

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1017 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
TABULAR SCHEDULE	
THRESHOLD CRITERIA	
A1 COVER SHEET	
CODE AND CONTACT INFO	
DRAWING LIST	
MANCHESTER SCATTERED SITES MAP	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
BRICK WALL SECTION	
DOOR SCHEDULE (WITH EXISTING)	
DOOR TYPES	
FINISH SCHEDULE	
INTERIOR STAIR DETAIL	
SIDING WALL SECTION	
WINDOW SCHEDULE	
A3 SCOPE/GENERAL/GREEN COMMUNITY NOTES	
ENERGY NOTES	
GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	
GRAPHIC SCALES	
GRAPHIC SCALES	
ROOF AND SITE PLAN LEGEND	
ROOF PLAN	
ROOF PLAN NOTES	
SITE PLAN	
SMALL UNIT KEYNOTES	
A5 FLOOR/ DEMO PLANS	
BASEMENT / DEMO PLAN	
DEMOLITION PLAN LEGEND	
FIRST FLOOR / DEMO PLAN	
GENERAL DEMOLITION NOTES	
GRAPHIC SCALES	
SECOND FLOOR / DEMO PLAN	
SMALL UNIT KEYNOTES	
THIRD FLOOR / DEMO PLAN	
A6 FLOOR/FINISH/MECH./PLUMB. PLAN	
BASEMENT /FINISH/MECH./PLUMB. PLAN	
FIRST FLOOR /FINISH/MECH./PLUMB. PLAN	
FLOOR PLAN LEGEND	
GRAPHIC SCALES	
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	
SMALL UNIT KEYNOTES	
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	
A7 REFLECTED CEILING / POWER / DATA PLANS	
BSMT. REFL. CLG./ POWER / DATA PLAN	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
LIGHTING SCHEDULE	
RCP LEGEND	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
SMALL UNIT KEYNOTES	
THIRD FLOOR REFL. CLG./ POWER / DATA PLAN	
A8 ELEVATIONS	
EAST ELEVATION	
GRAPHIC SCALES	
NORTH ELEVATION	
SMALL UNIT KEYNOTES	
SOUTH ELEVATION	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION01	
KITCHEN ELEVATION02	
A10 DETAILS	
DECK ENLARGED DETAILS	
DECK SECTION DETAIL	
EXTERIOR DOOR THRESHOLD	
WINDOW INSTALLATION UNDER VINYL SIDING	
WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,204 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukai Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1017 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES MAP, DRAWING LIST, CODE AND CONTACT INFO

scale	As Noted
date	May 6, 2022
no.	2
of.	12

Sheet No.
A1
Project #2006

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted
date	May 6, 2022
no.	5 of 12

Sheet No.
A4
Project #2006

SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL. FLOOR CONCRETE TO BE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DEPRESSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

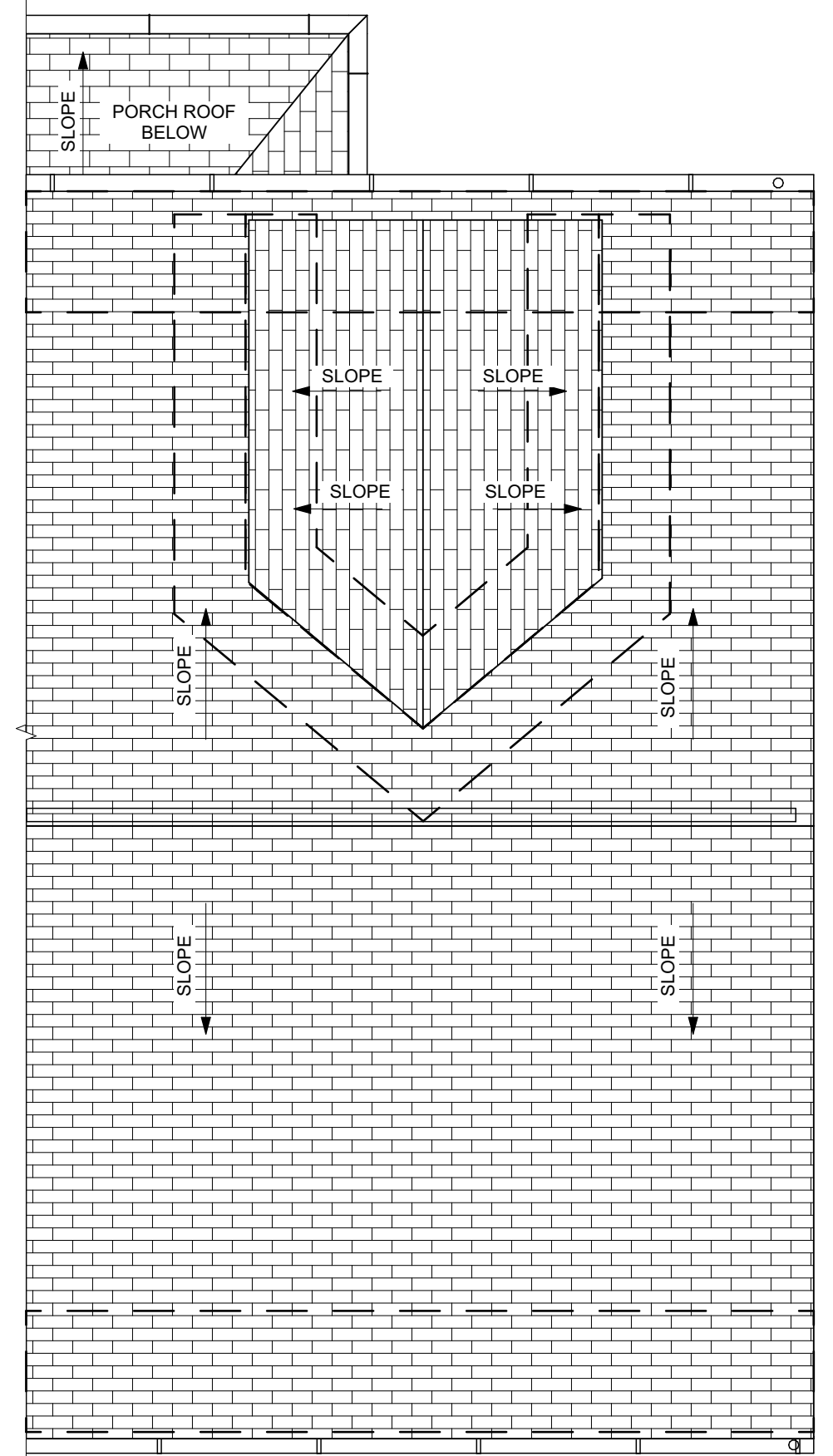
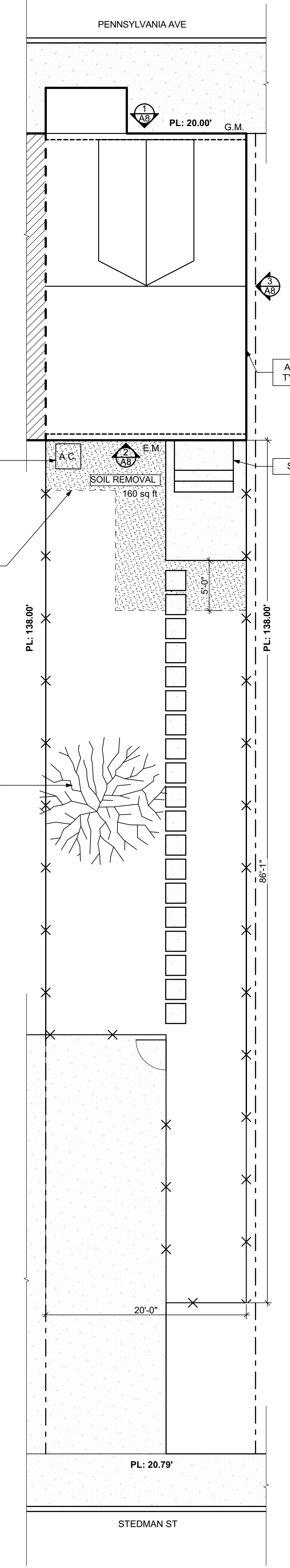
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYING OF DOOR THRESHOLD OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"x2"x1" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

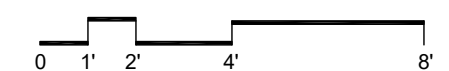
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELUMINESCER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

- X --- PROPERTY FENCE
- --- PROPERTY LINE
- --- BUILDING OUTLINE
- --- PARTY WALL
- GATE
- □ □ STEPPING CONCRETE PADS
- ICE WATER SHIELD
- G.M. GAS METER
- F.I. FRESH AIR INTAKE
- A.C. AIR CONDITIONER CONDENSOR
- E.M. ELECTRIC METER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

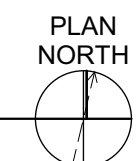
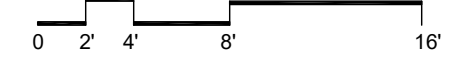
ROOF PLAN NOTES

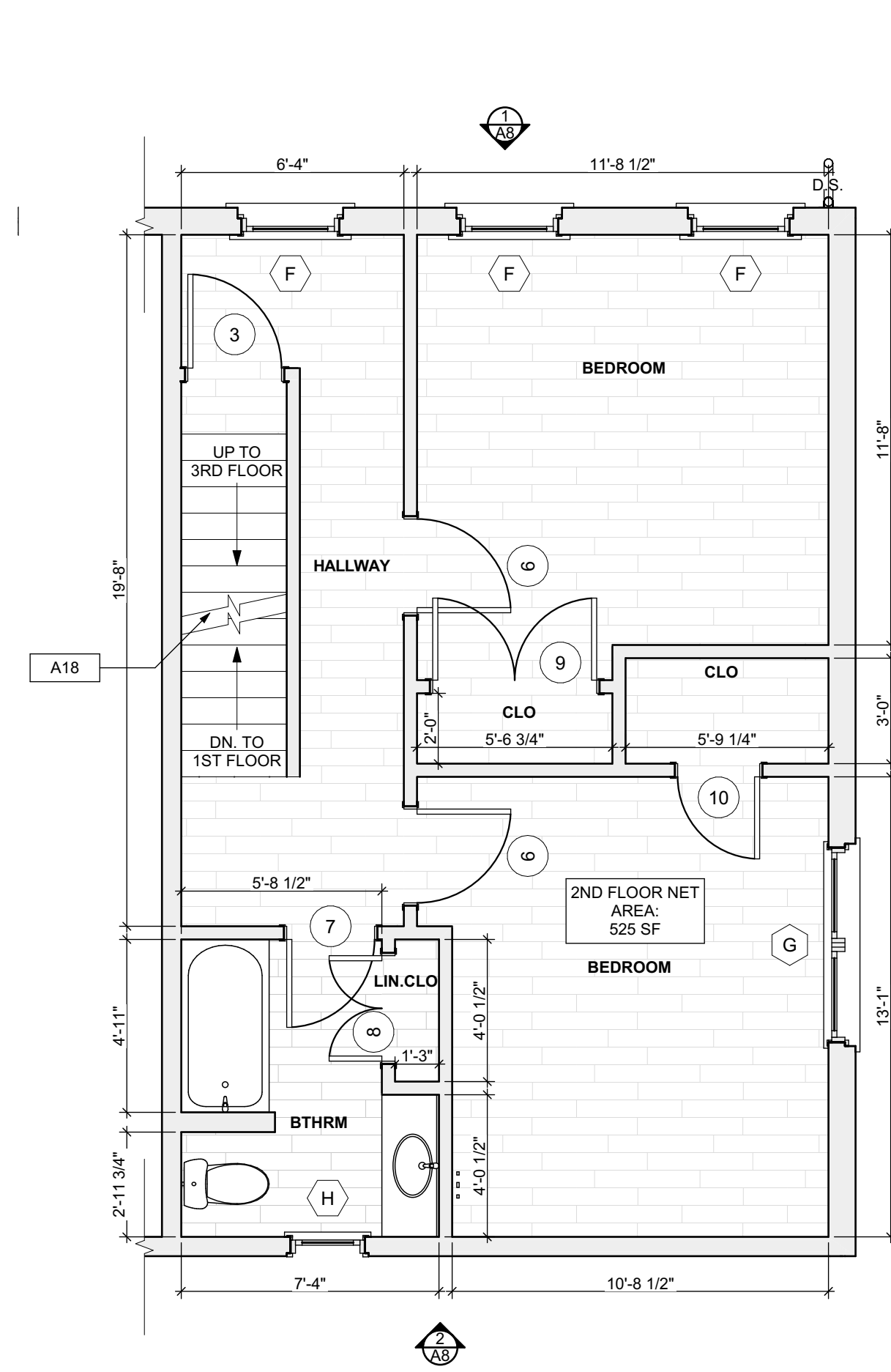
- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

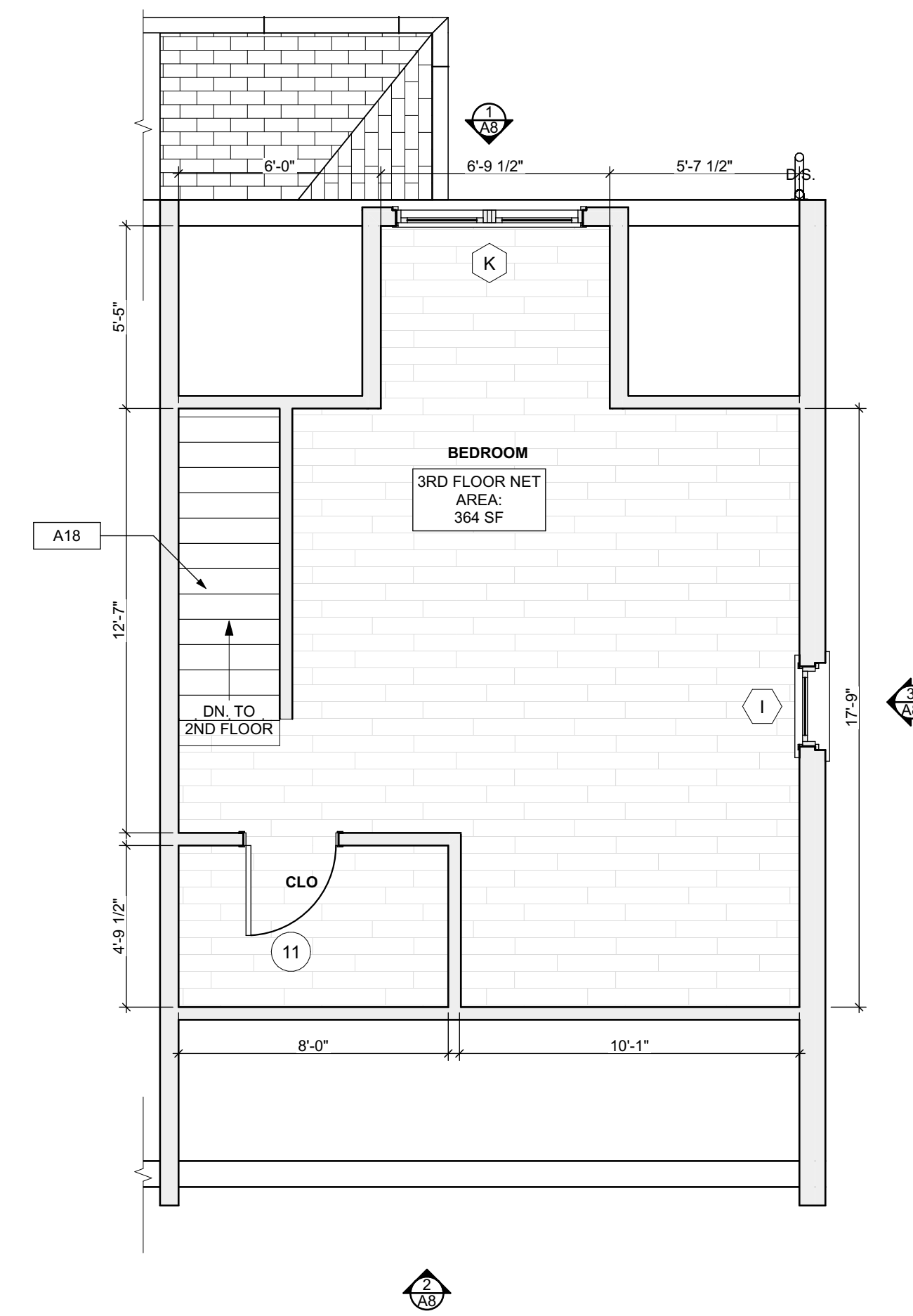
- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

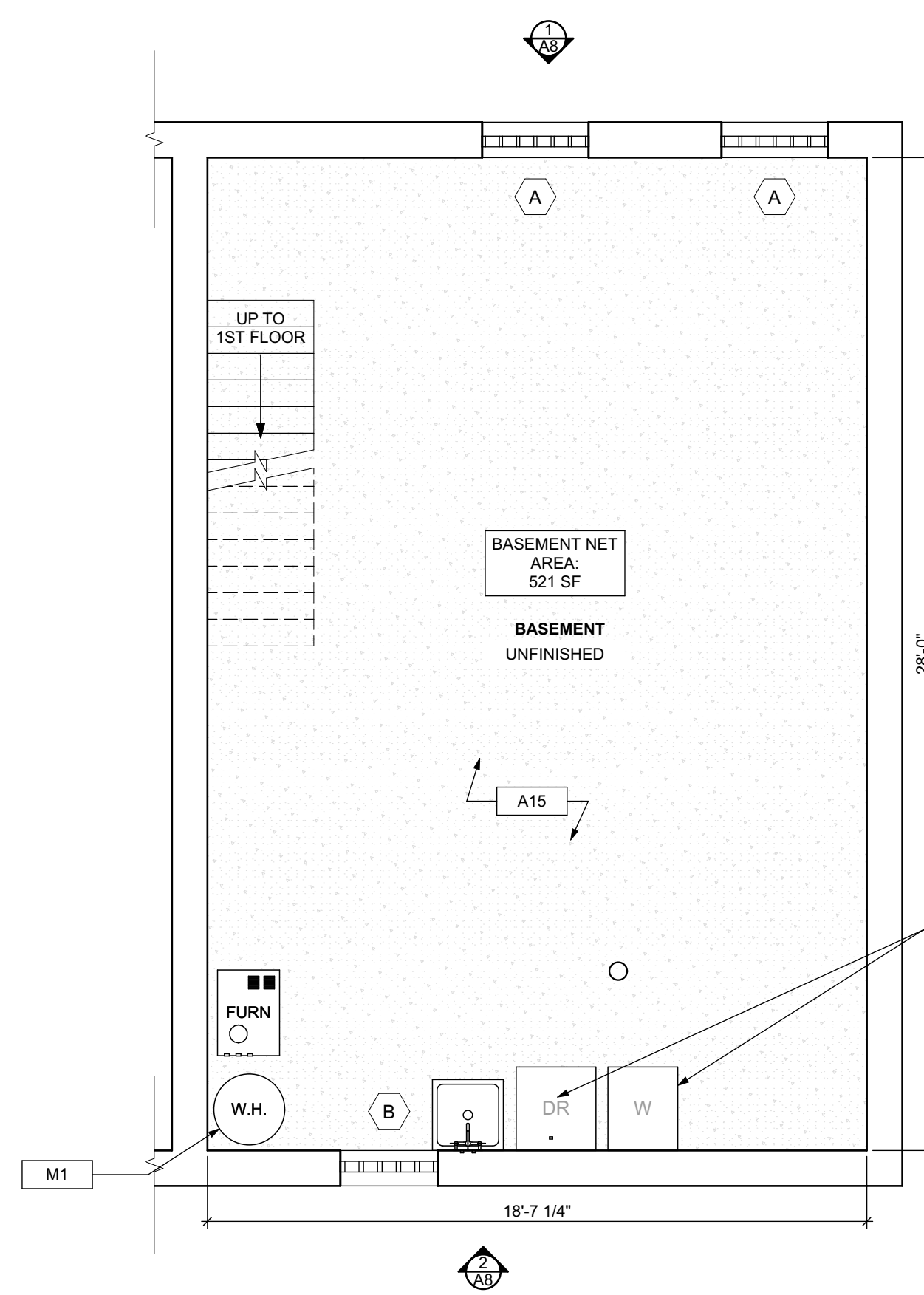




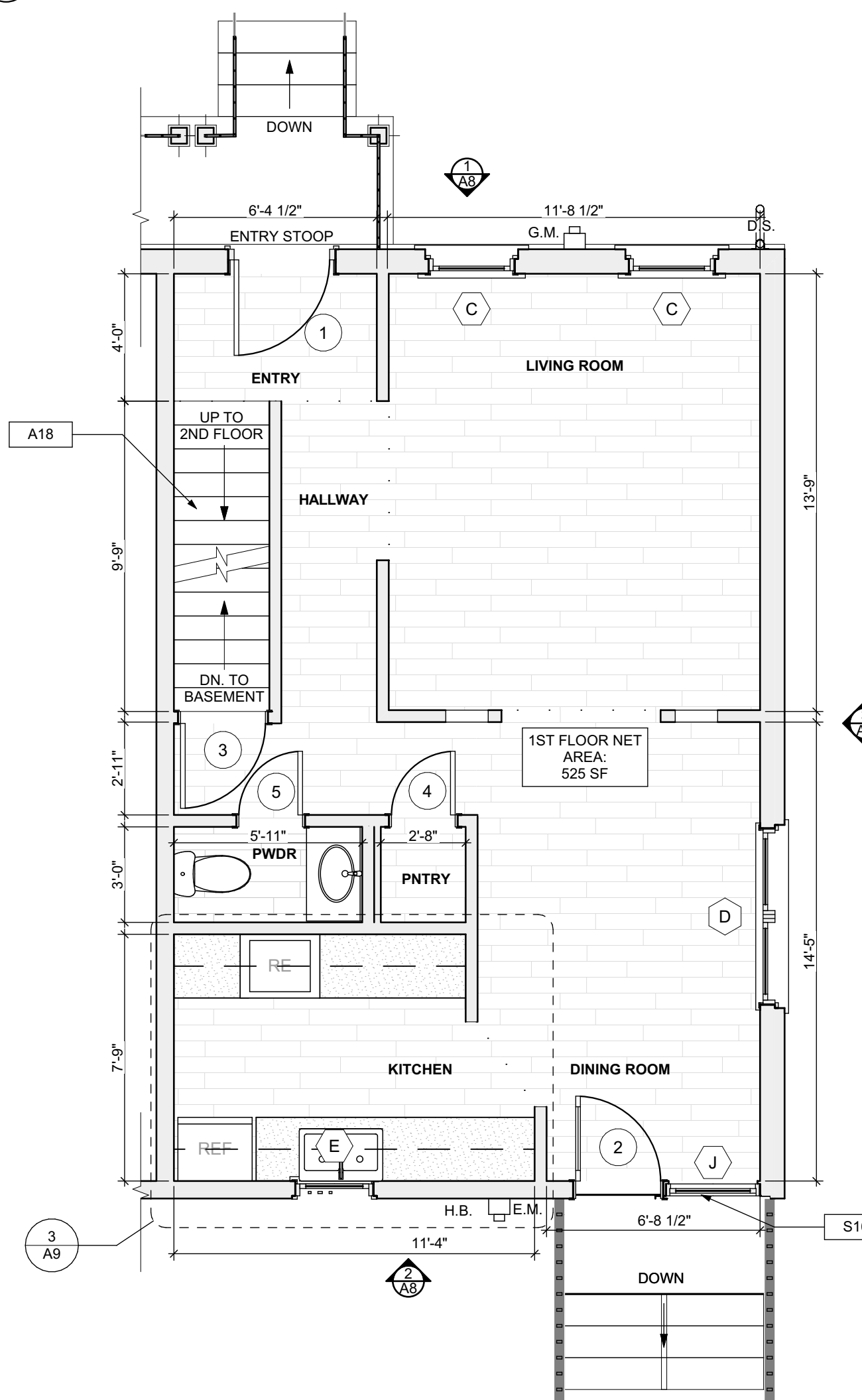
3 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR /FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT /FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



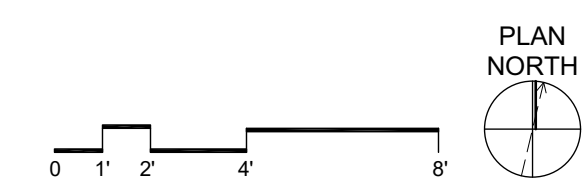
2 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

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SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM TO BE REPAIRED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALL WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"X2" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELUMPER TO MITIGATE MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1017 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT /FINISH/MECH./PLUMB. PLAN,
FIRST FLOOR /FINISH/MECH./PLUMB. PLAN,
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	of. 12
		A6
		Project #2006



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

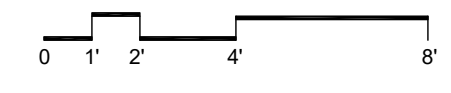
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POINTS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAWCUT EXISTING LAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
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 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BIR IN SPACE TO MITIGATE MOISTURE CONTROL. CHECK FOR CONDENSURE. CHECK FOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

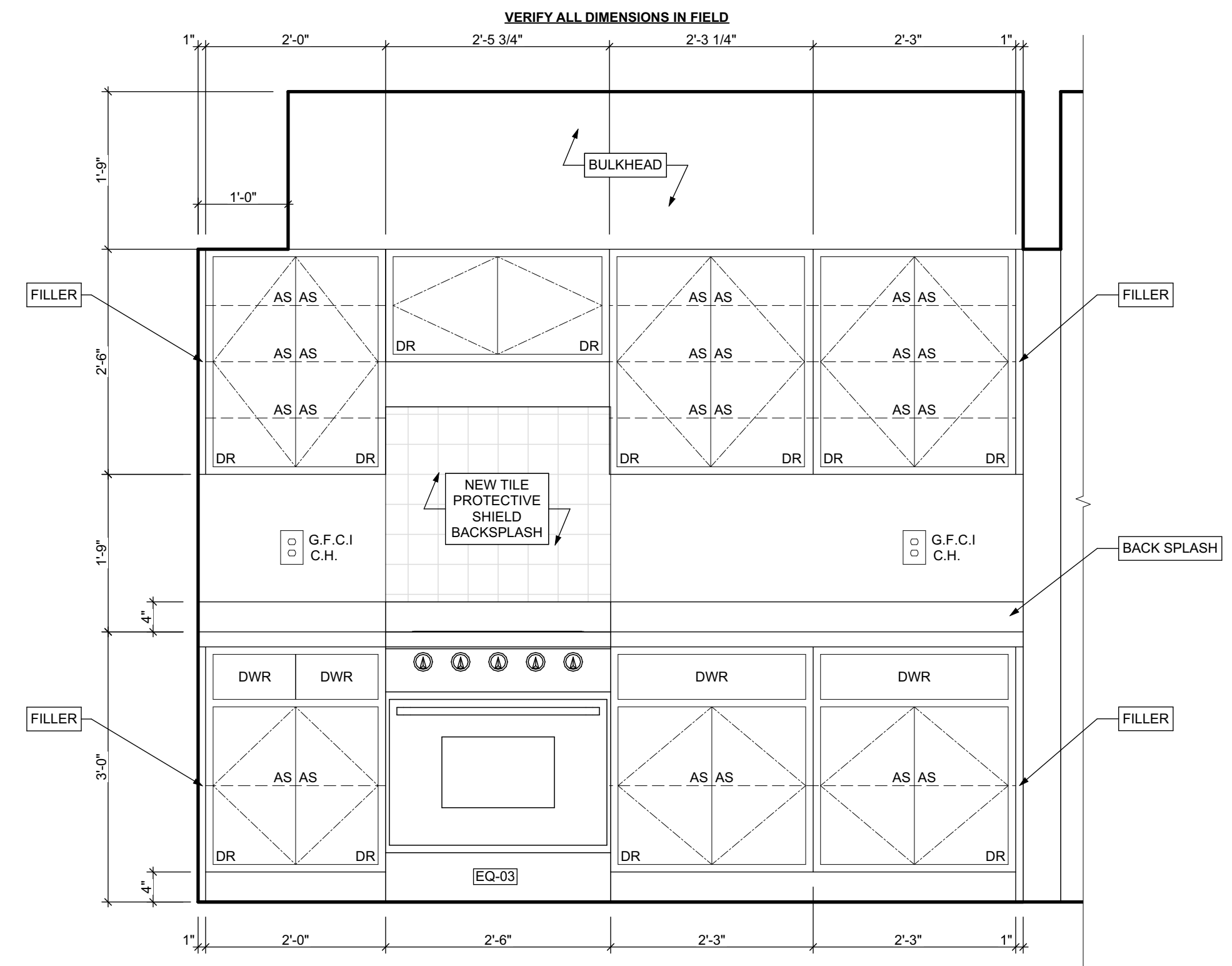
Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1017 PENNSYLVANIA AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

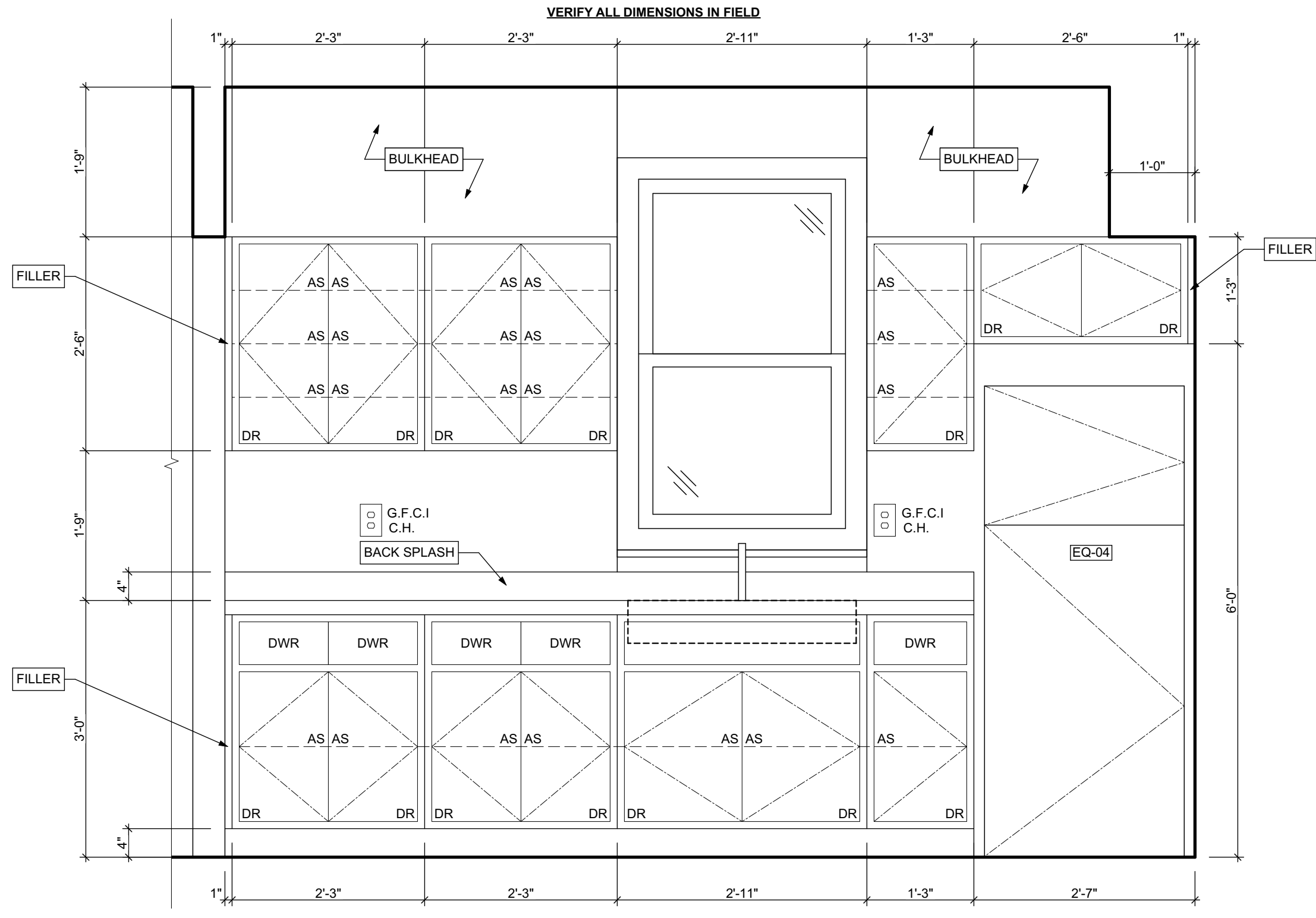
drawing title

NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

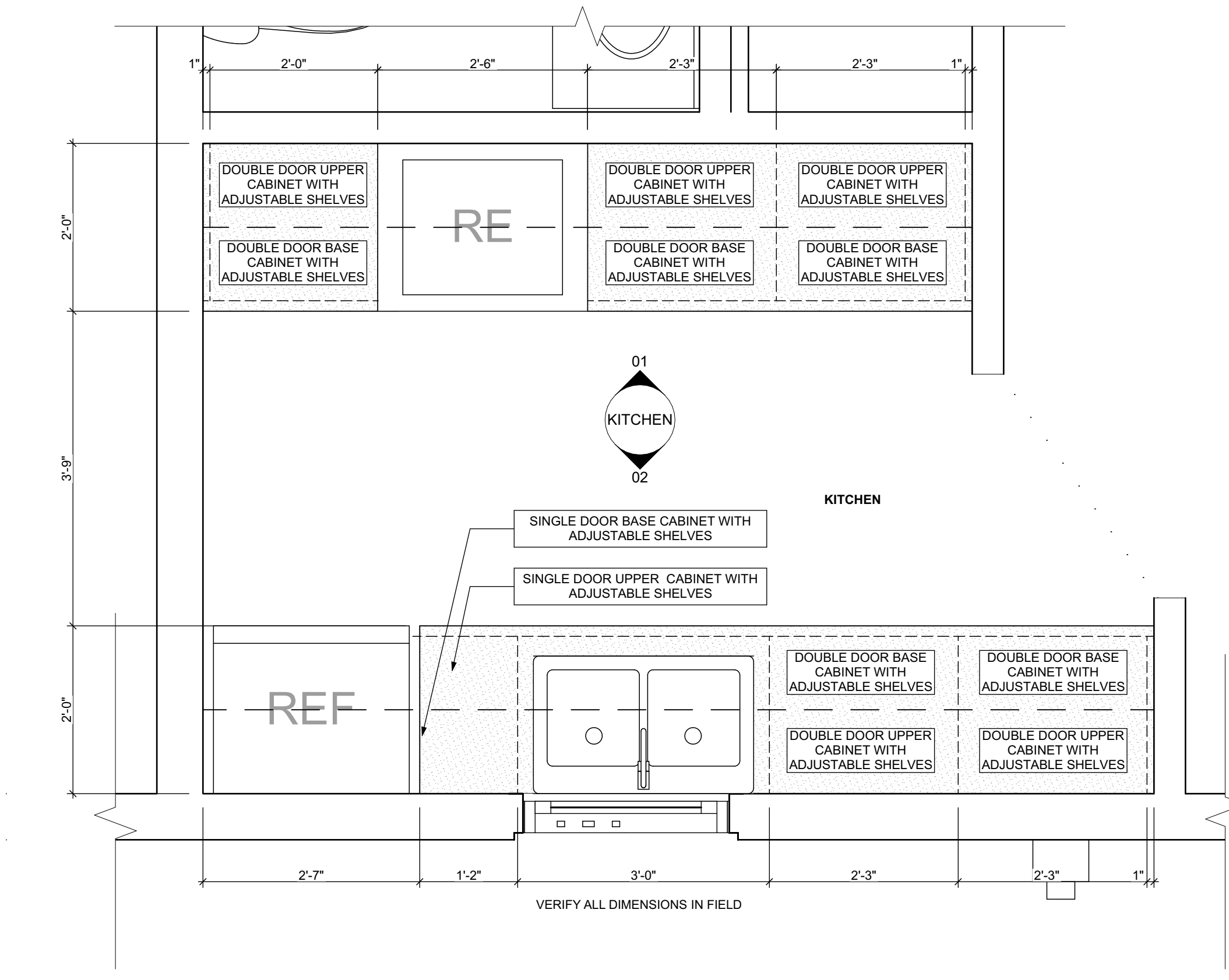
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8
of.	12	
		Project #2006



1 KITCHEN ELEVATION 01
 SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
 SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
 SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	2	Eivva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	0	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 051VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition. Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater. Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register: Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PHOLINES XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8FZDB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/4" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With Master-Clean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA
 2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
 MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

- scale
- general notes
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ISSUED FOR PERMIT: 05.06.2022

project title

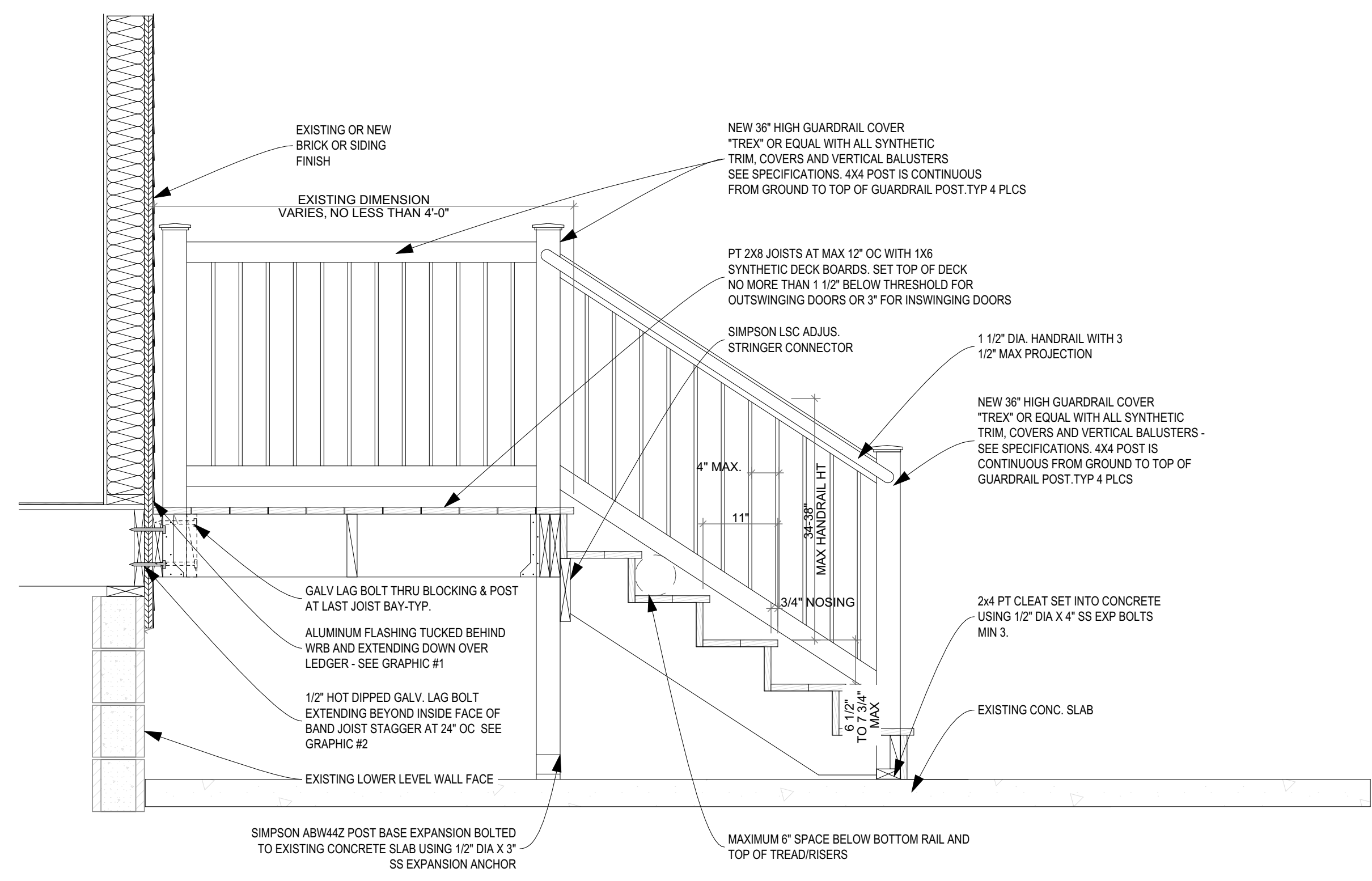
Owner:
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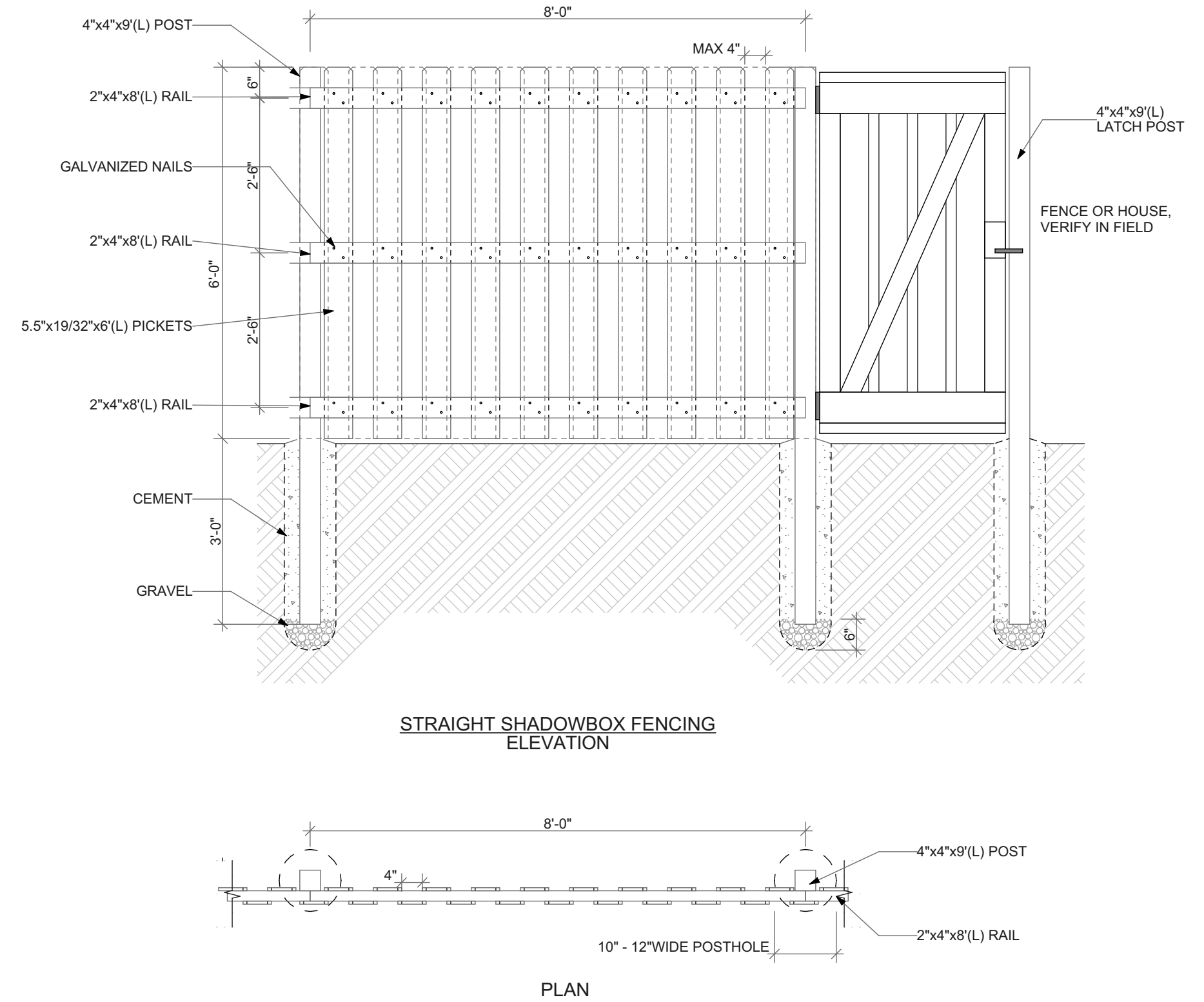
drawing title

KITCHEN ELEVATION 01,
 KITCHEN ELEVATION 02, FIRST
 FLOOR KITCHEN ENLARGED
 PLAN

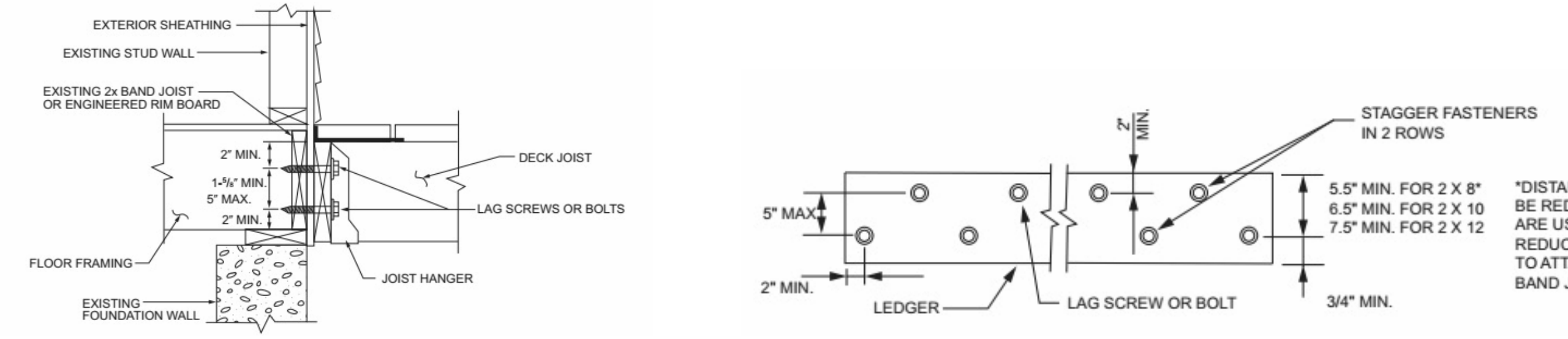
scale	As Noted	Sheet No.
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		Project #2006



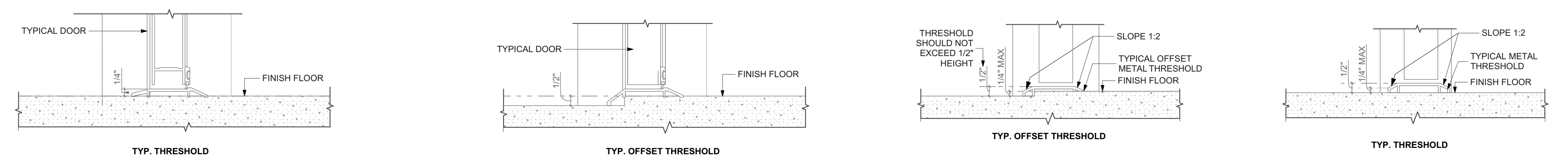
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



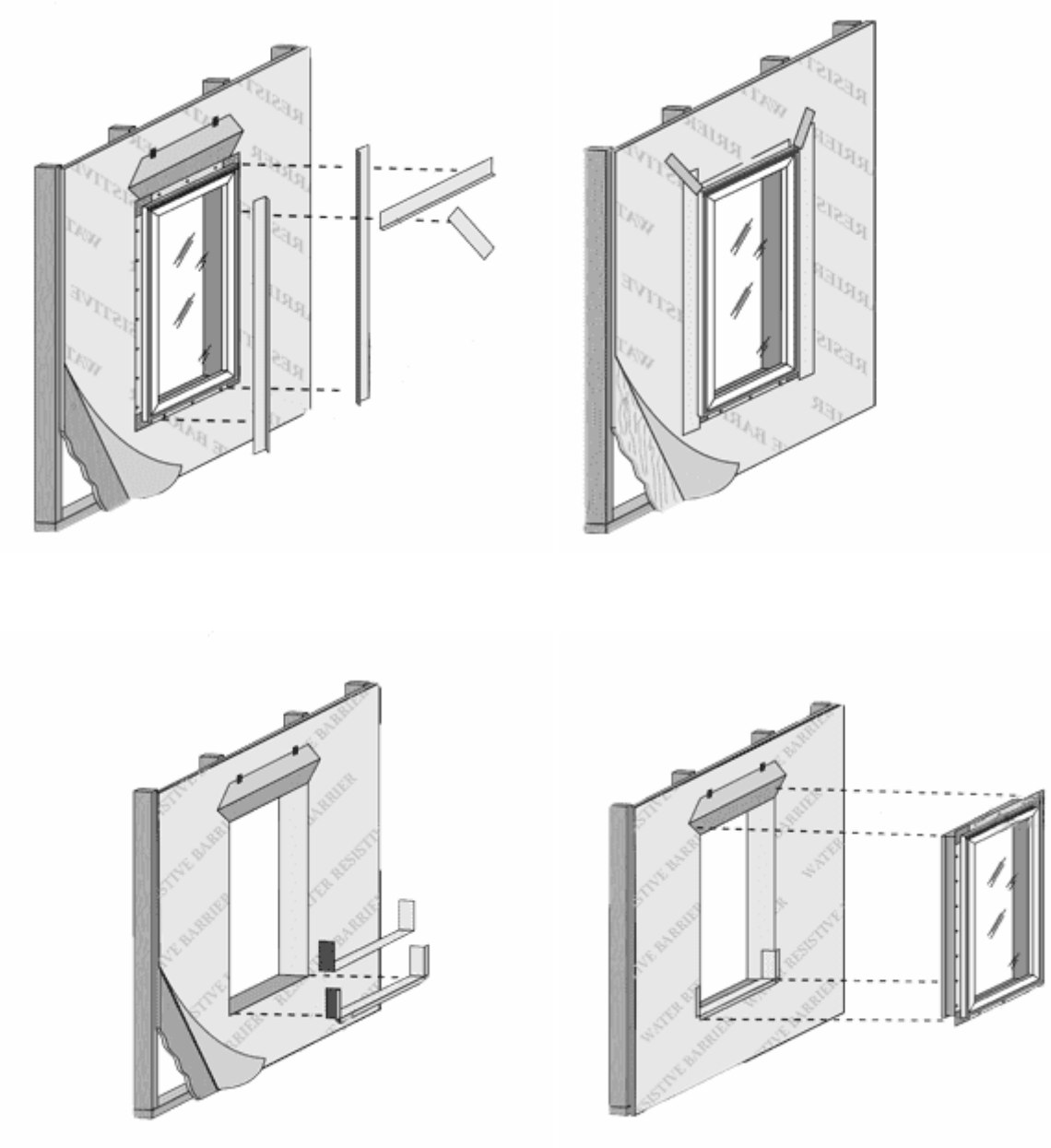
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

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- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

Project Location:
MANCHESTER SCATTERED SITES
1017 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	11	A10
of.	12	
		Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1019 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS

SELECTION CRITERIA

THRESHOLD CRITERIA
TABULAR SCHEDULE

A1 COVER SHEET

ARCH PRLIM SET
MANCHESTER SCATTERED SITES MAP
CODE AND CONTACT INFO

A2 ABBREVIATIONS AND MATERIALS

ABBREVIATIONS AND MATERIALS
SIDING WALL SECTION
BRICK WALL SECTION
INTERIOR STAIR DETAIL
DOOR SCHEDULE (WITH EXISTING)
WINDOW SCHEDULE
DOOR TYPES
FINISH SCHEDULE

A3 SCOPE/GENERAL/GREEN COMMUNITY NOTES

GENERAL NOTES
ENERGY NOTES

A4 SITE PLAN AND ROOF PLAN

ROOF PLAN
SITE PLAN
ROOF PLAN NOTES
ROOF AND SITE PLAN LEGEND
GRAPHIC SCALES
GRAPHIC SCALES
SMALL UNIT KEYNOTES

A5 FLOOR / DEMO PLANS

GRAPHIC SCALES
THIRD FLOOR / DEMO PLAN
SECOND FLOOR / DEMO PLAN
BASEMENT / DEMO PLAN
FIRST FLOOR / DEMO PLAN
DEMOLITION PLAN LEGEND
GENERAL DEMOLITION NOTES
SMALL UNIT KEYNOTES

A6 FLOOR/FINISH/MECH./PLUMB. PLAN

FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
BASEMENT/FINISH/MECH./PLUMB. PLAN
GRAPHIC SCALES
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
FLOOR PLAN LEGEND
SMALL UNIT KEYNOTES

A7 REFLECTED CEILING / POWER / DATA PLANS

LIGHTING SCHEDULE

BASEMENT, REFL. CLG./POWER/DATA PLAN
FIRST FLOOR REFL. CLG./POWER/DATA PLAN
THIRD FLOOR REFL. CLG./POWER/DATA PLAN
SECOND FLOOR REFL. CLG./POWER/DATA PLAN

A8 ELEVATIONS

NORTH ELEVATION
SOUTH ELEVATION
GRAPHIC SCALES
WEST ELEVATION
SMALL UNIT KEYNOTES

A9 KITCHEN ENLARGED PLANS AND ELEVATIONS

FIRST FLOOR KITCHEN ENLARGED PLAN
KITCHEN ELEVATION01
KITCHEN ELEVATION02

A10 DETAILS

DECK ENLARGED DETAILS
WINDOW INSTALLATION UNDER VINYL SIDING
DECK SECTION DETAIL
EXTERIOR DOOR THRESHOLD
WOOD FENCE DETAIL

Code Conformance Information

Applicable Codes
General: 2015 International Building Code
2015 International Building Code
2009 ICC/ANSI A117.1
Accessibility: 2015 International Energy Conservation Code
Energy: 2014 NEC (NFPA 70)
Electrical: 2015 International Fire Code
Fire: 2015 International Fuel Gas Code
Fuel Gas: 2015 International Mechanical Code
Mechanical: 2017 Allegheny County Health department Plumbing Code
Plumbing: 2013 NFPA 72
Fire Alarm: 2013 NFPA 13
Sprinkler:

General Building / Project Information
Classification of Work: Level-2 alteration per the IEBC
Occupancy Group: "R-2"
Stories: 3 story with basement
Gross Area: 1,983 sqft
Construction Type: V
Sprinklers: None
Smoke detector: 6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

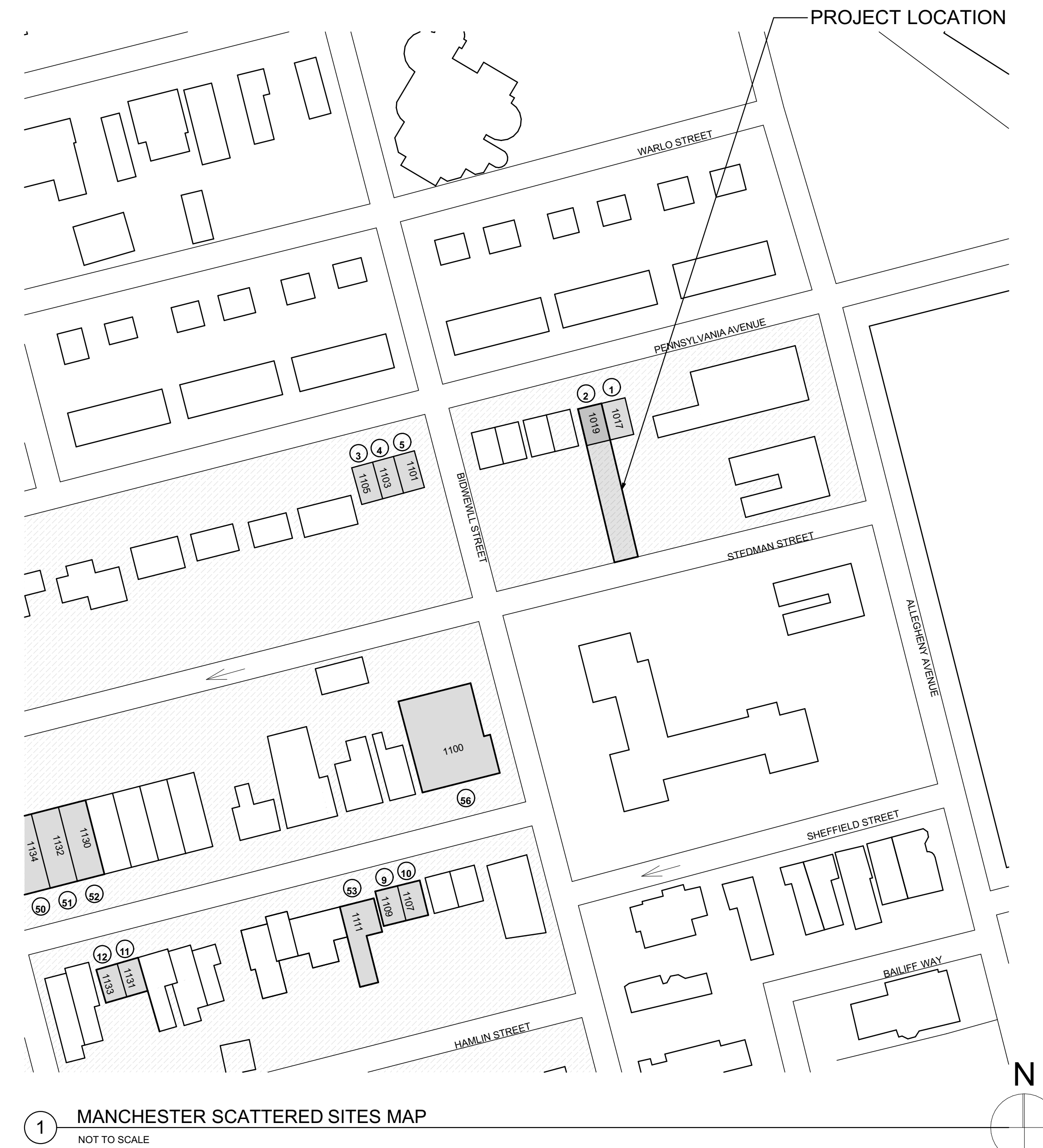
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of Permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1019 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

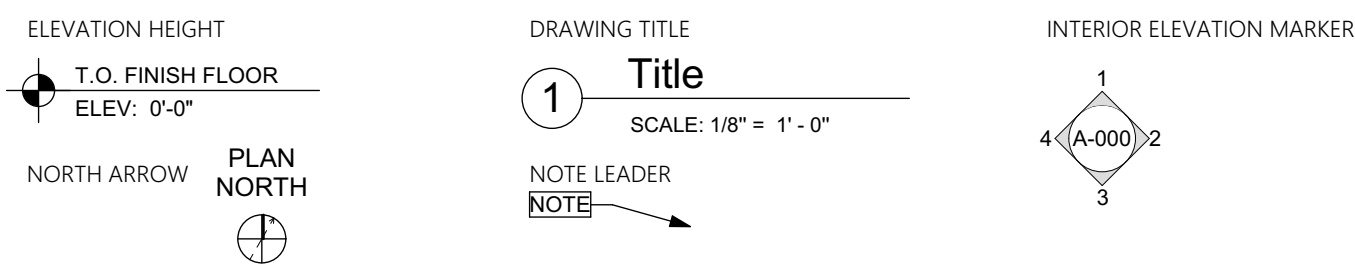
Materials Legend

Table with 2 columns: Material Name and Material Legend Symbol. Includes items like EARTH, COMPACTED STONE FILL, CONCRETE, STEEL, RIGID INSULATION, etc.

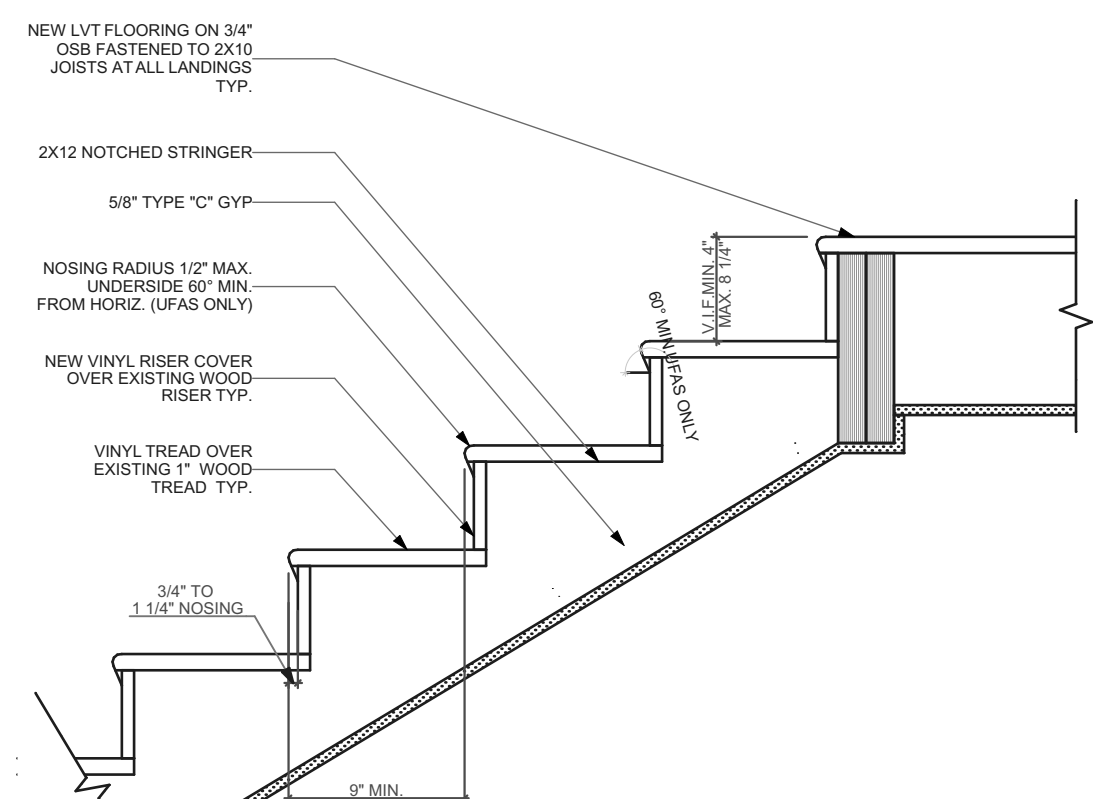
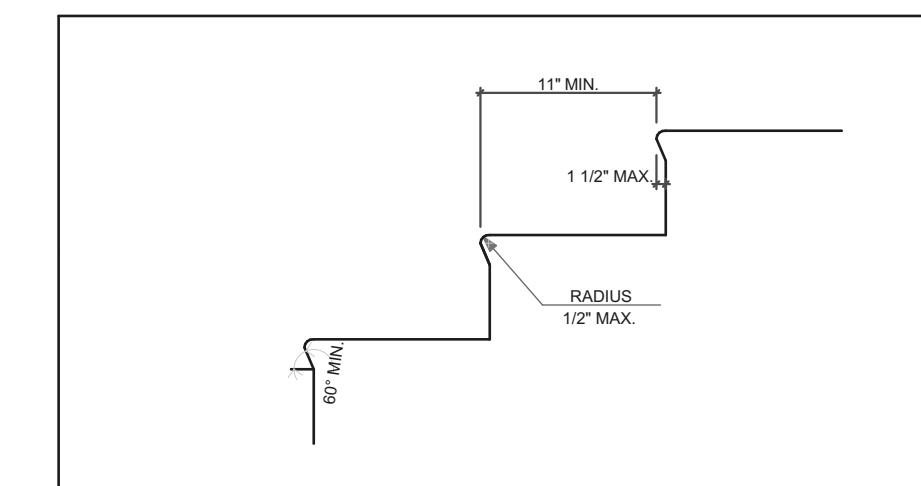
Abbreviations

Table with 4 columns: Abbreviation, Full Name, Abbreviation, Full Name. Lists various construction abbreviations such as A.F.F., A.P., ACUJST., etc.

Symbols



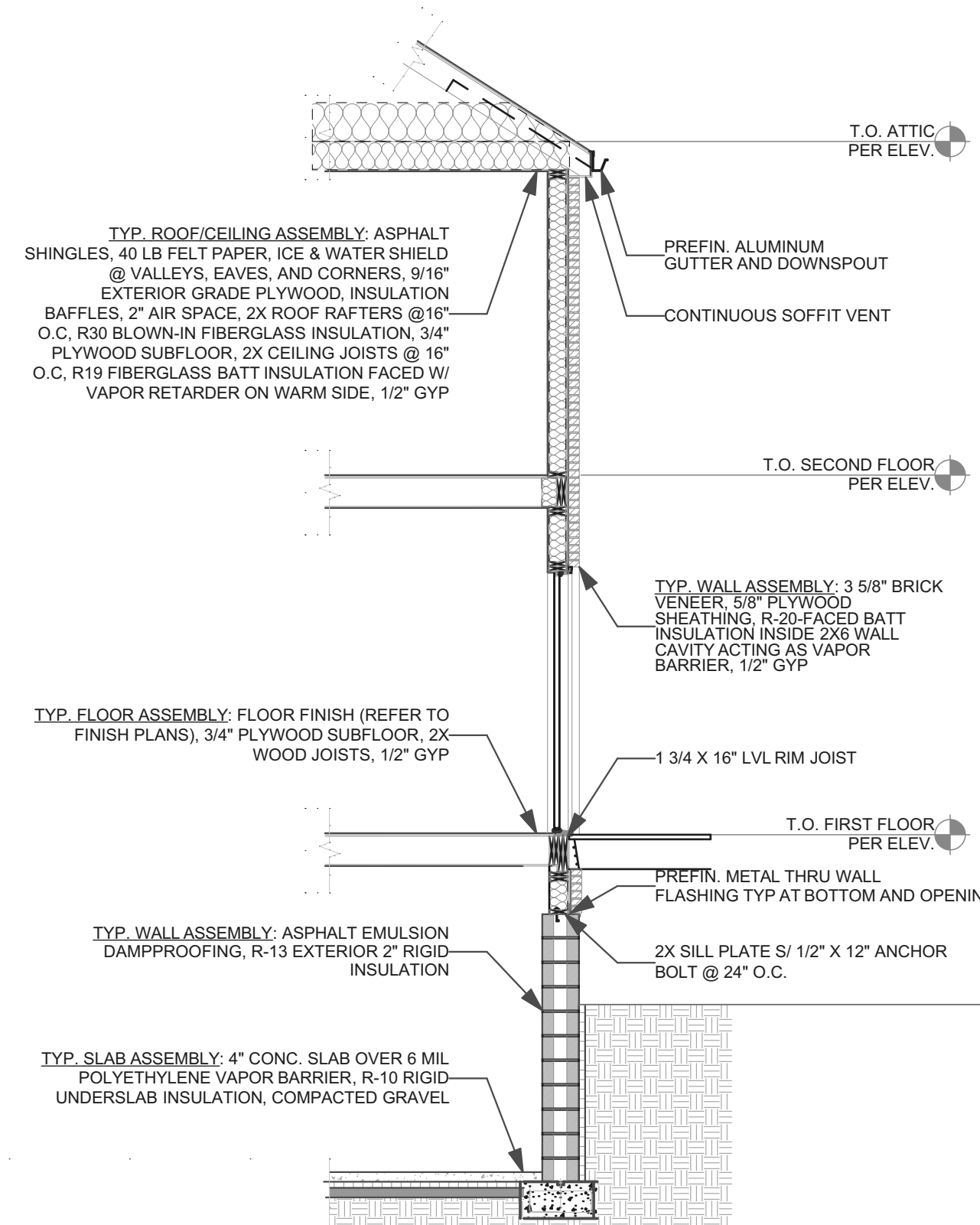
1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

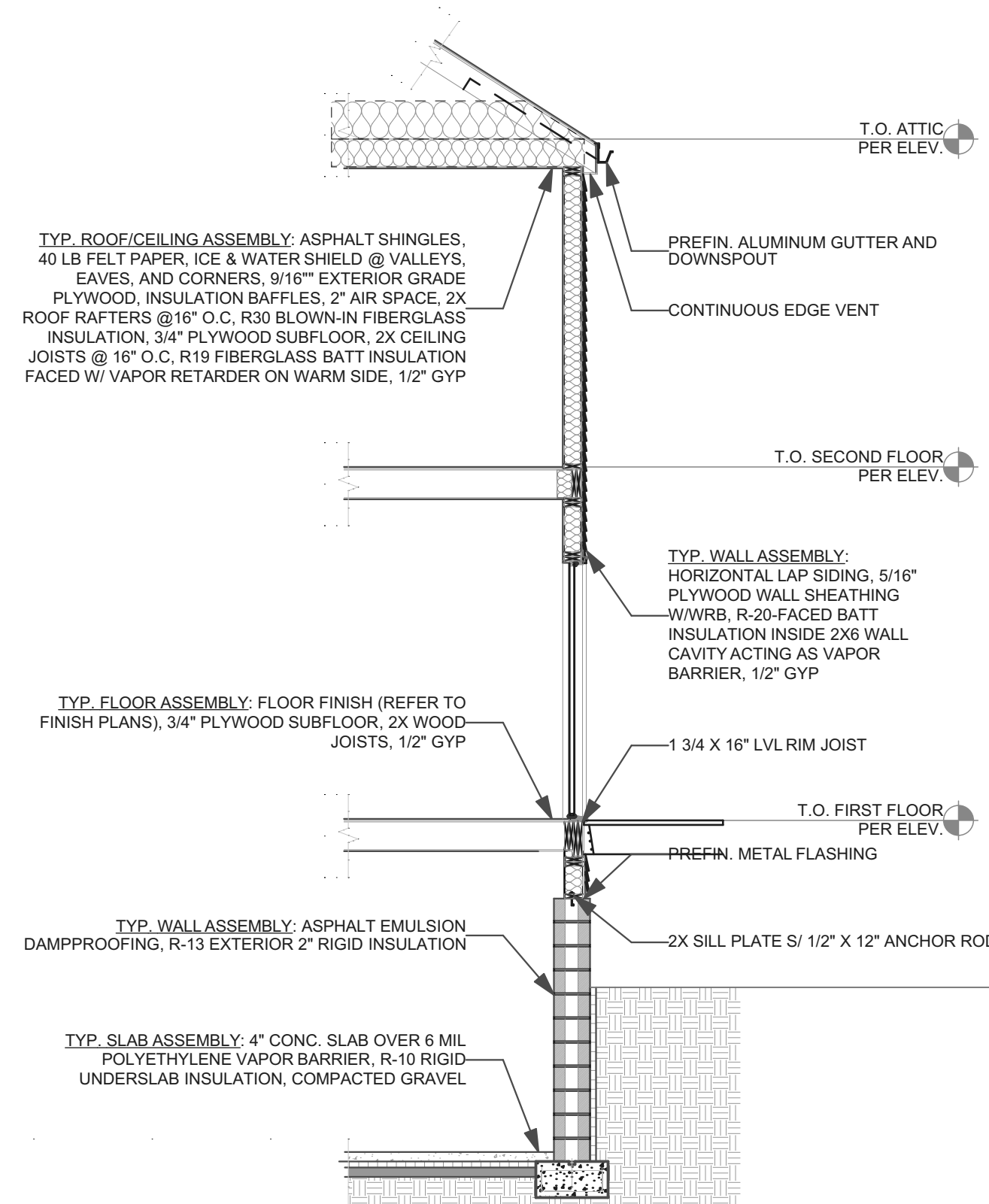
4 INTERIOR STAIR DETAIL

SCALE: 1\"/>



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION



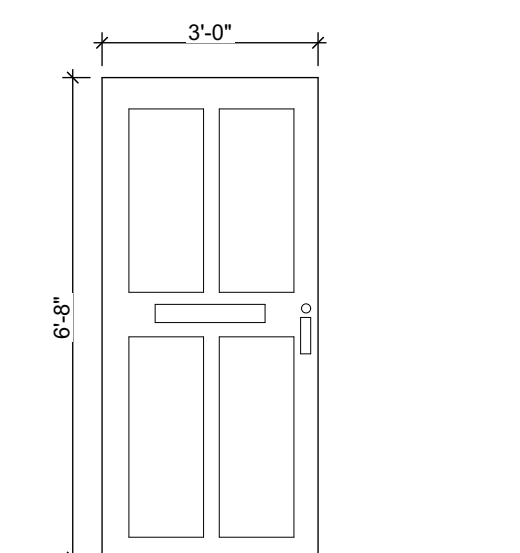
THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

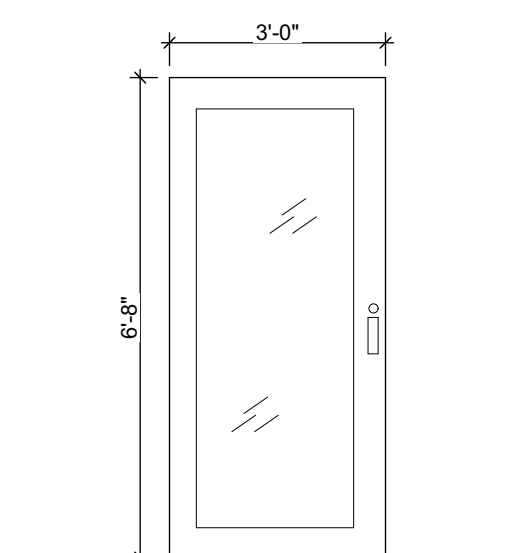
WINDOW SCHEDULE table with columns: ID, SIZE, HEAD HEIGHT, FRAME MATERIAL, VENTING, TEMPERED. Lists windows A through I with their respective dimensions and materials.

DOOR SCHEDULE table with columns: DOOR TAG, SIZE, DOOR TYPE, DOOR MTL., FRAME MTL., HARDWARE. Lists doors 1 through 11 with their respective specifications.

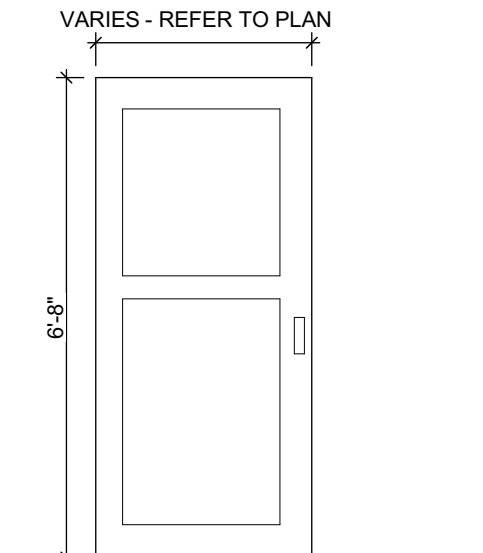
FINISH SCHEDULE table with columns: NAME, FLOOR. Lists finishes for various rooms like BASEMENT, BEDROOM, BTHRM, etc.



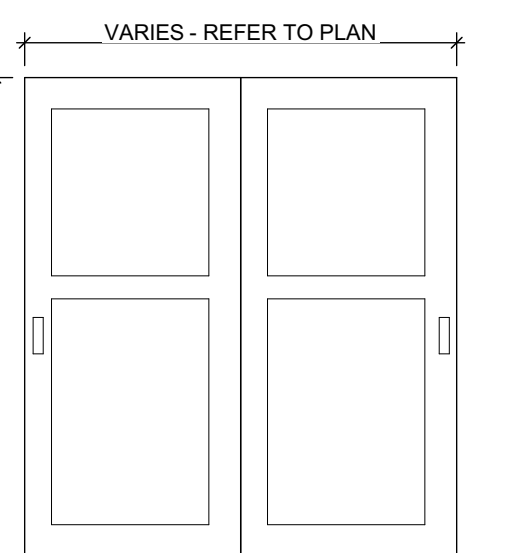
I EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOX SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



II EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE, HARDWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



III INTERIOR WOOD DOOR INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



IV INTERIOR WOOD DOUBLE DOOR INTERIOR 2 PANEL DOUBLE WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

general notes

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

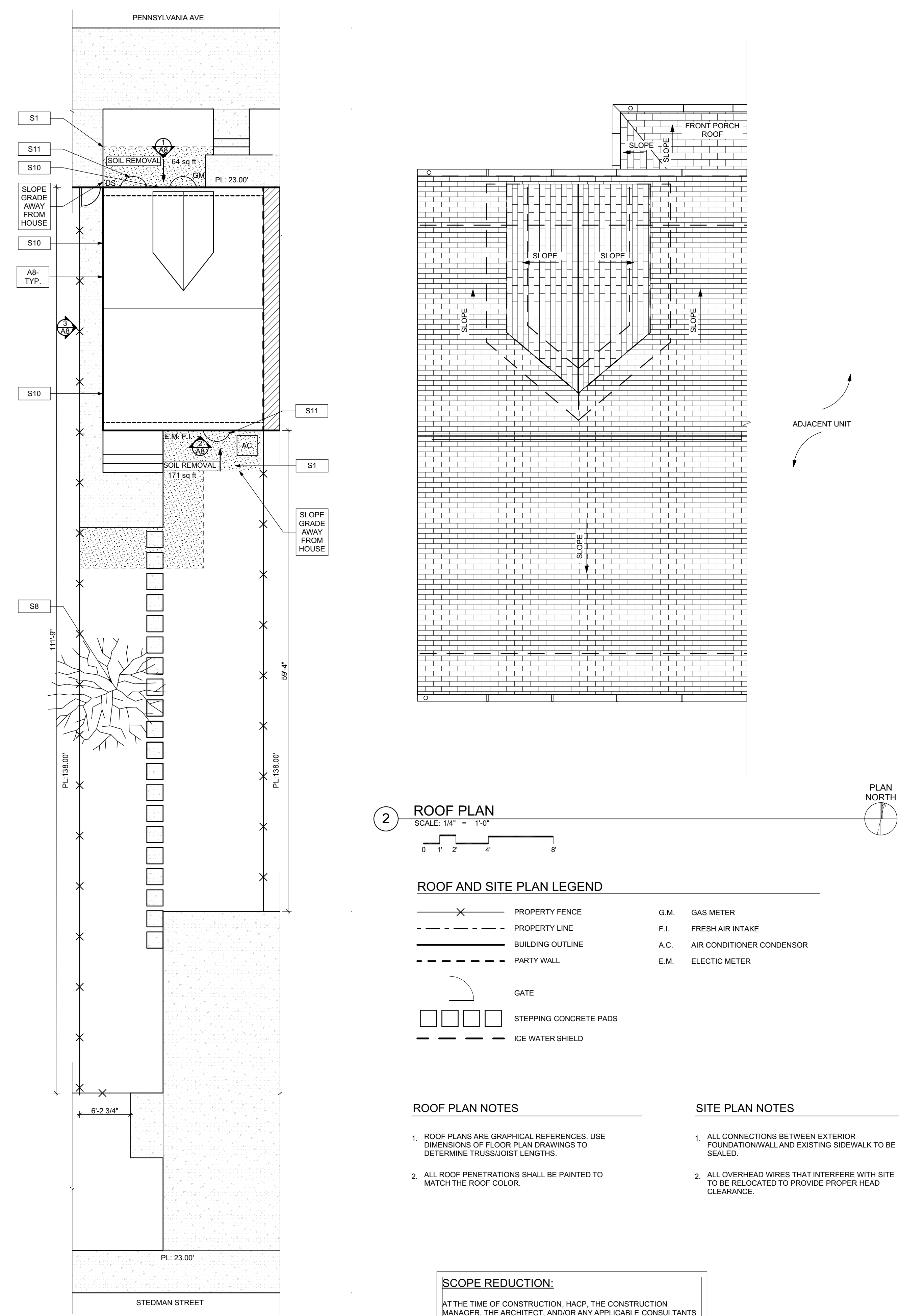
Owner: HACP 200 ROSS STREET PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES 1019 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, DOOR TYPES, FINISH SCHEDULE

Scale: As Noted
date: May 6, 2022
no.: 3 of 12
Sheet No. A2
Project #2006



- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL. POUR 4" CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN CURB AND SIDEWALK. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF BUILDING. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% SLOPE. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% SLOPE. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, TRIMS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOODS AS NECESSARY. REPAIR AS NECESSARY AT WINDOBS, POINT SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. FINISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x2"x1" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITER TO EXISTING FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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200 ROSS STREET
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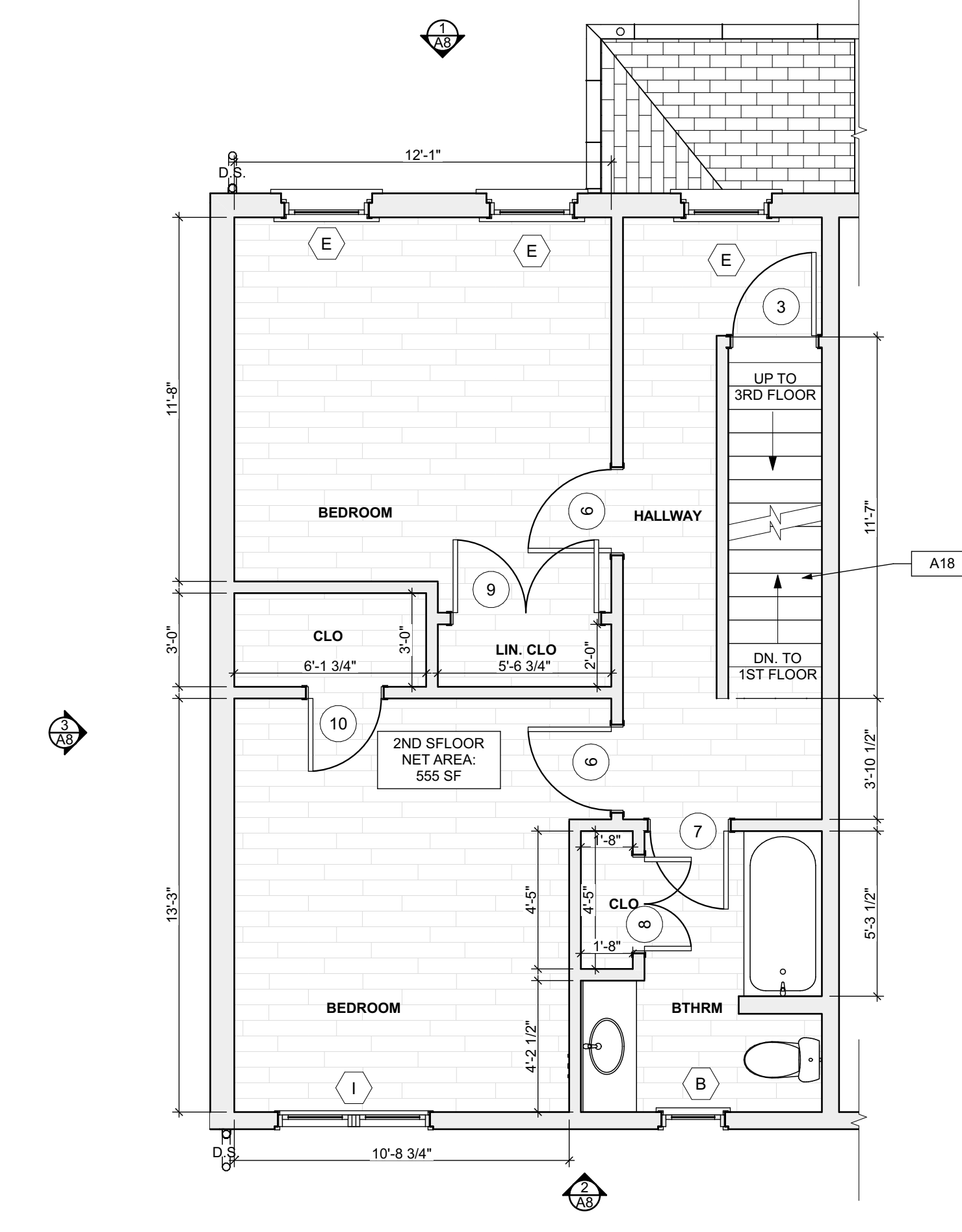
Project Location:
MANCHESTER SCATTERED SITES
1019 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

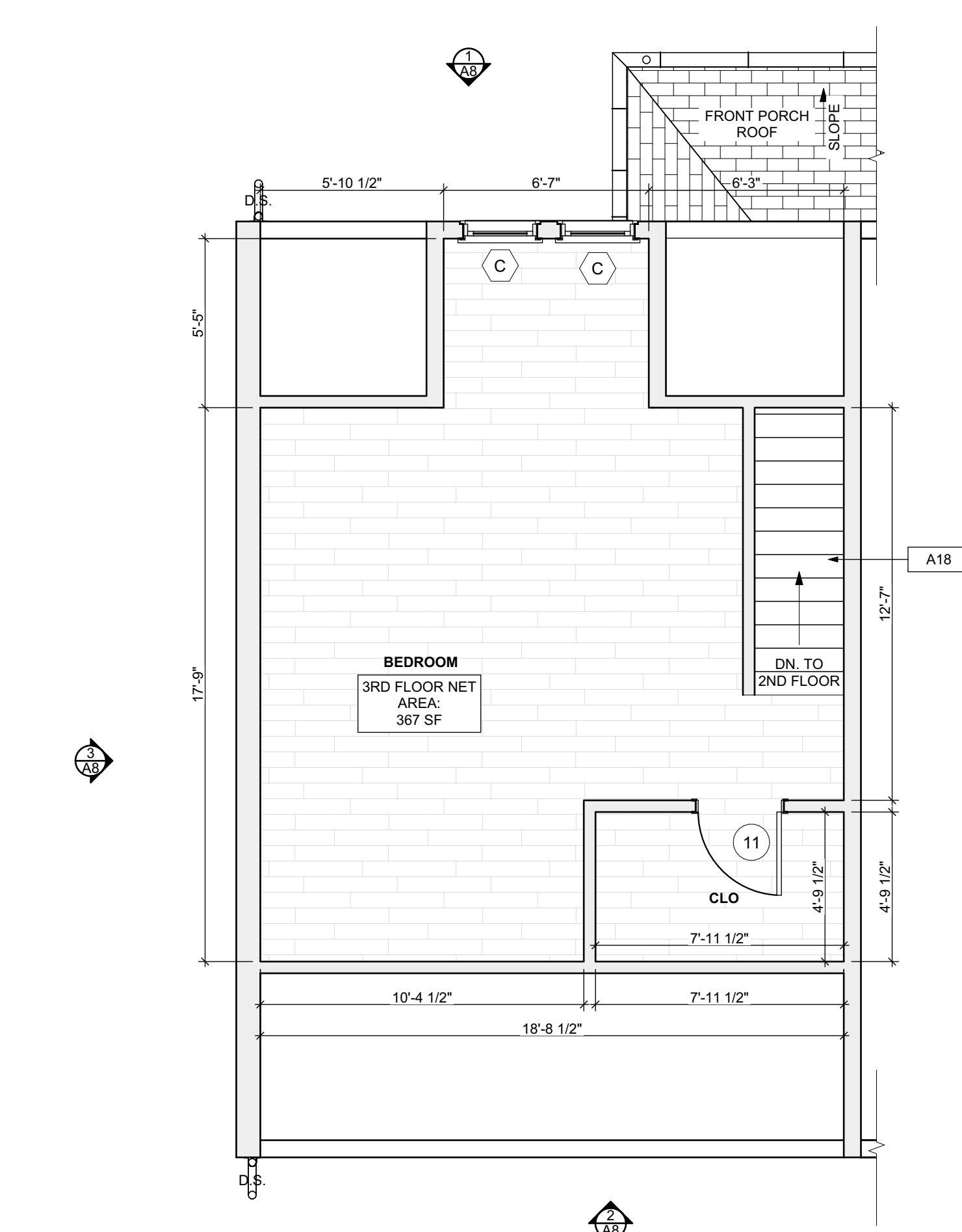
SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted
date	May 6, 2022
no.	5 of 12

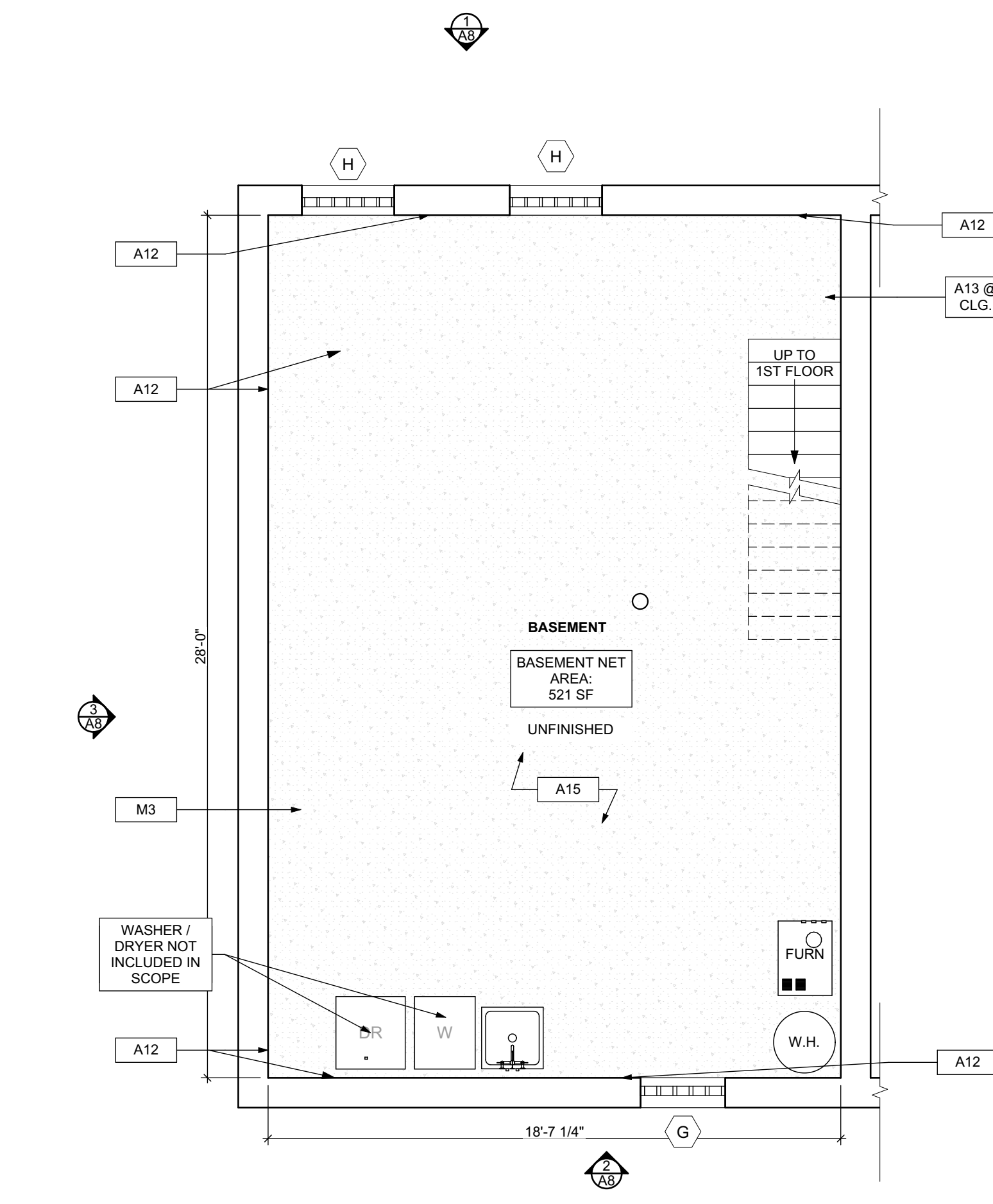
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Project #	#2006



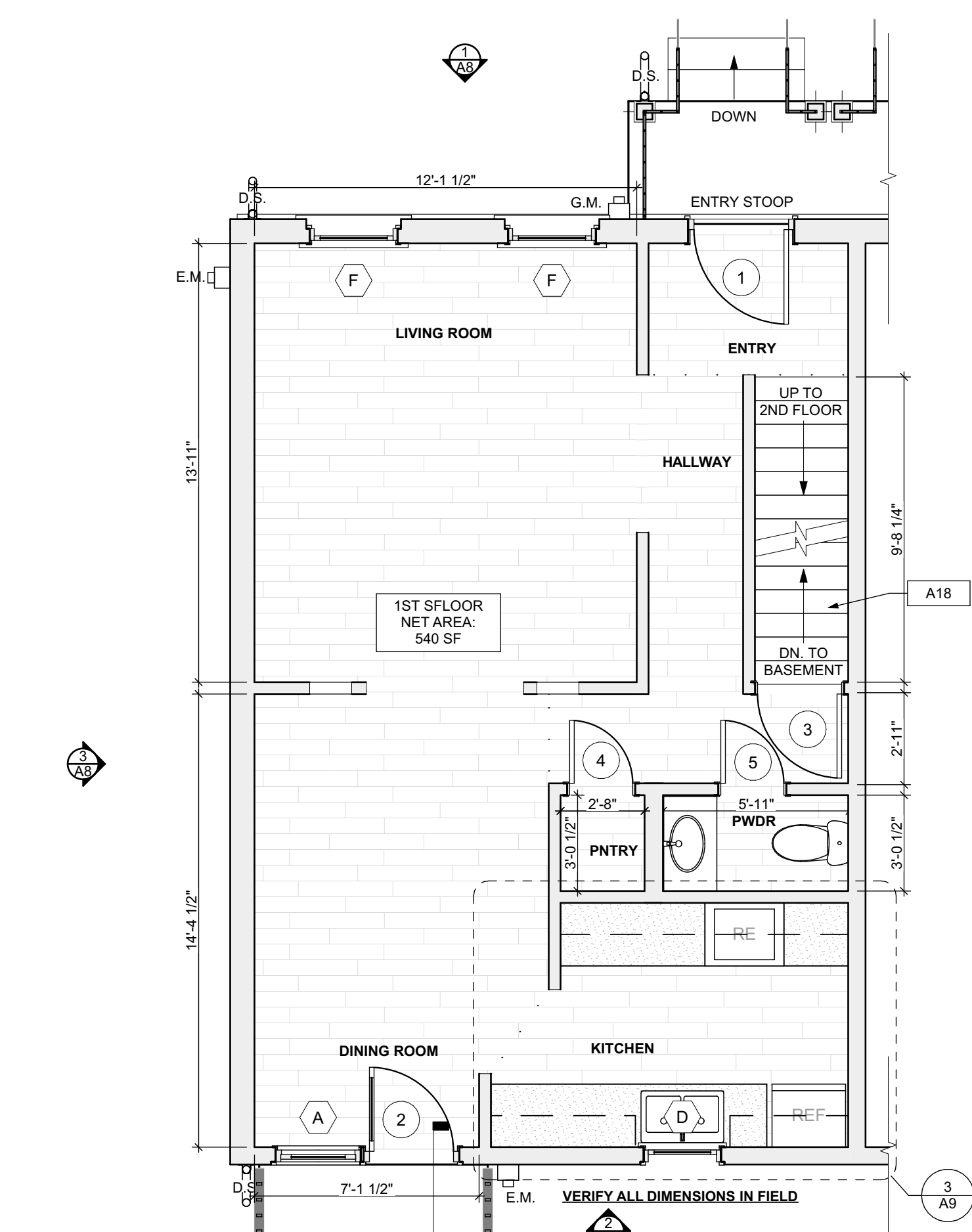
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



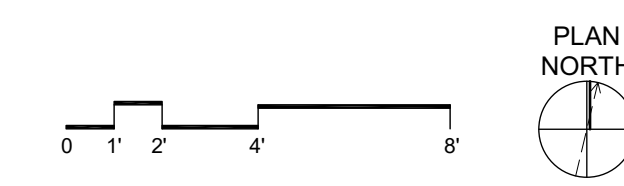
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE BUILDING. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROVIDE LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLEARANCE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS MUST BE DRY. IF REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/CHIPS EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOOR AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT FLOOR JOIST FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CHANGES TO PLAN. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELIMITER. PROVIDE INTERIOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repriming, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

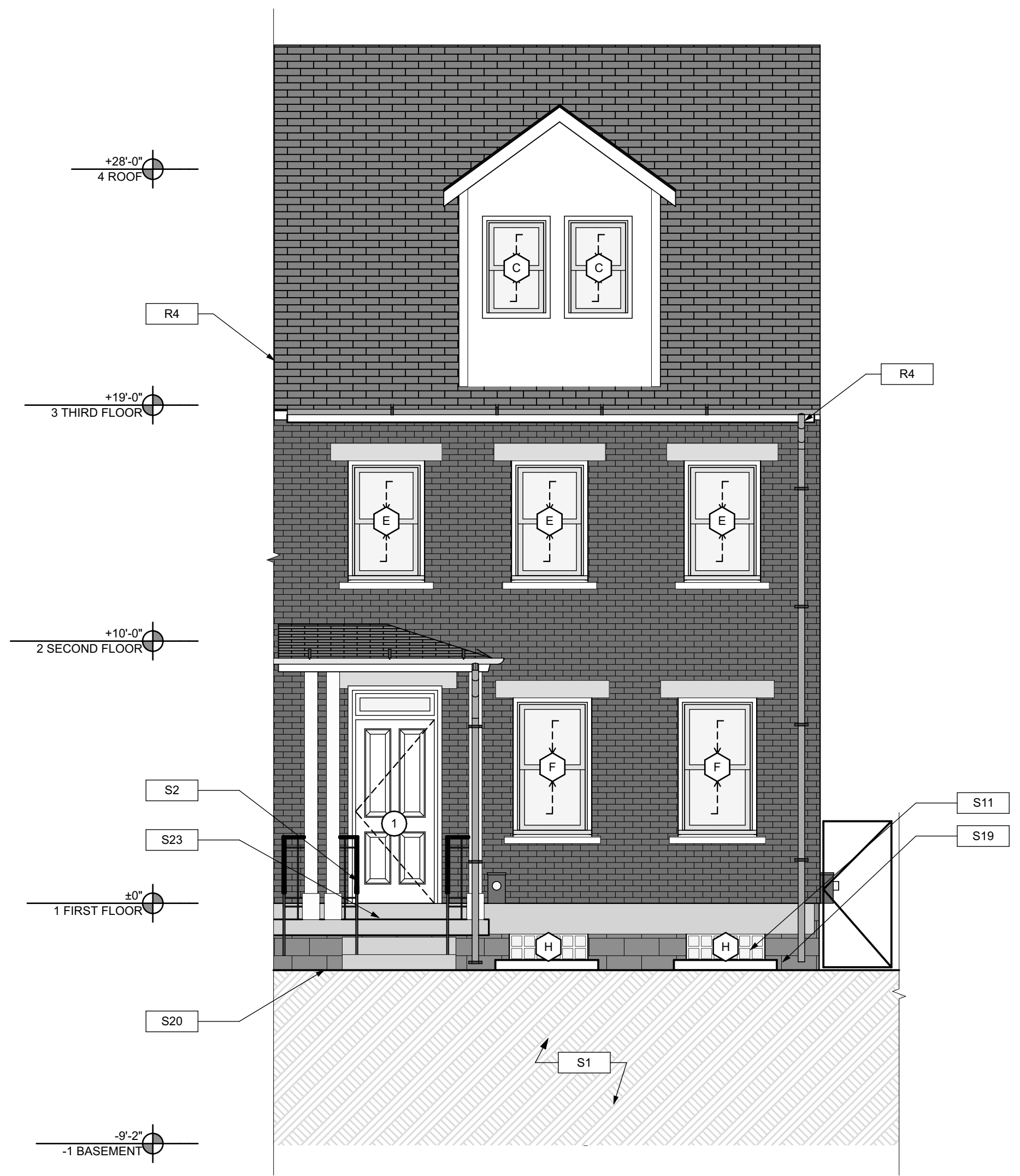
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1019 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

