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

Abbreviations

A.F.F. Above Finish Floor	ELEV. Elevation	MISC. Miscellaneous
A.P. Access Panel	EQUIP. Equipment	N.I.C. Not In Contract
ACOUST. Acoustical	E.F. Exhaust Fan	N.T.S. Not To Scale
A.C.T. Acoustical Ceiling Tile	EXIST. Existing	O.C. On Center
ADH. Adhesive	EXP. Expansion	OPP. Opposite
ADJUST. Adjustable	E.J. Expansion Joint	O.H. Overhead
A/C Air Conditioning	ESH Exterior Sheathing	PR. Pair
ALT. Alteration	EXIST. Existing	PLAS. Plaster
ALTN. Alternate	EXP. Exposed	PLAS.LAM. Plastic Laminate
ALUM. Aluminum	EXT. Exterior	P.C. Plumbing Contractor
A.O.R. Area of Refuge	E.I.F.S. Exterior Insulation & Finish System	PLYWD. Plywood
APPROX. Approximate	F.R.P. Fiberglass Reinforced Polyester	POL.Y. Polyethylene
ARCH. Architectural	F.F. Finish Floor	P.V.C. Polyvinyl Chloride
ASB. Asbestos	FIN.FLR. Finish Floor	PRE-FAB. Prefabricated
ASPH. Asphalt	F.A.C.P. Fire Alarm Control Panel	REF. Refer To
AUTO. Automatic	F.E. Fire Extinguisher	REF. Refrigerator
AVG. Average	FLR. Floor	R.C.P. Reinforced Concrete Pipe
BLK. Block	F.D. Floor Drain	REINF. Reinforcement
BD. Board	FTG. Footing	RD. Room
BOT. Bottom	GA. Gauge	R.M. Room
BLDG. Building	G.C. General Contractor	S.A.T. Suspended Acoustical Tile
C.I.P. Cast In Place	G.F.I. Ground Fault Interrupter	SCHED. Schedule
C.B. Catch Basin	GYP. Gypsum	SHT. Sheet
CEM. Cement	G.W.B. Gypsum Wall Board	SIM. Similar
CER. Ceramic	GSH. Gypsum Sheathing	S.C. Solid Core
CG. Corner Guard	H/C Handicap	SPEC.S. Specifications
C.M.T. Ceramic Mosaic Tile	H.V.A.C. Heating, Ventilation & Air Conditioning	SO. Square
C.W.T. Ceramic Wall Tile	HT Height	S.F. Square Foot
C.O. Cleanout	H.C. Hollow Core	S.S. Stainless Steel
CL. Center Line	H.M. Hollow Metal	STL. Steel
CLO. Closet	HORIZ. Horizontal	STOR. Storage
C.W. Cold Water	HR. Hour	STRUCT. Structural
CLG. Ceiling	H.W. Hot Water	TEL. Telephone
CLR. Clearance	IN. Inch	THK. Thick
COL. Column	INSUL. Insulated Metal	T.B.D. To Be Determined
CONC. Concrete	INSUL. Insulation or Insulated	T&G. Tongue & Groove
C.M.U. Concrete Masonry Unit	INT. Interior	T.O. Top Of
CONT. Continuous	INV. Invert	T.G. Top Of Grade
CORR. Corridor	ISO. Isolation	T.O.S. Top Of Steel
C.M.P. Corrigated Metal Pipe	JAN. Janitor's Closet	TYP. Typical
CRS. Courses	J.T. Joint	UNFIN. Unfinished
DIA. Diameter	LAM. Laminate	UN.O. Unless Noted Otherwise
DET. Detail	LAV. Lavatory	V.B. Vapor Barrier
DGL. Dens Glass Gold	LG. Long	VERT. Vertical
DR. Door	M.D.F. Medium Density Fiberboard	VEST. Vestibule
DN. Down	M.H. Manhole	V.C.T. Vinyl Composition Tile
D.S. Downspout	MAN. Manufacturer	V.I.F. Verify in Field
DWG. Drawing	MAX. Maximum	W.H. Water Heater
D.F. Drinking Fountain	M.E. Mechanical	W.R.B. Water Resistant Barrier
D.I.P. Ductile Iron Pipe	MET. Metal	W.W.F. Welded Wire Fabric
EA. Each	MIN. Minimum	WIN. Window
E.W. Each Way		W/ With
ELEC. Electrical		W/O Without
E.C. Electrical Contractor		WD. Wood
EL. Elevation		

Symbols



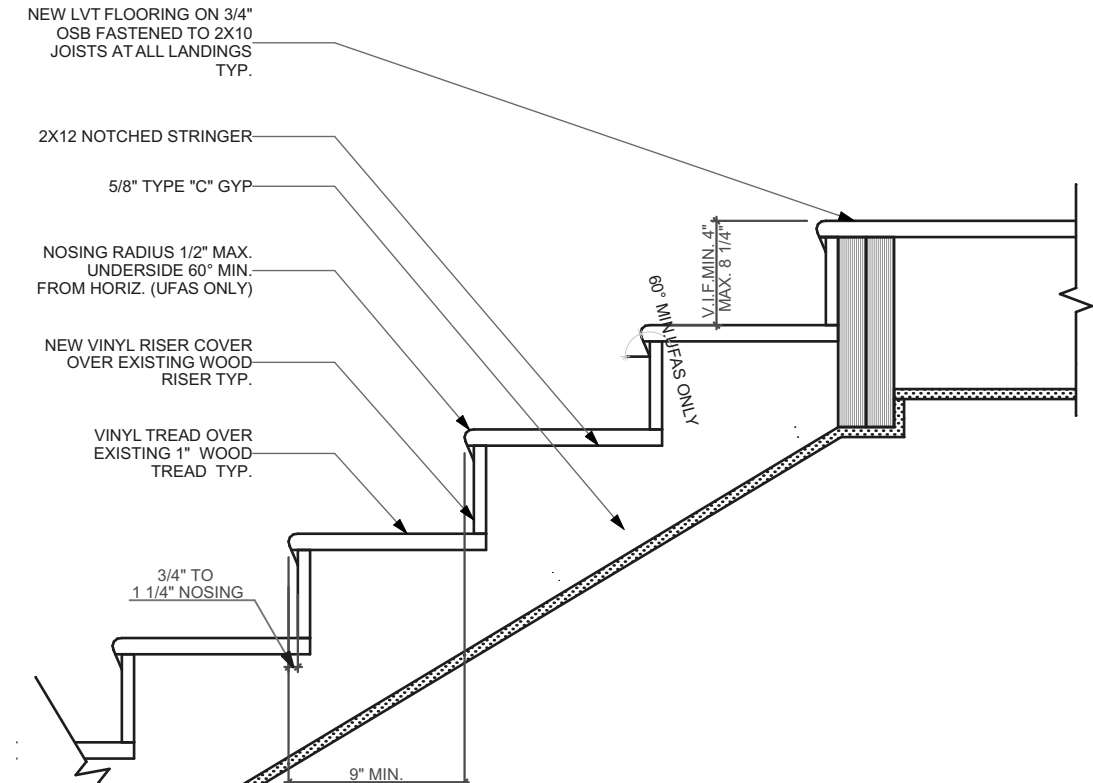
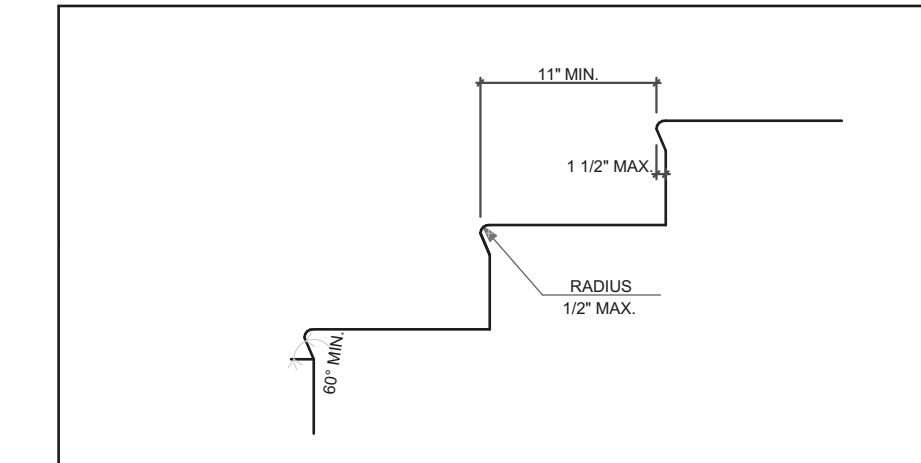
1 ABBREVIATIONS AND MATERIALS

THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION

THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL

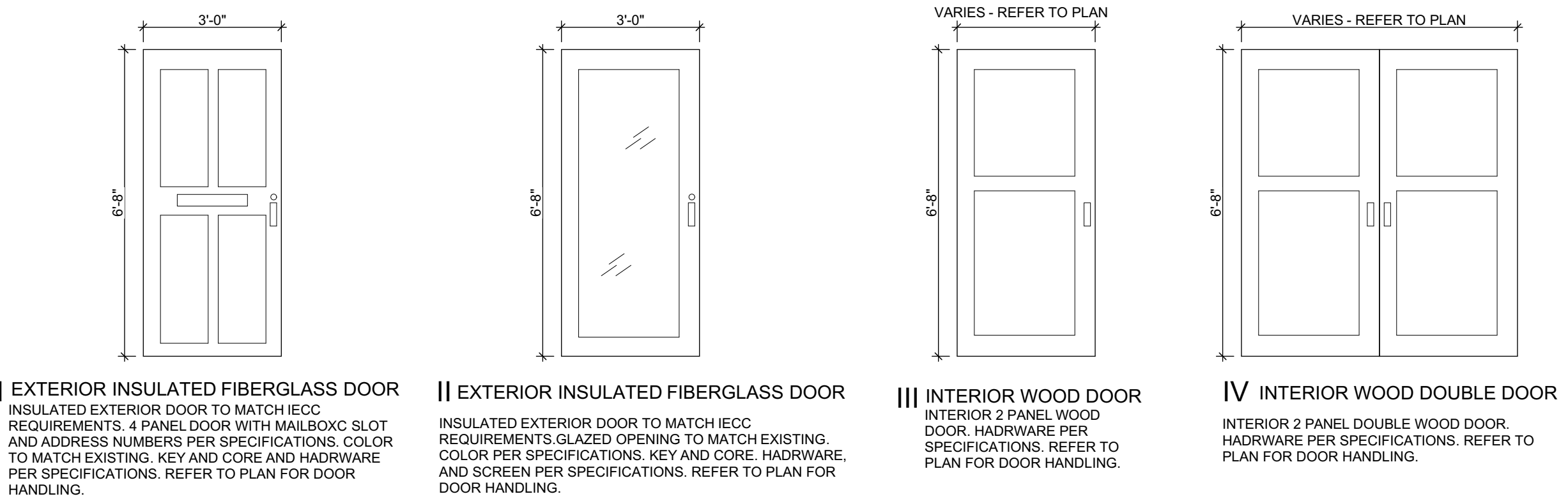
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	3'-0"	1'-9"	7'-7 3/4"	VINYL CLAD WOOD	☑	☐
B	2'-9"	1'-6"	8'-0"	GLASS BLOCK	☐	☐
C	2'-9"	5'-1"	7'-9"	VINYL CLAD WOOD	☑	☐
D	2'-8"	7'-0"	7'-1 1/4"	FIBERGLASS	☐	☑
E	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	☑	☐
F	2'-9"	4'-5"	6'-9"	VINYL CLAD WOOD	☑	☐
G	4'-10"	4'-5"	6'-8"	VINYL CLAD WOOD	☑	☐
H	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	☑	☐
I	2'-4"	3'-9"	7'-1"	VINYL CLAD WOOD	☑	☐

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GO TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
2	2'-8"x7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"x6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
6	3'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4"x6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6"x6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0"x6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GO TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

NAME	FLOOR
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

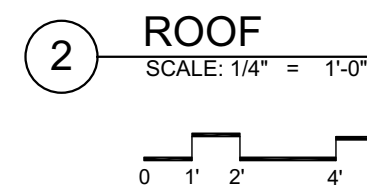
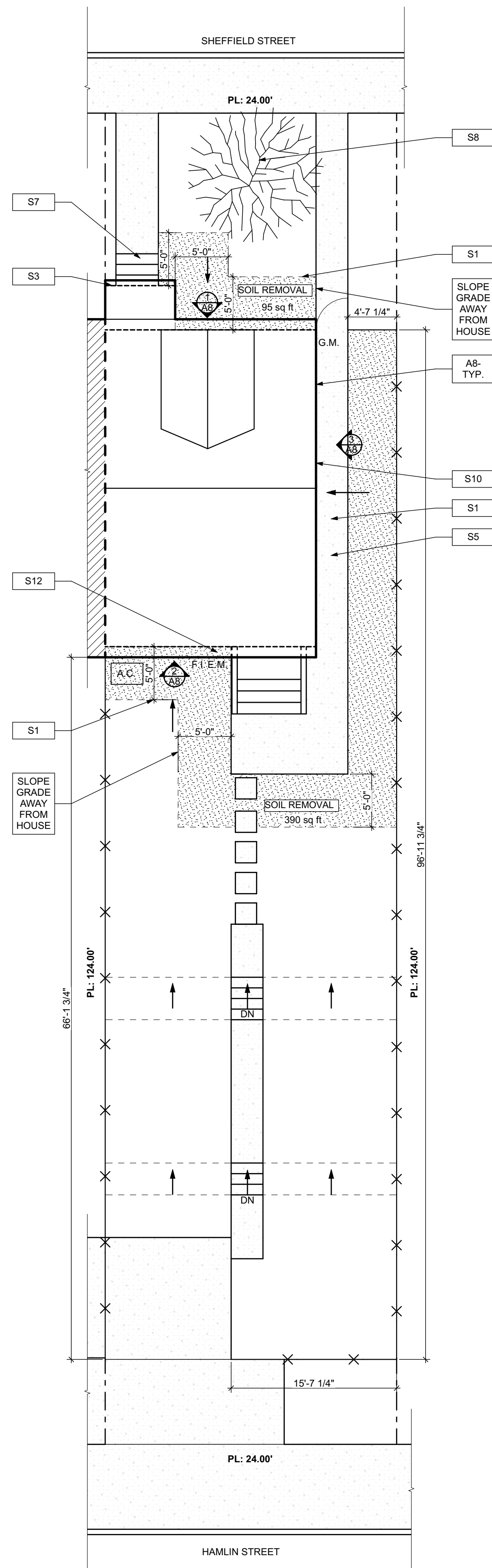
project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1241 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, DOOR TYPES, FINISH SCHEDULE



ROOF AND SITE PLAN LEGEND

- X — PROPERTY FENCE
- - - - PROPERTY LINE
- — — BUILDING OUTLINE
- - - - PARTY WALL
- GATE
- □ □ STEPPING CONCRETE PADS
- - - ICE WATER SHIELD
- G.M. GAS METER
- F.I. FRESH AIR INTAKE
- A.C. AIR CONDITIONER CONDENSOR
- E.M. ELECTRIC METER

ROOF PLAN NOTES

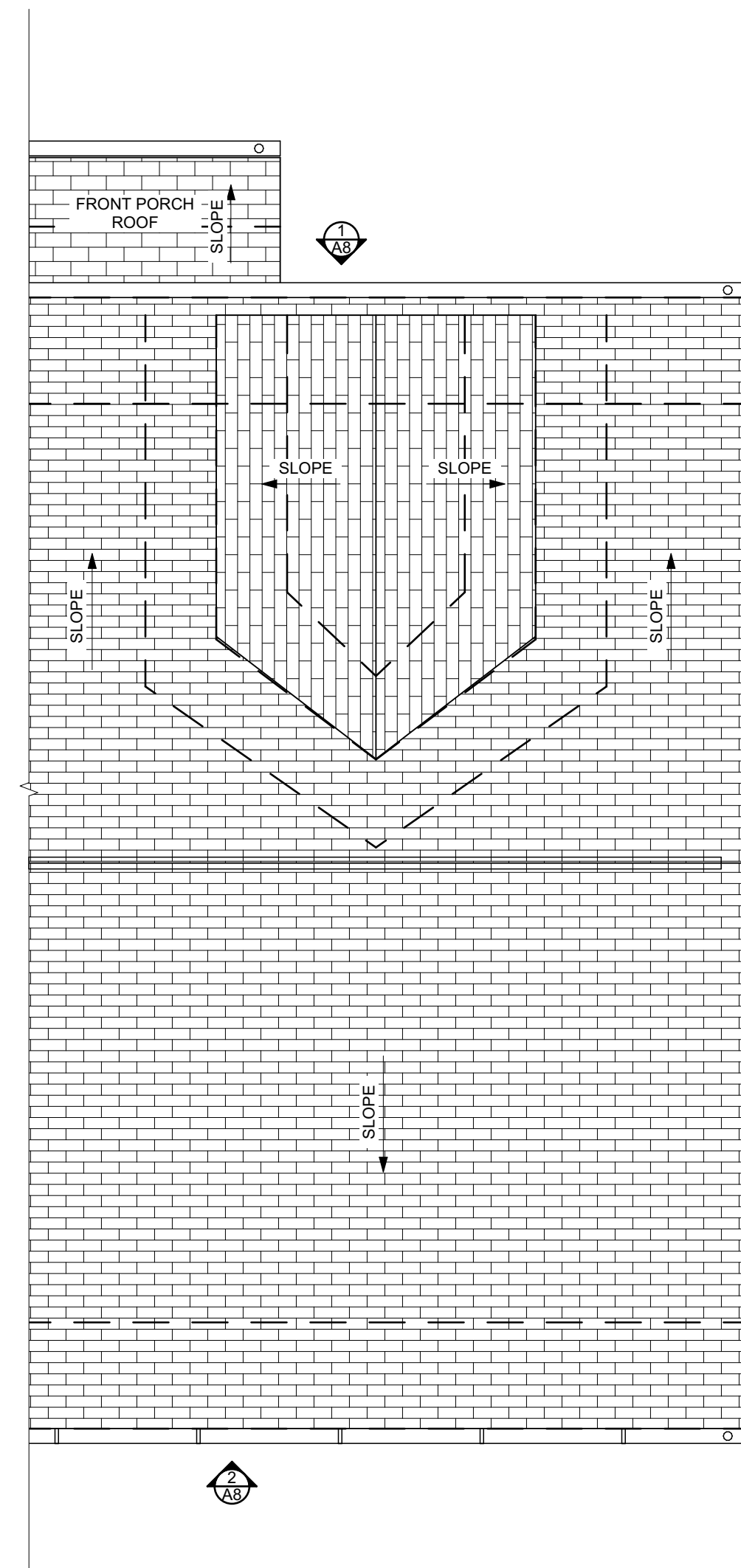
- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1 AT LOCATION SHOWN, REMOVE ± 2\"/>
- S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE CUT OF BRICK SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2\"/>
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2\"/>
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT OUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT AND REMOVE SOIL. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12\"/>
- S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS MUST BE DRY. BRUSH AND CLEAN WITH WATER. TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKLED EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2X2X1\"/>
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBTLE CURING OR DRYWALL AT UNLEVEL AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING TO BE RELOCATED DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

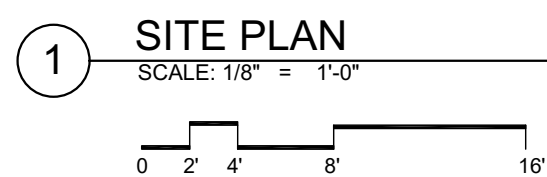
project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1241 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

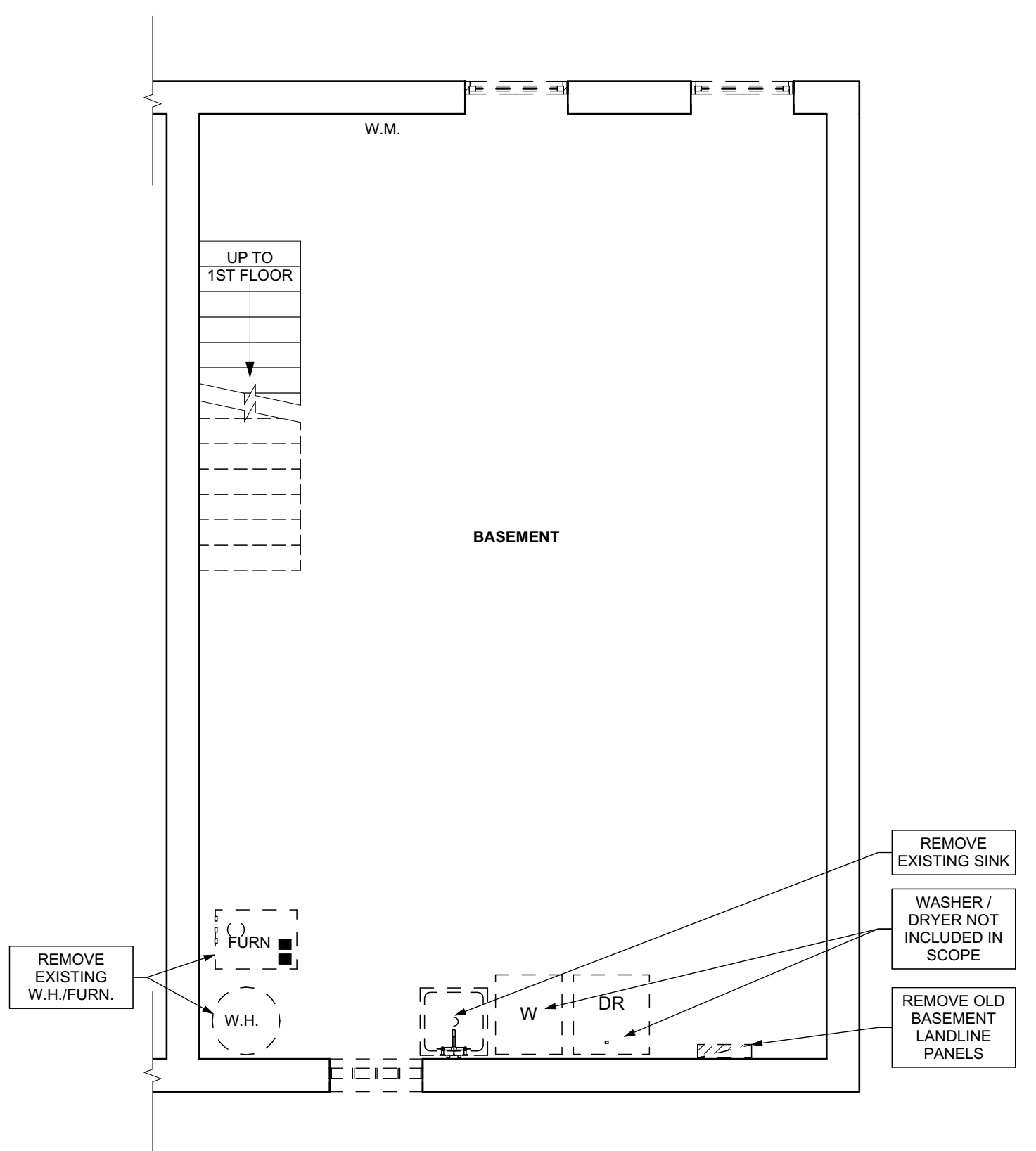
drawing title

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES



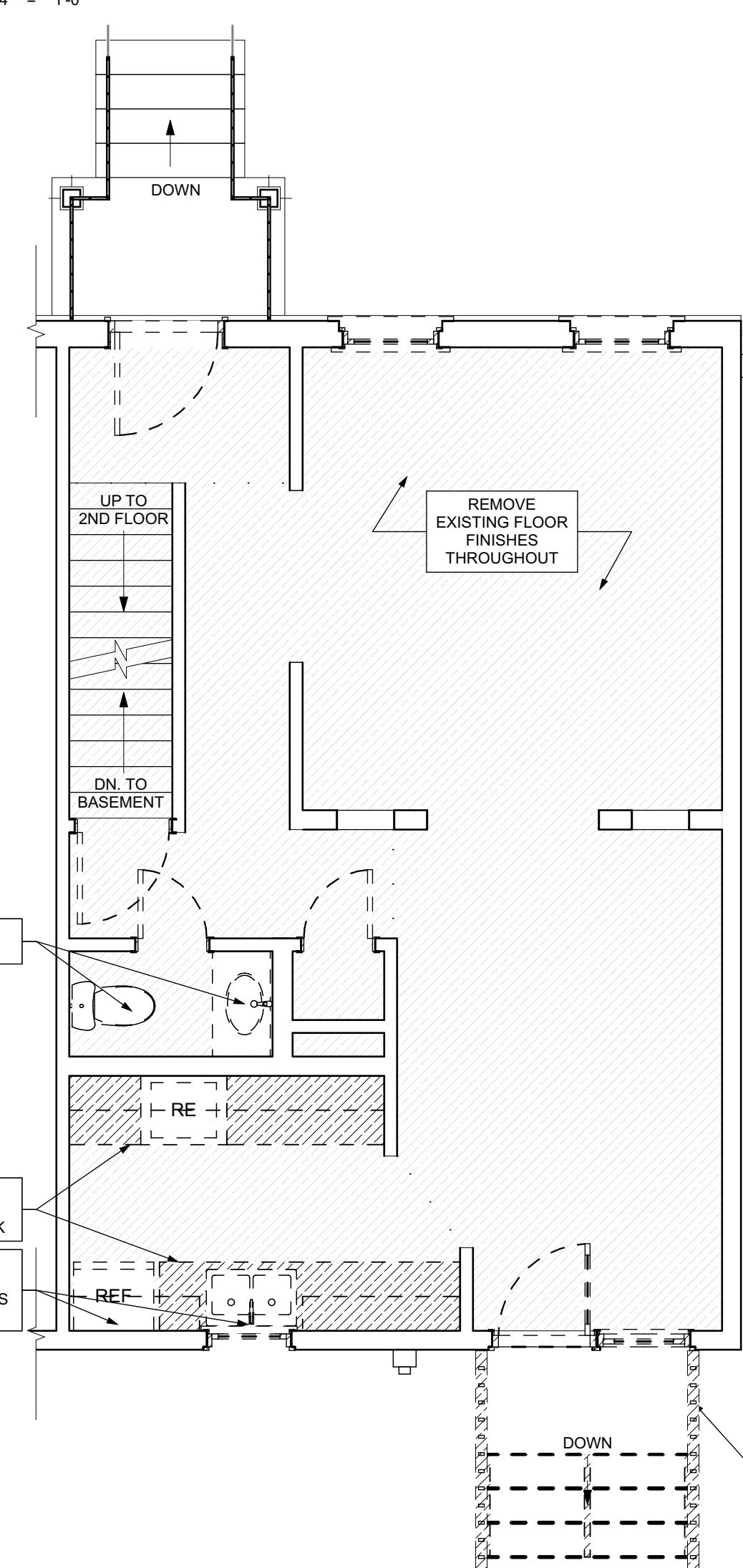
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		Project #2006

3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

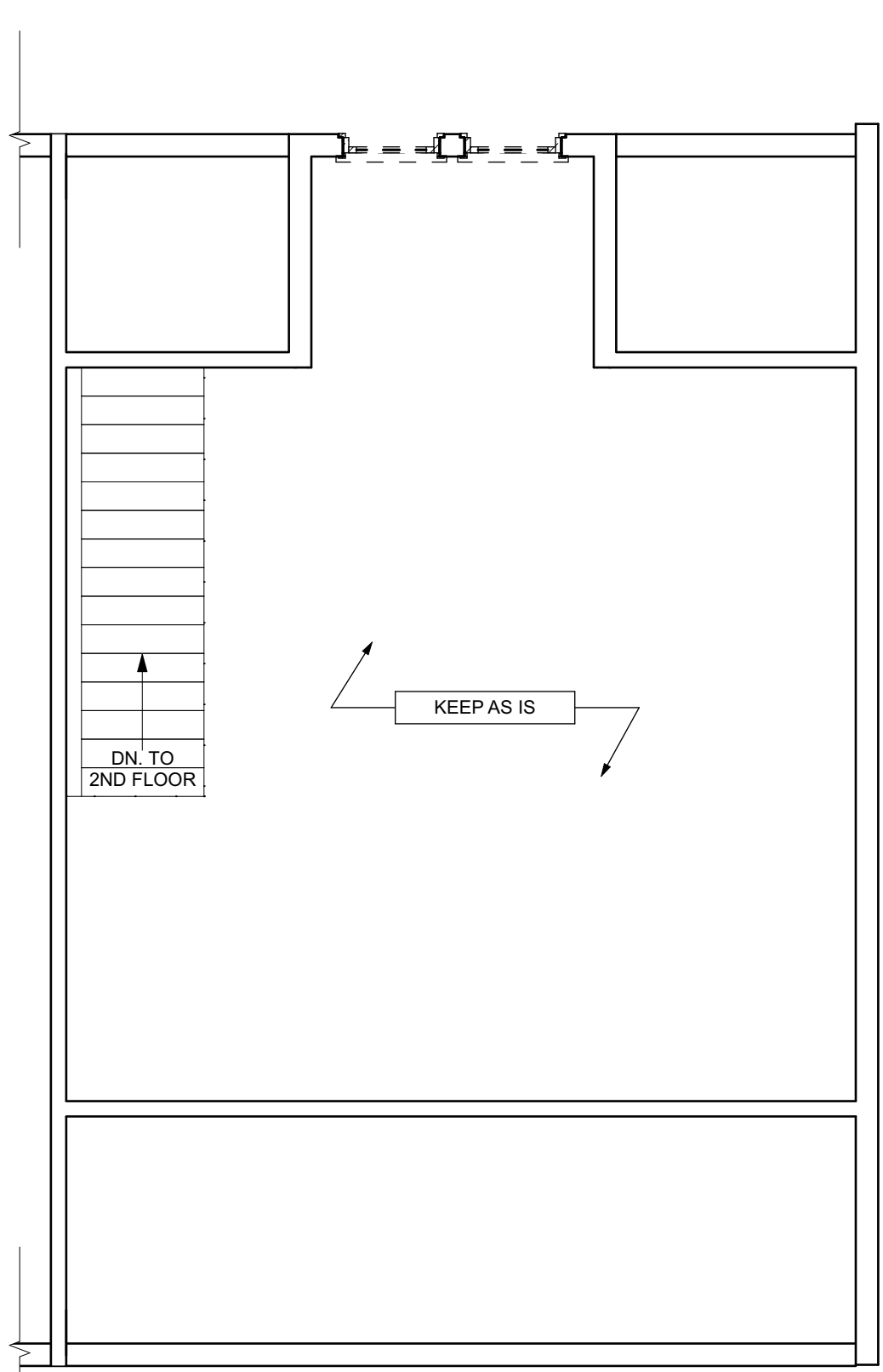


1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLABS AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL/DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. 2.5% TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. IF CONCRETE IS PRESENT, MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S21 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S22 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OLD PAINT. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S23 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S24 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PATINERS. OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S25 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S26 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S27 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S28 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S29 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S30 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S31 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICES UP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S32 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S33 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHALK WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONCRETE, WOOD STUD, BRACE AND SHORE TO BE REPAIR OR REPLACE. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED FLOORING TO BE REFINISHED. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS, TRIM AND SIDING AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKED EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TRIM, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SANDVIK EXISTING BEAM FOR NEW STANDARD 2XX1" SPREAD FOOTING AND REPAIR CONCRETE FOUNDATION. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBT DURING OR DRYWALL AT UNLEVEL AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTION IS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON DUCTLOAD CALC OR PURNAGE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONCENTRATIONS AND PREVENT CONDENSURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1241 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
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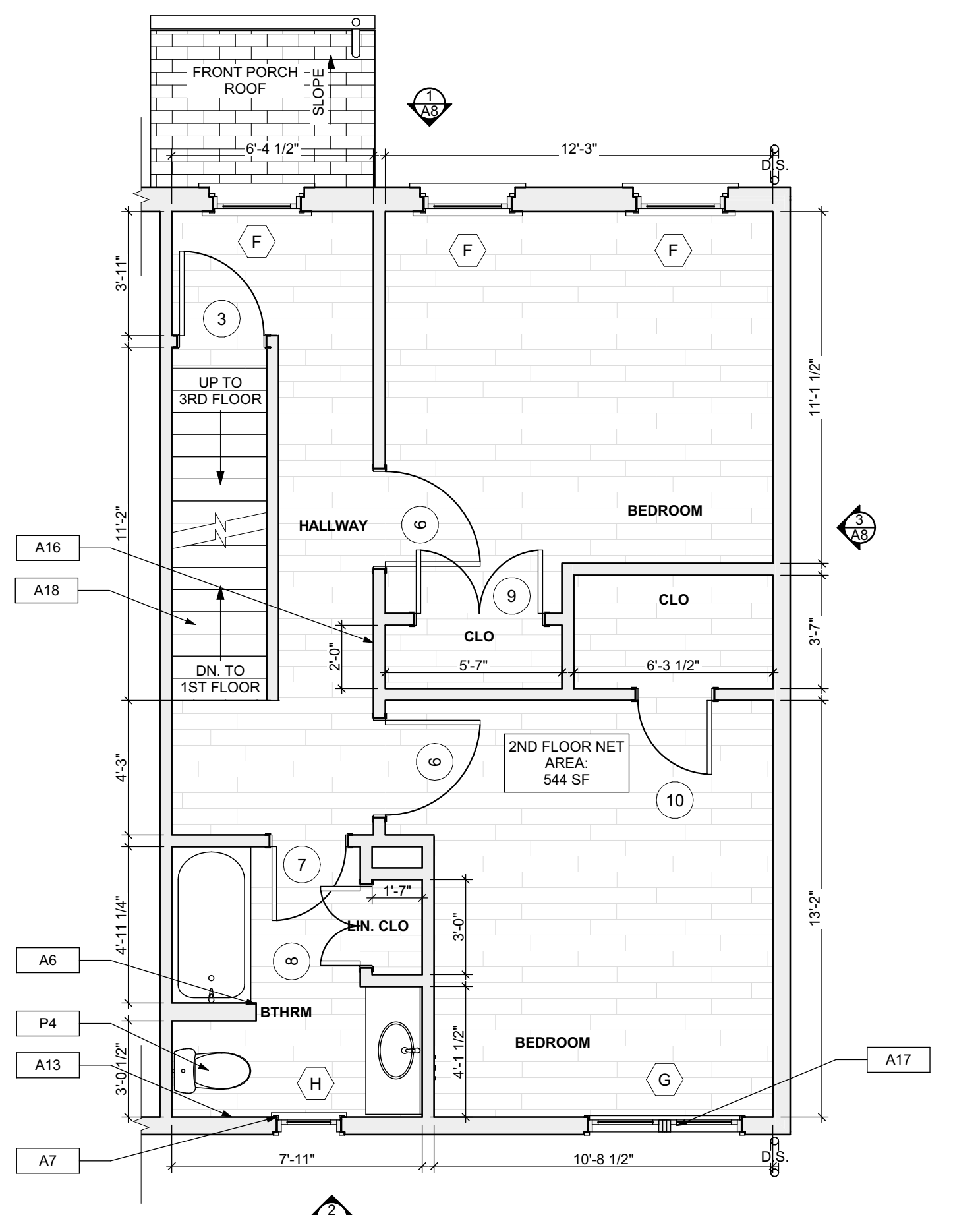
drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

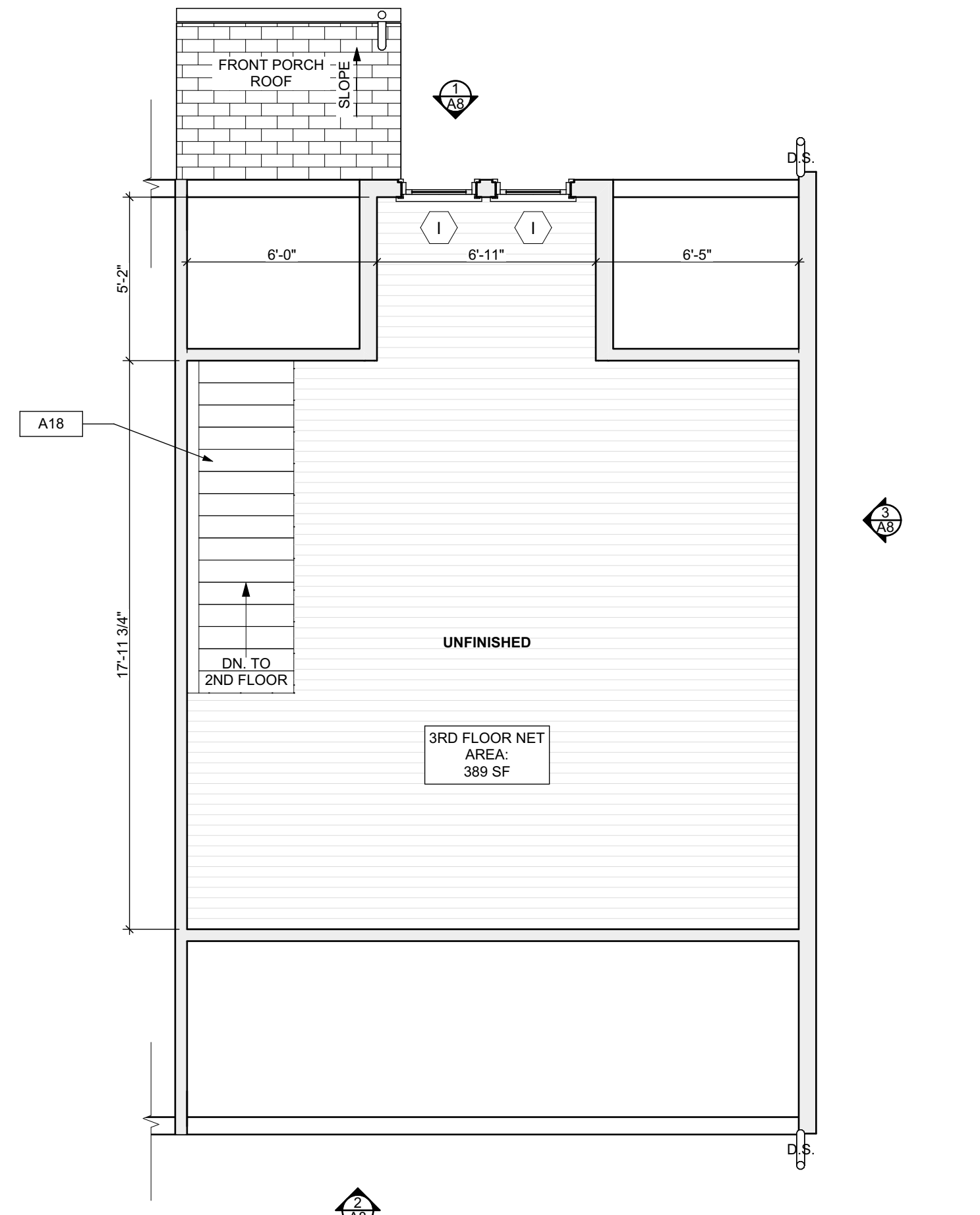
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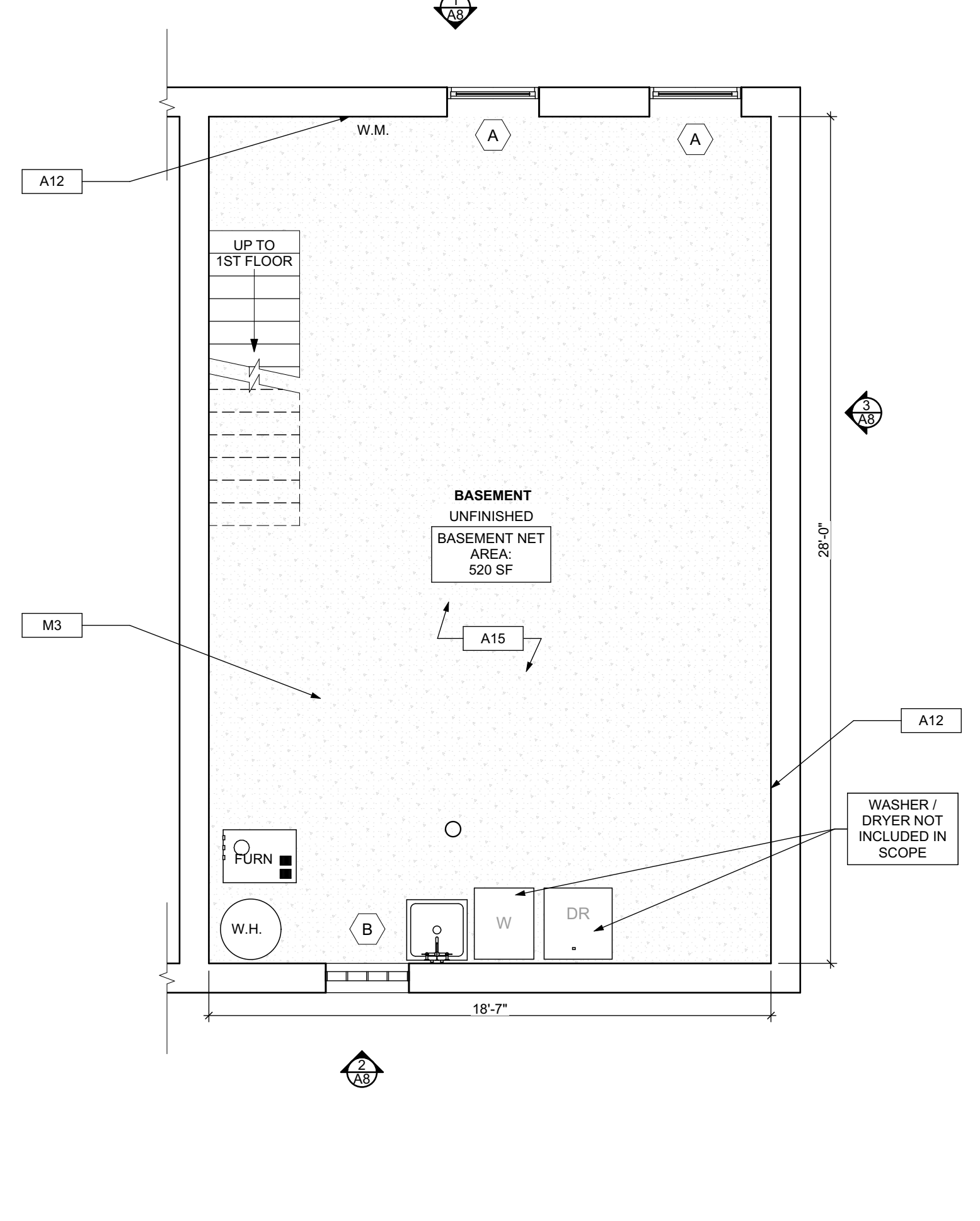
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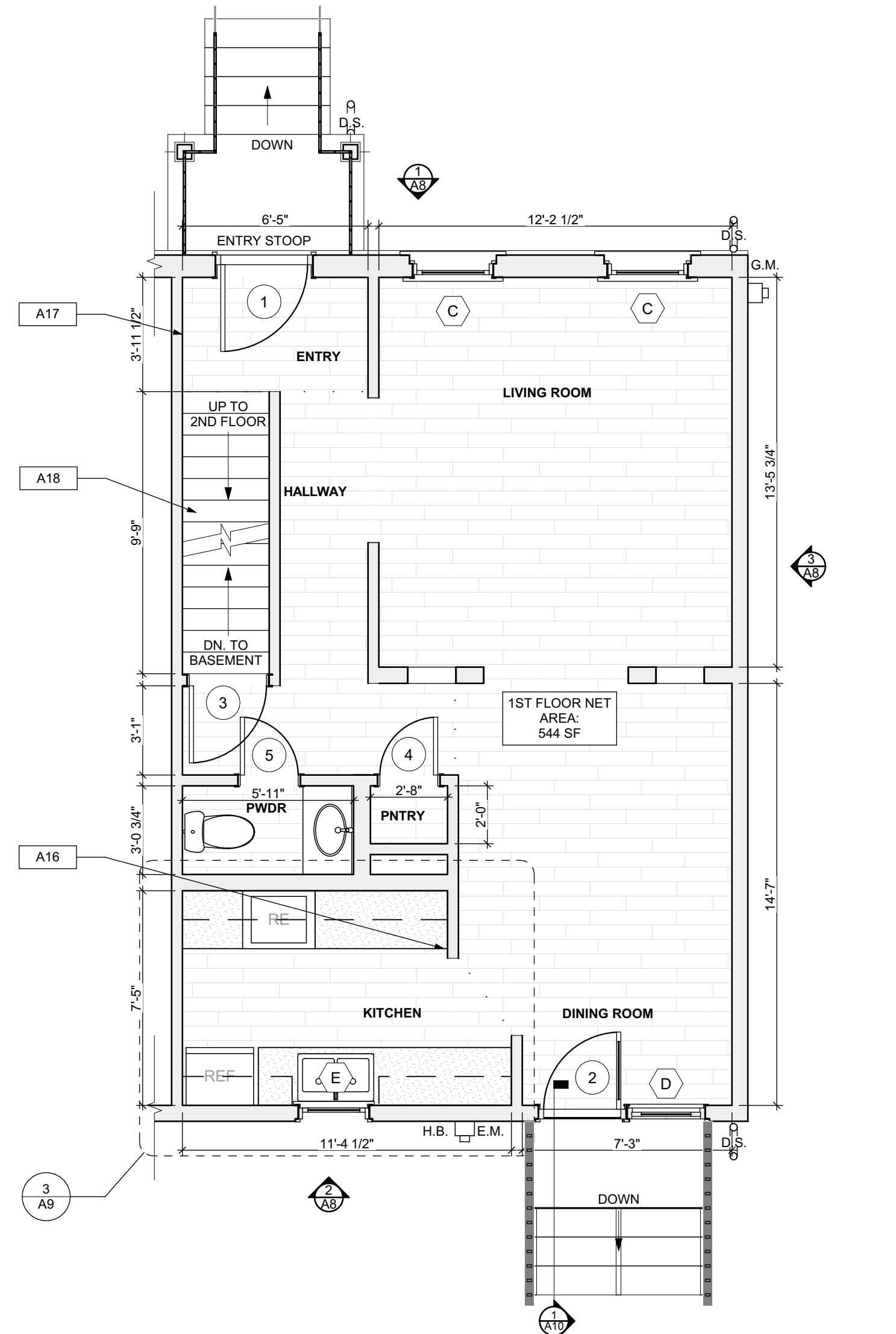
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"



4 THIRD FLOOR /FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"



2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE, RANGE, GAS FURNANCE, UTILITY SINK, WASHER, NEW DOOR AND DOOR NUMBER, WATER HEATER, DOWN SPOUT, ELECTRIC METER, HOSE BIBB, DRYER

SCOPE REDUCTION: AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR...

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS... S18 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY... S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SUBS. SUPPORT CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS...

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT... A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS... A3 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL...

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS... P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL...

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION... M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE... M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELIMITOR TO ALL EXISTING ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS... M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between dimensions, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings. 3. All work shall be installed in accordance with applicable codes and regulations. 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes. 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner: HACF 200 ROSS STREET PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES 1241 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

BASEMENT/FINISH/MECH./PLUMB B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR /FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

Scale: As Noted, Date: May 6, 2022, No. of: 7 of 12

Sheet No. A6 Project #2006

seal

general notes

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1241 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG/ POWER / DATA PLAN, SECOND FLOOR REFL. CLG/ POWER / DATA PLAN, THIRD FLOOR REFL. CLG/ POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES

scale
As Noted

date
May 6, 2022

no. of
8 **12**

Sheet No.

A7

Project #2006

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	C	Long Bathroom Light Bar - Replacement: Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	11
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

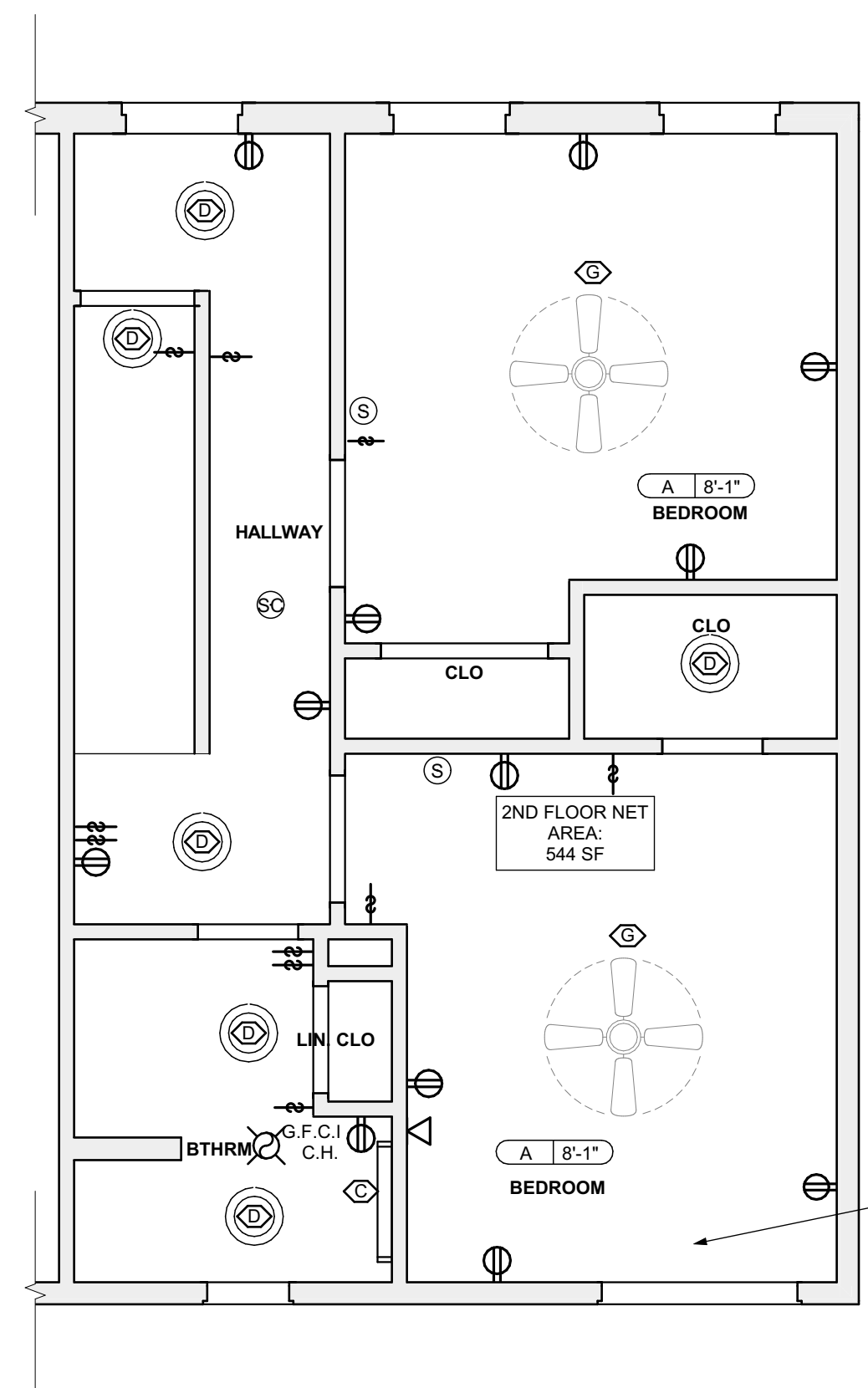
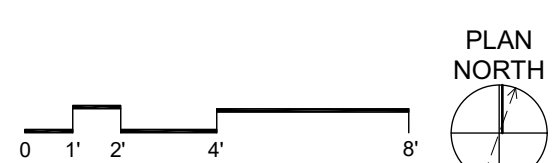
- SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- GROUND FAULT CIRCUIT INTERRUPTER
- GROUND FAULT CIRCUIT INTERRUPTER
- LIGHT SWITCH
- EXHAUST FAN
- DOORBELL
- G.W.B. CEILING / CEILING HEIGHT
- UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

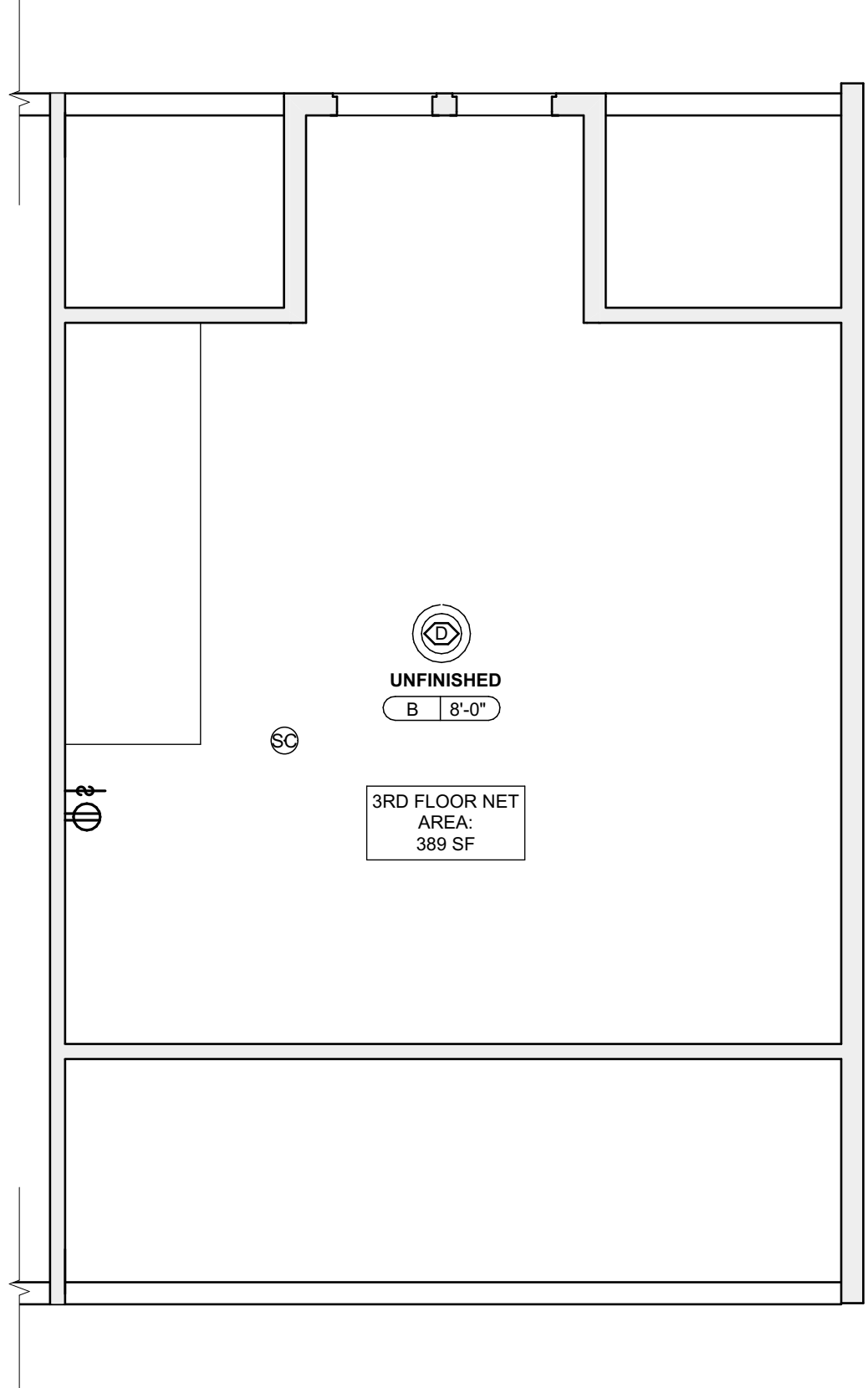
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

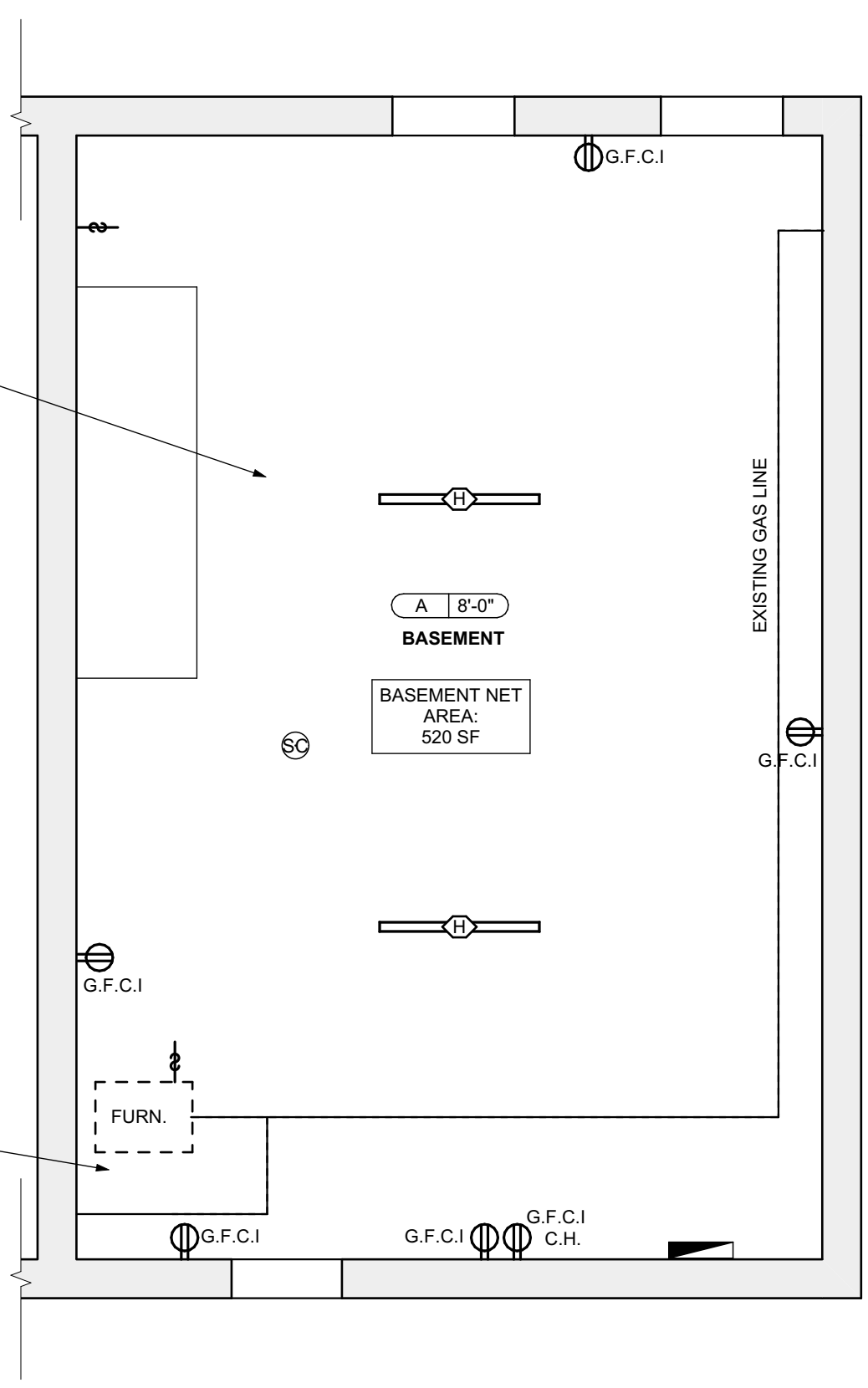
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



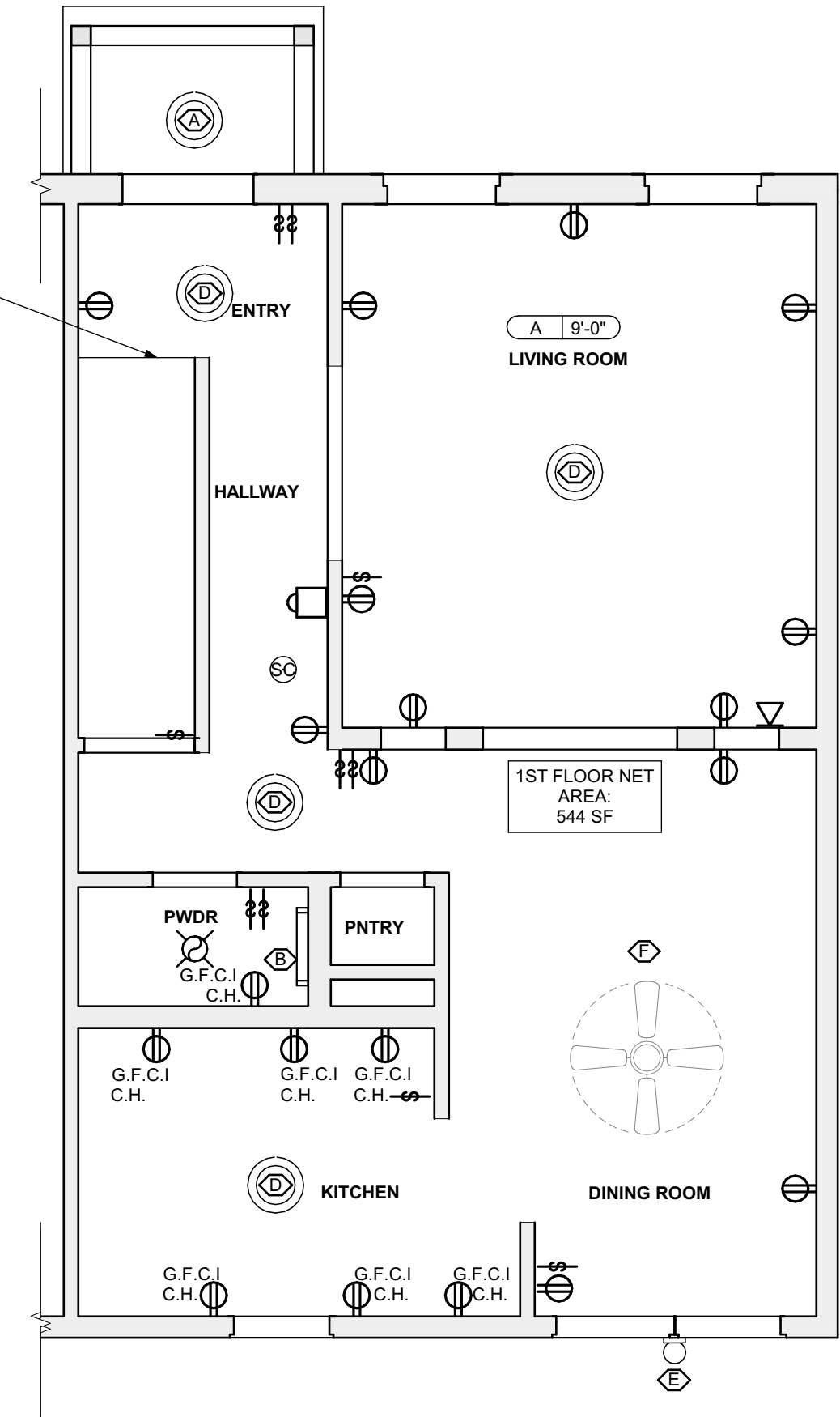
3 SECOND FLOOR REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

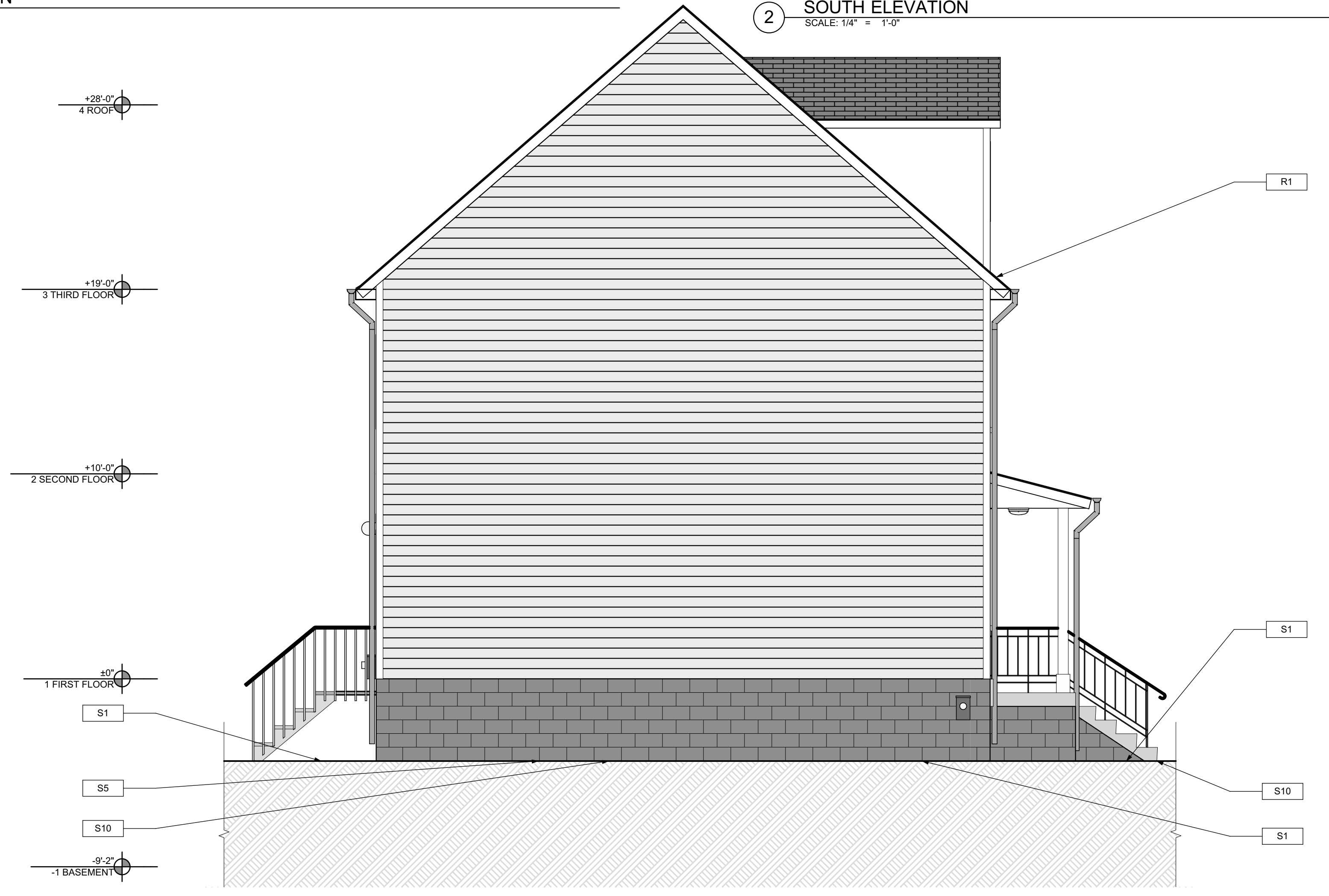


2 FIRST FLOOR REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

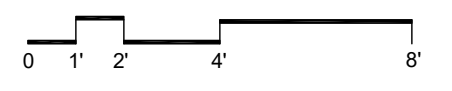
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
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- SITE**
- S1 AT LOCATION SHOWN REMOVE ± 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. RES. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENT. MIN. CONCRETE IS PRESENT MINIMUM 3' OVER 5'-0" TO REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DROIP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK GLAZING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS TO BE REPLACED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE ALL TILE. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LAB FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBT. DURING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION FROM FURNACE. ADDRESS THESE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
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requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

