PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

As the **DESIGN ARCHITECT**, I certify that:

Development Amenities

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. (schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	<u>MU</u>
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	 The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item. Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion. <u>New Construction</u>: For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) 	X The Fair Housing Act of 1988 & Fair Housing Desig X ANSI A117.1-2009 (or edition currently adopted by X Pennsylvania Uniform Construction Code X Uniform Federal Accessibility Standards (UFAS) X Section 504 of the Rehabilitation Act of 1973 X 2010 ADA Standards for Accessible Design X Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.) NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	 For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) Preservation (Moderate Rehab) *: For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) * Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation. 	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	 NOTE: Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. 	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- ____X When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

LVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) I. Any conflicts in the drawings or between new existing construction shall be referred to the Architect I. Contractor shall be referred to the Architect	As the LESION ARCHITECT, I hereby certify that I either have designed or will design the units with three street decompany development to include the following percentage of afforsable. ph 412.281.6001 "Hore Section and Section Controls >16-20% of all units of all units of a diverbine street of an advectory of all units of a diverbine street of an advectory of all units of a diverbine street of advectory of all units of advectory of all units of advectory of a diverbine street of advectory of all units of advectory of advectory of all units of advectory of all units of advectory of advectory of all units of advectory
Test multiplication Compared and enables the induced the induced the induced the induced to enable th	action of the docular of the docular field outwing percentage of all of table I "High rise docular formation busing cannot qualify for this category. >15 - 20% of all units 1 Total rinks >22% of all units bedroom units >22% of all units Signed:
71 Total units >15-20% of all units 42 Total number of infordable 3 or more- based with the dubuthandrural >22-25% of all units >20-105% of all units >225% of all units Signed: Date: <u>All 9, 2007</u> Print: Date: <u>All 9, 2007</u> Signed: Date: <u>All 9, 2007</u> Signed: Date: <u>Signed:</u> Print: Date: <u>Signed:</u> Signed: Date: <u>Signed:</u> Print: Date: <u>Signed:</u> Signed: Date: <u>Signed:</u> Print: Date: <u>Signed:</u>	71 Total units >16 - 20% of all units 43 Total units of affordable 3 or more- biotrom units >20 - 25% of all units 20 - 25% of all units >20 - 25% of all units Bigned: Date: 419,202 Print: Date:
Image: Control of SELECTON CONTENT 202 - 25% of all units 202 - 25% of all units 202 - 25% of all units 203 - 25% of all units 203 - 25% of all units 203 - 25% of all units 203 - 25% of all units 203 - 25% of all units 203 - 25% of all units 204 - 25% of all units 204 - 25% of all units Signed: Date: 19.0 - 200 Print: Date:	43 Total umbs 10 - 0.00 and umbs 43 Total umbs 20 - 25% of all units 43 10 - 0.5% of all units 20 - 25% of all units 44 0.05% of all units 20 - 25% of all units 45 0.05% of all units 20 - 25% of all units 46 0.05% of all units 20 - 25% of all units 47 0.05% of all units 20 - 25% of all units 48 0.05% of all units 20 - 25% of all units 49 0.05% of all units 210 Signed:
	>10-15% of all units (suburban/ural X >25% of all units Dete: All 9.2021 Print: Date: Acknowledged and Accepted by the APPLICATION Signed: Date: Date: Print: Date: Date: Print: Date: Date: Signed: Date: Date: Print: Date: Date: Active Signed Cemmentor Of SELECTION CEMEENA 212 ALVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) I. Any conflicts in the existing construction sh Signed: . Contractor shall verition of the contra
Definition and compared by the APPLICANT(8) Signed:	DESIGN ARCHITECT June: JUNE Bigned:
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I. Any conflicts in the drawings or between new existing construction shall be referred to the Architect I. Contractor shall be referred to the Architect	'LVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) existing construction sh :SIGN ARCHITECT, I certify that for preservation developments: 2.
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	SIGN ARCHITECT, I certify that for preservation developments: 2. Contractor shall verify
SIGN ARCHITECT. I certify that for preservation developments:	
conditions in the field and shall advise Fukui Archit	
erational savings and sustainable building practices by meeting the mandatory measures the 2020 Enterprise Green Communities Criteria as amended below. (Not applicable if	i cor any discrepance
eking certification under a National Green Building program in Selection Criteria) proceeding with any phase of work. Do not s drawings.	the 2020 Enterprise Green Communities Criteria as amended below (Not applicable if
nterprise Green Communities Criteria for Preservation Developments 3. All work shall be installed in accordance with applic	the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if proceeding with any drawings. norm, or anertations to proceeding with any drawings.
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Project Location:

MANCHESTER SCATTERED SITES 1017 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

SELECTION CRITERIA, **THRESHOLD CRITERIA**, **TABULAR SCHEDULE**

TABULA	AR AREA UNIT SCH	HEDULE
UNIT #	GROSS AREA (SF)	NET AREA (SF)
SFR	2,204	1,935

scale As Noted	Sheet No.
date May 6, 2022	
no. of. 1 1 7	A0
	Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1017 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 **3 BEDROOM UNIT**

Drawing Inde

A0 PHFA DOCUMENTS

SELECTION CRITERIA TABULAR SCHEDULE THRESHOLD CRITERIA A1 COVER SHEET CODE AND CONTACT INFO DRAWING LIST MANCHESTER SCATTERED SITES MAP A2 ABBREVIATIONS AND MATERIALS ABBREVIATIONS AND MATERIALS BRICK WALL SECTION DOOR SCHEDULE (WITH EXISTING) DOOR TYPES FINISH SCHEDULE INTERIOR STAIR DETAIL SIDING WALL SECTION WINDOW SCHEDULE A3 SCOPE/GENERAL/GREEN COMMUNITY NOTES ENERGY NOTES GENERAL NOTES A4 SITE PLAN AND ROOF PLAN GRAPHIC SCALES GRAPHIC SCALES ROOF AND SITE PLAN LEGENE ROOF PLAN ROOF PLAN NOTES SITE PLAN SMALL UNIT KEYNOTES A5 FLOOR/ DEMO PLANS BASEMENT / DEMO PLAN DEMOLITION PLAN LEGEND FIRST FLOOR / DEMO PLAN GENERAL DEMOLITION NOTES GRAPHIC SCALES SECOND FLOOR / DEMO PLAN SMALL UNIT KEYNOTES THIRD FLOOR / DEMO PLAN A6 FLOOR/FINISH/MECH./PLUMB. PLAN BASEMENT /FINISH/MECH./PLUMB. PLAN FIRST FLOOR /FINISH/MECH./PLUMB. PLAN FLOOR PLAN LEGEND GRAPHIC SCALES SECOND FLOOR/FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES THIRD FLOOR/FINISH/MECH./PLUMB. PLAN A7 REFLECTED CEILING / POWER / DATA PLANS BSMT. REFL. CLG/ POWER / DATA PLAN FIRST FLOOR REFL. CLG. / POWER / DATA PLAN LIGHTING SCHEDULE RCP LEGEND SECOND FLOOR REFL. CLG. / POWER / DATA PLAN SMALL UNIT KEYNOTES THIRD FLOOR REFL. CLG./ POWER / DATA PLAN **A8 ELEVATIONS** EAST ELEVATION GRAPHIC SCALES NORTH ELEVATION SMALL UNIT KEYNOTES SOUTH ELEVATION **A9 KITCHEN ENLARGED PLANS AND ELEVATIONS** FIRST FLOOR KITCHEN ENLARGED PLAN **KITCHEN ELEVATION01 KITCHEN ELEVATION 02** A10 DETAILS DECK ENLARGED DETAILS DECK SECTION DETAIL EXTERIOR DOOR THRESHOLD WINDOW INSTALLATION UNDER VINYL SIDING WOOD FENCE DETAIL

Code Conformance Information

Applicable Codes General:
Accessibility: Energy: Electrical: Fire: Fuel Gas: Mechanical: Plumbing: Fire Alarm:
Sprinkler:

General Building / Project Information Classification of Work: Occupancy Group: Stories: Gross Area: Construction Type: Sprinklers: Smoke detector:

Contact Schedule

forward questions as appropriate to the consulting engineers. **Building Owner:**

Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org

ontact: Mackenzie Pleskovic

General Description of Work

. It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3. For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

Architectural Scope Notes. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity takeoffs.

2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1 2015 International Energy Conservation Code 2014 NEC (NFPA 70) 2015 International Fire Code 2015 International Fuel Gas Code 2015 International Mechanical Code 2017 Allegheny County Health department Plumbing Code 2013 NFPA 72 2013 NFPA 13 Level-2 alteration per the IEBC "R-2" 3 story with basement

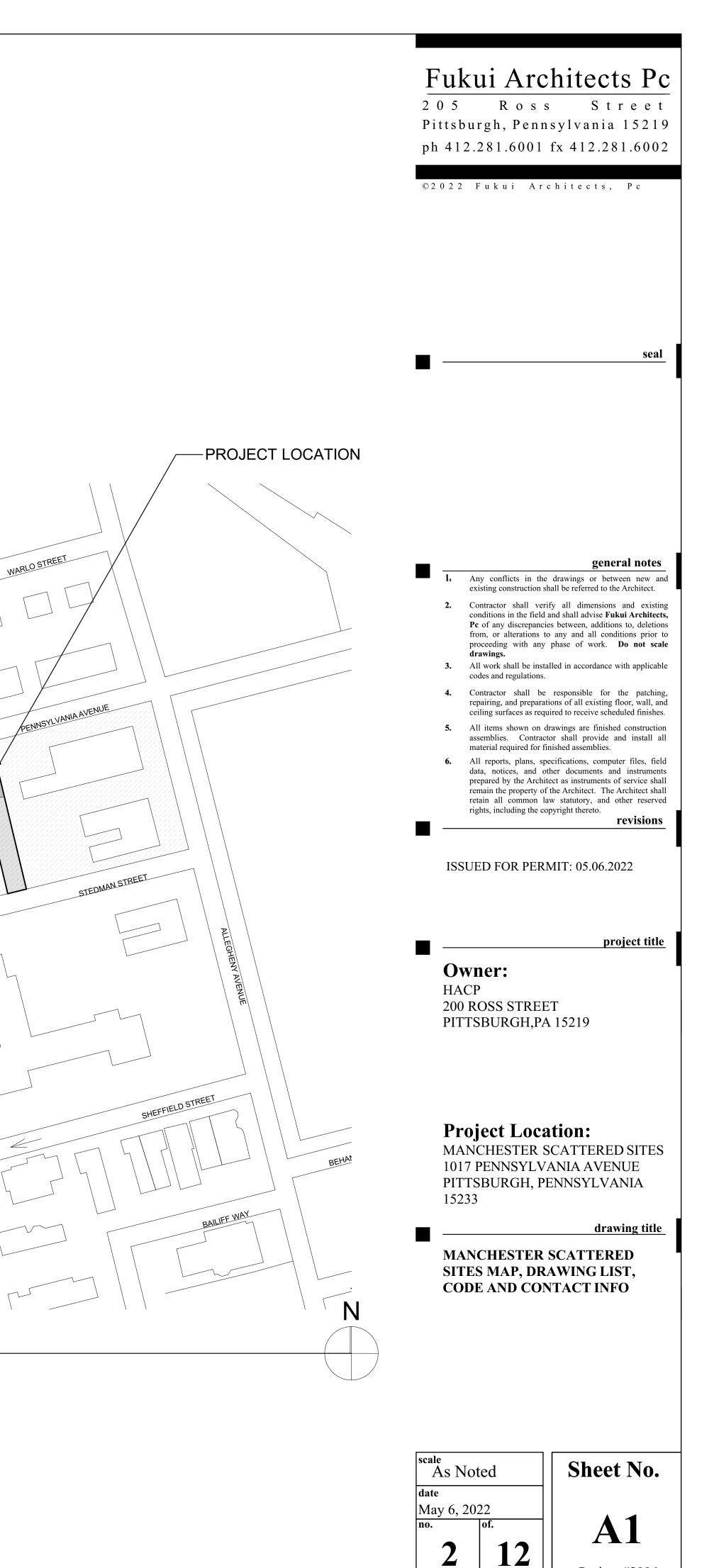
2,204 sqft None

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will Plan Review & Inspection: Architect:

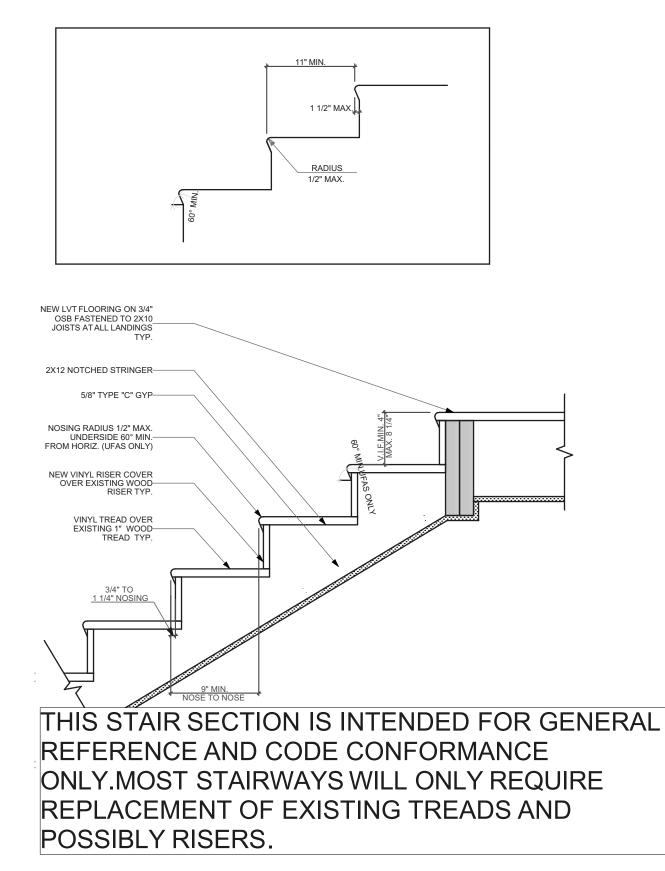
- Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA
- City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 32 Pittsburgh, PA 15205 ph: 412.255.2175



NOT TO SCALE



	ALS USED			ELEV.	Eleveti	MISC.	Ν
$\boxtimes / \land \boxtimes$		A.F.F. A.P.	Above Finish Floor Access Panel	ELEV. EQUIP.	Elevation Equipment	N.I.C.	Ν
	EARTH	A.P. ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	N
		A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing		•
		ADH.	Adhesive	EXP.	Expansion	O.C.	C
	COMPACTED STONE FILL	ADJUST.	Adjustable	E.J.	Expansion Joint	OPP.	C
		A/C	Air Conditioning	ESH	Exterior Sheathing	O.H.	С
and a second	CONCRETE	ALT.	Alteration	EXIST.	Existing	PR.	Р
· · · · · · · · · · · ·	CONCRETE	ALTN.	Alternate	EXP.	Exposed	PLAS.	P
		ALUM. A.O.R.	Aluminum	EXT.	Exterior	PLASIAM	P
	STEEL	A.O.K. APPROX.	Area of Refuge Approximate	E.I.F.S.	Exterior Insulation & Finish Syster	n P.C.	Р
	SILL	ARCH.	Architectural	F.R.P.	Fiberglass Reinforced Polyester	PLYWD.	Р
		ASB.	Asbestos	F.F.	Finish Floor	POLY.	Р
	RIGID INSULATION	ASPH.	Asphalt	FIN.FLR.	Finish Floor	P.V.C.	P
		AUTO.	Automatic	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	P
		AVG.	Average	F.E.	Fire Extinguisher	RE.	R
\sim	BLOCKING	BLK.	Block	FLR. F.D.	Floor Floor Drain	REF.	R
		BD.	Board	FTG.	Footing	R.C.P.	R
$\chi \chi \gamma$		BOT	Bottom		looning	REINF.	R
	BATT INSULATION	BLDG	Building	GA.	Gauge	RD.	R
				G.C.	General Contractor	RM.	R
		C.I.P.	Cast In Place	G.F.I.	Ground Fault Interrupter	S.A.T.	S
	GYPSUM WALL BOARD	C.B. CEM.	Catch Basin	GYP.	Gypsum	SCHED.	S
		CER.	Cement Ceramic	G.W.B.	Gypsum Wall Board	SHT.	S
	WOOD	CER. CG	Corner Guard	GSH	Gypsum Sheathing	SIM.	S
		C.M.T.	Ceramic Mosaic Tile	H/C	Handicap	S.C.	S
*****		C.W.T.	Ceramic Wall Tile	H.V.A.C.	Heating, Ventilation &	SPECS.	S
	PLYWOOD SHEATHING	C.O.	Cleanout	HT	Height	SQ.	S
		Ę	Center Line	HC	Hollow Core	S.F. S.S.	S
		CLO.	Closet	H.M.	Hollow Metal	5.5. STL.	S S
	SPRAY FOAM INSULATION	C.W.	Cold Water	HORIZ. HR.	Horizontal	STCR.	S
		CLG.	Ceiling	HR. H.W.	Hour Hot Water	STRUCT.	S
		CLR.	Clearance			TEL.	T
		COL. CONC.	Column Concrete	IN.	Inch	THK.	T
		CONC. C.M.U.	Concrete Concrete Masonry Unit	I.M.	Insulated Metal	T.B.D.	T
		C.M.U. CONT.	Continuous	INSUL.	Insulation or Insulated	T&G	T
		CORR.	Corridor	INT.	Interior	Т.О.	T
		C.M.P.	Corrigated Metal Pipe	INV.	Invert	T.G.	T
		CRS.	Courses	ISO.	Isolation	T.O.S. TYP.	To Ti
		DIA.	Diameter	JAN.	Janitor's Closet		1
		DET	Detail	J.T.	Joint	UNFIN. U.N.O.	U
		DGL	Dens Glass Gold			U.N.U.	U
		DR.	Door	LAM.	Laminate	V.B.	V
		DN.	Down	LAV.	Lavatory	VERT.	V
		D.S.	Downspout	LG.	Long	VEST.	V
		DWG.	Drawing	M.D.F.	Medium Density Fiberboard	V.C.T. V.I.F.	V V
		D.F. D.I.P.	Drinking Fountain	M.D.F. M.D.H.	Magnetic Door Holder		v
		U.I.P.	Ductile Iron Pipe	M.H.	Manhole	W.H.	V
		EA.	Each	MFGR.	Manufacturer	W.R.B. W.W.F.	V
		E.W.	Each Way	MAX.	Maximum	W.W.F. WIN.	V
		ELEC.	Electrical	MECH.	Mechanical	W/	V V
		E.C.	Electrical Contractor	MET.	Metal	W/O	V
		EL.	Elevation	MIN.	Minimum	WD.	V
		Symbols		I		1	
		ELEVATION HEIG	iнт	DRAWING TITLE	INT	ERIOR ELEVATION MAR	RKER
						4	
		T.O. FINISH ELEV: 0'-0"		(1) Title			
		0 0		SCALE	: 1/8" = 1' - 0" 4	A-000)2	
		NORTH ARROW	PLAN NORTH	NOTE LEADER	Ň	\bigvee_{3}	



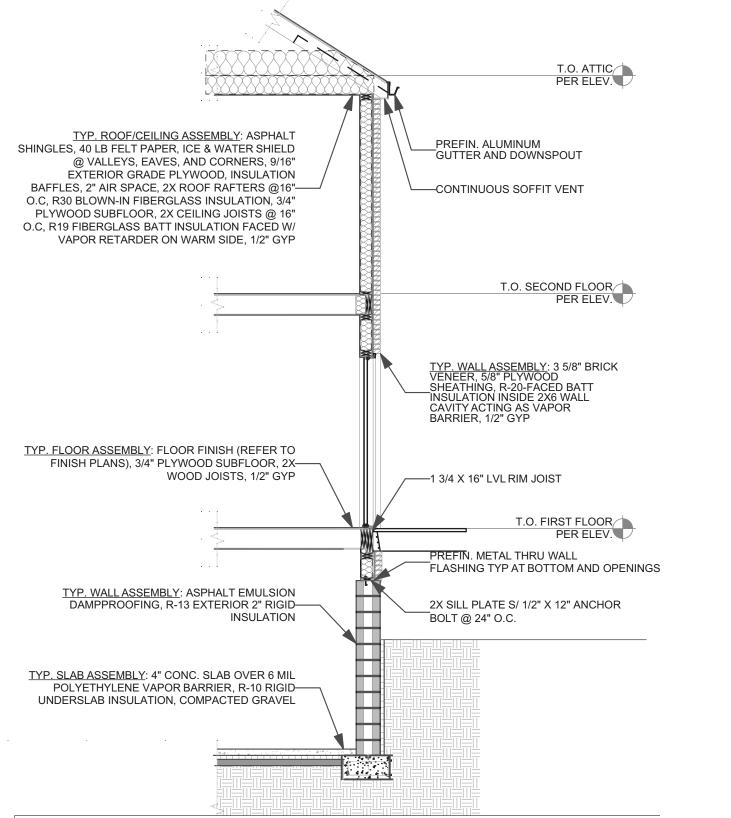
WINDOW SCHEDULE							
15	SI	ZE				TEMPEDED	
ID	WIDTH	HEIGHT	HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED	
A	3'-0"	1'-6"	8'-0"	GLASS BLOCK			
В	2'-9"	2'-0"	8'-8"	GLASS BLOCK			
С	2'-8"	5'-0"	8'-4 1/4"	VINYL CLAD WOOD			
D	5'-6"	5'-1"	7'-7"	VINYL CLAD WOOD			
E	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD			
F	2'-9"	4'-6"	6'-9"	VINYL CLAD WOOD			
G	5'-6"	4'-5"	6'-9"	VINYL CLAD WOOD			
Н	2'-1"	3'-1"	6'-9"	VINYL CLAD WOOD			
I	2'-4"	4'-1"	7'-1"	VINYL CLAD WOOD			
J	2'-11"	6'-8"	6'-8"	FIBERGLASS		Ø	
К	5'-6"	4'-1"	7'-0"	VINYL CLAD WOOD	×		
ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.							

GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS

			DOOR SCHEDU	E	
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS
1	3'-0"×7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	2'-8"×7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"×6'-8"		WOOD	WOOD	PASSAGE
4	2'-0"×6'-8"	III	WOOD	WOOD	PASSAGE
5	2'-0"×6'-8"	III	WOOD	WOOD	PRIVACY
6	2'-8"×6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-6"×6'-8"	III	WOOD	WOOD	PRIVACY
8	3'-0"×6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-8"×6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4"×6'-8"	III	WOOD	WOOD	PASSAGE
11	2'-8"×6'-8"	ш	WOOD	WOOD	PASSAGE

ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.





THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

BRICK WALL SECTION (2)

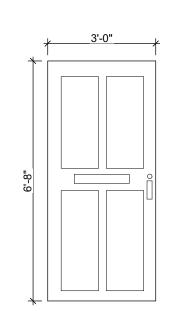
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SIDING WALL SECTION 3

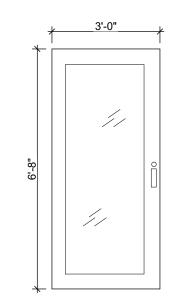
FINISH SCHEDULE NAME FLOOR BEDROOM 09 | LVT BTHRM 09 | LVT CLO 09 | LVT **DINING ROOM** 09 | LVT ENTRY 09 | LVT HALLWAY 09 | LVT KITCHEN 09 | LVT LIN CLO 09 | LVT LIVING ROOM 09 | LVT PNTRY 09 | LVT

09 | LVT

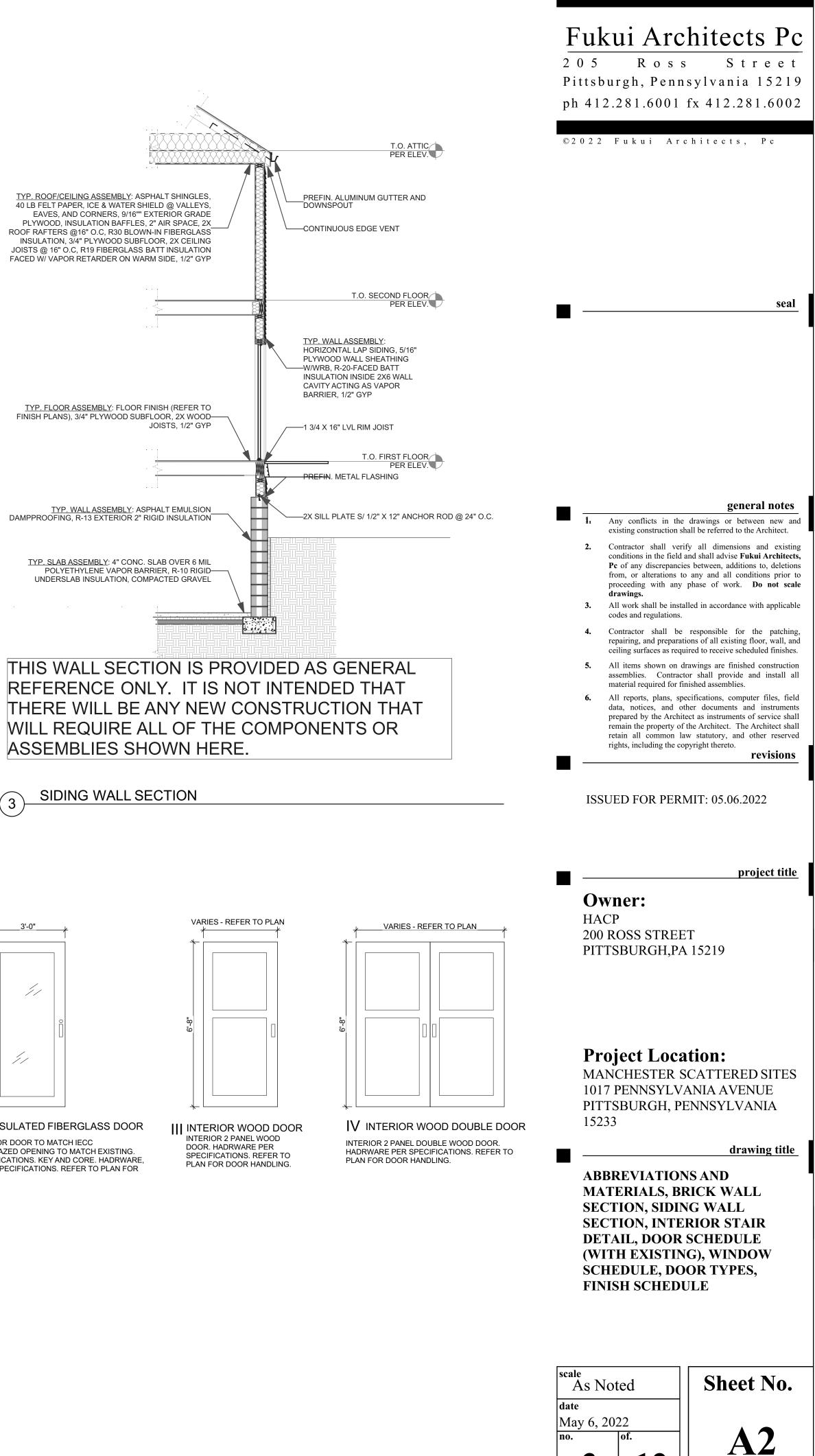
PWDR



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS.GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HADRWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



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Project #2006

3

GENERAL FLOOR PLAN NOTES

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

ELECTRICAL SCOPE NOTES

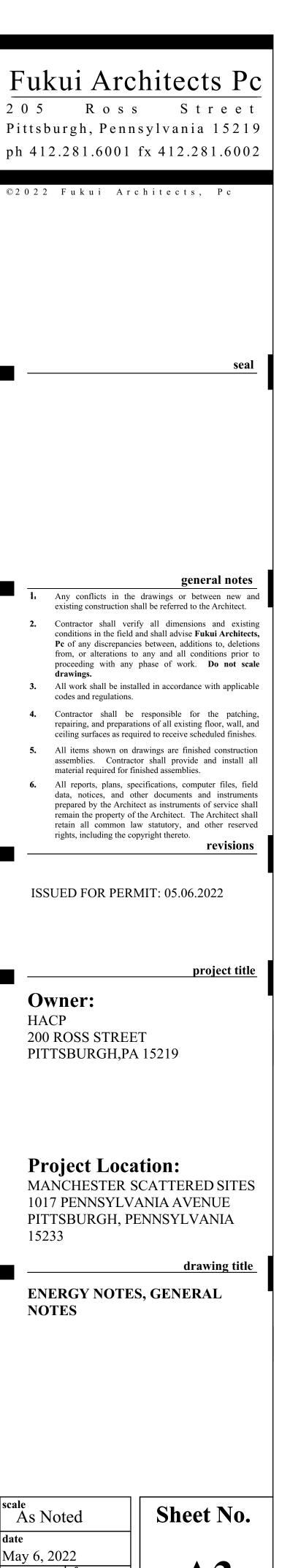
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

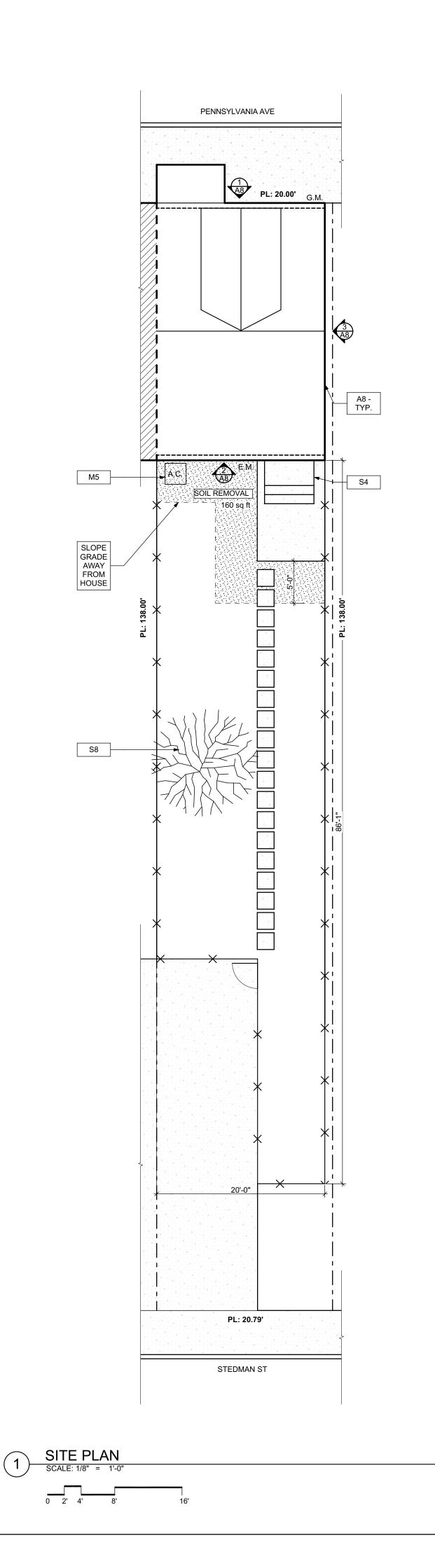
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

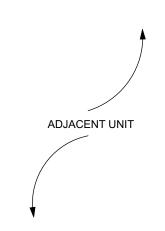
GREEN COMMUNITIES NOTES

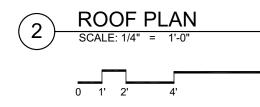
- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.



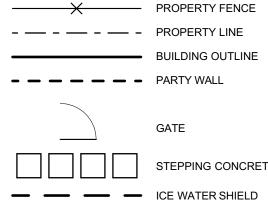
Project #2006







ROOF AND SITE PLAN LEGEND

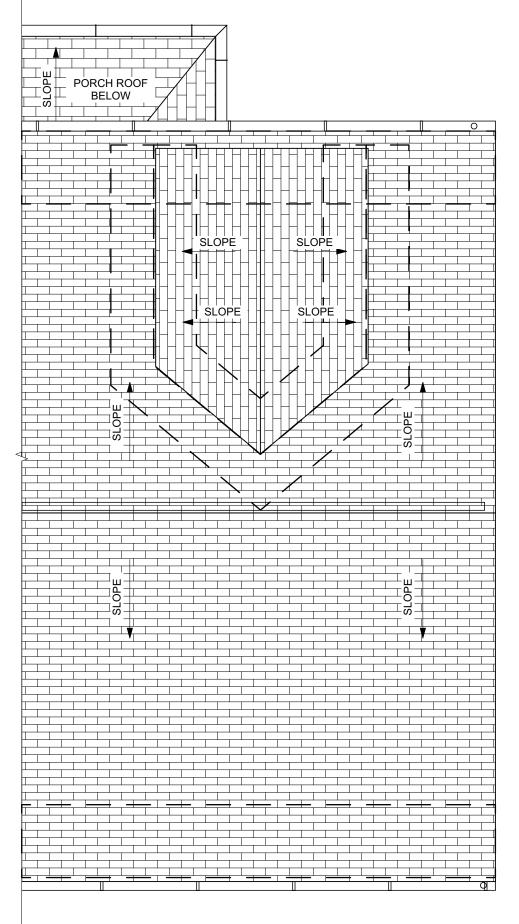


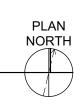
ROOF PLAN NOTES

- 1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- 2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

PLAN NORTH

T





AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE

WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP

SCOPE REDUCTION:

THE AMOUNT DUE OF ALL ITEMS REMAINING.

PROPERTY FENCE	
PROPERTY LINE	
BUILDING OUTLINE	
PARTY WALL	

GATE

STEPPING CONCRETE PADS

SITE PLAN NOTES

1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.

2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

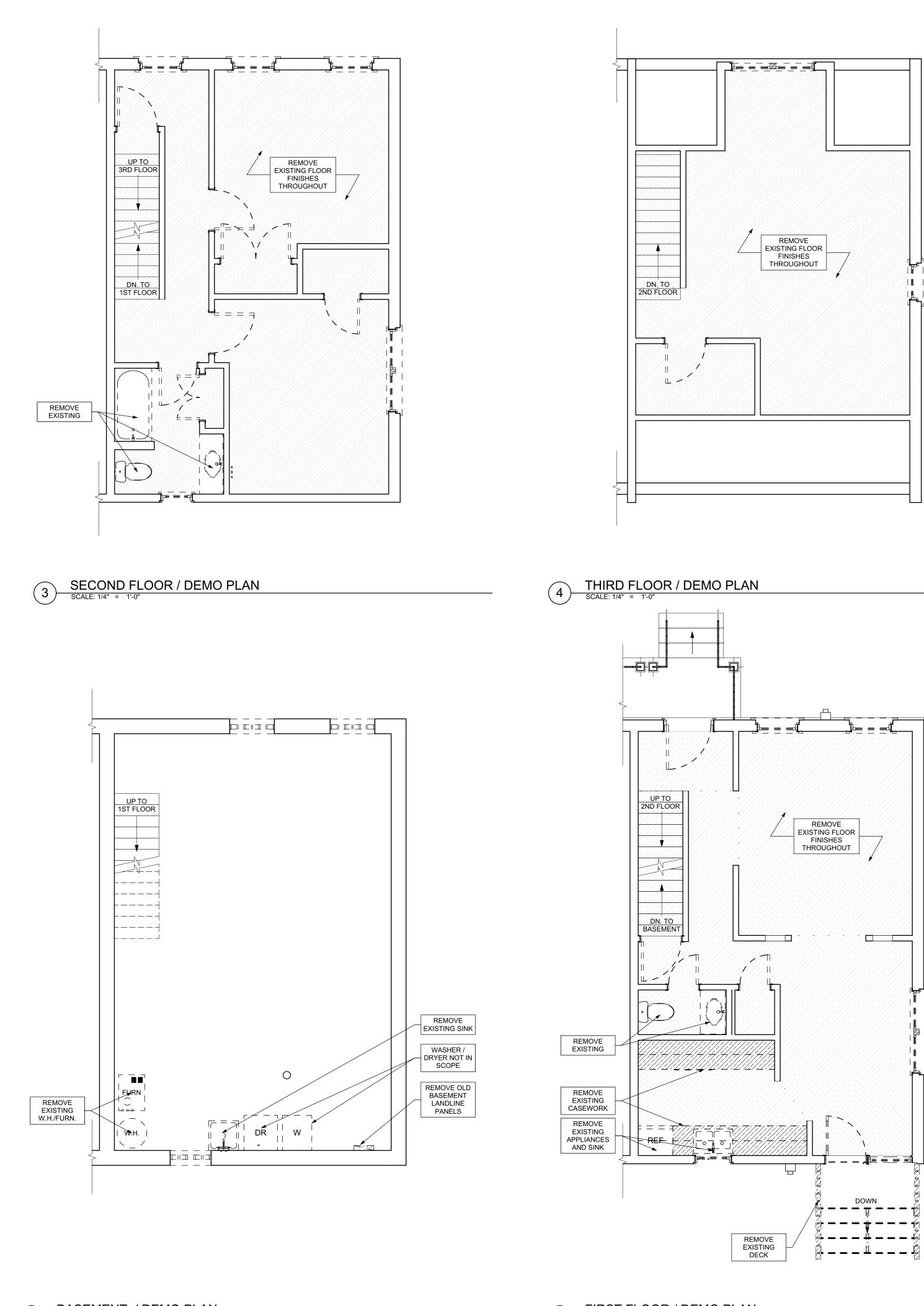
G.M. GAS METER

F.I. FRESH AIR INTAKE

E.M. ELECTIC METER

A.C. AIR CONDITIONER CONDENSOR

S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN	Fukui Architects Pc
	ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219
S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.6002
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
56	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
87	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED	
88	TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
3 9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER	
10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
511	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND	
	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
512	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'0' FROM	
	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
\$13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	general notes
ROOF	RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pa of any discremensions between additions to deletions.
	TECTURAL	Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	drawings.3. All work shall be installed in accordance with applicable
42	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	codes and regulations.4. Contractor shall be responsible for the patching,
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material arguined for finished ecompliant.
45	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.	material required for finished assemblies.6. All reports, plans, specifications, computer files, field data, patients, and other documents, and instruments.
46	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall
	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK	retain all common law statutory, and other reserved rights, including the copyright thereto.
	SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	revisions
47	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR	ISSUED FOR PERMIT: 05.06.2022
	WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS.	
48	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION	
49	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
410	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND	
	KICKBOARDS, IREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2:X2:X1' SPREAD FOOTING	200 ROSS STREET
A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING	PITTSBURGH,PA 15219
	MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY	
10	AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
¥13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE	
14	RESISTANT DRYWALL, ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF	Project Location:
A15	FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE	MANCHESTER SCATTERED SITES
-	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1017 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	SITE PLAN, ROOF PLAN, ROOF
PLUMB	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	PLAN NOTES, ROOF AND SITE
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	KEYNOTES
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	
M3	BASED ON ADJACENT DUCT OR FURNACE.	
	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE, REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		date
		May 6, 2022
		J L L Project #2006



2 FIRST FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"

12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION. DEMOLITION PLAN LEGEND

OVER TO THE OWNER.

ITEMS FROM DAMAGE.

DURING CONSTRUCTION.

GENERAL DEMOLITION NOTES

1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A

ANY NECESSARY SHUT DOWNS WITH OWNER. 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY

WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN

OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND

WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE

DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND

WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING

ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.

AT CONTRACTORS OPTION REUSE CIRCUITS WHERE

6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.

8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.

REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED

MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED

ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE

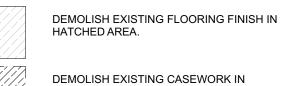
10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION

11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST

9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR

7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.

REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX.



POSSIBLE.

HATCHED AREA.