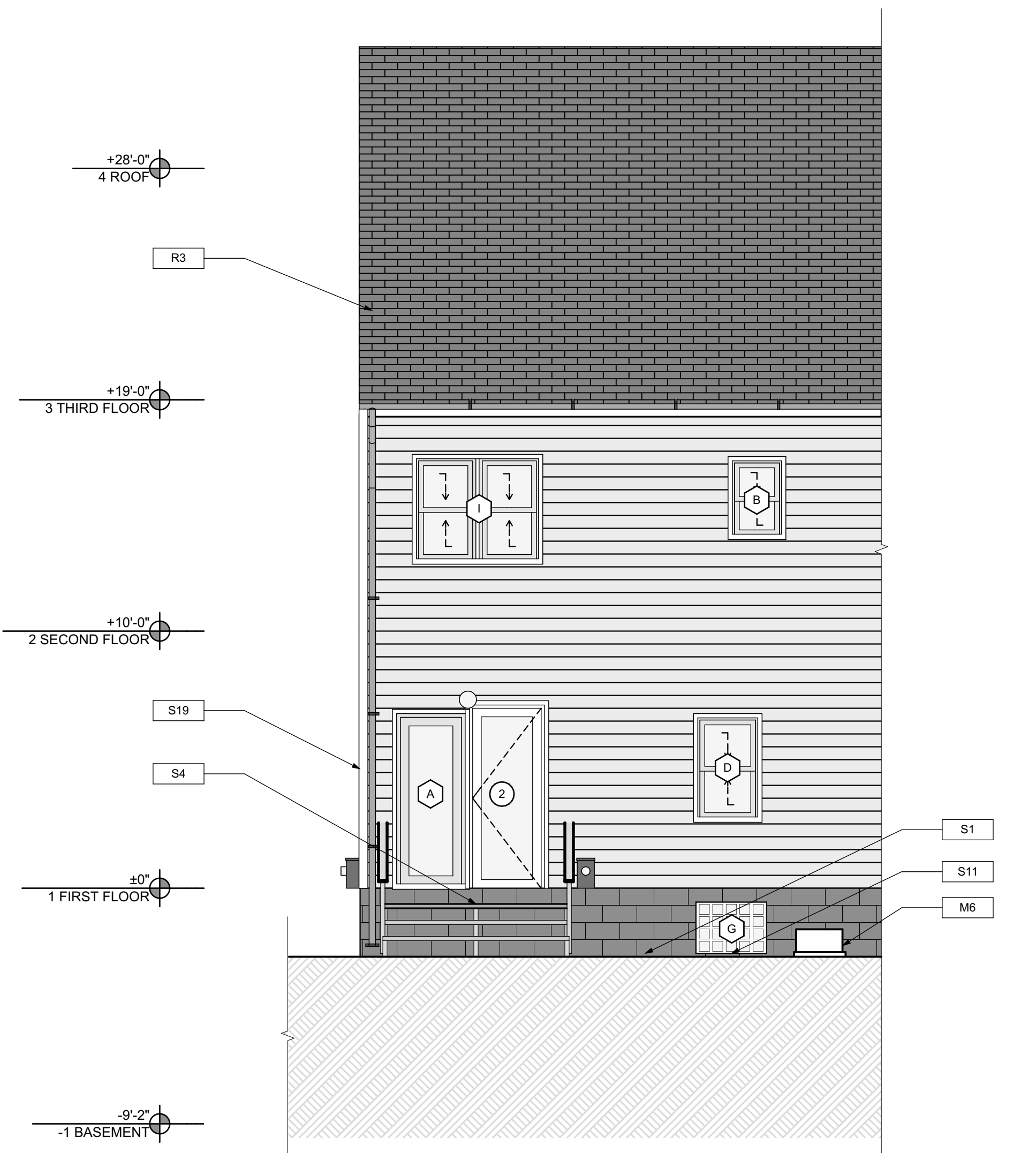
drawing title

BASEMENT/FINISH/MECH./PLUMB.
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, GRAPHIC SCALES, FLOOR
PLAN LEGEND, SMALL UNIT
KEYNOTES

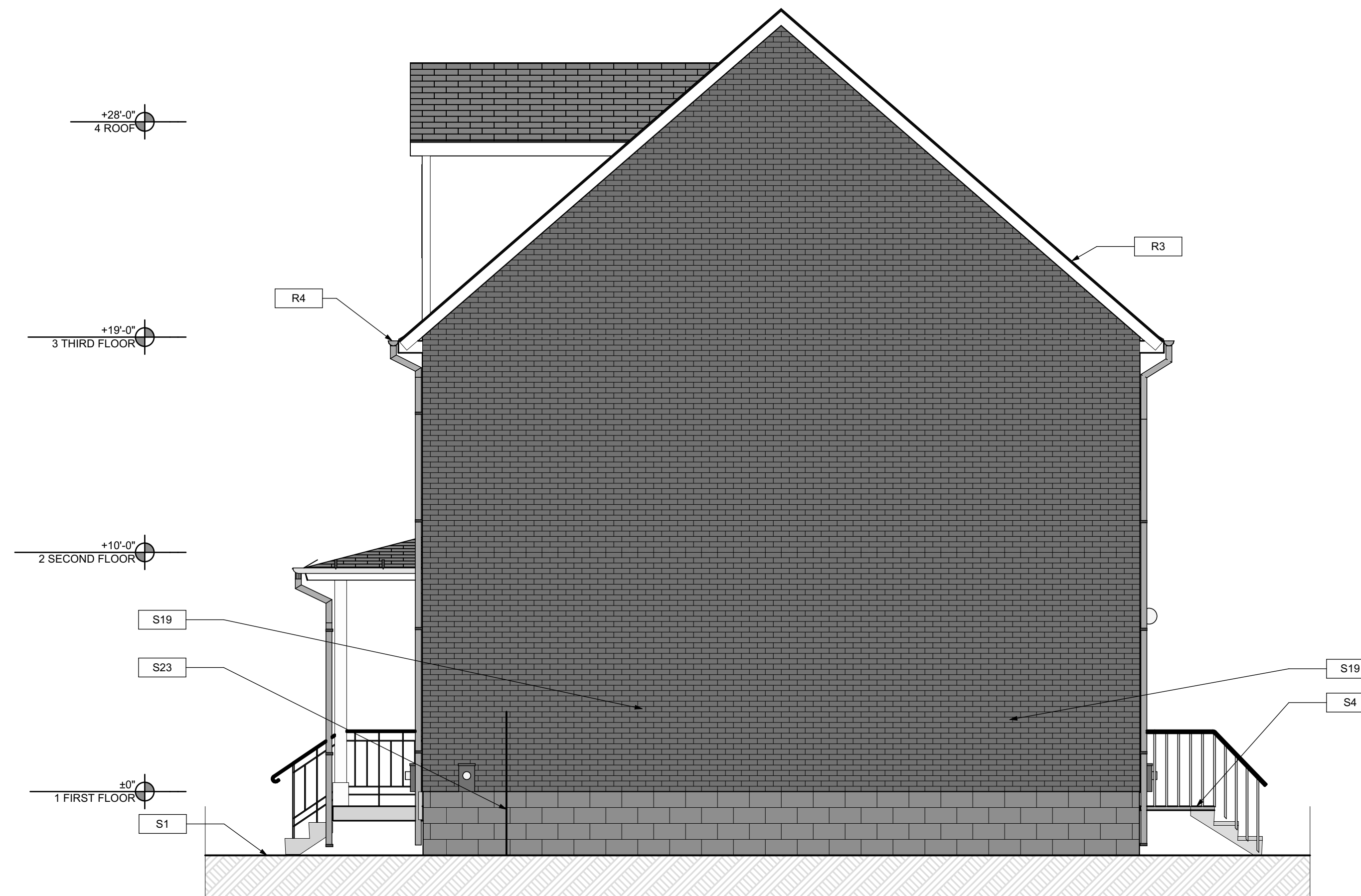
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	of. 12
		A6
		Project #2006



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



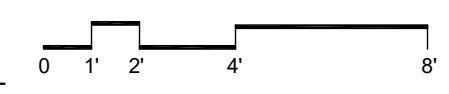
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; WHERE CONCRETE IS NOT PRESENT, MINIMUM 4" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPS TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS AS NECESSARY. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REFRACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CROMBUSH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING LAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR FIN WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELIMITER TO MITIGATE MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

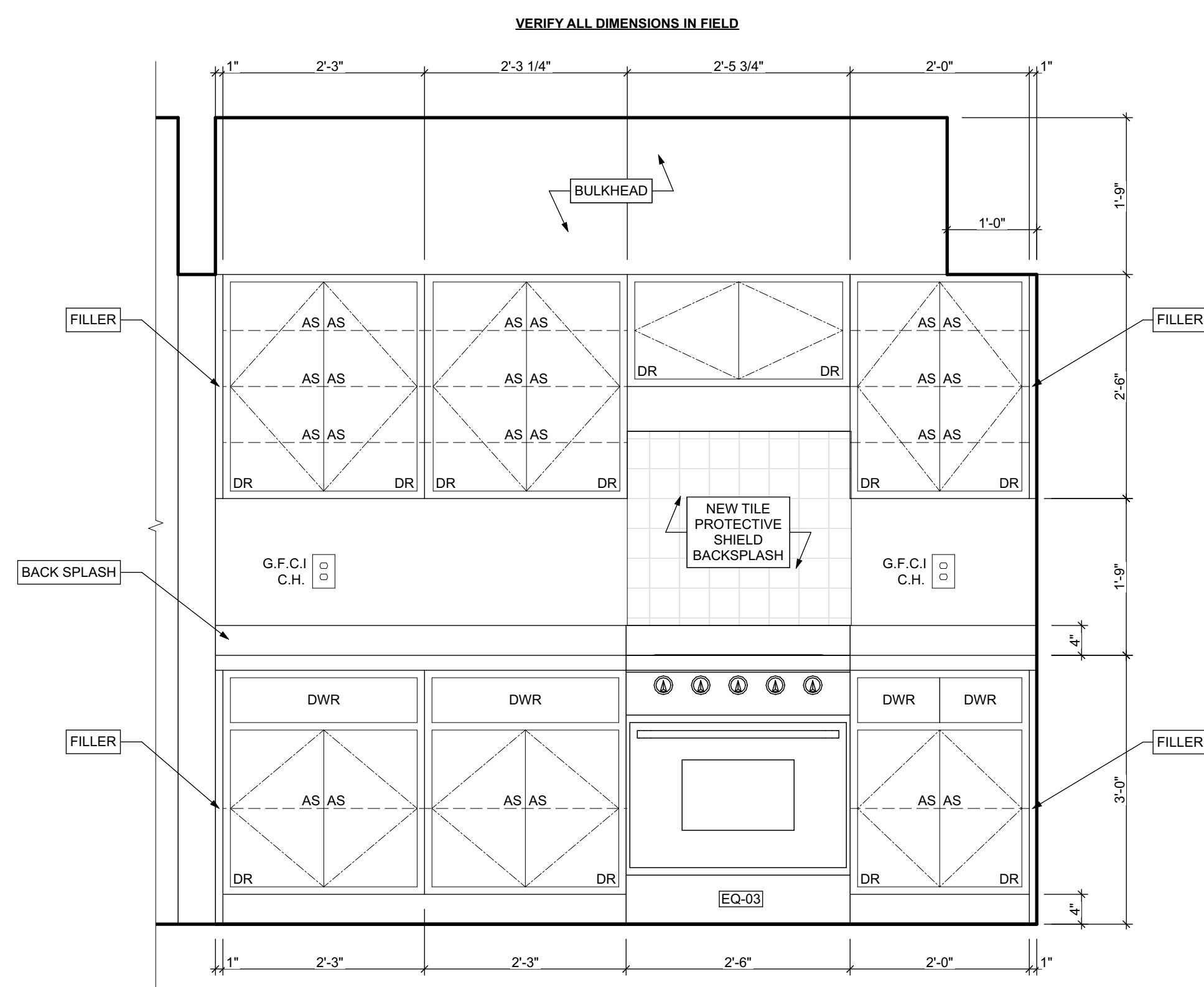
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1019 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

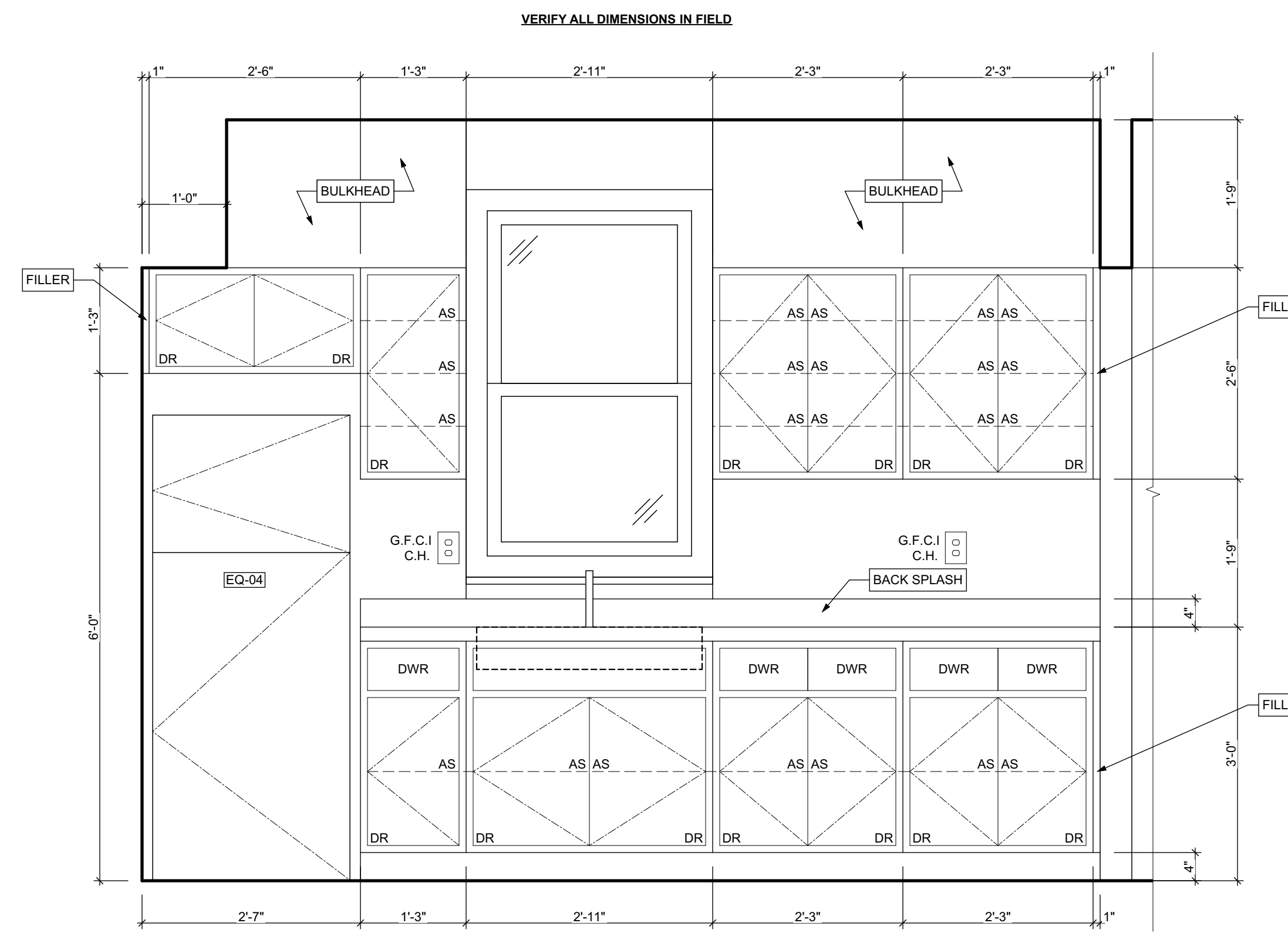
NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

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no.	9 of 12

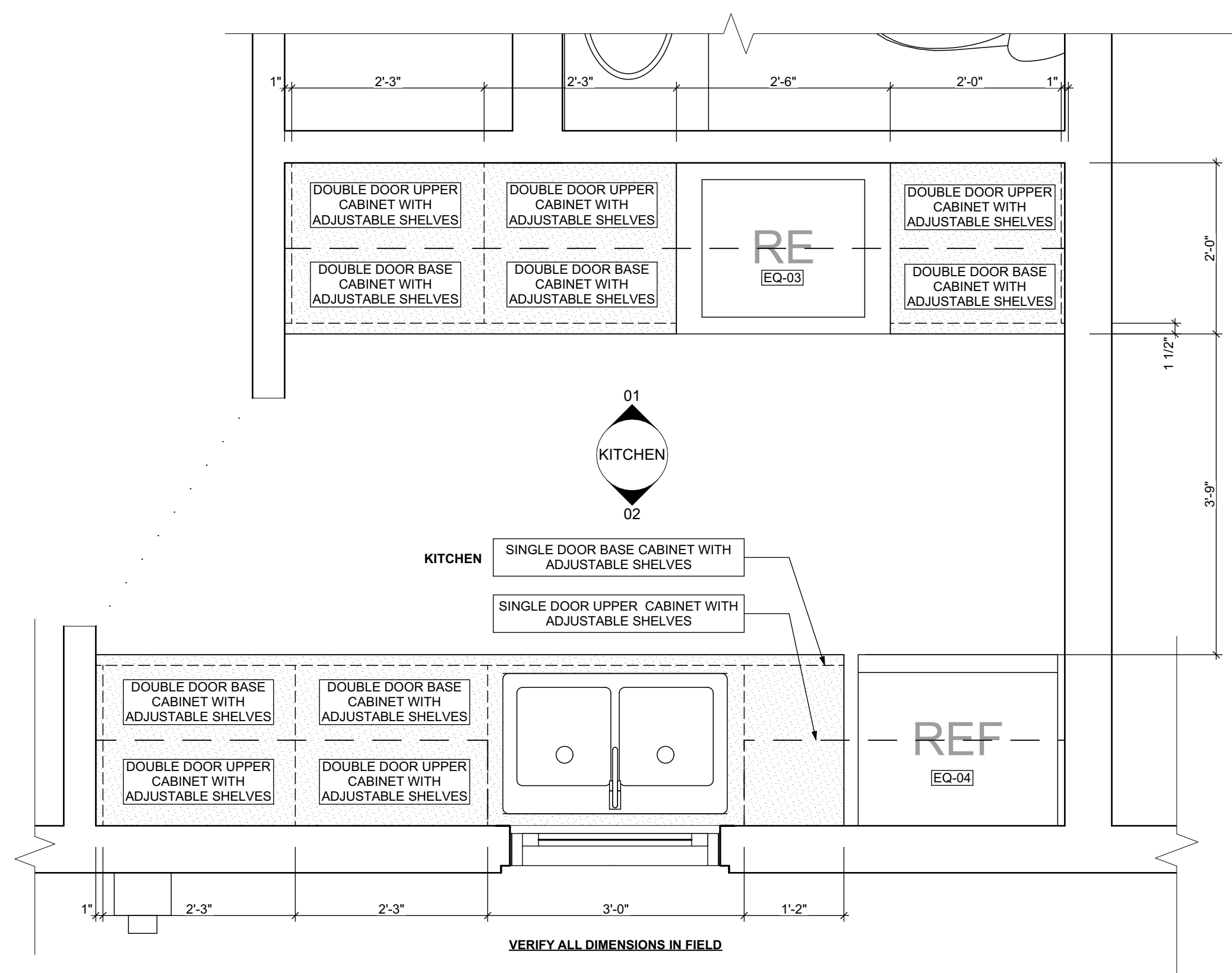
Sheet No.	A8
Project #	2006



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKGA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump PROLINE XE	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2B00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T834ZEP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

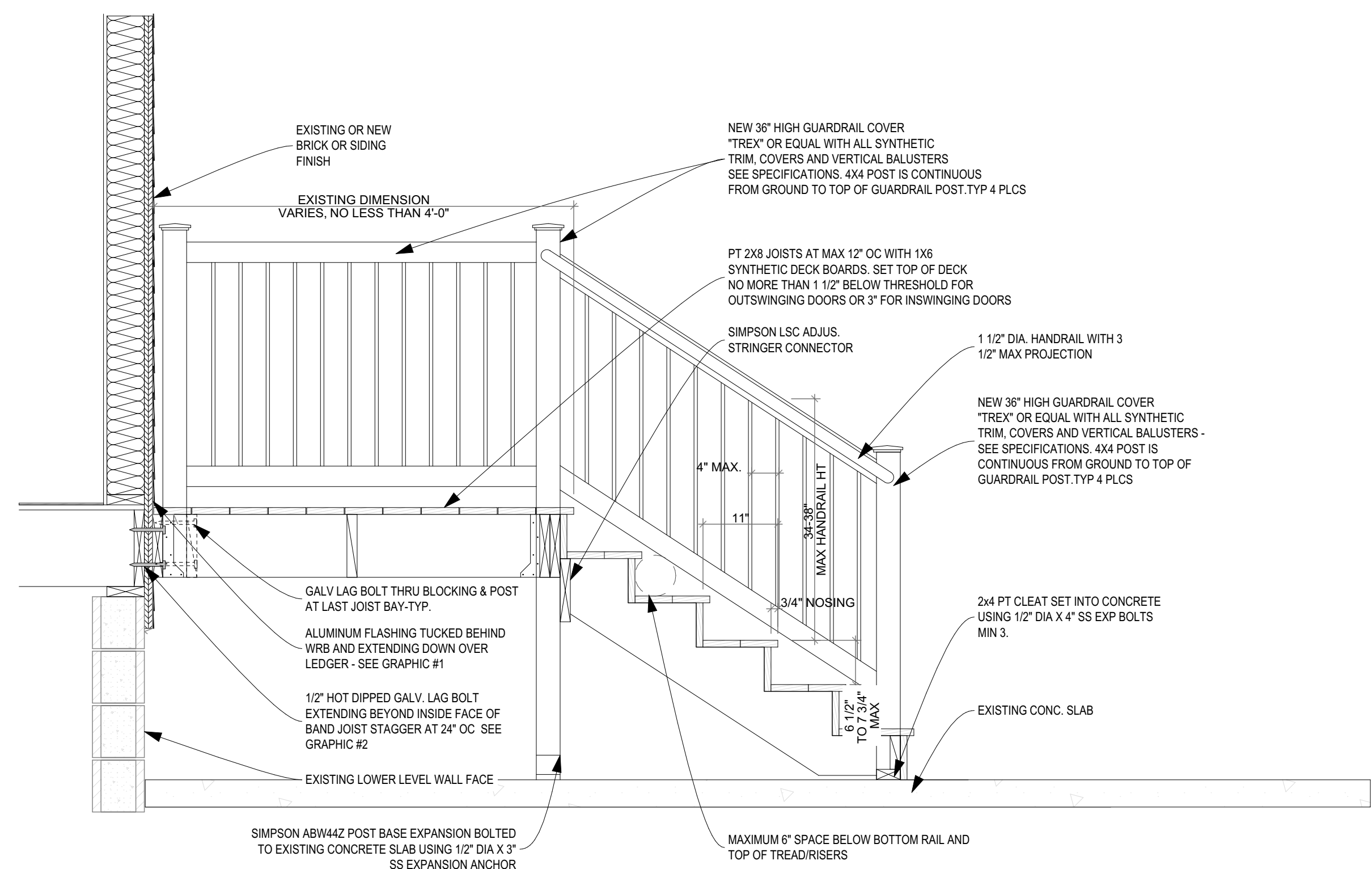
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1019 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

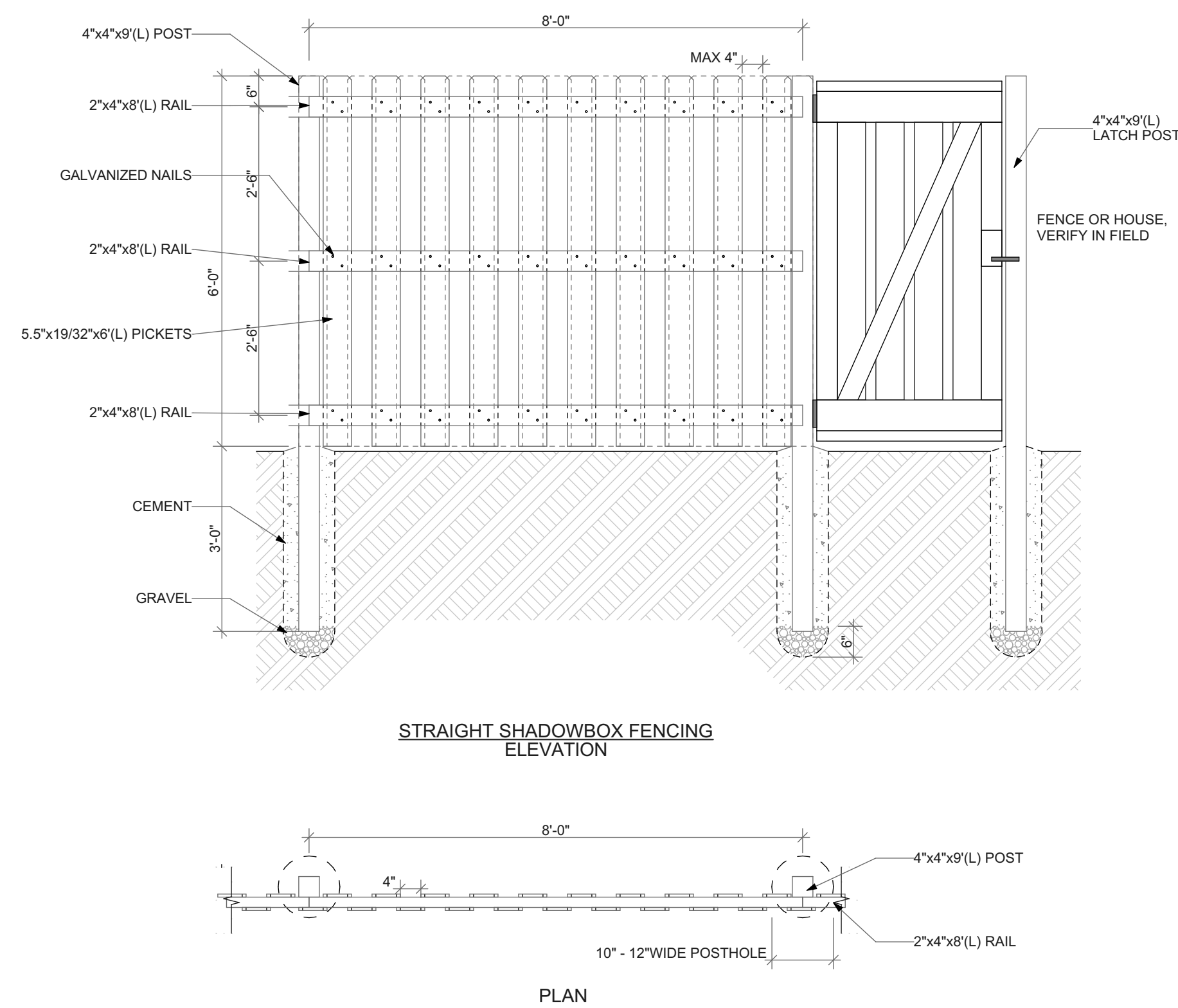
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	10	A9 Project #2006
of.	12	



STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

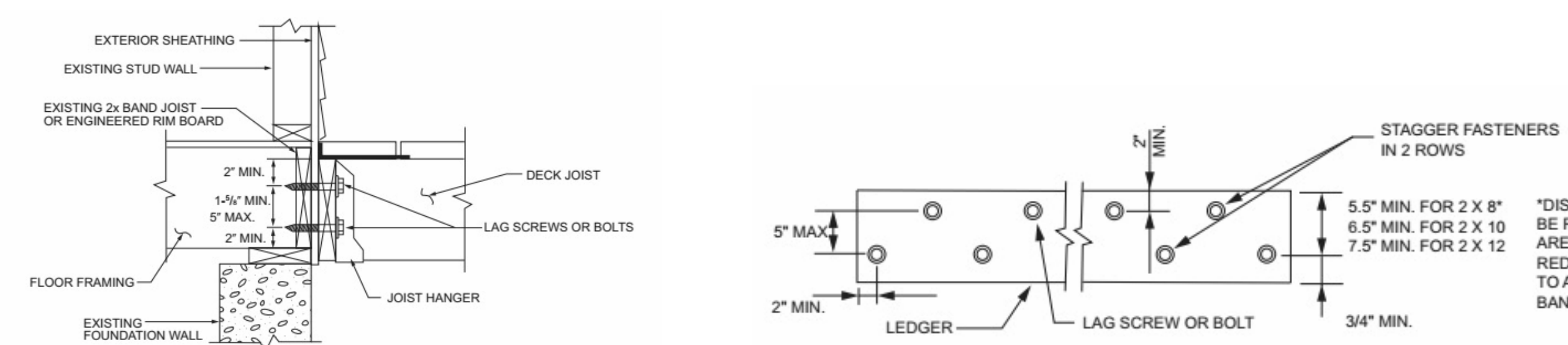
1 DECK SECTION DETAIL

SCALE: 3/4" = 1'-0"

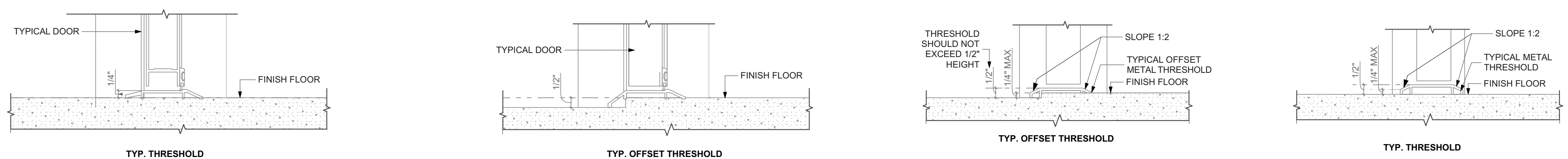
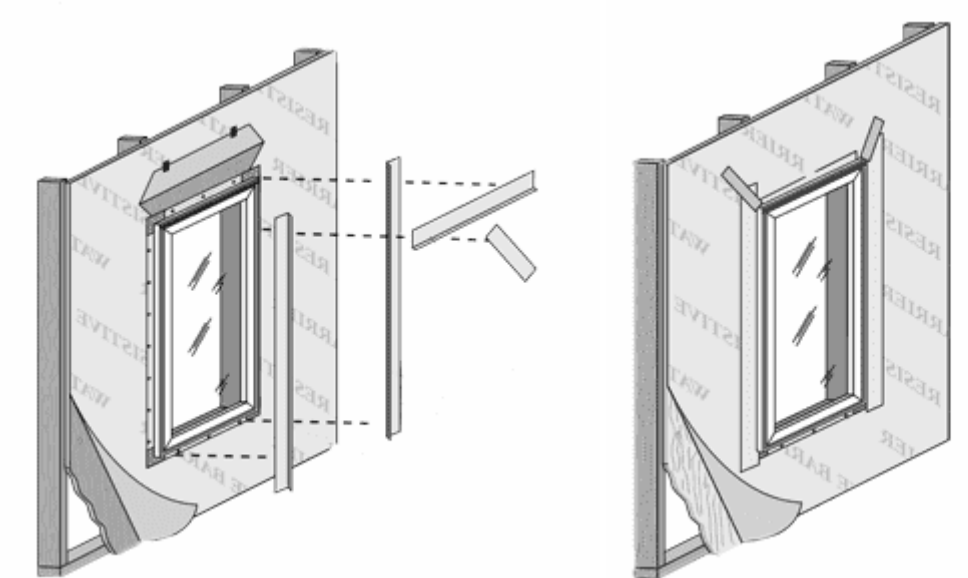


2 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD

SCALE: 3\"/>

5 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

scale

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revisions

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project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1019 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1105 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 2 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA TABULAR SCHEDULE	
A1 COVER SHEET	ARCH PRLIM SET CODE AND CONTACT INFO MANCHESTER SCATTERED SITES MAP
A2 ABBREVIATIONS AND MATERIALS	ABBREVIATIONS AND MATERIALS DOOR TYPES WINDOW SCHEDULE DOOR SCHEDULE (WITH EXISTING) FINISH SCHEDULE SIDING WALL SECTION BRICK WALL SECTION INTERIOR STAIR DETAIL
A3 SCOPE / GENERAL / GREEN COMMUNITY NOTES	GENERAL NOTES ENERGY NOTES
A4 SITE PLAN AND ROOF PLAN	ROOF PLAN SITE PLAN ROOF PLAN NOTES ROOF AND SITE PLAN LEGEND GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES
A5 FLOOR / DEMO PLANS	BASEMENT / DEMO PLAN FIRST FLOOR / DEMO PLAN SECOND FLOOR / DEMO PLAN THIRD FLOOR / DEMO PLAN GRAPHIC SCALES SMALL UNIT KEYNOTES DEMOLITION PLAN LEGEND GENERAL DEMOLITION NOTES
A6 FLOOR/FINISH/MECH./PLUMB. PLAN	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN BASEMENT/FINISH/MECH./PLUMB. PLAN GRAPHIC SCALES FLOOR PLAN LEGEND THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
A7 REFLECTED CEILING / POWER / DATA PLANS	LIGHTING SCHEDULE RCP LEGEND BSMT. REFL. CLG./POWER / DATA PLAN FIRST FLOOR REFL. CLG. / POWER / DATA PLAN SECOND FLOOR REFL. CLG. / POWER / DATA PLAN THIRD FLOOR REFL. CLG. / POWER / DATA PLAN GRAPHIC SCALES SMALL UNIT KEYNOTES
A8 ELEVATIONS	NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	KITCHEN ELEVATION 02 KITCHEN ELEVATION 01 FIRST FLOOR KITCHEN ENLARGED PLAN
A10 DETAILS	WOOD FENCE DETAIL DECK SECTION DETAIL DECK ENLARGED DETAILS WINDOW INSTALLATION UNDER VINYL SIDING EXTERIOR DOOR THRESHOLD

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,048 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fig@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of Permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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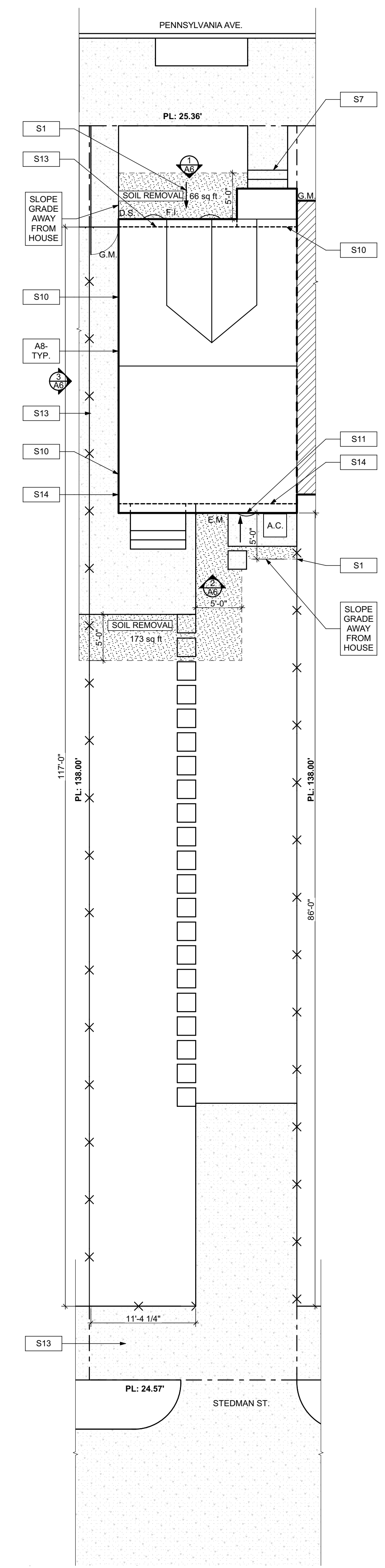
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1105 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

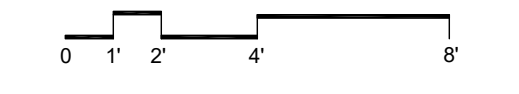
drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	



2 ROOF PLAN
 SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

— X —	PROPERTY FENCE	G.M.	GAS METER
- - - - -	PROPERTY LINE	F.I.	FRESH AIR INTAKE
— — — — —	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
- - - - -	PARTY WALL	E.M.	ELECTIC METER
—	GATE		
□ □ □ □	STEPPING CONCRETE PADS		
—	ICE WATER SHIELD		

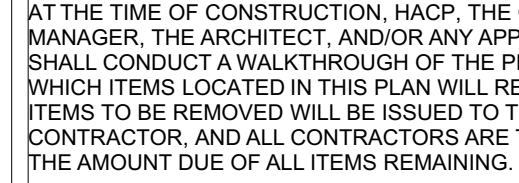
ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

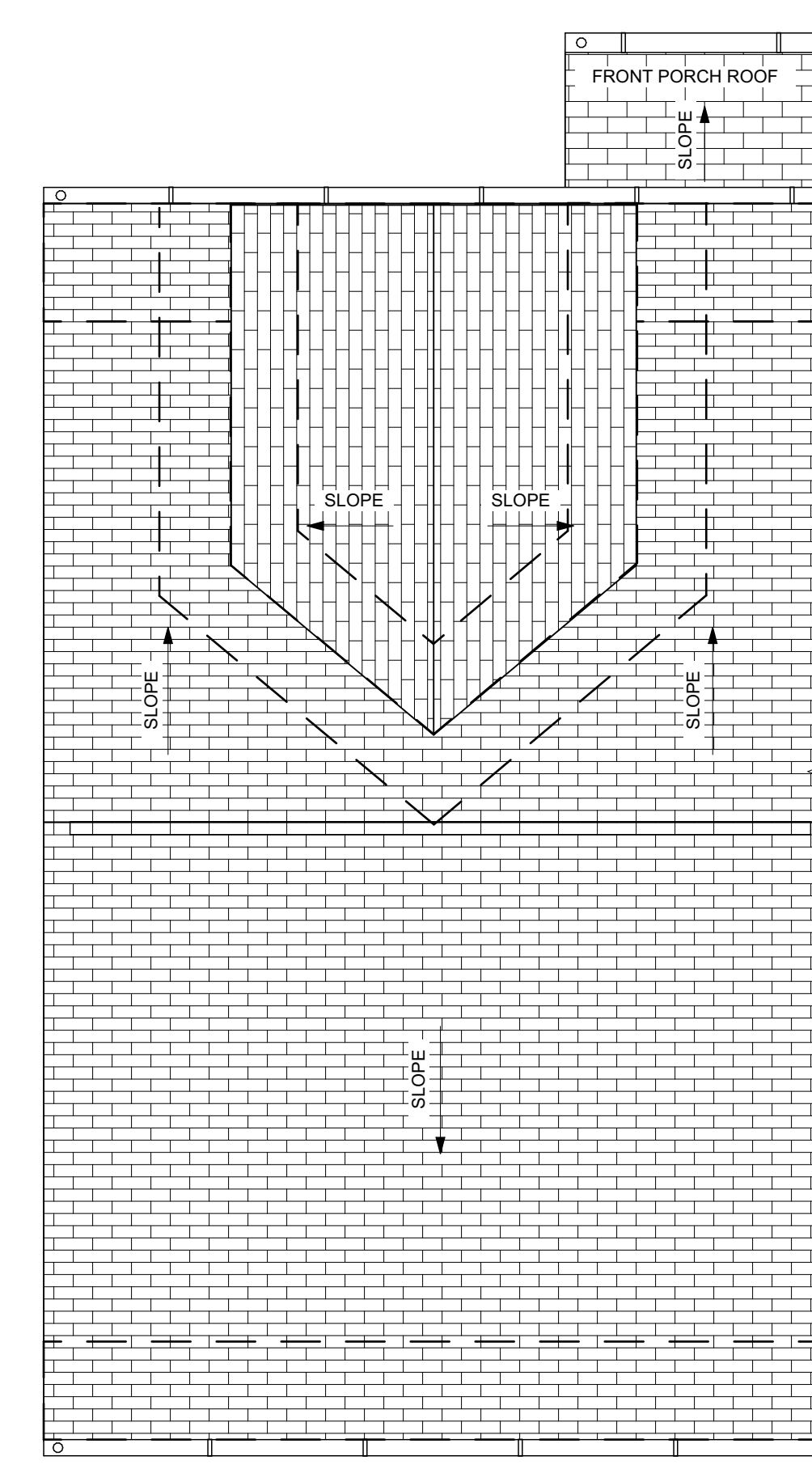
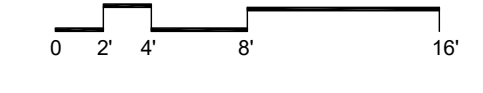
SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



1 SITE PLAN
 SCALE: 1/8" = 1'-0"



ADJACENT UNIT

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SUBSEQUENT WORK. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS. OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYDOWN OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR BEAMS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER FOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION FROM EXISTING DUCTURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1105 PENNSYLVANIA AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted
date	May 6, 2022
no.	5
of.	12

Sheet No.
A4
Project #2006

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 1105 PENNSYLVANIA AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
 As Noted
 date
 May 6, 2022
 no. **6** of. **12**

Sheet No.
A5
 Project #2006

- SITE**
- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 1" SPAN JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 1" SPAN JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. SEE SPECIFICATIONS FOR DETAILS.
 - S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICES UP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO ARCHITECTURAL FOR DETAILS.

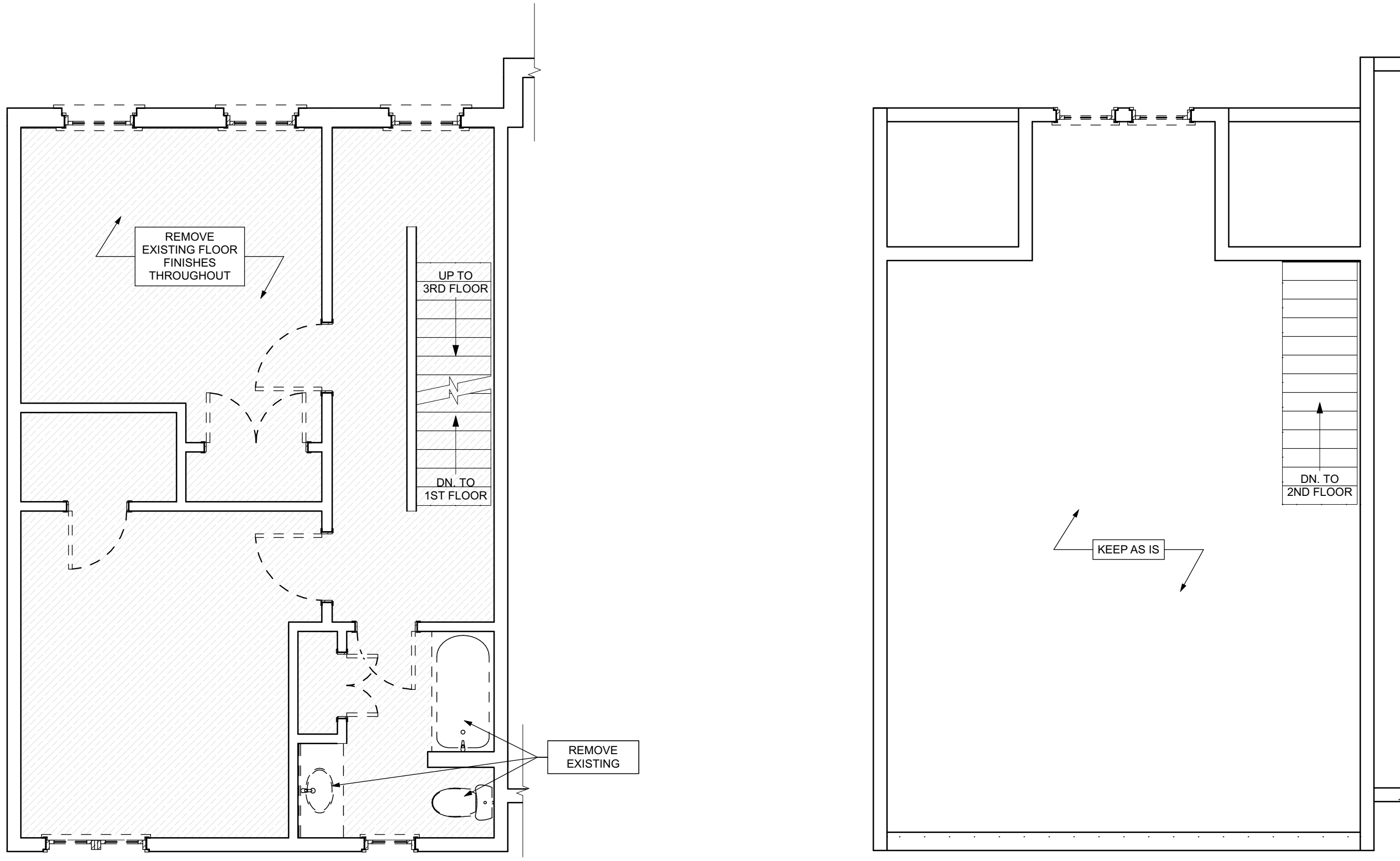
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. REMOVE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REMOVE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR STRIPS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING FOR COLUMN LOCATION FOR NEW PERMANENT COLUMN. REMOVE EXISTING SLAB FOR NEW STANDARD 2'X2'1" SPREAD FOOTING AND BRACE. CONSULT STRUCTURAL ENGINEER FOR DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBT DURING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

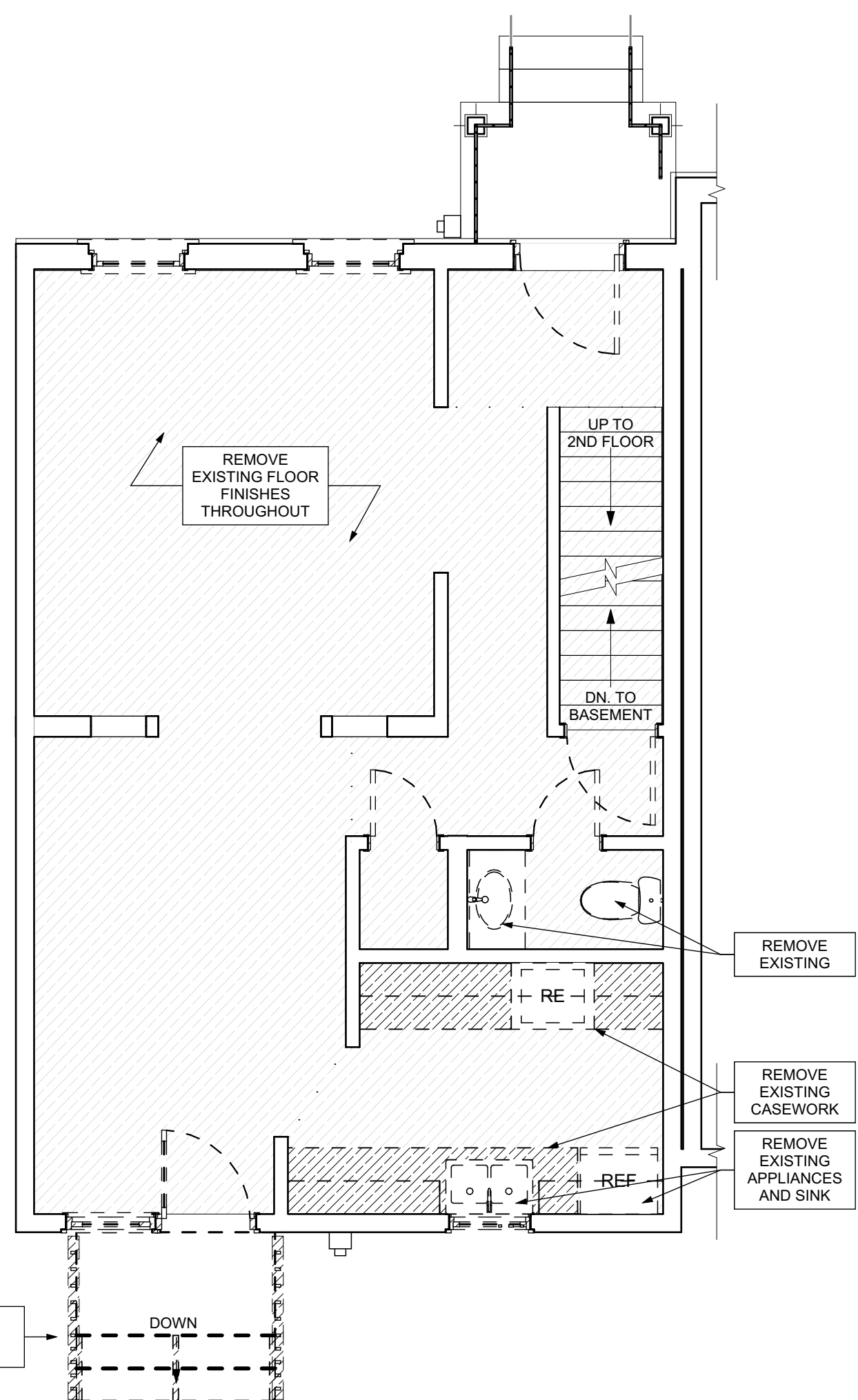
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUFTER IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELUFTER TO EXISTING DUCT. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

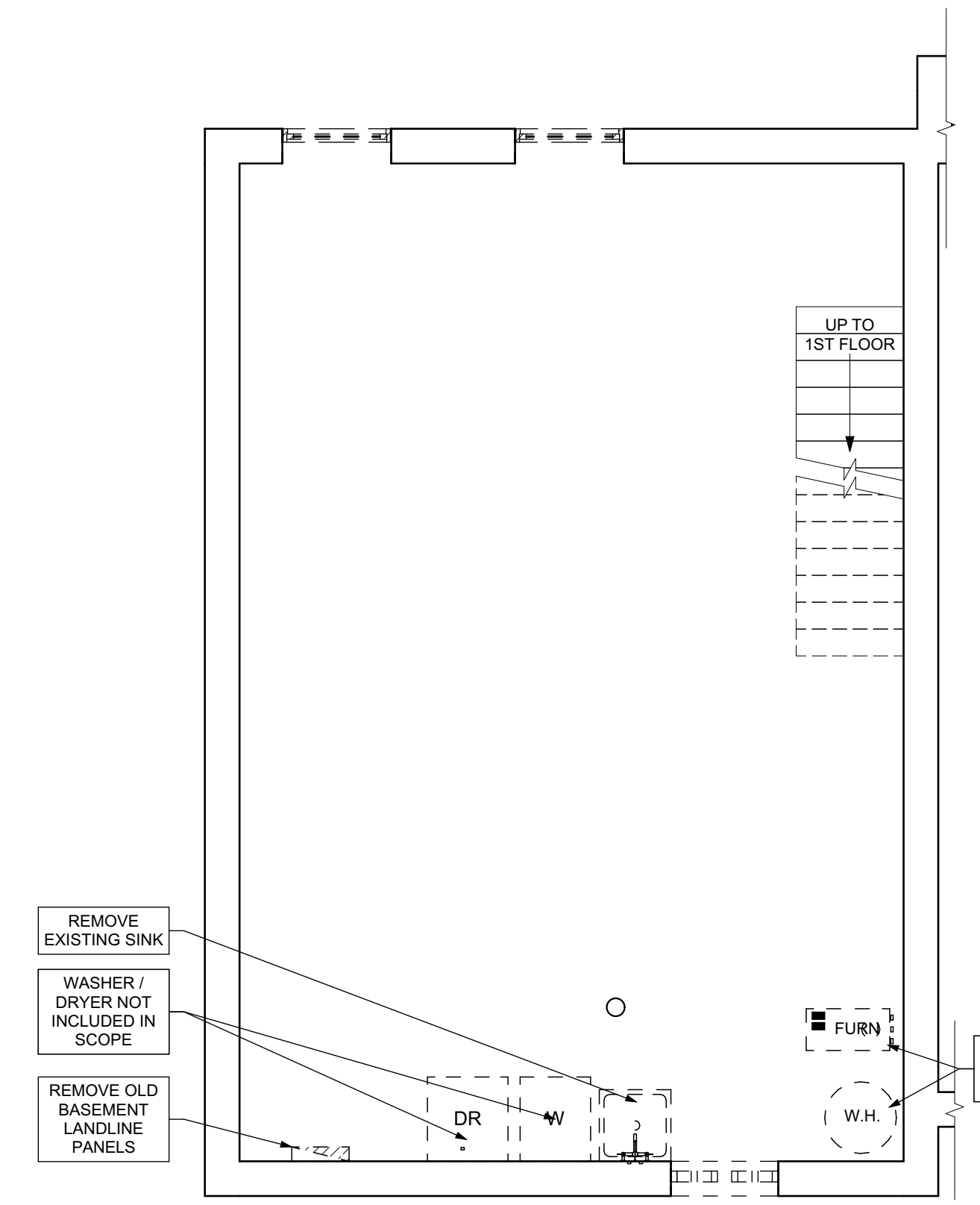


4 THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

3 SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL. IF THERE IS NO JUNCTION BOX, AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

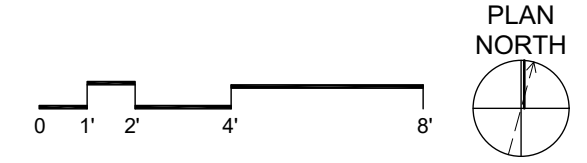
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

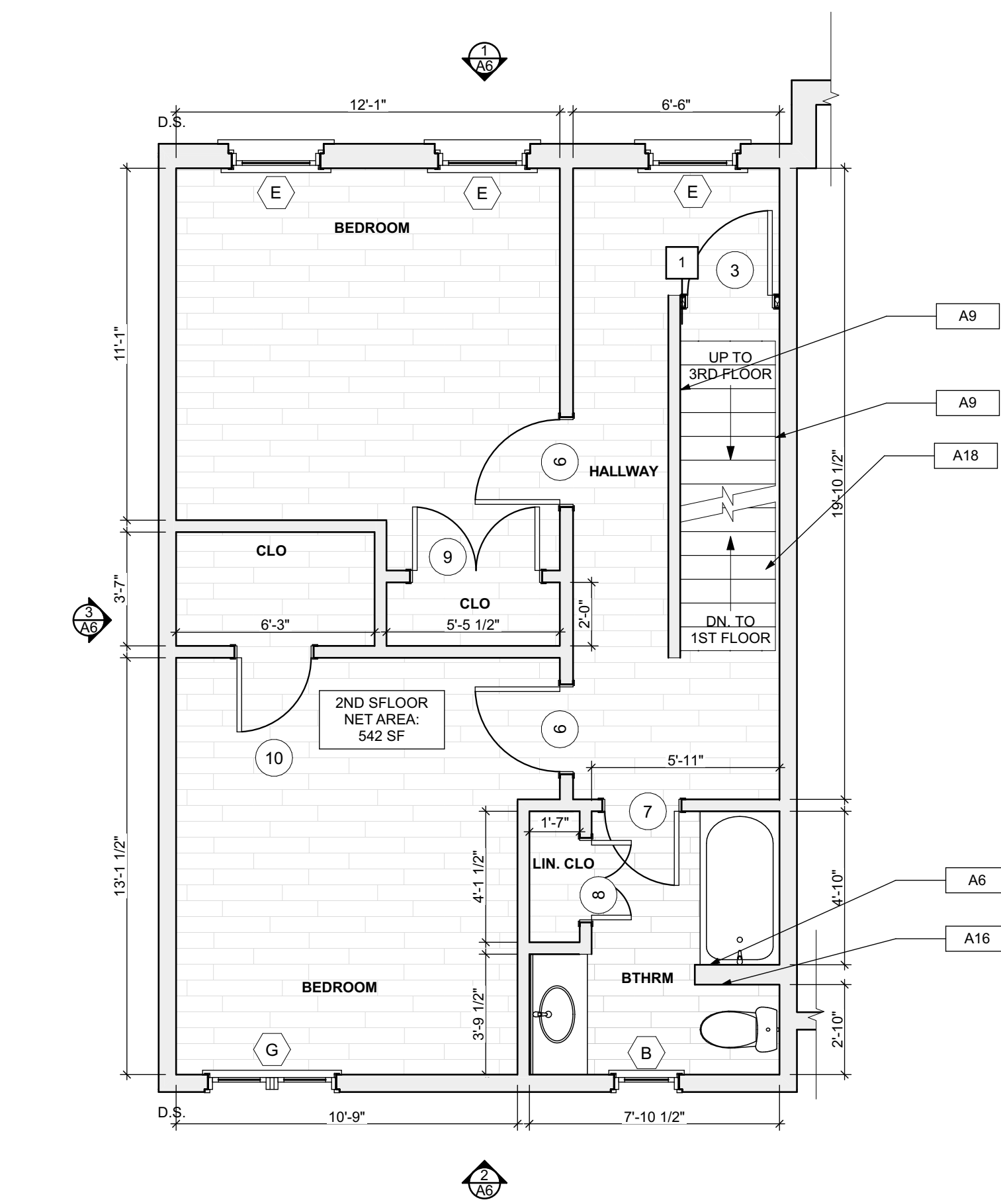
SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

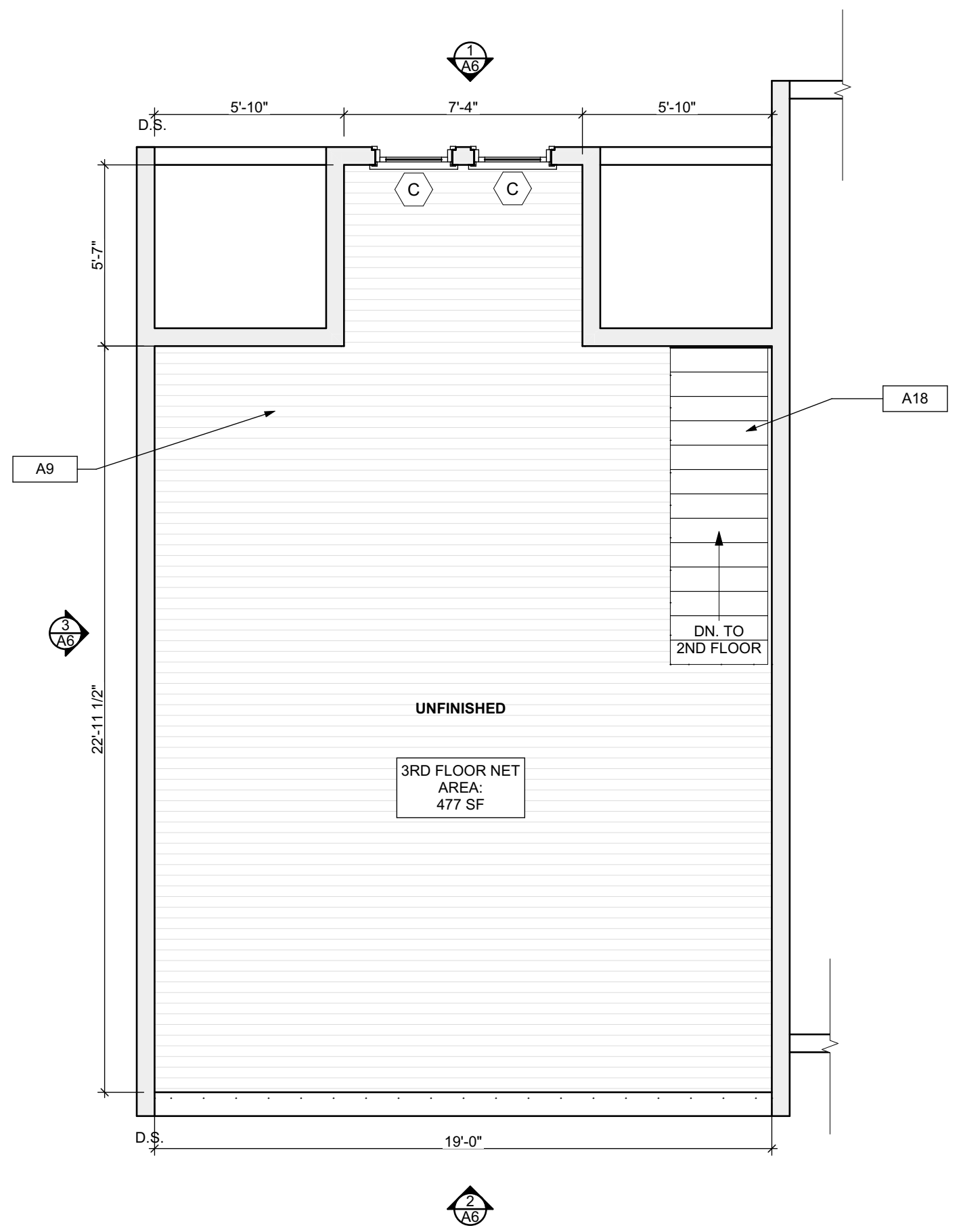
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING





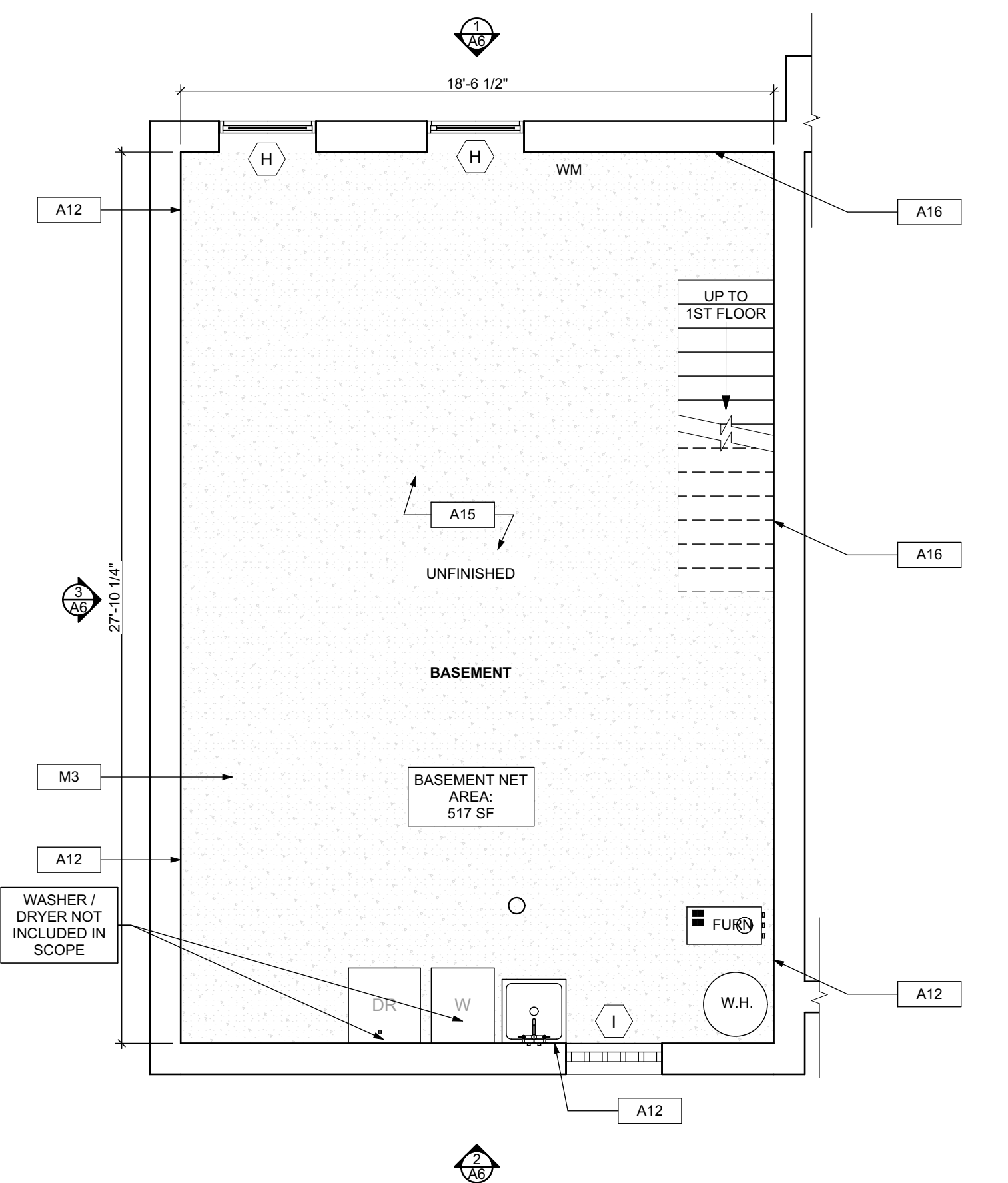
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN

SCALE: 1/4" = 1'-0"



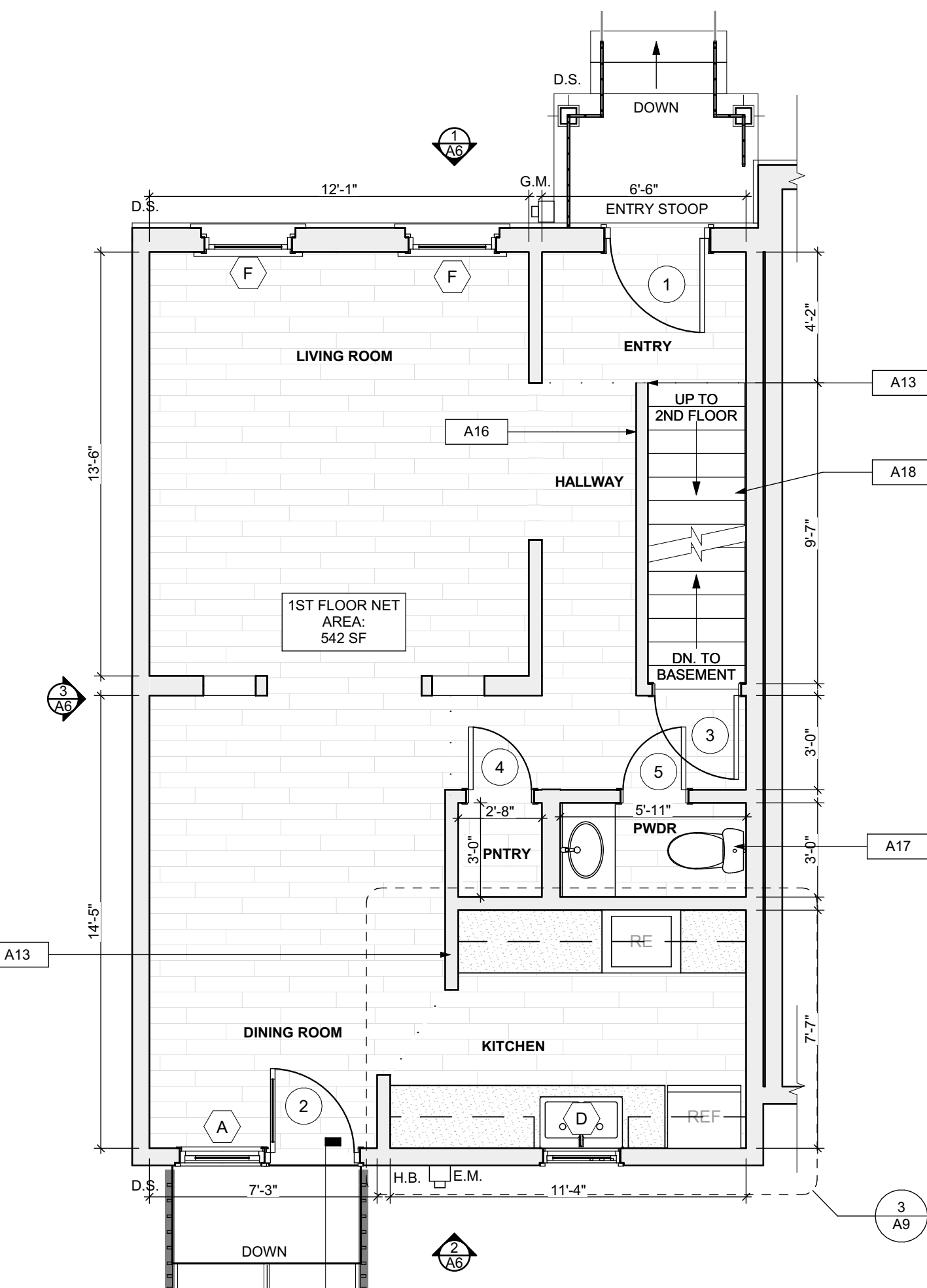
4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN

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1 BASEMENT/FINISH/MECH./PLUMB. PLAN

SCALE: 1/4" = 1'-0"



2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN

SCALE: 1/4" = 1'-0"

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. REPAIR CONCRETE IS PRESENT MINIMUM 3" OVER 70% REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
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ROOF

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ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
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- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
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- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LAB FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND BRACE. CHANGING OF PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
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- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
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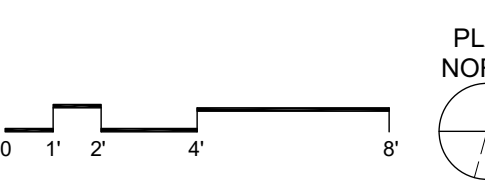
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- M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTROLLED BY EXISTING HUMIDITY CONTROL. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB

SCOPE REDUCTION:

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seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1105 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	of. 12
		A6
		Project #2006

seal

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revisions

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project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1105 PENNSYLVANIA AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BSMT. REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES, SMALL UNIT KEYNOTES

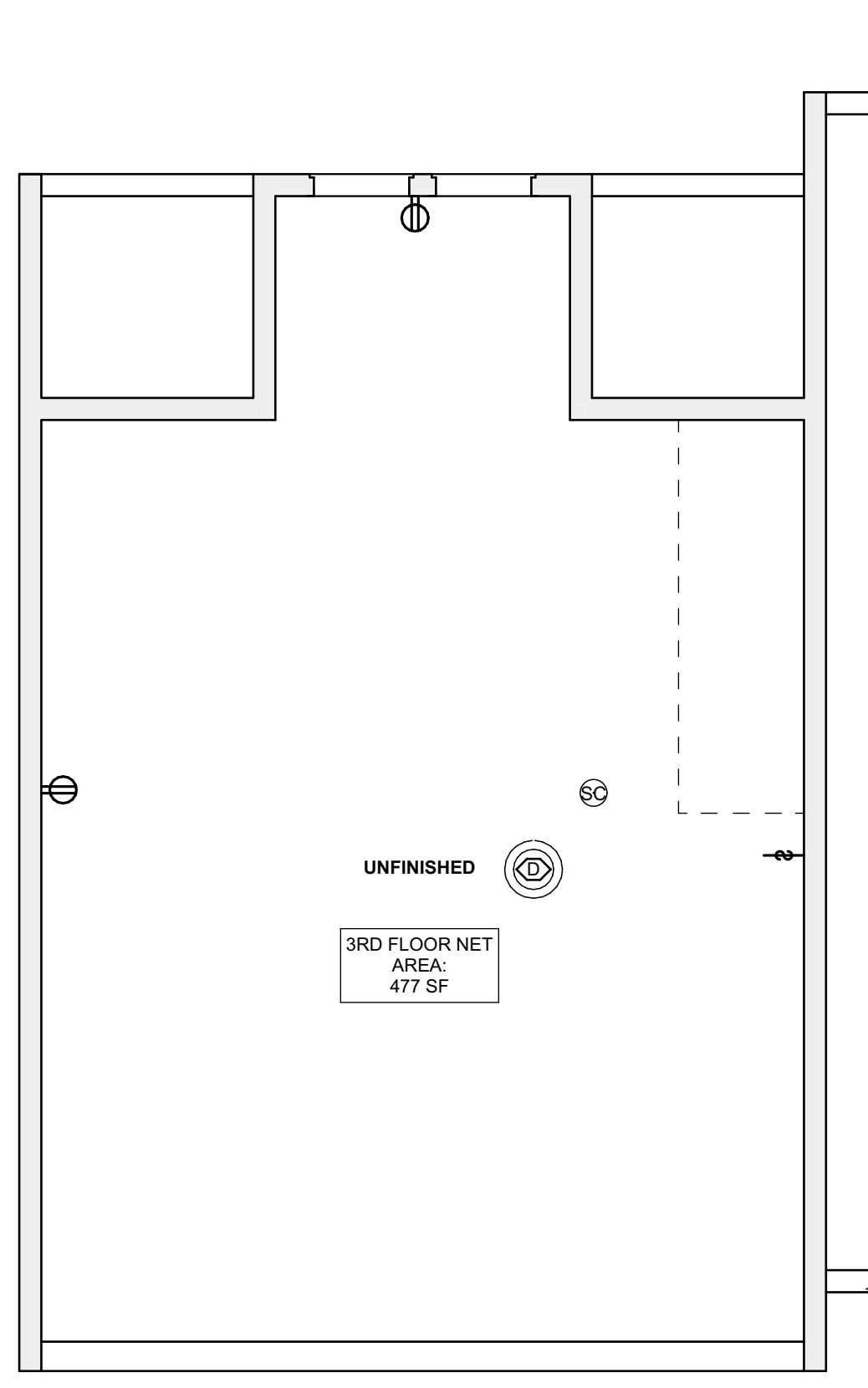
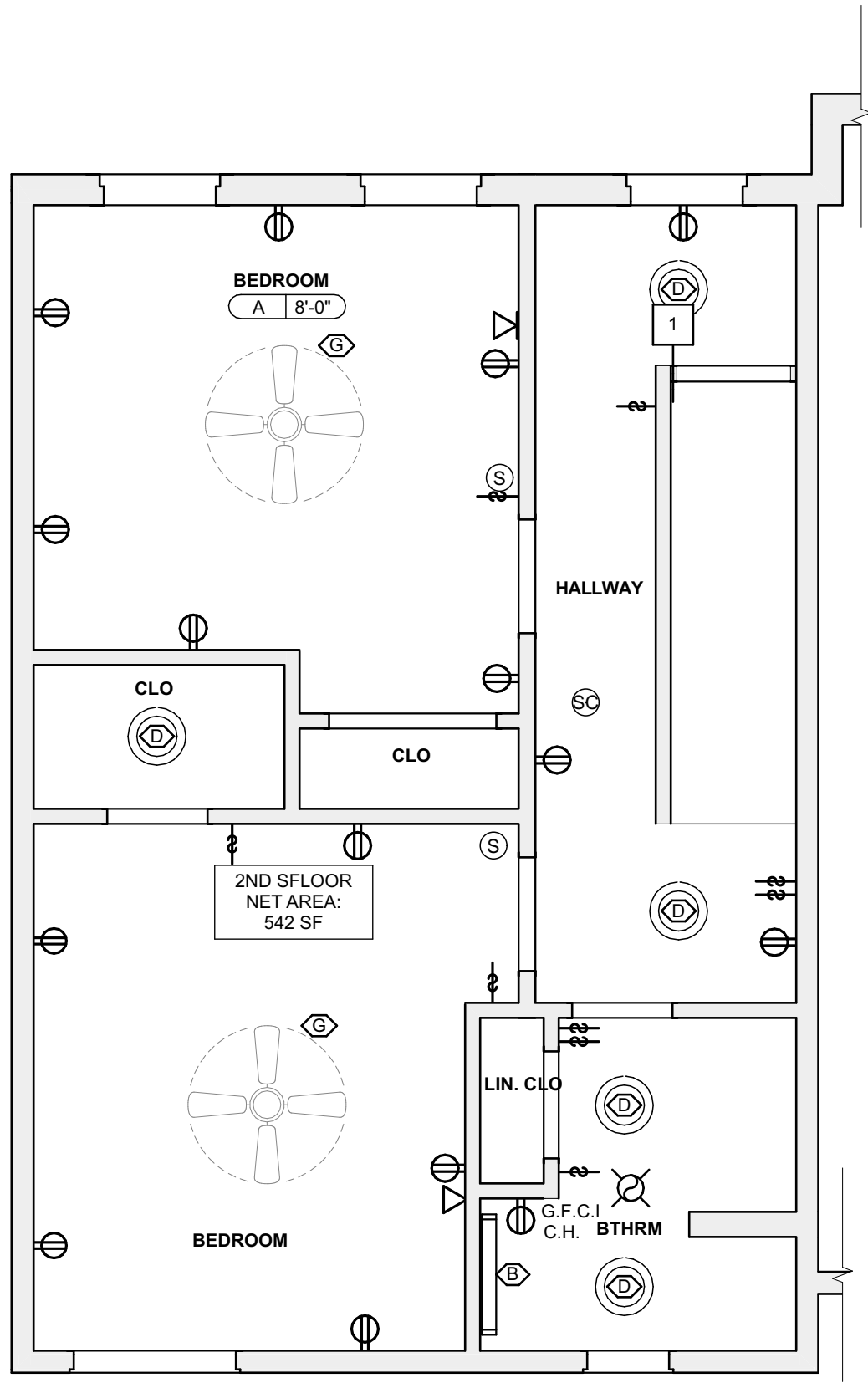
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 date
 May 6, 2022
 no. 8 of 12

Sheet No.
A7
 Project #2006

Lighting Schedule					
SYMBOL	Element ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	Quantity
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joeslon 2 Light Vanity Light Nickel	Model #45922NIL18	1
	C	Long Bathroom Light Bar - Replacement: Long Vanity	KICHLER Joeslon 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	H	LED Ceiling Hung Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 F.C. Cord Included	Model #54103161	2

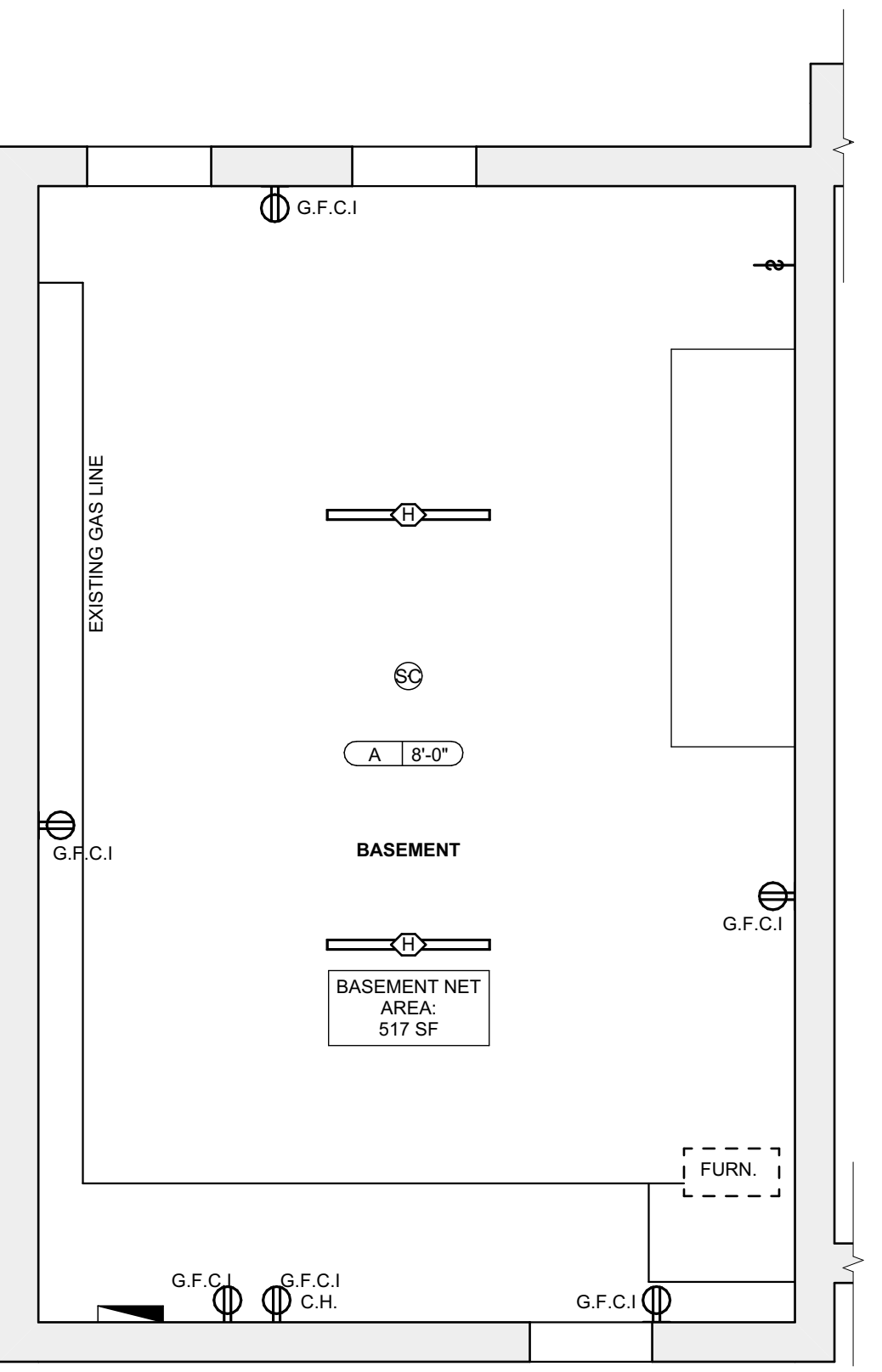
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

- SITE**
- AT LOCATION SHOWN, REMOVE ± 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF FOUNDATION. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER W/O REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF BAY SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. FINISH WITH EXPANDED JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/O COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BAYERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. FINISH WITH EXPANDED JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/O COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR TO SPECIFICATIONS FOR DETAILS.
 - REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICES DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REPAIR AND REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS TO BE REPLACED AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLY EPOXY CONCRETE FOR TIES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR GYPSUM WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

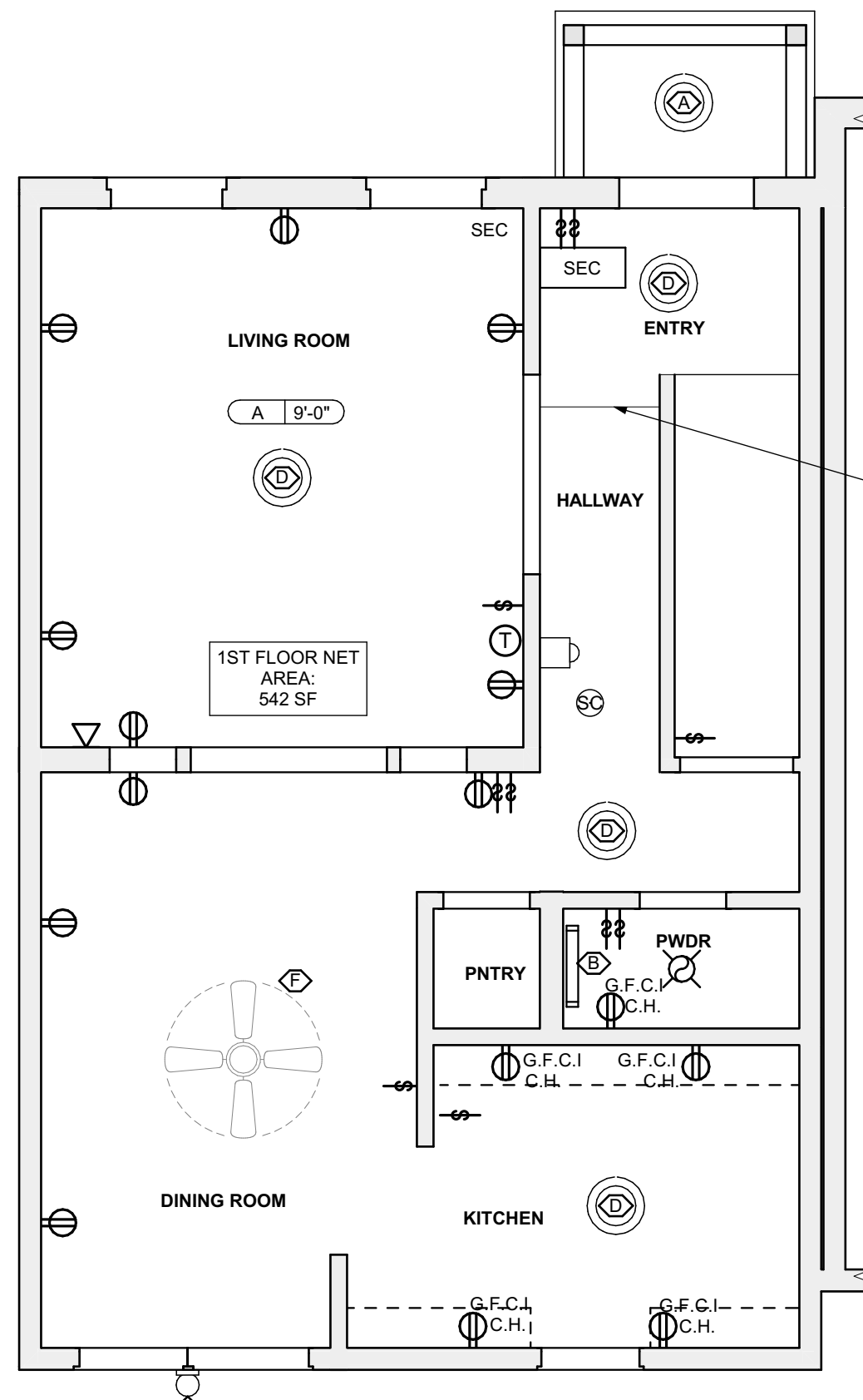


3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



1 BSMT. REFL. CLG/ POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

RCP LEGEND - (See Specifications for basis of Design)

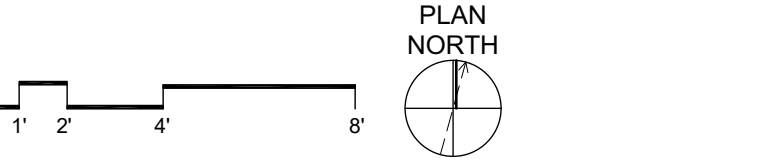
- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- ⊙ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- ⊙ ELECTRICAL METER
- ⊙ THERMOSTAT
- ⊙ DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ⊙ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ⊙ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- ⊙ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
- ⊙ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
- ⊙ LIGHT SWITCH
- ⊙ EXHAUST FAN
- ⊙ DOORBELL
- A | X'-X" | GWB CEILING / CEILING HEIGHT
- B | X'-X" | UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

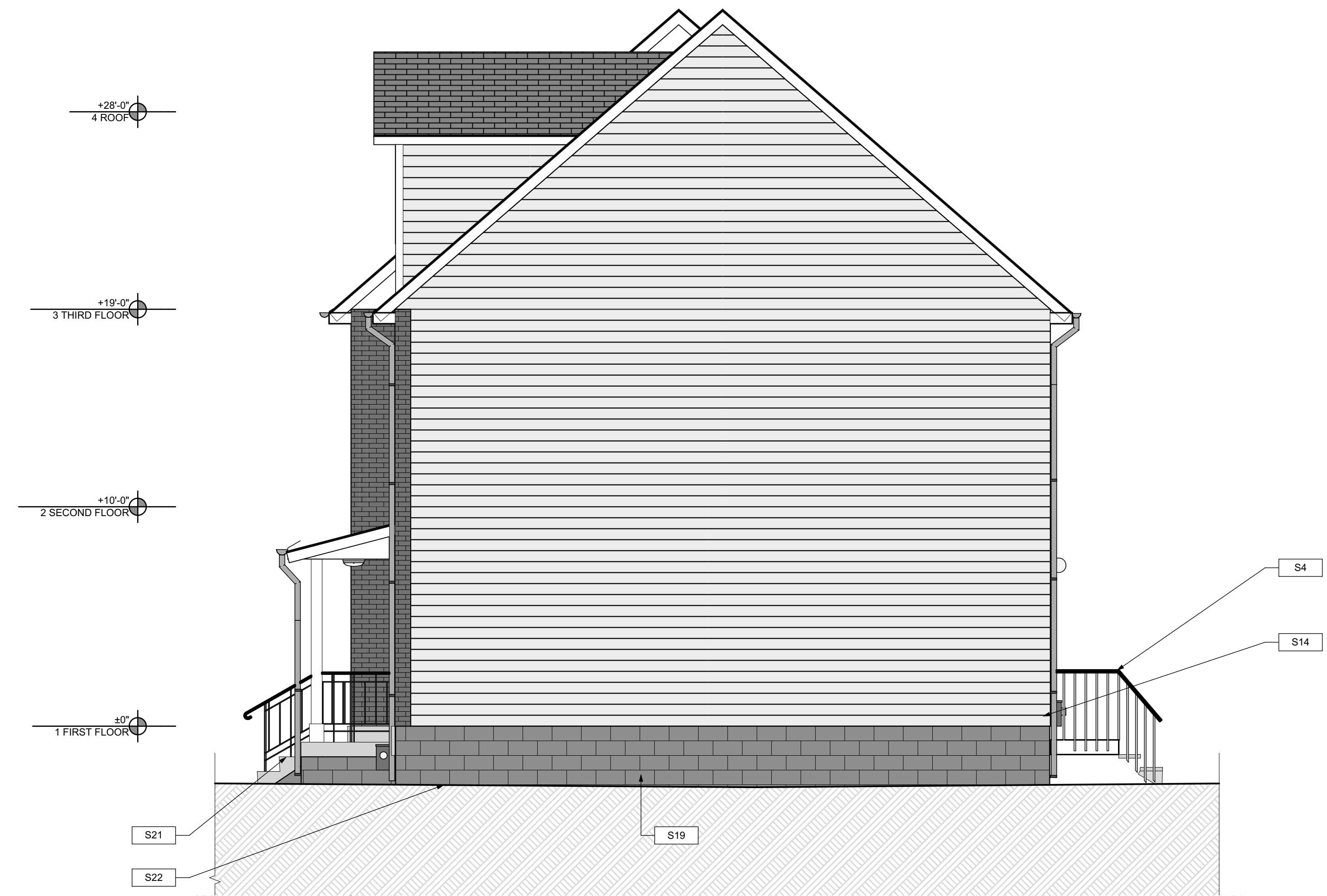
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.