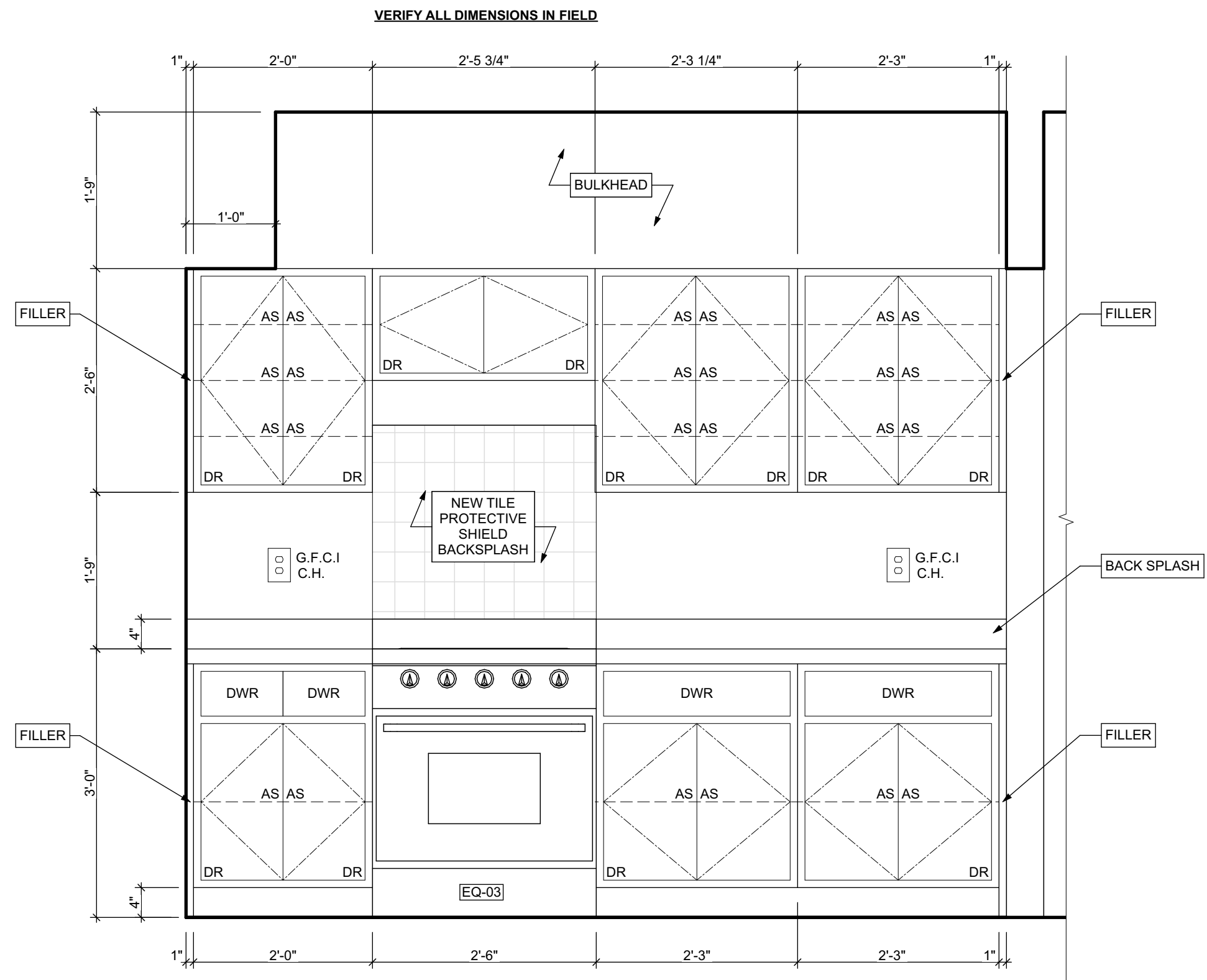
Project Location:
 MANCHESTER SCATTERED SITES
 1241 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

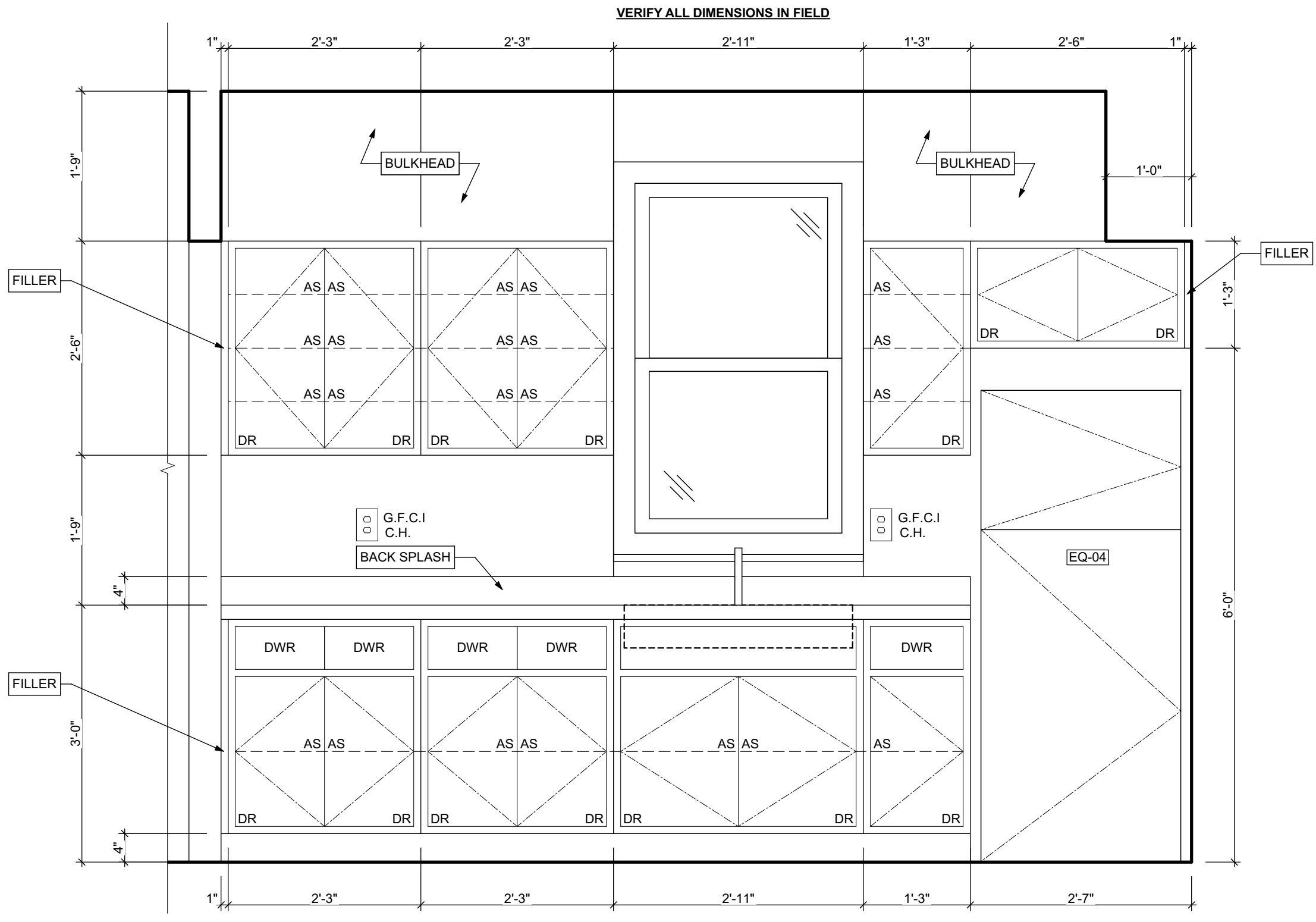
NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted
date	May 6, 2022
no.	9
of.	12

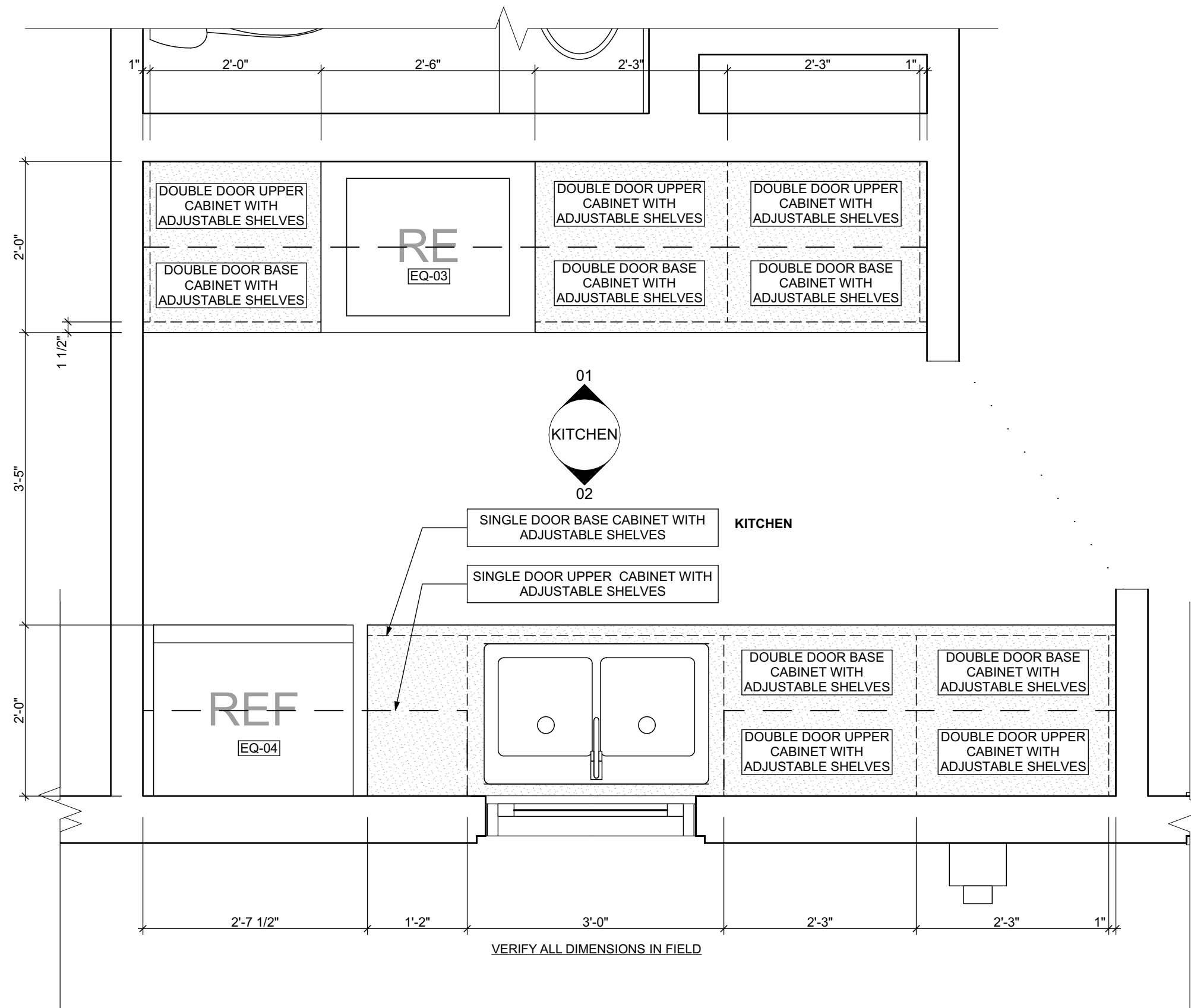
Sheet No.	A8
Project #	#2006



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC66	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391 S-020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / TB342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1241 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

scale
As Noted

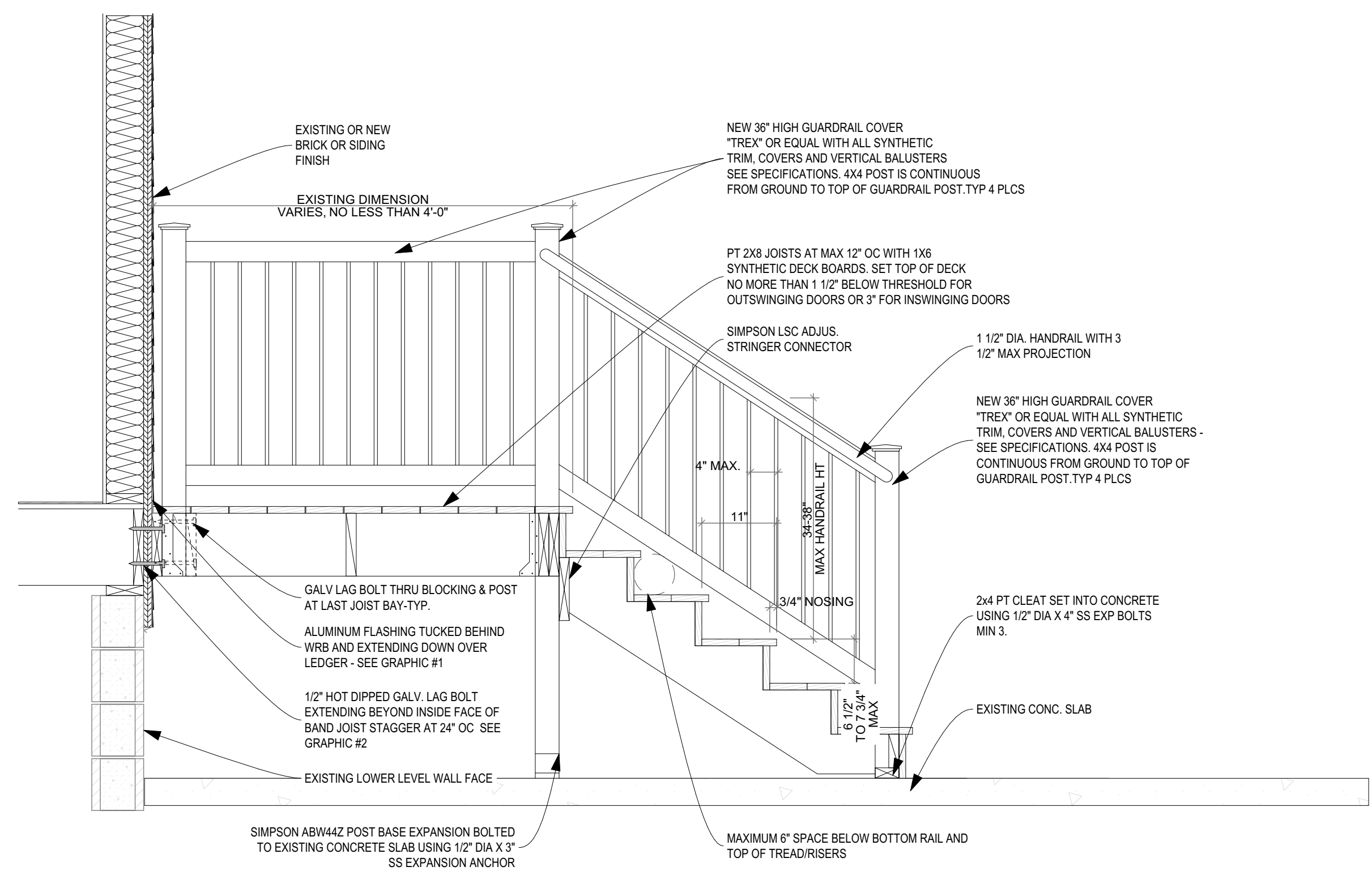
date
May 6, 2022

no. 10 of 12

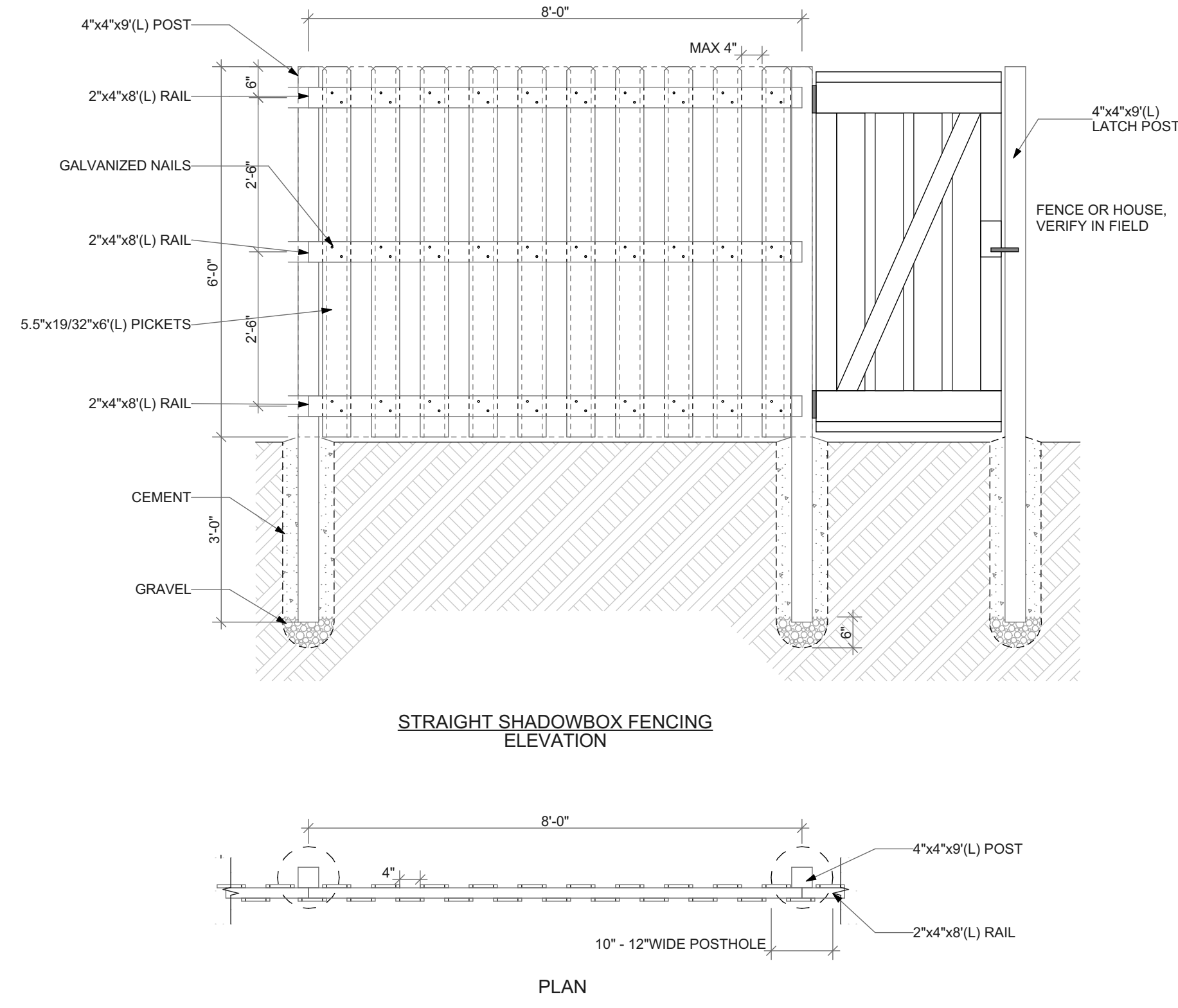
Sheet No.

A9

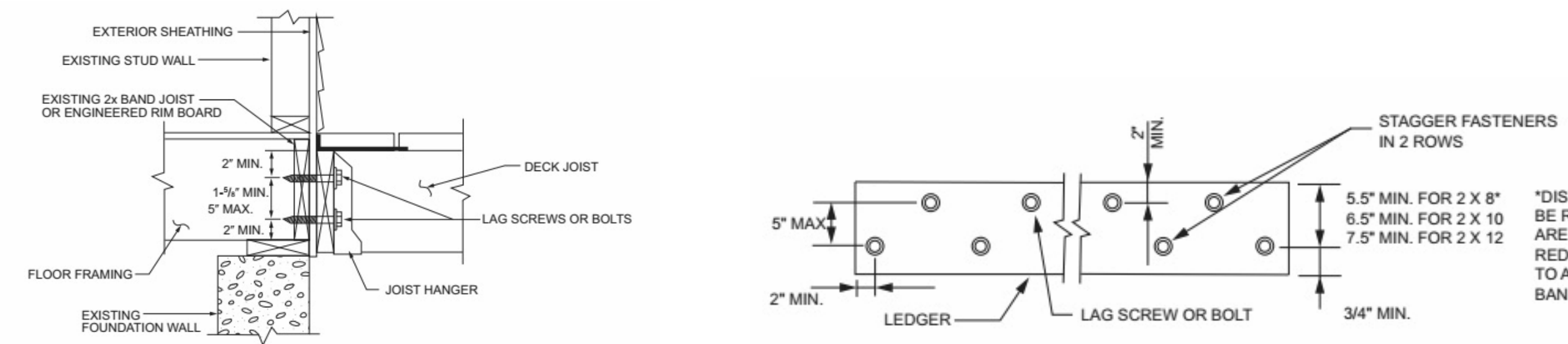
Project #2006



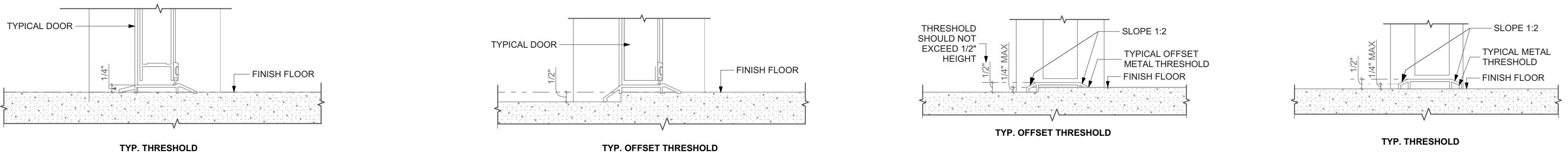
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



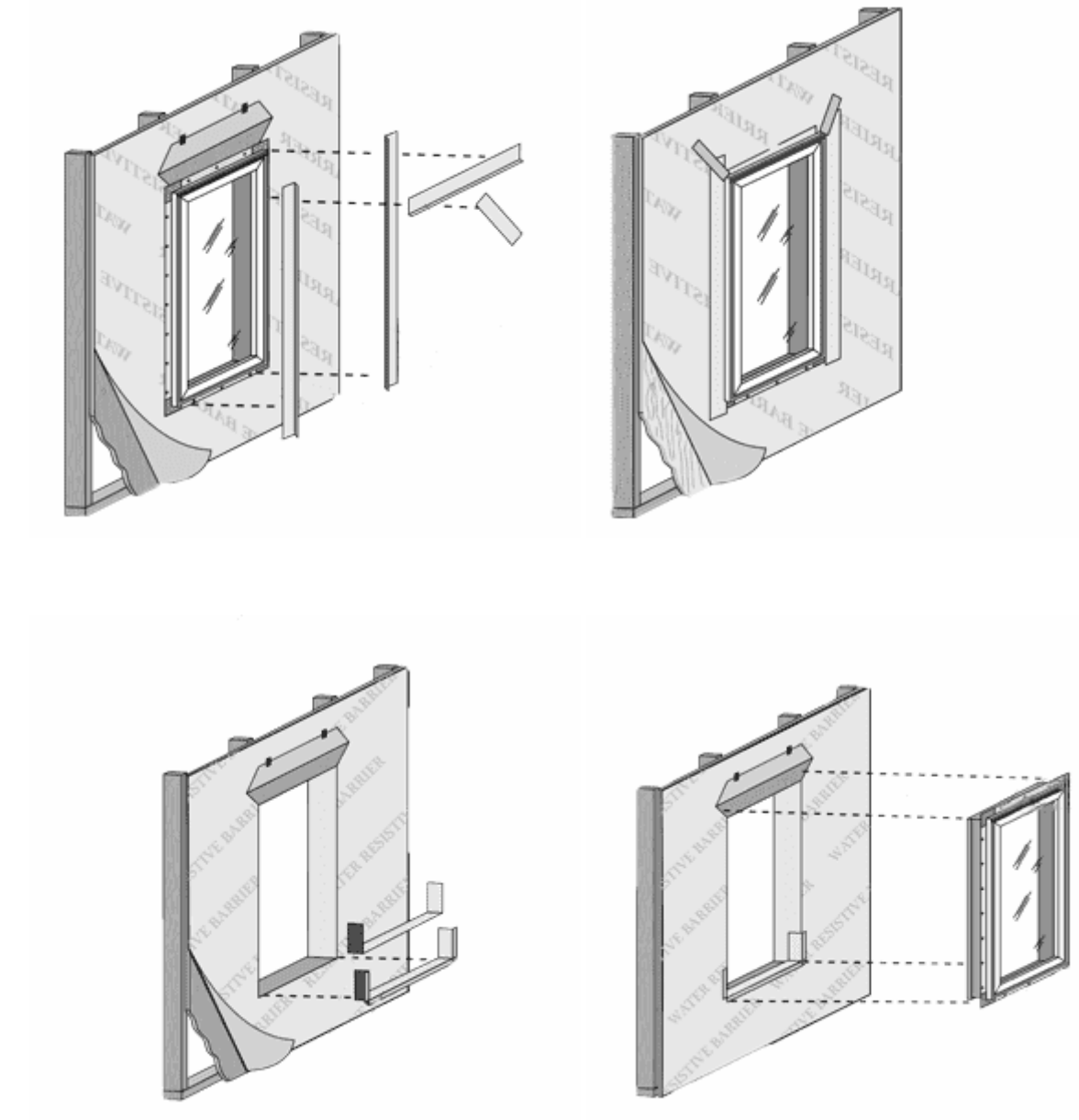
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

general notes

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project title

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PITTSBURGH, PA 15219

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1241 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1242 WEST NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 4 BEDROOM UNIT

Drawing Index

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THRESHOLD CRITERIA
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CODE AND CONTACT INFO

A2 ABBREVIATIONS AND MATERIALS

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WINDOW SCHEDULE
DOOR TYPES
FINISH SCHEDULE
SIDING WALL SECTION
BRICK WALL SECTION
INTERIOR STAIR DETAIL

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GENERAL NOTES
ENERGY NOTES

A4 SITE PLAN AND ROOF PLAN

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FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
BASEMENT/FINISH/MECH./PLUMB. PLAN
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GRAPHIC SCALES
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FIRST FLOOR REFL. CLG. / POWER / DATA PLAN

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NORTH ELEVATION
SOUTH ELEVATION
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A10 DETAILS

DECK ENLARGED DETAILS
WINDOW INSTALLATION UNDER VINYL SIDING
DECK SECTION DETAIL
EXTERIOR DOOR THRESHOLD
WOOD FENCE DETAIL

Code Conformance Information

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	

General Building / Project Information	
Classification of Work:	Level-2 alteration per the IBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,122 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	8

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO**

scale	As Noted	Sheet No. A1 Project #2006
date	May 6, 2022	
no.	2	
of.	12	

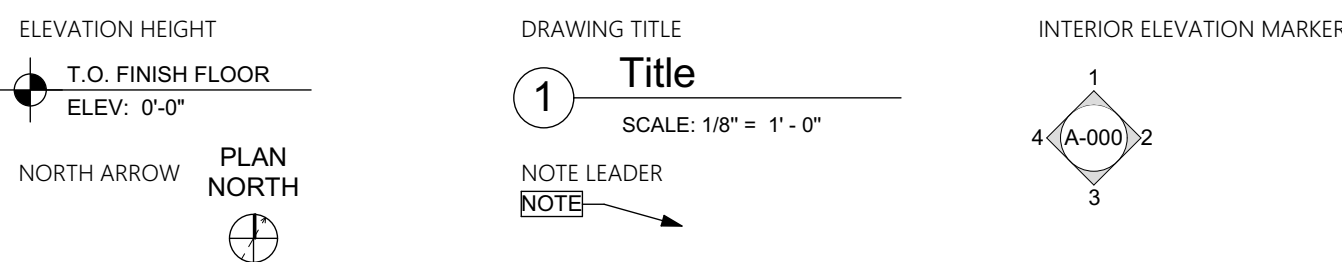
Materials Legend

NOT ALL MATERIALS USED
EARTH
COMPACTED STONE FILL
CONCRETE
STEEL
RIGID INSULATION
BLOCKING
BATT INSULATION
GYPSUM WALL BOARD
WOOD
PLYWOOD SHEATHING
SPRAY FOAM INSULATION

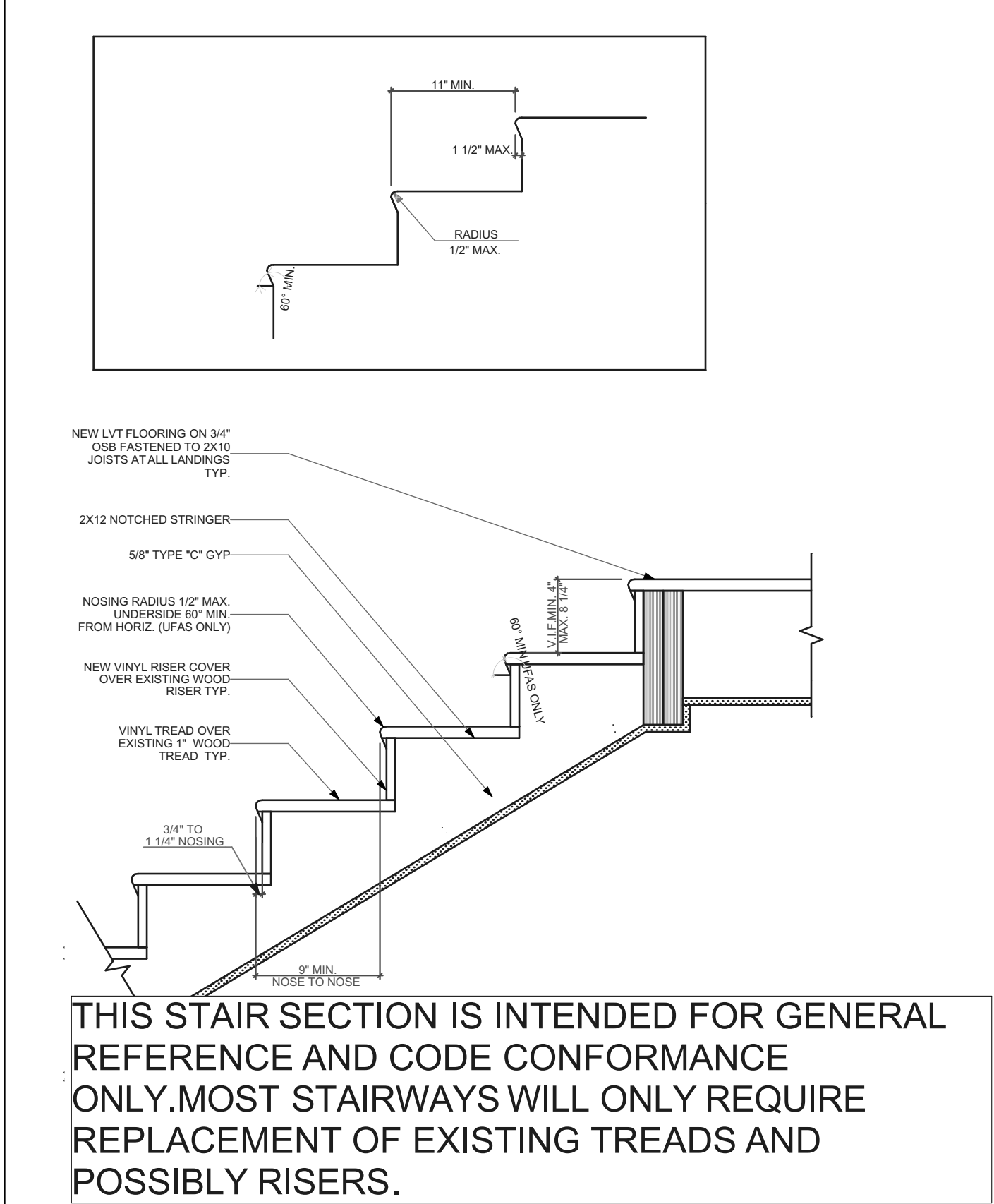
Abbreviations

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes A.F.F., A.P., ACOUST., A.C.T., ADH., ADJUST., A/C, ALT., ALTN., ALUM., A.O.R., APPROX., ARCH., ASB., ASPH., AUTO., AVG., BLK., BD., BOT., BLDG., C.I.P., C.B., CEM., CER., CG., C.M.T., C.W.T., C.O., C.L.O., C.W., CLG., CLR., COL., CONC., C.M.U., CONT., CORR., C.M.P., CKS., DIA., DET., DGL., DR., DN., D.S., DWG., D.F., D.I.P., EA., E.W., ELEC., E.C., EL., ELEV., EQUIP., E.F., EXIST., EXP., E.J., ESH., EXIST., EXP., EXT., E.I.F.S., F.R.P., F.L.R., F.F., F.A.C.P., F.E., F.L.R., F.D., FTG., GA., G.C., G.F.I., GYP., G.W.B., GSH., H/C, H.V.A.C., HT, HC, H.M., HORIZ., HR., H.W., IN., I.M., INSUL, INT., INV., ISO., JAN., J.T., LAM., LAV., LG., M.D.F., M.D.H., M.H., M.FGR., MAX., MECH., MET., MIN., MISC., Miscellaneous, N.I.C., Not In Contract, N.T.S., Not To Scale, O.C., On Center, O.P.P., Overhead, O.H., Overhead, P.R., Pair, P.LAS., Plaster, PLAS.LAM., Plastic Laminate, P.C., Plumbing Contractor, PLYWD., Plywood, POLY., Polyethylene, P.V.C., Polyvinyl Chloride, PRE-FAB., Prefabricated, RE., Refer To, REF., Refrigerator, R.C.P., Reinforced Concrete Pipe, REINF., Reinforcement, RD., Roof Drain, RM., Room, S.A.T., Suspended Acoustical Tile, SCHED., Sheet, SHT., Sheet, SIM., Similar, S.C., Solid Core, SPECS., Specifications, SQ., Square, S.F., Square Foot, S.S., Stainless Steel, STL., Steel, STOR., Storage, STRUCT., Structural, TEL., Telephone, THK., Thick, T.B.D., To Be Determined, T&G, Tongue & Groove, T.O., Top Of, T.G., Top Of Grade, T.O.S., Top Of Steel, TYP., Typical, UNFIN., Unfinished, U.N.O., Unless Noted Otherwise, V.B., Vapor Barrier, VERT., Vertical, VEST., Vestibule, V.C.T., Vinyl Composition Tile, V.I.F., Verify In Field, W.H., Water Heater, W.R.B., Water Resistant Barrier, W.W.F., Welded Wire Fabric, WIN., Window, W/, With, W/O, Without, WD., Wood

Symbols

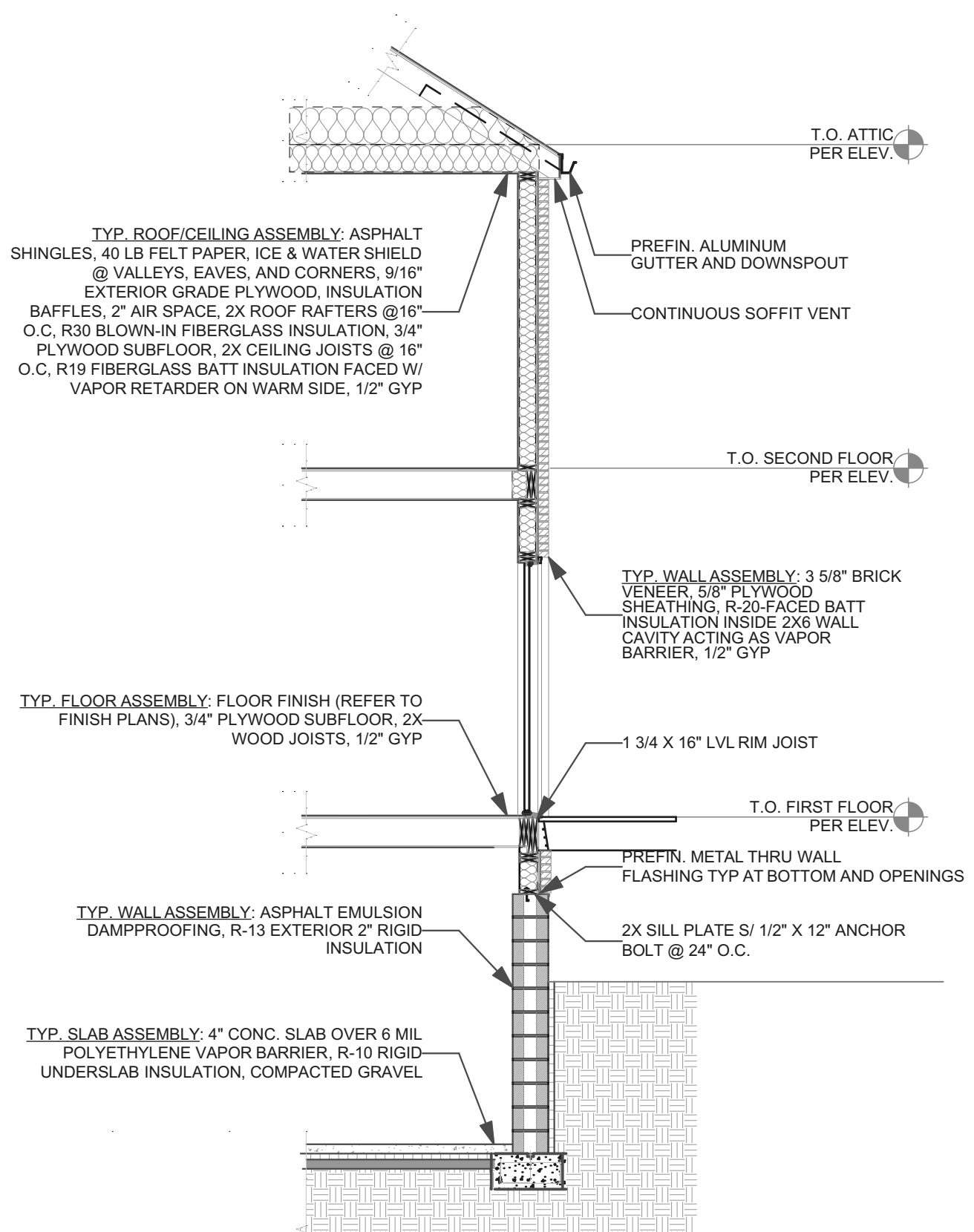


1 ABBREVIATIONS AND MATERIALS



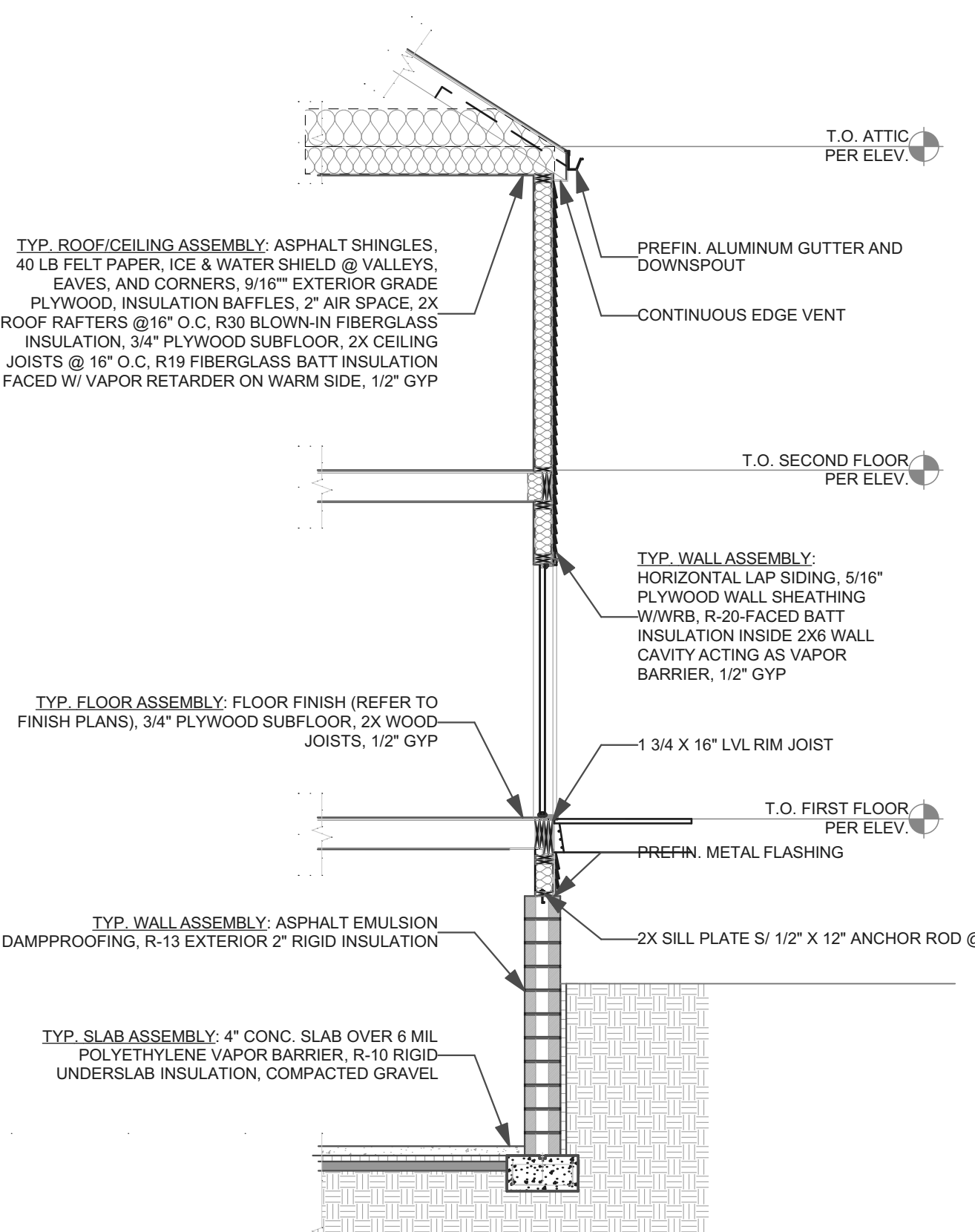
THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION



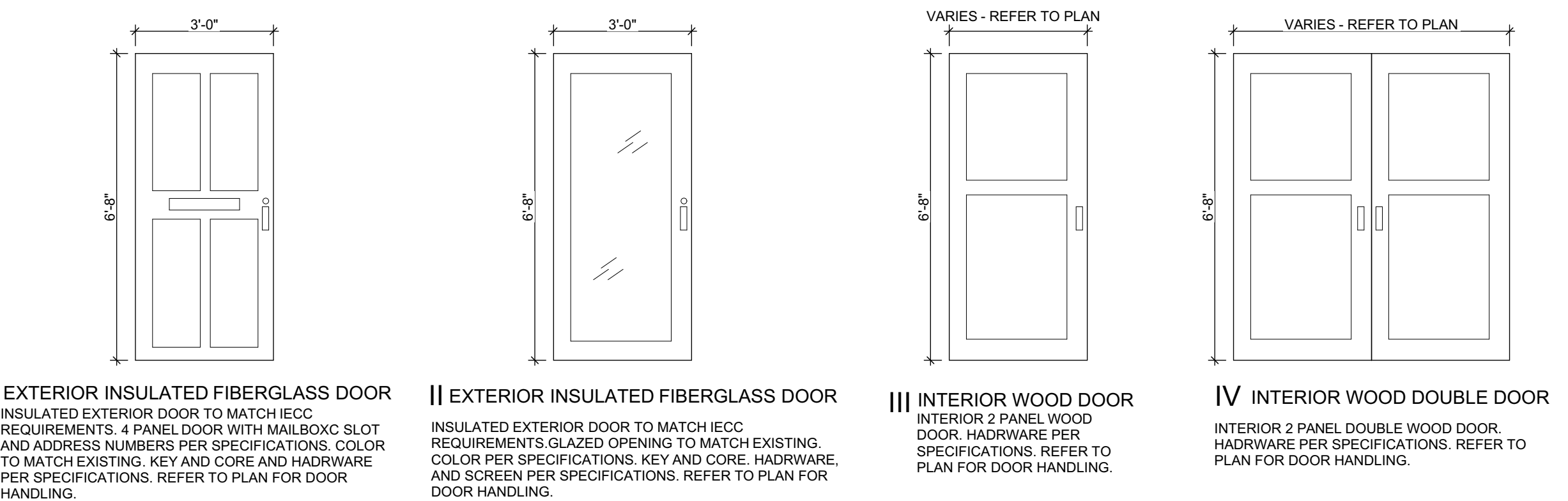
THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

WINDOW SCHEDULE table with columns: ID, SIZE (WIDTH, HEIGHT), HEAD HEIGHT, FRAME MATERIAL, VENTING, TEMPERED. Rows A through J.

DOOR SCHEDULE table with columns: DOOR TAG, SIZE, DOOR TYPE, DOOR MTL., FRAME MTL., HARDWARE (REFER TO SPECS). Rows 1 through 11.

FINISH SCHEDULE table with columns: NAME, FLOOR. Rows: BEDROOM, BTHRM, CLO, DINING ROOM, ENTRY, HALLWAY, KITCHEN, LIN. CLO, LIVING ROOM, PNTRY, PWDR.



scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, DOOR TYPES, FINISH SCHEDULE

Table with columns: scale, date, no., of. Values: As Noted, May 6, 2022, 3, 12.

Table with columns: Sheet No., Project #. Values: A2, Project #2006.

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15233

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no. **5** of **12**

Sheet No.

A4

Project #2006

SITE

- S1** AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL TO SLOPE FOUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2** UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3** TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4** EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5** SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6** POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7** REPAIR EXISTING DAMAGED EXTERIOR STEP. POOR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8** TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9** ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10** REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11** REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12** REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13** REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14** REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1** DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

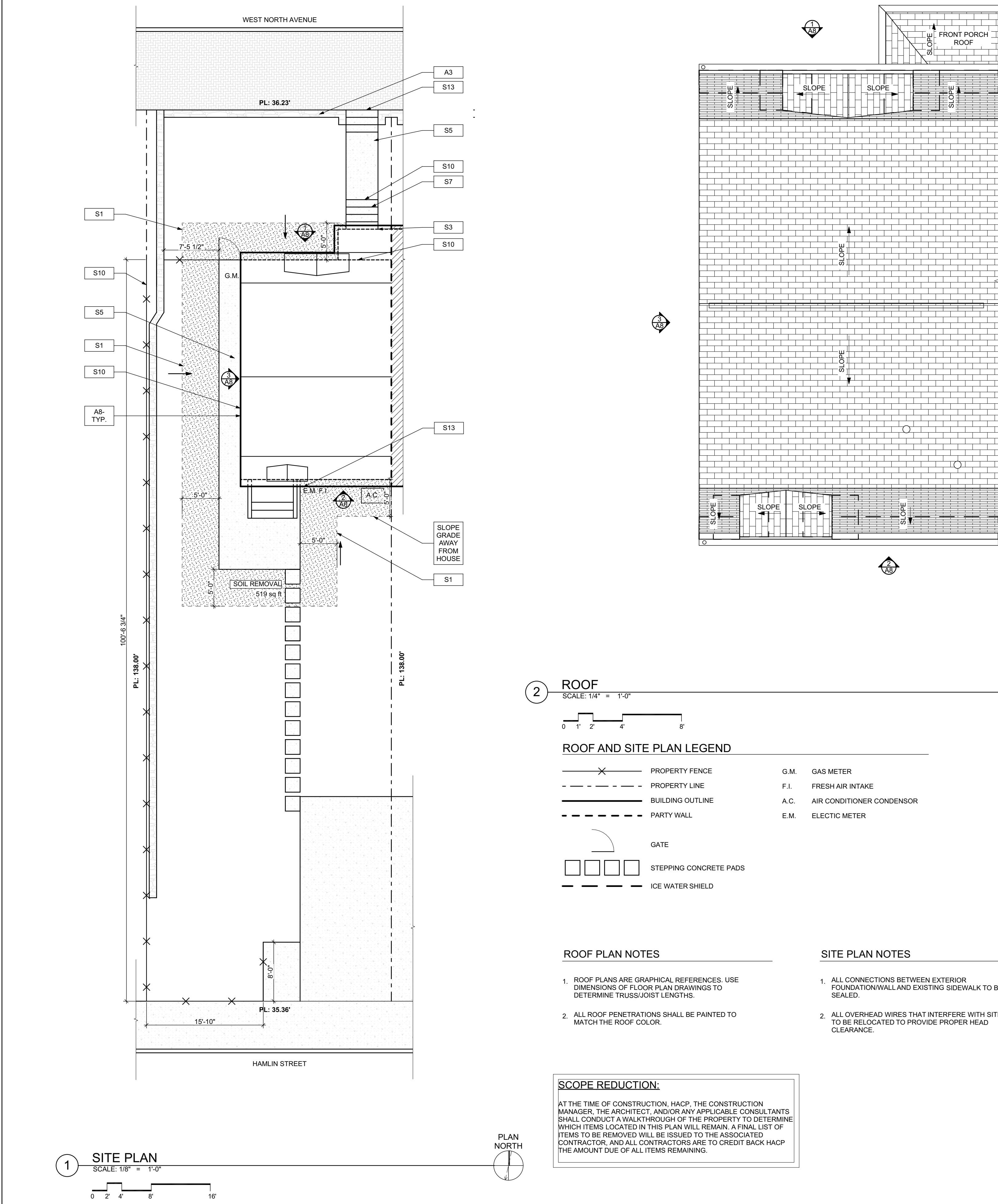
- A1** REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2** IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3** BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4** RUSTED STRUCTURAL BEAM COLUMN OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5** LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED FLOOR TO DOOR THRESHOLD AS NECESSARY.
- A6** WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD AS NECESSARY. AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7** REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8** SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9** EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10** DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11** ADJUSTABLE STEEL COLUMN BRACE AND SHORE PERFORMING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND BRIDGE CONNECTOR OR PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12** EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13** CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14** UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15** ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16** SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17** CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18** NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

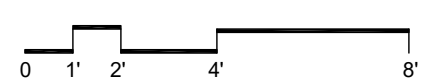
- P1** NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2** EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1** PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2** REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3** INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BARRIER IN SPACE TO MITIGATE MOISTURE CONTAMINATION OF DUCTWORK. DUCTWORK ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4** EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



2 ROOF
SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

- PROPERTY FENCE
- PROPERTY LINE
- BUILDING OUTLINE
- PARTY WALL
- GATE
- STEPPING CONCRETE PADS
- ICE WATER SHIELD
- G.M.** GAS METER
- F.I.** FRESH AIR INTAKE
- A.C.** AIR CONDITIONER CONDENSOR
- E.M.** ELECTRIC METER

ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

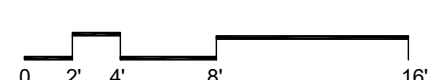
SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

1 SITE PLAN
SCALE: 1/8" = 1'-0"



- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale As Noted

date May 6, 2022

no. 6 of 12

Sheet No.

A5

Project #2006

SITE

- S17 AT LOCATION SHOWN REMOVE ± OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. RE-PLACE CONCRETE IN PRESENT MINIMUM 3' OVER ± OF EXISTING DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SLAB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENT OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR AS SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, REGRADE SERVICES DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

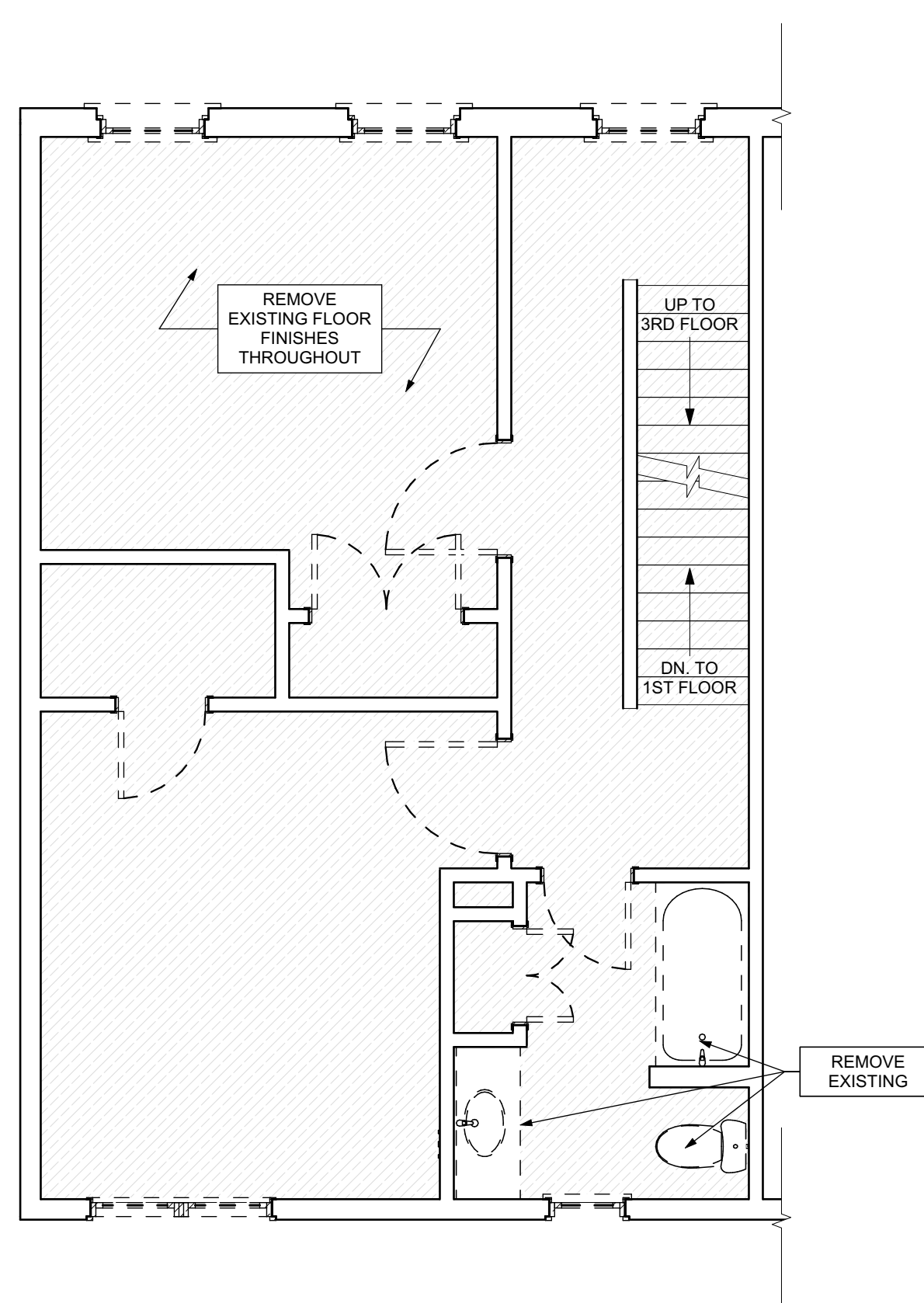
- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A12 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A13 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A14 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A15 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED FLOORING. REMOVE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A16 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR OR REPLACE AS NECESSARY. REQUIRED: REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A17 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A19 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A20 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DISMOUNT EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A21 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW FLOORING. COLUMN, BRACE AND SHORE TO BE PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A22 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A23 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A24 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A25 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A26 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A27 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
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PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

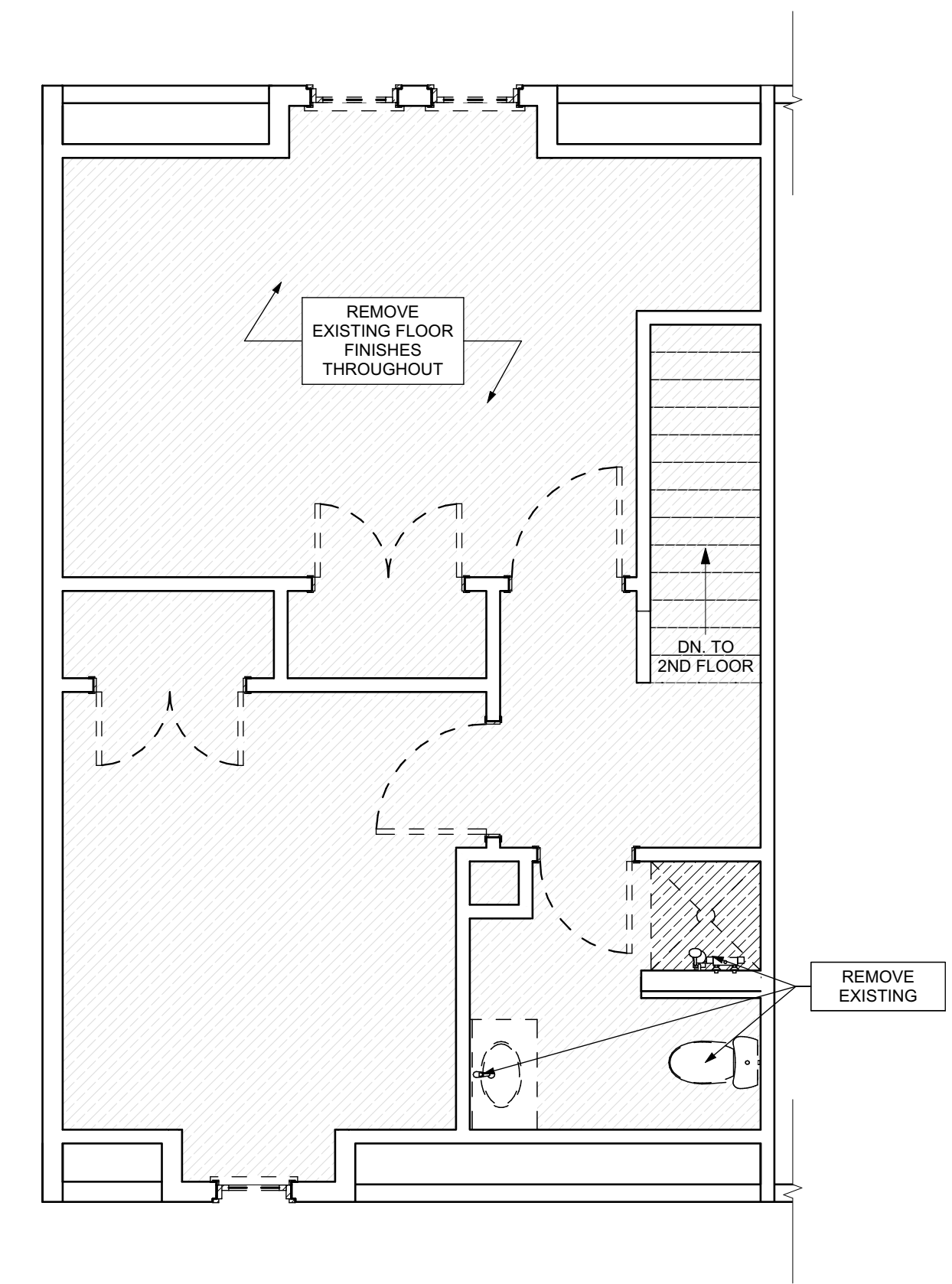
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON RATED DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITOR AND INSULATE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

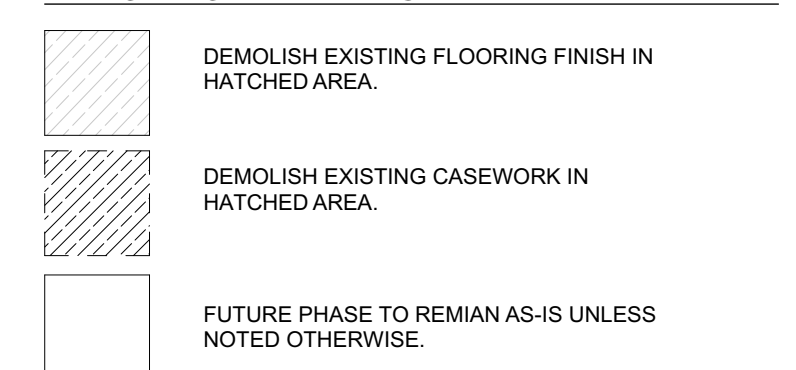


4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL. IF THERE IS NO JUNCTION BOX, AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEVED FOR REMOVAL/DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

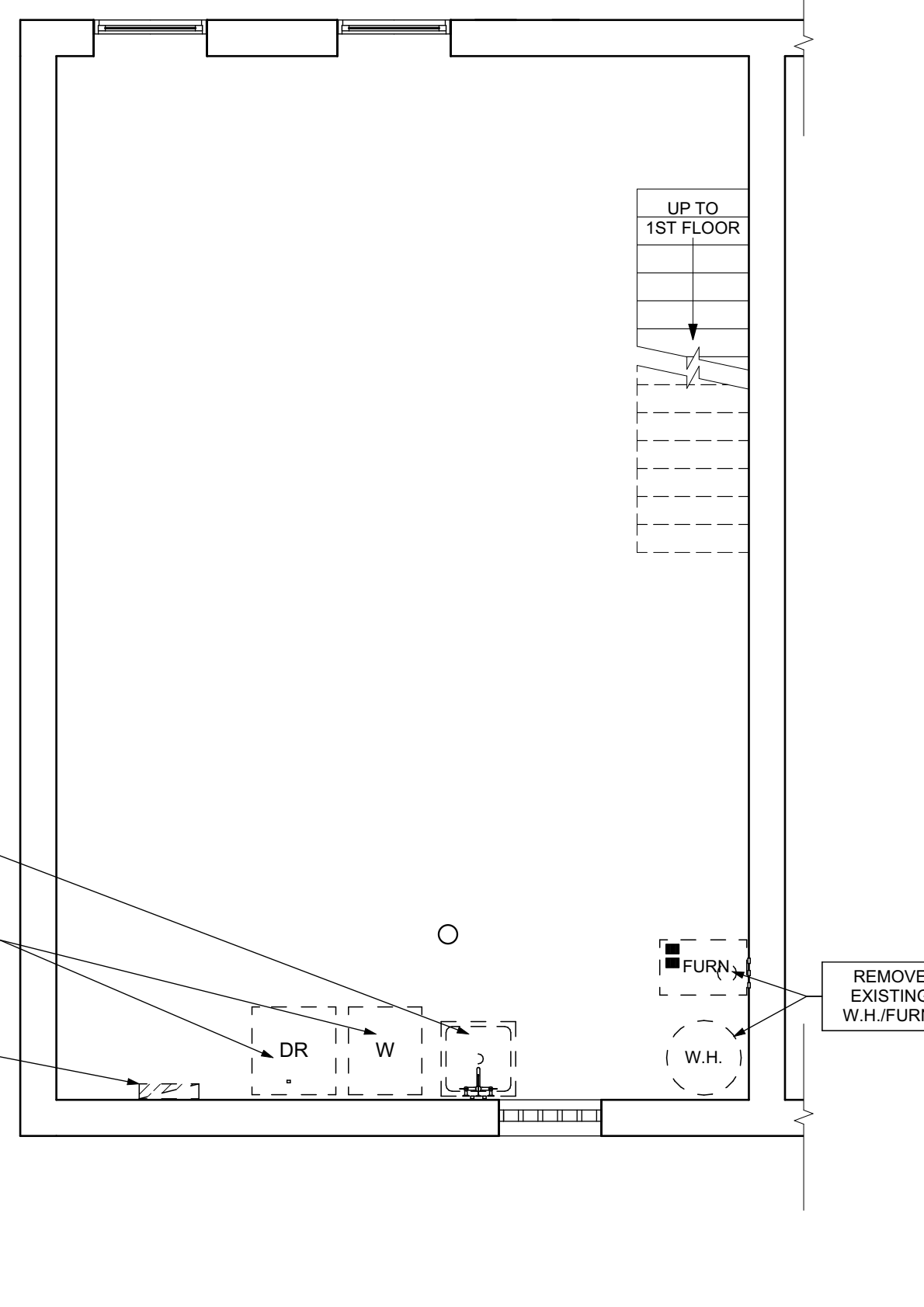
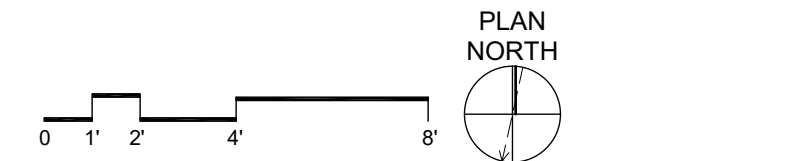


SCOPE REDUCTION:

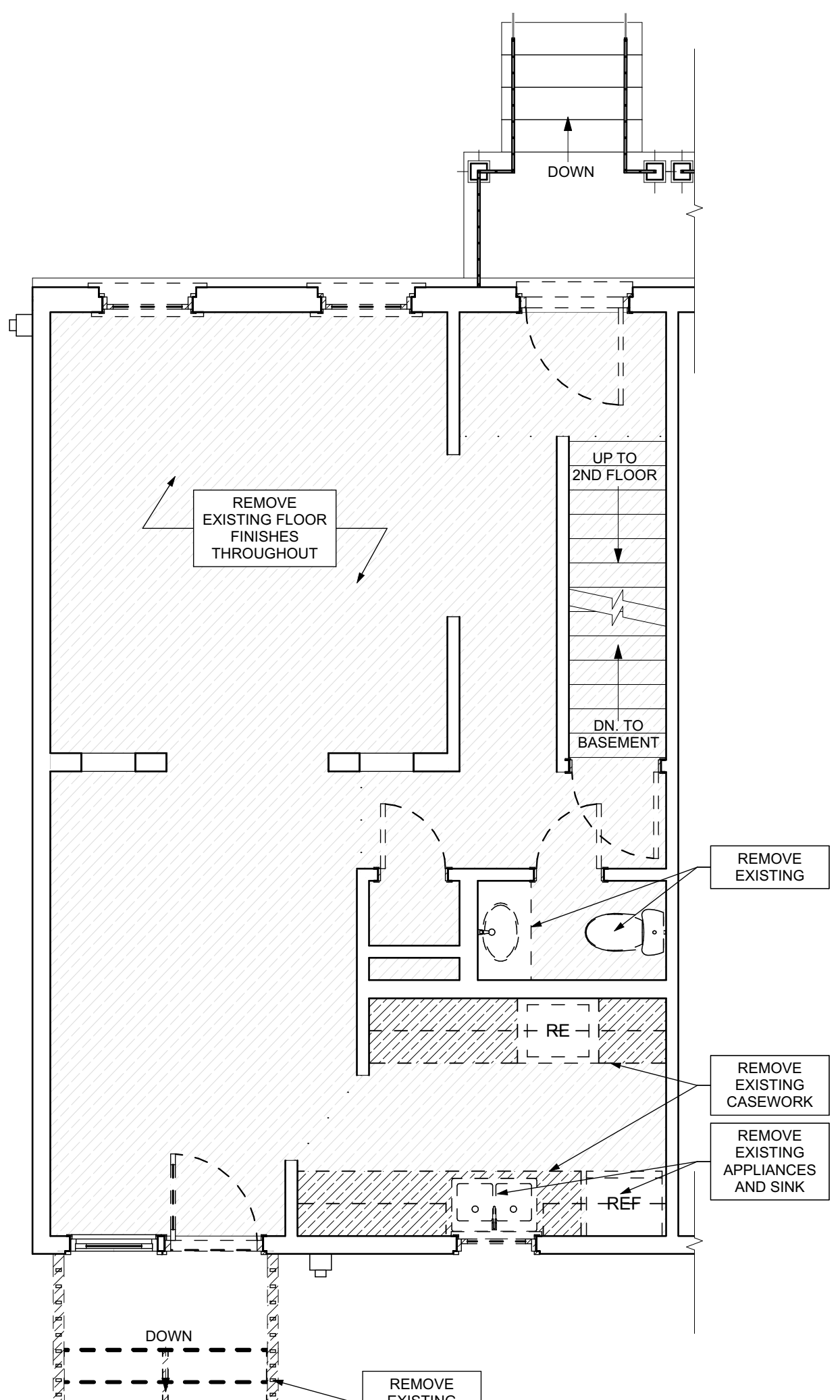
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