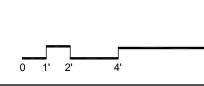
FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

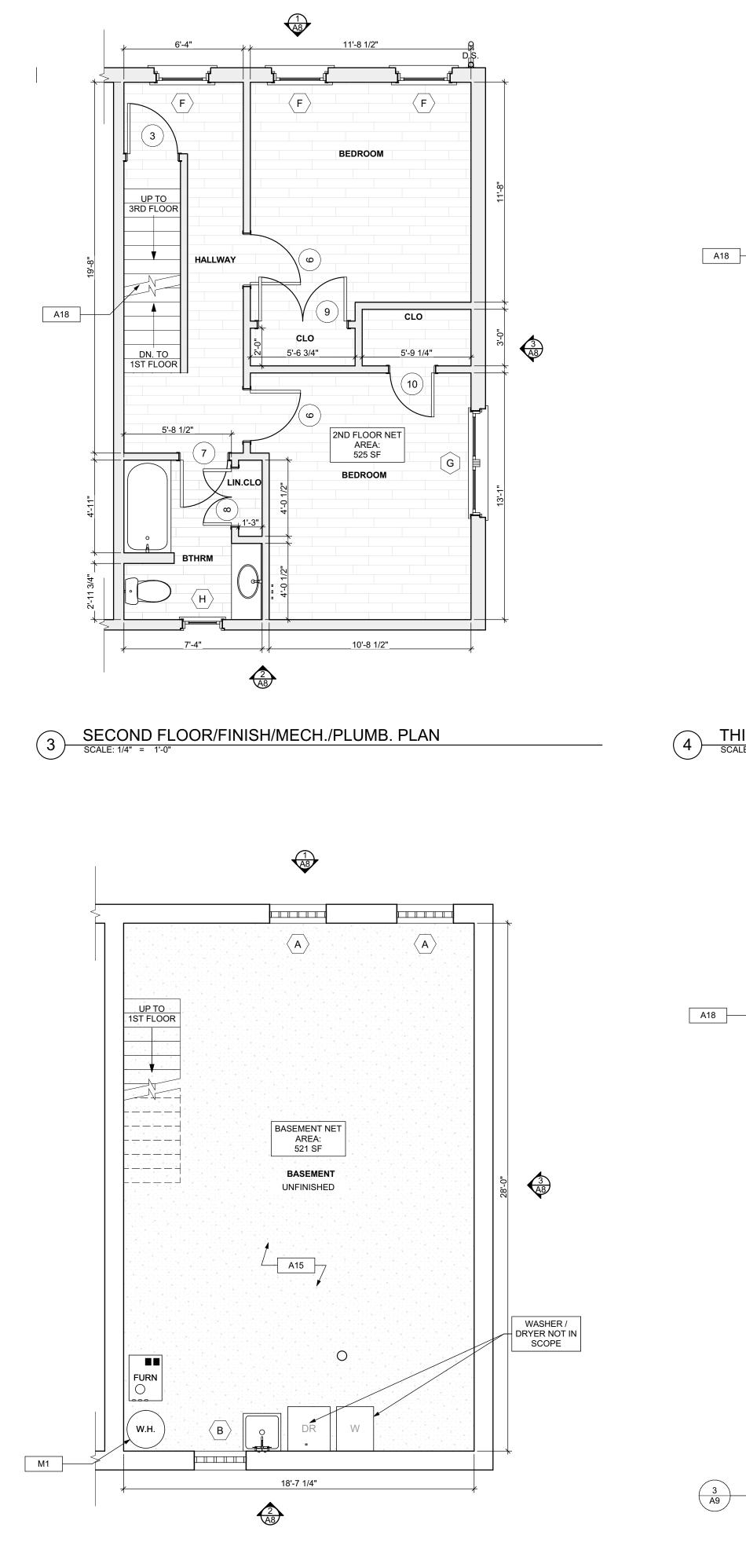
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

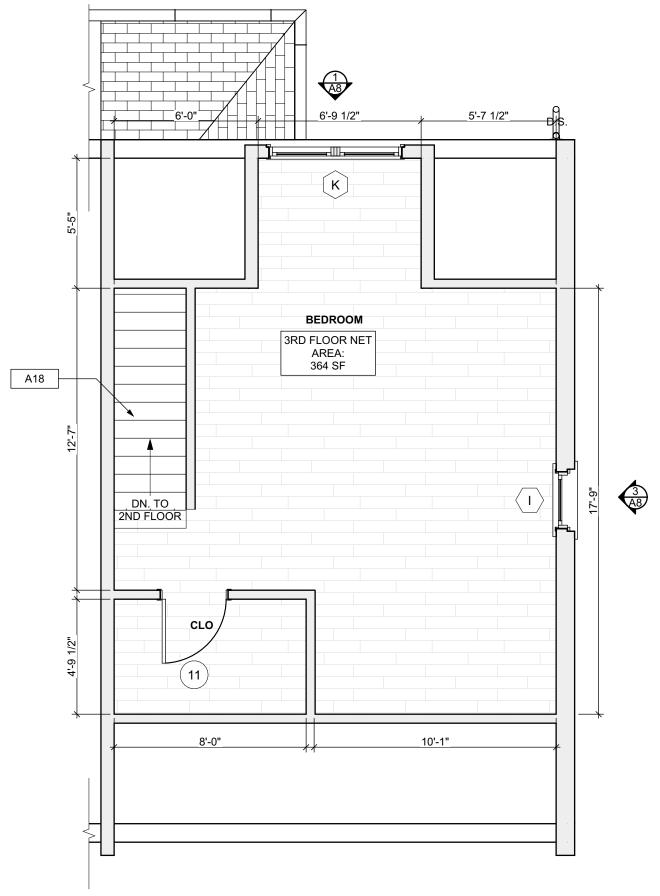




S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0".	Fukui Architects Para 2 0 5 Ross Street
52	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	Pittsburgh, Pennsylvania 15219
33	BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	ph 412.281.6001 fx 412.281.6002
_	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	©2022 Fukui Architects, Pc
64	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER	©2022 FUKUI AICHILECIS, PC
	SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND	
	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD REMOVE AND	
10	TRIM OR ORNAMENTAL WOOD, REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER DEP	
12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS, WHERE	
	ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE PADDIED DED DEDCEITIONS	general notes
ROOF	RESISTIVE BARRIER PER SPECIFICATIONS.	 Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects Pc of any discrepancies between, additions to, deletion
	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scal drawings.
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	3. All work shall be installed in accordance with applicable codes and regulations.
3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, and coiling surfaces as required to reactive ashed whet finishes
4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	 ceiling surfaces as required to receive scheduled finishes. 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
.5	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install al material required for finished assemblies.6. All reports, plans, specifications, computer files, field
<u> </u>	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shal
\6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS, DEMEDIATE LEAK	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
	AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	revisions
.7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR	ISSUED FOR PERMIT: 05.06.2022
8	WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN	
.8	SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
.10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	Owner:
.11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE	НАСР
	FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X1 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR	
	MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LIABES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER	
14	RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE	Project Location:
	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	MANCHESTER SCATTERED SITES
15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1017 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT / DEMO PLAN,
	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN,
2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	THIRD FLOOR / DEMO PLAN,
	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND,
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	GRAPHIC SCALES, SMALL UNIT KEYNOTES
2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	NETIVIES
13	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE	
4	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		date SIICCU IV.
		May 6, 2022
		6 12

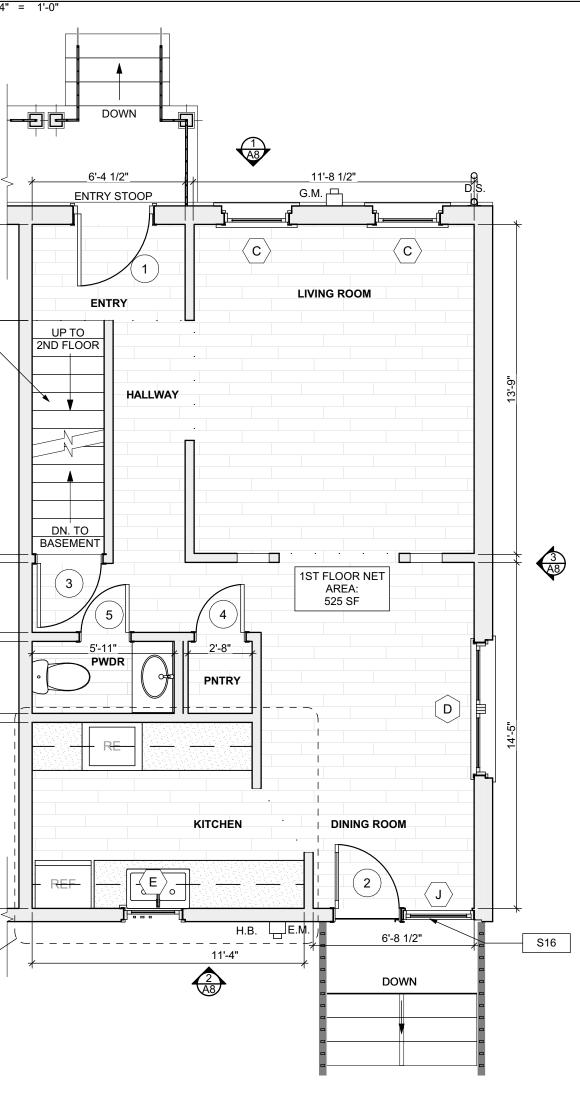


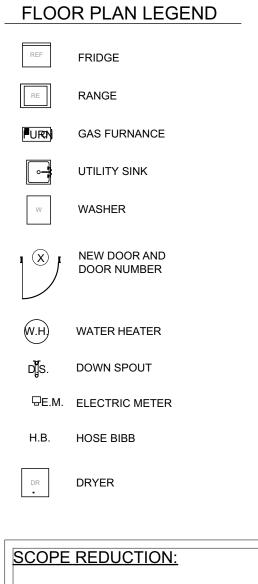




(3) (A9)

4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"





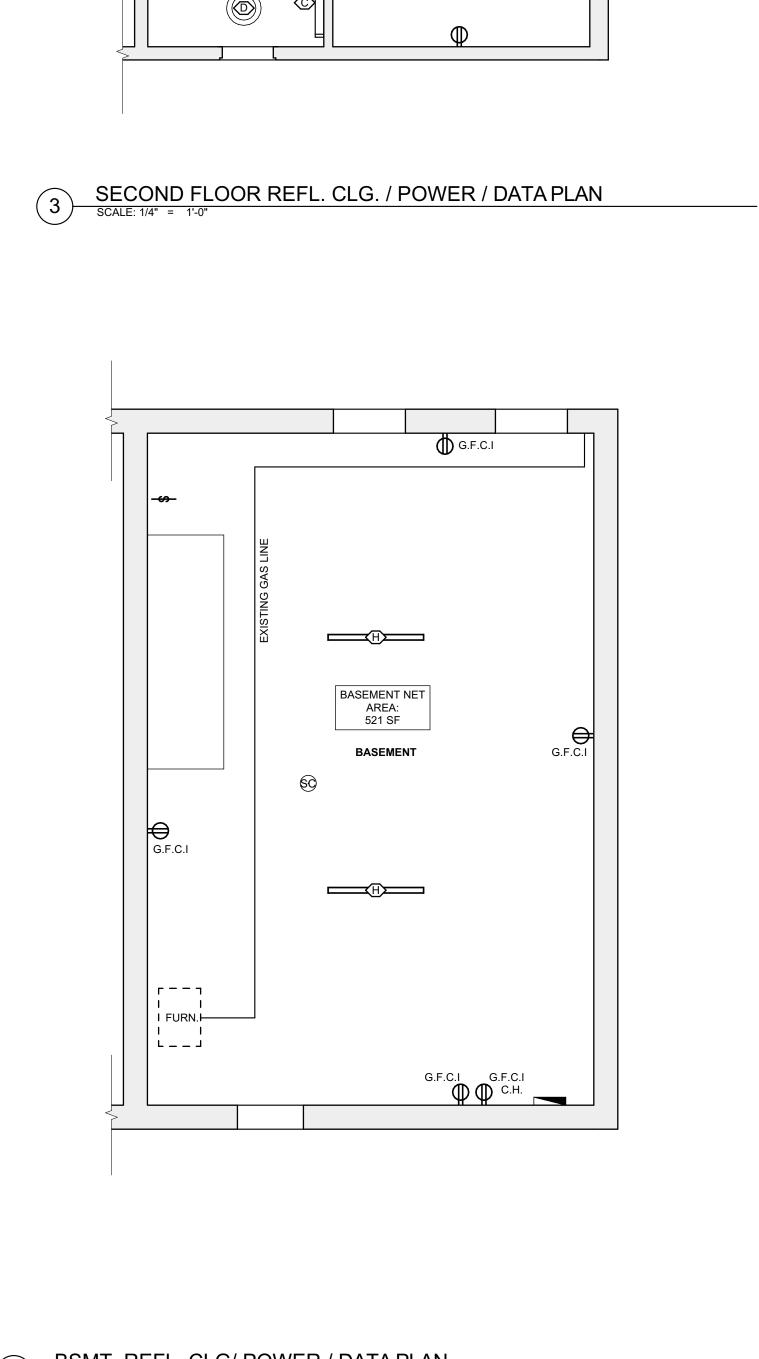
0 1' 2' 4'

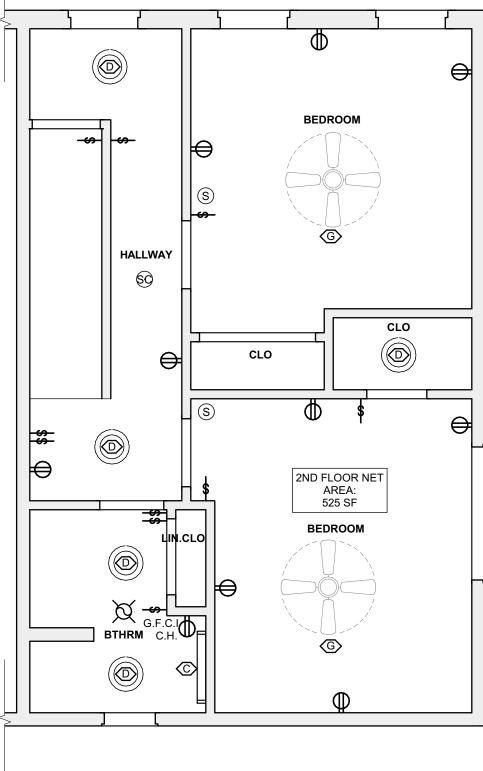
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

PLAN NORTH

SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN	Fukui Architects Pc
	ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO	*
S4	MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER	©2022 Fukui Architects, Pc
	SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOUL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS, CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK, BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND	
S7	REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER. REPAIR EXISTING DAMAGED EXTERIOR STEP.	
S8	POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	seal
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER	
S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
	DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0° MIN.	
S13	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE	general notes
ROOF	AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between additions to deletions
		Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	drawings.3. All work shall be installed in accordance with applicable codes and regulations.
A2 A3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	ceiling surfaces as required to receive scheduled finishes.5. All items shown on drawings are finished construction
A5	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install all material required for finished assemblies.6. All reports, plans, specifications, computer files, field
<u> </u>	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
	SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS.	project title
	KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO	200 ROSS STREET PITTSBURGH,PA 15219
A12	AND APPLICABLE CONNECTION FLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR	11110DOROII,1A 13217
	MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES ALL WELL OCATIONS TO DECEIVE WATER	
A14	HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE	Project Location:
	SUBFLOORING, WALL, OR CELLING, REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE	MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1017 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW FREADS AND RISERS AT EXISTING STAIR.	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS. BING - REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT /FINISH/MECH./PLUMB. PLAN,
PLUIVII	DING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FIRST FLOOR
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	/FINISH/MECH./PLUMB. PLAN, SECOND
MECH	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	FLOOR/FINISH/MECH./PLUMB.
M2 M3	BASED ON ADJACENT DUCT OR FURNACE.	PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT
MA	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	KEYNOTES
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale Shoot No
		As Noted Sheet No.
		May 6, 2022
		no. of. A6
		7 12

M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK RECONNECT TO GRILLE OR FURNACE

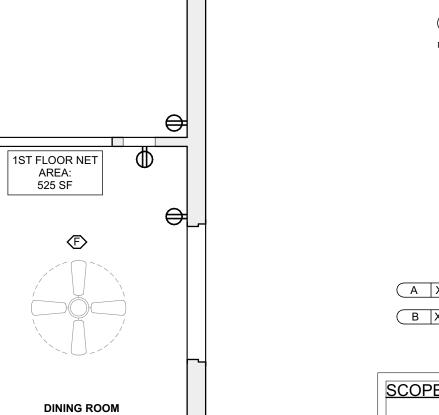




1 BSMT. REFL. CLG/ POWER / DATA PLAN SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN SCALE: 1/4" = 1'-0"



 \ominus

SC SMOKE/ CARBON MONOXIDECOMBO DETECTOR ELECTRICAL METER

- THERMOSTAT
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

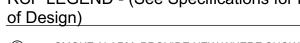
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ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

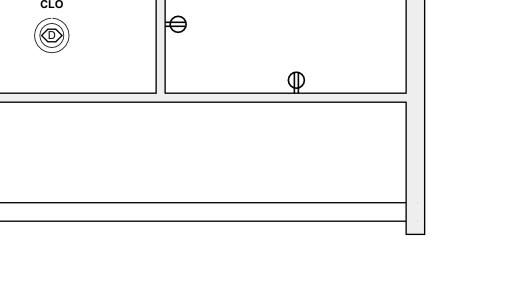
> PLAN NORTH











<u>ب</u> ۲

LIVING ROOM

THIRD FLOOR REFL. CLG./ POWER / DATA PLAN

(4)

SCALE: 1/4" = 1'-0"

ENTRY

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PWDR

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G.F.C.I C.H.

HALLWAY

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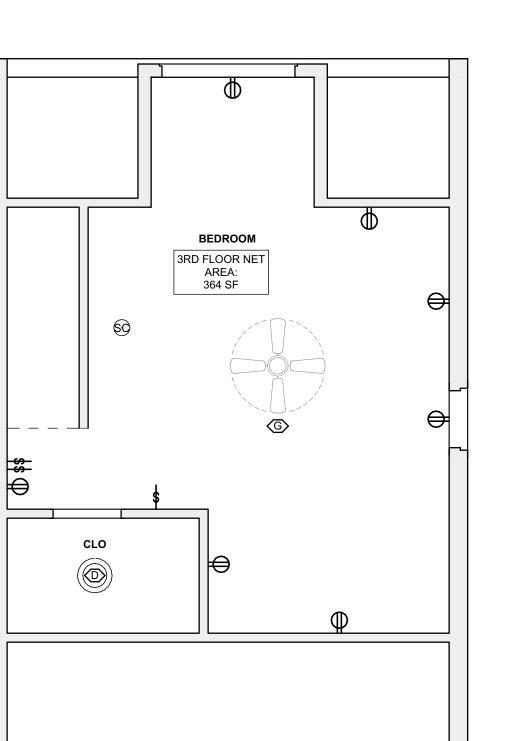
G.F.C.I C.H.

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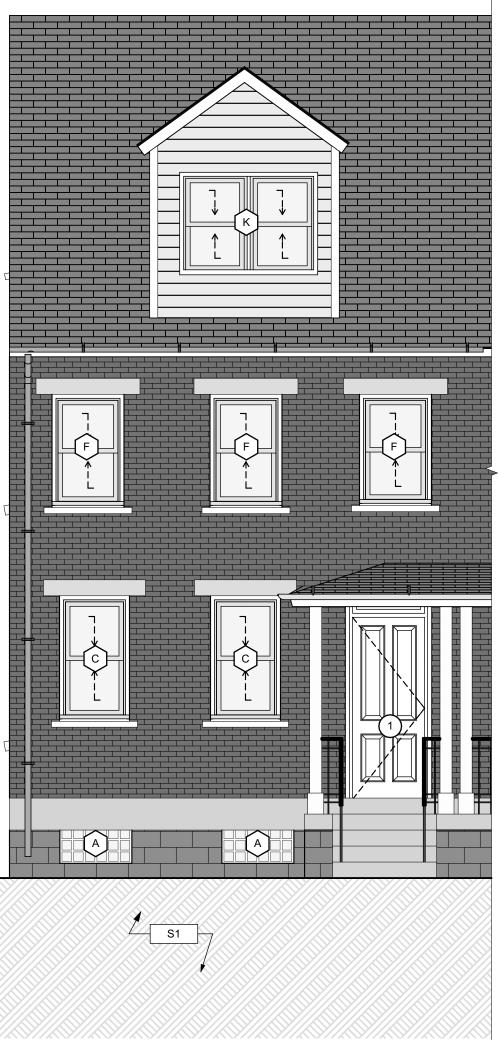
KITCHEN

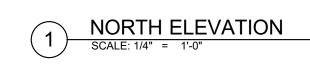


LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE MANUFACTURER OR EQUIVALENT		MODEL NUMBER	QUANTITY
\bigcirc	A	Exterior Surface Mounted KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide		Item # 11132AZTLED	1
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
\bigcirc	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	9
D	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	3
	Н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

SITE			• •	
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0".	$\frac{\mathrm{Fu}}{2 0 5}$	kui Arc	s street
S2	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC.			sylvania 15219
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 41	2.281.6001	fx 412.281.6002
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	© 2 0 2 2	E Fukui Ar	chitects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION			
	JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.			
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER			
	SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE			
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND			
	REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.			
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	—		seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	_		
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.			
	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.			
<u>S11</u>	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.			
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A			
S13	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY			
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE			-
	RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1.		general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, ELASSING VENTS, CPICKETS, ETC, DEFER TO	2.	Contractor shall ver	hall be referred to the Architect. ify all dimensions and existing
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.		Pc of any discrepanci	and shall advise Fukui Architects , es between, additions to, deletions o any and all conditions prior to
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL SPOT SAW CUT DAMAGED BRICK		proceeding with any drawings.	phase of work. Do not scale
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	3.	codes and regulations.	alled in accordance with applicable
A3	FROM FACE OF CMU WALL, PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	4.	repairing, and preparat	responsible for the patching, tions of all existing floor, wall, and aired to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	5.	All items shown on a	lrawings are finished construction tor shall provide and install all
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	6.	material required for fi	
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.		data, notices, and o prepared by the Archi	ther documents and instruments tect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED, REPLACE ANY FLASHING OR HEADERS			the Architect. The Architect shall aw statutory, and other reserved opyright thereto.
	AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER			revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR	100		MIT: 05.06.2022
	WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	15.	SUED FOR FER.	WITT: 03.00.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.			
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	—		project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND			project due
	TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	U НА	wner:	
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND A DDU LOADL CONVECTION ID ATEC DEFEED TO	200) ROSS STREE	
A12	AND APPLICABLE CONNECTION PLATES, REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN	PII	TSBURGH,PA	A 13219
	WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.			
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE			
A14	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF		oject Loca	
A15	FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR			SCATTERED SITES ANIA AVENUE
	WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	PIT	TSBURGH, P	ENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	152	233	
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. DECEP TO SPECIEVATIONS COP DETAILS.			drawing title
	REFER TO SPECIFICATIONS FOR DETAILS. NG - REF. ONLY. REFER TO PLUMB. DWG'S.		MT. REFL. C TA PLAN, FI	LG/ POWER / RST FLOOR
	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	RE	FL. CLG. / PC	OWER / DATA
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY INSULTATE ALL EXTERIOR		-	FLOOR REFL. / DATA PLAN,
MEOU	REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	TH	IRD FLOOR	REFL. CLG./
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.			PLAN, SMALL ES, RCP LEGEND,
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	LI	GHTING SCH	EDULE
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO			
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE			
	WITH CORRECT SIZING AS NECESSARY.	scale As N	Noted	Sheet No.
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				Project #2006