1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. VEG. TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POSTS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
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 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLEARANCE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CROMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CHANGES TO FOUNDATION. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT ELECTRIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTRIBUTED BY FURNACE. ADDITIONAL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies before, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

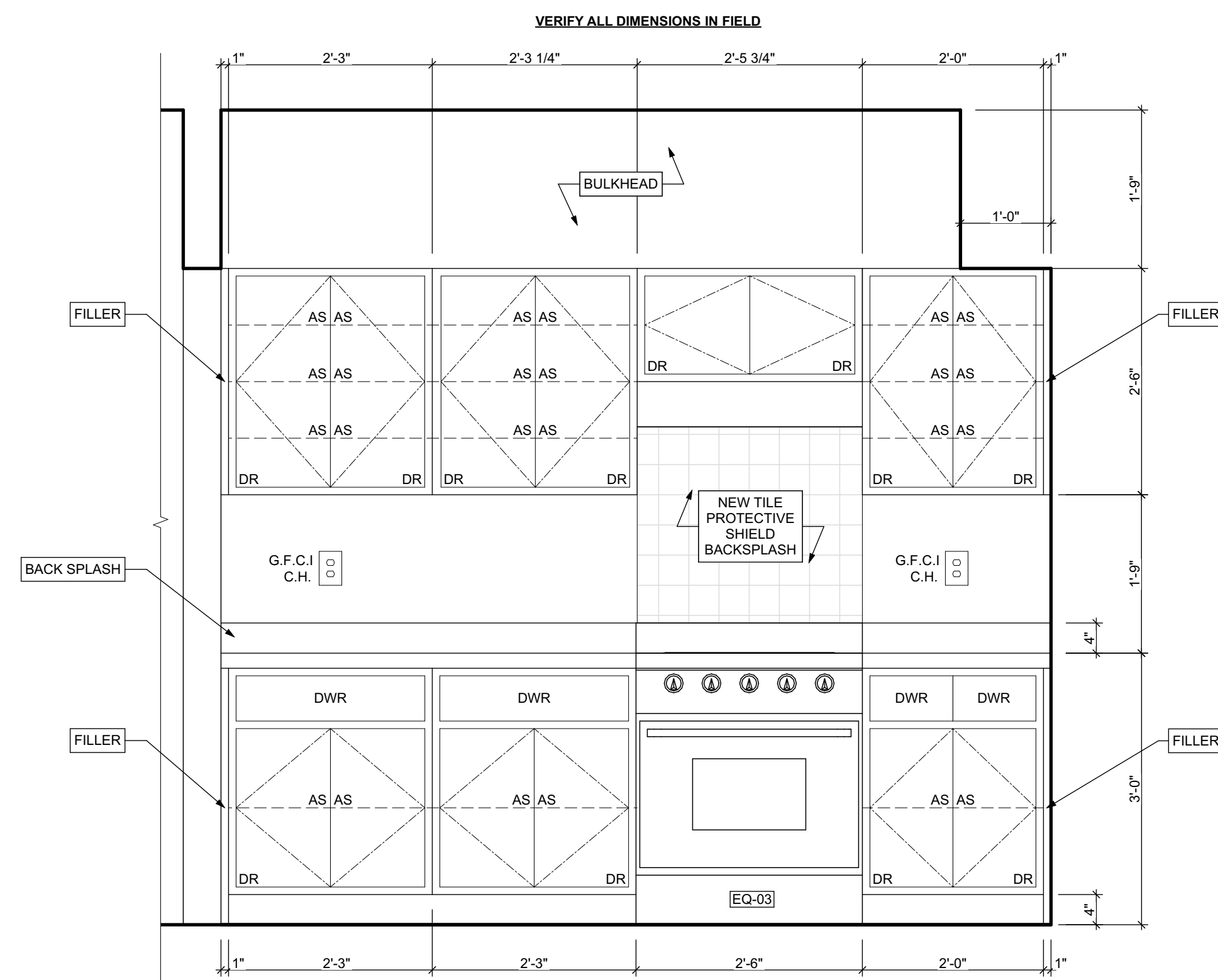
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1105 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

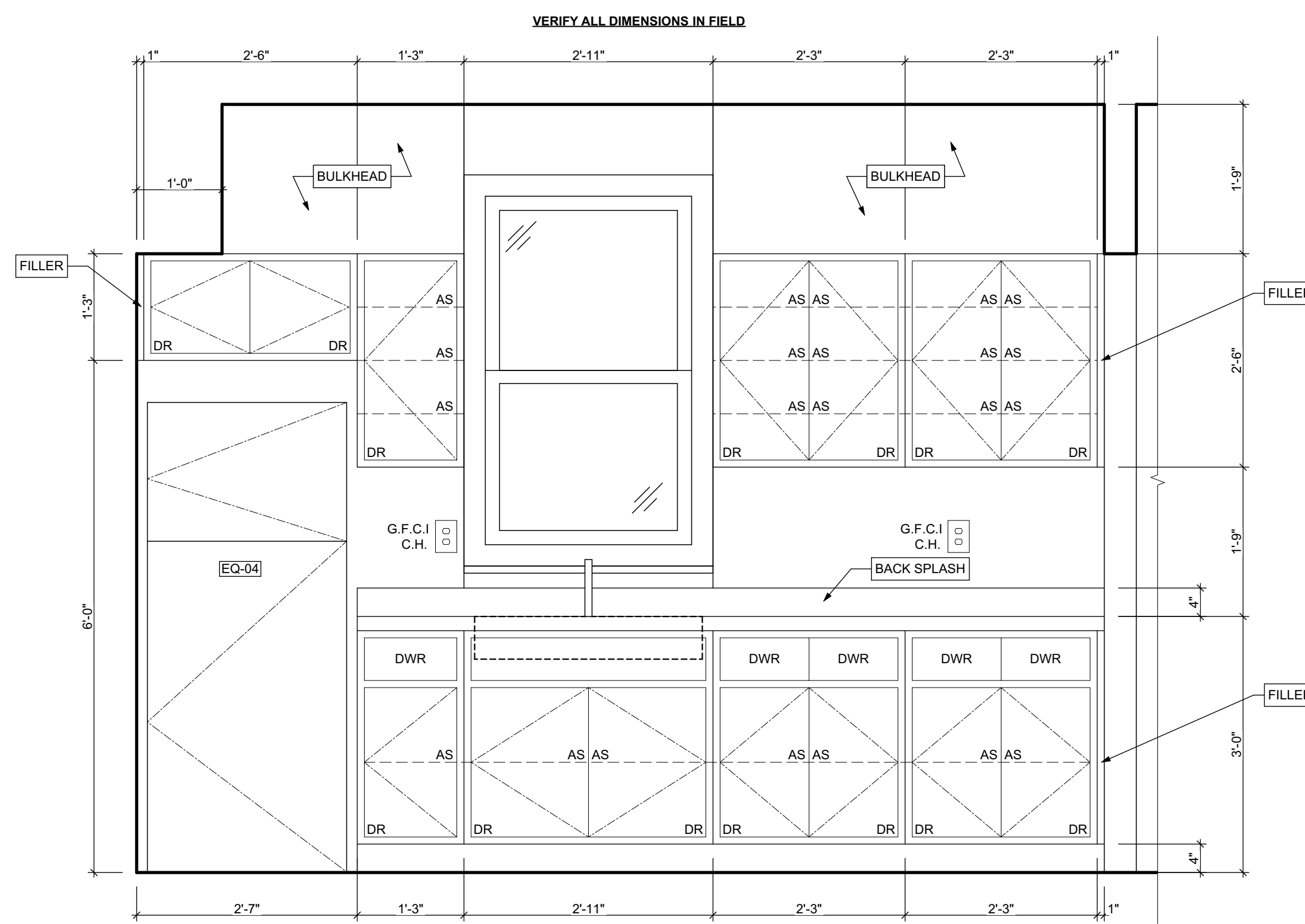
drawing title

NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

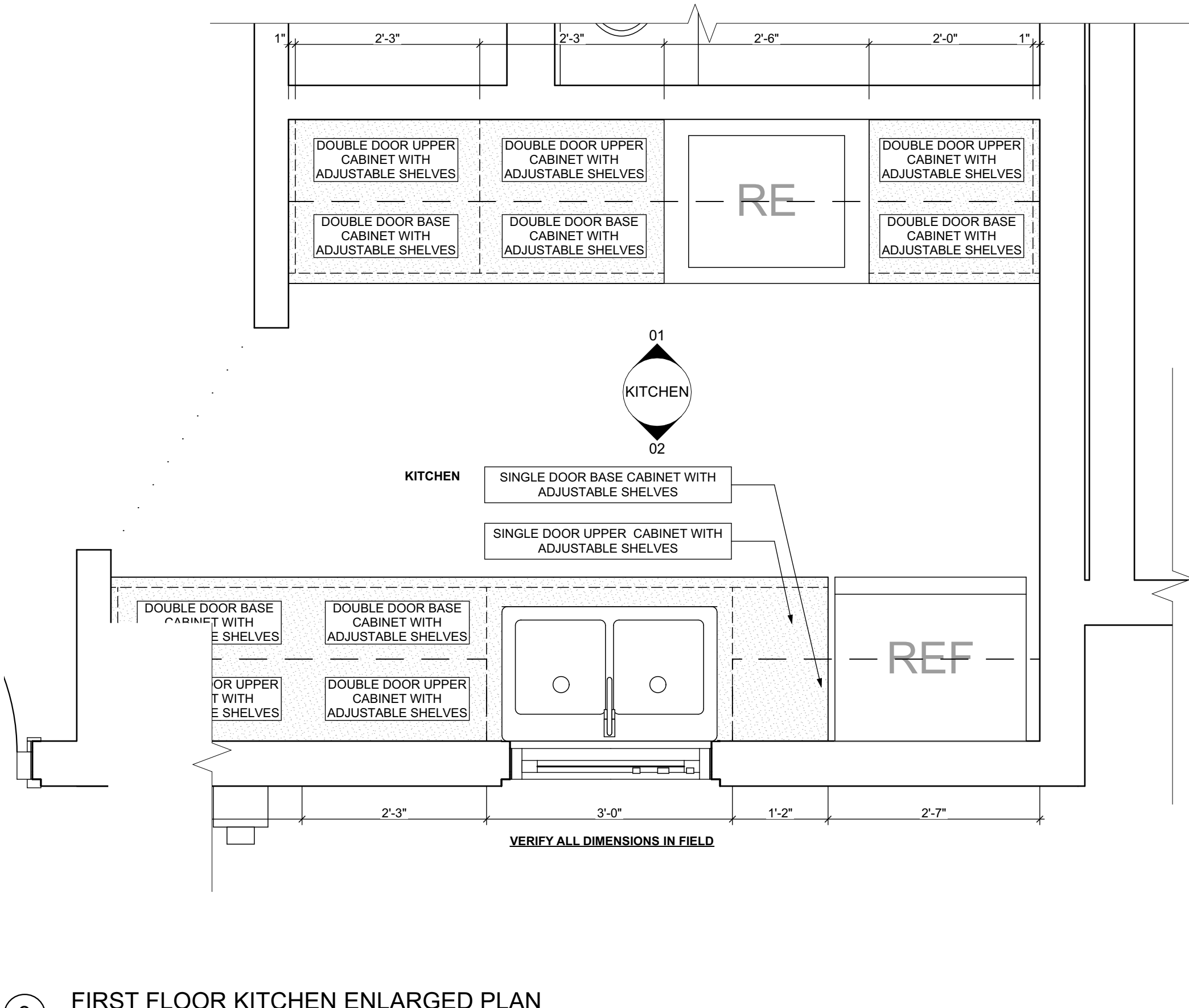
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8
of.	12	
		Project #2006



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WR1E8F2D800	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	0	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY (WALL HUNG)	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	0	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATH TUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L, White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATH TUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / TS34ZEP15	Yoss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUJ GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

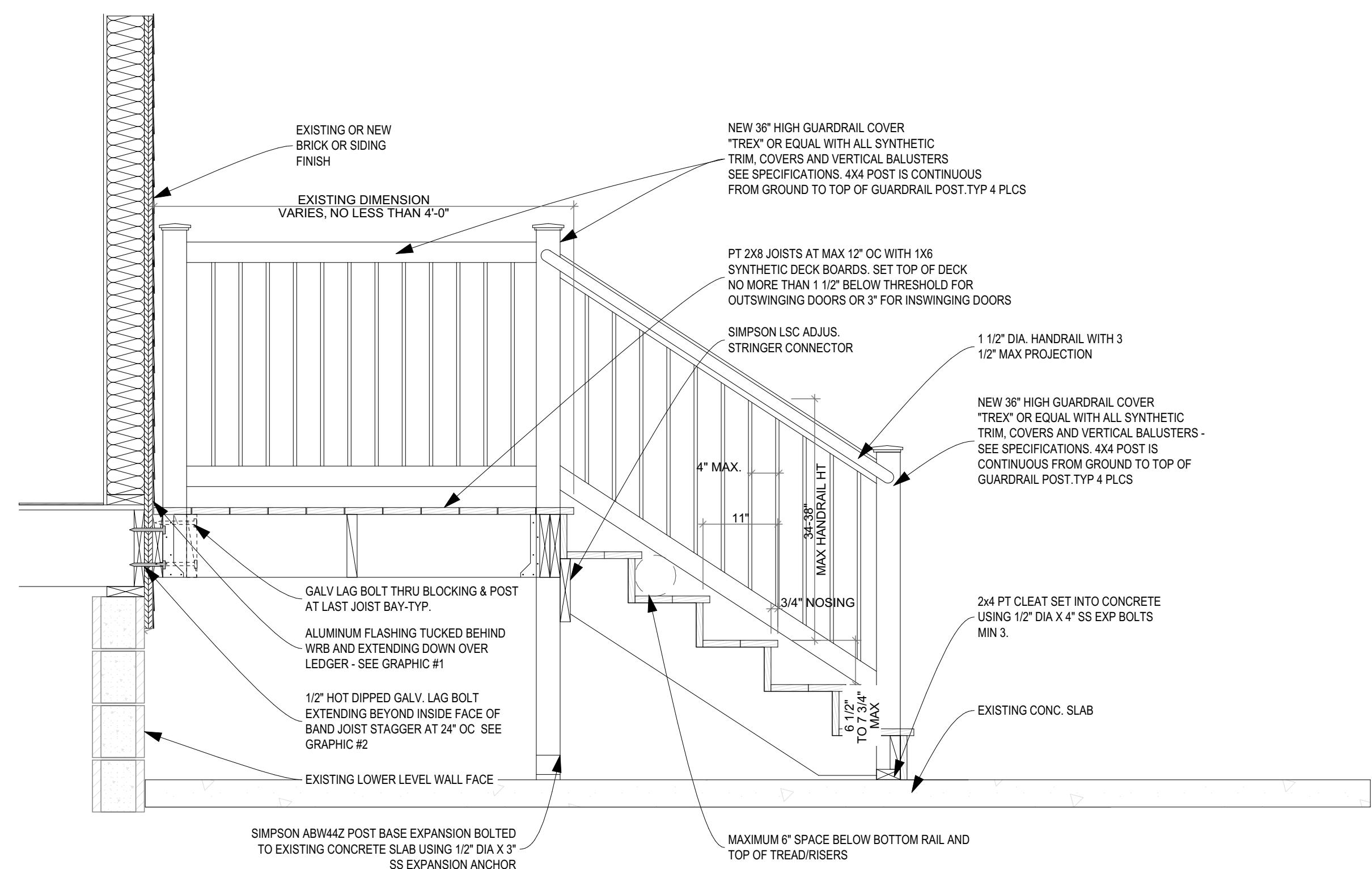
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1105 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

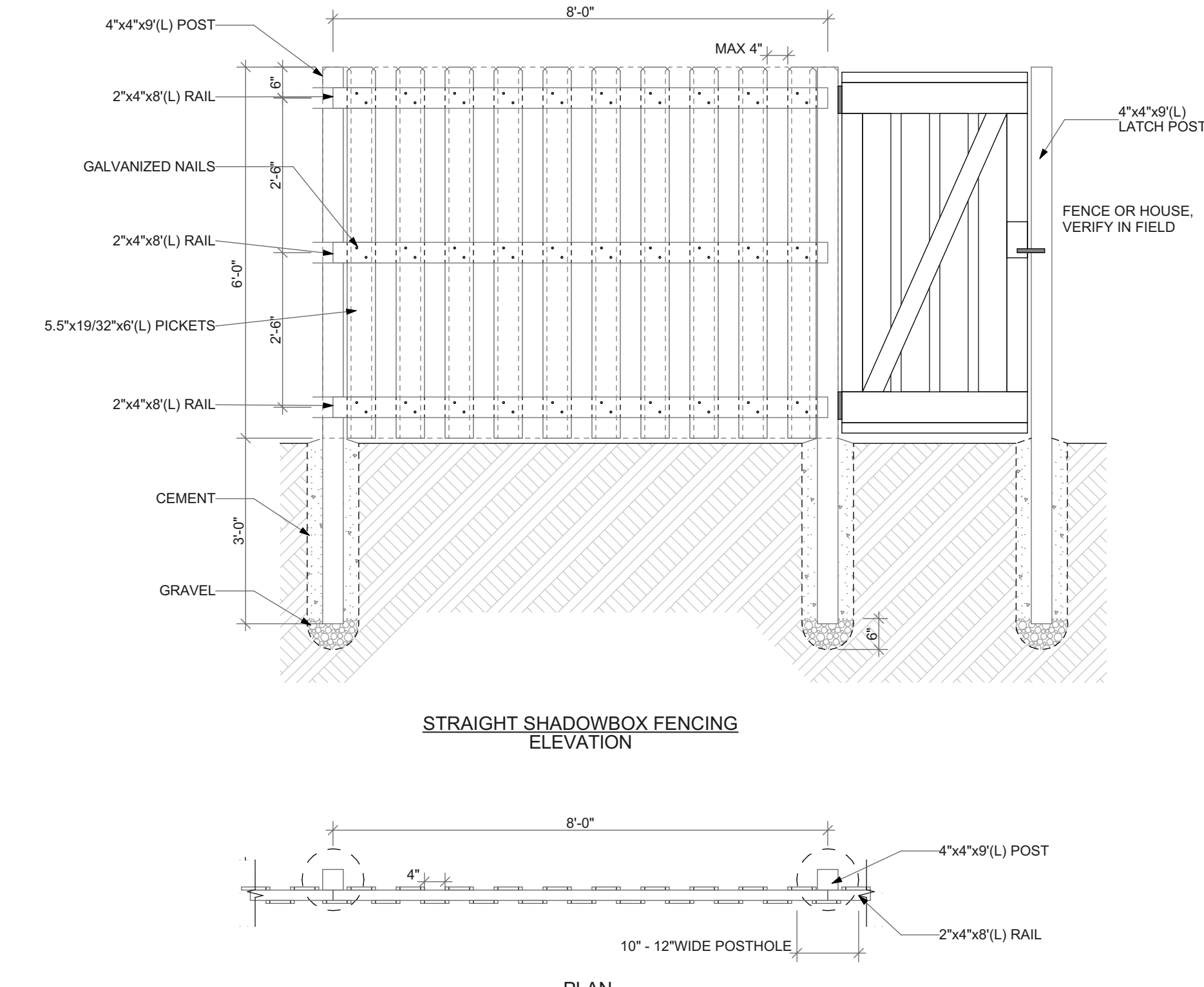
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	10	A9
of.	12	
		Project #2006



STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

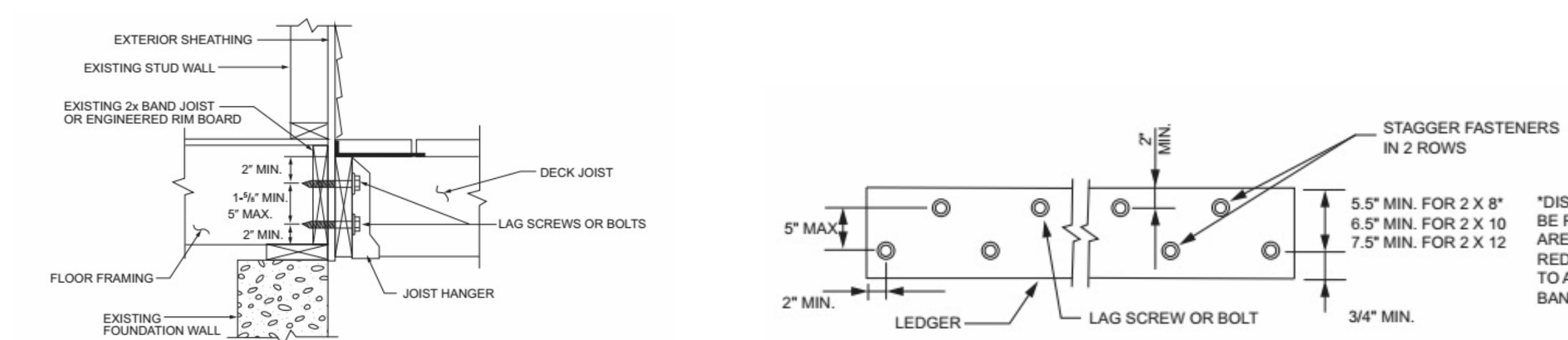
1 DECK SECTION DETAIL

SCALE: 3/4" = 1'-0"

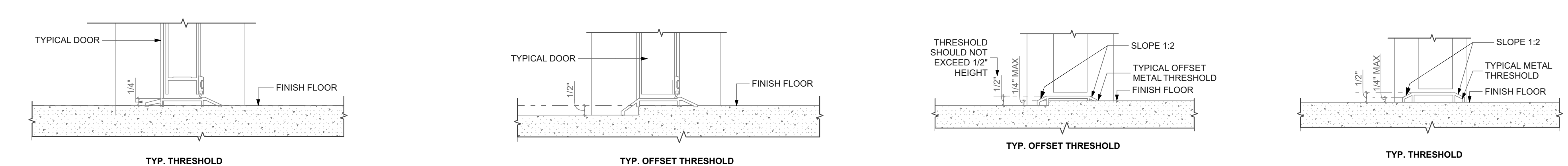


2 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"

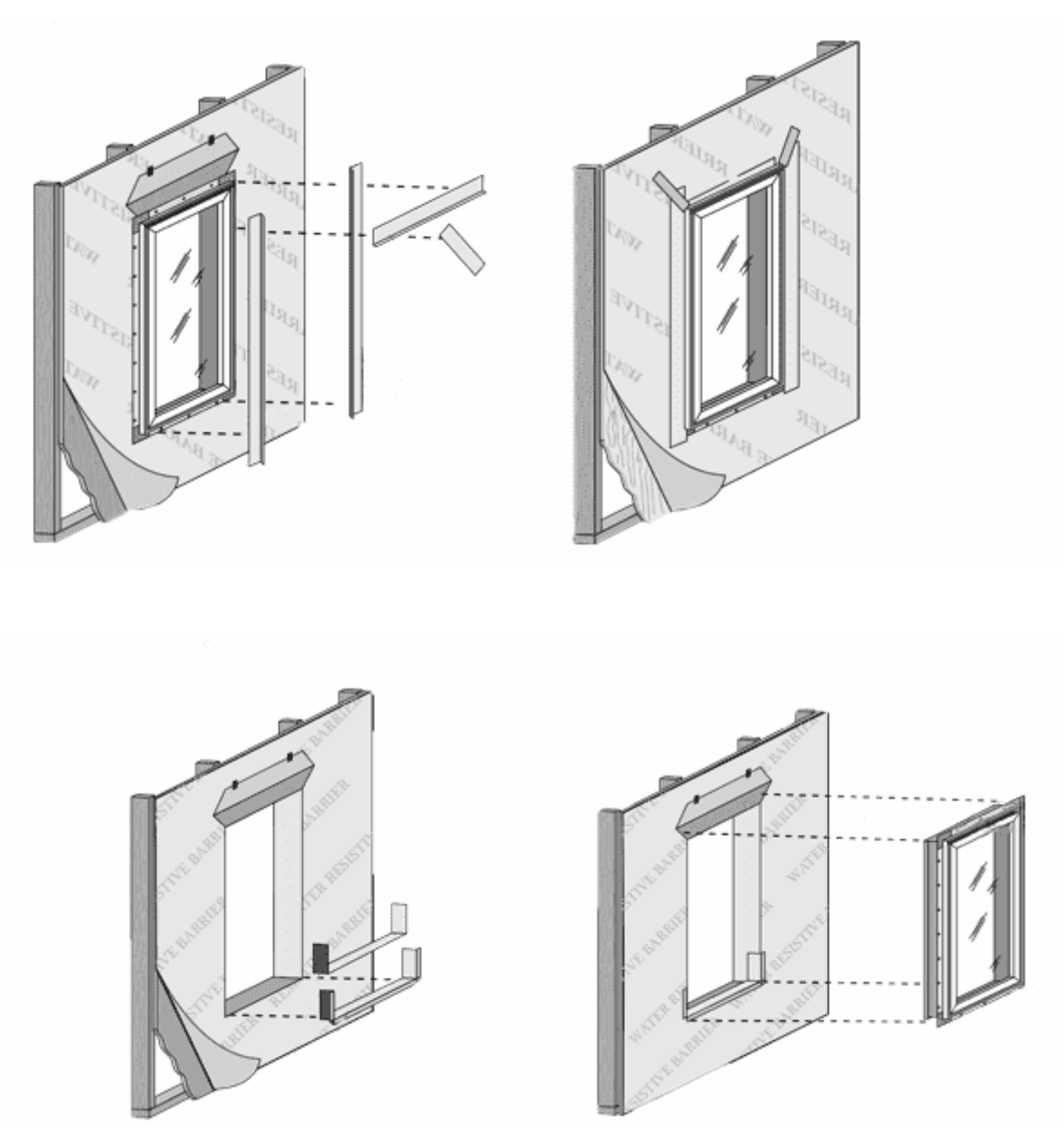


3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD

SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

scale

general notes

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HACP
200 ROSS STREET
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Project Location:
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1105 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.
A10
Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1103 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRLM SET CODE AND CONTACT INFO MANCHESTER SCATTERED SITES MAP	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS DOOR SCHEDULE (WITH EXISTING) WINDOW SCHEDULE DOOR TYPES FINISH SCHEDULE BRICK WALL SECTION SIDING WALL SECTION INTERIOR STAIR DETAIL	
A3 SCOPE / GENERAL / GREEN COMMUNITY NOTES	
ENERGY NOTES GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF PLAN SITE PLAN ROOF PLAN NOTES ROOF AND SITE PLAN LEGEND GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
GENERAL DEMOLITION NOTES DEMOLITION PLAN LEGEND GRAPHIC SCALES THIRD FLOOR / DEMO PLAN SECOND FLOOR / DEMO PLAN BASEMENT / DEMO PLAN FIRST FLOOR / DEMO PLAN SMALL UNIT KEYNOTES	
A6 FLOOR/FINISH/MECH./PLUMB. PLANS	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN BASEMENT/FINISH/MECH./PLUMB. PLAN GRAPHIC SCALES FLOOR PLAN LEGEND THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SECOND FLOOR/FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES	
A7 REFLECTED CEILING / POWER / DATA PLANS	
RCP LEGEND BSMT. REFL. CLG./ POWER / DATA PLAN THIRD FLOOR REFL. CLG./ POWER / DATA PLAN FIRST FLOOR REFL. CLG./ POWER / DATA PLAN SECOND FLOOR REFL. CLG./ POWER / DATA PLAN	
LIGHTING SCHEDULE SMALL UNIT KEYNOTES	
A8 ELEVATIONS	
NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN KITCHEN ELEVATION02 KITCHEN ELEVATION01	
A10 DETAILS	
DECK ENLARGED DETAILS WINDOW INSTALLATION UNDER VINYL SIDING DECK SECTION DETAIL EXTERIOR DOOR THRESHOLD WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13

General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,940 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

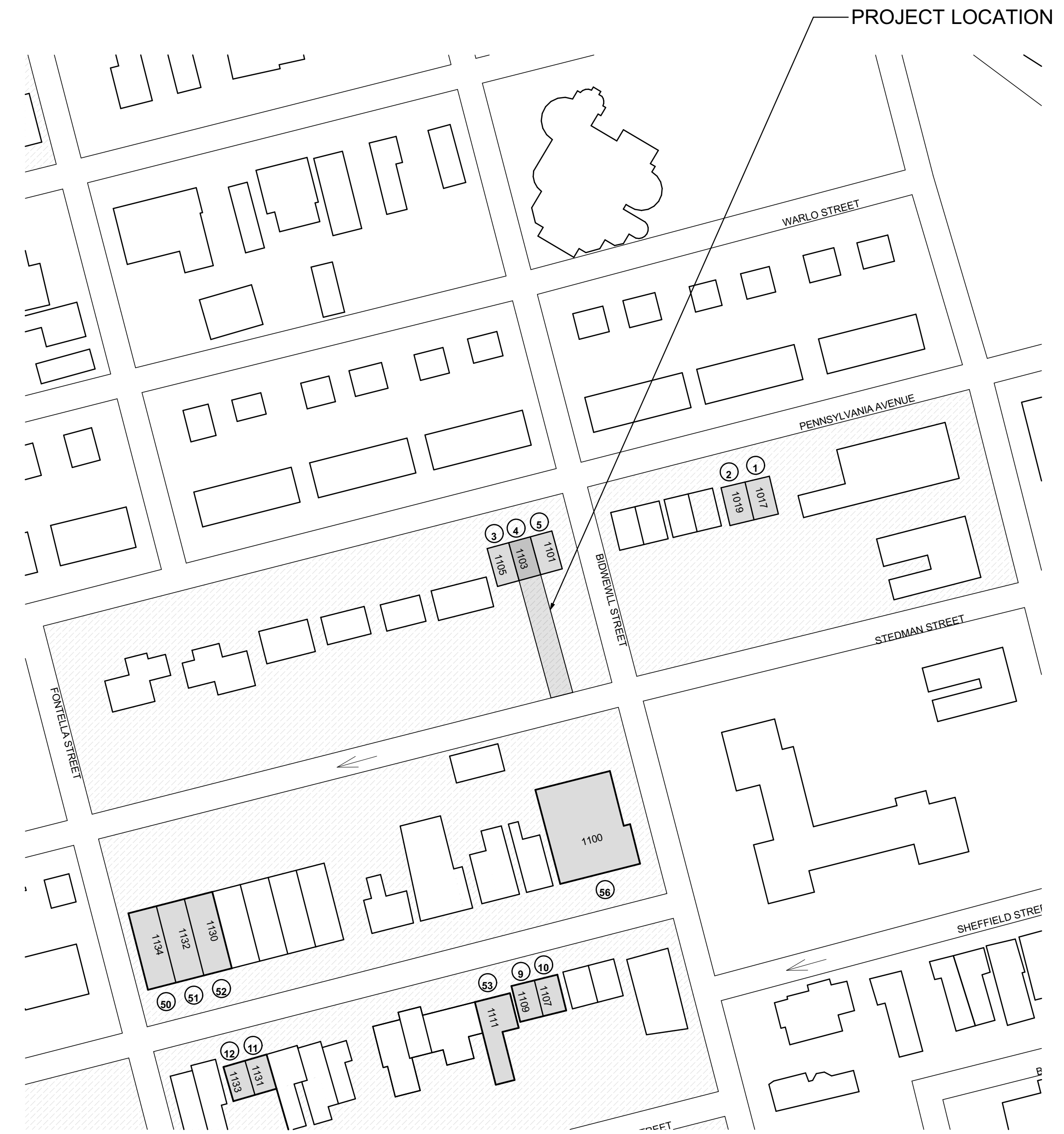
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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revisions

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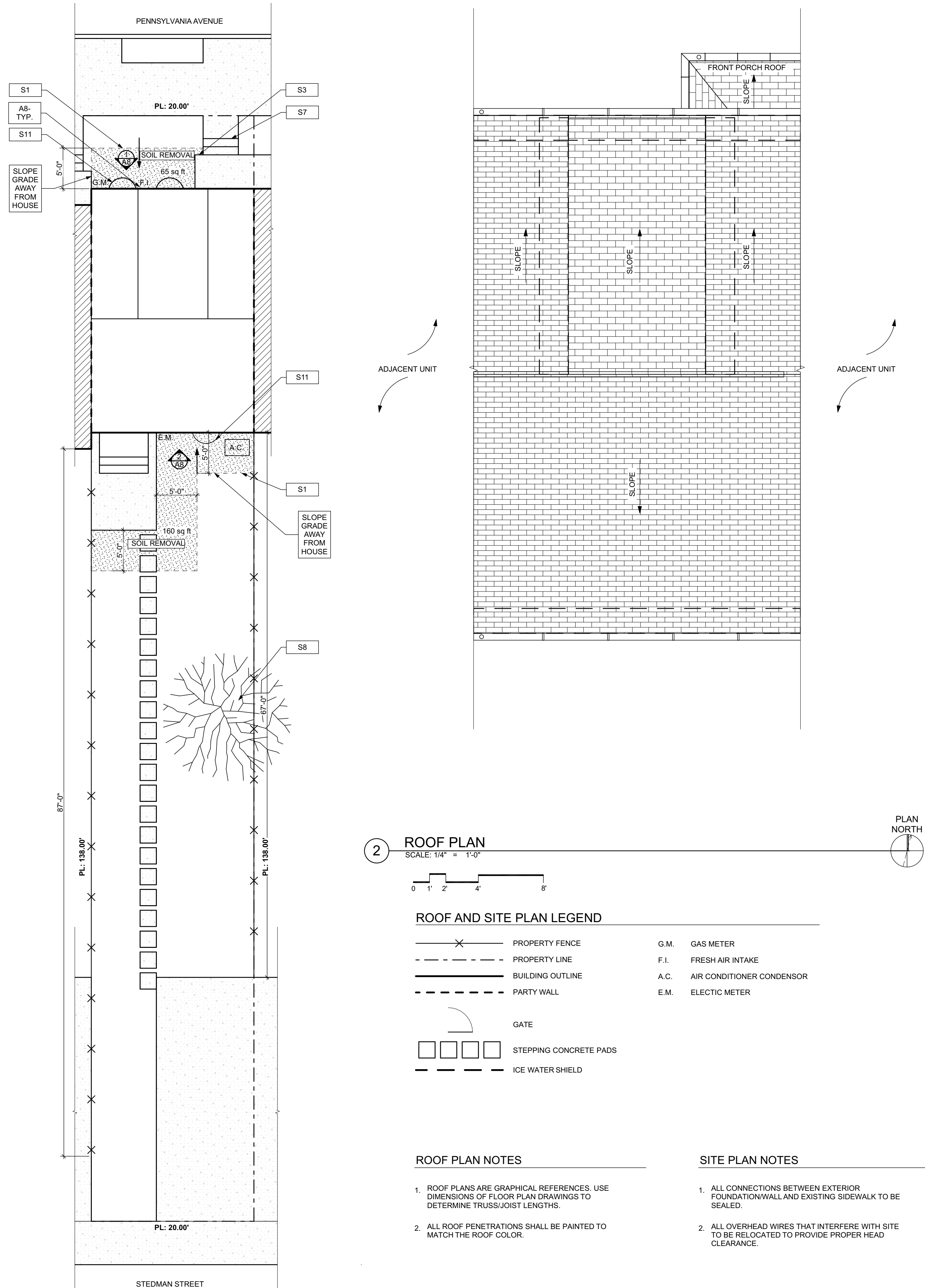
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLM SET, CODE
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	



- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF RANGE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT JOINTS TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPTO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOODS AS NECESSARY. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD, AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING TRAILER AND BRUSH TO REMOVE PAINT. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMPER IN SPACE TO MITIGATE MOISTURE CONTROLLED BY EXISTING FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

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ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	5	A4 Project #2006
of.	12	

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 200 ROSS STREET
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Project Location:
 MANCHESTER SCATTERED SITES
 1103 PENNSYLVANIA AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no. **6** of. **12**

Sheet No.

A5

Project #2006

- SITE**
- AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRAE TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WET CONCRETE IS PRESENT MINIMUM 3" OVER TOP; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MINIMUM 1" PER FOOT. JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWT, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. SAW CUT DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MINIMUM 1" PER FOOT. JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWT, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - REPAIR EXISTING DAMAGED EXTERIOR STEP. POOR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE, SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYDOWN OF FLOORING. REPAIR DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR TRIM BEHIND REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPAIR TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKED STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKERBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SANDIC EXISTING SLAB AND REPAIR CONCRETE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBDURING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.**
- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.**
- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR PURVING.
 - INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD WITH BREATHER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED; TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYS FOR REMOVAL/ DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

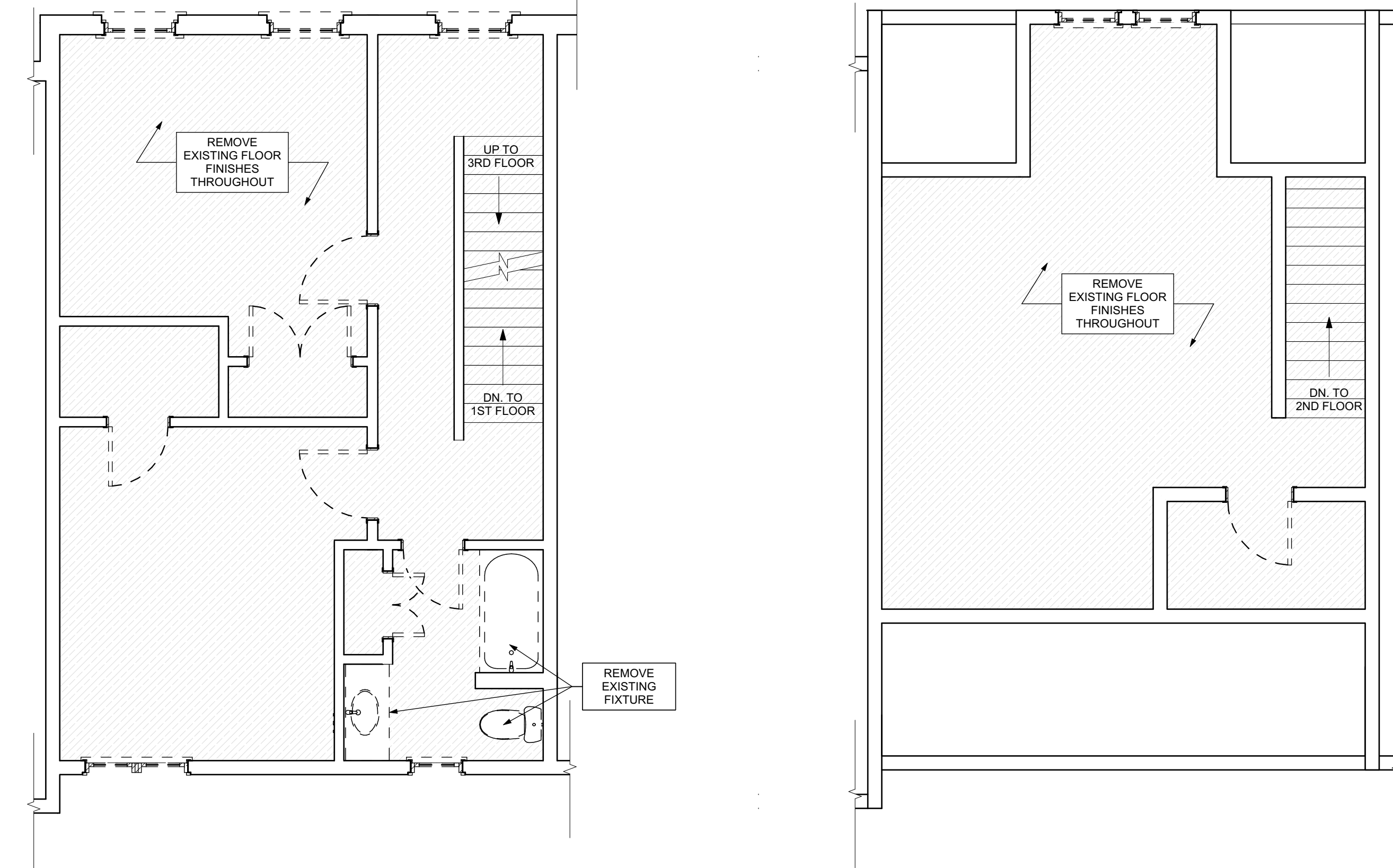
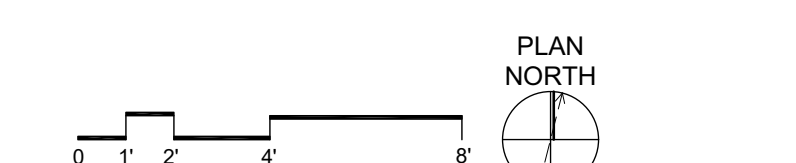
- DEMOLITION PLAN LEGEND**
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
 - DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
 - FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

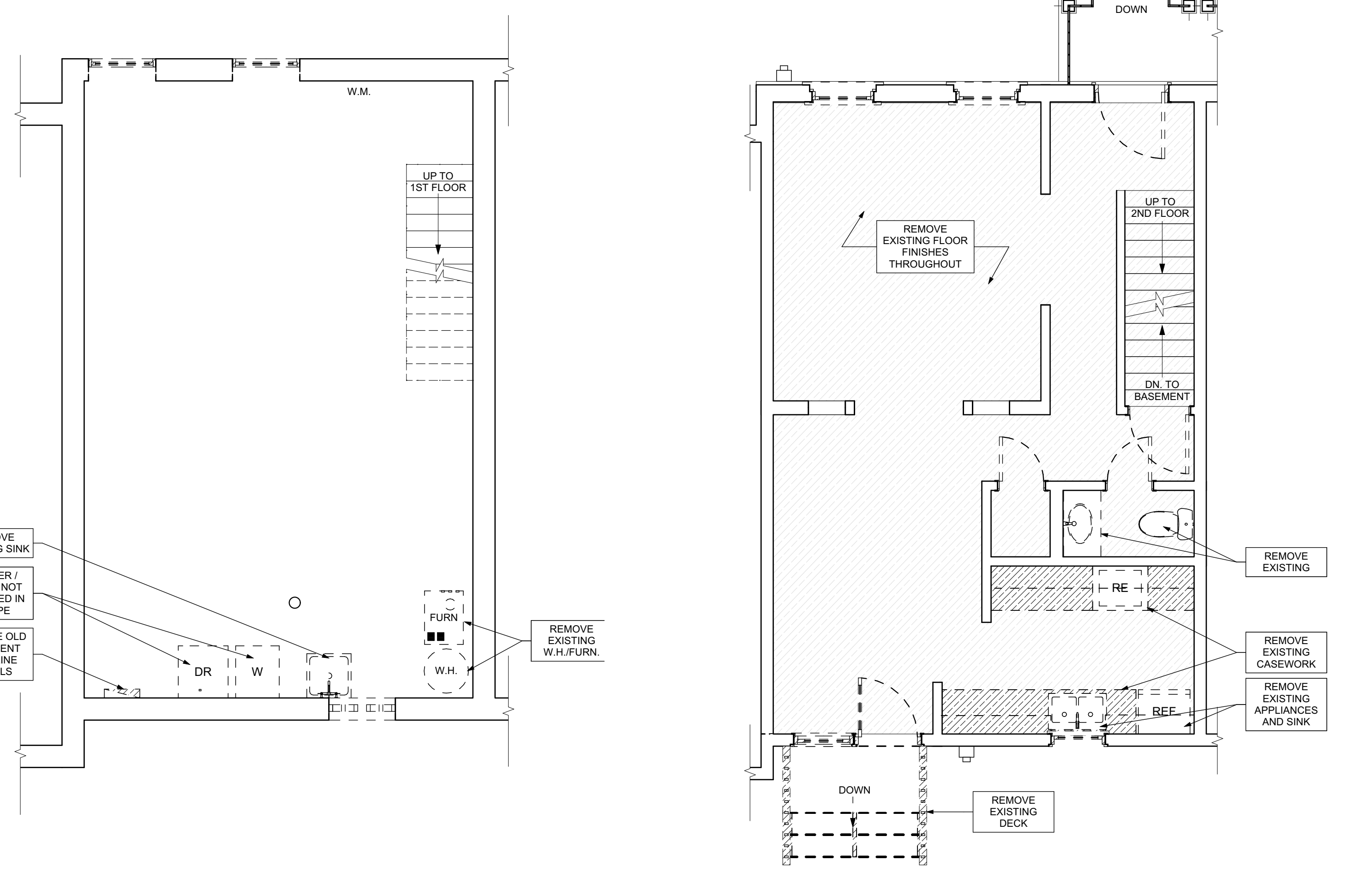
GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



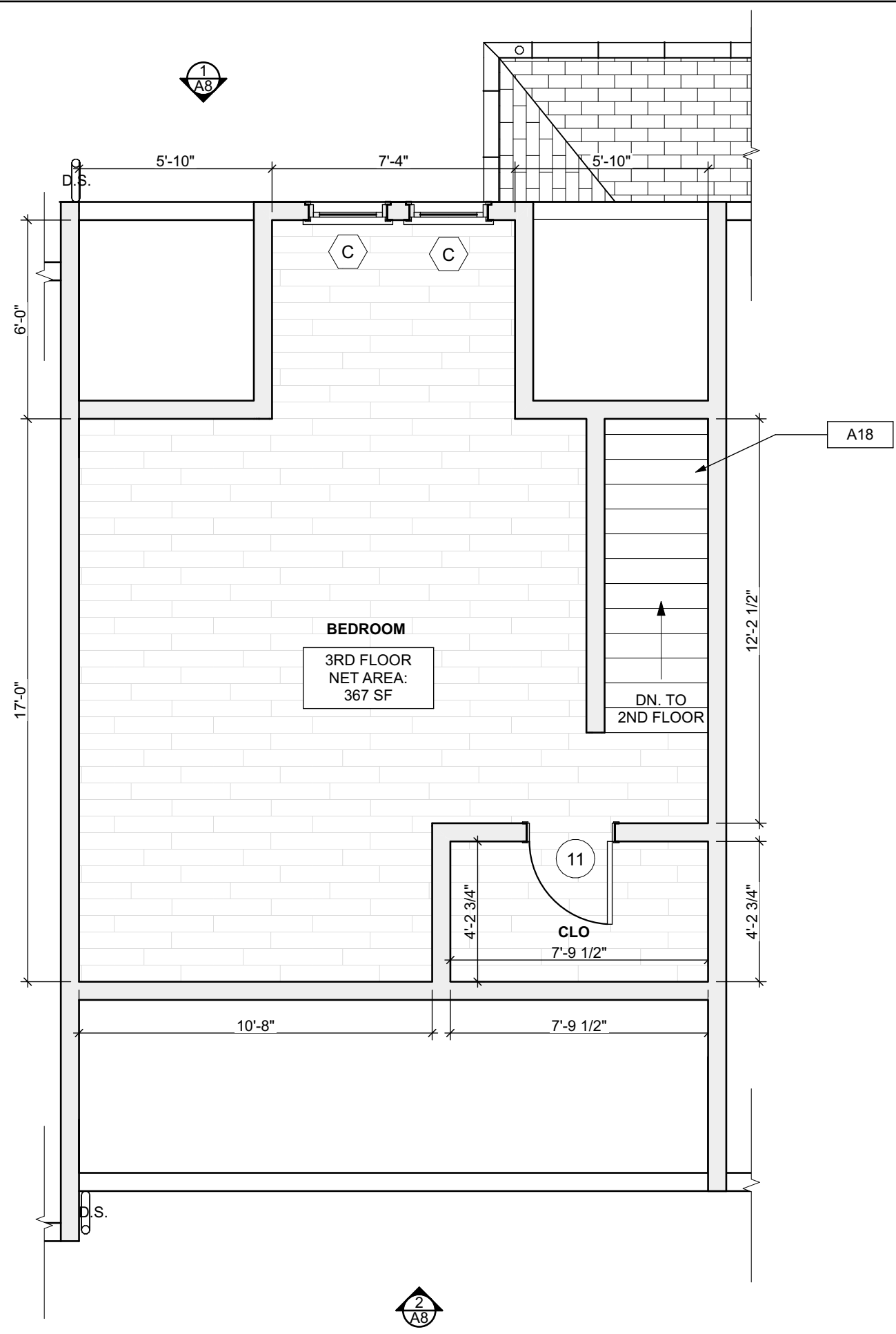
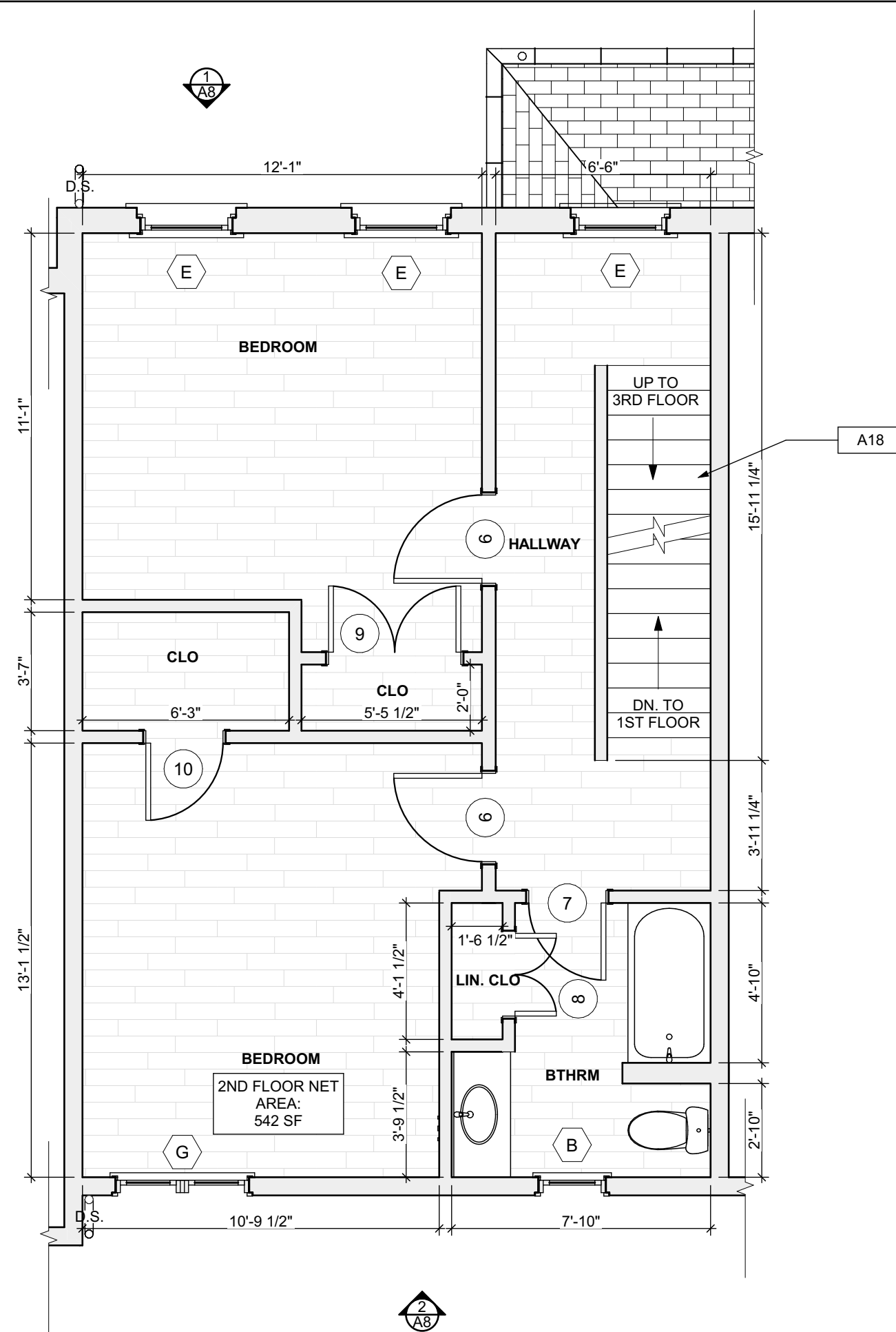
3 SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

4 THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. PROVIDE CONCRETE IS PRESENT MINIMUM 3" OVER 7" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF NEW CONCRETE. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT JOINTS TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

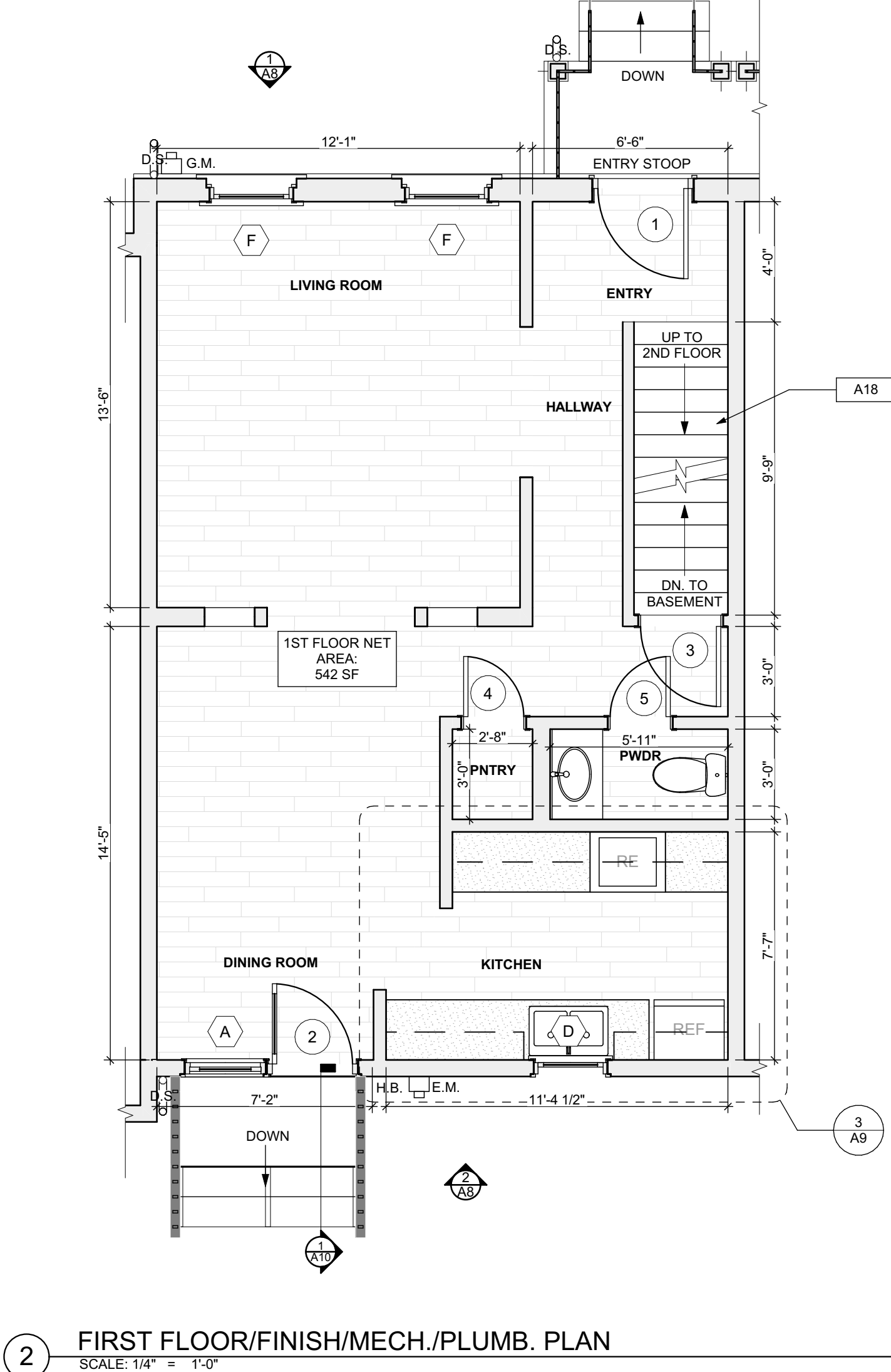
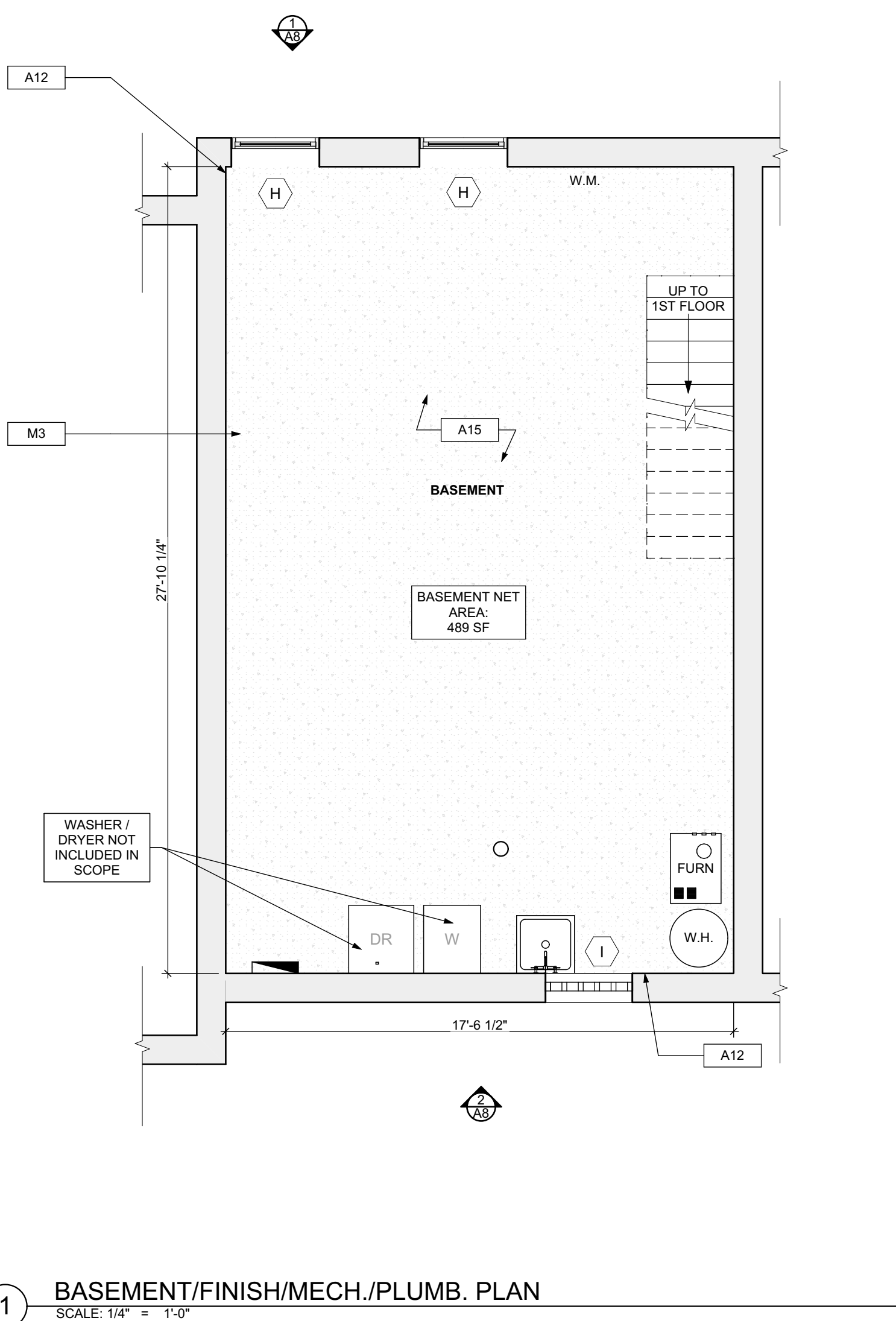
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOOR FINISHES. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR BRACES AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. LEAK SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALL WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKS IN EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND APPLY CONCRETE OR PLASTER. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIVALENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. PROVIDE ATTENTION TO THESE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

- FLOOR PLAN LEGEND**
- FRIDGE
 - RANGE
 - GAS FURNANCE
 - UTILITY SINK
 - WASHER
 - WATER HEATER
 - DOWN SPOUT
 - ELECTRIC METER
 - HOSE BIBB
 - DRYER
- SCOPE REDUCTION:**
- AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

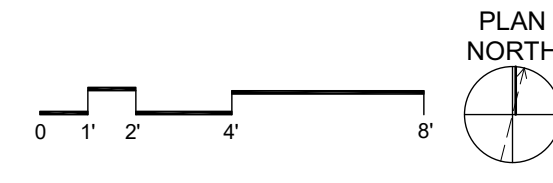
4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



- FLOOR PLAN LEGEND**
- FRIDGE
 - RANGE
 - GAS FURNANCE
 - UTILITY SINK
 - WASHER
 - WATER HEATER
 - DOWN SPOUT
 - ELECTRIC METER
 - HOSE BIBB
 - DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

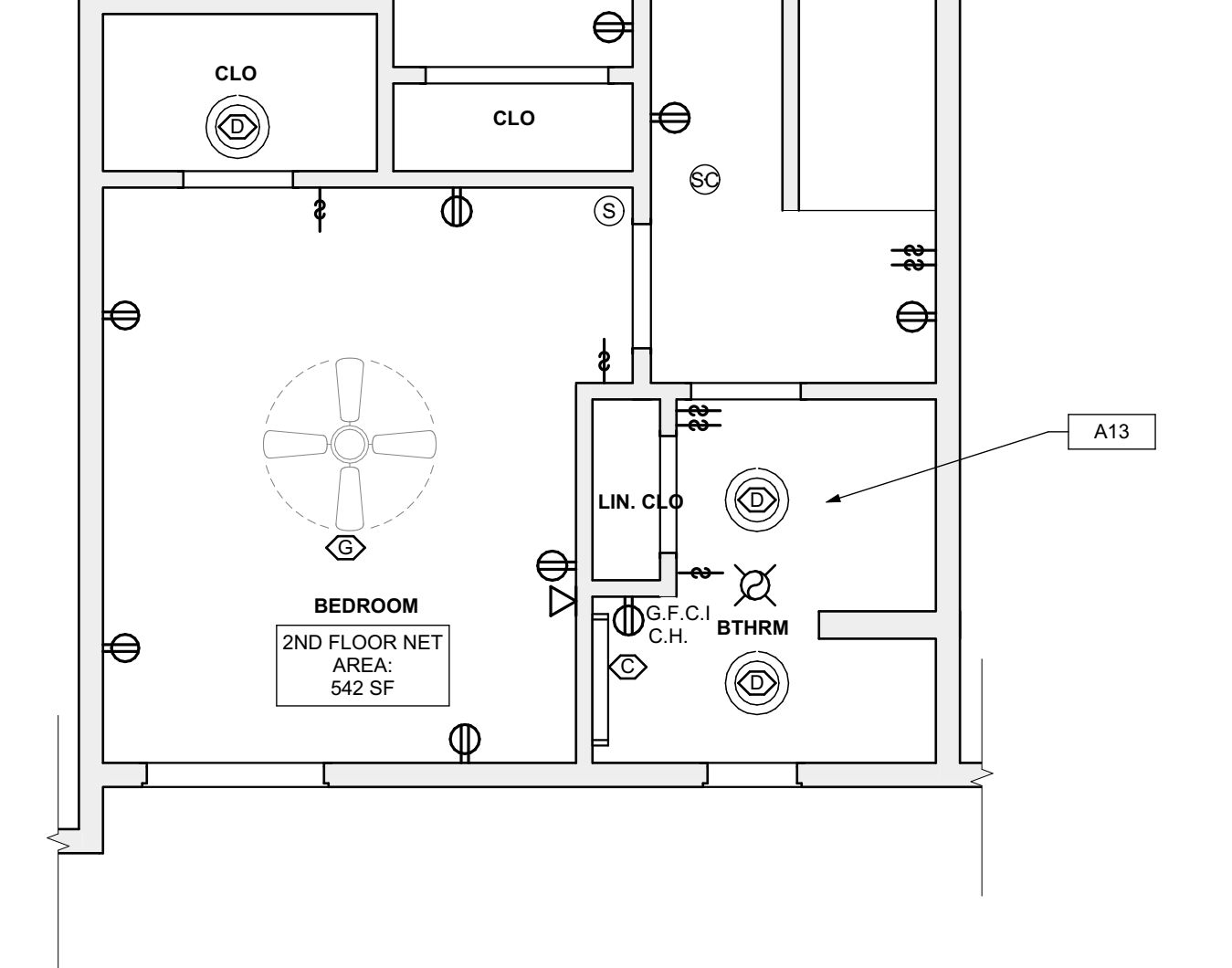
Project Location:
MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

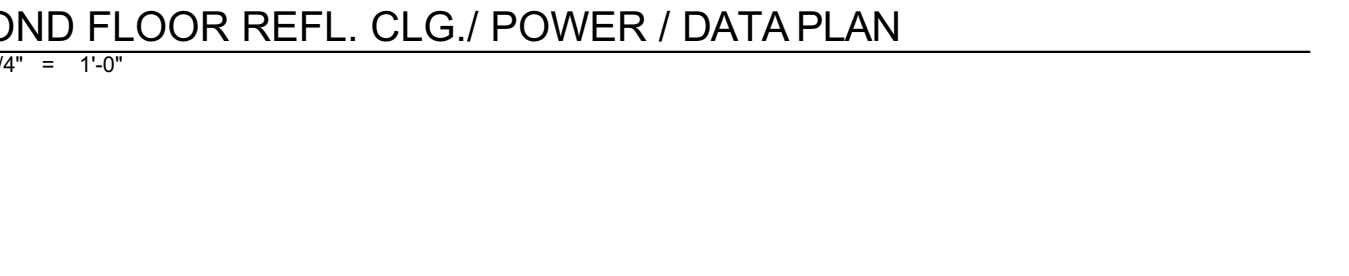
BASEMENT/FINISH/MECH./PLUMB. B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7 of 12	A6 Project #2006

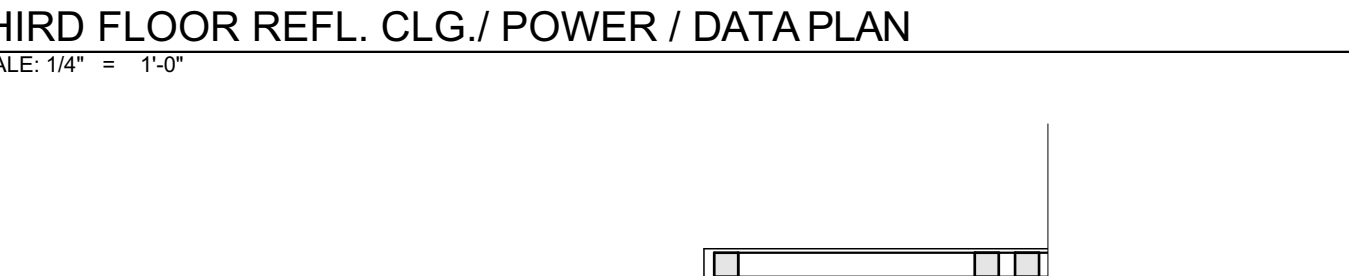
1 BSMT. REFL. CLG./ POWER / DATA PLAN
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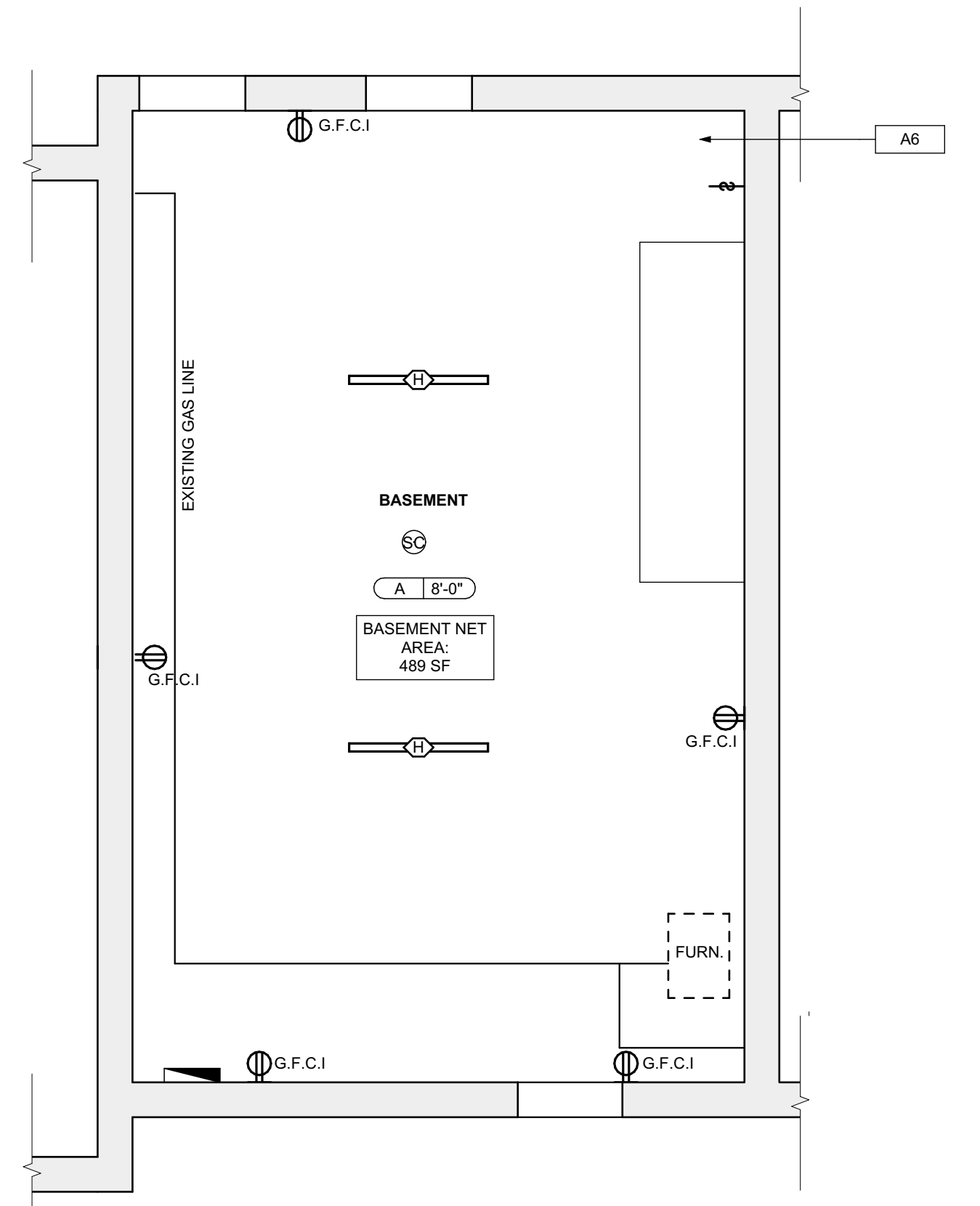
3 SECOND FLOOR REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



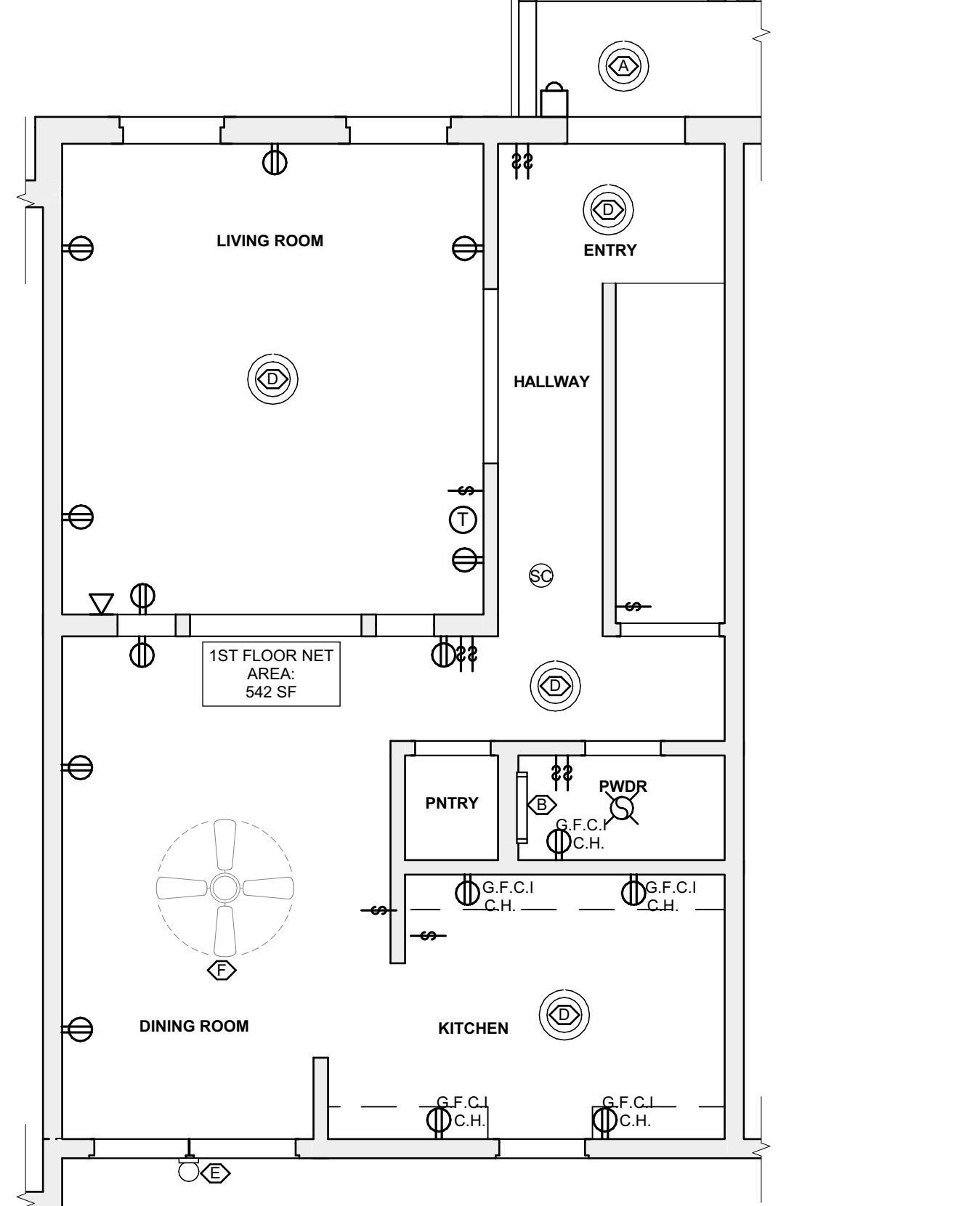
4 THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BSMT. REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



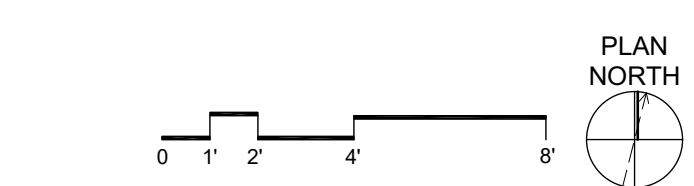
LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
⊙	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
⊔	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922N1L18	1
⊔	C	Long Bathroom Light Bar - Replacement: Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
⊙	D	Bowl-Shape Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	9
⊔	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
⊙	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
⊙	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
⊔	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

- RCP LEGEND - (See Specifications for basis of Design)**
- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
 - ⊙ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
 - ⊔ ELECTRICAL METER
 - ⊖ THERMOSTAT
 - ⊔ DATA RECEPTICAL, 18" A.F.F. U.O.N.
 - ⊔ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
 - ⊔ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
 - ⊔ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
 - ⊔ G.F.C.I. GROUND FAULT CIRCUIT INTERRUPTER
 - ⊔ LIGHT SWITCH
 - ⊔ EXHAUST FAN
 - ⊔ DOORBELL
 - A 'X'-X' GWB CEILING / CEILING HEIGHT
 - B 'X'-X' UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS, MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



- SITE**
- S11 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. REGRADE TO MEET SLOPE REQUIREMENTS WITH CONCRETE IS PRESENT MINIMUM 3" OVER 2'-0" WIDE. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S12 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S13 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF CONCRETE. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S14 EXISTING PARKING PAD TO BE DEMOLISHED AND REFINISHED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION PER SPECIFICATIONS. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S15 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION PER SPECIFICATIONS. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S16 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S17 REPAIR EXISTING DAMAGED EXTERIOR STEP. POOR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S18 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S19 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S20 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETS AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S21 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S22 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REQUEST SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S23 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S24 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A21 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A31 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A41 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A51 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM DRAINAGE OF DOOR. REPAIR OR RENOVATE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A61 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND BRACES AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A71 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A81 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A91 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A101 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A111 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2X4X11 SPREAD FOOTING AND BRACE. CHAIN OR PLATE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A121 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A131 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A141 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREA. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A151 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A161 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A171 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A181 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY REFER TO PLUMB. DWG'S.**
- P11 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P21 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY REFER TO MECH. DWG'S.**
- M11 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - M21 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR PURNACE.
 - M31 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE. CONFIRM WITH ARCHITECTURE. PROVIDE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M41 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR PURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repair, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BSMT. REFL. CLG./ POWER / DATA PLAN, FIRST FLOOR REFL. CLG./ POWER / DATA PLAN, SECOND FLOOR REFL. CLG./ POWER / DATA PLAN, THIRD FLOOR REFL. CLG./ POWER / DATA PLAN, RCP LEGEND, LIGHTING SCHEDULE, SMALL UNIT KEYNOTES

scale As Noted	Sheet No. A7 Project #2006
date May 6, 2022	
no. 8 of 12	

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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200 ROSS STREET
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MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

NORTH ELEVATION, SOUTH ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/VE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/VE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

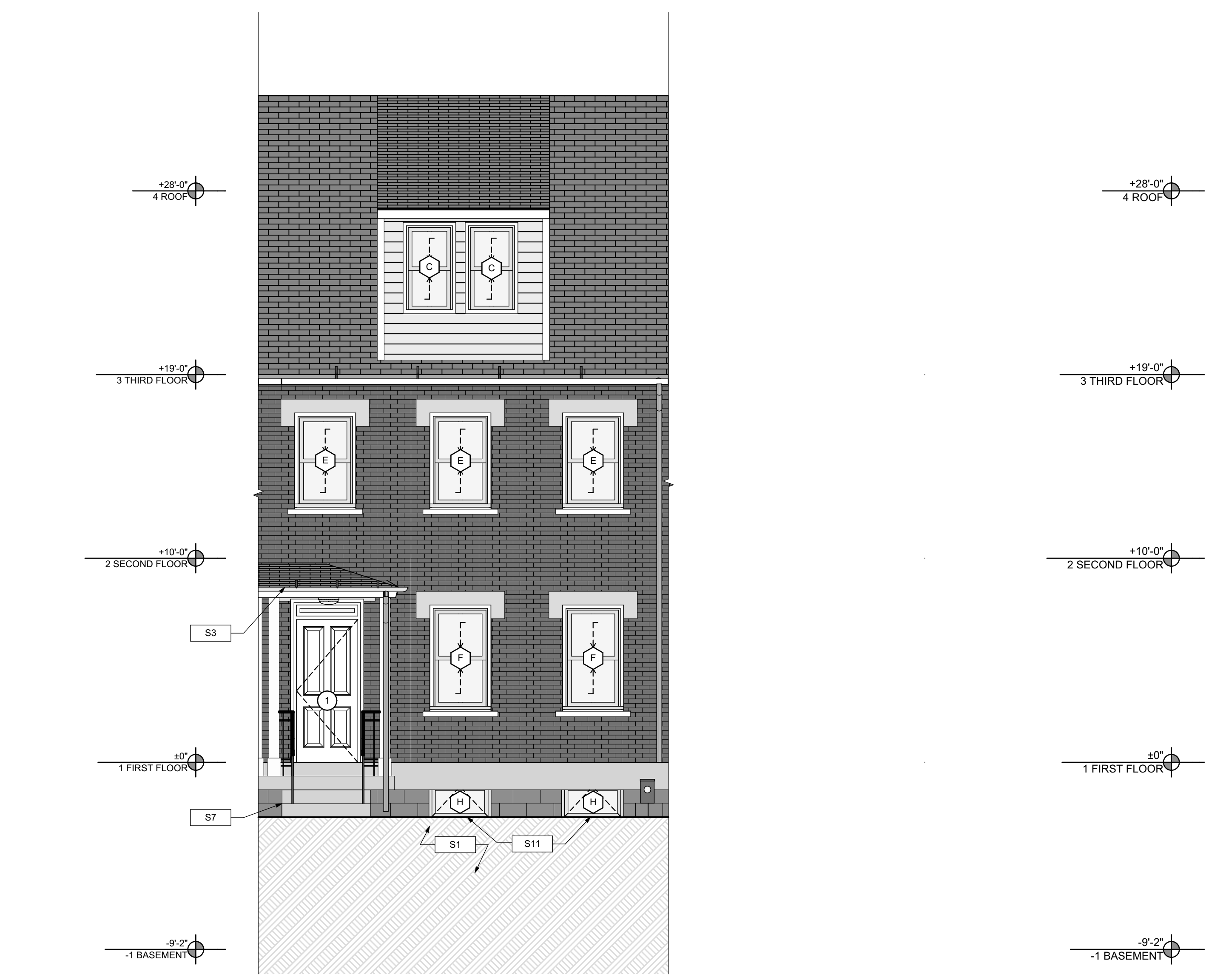
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COLOUR OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD AS NECESSARY. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR IN-WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELIMITER. ADDITIONAL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



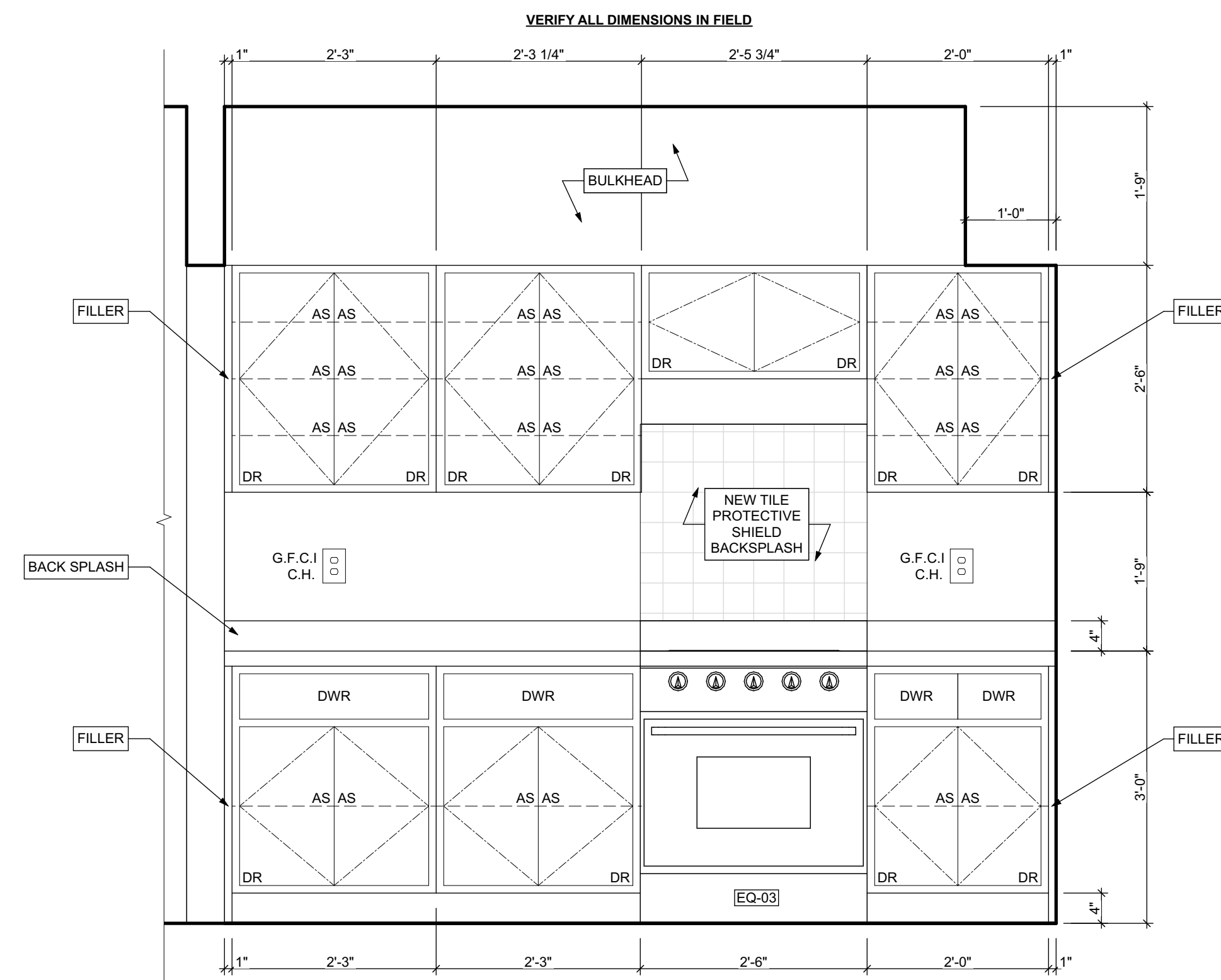
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

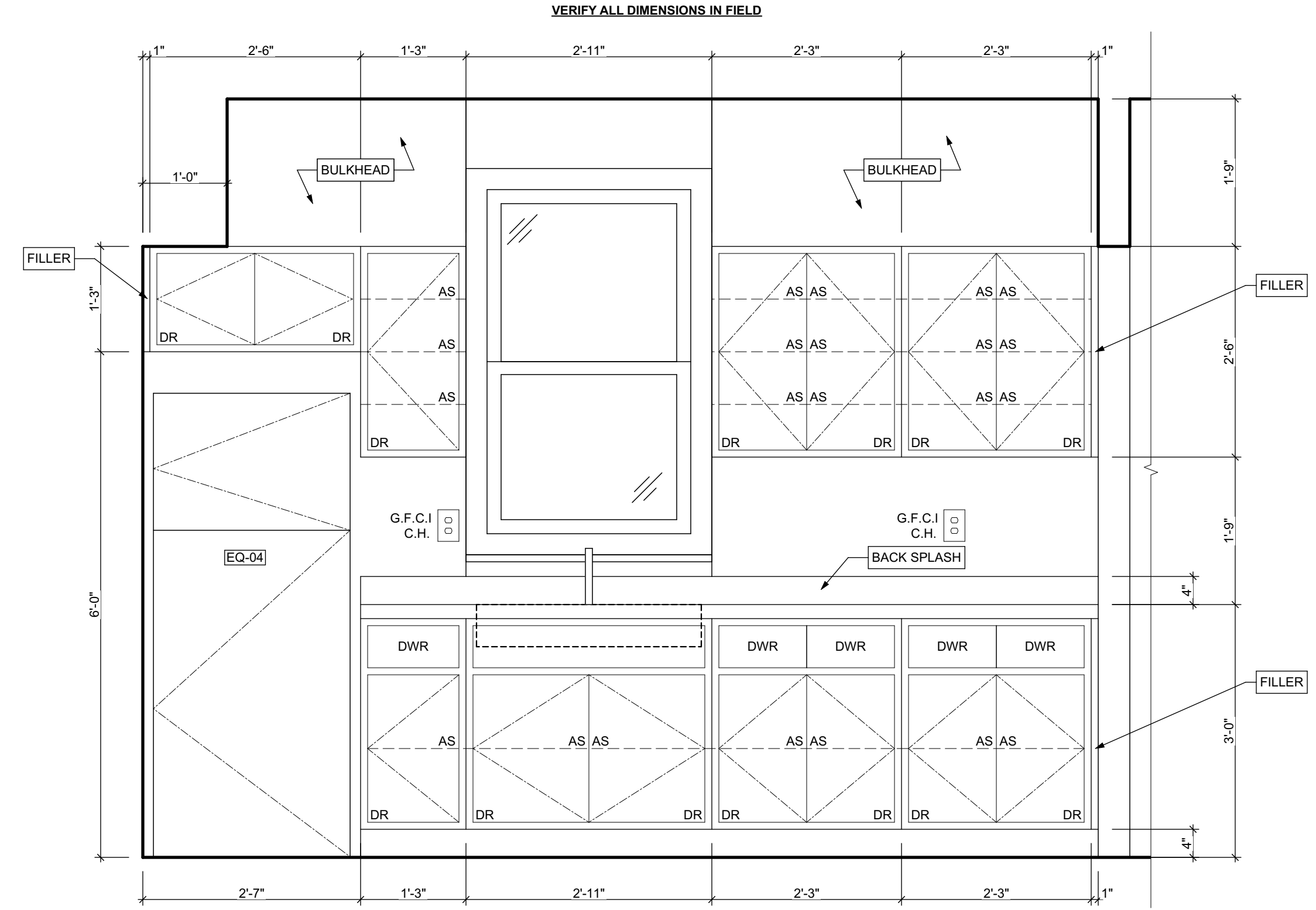
GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

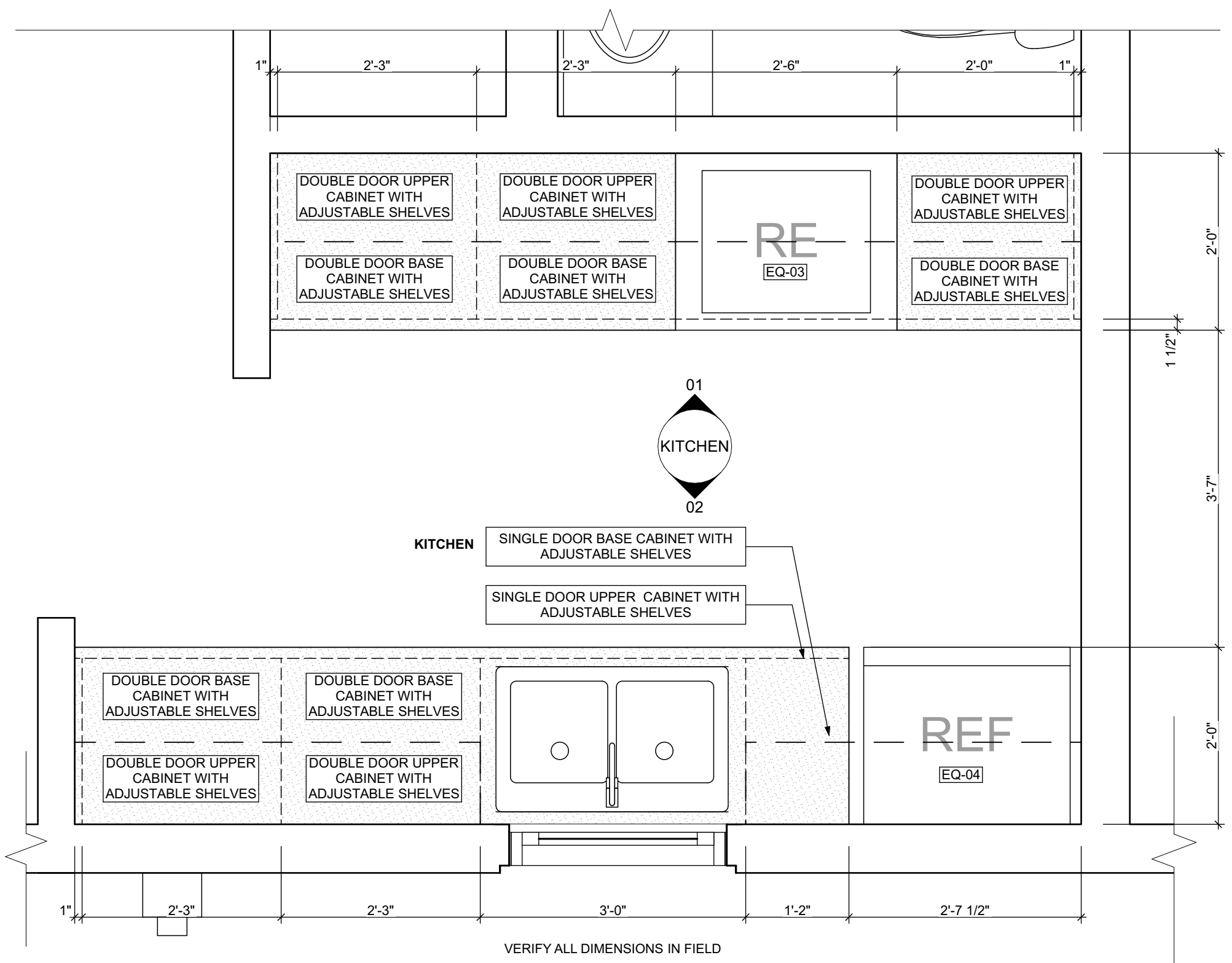
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8 Project #2006
of.	12	



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	MODEL	NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent		Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome		Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome		Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome		Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 18	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-60-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/4" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

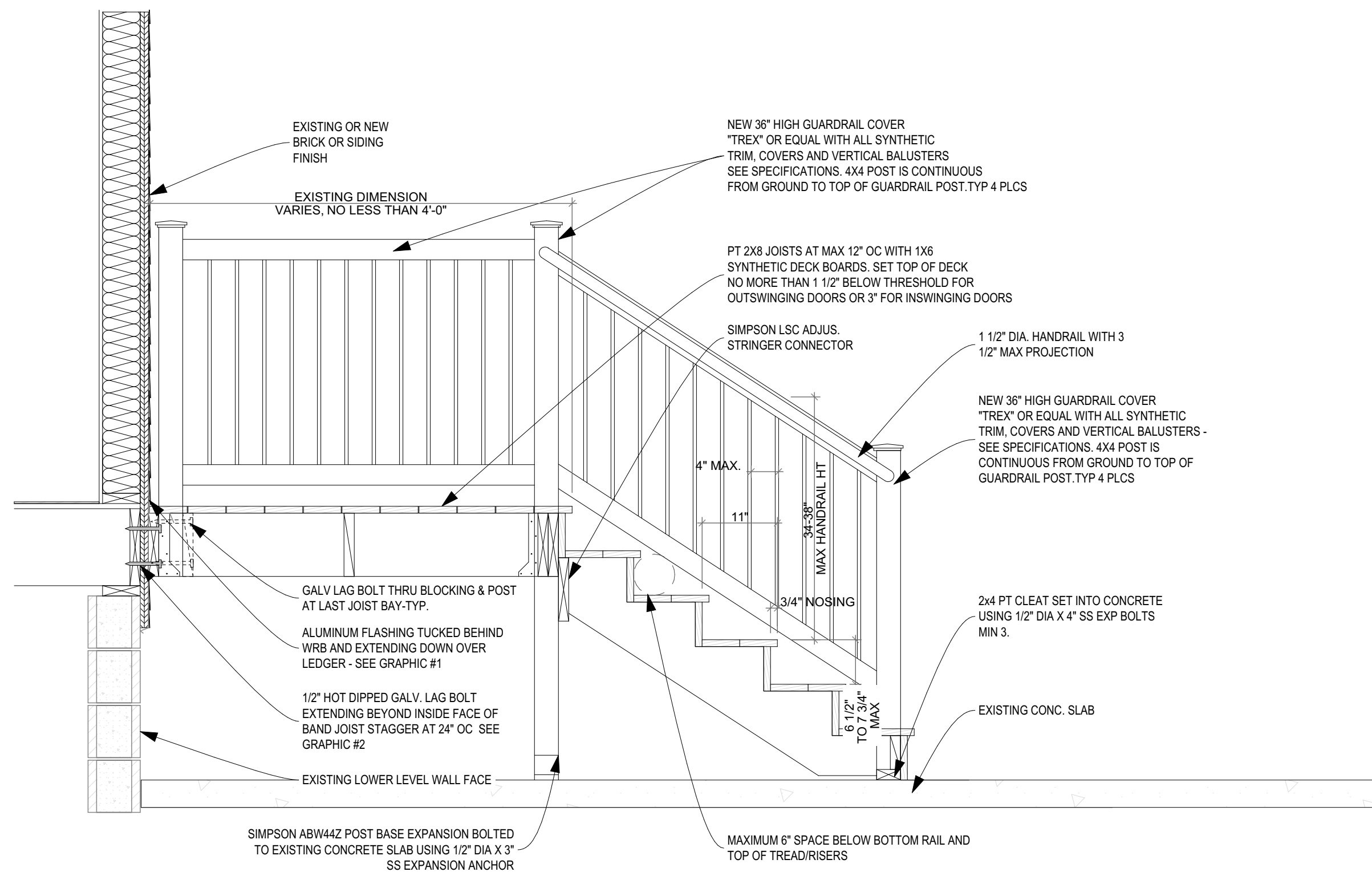
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

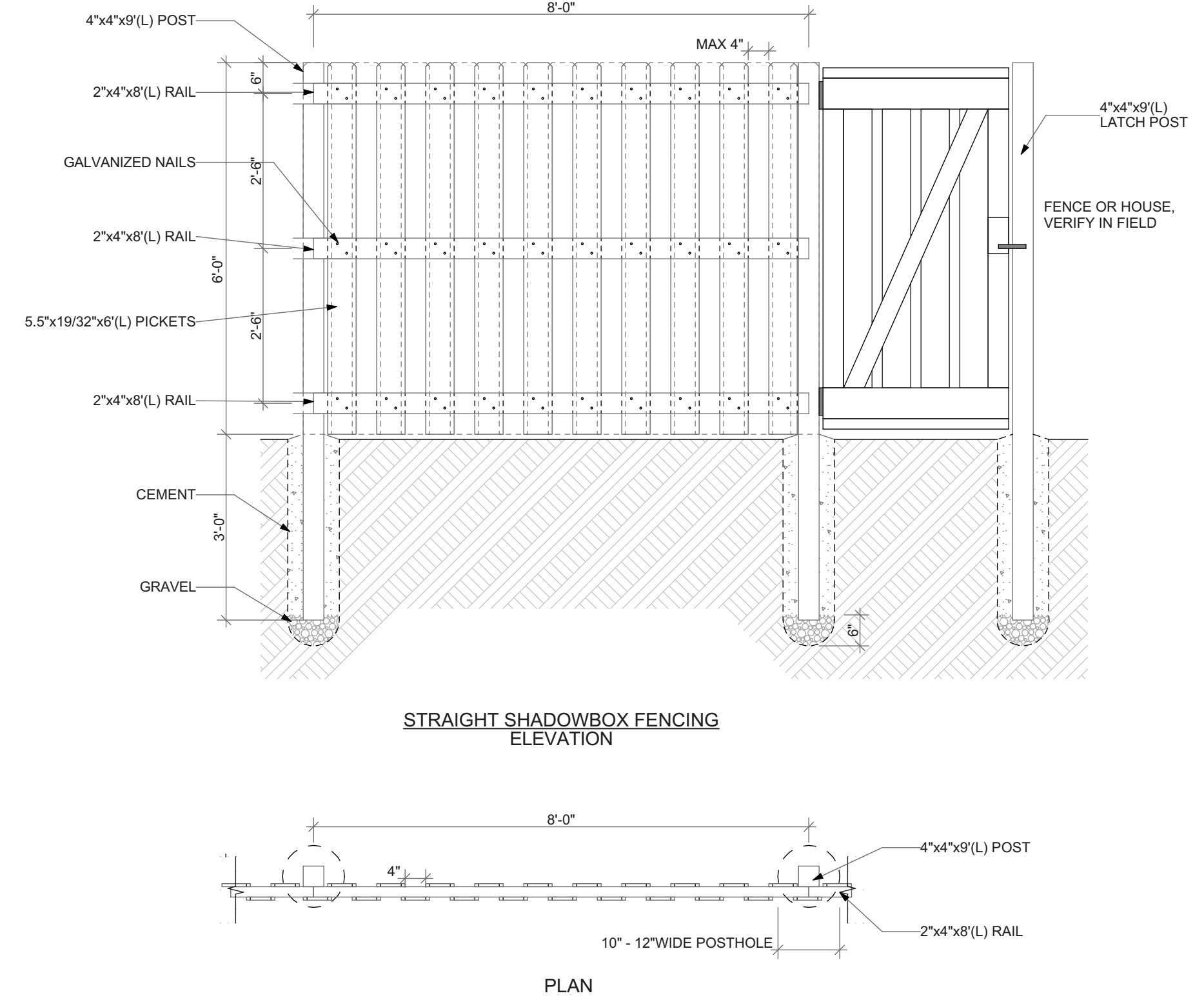
drawing title

KITCHEN ELEVATION 02, FIRST FLOOR KITCHEN ENLARGED PLAN

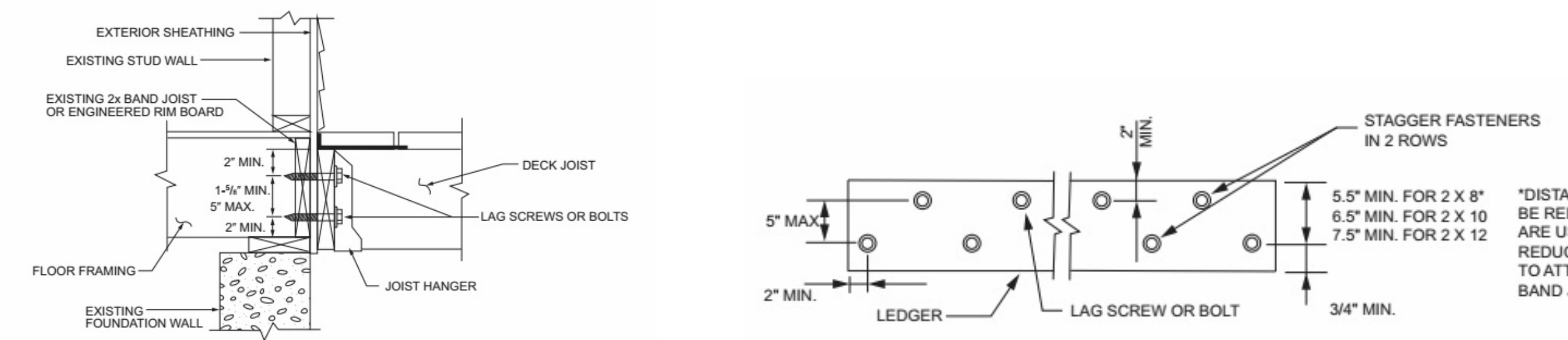
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date	May 6, 2022	
no.	10	A9 Project #2006
of.	12	



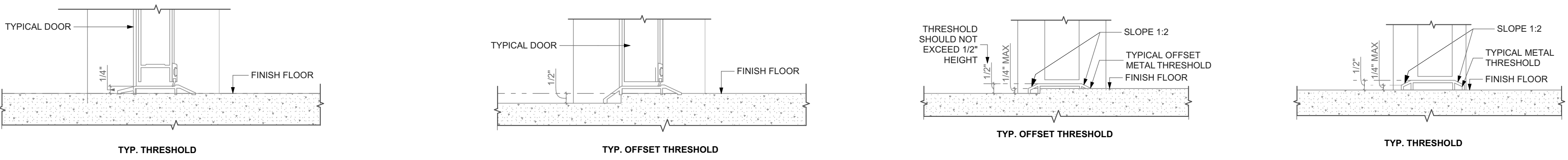
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



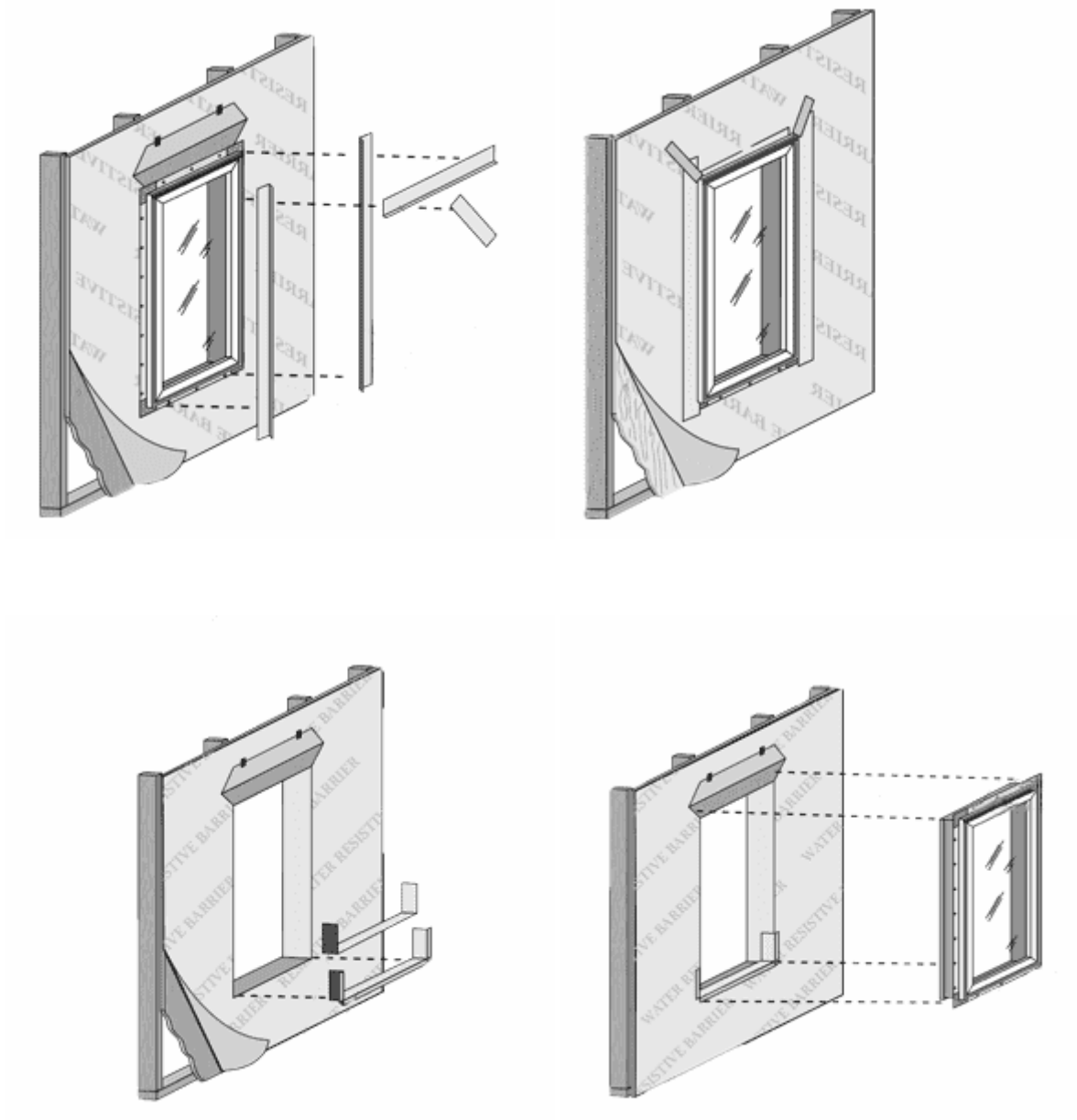
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

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revisions

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project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

Project Location:
MANCHESTER SCATTERED SITES
1103 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1101 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRLIM SET	
MANCHESTER SCATTERED SITES MAP	
CODE AND CONTACT INFO	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
DOOR TYPES	
DOOR SCHEDULE (WITH EXISTING)	
WINDOW SCHEDULE	
FINISH SCHEDULE	
BRICK WALL SECTION	
SIDING WALL SECTION	
INTERIOR STAIR DETAIL	
A3 SCOPE/GENERAL/ GREEN COMMUNITY NOTES	
ENERGY NOTES	
GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF PLAN	
SITE PLAN	
ROOF PLAN NOTES	
ROOF AND SITE PLAN LEGEND	
GRAPHIC SCALES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
GENERAL DEMOLITION NOTES	
DEMOLITION PLAN LEGEND	
BASEMENT / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
THIRD FLOOR / DEMO PLAN	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A6 FLOOR/FINISH/MECH./PLUMB. PLANS	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN	
BASEMENT/FINISH/MECH./PLUMB. PLAN	
GRAPHIC SCALES	
FLOOR PLAN LEGEND	
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	
SMALL UNIT KEYNOTES	
A7 REFLECTED CEILING / POWER / DATA PLANS	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
BSMT. REFL. CLG. / POWER / DATA PLAN	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
RCP LEGEND	
LIGHTING SCHEDULE	
A8 ELEVATIONS	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
EAST ELEVATION	
SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION01	
KITCHEN ELEVATION02	
A10 DETAILS	
WOOD FENCE DETAIL	
DECK SECTION DETAIL	
DECK ENLARGED DETAILS	
WINDOW INSTALLATION UNDER VINYL SIDING	
EXTERIOR DOOR THRESHOLD	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,935 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

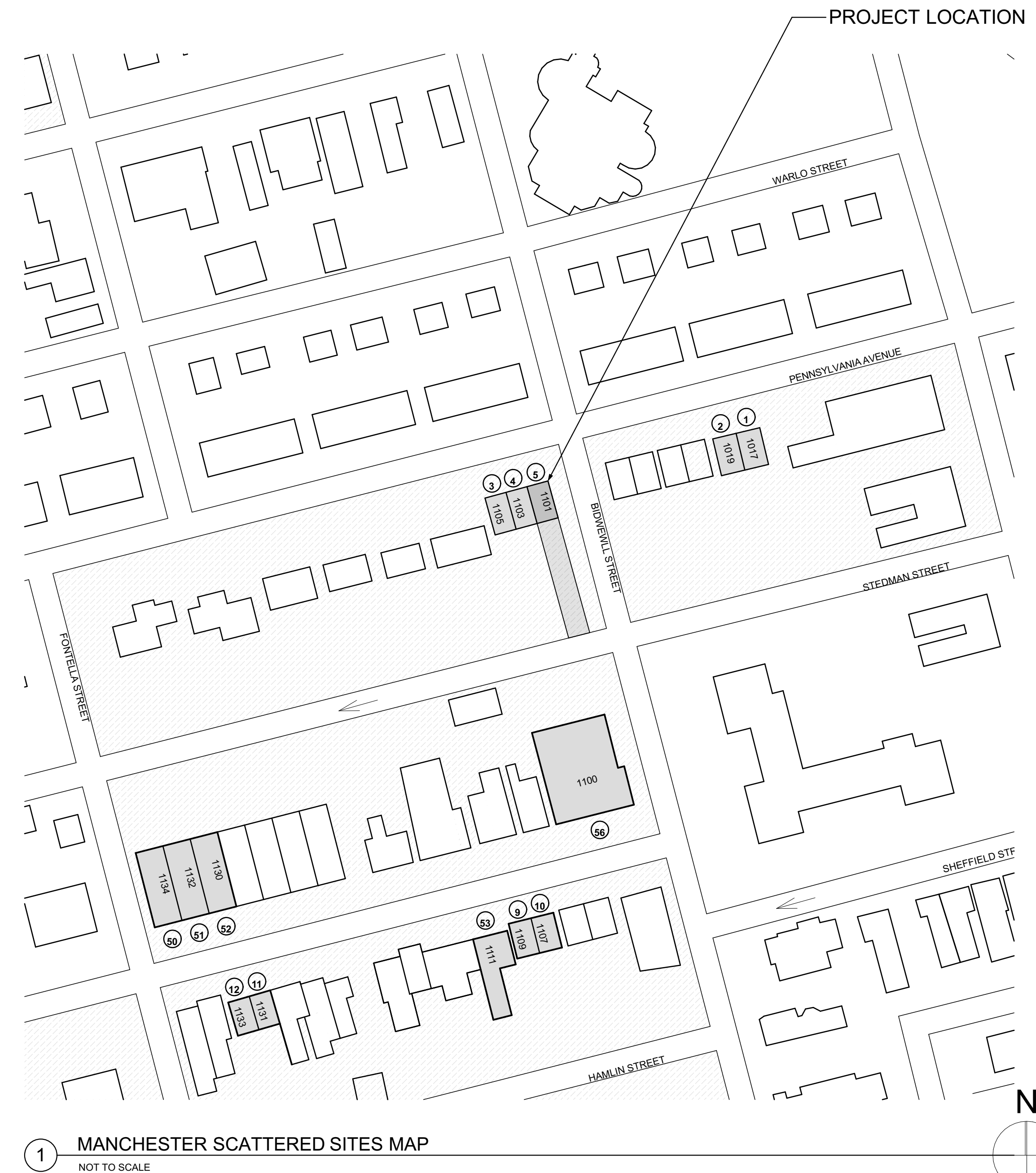
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 205 Ross Street Pittsburgh, PA 15219 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1101 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL TO MEET SLOPE REQUIREMENTS. TO TOP TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUTRIGGERS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT OUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVAL OF EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELIMITER. REFER TO ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