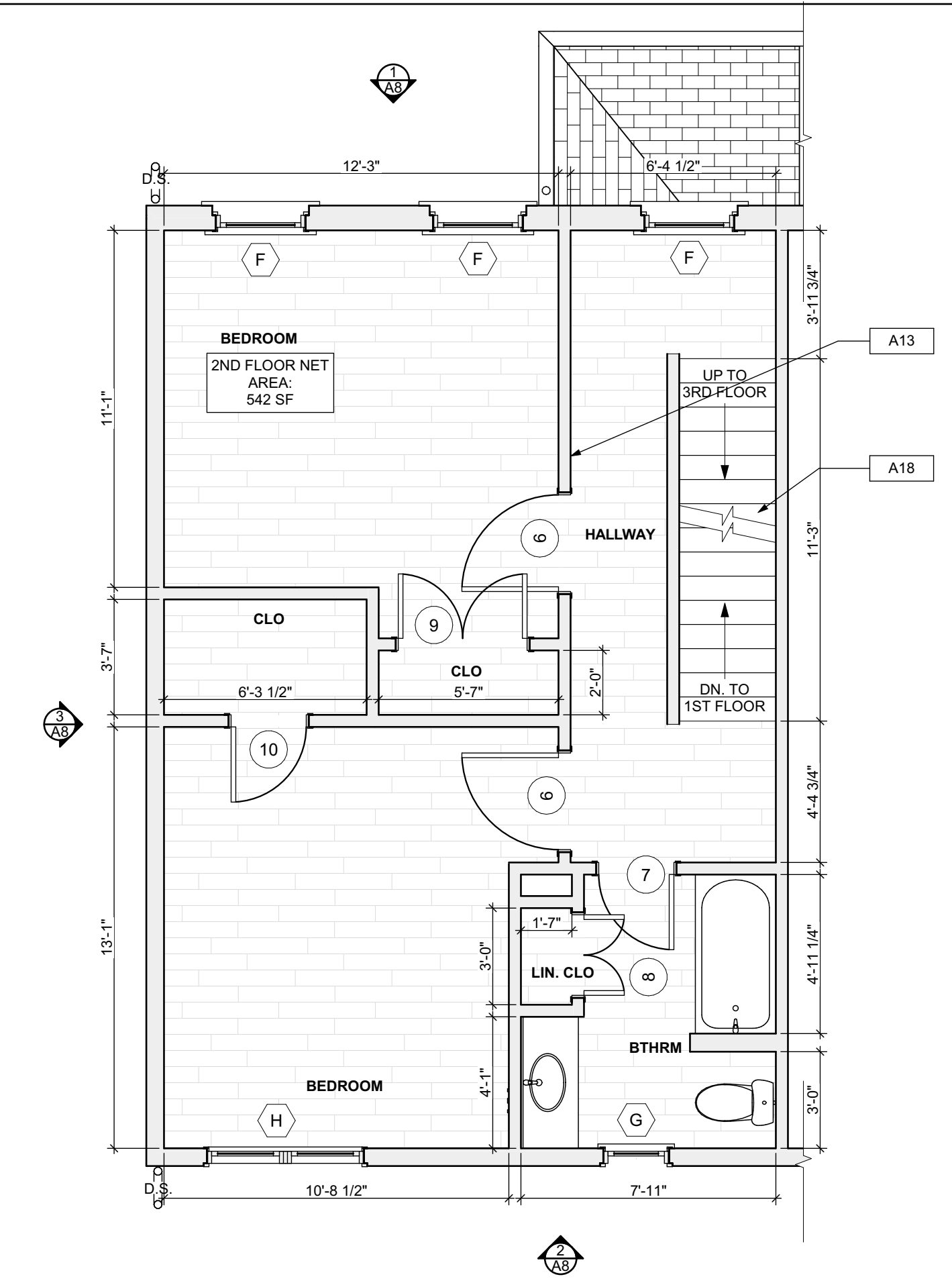
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



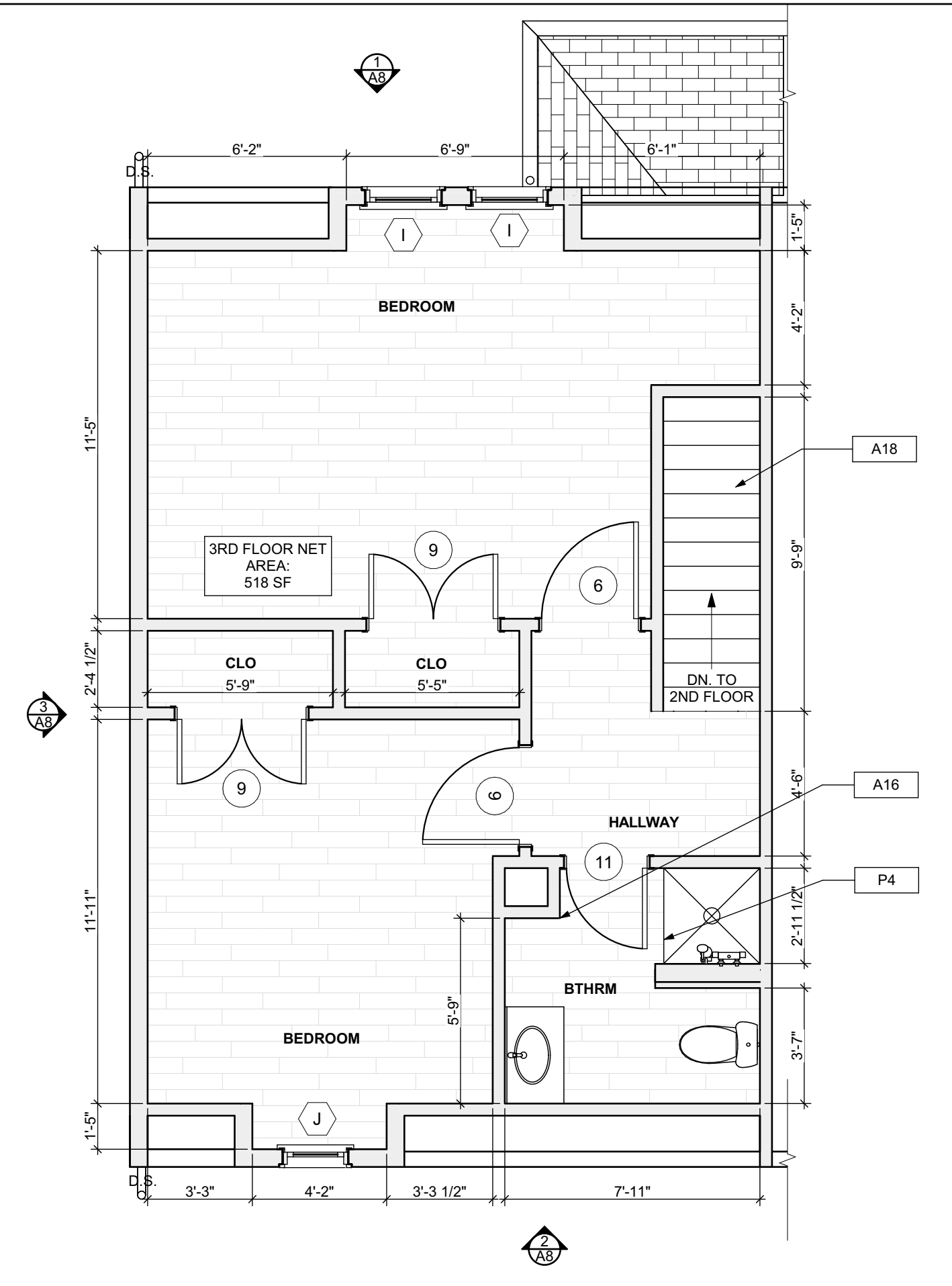
1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"



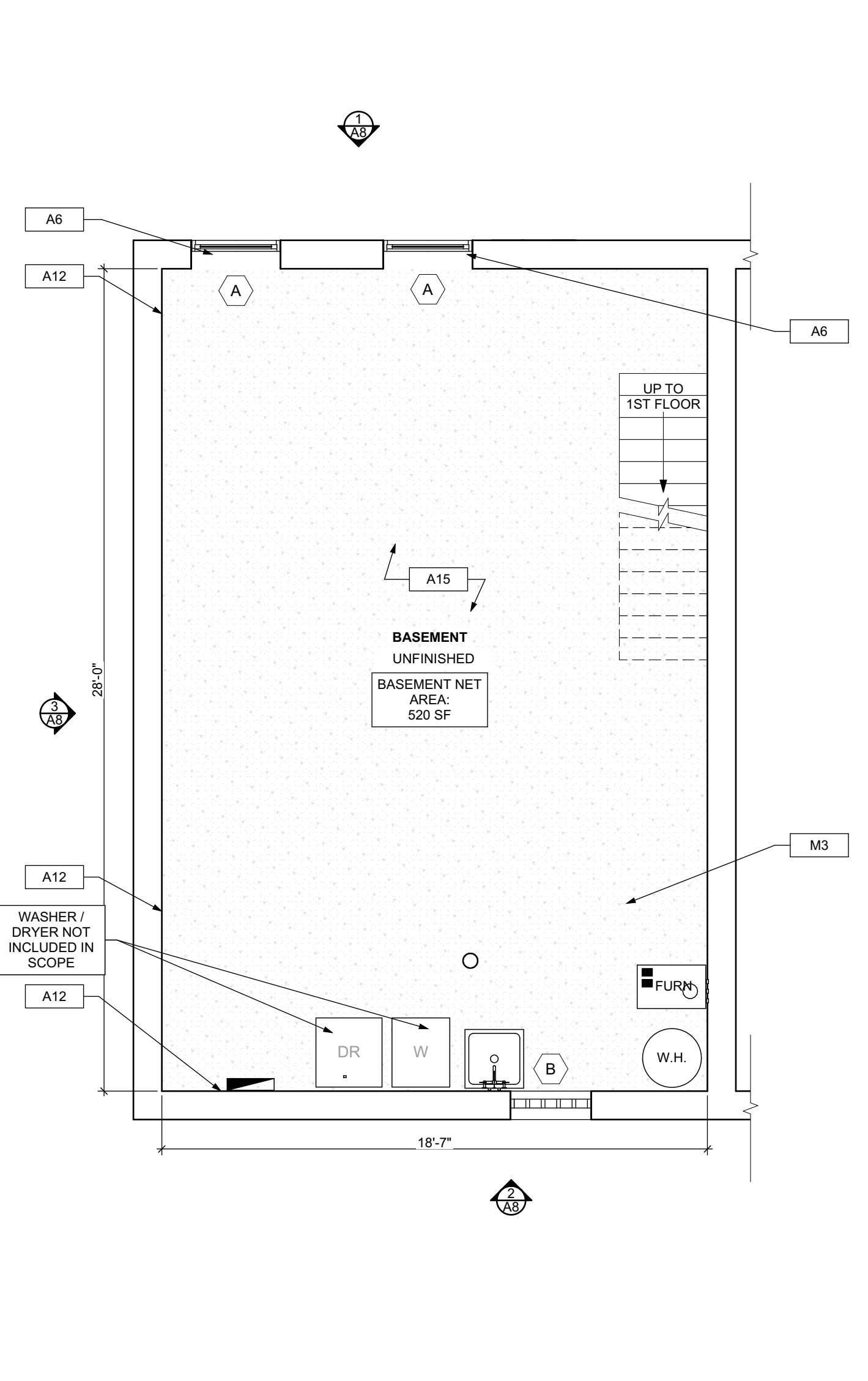
2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



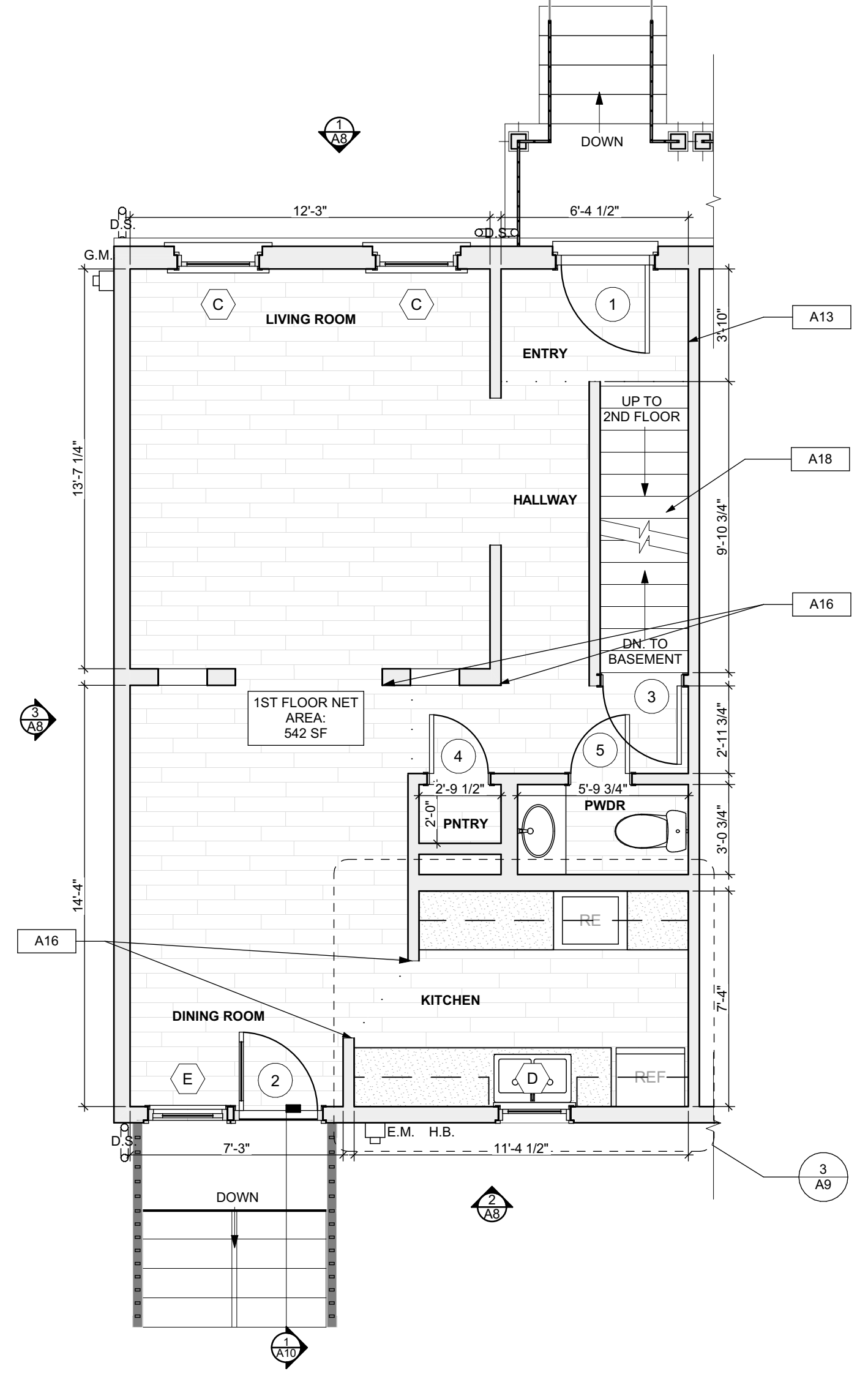
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



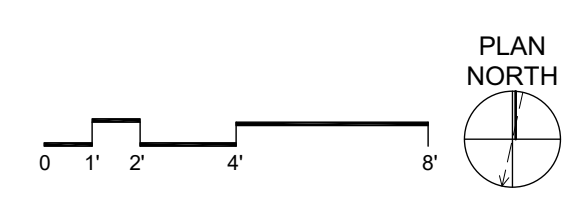
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- E.M. ELECTRIC METER
- H.B. HOSE BIBB
- DRYER

SCOPE REDUCTION:

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SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY AND REPAIR TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOP TO MEET SLOPE REQUIREMENTS. REPAIR CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPAIR. DISTURBED VEGETATION PER SPECIFICATIONS.
- S21 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S23 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT. PROVIDE NEW CONC. TO PROVIDE NEW PRESSURE TREATED POST WITH NEW 5/8" TIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S24 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE NEW COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S25 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE NEW COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S26 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
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- S29 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S30 REGROUT AND POINT MASONRY AS NECESSARY. GROUT OR POINT MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
- S31 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S32 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S33 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NESTS. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S34 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAND DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACES AND SHORES TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED FLOOR OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM TO BE REPLACED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKS IN EXISTING STAIRS AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATION OF FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTAMINATION OF DUCTWORK. PROVIDE INTERIOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, GRAPHIC SCALES, FLOOR
PLAN LEGEND, SMALL UNIT
KEYNOTES

scale
As Noted

date
May 6, 2022

no. **7** of **12**

Sheet No.
A6
Project #2006

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1242 WEST NORTH AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT REFL. CLG. / POWER / DATA PLAN, DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, SMALL UNIT KEYNOTES, LIGHTING SCHEDULE, RCP LEGEND, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	8	Project #2006
of.	12	

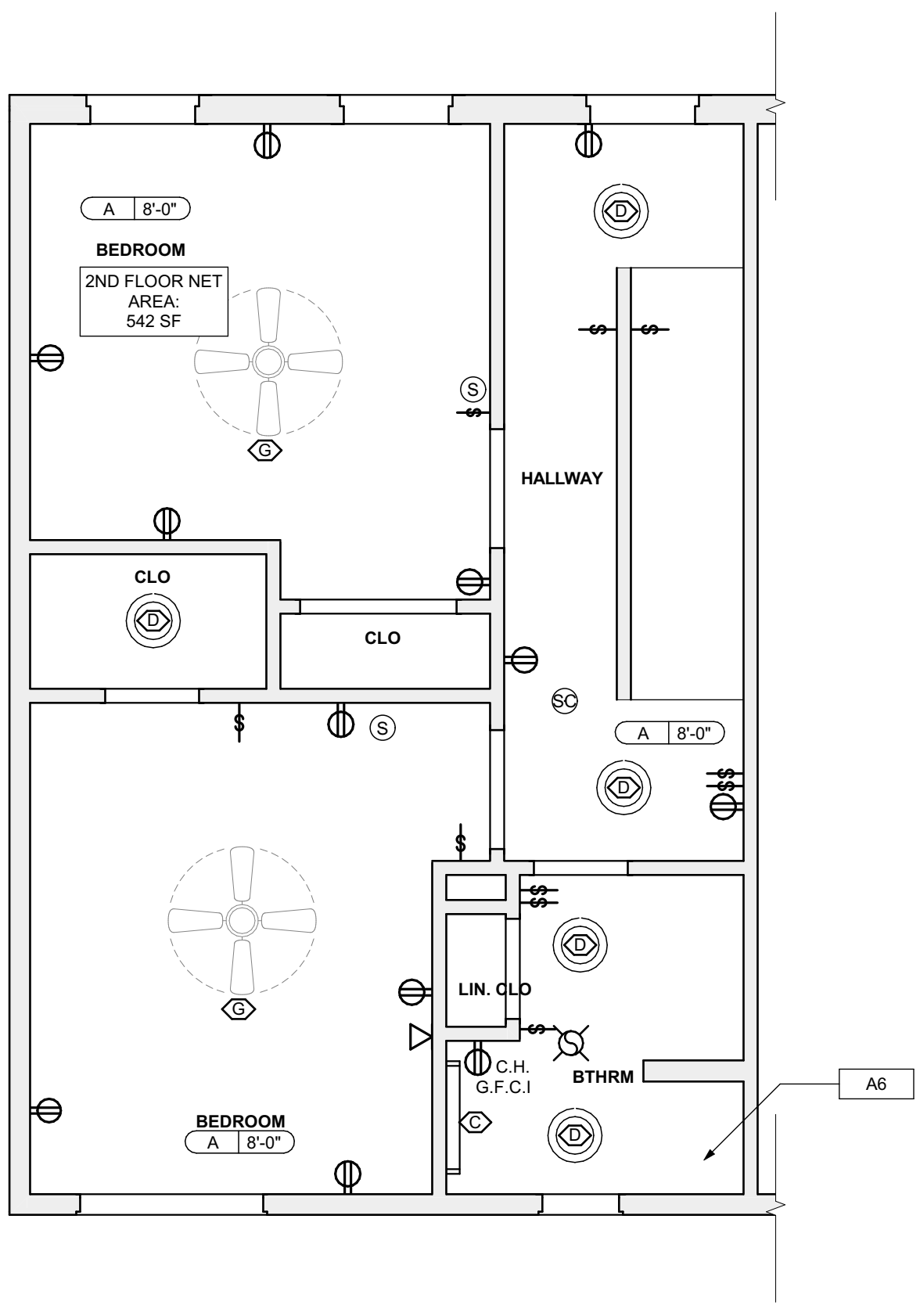
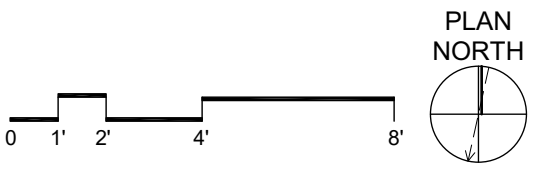
LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922HL18	1
	C	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White		9
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	4
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

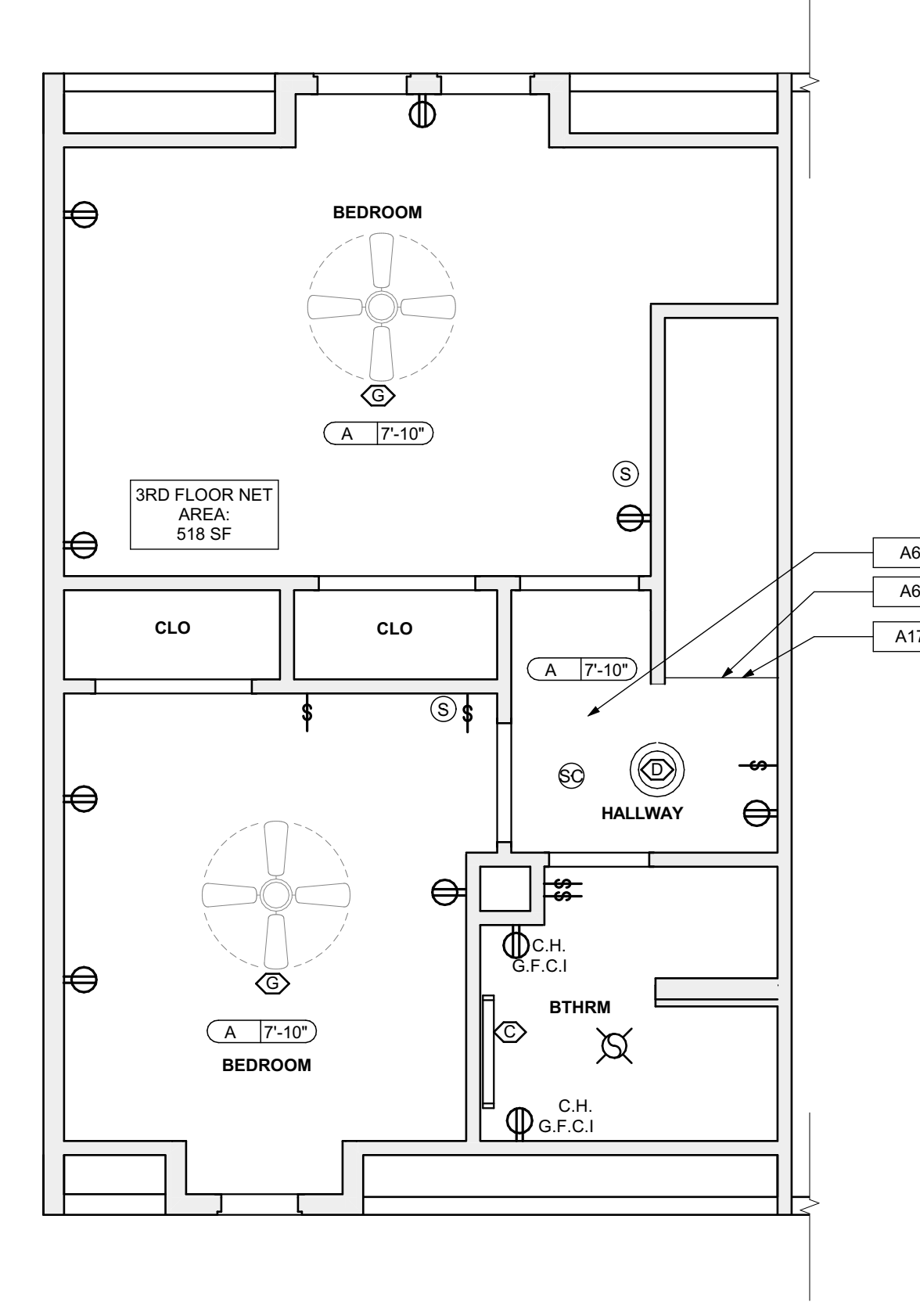
- RCP LEGEND - (See Specifications for basis of Design)**
- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
 - ⊙ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
 - ⊙ ELECTRICAL METER
 - ⊙ THERMOSTAT
 - ⊙ DATA RECEPTICAL, 18" A.F.F. U.O.N.
 - ⊙ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
 - ⊙ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
 - ⊙ GROUND FAULT CIRCUIT INTERRUPTER
 - ⊙ GROUND FAULT CIRCUIT INTERRUPTER
 - ⊙ LIGHT SWITCH
 - ⊙ EXHAUST FAN
 - ⊙ DOORBELL
 - A | X'-X" | GWB CEILING / CEILING HEIGHT
 - B | X'-X" | UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

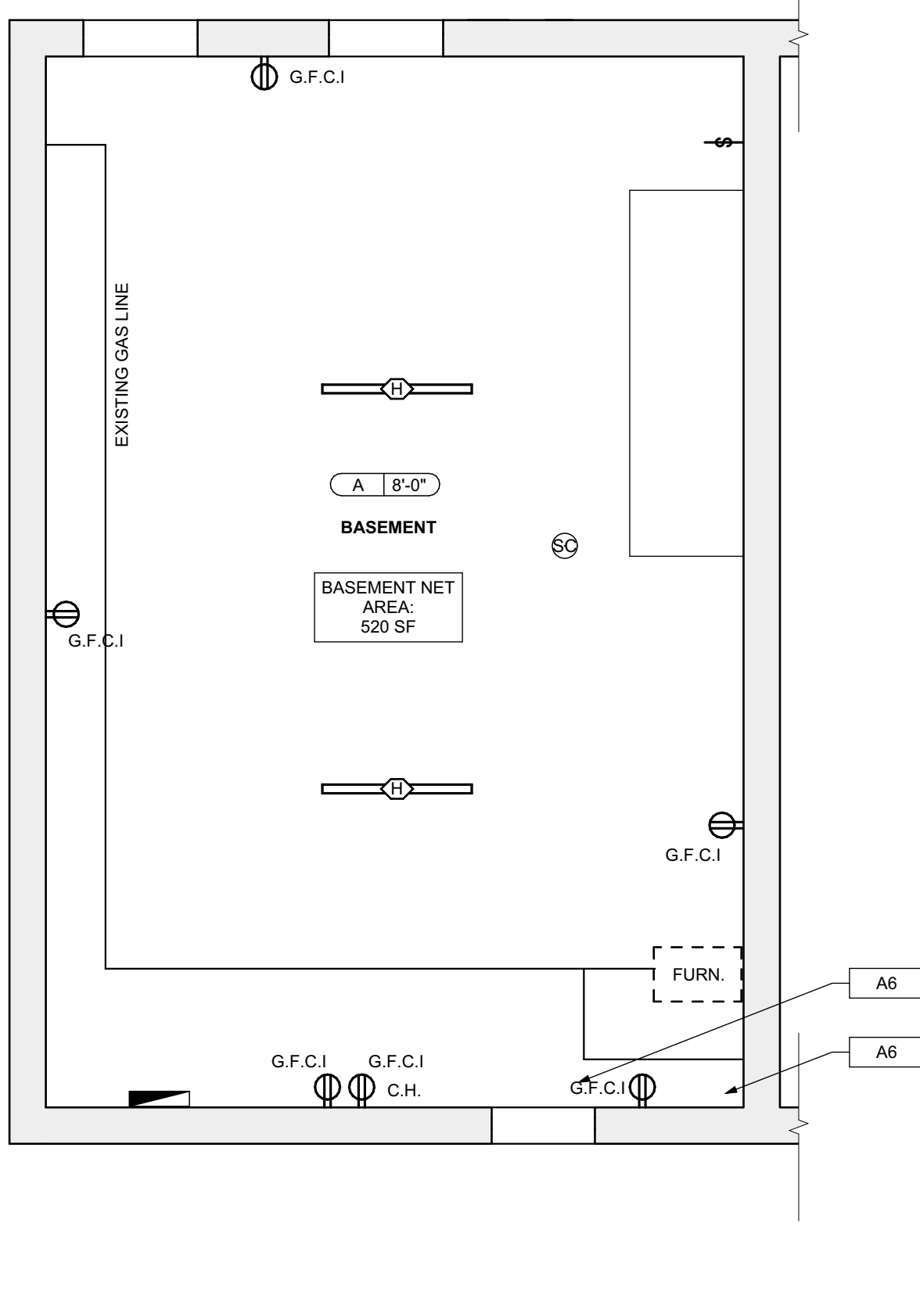
GENERAL NOTE:
 ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



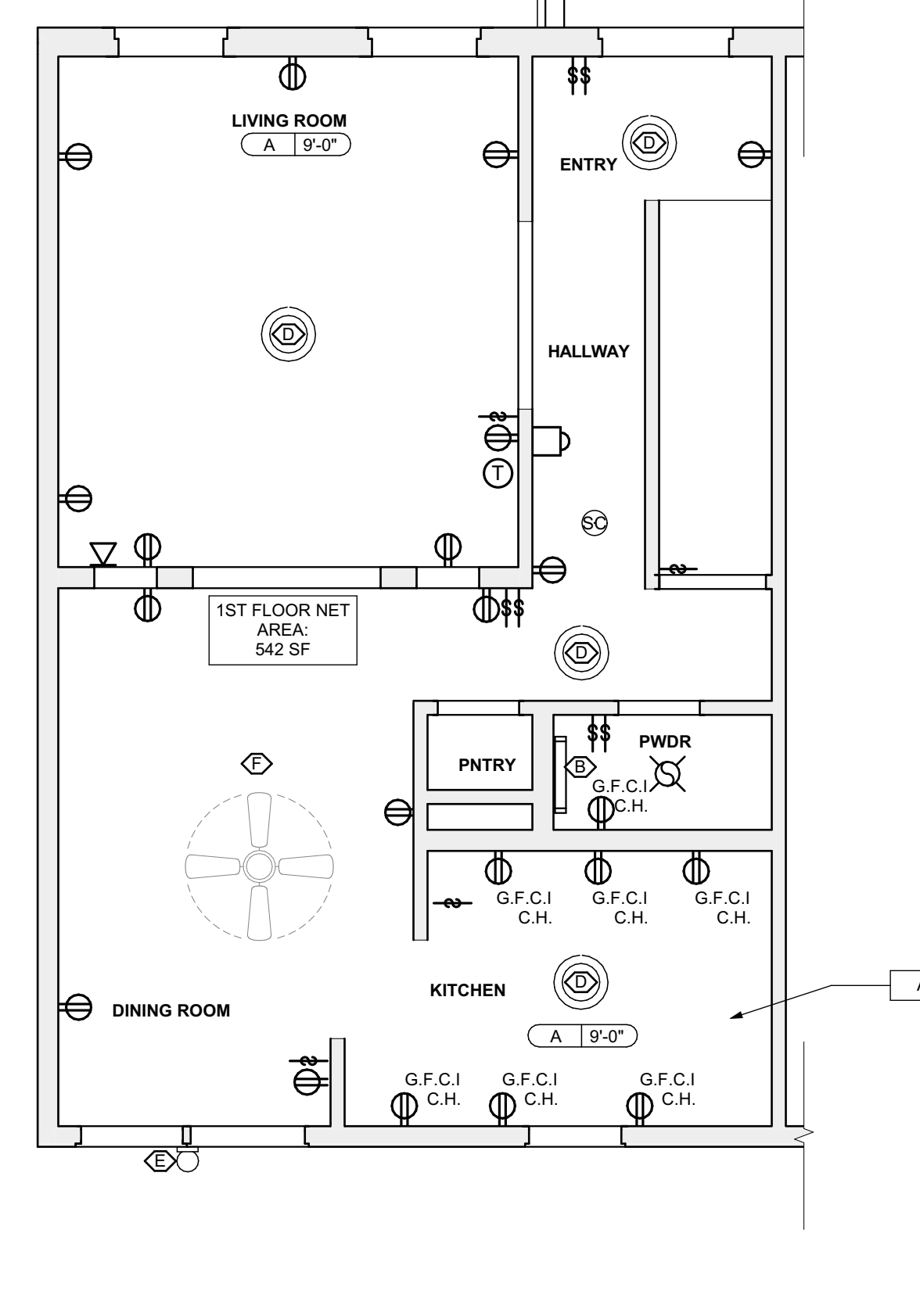
3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



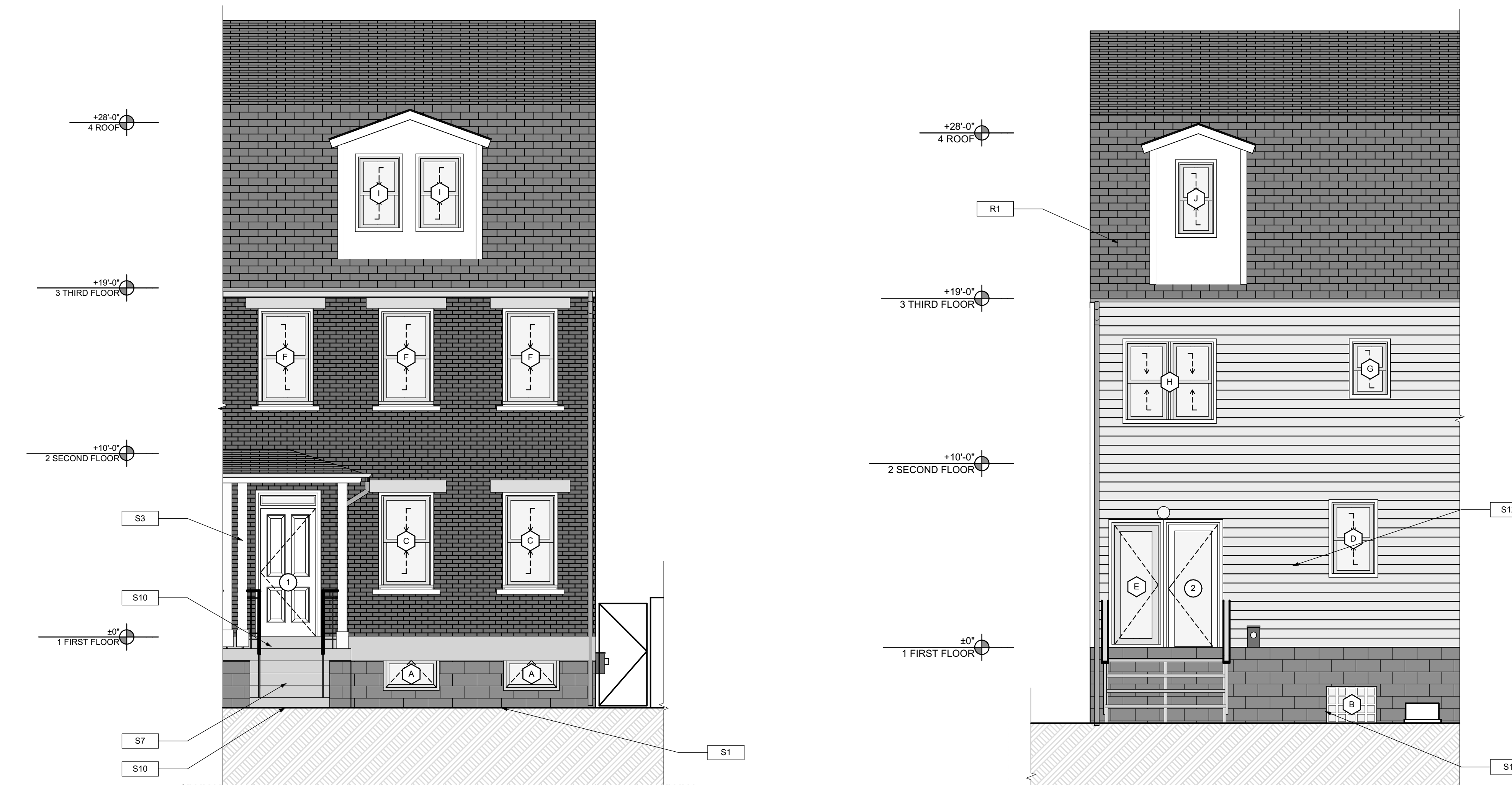
4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 1/2" REINFORCEMENT. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF AREA. SUPPORT POST PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR OR REPLACE AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
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- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
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- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
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MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. REPAIR AS NECESSARY. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

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requirements

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project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

GENERAL NOTE:

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

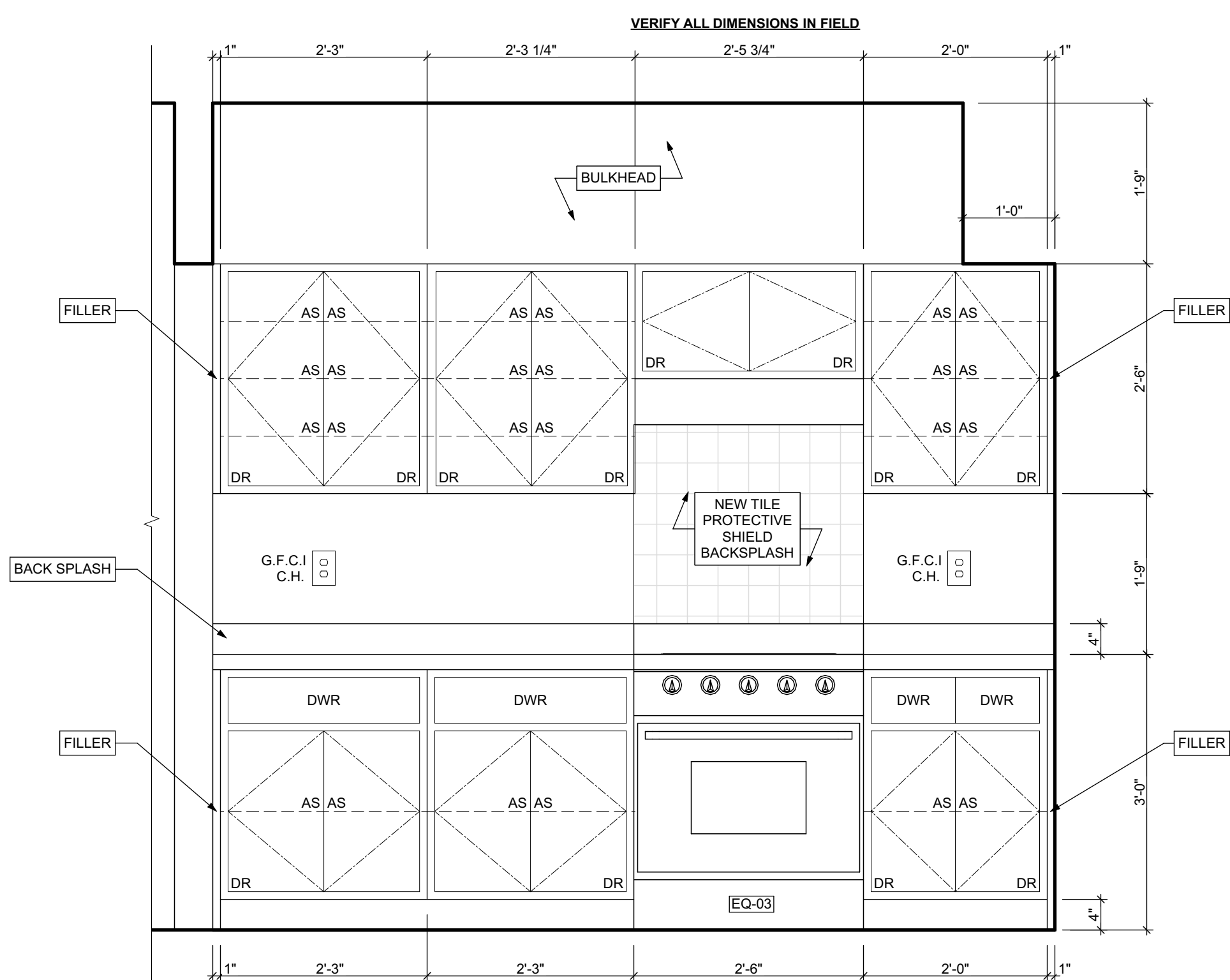
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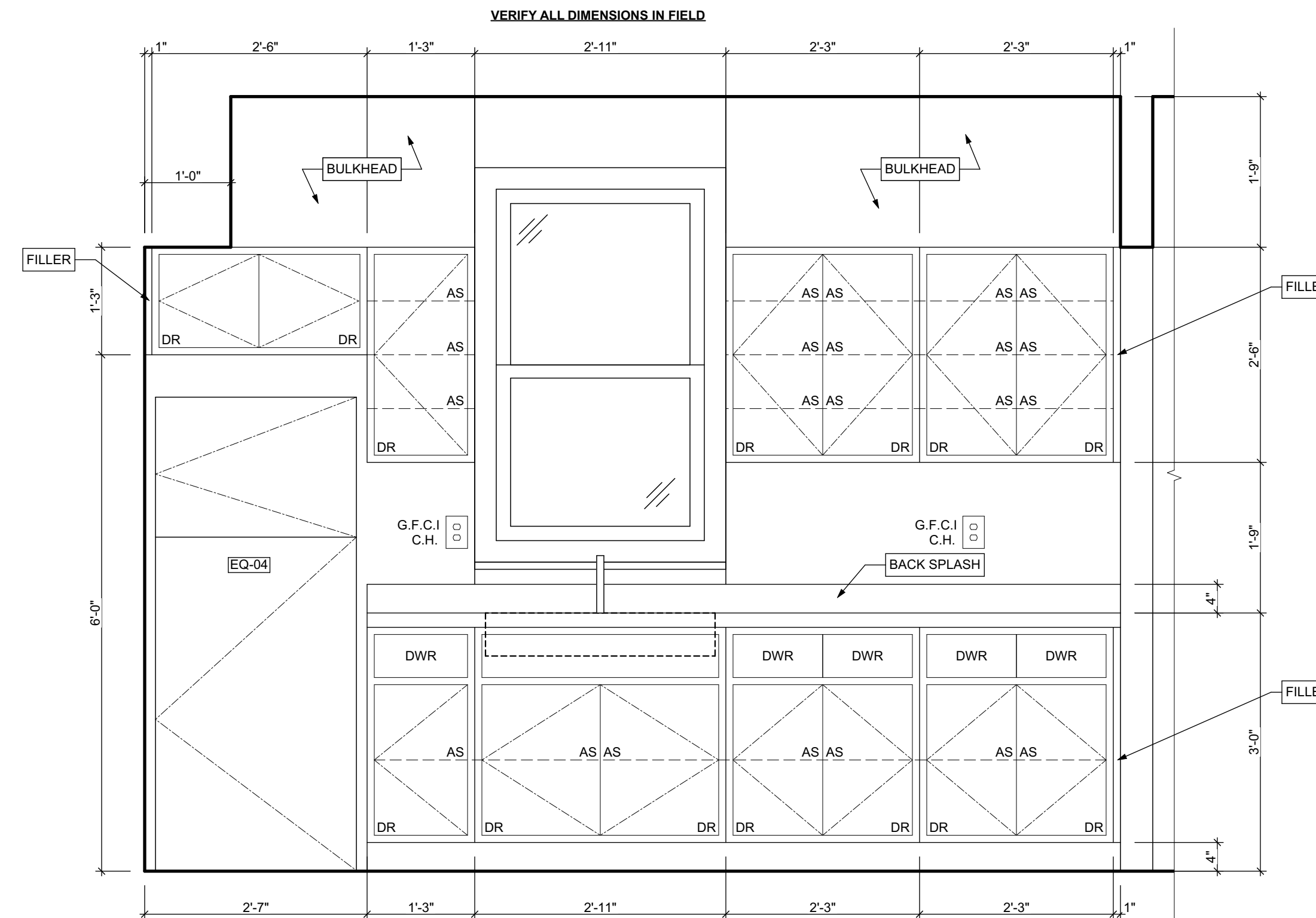


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May 6, 2022
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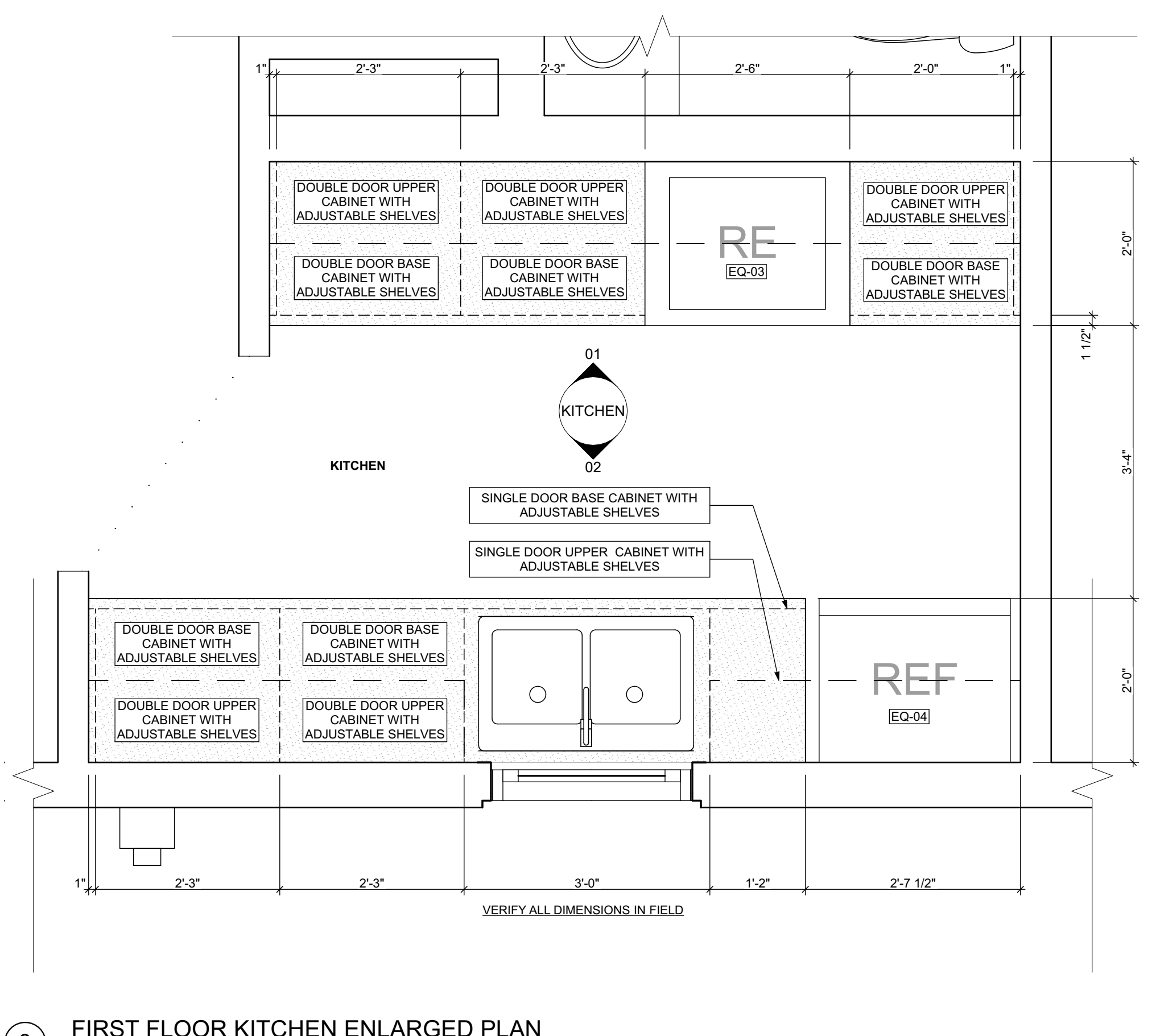
Sheet No.
A8
Project #2006



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	4	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	2	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391 S-020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS VERSA ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

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- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

scale
As Noted

date
May 6, 2022

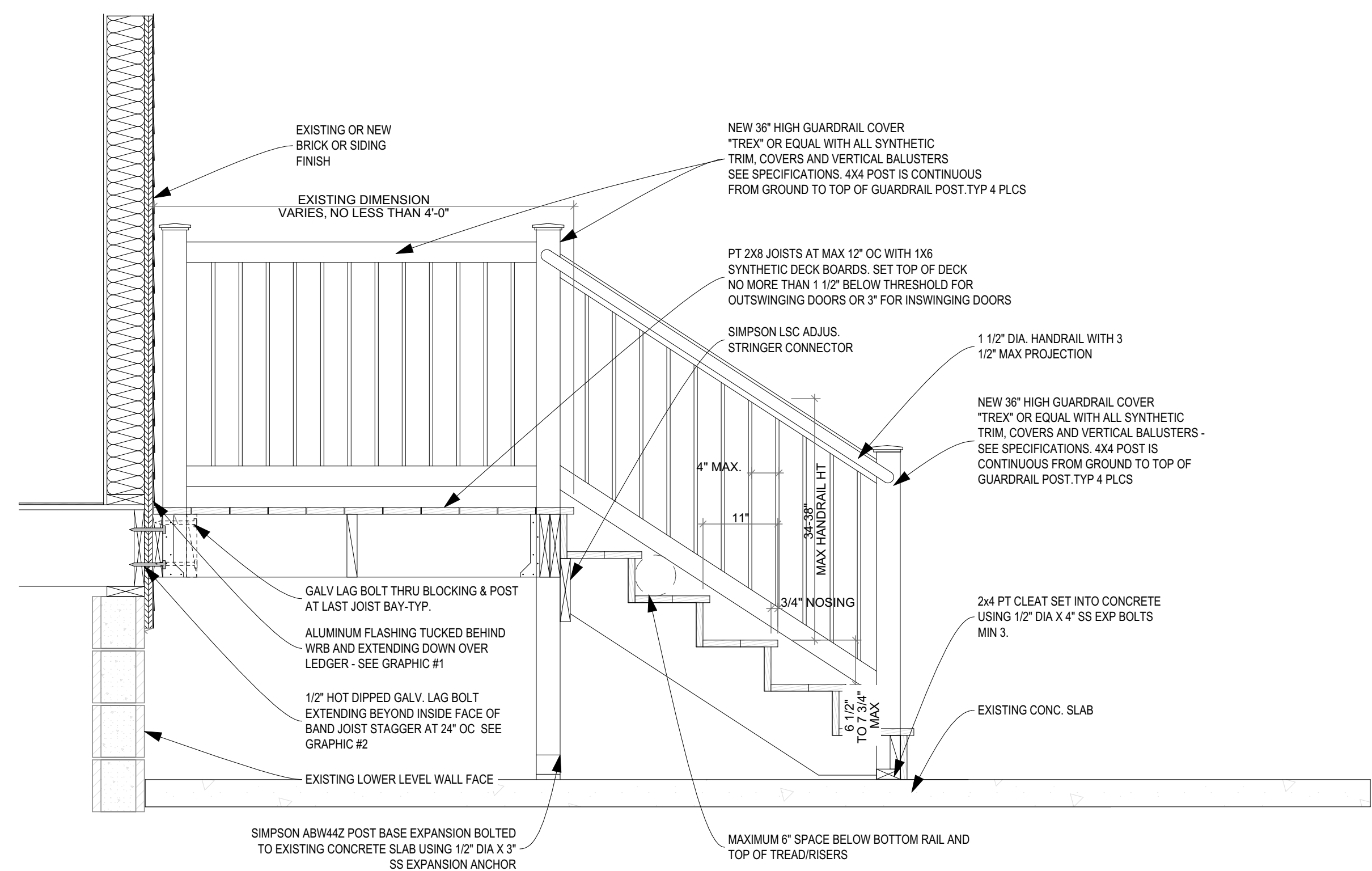
no. 10

of 12

Sheet No.

A9

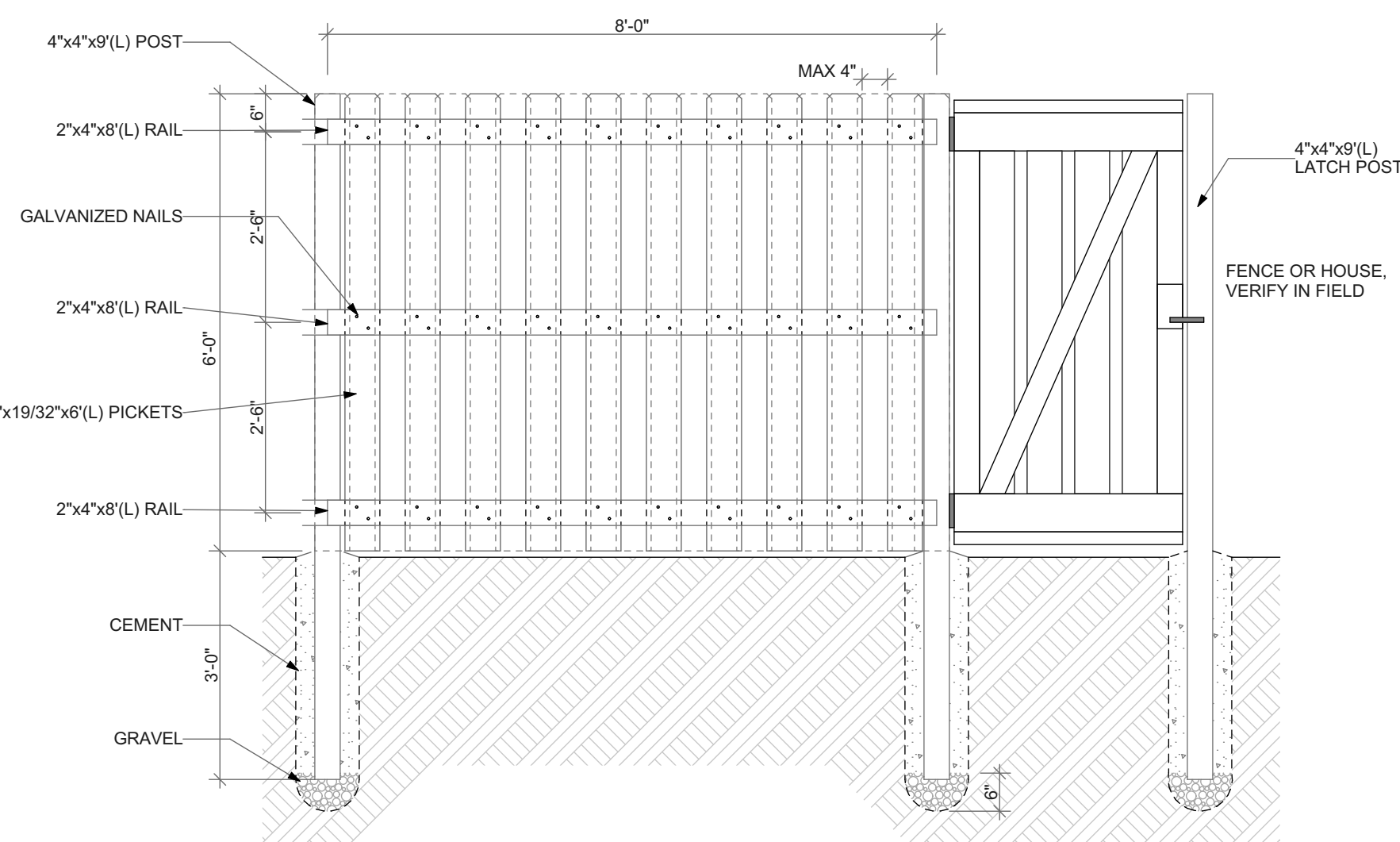
Project #2006



STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

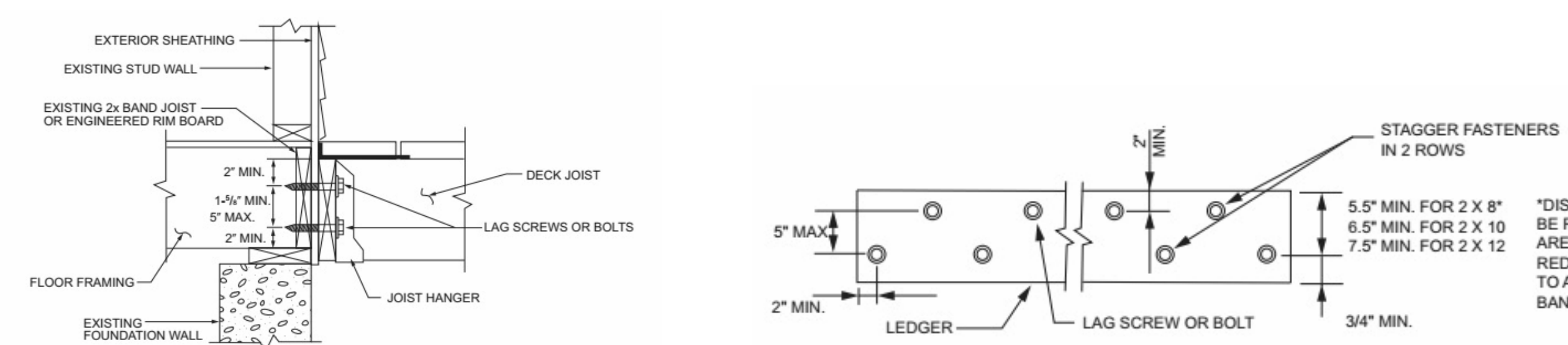
1 DECK SECTION DETAIL

SCALE: 3/4" = 1'-0"

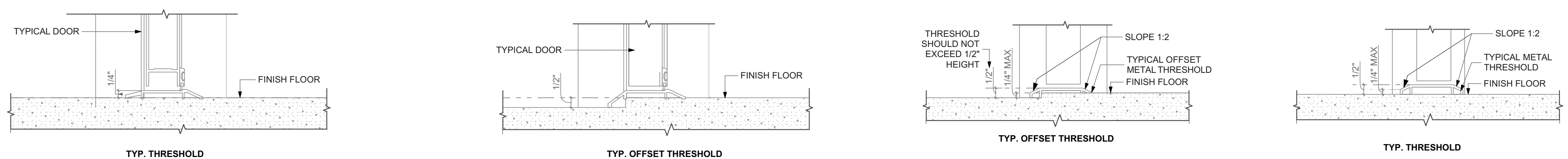
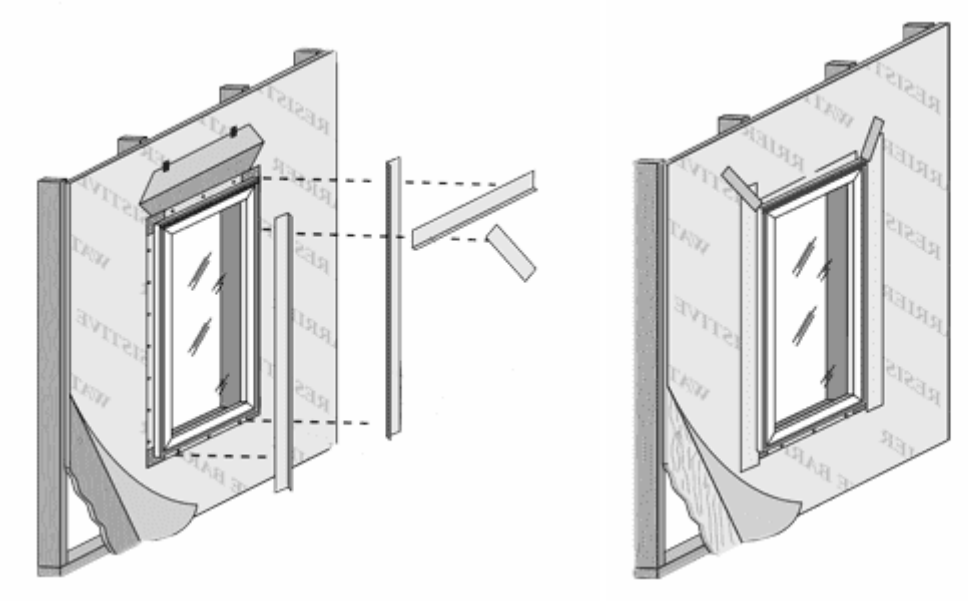


2 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"

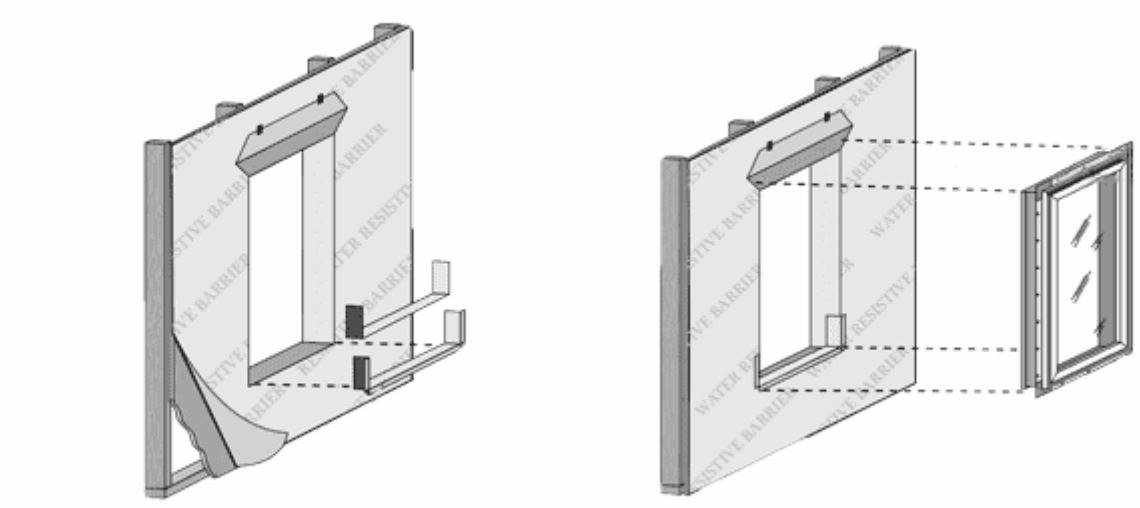


3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD

SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

scale

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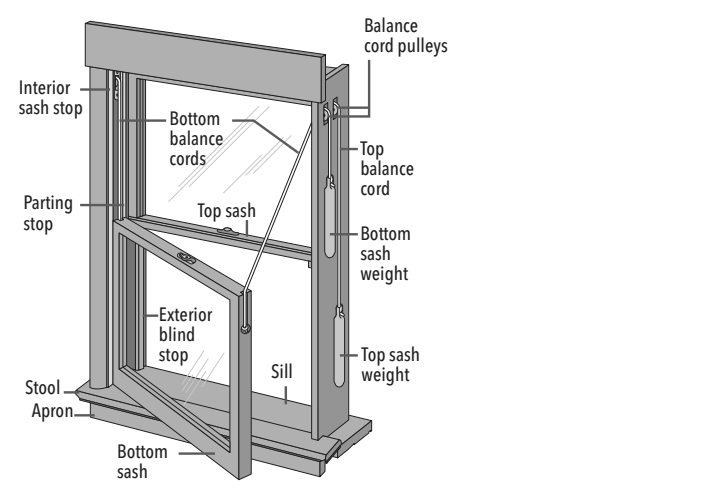
DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	2006



POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

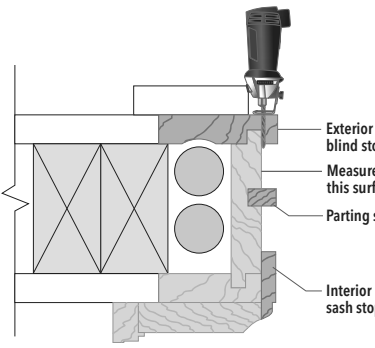


1 REMOVE THE EXISTING SASHES

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

- A. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- B. Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.

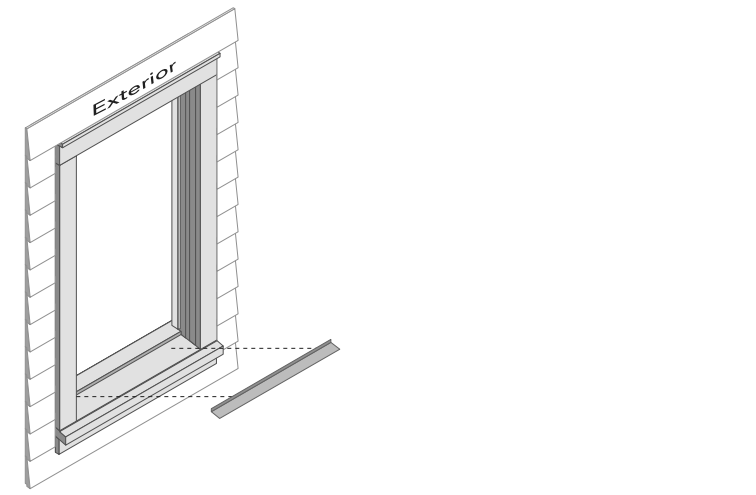


- C. Remove the exterior stops at the head and jamb using a saw, reciprocating saw, roto-tool or equivalent. Cut them flush with the side of the frame.
- D. Carefully remove the upper sash and dispose of it properly.
- E. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
- F. Carefully remove the lower sash.
- G. Remove any remaining jamb liner material (if applicable).
- Caution: Some balances are spring-loaded.
- H. Insulate the weight chamber (if desired).