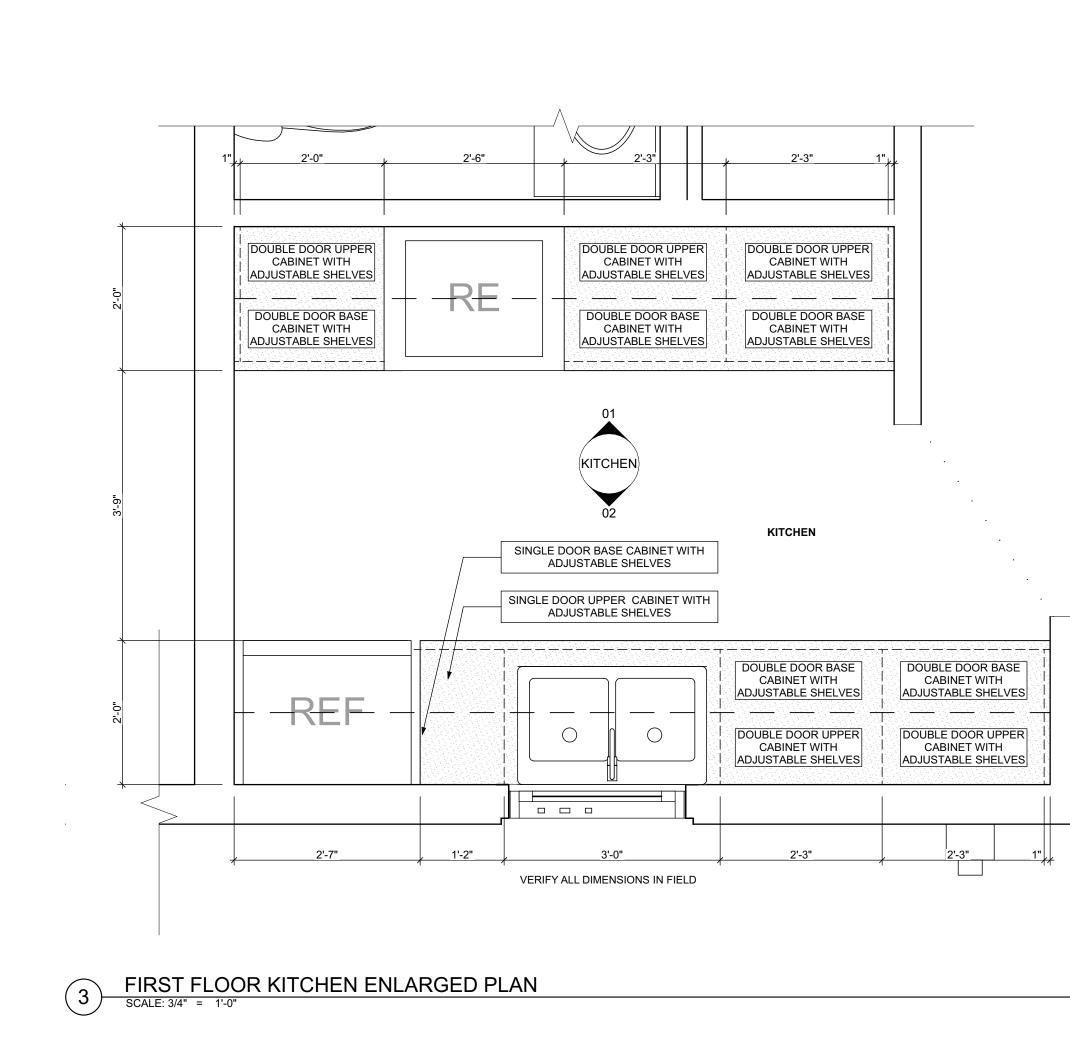




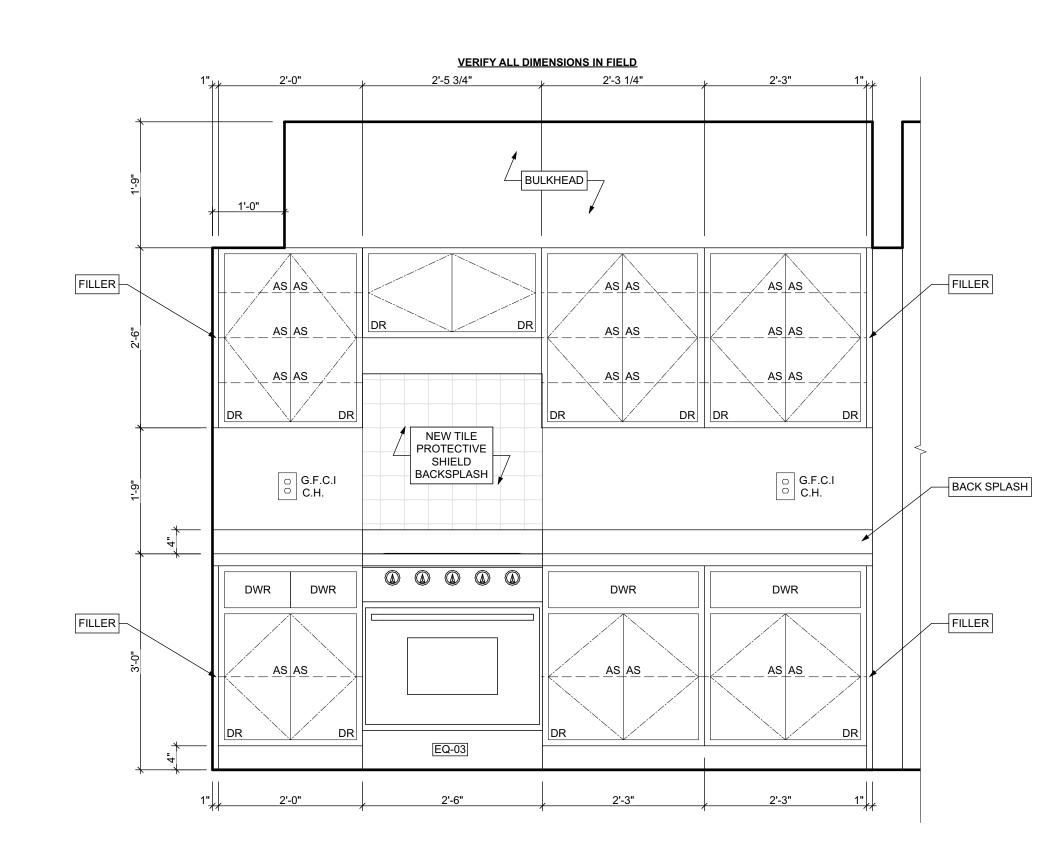


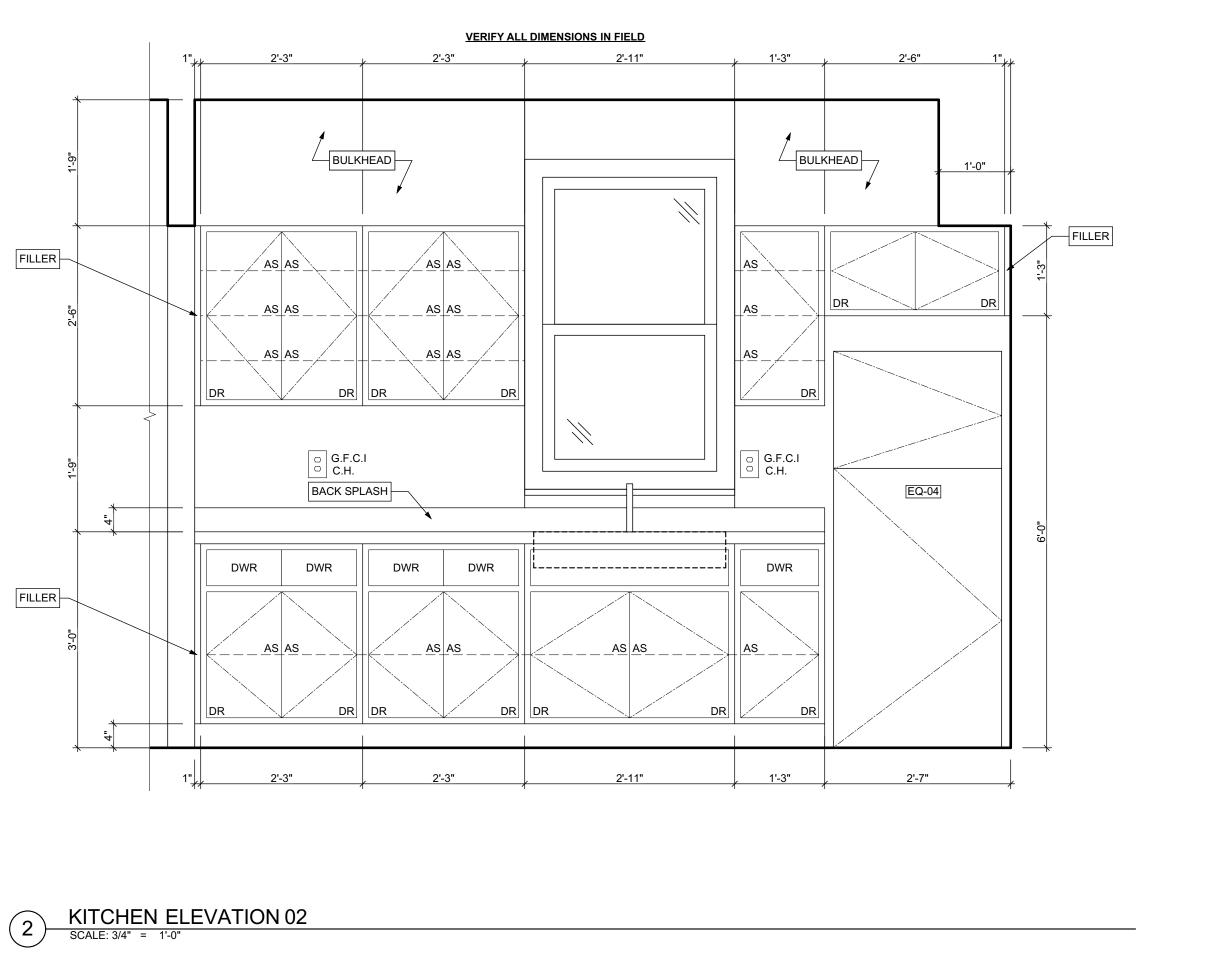
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S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIECATIONS	Fukui Architects Pc 205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219
S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	ph 412.281.6001 fx 412.281.6002
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	©2022 Fukul Architects, Fc
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY VITO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	GROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	existing construction shall be referred to the Architect.Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects,
ARCHI	TECTURAL	Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	drawings.3. All work shall be installed in accordance with applicable codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	codes and regulations.4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as required to receive scheduled finishes.All items shown on drawings are finished construction
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install all material required for finished assemblies.
A5 A6	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall
	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CELINIG OF TUBS AND SHOWERS PER SPECIFICATIONS.	retain all common law statutory, and other reserved rights, including the copyright thereto.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	• Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
A13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	Project Location:
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	MANCHESTER SCATTERED SITES 1017 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SPECIFICATIONS, SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	NORTH ELEVATION, SOUTH
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	KEYNOTES
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE	
M4	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	r r
	WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022 no. of. A8
		9 12
		Project #2006



KITCHEN ELEVATION 01 SCALE: 3/4" = 1'-0"





BATHROOM ACCESSORY SCHEDULE

ITEM QUANTITY		MANUFACTURER	DIMENSIONING NOTES
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	AEDICINE CABINET 0 Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING 2 MOEN Contemporary Towel Ring in Chrome			Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER 2 MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

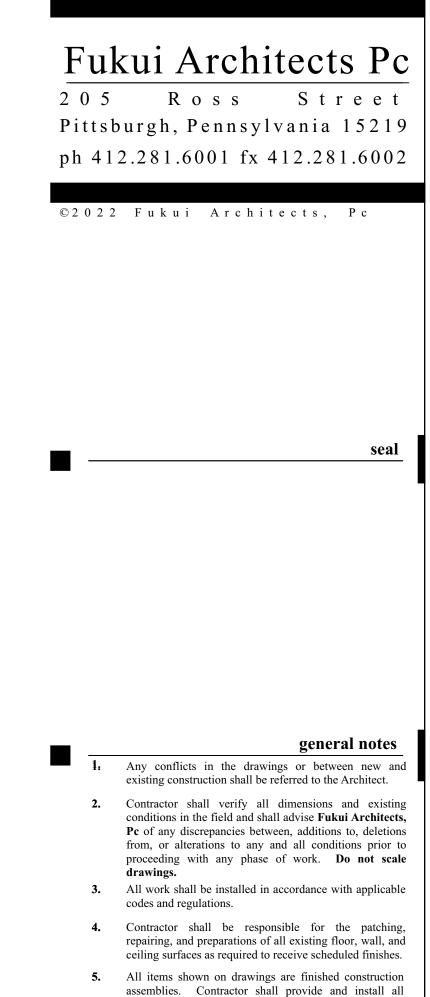
MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register: Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA
			PLUM	BING SCHE	DULE
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub
BATHTUB / SHOWEF FAUCETS	۲ <u>-</u>	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or seperate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 ¹ / ₈ " 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

	1	I.		BING SCHE	DOLL
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Sta Kitchen Sink with Botton
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount St Single Bowl Kitchen Sir
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau wit
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D E White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Sta Single Bowl Kitchen Sinl
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Sta Single Bowl Kitchen Sinl
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongate toilet. 12" rough-in size (
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions brushed nickel and corne
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L rectangular righ drain alo
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle H Shower with Single Func Chrome 1-Handle Water Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fittin fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Lau
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double La
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Fa
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 2 Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Fa
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single Bathroom Faucet in Pol
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pu MasterClean Spray Fac

SPECIFICATION



material required for finished assemblies. 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved

revisions

ISSUED FOR PERMIT: 05.06.2022

rights, including the copyright thereto.

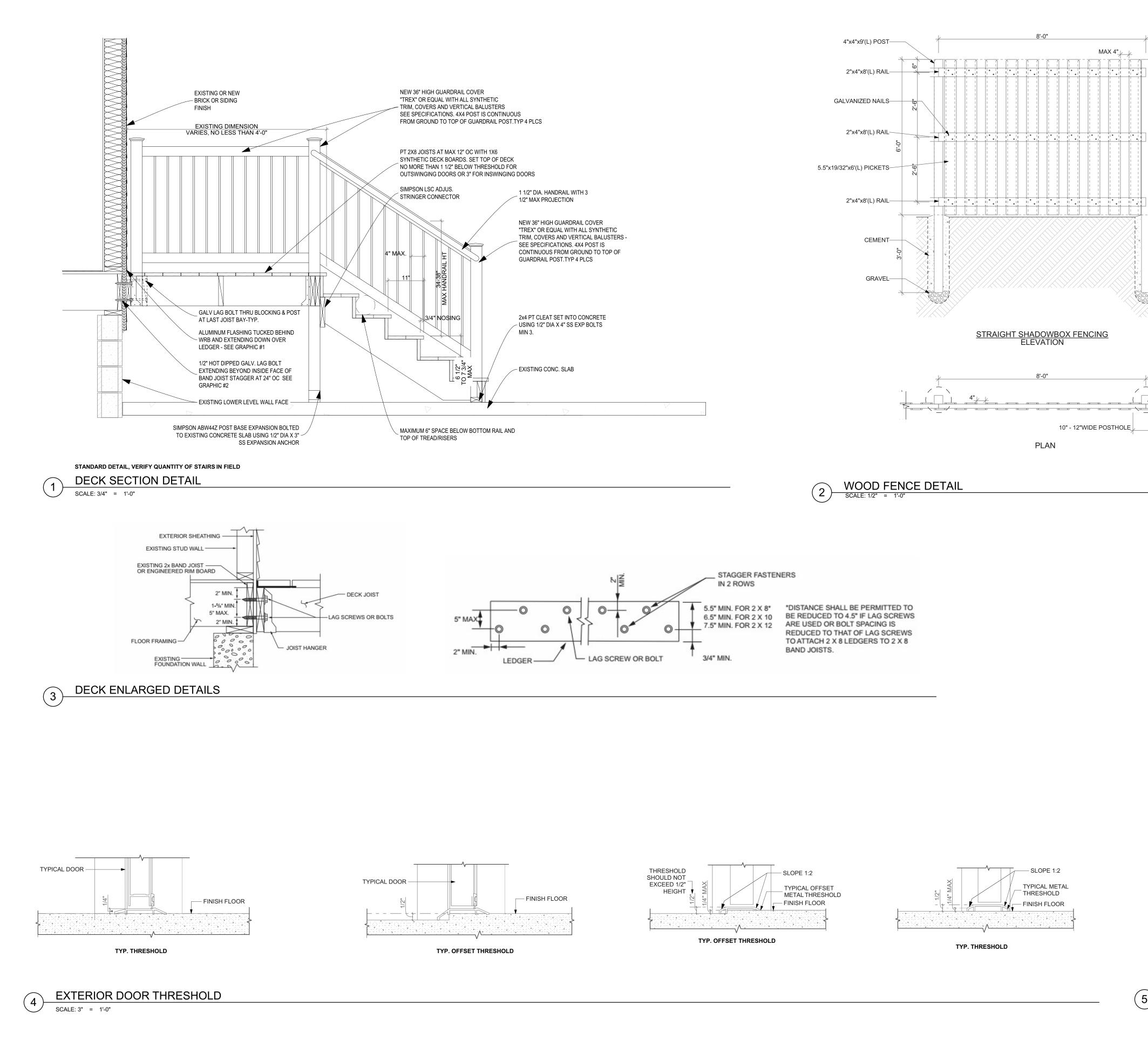
project title

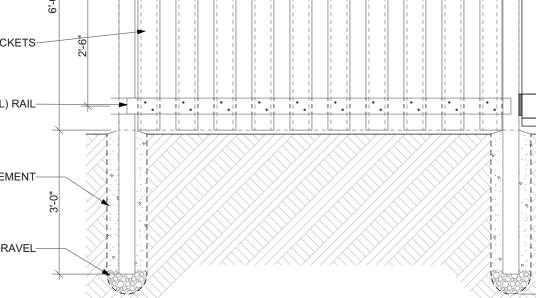
200 ROSS STREET PITTSBURGH,PA 15219 **Project Location:** MANCHESTER SCATTERED SITES 1017 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233 drawing title **KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, FIRST** FLOOR KITCHEN ENLARGED PLAN scale **Sheet No.** As Noted date May 6, 2022 **A9** no. 10 12 Project #2006

GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY " AND MAY BE SUBSTITUTED WITH EQUIVALENT

Owner:

HACP



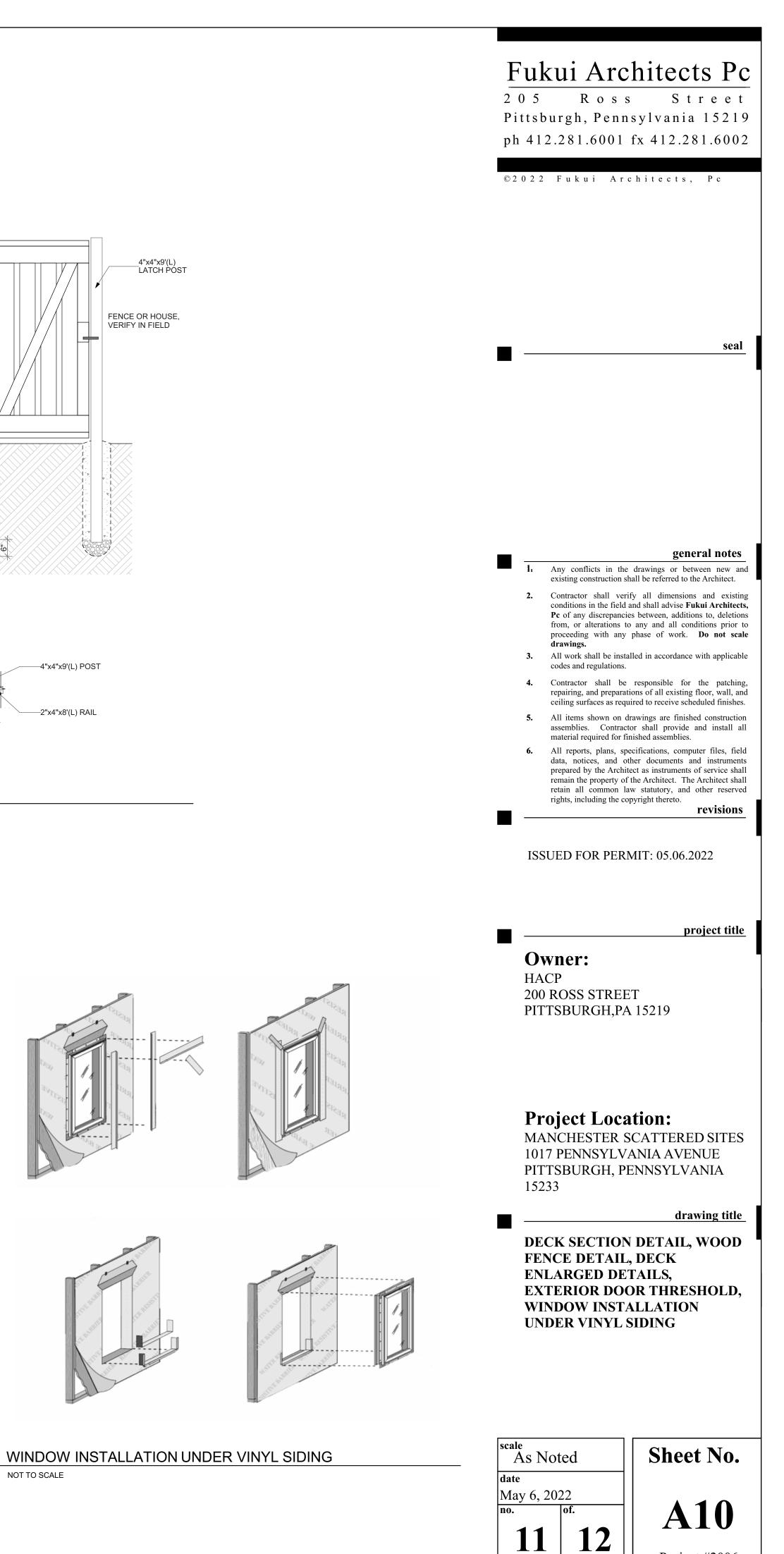




MAX 4"_____

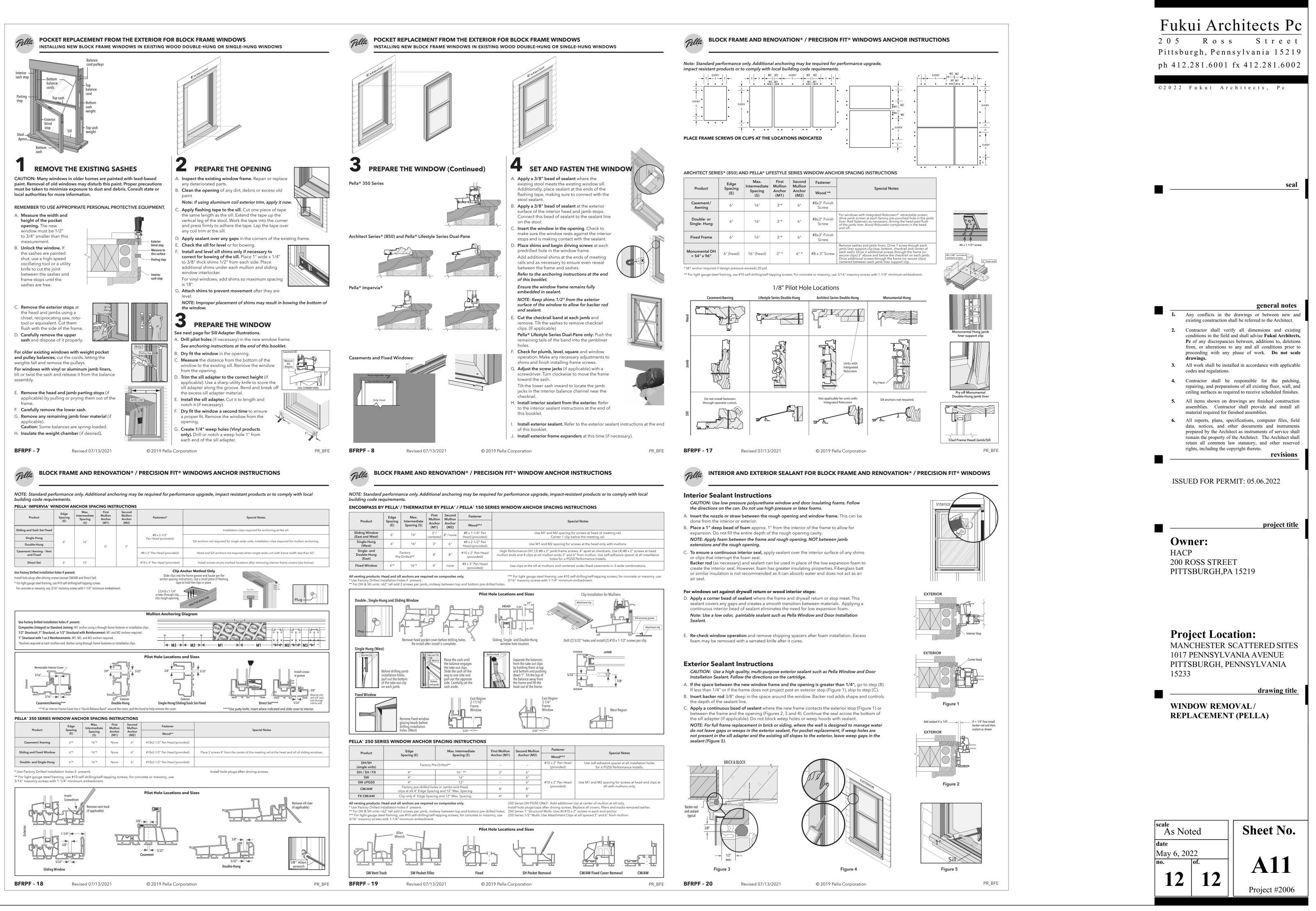


NOT TO SCALE



11

Project #2006



PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

As the **DESIGN ARCHITECT**, I certify that:

Development Amenities

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. (schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallwavs. 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	 The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item. Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion. <u>New Construction</u>: For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) 	X The Fair Housing Act of 1988 & Fair Housing Desig X ANSI A117.1-2009 (or edition currently adopted by X Pennsylvania Uniform Construction Code X Uniform Federal Accessibility Standards (UFAS) X Section 504 of the Rehabilitation Act of 1973 X 2010 ADA Standards for Accessible Design X Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.) NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	 For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) Preservation (Moderate Rehab) *: For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) * Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation. 	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	 NOTE: Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. 	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completio All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- __X___ When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)	205 Ross Stree Pittsburgh, Pennsylvania 1521
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms: *High rise developments and senior housing cannot qualify for this category.	ph 412.281.6001 fx 412.281.600
71 Total units >15 - 20% of all units 43 Total number of affordable 3 or more- bedroom units >20 - 25% of all units	©2022 Fukui Architects, Pc
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 212	
	1. Any conflicts in the drawings or between new
YAR_08_02 CERTIFICATION OF SELECTION CRITERIA 212 SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) PESIGN ARCHITECT, I certify that for preservation developments:	<text><list-item></list-item></text>
SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design ARCHITECT, I certify that for preservation developments:	 Any conflicts in the drawings or between new existing construction shall be referred to the Architect. Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prio proceeding with any phase of work. Do not s drawings. All work shall be installed in accordance with applicate codes and regulations. Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies. All reports, plans, specifications, computer files, fi data, notices, and other documents and instrume prepared by the Architect as instruments of service si retain all common law statutory, and other reserving its, including the copyright thereto.
YUVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) PESIGN ARCHITECT, I certify that for preservation developments: × The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments Servation developments are not required to follow the mandatory 2020 Enterprise Green numunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended: Servation developments are not required to follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new apdilances) Hardhing (Applicable only to new ighting fixtures) Sizing of Heating and Cooling Equipment (Applicable to new addition foundations) Managing Moisture: Foundations (Applicable only to new mandation (applicable only to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only) Integrise and Pesi Management (Applicable	 Any conflicts in the drawings or between new existing construction shall be referred to the Architect Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prior proceeding with any phase of work. Do not s drawings. All work shall be installed in accordance with applict codes and regulations. Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies. All reports, plans, specifications, computer files, f data, notices, and other documents and instrume prepared by the Architect as instruments of service s retain all common law statutory, and other reserrights, including the copyright thereto.

Project Location:

MANCHESTER SCATTERED SITES 1019 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

SELECTION CRITERIA, THRESHOLD CRITERIA, **TABULAR SCHEDULE**

TABULAR AREA UNIT SCHEDULE					
UNIT #	GROSS AREA (SF)	NET AREA (SF)			
SFR	2,228	1,983			

scale As Noted	Sheet No.
date May 6, 2022	
no. of.	
1 12	Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1019 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 **3 BEDROOM UNIT**

Drawing Index

A0 PHFA DOCUMENTS

SELECTION CRITERIA

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	TABULAR SCHEDULE
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	MANCHESTER SCATTERED SITES MAP
	CODE AND CONTACT INFO
2 ABBREVIA	FIONS AND MATERIALS
	ABBREVIATIONS AND MATERIALS
	SIDING WALL SECTION
	BRICK WALL SECTION
	INTERIOR STAIR DETAIL
	DOOR SCHEDULE (WITH EXISTING)
	WINDOW SCHEDULE
	DOOR TYPES FINISH SCHEDULE
3 SCOPE/GEN	VERAL/ GREEN COMMUNITY NOTES
S SCOT L/GL	GENERAL NOTES
	ENERGY NOTES
4 SITE PLAN	AND ROOF PLAN
	ROOF PLAN
	SITE PLAN
	ROOF PLAN NOTES
	ROOF AND SITE PLAN LEGEND
	GRAPHIC SCALES
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5 FLOOR / DF	
	GRAPHIC SCALES
	THIRD FLOOR / DEMO PLAN
	SECOND FLOOR / DEMO PLAN
	BASEMENT / DEMO PLAN
	FIRST FLOOR / DEMO PLAN
	DEMOLITION PLAN LEGEND
	GENERAL DEMOLITION NOTES
CELOOD/EIN	SMALL UNIT KEYNOTES ISH/MECH./PLUMB. PLAN
O FLOOR/FIN	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
	BASEMENT/FINISH/MECH./PLUMB. PLAN
	GRAPHIC SCALES
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
	FLOOR PLAN LEGEND
	SMALL UNIT KEYNOTES
7 REFLECTE	D CEILING / POWER / DATA PLANS
	LIGHTING SCHEDULE
	BASEMENT. REFL. CLG./POWER/DATA PLAN
	FIRST FLOOR REFL. CLG./POWER/DATA PLAN
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	NORTH ELEVATION
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	KITCHEN ELEVATION 01
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A10 DETAILS	DECK ENLARGED DETAILS
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A10 DETAILS	

Code Conformance Information

Applicable Codes	
General:	2015 Int
	2015 In
Accessibility:	2009 IC
Energy:	2015 Int
Electrical:	2014 NI
Fire:	2015 Int
Fuel Gas:	2015 Int
Mechanical:	2015 Int
Plumbing:	2017 Al
Fire Alarm:	2013 NI
Sprinkler:	2013 NI
General Building / Project Information	
Classification of Work:	Level-2

General Building Classification of Work Occupancy Group: Stories Gross Area: Construction Type: Sprinklers: Smoke detector:

"R-2" 1,983 sqft None

Contact Schedule

Note: Any questions concerning the Co forward questions as appropriate to the	onstruction Documents shall first be direc consulting engineers.	ted to the Architect. The Architect will
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh	Fukui Architects, PC 205 Ross Street	City of Pittsburgh Department of permits,
ph: 412.715.7501 mackenzie.pleskovic@hacp.org	Pittsburgh, PA 15219 ph: 412.281.6001	Licenses and Inspections 200 Ross Street
contact: Mackenzie Pleskovic	fx: 412.281.6002 Fgf@farpc.com	3rd floor, room 320 Pittsburgh, PA 15205

General Description of Work

- Notes on Sheet A-3. For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under
- Architectural Scope Notes. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- offs.

nternational Building Code International Building Code CC/ANSI A117.1 nternational Energy Conservation Code NEC (NFPA 70) International Fire Code nternational Fuel Gas Code nternational Mechanical Code Allegheny County Health department Plumbing Code FPA 72 NFPA 13

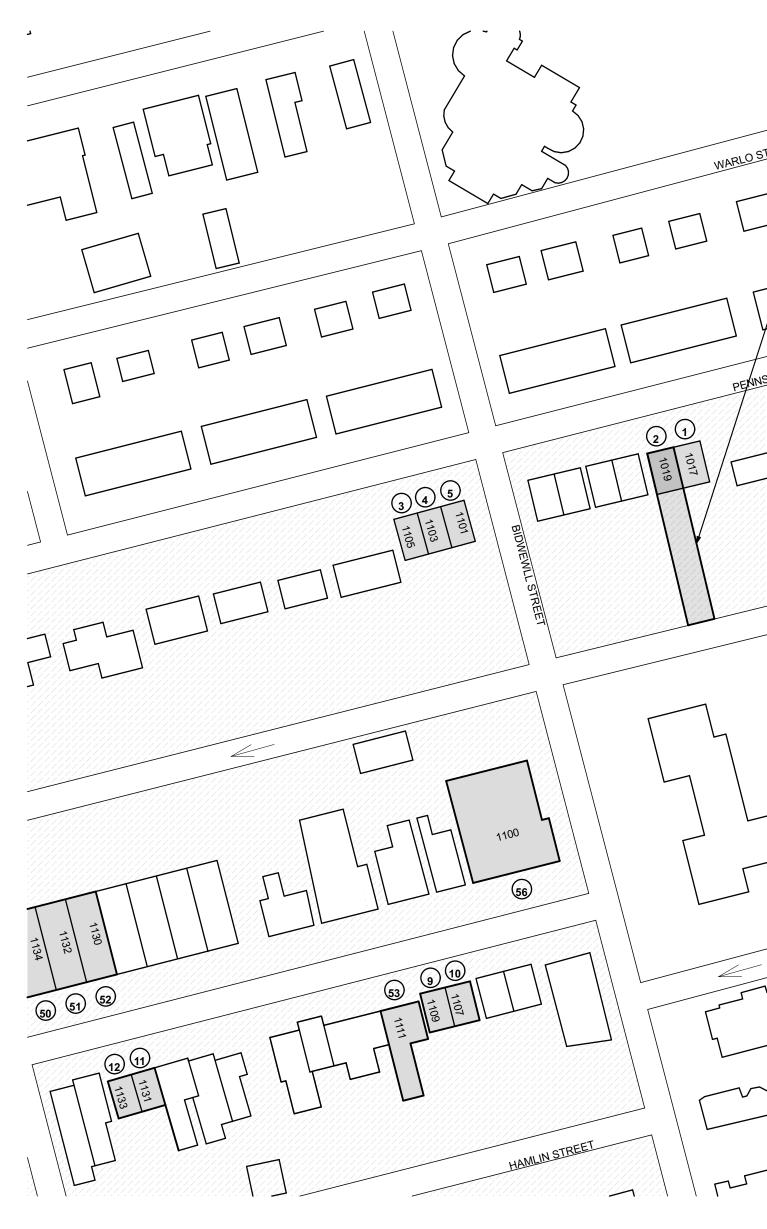
Level-2 alteration per the IEBC 3 story with basement

contact: Felix G. Fukui, AIA

Plan Review & Inspection City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

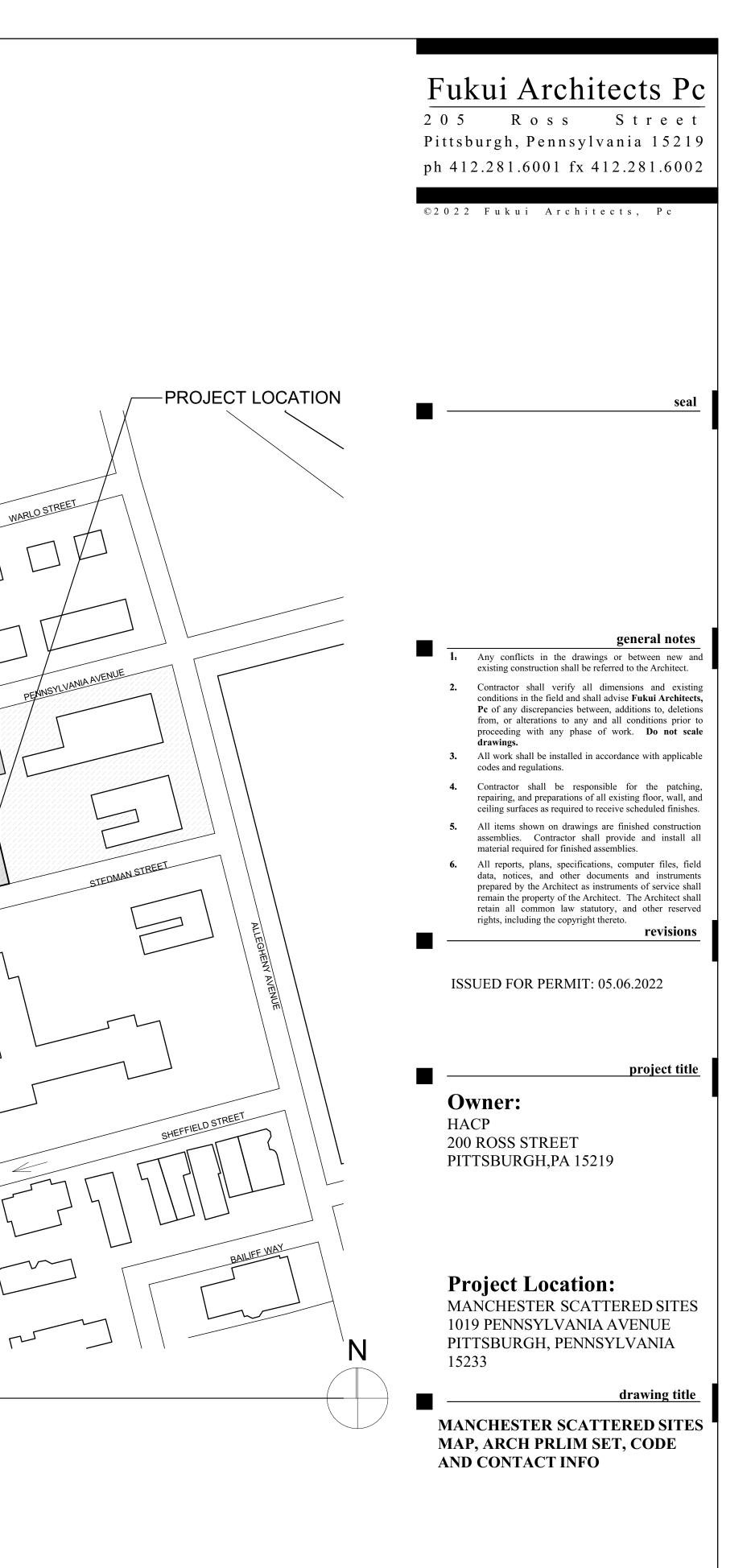
. It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-

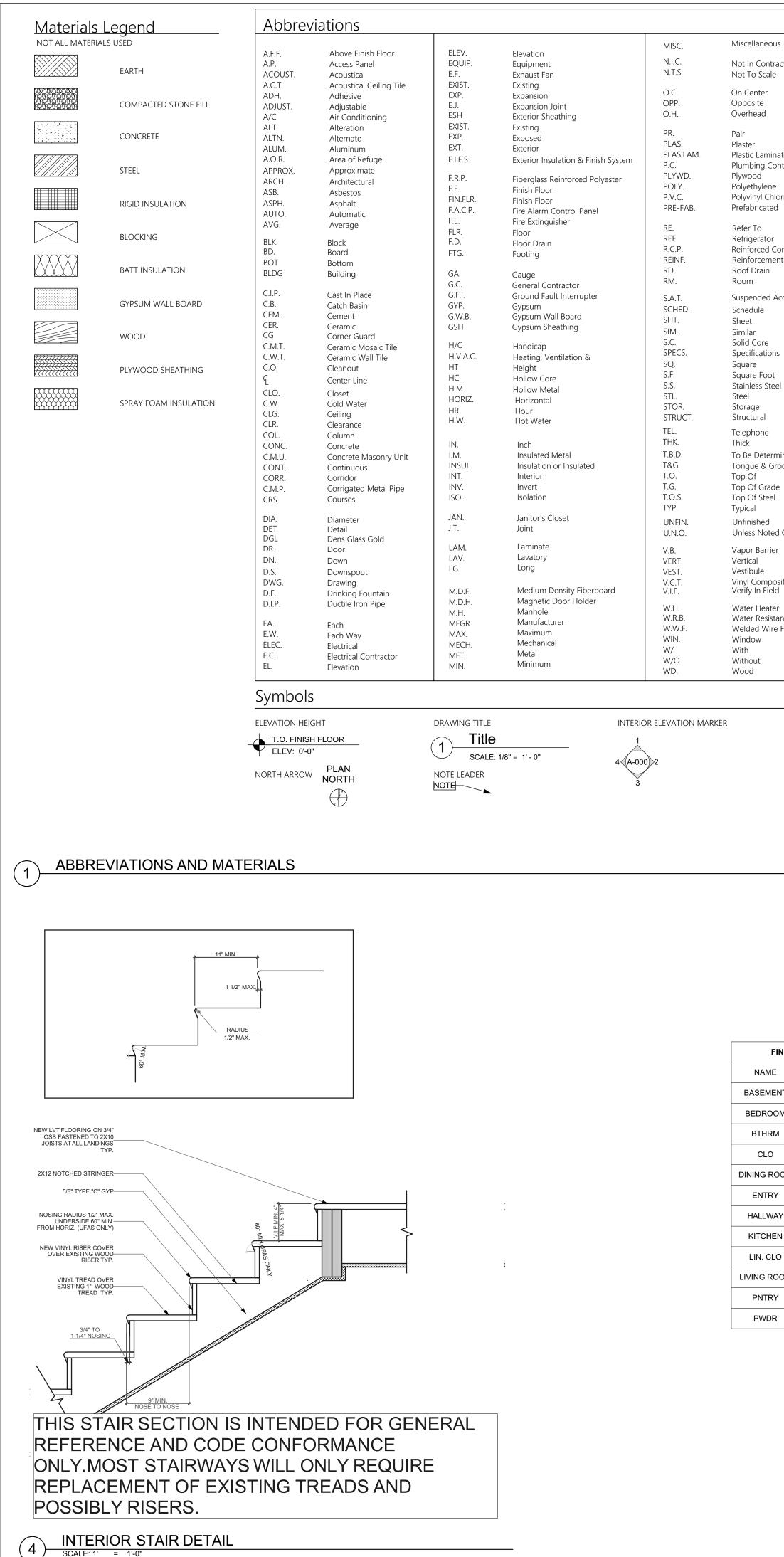


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MANCHESTER SCATTERED SITES MAP NOT TO SCALE



scale As Not	ed	Sheet No.
date May 6, 202	22	
no. 7	of. 17	A1
		Project #2006



Not In Contract Not To Scale

Plastic Laminate **Plumbing Contractor** Polyethylene Polyvinyl Chloride Prefabricated