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PITTSBURGH, PA 15219

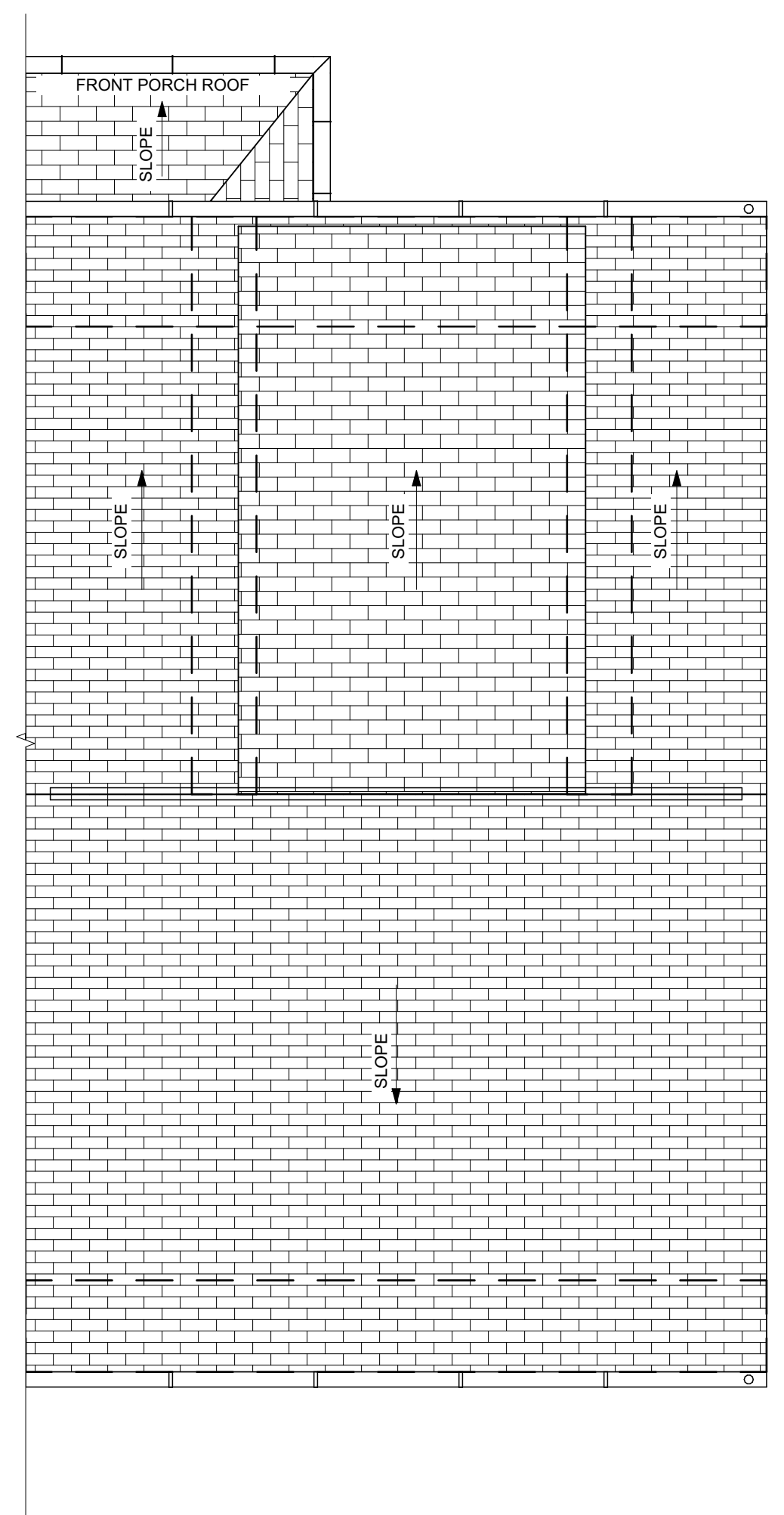
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15233

drawing title

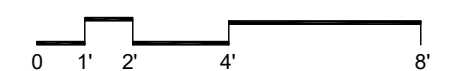
SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted
date	May 6, 2022
no.	5 of 12

Sheet No.	A4
Project #	#2006



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

- X — PROPERTY FENCE
- - - PROPERTY LINE
- BUILDING OUTLINE
- - - PARTY WALL
- GATE
- STEPPING CONCRETE PADS
- - - ICE WATER SHIELD
- G.M. GAS METER
- F.I. FRESH AIR INTAKE
- A.C. AIR CONDITIONER CONDENSOR
- E.M. ELECTRIC METER

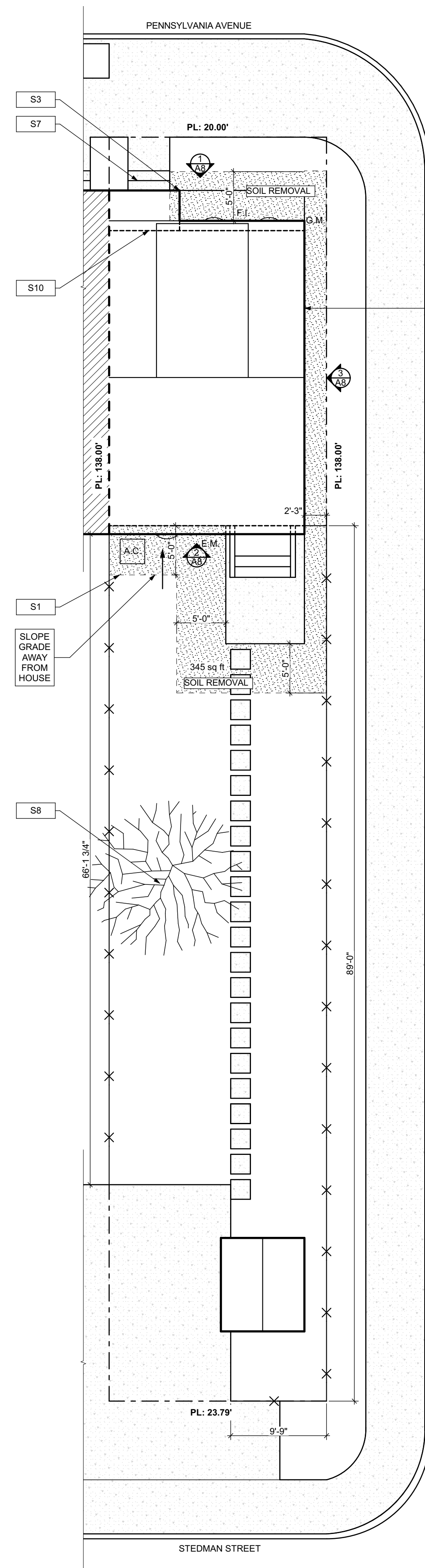
ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

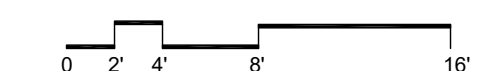
SITE PLAN NOTES

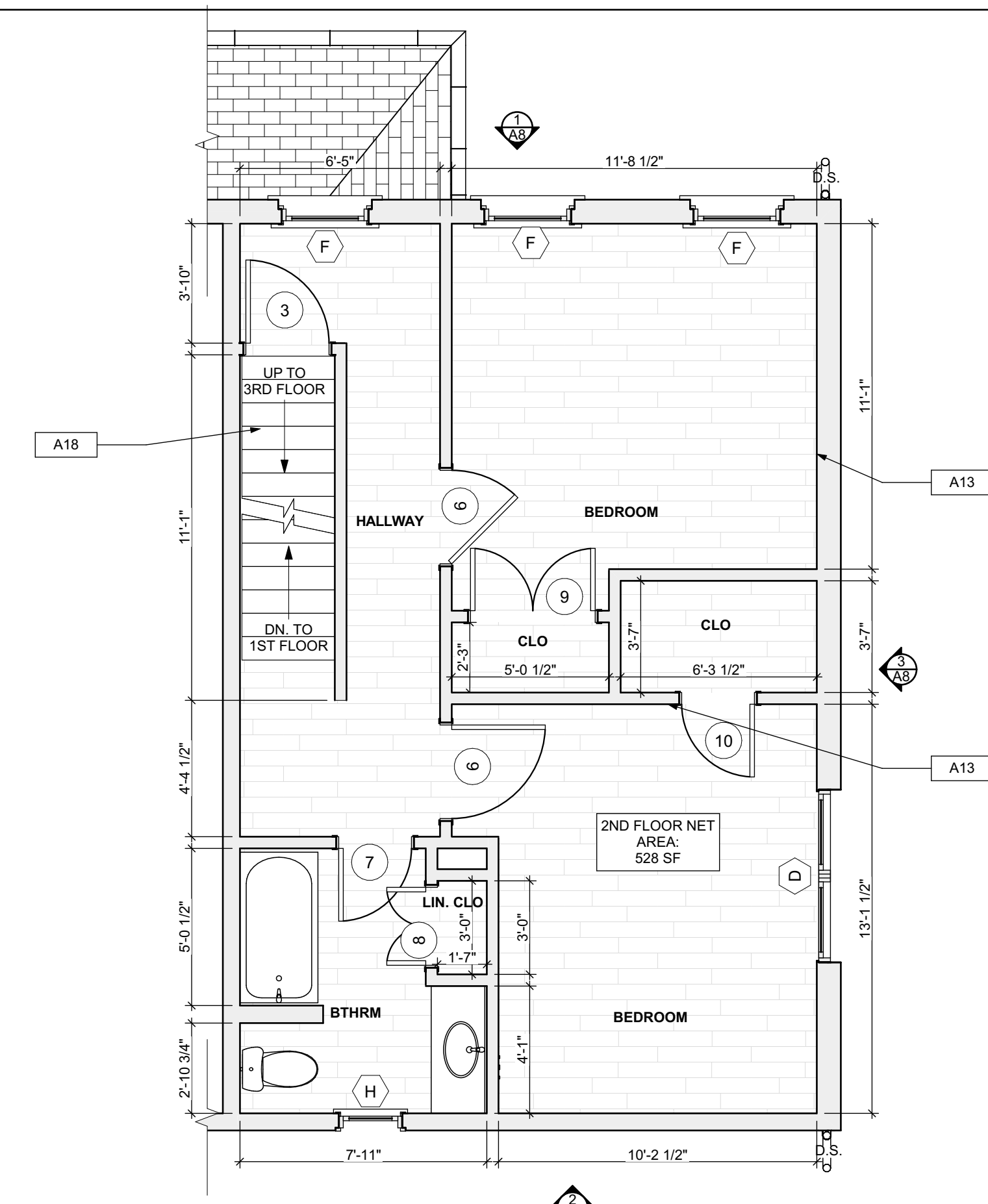
1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

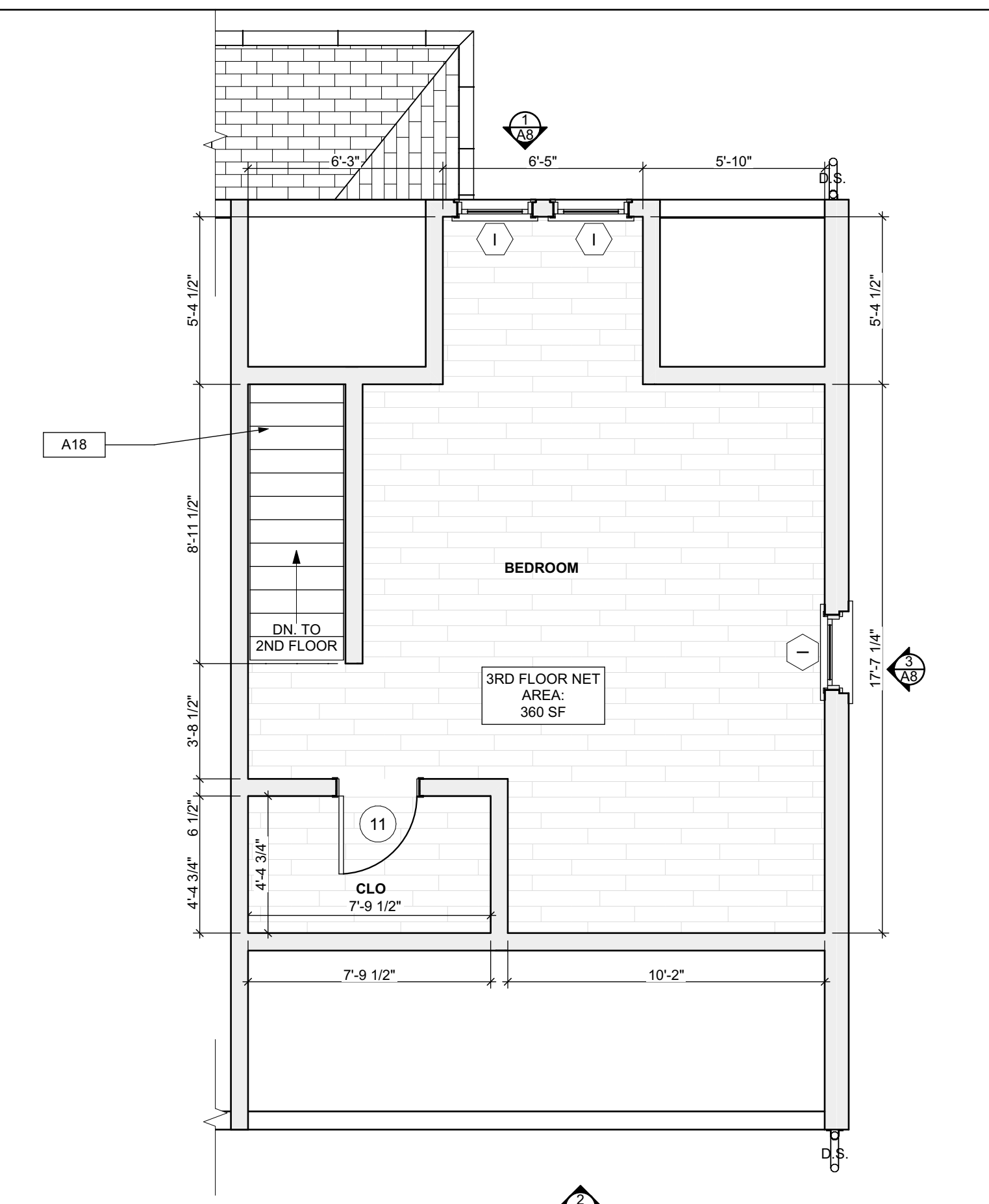


1 SITE PLAN
SCALE: 1/8" = 1'-0"

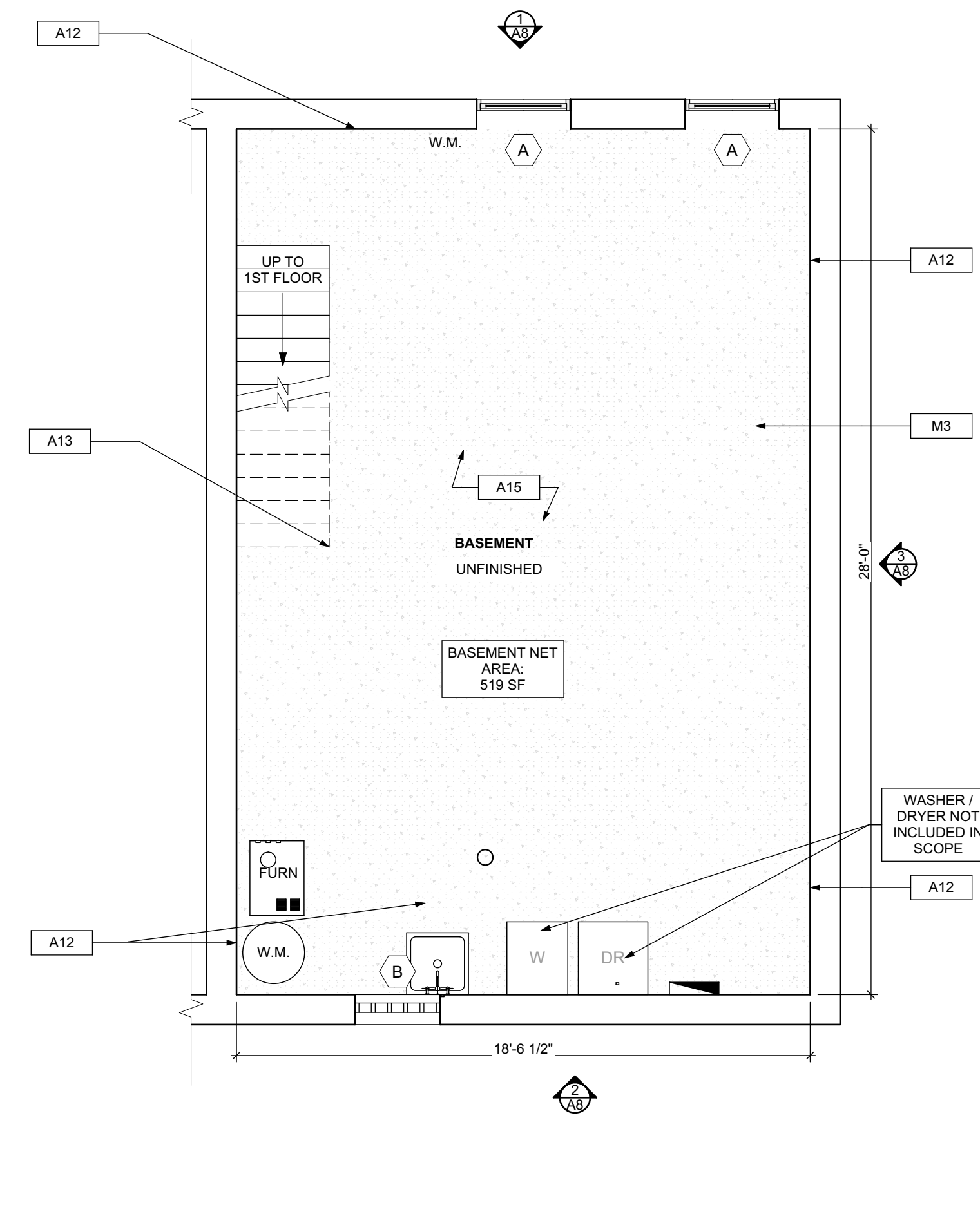




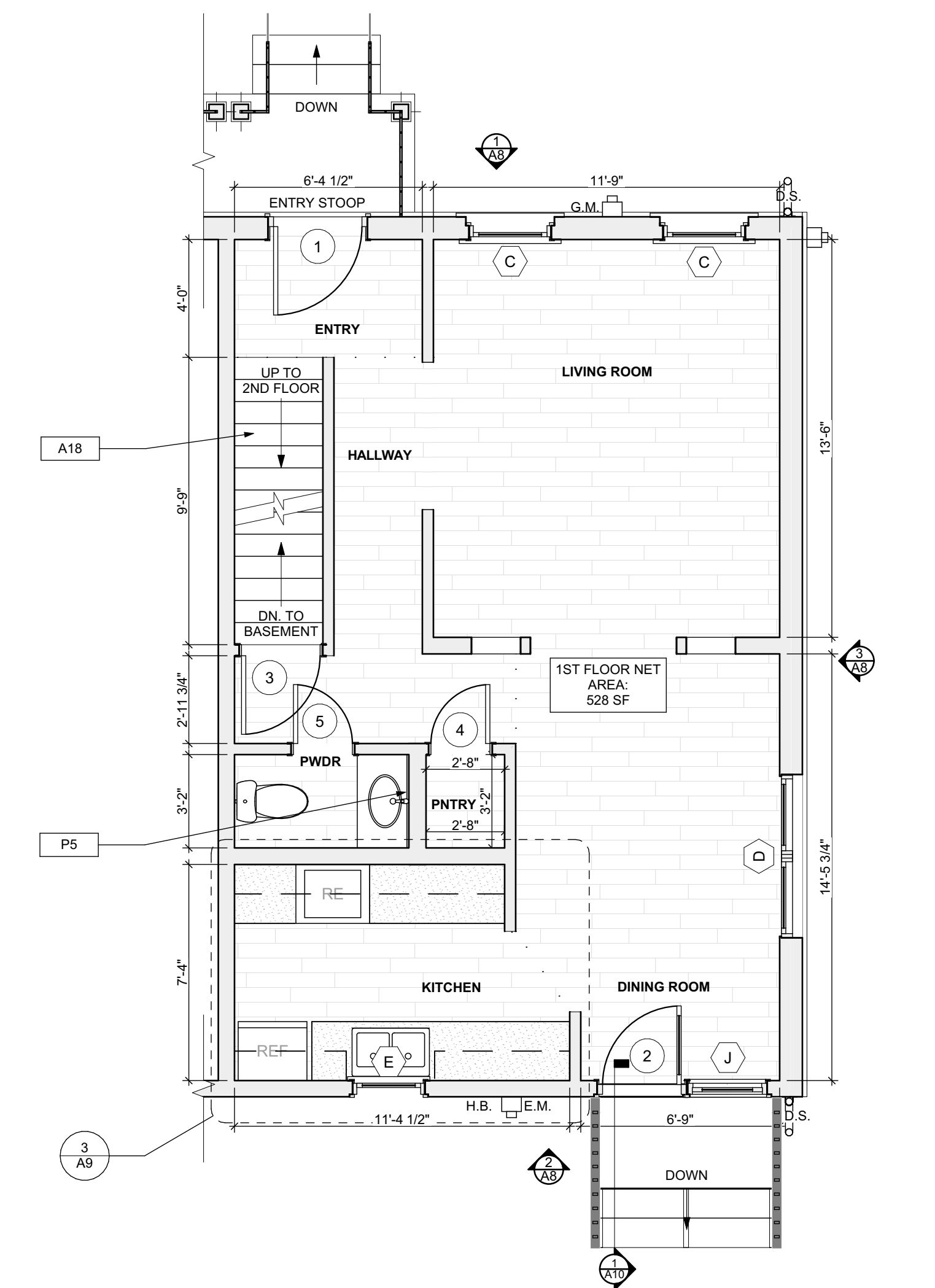
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



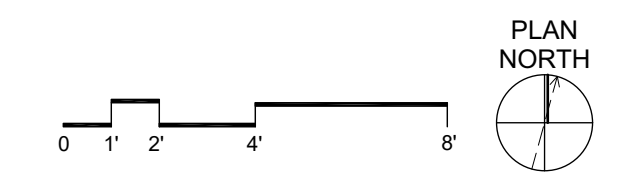
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1/2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR WHERE NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR HANDRAILS. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOOR. REPAIR, REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM TO BE REFINISHED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPAIR TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CROMBUSH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRENGTHENERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2'X2'1" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTOR IS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR FILTERS. WHERE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1101 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB.
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, GRAPHIC SCALES, FLOOR
PLAN LEGEND, SMALL UNIT
KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	of. 12
		A6
		Project #2006

seal

general notes

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revisions

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PITTSBURGH, PENNSYLVANIA
15233

drawing title

BSMT. REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, GRAPHIC SCALES, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE

scale
As Noted
date
May 6, 2022

8 of 12

Sheet No.

A7

Project #2006

Lighting Schedule table with columns: SYMBOL, ELEMENT ID, TYPE, MANUFACTURER OR EQUIVALENT, MODEL NUMBER, QUANTITY. Includes items A through H.

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

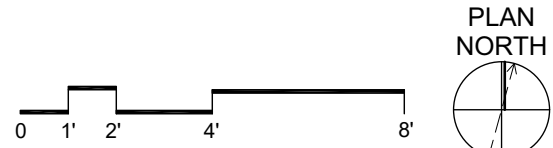
- Ⓢ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
Ⓞ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
Ⓜ ELECTRICAL METER
⓪ THERMOSTAT
Ⓩ DATA RECEPTICAL, 18" A.F.F. U.O.N.
Ⓛ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
ⓂCH ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
ⓂGFCI GROUND FAULT CIRCUIT INTERRUPTER
ⓂGFCI GROUND FAULT CIRCUIT INTERRUPTER
Ⓛ LIGHT SWITCH
Ⓢ EXHAUST FAN
Ⓛ DOORBELL
A X-X' GWB CEILING / CEILING HEIGHT
B X-X' UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

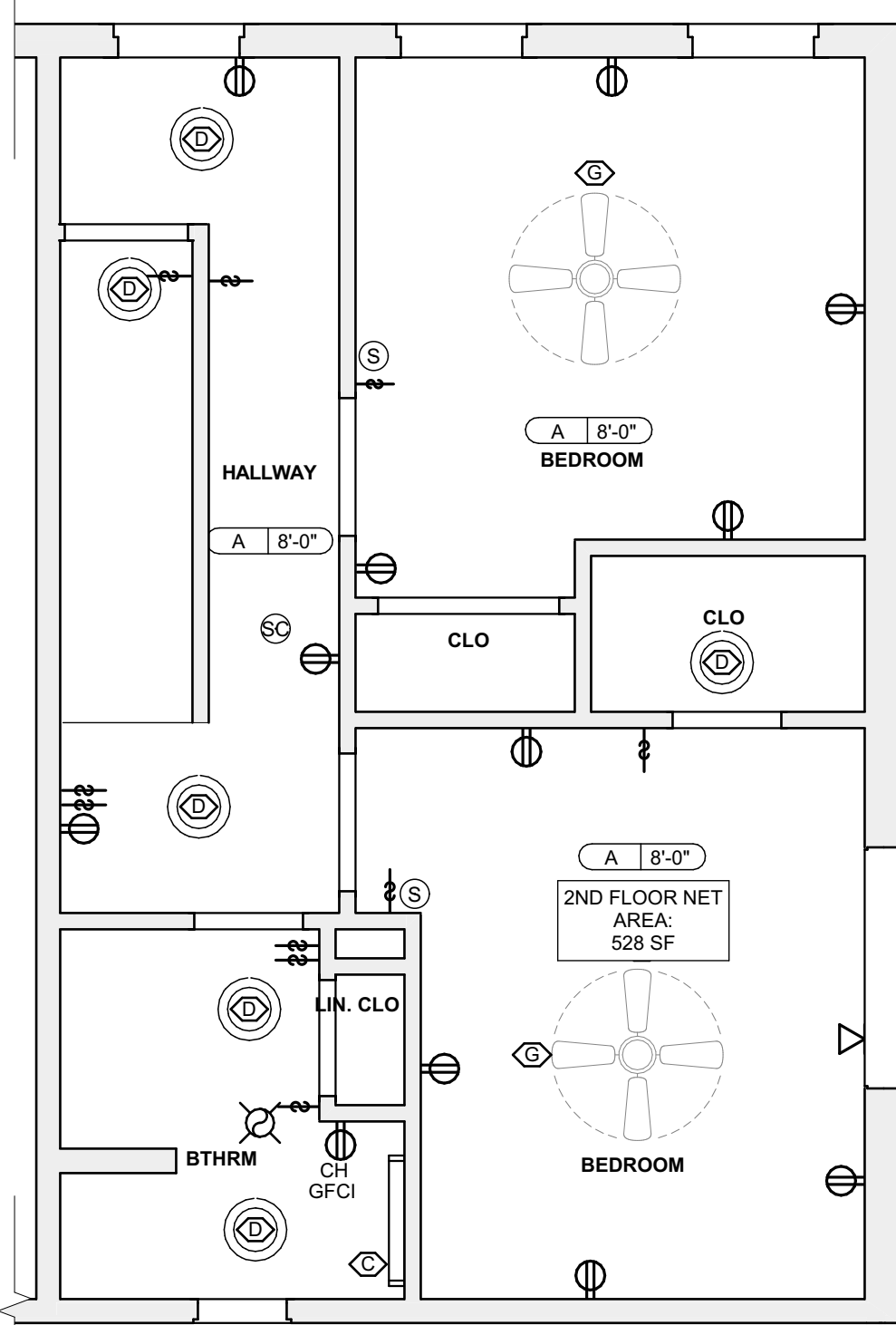
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

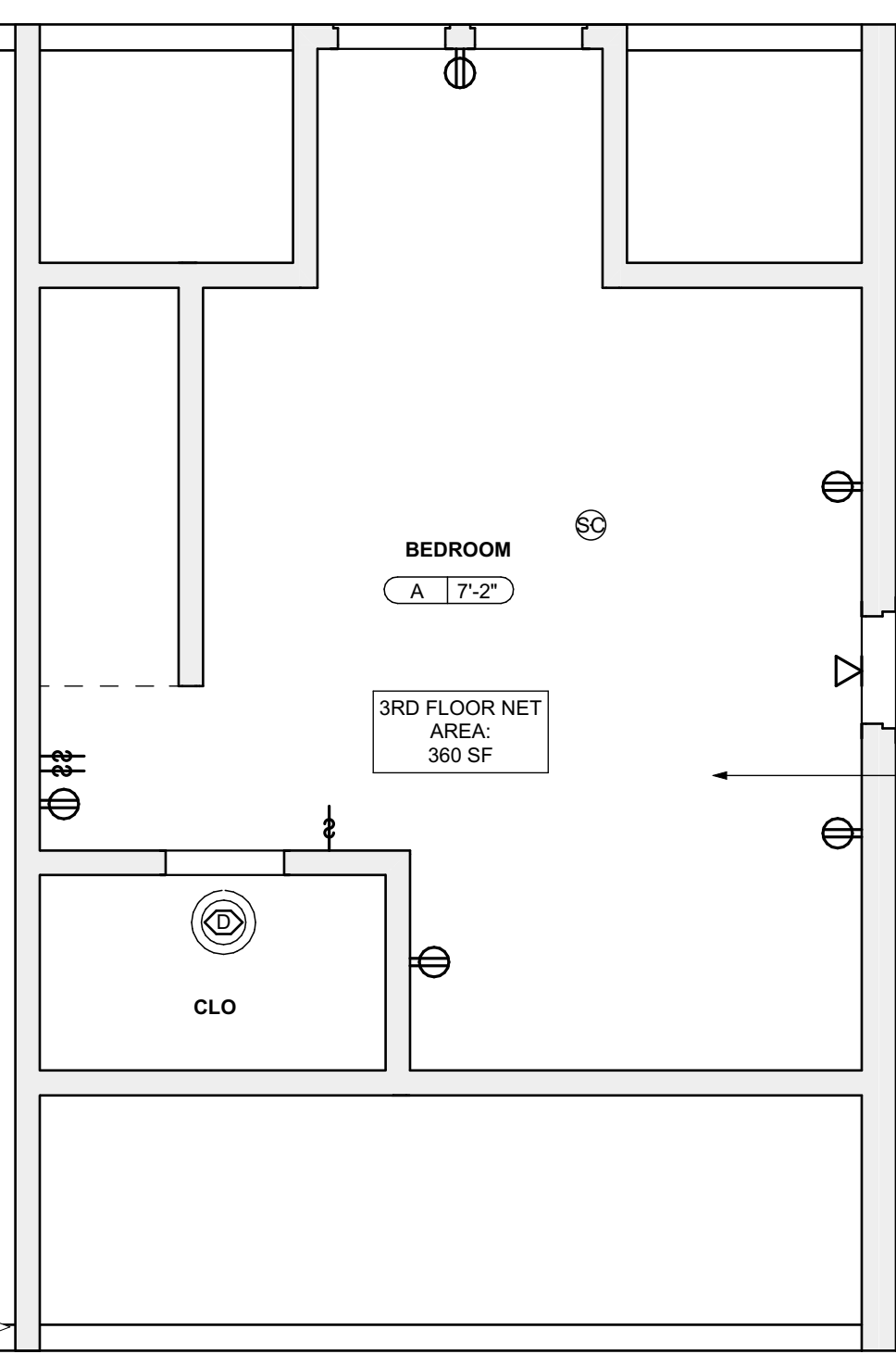
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



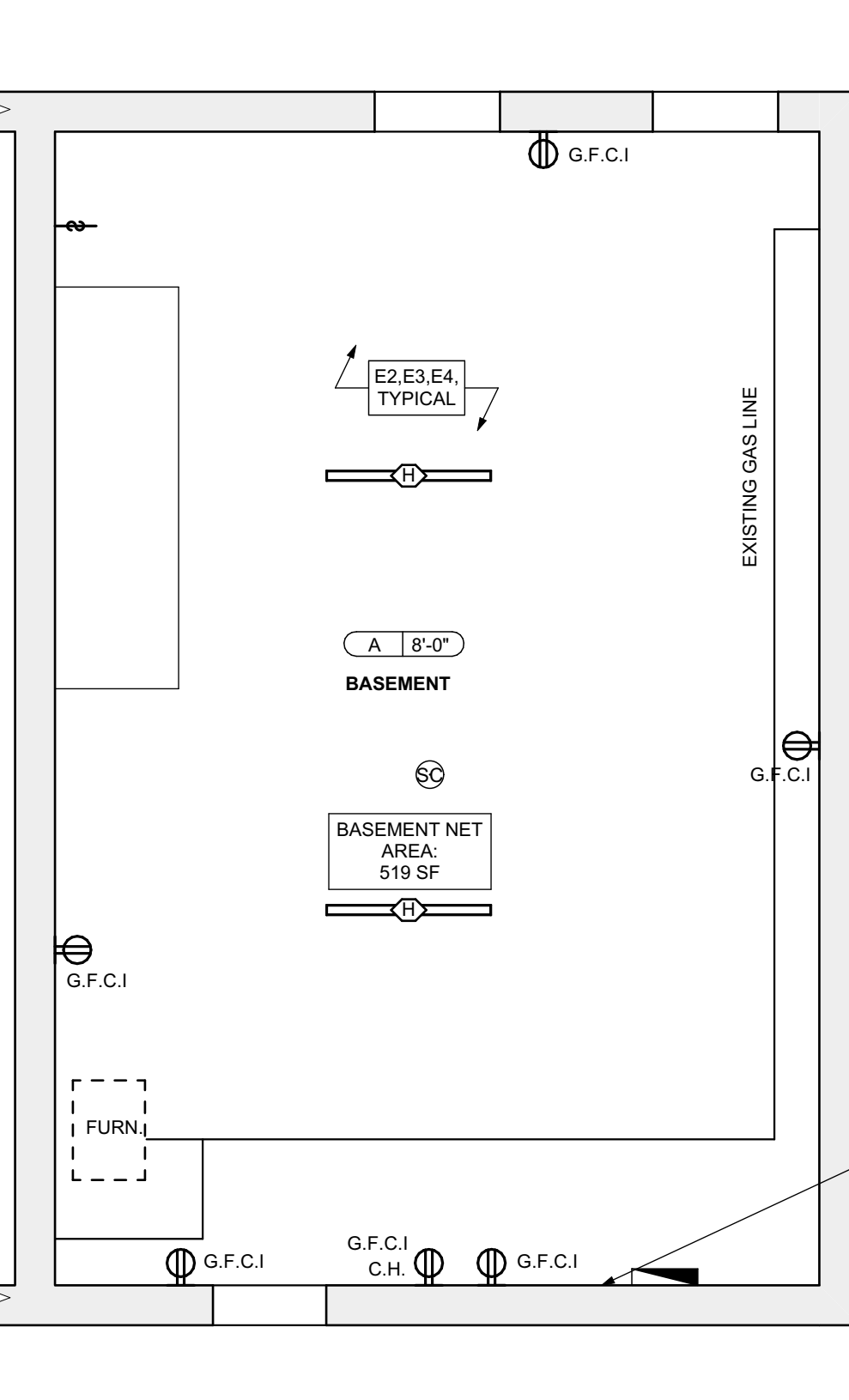
3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



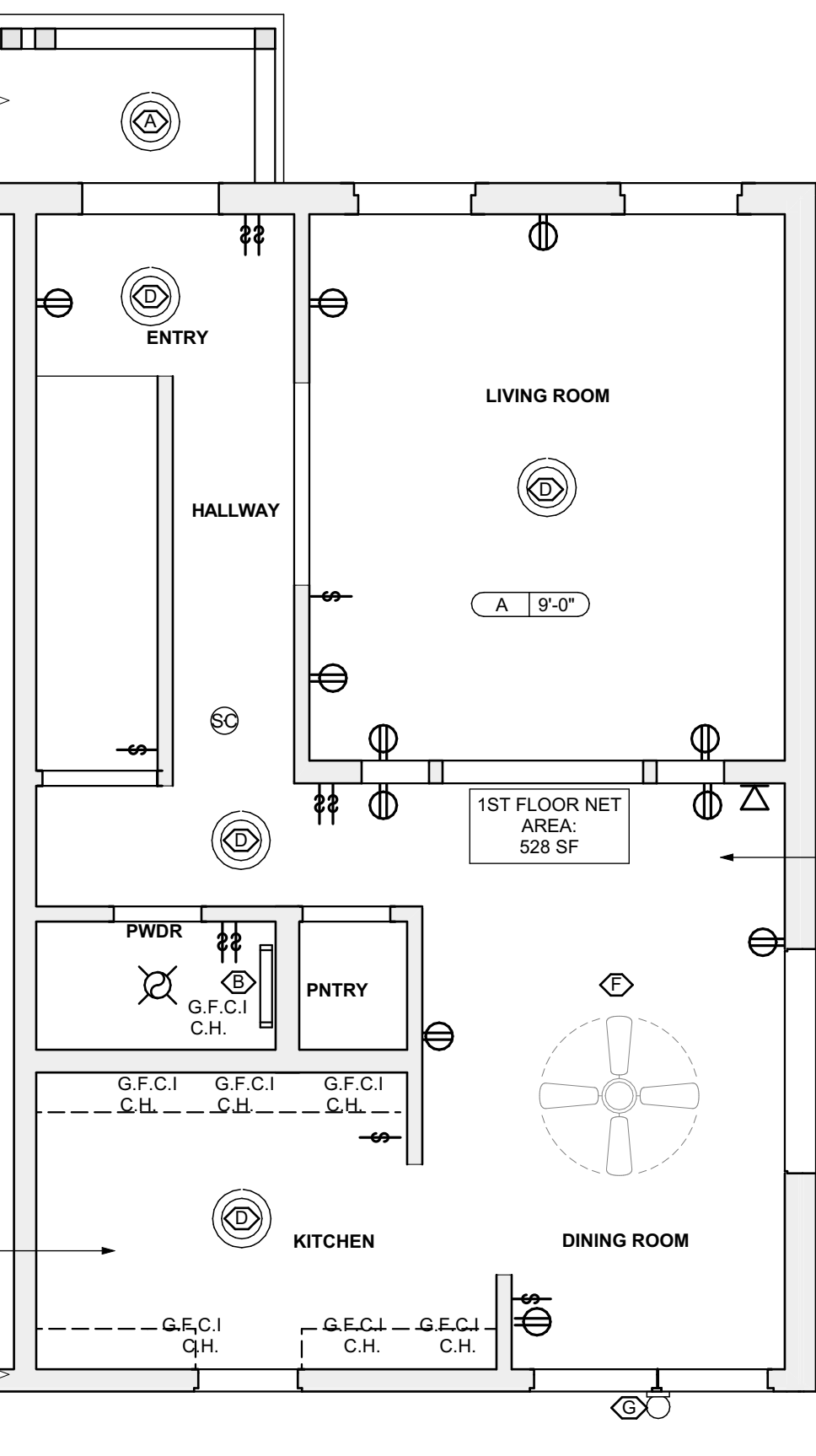
4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BSMT. REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



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ISSUED FOR PERMIT: 05.06.2022

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 HACP
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 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1101 PENNSYLVANIA AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
 As Noted

date
 May 6, 2022

no. of
 9 12

Sheet No.

A8

Project #2006

SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. V. TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. W/ REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POINTS PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/ COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/ COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE. REPLACE AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND SHEATHING AS NECESSARY. REPAIR OR REPLACE AS NECESSARY. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING LAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

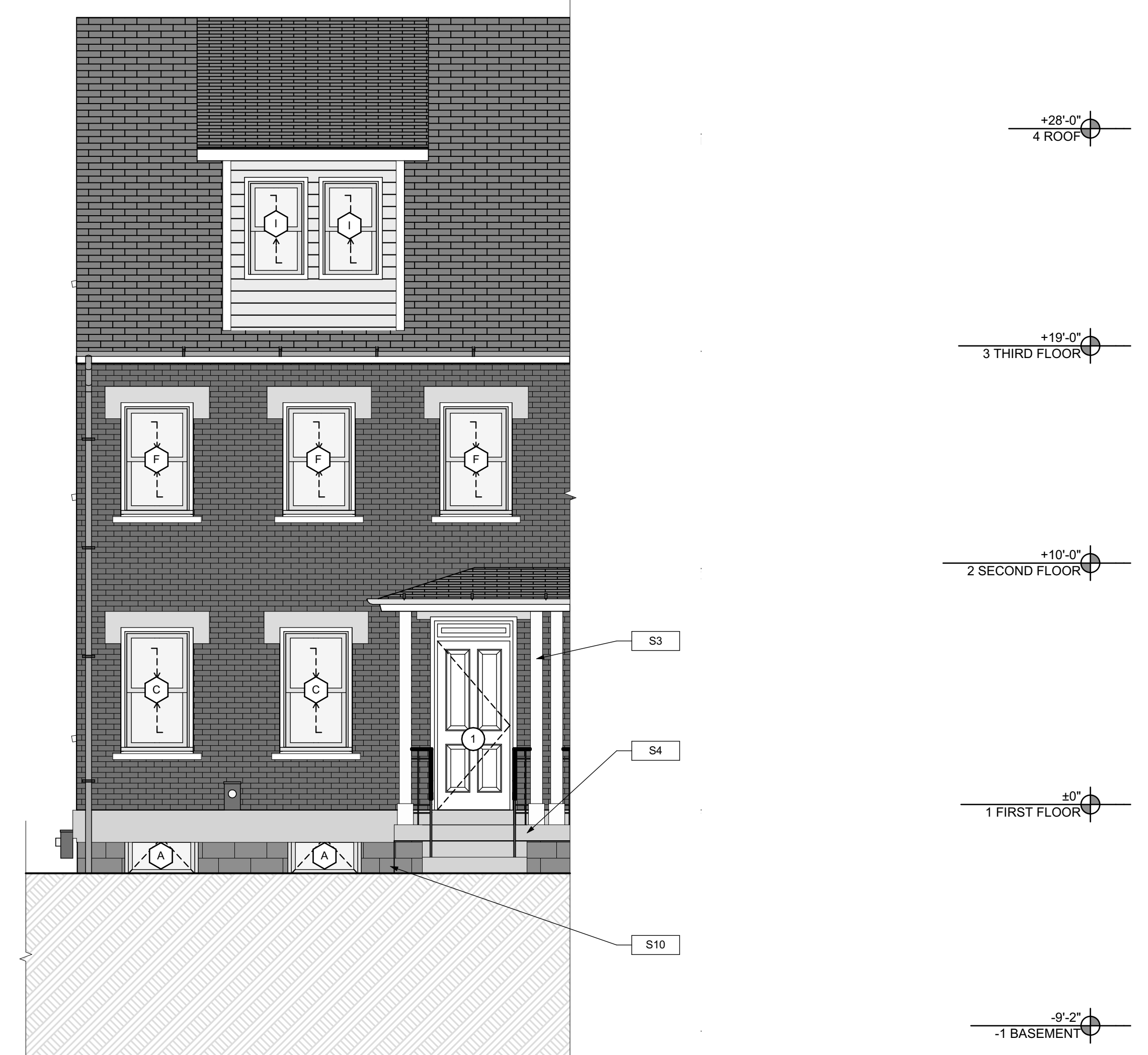
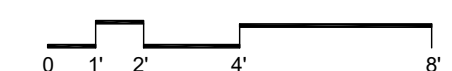
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO ADD DELIMITOR. ADDRESS ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

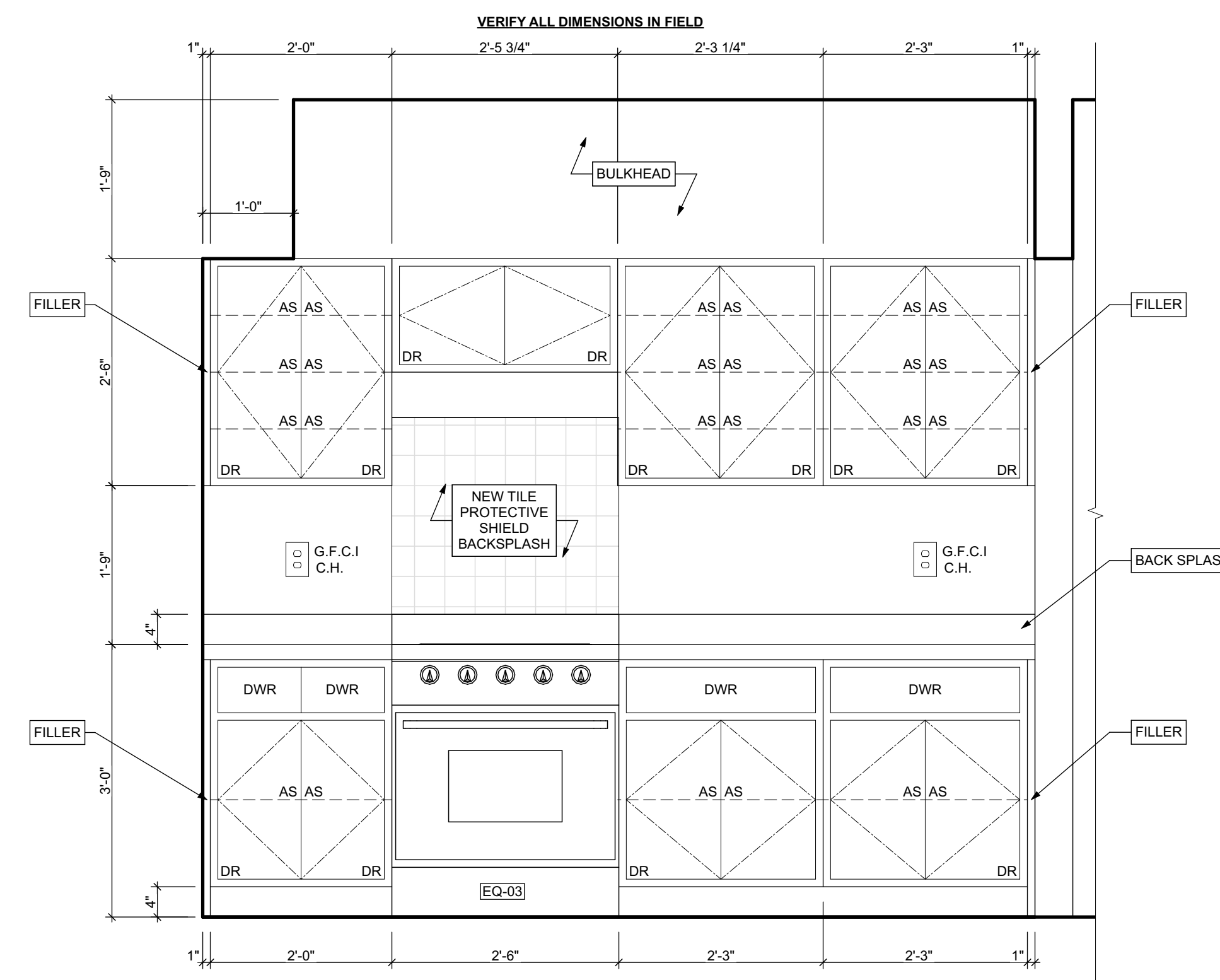


1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

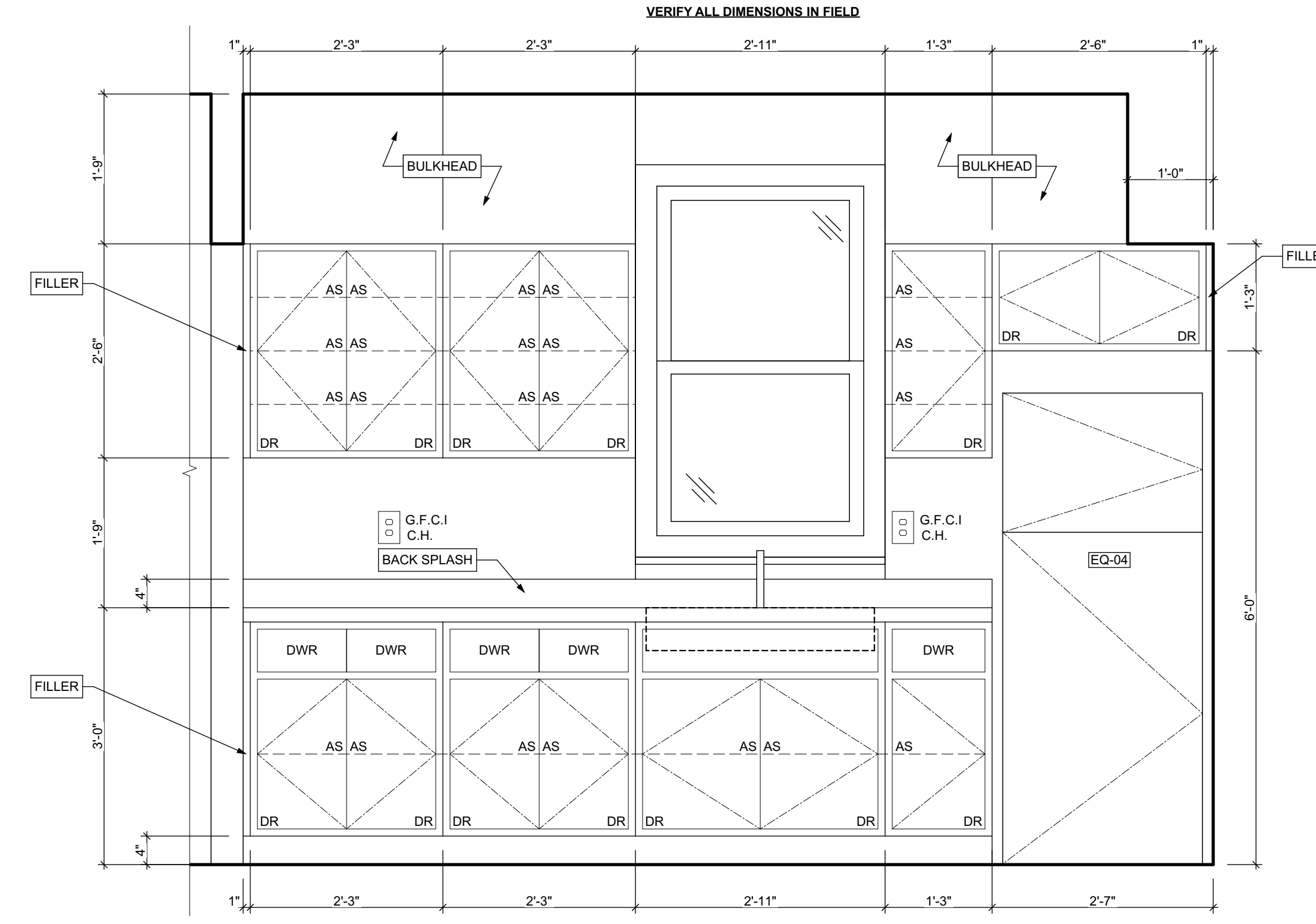
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



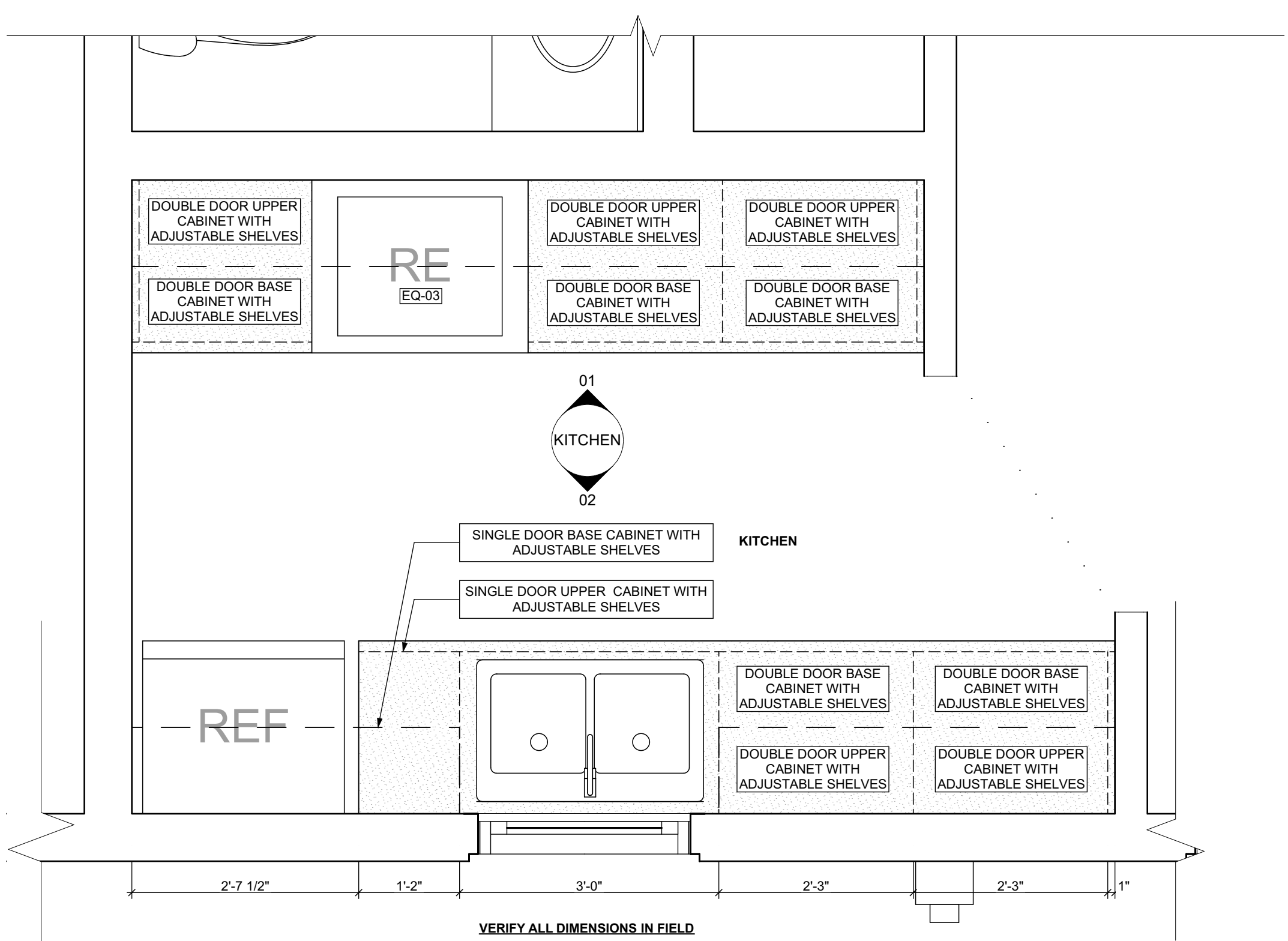
3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 18	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radiation, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2D800	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
LVATORY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Ciarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60"L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T268E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTLAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GO TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

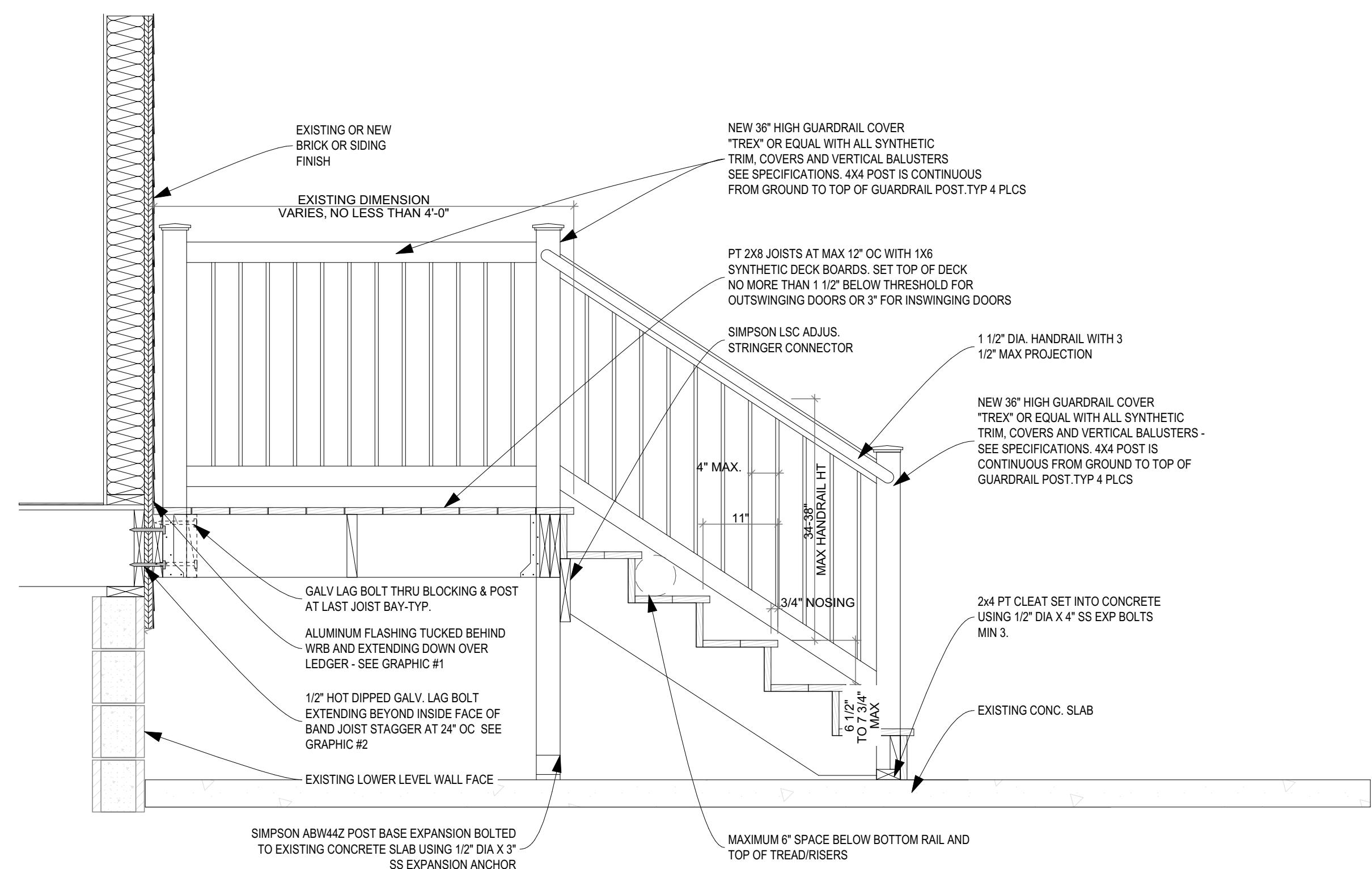
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1101 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

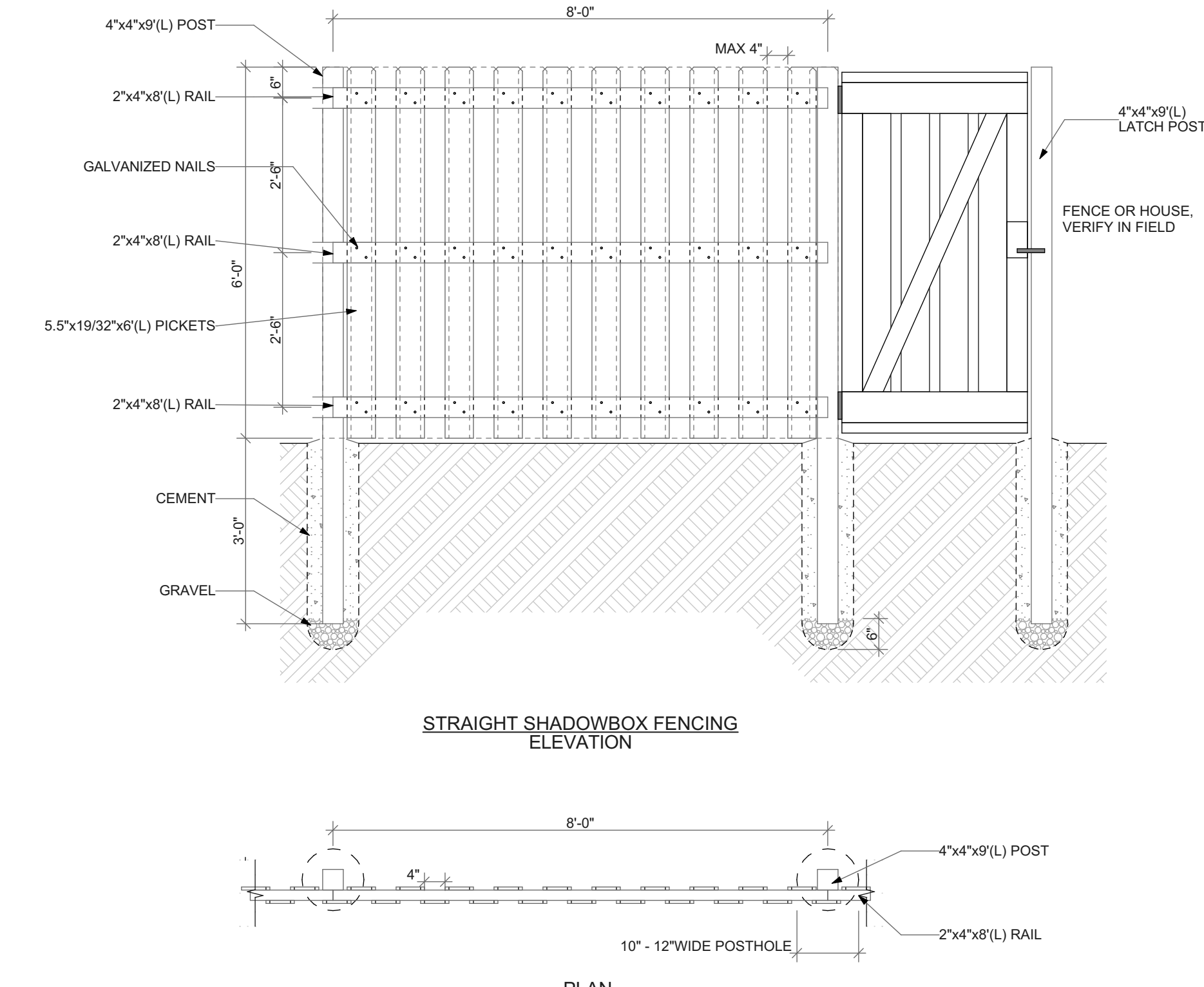
KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

scale As Noted	Sheet No. A9 Project #2006
date May 6, 2022	
no. 10	of. 12

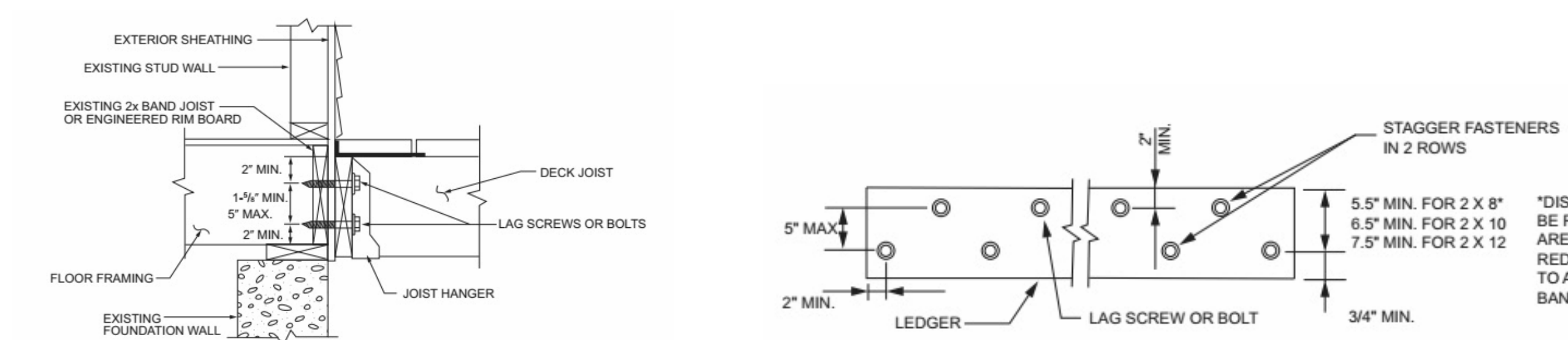


STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

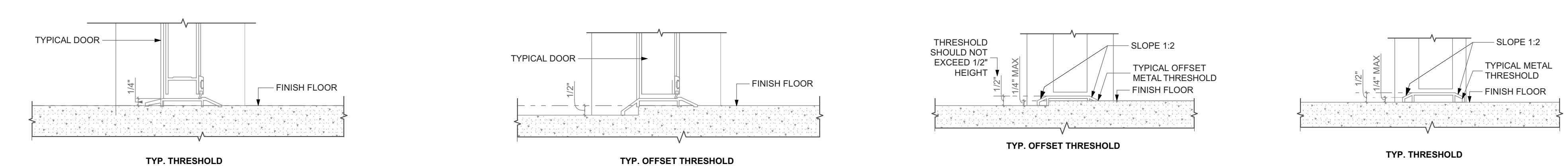
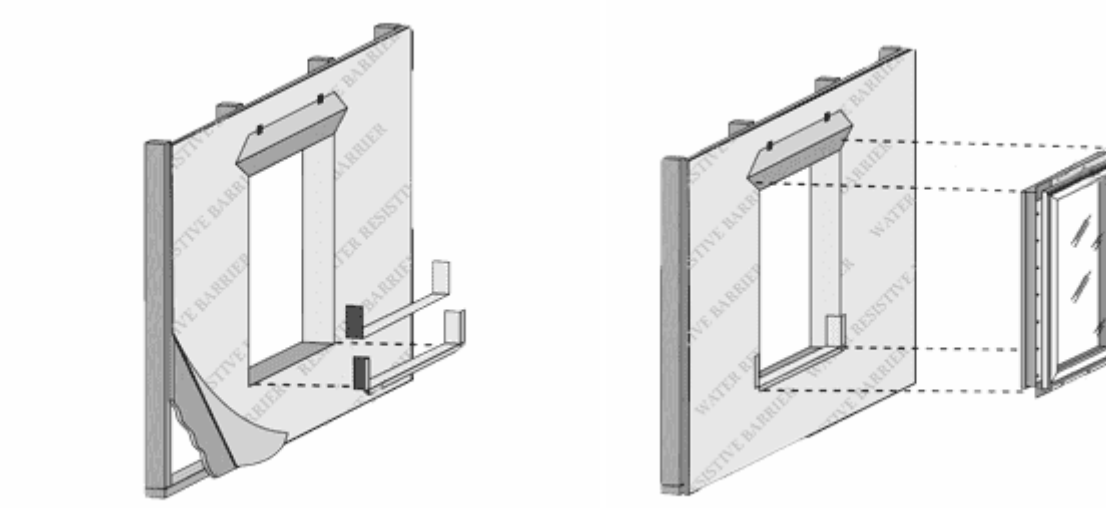
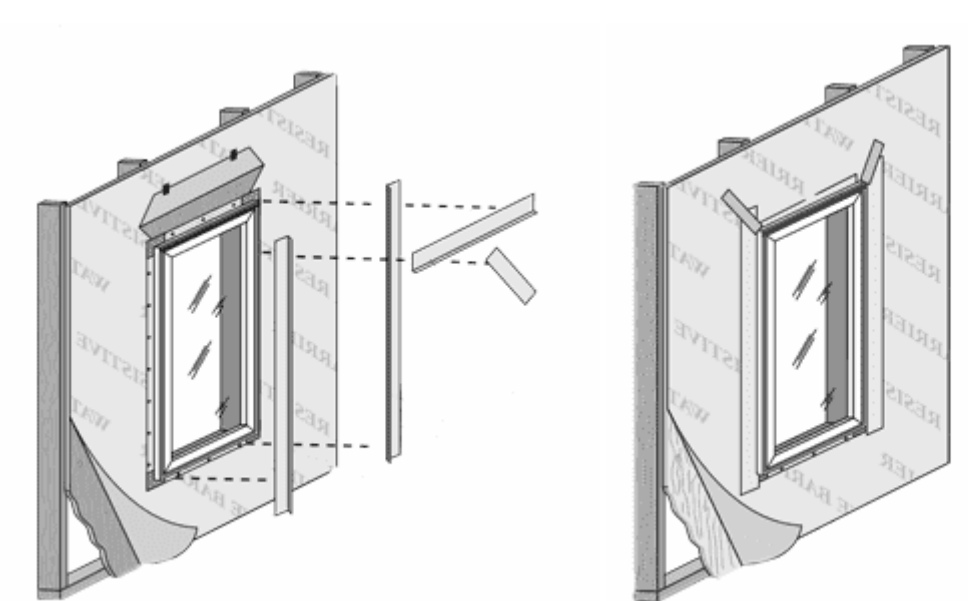
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"

5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

Project Location:
MANCHESTER SCATTERED SITES
1101 PENNSYLVANIA AVENUE
PITTSBURGH, PENNSYLVANIA
15233

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1104 W NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 2 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRM SET	
MANCHESTER SCATTERED SITES MAP	
CODE AND CONTACT INFO	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
DOOR TYPES	
DOOR SCHEDULE (WITH EXISTING)	
WINDOW SCHEDULE	
FINISH SCHEDULE	
SIDING WALL SECTION	
BRICK WALL SECTION	
INTERIOR STAIR DETAIL	
A3 SCOPE / GENERAL / GREEN COMMUNITY NOTES	
ENERGY NOTES	
GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF PLAN	
SITE PLAN	
ROOF PLAN NOTES	
ROOF AND SITE PLAN LEGEND	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
GENERAL DEMOLITION NOTES	
DEMOLITION PLAN LEGEND	
BASEMENT / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
SMALL UNIT KEYNOTES	
GRAPHIC SCALES	
THIRD FLOOR / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
A6 FLOOR/FINISH/MECH/PLUMB. PLANS	
FIRST FLOOR/FINISH/MECH/PLUMB. PLAN	
BASEMENT/FINISH/MECH/PLUMB. PLAN	
FLOOR PLAN LEGEND	
SMALL UNIT KEYNOTES	
GRAPHIC SCALES	
A7 FLOOR/FINISH/MECH/PLUMB. PLANS	
THIRD FLOOR/FINISH/MECH/PLUMB. PLAN	
SECOND FLOOR/FINISH/MECH/PLUMB. PLAN	
SMALL UNIT KEYNOTES	
FLOOR PLAN LEGEND	
GRAPHIC SCALES	
A8 REFLECTED CEILING / POWER / DATA PLANS	
BASEMENT REFL. CLG./ POWER / DATA PLAN	
FIRST FLOOR REFL. CLG./ POWER / DATA PLAN	
SECOND FLOOR REFL. CLG./ POWER / DATA PLAN	
THIRD FLOOR REFL. CLG./ POWER / DATA PLAN	
SMALL UNIT KEYNOTES	
RCP LEGEND	
LIGHTING SCHEDULE	
GRAPHIC SCALES	
A9 ELEVATIONS	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
WEST ELEVATION	
SMALL UNIT KEYNOTES	
A10 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION 02	
KITCHEN ELEVATION 03	
KITCHEN ELEVATION 01	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,521 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

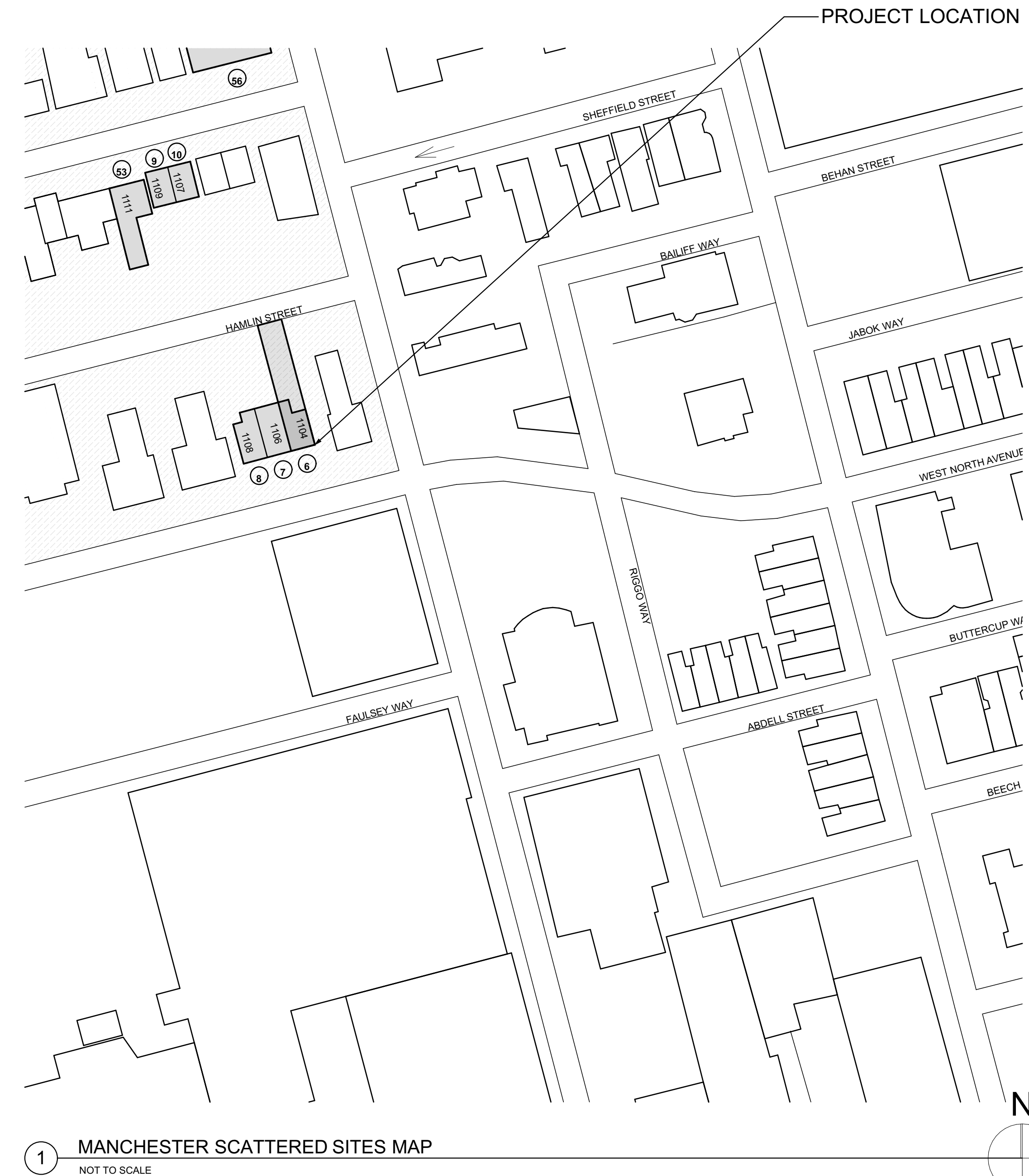
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 205 Ross Street Pittsburgh, PA 15219 ph: 412.251.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

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revisions

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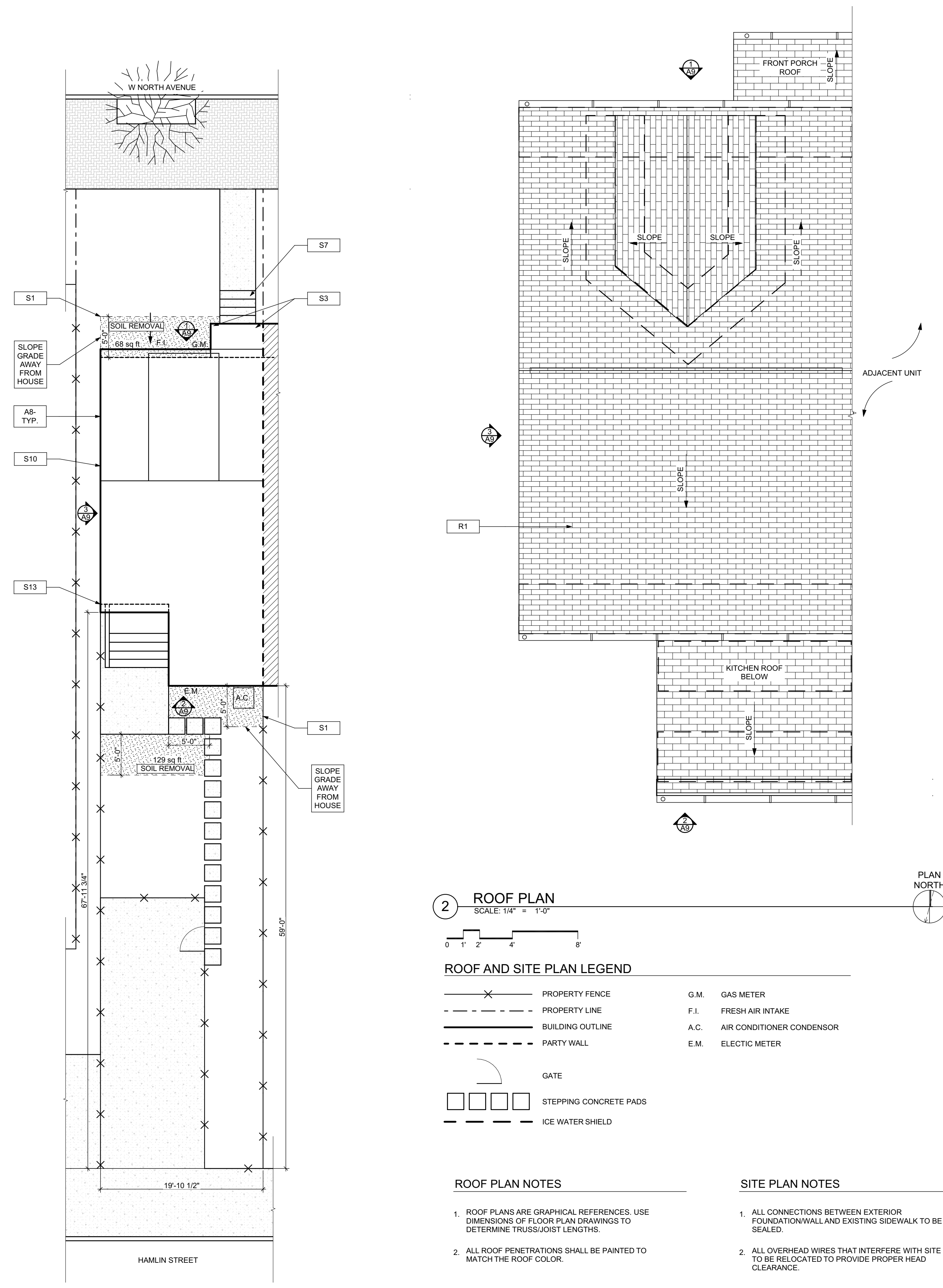
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Project Location:
MANCHESTER SCATTERED SITES
1104 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**MANCHESTER SCATTERED SITES
MAP, ARCH PRM SET, CODE
AND CONTACT INFO**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	13	



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF AND SITE PLAN LEGEND

---	PROPERTY FENCE	G.M.	GAS METER
- - -	PROPERTY LINE	F.I.	FRESH AIR INTAKE
---	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
- - -	PARTY WALL	E.M.	ELECTRIC METER
⌢	GATE		
□ □ □	STEPPING CONCRETE PADS		
---	ICE WATER SHIELD		

- ROOF PLAN NOTES**
- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
 - ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.
- SITE PLAN NOTES**
- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
 - ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- S1 AT LOCATION SHOWN, REMOVE ± 2" OF TOPSOIL, PROVIDE CLAY CHIP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKING AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYING OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS AS NECESSARY. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE AND PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION. FOR NEW PERMANENT COLUMN, SAWCUT EXISTING TRUSS. FOR NEW STANDARD ZXX11 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EXISTING DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINOUS PINK IN SPACE TO MITIGATE MOISTURE CONTROLLED AIR. ADD DELUMINOUS PINK. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

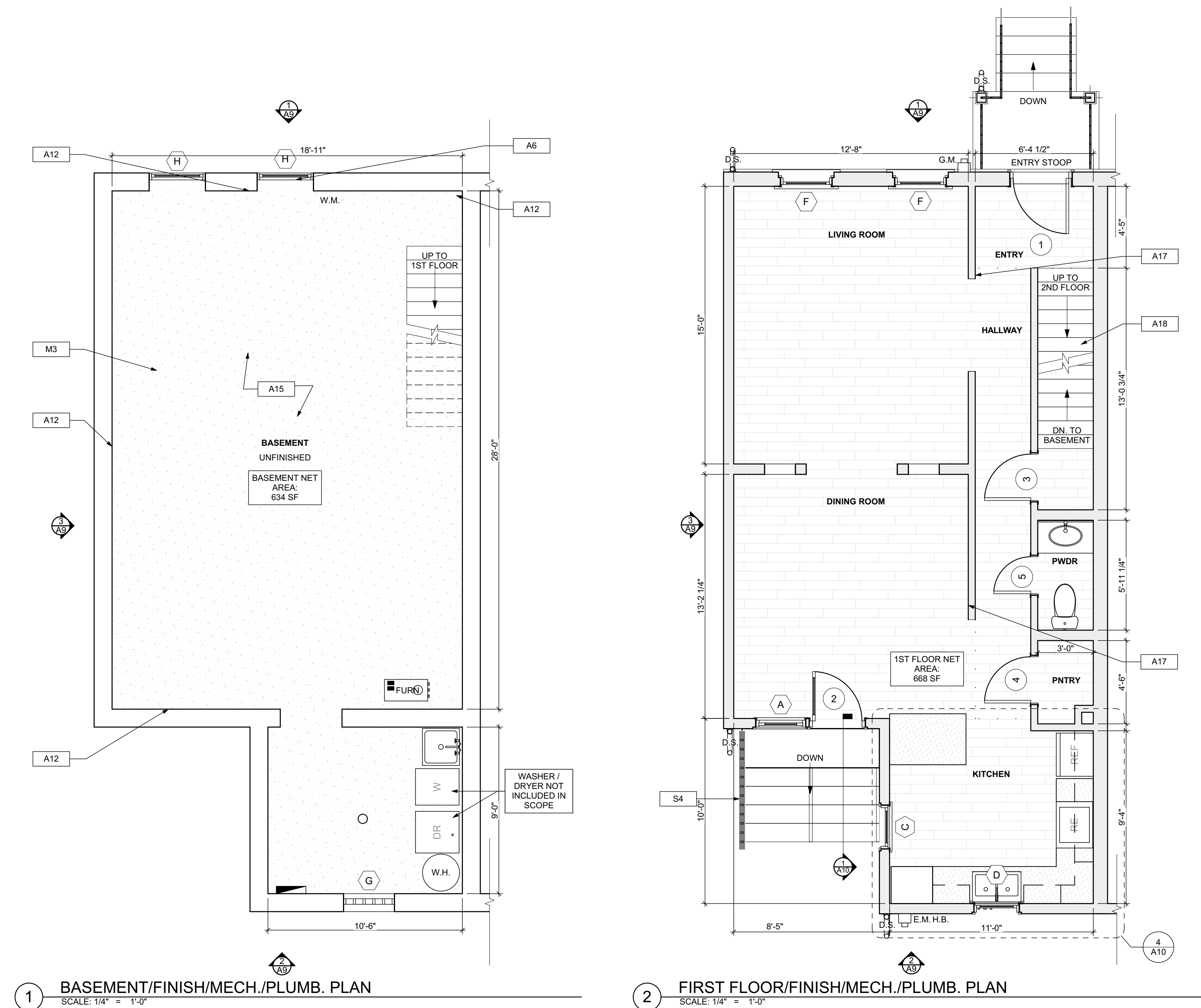
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1104 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	5	A4
of.	13	
Project #2006		



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COUSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS TO BE REPAIRED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING WOOD PERMANENT COLUMN. SAWCUT EXISTING WOOD AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
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- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELUMINESCER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

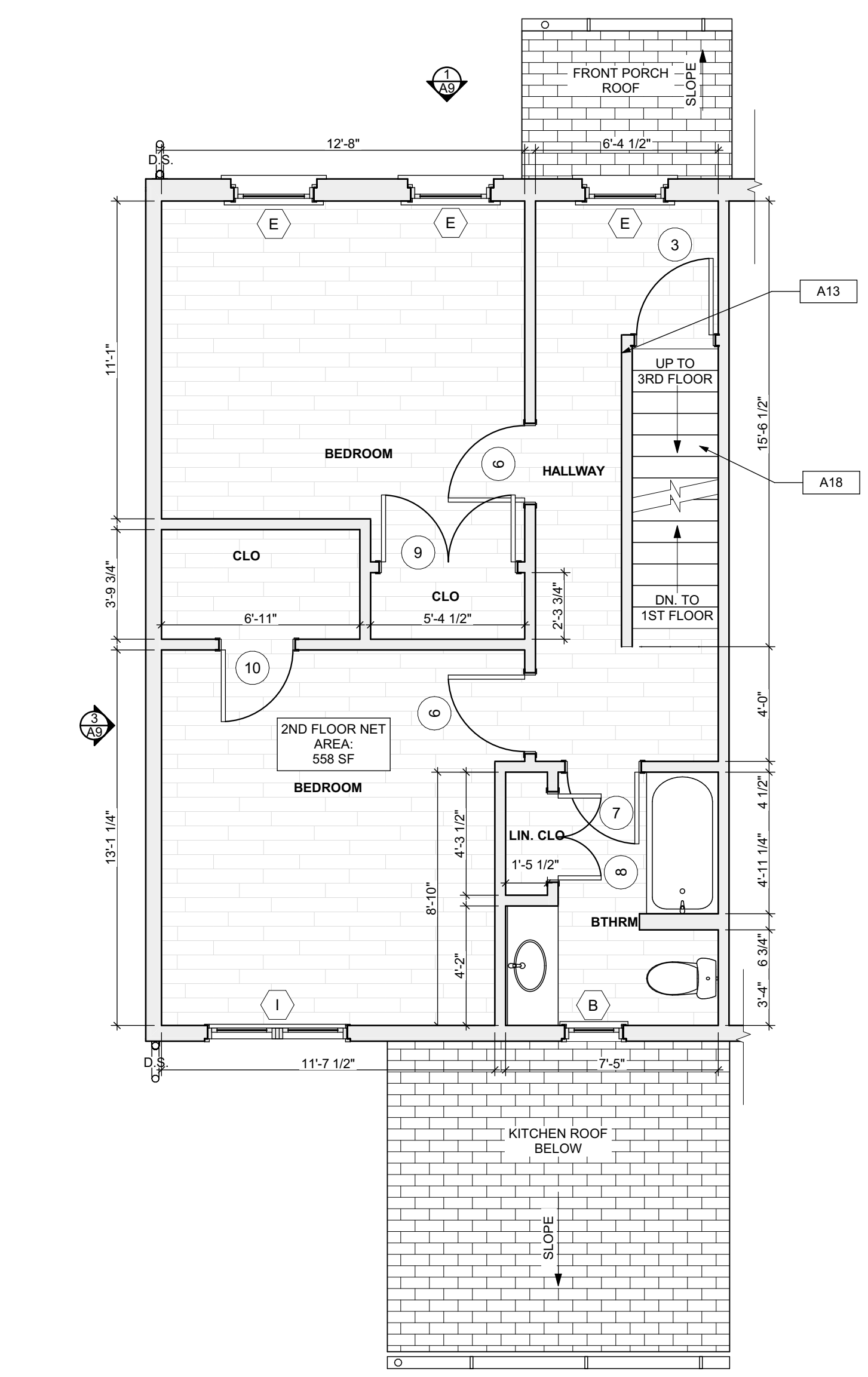
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1104 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

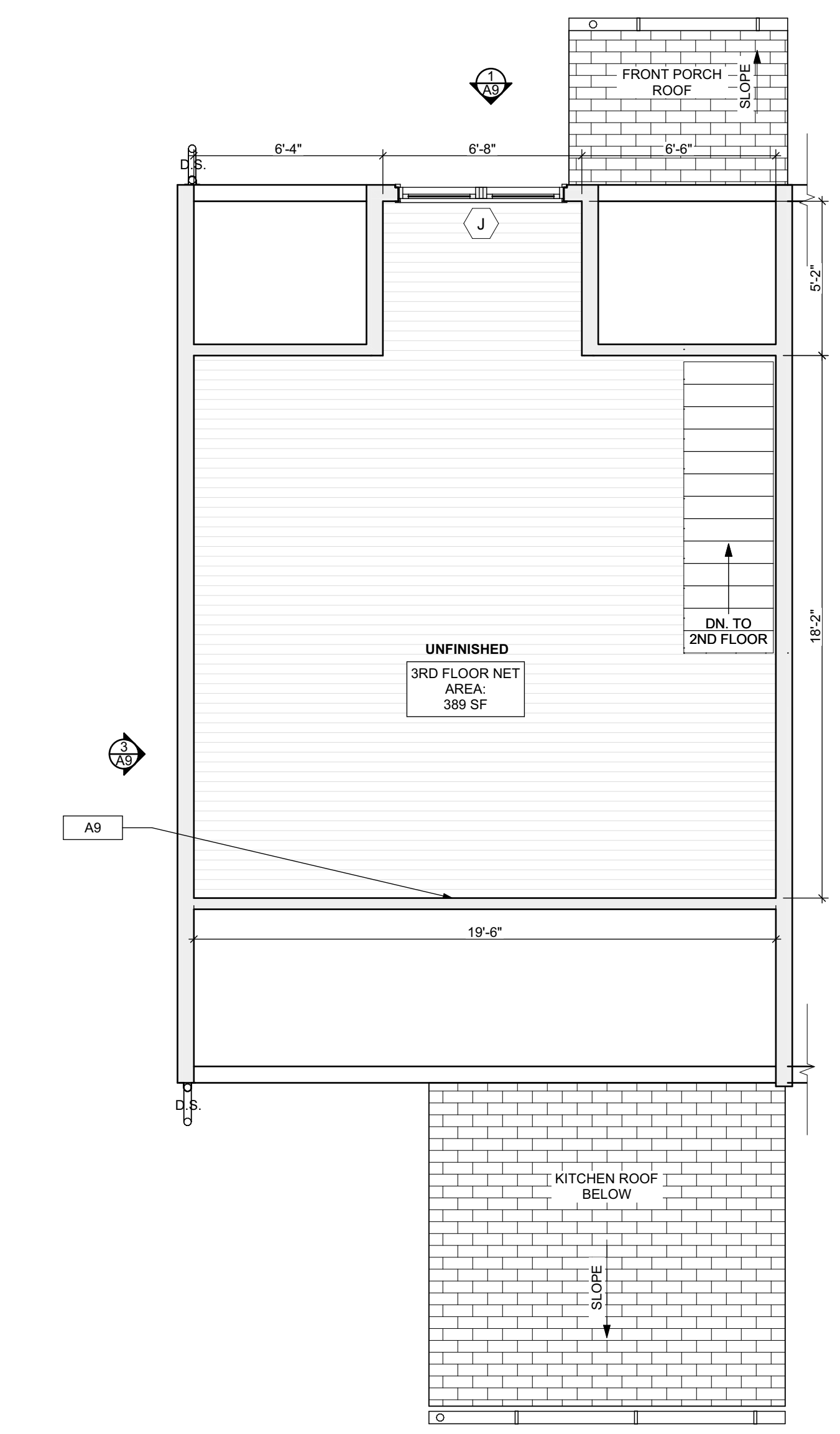
drawing title

BASEMENT/FINISH/MECH./PLUMB B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	A6 Project #2006
of.	13	



1 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

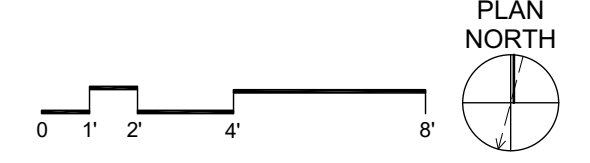


2 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- [FR] FRIDGE
- [R] RANGE
- [GUR] GAS FURNANCE
- [US] UTILITY SINK
- [W] WASHER
- [WH] WATER HEATER
- [DS] DOWN SPOUT
- [EM] ELECTRIC METER
- [HB] HOSE BIBB
- [DR] DRYER

SCOPE REDUCTION:
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- SITE**
- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE BUILDING. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS AS NECESSARY. REPAIR AND FINISH. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING W/4x FOR NEW STANDARD 2"x4". SPREAD FOOTING AND BRACE COLUMN FOR FLUTES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.**
- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

- MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.**
- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BIR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR QUALITY. ADD DELIMITOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright there to.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1104 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, SMALL UNIT KEYNOTES, FLOOR PLAN LEGEND, GRAPHIC SCALES

scale	As Noted
date	May 6, 2022
no.	8 of 13

Sheet No.
A7
Project #2006

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ISSUED FOR PERMIT: 05.06.2022

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

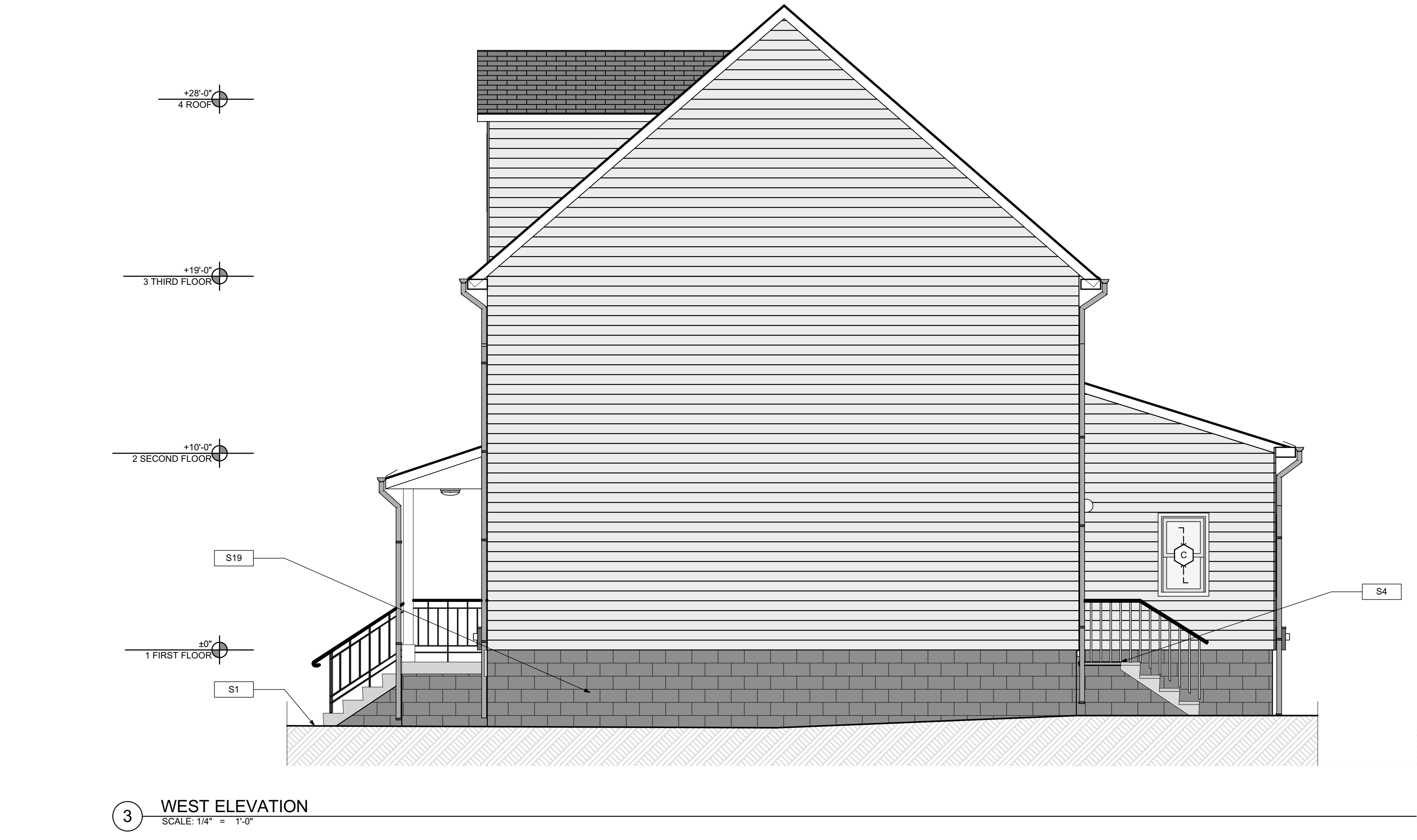
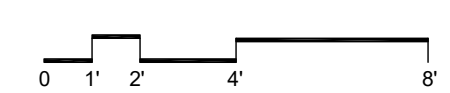
Project Location:
 MANCHESTER SCATTERED SITES
 1104 W NORTH AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

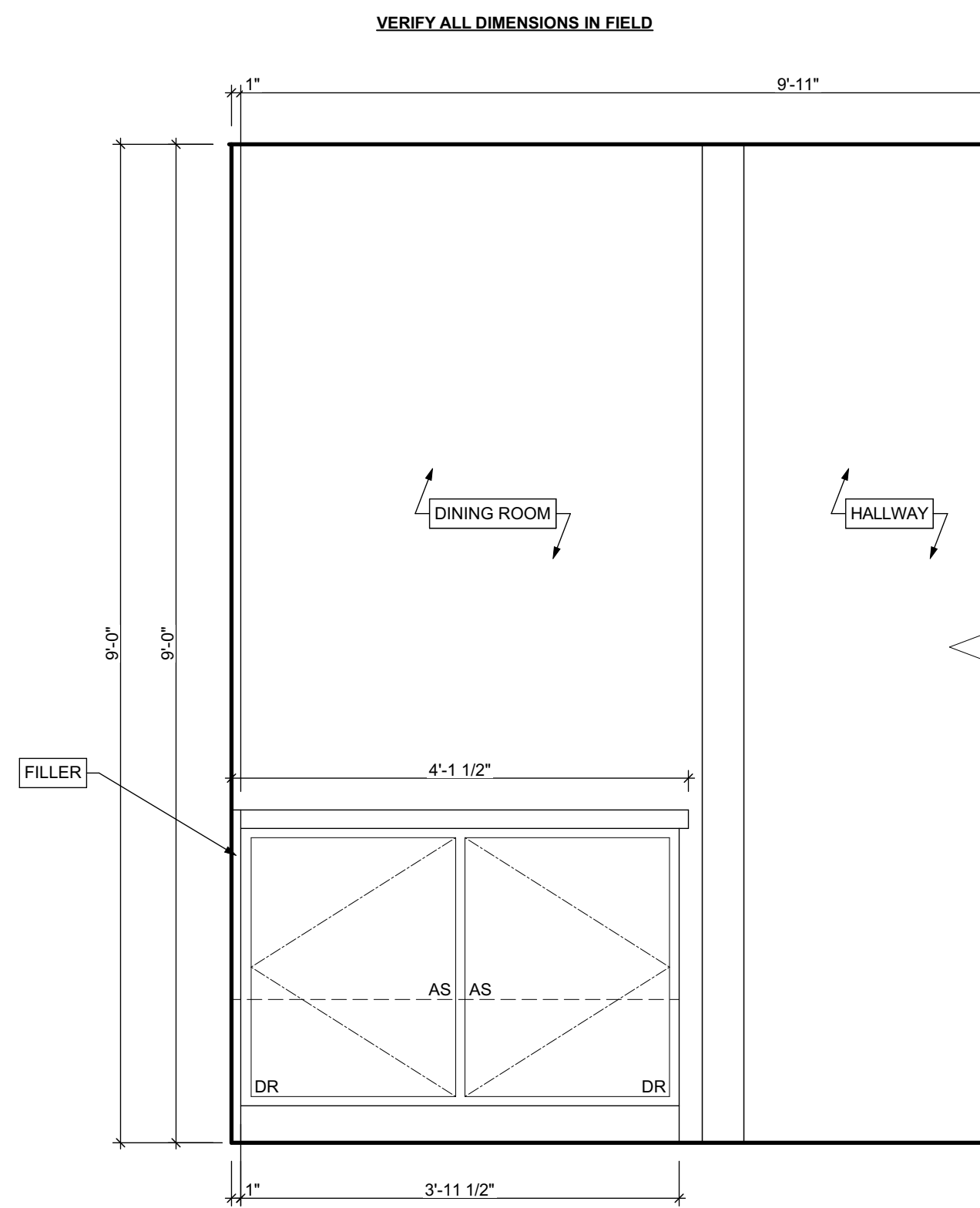
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	10	A9
of.	13	
		Project #2006

- SITE**
- S1 AT LOCATION SHOWN REMOVE ± 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. VEE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. IF CONCRETE IS PRESENT MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS. OR STAIR PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/VE COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE. REPLACE AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIMPACTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD AS NECESSARY. IF REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CHANGES FOR DETAILS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
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 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
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 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIVALENT DUCT OR PURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR AIR IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITOR AIR IN SPACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR PURNACE WITH CORRECT SIZING AS NECESSARY.