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POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



2 PREPARE THE OPENING

- A. Inspect the existing window frame. Repair or replace any deteriorated parts.
- B. Clean the opening of any dirt, debris or excess old paint.
- Note: If using aluminum coil exterior trim, apply it now.
- C. Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.
- D. Apply sealant over any gaps in the corners of the existing frame.
- E. Check the sill for level or for bowing.
- F. Install level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.
- G. Attach shims to prevent movement after they are level.
- Note: Improper placement of shims may result in bowing the bottom of the window.

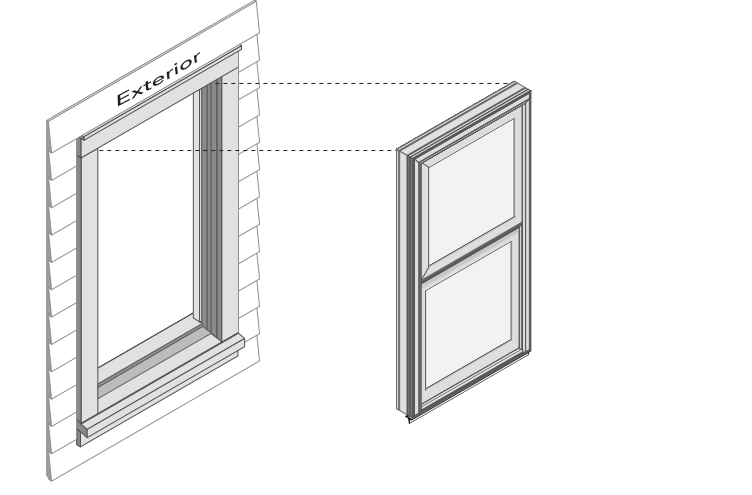
3 PREPARE THE WINDOW

- A. Drill pilot holes (if necessary) in the new window frame. See next page for Sill Adapter illustrations.
- Note: See anchoring instructions at the end of this booklet.
- B. Dry fit the window in the opening.
- C. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
- D. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
- E. Install the sill adapter. Cut it to length and notch it (if necessary).
- F. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
- G. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.

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POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



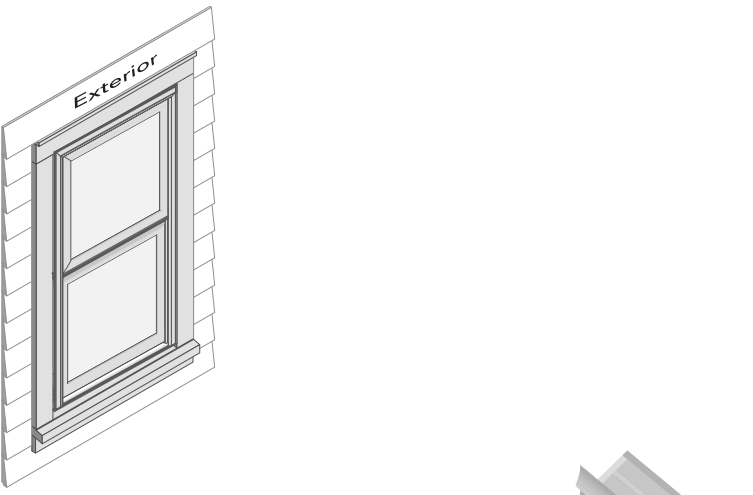
3 PREPARE THE WINDOW (Continued)

- Pella® 350 Series**
-
- Architect Series® (850) and Pella® Lifestyle Series Dual-Pane**
-
- Pella® Impervia®**
-
- Casements and Fixed Windows:**
-

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POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



4 SET AND FASTEN THE WINDOW

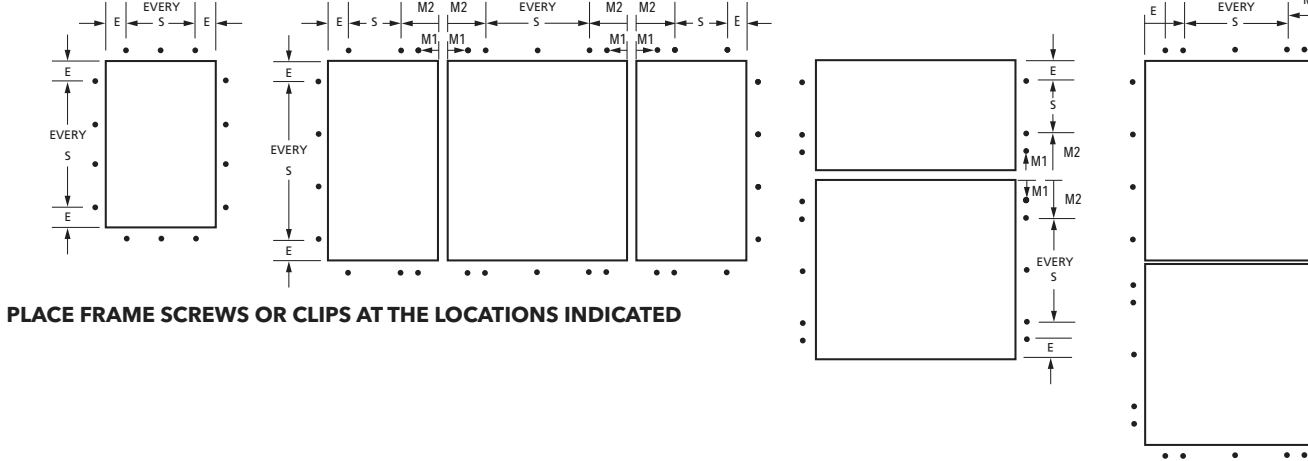
- A. Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- B. Apply a 3/8" bead of sealant at the exterior surface of the window head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- C. Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- D. Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes. Refer to the anchoring instructions at the end of this booklet.
- Ensure the window frame remains fully embedded in sealant.
- NOTE: Keep shims 1/2" from the exterior surface of the window to allow for backer rod and sealant.
- E. Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).
- F. Pella® Lifestyle Series Dual-Pane only: Push the remaining tails of the band into the jambliner holes.
- G. Check for plumb, level, square and window operation. Make any necessary adjustments to shims and finish installing frame screws.
- H. Adjust the screw jacks (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash. Tilt the lower sash inward to locate the jamb jacks in the interior balance channel near the checkrail.
- I. Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.
- J. Install exterior frame expanders at this time (if necessary).

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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

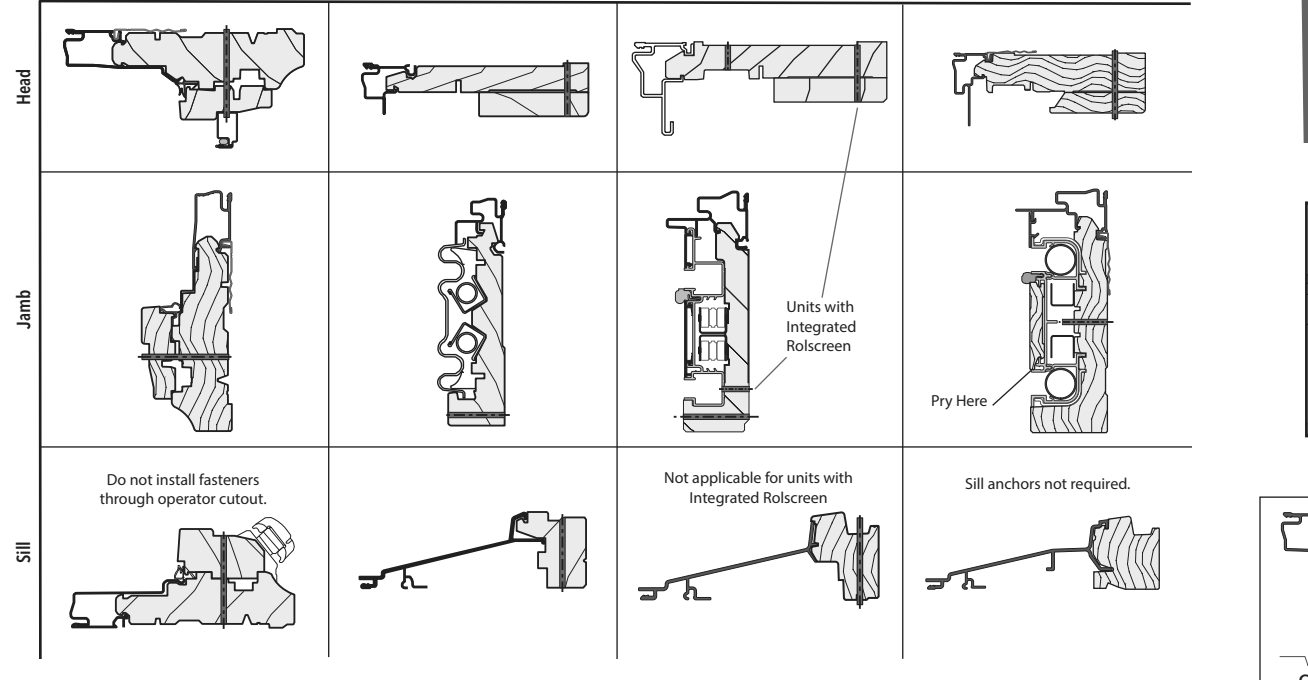
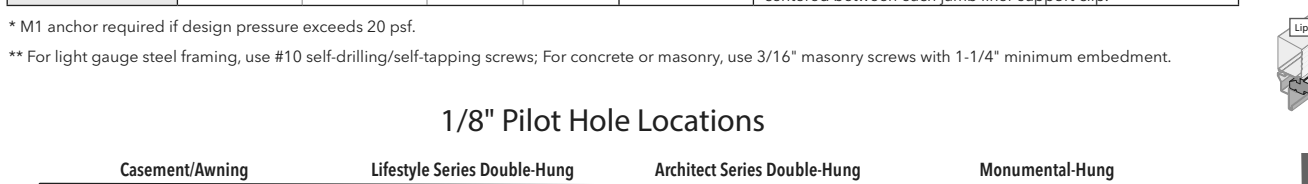
Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x3" Finish Screw	
Double- or Single-Hung	6"	16"	3"	6"	#8x3" Finish Screw	For windows with integrated Rollscreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head past flush with the jamb liner. Avoid Rollscreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x3" Finish Screw	
Monumental DH "54" x "96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip from bottom, checkrail and center of each sash. Drive 2 additional screws through the frame (or secure clips) 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.

* M1 anchor required if design pressure exceeds 20 psf.
** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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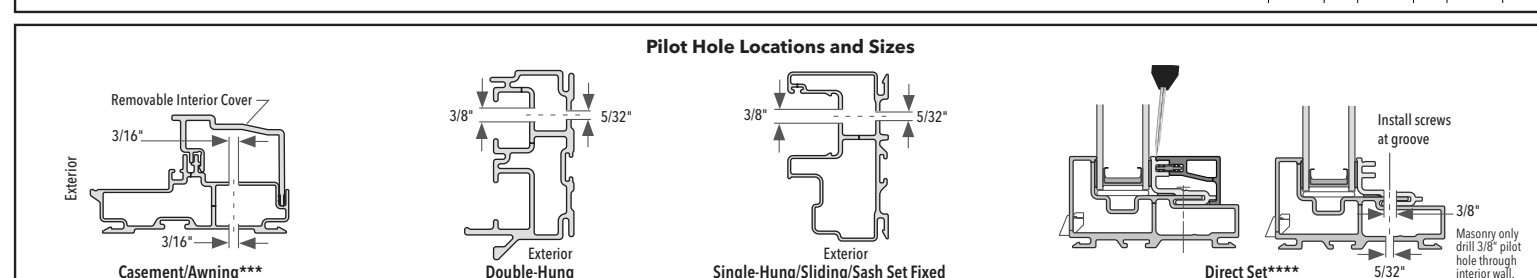
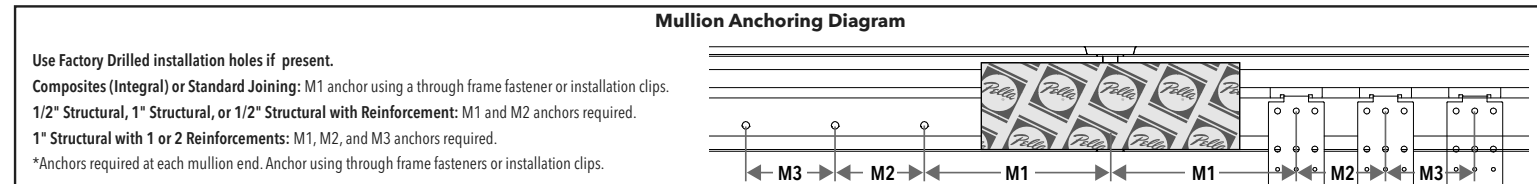
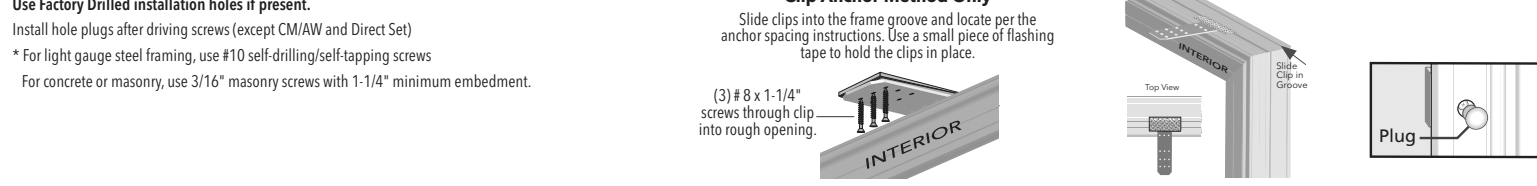


BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

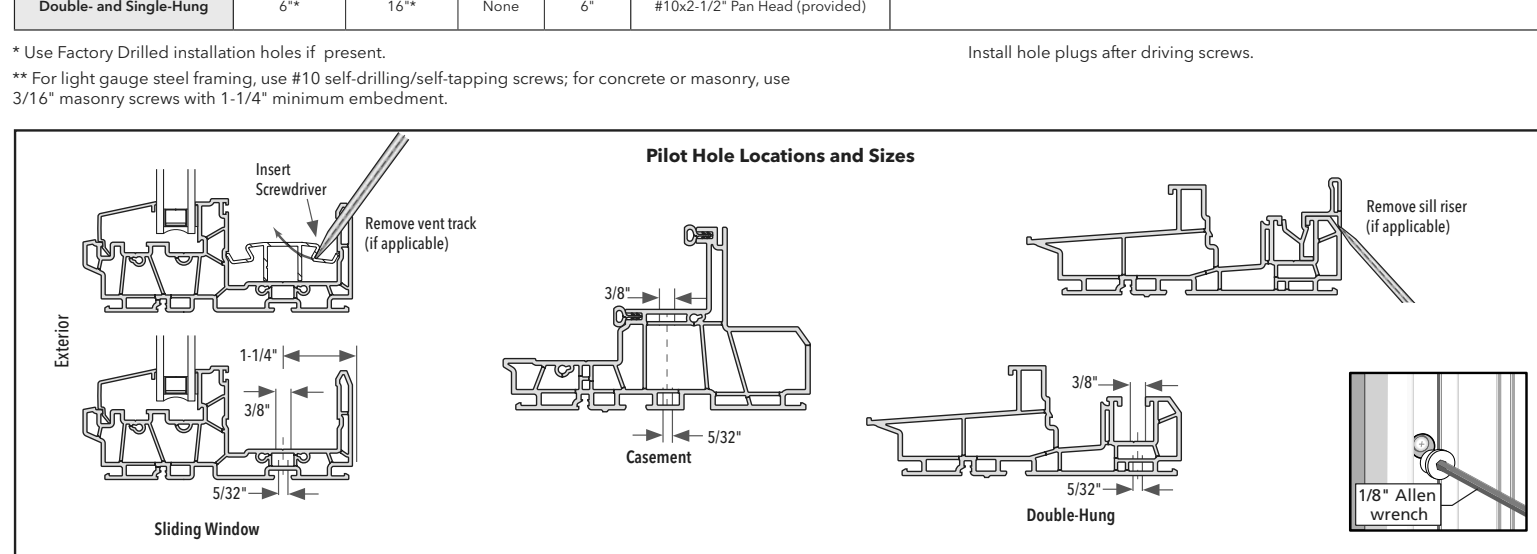
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed (Single-Hung)	6"	16"			#8 x 2 1/2" Pan Head (provided)	Installation clips required for anchoring at the sill.
Double-Hung	6"	16"			#8 x 2 1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Casement/Awning / Vent and Fixed	6"	16"			#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Direct Set	6"	15"			#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).



PELLA® 350 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double- and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

Use Factory Drilled Installation Holes If Present. Install hole plugs after driving screws.
* For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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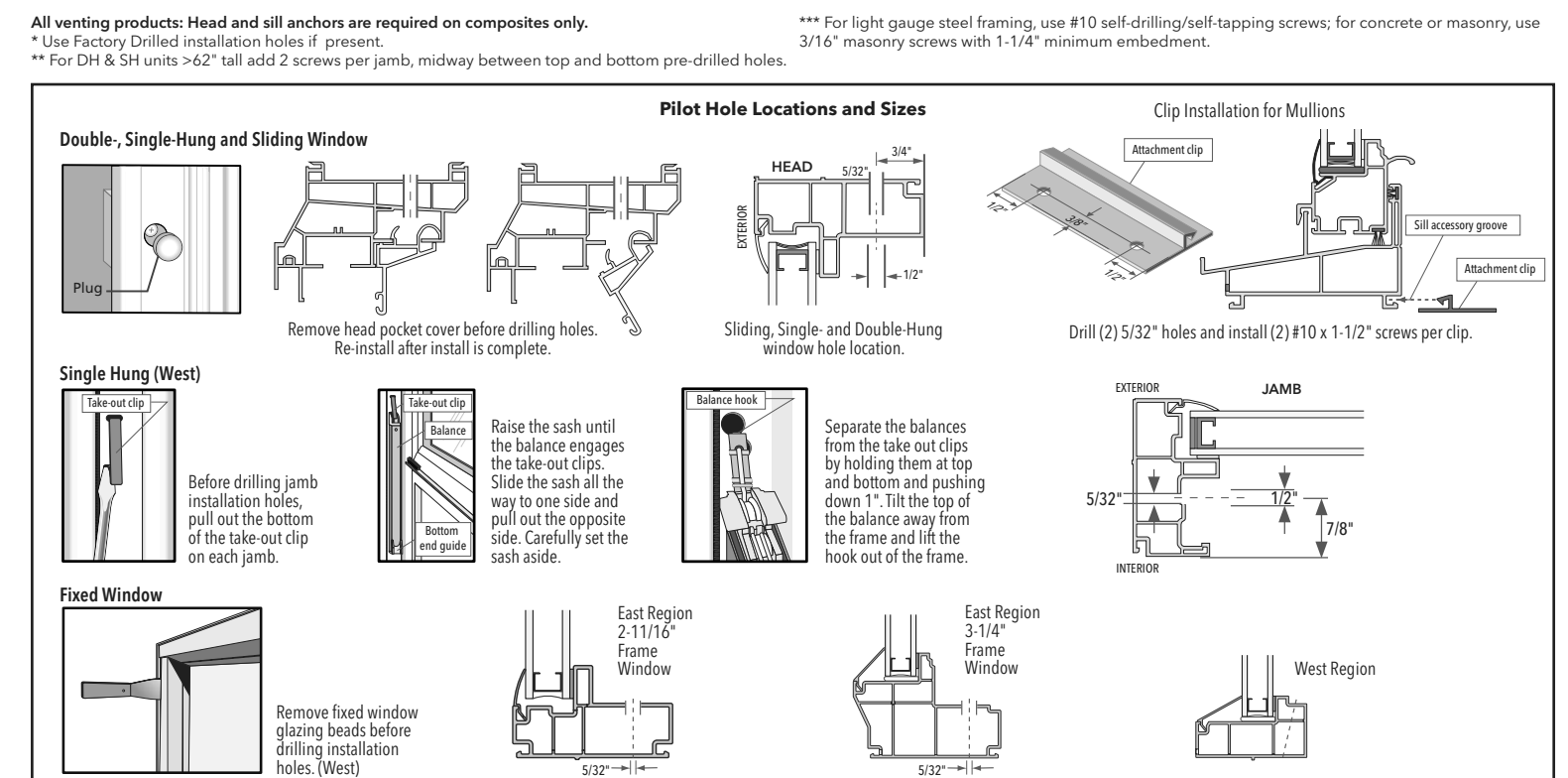
BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® / PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1 1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1" clip below the meeting rail.
Single-Hung (East)	6"	16"	3"	6"	#8 x 2 1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double-Hung (East)	6"	16"	4"	8"	#10 x 2" Pan Head (provided)	High Performance DH (S) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (#4) #8 x 2" screws at head mullion ends and 4 clips at sill mullion ends. 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a P250 Performance Install.
Fixed Window	4"	16"	4"	None	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

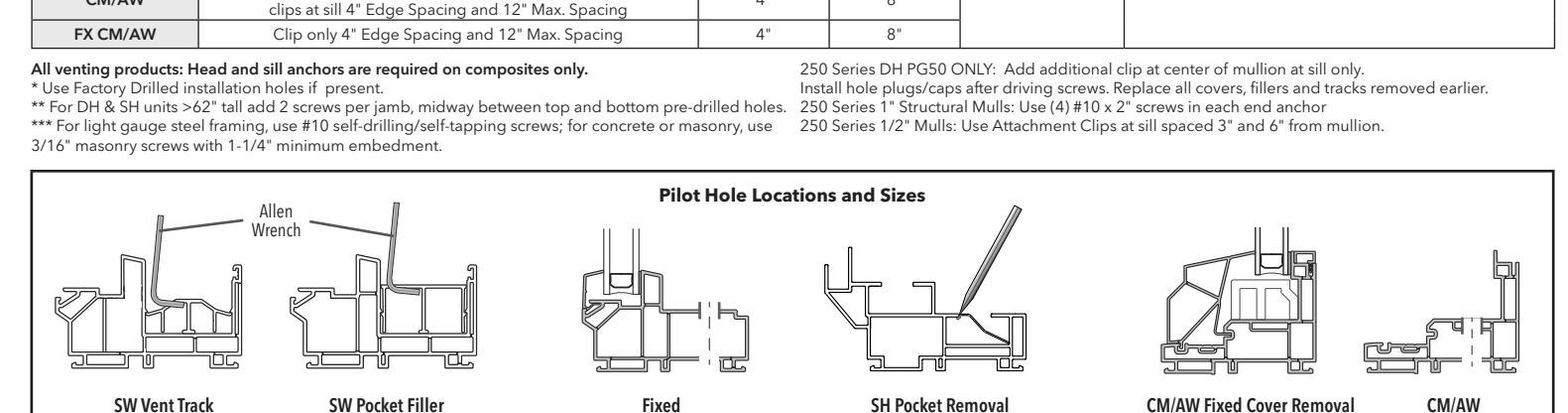
All venting products: Head and sill anchors are required on composites only.
* Use Factory Drilled Installation Holes If Present.
** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.
*** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
DH/SH (single units)	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes for a P250 Performance Install.
DH / DH / FX	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW P250	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CMIAW	4"	16"	4"	6"	#8 x 3" Pan Head (provided)	
FX CMIAW	4"	16"	4"	6"	#8 x 3" Pan Head (provided)	Clip only 4" Edge Spacing and 12" Max. Spacing

All venting products: Head and sill anchors are required on composites only.
* Use Factory Drilled Installation Holes If Present.
** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.
*** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.
250 Series DH P250 ONLY: Add additional clip at center of mullion at all only.
Install hole plugs/caps after driving screws. Replace all covers, fillers and tracks removed earlier.
*** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.
*** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.
250 Series 1" Structural Mullion: Use (#4) #10 x 2" screws in each end and anchor.
250 Series 1 1/2" Mullion: Use Attachment Clips at all spaced 3" and 6" from mullion.

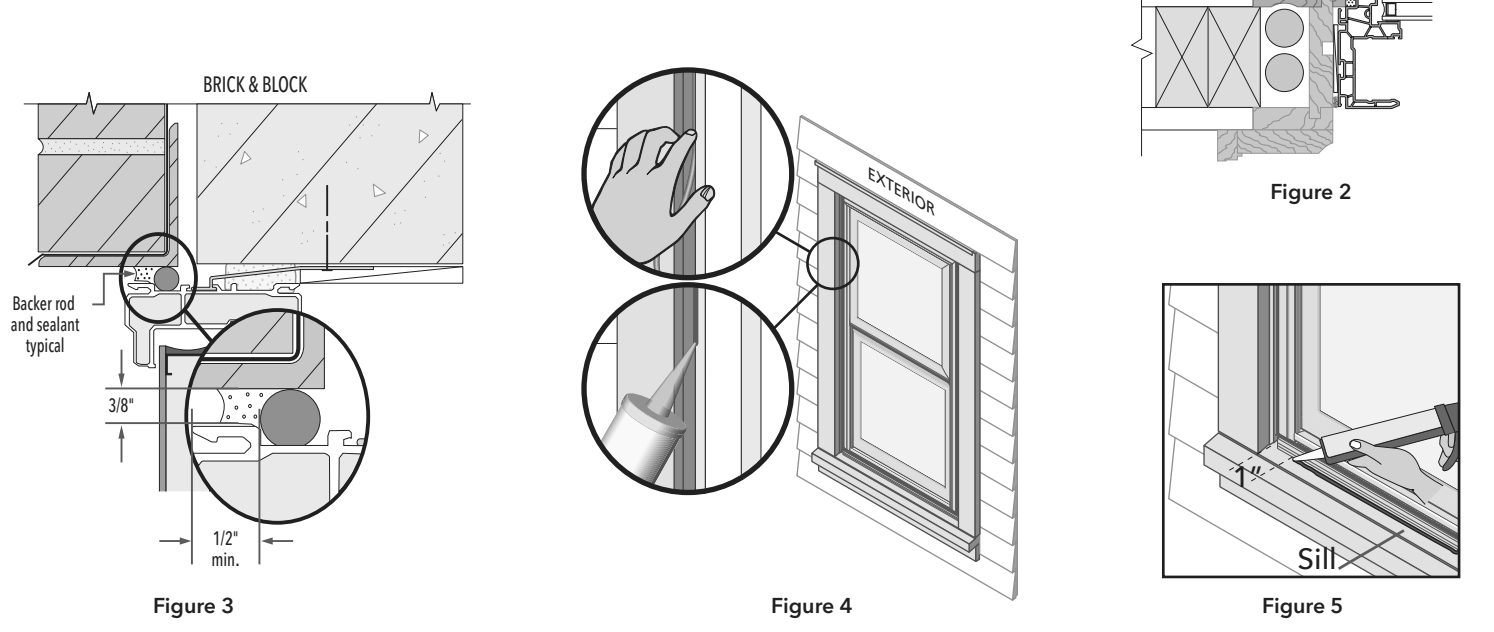
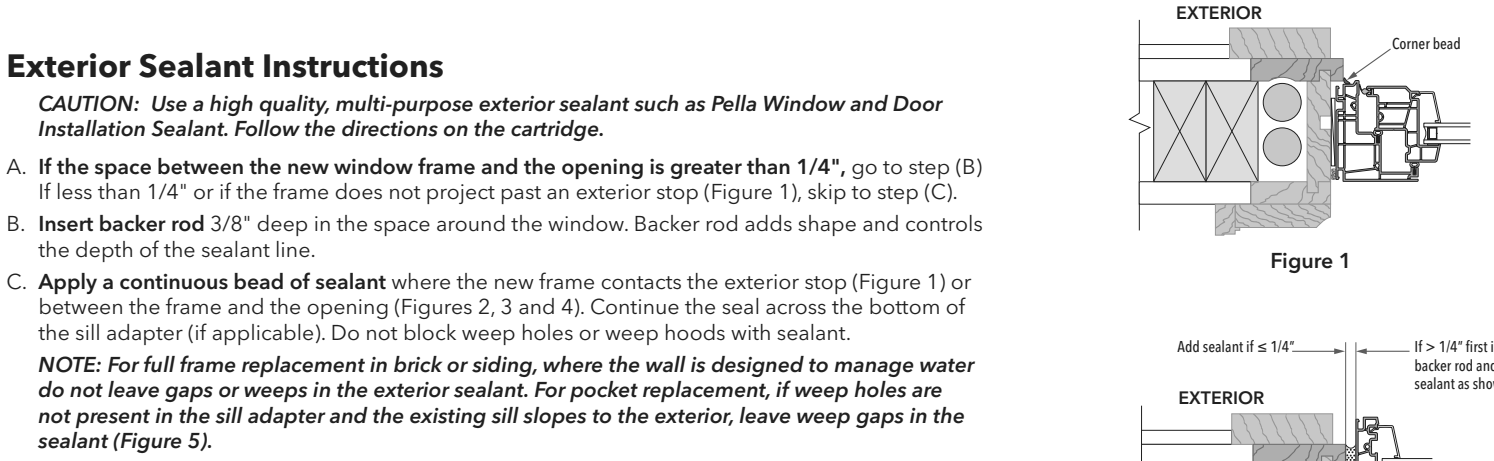
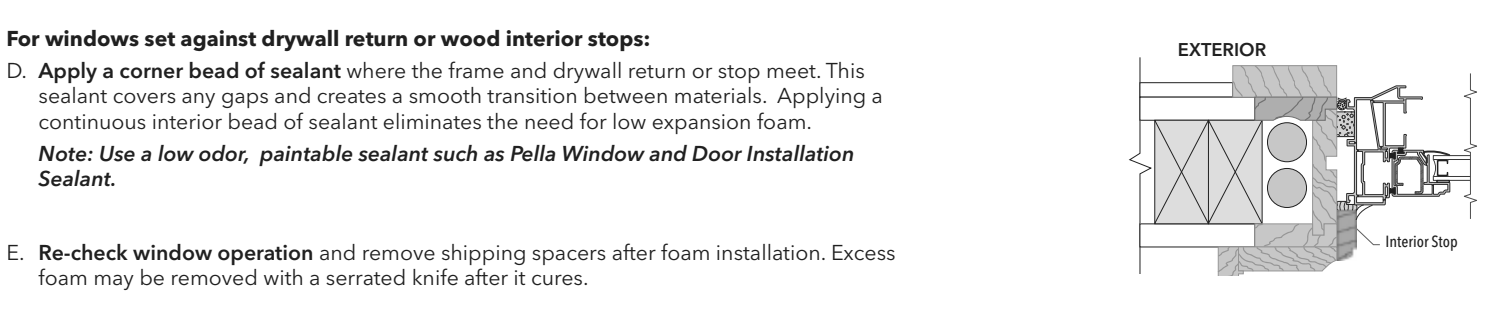
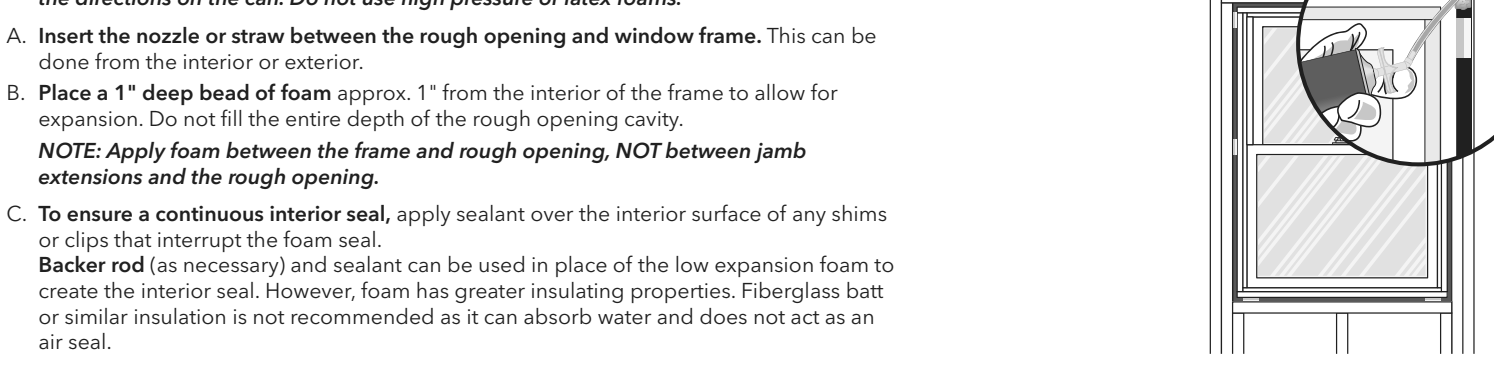


BFRPF - 19 Revised 07/13/2021



INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

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BFRPF - 20 Revised 07/13/2021

Fukui Architects Pc

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Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1242 WEST NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

WINDOW REMOVAL / REPLACEMENT (PELA)

scale As Noted	Sheet No. A11 Project #2006
date May 6, 2022	
no. 12	of. 12

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics

Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.

Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- Enterprise Green Communities - 2020
- LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) - Silver
- LEED v4 BD+C Multifamily Midrise - Silver OR
- LEED v4 BD+C New Construction & Major Renovation - Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard - Silver

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 208

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The preservation development will achieve certification under one of the green building standards indicated below:

- Enterprise Green Communities - 2020 Moderate Rehab
- LEED v4 O+M - Multifamily - Certified
- ICC 700-2020 National Green Building Standard Under Section 305.2 - Whole Building Rating - Bronze
- ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional Areas Rating - Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be selected)

- The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.pnhus.org or www.passivehouse.com for additional guidelines.)
- To qualify for these points, the applicant must contract with a certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUPF Passive (WUP) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WUP to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/floor/ceiling construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. **Passive House certification is required.**
- *Qualified as defined as having completed a minimum of two similar Passive House buildings or an independent certified consultant working under the supervision of a qualified consultant.

- Substantial Rehabilitation:
 - For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
 - For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)
- Preservation (Moderate Rehab) *:
 - For 100% electric dwellings/buildings: HERS Index of 80 or less (without solar PV)
 - For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

New Construction

- For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehabilitation:

- For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)
- For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

Note:

- Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program for verification for these points but must follow the MHRH program to achieve the Energy Star® label.
- All HERS indices shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 210

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Accessible Housing

As the DESIGN ARCHITECT, I certify that:

- To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.

- The Fair Housing Act of 1988 & Fair Housing Design Manual
 - ANSI A117.1-2009 (or edition currently adopted by the PA ULC)
 - Pennsylvania Uniform Construction Code
 - Uniform Federal Accessibility Standards (UFAS)
 - Section 504 of the Rehabilitation Act of 1973
 - 2010 ADA Standards for Accessible Design
 - Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)
- NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

Accessible Units

For New Construction and Substantial Rehabilitation Developments: As the design architect, I hereby certify that I either have designed or will design the referenced development to include the following number of units that meet current accessibility standards.

- Number of accessible units required under local mandate: _____
- Number of accessible units required under state mandate: _____
- Number of accessible units required under federal mandate: _____
- Number of fully accessible units provided: _____

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

- Number of existing fully accessible units (by current standards): 0
- Number of fully accessible units provided: 5

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 211

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Large Family Units

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:

71	Total units	>15 - 20% of all units
43	Total number of affordable 3 or more-bedroom units	>20 - 25% of all units
X	>15-16% of all units (suburban/hurricane developments only)	>25% of all units

DESIGN ARCHITECT

Signed: _____ Date: 4/9/2021
 Print: Fuku Architects, PC
 Firm: Fuku Architects, PC

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____
 Print: _____
 Signed: _____ Date: _____
 Print: _____

Number of accessible units required under local mandate: _____
 Number of accessible units required under state mandate: _____
 Number of accessible units required under federal mandate: _____
 Number of fully accessible units provided: _____

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

- Number of existing fully accessible units (by current standards): 0
- Number of fully accessible units provided: 5

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 212

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply.) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

Development Amenities

As the DESIGN ARCHITECT, I certify that:

- An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, as to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (includes Preservation)
- An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments.)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 215

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Unit Amenities

As the DESIGN ARCHITECT, I certify that:

See Tab 29 Waiver Request

The net area of all dwelling units must fall within the limits listed below. (Net area is measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.) Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

	FLATS	MULTI-FLOOR UNITS
SFO	90 to 200 s.f.	
EFF	400 to 800 s.f.	
2 BR	800 to 950 s.f.	850 to 950 s.f.
3 BR	1,100 to 1,350 s.f.	1,100 to 1,300 s.f.
4 BR	1,350 to 1,550 s.f.	1,400 to 1,550 s.f.
5 BR	1,300 to 1,750 s.f.	1,400 to 2,000 s.f.

- Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)
- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units; provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

Visibility

As the DESIGN ARCHITECT, I certify that:

- All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS indices shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
- All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS indices shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
- In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and ext signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical unit configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballasts, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or small utility LED bulbs.

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 216

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Fair Housing

- New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable.
- The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards Guide.
- Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009.

Energy Conservation & Green Building Criteria

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures:

- All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS indices shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
- All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS indices shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
- In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plans shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

- In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and ext signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical unit configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballasts, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or small utility LED bulbs.

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 217

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning conditioning units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided). In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

- When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists.

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

- No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- Termite shields or locale based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatments shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 218

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I certify that for preservation developments:

The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria.)

Enterprise Green Communities Criteria for Preservation Developments

Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the following mandatory 2015 Green Communities criteria, as amended:

- 3.1 Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements)
- 3.2 Minimization of Disturbance during Stepping and Construction (Applicable only to new ground disturbance)
- 3.3 Ecosystem Services/Landscaping (applicable only to new landscaping)
- 4.1 Water-Conserving Fixtures (Applicable only to new fixtures)
- 5.0 Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)
- 5.6 Energy Star Appliances (Applicable only to new appliances)
- 5.8 Lighting (Applicable only to new lighting fixtures)
- 6.4 Healthier Material Selection (Applicable only to new paints, coatings and primers)
- 6.6 Bath, Kitchen Utility Surfaces
- 6.8 Managing Moisture Foundations (Applicable to new addition foundations)
- 6.9 Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)
- 7.3 Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only.)
- 7.5 Integrated Pest Management (Applicable only if identified as a problem in the PCNA)
- 8.1 Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements)
- 8.2 Emergency Management Manual (Follow Enterprise requirements)

Home Ownership

- The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook-ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided.

Flood Plain Certification

As the DESIGN ARCHITECT, landscape architect or civil engineer I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is: (Check all that apply.)

- Outside any flood area
- Inside a 500 year flood area
- Inside a 100 year flood area

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 219

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Smoke Free Development

As the APPLICANT, I certify that:

- At construction completion, a policy prohibiting the use of tobacco products in all dwelling units, common areas, other buildings that are a part of the development and within 25 feet of all buildings in the development will be implemented.

Energy Rebate Analysis (ERA)

A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts will be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. The energy rebates are not basis eligible and will be removed from basis on a tax credit development. Prior to closing the development will be required to submit an updated ERA which includes:

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations;
- d) Letters, program data information, or other documentation from utility providers to support noted programs; and
- e) If renewable energy strategies are proposed, a cost/benefit analysis.

Signed: _____ Date: 4/9/2021
 Print: Fuku Architects, PC
 Firm: Fuku Architects, PC

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____
 Print: _____

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 220

2.03 DEVELOPMENT/TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: _____

Design Architect (Signature): _____ Date: 10/18/2021

- 1. Number of Buildings: 56
- 2. Building Height (Stories): 3 to 4 stories
- 3. Building Code: IBC IRC/C Construction Type: III-B or V-A
- 4. Structural System: Wood Joists to 2x4 framing or masonry
- 5. Exterior Finish: Brick or vinyl
- 6. Gross Building Area*: 148,586
- 7. Gross Commercial Area (SFR): _____ Percentage of Gross Building Area: 0%
- 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only
- 9. Required Variances: N/A
- 10. Applicable Accessibility Regulations: Section 504 U.F.A.S./ PA.U.C.C. FHAA ADA

Unit/Room Type	No. of Units	Accessible Units		Adaptable Units		Net SF**	Gross SF*
		ADA	HV	ADA	HV		
SRO	0						

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1403 PAGE STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS
SELECTION CRITERIA
THRESHOLD CRITERIA TABULAR SCHEDULE
A1 COVER SHEET
ARCH PRLIM SET CODE AND CONTACT INFO MANCHESTER SCATTERED SITES MAP
A2 ABBREVIATIONS AND MATERIALS
ABBREVIATIONS AND MATERIALS DOOR TYPES WINDOW SCHEDULE DOOR SCHEDULE (WITH EXISTING) BRICK WALL SECTION SIDING WALL SECTION FINISH SCHEDULE INTERIOR STAIR DETAIL
A3 SCOPE/ GENERAL/ GREEN COMMUNITIES NOTES
GENERAL NOTES ENERGY NOTES
A4 SITE PLAN AND ROOF PLAN
ROOF SITE PLAN ROOF AND SITE PLAN LEGEND ROOF PLAN NOTES GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES
A5 FLOOR / DEMO PLANS
GENERAL DEMOLITION NOTES DEMOLITION PLAN LEGEND SMALL UNIT KEYNOTES FIRST FLOOR / DEMO PLAN BASEMENT / DEMO PLAN THIRD FLOOR / DEMO PLAN SECOND FLOOR / DEMO PLAN GRAPHIC SCALES
A6 FLOOR/FINISH/MECH/PLUMB. PLANS
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN BASEMENT/FINISH/MECH./PLUMB. PLAN FLOOR PLAN LEGEND GRAPHIC SCALES THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SECOND FLOOR /FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES
A7 REFL. CLG. / POWER / DATA PLANS
SMALL UNIT KEYNOTES RCP LEGEND LIGHTING SCHEDULE FIRST FLOOR REFL. CLG/ POWER / DATA PLAN BASEMENT REFL. CLG/ POWER / DATA PLAN GRAPHIC SCALES THIRD FLOOR REFL. CLG/ POWER / DATA PLAN SECOND FLOOR REFL. CLG/ POWER / DATA PLAN
A8 ELEVATIONS
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A9 KITCHEN ENLARGED PLANS AND ELEVATIONS
FIRST FLOOR KITCHEN ENLARGED PLAN KITCHEN ELEVATION01 KITCHEN ELEVATION02
A10 DETAILS
DECK ENLARGED DETAILS WOOD FENCE DETAIL DECK SECTION DETAIL EXTERIOR DOOR THRESHOLD WINDOW INSTALLATION UNDER VINYL SIDING

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13

General Building / Project Information	Level-2 alteration per the IEBC
Classification of Work:	"R-2"
Occupancy Group:	3 story with basement
Stories:	2,556-sqft
Gross Area:	V
Construction Type:	None
Sprinklers:	6
Smoke detector:	

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



3 MANCHESTER SCATTERED SITES MAP
SCALE: 1/128" = 1'-0"

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

©2022 Fukui Architects, Pc

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET PITTSBURGH PA
15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**ARCH PRLIM SET, CODE AND
CONTACT INFO, MANCHESTER
SCATTERED SITES MAP**

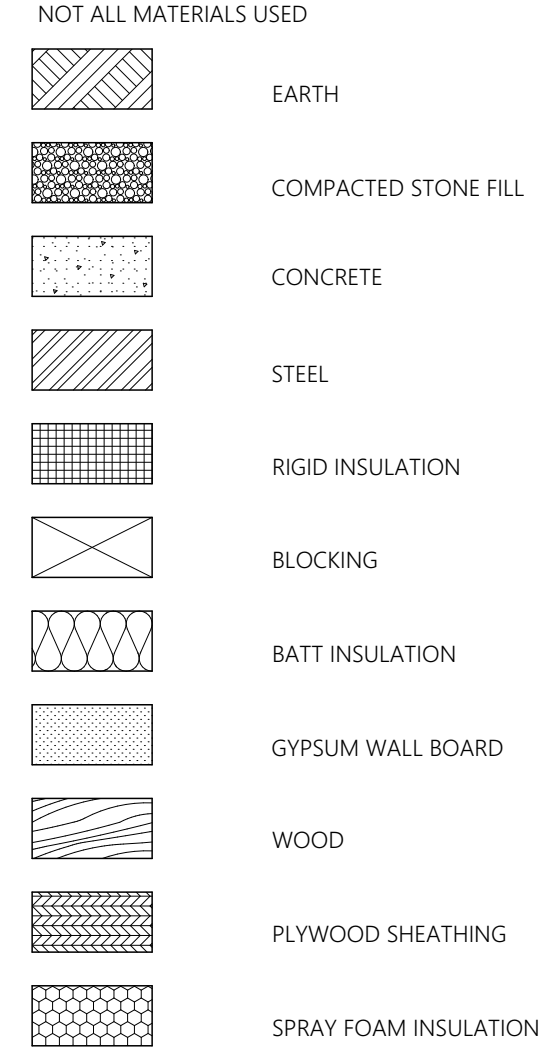
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of.	12

Sheet No.

A1

Project #2006

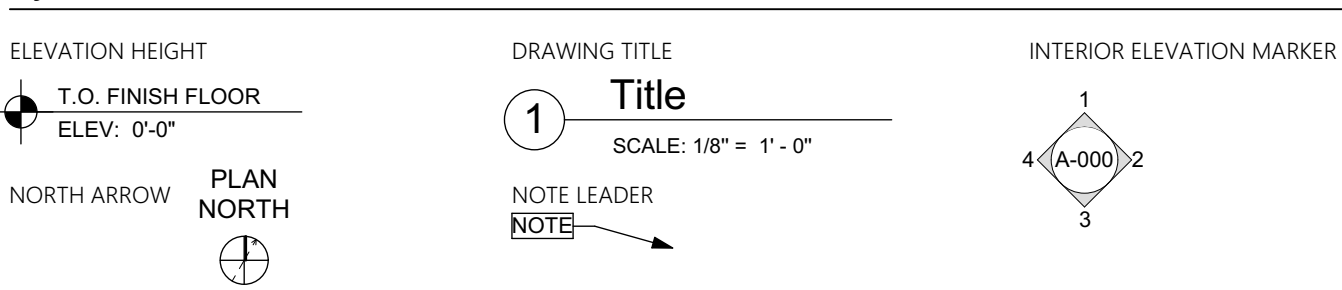
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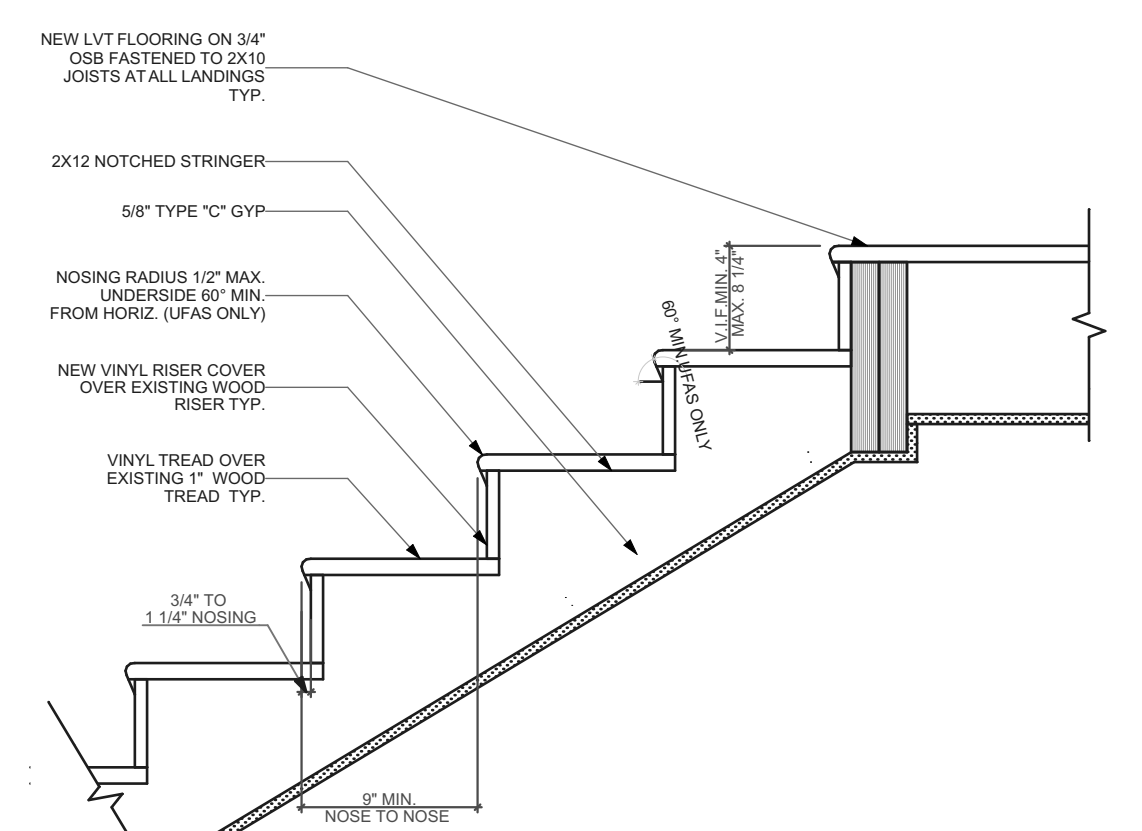
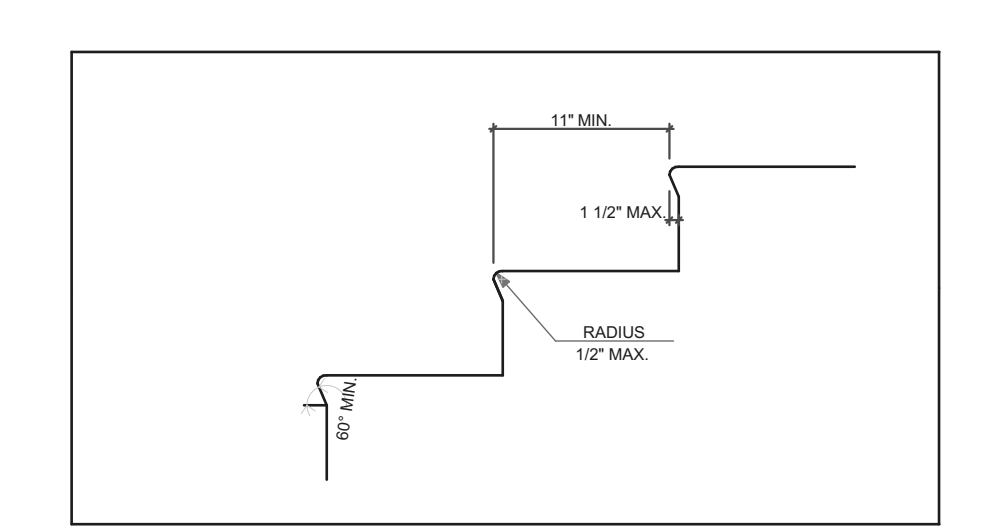
Abbreviations

A.F.F. Above Finish Floor	ELEV. Elevation	MISC. Miscellaneous
A.P. Access Panel	EQUIP. Equipment	N.I.C. Not In Contract
ACOUST. Acoustical	EXHAUST Fan	N.T.S. Not To Scale
A.C.T. Acoustical Ceiling Tile	EXIST. Existing	O.C. On Center
ADH. Adhesive	EXP. Expansion	OPP. Opposite
ADJUST. Adjustable	E.J. Expansion Joint	O.H. Overhead
A/C Air Conditioning	ESH Existing Sheathing	PR. Pair
ALT. Alteration	EXIST. Existing	PLAS. Plaster
ALTN. Alternate	EXP. Exterior	PLAS LAM. Plastic Laminate
ALUM. Aluminum	E.I.F.S. Exterior Insulation & Finish System	P.C. Plumbing Contractor
A.O.R. Area of Refuge	F.R.P. Fiberglass Reinforced Polyester	P.LY.W.D. Plywood
APPROX. Approximate	FIN.FL. Finish Floor	POLY. Polyethylene
ARCH. Architectural	F.F. Finish Floor	P.V.C. Polyvinyl Chloride
ASB. Asbestos	F.A.C.P. Fire Alarm Control Panel	PREF-FAB. Prefabricated
ASPH. Asphalt	F.E. Fire Extinguisher	RE. Refer To
AUTO. Automatic	FLR. Floor	R. Refrigerator
AVG. Average	F.D. Floor Drain	REF. Reinforced Concrete Pipe
BLK. Block	FT.G. Footing	REINF. Reinforcement
BD. Board	GA. Gauge	R.D. Roof Drain
BOT. Bottom	G.C. General Contractor	RM. Room
BLDG. Building	G.F.I. Ground Fault Interrupter	S.A.T. Suspended Acoustical Tile
C.I.P. Cast In Place	GYP. Gypsum	SCHED. Schedule
C.B. Catch Basin	G.W.B. Gypsum Wall Board	SHT. Sheet
CEM. Cement	GSH. Gypsum Sheathing	SIM. Similar
CER. Ceramic	H/V. Handicap	S.C. Solid Core
CG. Corner Guard	H.V.A.C. Heating, Ventilation & Air Conditioning	SPEC.S. Specifications
C.M.T. Ceramic Mosaic Tile	HT. Height	SQ. Square
C.W.I.T. Ceramic Wall Tile	HC. Hollow Core	S.F. Square Foot
C.O. Cleanout	H.M. Hollow Metal	S.S. Stainless Steel
CL. Center Line	HORIZ. Horizontal	STL. Steel
CLO. Closet	HR. Hour	STOR. Storage
C.W. Cold Water	H.W. Hot Water	STRUCT. Structural
CLG. Ceiling	IN. Inch	TEL. Telephone
CLR. Clearance	I.M. Insulated Metal	THK. Thick
COL. Concrete	INSUL. Insulation or Insulated	T.B.D. To Be Determined
CONC. Concrete	INT. Interior	T&G Tongue & Groove
C.M.U. Concrete Masonry Unit	INV. Invert	T.O. Top Of
CONT. Continuous	ISO. Isolation	T.O.S. Top Of Steel
CORR. Corridor	JAN. Janitor's Closet	TYP. Typical
C.M.P. Corrugated Metal Pipe	J.T. Joint	UNFIN. Unfinished
CRS. Courses	LAM. Laminate	U.N.O. Unless Noted Otherwise
DIA. Diameter	LAV. Lavatory	V.B. Vapor Barrier
DET. Detail	LG. Long	VERT. Vertical
DGL. Dens Glass Gold	M.D.F. Medium Density Fiberboard	VEST. Vestibule
DR. Door	M.D.H. Magnetic Door Holder	V.C.T. Vinyl Composition Tile
DN. Down	M.H. Manhole	V.I.F. Verify In Field
D.S. Downspout	MFRG. Manufacturer	W.H. Water Heater
DWG. Drawing	MAX. Maximum	W.R.B. Water Resistant Barrier
D.F. Drinking Fountain	MECH. Mechanical	W.W.F. Welded Wire Fabric
D.I.P. Ductile Iron Pipe	MET. Metal	WIN. Window
EA. Each	MIN. Minimum	W. With
E.W. Each Way		W/O. Without
ELEC. Electrical		WD. Wood
E.C. Electrical Contractor		
EL. Elevation		

Symbols



1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL

SCALE: 1\"/>

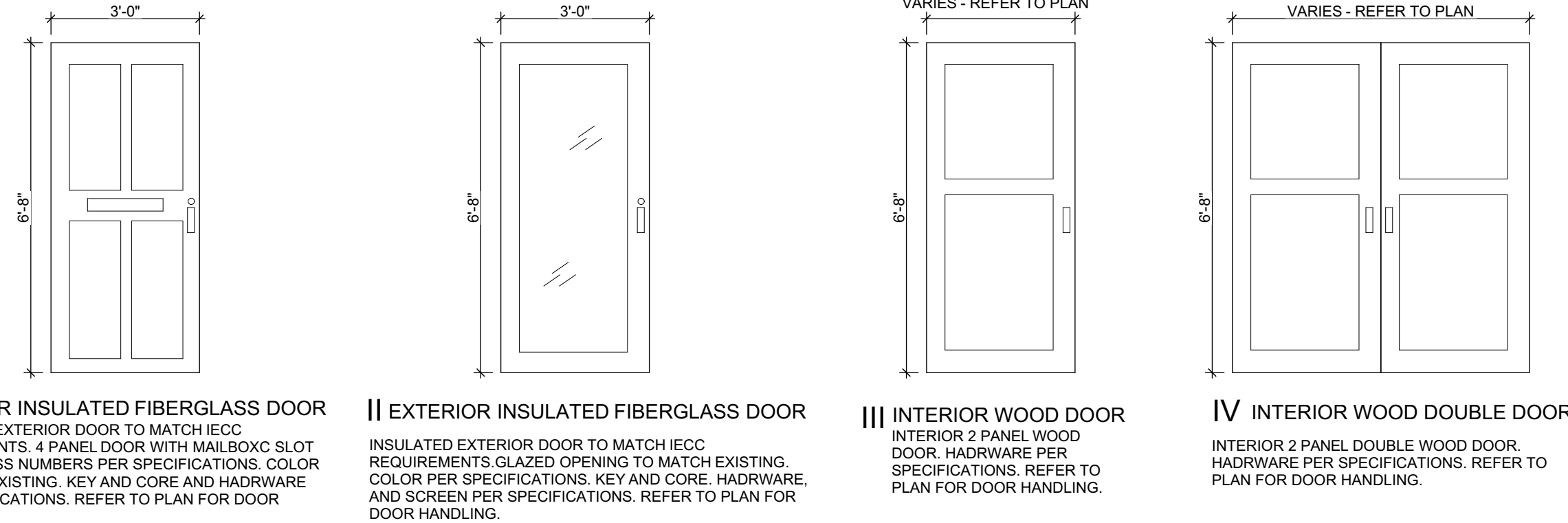
WINDOW SCHEDULE						
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	WIDTH	HEIGHT				
B	2'-9"	2'-0"	8'-0"	<Undefined>	<input type="checkbox"/>	<input type="checkbox"/>
B	2'-9"	5'-0"	7'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C	3'-0"	7'-0"	7'-1 1/4"	FIBERGLASS	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E	5'-7"	5'-0"	7'-7"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	2'-9"	4'-4"	6'-9"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	2'-9"	4'-6"	6'-9"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G	5'-6"	4'-6"	7'-0"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I	2'-4"	4'-1"	6'-11"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE						
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)	
1	3'-0"x7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY	
2	3'-0"x7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY	
3	2'-8"x6'-8"	III	WOOD	WOOD	PASSAGE	
4	2'-0"x6'-8"	III	WOOD	WOOD	PASSAGE	
5	2'-0"x6'-8"	III	WOOD	WOOD	PRIVACY	
6	3'-0"x6'-8"	III	WOOD	WOOD	PRIVACY	
7	2'-4"x6'-8"	III	WOOD	WOOD	PRIVACY	
8	2'-6"x6'-8"	IV	WOOD	WOOD	DUMMY	
9	4'-0"x6'-8"	IV	WOOD	WOOD	PASSAGE	
10	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE	
11	2'-6"x6'-8"	III	WOOD	WOOD	PASSAGE	

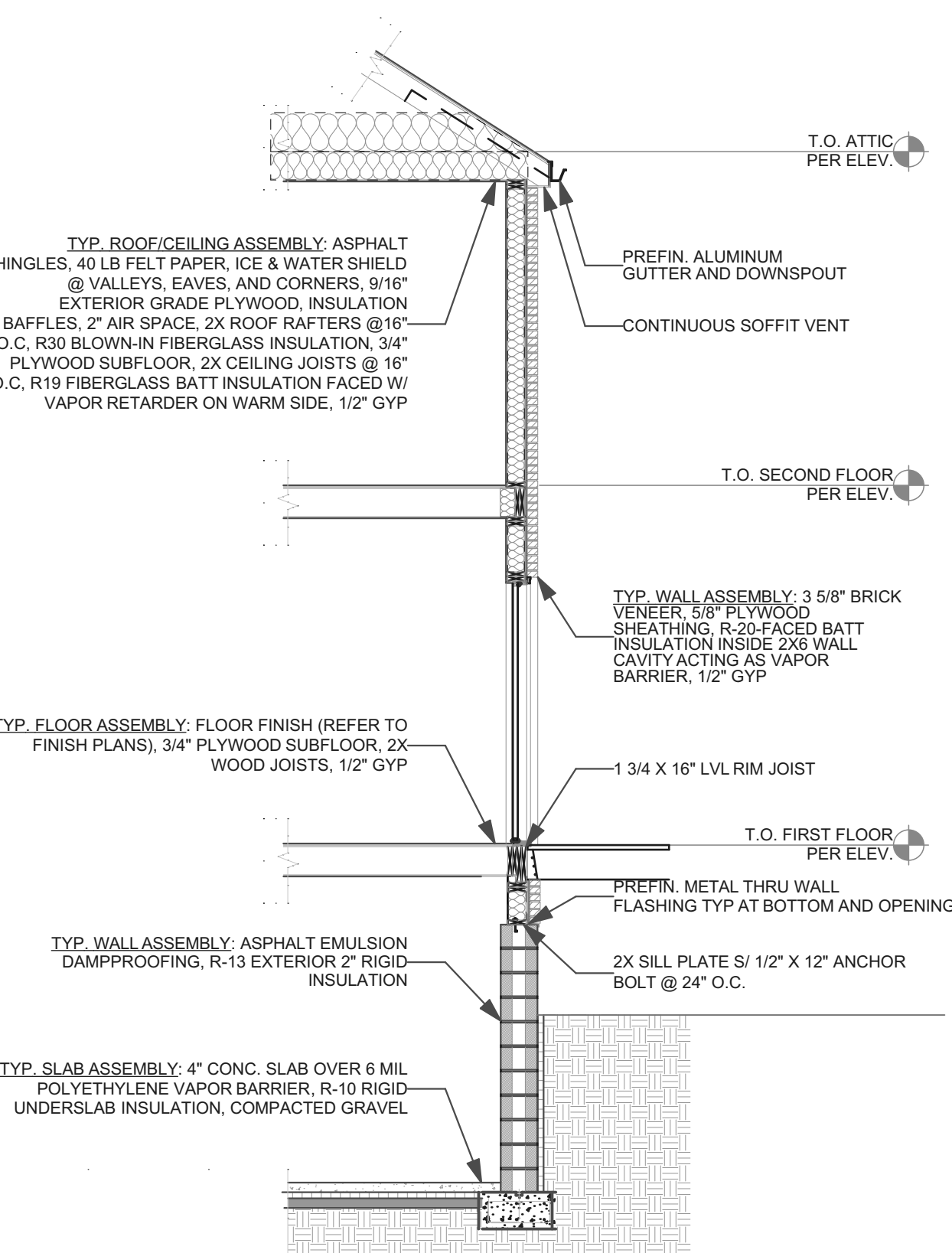
ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



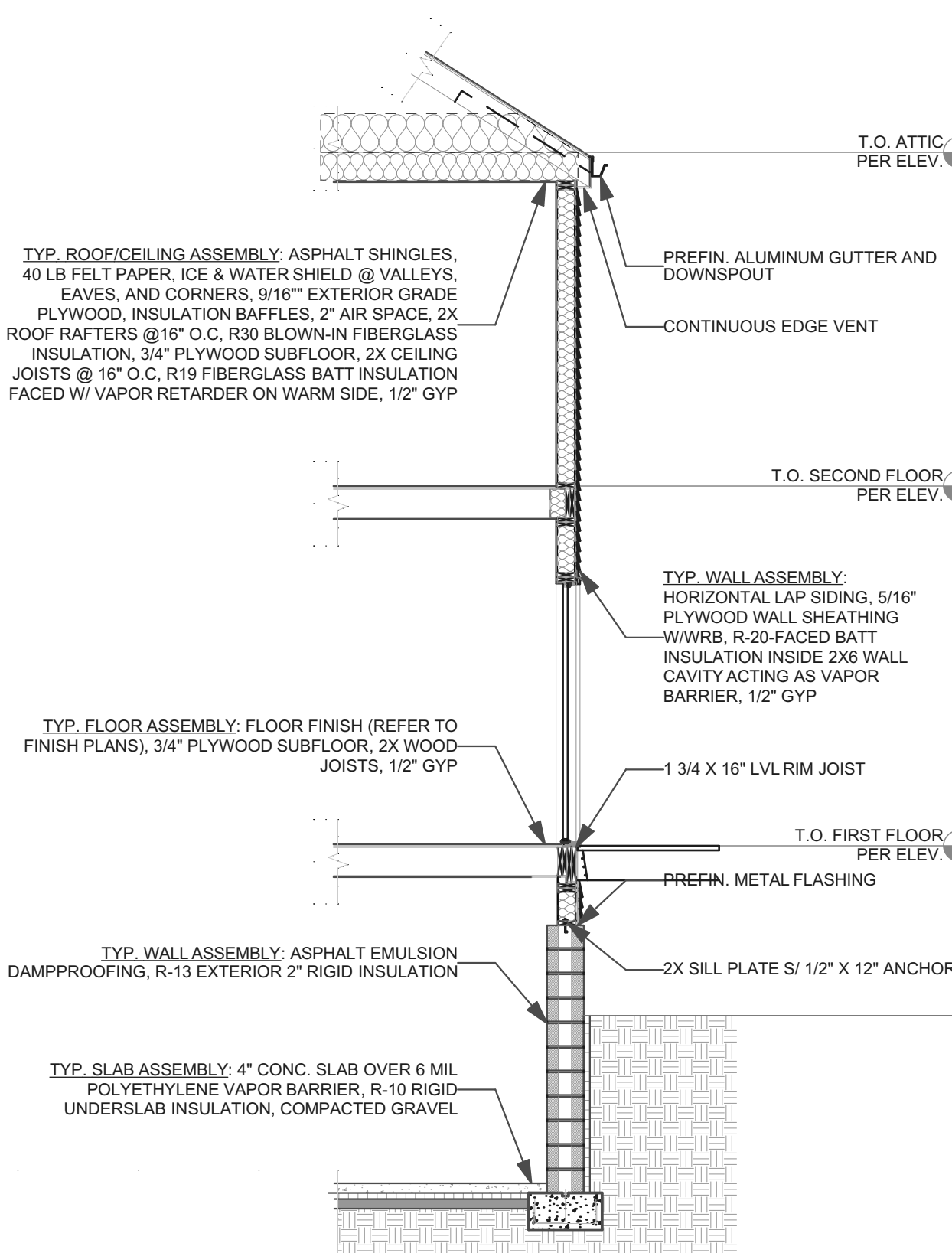
THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION



- general notes**
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukai Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
- revisions**

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET PITTSBURGH PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1403 PAGE STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

GENERAL FLOOR PLAN NOTES

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS.
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR, REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACF. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES.
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACF'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. ALL TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACF'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS.

HAZARDOUS NOTES

- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT, AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

- 1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- 2. INTERIOR DOORS, HARDWARE, AND DOOR TRIM, WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL, SCHEDULE FOR MORE INFORMATION.
- 3. WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CALKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- 7. GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPES, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 2005F
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS
- 13. DUCTWORK
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE, SINKS, AND COUNTERTOPS, BACKSPLASH, NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS.
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICATIONS.
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES. PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O.:

- 1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- 2. INTERIOR DOORS, HARDWARE, AND DOOR TRIM, WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL, SCHEDULE FOR MORE INFORMATION.
- 3. WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CALKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- 7. GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPES, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 2005F
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS
- 13. DUCTWORK
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE, SINKS, AND COUNTERTOPS, BACKSPLASH, NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS.
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICATIONS.
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES. PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET.