Refrigerator Reinforced Concrete Pipe Reinforcement

Suspended Acoustical Ti

Square Foot Stainless Steel

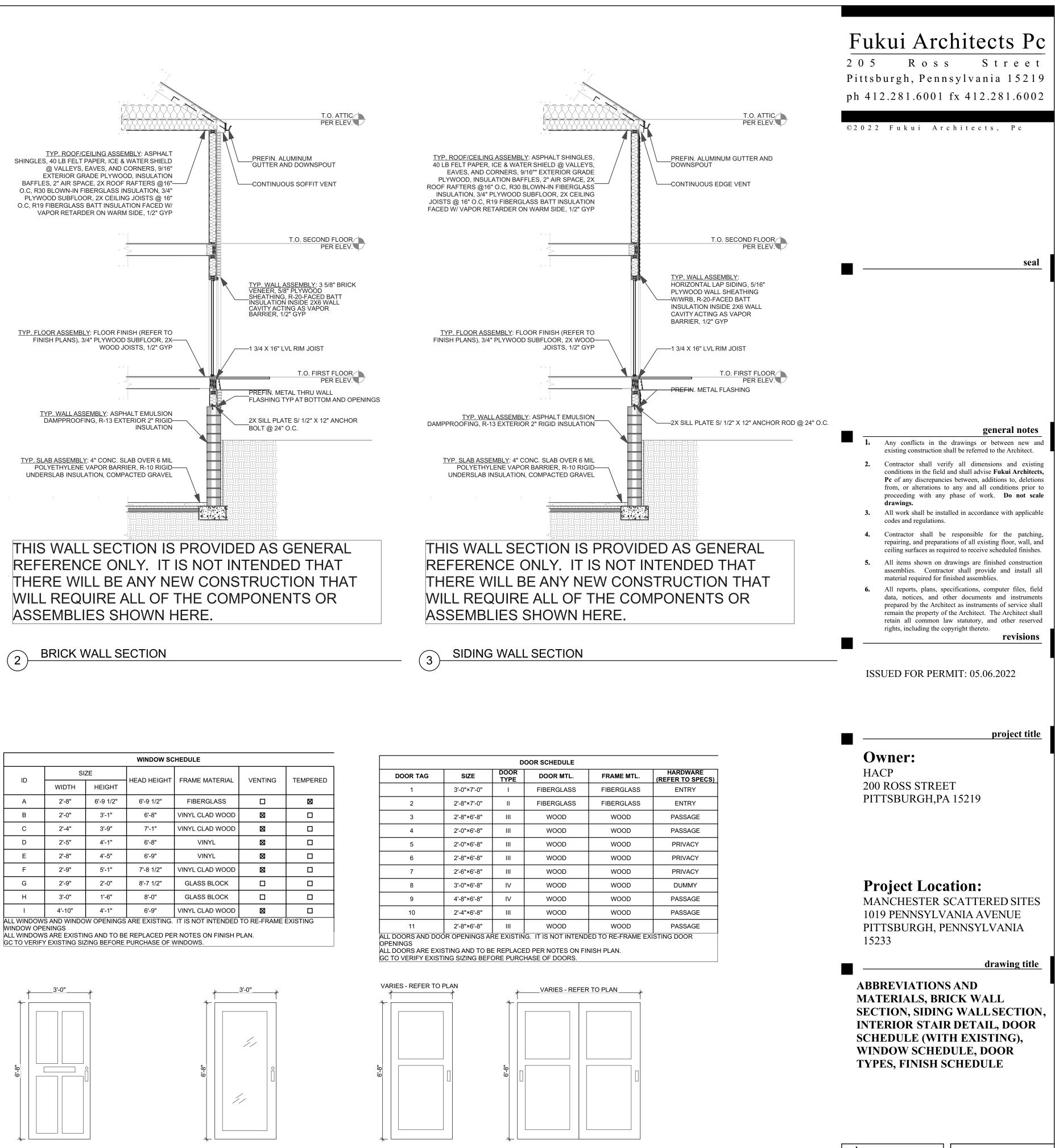
To Be Determined Tongue & Groove

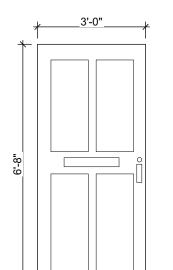
Top Of Grade Top Of Steel Unfinished Unless Noted Otherwise

Vapor Barrier Vinyl Composition Tile Verify In Field

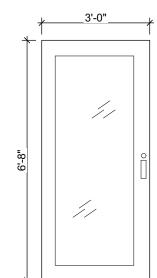
Water Heater Water Resistant Barrier Welded Wire Fabric

FINISH SCHEDULE NAME FLOOR BASEMENT 03 | Concrete Light .. BEDROOM 09 | LVT BTHRM 09 | LVT CLO 09 | LVT **DINING ROOM** 09 | LVT ENTRY 09 | LVT HALLWAY 09 | LVT KITCHEN 09 | LVT LIN. CLO 09 | LVT LIVING ROOM 09 | LVT PNTRY 09 | LVT PWDR 09 | LVT



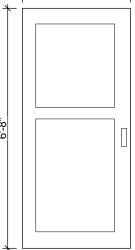


EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS.GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS, KEY AND CORE, HADRWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING

	1
DOOR TAG	SIZE
1	3'-0"×7'-0"
2	2'-8"×7'-0"
3	2'-8"×6'-8"
4	2'-0"×6'-8"
5	2'-0"×6'-8"
6	2'-8"×6'-8"
7	2'-6"×6'-8"
8	3'-0"×6'-8"
9	4'-8"×6'-8"
10	2'-4"×6'-8"
11	2'-8"×6'-8"
ALL DOORS AND DOO OPENINGS	OR OPENING
ALL DOORS ARE EXIS	STING AND TO



I INTERIOR WOOD DOOR INTERIOR 2 PANEL WOOD DOOR. HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

IV INTERIOR WOOD DOUBLE DOOR INTERIOR 2 PANEL DOUBLE WOOD DOOR. HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

> A2Project #2006

Sheet No.

As Noted

May 6, 2022

date

GENERAL FLOOR PLAN NOTES

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

ELECTRICAL SCOPE NOTES

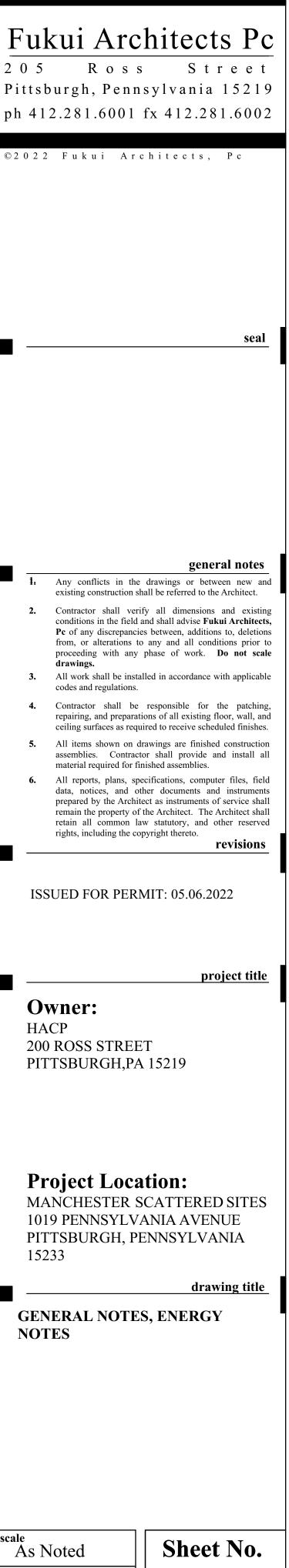
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

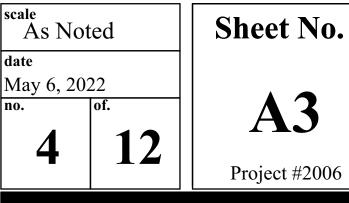
- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

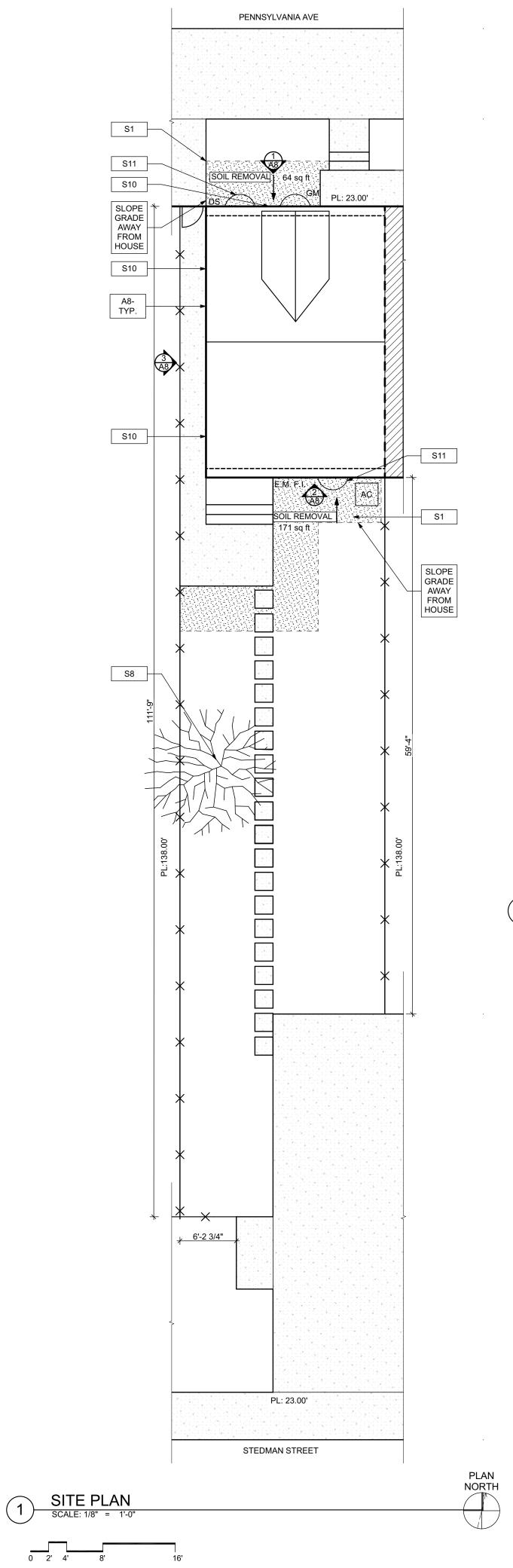
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

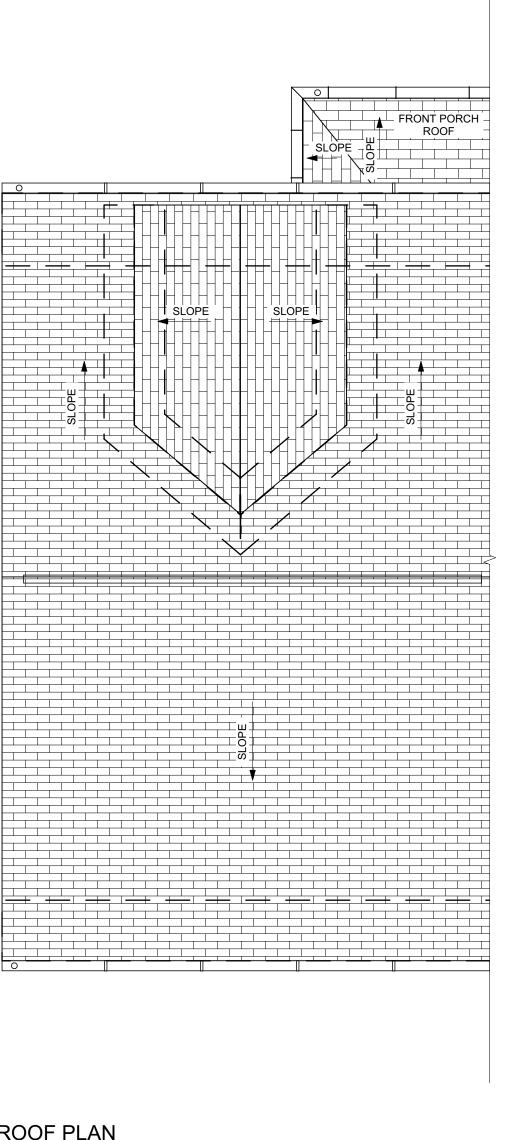
GREEN COMMUNITIES NOTES

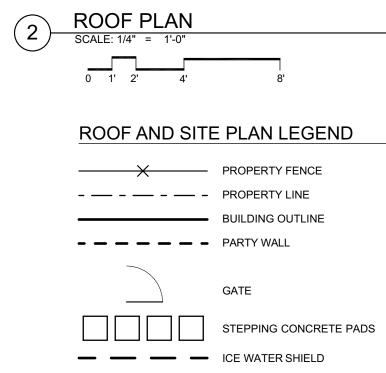
- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.









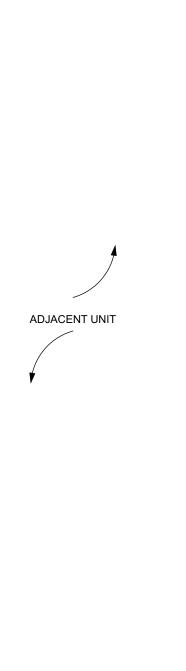


ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- 2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SCOPE REDUCTION:

ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



PLAN NORTH

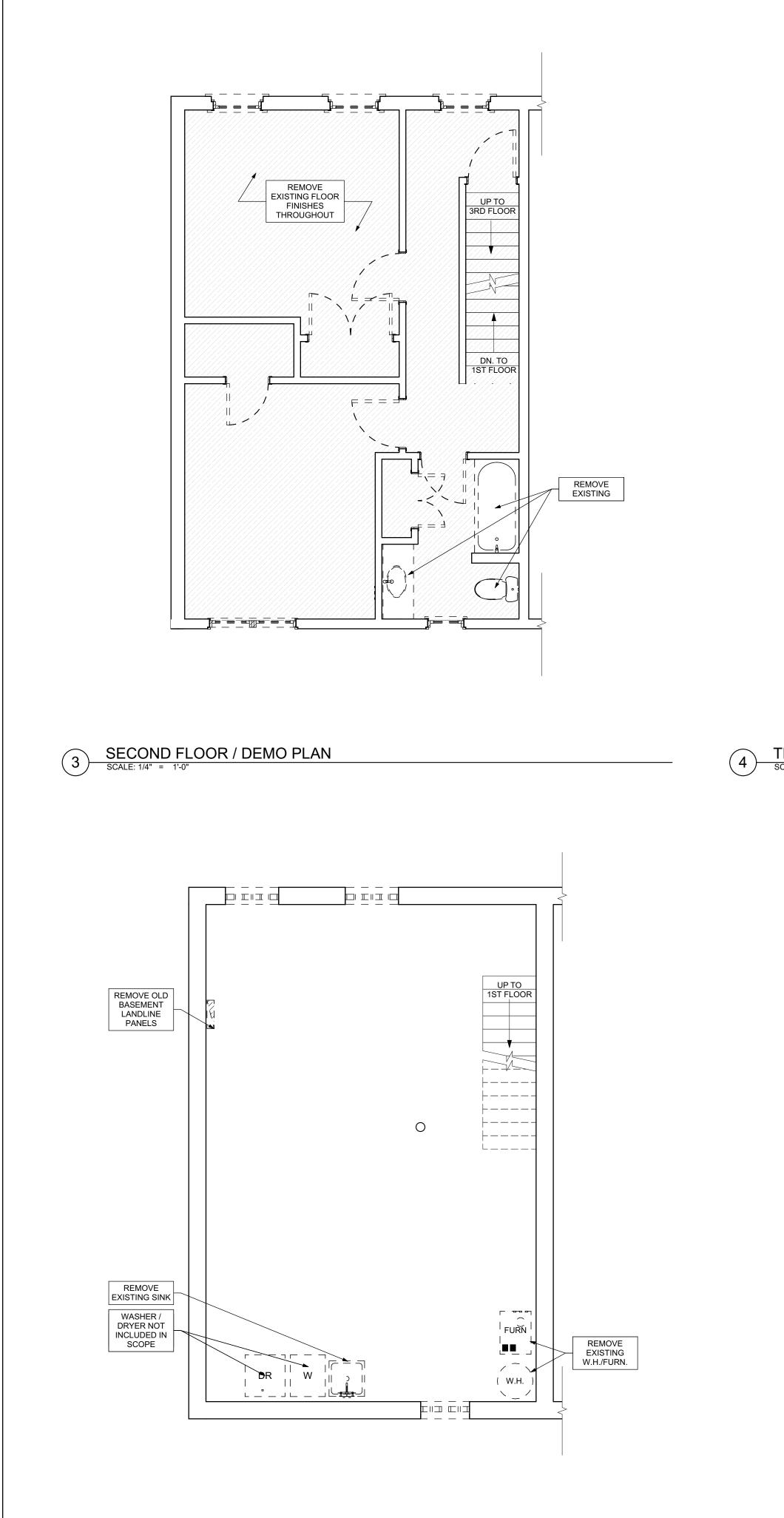
CE	G.M.	GAS
	F.I.	FRES
NE	A.C.	AIR C
	E.M.	ELEC

- 6 METER ESH AIR INTAKE CONDITIONER CONDENSOR
- ECTIC METER

SITE PLAN NOTES

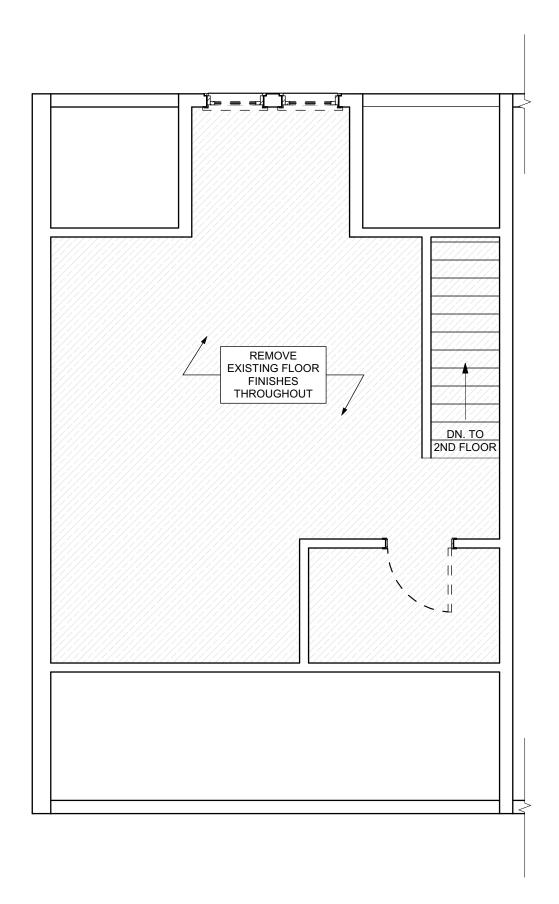
- 1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.
- AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF

SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE FOUR CONCRETE	Fukui Architects Po
S2	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	205 Ross Street Pittsburgh, Pennsylvania 1521
S3	BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW	ph 412.281.6001 fx 412.281.600
S4	SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER	©2022 Fukui Architects, Pc
	SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
<u>S5</u>	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	seal
S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER	
S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12-0' MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new an
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sca drawings.
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	 All work shall be installed in accordance with applicab codes and regulations.
A2 A3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, an exiling surfaces as required to receive scheduled finished
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	ceiling surfaces as required to receive scheduled finisheAll items shown on drawings are finished construction assemblies. Contractor shall provide and install a
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install a material required for finished assemblies.6. All reports, plans, specifications, computer files, fie
A6	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	data, notices, and other documents and instrumen prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha
	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER	retain all common law statutory, and other reserver rights, including the copyright thereto.
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
A9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH	project title
	NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING	HACP 200 ROSS STREET
A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN	PITTSBURGH,PA 15219
	WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS DEB DECISION SEAL TRANSITION OF WALL	1019 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	SITE PLAN, ROOF PLAN, ROOF
PLUMB	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR	SCALES, SMALL UNIT KEYNOTE
	REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECHA M1 M2	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scalo
	WITH CURALCH SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022 no. of.
		$\begin{bmatrix} 10. \\ 5 \end{bmatrix} \begin{bmatrix} 01. \\ 12 \end{bmatrix} A4$
		J L L Project #2006

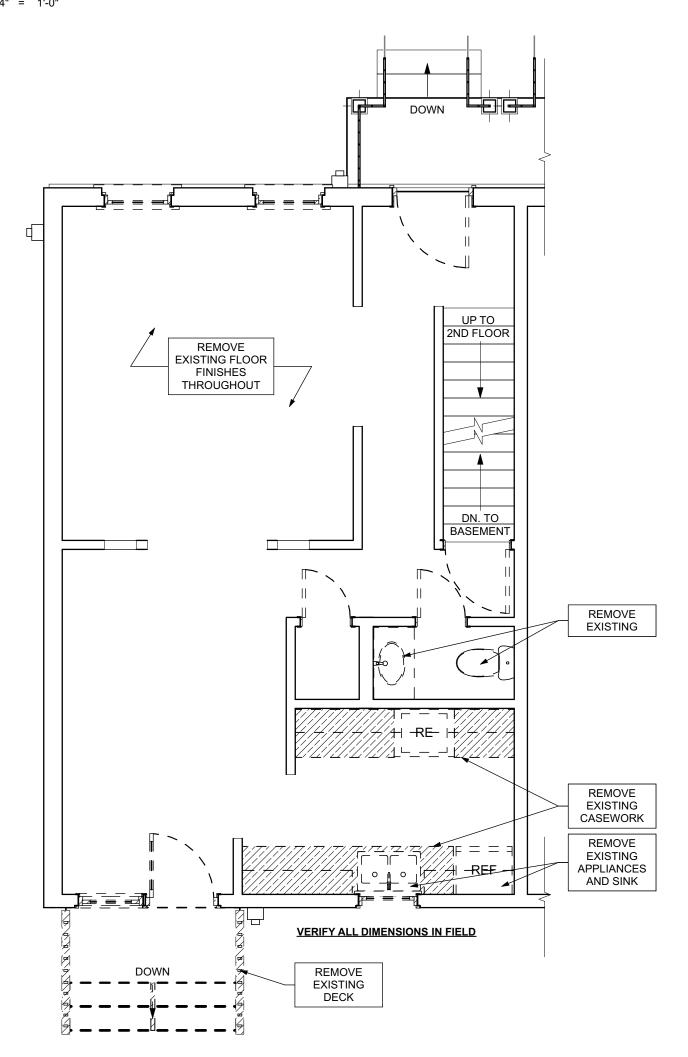


(1) BASEMENT / DEMO PLAN SCALE: 1/4" = 1'-0"

(2)



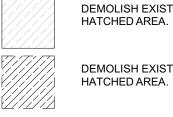
4 THIRD FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND
- WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE
- POSSIBLE. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR
- BELOW FINISHED SURFACES. 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND



DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.