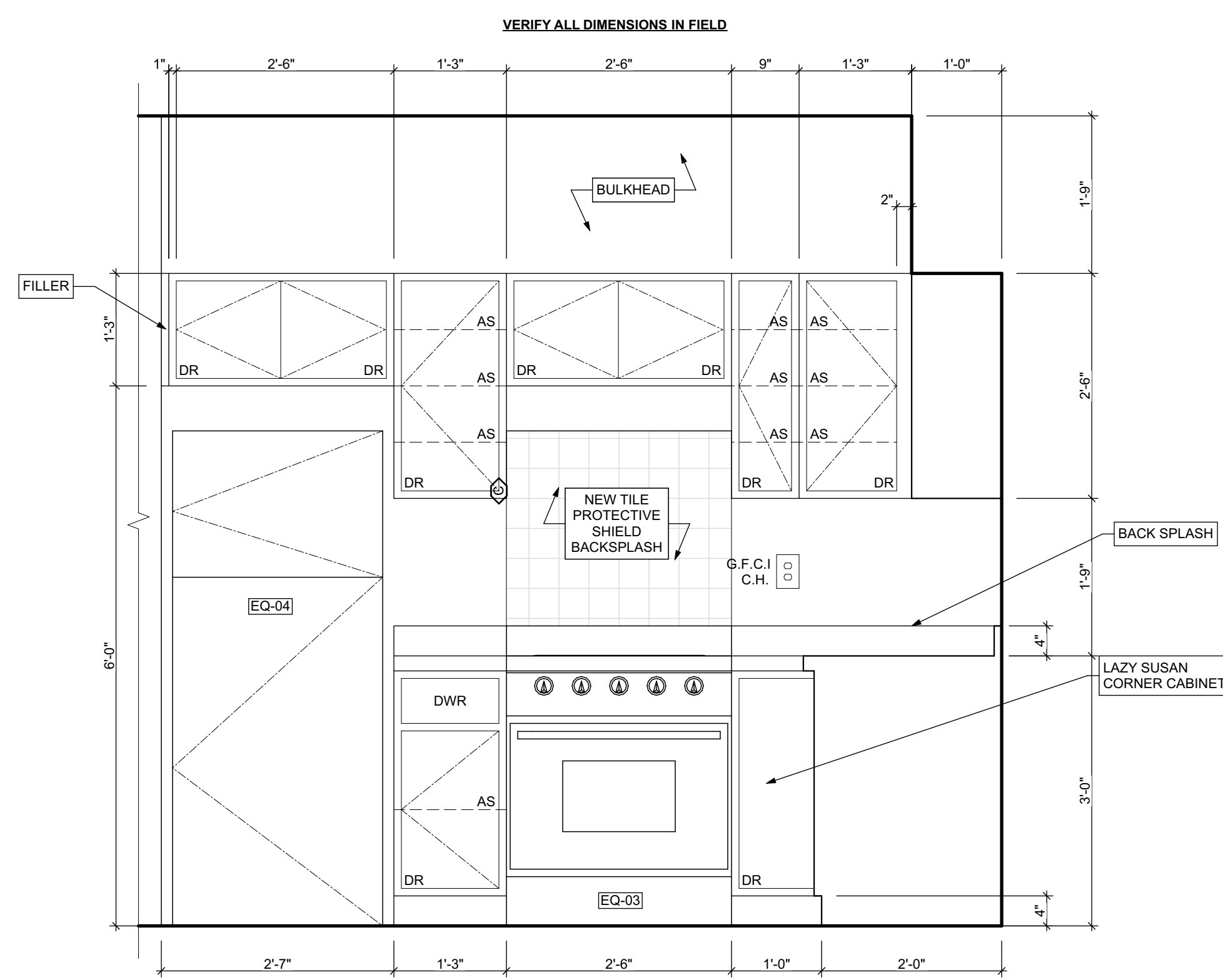
SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



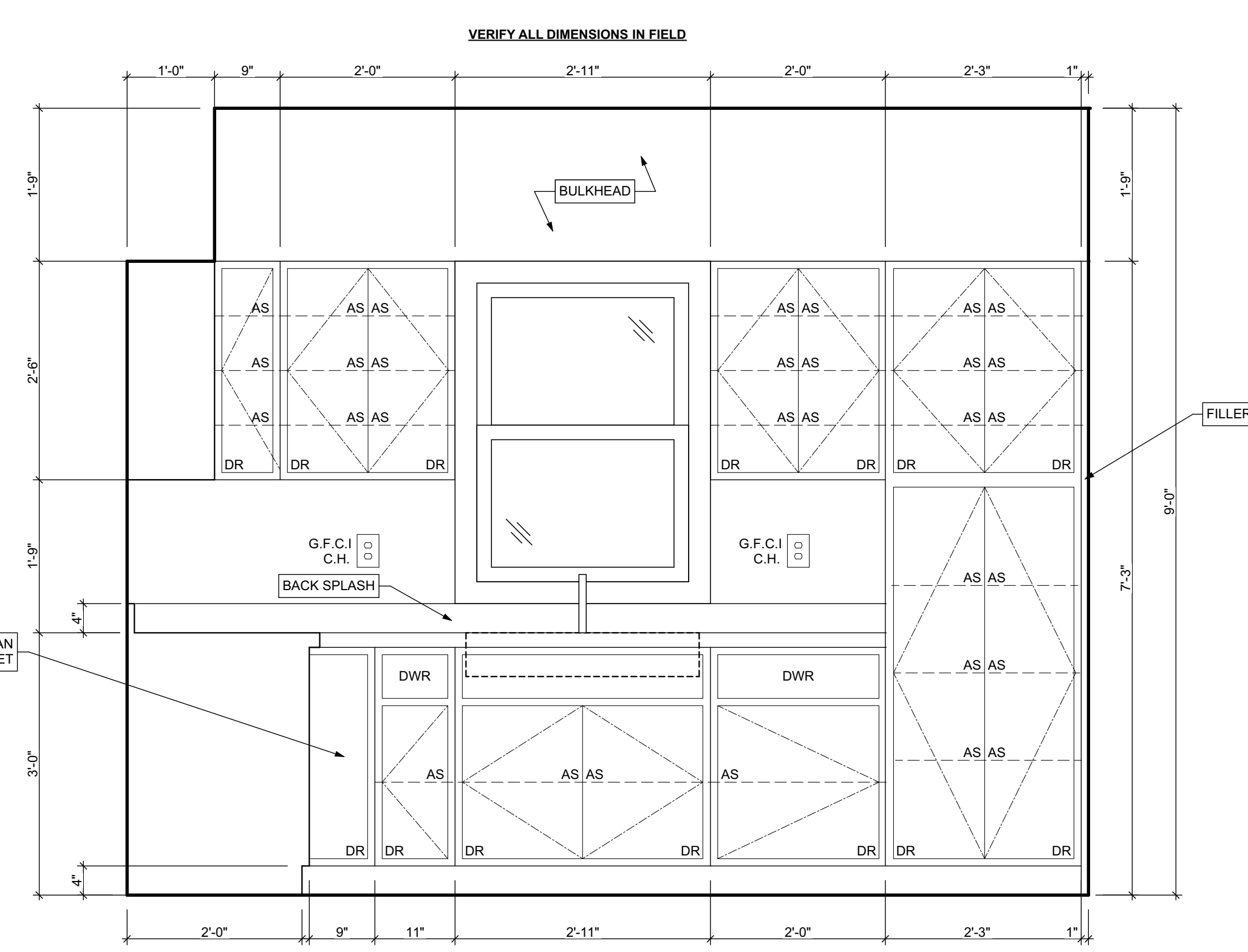
3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"

seal

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revisions

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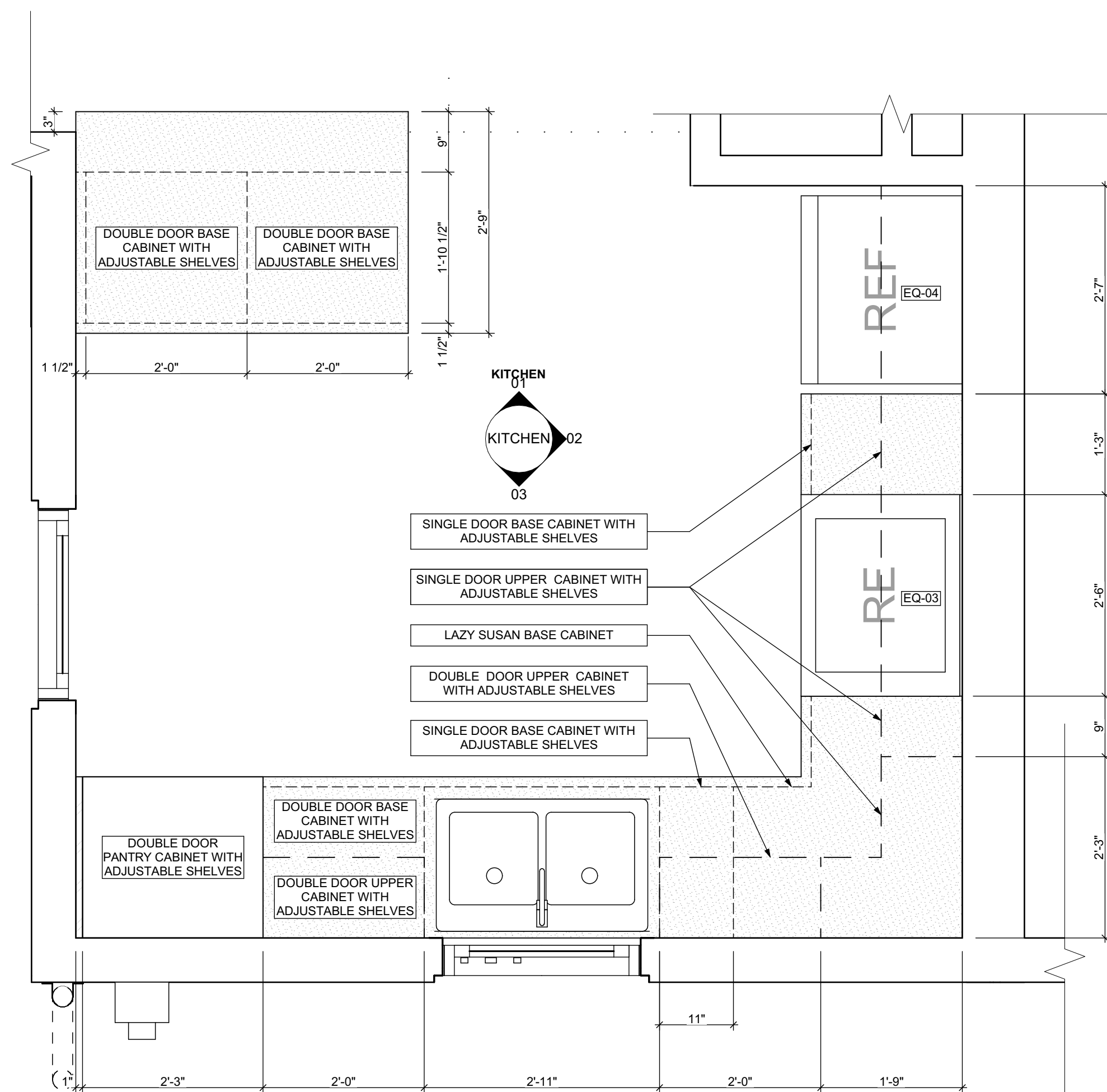
project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1104 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02,
KITCHEN ELEVATION 03, FIRST
FLOOR KITCHEN ENLARGED
PLAN



4 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radiation, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	1	A.O. SMITH	VOLTEX HYBRID Electric heat pump PROLINE® XE	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	-	0	A.O. SMITH		Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
WASHER	W	1	WHIRLPOOL	WDF330PAHB	24in black front control built in tall tub dishwasher with 1 hr wash cycle, 55 dBA
DRYER	DR	1	WHIRLPOOL	WGD4950HW	7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/4" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITIES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

scale
As Noted

date
May 6, 2022

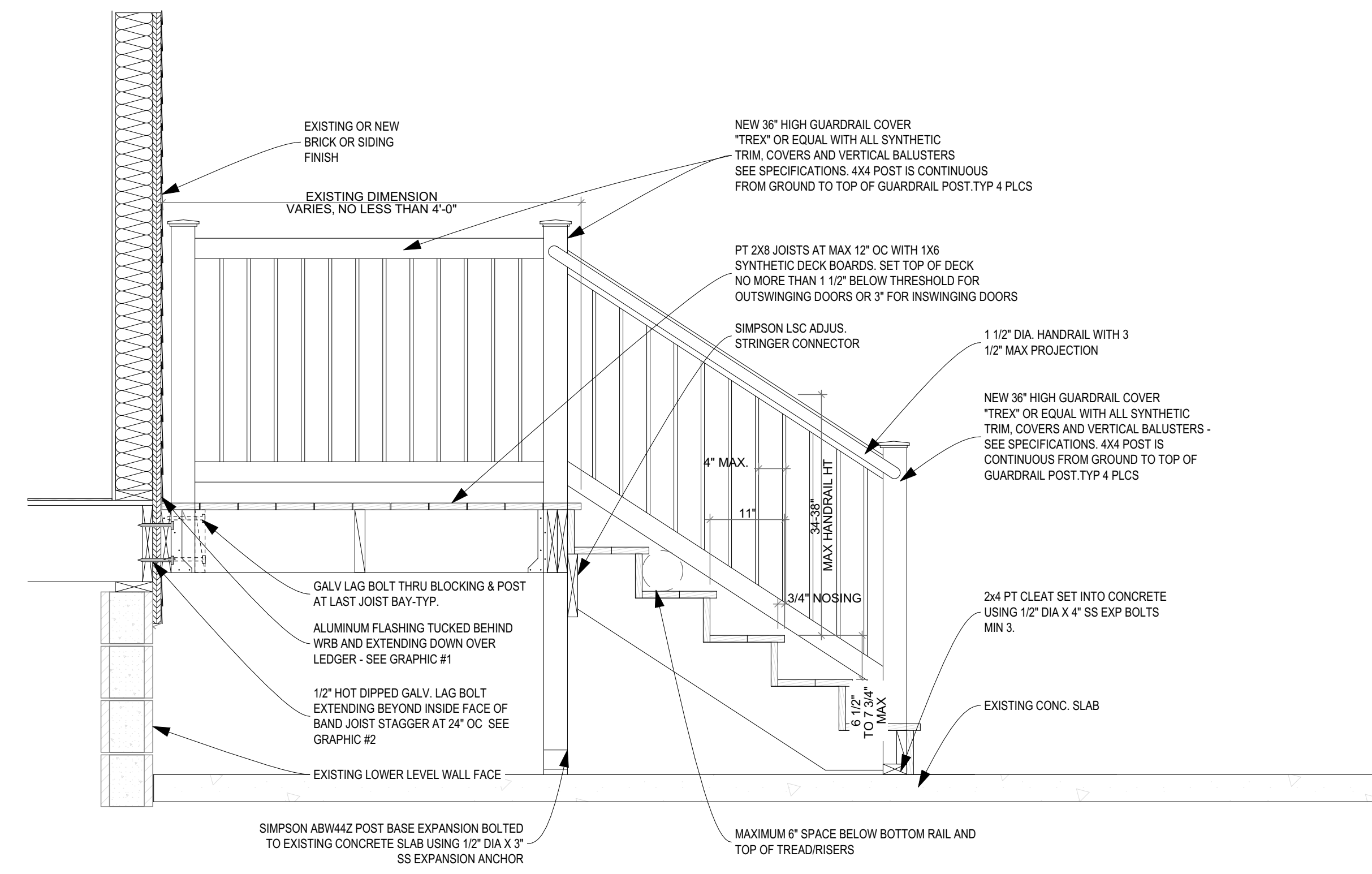
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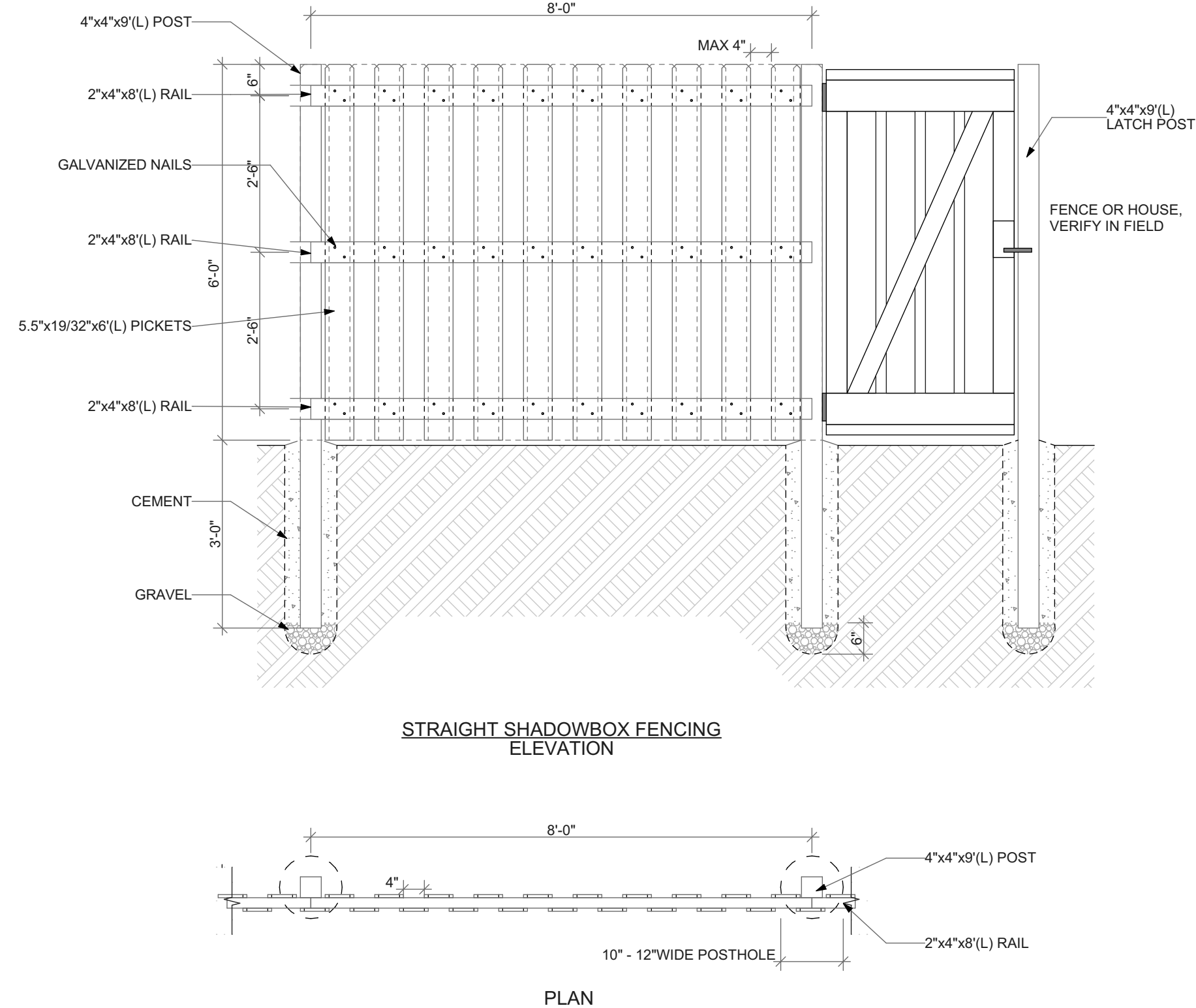
Sheet No.

A10

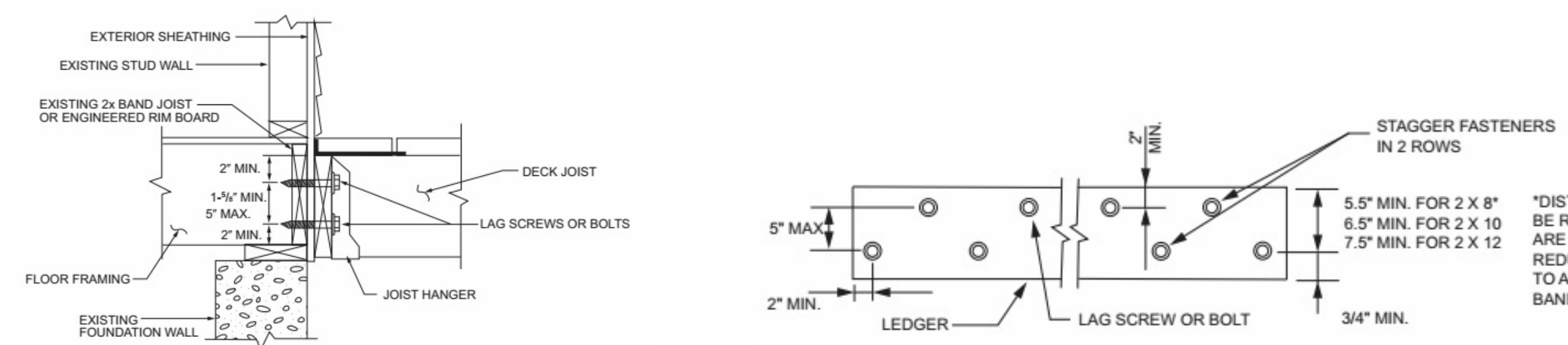
Project #2006



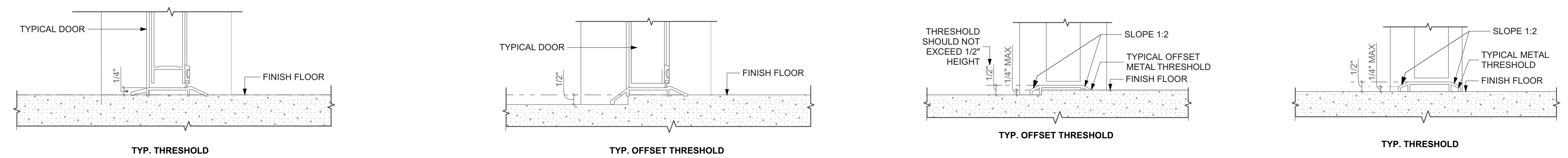
STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD
1 DECK SECTION DETAIL
 SCALE: 3/4" = 1'-0"



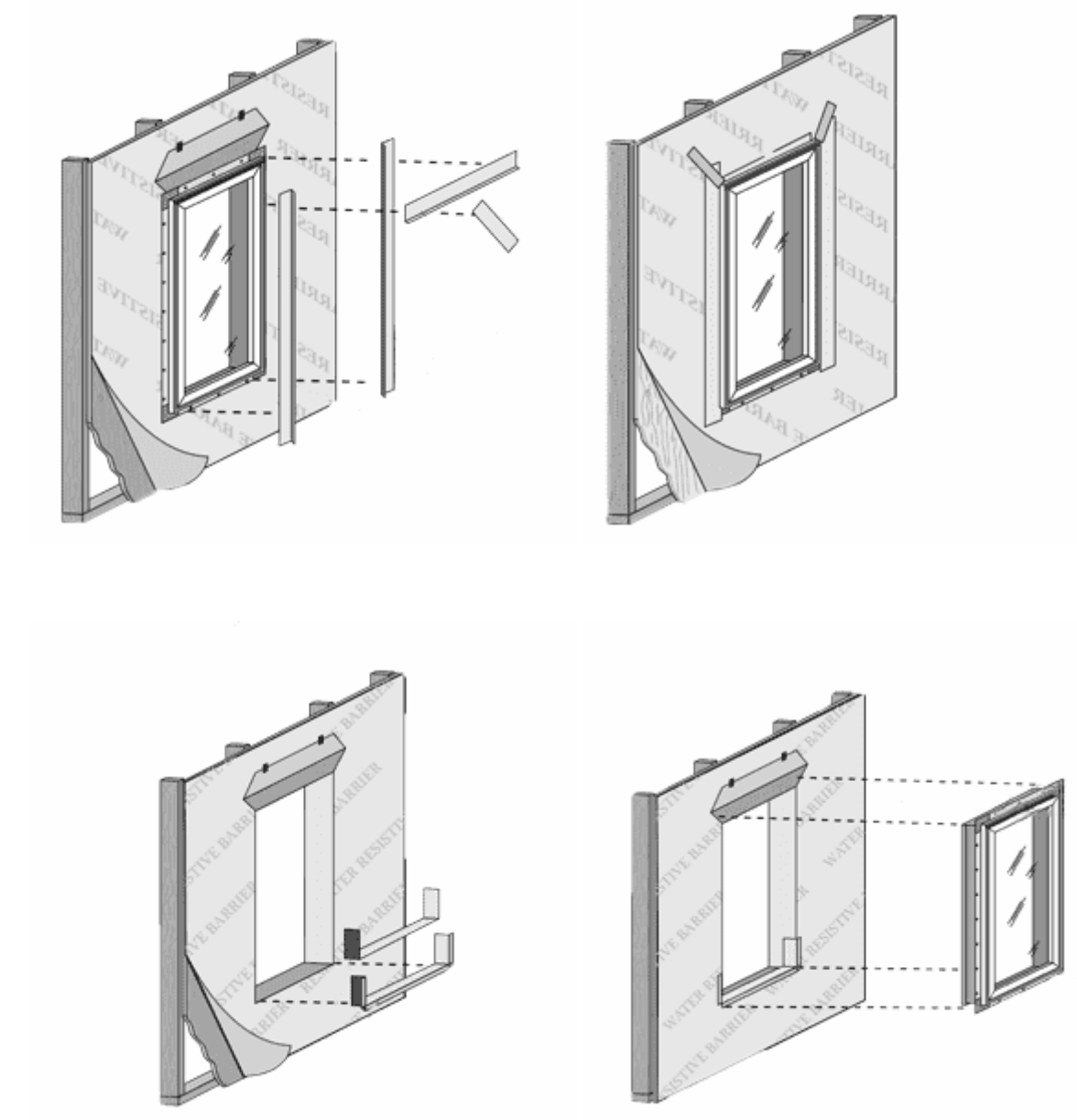
2 WOOD FENCE DETAIL
 SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
 SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
 NOT TO SCALE

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1104 W NORTH AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	12	A11
of.	13	
Project #2006		

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1106 W NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRM SET CODE AND CONTACT INFO MANCHESTER SCATTERED SITES MAP	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS DOOR TYPES DOOR SCHEDULE (WITH EXISTING) WINDOW SCHEDULE FINISH SCHEDULE BRICK WALL SECTION SIDING WALL SECTION INTERIOR STAIR DETAIL	
A3 SCOPE / GENERAL / GREEN COMMUNITY NOTES	
ROOF PLAN NOTES ENERGY NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF PLAN SITE PLAN ROOF AND SITE PLAN LEGEND GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
DEMOLITION PLAN LEGEND GENERAL DEMOLITION NOTES THIRD FLOOR / DEMO PLAN SECOND FLOOR / DEMO PLAN BASEMENT / DEMO PLAN FIRST FLOOR / DEMO PLAN SMALL UNIT KEYNOTES GRAPHIC SCALES	
A6 FLOOR/FINISH/MECH./PLUMB. PLANS	
BASEMENT/FINISH/MECH./PLUMB. PLAN FLOOR PLAN LEGEND FIRST FLOOR/FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES GRAPHIC SCALES	
A7 FLOOR/FINISH/MECH./PLUMB. PLANS	
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES FLOOR PLAN LEGEND GRAPHIC SCALES	
A8 REFLECTED CEILING / POWER / DATA PLANS	
SMALL UNIT KEYNOTES RCP LEGEND LIGHTING SCHEDULE THIRD FLOOR REFL. CLG./ POWER / DATA PLAN SECOND FLOOR REFL. CLG./ POWER / DATA PLAN BASEMENT REFL. CLG./ POWER / DATA PLAN GRAPHIC SCALES FIRST FLOOR REFL. CLG./ POWER / DATA PLAN	
A9 NORTH / SOUTH ELEVATION	
NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES	
A10 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN KITCHEN ELEVATION 02 KITCHEN ELEVATION 03 KITCHEN ELEVATION 01	
A11 DETAILS	
WOOD FENCE DETAIL DECK SECTION DETAIL DECK ENLARGED DETAILS WINDOW INSTALLATION UNDER VINYL SIDING EXTERIOR DOOR THRESHOLD	

Code Conformance Information

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,242 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner: Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Architect: Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175
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General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

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revisions

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project title

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1106 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRM SET, CODE
AND CONTACT INFO

scale
As Noted

date
May 6, 2022

no. 2 of 13

Sheet No.

A1

Project #2006

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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1106 W NORTH AVENUE
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15233

SITE PLAN, ROOF PLAN, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no. of.
5 13

Sheet No.

A4

Project #2006

SITE

- S1** AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REGRADE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2** UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3** TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4** EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WW. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5** SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WW. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6** POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7** REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8** TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9** ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10** REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11** REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12** REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13** REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14** REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1** DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

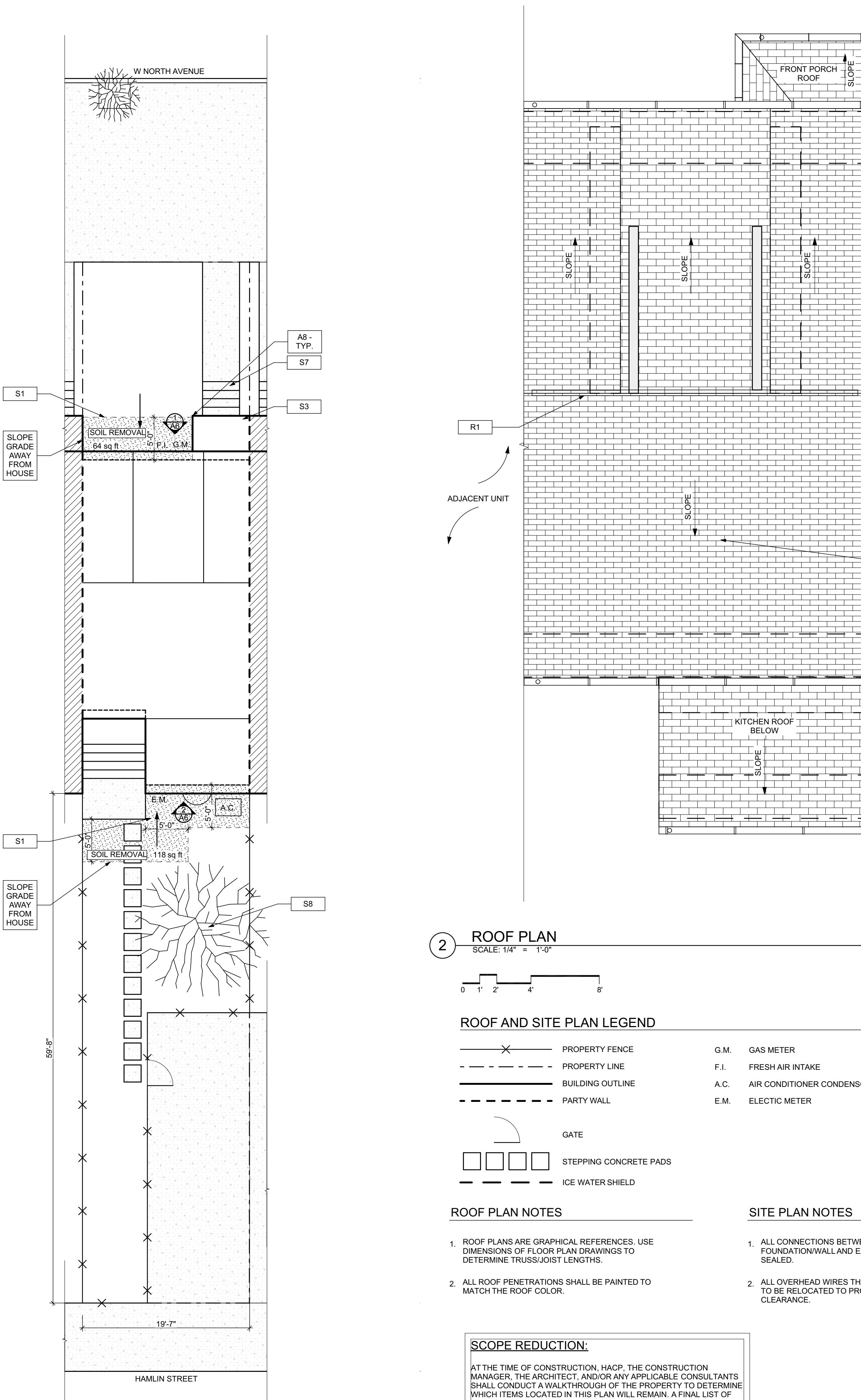
- A1** REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2** IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3** BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4** RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5** LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6** WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOODS AS NECESSARY. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY WATER SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7** REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8** SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9** EXPOSED INSULATION AT THIS LOCATION. REMOVE AND PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10** DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11** ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND APPLICABLE CONNECTIONS TO BE REFERRED TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12** EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13** CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14** UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15** ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16** SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17** CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18** NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1** NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2** EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

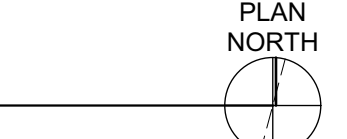
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

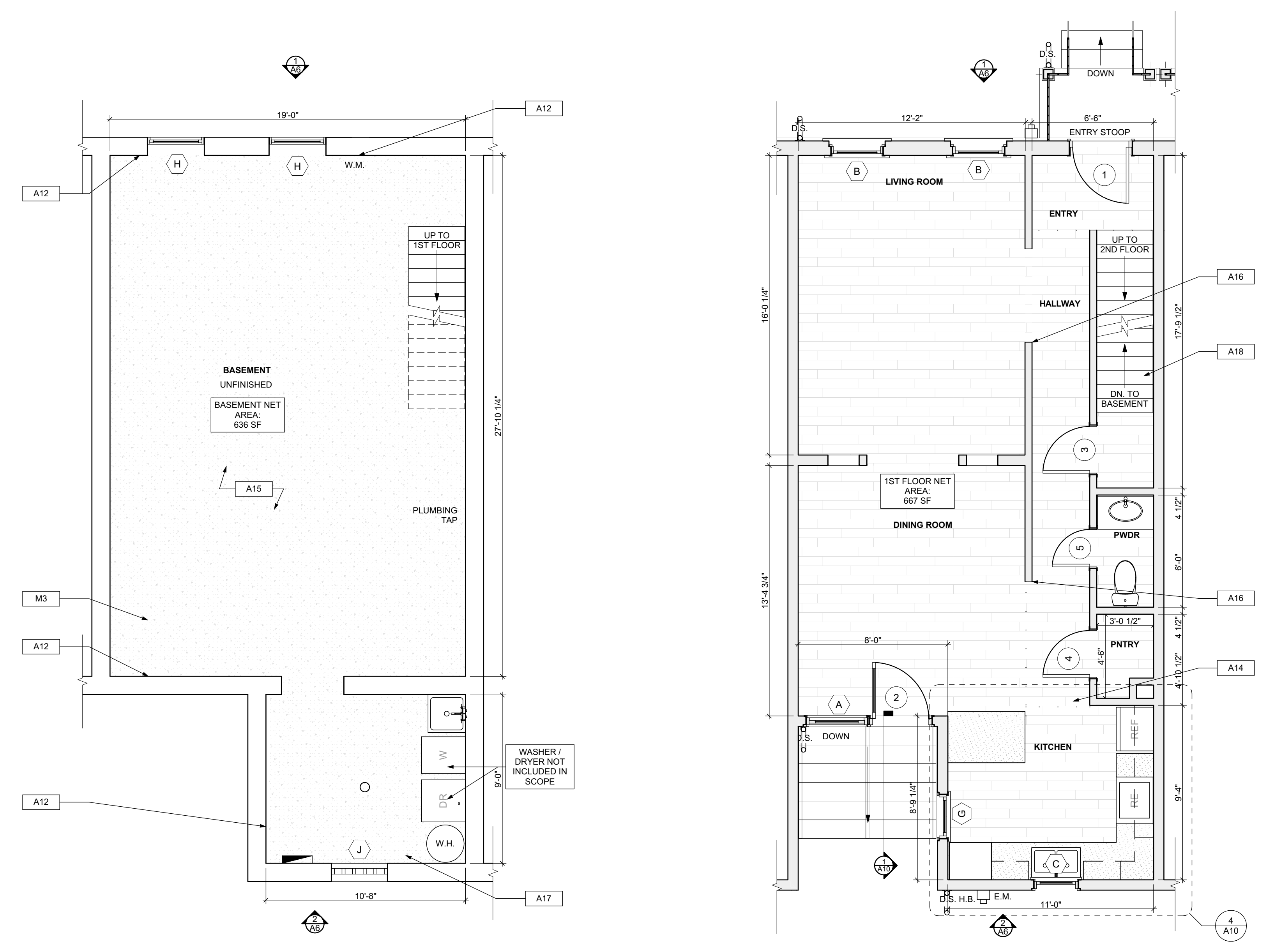
- M1** PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2** REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3** INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTRIBUTING TO AIR QUALITY ISSUES. ADD DELUMINESCER TO ALL EXISTING DUCTWORK. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4** EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



- 1 SITE PLAN**
SCALE: 1/8" = 1'-0"
- 2 ROOF PLAN**
SCALE: 1/4" = 1'-0"
- ROOF AND SITE PLAN LEGEND**
- | | | | |
|-----------|------------------------|------|---------------------------|
| — X — | PROPERTY FENCE | G.M. | GAS METER |
| - - - - | PROPERTY LINE | F.I. | FRESH AIR INTAKE |
| — — — — | BUILDING OUTLINE | A.C. | AIR CONDITIONER CONDENSOR |
| - - - - - | PARTY WALL | E.M. | ELECTRIC METER |
| □ □ □ □ | GATE | | |
| □ □ □ □ | STEPPING CONCRETE PADS | | |
| - - - - - | ICE WATER SHIELD | | |
- ROOF PLAN NOTES**
- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
 - ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.
- SITE PLAN NOTES**
- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
 - ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.





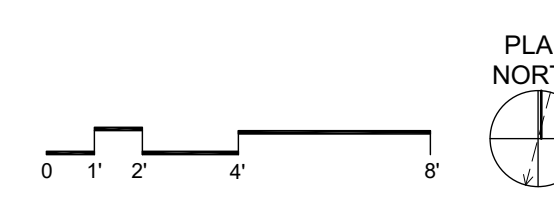
1 BASEMENT/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE, RANGE, GAS FURNANCE, UTILITY SINK, WASHER, NEW DOOR AND DOOR NUMBER, WATER HEATER, DOWN SPOUT, ELECTRIC METER, HOSE BIBB, DRYER

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- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT... IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS... BOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL... RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS... LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COLOUR OF FLOOR... REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY... WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AS REQUIRED... REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL... SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS... EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING... DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION... ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION... EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE... CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD... UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT... ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL... SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR... CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST... NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS... EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION... REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE... INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR FILTER. ADD DELUMINER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS... EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect... Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings... All work shall be installed in accordance with applicable codes and regulations... Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes... All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies... All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner: HACPC 200 ROSS STREET PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES 1106 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

BASEMENT/FINISH/MECH./PLUMB. B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

Scale: As Noted, Date: May 6, 2022, Sheet No. A6, Project #2006, 7 of 13

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- 3. All work shall be installed in accordance with applicable codes and regulations.
- 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1106 W NORTH AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, SMALL UNIT KEYNOTES, FLOOR PLAN LEGEND, GRAPHIC SCALES

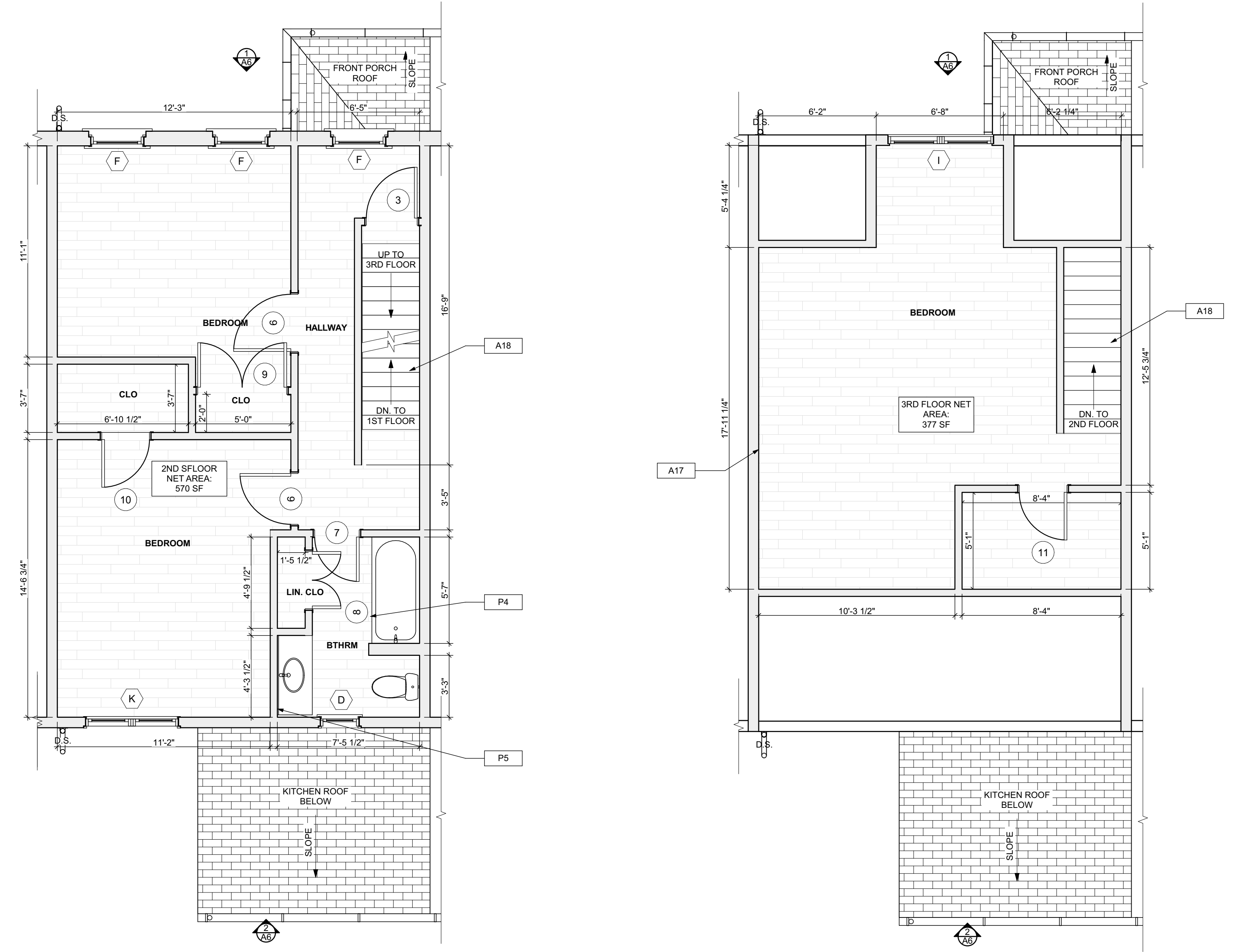
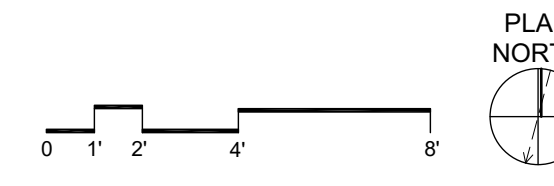
scale As Noted	Sheet No. A7 Project #2006
date May 6, 2022	
no. 8	of. 13

- SITE**
- S1: AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL. POUR CONCRETE TO MEET SLOPE REQUIREMENTS TO MEET SLOPE REQUIREMENTS. W/ CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2: UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3: TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THIS AREA. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4: EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5: SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PAVERS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6: POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7: REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8: TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9: ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10: REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11: REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN 12" BELOW EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12: REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13: REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REPAIR ALL CRACKS AS NECESSARY.
 - S14: REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1: DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1: REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2: IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHUJ WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3: BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4: RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5: LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLEARANCE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6: WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND TRIM AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEASURE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7: REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8: SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9: EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10: DETERIORATING INTERIOR STAIR BEYOND REPAIR. DRYLASH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11: ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLY BRICK CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12: EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINE AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13: CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14: UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15: ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16: SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17: CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18: NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

FLOOR PLAN LEGEND

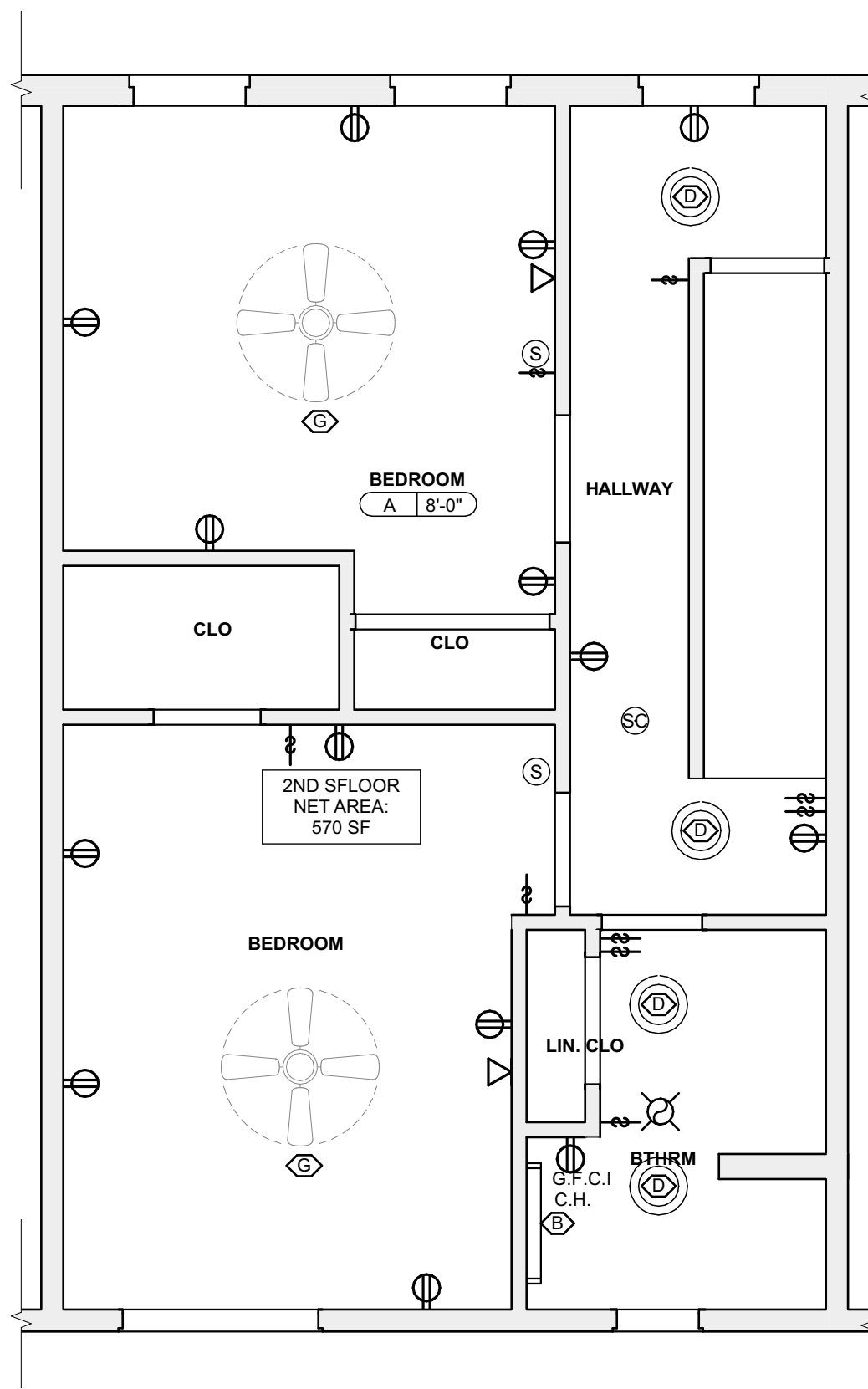
- FRIDGE
- RANGE
- GAS FURNACE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

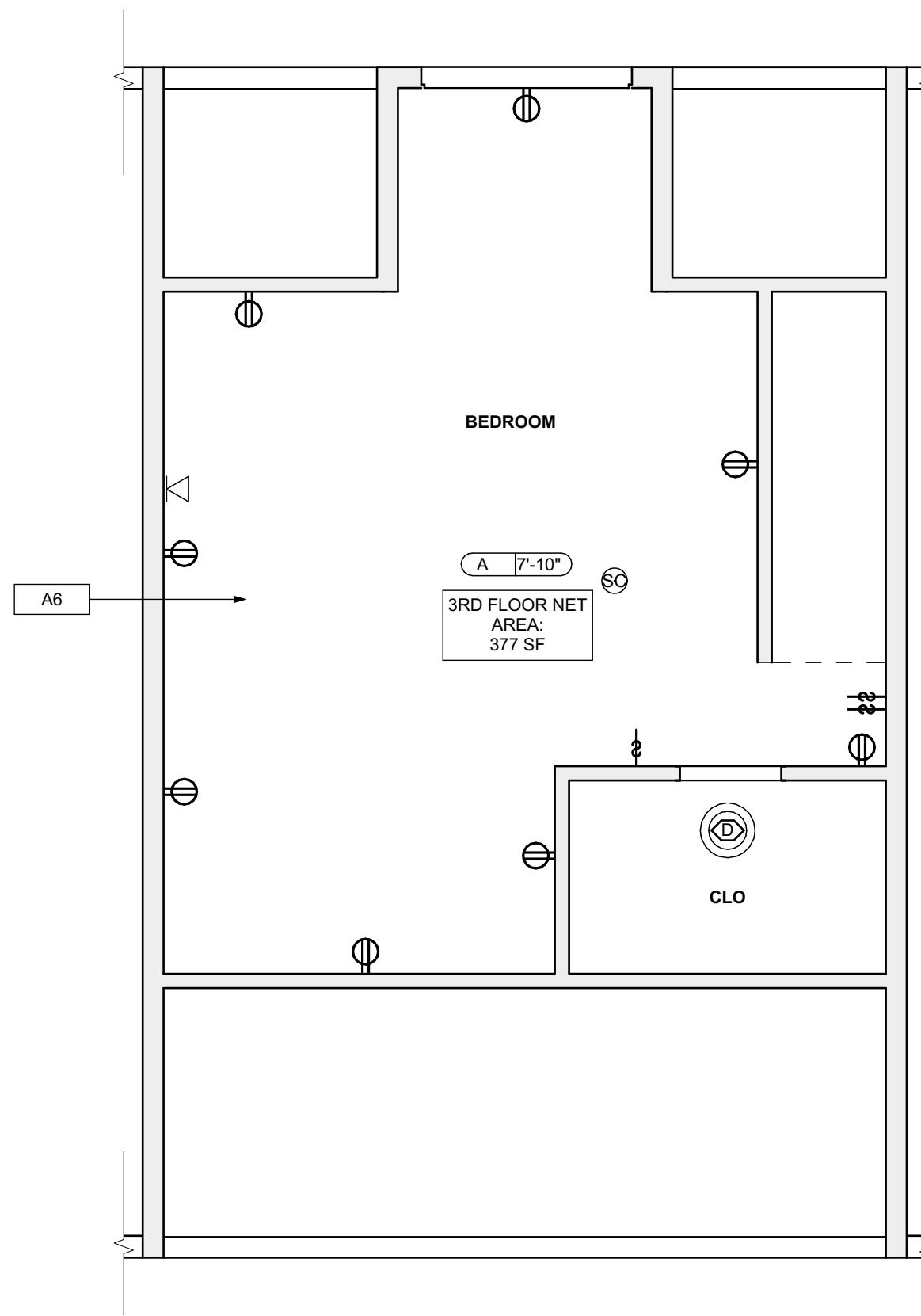


1 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

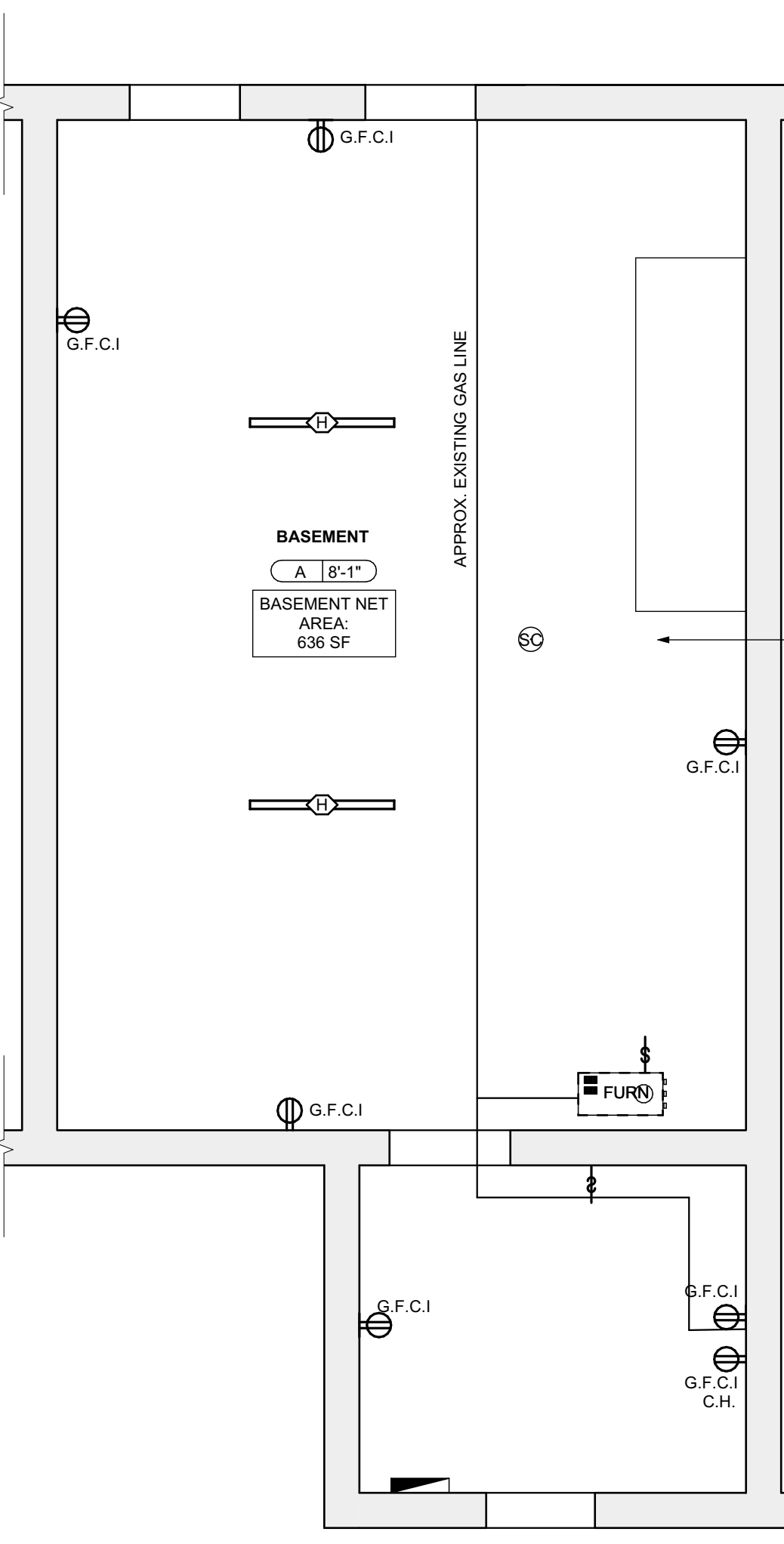
2 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



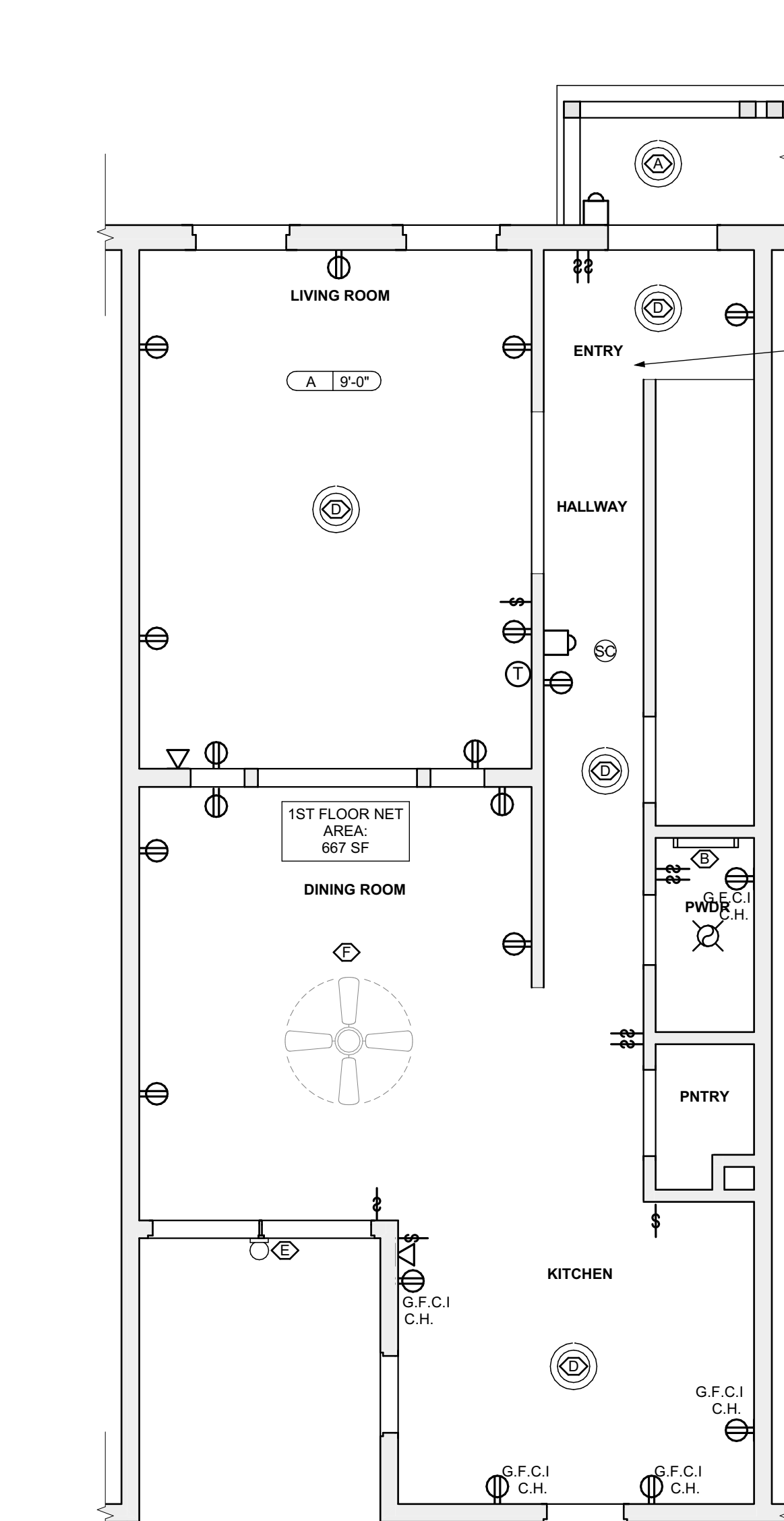
3 SECOND FLOOR REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG./ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	Quantity
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	C	Long Bathroom Light Bar - Replacement: Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	5
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORIGIN TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF SLAB. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. REINFORCE CONCRETE WITH #4 BARS AT 18" ON CENTER. PROVIDE 2" COVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S20 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S21 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF EXISTING SUPPORTS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S22 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE WITH SLOPE 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/W COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S23 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE REPAIR PER SPECIFICATIONS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE WITH SLOPE 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/W COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S24 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S25 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S26 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S27 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S28 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S29 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG TO REMOVE SOFT SOIL. PROVIDE 2" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S30 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, REGRADE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S31 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S32 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYOUT OF DOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD AS NECESSARY. AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. LEAK SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPAIR TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND APPROXIMATE CONNECTION FOR FIBER. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBTILING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

RCP LEGEND - (See Specifications for basis of Design)

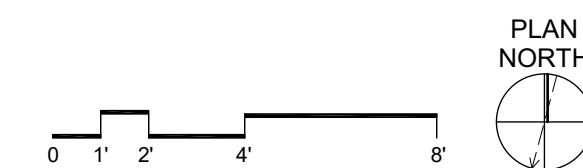
- ☀ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- ☑ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ⚡ ELECTRICAL METER
- ⊖ THERMOSTAT
- DATA RECEPTIAL, 18" A.F.F. U.O.N.
- Ⓡ ELECTRICAL RECEPTIAL, 18" A.F.F. U.O.N.
- Ⓡ CH ELECTRICAL RECEPTIAL, 44" A.F.F. U.O.N.
- Ⓢ CH GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ CH GROUND FAULT CIRCUIT INTERRUPTER
- ⚡ LIGHT SWITCH
- Ⓛ EXHAUST FAN
- 🔔 DOORBELL
- A X-X' GWB CEILING / CEILING HEIGHT
- B X-X' UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



seal

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
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5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1106 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT REFL. CLG./ POWER / DATA PLAN, FIRST FLOOR REFL. CLG./ POWER / DATA PLAN, SECOND FLOOR REFL. CLG./ POWER / DATA PLAN, THIRD FLOOR REFL. CLG./ POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES

scale As Noted
date May 6, 2022
no. 9 of 13
Sheet No. A8
Project #2006

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NORTH ELEVATION, SOUTH ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

SITE

- [S1] AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. EX. TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL. POORLY POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3' OVER FOOTING TO REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORING EXISTING PORCH AND REMOVE OUT OF BUILDING POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. WITH 2% SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. WITH 2% SLOPE. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W/W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE. TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POOR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. REGROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

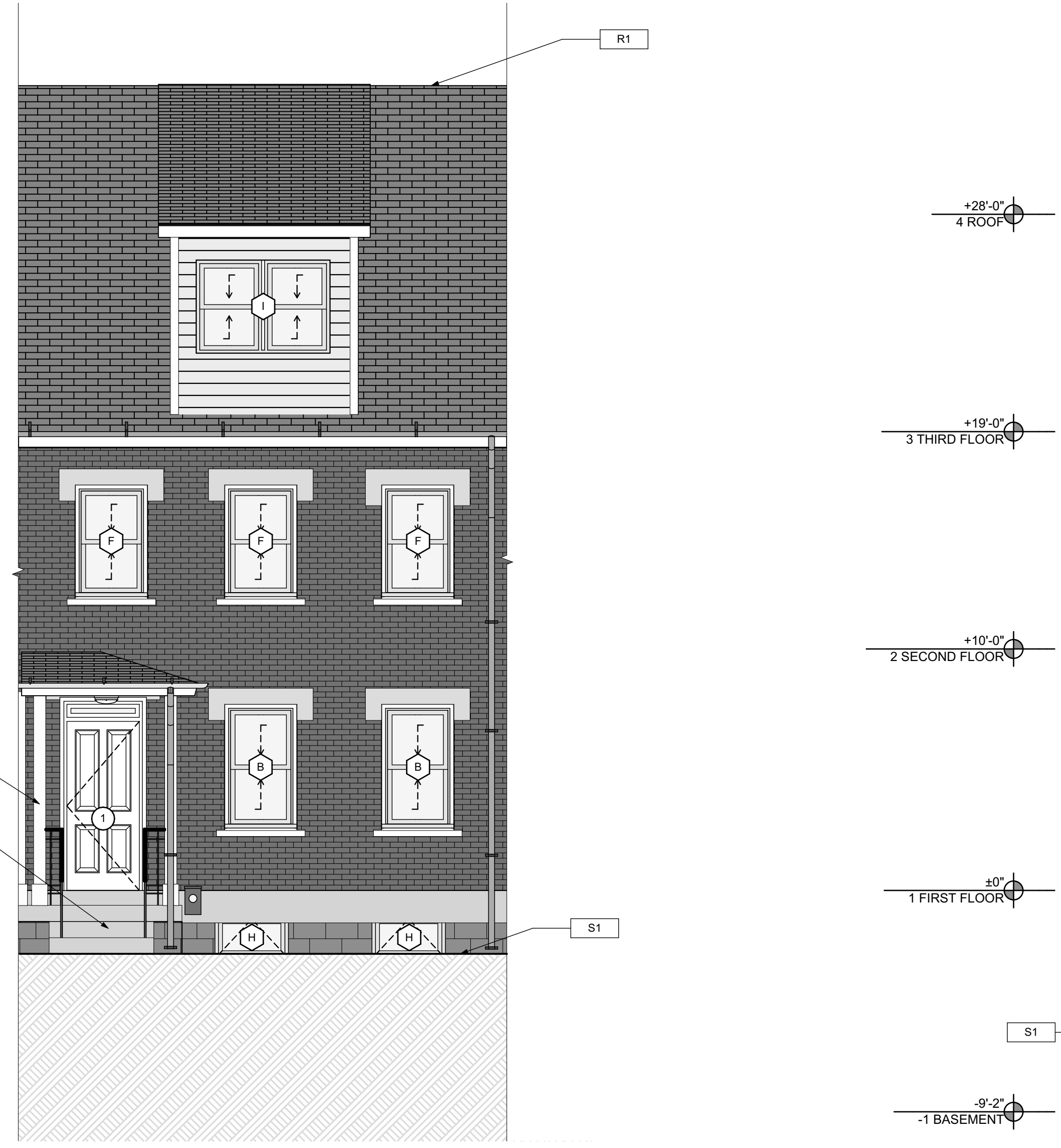
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIMPACTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD AS APPLICABLE. AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD, ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REMOVE DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING TRAILER FOR NEW STANDARD 2"X2" 1" SPREAD FOOTING AND APPLICABLE CONNECTOR PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTAMINATION. PROVIDE DELIMITOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

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scale
As Noted

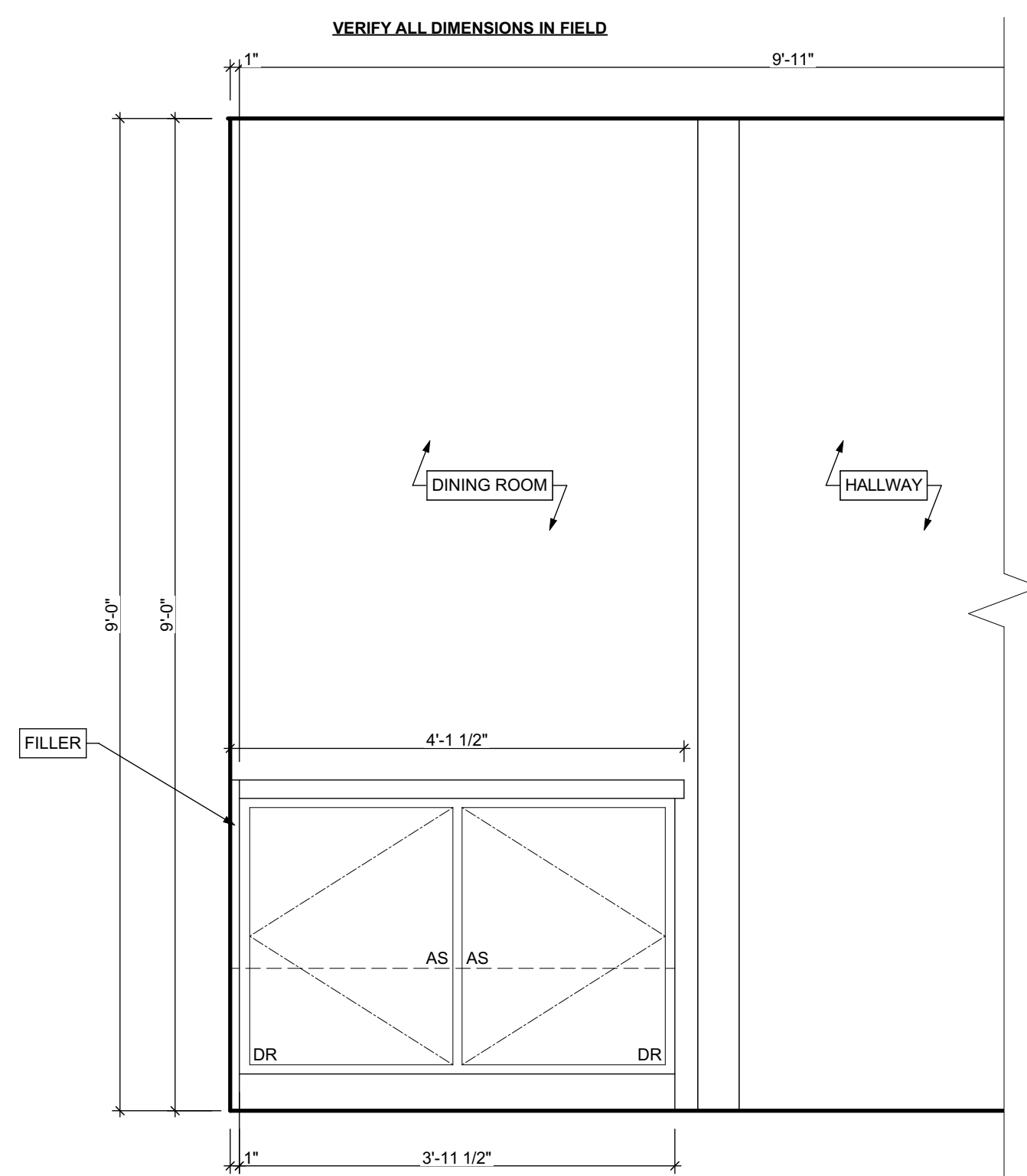
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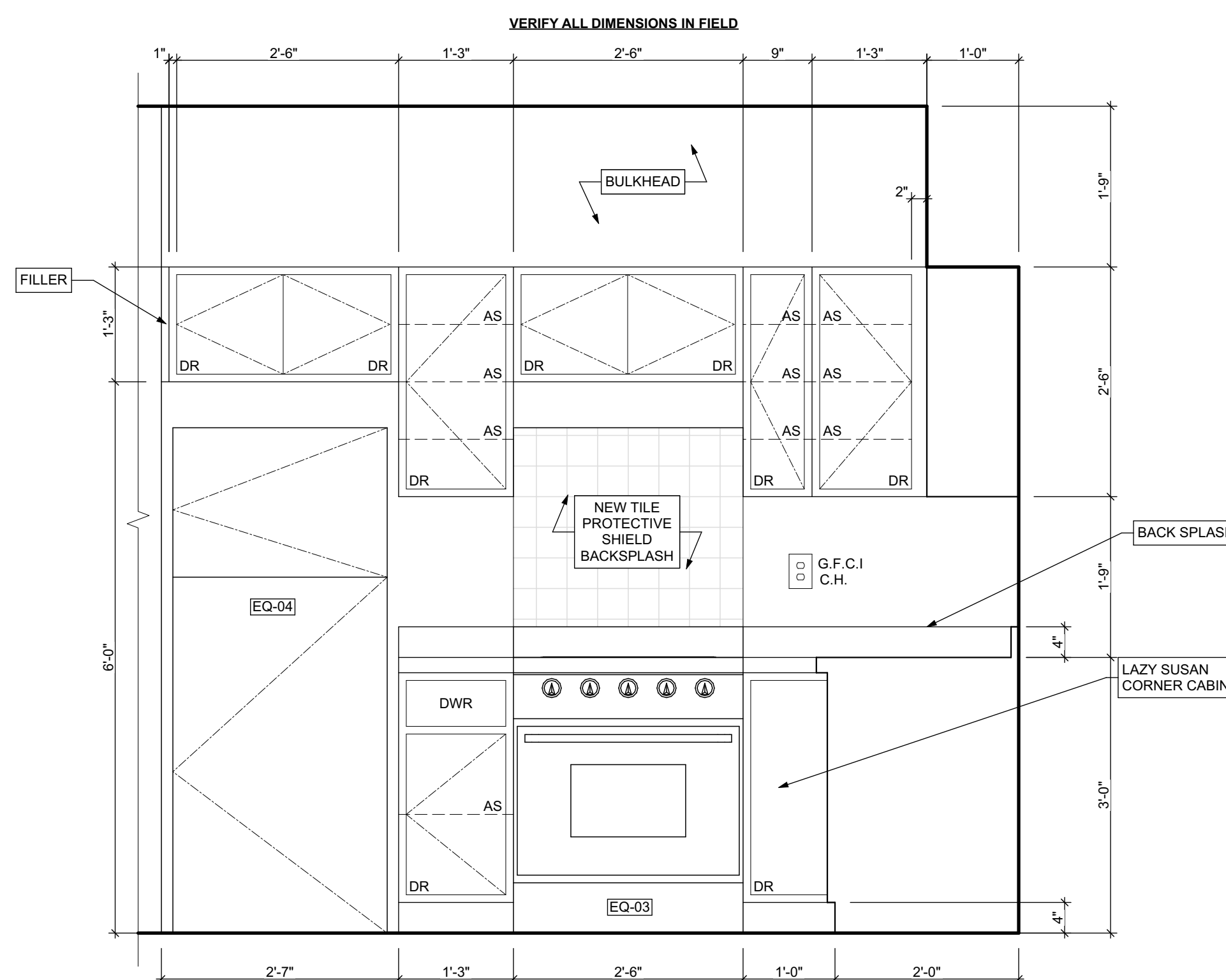
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A9

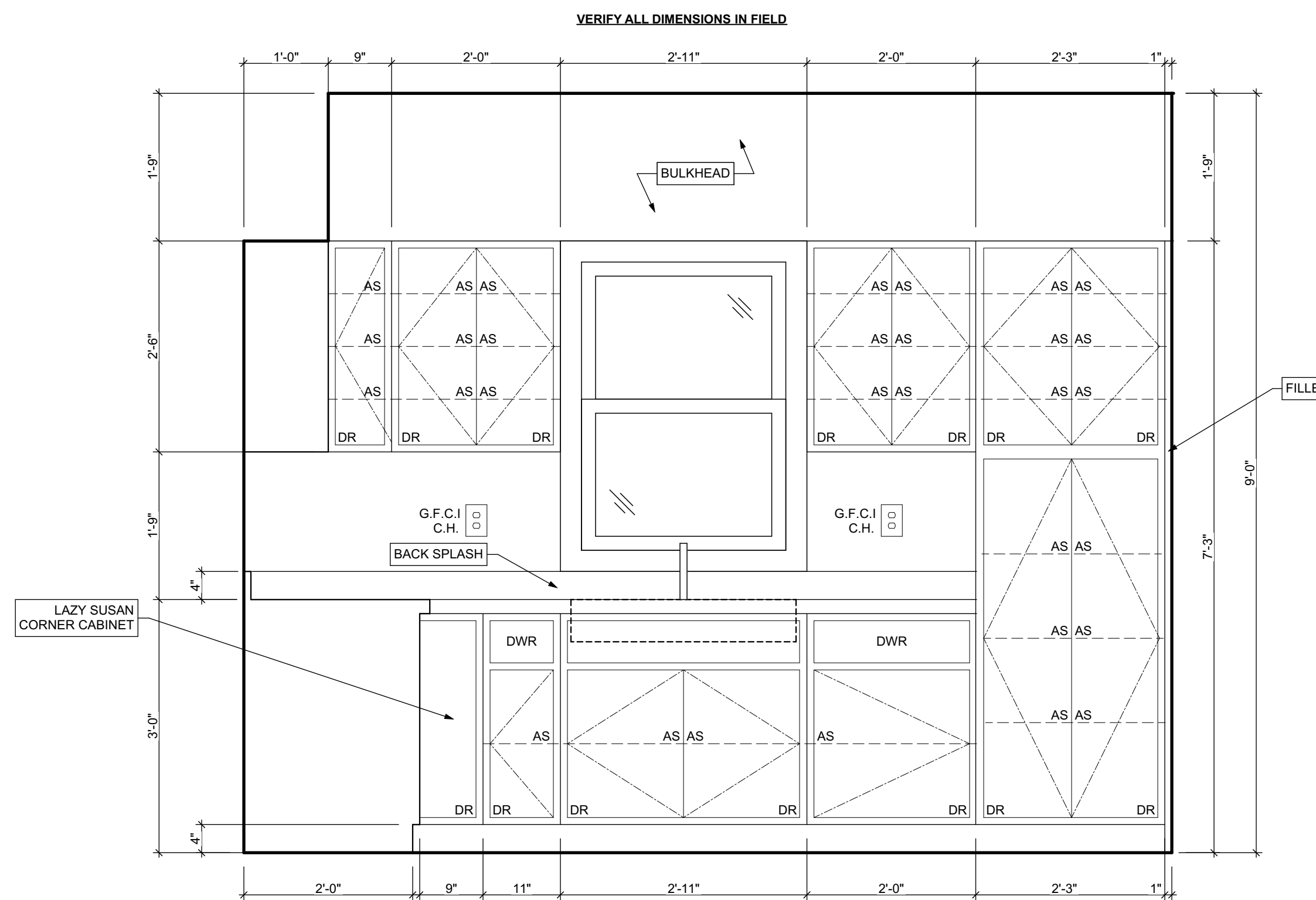
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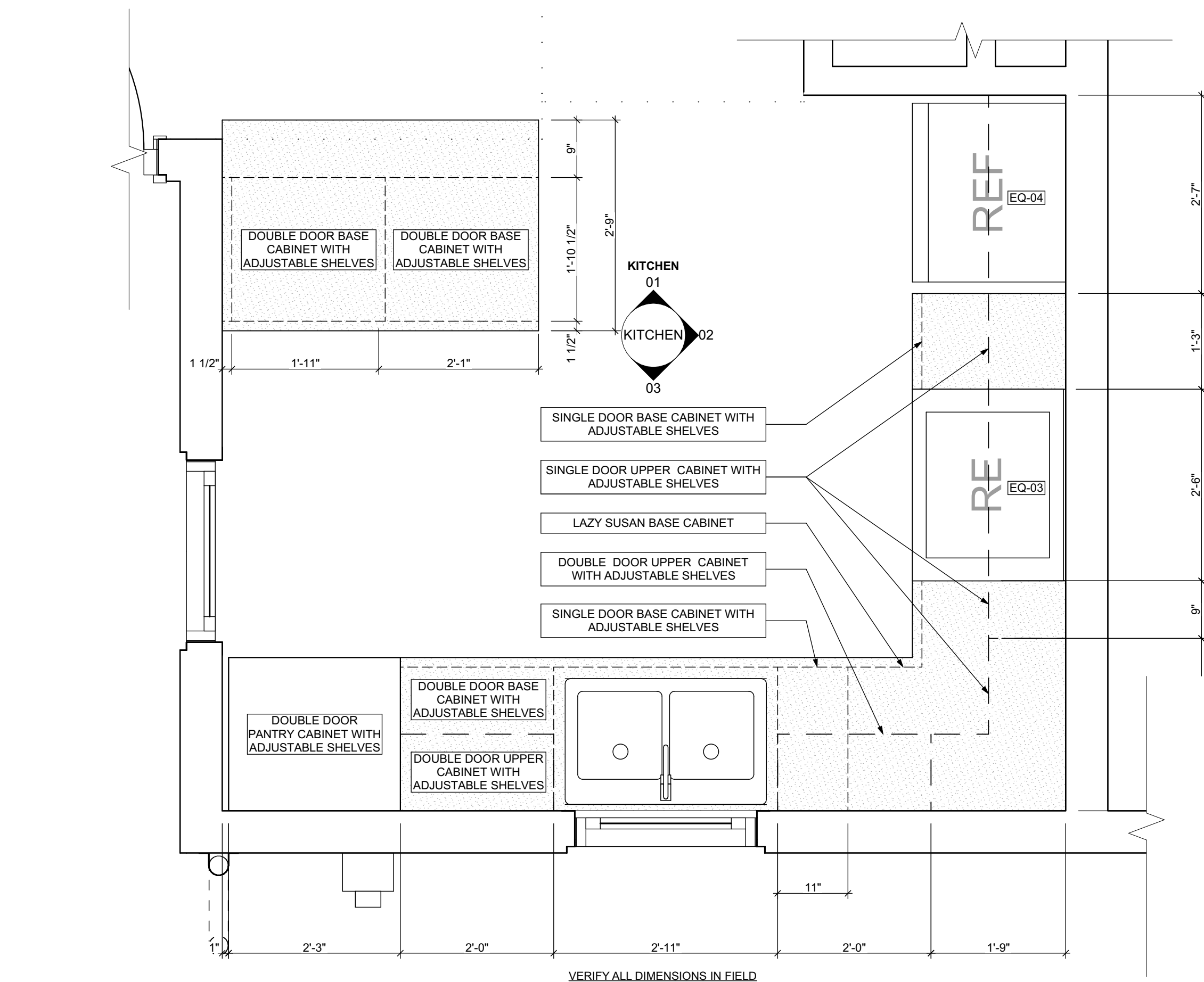
1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"



4 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511FC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	1	A.O. SMITH	VOLT EX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	-	0	A.O. SMITH	PROLINE® XE	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	0	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	0	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2381.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / TR345EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED LAVATORY FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

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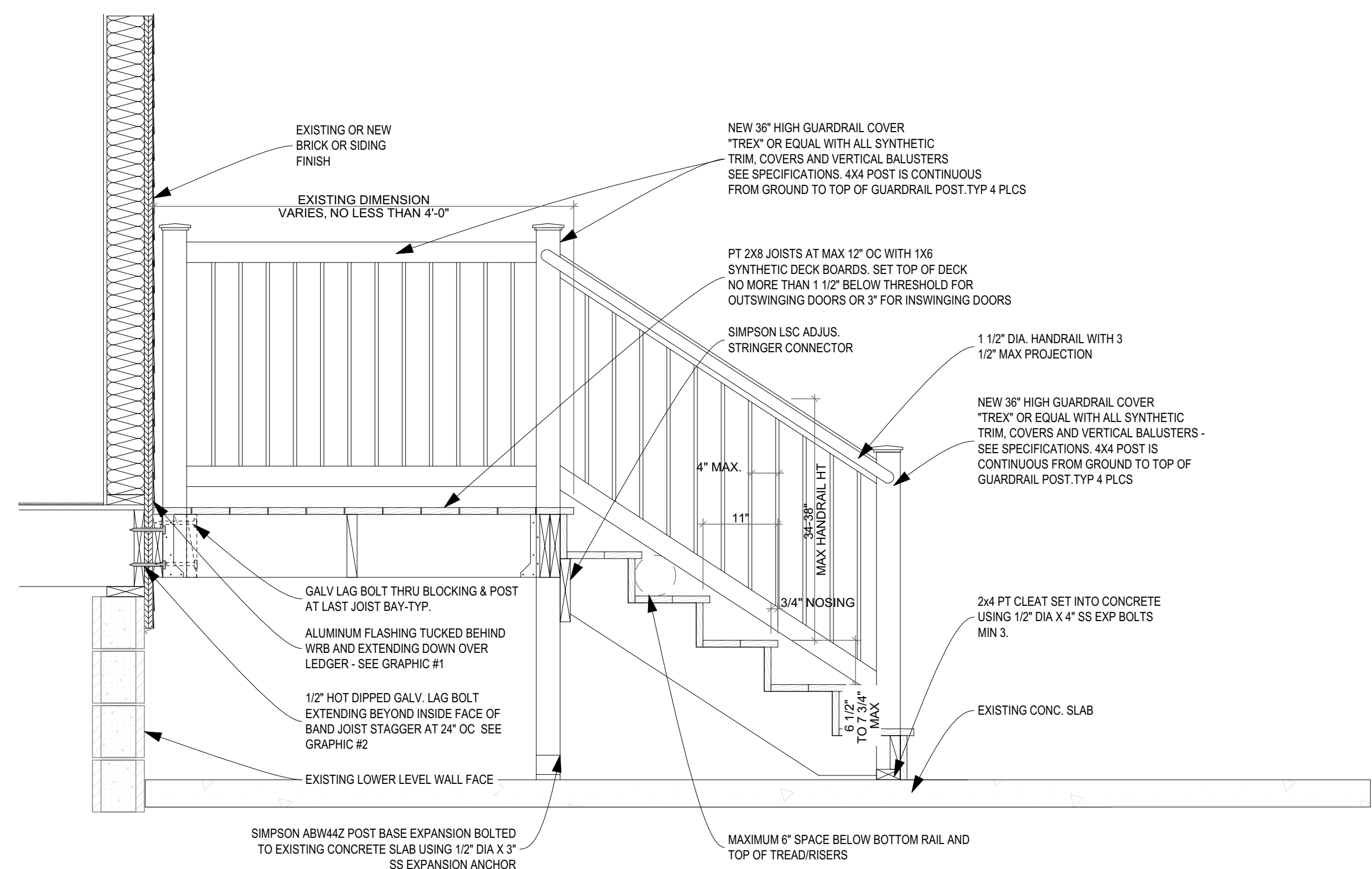
KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02,
KITCHEN ELEVATION 03, FIRST
FLOOR KITCHEN ENLARGED
PLAN

scale
As Noted

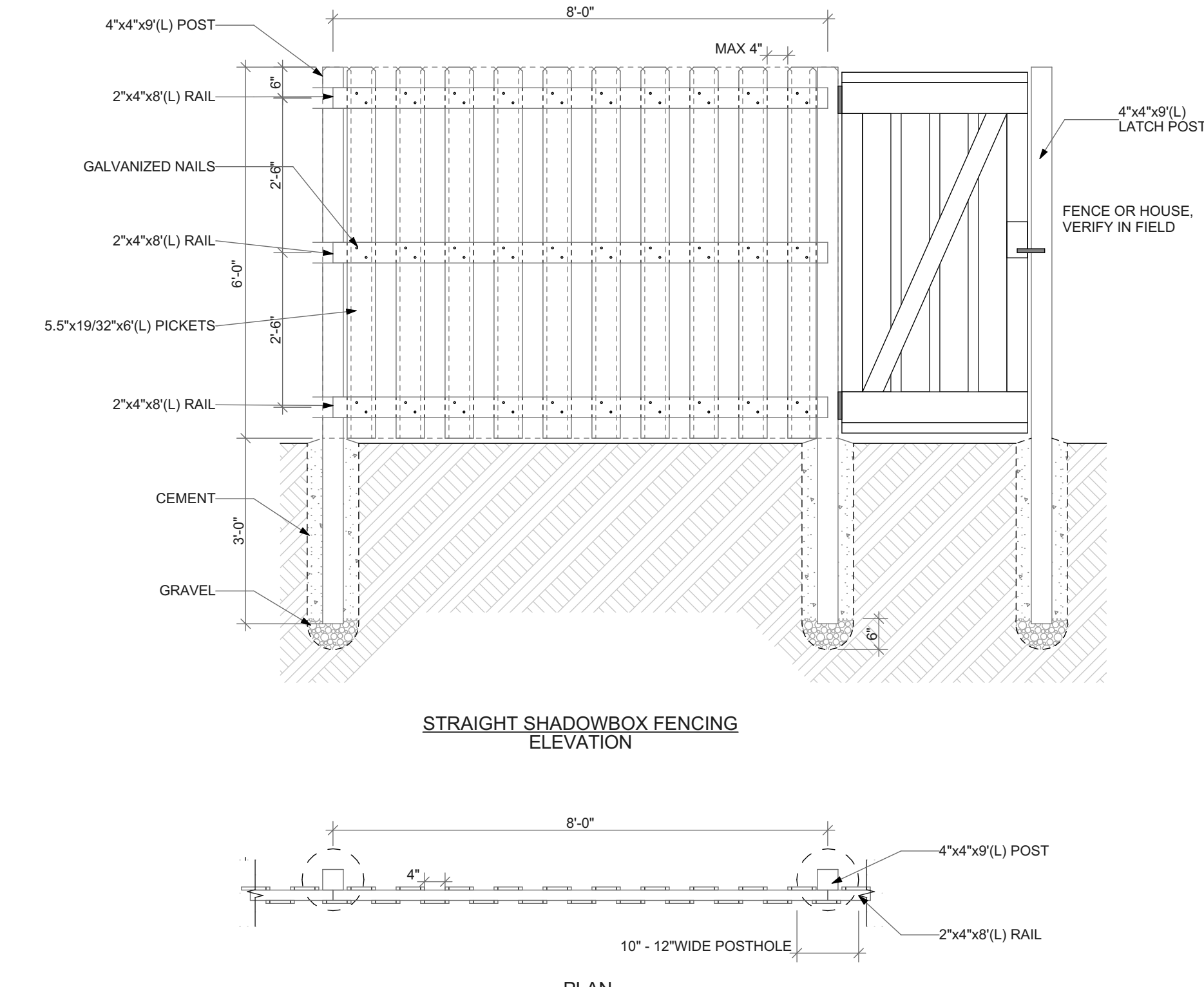
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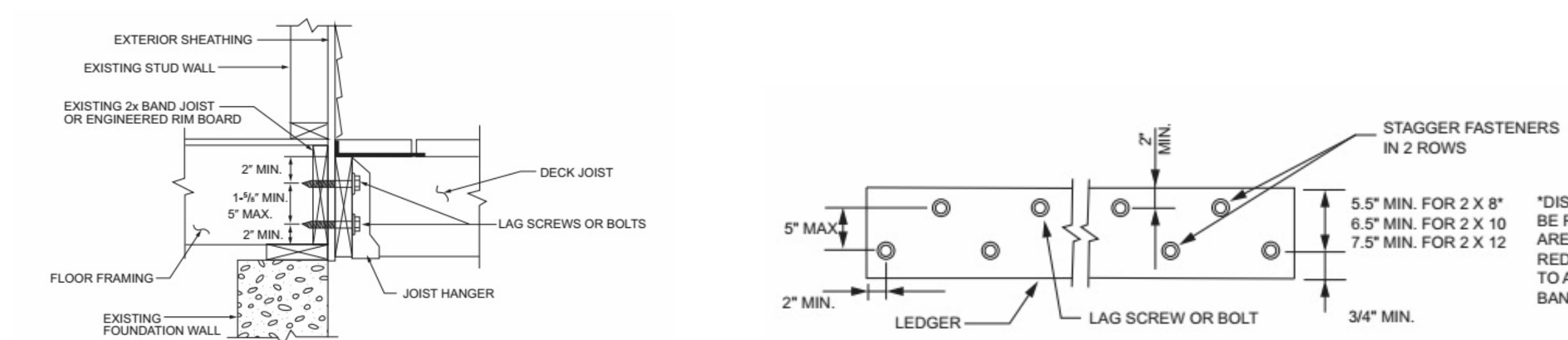
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Project #2006



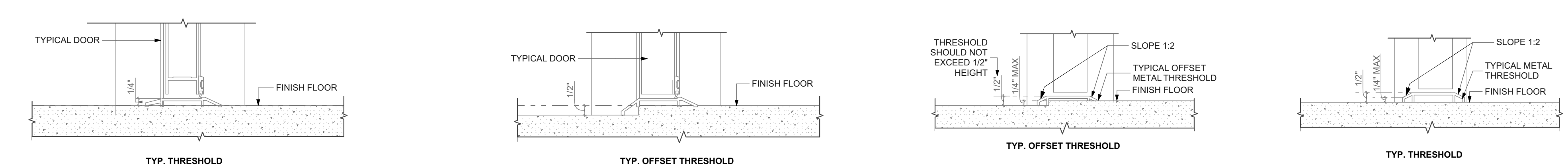
1 DECK SECTION DETAIL
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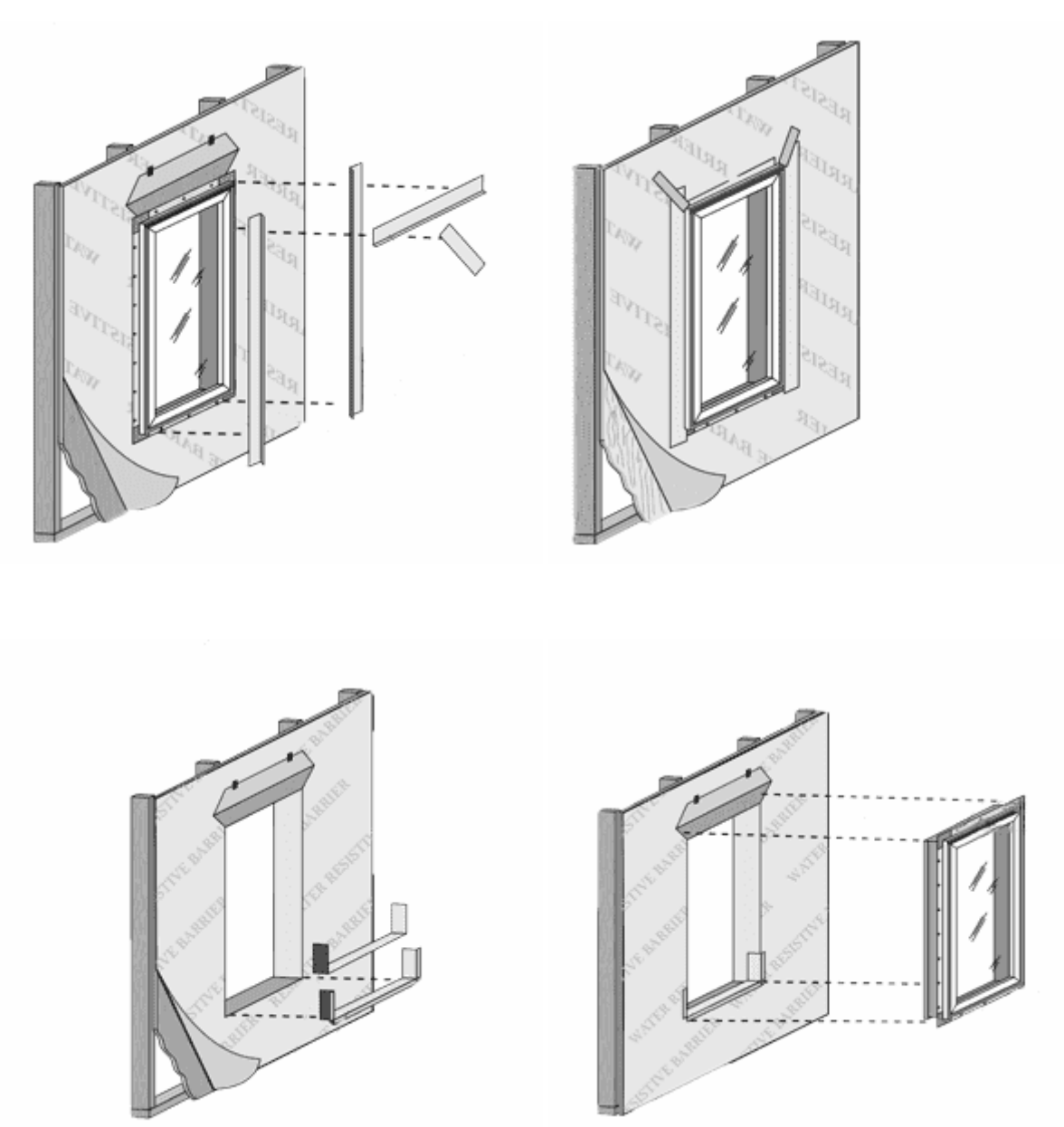
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

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DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	12
of.	13

Sheet No.	A11
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1108 W NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRLIM SET	
CODE AND CONTACT INFO	
MANCHESTER SCATTERED SITES MAP	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
DOOR TYPES	
DOOR SCHEDULE (WITH EXISTING)	
WINDOW SCHEDULE	
FINISH SCHEDULE	
SIDING WALL SECTION	
BRICK WALL SECTION	
INTERIOR STAIR DETAIL	
A3 SCOPE/ GENERAL / GREEN COMMUNITY NOTES	
GENERAL NOTES	
ENERGY NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF PLAN	
SITE PLAN	
ROOF AND SITE PLAN LEGEND	
ROOF PLAN NOTES	
GRAPHIC SCALES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
GENERAL DEMOLITION NOTES	
DEMOLITION PLAN LEGEND	
THIRD FLOOR / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
BASEMENT / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
SMALL UNIT KEYNOTES	
GRAPHIC SCALES	
A6 FLOOR/FINISH/MECH/PLUMB. PLANS	
BASEMENT/FINISH/MECH/PLUMB. PLAN	
GRAPHIC SCALES	
FLOOR PLAN LEGEND	
FIRST FLOOR/FINISH/MECH/PLUMB. PLAN	
SMALL UNIT KEYNOTES	
A7 FLOOR/FINISH/MECH/PLUMB. PLANS	
GRAPHIC SCALES	
FLOOR PLAN LEGEND	
SECOND FLOOR/FINISH/MECH/PLUMB. PLAN	
THIRD FLOOR/FINISH/MECH/PLUMB. PLAN	
SMALL UNIT KEYNOTES	
A8 REFL. CEILING / POWER / DATA PLANS	
THIRD FLOOR REFL. CEILING / POWER / DATA PLAN	
SECOND FLOOR REFL. CEILING / POWER / DATA PLAN	
BSMT REFL. CEILING / POWER / DATA PLAN	
FIRST FLOOR REFL. CEILING / POWER / DATA PLAN	
SMALL UNIT KEYNOTES	
LIGHTING SCHEDULE	
RCP LEGEND	
GRAPHIC SCALES	
A9 ELEVATIONS	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
EAST ELEVATION	
SMALL UNIT KEYNOTES	
A10 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION 02	
KITCHEN ELEVATION 03	
KITCHEN ELEVATION 01	
A11 DETAILS	
DECK SECTION DETAIL	
DECK ENLARGED DETAILS	
WINDOW INSTALLATION UNDER VINYL SIDING	
EXTERIOR DOOR THRESHOLD	
WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	General:
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	

General Building / Project Information	Classification of Work:
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,249 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

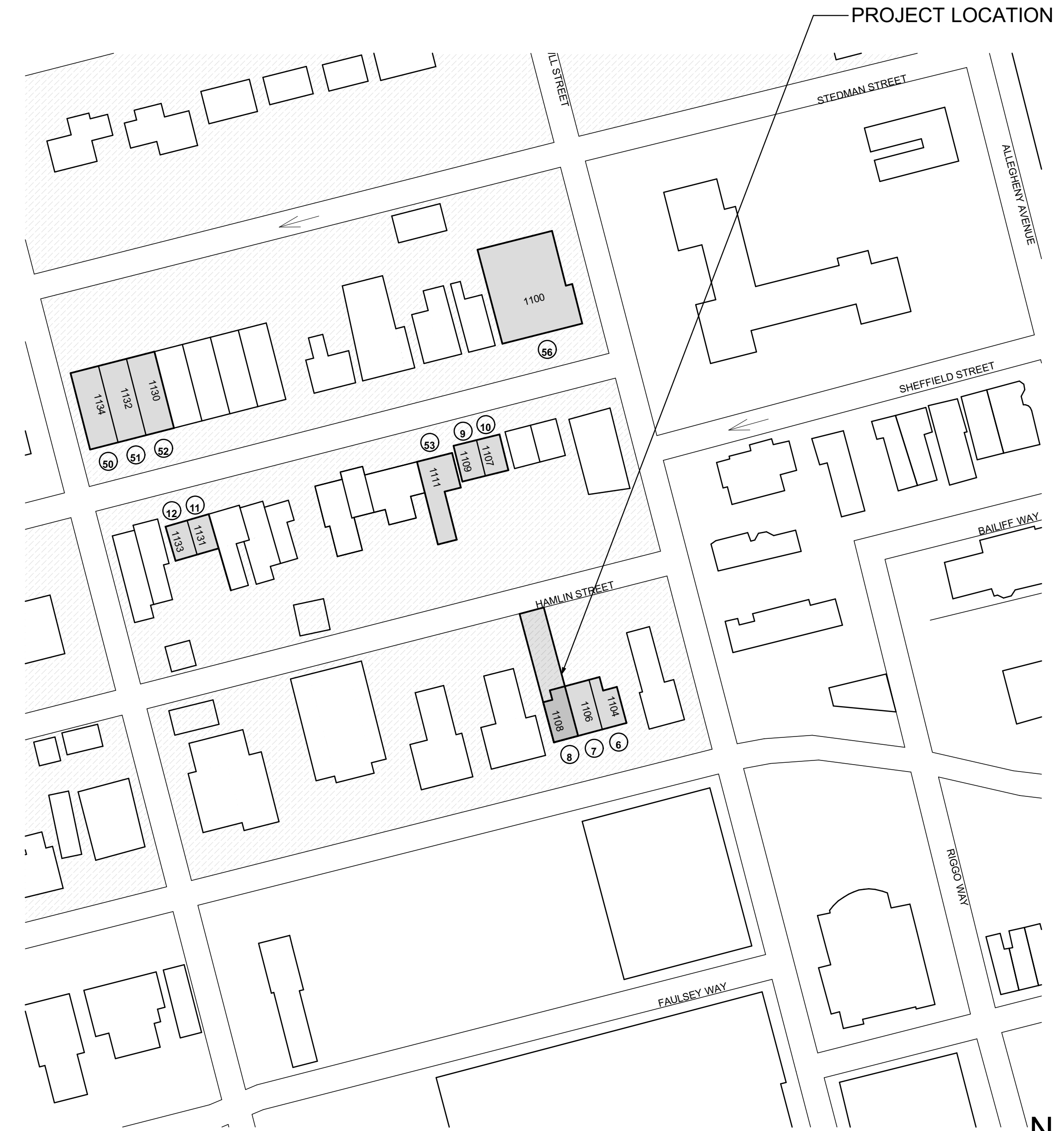
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

scale

As Noted

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale		Sheet No.
As Noted		
date	May 6, 2022	
no.	2	of.
	13	
		A1
		Project #2006

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
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200 ROSS STREET
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15233

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	5	A4
of.	13	
		Project #2006

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL TO MEET SLOPE REQUIREMENTS. TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE CURB. PROVIDE BRICK CURB TO PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS. OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CURB TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE. REPLACE AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