- 1. PARKING PADS
- 2. CONCRETE STEPS AND SIDEWALKS
- 3. INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- 5. EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS
- 7. FIRE ALARM SYSTEMS

PLUMBING SCOPE NOTES

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATING WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS.
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR, 8" DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC50R APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM. REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P5. DISCONNECT AND REMOVE EXISTING BATH TUB (WITH OR WITHOUT SHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATH TUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWL TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLE TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW HOSE-BIBB. SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10. EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11. INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISTING SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12. INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR / REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13. INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISTING FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMP LOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISTING STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14. ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER).

MECHANICAL SCOPE NOTES

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TOWARD CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPER OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED. SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW WOODS DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET, PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE UNIT TRAP ASSEMBLY. SEE SPECIFICATIONS.

ELECTRICAL SCOPE NOTES

- E1. CONTRACTOR SHALL REPLACE EXISTING ELECTRICAL PANELS AS REQUIRED WITH NEWER SPECIFICATIONS. FIELD VERIFY CONDITION AND SIZE OF EACH BRANCH CIRCUIT AND PROVIDE NEW CIRCUIT BREAKERS AND/OR WIRING AS REQUIRED. ENSURE NEVELECTRICAL PANEL IS IN COMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENT SPACE CLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING, INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACY LED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEW LED LIGHT FIXTURES AND 3-WAY SWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSING LIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLE (FC) LEVELS/COVER EXISTING STAIRWAYS SHALL BE NO LESS THAN THE RECOMMENDED FC LEVELS FROM NFPA 101, LIFE SAFETY CODE.
- E6. ALL ELECTRODE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED IN ACCORDANCE WITH THE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES / JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR / REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DETECTOR WITH NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTOR FIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL. ARE INSTALLED IN ACCORDANCE WITH THEN E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/OR SERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES, LIGHT SWITCHES, LUMINAIRES, ETC., BEING INOPERABLE.
- E10. FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARM PER SPECIFICATIONS.
- E11. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING GAS-FIRED FURNACE TO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12. ELECTRICAL CONTRACTOR SHALL RECONNECT & INSTALL BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E13. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

ELECTRICAL SCOPE NOTES

- E14. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW NEMA-3R, OUTDOOR, DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E15. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER CIRCUIT AND INSTALL BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.
- E16. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E18. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E19. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E20. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN E.C.
- E21. CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22. NEW APPLIANCES SUCH AS BUILT-IN DISHWASHERS AND TRASH COMPACTORS SHALL BE PERMITTED TO BE CORD-AND-PLUS CONNECTED WITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSE OF THE INSTALLATION INSTRUCTIONS OF THE APPLIANCE MANUFACTURER.
- E23. CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICAL PANEL BOARDS.
- E24. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ABANDONED LINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26. CONTRACTOR SHALL PREPARE / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

GREEN COMMUNITIES NOTES

- 1. MITIGATE ALL CONTAMINANTS FOUND.
- 2. IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBING FIXTURES MUST BE WATERSENSE CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- 4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFRIGERATORS TO BE ENERGY STAR RATED.
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR REDUCED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION.
- 8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM # 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WHICH ARE EXEMPT.
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS.
- 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION EQUIPMENT. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER-VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REPAIR ACHIEVES GRADE I INSTALLATION PER ANSII/AIA Z390.2. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C. FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST, ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT THE TIME OF PERMIT).
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATH AND VELOCITY OF RUNOFF WITH SILT FENCING OR COMPARABLE MEASURES. PROTECT ERPZs, ON-SITE STORM SEWER LINES, WATERCOURSES AND WATER BODIES WITH STRAW BALES, SILT FENCING, SILT SACKS, ROCK FILTERS, OR COMPARABLE MEASURES. PROVIDE SHOULDER PROTECTION AND PROTECT SIGNIFICANT AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION. HEALTHY TREES WITH A DIAMETER AT BREAST HEIGHT GREATER THAN 6", INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS), COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PLANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTURBED AREAS SHOULD BE PLANTED, SEEDED OR REVEGETATED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENTS AS DEFINED BY THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOT-CANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR BARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT), EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE: DARK SKY-APPROVED "FRIENDLY" FIXTURE "CERTIFICATION" AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THAT OSSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER.
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETEIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF MOLD.
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM # 6329 OR ASTM # 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHER RESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF LEAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENER.
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL ROOF INTERSECTIONS, MAINTAIN 3" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS. INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE.
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS.
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALANTS. DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT- AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH, ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

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scale

As Noted

no.

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drawing title

ENERGY NOTES, GENERAL NOTES

Sheet No.

A3

Project #2006

general notes

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- 3. All work shall be installed in accordance with applicable codes and regulations.
- 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright there to.

revisions

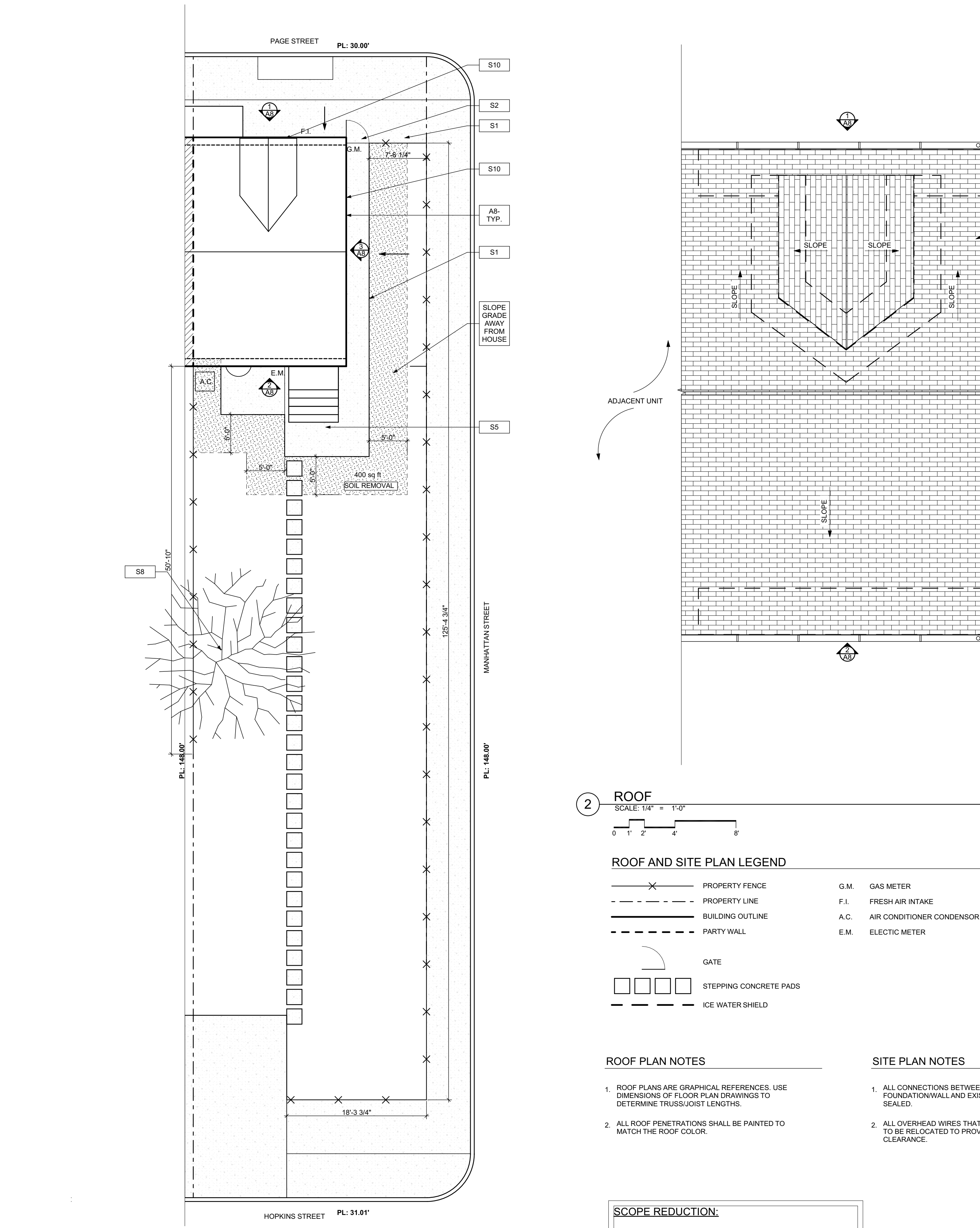
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project title

Owner:
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15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title



- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL TO EXTERIOR WALL OF SLOPE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SUBS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTH. TIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE. REPLACE AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS TO BE REPLACED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS AND TILE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND BRACE. COLUMN TO BE REINFORCED. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT ELECTRIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINATION SPACER TO MITIGATE MOISTURE CONTROL. ADD SPACER TO ALL FURNACE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET PITTSBURGH PA
15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale As Noted	Sheet No. A4 Project #2006
date May 6, 2022	
no. 5	of. 12

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BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale As Noted

date May 6, 2022

no. 6 of 12

Sheet No.

A5

Project #2006

SITE

- S17 AT LOCATION SHOWN, REMOVE ±" OF TOPSOIL. PROVIDE CLAY CAP AND REG. EX. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF FRAME SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTH. TIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 1% SLOPE. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE. PROVIDE CONCRETE PATCH TO BE SLOPED AWAY FROM HOUSE. MIN. 1% SLOPE. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
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- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PATCHES AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG 12" DEEP AT FOOTING. PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

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- A20 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACES AND JOISTS TO REPAIR OR REPLACE. REMOVE AND REPLACE TO MEET DESIGN AND/OR DETAIL SPECIFICATIONS FOR DETAILS.
- A21 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REMOVE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A22 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR AS NECESSARY. WHERE REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOW OR DOOR. PROVIDE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
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- A24 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A25 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
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- A28 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
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- A31 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A32 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A33 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A34 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P17 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P22 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY INSIDE AND EXTERIOR. PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M17 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M27 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED LOADS OR FURNACE.
- M37 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BURN IN SPACE TO MITIGATE MOISTURE CONTROLLED AREA. ADD DELIMITOR BURN IN SPACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M38 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYPED FOR REMOVAL/DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

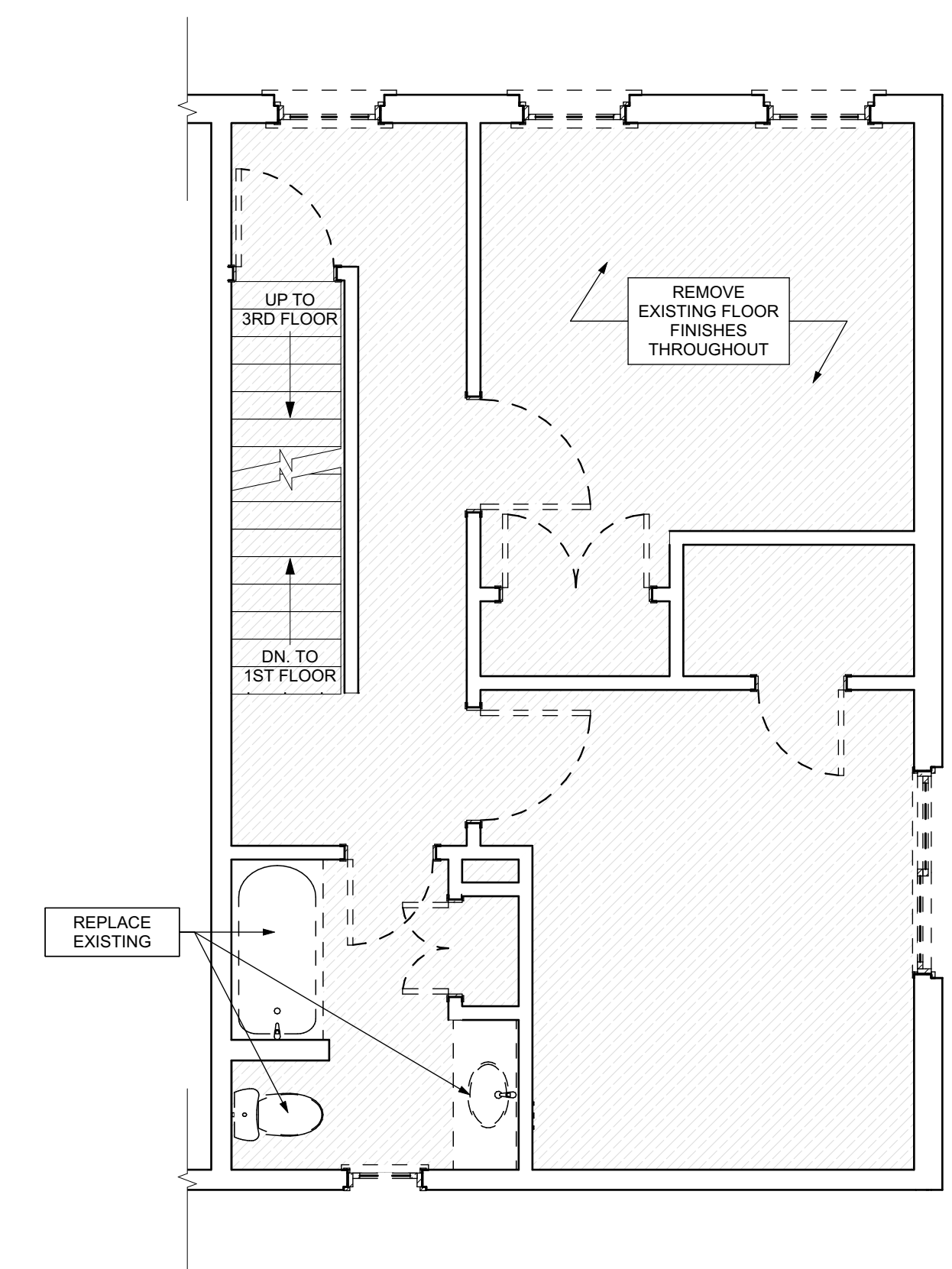
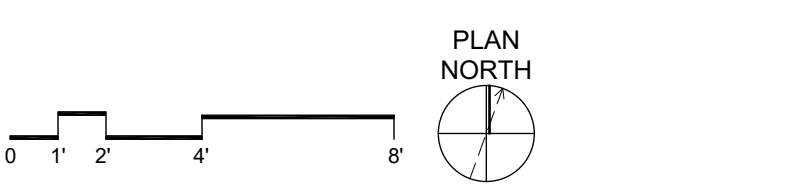
- [Hatched Area] DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- [Hatched Area] DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- [Box] FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

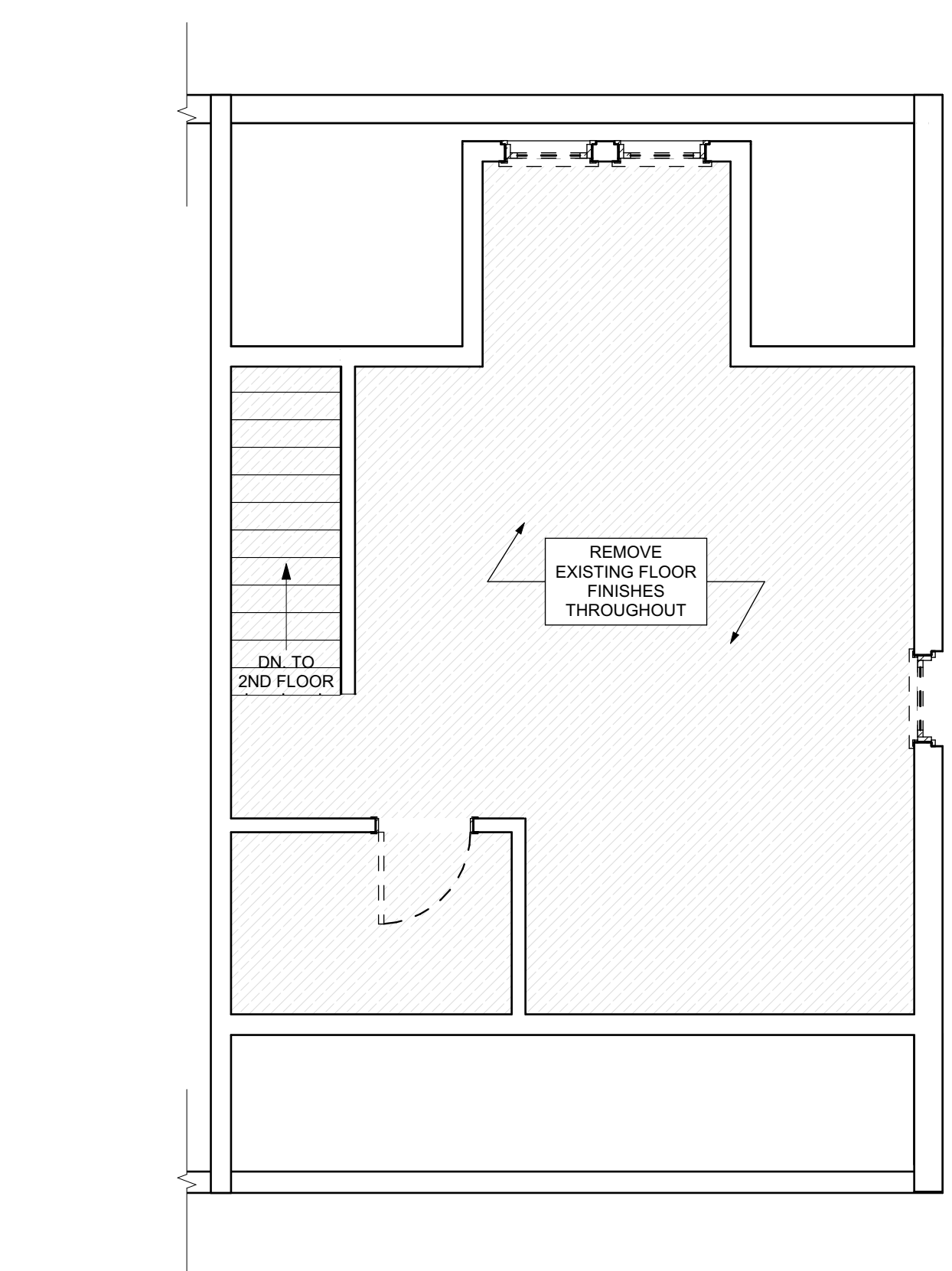
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

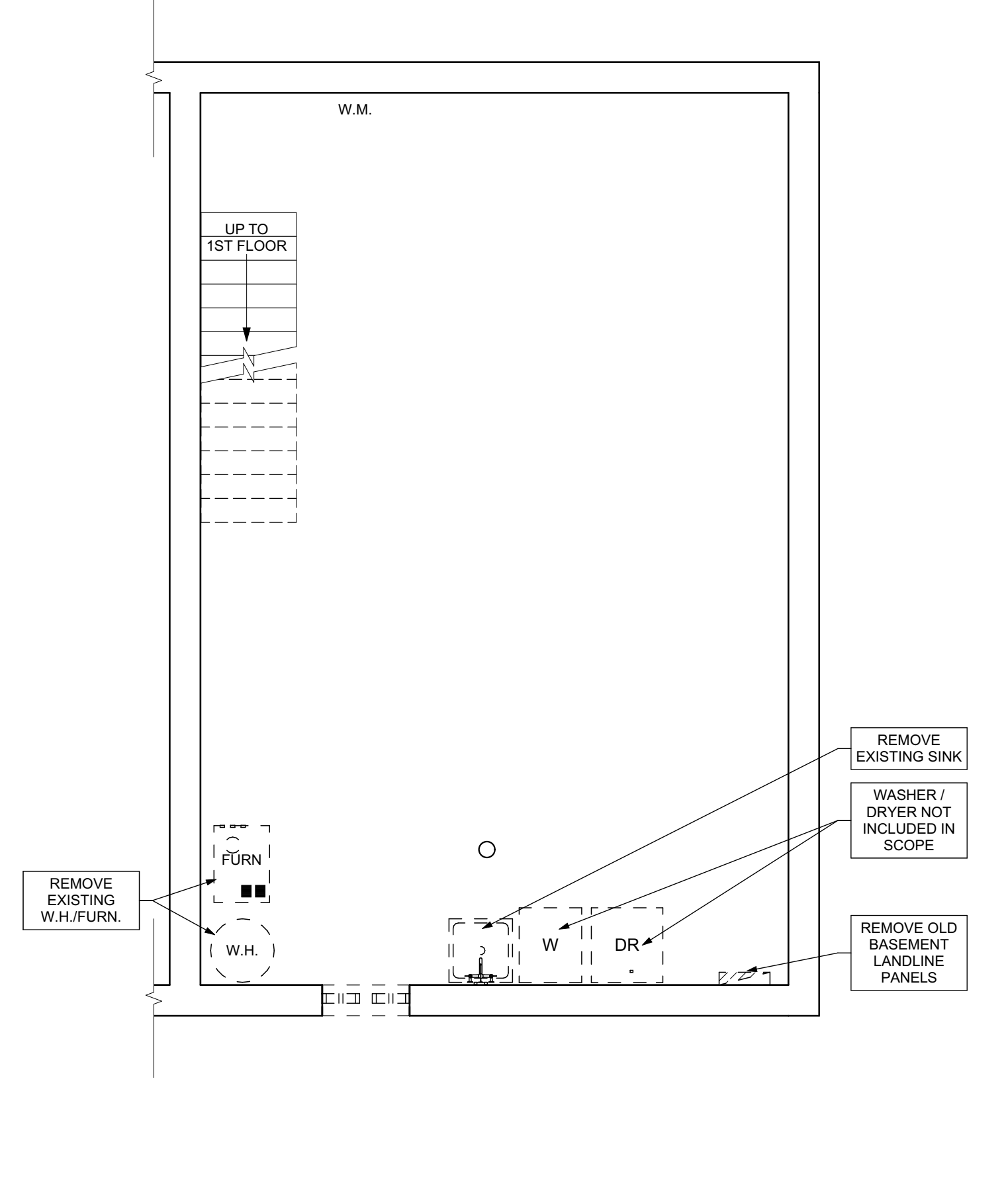
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



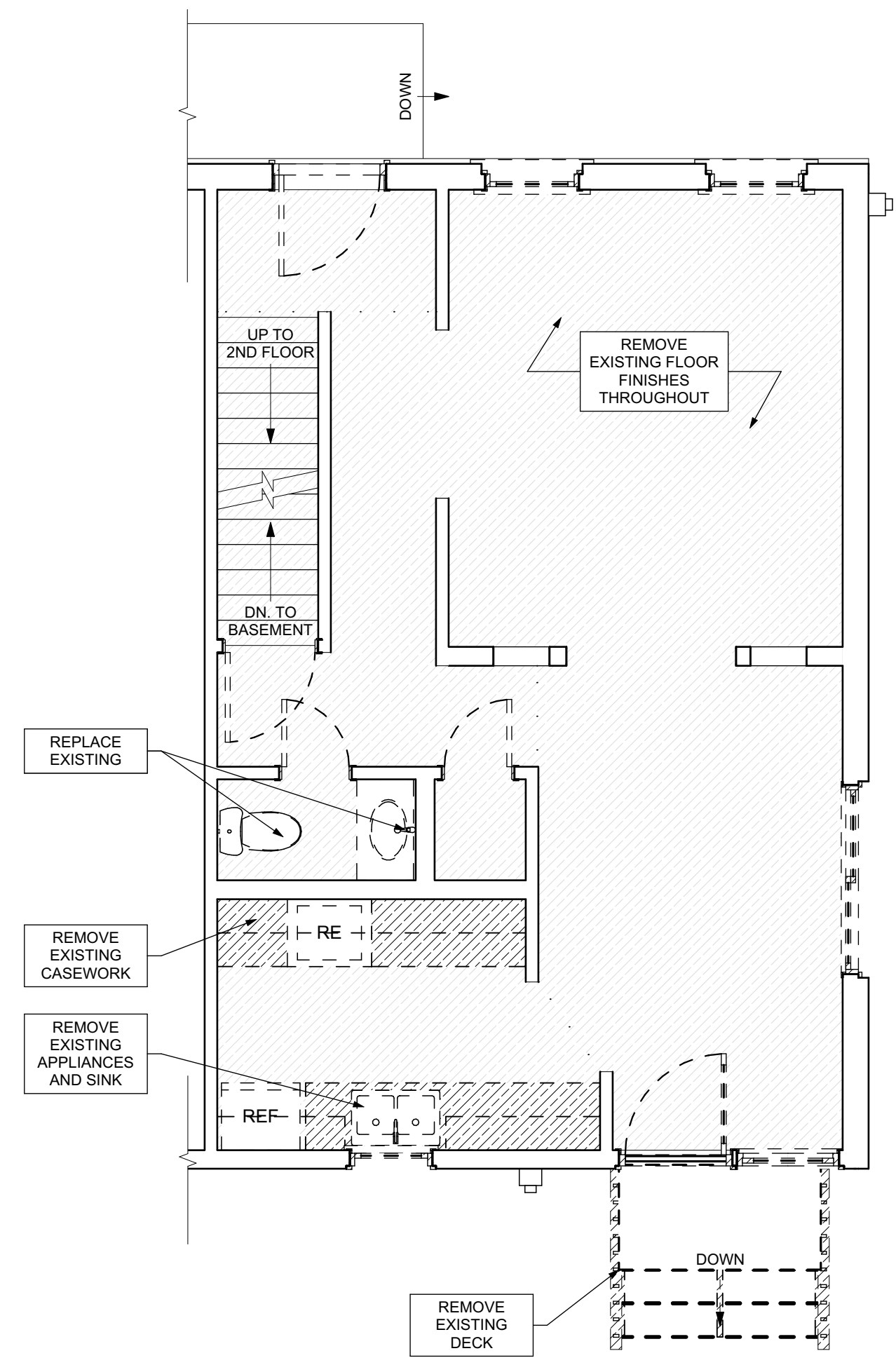
3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



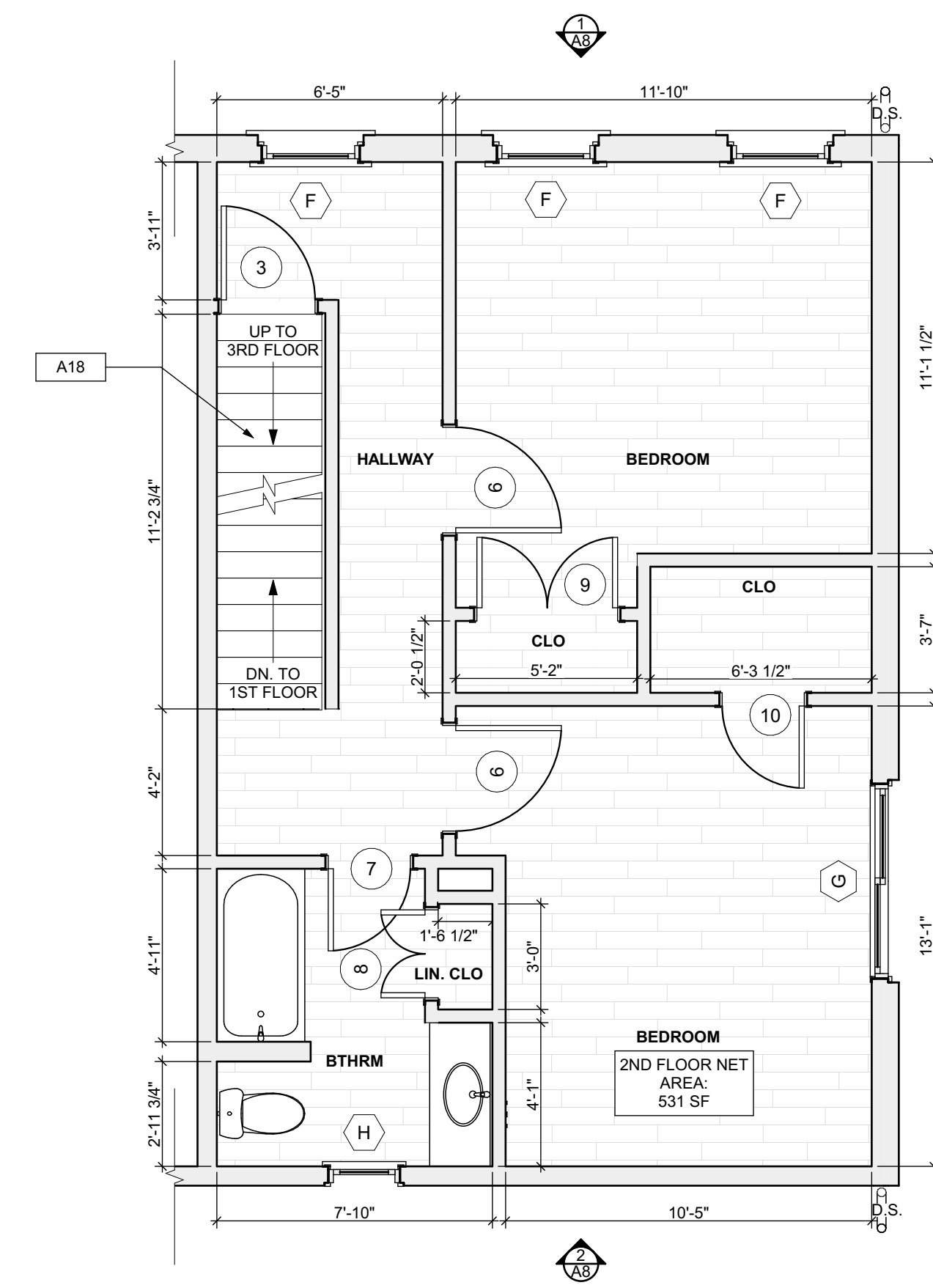
4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



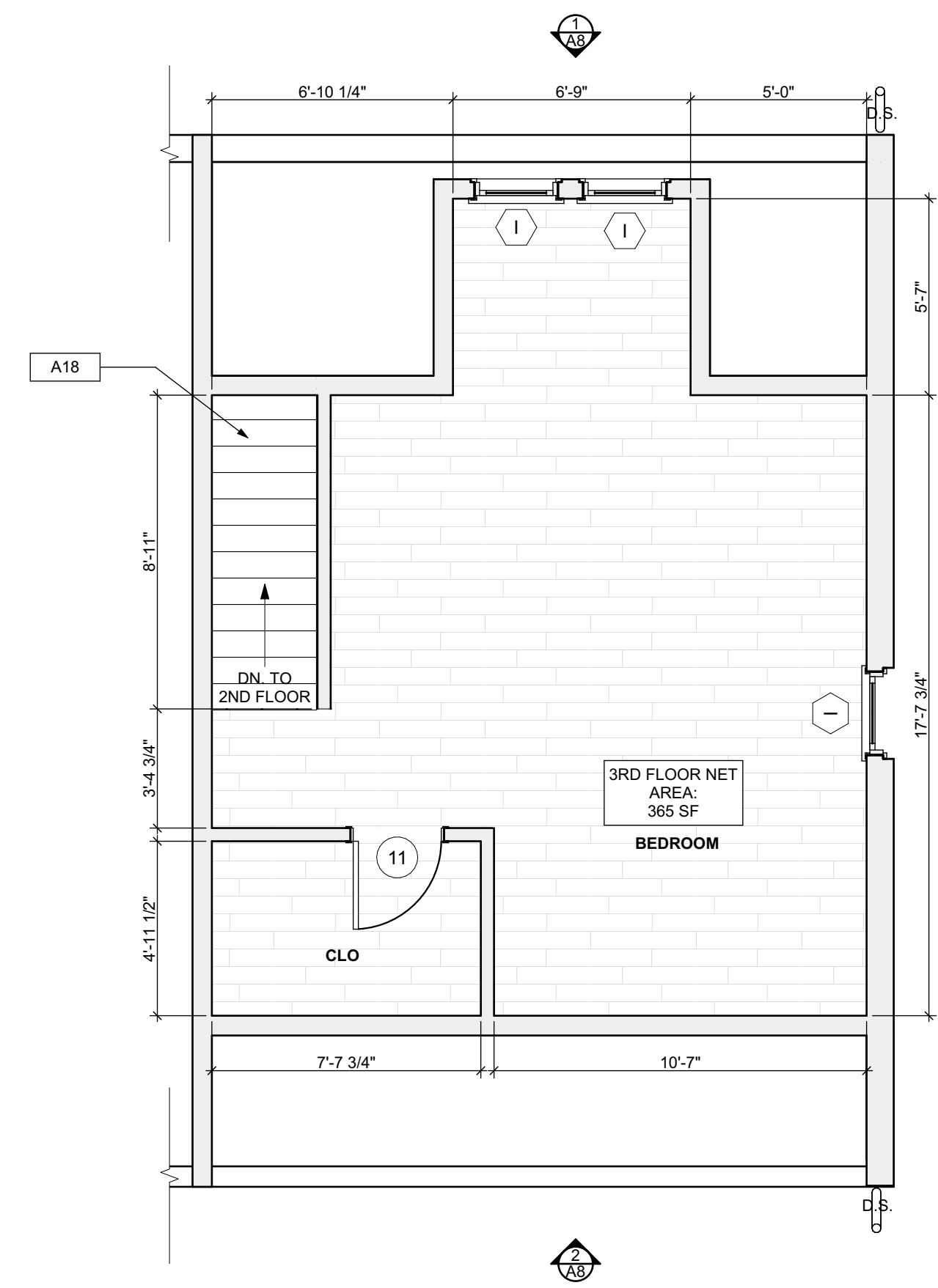
1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"



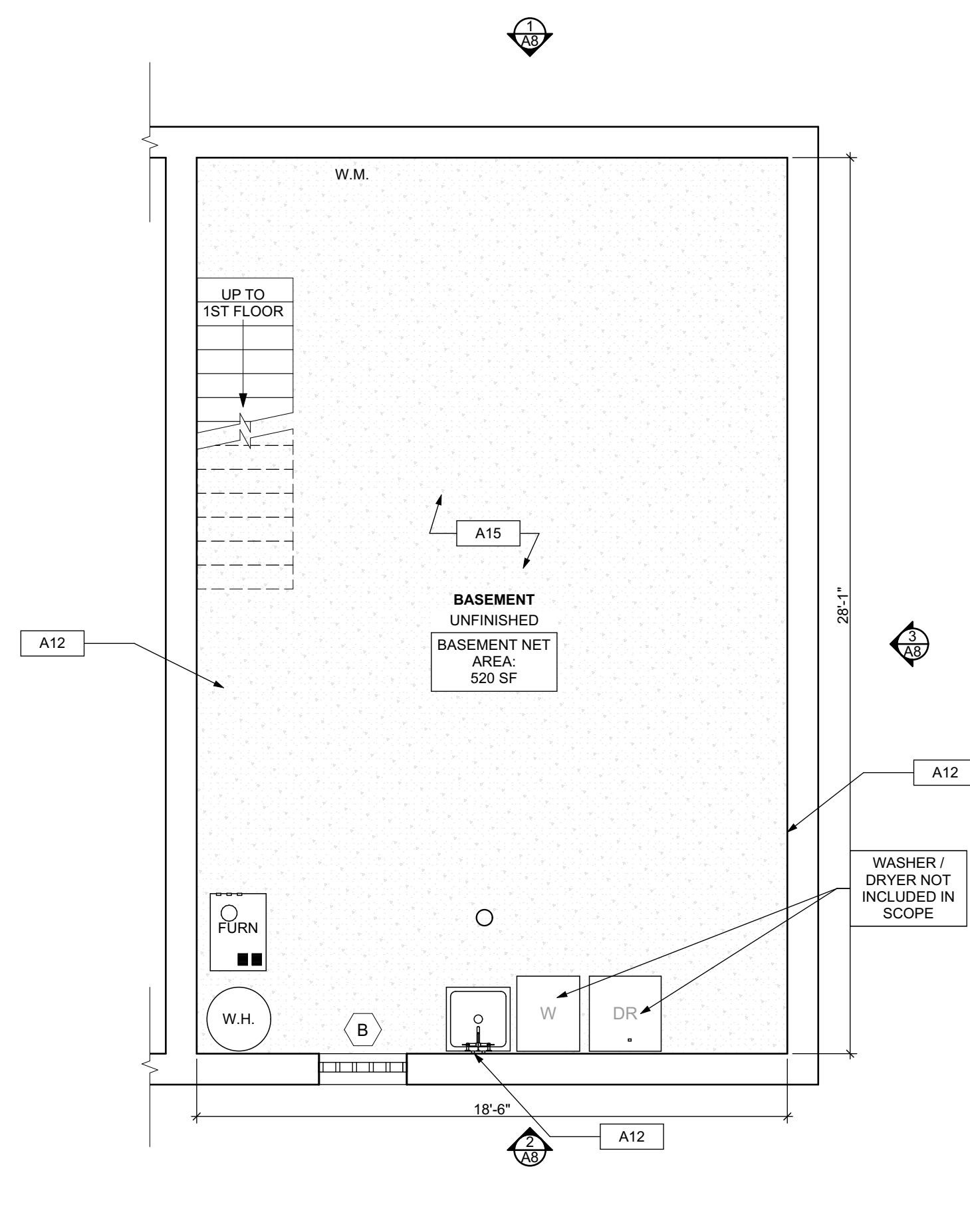
2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



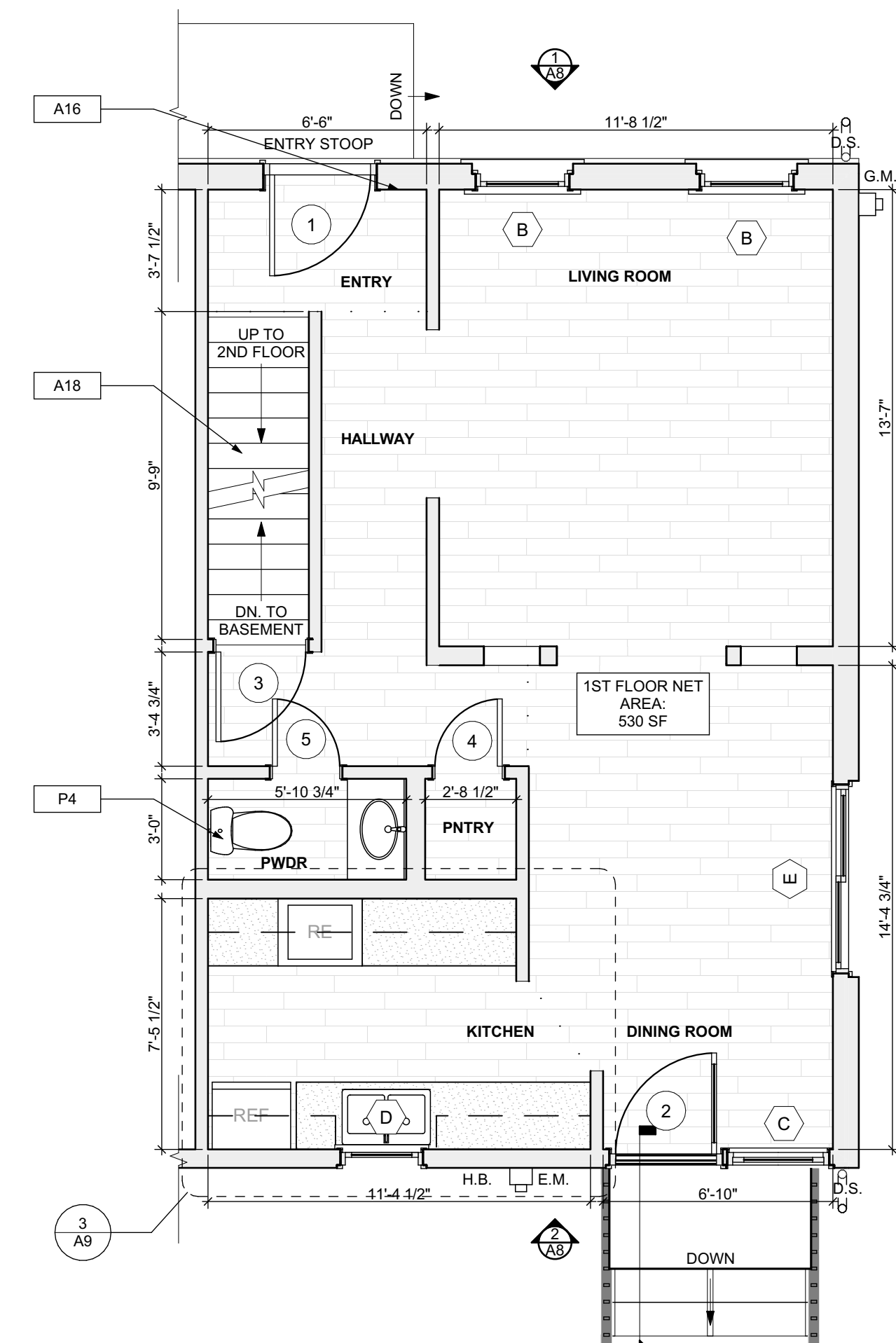
3 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



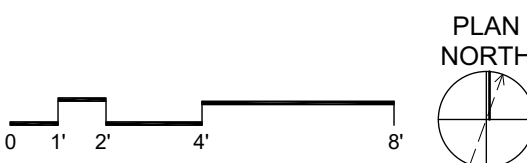
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- E.M. ELECTRIC METER
- H.B. HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CHIP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" PER FOOT. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG TO MATCH EXISTING GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A17 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A18 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A19 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A20 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A21 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LOADS OF FLOOR FINISHES. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A22 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STRIPS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A23 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A24 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A25 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A26 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVAL OF COLUMN LOCATION FOR NEW FLOORING AT COLUMN LOCATION. FOR NEW PERIMETER COLUMN, SAWCUT FOR REPAIR AS PER NEW STANDARD 2"X4" SPREAD FOOTING AND BRACE. CHECK FOR FLUTES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A27 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A28 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A29 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A30 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A31 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A32 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A33 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTROLLED AIR FLOW. ADDITIONAL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET PITTSBURGH PA
15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR /FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted		Sheet No.
date	May 6, 2022		
no.	7	of. 12	
			A6
			Project #2006

Owner:
HACP
200 ROSS STREET PITTSBURGH PA
15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

BASEMENT REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG/ POWER / DATA PLAN, SECOND FLOOR REFL. CLG/ POWER / DATA PLAN, THIRD FLOOR REFL. CLG/ POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES

scale
As Noted

date
May 6, 2022

no. **8** of. **12**

Sheet No.

A7

Project #2006

Lighting Schedule					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Item # 11132AZTLED	1
	C	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	12
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPEY Low Profile with Light 44 inch	Model # 59445	3
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

SITE

- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND RES. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF SLAB. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. MIN. CONCRETE IS PRESENT MINIMUM 3" OVER POTTING BED. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. WITH 1/2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION FROM THE CURB. PROVIDE NEW GRAVEL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE REPAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH 1/2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG AROUND WINDOW WELL. PROVIDE WEED BARRIER. GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYDOWN OF DOOR. REPAIR, REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM OR STRIPS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKED OR RUSTED STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPROPRIATE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL, OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR GIR WALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

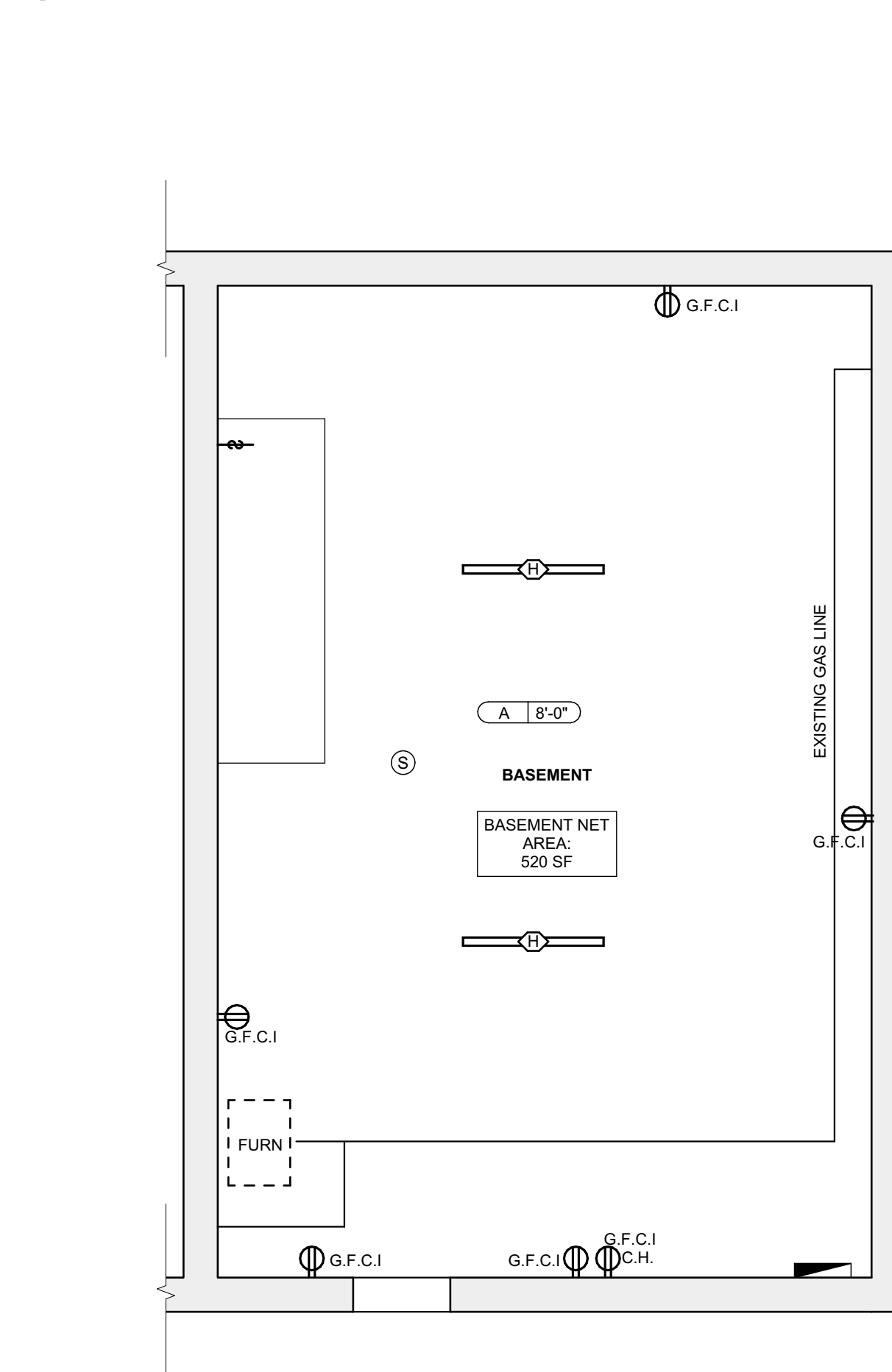
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY INSIDE OR EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

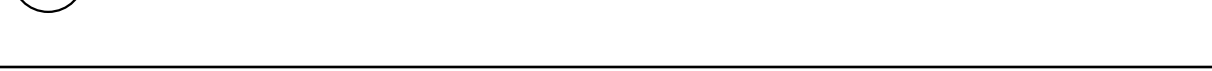
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON DUCTLOADING OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINATION SPACE TO MITIGATE MOISTURE CONDENSATION WITHIN EXISTING DUCT. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

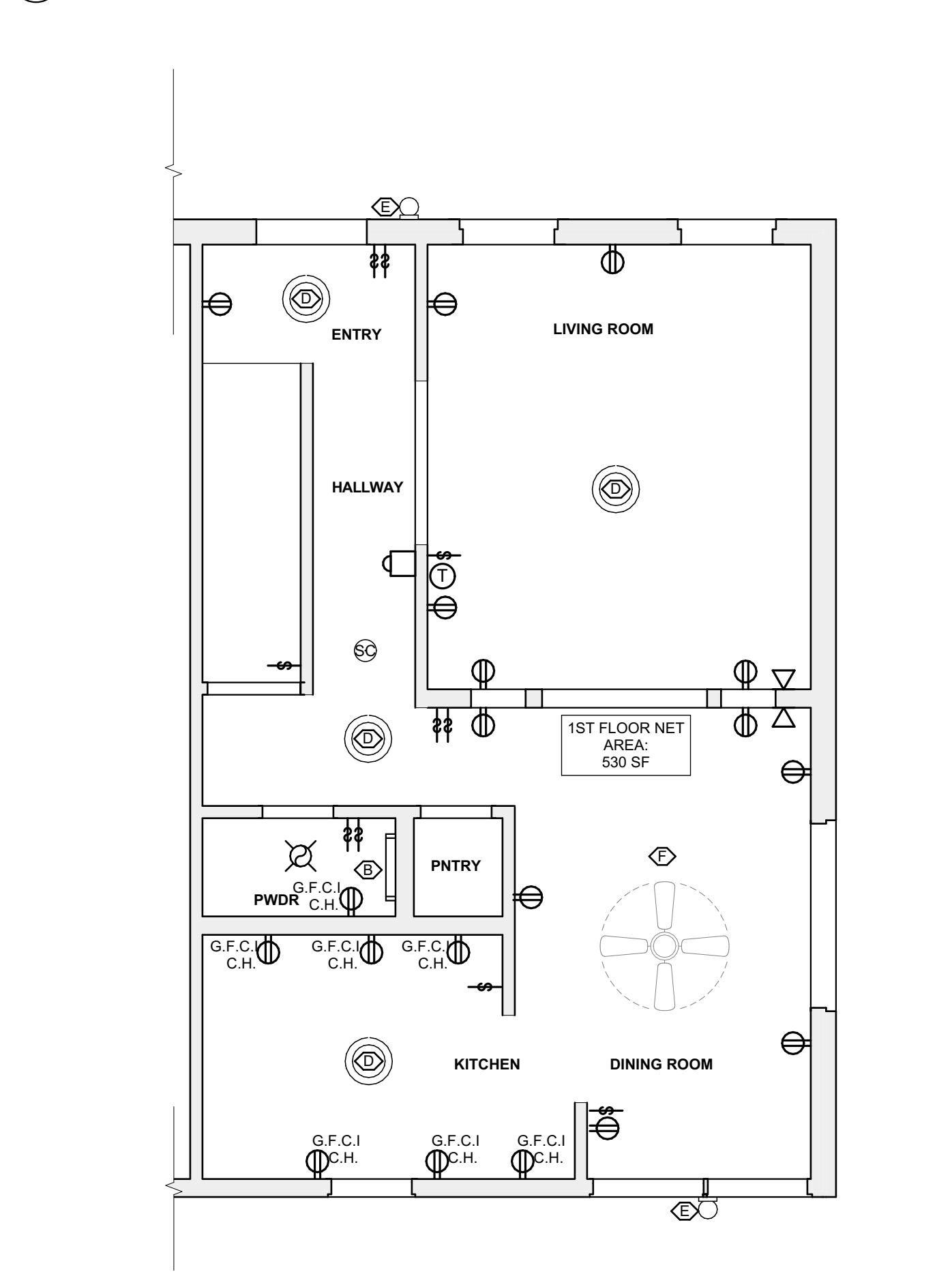
③ **SECOND FLOOR REFL. CLG/ POWER / DATA PLAN**
SCALE: 1/4" = 1'-0"



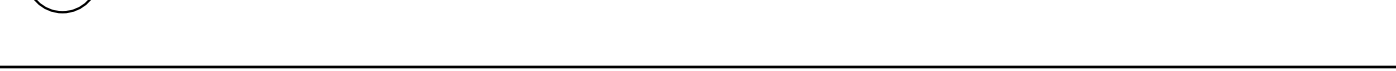
① **BASEMENT REFL. CLG/ POWER / DATA PLAN**
SCALE: 1/4" = 1'-0"



④ **THIRD FLOOR REFL. CLG/ POWER / DATA PLAN**
SCALE: 1/4" = 1'-0"



② **FIRST FLOOR REFL. CLG/ POWER / DATA PLAN**
SCALE: 1/4" = 1'-0"

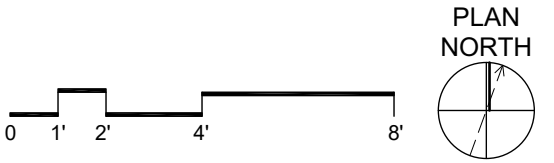


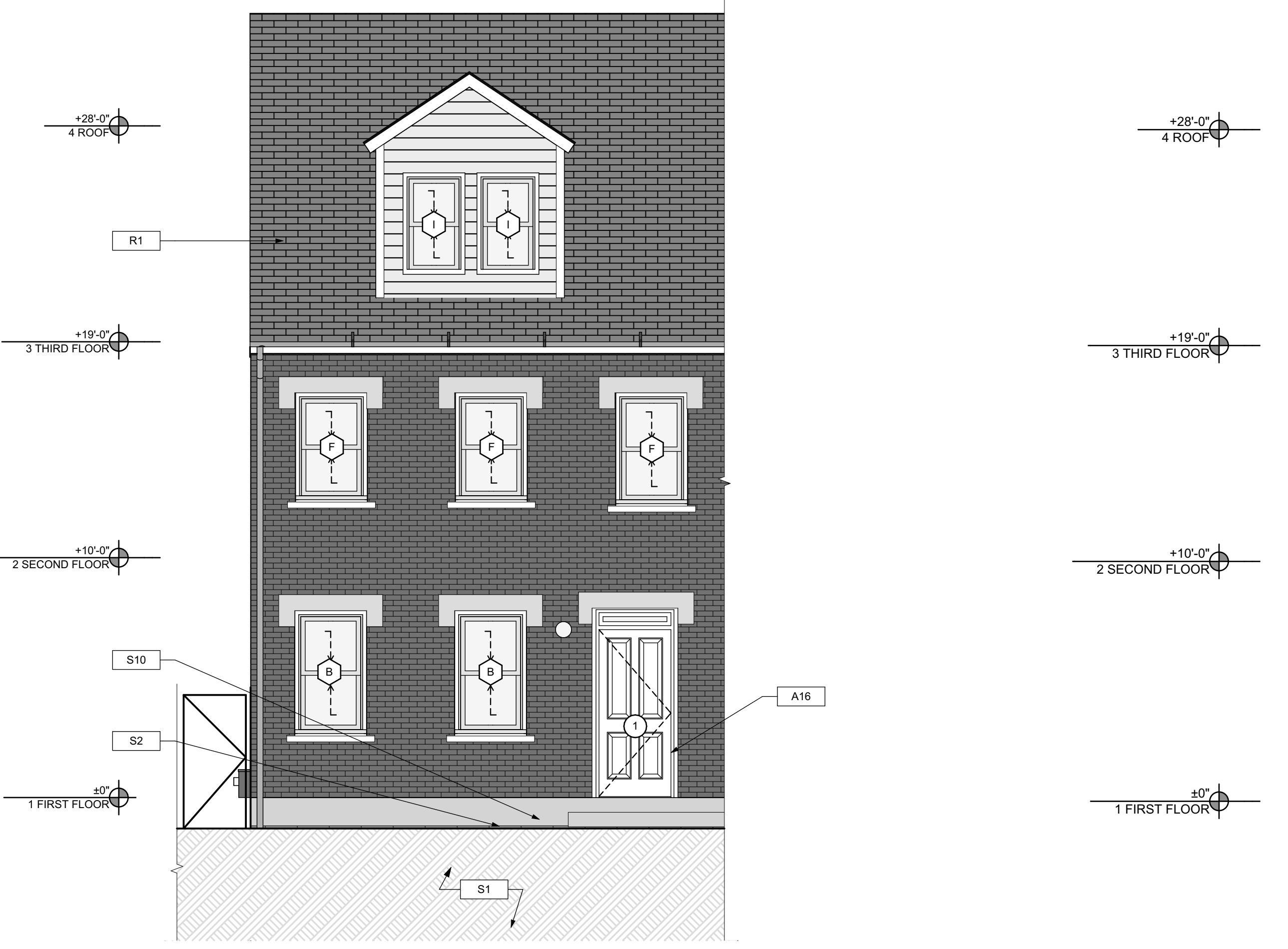
RCP LEGEND - (See Specifications for basis of Design)

- [S] SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- [SC] SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- [EM] ELECTRICAL METER
- [T] THERMOSTAT
- [D] DATA RECEPTICAL, 18" A.F.F. U.O.N
- [R] ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- [RCH] ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- [GFCI] GROUND FAULT CIRCUIT INTERRUPTER
- [GFCI] GROUND FAULT CIRCUIT INTERRUPTER
- [L] LIGHT SWITCH
- [EF] EXHAUST FAN
- [DB] DOORBELL
- [A] X-X' GWB CEILING / CEILING HEIGHT
- [B] X-X' UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

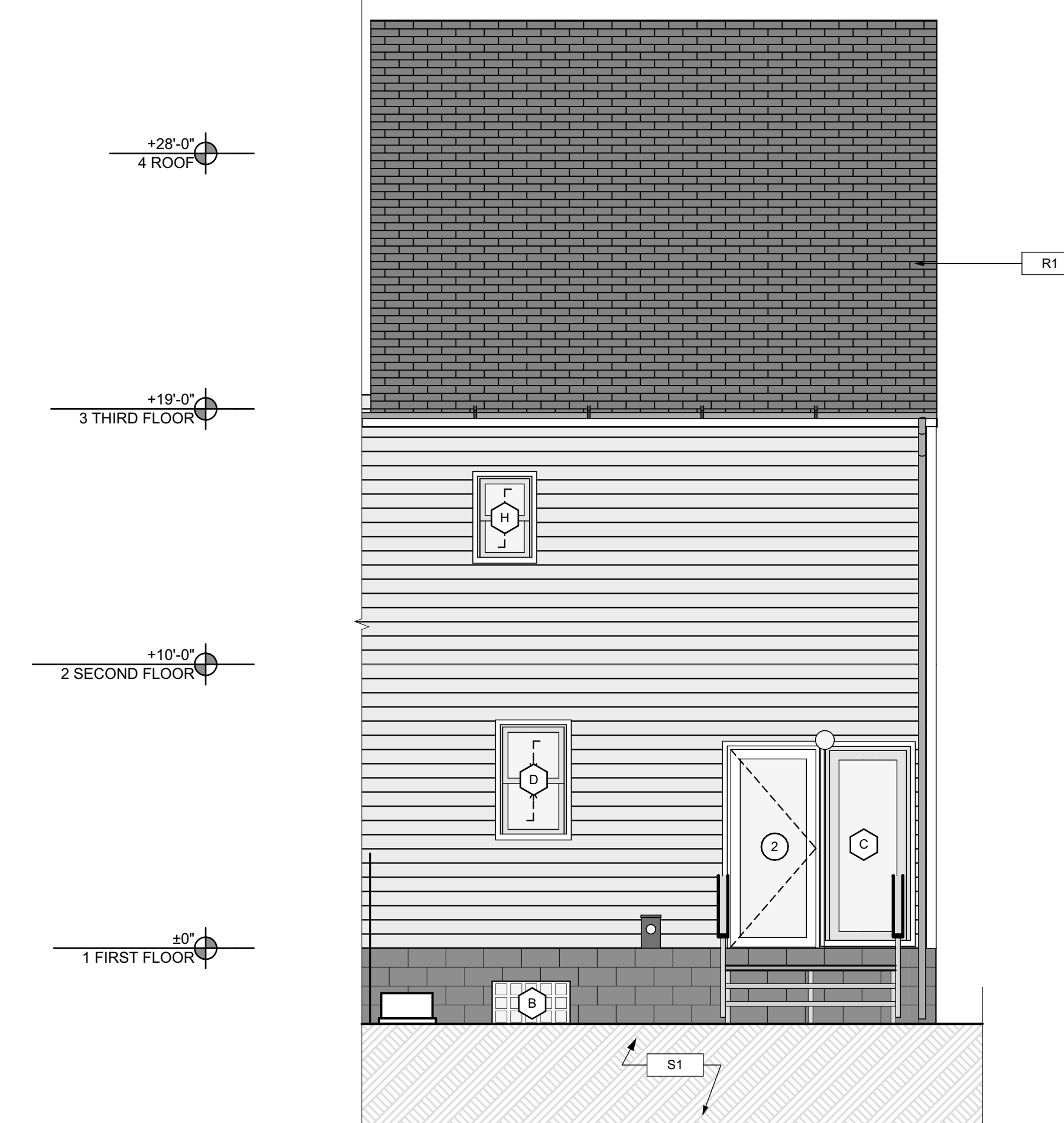
SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

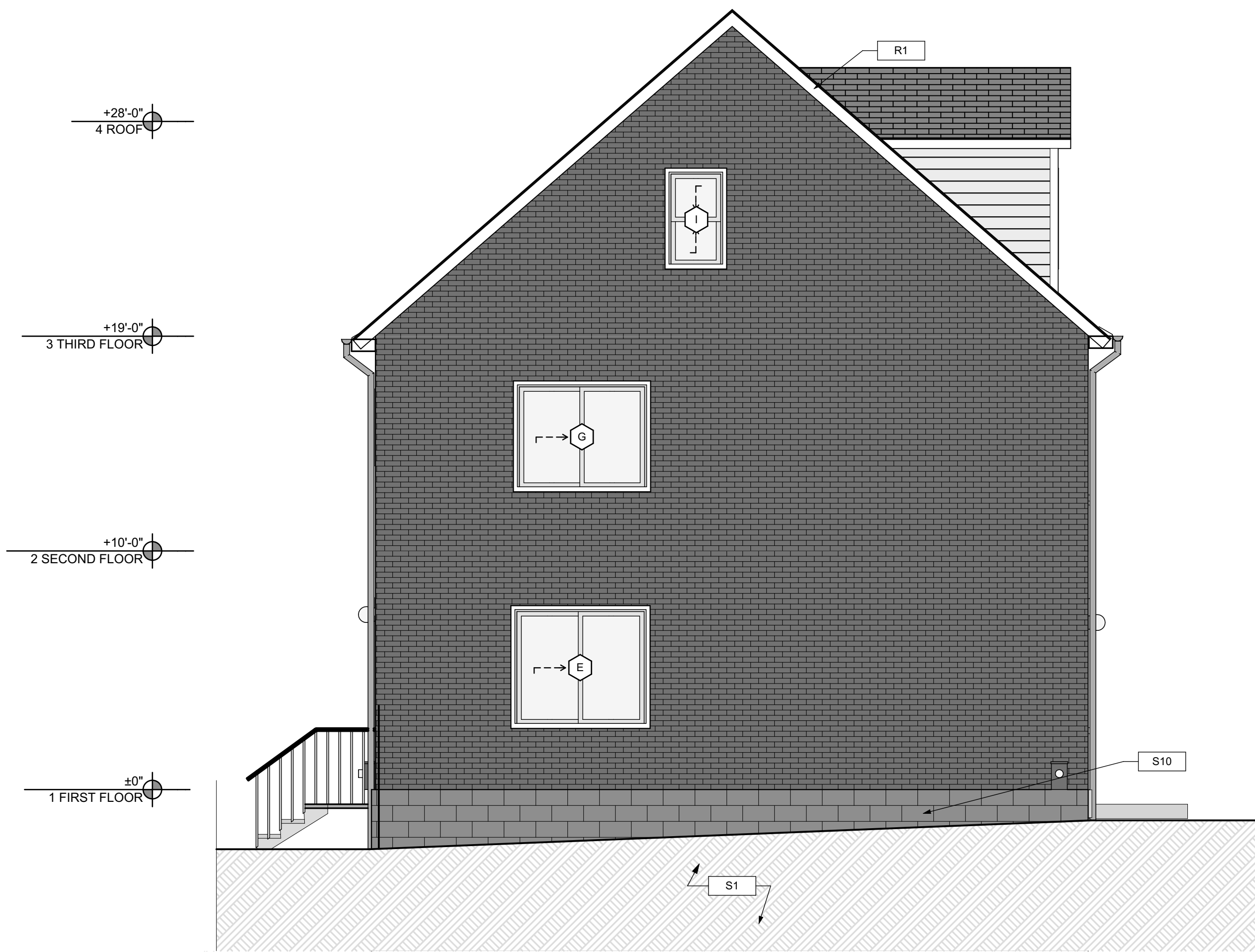




1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

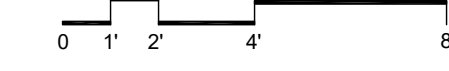


3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. V. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF HOUSE. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKING AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" IN 10'. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" IN 10'. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLEAR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REPAIR DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD MEMBERS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAW CUT FLOORING AS FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR FIN WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

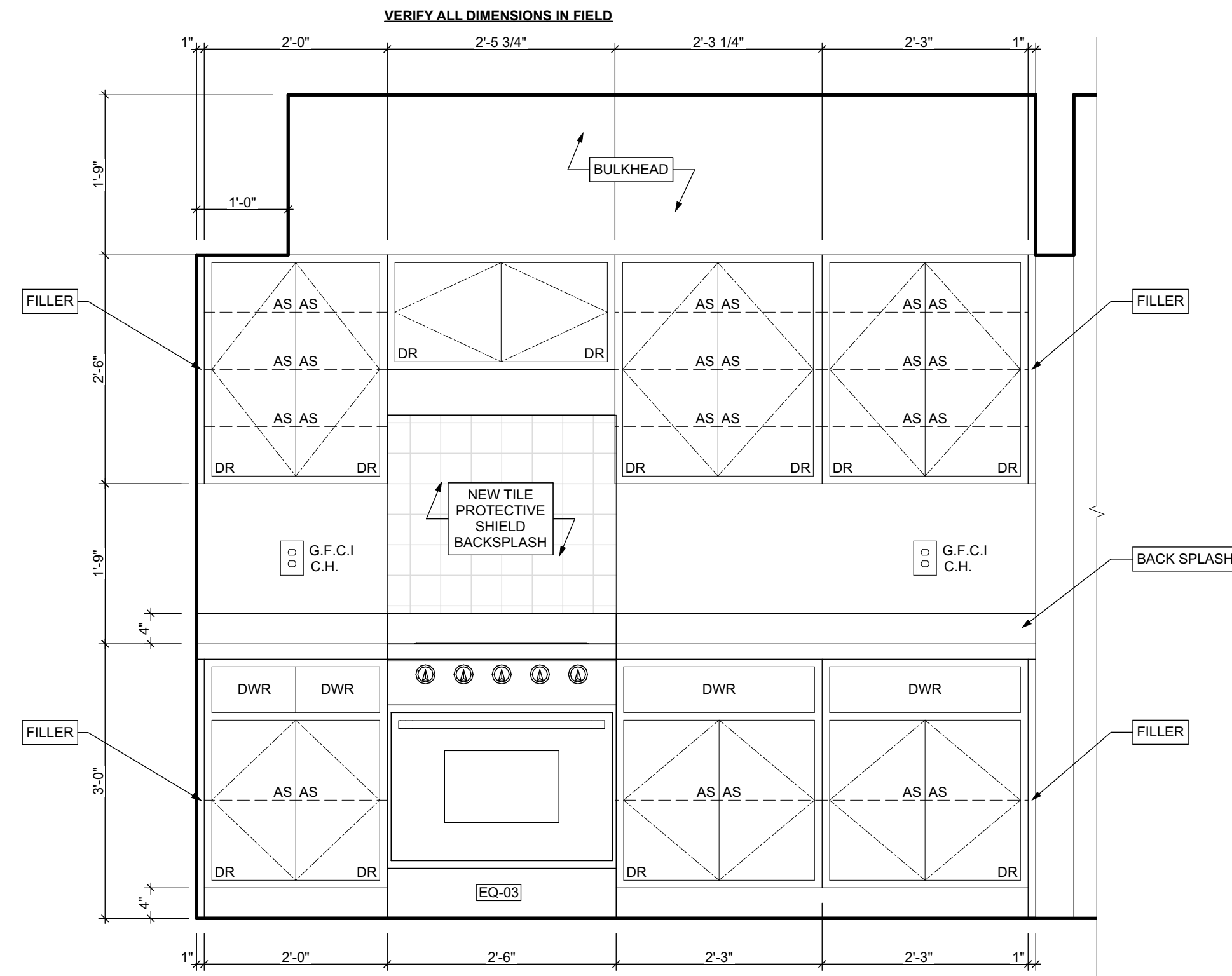
GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