DEMOLISH EXISTING CASEWORK IN

FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

<u>GENERAL NOTE:</u>

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

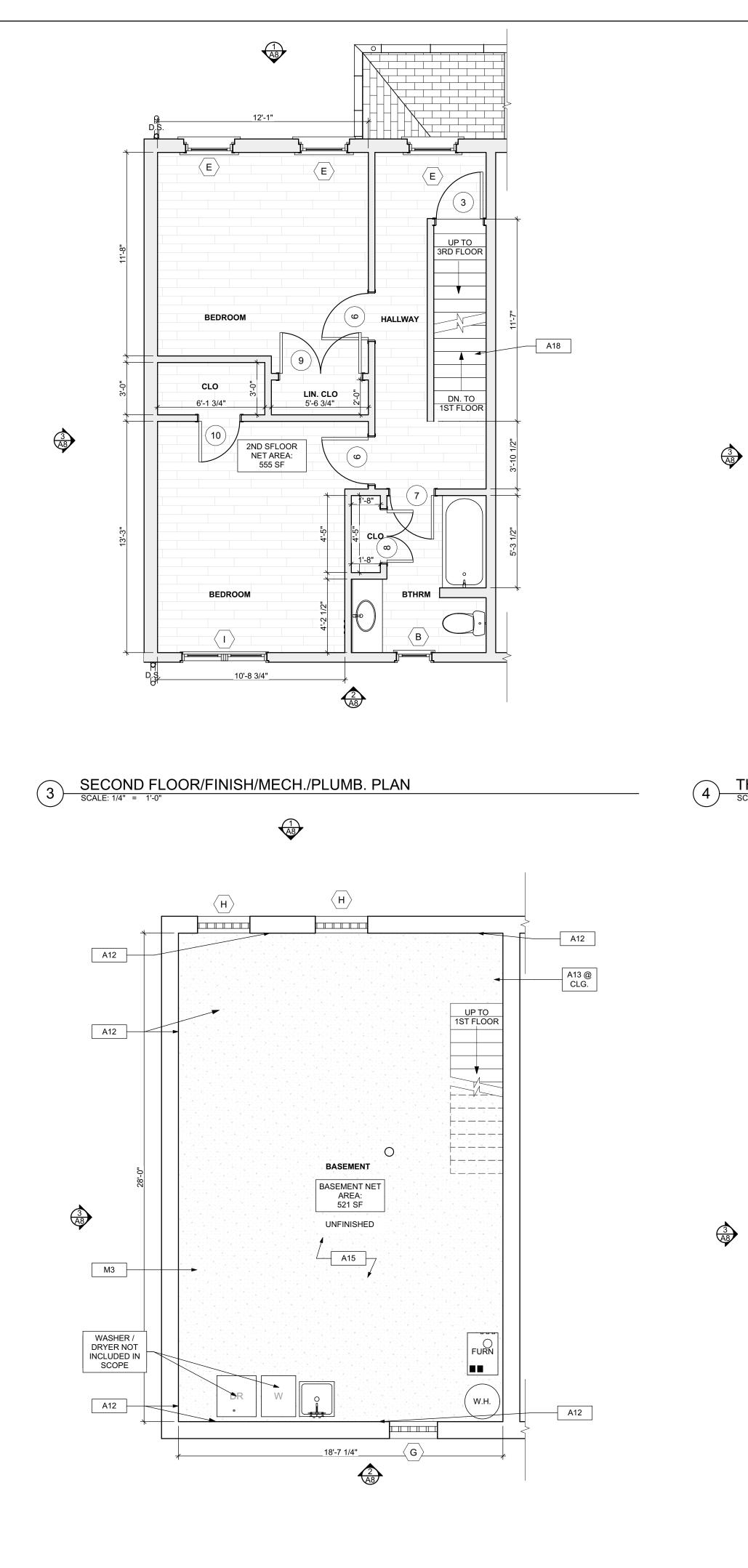


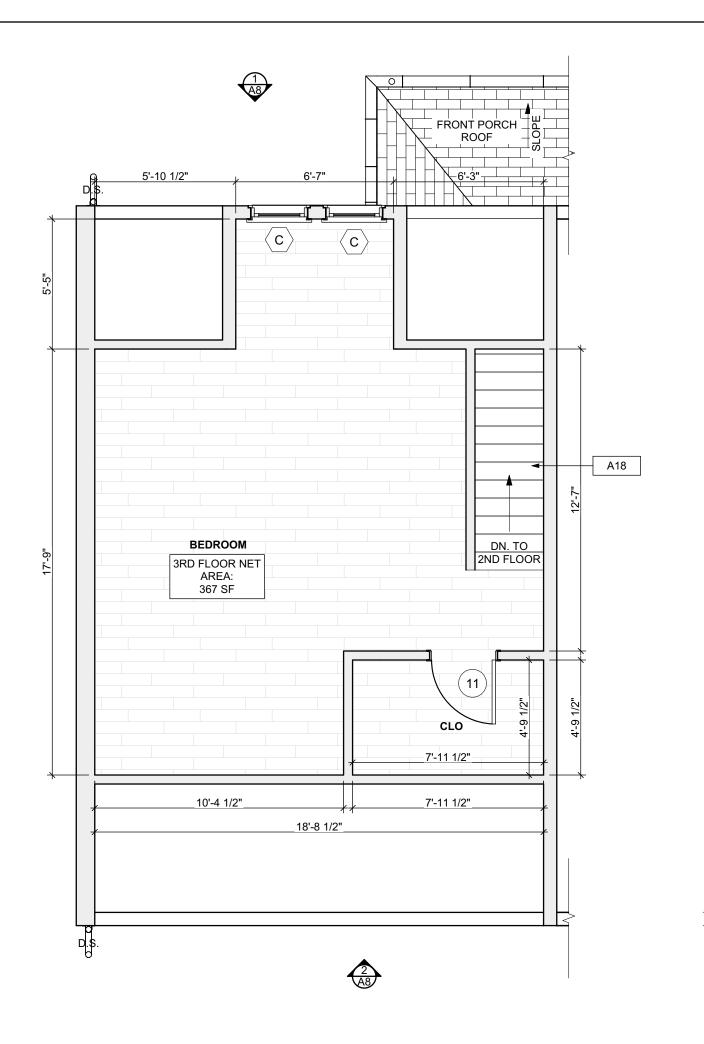


SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0".	Fukui Architects Pc 2 0 5 Ross Street
S2	CONCRETE IS PRESENT. MINIMUM 3 OVER 5-0. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC.	Pittsburgh, Pennsylvania 15219
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	ph 412.281.6001 fx 412.281.6002
	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	_
	TRIM OR ORNAMENTAL WOOD, REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
S10 S11	REGROUT AND POINT MASUNRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
S12	DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN	
S13	THIS LOCATION PER SPECIFICATIONS, WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST CLEAN AND REPAIR SURFACE RESEAL ANY	
S14	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER	
	RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	general notes 1. Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	existing construction shall be referred to the Architect.2. Contractor shall verify all dimensions and existing
_	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise Fukui Architects Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	proceeding with any phase of work. Do not scale drawings.
A2	EXTENDED WALL SPOT SAW COT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	3. All work shall be installed in accordance with applicable codes and regulations.
A2 A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	ceiling surfaces as required to receive scheduled finishes.5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install all material required for finished assemblies.6. All reports, plans, specifications, computer files, field
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions
A7	WALL TO CEILING OF TODS AND SHOWERS FER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	1019 PENNSYLVANIA AVENUE
A16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
A17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
A18	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	DASEMENT / DEMO DI AN EIDST
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	DEMOLITION NOTES, GRAPHIC
MECH	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	SCALES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING	
	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		date May 6, 2022
		no. of. A 5
		6 12
		$\mathbf{V} = \mathbf{I} \mathbf{I} \mathbf{I} \mathbf{I}$ Project #2006

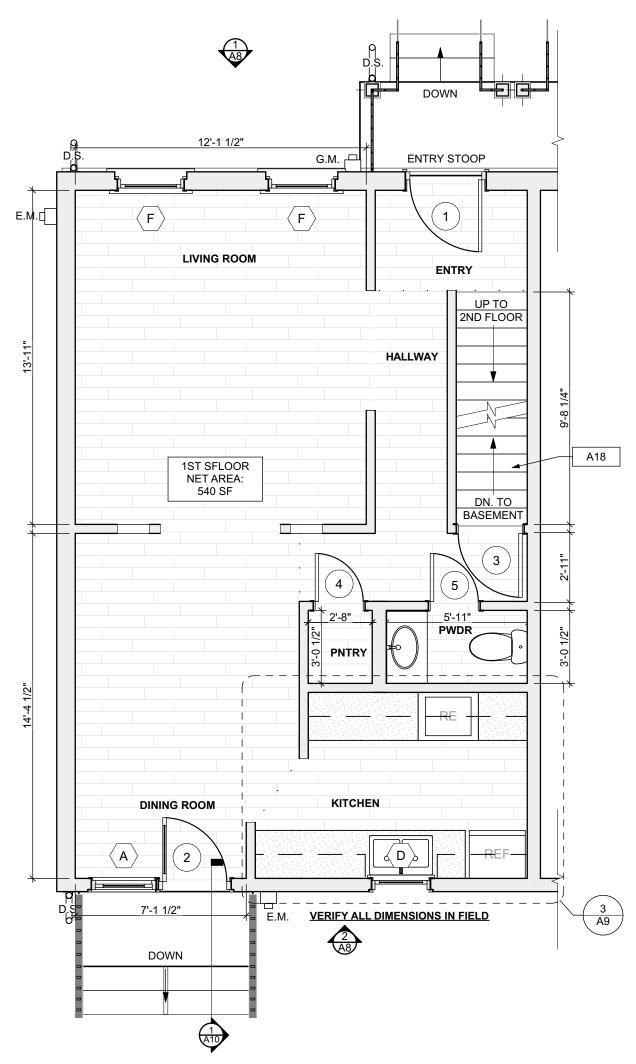
Project #2006







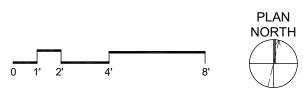
4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"



FLOOR PLAN LEGEND REF FRIDGE RE RANGE FURN GAS FURNANCE **•** UTILITY SINK WASHER (V.H) WATER HEATER DIS. DOWN SPOUT □ E.M. ELECTRIC METER H.B. HOSE BIBB DR DRYER

SCOPE REDUCTION:

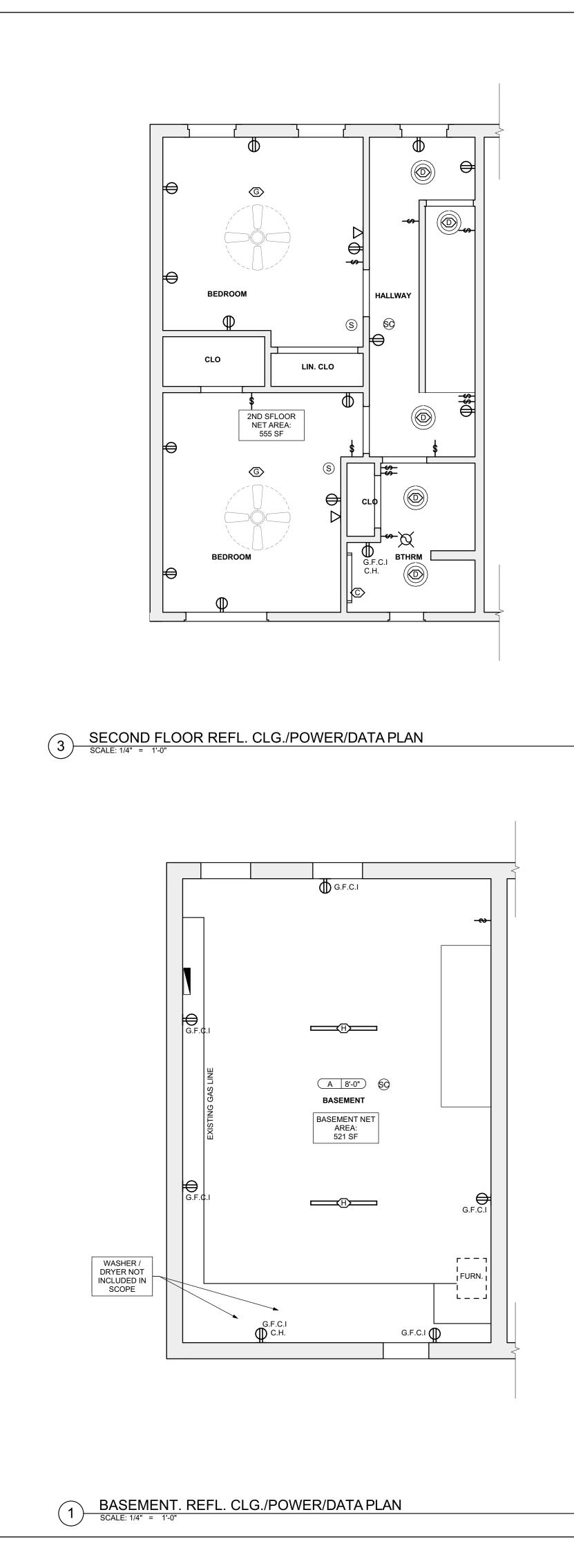
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTORS AND ALL CONTRACTORS ARE TO CREDIT PACK HACP CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

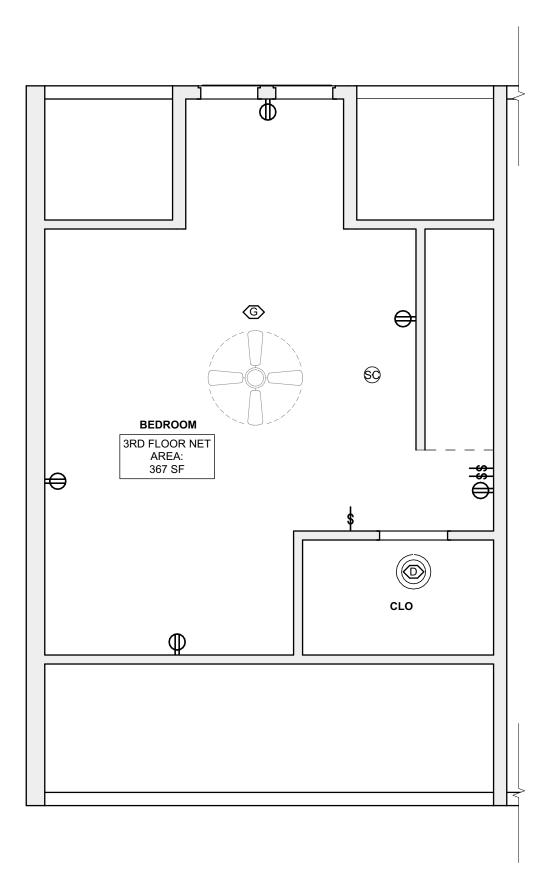


SITE		Fukui Architects Pc
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	© 2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S5	ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
S6	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0" FROM	
S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	 Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects,
ARCHIT	ECTURAL	Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	drawings.All work shall be installed in accordance with applicable codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3 A4	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	ceiling surfaces as required to receive scheduled finishes.5. All items shown on drawings are finished construction
A5	EDANCE AND SHORE TO REPAIR OR REPLACE AS NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	 assemblies. Contractor shall provide and install all material required for finished assemblies. 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments argument by the Architect or instruments of complex shall be achieved by the Architect or instruments.
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT	prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
A7	WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	• Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING, REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1019 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT/FINISH/MECH./PLUM B. PLAN, FIRST
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR
M2 M3	IANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING	PLAN LEGEND, SMALL UNIT KEYNOTES
M3	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	
	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022
		no. of.

12

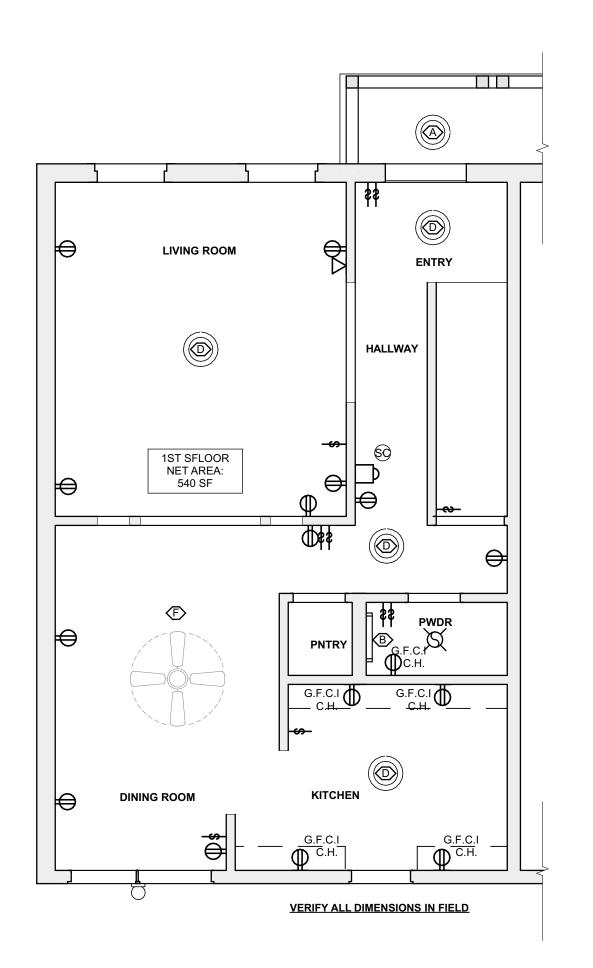
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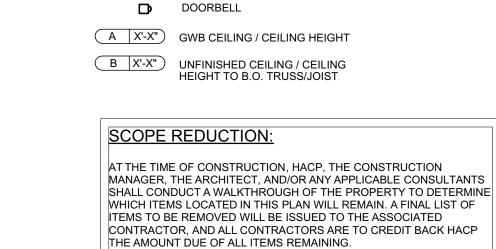




		Ligi	nting Schedule		
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
\bigcirc	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
11	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	с	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
\bigcirc	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	4
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64- Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

4 THIRD FLOC SCALE: 1/4" = 1'-0" THIRD FLOOR REFL. CLG./POWER/DATA PLAN





GENERAL NOTE:

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ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

RCP LEGEND - (See Specifications for basis

ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.

ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.

ELECTRICAL METER

DATA RECEPTICAL , 18" A.F.F. U.O.N.