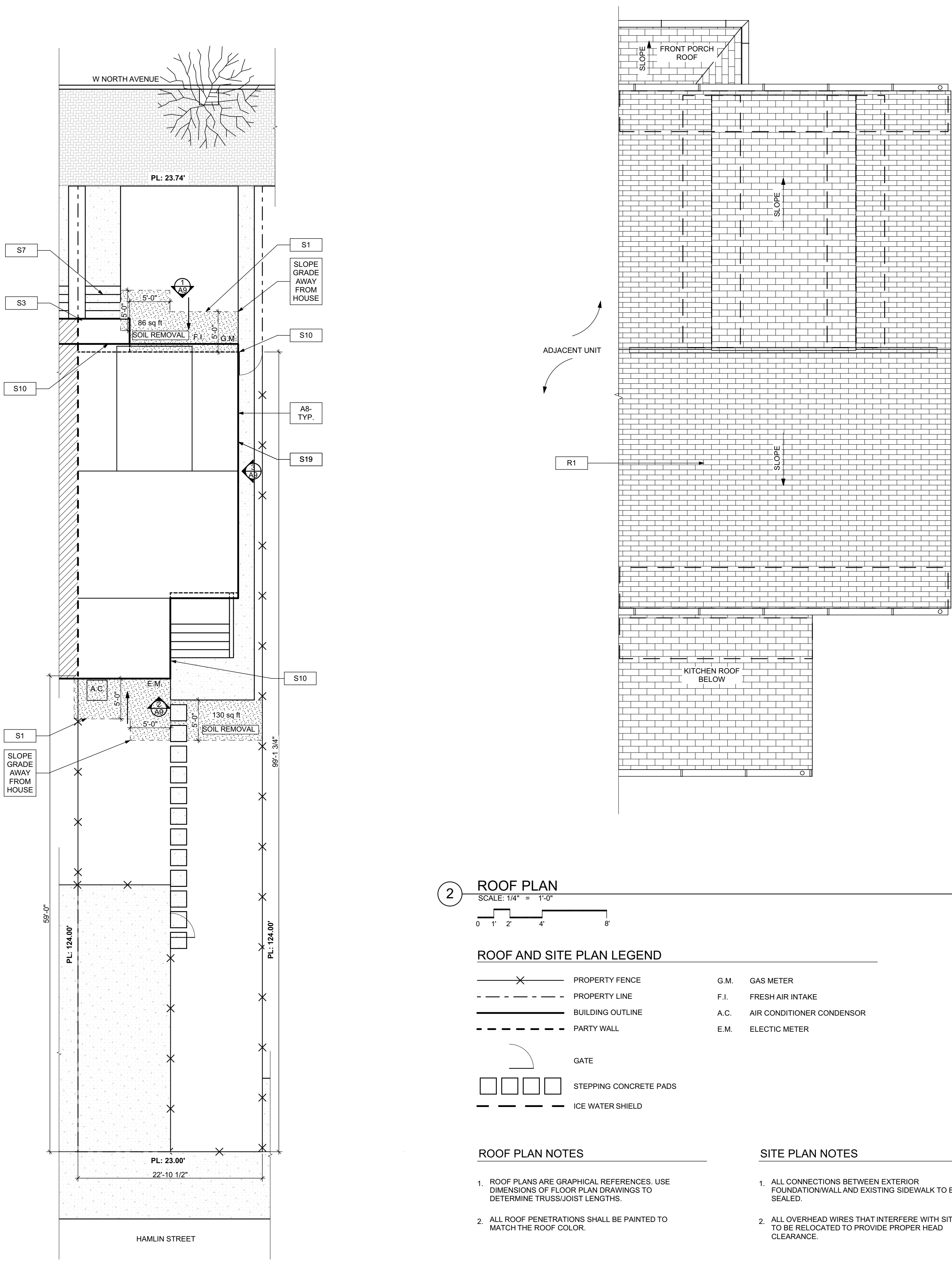
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD ZXXY SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

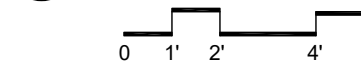
MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE. CHECK FOR EXISTING DELUMINESCER. IF ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



2 ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

—X—	PROPERTY FENCE	G.M.	GAS METER
- - - - -	PROPERTY LINE	F.I.	FRESH AIR INTAKE
—	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
- - - - -	PARTY WALL	E.M.	ELECTIC METER
—	GATE		
□ □ □ □	STEPPING CONCRETE PADS		
—	ICE WATER SHIELD		

ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

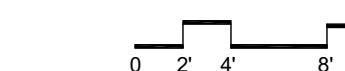
SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

1 SITE PLAN

SCALE: 1/8" = 1'-0"

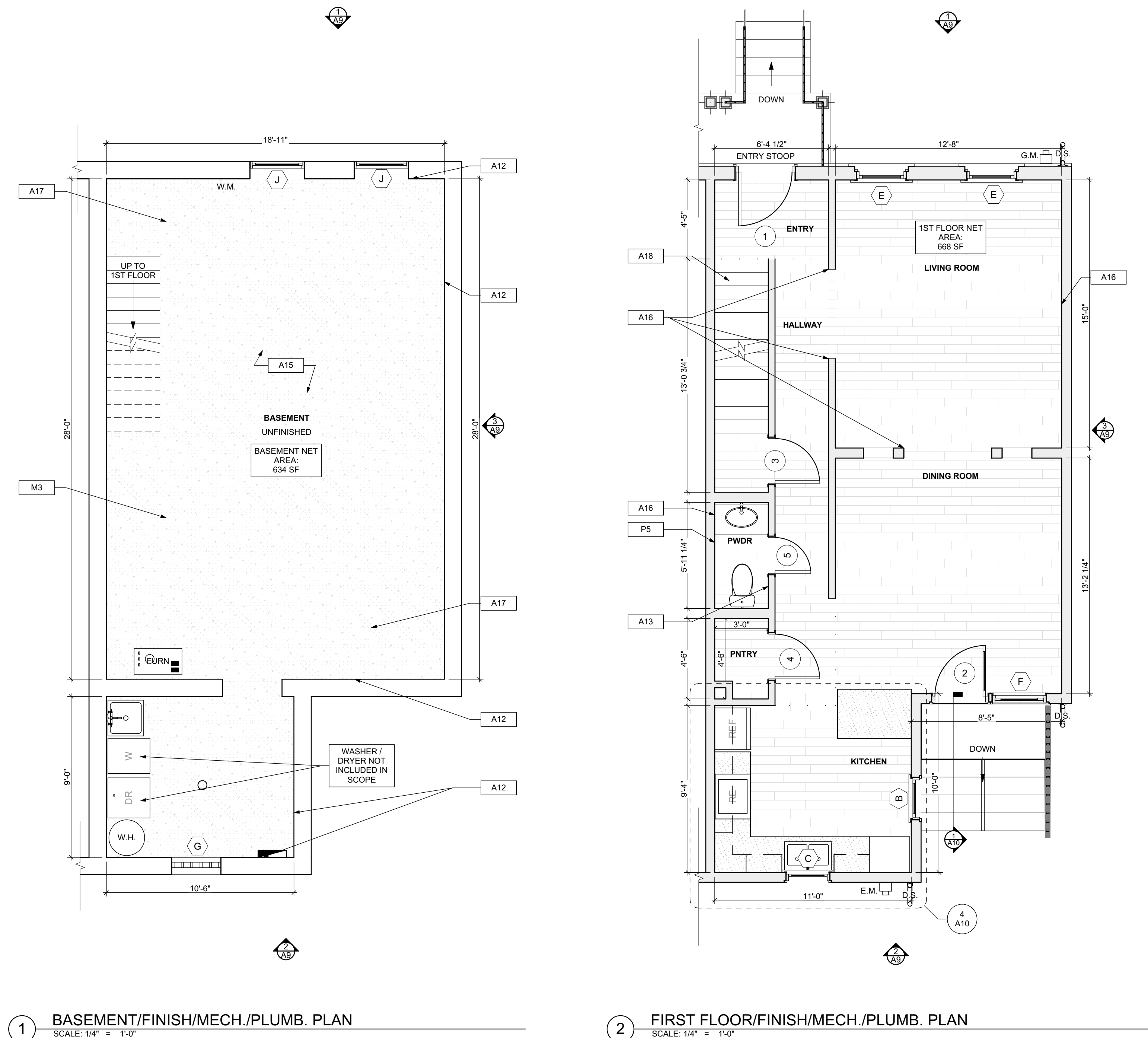


PLAN NORTH



PLAN NORTH





1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

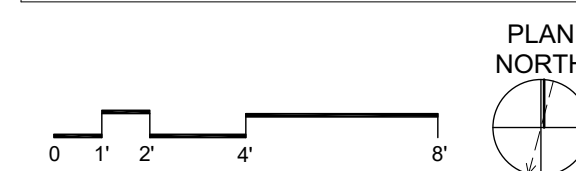
2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1** AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2** UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3** TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF AREA BARRIER POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4** EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5** SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6** POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7** REPAIR EXISTING DAMAGED EXTERIOR STEP POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8** TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9** ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10** REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLEAR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11** REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12** REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13** REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- S14** REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROTECT LAWN AND WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1** DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1** REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2** IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3** BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4** RUSTED STRUCTURAL BEAM COLUMN OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5** LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COLOURS OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6** WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS CHECK FOR ROT. REPLACE ANY FLASHING OR HEADERS AS NECESSARY. AT WINDOW, REMOVE TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPAIR TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7** REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8** SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9** EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10** DETERIORATING INTERIOR STAIR BEYOND REPAIR. FINISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11** ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12** EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. WIRE BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13** CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14** UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15** ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16** SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17** CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18** NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1** NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2** EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1** PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2** REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIPMENT DUCT OR FURNACE.
- M3** INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BIK IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR FLOW. ADD DELIMITOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4** EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright there to.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

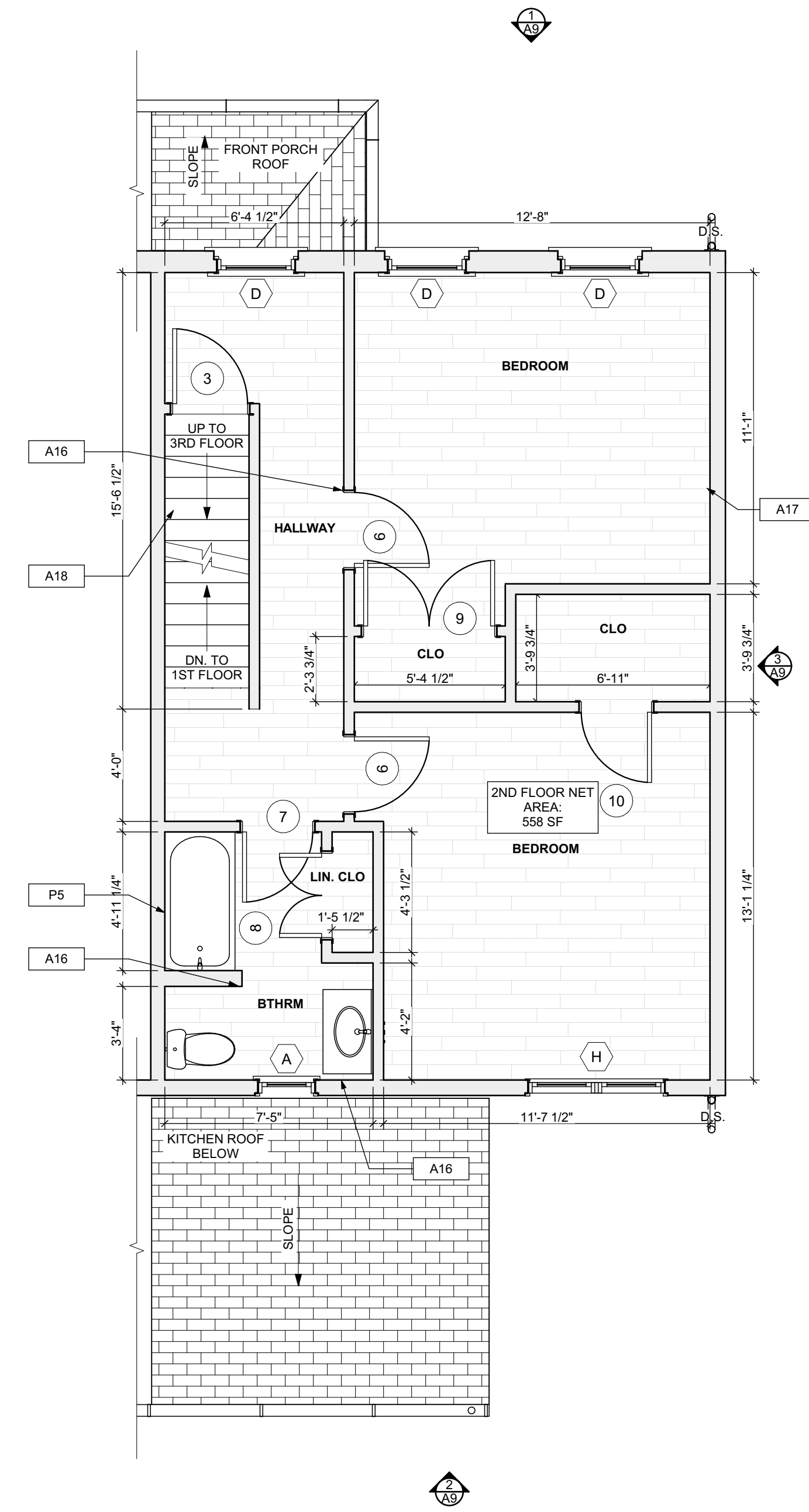
Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

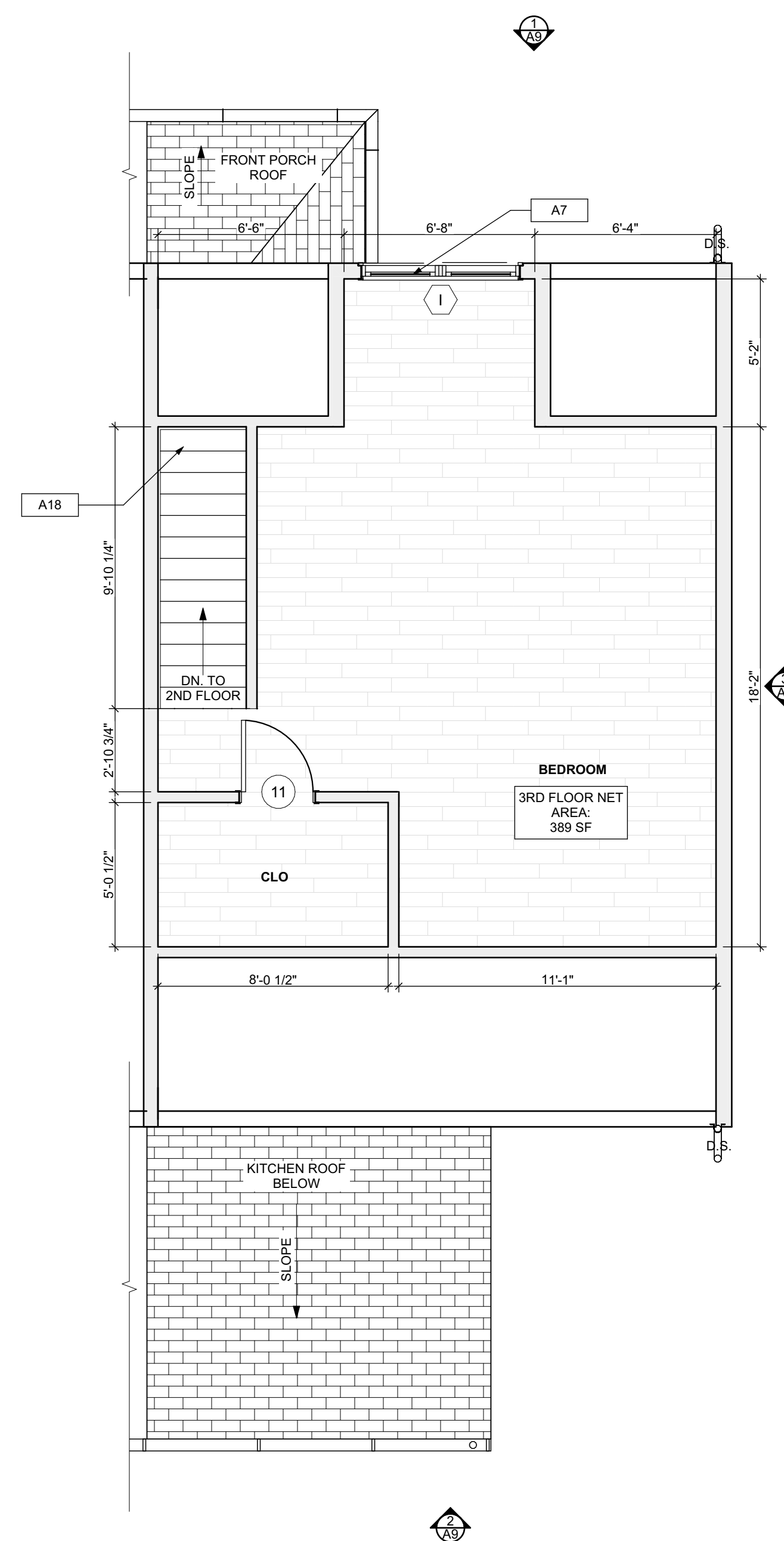
BASEMENT/FINISH/MECH./PLUMB. B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

scale
As Noted
date
May 6, 2022
no. 7 of 13

Sheet No.
A6
Project #2006



1 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



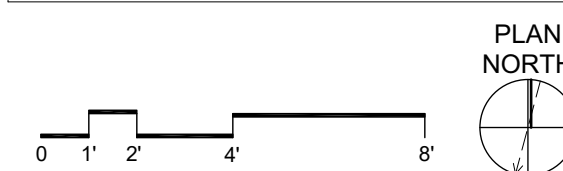
2 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- [FRIDGE] FRIDGE
- [RANGE] RANGE
- [GAS FURNANCE] GAS FURNANCE
- [UTILITY SINK] UTILITY SINK
- [WASHER] WASHER
- [NEW DOOR AND DOOR NUMBER] NEW DOOR AND DOOR NUMBER
- [W.H.] WATER HEATER
- [D.S.] DOWN SPOUT
- [E.M.] ELECTRIC METER
- [H.B.] HOSE BIBB
- [DRYER] DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR AND SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED FLOOR FINISH. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR TILE WALLS WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKLE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOOR AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING LAB FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITER. ADD DELIMITURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES

scale	As Noted	
date	May 6, 2022	
no.	8	of. 13
Sheet No.	A7	
	Project #2006	

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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- All work shall be installed in accordance with applicable codes and regulations.
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ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

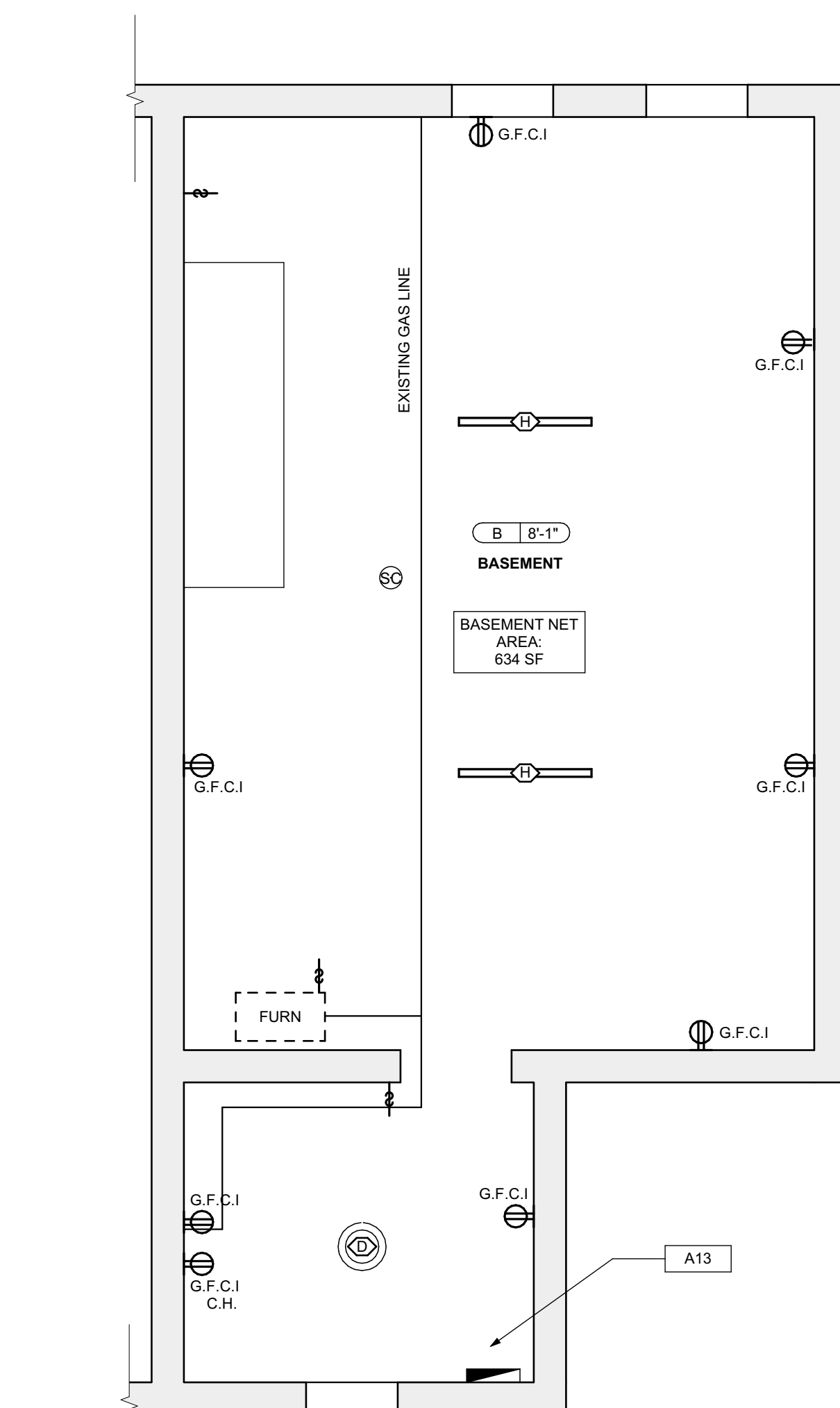
BSMT REFL. CEILING / POWER /
DATA PLAN, FIRST FLOOR REFL.
CEILING / POWER / DATA PLAN,
SECOND FLOOR REFL. CEILING /
POWER / DATA PLAN, THIRD
FLOOR REFL. CEILING / POWER /
DATA PLAN, SMALL UNIT
KEYNOTES, RCP LEGEND,
LIGHTING SCHEDULE, GRAPHIC
SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8
of.	13	
Project #2006		

LIGHTING SCHEDULE					
SYMBOL	Element ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
(Symbol)	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian Inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
(Symbol)	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922N1L8	1
(Symbol)	C	Long Bathroom Light Bar - Replacement: Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
(Symbol)	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #6112WH	12
(Symbol)	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
(Symbol)	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
(Symbol)	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	3
(Symbol)	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OUT

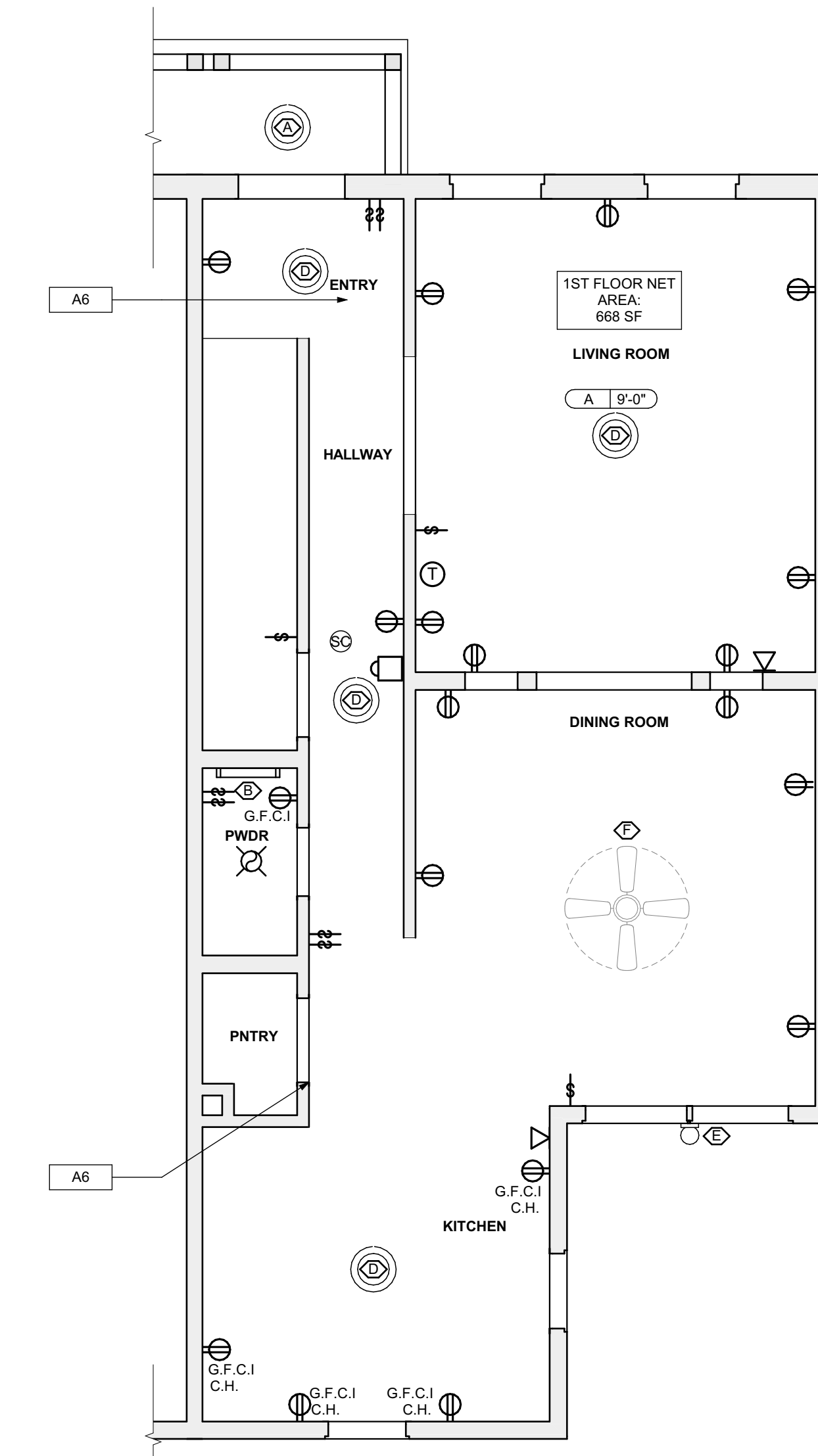
3 SECOND FLOOR REFL. CEILING / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BSMT REFL. CEILING / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR REFL. CEILING / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CEILING / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



RCP LEGEND

- (S) SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- (SC) SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- (E) ELECTRICAL METER
- (T) THERMOSTAT
- (D) DATA RECEIPTICAL, 18" A.F.F. U.O.N.
- (R) ELECTRICAL RECEIPTICAL, 18" A.F.F. U.O.N.
- (R) ELECTRICAL RECEIPTICAL, 44" A.F.F. U.O.N.
- (GFCI) GROUND FAULT CIRCUIT INTERRUPTER
- (GFCI) GROUND FAULT CIRCUIT INTERRUPTER
- (L) LIGHT SWITCH
- (X) EXHAUST FAN
- (D) DOORBELL
- (A-X-X') GWB CEILING / CEILING HEIGHT
- (B-X-X') UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

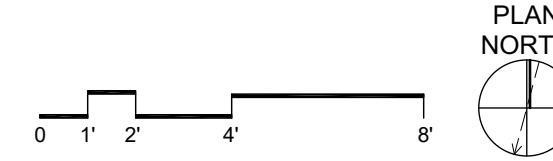
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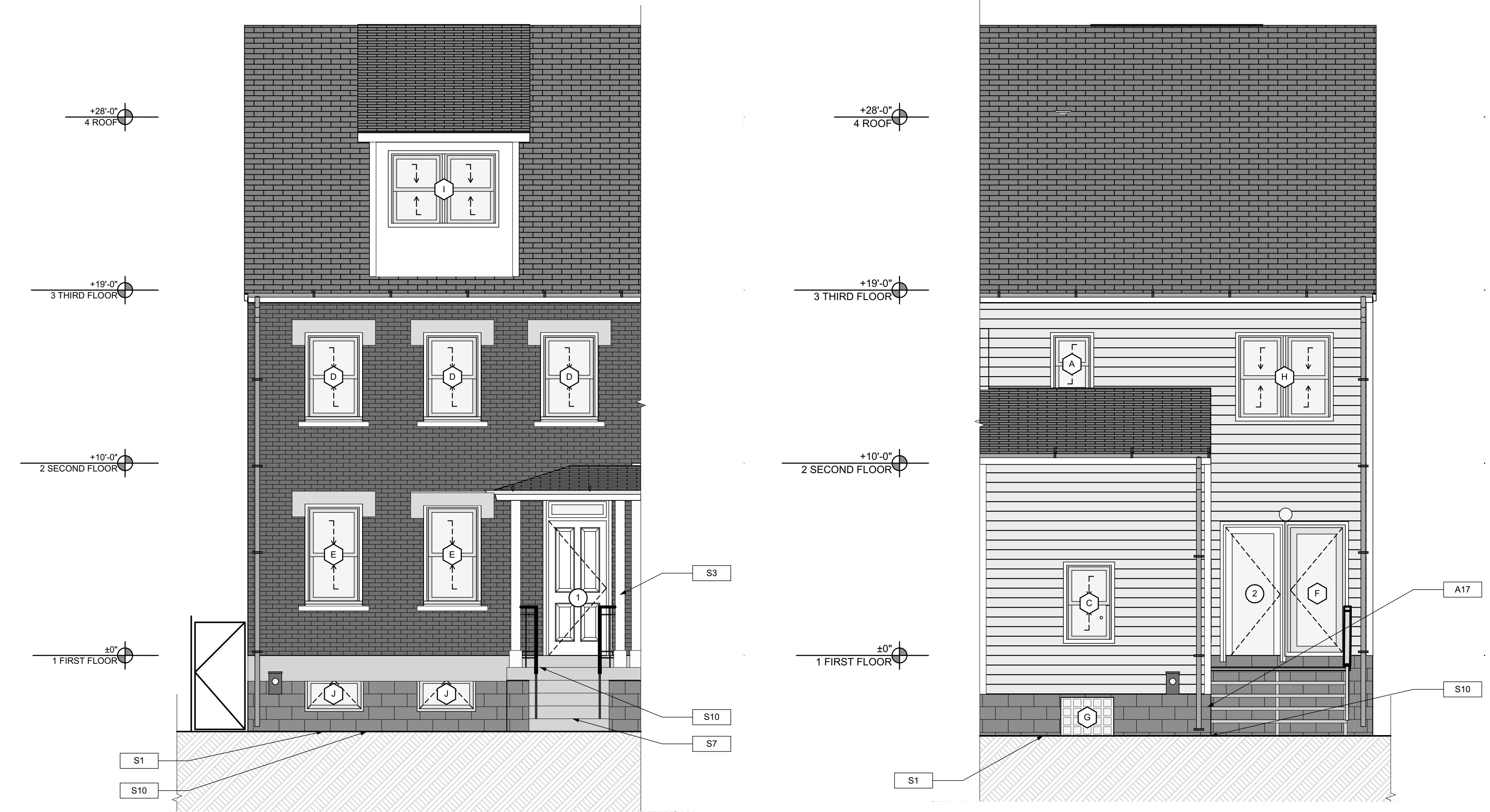
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

PLAN NORTH





1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

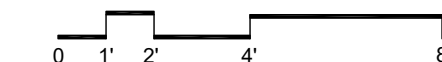
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACPC, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACPC THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRASS TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT TO BE DEMOLISHED. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED CLOSURE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS AS NECESSARY. IF REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY AND SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND BRACE. CHECK FOR PLUMB. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT ELECTRIC EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. REPAIR AND RECONNECT. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

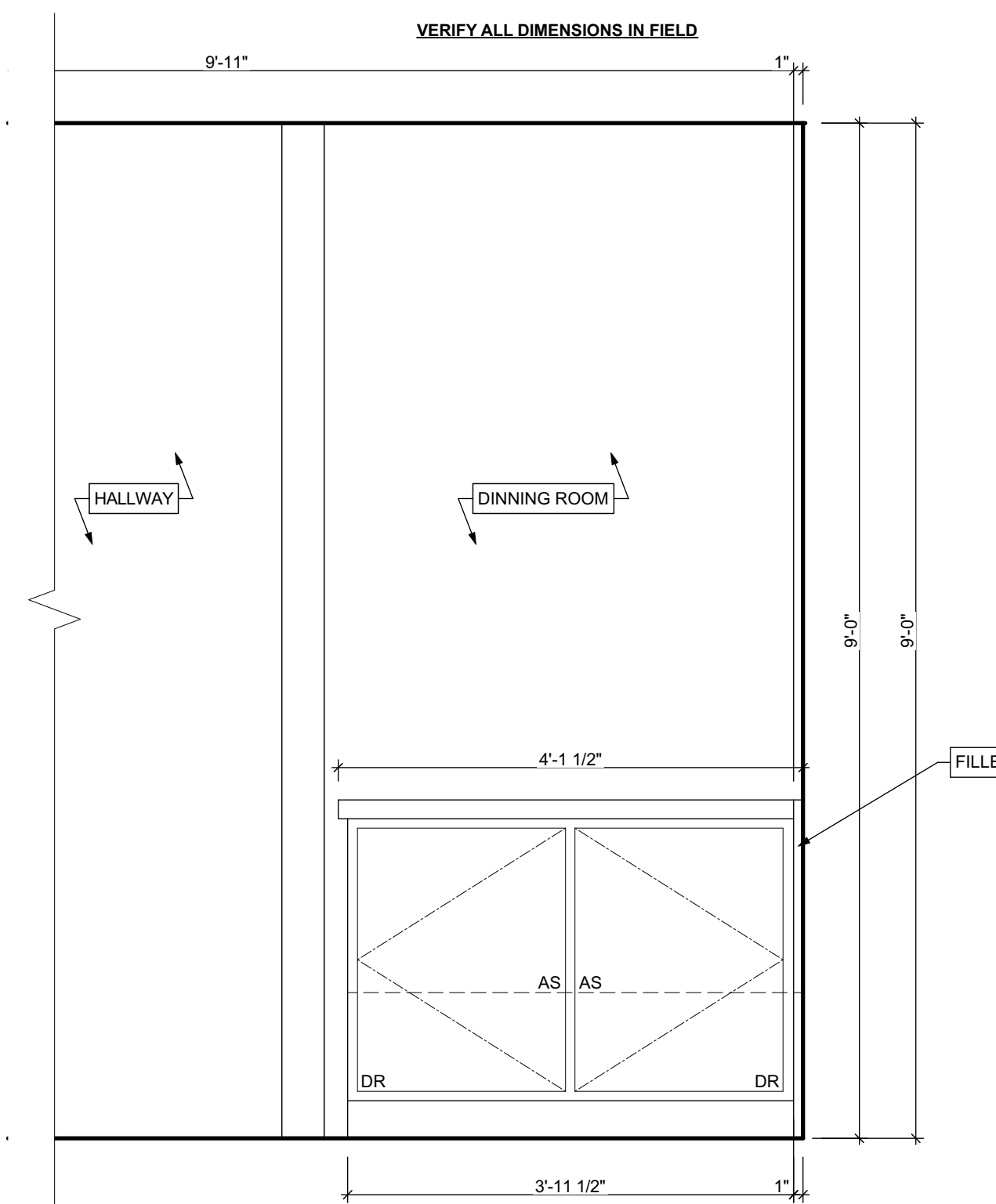
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

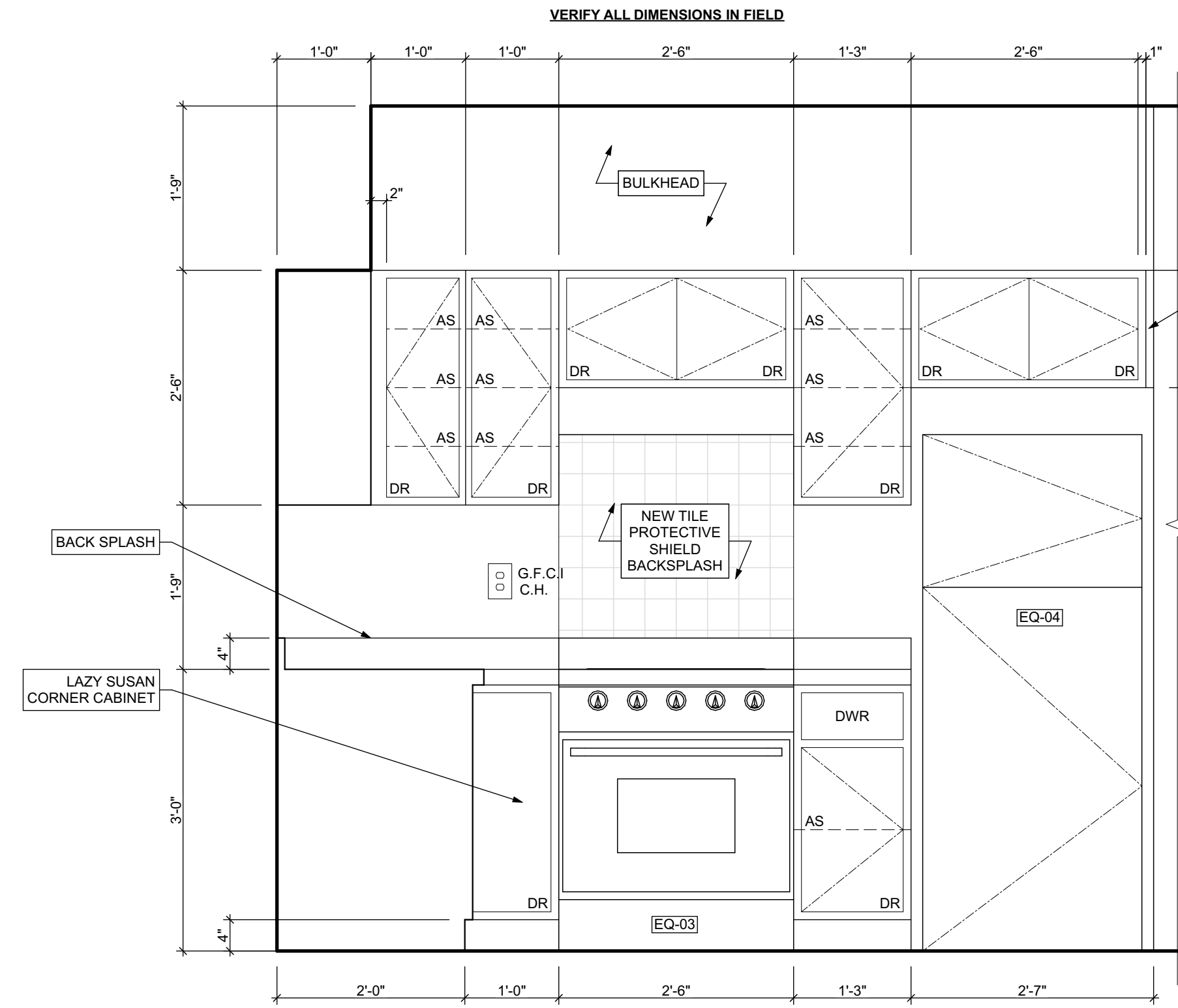
drawing title

NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

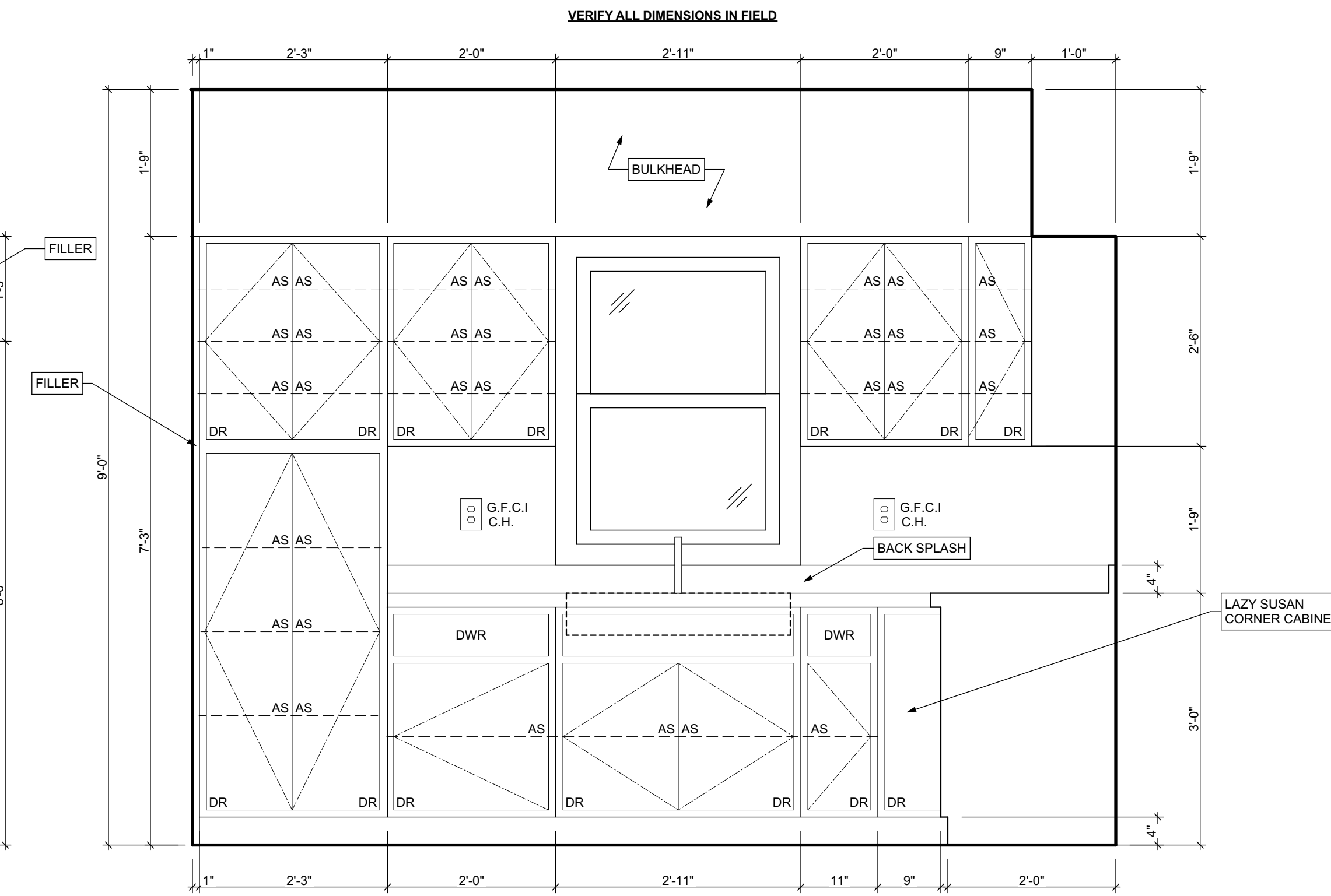
scale As Noted		Sheet No. A9 Project #2006
date May 6, 2022		
no. 10	of. 13	



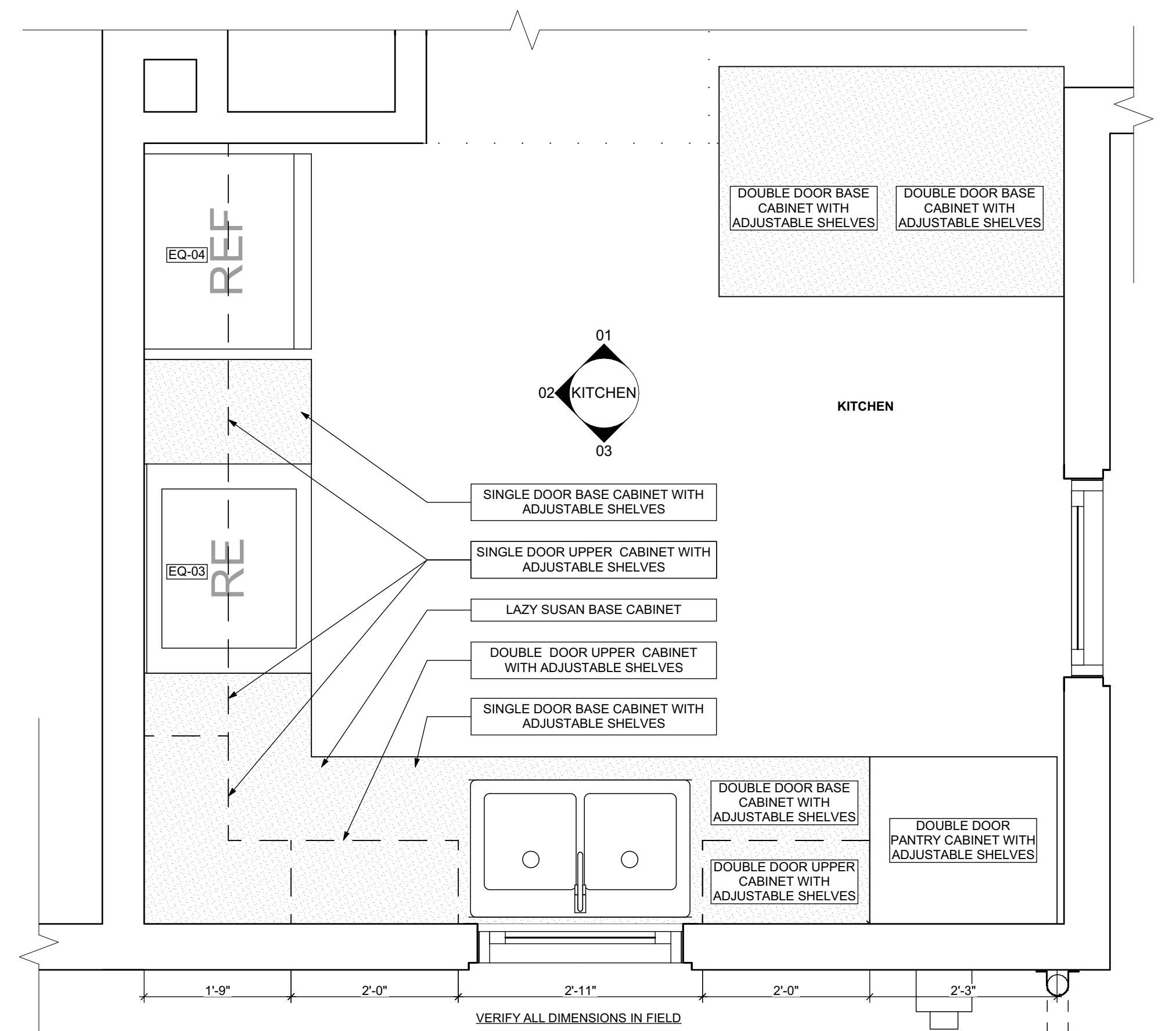
1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"



4 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Evrva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radiation. Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater. Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	1	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	-	0	A.O. SMITH	PROLINE® XE	Electric heat pump power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1EBF2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece water sense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enamelled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipes
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF& SELECTIONS.

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

- seal
- general notes
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- revisions

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project title

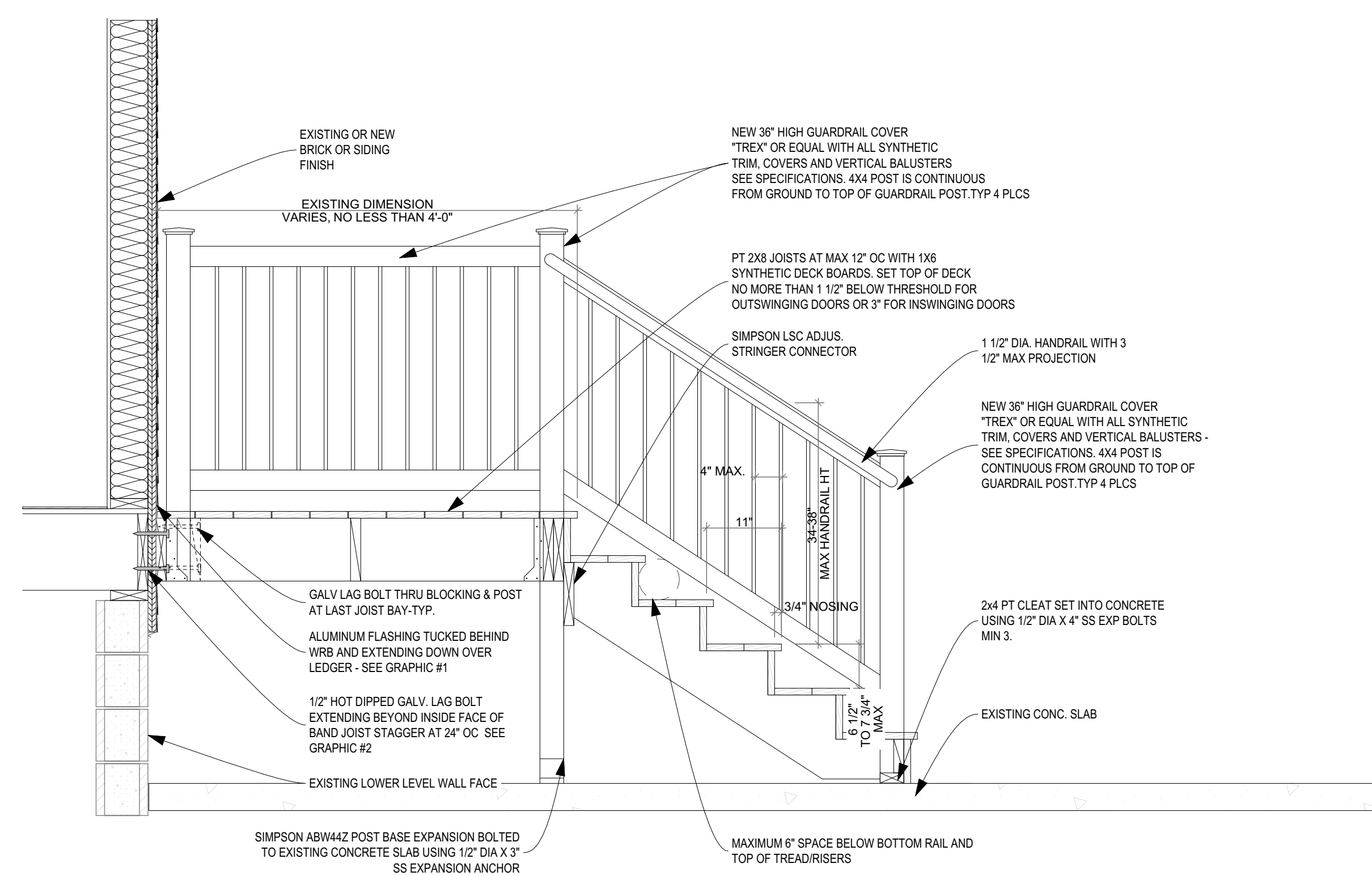
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

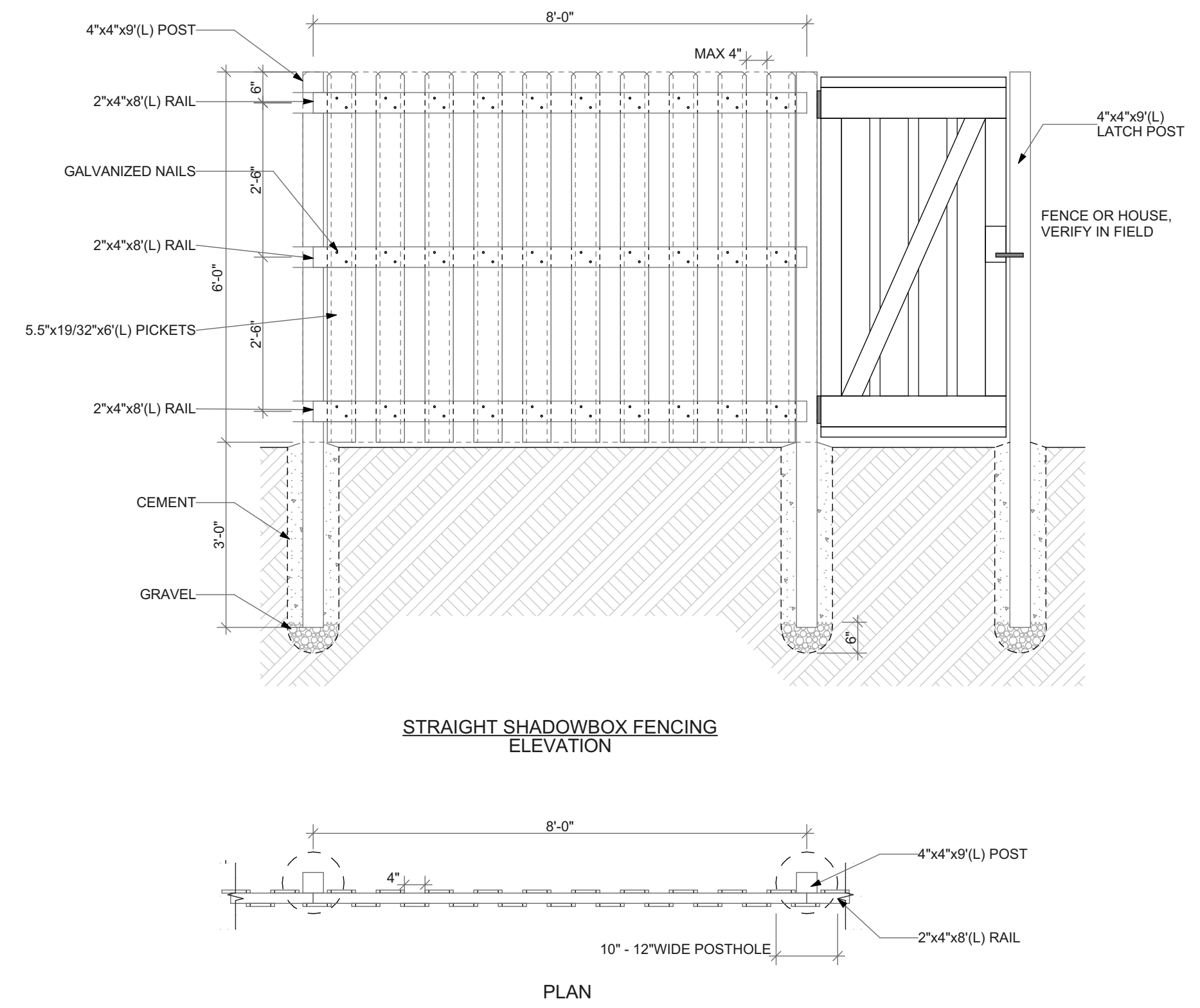
drawing title

KITCHEN ELEVATION 02,
KITCHEN ELEVATION 03, FIRST
FLOOR KITCHEN ENLARGED
PLAN

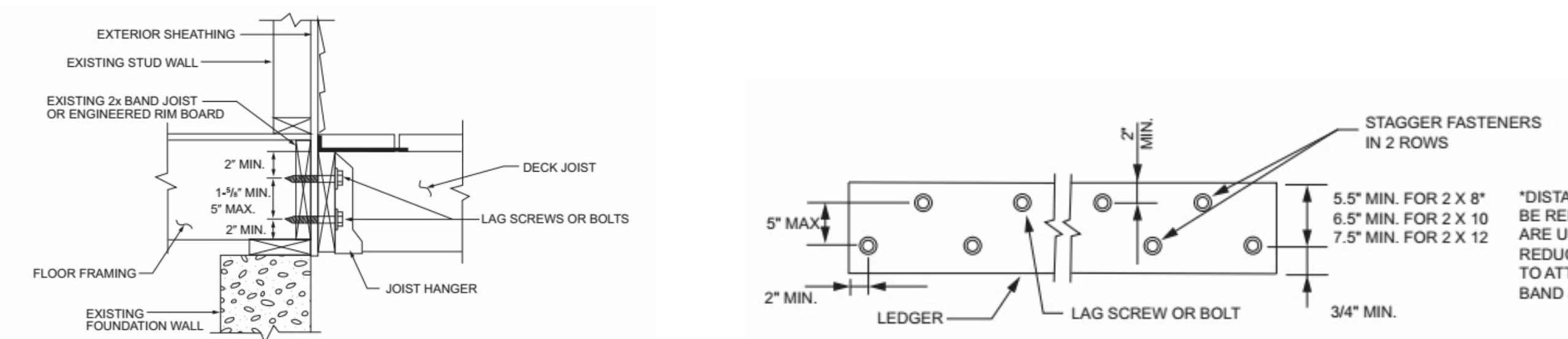
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date May 6, 2022	
no. of 11 13	



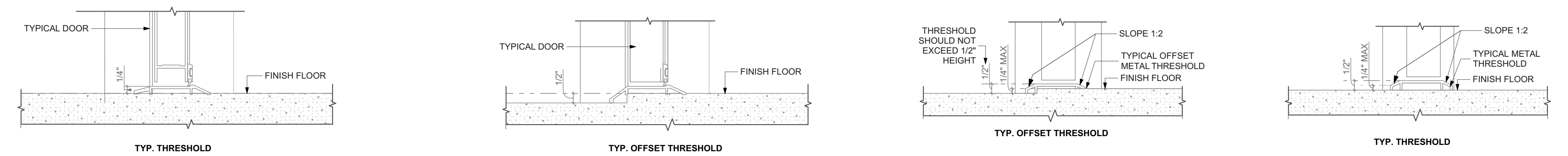
1 STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD
DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



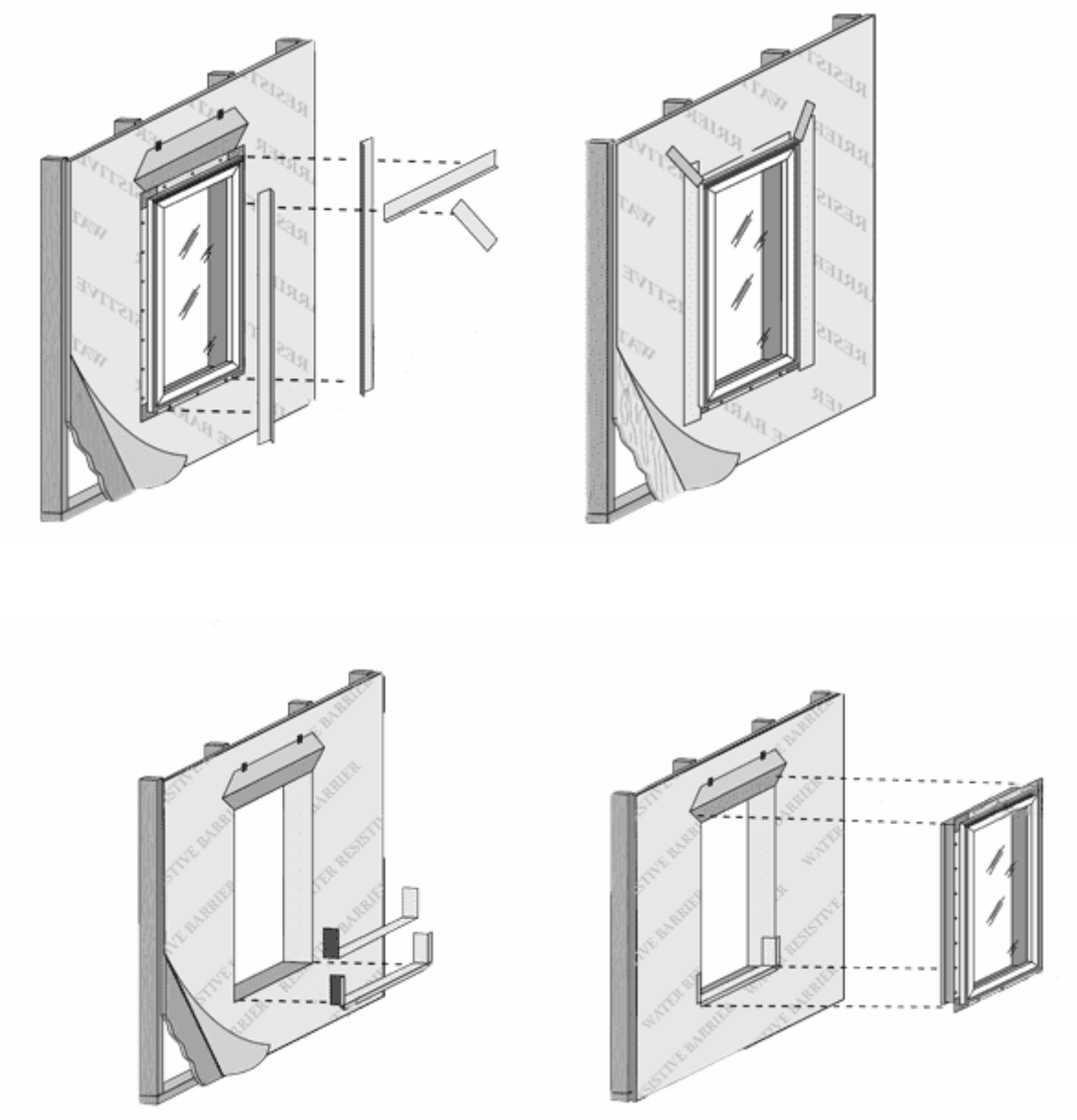
2 **WOOD FENCE DETAIL**
SCALE: 1/2" = 1'-0"



3 **DECK ENLARGED DETAILS**



4 **EXTERIOR DOOR THRESHOLD**
SCALE: 3" = 1'-0"



5 **WINDOW INSTALLATION UNDER VINYL SIDING**
NOT TO SCALE

seal

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

Project Location:
MANCHESTER SCATTERED SITES
1108 W NORTH AVENUE
PITTSBURGH, PENNSYLVANIA
15233

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	12
of.	13

Sheet No.
A11
Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1109 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 4 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS
SELECTION CRITERIA
THRESHOLD CRITERIA
TABULAR SCHEDULE
A1 COVER SHEET
ARCH PRLIM SET
CODE AND CONTACT INFO
MANCHESTER SCATTERED SITES MAP
A2 ABBREVIATIONS AND MATERIALS
ABBREVIATIONS AND MATERIALS
DOOR TYPES
DOOR SCHEDULE (WITH EXISTING)
WINDOW SCHEDULE
FINISH SCHEDULE
SIDING WALL SECTION
INTERIOR STAIR DETAIL
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES
GENERAL NOTES
ENERGY NOTES
A4 SITE PLAN AND ROOF PLAN
ROOF PLAN
SITE PLAN
ROOF PLAN NOTES
ROOF AND SITE PLAN LEGEND
GRAPHIC SCALES
SMALL UNIT KEYNOTES
A5 FLOOR / DEMO PLANS
DEMOLITION PLAN LEGEND
GENERAL DEMOLITION NOTES
FIRST FLOOR / DEMO PLAN
BASEMENT / DEMO PLAN
SECOND FLOOR / DEMO PLAN
THIRD FLOOR / DEMO PLAN
GRAPHIC SCALES
SMALL UNIT KEYNOTES
A6 FLOOR/FINISH/MECH/PLUMB. PLANS
BASEMENT/FINISH/MECH/PLUMB. PLAN
FIRST FLOOR/FINISH/MECH/PLUMB. PLAN
GRAPHIC SCALES
FLOOR PLAN LEGEND
THIRD FLOOR/FINISH/MECH/PLUMB. PLAN
SECOND FLOOR/FINISH/MECH/PLUMB. PLAN
SMALL UNIT KEYNOTES
A7 REFLECTED CEILING / POWER / DATA PLANS
RCP LEGEND
LIGHTING SCHEDULE
BSMT. REFL. CLG./ POWER / DATA PLAN
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
GRAPHIC SCALES
SMALL UNIT KEYNOTES
A8 ELEVATIONS
NORTH ELEVATION
SOUTH ELEVATION
GRAPHIC SCALES
WEST ELEVATION
SMALL UNIT KEYNOTES
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS
FIRST FLOOR KITCHEN ENLARGED PLAN
KITCHEN ELEVATION01
KITCHEN ELEVATION02
A10 DETAILS
WOOD FENCE DETAIL
DECK SECTION DETAIL
DECK ENLARGED DETAILS
WINDOW INSTALLATION UNDER VINYL SIDING
EXTERIOR DOOR THRESHOLD

Code Conformance Information

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,146 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	S

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

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revisions

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project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1109 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO**

scale
As Noted

date
May 6, 2022

no. 2 of 12

Sheet No.

A1

Project #2006

seal

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drawing title

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no. of
5 12

Sheet No.

A4

Project #2006

SITE

- [S1] AT LOCATION SHOWN, REMOVE ±" OF TOPSOIL, PROVIDE CLAY CHIP AND REUSE TOPSOIL TO ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE BUILDING. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRC TIE CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAVEMENTS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

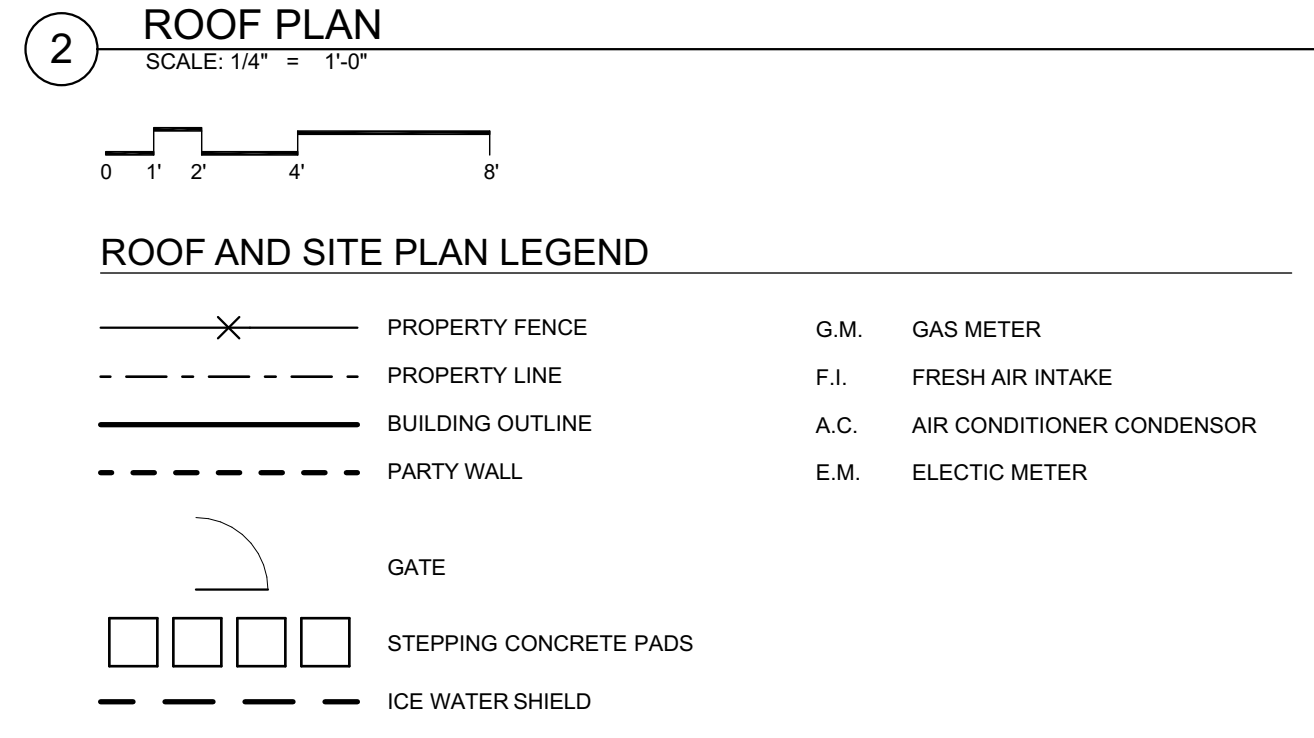
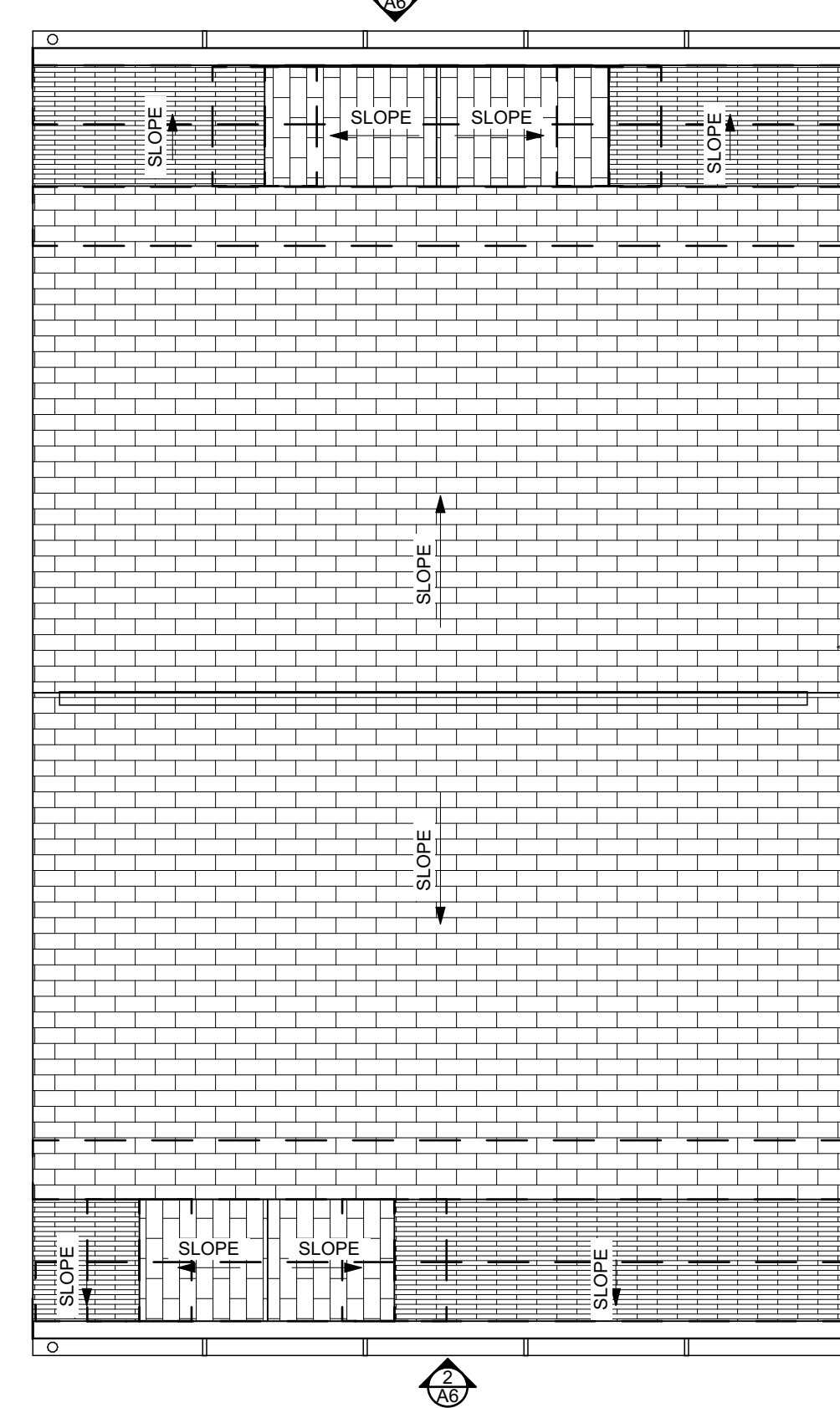
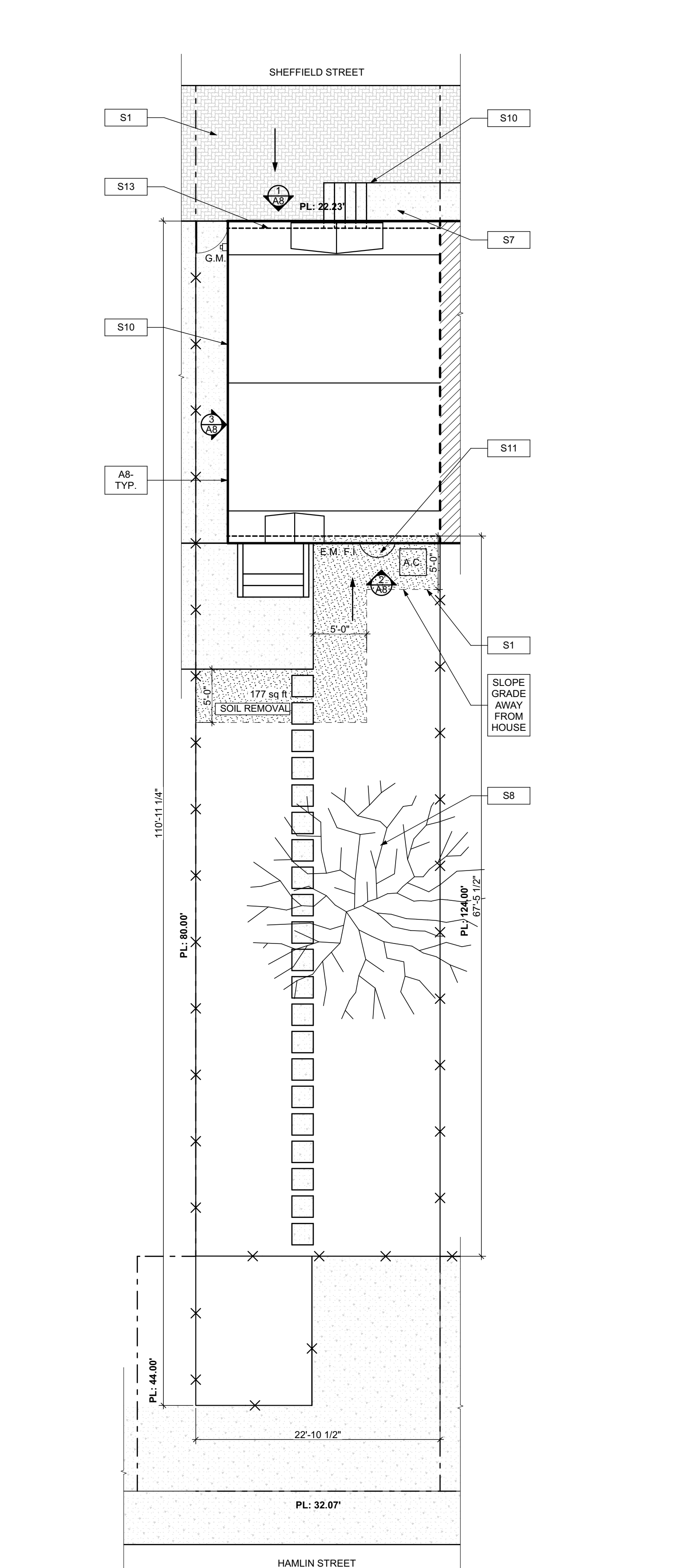
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHIU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYING OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS TO BE REMOVED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REMOVE AND PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. REFINISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

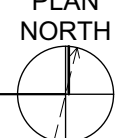
- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTRIBUTED BY EXISTING FIXTURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



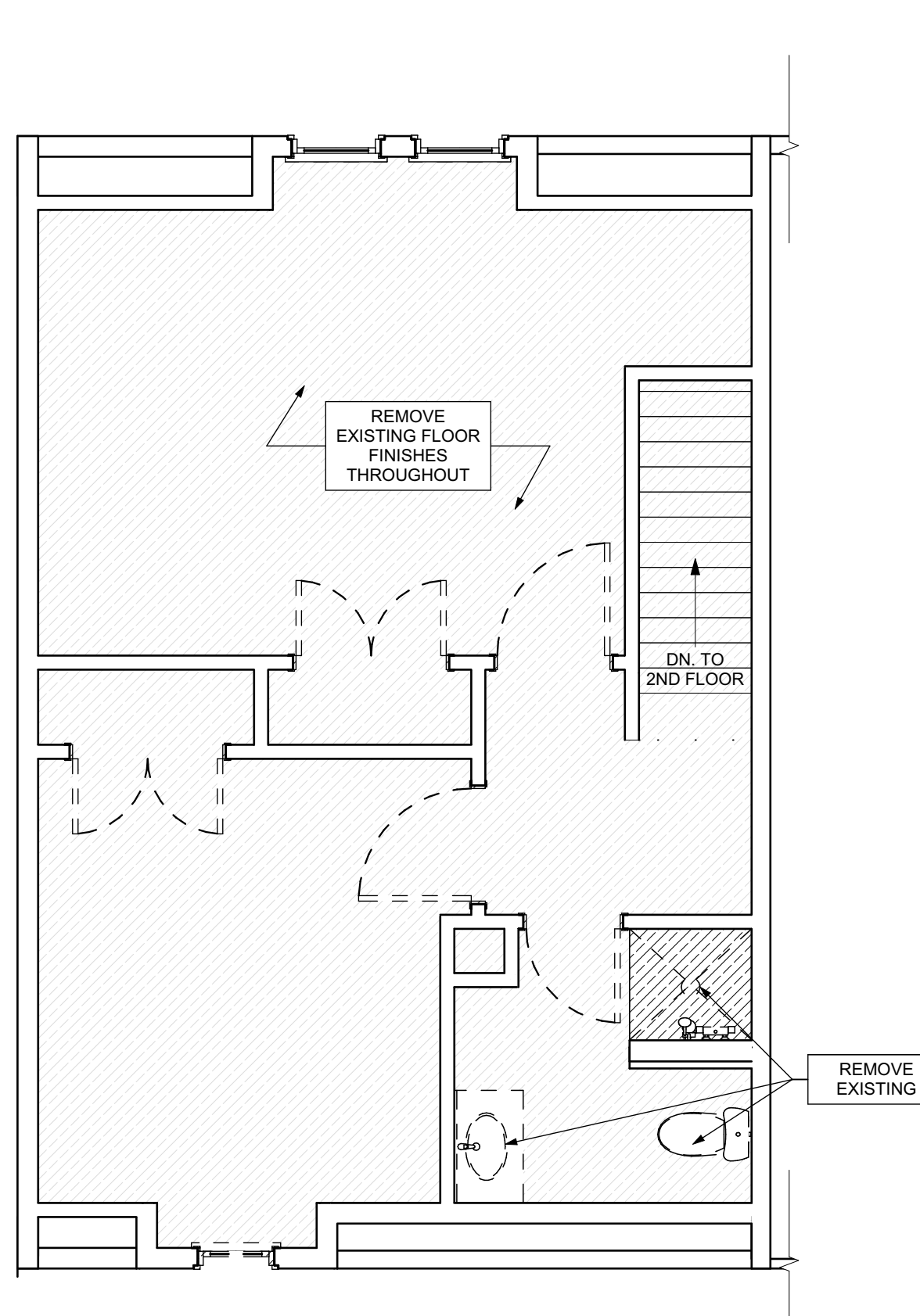
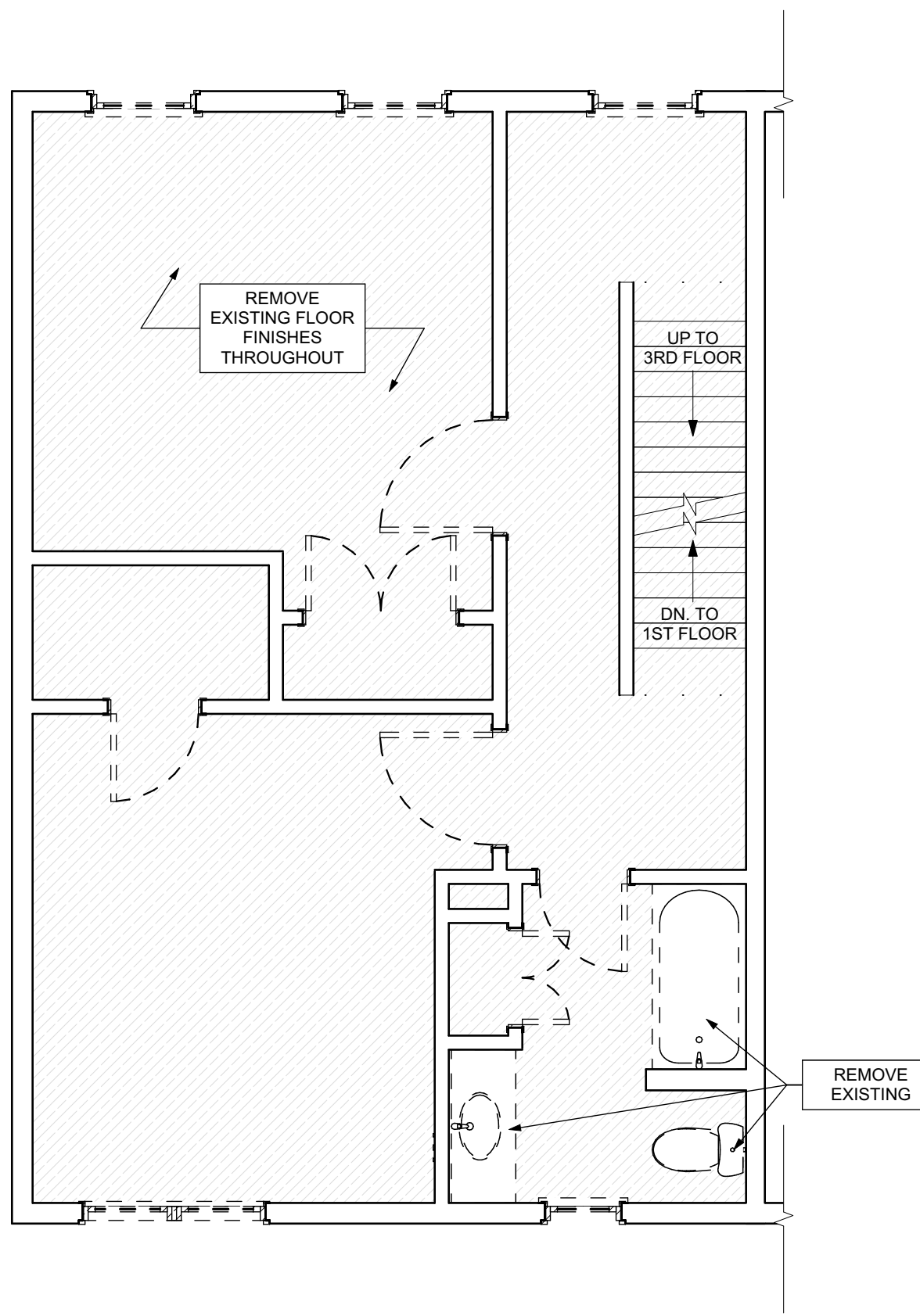
- ROOF PLAN NOTES**
- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/OIST LENGTHS.
 - ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.
- SITE PLAN NOTES**
- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
 - ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

ADJACENT UNIT

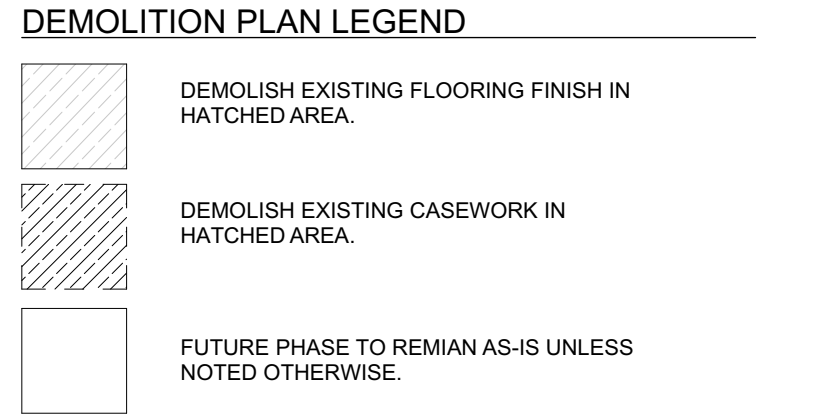


- SITE**
- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF SLAB. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/FF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/FF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
 - S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A12 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A13 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A14 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A15 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REMOVE DOOR OR REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A16 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. HOODS, TRAYS, OR HEADERS AS NECESSARY AT WALLS AND CEILING. LEAK SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A17 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A19 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A20 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A21 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"x2" L1 SPREAD FOOTING AND BRACE. REMOVE EXISTING SLAB. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A22 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A23 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A24 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
 - A25 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A26 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A27 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A28 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. CHECK FOR CONDENSURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



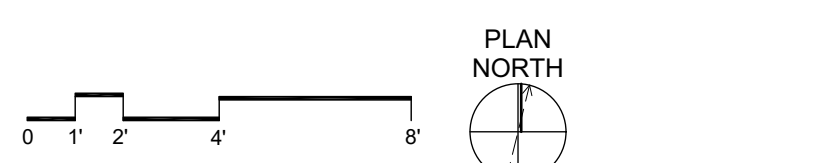
GENERAL DEMOLITION NOTES

1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS, DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL. IF THERE IS NO JUNCTION BOX, AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
8. COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
10. ITEMS NOT LABELED OR KEYS FOR REMOVAL/ DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.



SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
 AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

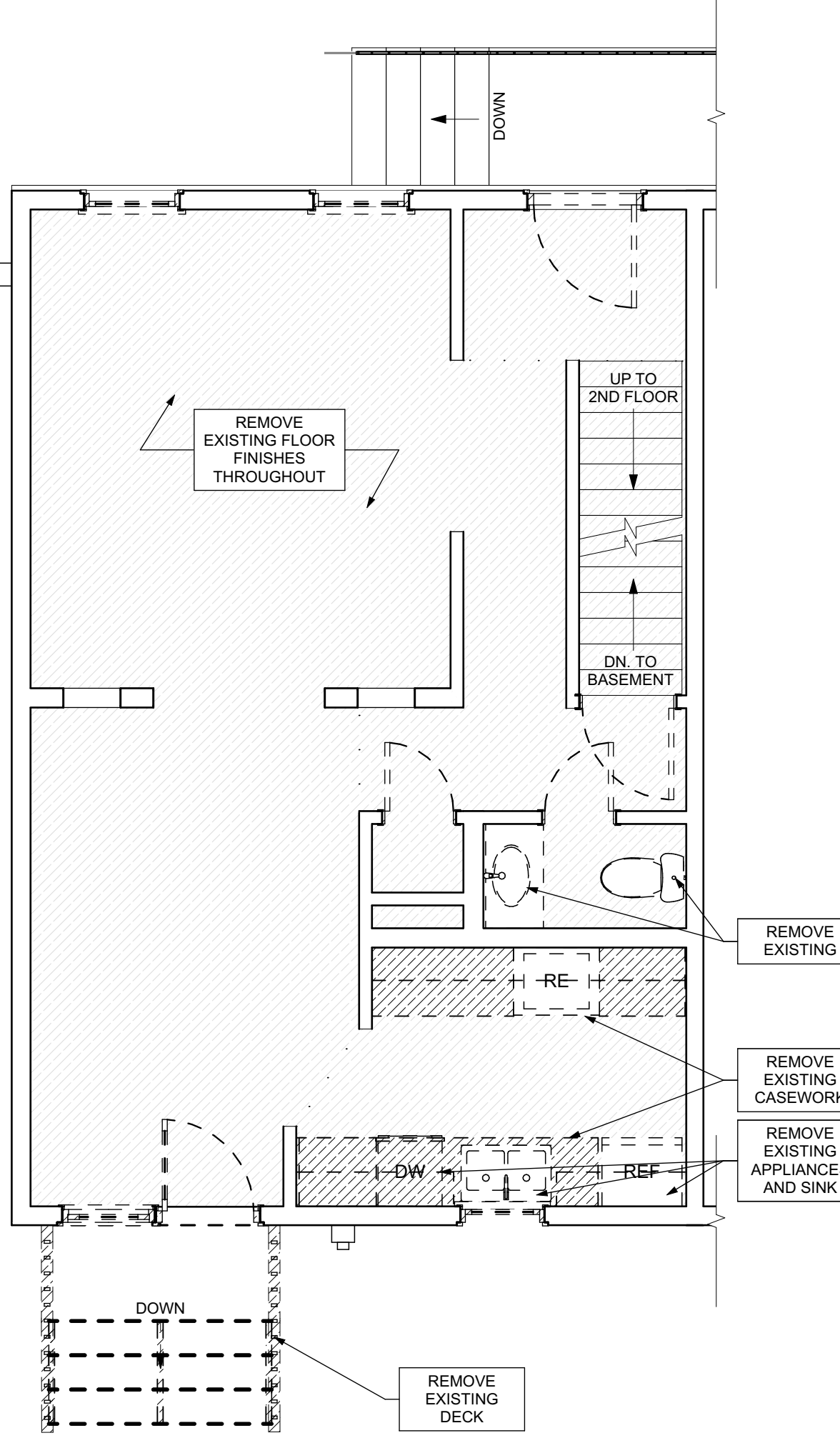
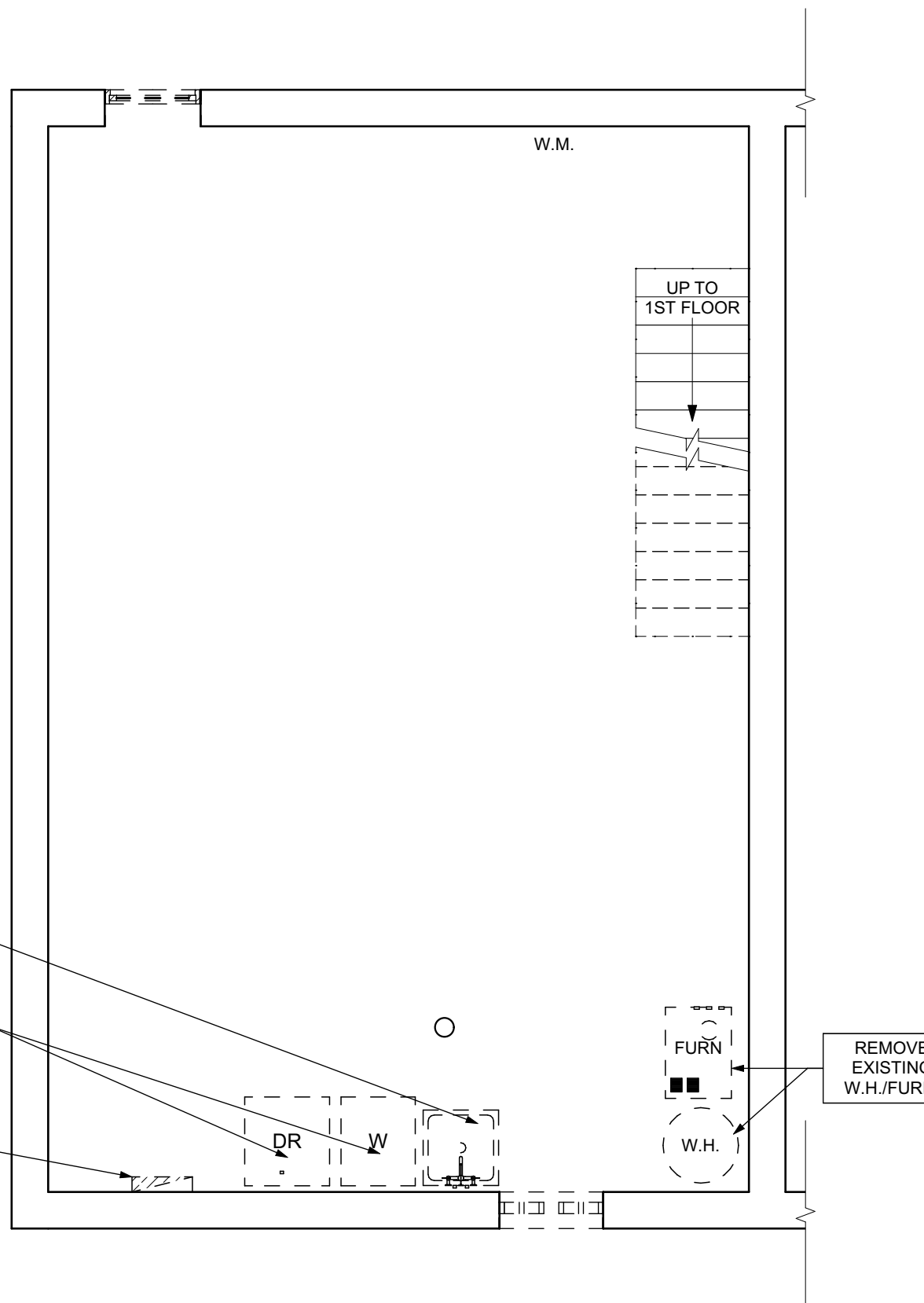


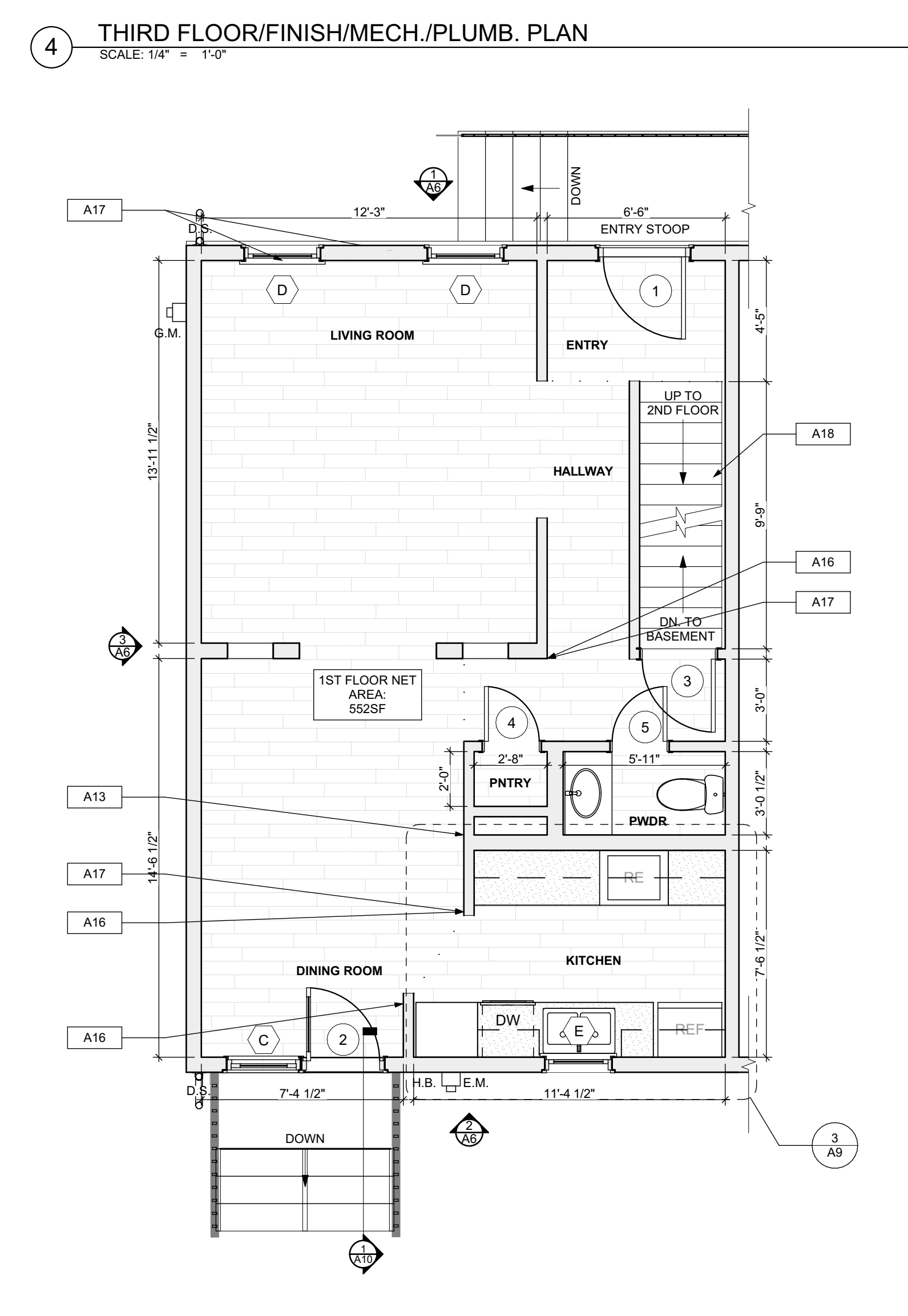
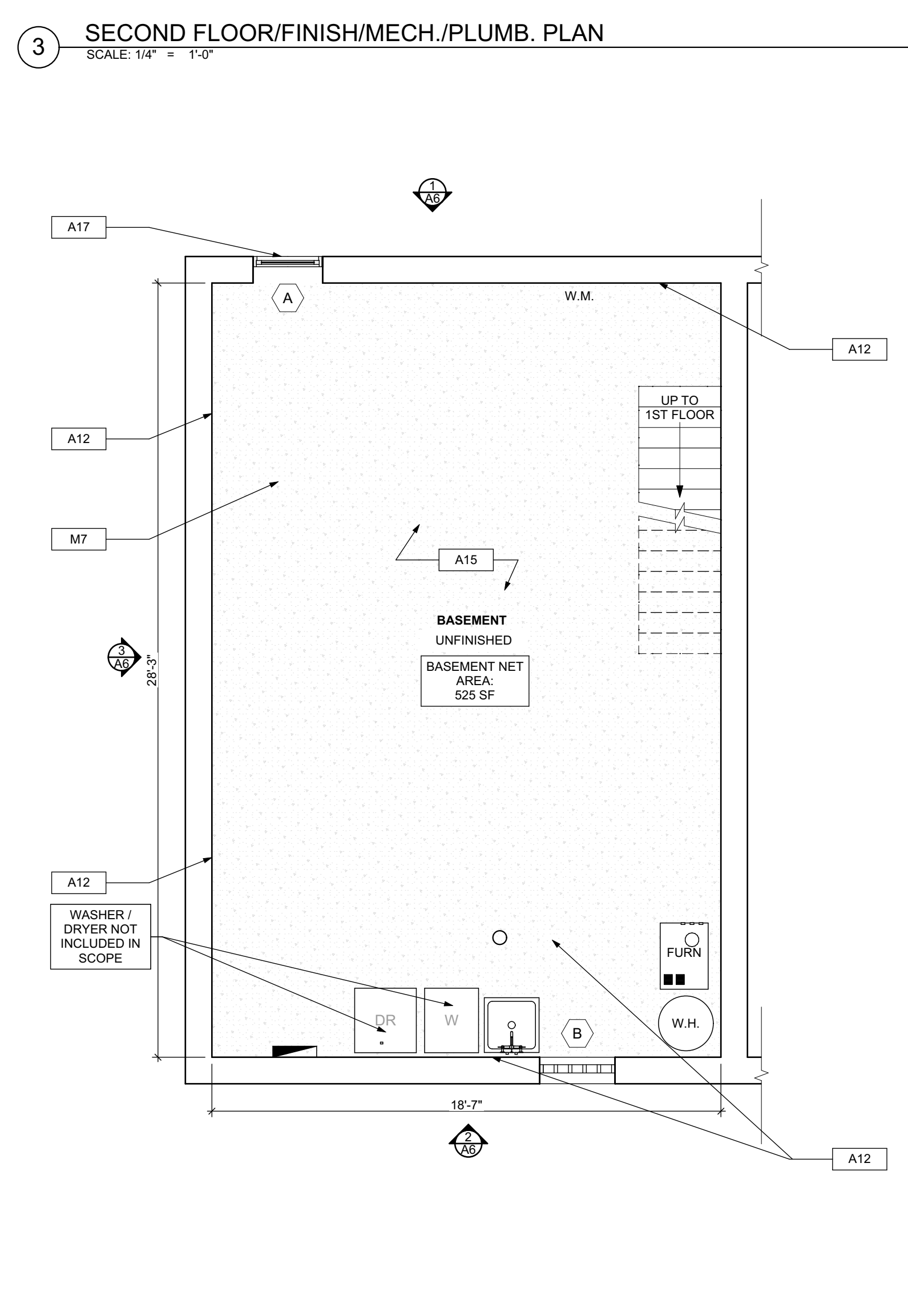
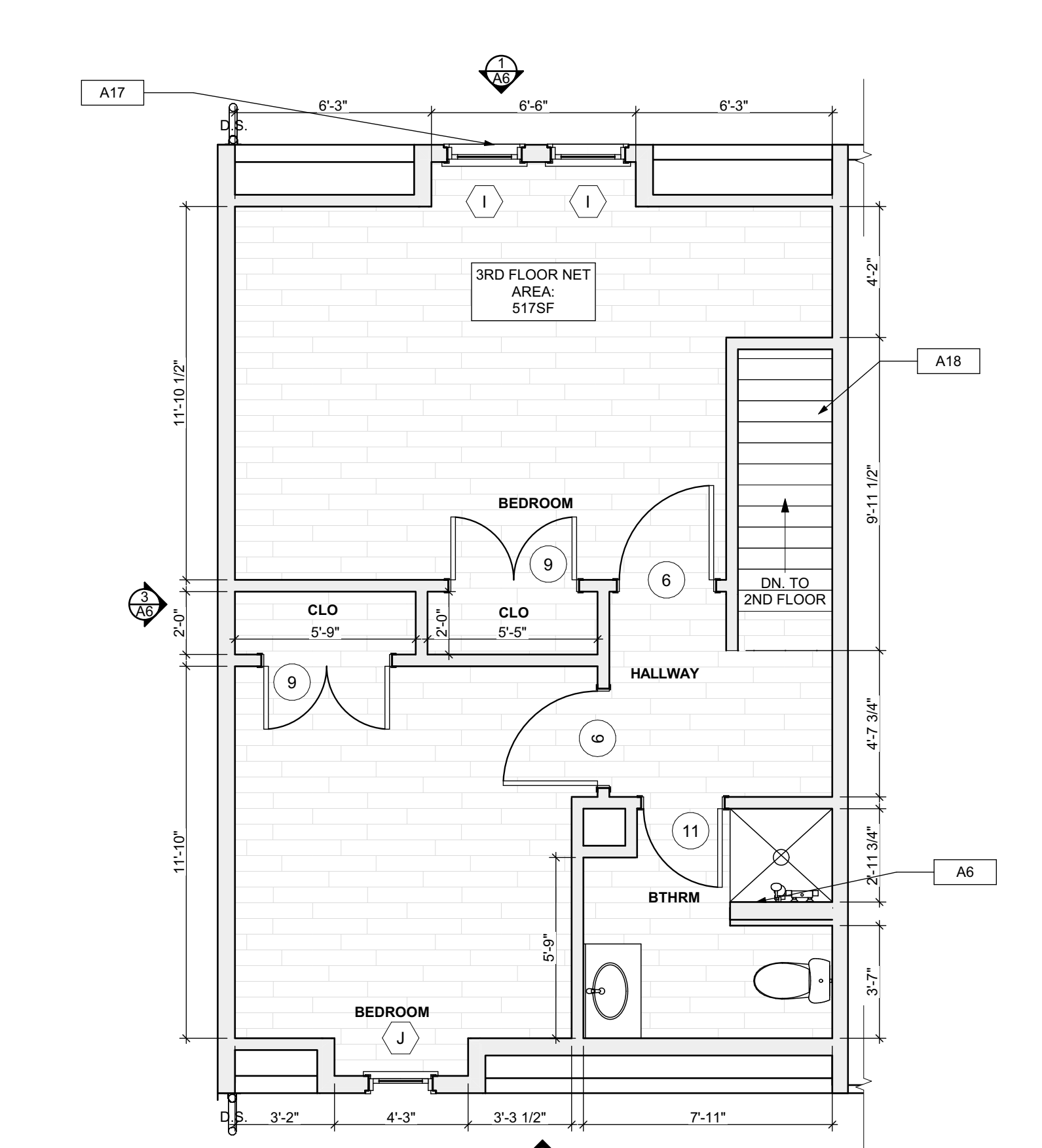
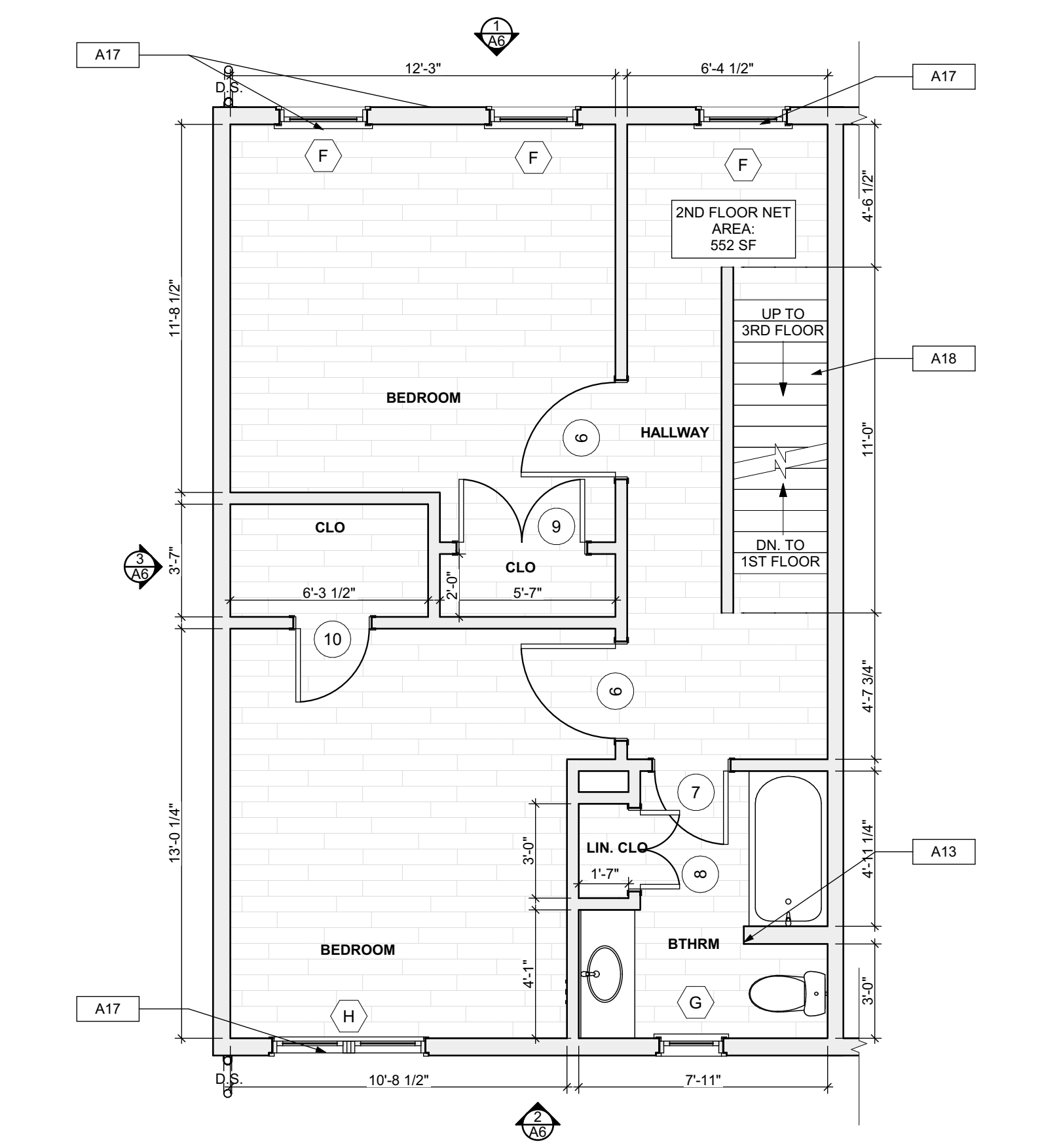
SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