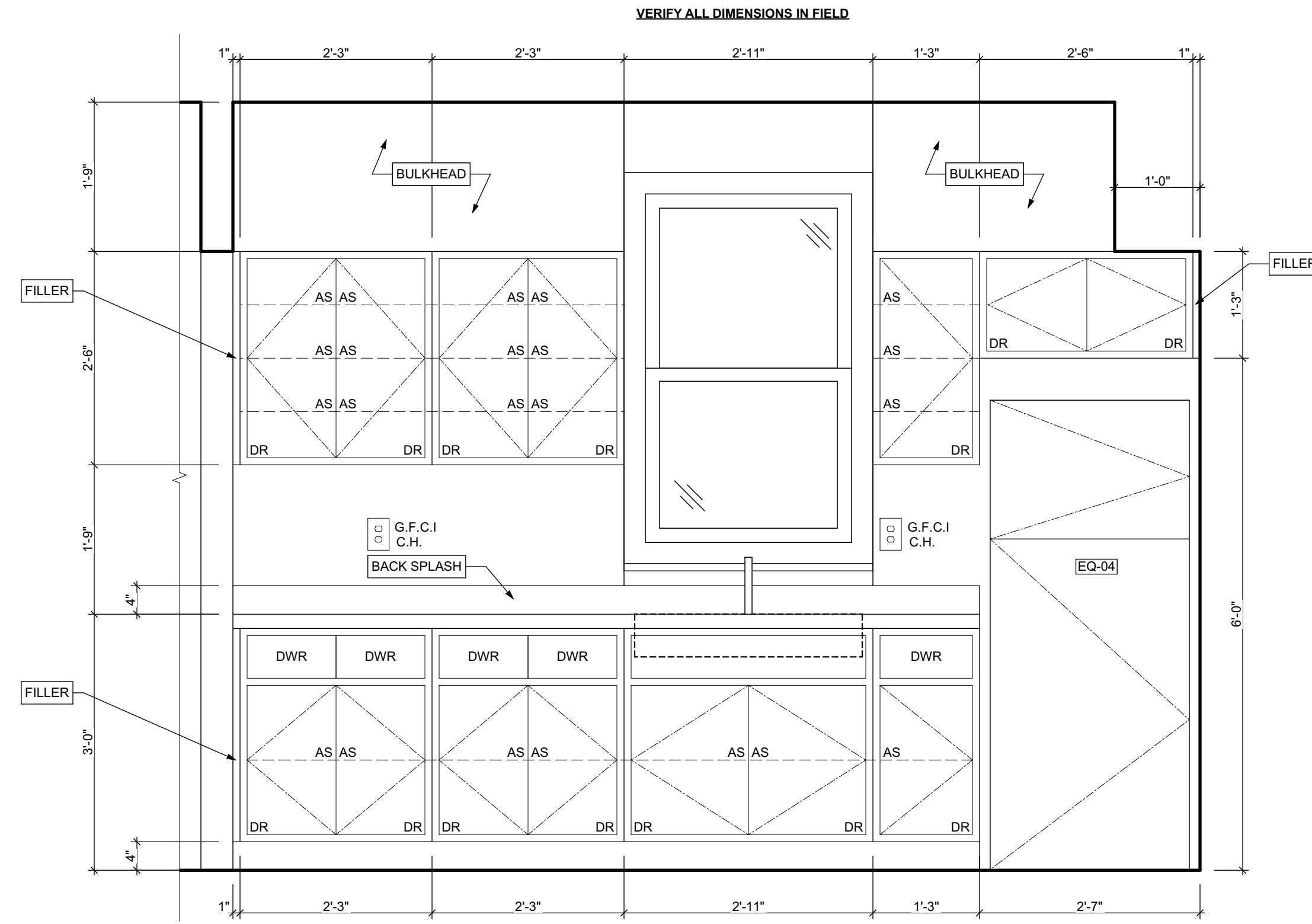


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 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
- revisions**
- ISSUED FOR PERMIT; 05.06.2022
- project title**
- Owner:**
HACP
200 ROSS STREET PITTSBURGH PA
15219
- Project Location:**
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233
- drawing title**
- NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES**
- PLUMBING - REF. ONLY, REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY, REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION FROM TRIMMER. TRIMMER ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

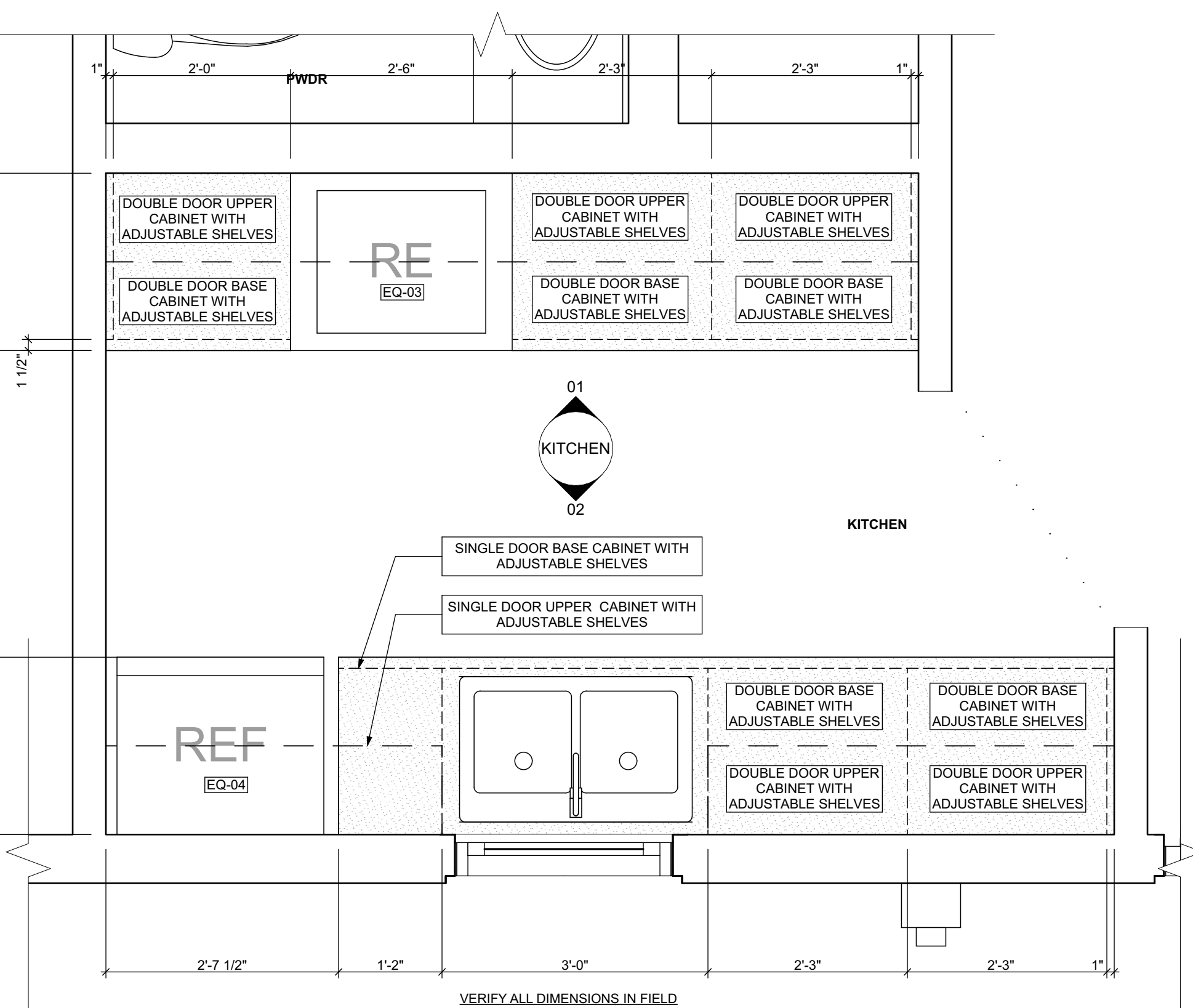
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8 Project #2006
of.	12	



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radiation. Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater. Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register. Single deflection return air register.
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTIX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® RE	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1EBF2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 60/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cinnaron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Precision 30" W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/8" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET PITTSBURGH PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN**

scale
As Noted

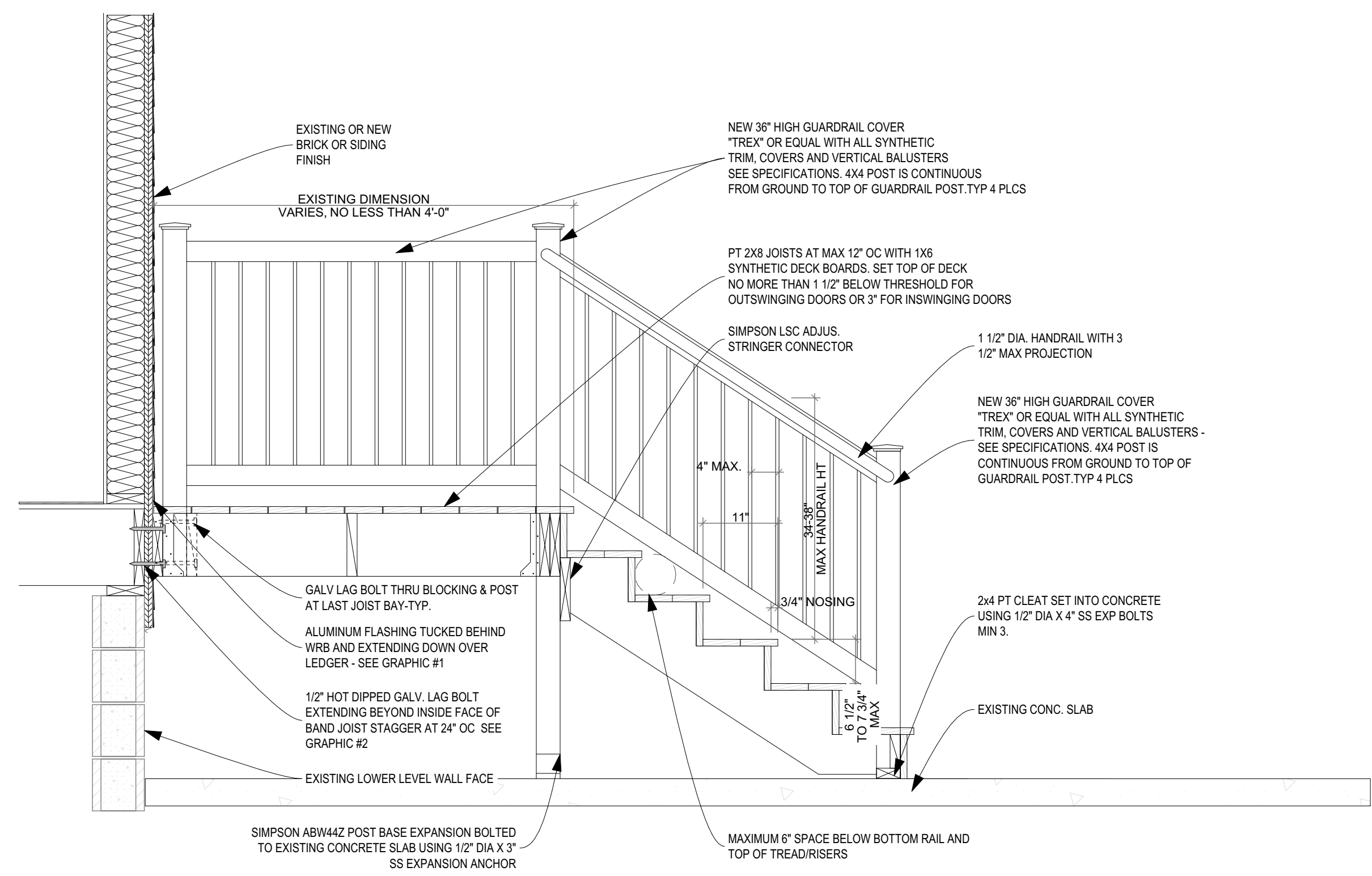
date
May 6, 2022

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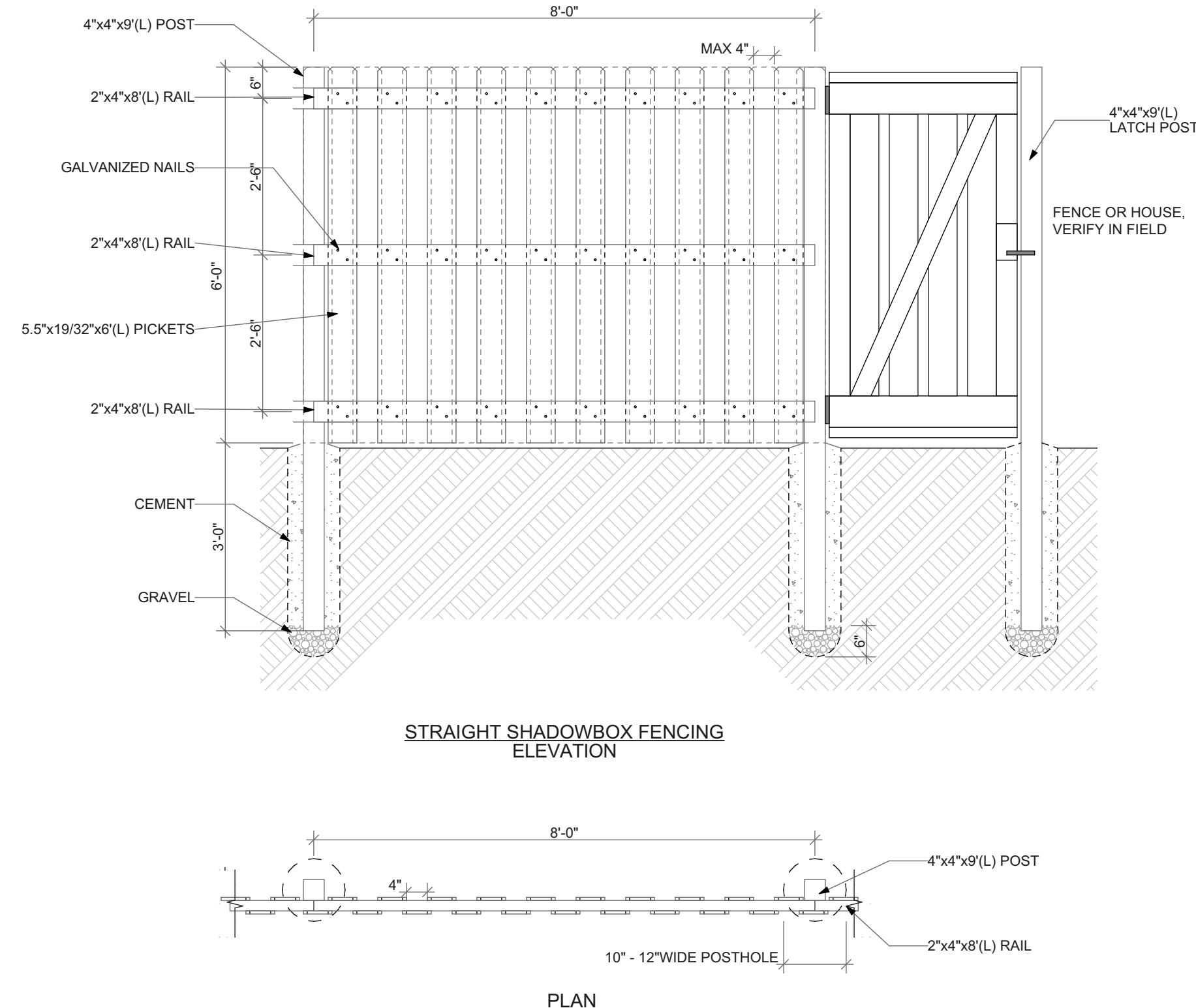
Project #2006



STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

1 DECK SECTION DETAIL

SCALE: 3/4" = 1'-0"

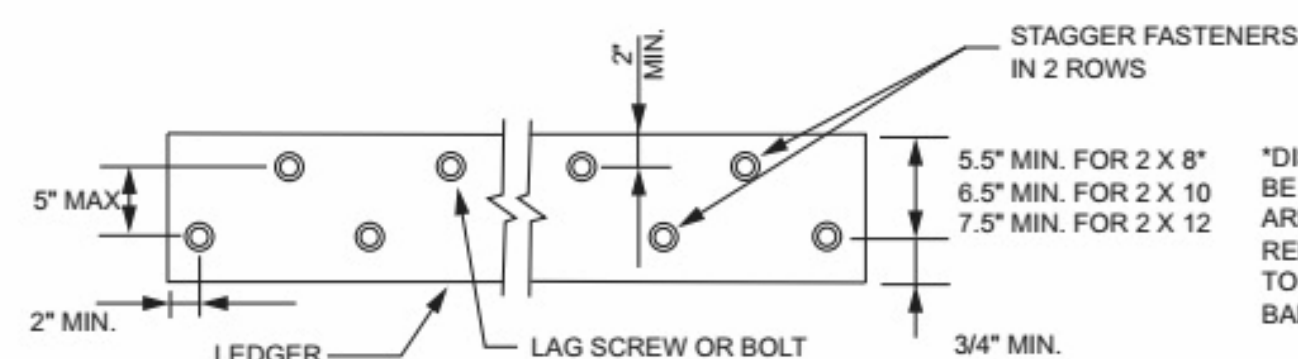
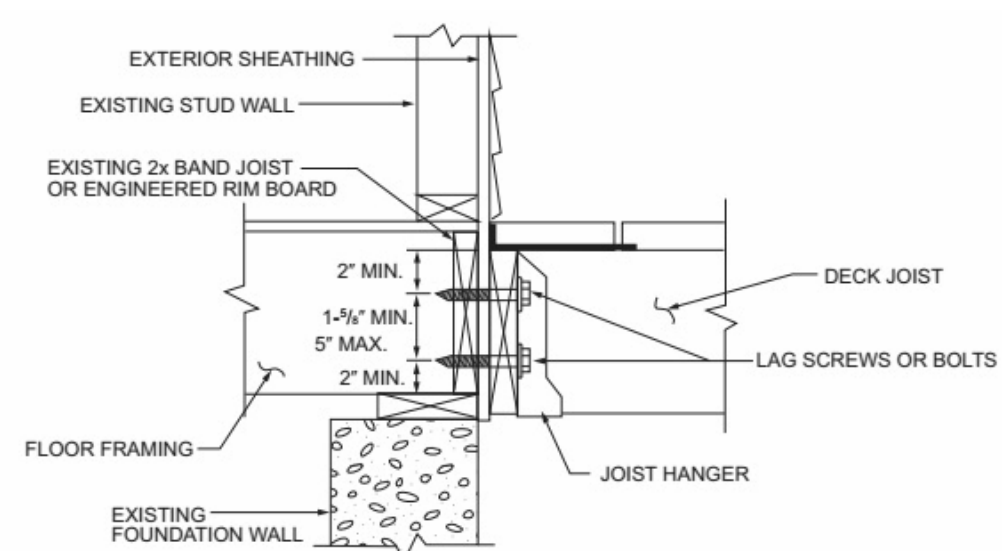


STRAIGHT SHADOWBOX FENCING ELEVATION

PLAN

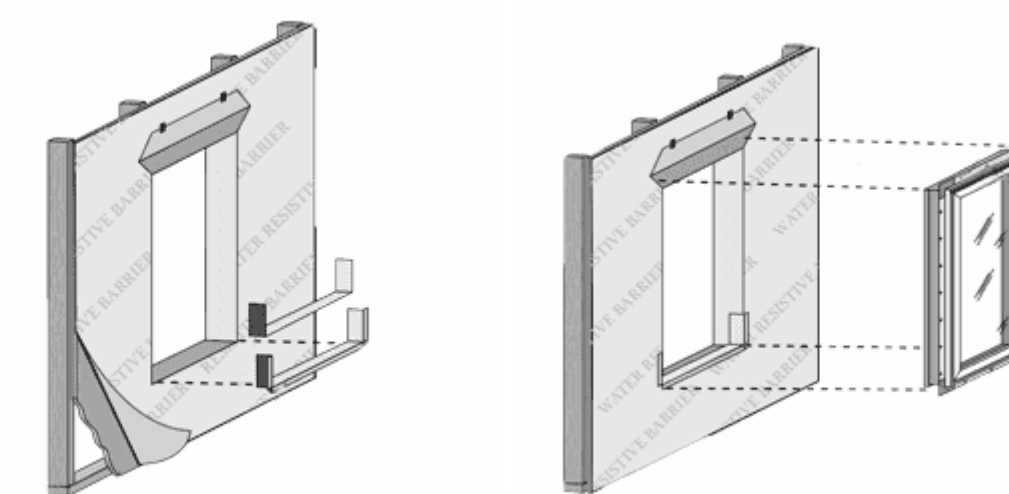
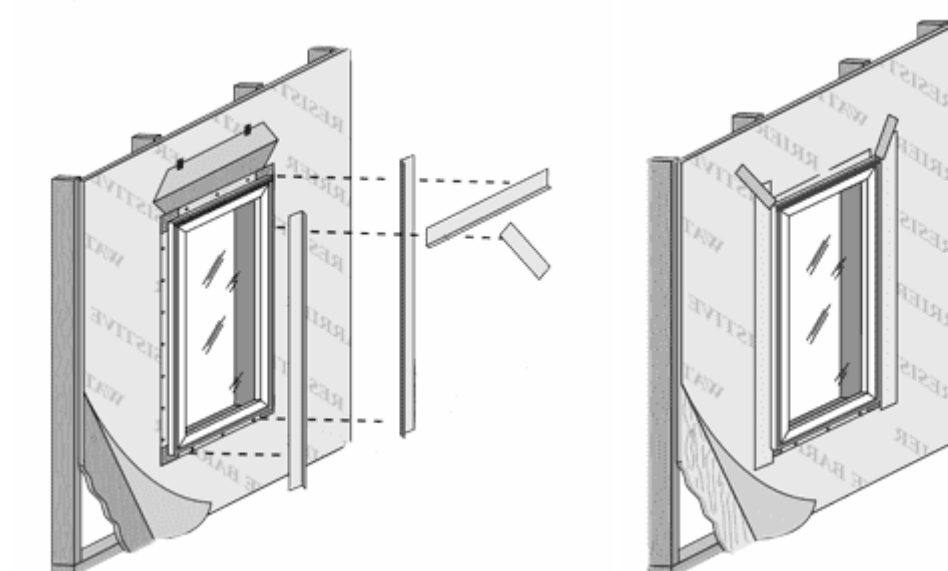
2 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"



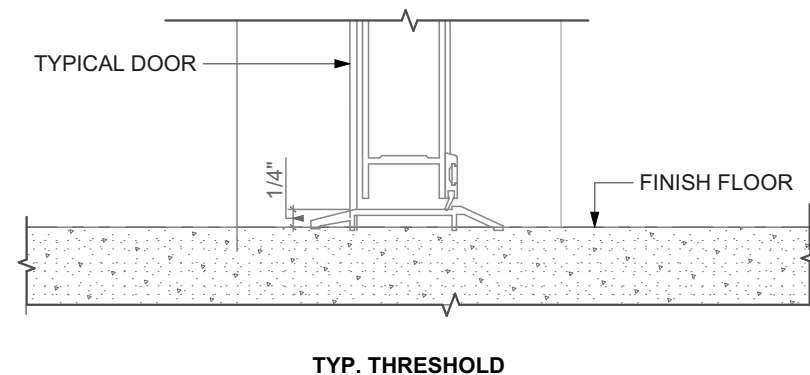
*DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4.5" IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2 X 8 LEDGERS TO 2 X 8 BAND JOISTS.

3 DECK ENLARGED DETAILS

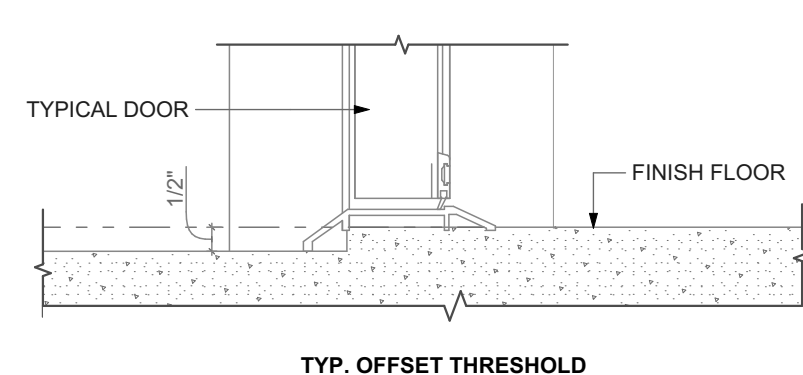


5 WINDOW INSTALLATION UNDER VINYL SIDING

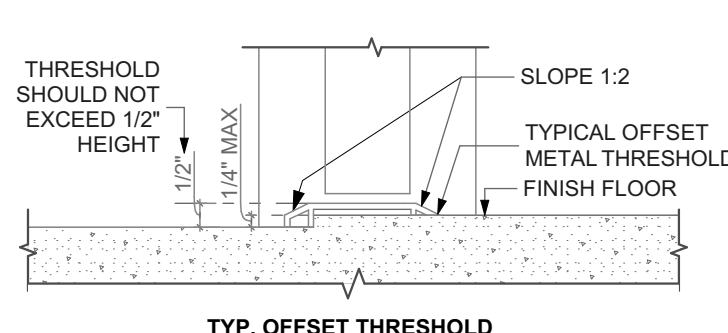
NOT TO SCALE



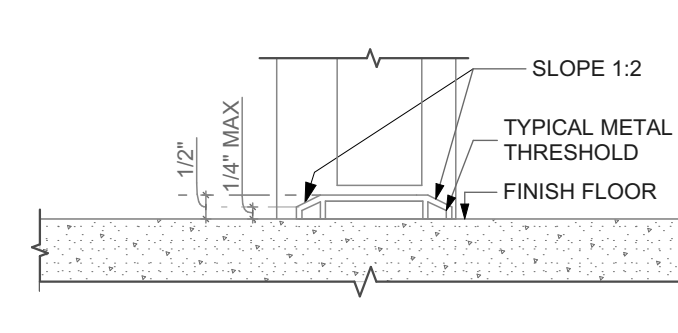
TYP. THRESHOLD



TYP. OFFSET THRESHOLD



TYP. OFFSET THRESHOLD



TYP. THRESHOLD

4 EXTERIOR DOOR THRESHOLD

SCALE: 3/8" = 1'-0"

seal

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revisions

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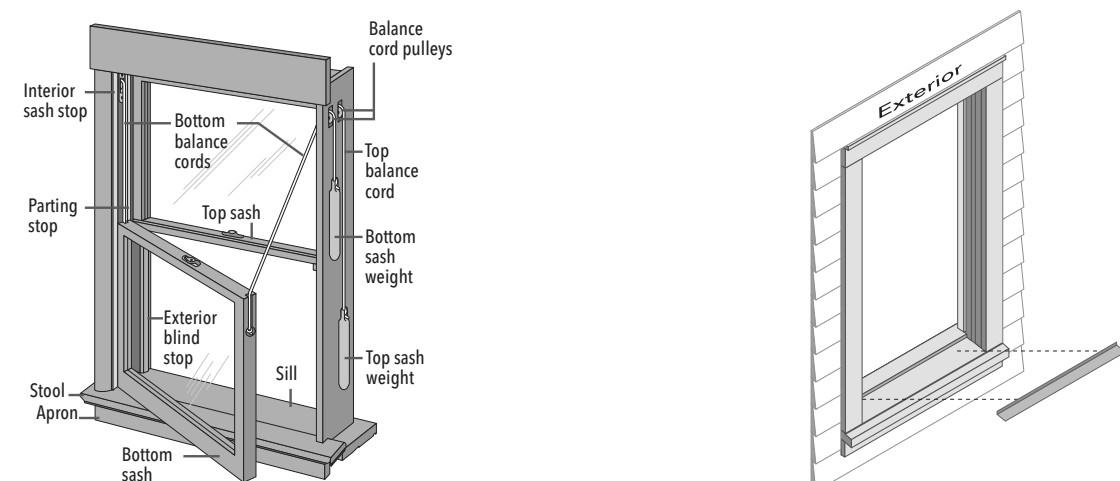
drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	11	A10
of.	12	
		Project #2006

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS

INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



1 REMOVE THE EXISTING SASHERS

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

A. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.

B. Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.

C. Remove the exterior stops at the head and jamb using a chisel, reciprocating saw, roto-tool or equivalent. Cut them flush with the side of the frame.

D. Carefully remove the upper sash and dispose of it properly.

E. For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys.

F. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.

G. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.

H. Carefully remove the lower sash.

I. Remove any remaining jamb liner material (if applicable).

J. Insulate the weight chamber (if desired).

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Revised 07/13/2021

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2 PREPARE THE OPENING

A. Inspect the existing window frame. Repair or replace any deteriorated parts.

B. Clean the opening of any dirt, debris or excess old paint.

C. Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.

D. Apply sealant over any gaps in the corners of the existing frame.

E. Check the sill for level or for bowing.

F. Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims, 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.

G. Attach shims to prevent movement after they are level.

NOTE: Improper placement of shims may result in bowing the bottom of the window.

3 PREPARE THE WINDOW

A. See next page for Sill Adapter Illustrations.

B. Drill pilot holes (if necessary) in the new window frame.

C. See anchoring instructions at the end of this booklet.

D. Dry fit the window in the opening.

E. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.

F. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.

G. Install the sill adapter. Cut it to length and notch it (if necessary).

H. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.

I. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.

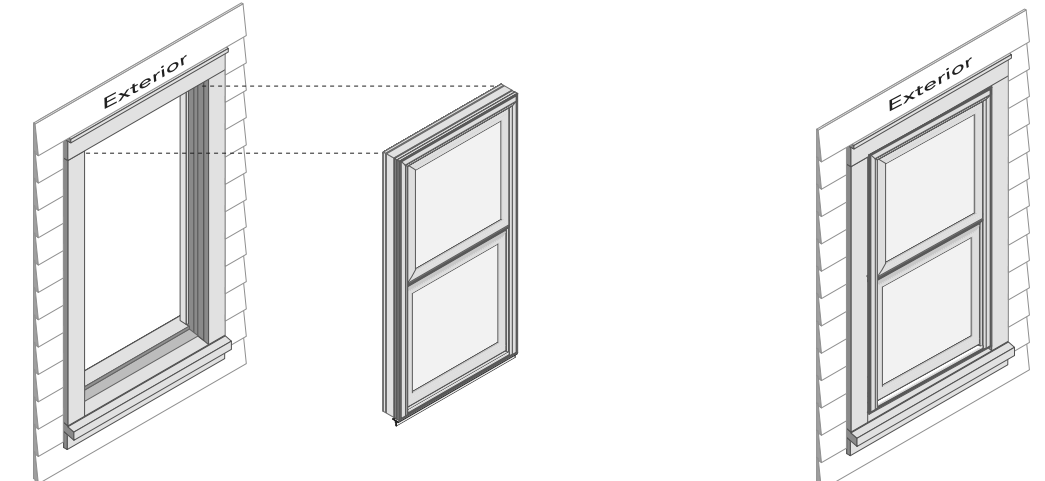
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Revised 07/13/2021

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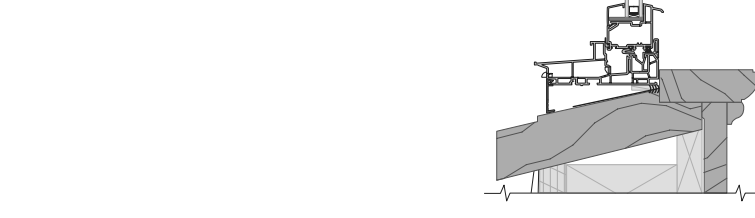
POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS

INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

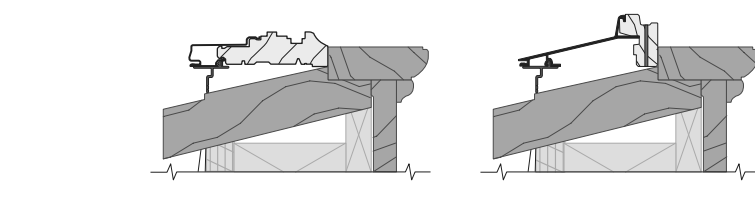


3 PREPARE THE WINDOW (Continued)

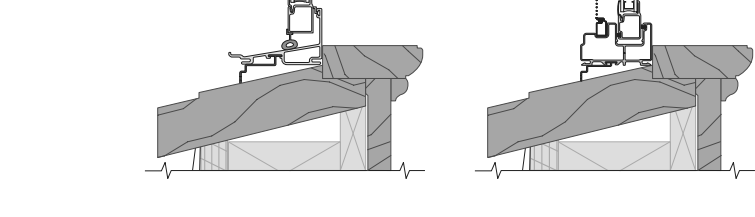
Pella® 350 Series



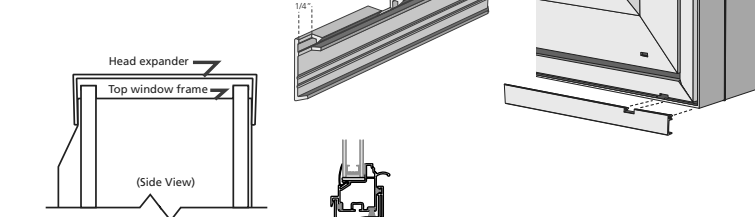
Architect Series® (850) and Pella® Lifestyle Series Dual-Pane



Pella® Impervia®



Casements and Fixed Windows:



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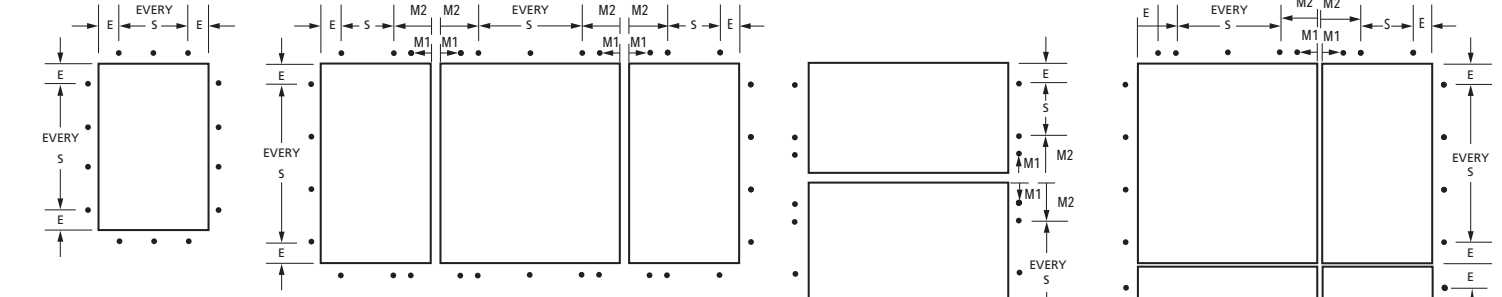
Revised 07/13/2021

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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

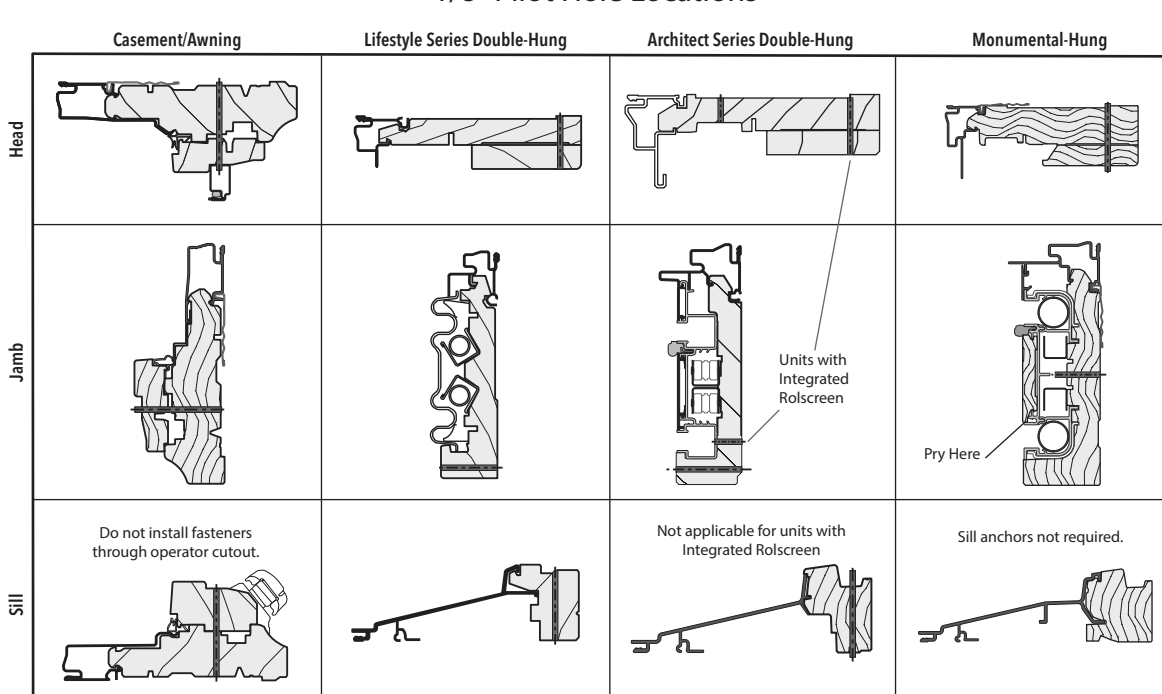
ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/ Awning	6"	16"	3"	6"	#8x3" Finish Screw	
Double or Single-Hung	6"	16"	3"	6"	#8x3" Finish Screw	For windows with integrated Rolobeen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb line. Add fasteners as necessary, driving the head past flush and secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb line support clip.
Fixed Frame	6"	16"	3"	6"	#8x3" Finish Screw	
Monumental DH > 54" x 96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb line support clip plus bottom, checkrail and center of each sash. Drive 2 additional screws through the frame (or secure clips 3" above and below the checkrail on each jamb). Drive additional screws through the frame (or secure clips) centered between each jamb line support clip.

* M1 anchor required if design pressure exceeds 20 psf.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed					#8 x 2-1/2" Pan Head (provided)	Installation clips required for anchoring at the sill.
Single Hung					Sill anchors not required for single wide units. Installation clips required for mullion anchoring.	
Double Hung	6"	16"	6"	3"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning, Vent and Fixed	6"	15"			#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).
Direct Set						

Use Factory Drilled Installation Holes if present.

Install plug after driving screws (except CM/AW and Direct Set).

* For light gauge steel framing, use #10 self-drilling/self-tapping screws.

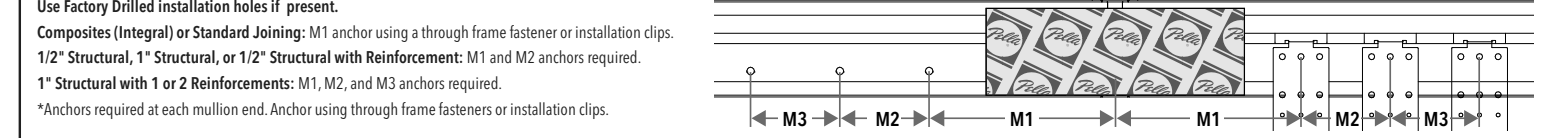
** For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

Clip Anchor Method Only

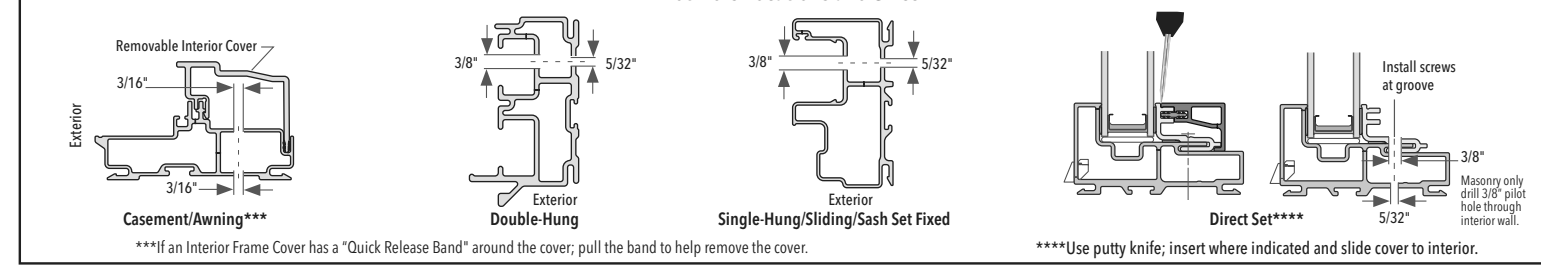
Slide clips into the frame groove and locate per the anchor spacing instructions. Use a small piece of backing tape to hold the clips in place.



Mullion Anchoring Diagram



Pilot Hole Locations and Sizes



PELLA® 350 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

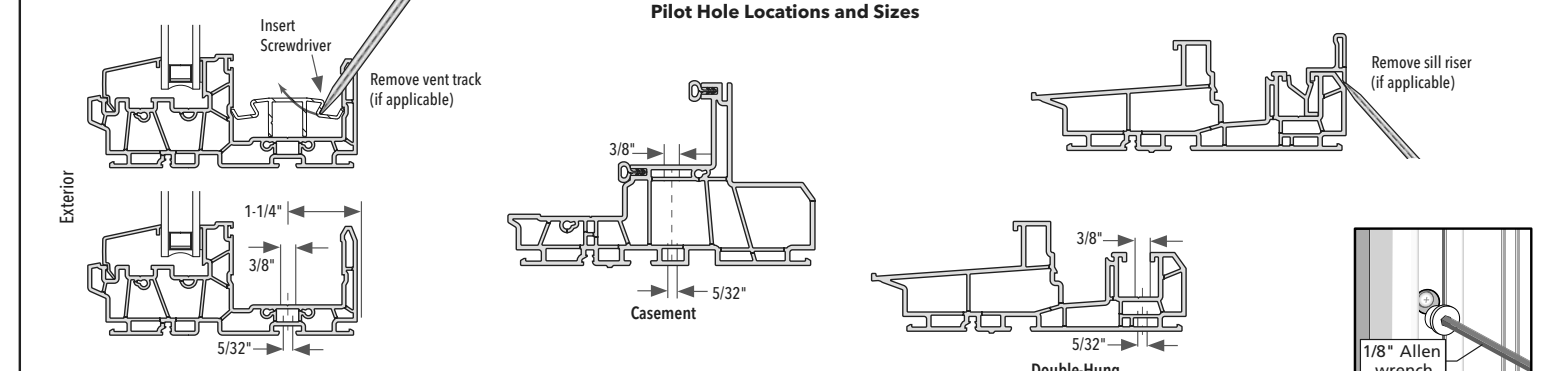
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double and Single Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

* Use Factory Drilled Installation Holes if present.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

Install hole plugs after driving screws.

Pilot Hole Locations and Sizes



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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA®/ THERMASTAR BY PELLA® / PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Sliding Window (East and West)	6"	16"	3"/centered	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double Hung (East)	Factory Pre-Drilled**	4"	6"	#10 x 2" Pan Head (provided)	High Performance DH (3) #8 x 2" Jamb Frame screws, 4" apart at checkrails. Use 1x4 #8 x 3" screws at head mullion ends and 4 clips at sill mullion ends 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PECO Performance Install.	
Fixed Window	6"	16"	4"	none	#8 x 3" Pan Head (provided)	Use clips at the sill as mullions and centered under fixed casements in 3-wide combinations.

All venting products: Head and sill anchors are required on composites only.

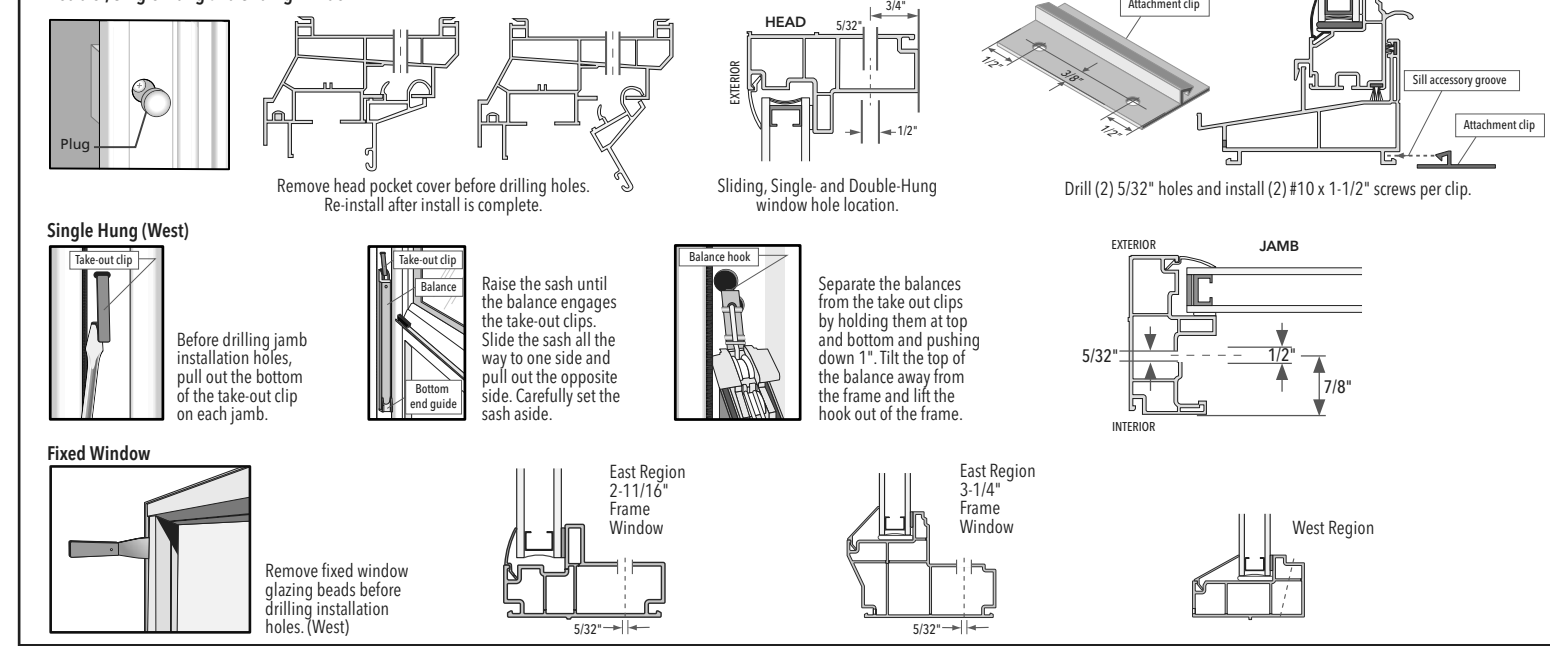
* Use Factory Drilled installation holes if present.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

Clip Installation for Mullions

Use self-adhesive spacer at all installation holes for a PECO Performance Install.

Use clips at the sill as mullions and centered under fixed casements in 3-wide combinations.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
DH/SH (single units)	Factory Pre-Drilled**				#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes for a PECO Performance Install.
DM/ SW/ SW w/PGSO	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW	4"	12"		6"	#10 x 2" Pan Head (provided)	
FX/CM/AW	4"	12"	4"	8"		

All venting products: Head and sill anchors are required on composites only.

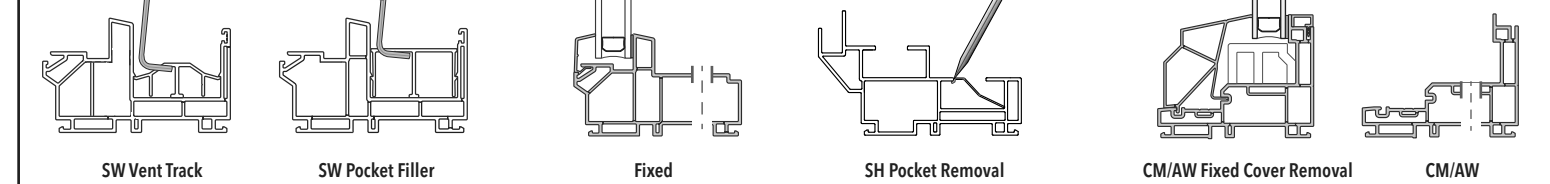
* Use Factory Drilled installation holes if present.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

250 Series DH/PGSO/DM: Add additional clip at center of mullion at all. Install hole plugs after driving screws. Replace all covers, films and tracks removed earlier.

Use self-adhesive spacer at all installation holes for a PECO Performance Install.

Use M1 and M2 spacing for screws at head and clips at sill with mullions only.



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INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

Interior Sealant Instructions

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

A. Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.

B. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.

NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening.

C. To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal.

Backer rod (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.

For windows set against drywall return or wood interior stops:

D. Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam.

Note: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.

E. Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

Exterior Sealant Instructions

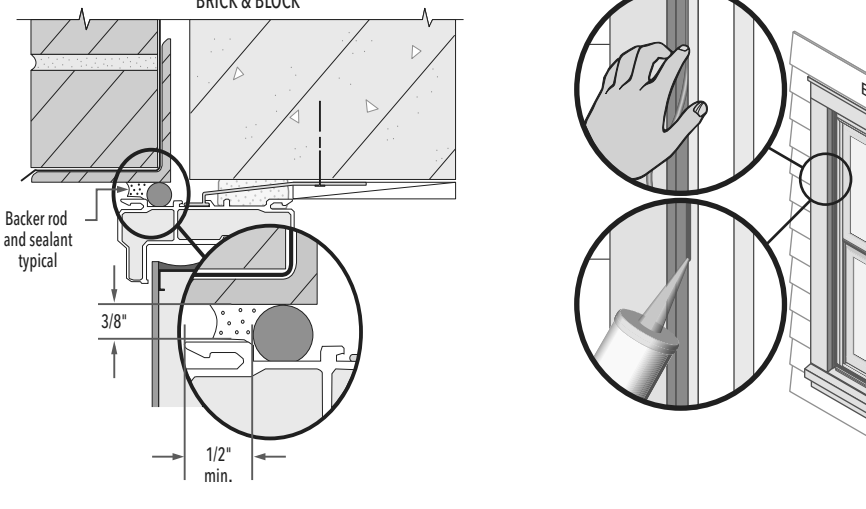
CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

A. If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1, skip to step (C)).

B. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.

C. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep holes with sealant.

NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the exterior sealant. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between additions, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET PITTSBURGH PA
15219

Project Location:
MANCHESTER SCATTERED SITES
1403 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

WINDOW REMOVAL/ REPLACEMENT (Pella)

scale As Noted	Sheet No.	
date May 6, 2022		A11 Project #2006
no. 12		

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. **(Initial all that apply.)**

Development Characteristics

Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.

Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- Enterprise Green Communities - 2020
- LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) - Silver
- LEED v4 BD+C Multifamily Midrise - Silver OR
- LEED v4 BD+C New Construction & Major Renovation - Silver (1 stories or more)
- ICC 700-2020 National Green Building Standard - Silver

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 208

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The preservation development will achieve certification under one of the green building standards indicated below:

- Enterprise Green Communities - 2020 Moderate Rehab
- LEED v4 O+M - Multifamily - Certified
- ICC 700-2020 National Green Building Standard Under Section 305.2 - Whole Building Rating - Bronze
- ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional Areas Rating - Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawing/specification package.

New Construction

- For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehab:

- For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Preservation (Moderate Rehab)* :

- For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

Note:

- Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program for verification for these points but must follow the MFHR program to achieve the Energy Star® label.
- All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

Energy Efficiency Goals (Only one of the following may be selected)

- The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.phius.org or www.passive.de/en for additional guidance.)
- To qualify for these points, the applicant must contract with a qualified Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WUFI) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WUFI to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/roof/door construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a observer/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the observer/verifier. After each site visit by the rater, a report shall be submitted to PHFA. **Passive House certification is required.**

*Qualified is defined as having completed a minimum of two similar Passive House buildings or an experienced certified consultant working under the supervision of a qualified consultant.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 209

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

New Construction

- For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehab:

- For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Preservation (Moderate Rehab)* :

- For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

Note:

- Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program for verification for these points but must follow the MFHR program to achieve the Energy Star® label.
- All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 210

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Accessible Housing

As the DESIGN ARCHITECT, I certify that:

- To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.
- The Fair Housing Act of 1988 & Fair Housing Design Manual
- ANSI A117.1-2009 (or edition currently adopted by the PA IUCD)
- Pennsylvania Uniform Construction Code
- Uniform Federal Accessibility Standards (UFAS)
- Section 504 of the Rehabilitation Act of 1973
- 2010 ADA Standards for Accessible Design
- Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)

NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

Accessible Units

For New Construction and Substantial Rehabilitation Developments:

As the design architect, I hereby certify that I either have designed or will design the referenced development to include twice the mandated number of fully accessible units under local, state, or federal mandate, whichever is greater. These units shall meet current accessibility standards.

Number of accessible units required under local mandate: _____

Number of accessible units required under state mandate: _____

Number of accessible units required under federal mandate: _____

Number of fully accessible units provided: _____

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

Number of existing fully accessible units (by current standards): 0

Number of fully accessible units provided: 5

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 211

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Large Family Units

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:

*High rise developments and senior housing cannot qualify for this category.

<input type="checkbox"/> .71	Total units	<input type="checkbox"/> >15 - 20% of all units
<input checked="" type="checkbox"/> .43	Total number of affordable 3 or more-bedroom units	<input type="checkbox"/> >20 - 25% of all units
<input type="checkbox"/> X	>15-16% of all units (suburban/rural developments only)	<input checked="" type="checkbox"/> >25% of all units

DESIGN ARCHITECT

Signed: [Signature] Date: 5/19/2021

Print: Fuku Architects, Pc

Firm: Fuku Architects, Pc

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____

Print: _____

Signed: _____ Date: _____

Print: _____

Tab_08_02 CERTIFICATION OF SELECTION CRITERIA 212

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following threshold criteria. **(Initial all that apply.)** The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

Development Amenities

As the DESIGN ARCHITECT, I certify that:

- An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, as to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation)
- An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 3181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 215

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Unit Amenities

As the DESIGN ARCHITECT, I certify that:

See Tab 29 Waiver Request

The net area of all dwelling units must fall within the limits listed below. (Net area is measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.) Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

FLATS	MULTI-FLOOR UNITS
SFR	90 to 230 s.f.
EFF	400 to 800 s.f.
2 BR	850 to 850 s.f.
3 BR	700 to 1,100 s.f.
4 BR	850 to 1,300 s.f.
5 BR	950 to 1,350 s.f.
	1,100 to 1,500 s.f.
	1,300 to 1,750 s.f.
	1,400 to 2,000 s.f.

As the DESIGN ARCHITECT, I certify that:

- Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)
- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units, provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

Visibility

As the DESIGN ARCHITECT, I certify that:

- All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be Visible. In rehab developments, a minimum of twenty-five (25) percent of the units in two-story developments, elevator buildings and walk-up apartments must be Visible. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet Visibility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide Visible units where feasible.)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 216

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Fair Housing

As the DESIGN ARCHITECT, I certify that:

- New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable.
- The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards Guide.
- Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2008.

Energy Conservation & Green Building Criteria

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures:

- All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
- All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
- In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic planes shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)
- In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 Btu/h, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballasts, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 217

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning conditioning units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

As the APPLICANT, I certify that:

- When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists.

As the DESIGN ARCHITECT, I certify that for new construction and substantial rehab developments:

- The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

- As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following green building features:
 - No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
 - All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
 - Termite shields or locale based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatments shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 218

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I certify that for preservation developments:

- The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)

Enterprise Green Communities Criteria for Preservation Developments

Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with all the mandatory 2015 Green Communities criteria, as amended:

3.1	Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements)
3.2	Minimization of Disturbance during Stepping and Construction. (Applicable only to new ground disturbance)
3.3	Ecosystem Services/Landscaping (applicable only to new landscaping)
4.1	Water-Conserving Fixtures (Applicable only to new fixtures)
5.0	Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)
5.6	Energy Star Appliances (Applicable only to new appliances)
5.8	Lighting (Applicable only to new lighting fixtures)
6.4	Healthier Material Selection (Applicable only to new paints, coatings and primers)
6.6	Bath, Kitchen Appliance Surfaces
6.8	Managing Moisture Foundations (Applicable to new addition foundations)
6.9	Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)
7.3	Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only)
7.5	Integrated Pest Management (Applicable only if identified as a problem in the PCNA)
8.1	Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements)
8.2	Emergency Management Manual (Follow Enterprise requirements)

Home Ownership

As the DESIGN ARCHITECT, I certify that:

- The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook-ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided.

Flood Plain Certification

As the DESIGN ARCHITECT, landscape architect or civil engineer I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is: **(Check all that apply)**

- Outside any flood area
- Inside a 500 year flood area
- Outside of a flood way
- Inside a flood way
- Inside a 100 year flood area

Tab_08_04 CERTIFICATION OF THRESHOLD CRITERIA 219

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.:

Design Architect (Signature): [Signature] Date: 10/18/2021

1. Number of Buildings: 56

2. Building Height (Stories): 3 to 4 stories

3. Building Code: IRC / IRC-C Construction Type: III-B or V-A

4. Structural System: Wood Joists to 2x4 framing or masonry

5. Exterior Finish: Brick or vinyl

6. Gross Building Area*: 148,586

7. Gross Commercial Area (SF): 0 Percentage of Gross Building Area: 0%

8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only

9. Required Variances: N/A

10. Applicable Accessibility Regulations: Section 504 UFAS PAUC FHAA ADA

Unit/Room Type	No. of Units	Accessible Units		Adaptable Units		Net SF**	Gross SF**
		ADA	HV	ADA	HV		
SRO	0						
EFF	0						
1 BR	35						
2 BR	13						
3 BR	25						
4 BR	13						
Community Room						2244	4116
Circulation (hallways, stairs & etc.)						1753	2917
Other							
Unit Total	86	5	2	0	0		

*Gross Building Area (GBA) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multi-story spaces shall be excluded from the square foot calculation, include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

- general notes**
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fuku Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.
- revisions**

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

SELECTION CRITERIA, THRESHOLD CRITERIA, TABULAR SCHEDULE

scale As Noted

date May 6, 2022

no. 1 of 12

Sheet No. A0
Project #2006

TABULAR AREA UNIT SCHEDULE		
UNIT #	GROSS AREA (SF)	NET AREA (SF)
SFR	2,215	1,946

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1405 PAGE STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

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Code Conformance Information

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,946 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	0

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

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- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
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- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale		Sheet No.
As Noted		
date		A1 Project #2006
May 6, 2022		
no.	of.	
2	12	

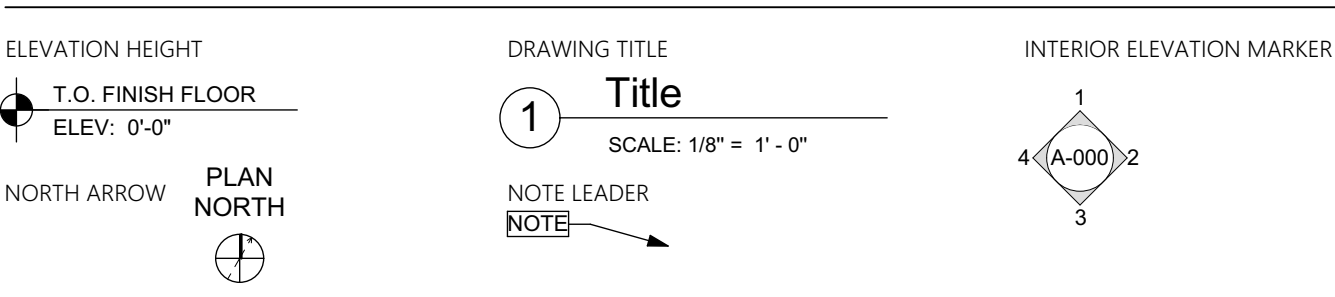
Materials Legend

- NOT ALL MATERIALS USED
- EARTH
- COMPACTED STONE FILL
- CONCRETE
- STEEL
- RIGID INSULATION
- BLOCKING
- BATT INSULATION
- GYPSUM WALL BOARD
- WOOD
- PLYWOOD SHEATHING
- SPRAY FOAM INSULATION

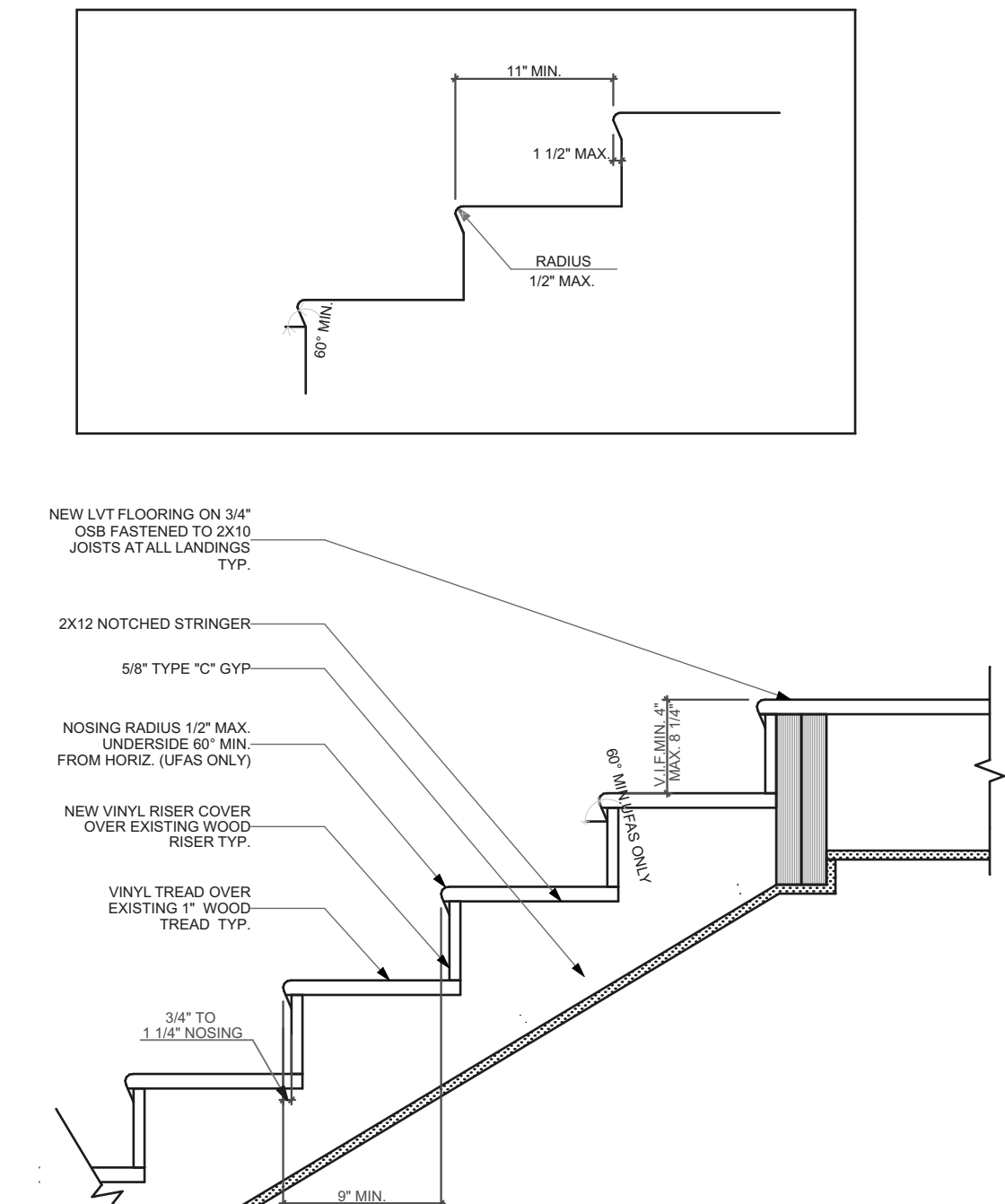
Abbreviations

A.F.F. Above Finish Floor	ELEV. Elevation	MISC. Miscellaneous
A.P. Access Panel	EQUIP. Equipment	N.I.C. Not In Contract
ACOUST. Acoustical	E.F. Exhaust Fan	N.T.S. Not To Scale
A.C.T. Acoustical Ceiling Tile	EXIST. Existing	O.C. On Center
ADH. Adhesive	EXP. Expansion	OPP. Opposite
ADJUST. Adjustable	E.J. Expansion Joint	O.H. Overhead
A/C. Air Conditioning	ESH. Sheathing	P.R. Pair
ALT. Alteration	EXIST. Existing	PLAS. Plaster
ALTN. Alternate	EXP. Exposed	PLAS.LAM. Plastic Laminate
ALUM. Aluminum	EXT. Exterior	P.C. Plumbing Contractor
A.O.R. Area of Refuge	E.I.F.S. Exterior Insulation & Finish System	P.W.D. Plywood
APPROX. Approximate	F.R.P. Fiberglass Reinforced Polyester	POLY. Polyethylene
ARCH. Architectural	FIN.FLR. Finish Floor	P.V.C. Polyvinyl Chloride
ASB. Asbestos	F.F. Finish Floor	PREF-FAB. Prefabricated
ASPH. Asphalt	F.A.C.P. Fire Alarm Control Panel	RE. Refer To
AUTO. Automatic	F.E. Fire Extinguisher	REF. Refrigerator
AVG. Average	FLR. Floor	R.C.P. Reinforced Concrete Pipe
BLK. Block	F.D. Floor Drain	REINF. Reinforcement
BD. Board	FTG. Footing	R.D. Roof Drain
BOT. Bottom	GA. Gauge	R.M. Room
BLDG. Building	G.C. General Contractor	S.A.T. Suspended Acoustical Tile
C.I.P. Cast In Place	G.F.I. Ground Fault Interrupter	SCHED. Schedule
C.B. Catch Basin	GYP. Gypsum	SHT. Sheet
C.E.M. Cement	G.W.B. Gypsum Wall Board	SIM. Similar
CER. Ceramic	GSH. Gypsum Sheathing	S.C. Solid Core
CG. Corner Guard	H/C. Handicap	SPECS. Specifications
C.M.T. Ceramic Mosaic Tile	H.V.A.C. Heating, Ventilation & Air Conditioning	SQ. Square
C.W.T. Ceramic Wall Tile	HT. Height	S.F. Square Foot
C.O. Cleanout	HC. Hollow Core	S.S. Stainless Steel
CL. Closet	H.M. Hollow Metal	STL. Steel
C.W. Cold Water	HORIZ. Horizontal	STOR. Storage
CLG. Ceiling	H.R. Hour	STRUCT. Structural
CLR. Clearance	HR. Hour	TEL. Telephone
COL. Column	IN. Inch	THK. Thick
CONC. Concrete	I.M. Insulated Metal	T.B.D. To Be Determined
C.M.U. Concrete Masonry Unit	INSUL. Insulation or Insulated	T&G. Tongue & Groove
CONT. Continuous	INT. Interior	T.O. Top Of
CORR. Corridor	INV. Invert	T.G. Top Of Grade
C.M.P. Corrugated Metal Pipe	ISO. Isolation	T.O.S. Top Of Steel
COURSES. Courses	JAN. Janitor's Closet	TYP. Typical
DIA. Diameter	J.T. Joint	UNFIN. Unfinished
DET. Detail	LAM. Laminate	U.N.O. Unless Noted Otherwise
DGL. Dens Glass Gold	LAV. Lavatory	V.B. Vapor Barrier
DR. Door	LG. Long	VERT. Vertical
DN. Down	M.D.F. Medium Density Fiberboard	VEST. Vestibule
D.S. Downspout	M.D.H. Magnetic Door Holder	V.C.T. Vinyl Composition Tile
DWG. Drawing	M.H. Manhole	V.I.F. Verily In Field
D.F. Drinking Fountain	MFR. Manufacturer	W.H. Water Heater
D.I.P. Ductile Iron Pipe	MAX. Maximum	W.R.B. Water Resistant Barrier
EA. Each	ELEC. Electrical	W.W.F. Welded Wire Fabric
E.W. Each Way	MECH. Mechanical	WIN. Window
ELEC. Electrical	MET. Metal	W/. With
E.C. Electrical Contractor	MIN. Minimum	W/O. Without
ELEVATION. Elevation		WD. Wood

Symbols



4 ABBREVIATIONS AND MATERIALS



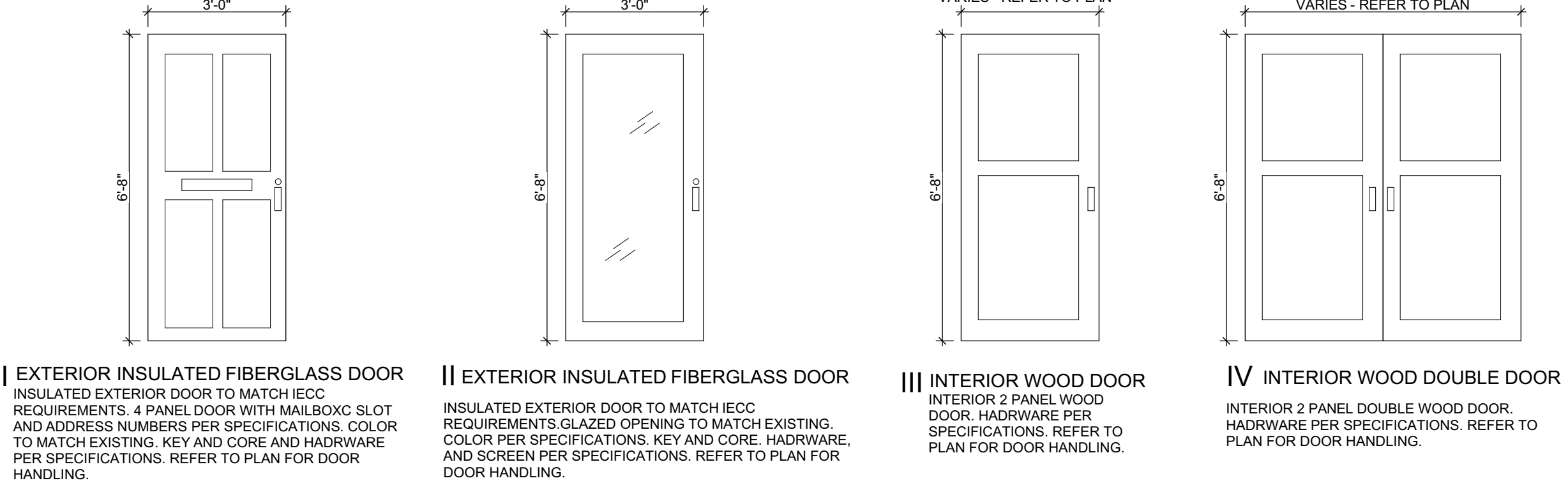
THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL
SCALE: 1" = 1'-0"

ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-9"	2'-0"	8'-0"	GLASS BLOCK	☐	☐
B	2'-9"	5'-0"	7'-8"	VINYL CLAD WOOD	☒	☐
C	5'-7"	5'-0"	7'-7"	VINYL CLAD WOOD	☒	☐
D	3'-0"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS	☐	☒
E	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	☒	☐
F	2'-9"	4'-4"	6'-9"	VINYL CLAD WOOD	☒	☐
G	2'-9"	4'-6"	6'-9"	VINYL CLAD WOOD	☒	☐
H	5'-6"	4'-6"	7'-0"	VINYL CLAD WOOD	☒	☐
I	4'-10"	4'-5"	6'-8"	VINYL CLAD WOOD	☒	☐
J	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	☒	☐
K	2'-4"	4'-1"	6'-11"	VINYL CLAD WOOD	☒	☐

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	3'-0" x 7'-0"	I	WOOD	WOOD	ENTRY
2	3'-0" x 7'-0"	II	WOOD	WOOD	ENTRY
3	2'-8" x 6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0" x 6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
6	3'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4" x 6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6" x 6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0" x 6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4" x 6'-8"	III	WOOD	WOOD	PASSAGE
11	2'-6" x 6'-8"	III	WOOD	WOOD	PASSAGE

NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION

THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

general notes

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revisions

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200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

scale As Noted	Sheet No. A2 Project #2006
date May 6, 2022	
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GENERAL FLOOR PLAN NOTES

1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS.
6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR, REFER TO SPECIFICATIONS FOR DETAILS.
8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACF. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES.
11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR SHOULD REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACF'S REPRESENTATIVE.
14. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION OF WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACF'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS.
18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURERS RECOMMENDATIONS

HAZARDOUS NOTES

1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT, AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING:**
1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
 2. INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL, SCHEDULE FOR MORE INFORMATION.
 3. WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
 5. ALL CLOSETS ROD & SHELVES
 6. ALL ROOF SOFFITS
 7. GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAP, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
 8. ADDRESS NUMBERS
 9. DRYWALL UP TO 2005F
 10. METAL EXTERIOR RAILINGS AND GATES
 11. INTERIOR WOOD HANDRAILS
 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS
 13. DUCTWORK

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS UNLESS OTHERWISE NOTED:**
14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE, SINKS, AND COUNTERTOPS. BACKSPLASH, NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS.
 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICATIONS.
 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES. PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS
2. CONCRETE STEPS AND SIDEWALKS
3. INTERIOR STAIRS
4. BASEMENT SLAB AND WALL CRACKING
5. EMERGENCY LIGHTING
6. SPRINKLER SYSTEMS
7. FIRE ALARM SYSTEMS

PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING AND PRECAST CONCRETE VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS.
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR, 8" DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM REMOVE EXISTING WAX RING, CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUT SHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWL TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLE TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW HOSE-BIBB. SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.

- P10. EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.

P11. INSPECTION REPORT INDICATES SEWER BACKUP. REMEDIATION IS REQUIRED. EXISTING SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.

P12. INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR / REPLACE WATER PIPING AS MAY BE REQUIRED.

P13. INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISTING FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMP LOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISTING STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.

P14. ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER).

MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING:

M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TOWARD CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.

M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.

M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. SEE SPECIFICATIONS.

M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILING'S / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILING'S / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.

M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILING'S / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILING'S / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.

M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPER OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED. SEE SPECIFICATIONS.

M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW WALLS DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET, PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE UNIT TRAP ASSEMBLY. SEE SPECIFICATIONS.

ELECTRICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING:

E1. CONTRACTOR SHALL REPLACE EXISTING ELECTRICAL PANELS AS REQUIRED WITH NEW PER SPECIFICATIONS. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.

E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.

E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.

E4. ALL LIGHT FIXTURES THAT MAYBE MISSING, INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICIENCY LED LIGHT FIXTURES PER SPECIFICATIONS.

E5. CONTRACTOR SHALL INSTALL NEW LED LIGHT FIXTURES AND 3-WAY SWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSING LIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLEFC LEVELS FOR EXISTING STAIRWAYS SHALL BE NO LESS THAN HERE COMPLETED FC LEVELS FROM NFPA 101, LIFE SAFETY CODE.

E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED IN ACCORDANCE WITH THE N.E.C.

E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES/JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF UNLESS OTHERWISE NOTED.

E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.

E9. CONTRACTOR FIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED IN ACCORDANCE WITH THE N.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/OR SERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES, LIGHT SWITCHES, LUMINAIRES, ETC., BEING INOPERABLE.

E10. FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARM PER SPECIFICATIONS.

E11. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING GAS-FIRED FURNACE TO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.

E12. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE EPOWER TO NEW FURNACE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.

E13. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

E14. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW NEMA-3R, OUTDOOR, DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.

E15. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER AND INSTALL IT BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.

E16. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.

E17. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.

E18. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.

E19. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.

E20. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.

E21. CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.

E22. NEW APPLIANCES SUCH AS BUILT-IN DISHWASHERS AND TRASH COMPACTORS SHALL BE PERMITTED TO BE CORD-AND-PLUS CONNECTED WITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSE OF THE INSTALLATION INSTRUCTIONS OF THE APPLIANCE MANUFACTURER.

E23. CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICAL PANEL BOARDS.

E24. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.

E25. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ABANDON LINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.

E26. CONTRACTOR SHALL PREPARE / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

GREEN COMMUNITIES NOTES

1. MITIGATE ALL CONTAMINANTS FOUND.
2. IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBING FIXTURES MUST BE WATERSENSE CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFRIGERATORS TO BE ENERGY STAR RATED.
6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALL PAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION.
8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM # 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WHICH ARE EXEMPT.
9. INSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS.
10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION EQUIPMENT. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER-VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
13. ANY INSULATION INSTALLED AS PART OF THE REPAIR ACHIEVES GRADE I INSTALLATION PER ANSULC 381. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE ASHRAE HANDBOOK FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION > R-5 IN CLIMATE ZONES 5 TO 8.
14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING WITH THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST, ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF PERMIT).
15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATH AND VELOCITY OF RUNOFF WITH SILT FENCING OF COMPARABLE MEASURES. PROTECT ERPZs, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES, SILT FENCING, SILT SACKS, ROCK FILTERS, OR COMPARABLE MEASURES. PROVIDE SHADES TO PROTECT TREES AND PROTECT SIGNIFICANT AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION. HEALTHY TREES WITH A DIAMETER AT BREAST HEIGHT GREATER THAN 6", INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS), COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
16. ALL PLANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTURBED AREAS SHOULD BE PLANTED, SEEDED OR REVEGETATED.
17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT (AS DEFINED BY EPA AND THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438).
18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOT-CANDLE). IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR BARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT), EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMICAL TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE: DARK SKY-APPROVED "FRIENDLY" FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER.
25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETRIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF MOLD.
27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM # 6329 OR ASTM # 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
28. FLASHINGS AT ROOF WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER.
29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
30. AT WALL, ROOF INTERSECTIONS, MAINTAIN 3" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS. INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE.
31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS.
34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALANTS. DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS TO PREVENT PEST ENTRY, USE RODENT- AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN 1/4-INCH, ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

general notes

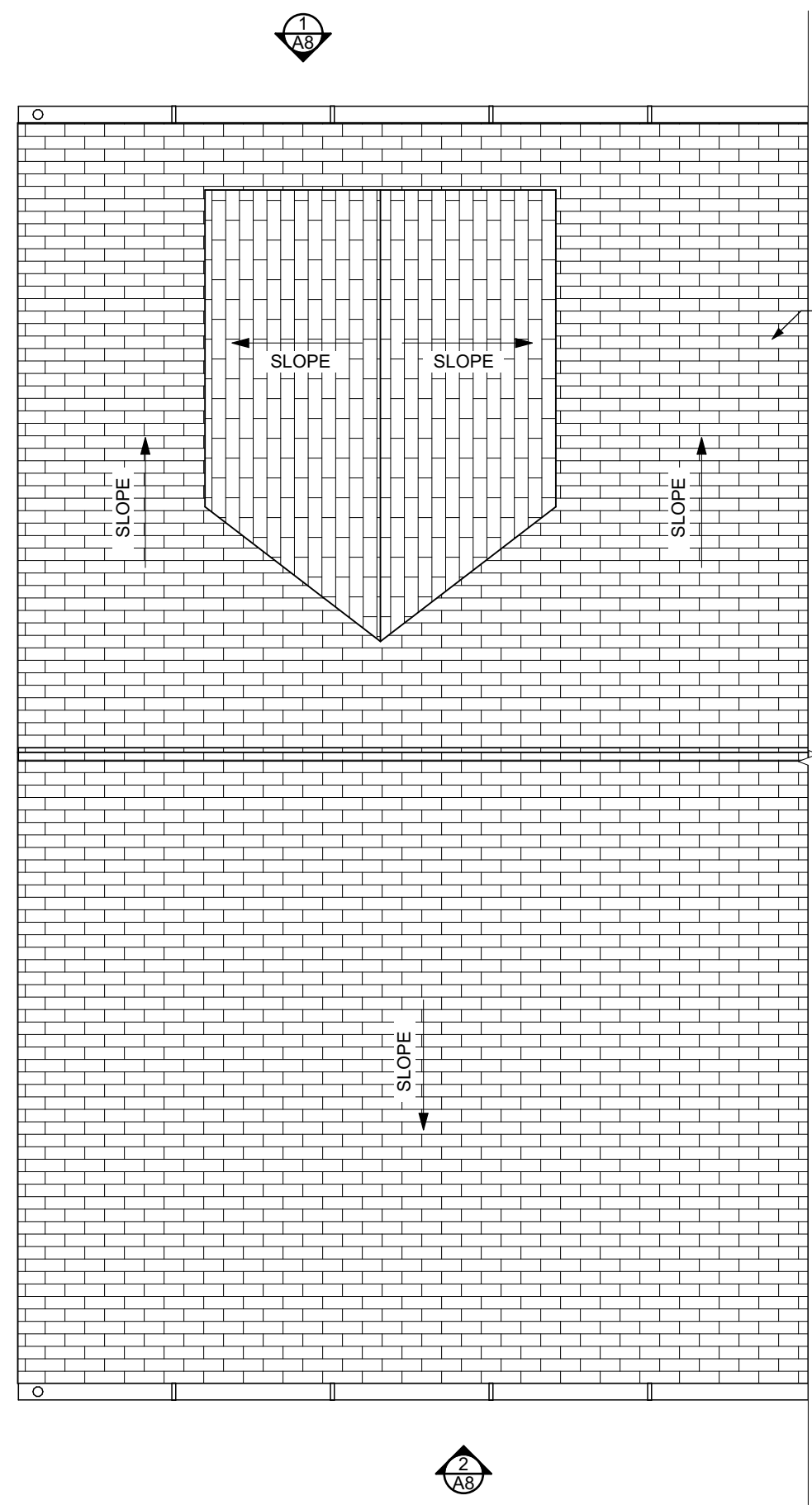
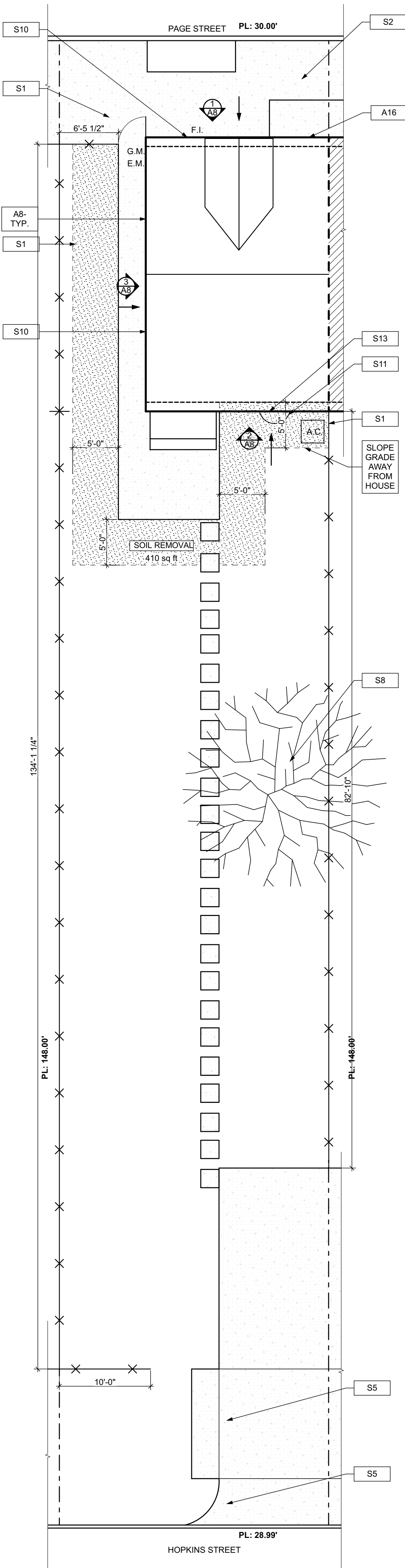
1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

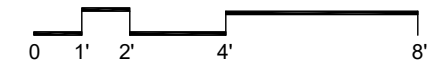
ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACF
200 ROSS STREET
PITTSBURGH, PA 15219



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

—X—	PROPERTY FENCE	G.M.	GAS METER
- - - -	PROPERTY LINE	F.I.	FRESH AIR INTAKE
—	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
- - - -	PARTY WALL	E.M.	ELECTRIC METER
(Gate symbol)	GATE		
(Square symbol)	STEPPING CONCRETE PADS		
(Dashed line symbol)	ICE WATER SHIELD		

ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/SJOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION WALL AND EXISTING SIDEWALK TO BE SEALED.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACPC, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACPC THE AMOUNT DUE OF ALL ITEMS REMAINING.

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL. F.S. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SLOPE REQUIREMENTS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN 1/4" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN 1/4" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GREAT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, GUTTERS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOODS OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. RINGSHED EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LAB FOR NEW STANDARD ZXXY. SPREAD FOOTING AND BRACE TO COLUMN OR PLATE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION. TO BE RELOCATED TO ADJACENT DUCT OR FURNACE.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO DUCTWORK. WHERE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF PLAN, ROOF
PLAN NOTES, ROOF AND SITE
PLAN LEGEND, GRAPHIC
SCALES, SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no.	of.
5	12

Sheet No.

A4

Project #2006

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	6	A5
of.	12	
Project #2006		

SITE

- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. EX. TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW 2X4 END JOINT CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 1% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE, AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 1% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
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- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPS TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

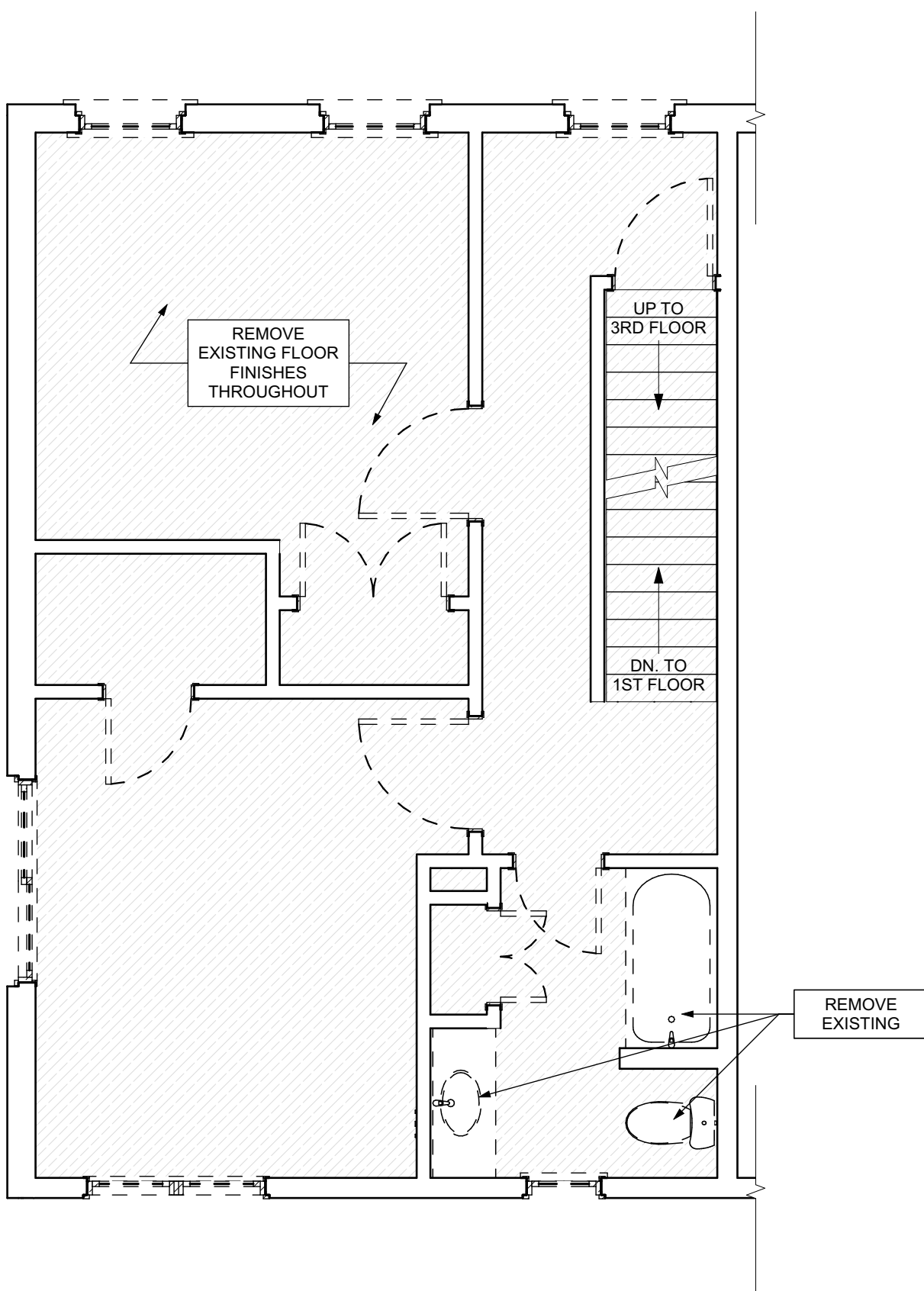
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTOR PLATE. BRACE AND TIEBACK TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOORING. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR STRIPS WHERE REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. FINISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2XX4 TYP. SPREAD FOOTING AND BRACE. CONSULT ARCHITECT FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBT DURING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTION TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY REFER TO PLUMB. DWG.'S.

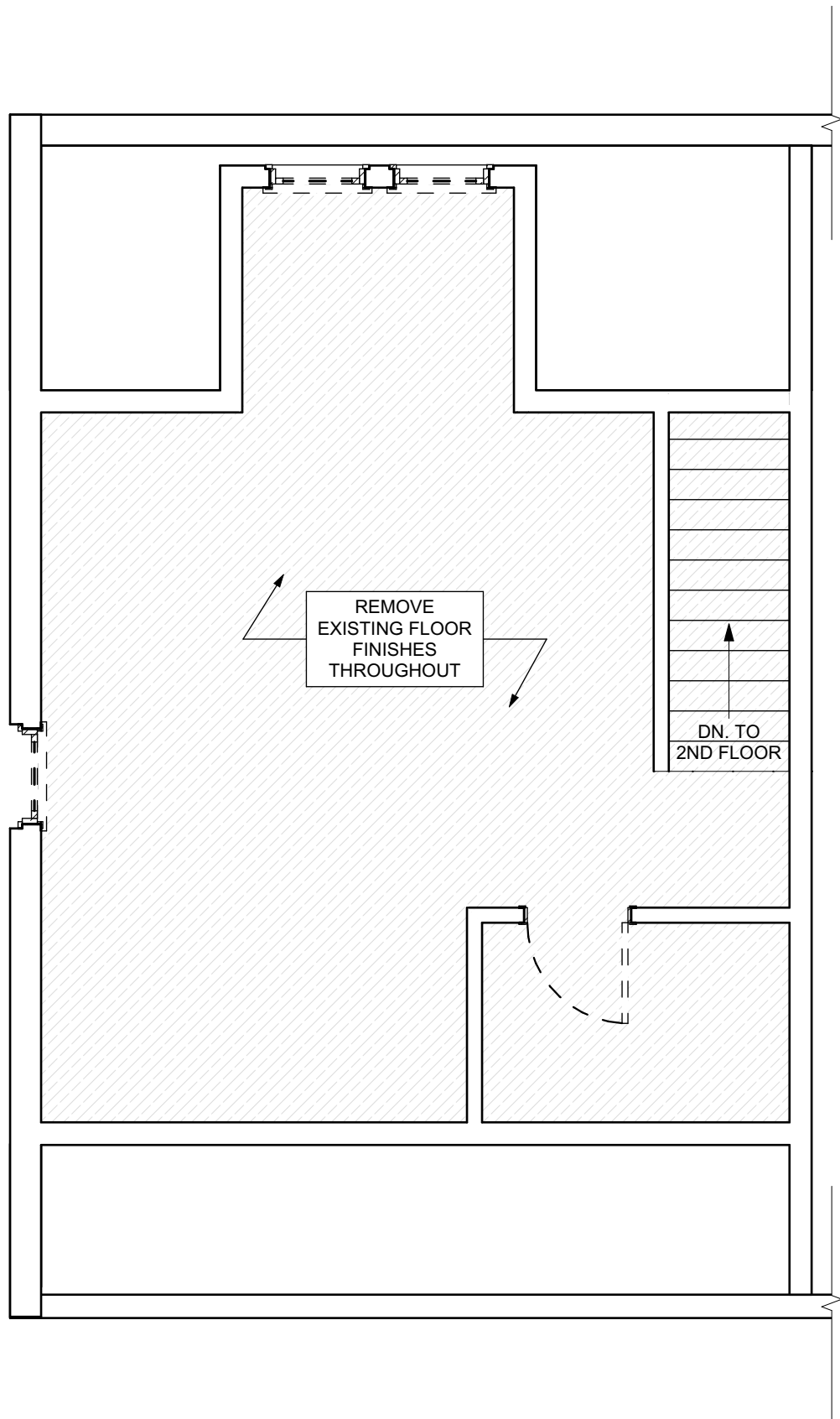
- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY REFER TO MECH. DWG.'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. REPAIR WITH INSULATION. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
10. ITEMS NOT LABELED OR KEYED FOR REMOVAL/ DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

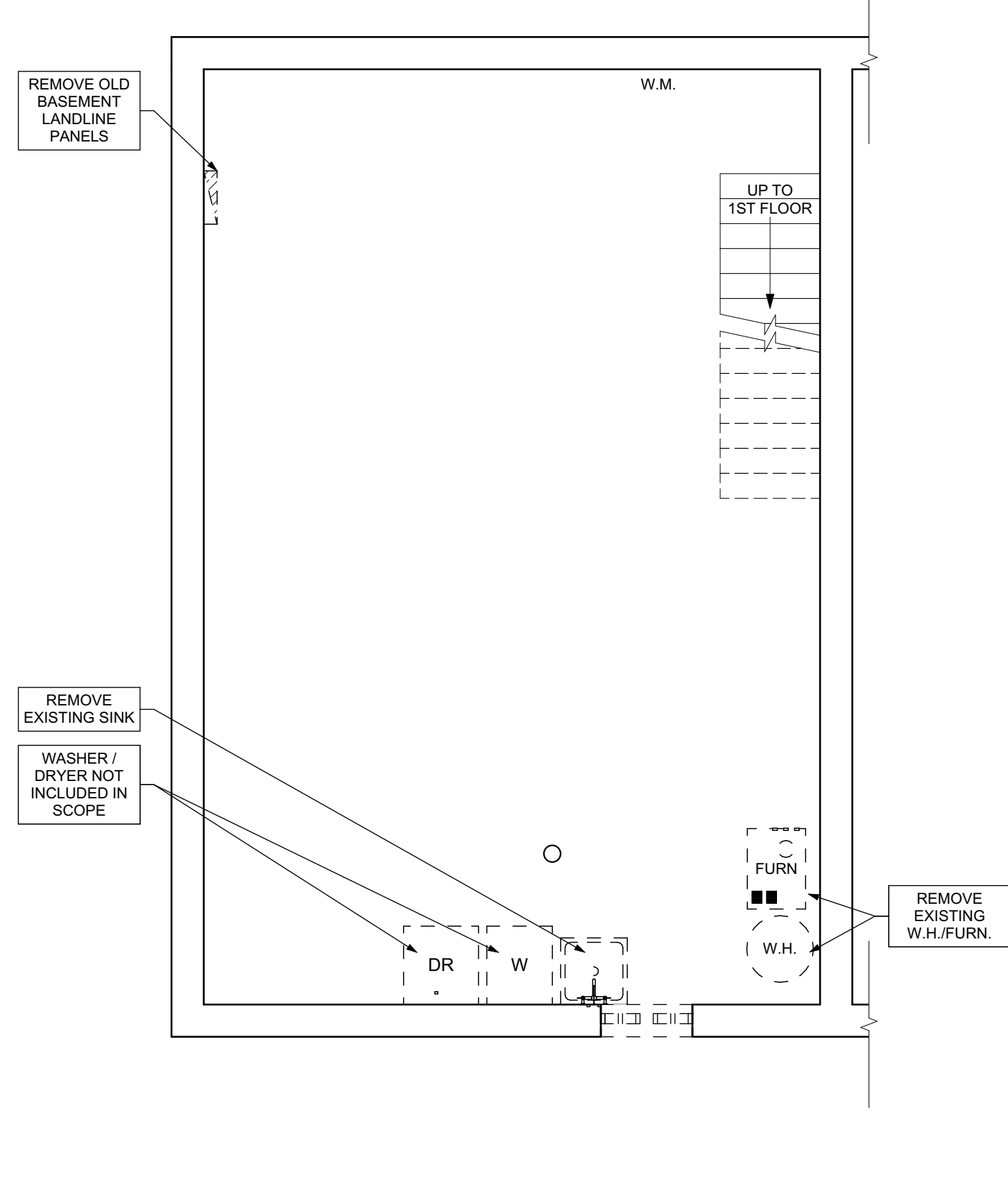
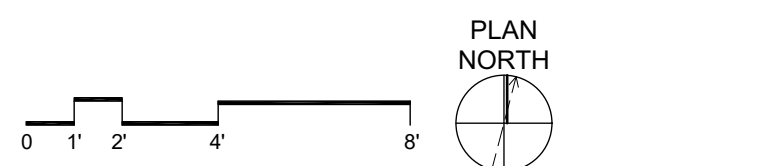
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

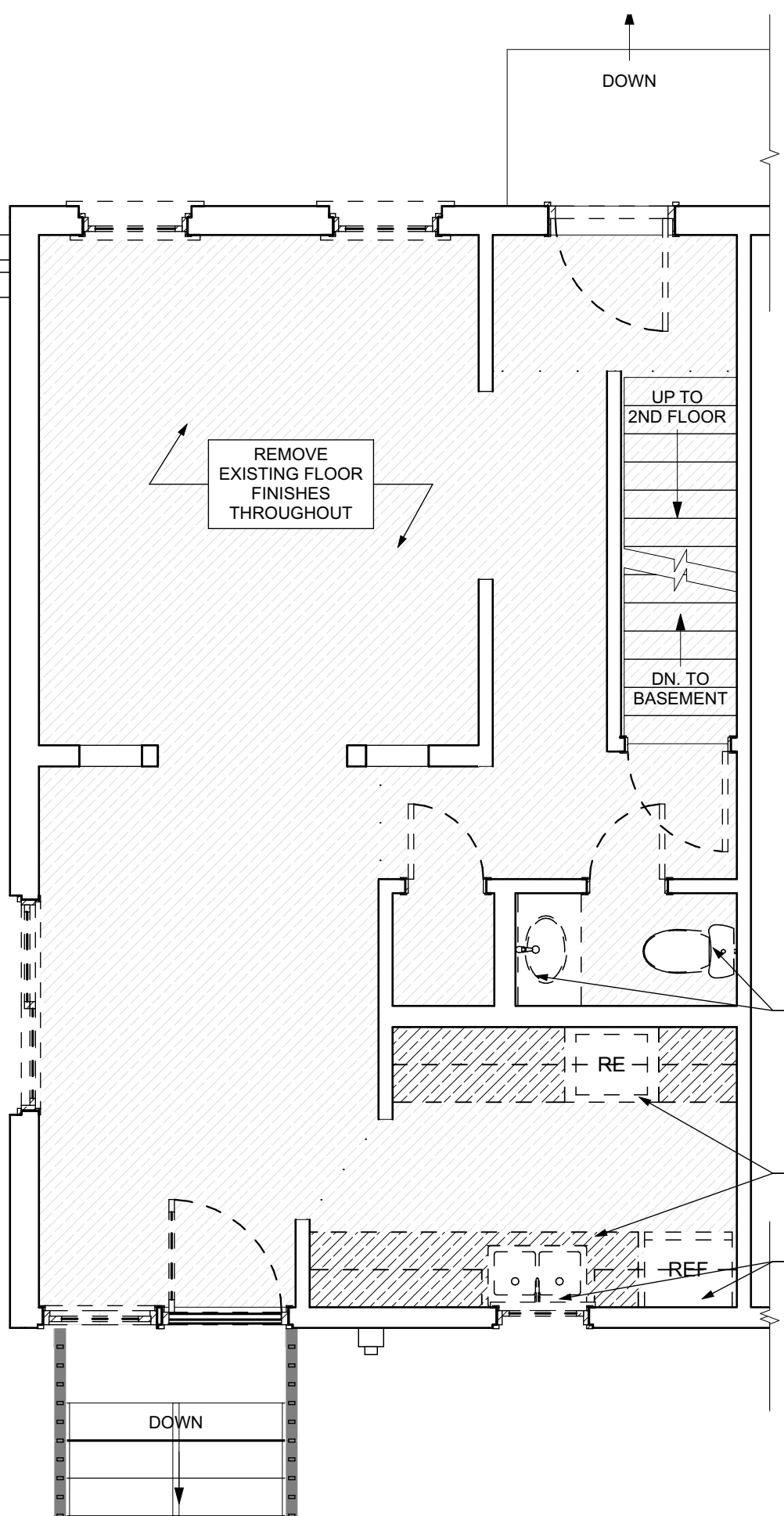
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING.



1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

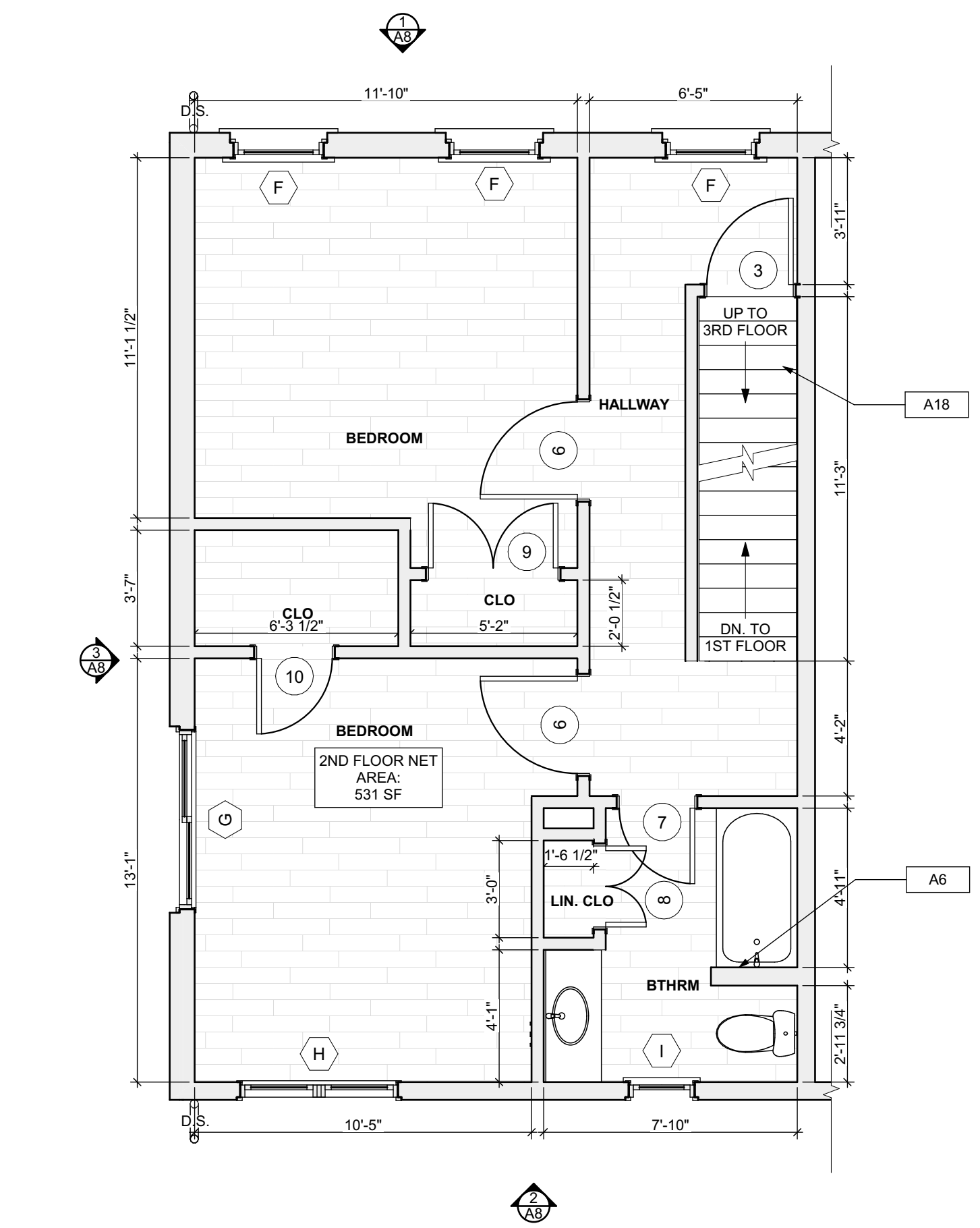
Project Location:
 MANCHESTER SCATTERED SITES
 1405 PAGE STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

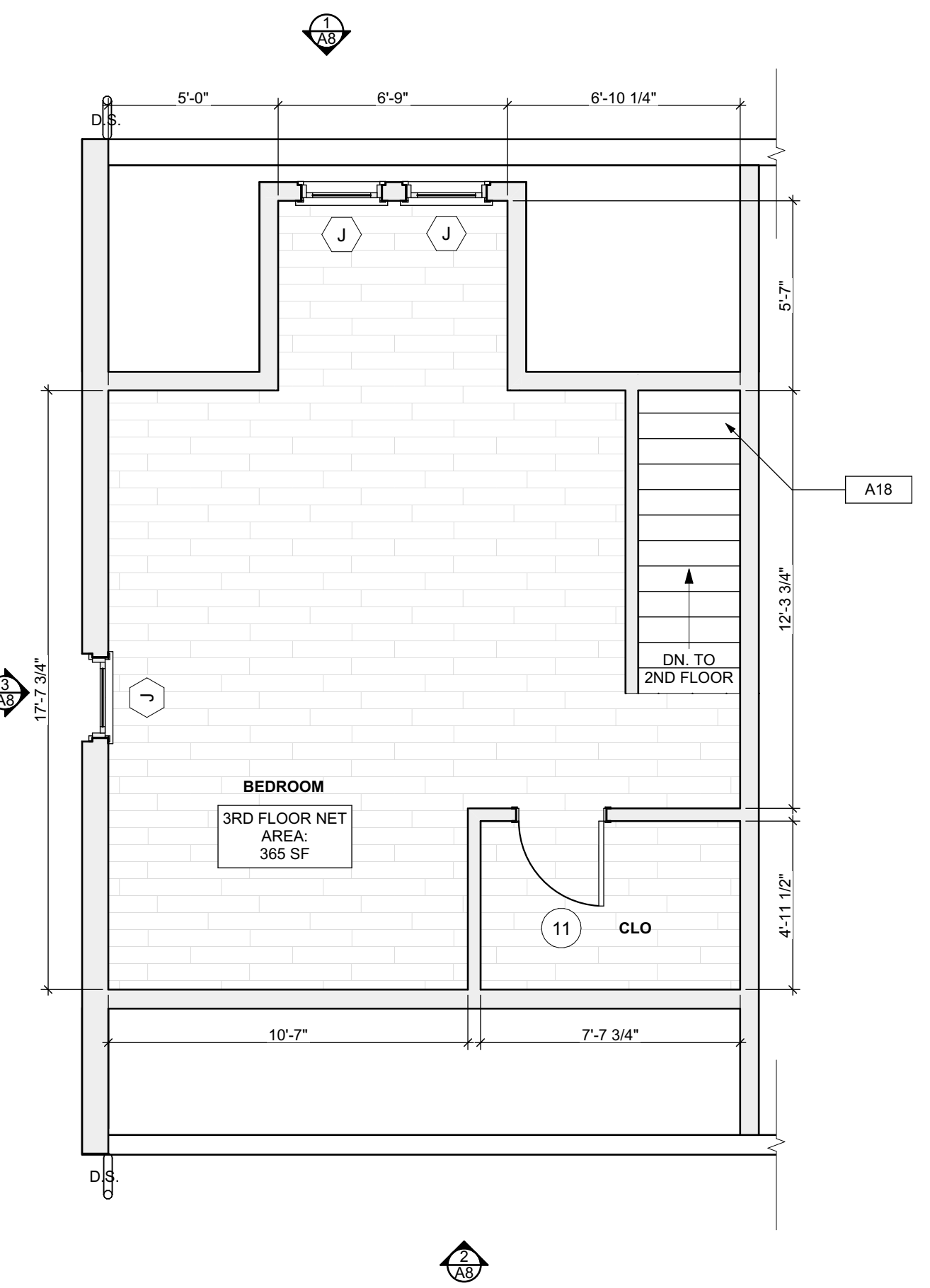
**BASEMENT /FINISH/MECH./PLUMB. PLAN,
 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN,
 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN,
 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, SMALL UNIT KEYNOTES, FLOOR PLAN LEGEND**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7 of 12	A6 Project #2006

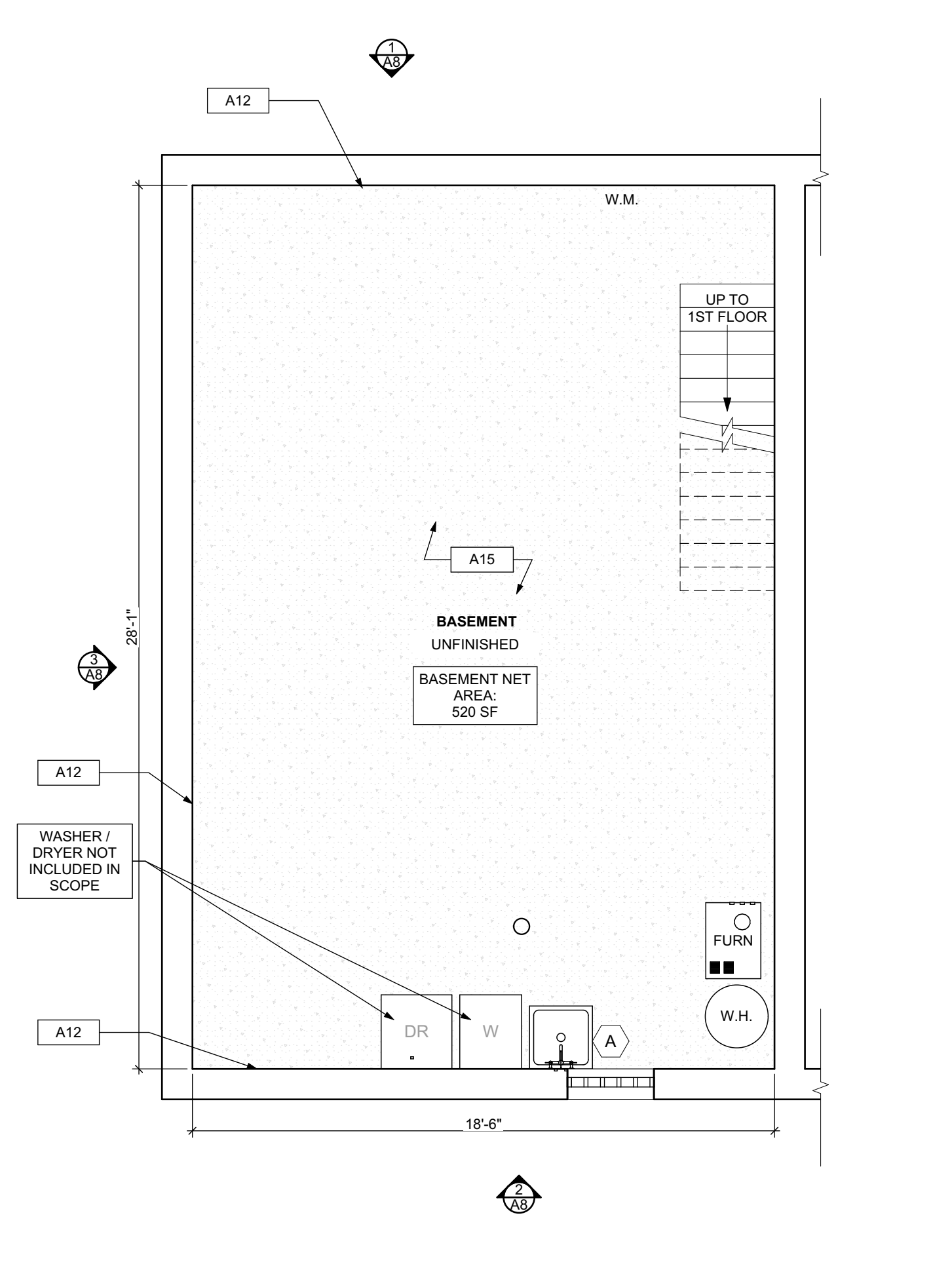
- SITE**
- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. W/ REINFORCING BARS AND FINISH WITH 2" OF POLYMER MODIFIED PORTLAND CEMENT CONCRETE. IS PRESENT MINIMUM 3" OVER 1" OF REINFORCING BARS. REGRADE DISTURBED VEGETATION PER SPECIFICATIONS.
 - [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF AREA. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REINFORCED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/ COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/ COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT OUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. SPECIFICATIONS FOR DETAILS.
 - [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - [S13] REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REPAIR, REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM OR TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS, REPAIR AND LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A8] SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKS/SPALLS/STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND BRACE. REFER TO PLUMBING PLAN FOR DETAILS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR PURNACE.
 - [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION FROM EXISTING FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



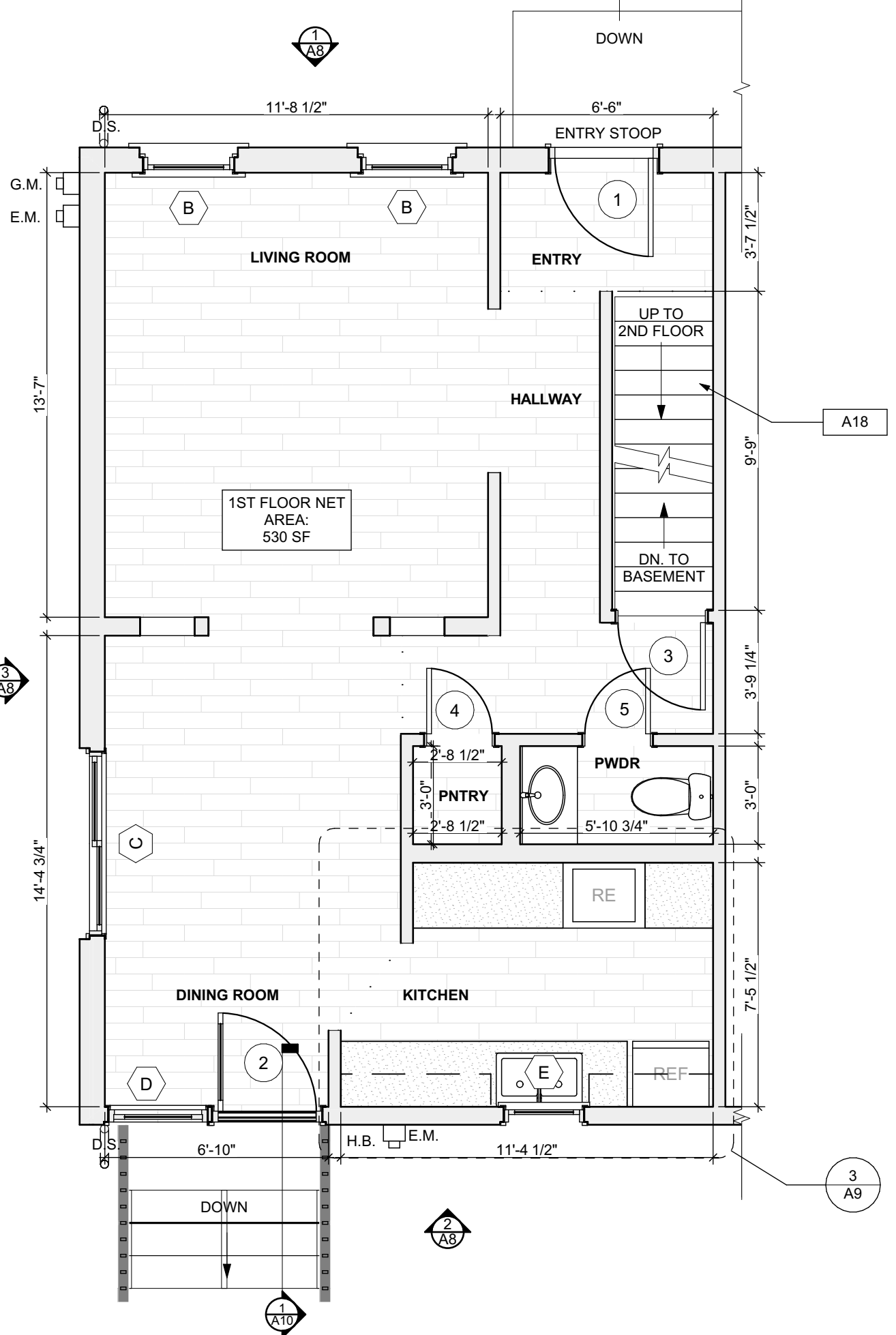
3 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



4 THIRD FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



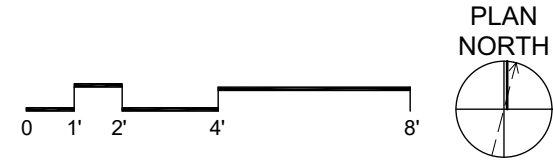
2 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

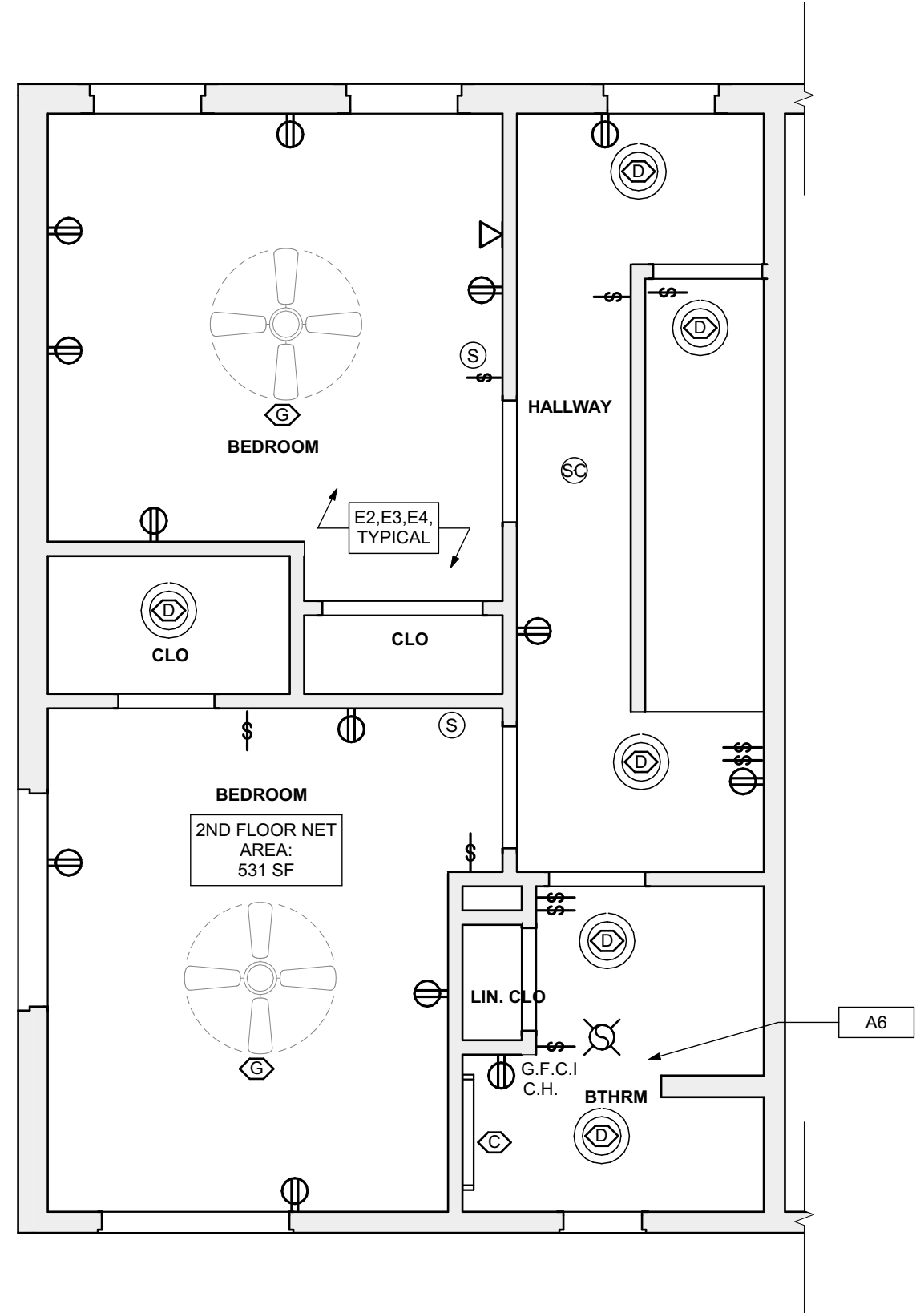
FLOOR PLAN LEGEND

- [FRIDGE] FRIDGE
- [RANGE] RANGE
- [GAS FURNACE] GAS FURNACE
- [UTILITY SINK] UTILITY SINK
- [WASHER] WASHER
- [NEW DOOR AND DOOR NUMBER] NEW DOOR AND DOOR NUMBER
- [WATER HEATER] WATER HEATER
- [DOWN SPOUT] DOWN SPOUT
- [ELECTRIC METER] ELECTRIC METER
- [HOSE BIB] HOSE BIB
- [DRYER] DRYER

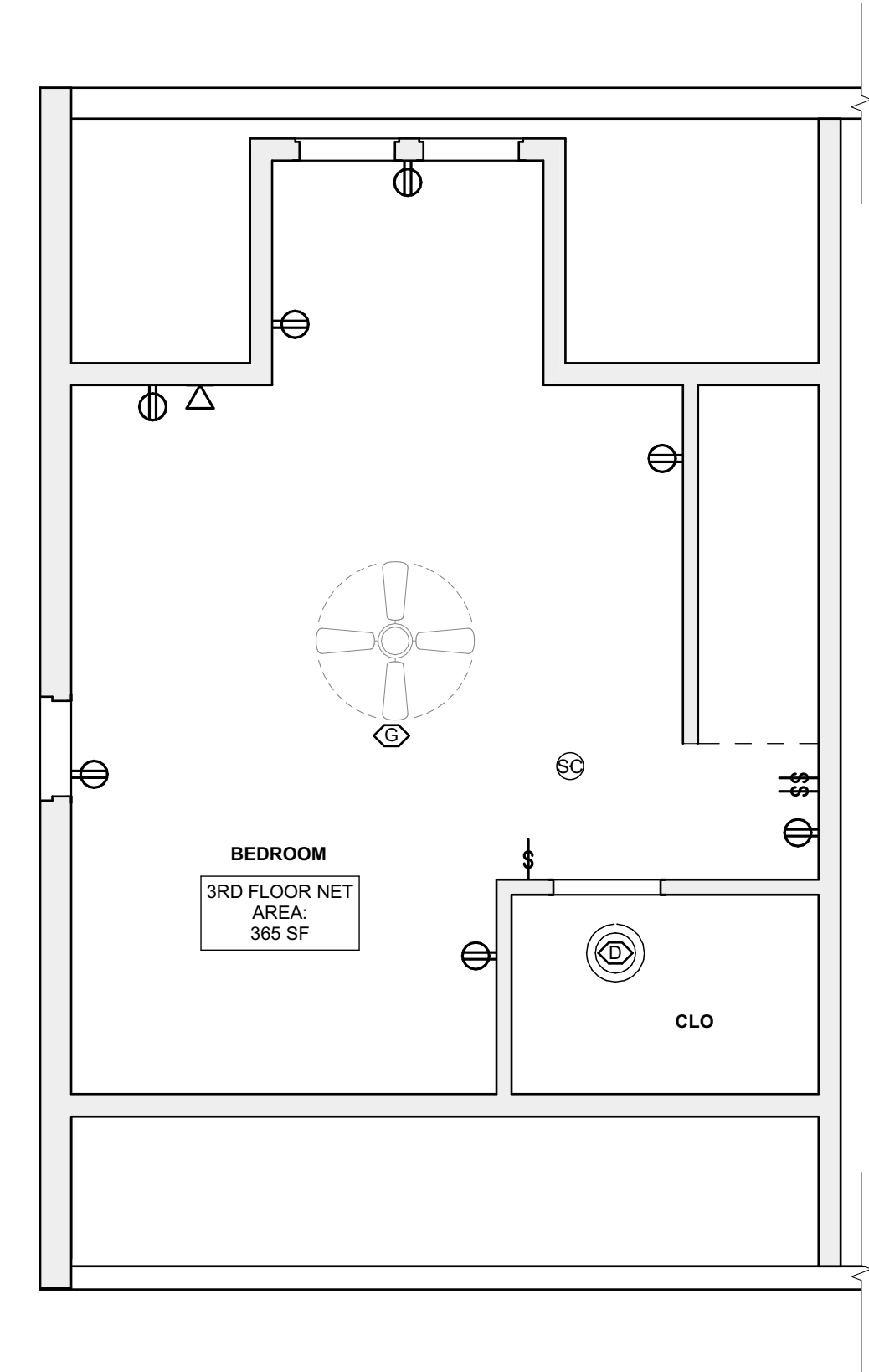
SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

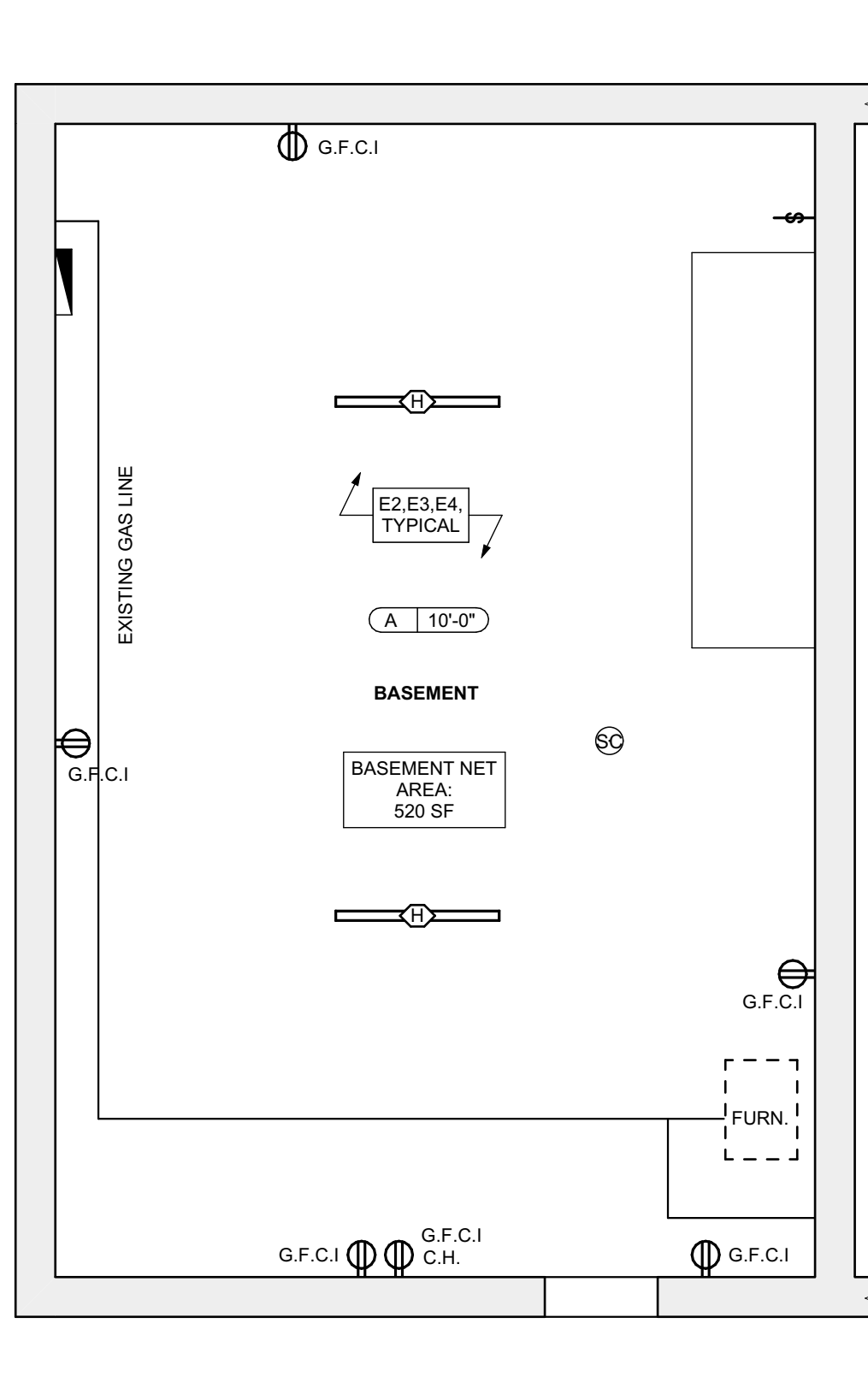




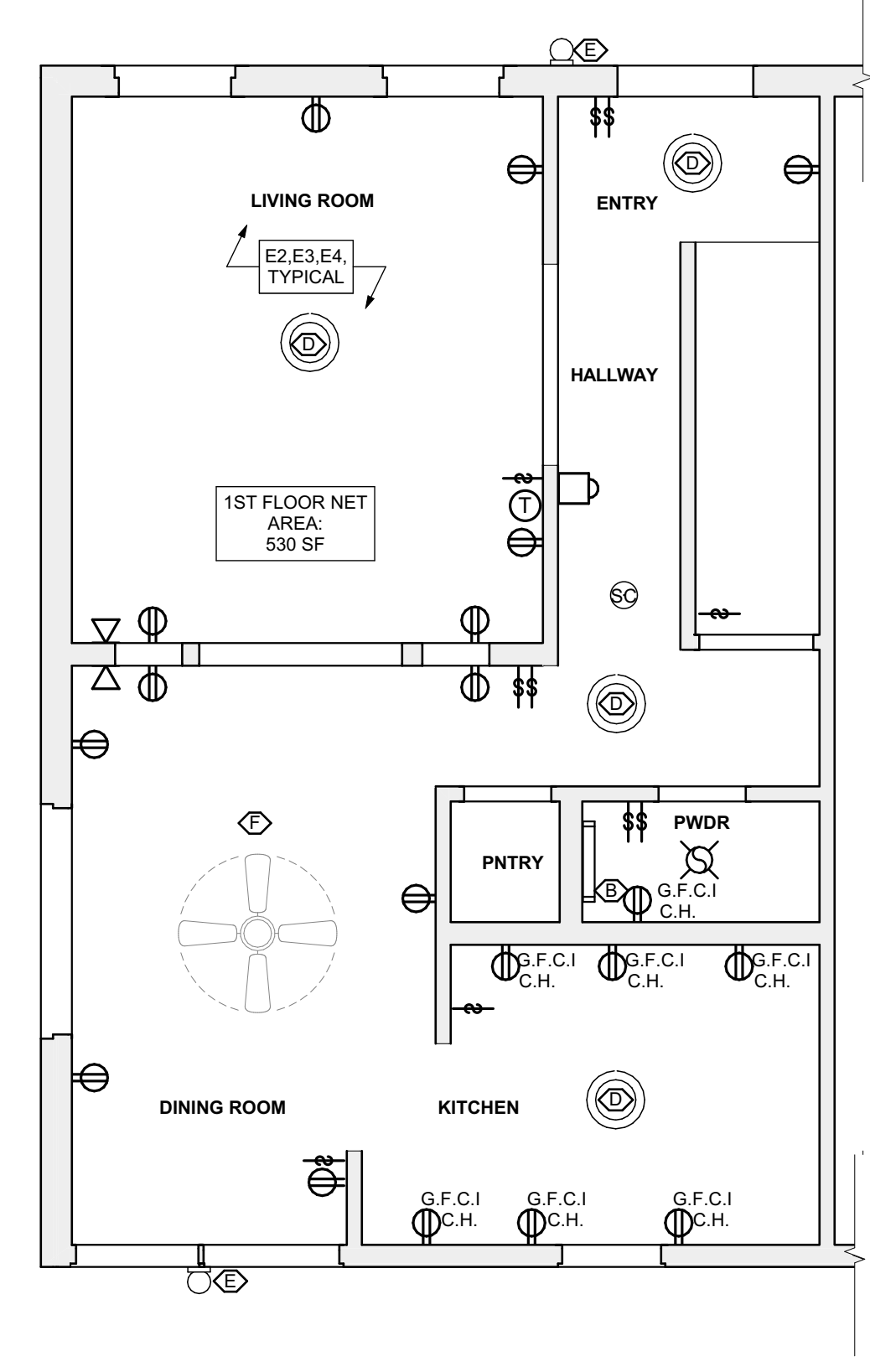
3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
B		Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
C		Long Bathroom Light Bar - Replacement: Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
D		Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #B112WH	11
E		Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
F		Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
G		Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	3
H		LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