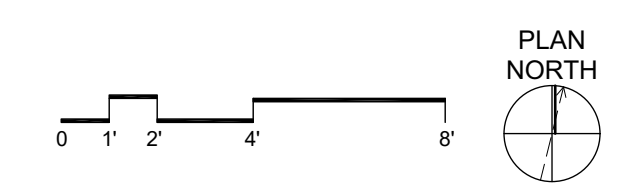




FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- E.M. ELECTRIC METER
- H.B. HOSE BIBB
- DRYER

SCOPE REDUCTION:
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SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF BUILD SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE 4" WET COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE 4" WET COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR TRIM/SHED WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETTING AT EXT. CONC. REPAIR. SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT EXISTING GROUND TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S28 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- S29 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODEN TRIM AS NECESSARY. REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2X2X12 SPREAD FOOTING AND APPLICABLE CONNECTIONS FOR PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIPMENT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. REFER TO MECH. DWG'S FOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

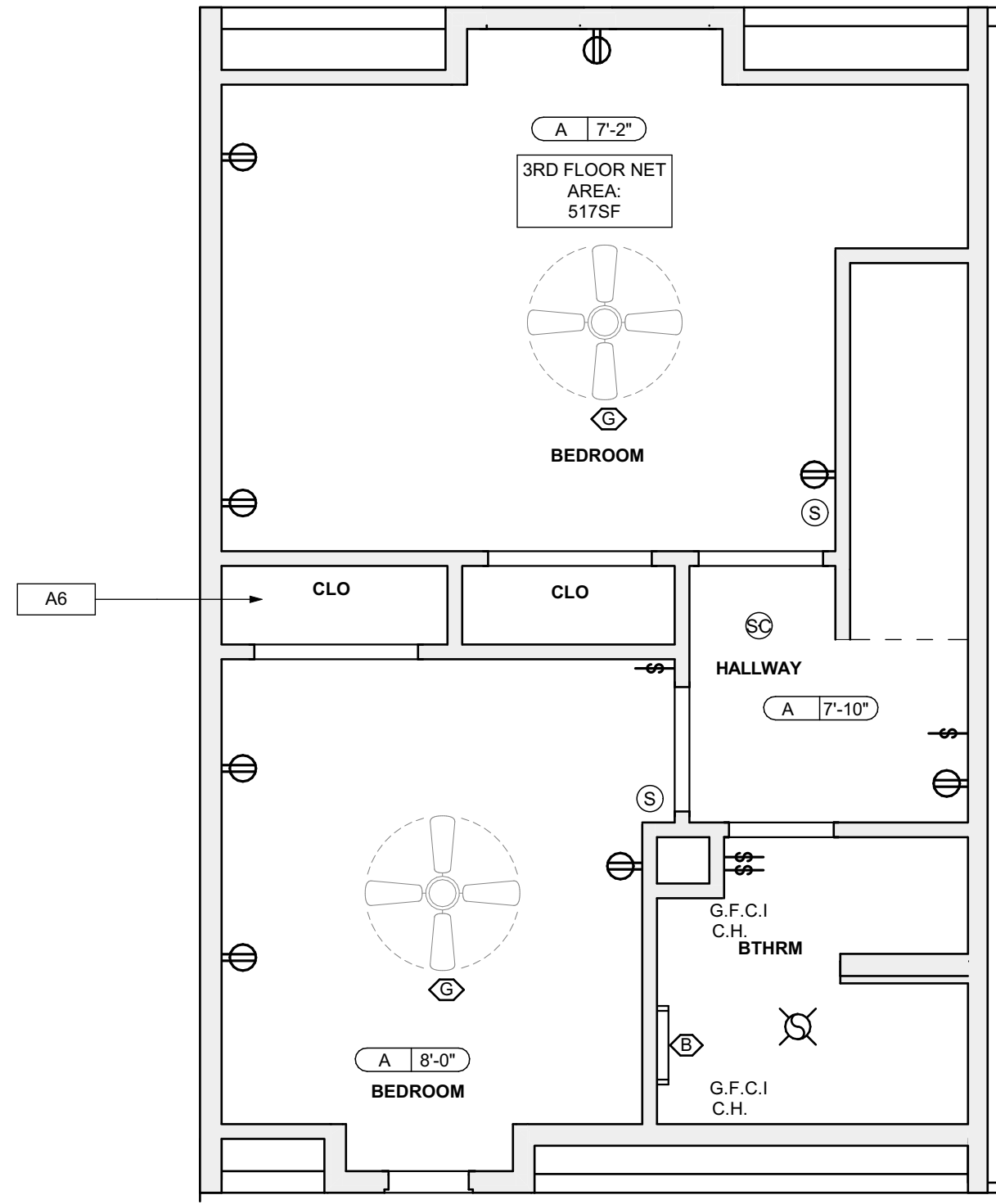
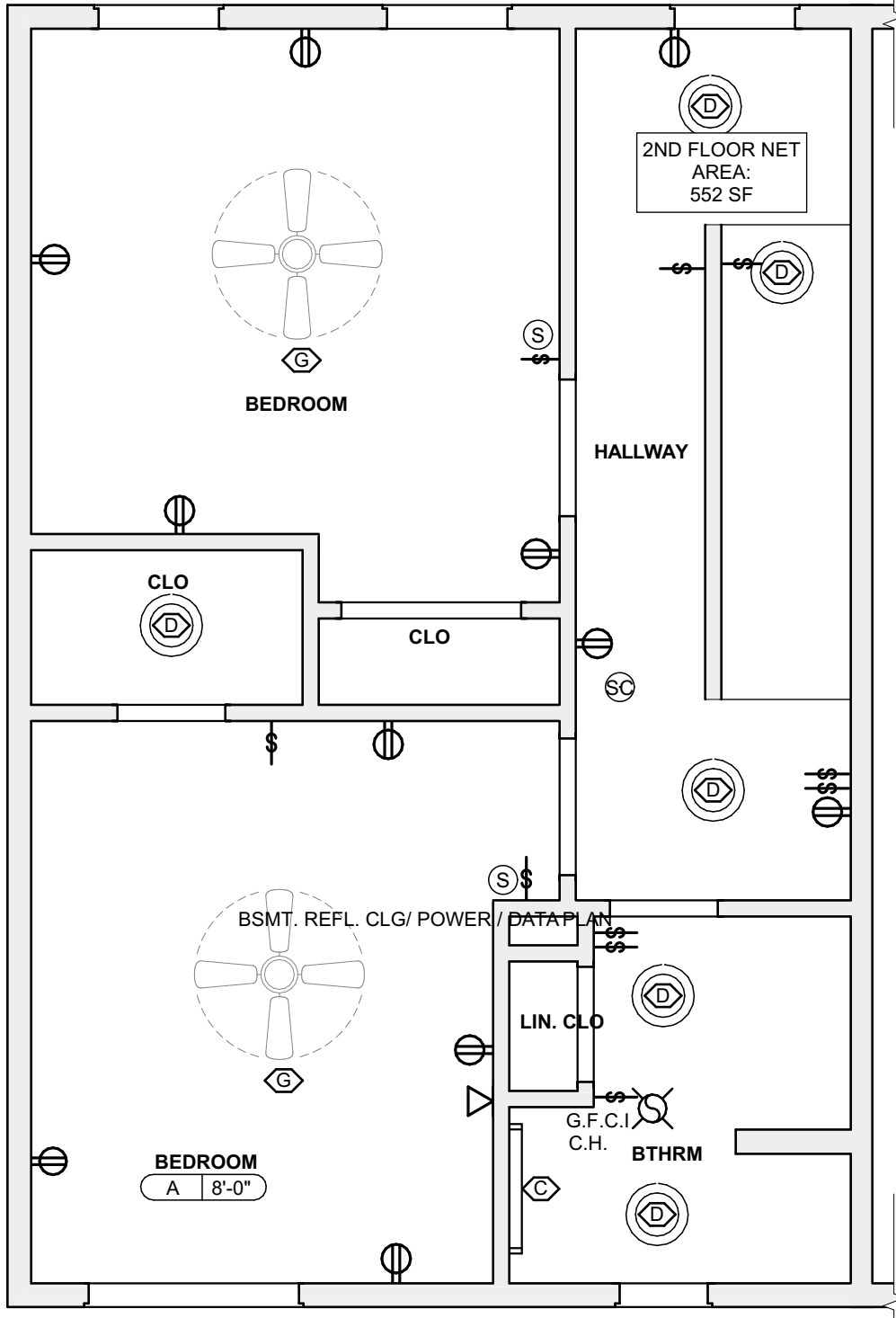
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1109 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

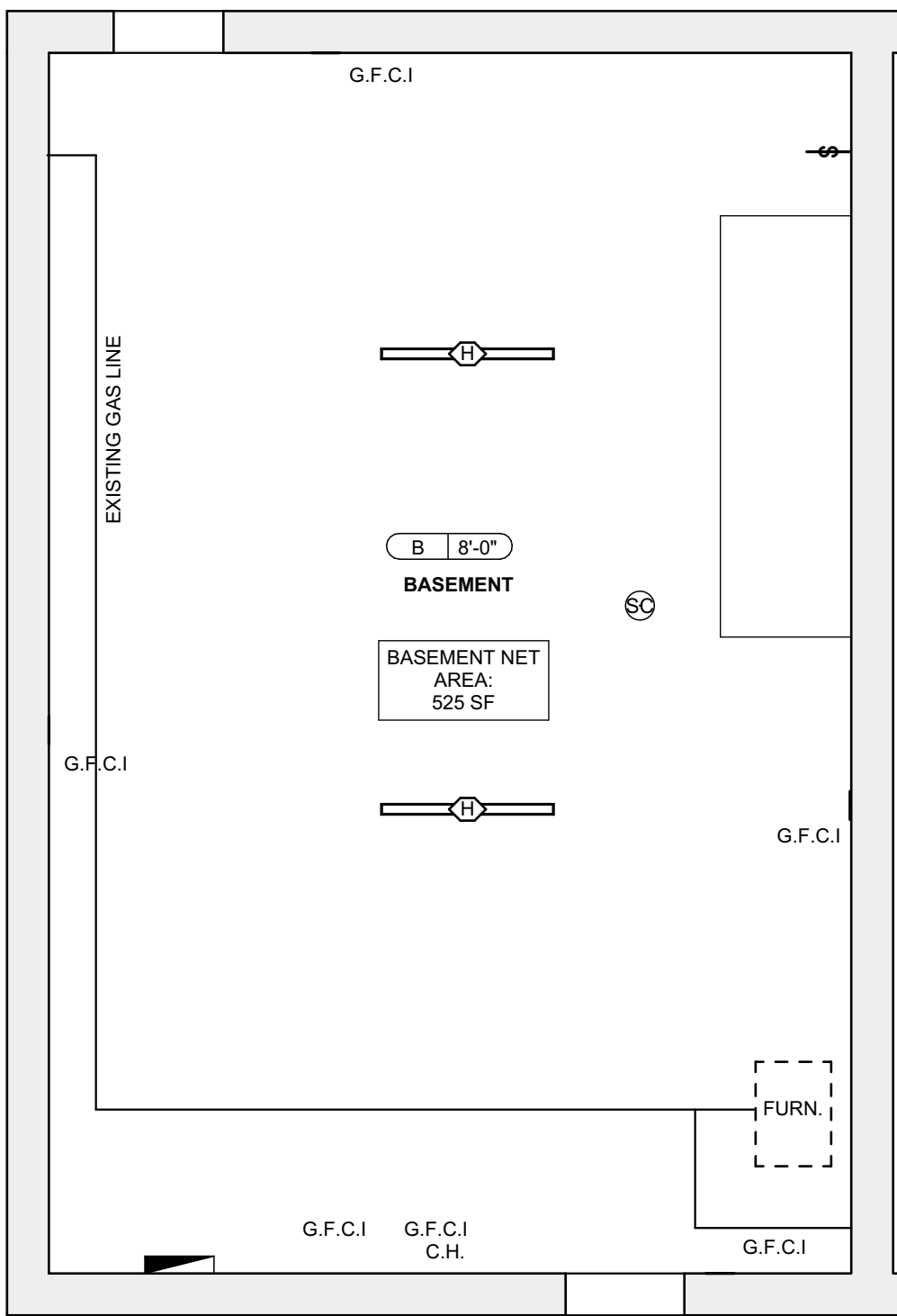
BASEMENT/FINISH/MECH./PLUMB
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, GRAPHIC SCALES, FLOOR
PLAN LEGEND, SMALL UNIT
KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	A6 Project #2006
of.	12	

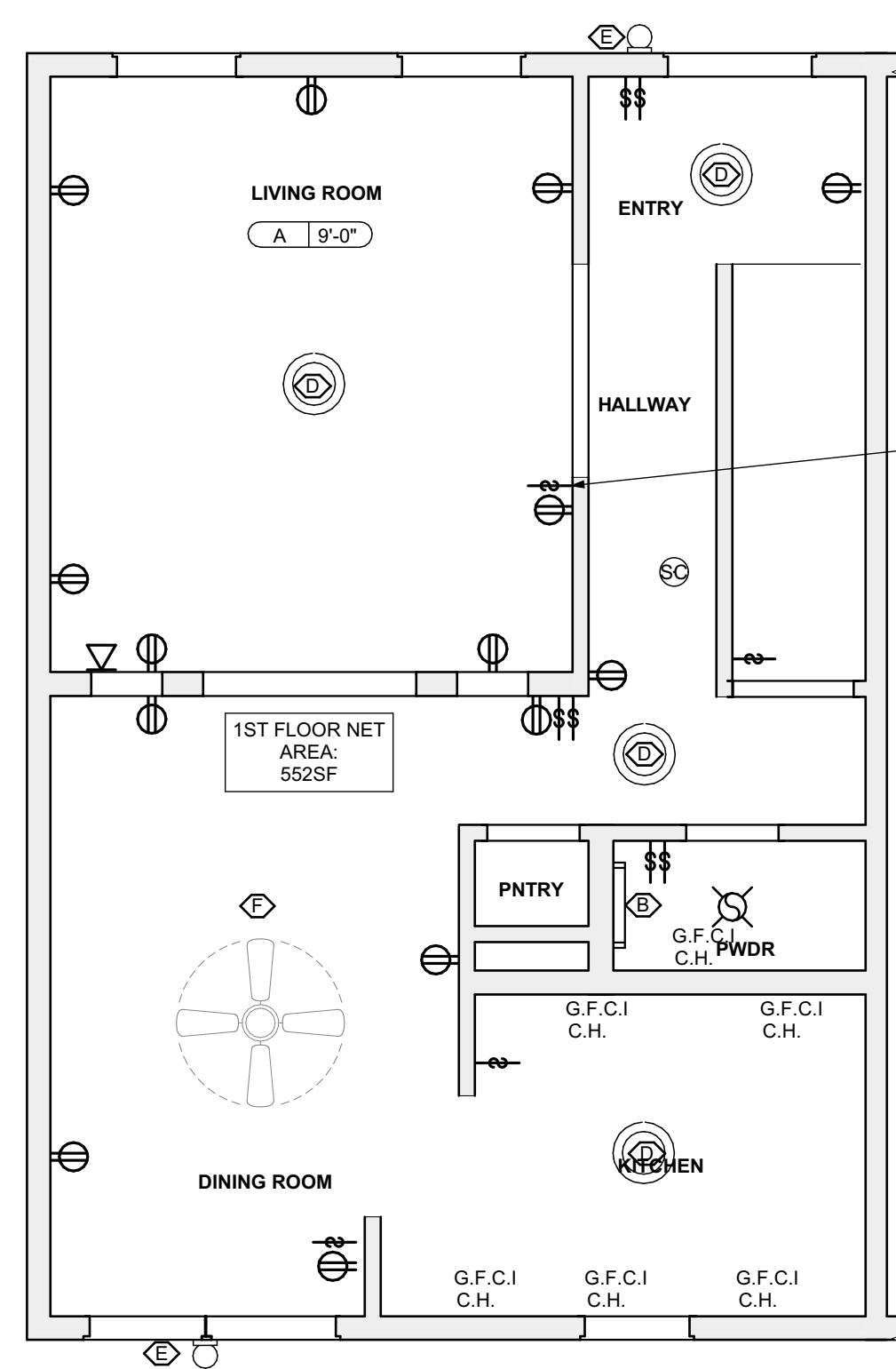


3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BSMT. REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
[Symbol]	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922N18	2
[Symbol]	C	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
[Symbol]	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
[Symbol]	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
[Symbol]	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
[Symbol]	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	4
[Symbol]	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

- SITE**
- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. REPAIR CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PARAPETS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE, TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR TRIMWOOD, REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - [S13] REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, REPAIR ANY CRACKS AS NECESSARY.
 - [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - [A3] BOWING EXTERIOR WALL OR RETAINING WALL, BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYING OF FLOORING. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL MEMBERS. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR MINIWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY, REFER TO PLUMB. DWG'S.**
- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY, REFER TO MECH. DWG'S.**
- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIVALENT DUCT OR FURNACE.
 - [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. PROVIDE INTERIOR DELIMITOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILLER OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1109 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

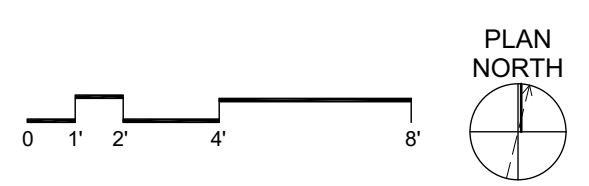
drawing title

BSMT. REFL. CLG. / POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC SCALES, SMALL UNIT KEYNOTES

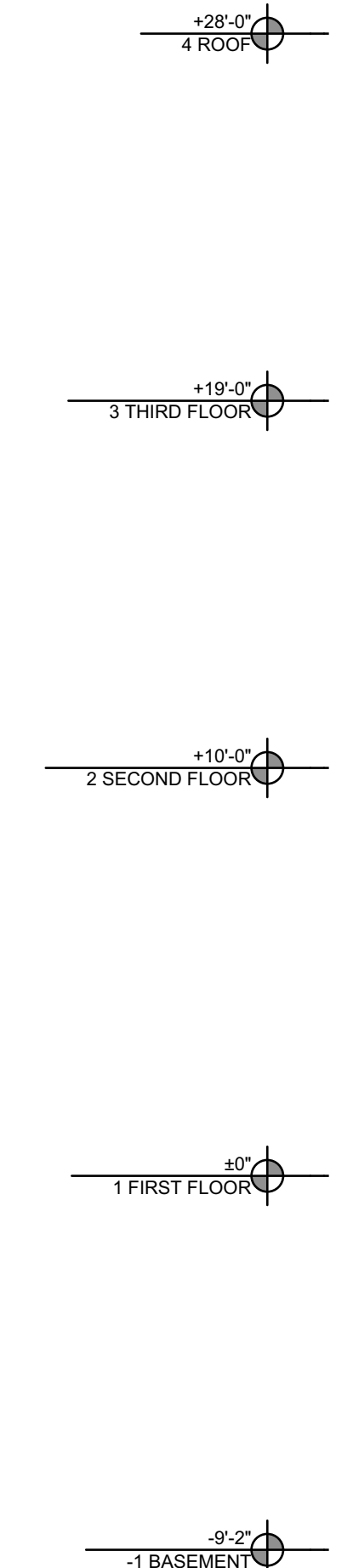
- RCP LEGEND - (See Specifications for basis of Design)**
- [Symbol] SMOKE ALARM, PROVIDE NEW WHERE SHOWN
 - [Symbol] SMOKE / CARBON MONOXIDE COMBO DETECTOR
 - [Symbol] ELECTRICAL METER
 - [Symbol] THERMOSTAT
 - [Symbol] DATA RECEPTICAL, 18" A.F.F. U.O.N.
 - [Symbol] ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
 - [Symbol] ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
 - [Symbol] GROUND FAULT CIRCUIT INTERRUPTER
 - [Symbol] GROUND FAULT CIRCUIT INTERRUPTER
 - [Symbol] LIGHT SWITCH
 - [Symbol] EXHAUST FAN
 - [Symbol] DOORBELL
 - [Symbol] GWB CEILING / CEILING HEIGHT
 - [Symbol] UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

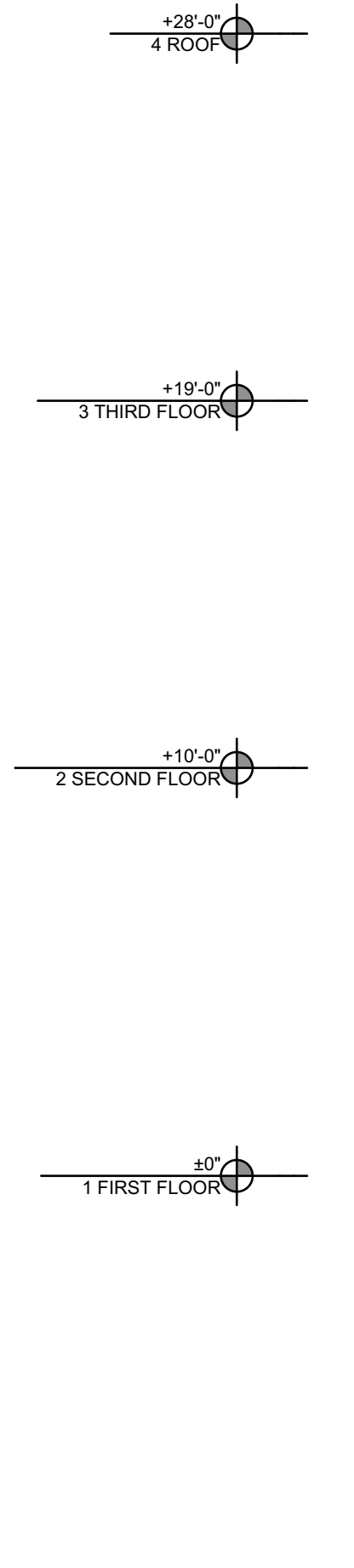
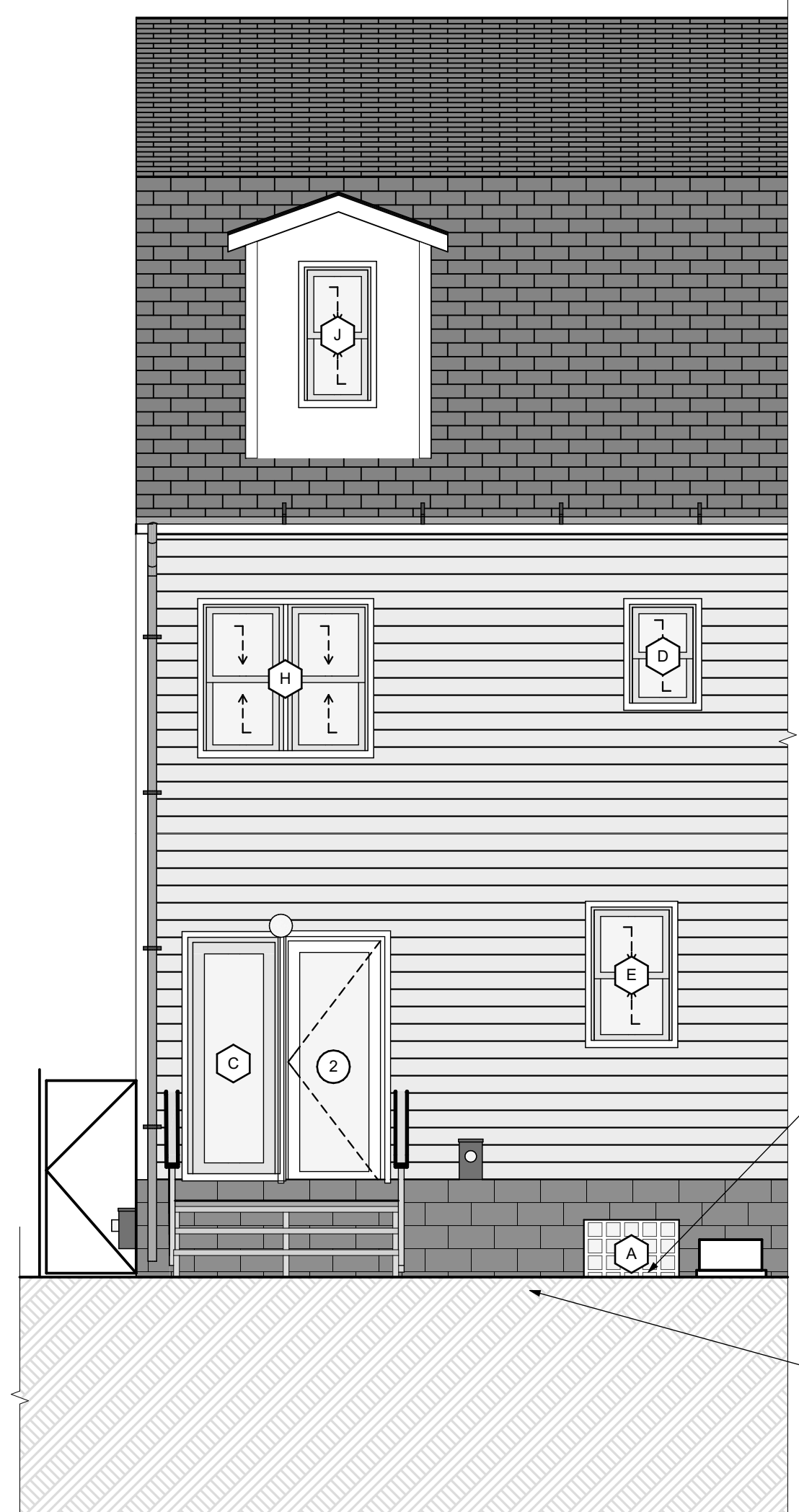
GENERAL NOTE:
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



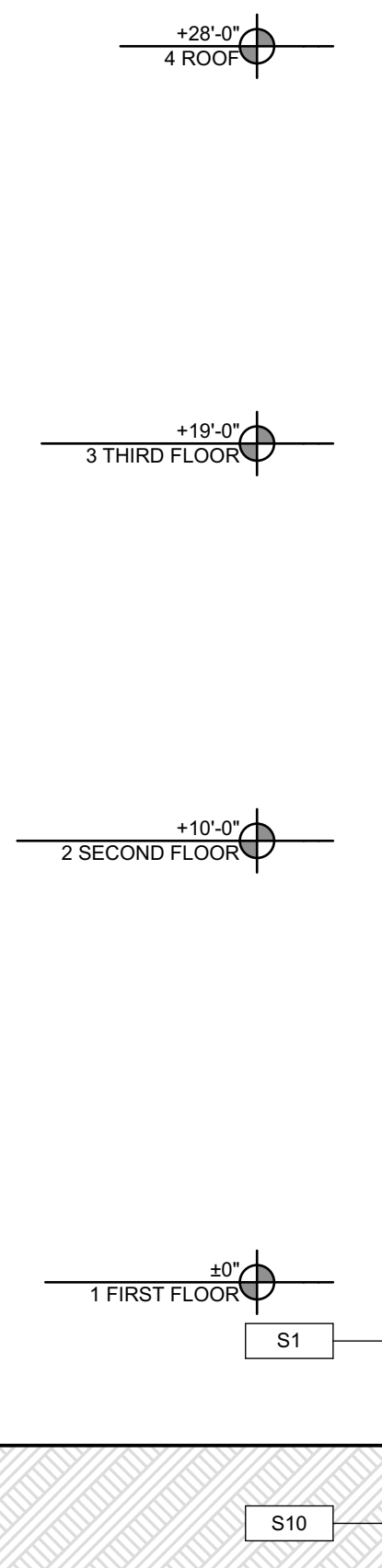
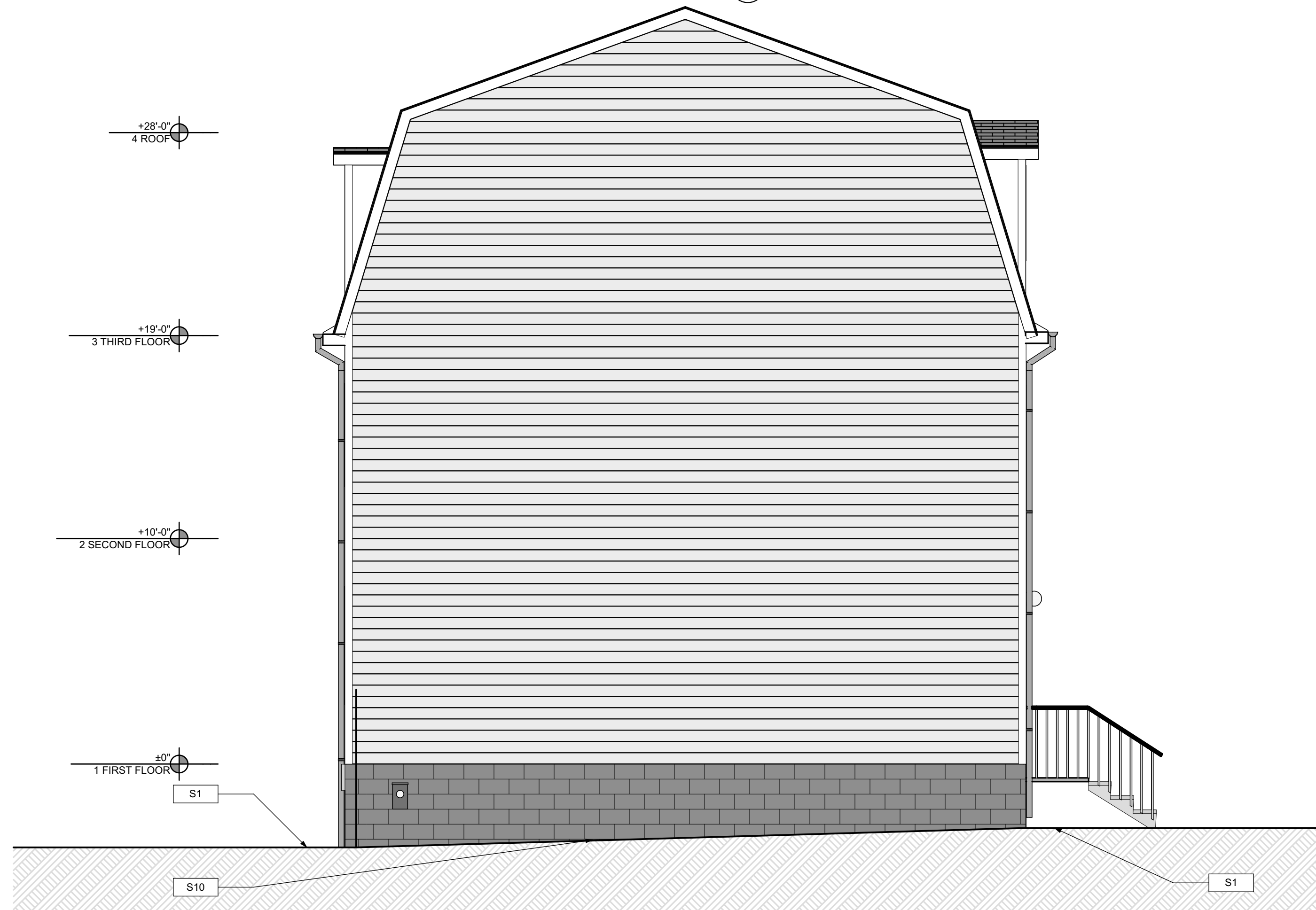
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	8	A7 Project #2006
of.	12	



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



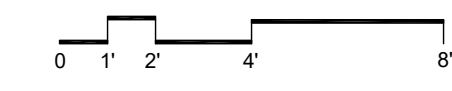
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 70% REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POINT. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD. REPAIR AND FINISH AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAWCUT EXISTING TRAILER FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR IN-WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITER TO EXISTING SPACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

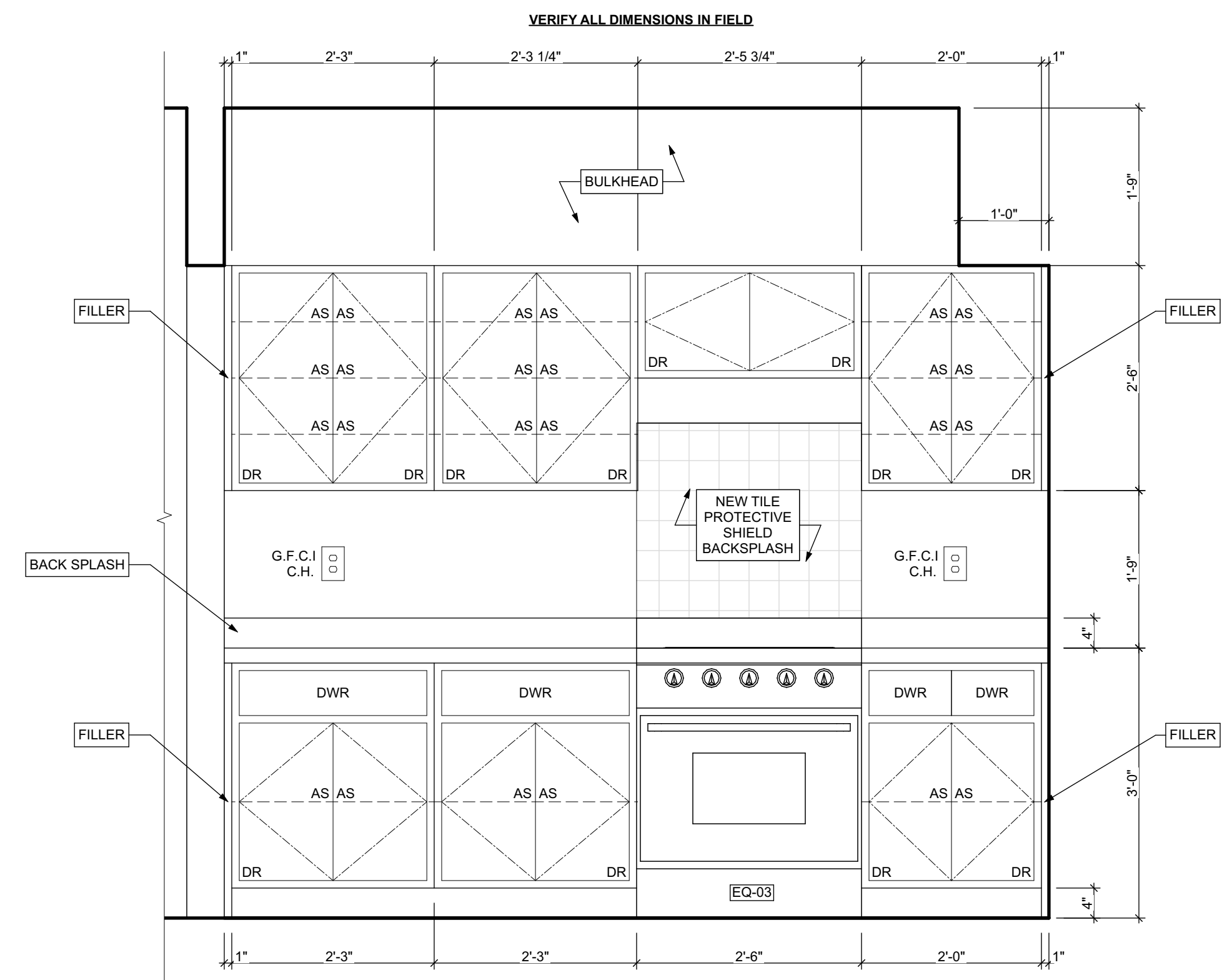
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1109 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

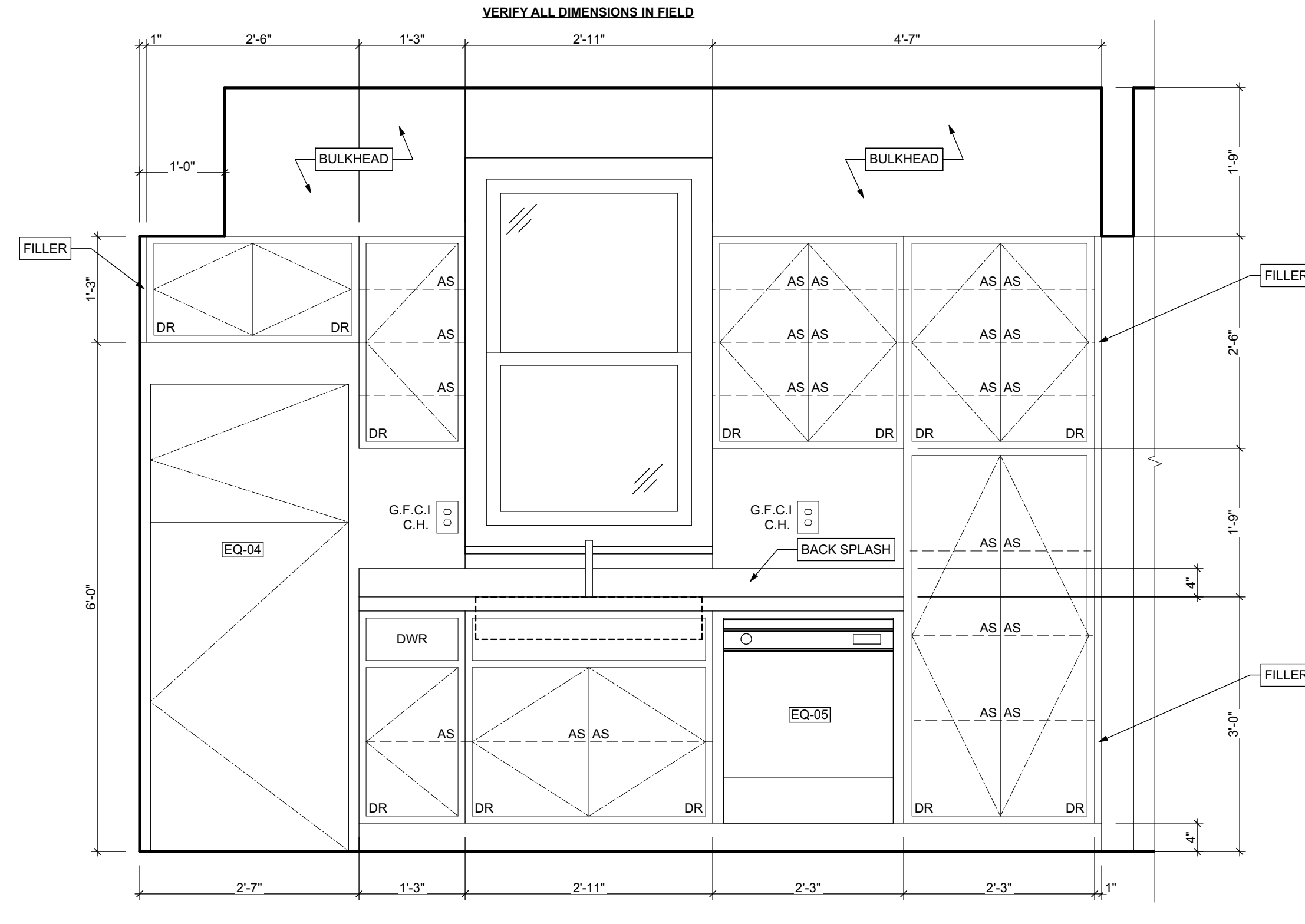
drawing title

NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

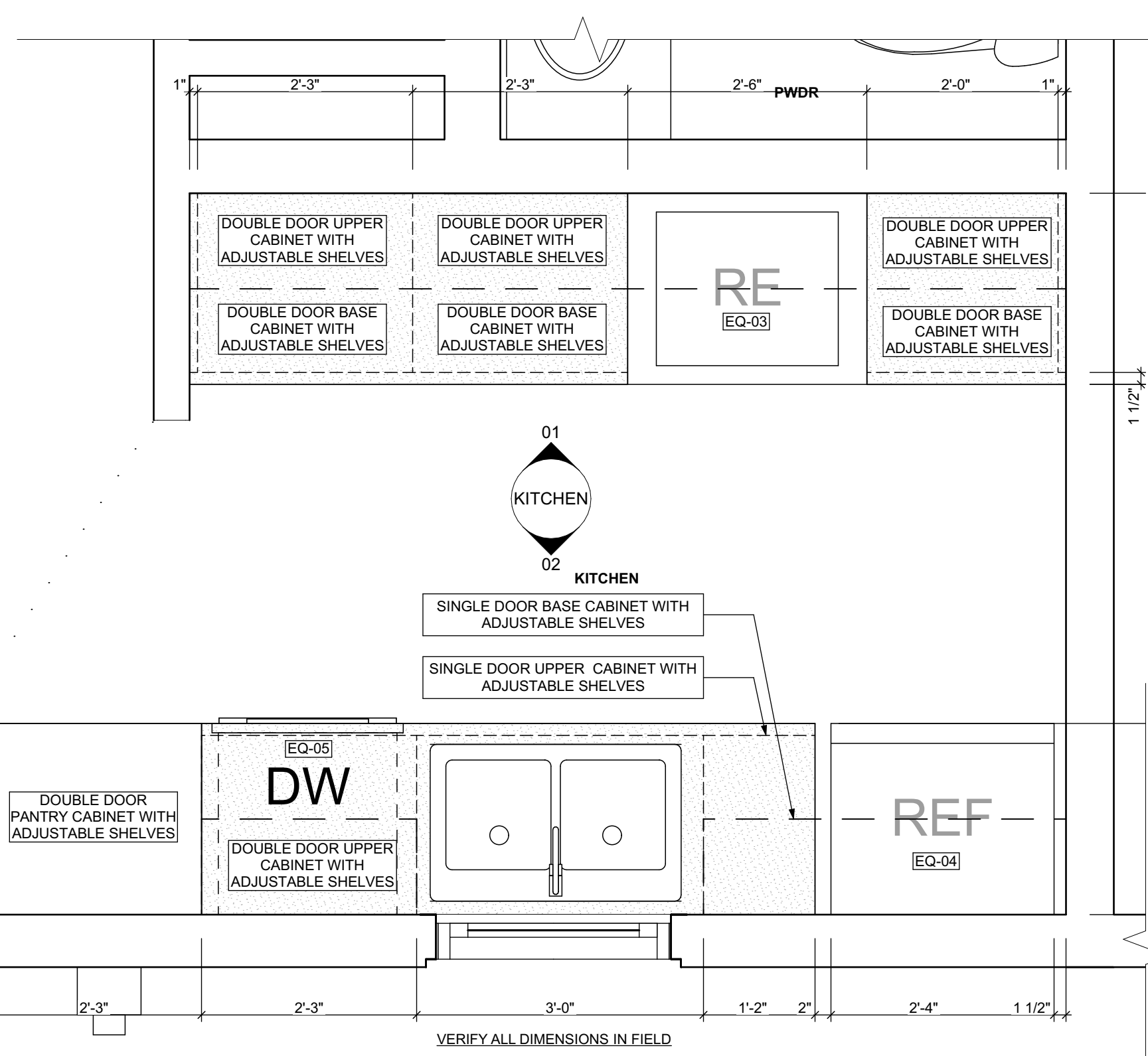
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8 Project #2006
of.	12	



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	-	0	AMANA	AMEC66	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING-MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 60/60 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	3	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION.

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

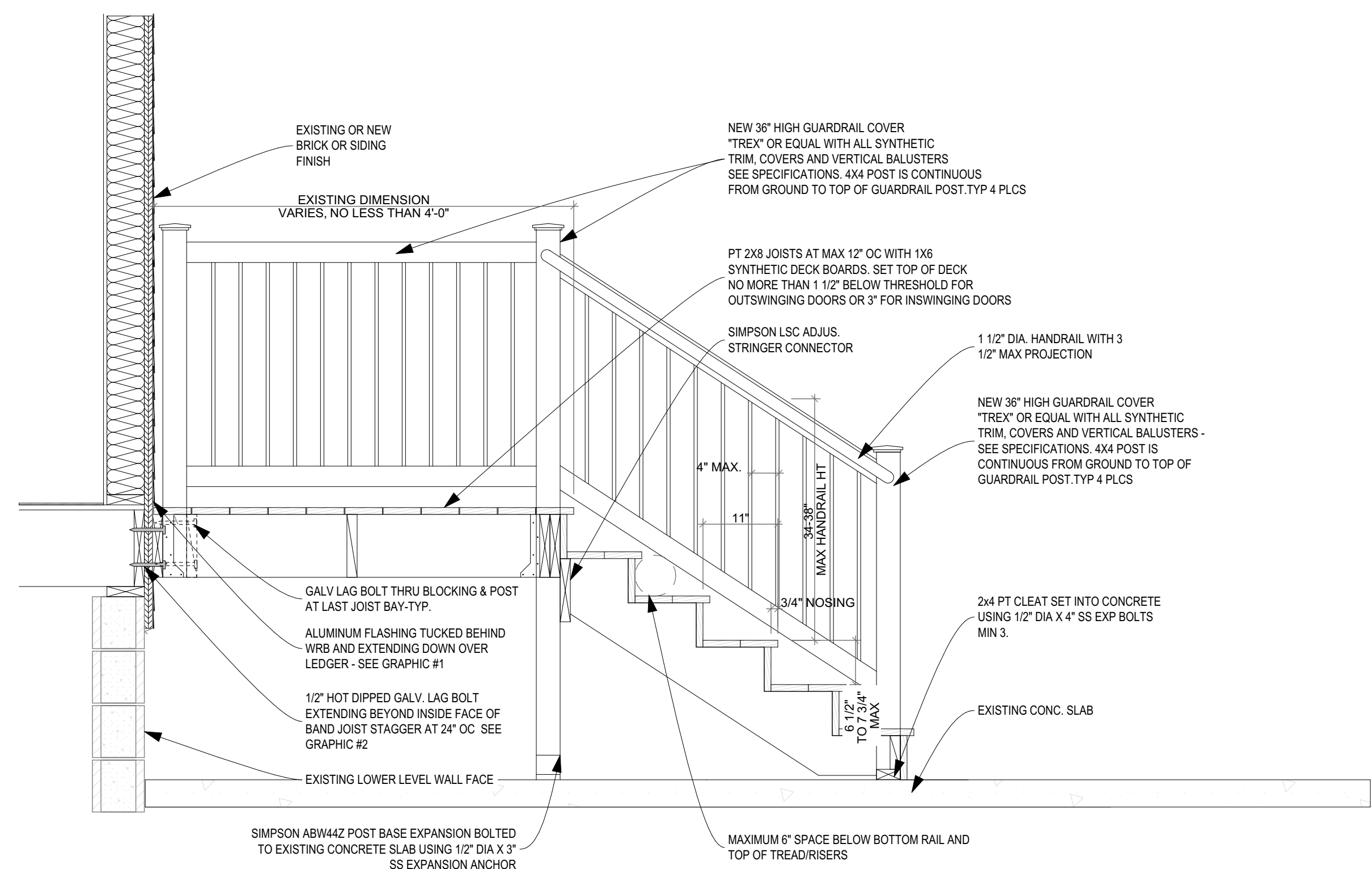
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1109 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN**

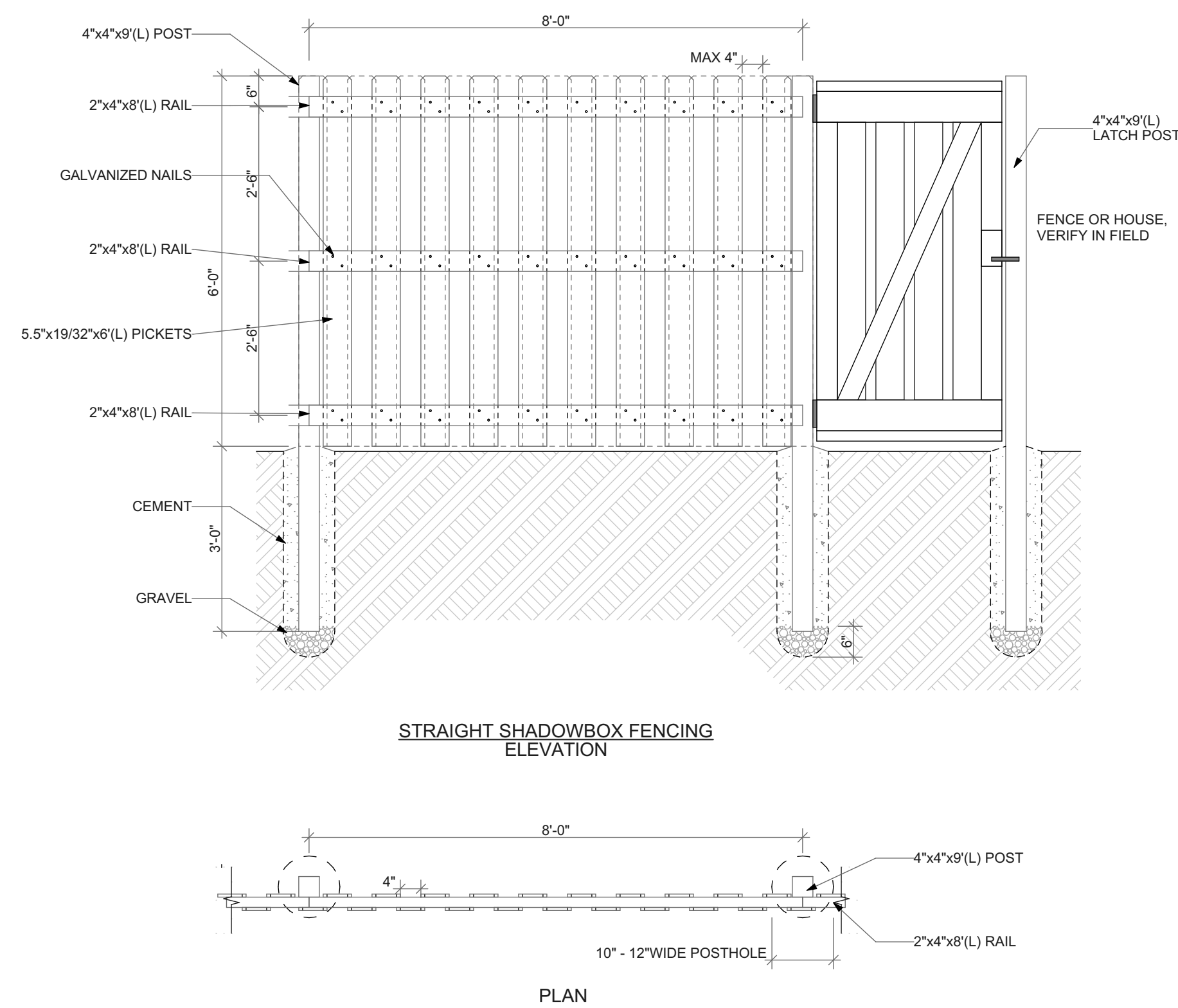
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	10	A9
of.	12	
		Project #2006



STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

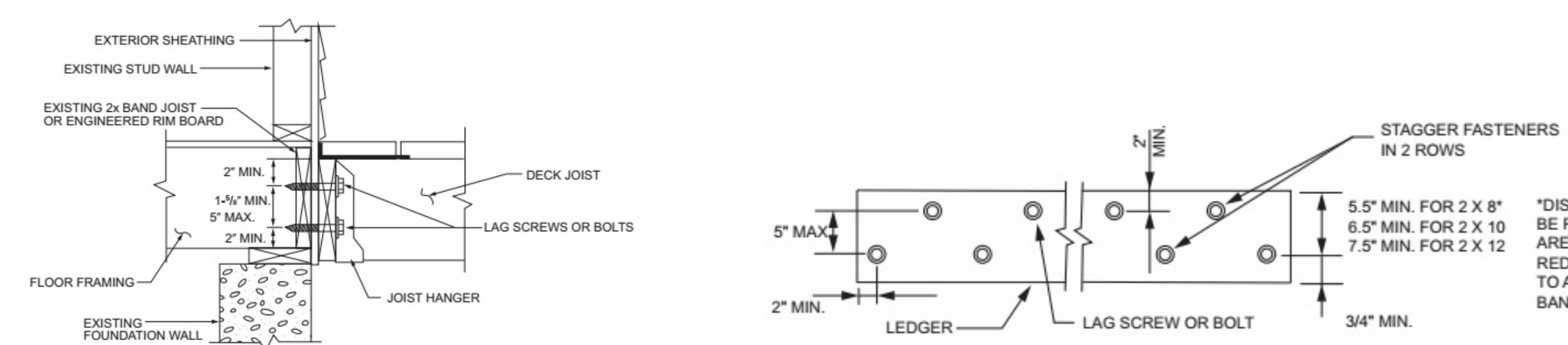
1 DECK SECTION DETAIL

SCALE: 3/4" = 1'-0"

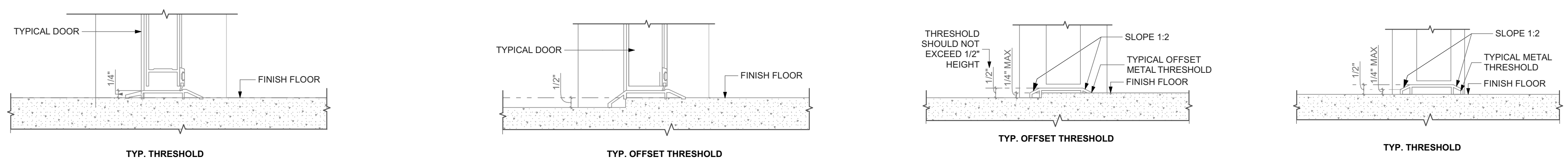
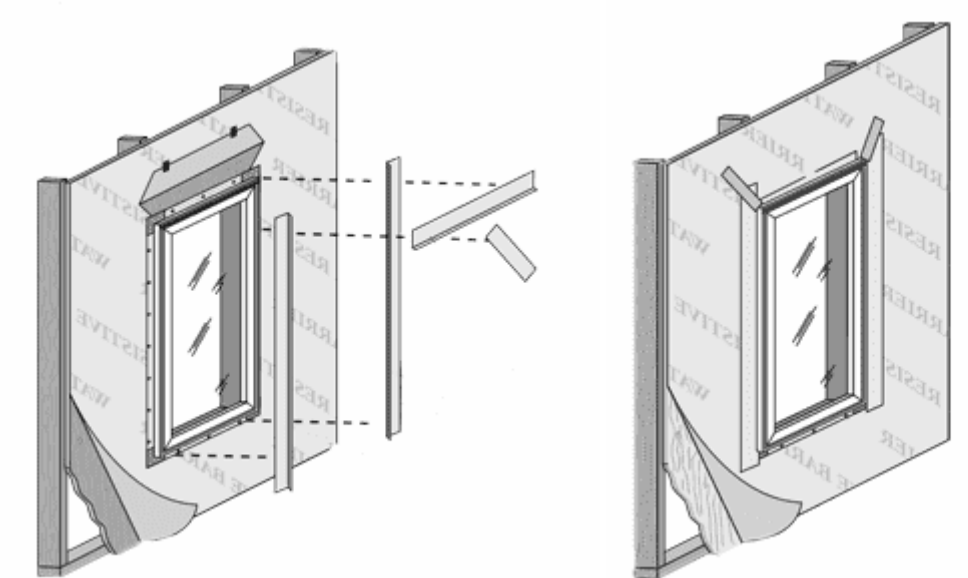


2 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD

SCALE: 3" = 1'-0"

5 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

Project Location:
MANCHESTER SCATTERED SITES
1109 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1107 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRLIM SET	
CODE AND CONTACT INFO	
MANCHESTER SCATTERED SITES MAP	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
DOOR TYPES	
WINDOW SCHEDULE	
DOOR SCHEDULE (WITH EXISTING)	
FINISH SCHEDULE	
SIDING WALL SECTION	
INTERIOR STAIR DETAIL	
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	
GENERAL NOTES	
ENERGY NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF	
SITE PLAN	
ROOF PLAN NOTES	
ROOF AND SITE PLAN LEGEND	
GRAPHIC SCALES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
DEMOLITION PLAN LEGEND	
GENERAL DEMOLITION NOTES	
BASEMENT / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
THIRD FLOOR / DEMO PLAN	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
SMALL UNIT KEYNOTES	
A6 FLOOR/FINISH/MECH./PLUMB. PLANS	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN	
BASEMENT/FINISH/MECH./PLUMB. PLAN	
FLOOR PLAN LEGEND	
GRAPHIC SCALES	
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	
SMALL UNIT KEYNOTES	
A7 REFL. CLG. / POWER / DATA PLANS	
BASEMENT REFL. CLG. / POWER / DATA PLAN	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN	
SMALL UNIT KEYNOTES	
RCP LEGEND	
A8 ELEVATIONS	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
EAST ELEVATION	
SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION02	
KITCHEN ELEVATION01	
A10 DETAILS	
DECK ENLARGED DETAILS	
WINDOW INSTALLATION UNDER VINYL SIDING	
DECK SECTION DETAIL	
EXTERIOR DOOR THRESHOLD	
WOOD FENCE DETAIL	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	1,987 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	5

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

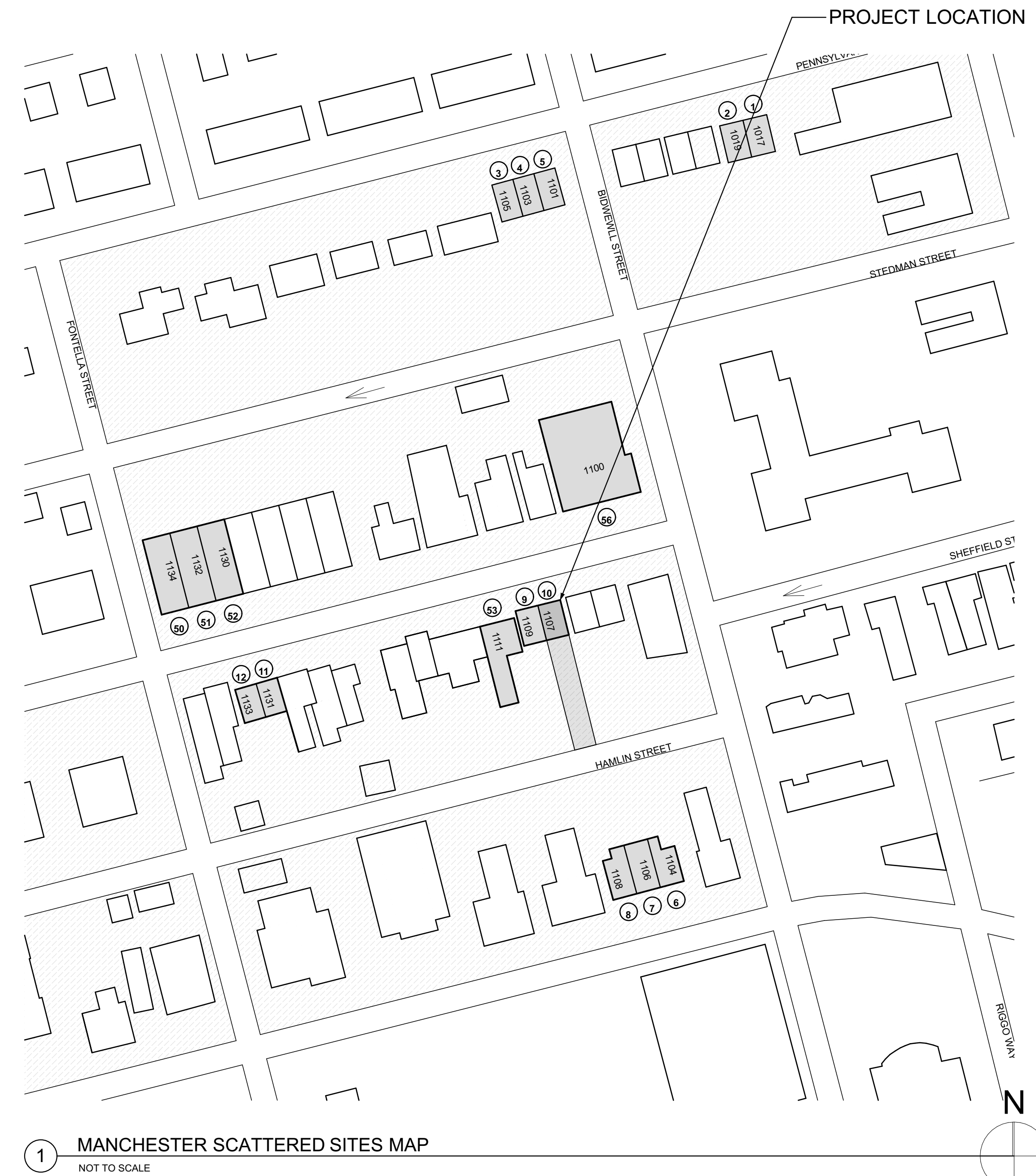
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

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- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1107 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

Materials Legend

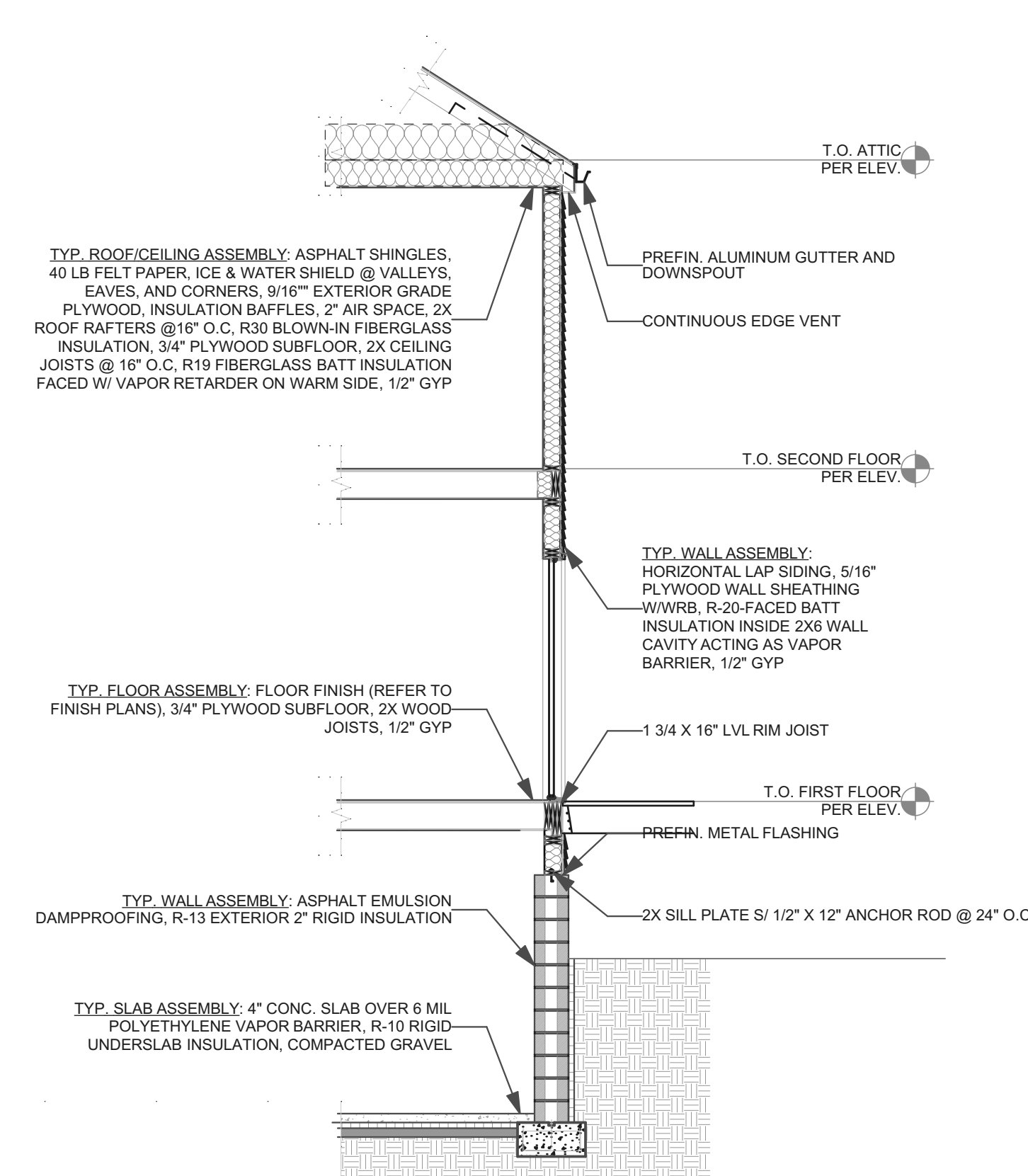
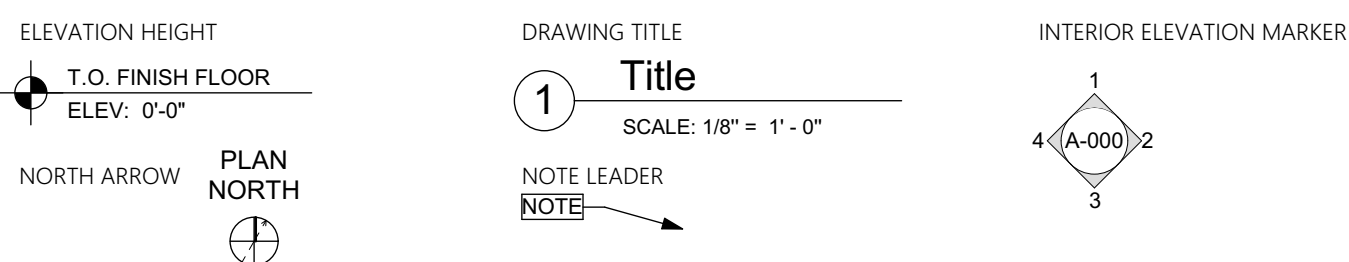
NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

Abbreviations

A.F.F. Above Finish Floor	ELEV. Elevation	MISC. Miscellaneous
A.P. Access Panel	EQUIP. Equipment	N.I.C. Not In Contract
ACOUST. Acoustical	E.F. Exhaust Fan	N.T.S. Not To Scale
A.C.T. Acoustical Ceiling Tile	EXIST. Existing	O.C. On Center
ADH. Adhesive	EXP. Expansion	OPP. Opposite
ADJUST. Adjustable	E.J. Expansion Joint	O.H. Overhead
A/C Air Conditioning	ESH Exterior Sheathing	PR. Pair
ALT. Alteration	EXIST. Existing	PLAS. Plaster
ALTN. Alternate	EXP. Exposed	PLAS.LAM. Plastic Laminate
ALUM. Aluminum	EXT. Exterior	P.C. Plumbing Contractor
A.O.R. Area of Refuge	E.I.F.S. Exterior Insulation & Finish System	P.LYWD. Plywood
APPROX. Approximate	F.R.P. Fiberglass Reinforced Polyester	POLY. Polyethylene
ARCH. Architectural	F.F. Finish Floor	P.V.C. Polyvinyl Chloride
ASB. Asbestos	FIN.FLR. Finish Floor	PRE-FAB. Prefabricated
ASPH. Asphalt	F.A.C.P. Fire Alarm Control Panel	RE. Refer To
AUTO. Automatic	F.E. Fire Extinguisher	REF. Refrigerator
AVG. Average	FLR. Floor	R.C.P. Reinforced Concrete Pipe
BLK. Block	F.D. Floor Drain	REINF. Reinforcement
BD. Board	FTG. Footing	RD. Roof Drain
BOT. Bottom	GA. Gauge	RM. Room
BLDG. Building	G.C. General Contractor	S.A.T. Suspended Acoustical Tile
C.I.P. Cast In Place	G.F.I. Ground Fault Interrupter	SCHED. Schedule
C.B. Catch Basin	GYP. Gypsum	SHT. Sheet
CEM. Cement	G.W.B. Gypsum Wall Board	SIM. Similar
CER. Ceramic	GSH. Gypsum Sheathing	S.C. Solid Core
CG. Corner Guard	H/C Handicap	SPECS. Specifications
C.M.T. Ceramic Mosaic Tile	H.V.A.C. Heating, Ventilation & Air Conditioning	SQ. Square
C.W.T. Ceramic Wall Tile	HT Height	S.F. Square Foot
C.O. Cleanout	HC Hollow Core	S.S. Stainless Steel
CL. Center Line	H.M. Hollow Metal	STL. Steel
CLO. Closet	HORIZ. Horizontal	STOR. Storage
C.W. Cold Water	H.W. Hot Water	STRUCT. Structural
CLG. Ceiling	IN. Inch	TEL. Telephone
CLR. Clearance	I.M. Insulated Metal	THK. Thick
COL. Column	INSUL. Insulation or Insulated	T.B.D. To Be Determined
CONC. Concrete	INT. Interior	T&G Tongue & Groove
C.M.U. Concrete Masonry Unit	INV. Invert	T.O. Top Of
CONT. Continuous	ISO. Isolation	T.G. Top Of Grade
CORR. Corridor	JAN. Janitor's Closet	T.O.S. Top Of Steel
C.M.P. Corrugated Metal Pipe	J.T. Joint	TYP. Typical
CRS. Courses	LAM. Laminate	UNFIN. Unfinished
DIA. Diameter	LAV. Lavatory	UN.O. Unless Noted Otherwise
DET. Detail	LG. Long	V.B. Vapor Barrier
DGL. Dens Glass Gold	M.D.F. Medium Density Fiberboard	VERT. Vertical
DR. Door	M.D.H. Magnetic Door Holder	VEST. Vestibule
DN. Down	M.H. Manhole	V.C.T. Vinyl Composition Tile
D.S. Downspout	MFR. Manufacturer	V.I.F. Verify In Field
DWG. Drawing	MAX. Maximum	W.H. Water Heater
D.F. Drinking Fountain	M.E. Mechanical	W.R.B. Water Resistant Barrier
D.I.P. Ductile Iron Pipe	ME. Mechanical	W.W.F. Welded Wire Fabric
EA. Each	MET. Metal	WIN. Window
EW. Each Way	MIN. Minimum	W/ With
ELEC. Electrical		W/O Without
E.C. Electrical Contractor		WD. Wood
EL. Elevation		

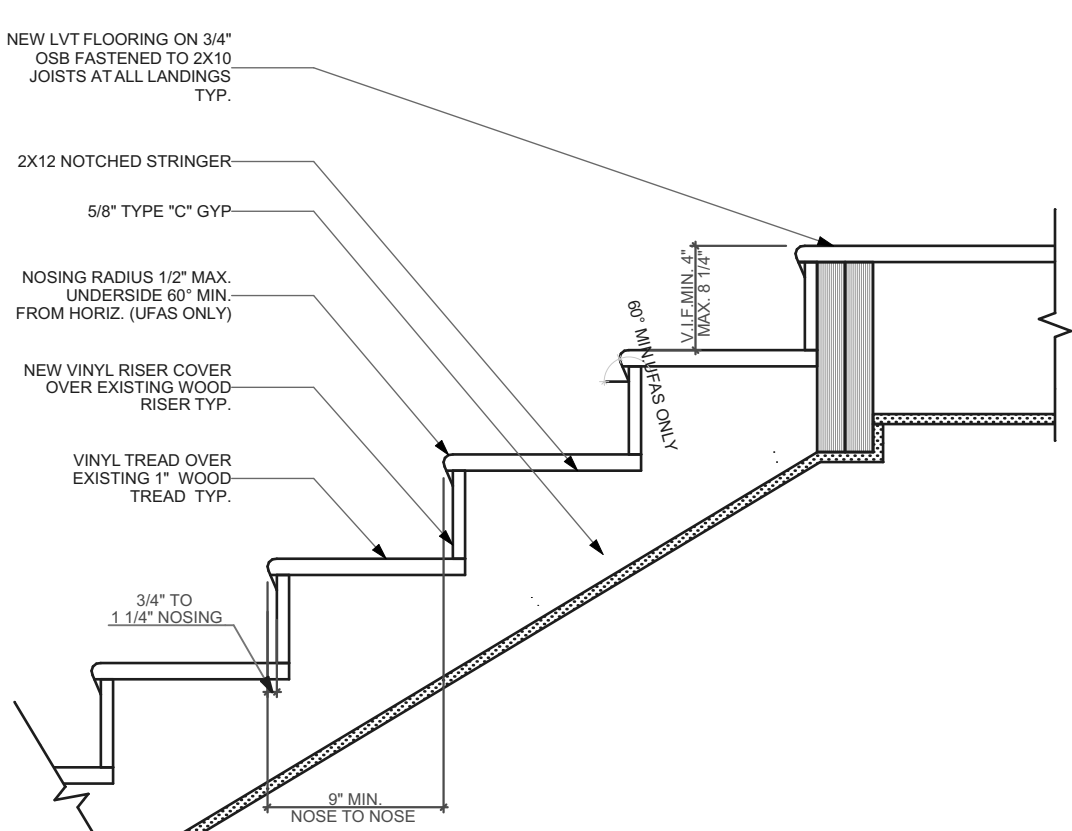
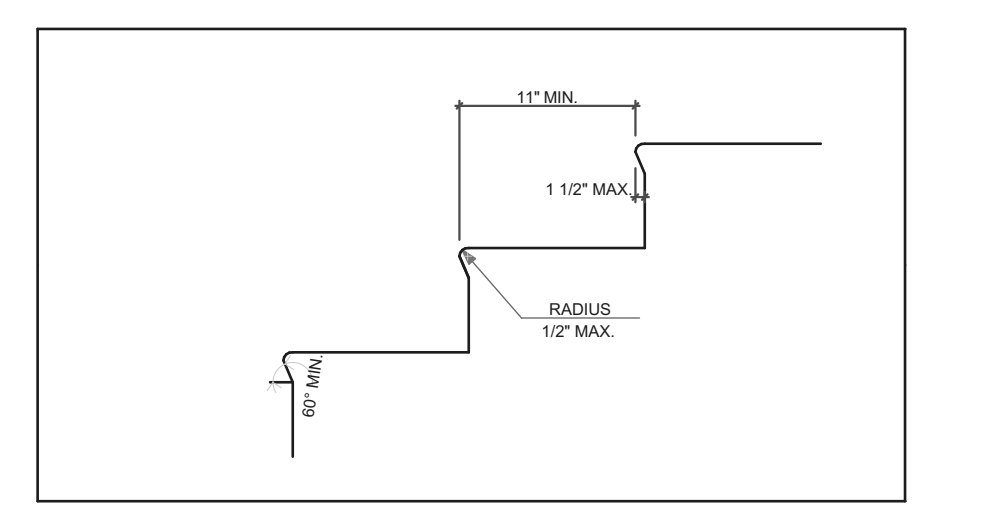
Symbols



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 SIDING WALL SECTION

1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

3 INTERIOR STAIR DETAIL SCALE: 1\"/>

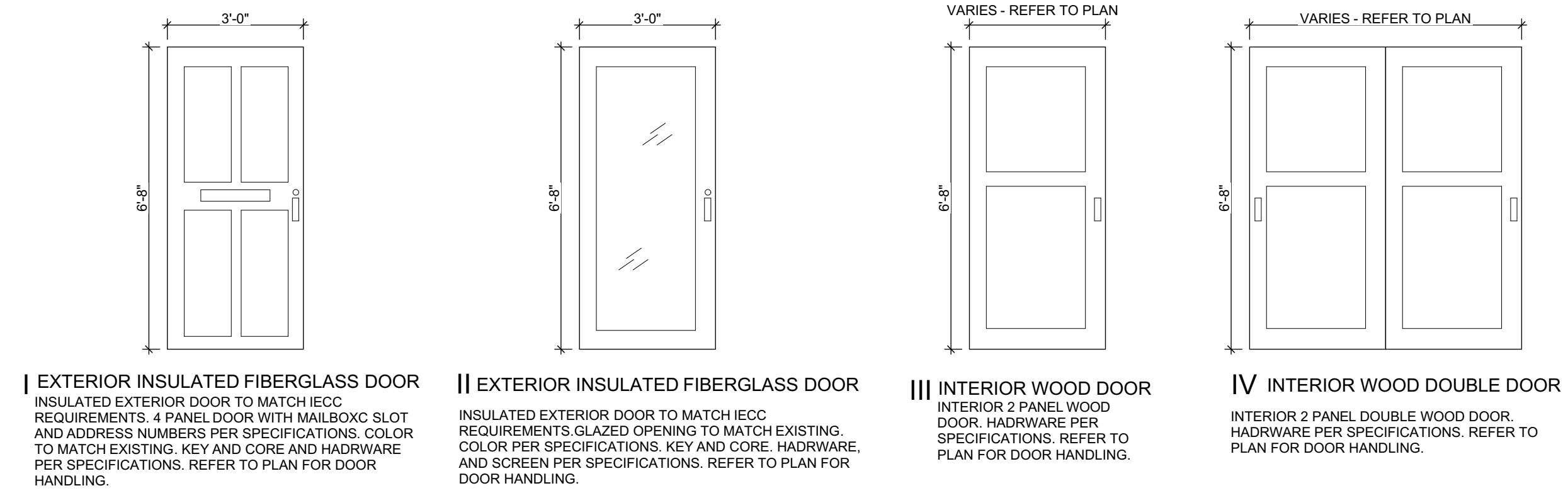
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	WIDTH	HEIGHT				
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B	2'-9"	2'-0"	8'-6"	GLASS BLOCK	<input type="checkbox"/>	<input type="checkbox"/>
C	2'-8"	5'-0"	7'-7"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D	2'-8"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
E	2'-5"	4'-4"	7'-11"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	2'-8"	4'-5"	6'-9"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G	4'-10"	4'-5"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H	2'-0"	3'-1"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I	2'-4 1/2"	4'-1"	7'-1"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	3'-0"x7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	2'-8"x7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"x6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
6	3'-0"x6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4"x6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6"x6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0"x6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE
11	2'-6"x6'-8"	III	WOOD	WOOD	PASSAGE

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIVING ROOM	09 LVT
PWDR	09 LVT



- scale
- general notes
- revisions

ISSUED FOR PERMIT: 05.06.2022

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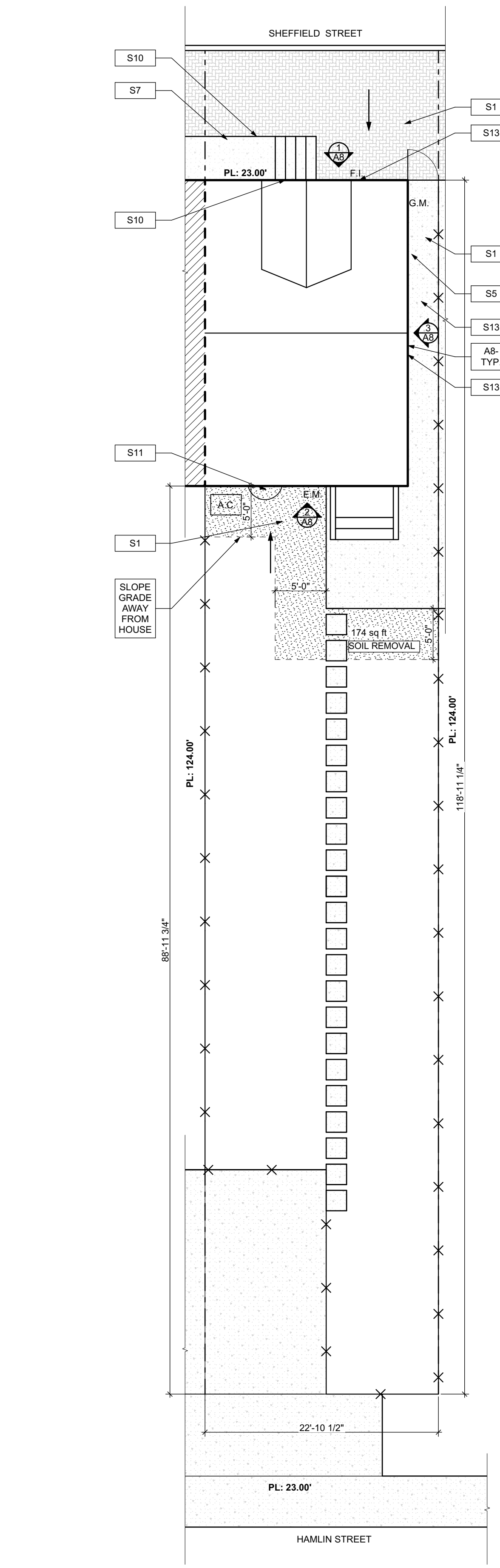
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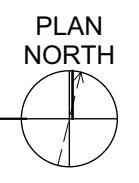
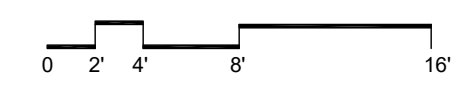
drawing title

ABBREVIATIONS AND MATERIALS, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

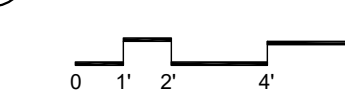
scale As Noted	Sheet No. A2 Project #2006
date May 6, 2022	
no. 3	of. 12



1 SITE PLAN
SCALE: 1/8" = 1'-0"



2 ROOF
SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

- x - x -	PROPERTY FENCE	G.M.	GAS METER
- - - - -	PROPERTY LINE	F.I.	FRESH AIR INTAKE
- - - - -	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
- - - - -	PARTY WALL	E.M.	ELECTRIC METER
[Symbol]	GATE		
[Symbol]	STEPPING CONCRETE PADS		
- - - - -	ICE WATER SHIELD		

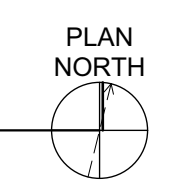
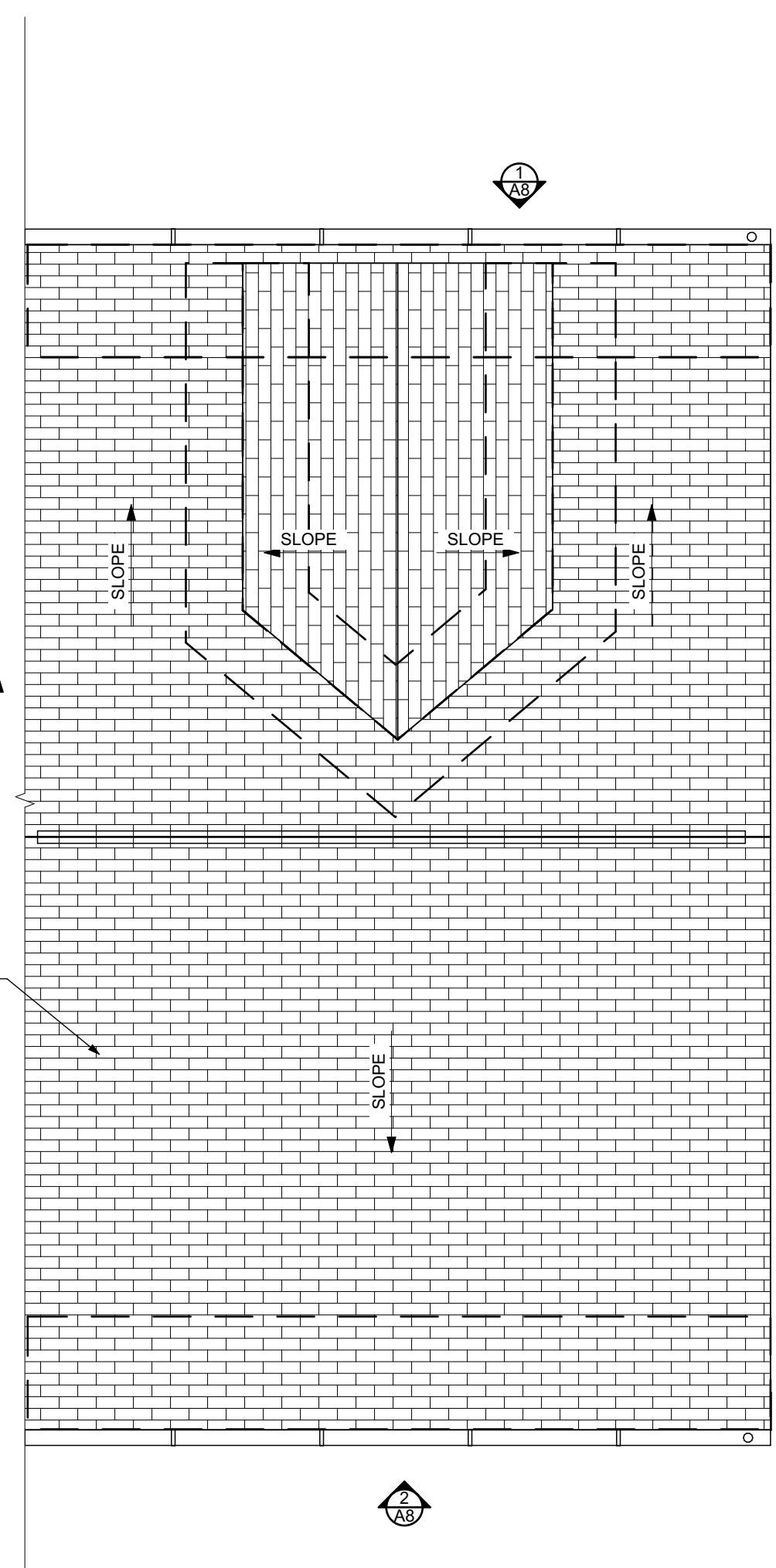
ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION WALL AND EXISTING SIDEWALK TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER; REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE SHIPMENT. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BANNERS, OR STAIR PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MINIMUM 1/4" PER FOOT. JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG 6" DEEP, PLACE 2" COMPACT SOIL, PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING LATH FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINOUS PINK IN SPACE TO MITIGATE MOISTURE CONTRIBUTION FROM EXISTING INSULATION. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
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revisions

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15233

drawing title

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale As Noted	
date May 6, 2022	
no. 5	of. 12

Sheet No.
A4
Project #2006

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BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

- SITE**
- AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. GRAE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAYS AS NECESSARY PER SPECIFICATIONS.
 - TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE WVF COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. WITH SLOPE MIN. JOINT CAULK BELOW NEW SLAB SECTION. PROVIDE WVF COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
 - REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.