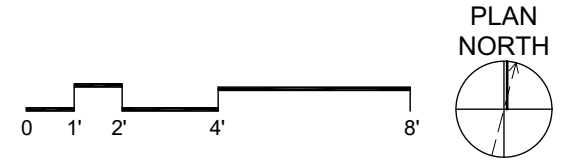
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- ⊕ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ⊖ ELECTRICAL METER
- ⊕ THERMOSTAT
- ⊖ DATA/RECEPTICAL, 18" A.F.F. U.O.N.
- ⊖ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ⊖ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- ⊖ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
- ⊖ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
- ⊖ LIGHT SWITCH
- ⊖ EXHAUST FAN
- ⊖ DOORBELL
- A | X'-X" GWB CEILING / CEILING HEIGHT
- B | X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
 ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



- SITE**
- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY CREEPER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3' OVER TOP. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB. PROVIDE NEW PRESSURE TREATED POST WITH NEW 2X4 SILL. TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. WITH 1/2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION FROM WIRE COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENT, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. WITH 1/2" SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT JOINTS TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL MEMBER OR BRACE AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/ HOLE EXISTING STAIR. REMOVE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING JOIST FOR NEW STANDARD 2X12.1 SPREAD FOOTING AND APRON. CONNECT TO PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LAYING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON LOADS ON DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. IDENTIFY UNRESOLVED MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1405 PAGE STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT REFL. CLG. / POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES

scale As Noted	Sheet No. A7 Project #2006
date May 6, 2022	
no. 8	of. 12

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	of. 12
		A8
		Project #2006

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRAE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE WAY. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METERS AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
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- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK GLAZING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TREKBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COUSURE OF DOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND HEADERS AS NECESSARY AT WINDOWS, REMOVABLE TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CORNER OR FLAT. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR IN-WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

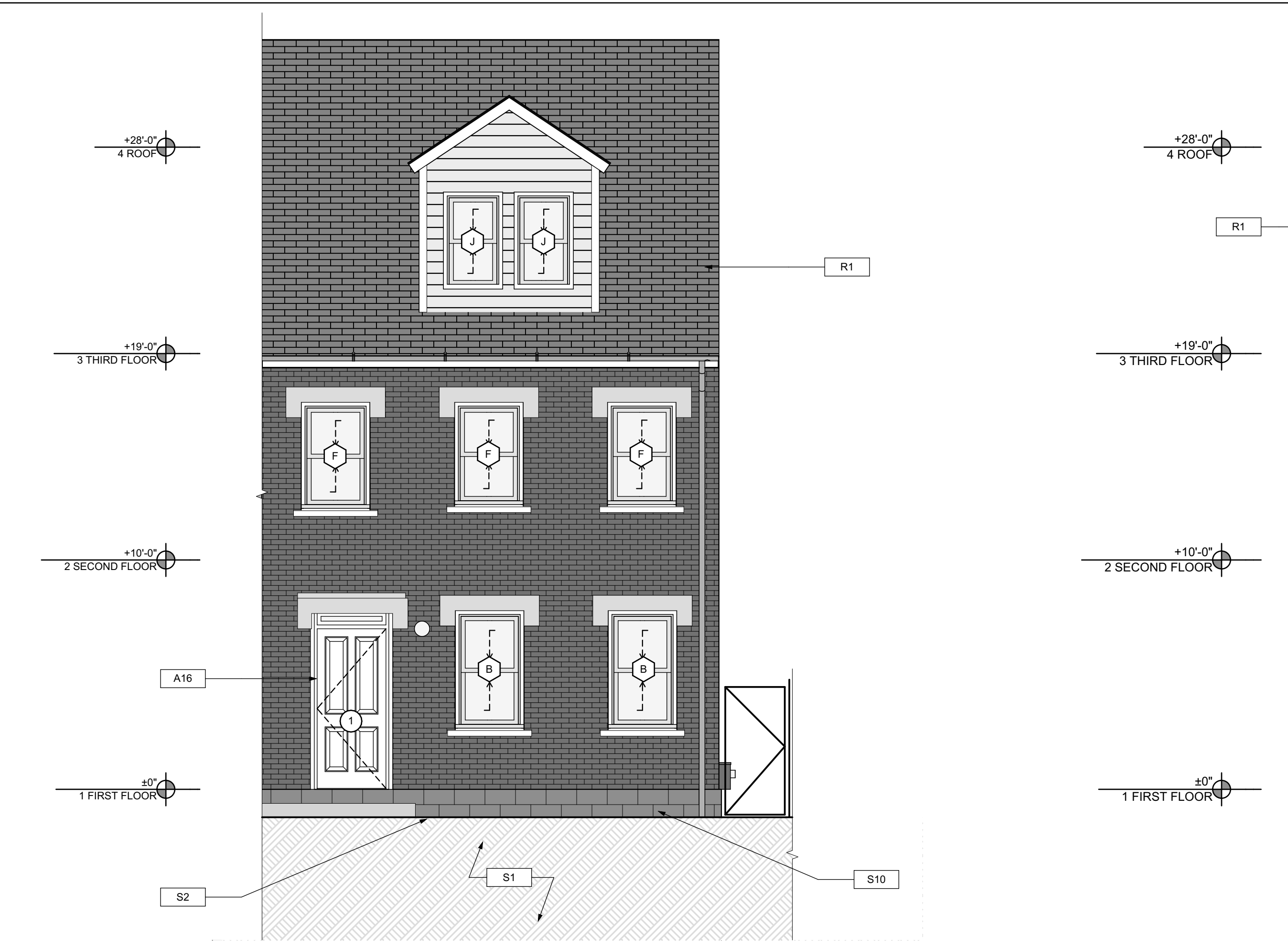
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

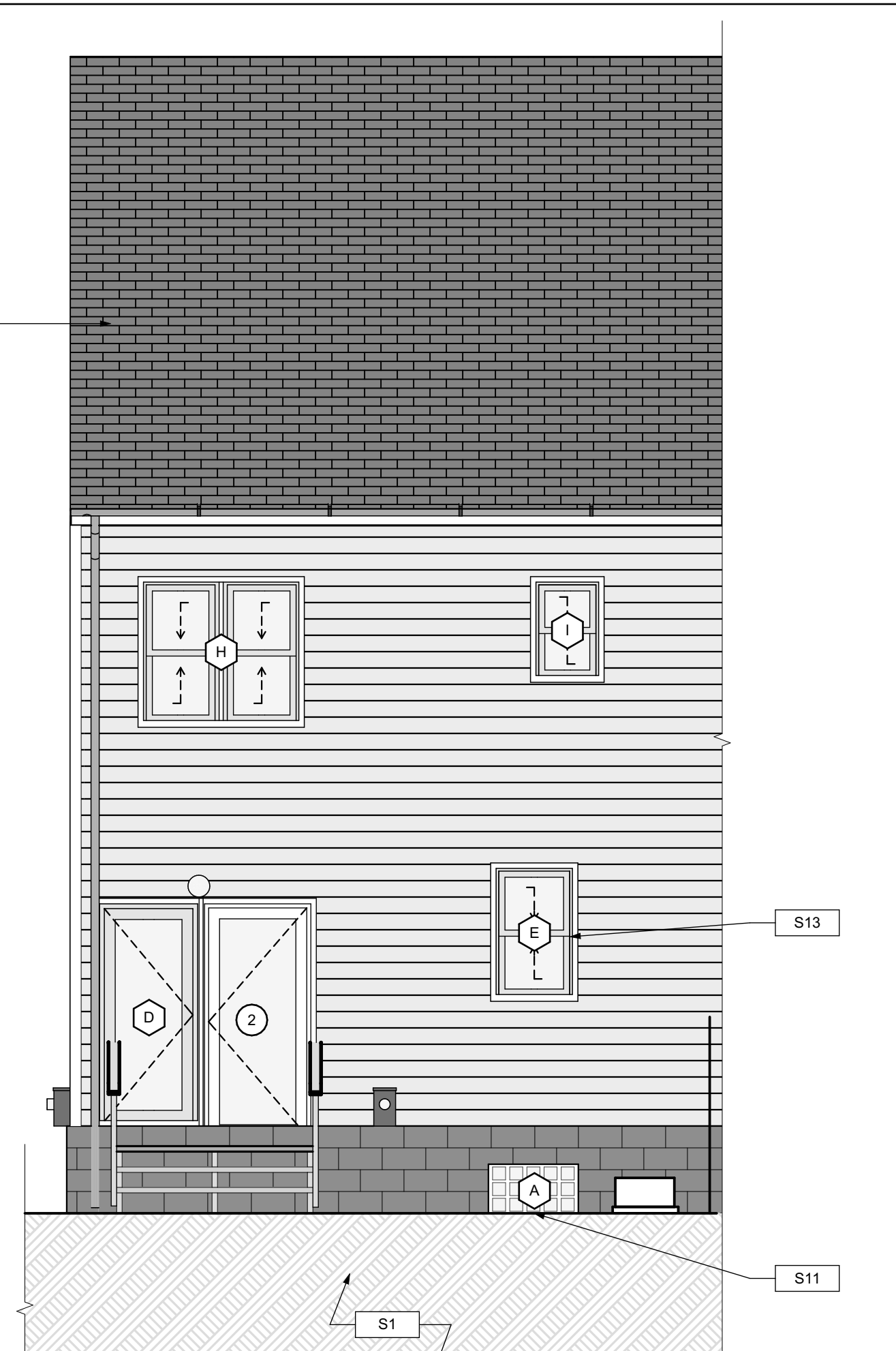
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE. CONTRACTOR SHALL ADD DELIMITOR TO DUCTWORK. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

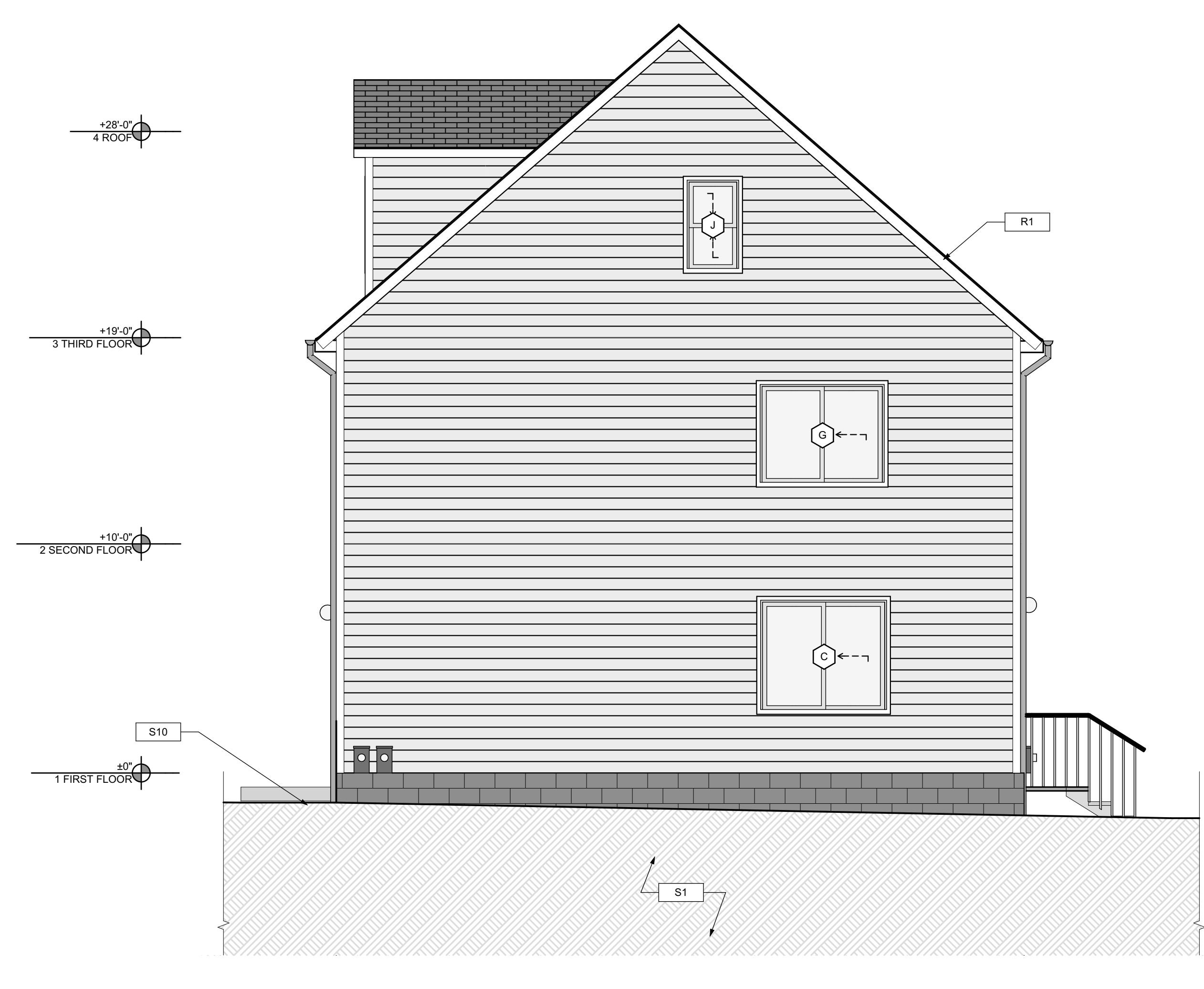
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

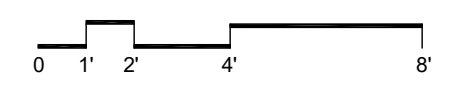


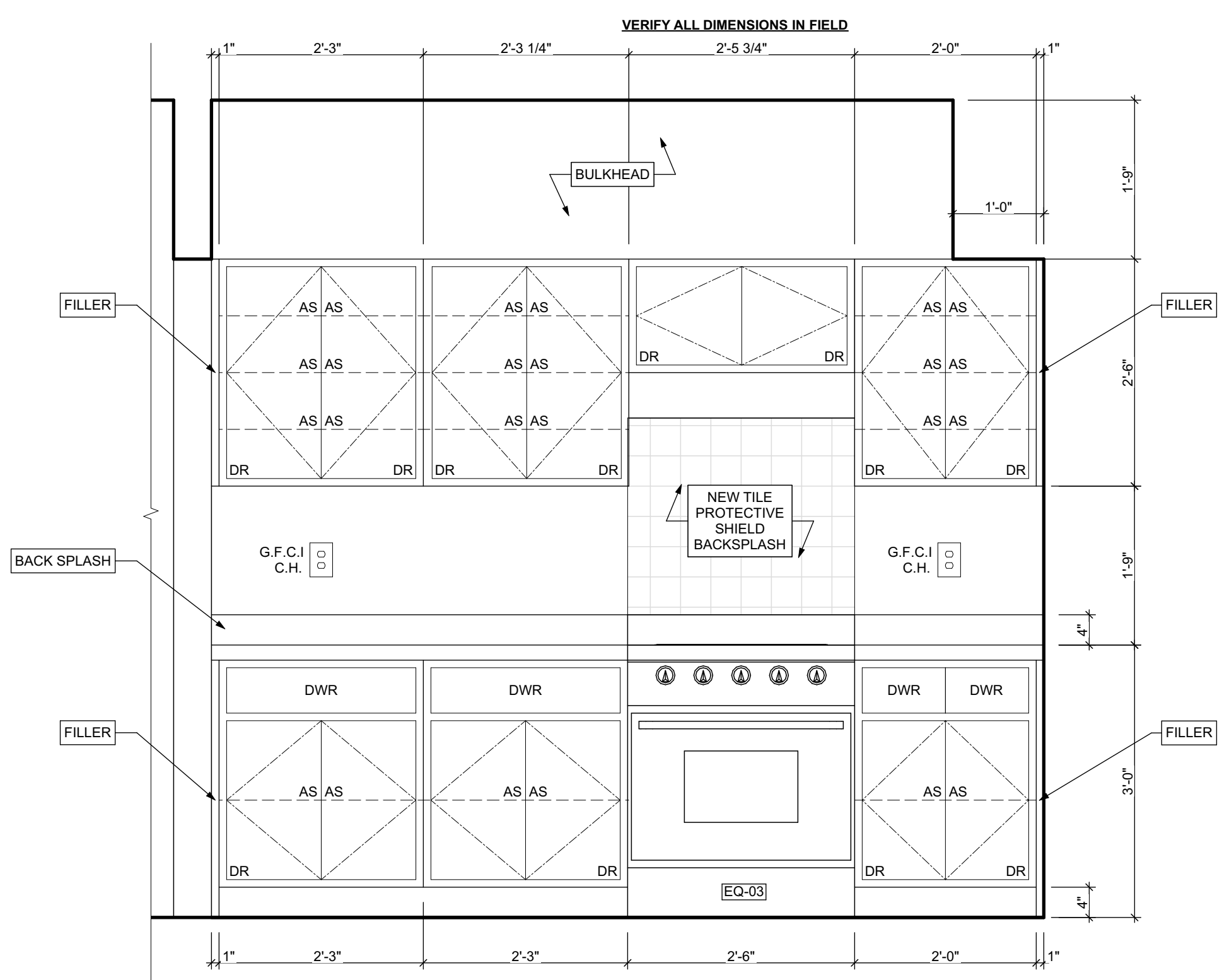
3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



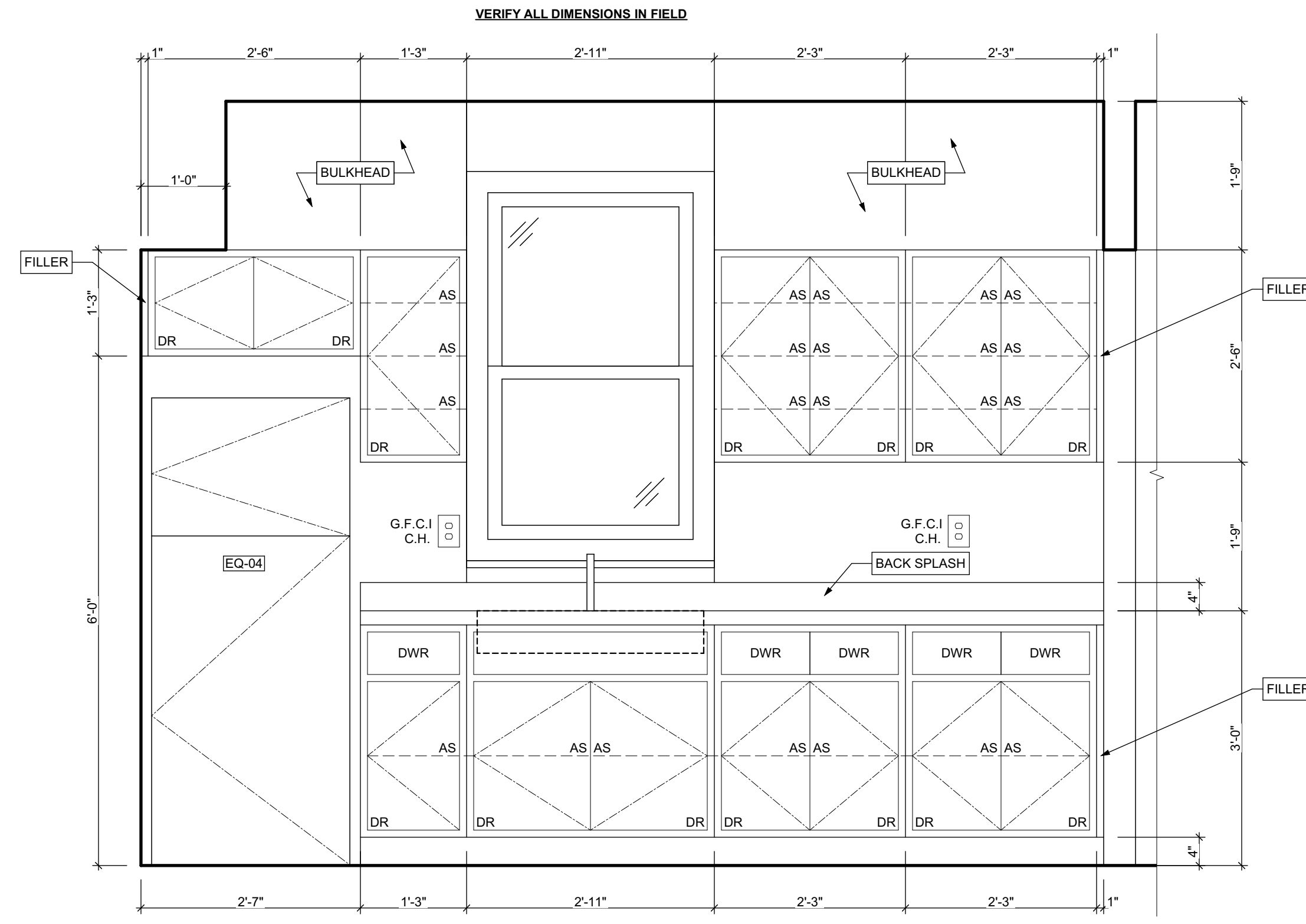
GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

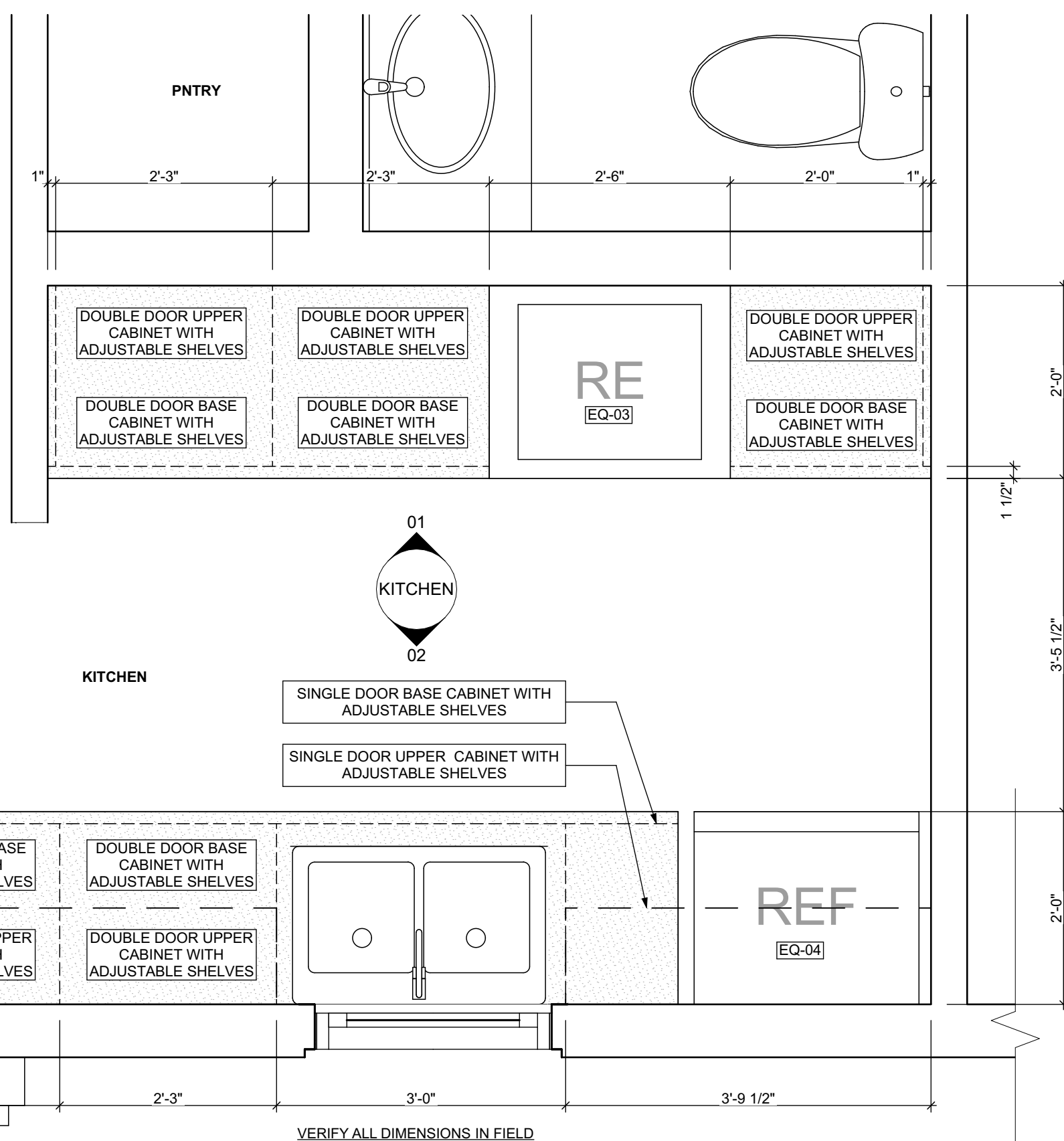




1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Mastrow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE XE	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATH TUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATH TUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voas Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GLY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

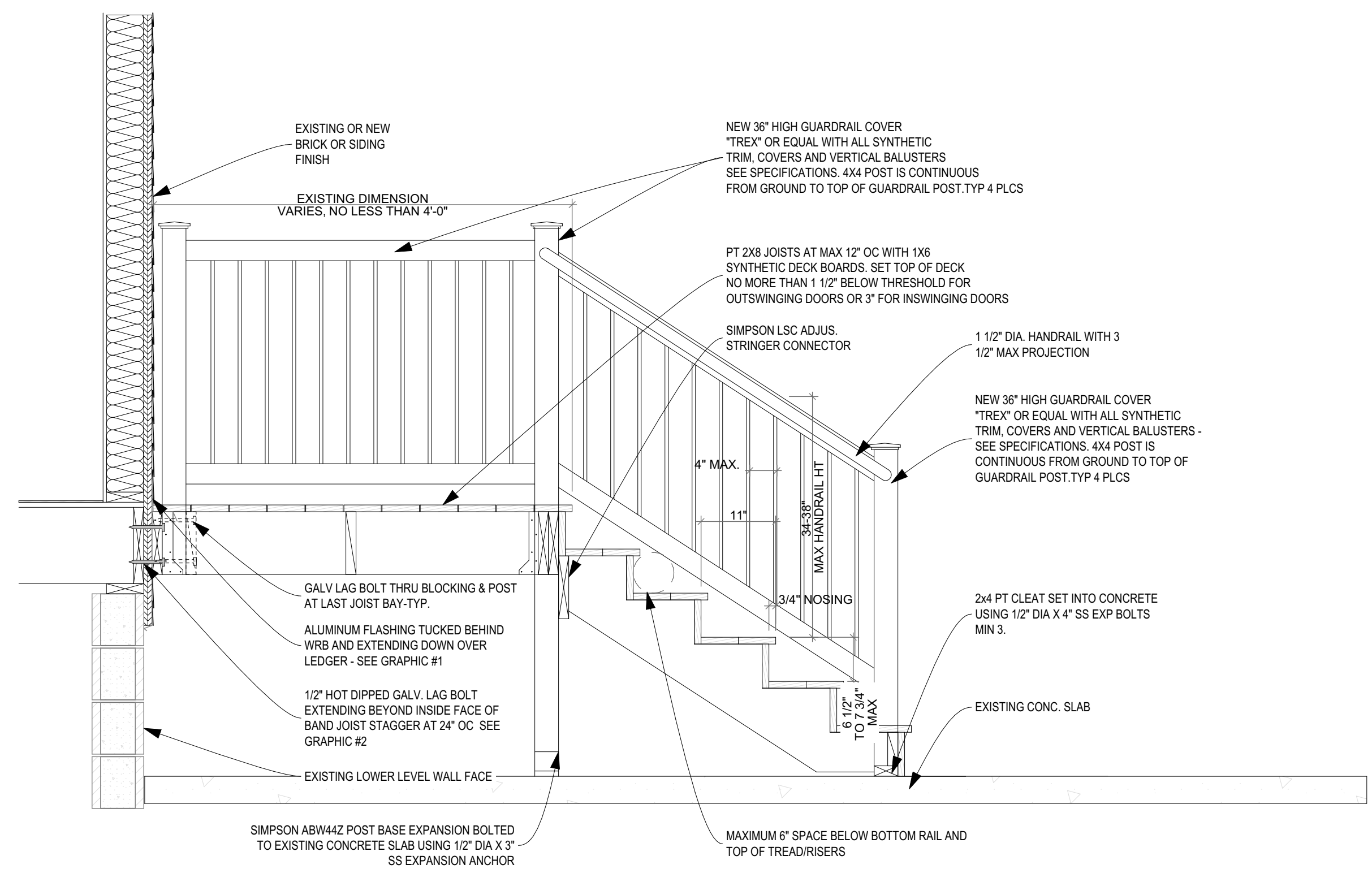
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

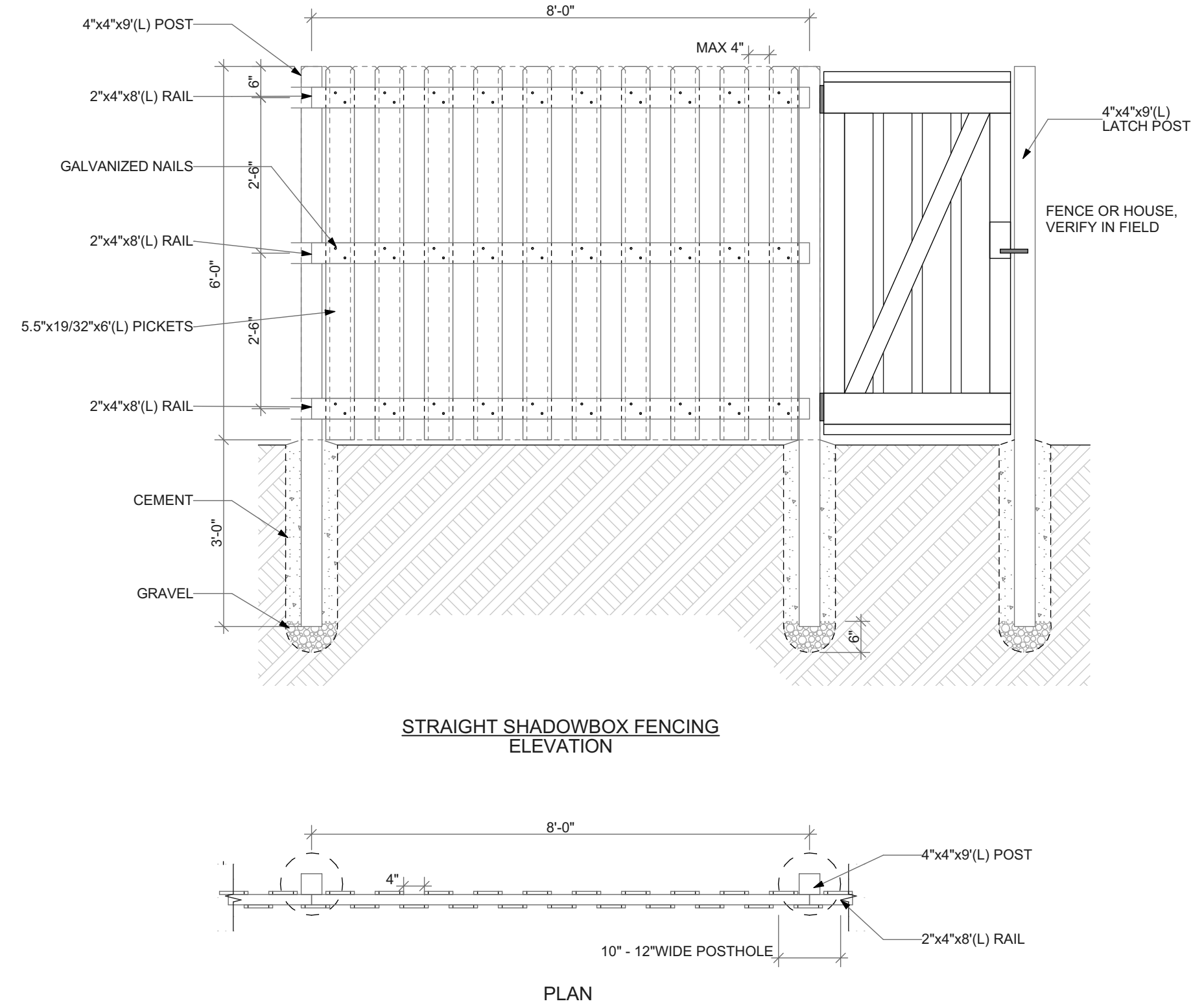
drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

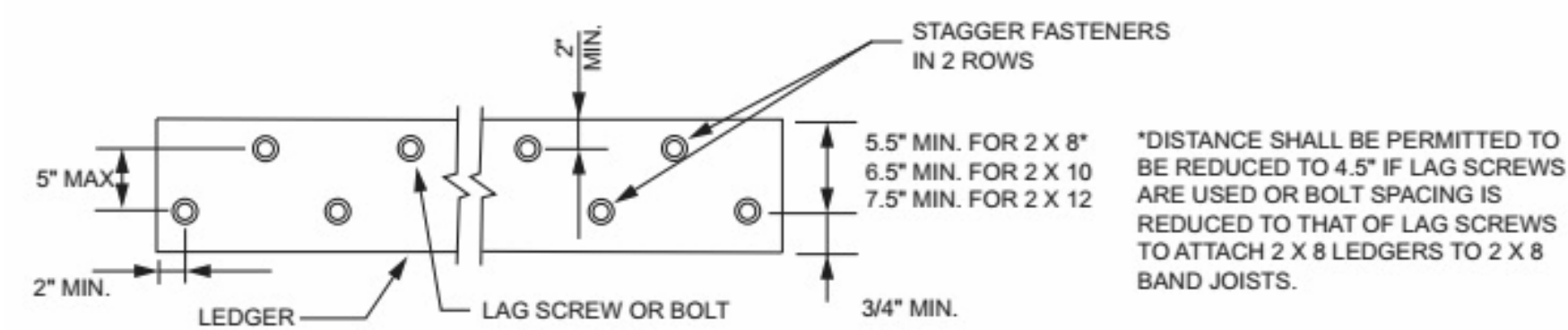
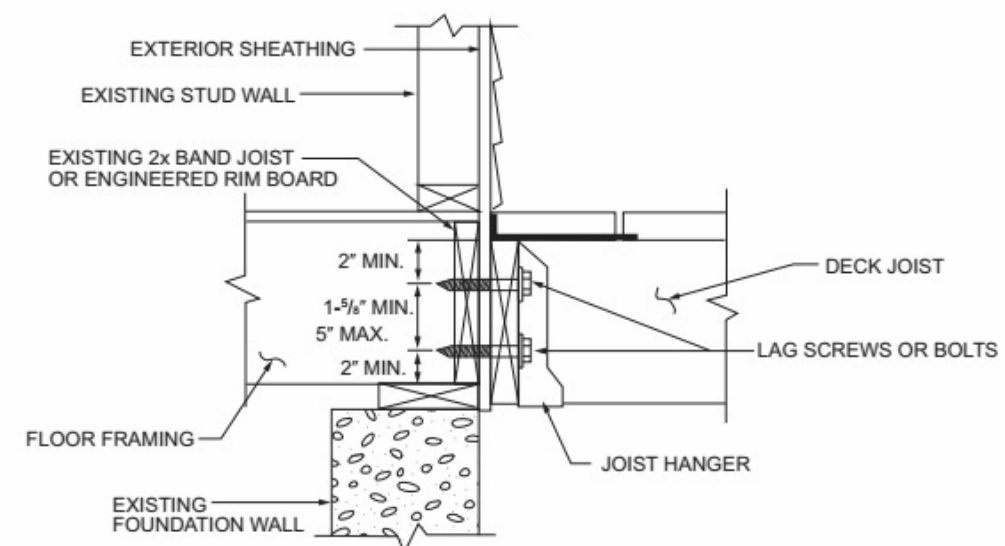
scale As Noted	Sheet No. A9 Project #2006
date May 6, 2022	
no. 10	of. 12



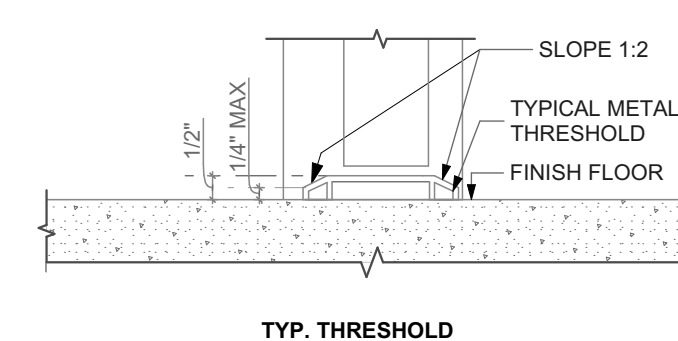
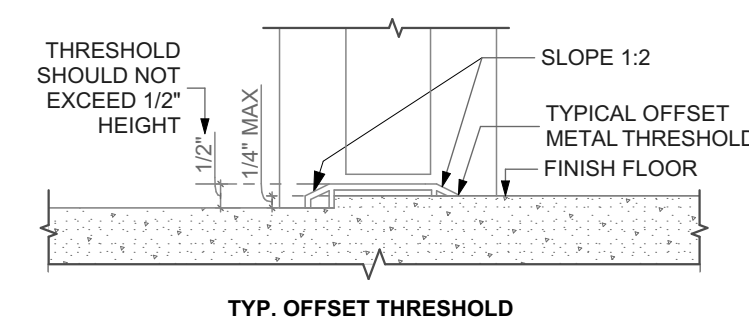
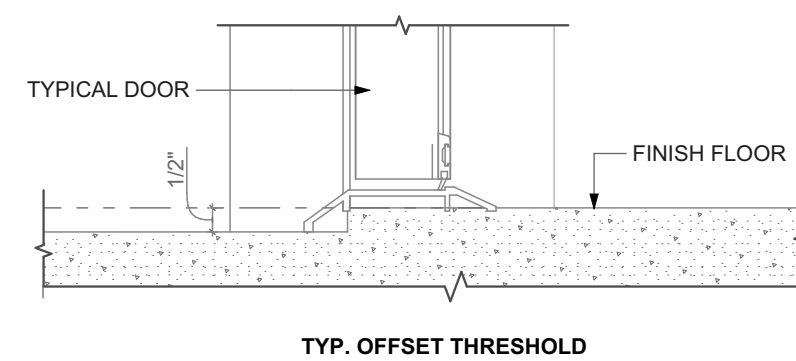
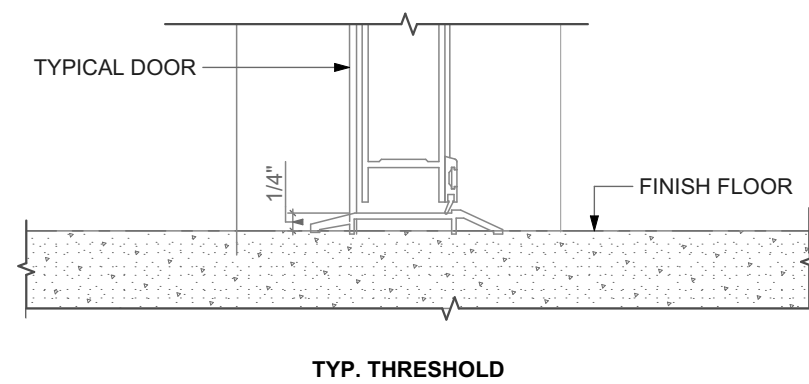
1 DECK SECTION DETAIL
SCALE: 3/4\"/>



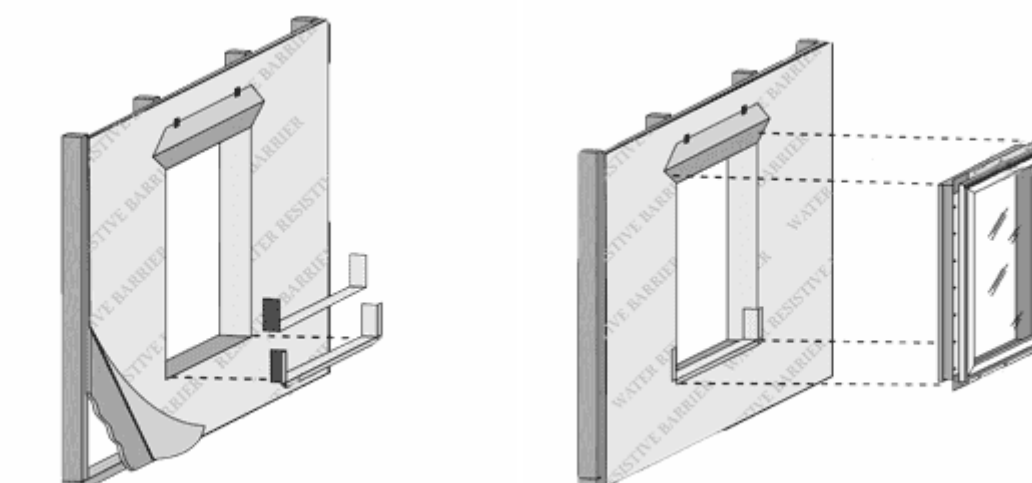
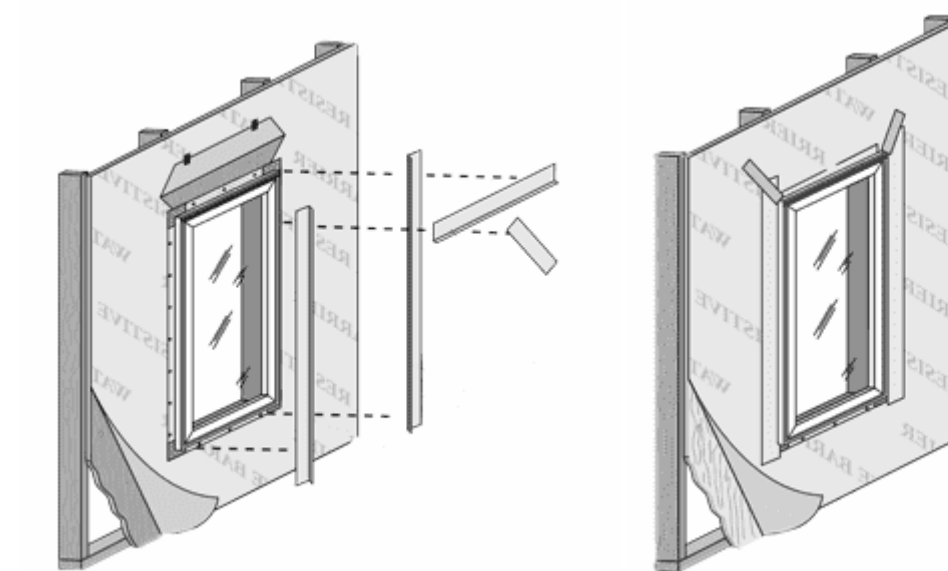
2 WOOD FENCE DETAIL
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3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

seal

general notes

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- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1405 PAGE STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD
FENCE DETAIL, DECK ENLARGED
DETAILS, EXTERIOR DOOR
THRESHOLD, WINDOW
INSTALLATION UNDER VINYL
SIDING

scale
As Noted

date
May 6, 2022

no. 11 of 12

Sheet No.

A10

Project #2006

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pe of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
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6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner: HACP 200 ROSS STREET PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES 1405 PAGE STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

WINDOW REMOVAL/ REPLACEMENT (P/LA)

Sheet No.

A11

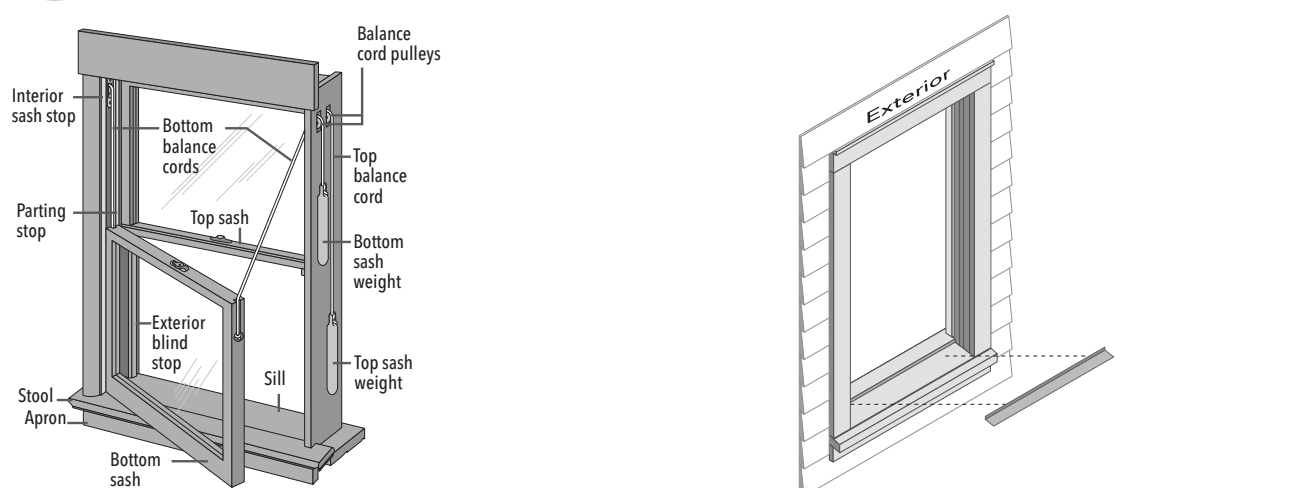
Project #2006

scale As Noted

date May 6, 2022

no. 12 of. 12

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS

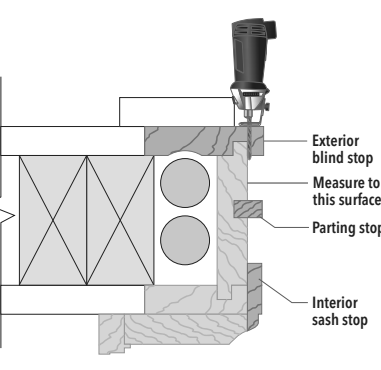


1 REMOVE THE EXISTING SASHES

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

1. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
2. Unlock the window, if the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.

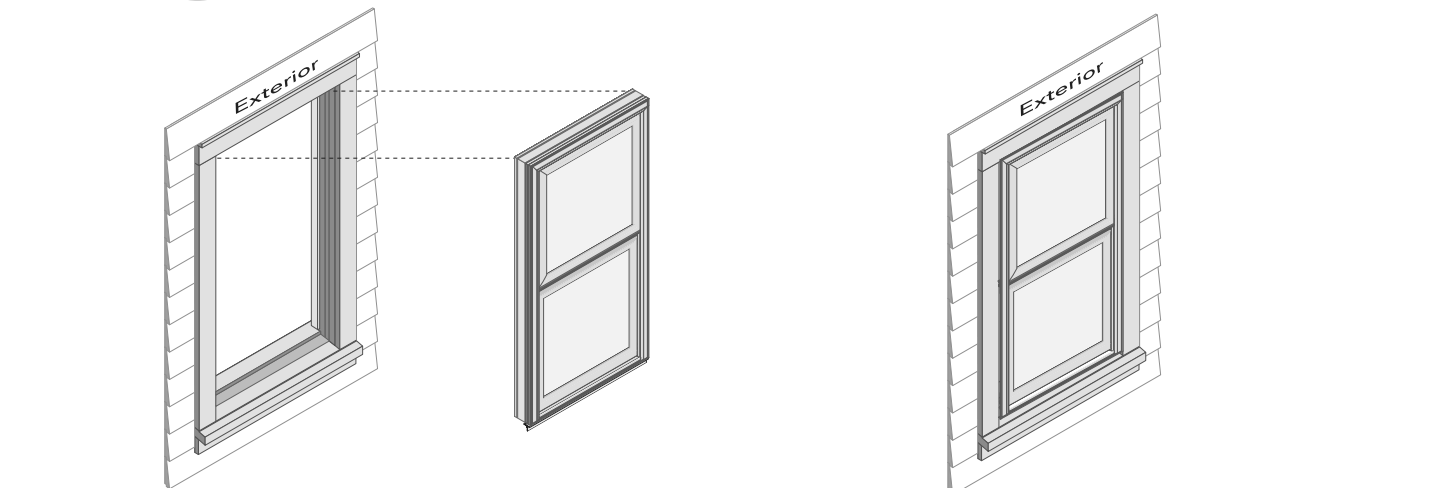


3. Remove the exterior stops at the head and jamb using a chisel, reciprocating saw, roto-tool or equivalent. Cut them flush with the side of the frame.
4. Carefully remove the upper sash and dispose of it properly.
5. For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.
6. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
7. Carefully remove the lower sash.
8. Remove any remaining jamb liner material (if applicable). Caution: Some balances are spring-loaded.
9. Insulate the weight chamber (if desired).

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POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS



3 PREPARE THE WINDOW (Continued)

1. Inspect the existing window frame. Repair or replace any deteriorated parts.
2. Clean the opening of any dirt, debris or excess old paint. Note: if using aluminum coil exterior trim, apply it now.
3. Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.
4. Apply sealant over any gaps in the corners of the existing frame. Check the sill for level or for bowing.
5. Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker. For vinyl windows, add shims so maximum spacing is 18".
6. Attach shims to prevent movement after they are level. NOTE: Improper placement of shims may result in bowing the bottom of the window.

3 PREPARE THE WINDOW

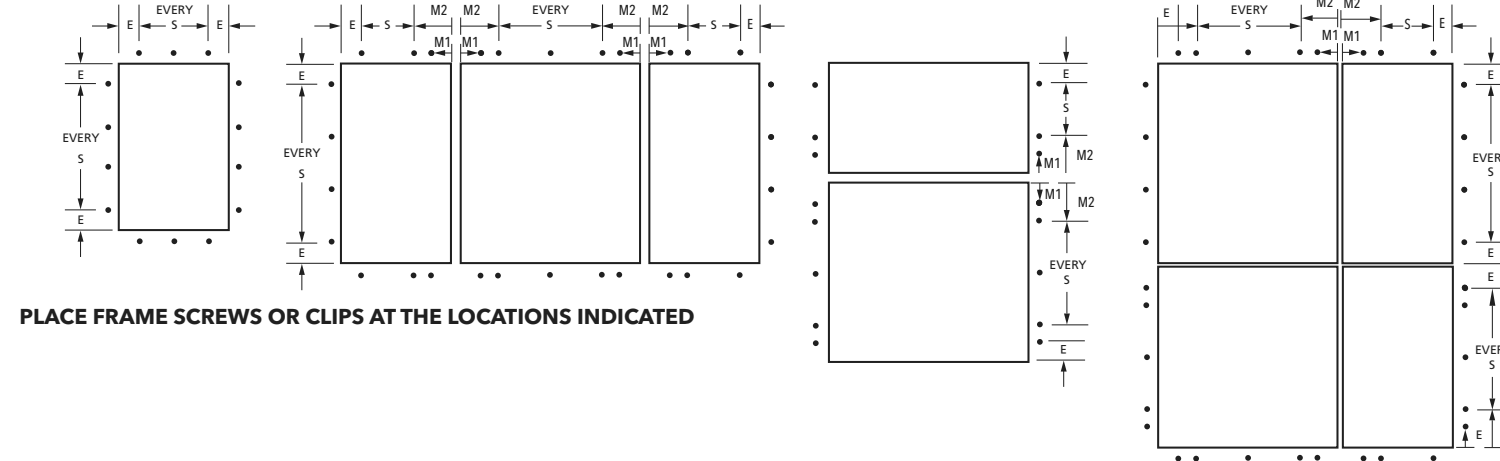
1. Drill pilot holes (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
2. Dry fit the window in the opening. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
3. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
4. Install the sill adapter. Cut it to length and notch it (if necessary).
5. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
6. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.

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BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

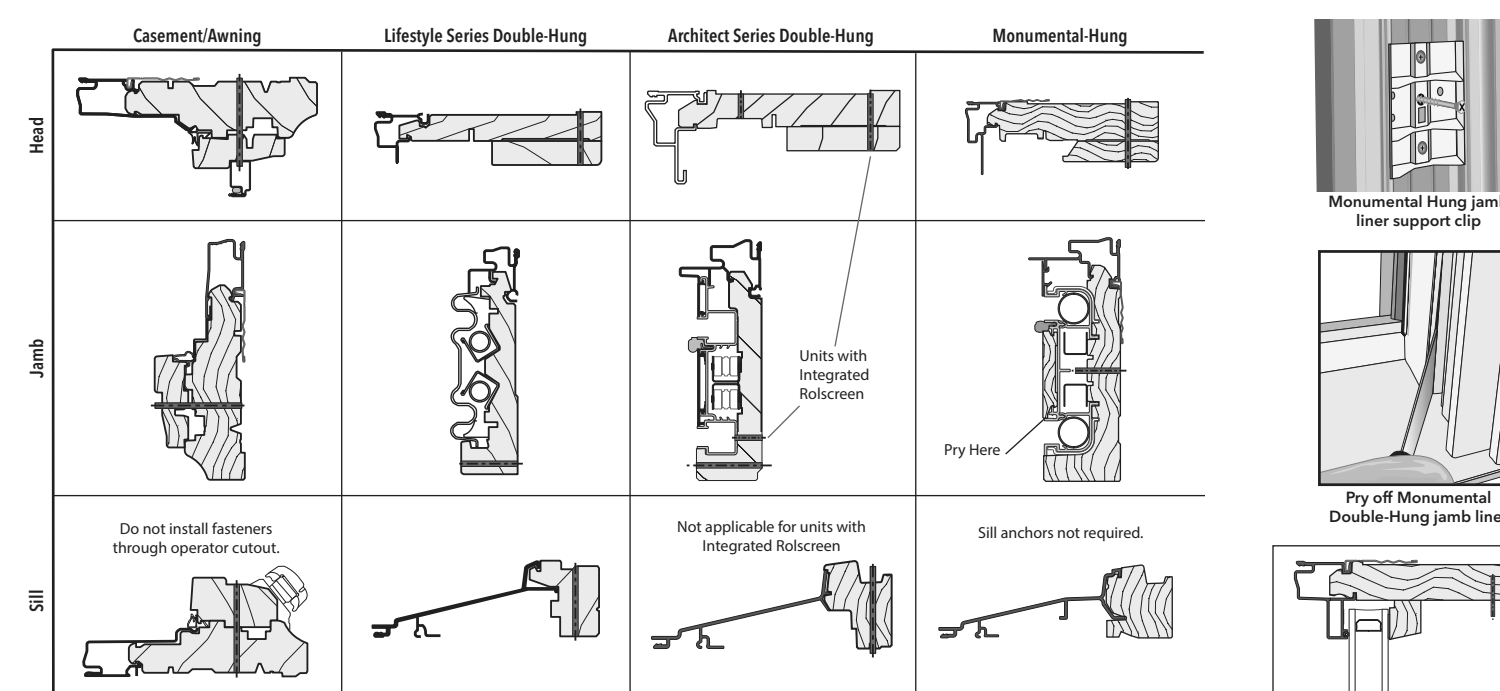


ARCHITECT SERIES* (850) AND PELLA* LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awing	6"	16"	3"	6"	#8x3" Finish Screw	
Double or Single-Hung	6"	16"	3"	6"	#8x3" Finish Screw	For windows with integrated Roloseen® retractable screen, drive jamb screw at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head past flush of the jamb liner. Avoid Roloseen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x3" Finish Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip into bottom, check level and center of each sash. Drive 2 additional screws through the frame (or secure clips) 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.
Monumental DH 54" x 96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	

* M1 anchor required if design pressure exceeds 20 psf. ** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



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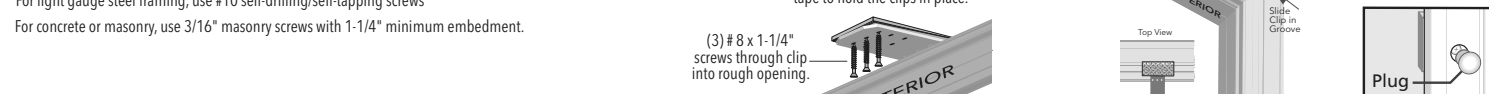
BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA* IMPERVIA* WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed (Single-Hung)	6"	16"	3"	6"	#8 x 1 1/2" Pan Head (provided)	Installation clips required for anchoring at the sill.
Double-Hung	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Casement/Awing - Vent and Fixed	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Direct Set	6"	15"			#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).

Use Factory Drilled installation holes if present. Install hole plugs after driving screws (except CMAAW and Direct Set).



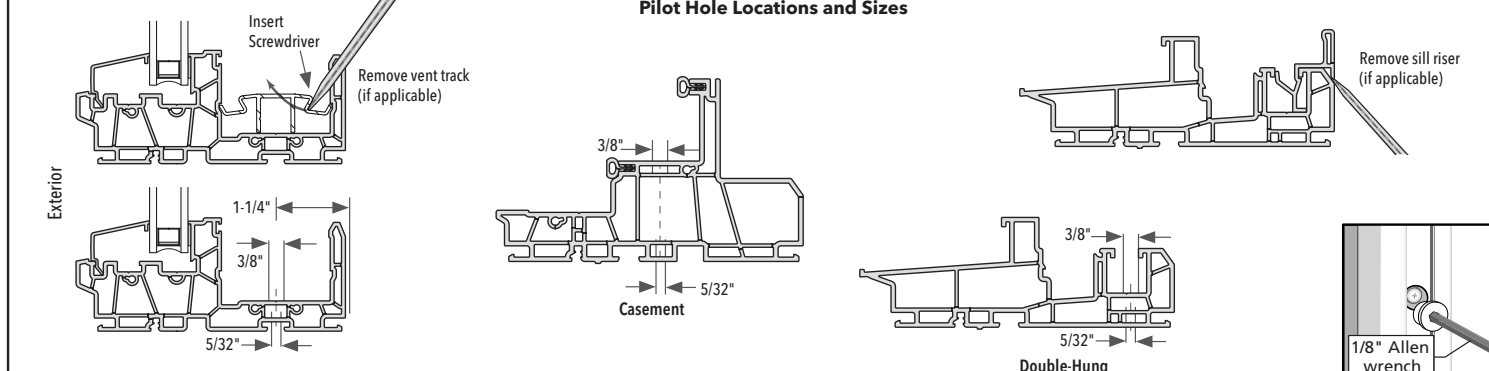
Use Factory Drilled installation holes if present. Composites (Integral or Standard Awing), M1 anchor using a through frame fastener or installation clips.



PELLA* 350 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awing	6"	16"	None	6"	#10x1 1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x1 1/2" Pan Head (provided)	Place 2 screws 6" from the center of the meeting rail at the head and all of sliding windows.
Double and Single-Hung	6"	16"	None	6"	#10x1 1/2" Pan Head (provided)	

Use Factory Drilled installation holes if present. ** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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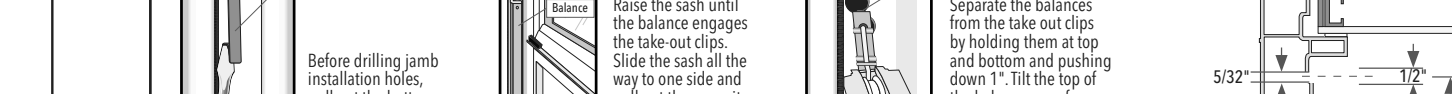
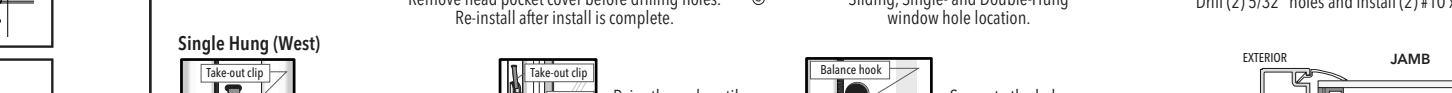
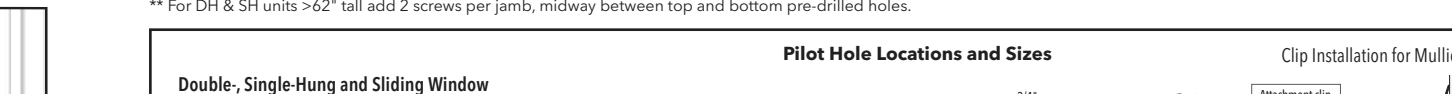
BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOW ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA* / THERMARBY PELLA* / PELLA* 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1 1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1" clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2 1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double-Hung (East)	6"	16"	4"	8"	#10 x 4" Pan Head (provided)	High Performance DH (3) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (4) #8 x 2" screws at head mullion ends and 4 clips at sill mullion ends 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PGSSO Performance Install.
Fixed Window	4"	16"	4"	8"	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed Casements in 3-wide combinations.

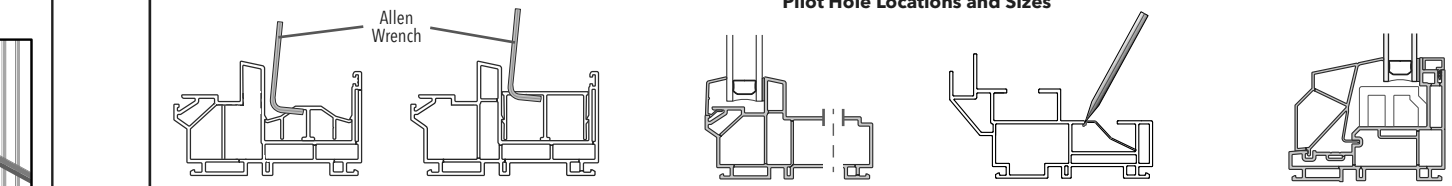
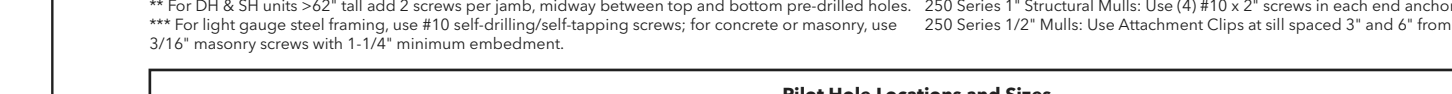
All venting products: Head and sill anchors are required on composites only. * Use Factory Drilled installation holes if present. ** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment. *** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.



PELLA* 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
DH/SH (Single units)	6"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes for a PGSSO Performance Install.
DH / SH / FK	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW PGSSO	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CMAAW	4"	16"	4"	8"	#8 x 3" Pan Head (provided)	Clips only at 4" Edge Spacing and 12" Max. Spacing
FK CMAAW	4"	16"	4"	8"	#8 x 3" Pan Head (provided)	Clips only at 4" Edge Spacing and 12" Max. Spacing

All venting products: Head and sill anchors are required on composites only. * Use Factory Drilled installation holes if present. ** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes. *** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment. 250 Series DH PGSSO ONLY: Add additional clip at center of mullion at all only. Install hole plugs/clips after driving screws. Replace all covers, fillers and tracks removed earlier.



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INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION* / PRECISION FIT* WINDOWS

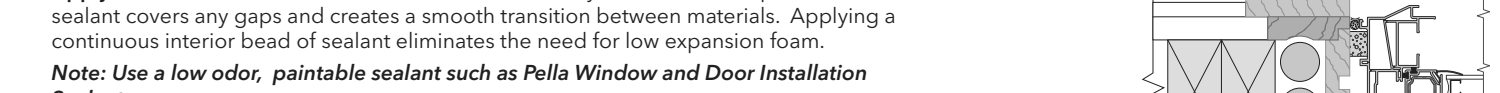
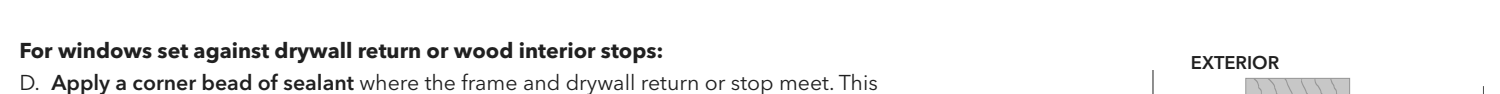
Interior Sealant Instructions

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

1. Apply the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
2. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity. NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening.
3. To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal. Backer rod (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass ball or similar insulation is not recommended as it can absorb water and does not act as an air seal.

For windows set against drywall return or wood interior stops:

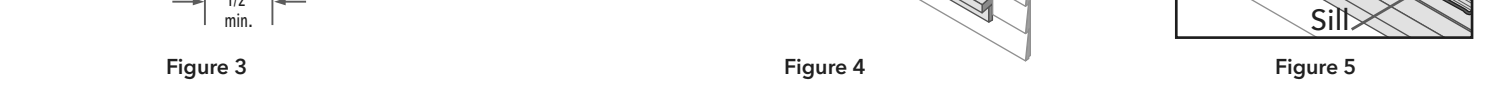
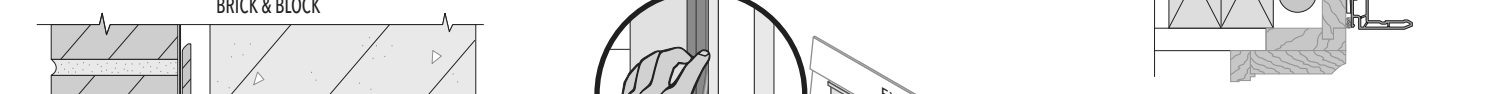
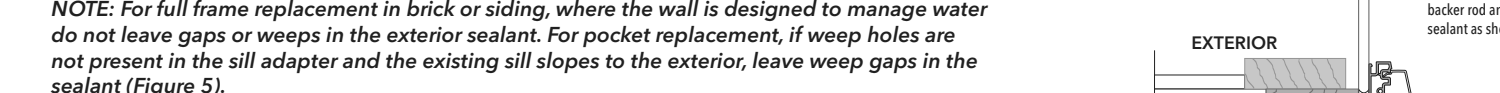
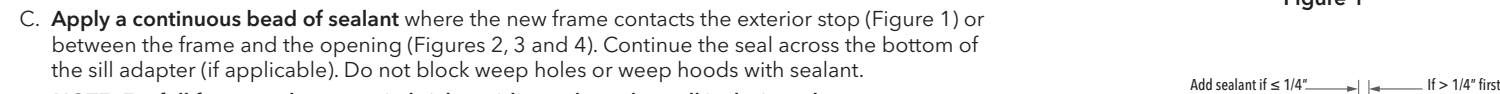
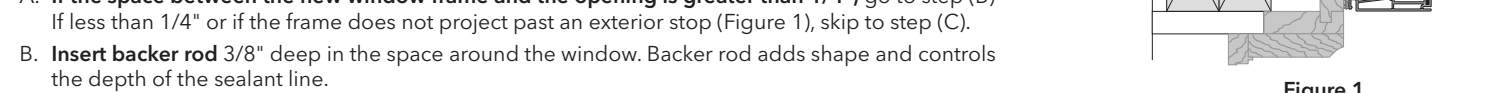
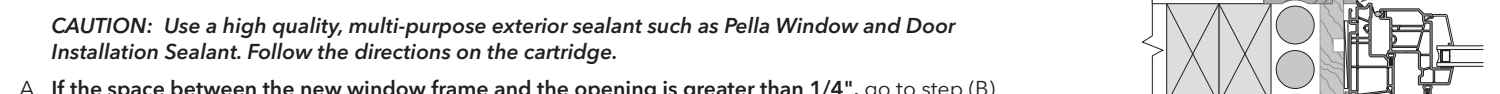
1. Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam. NOTE: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.
2. Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.



Exterior Sealant Instructions

CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

1. If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
2. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
3. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant. NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the exterior sealant. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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