- ROOF**
- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

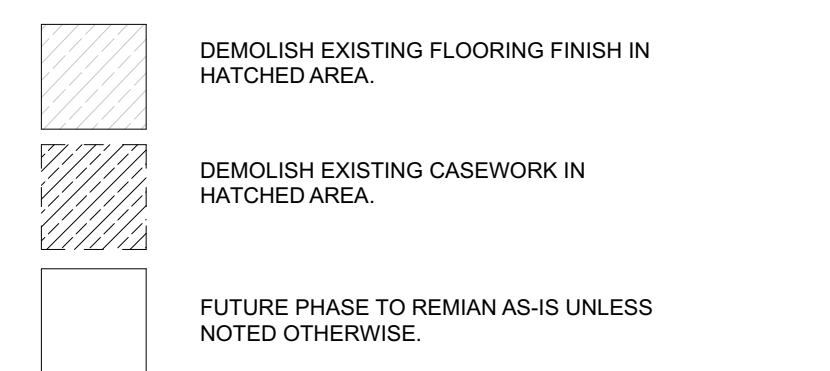
- ARCHITECTURAL**
- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - RUSTED STRUCTURAL BEAM COLUMN, OR CORNER OR END PLATE. REMOVE SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REMOVE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS TO BE REPLACED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE TILE SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - EXPOSED INSULATION AT THIS LOCATION. REMOVE DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - DETERIORATING INTERIOR STAR BEYOND REPAIR. REMOVE EXISTING STAR AND REPLACE WITH NEW WOOD STAR WITH WOOD STRINGERS. CRACKS, CRACKS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. BRACE WITH 2X4. PROVIDE AND APPLY CORNER PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - NEW TREADS AND RISERS AT EXISTING STAR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIVALENT DUCT OR PURNACE.
 - INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTAMINATION WITH REFRIGERANT. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR PURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVICES THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING / MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEFPF REMOVALS WITH MEFPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

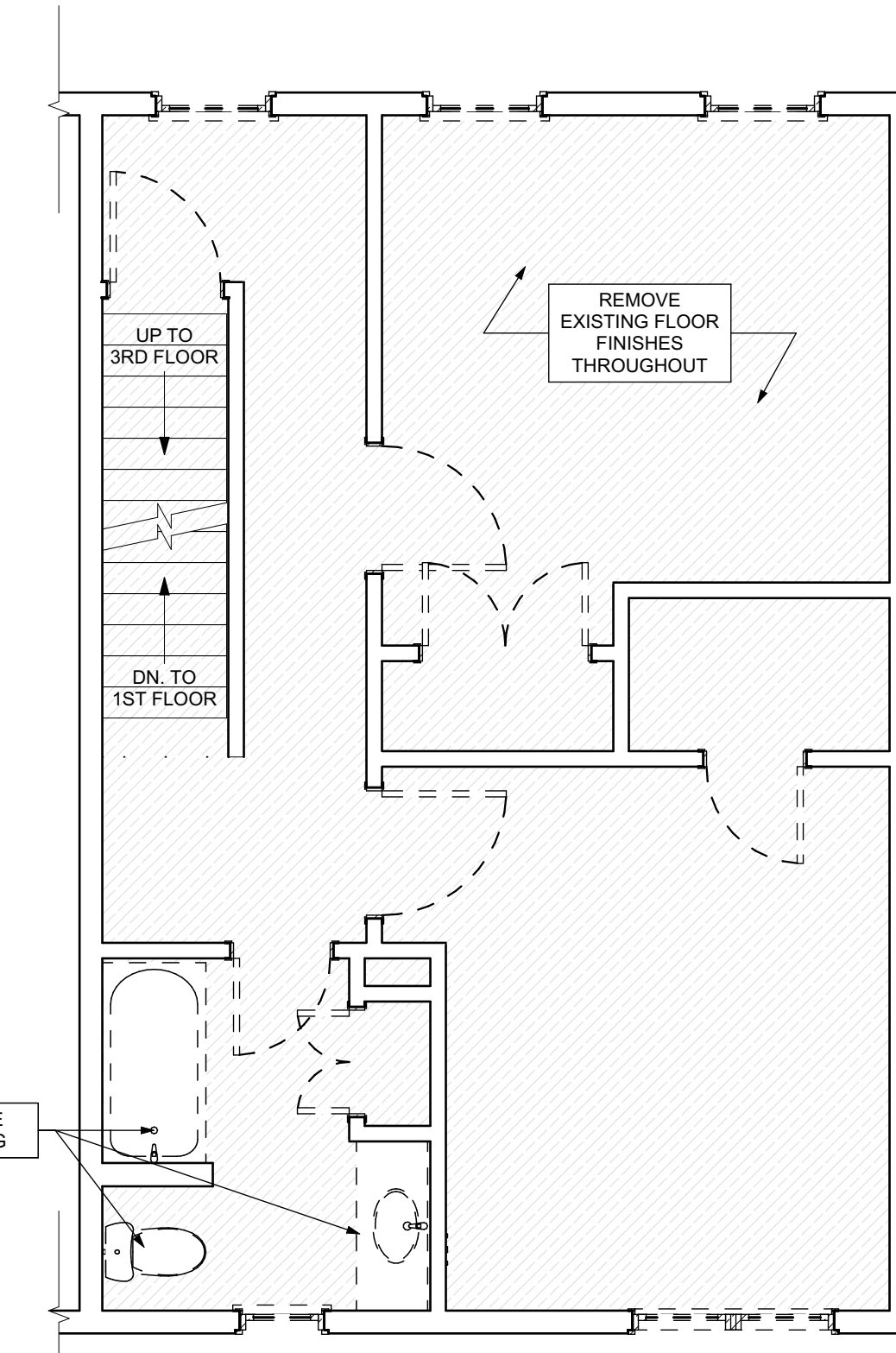
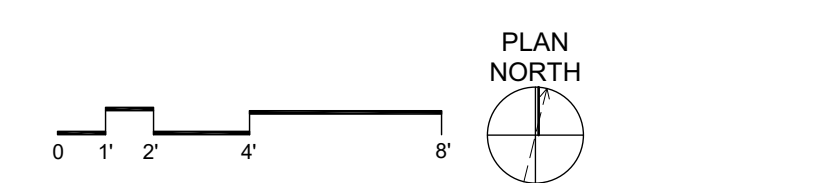


SCOPE REDUCTION:

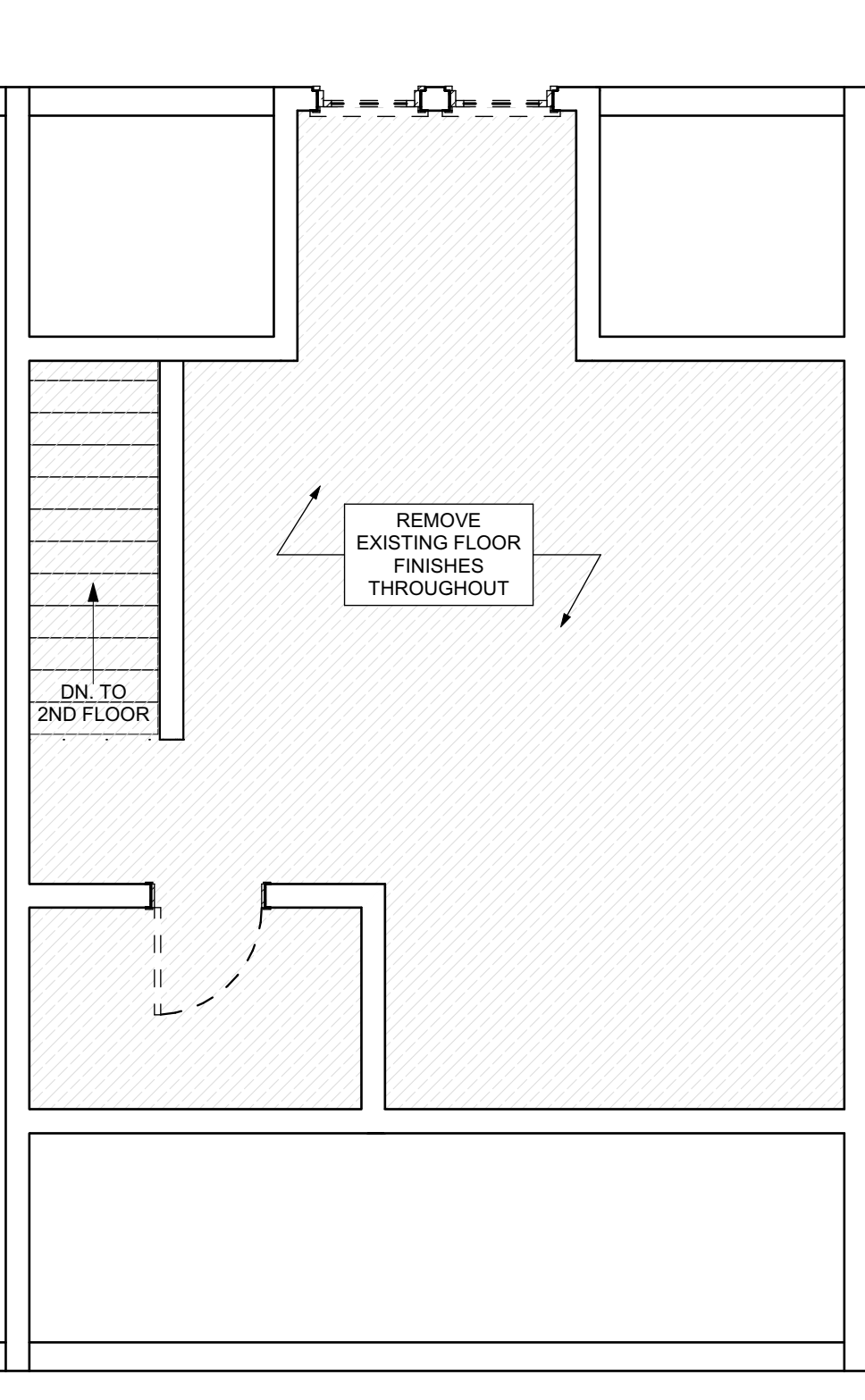
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

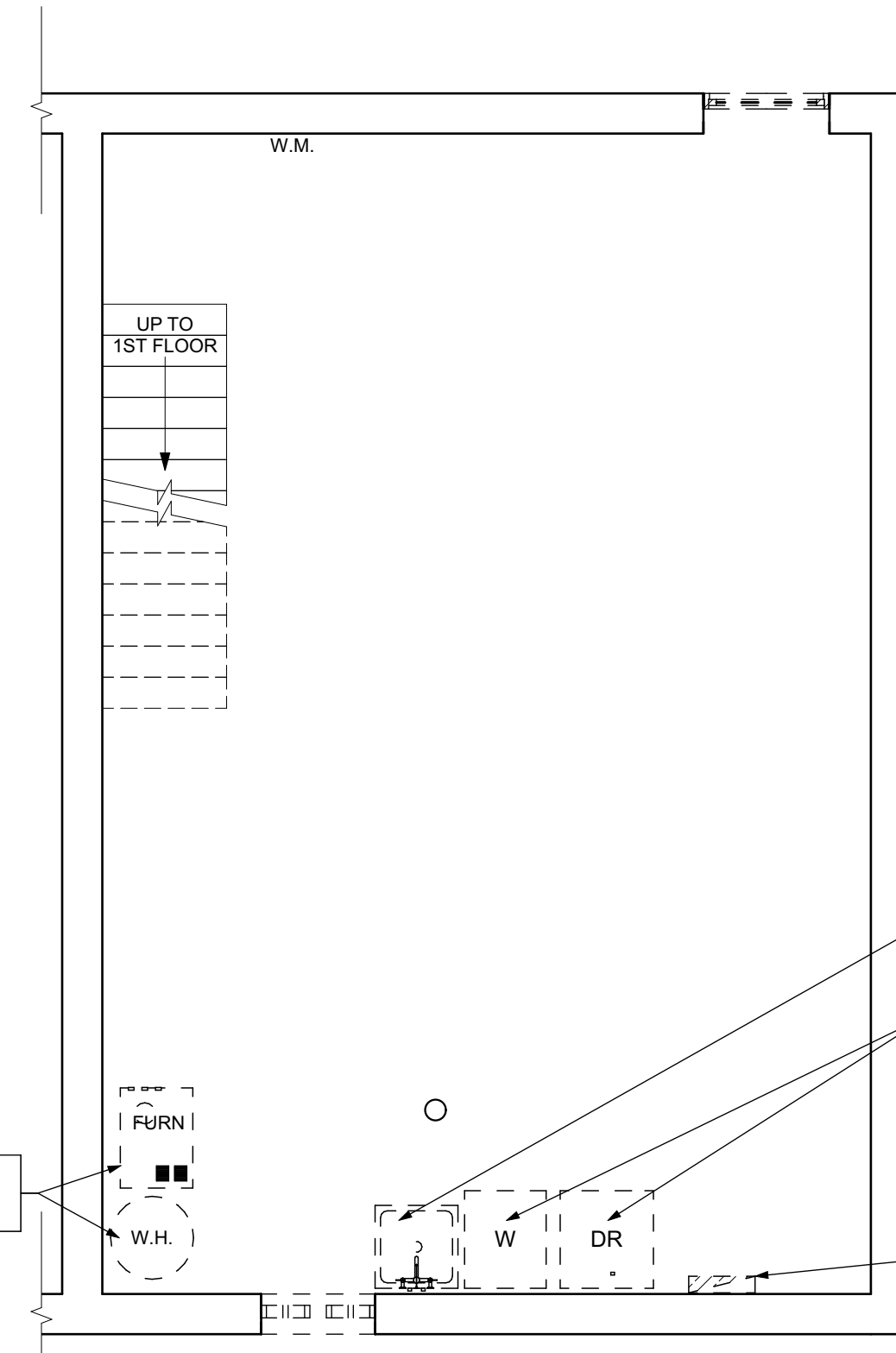
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



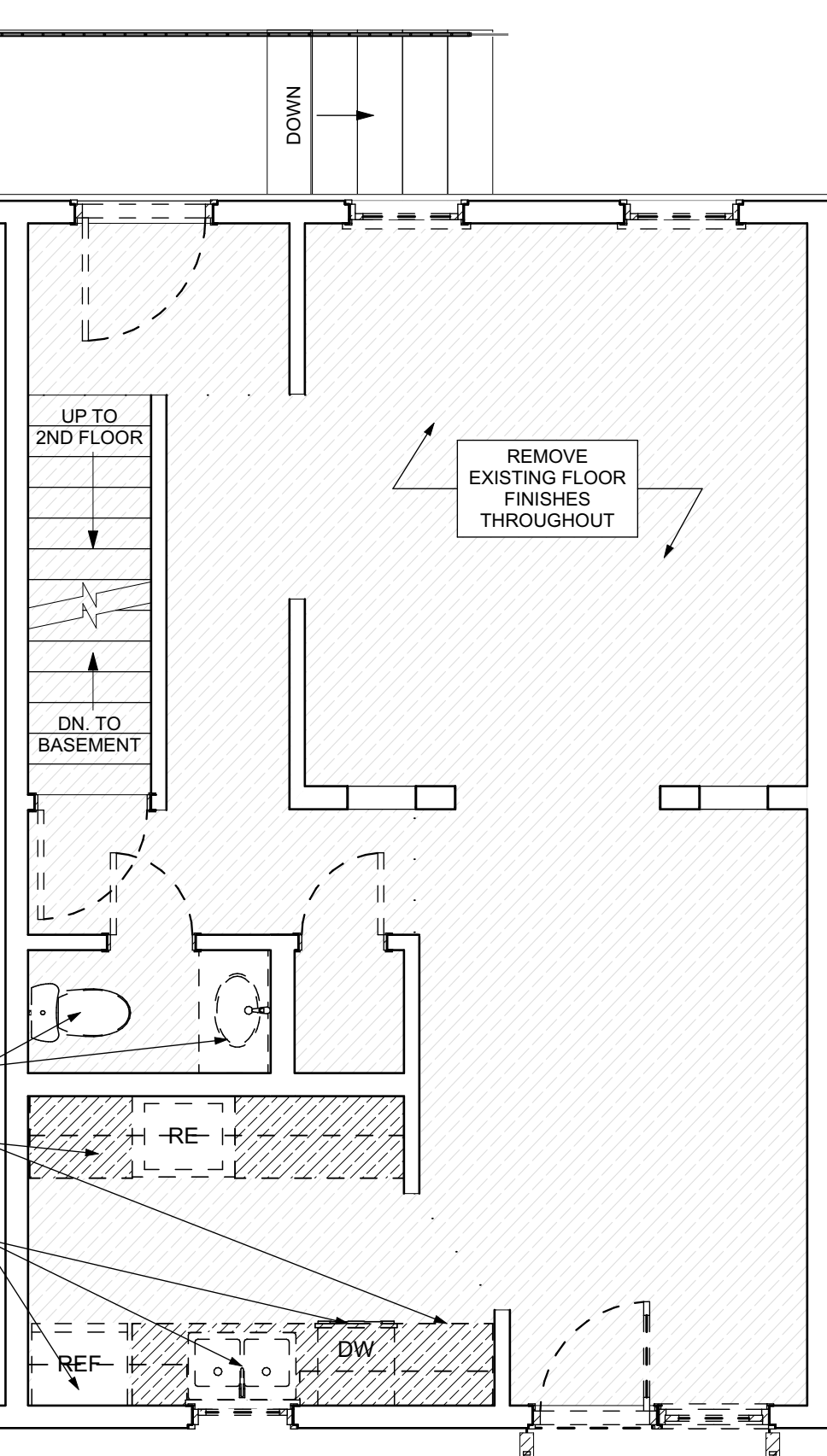
3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF BUSH SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANDED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WVF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS. OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANDED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE WVF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR CORNICE WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETTING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRASS, REGRADE, SERVICE DRAIN TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S28 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S29 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYDOWN OF FLOORING. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL MEMBER. CHECK FOR MOISTURE REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/CHIPPING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS AND RISERS. RISE AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN SAW CUT FOR TRAILER FOR NEW STANDARD 2X4X1" SPREAD FOOTING AND APRON LUGS FOR FLOORING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1107 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**BASEMENT/FINISH/MECH./PLUMB
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, SECOND
FLOOR/FINISH/MECH./PLUMB.
PLAN, THIRD
FLOOR/FINISH/MECH./PLUMB.
PLAN, FLOOR PLAN LEGEND,
GRAPHIC SCALES, SMALL UNIT
KEYNOTES**

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CHANGES. DELUMINER TO BE INSTALLED. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLS OR FURNACE WITH CORRECT SIZING AS NECESSARY.

scale
As Noted

date
May 6, 2022

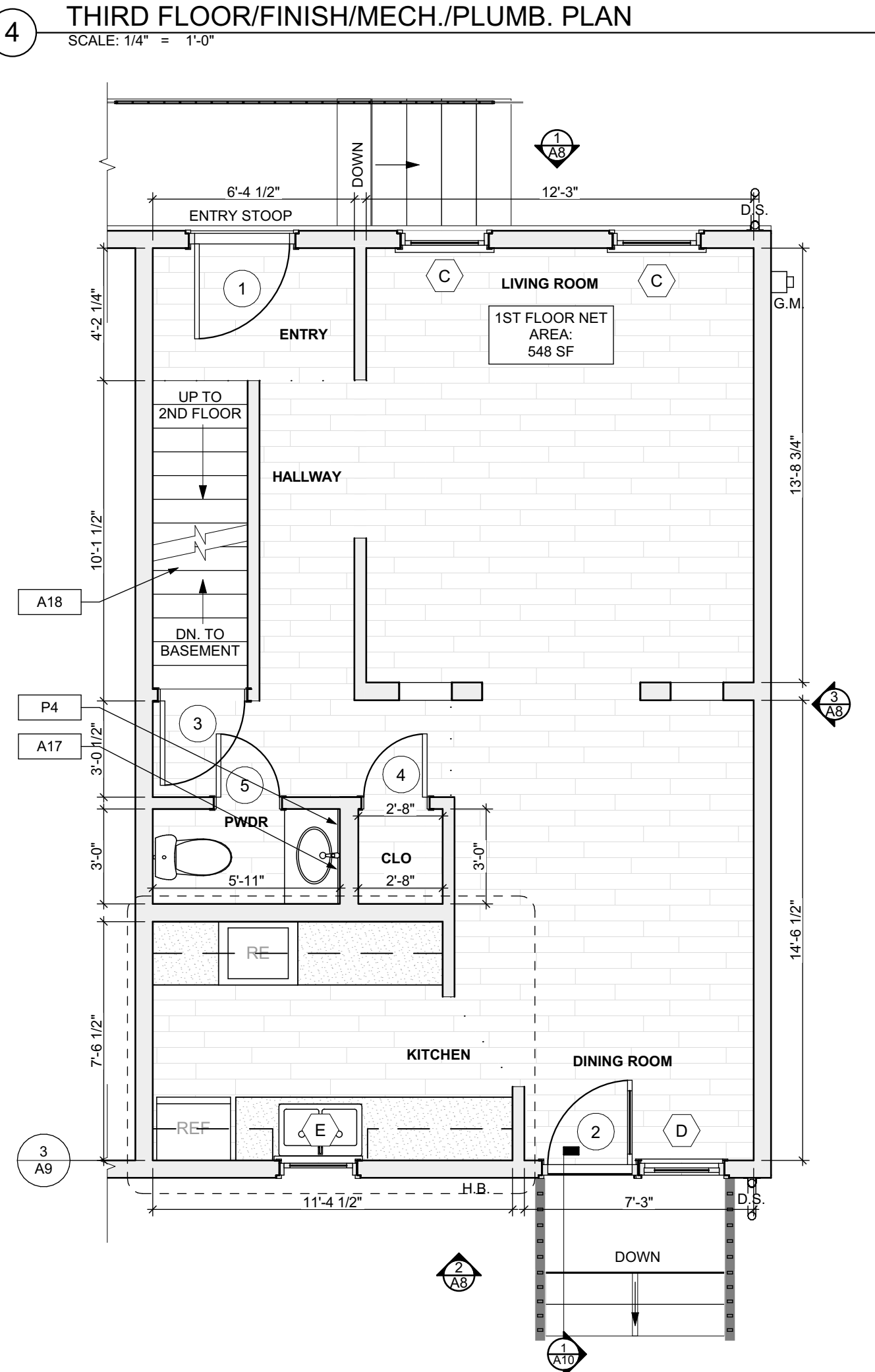
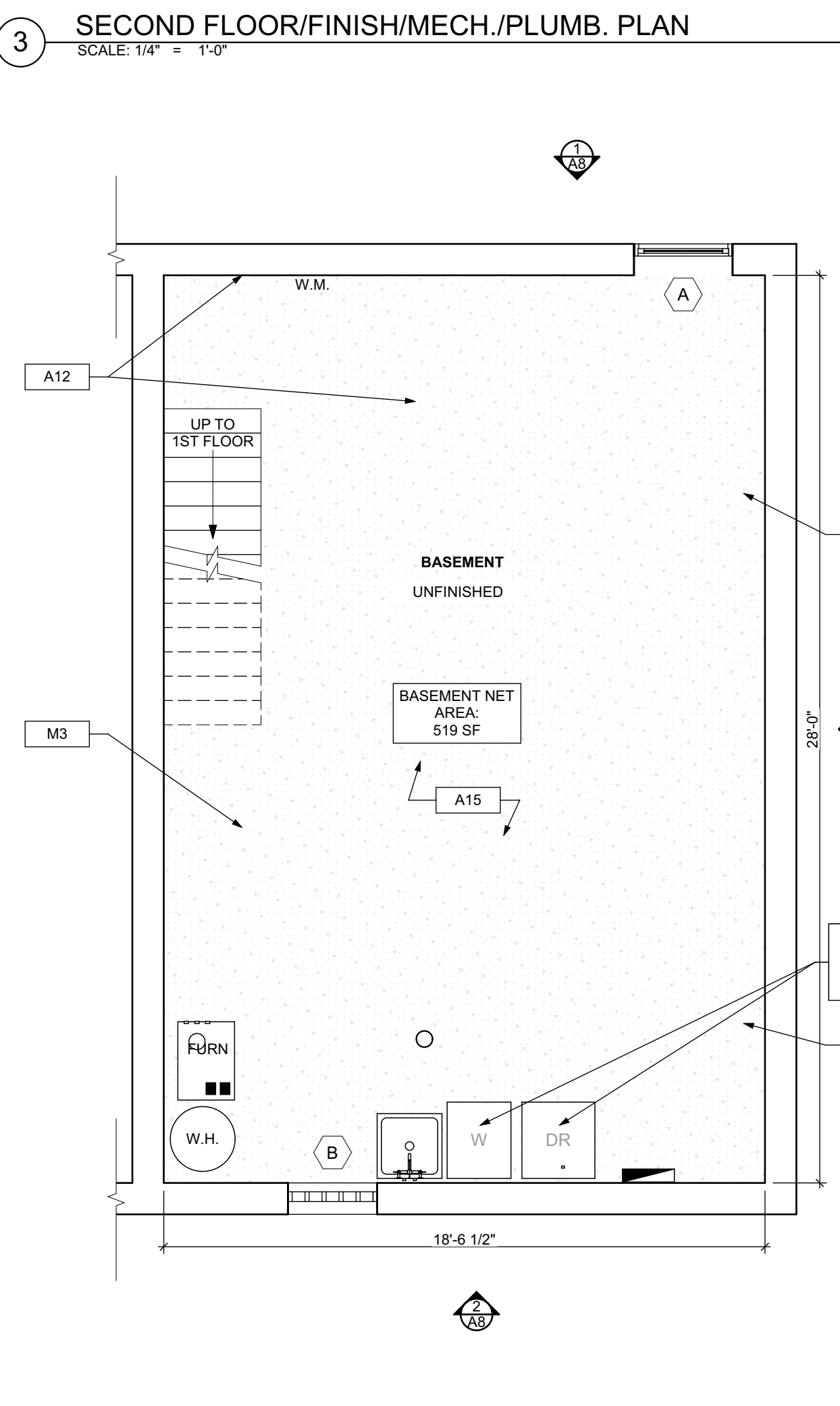
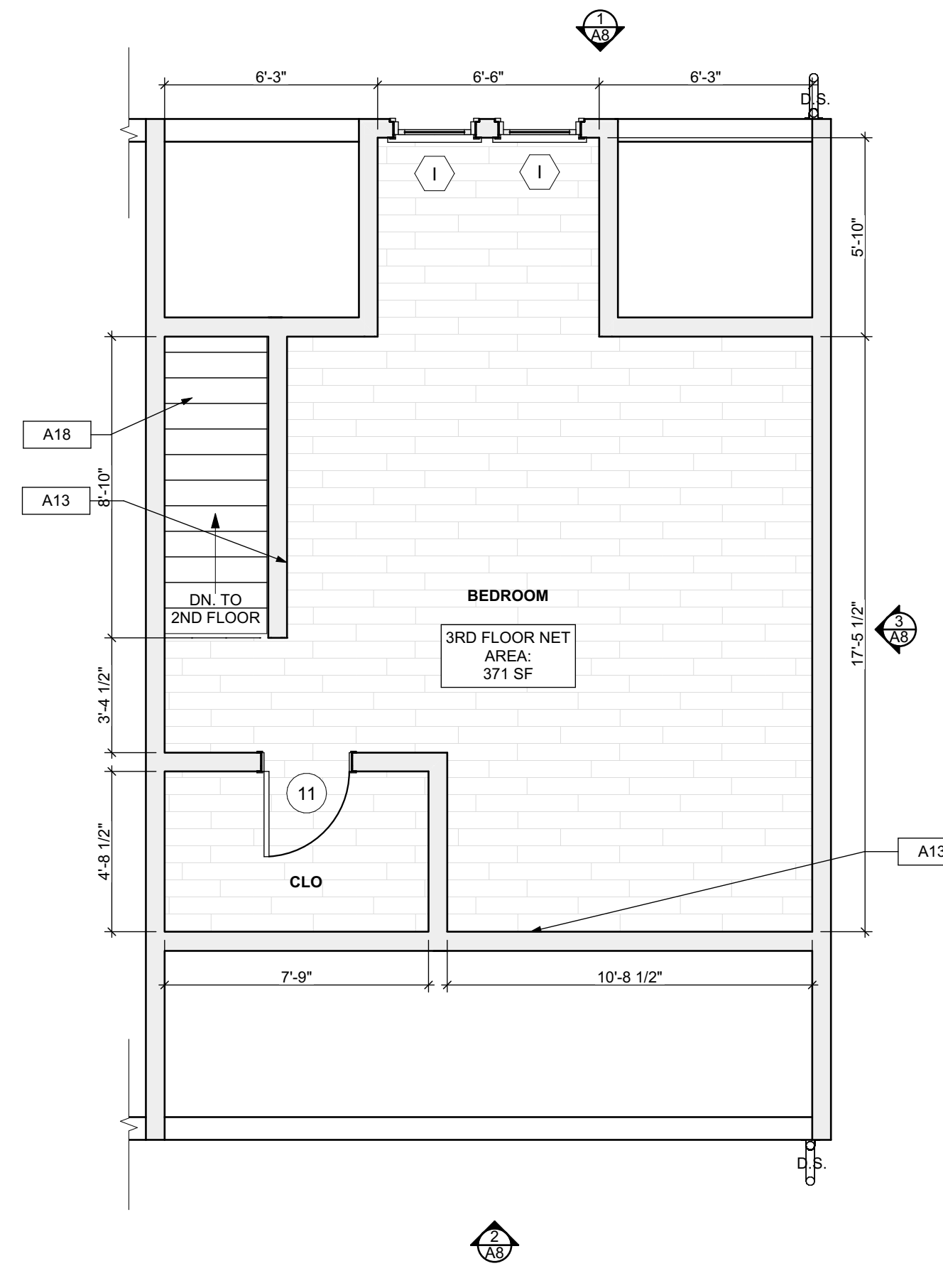
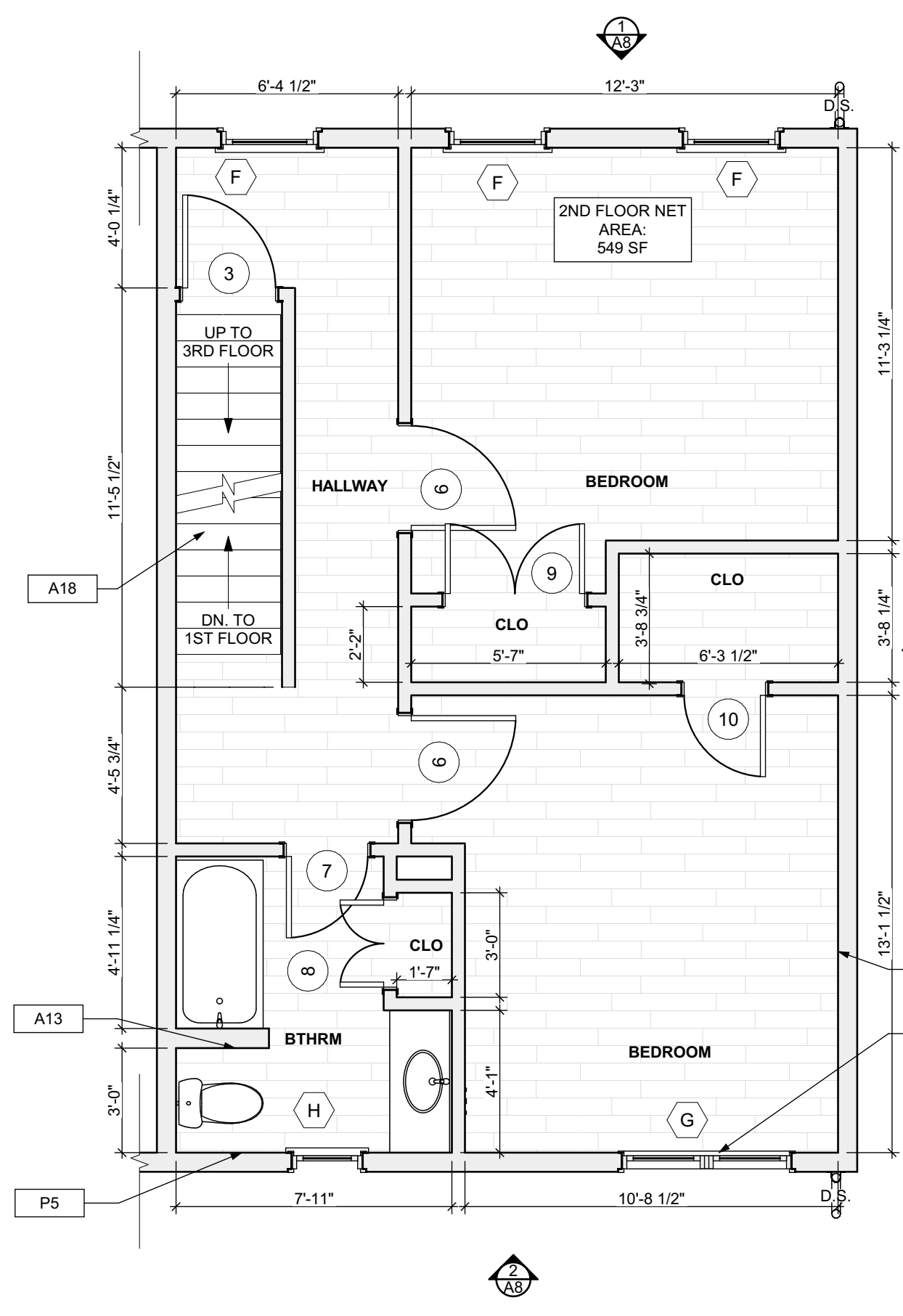
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of. 12

Sheet No.

A6

Project #2006

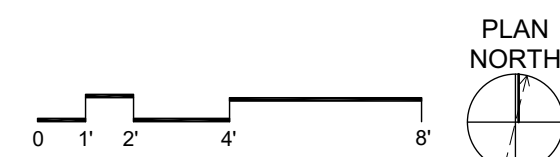


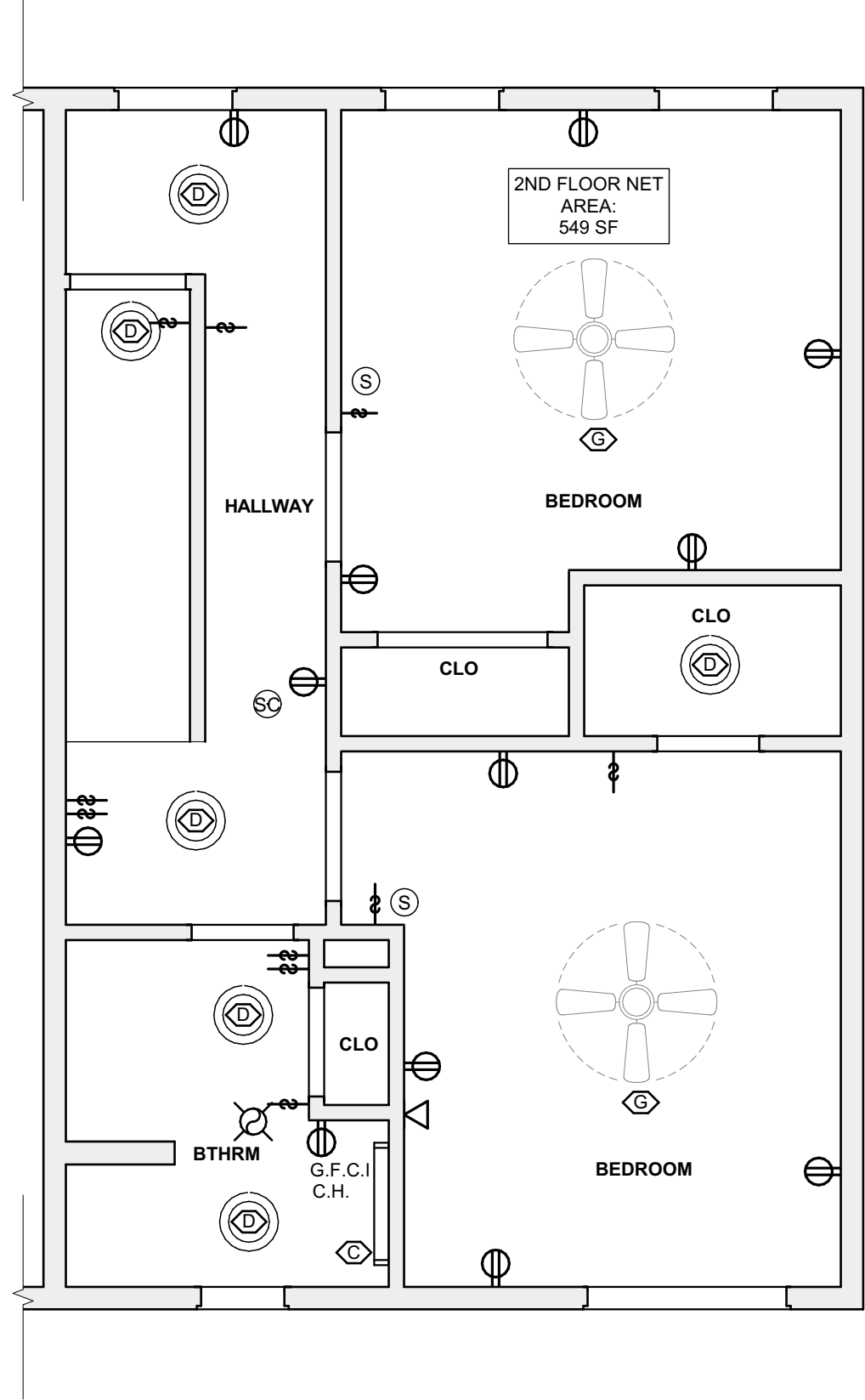
FLOOR PLAN LEGEND

- [FRIDGE] FRIDGE
- [RANGE] RANGE
- [FURN] GAS FURNANCE
- [UTILITY SINK] UTILITY SINK
- [WASHER] WASHER
- [NEW DOOR AND DOOR NUMBER] NEW DOOR AND DOOR NUMBER
- [W.H.] WATER HEATER
- [D.S.] DOWN SPOUT
- [E.M.] ELECTRIC METER
- [H.B.] HOSE BIBB
- [DRYER] DRYER

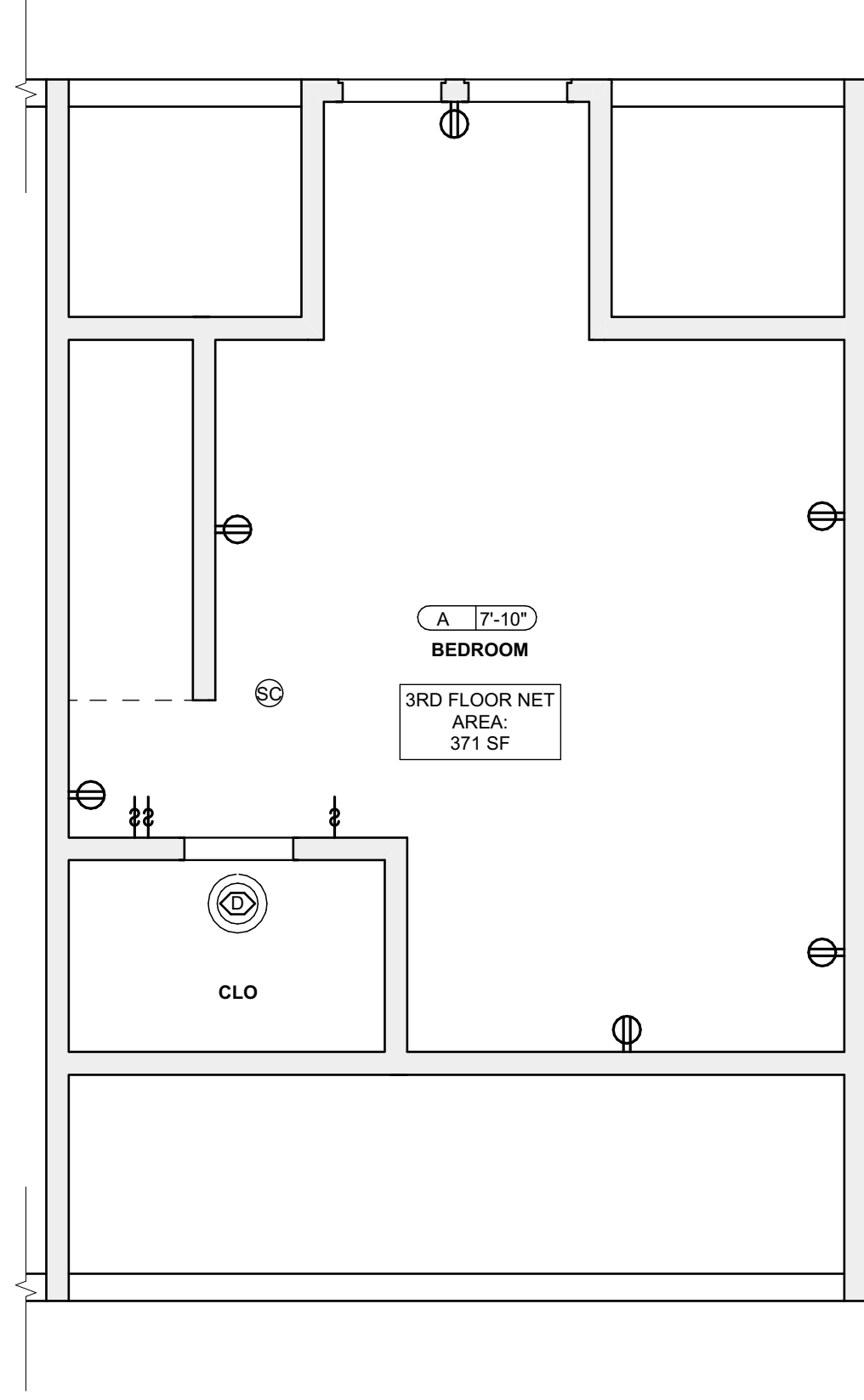
SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

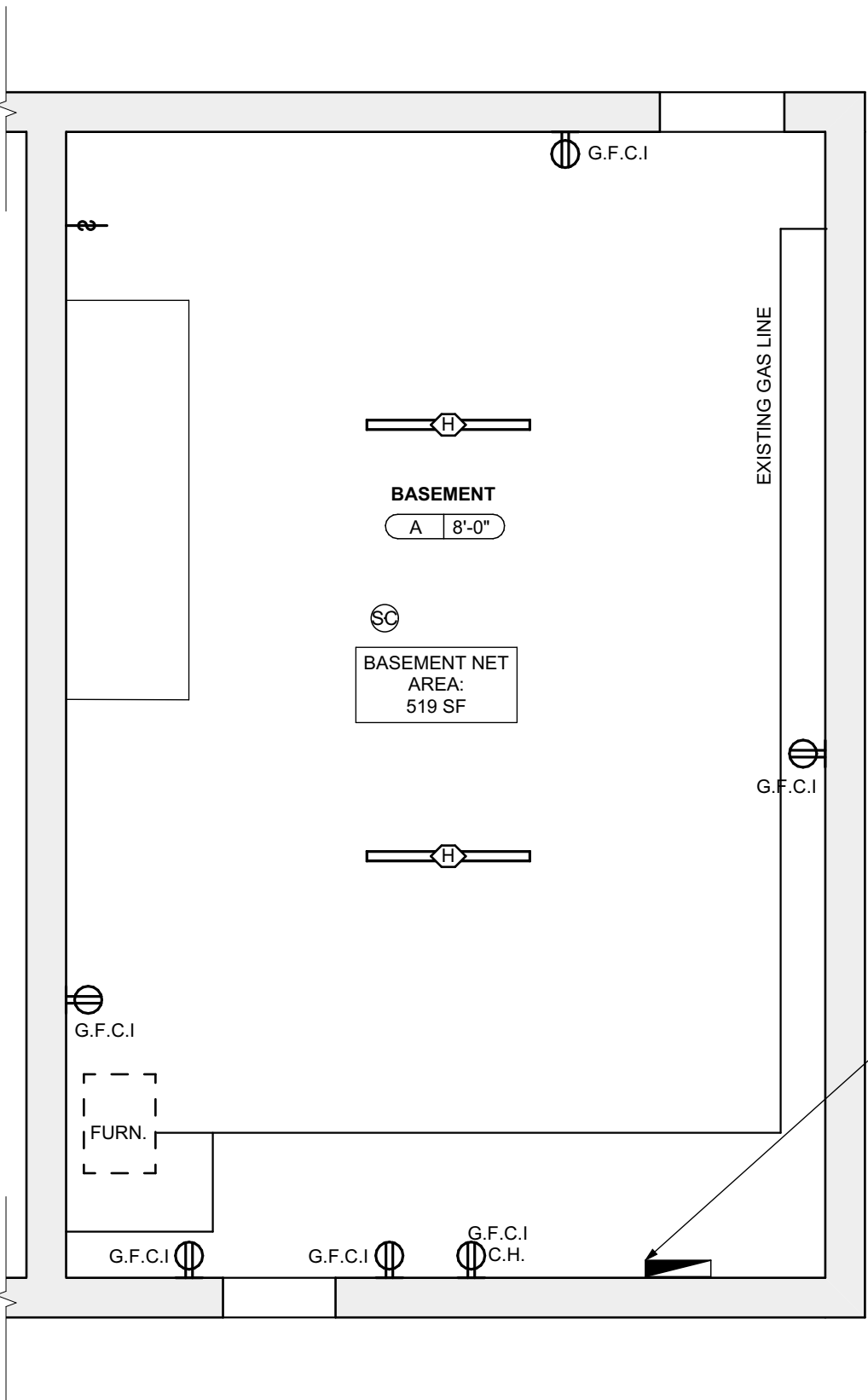




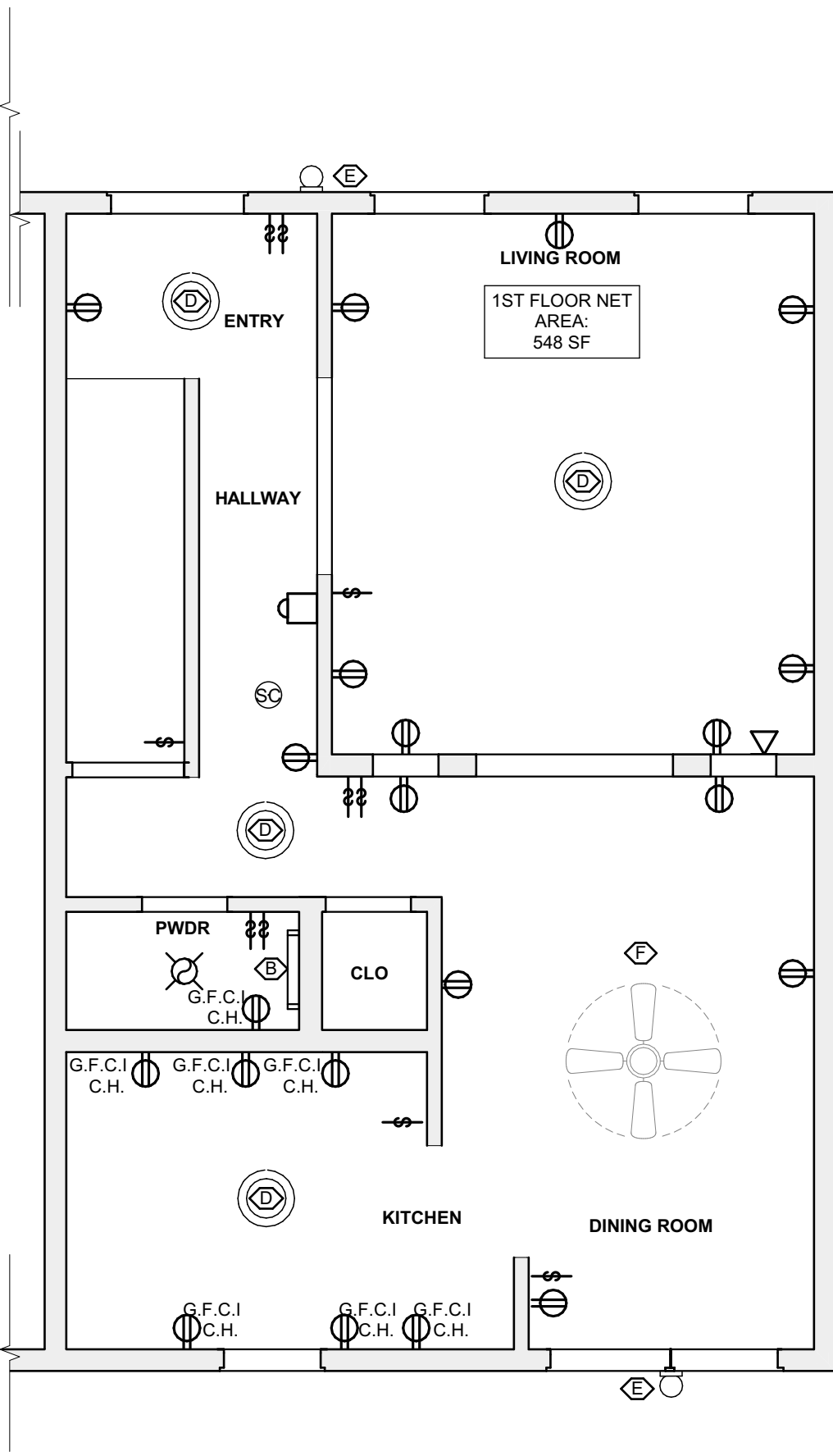
3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
[Symbol]	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
[Symbol]	C	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
[Symbol]	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #B112WH	11
[Symbol]	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
[Symbol]	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
[Symbol]	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
[Symbol]	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

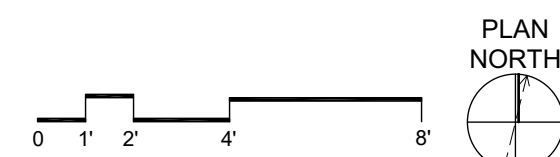
- [Symbol] SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- [Symbol] SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- [Symbol] ELECTRICAL METER
- [Symbol] THERMOSTAT
- [Symbol] DATA RECEPTICAL, 18" A.F.F. U.O.N.
- [Symbol] ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- [Symbol] ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- [Symbol] GROUND FAULT CIRCUIT INTERRUPTER
- [Symbol] GROUND FAULT CIRCUIT INTERRUPTER
- [Symbol] LIGHT SWITCH
- [Symbol] EXHAUST FAN
- [Symbol] DOORBELL
- [Symbol] GWB CEILING / CEILING HEIGHT
- [Symbol] UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



SITE

- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. REPAIR CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF BAY SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TIE CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 1" JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE 3" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PATCHES OR SPOT SAWCUT DAMAGED BRICK PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 1" JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE 3" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR WHERE NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REPAIR OR RENOVATE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM TO BE REPLACED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEA EXISTING PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKLED EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT FLOORING AND FOR NEW STANDARD 2"X4" SPREAD FOOTING AND BRACE. CONCRETE TO BE REPAIRED. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1107 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT REFL. CLG. / POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND

scale As Noted

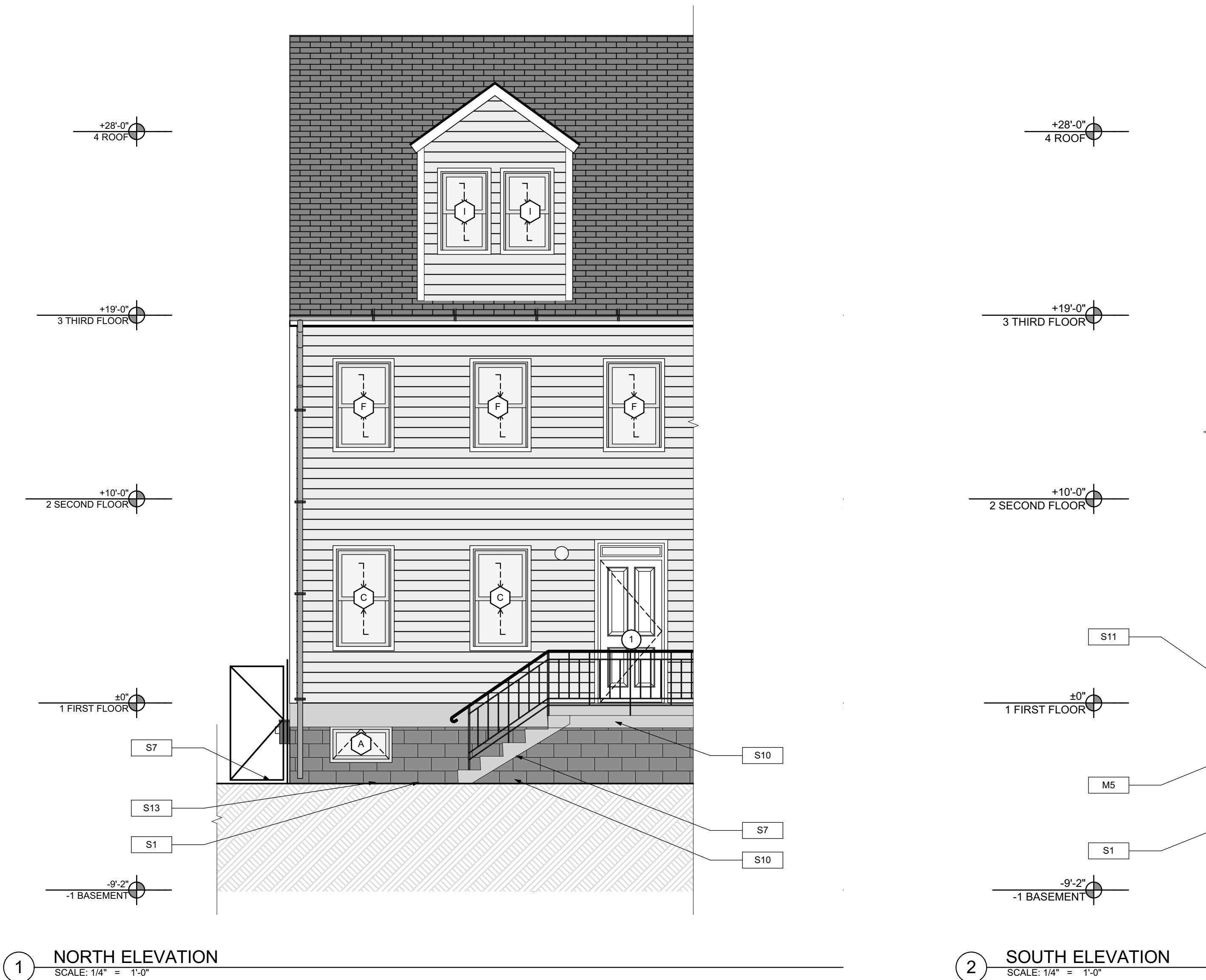
date May 6, 2022

no. 8 of 12

Sheet No.

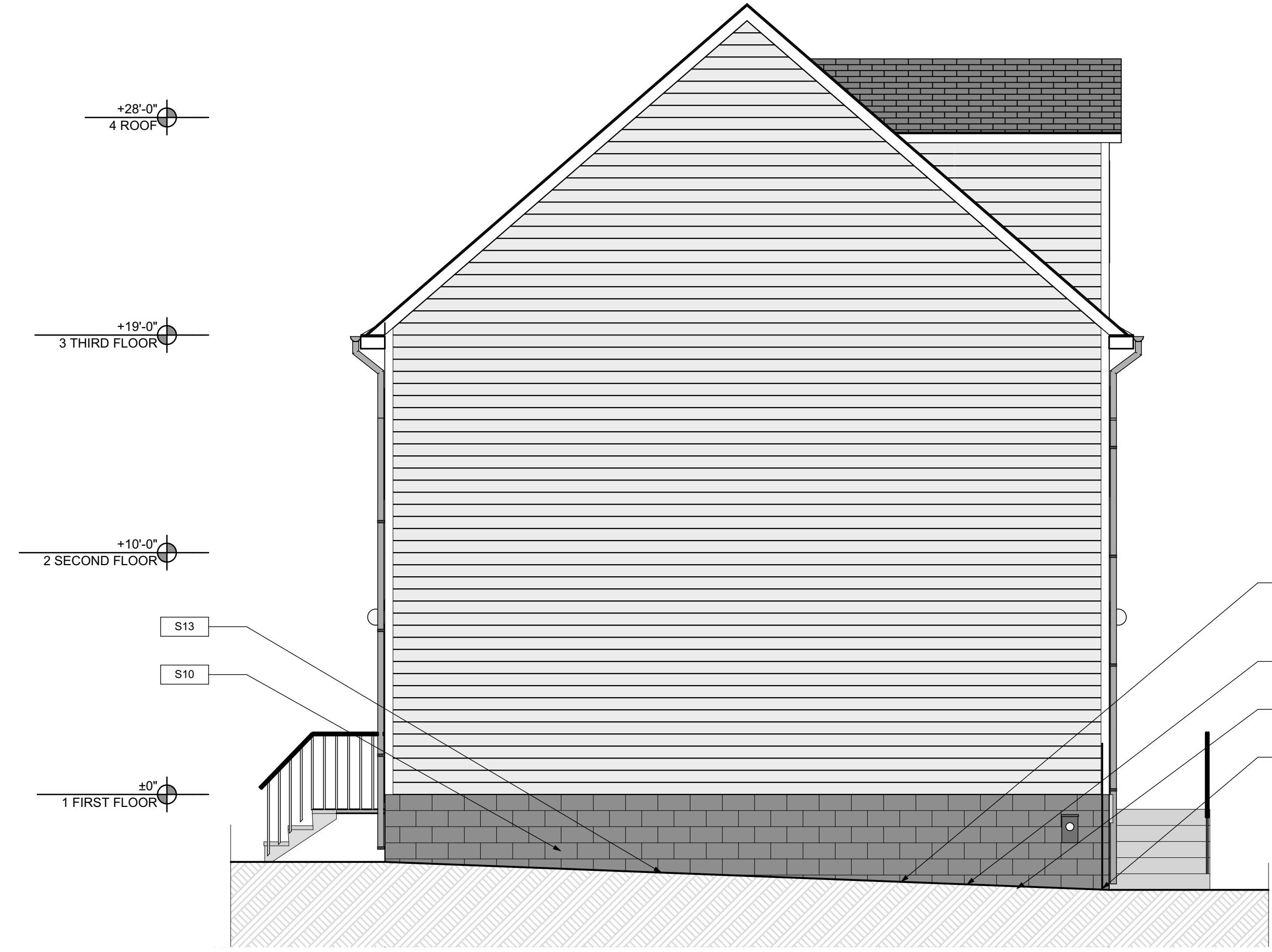
A7

Project #2006



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

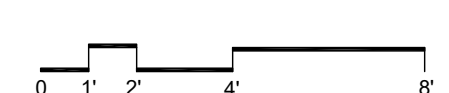
2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

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- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
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 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAV. BAYERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
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- ROOF**
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 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
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 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD. WHERE NECESSARY AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
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 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING JOIST FOR NEW STANDARD 2X2X1 SPREAD FOOTING AND APPLY GABLE CORNER OR FLAT. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
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 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR GYPSUM WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
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- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

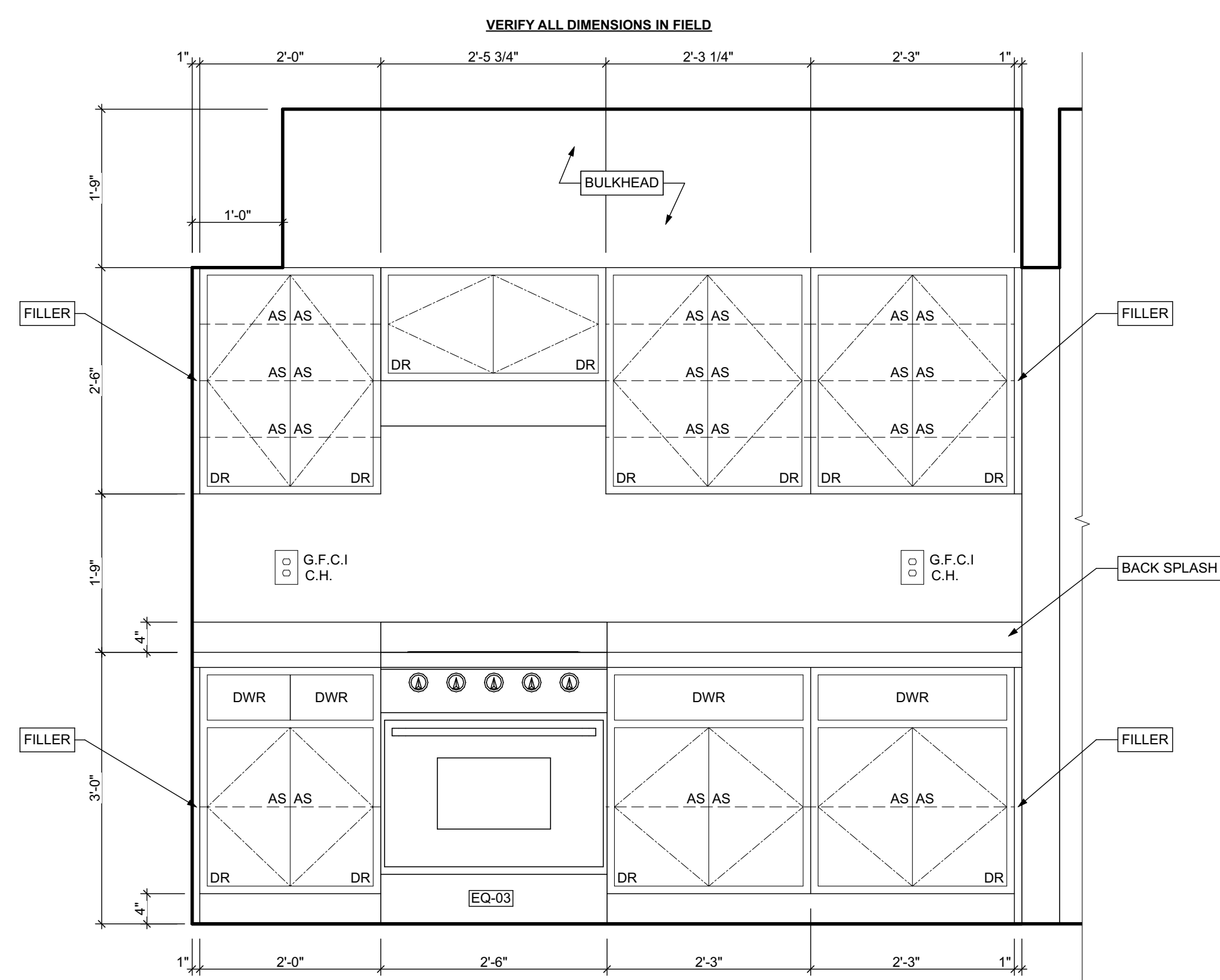
Project Location:
 MANCHESTER SCATTERED SITES
 1107 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

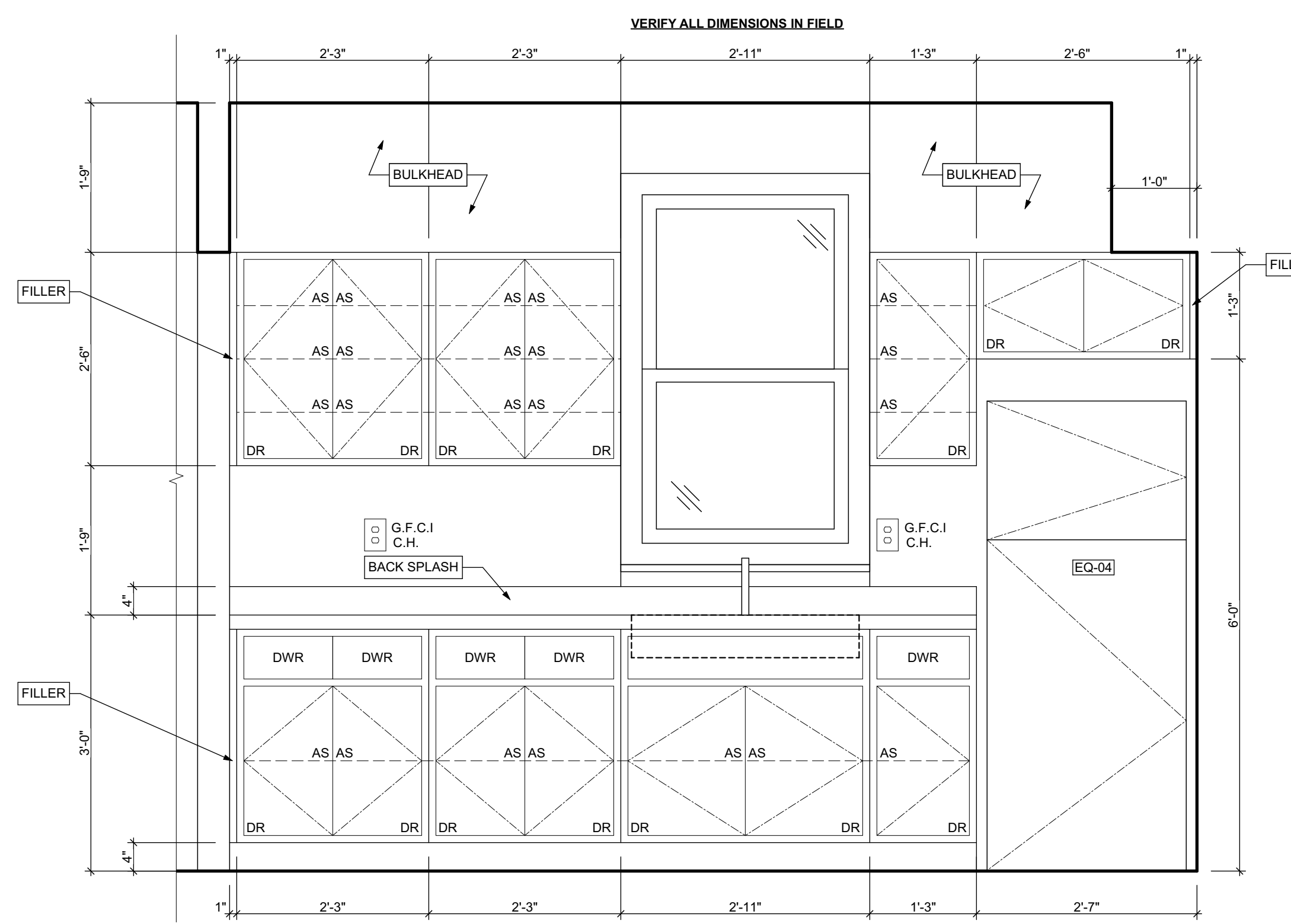
NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

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no.	9
of.	12

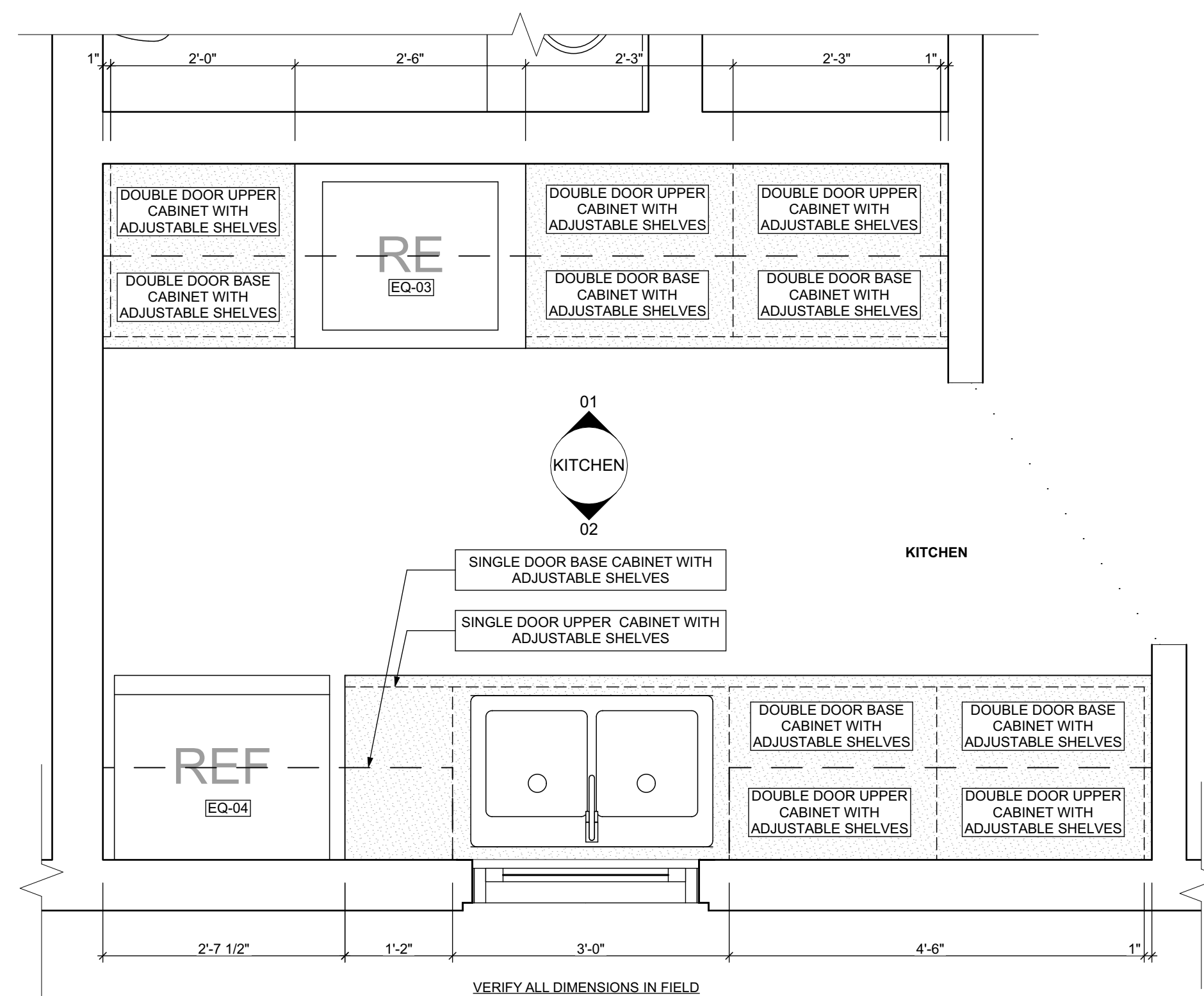
Sheet No.	A8
Project #2006	



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	MODEL	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent		Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Masrow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome		Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome		Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome		Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register
REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	Electric heat pump PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved filling or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale

general notes

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- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1107 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02, FIRST
FLOOR KITCHEN ENLARGED
PLAN

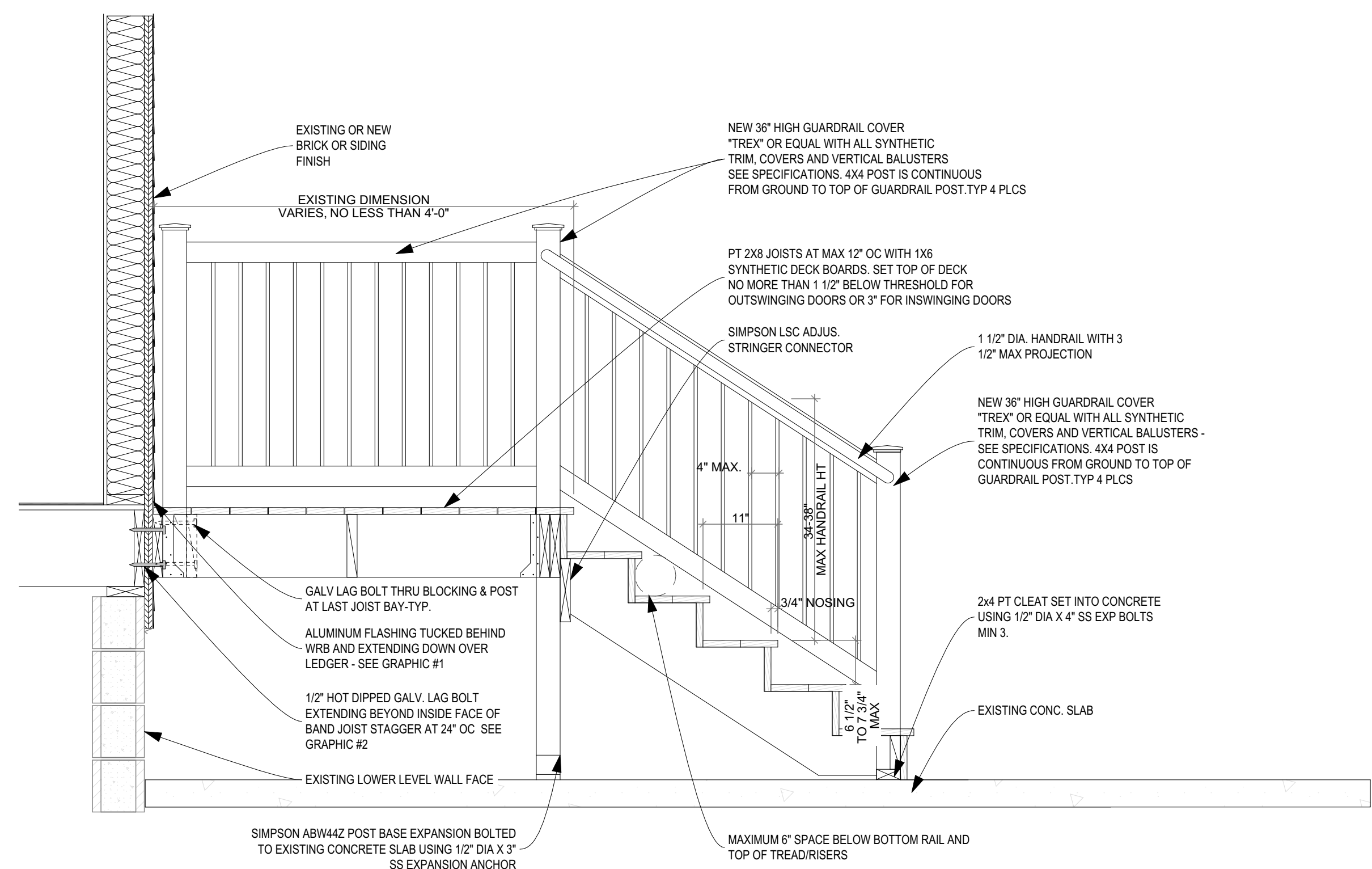
scale
As Noted
date
May 6, 2022
no.
10

of.
12

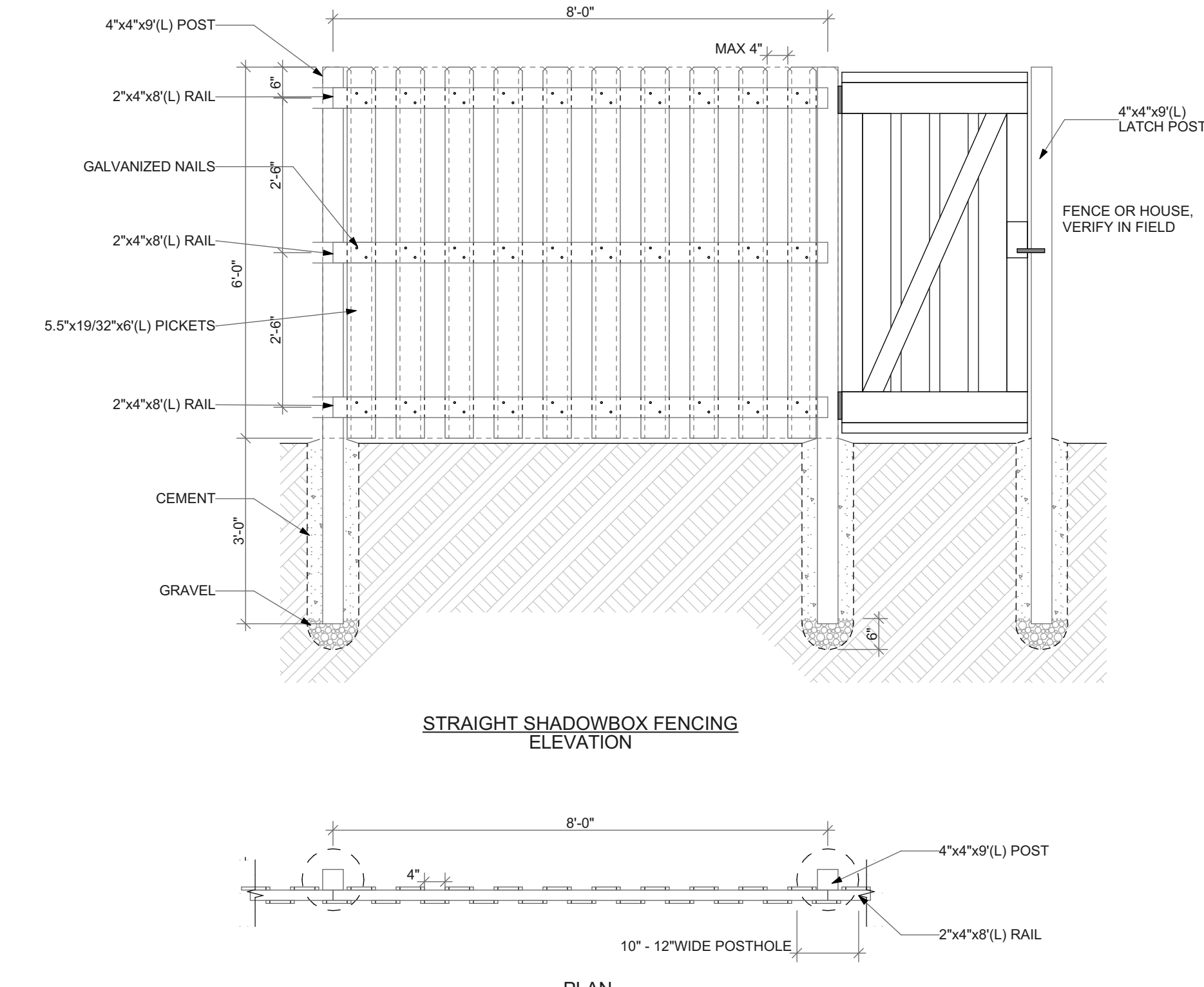
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A9

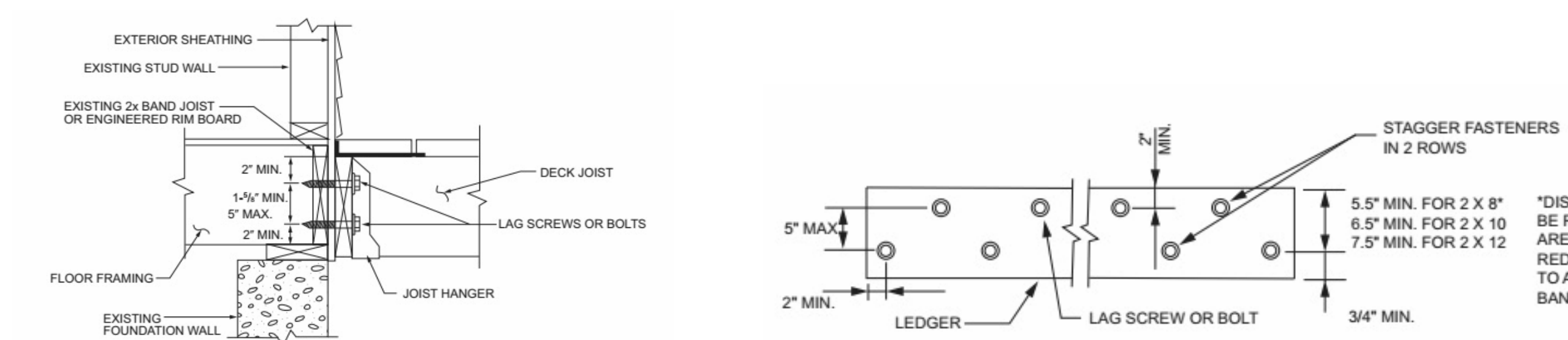
Project #2006



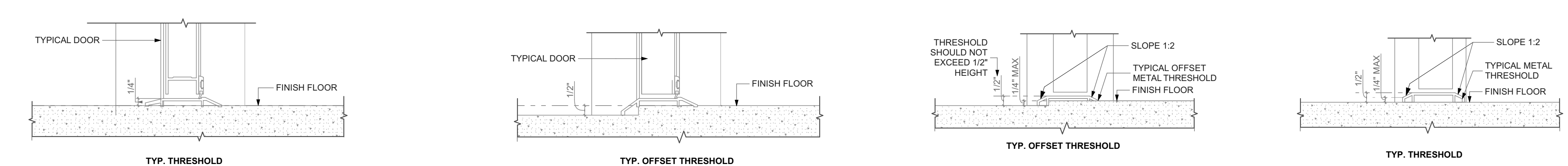
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



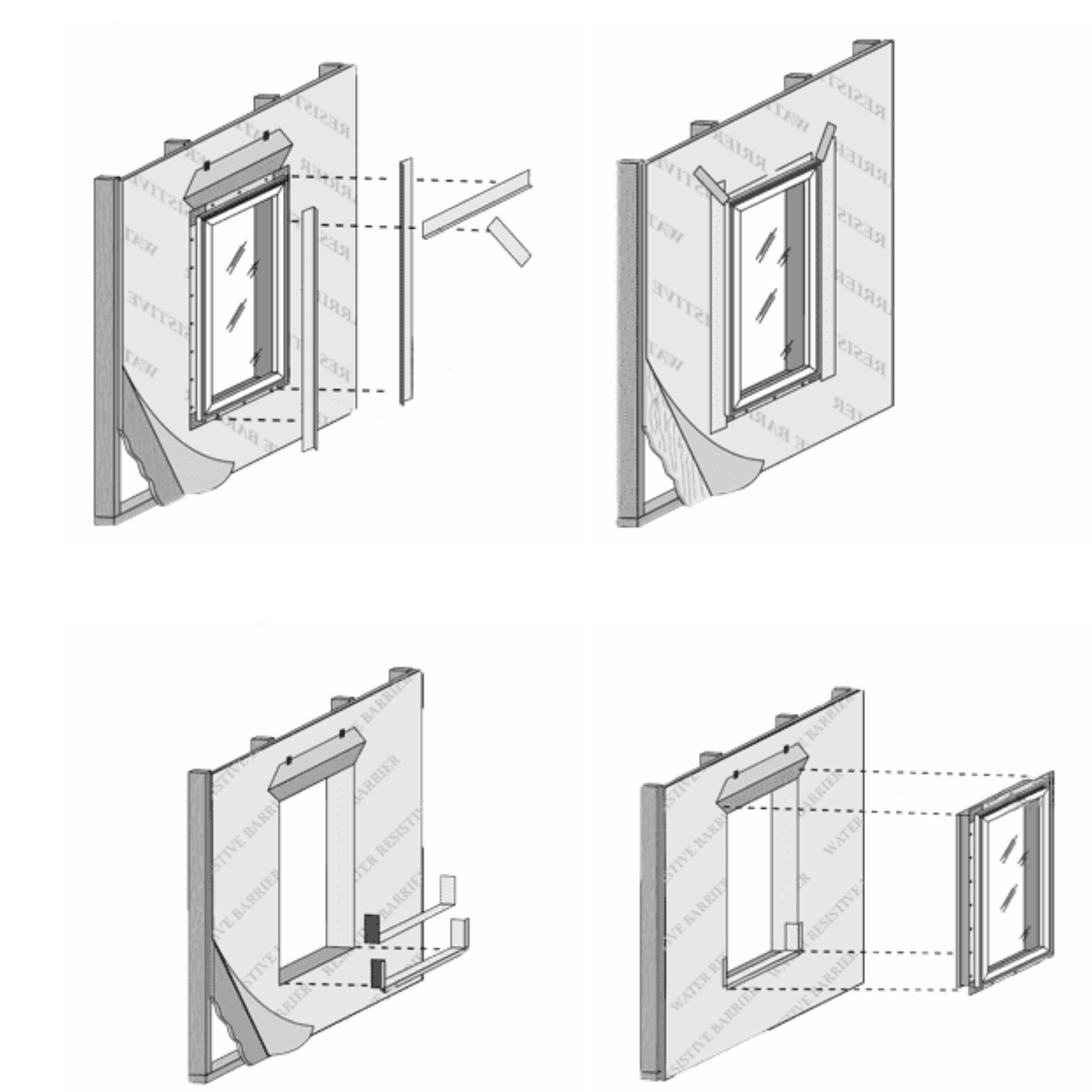
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

general notes

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revisions

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project title

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HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
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1107 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
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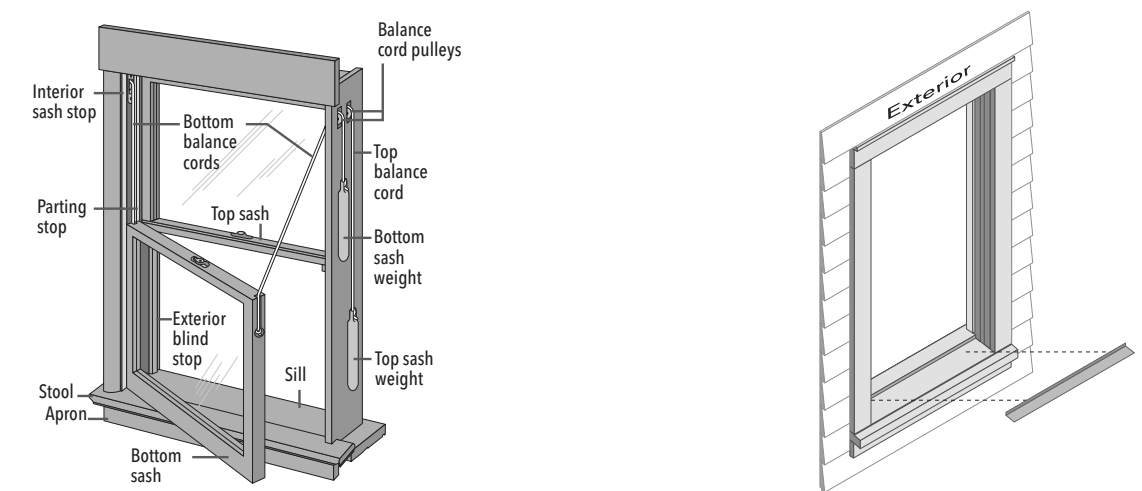
drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

PELLA POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



1 REMOVE THE EXISTING SASHES

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

A. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.

B. Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.

C. Remove the exterior stops at the head and jamba using a chisel, reciprocating saw, rotary tool or equivalent. Cut them flush with the side of the frame.

D. Carefully remove the upper sash and dispose of it properly.

E. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.

F. Carefully remove the lower sash.

G. Remove any remaining jamb liner material (if applicable).

H. Insulate the weight chamber (if desired).

2 PREPARE THE OPENING

A. Inspect the existing window frame. Repair or replace any deteriorated parts.

B. Clean the opening of any dirt, debris or excess old paint.

C. Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.

D. Apply sealant over any gaps in the corners of the existing frame.

E. Check the sill for level or for bowing.

F. Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.

G. Attach shims to prevent movement after they are level.

NOTE: Improper placement of shims may result in bowing the bottom of the window.

3 PREPARE THE WINDOW

See next page for Sill Adapter illustrations.

A. Drill pilot holes (if necessary) in the new window frame.

B. Dry fit the window in the opening.

C. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.

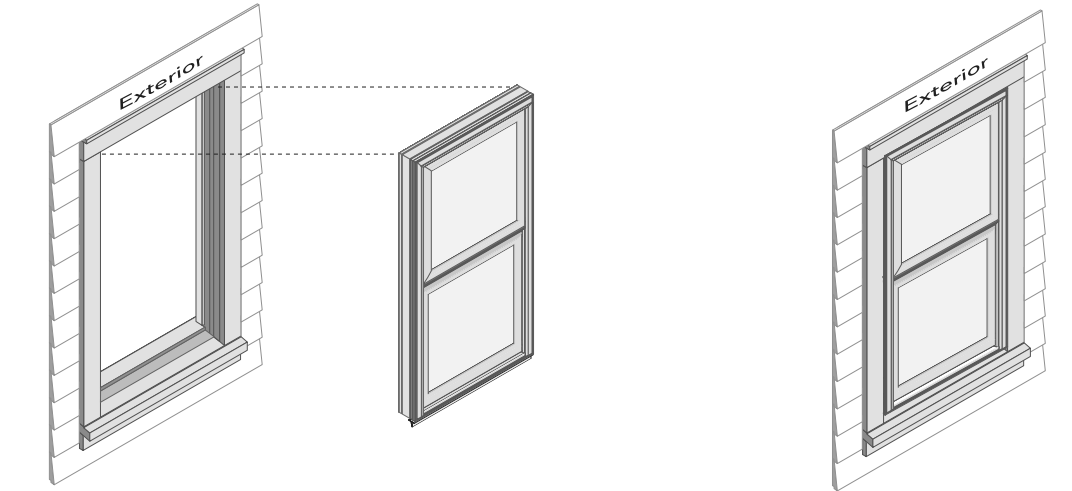
D. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.

E. Install the sill adapter. Cut it to length and notch it (if necessary).

F. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.

G. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.

PELLA POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



4 SET AND FASTEN THE WINDOW

A. Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.

B. Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.

C. Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.

D. Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes.

E. Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).

F. Check for plumb, level, square and window operation. Make any necessary adjustments to shims and finish installing frame screws.

G. Adjust the screw jacks (if applicable) with the screwdriver. Turn clockwise to move the frame toward the sash.

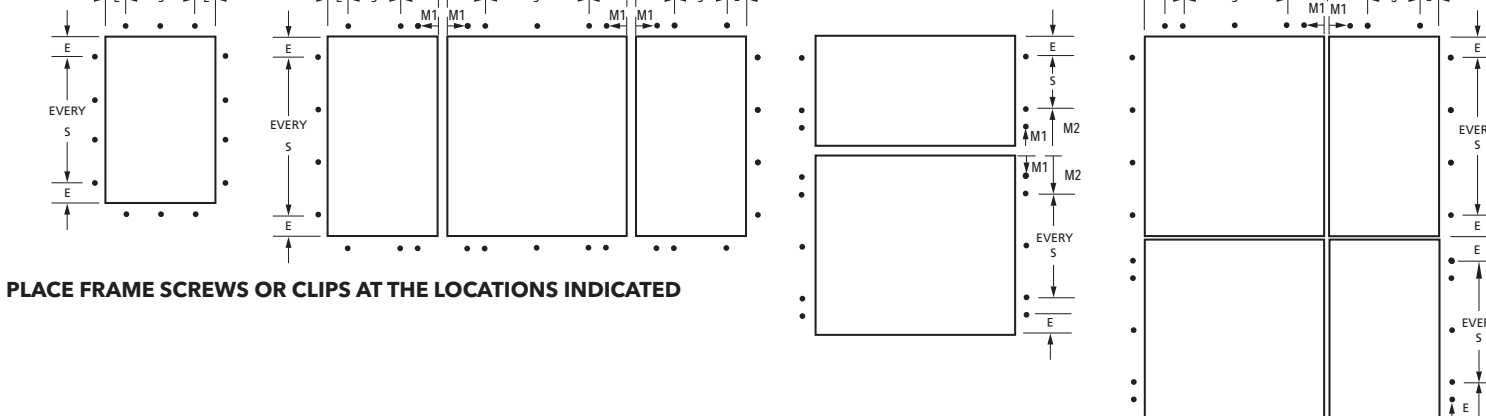
H. Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.

I. Install exterior sealant. Refer to the exterior sealant instructions at the end of this booklet.

J. Install exterior frame expanders at this time (if necessary).

PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

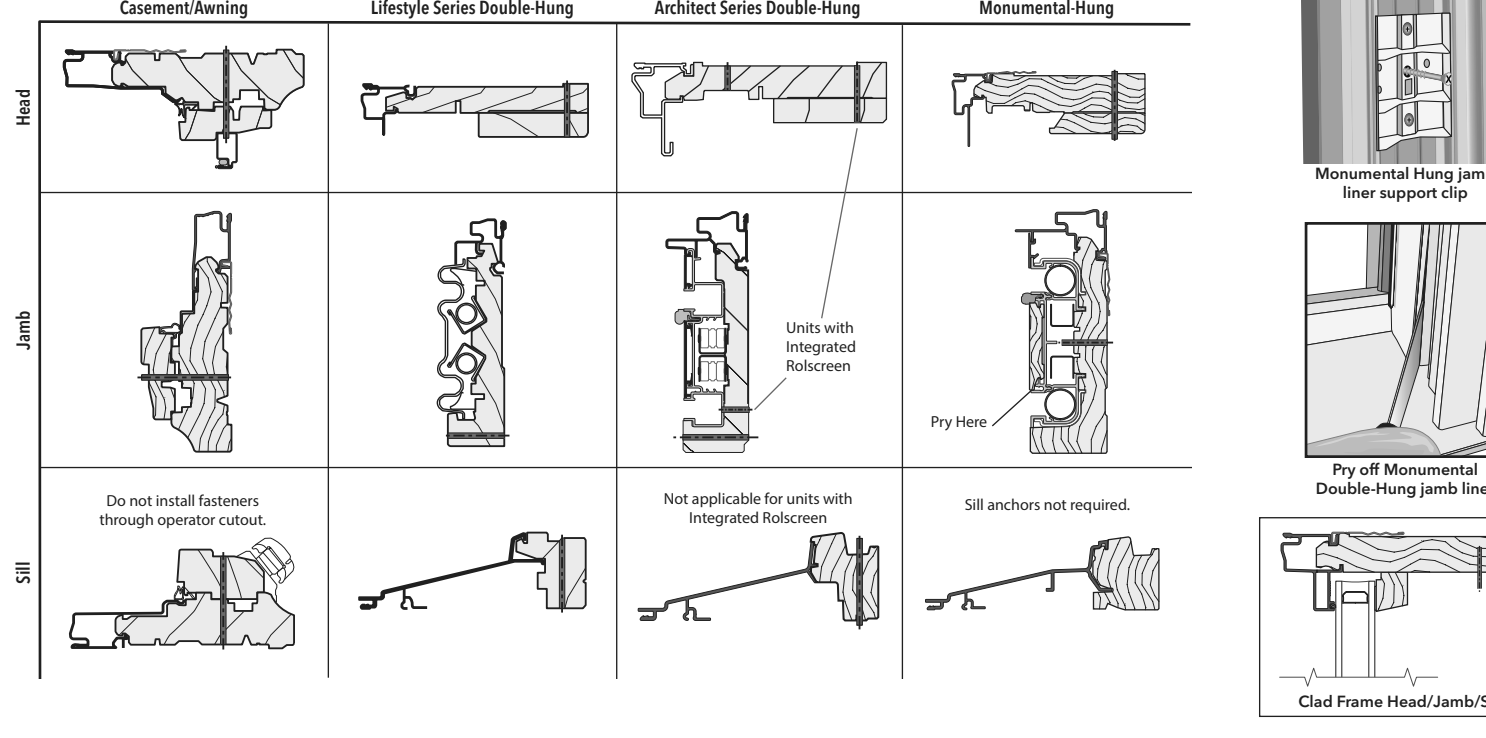
Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (S), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, Wood **, and Special Notes.

1/8" Pilot Hole Locations. Ensure the window frame remains fully embedded in sealant.



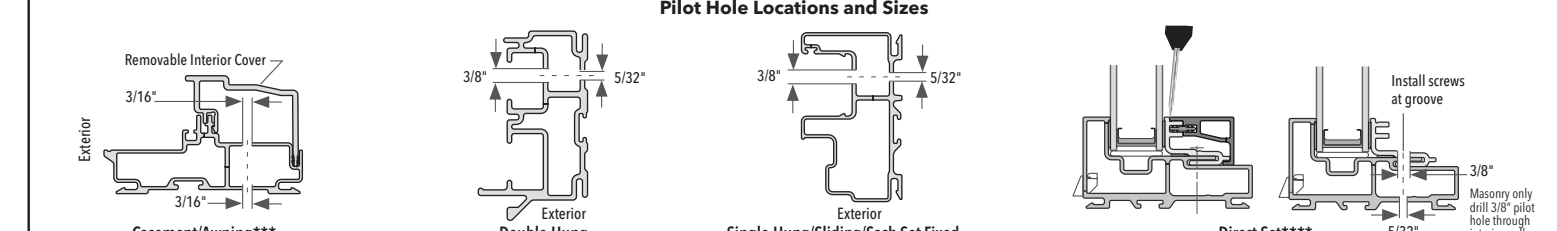
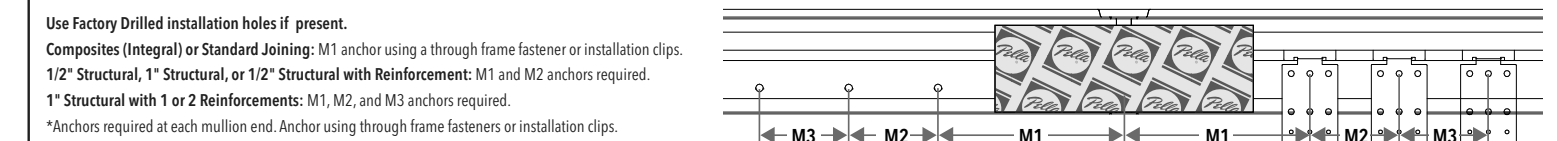
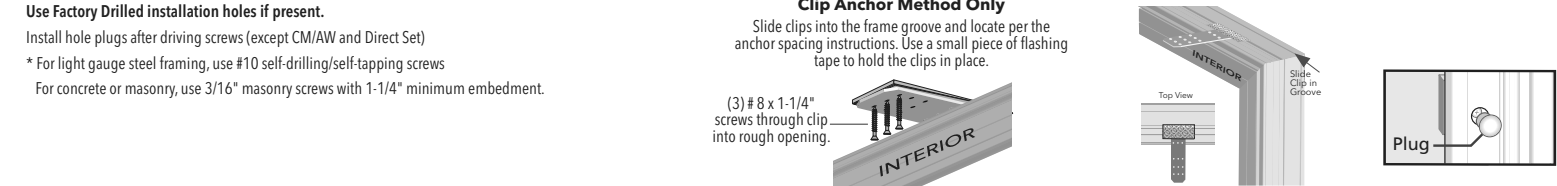
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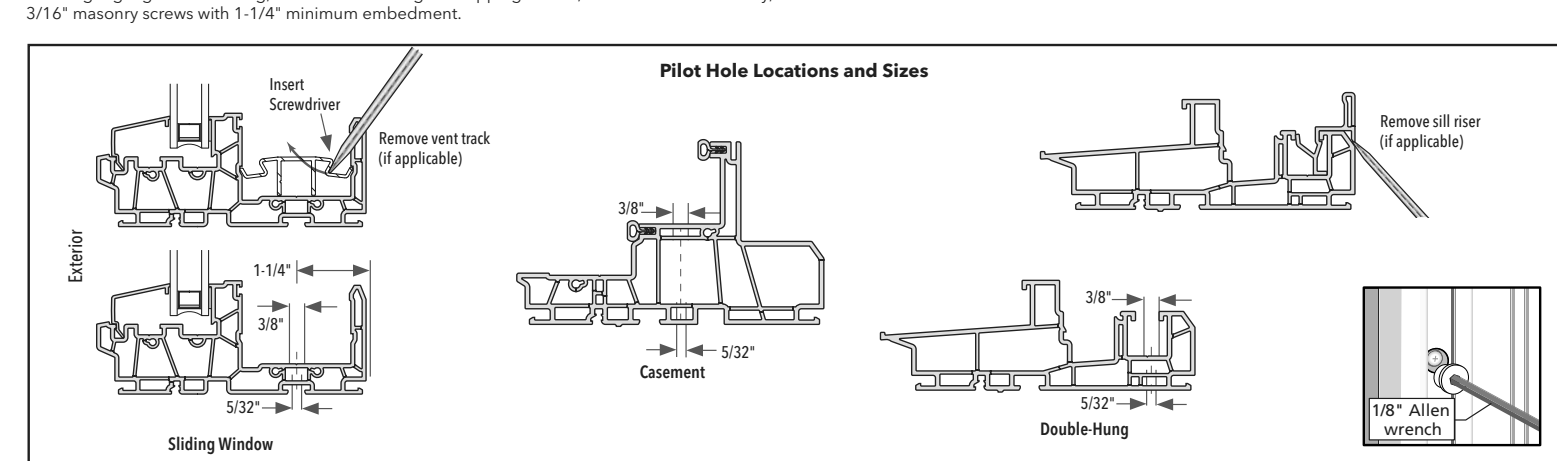
PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

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PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS. Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (S), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fasteners*, and Special Notes.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS. Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (S), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, and Special Notes.



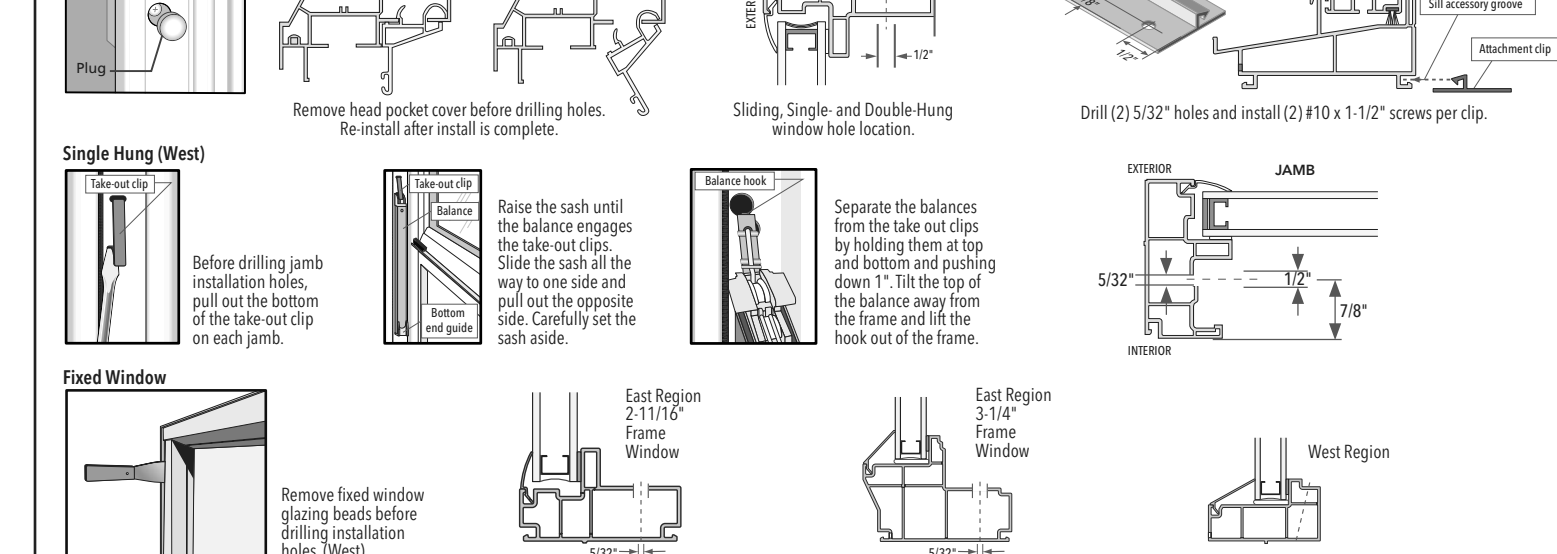
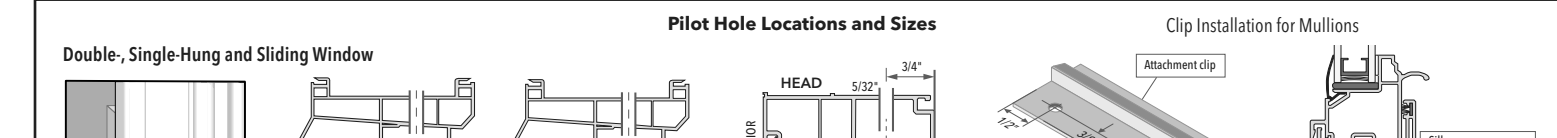
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PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

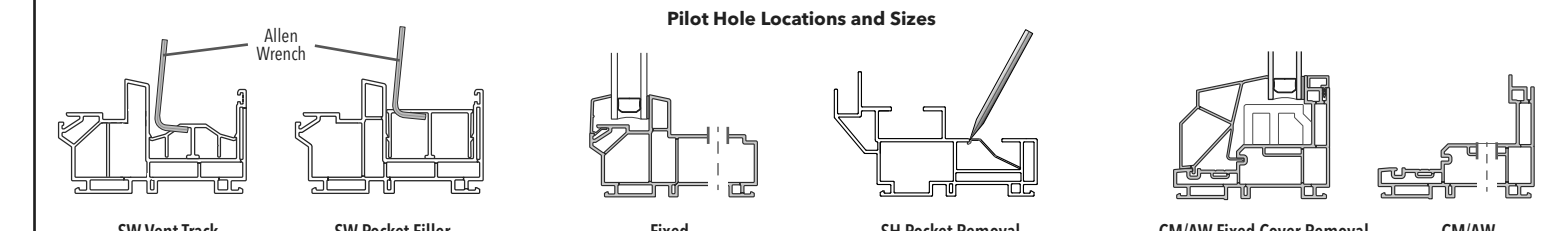
ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS. Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (S), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, and Special Notes.

All venting products: Head and sill anchors are required on composite only. Use factory drilled installation holes if present.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS. Table with columns: Product, Edge Spacing (E), Max. Intermediate Spacing (S), First Mullion Anchor (M1), Second Mullion Anchor (M2), Fastener, and Special Notes.

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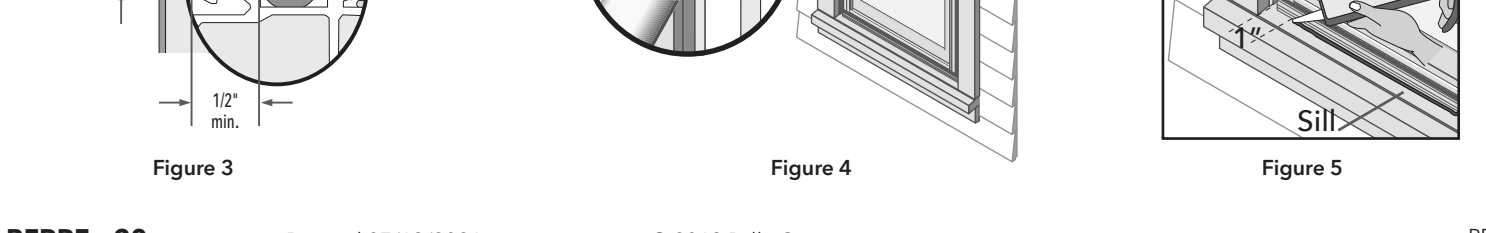
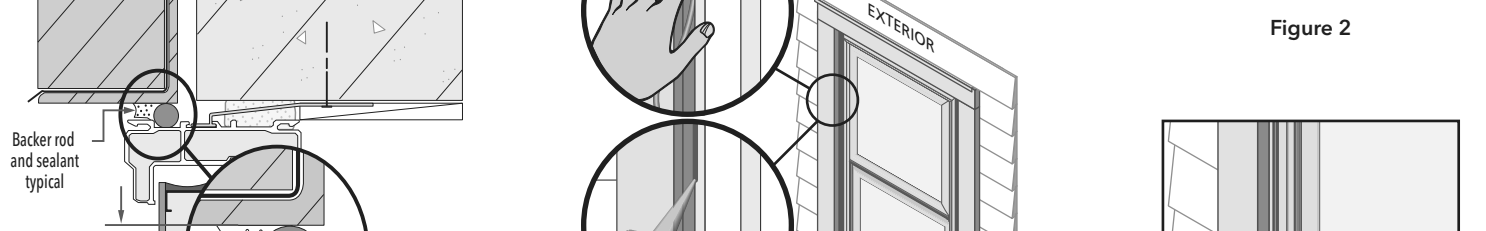
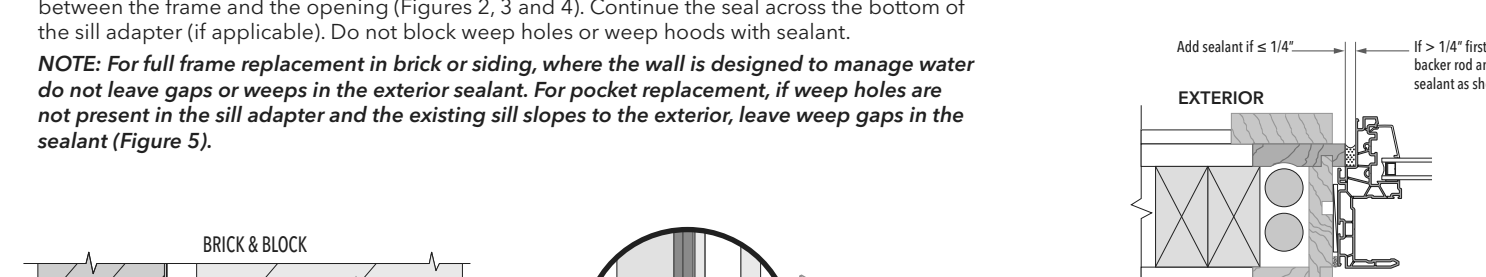
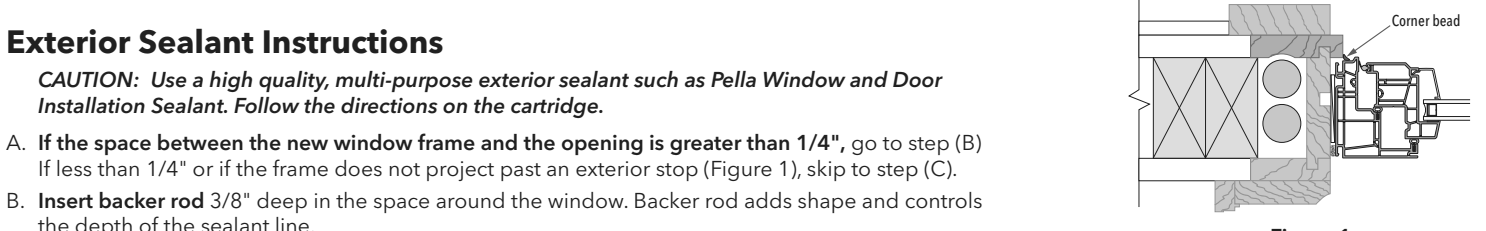
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PELLA INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

Interior Sealant Instructions. CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

Exterior Sealant Instructions. CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.



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requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1107 SHEFFIELD STREET
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15233

drawing title

WINDOW REMOVAL/
REPLACEMENT (PELLA)

scale
As Noted
date
May 6, 2022
no. 12 of. 12

Sheet No.
A11
Project #2006