GFCI CH

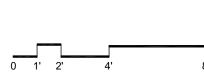
THERMOSTAT

LIGHT SWITCH

EXHAUST FAN

SMOKE ALARM, PROVIDE NEW WHERE SHOWN

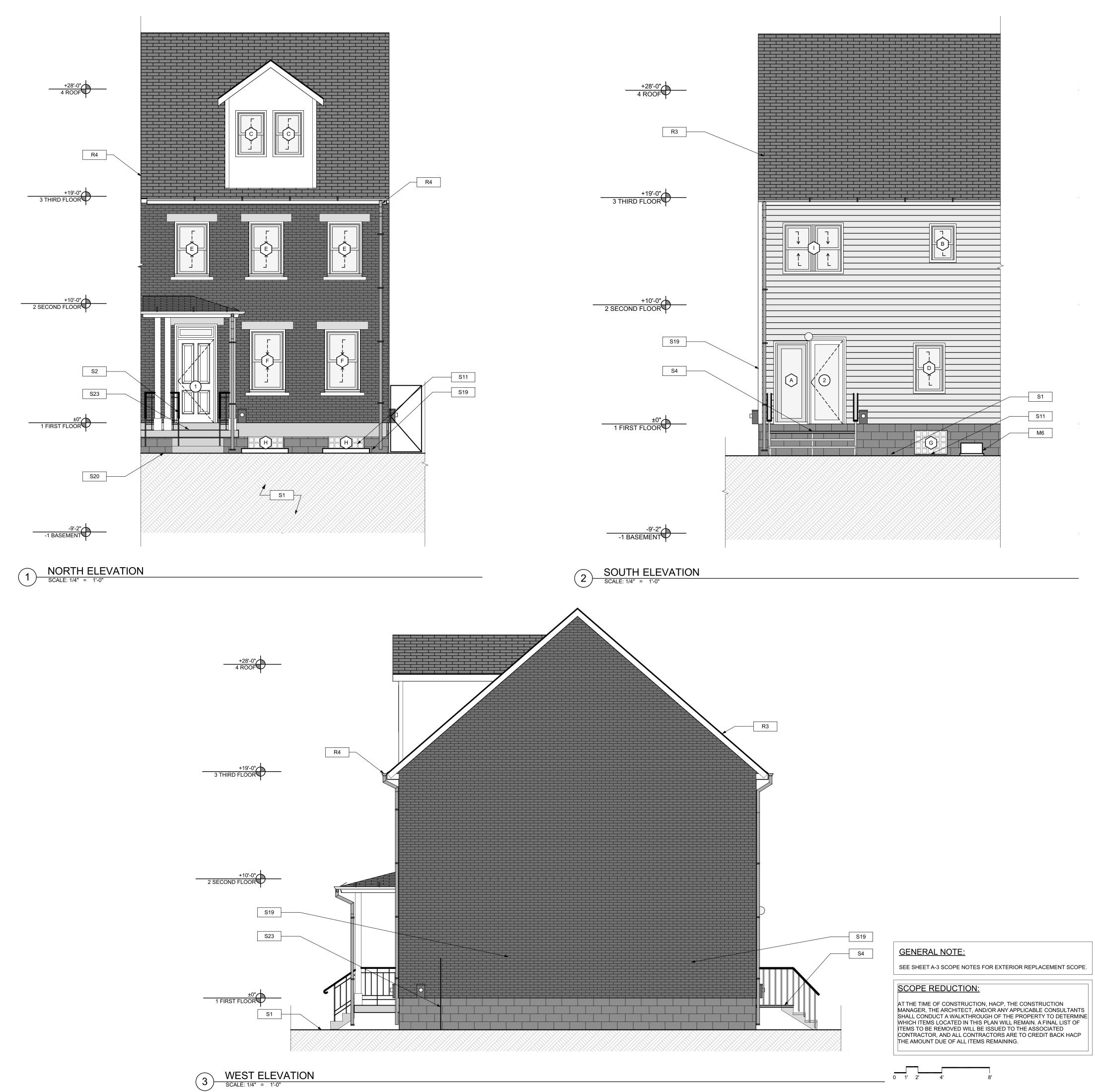
SMOKE/ CARBON MONOXIDECOMBO DETECTOR





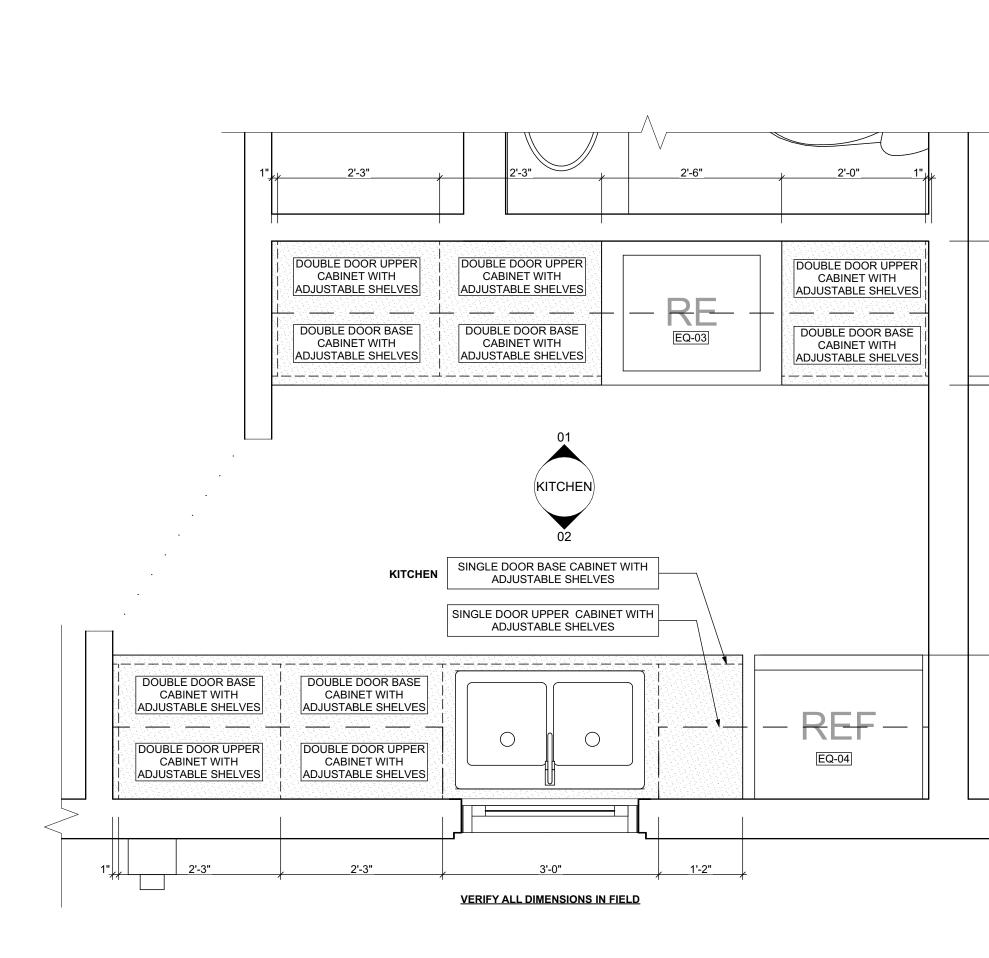
SITE
S1

SITE		F 1_ • •	
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE	<u>Fukui Arc</u>	
	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross	
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Penn	-
S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001	1X 412.281.6002
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Arc	chitects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED		
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE		
85	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER		
	SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE		
36	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND		
	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.		seal
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH		
59	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.		
10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.		
11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"		
12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.		
12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR DECIDE 12':0" MIN		
3	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY		
4	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE		
	NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.		general notes
ROOF स	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, IN MUNICIPALITY OPPLICABLE. TO INCLUDE,	2. Contractor shall verif	all be referred to the Architect. fy all dimensions and existin
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field a Pc of any discrepancie	and shall advise Fukui Architect s between, additions to, deletion any and all conditions prior t
	REPAIR DETERIORATING BRICK CLADDING AT		phase of work. Do not scal
2	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	3. All work shall be instal codes and regulations.	lled in accordance with applicabl
3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	repairing, and preparati	responsible for the patching ons of all existing floor, wall, and
.4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	5. All items shown on dr	ired to receive scheduled finishes rawings are finished construction
	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor material required for fir	or shall provide and install al nished assemblies.
5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and oth	ecifications, computer files, field her documents and instruments ect as instruments of service shal
6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	remain the property of retain all common law	the Architect. The Architect shal w statutory, and other reserved
	REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE	rights, including the co	pyright thereto. revisions
	WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.		
	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS	ISSUED FOR PERM	MIT: 05.06.2022
	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETPIC SEALANT PER SPECIE/CATIONS		
9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH		
10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR.		project title
	DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIN WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	Owner:	
.11	INFORMATION. ADJUSTABLE STEEL COLUMN: BRACE AND SHORE	HACP 200 DOSS STREE	т
	FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN, SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREE PITTSBURGH,PA	
12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE, DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR	,	
	MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT		
13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE		
	HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	D	4:0
14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Loca Manchester s	tion: CATTERED SITES
15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	1019 PENNSYLVA	ANIA AVENUE
16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PE 15233	ENNSYLVANIA
17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS		а. •
18	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.		drawing title
LUMF	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT. REF CLG./POWER/DA	-
1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR REFL. CI	.G./POWER/DATA
2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR	PLAN, SECOND F CLG./POWER/DA	
	REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR REFL. CL	G./POWER/DATA
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	PLAN, LIGHTING SMALL UNIT KEY	,
2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.		~
3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL ALL BASEMENTS WITH MOISTURE		
4	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR		
	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale	Sheet No.
		As Noted date	
		May 6, 2022	·
		no. of.	A7
		8 12	<i>.</i>
			Project #2006

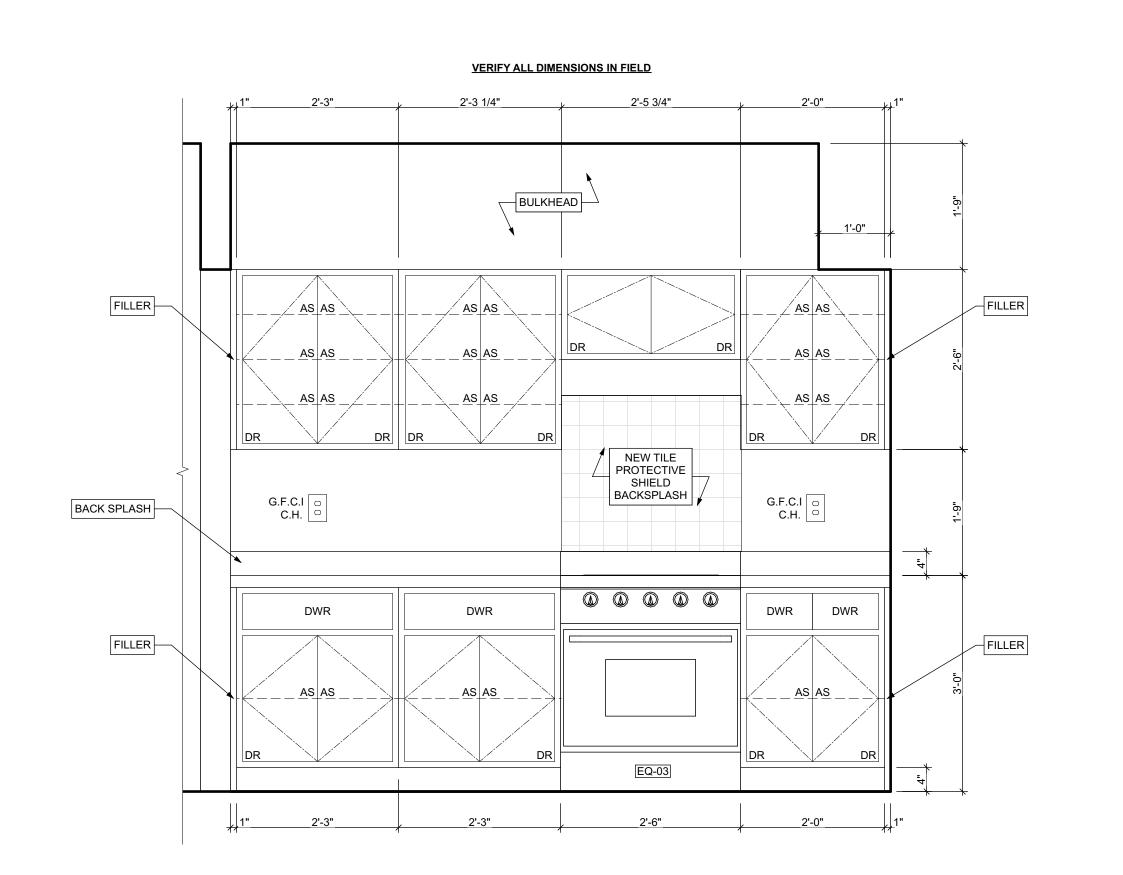


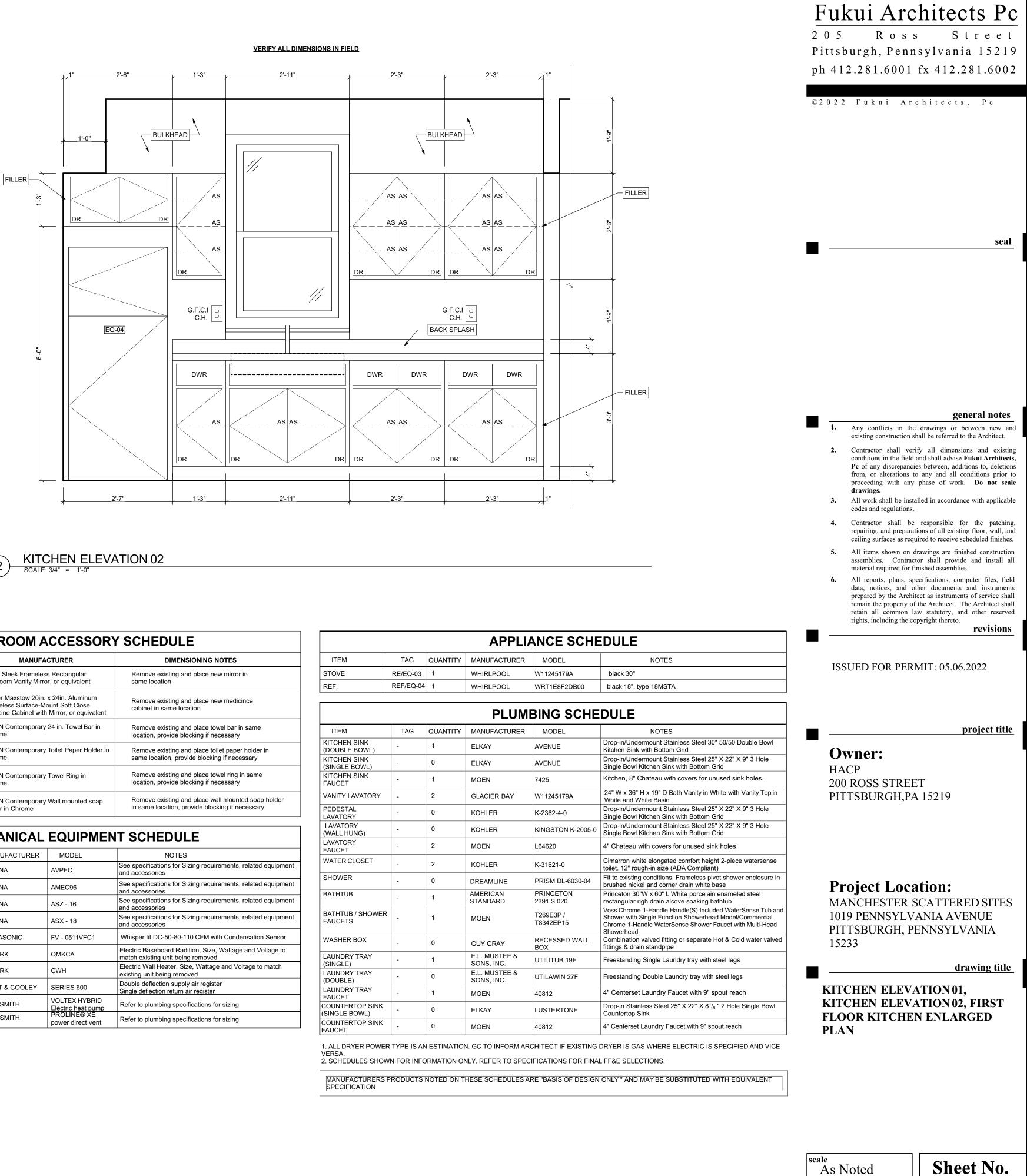
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Pc
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219
83	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	ph 412.281.6001 fx 412.281.6002
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
85	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
57	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	—
10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
312	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELLOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD	
513	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	 Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects. Pc of any discrepancies between, additions to, deletions
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
	EXTERIOR WALL SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	 All work shall be installed in accordance with applicable codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	ceiling surfaces as required to receive scheduled finishes.5. All items shown on drawings are finished construction
45	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install all material required for finished assemblies.6. All reports, plans, specifications, computer files, field
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
<u>A6</u>	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions
47	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
48	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
49	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WEL LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	1019 PENNSYLVANIA AVENUE
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	PITTSBURGH, PENNSYLVANIA 15233
417	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	NORTH ELEVATION, SOUTH
	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	ELEVATION, WEST ELEVATION, GRAPHIC SCALES, SMALL UNIT
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	KEYNOTES
И1	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
И2 ИЗ	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
Λ4	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	
<u></u>]	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022
		12 A8
		Project #2006





KITCHEN ELEVATION 01 SCALE: 3/4" = 1'-0"





(2)

BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

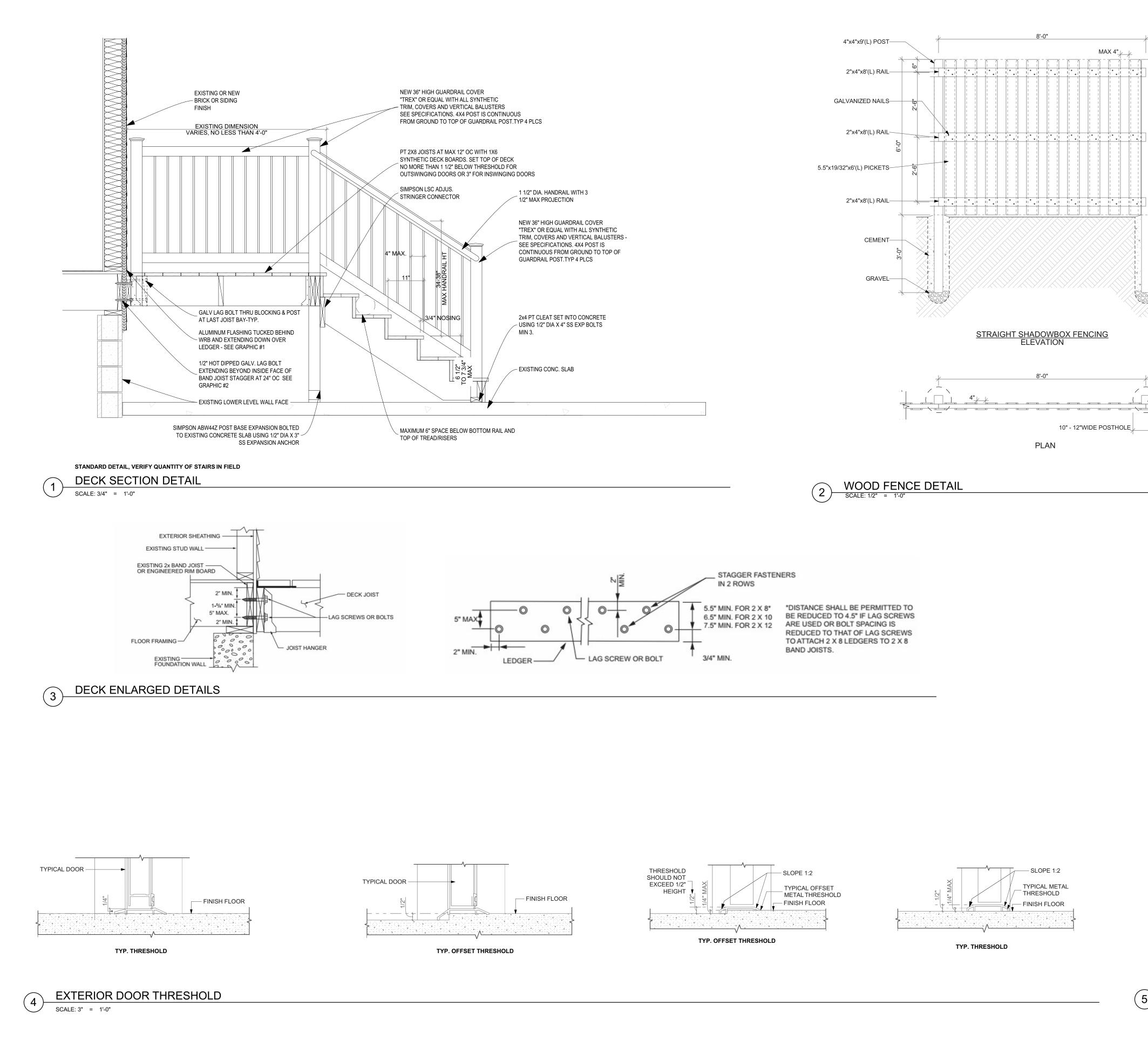
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

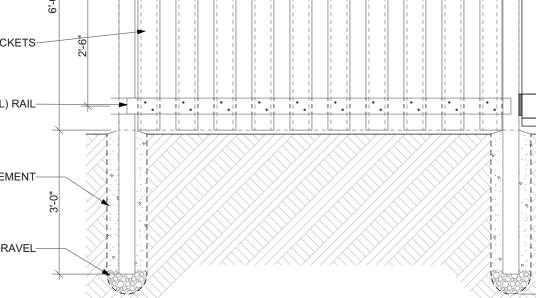
ITEM	TAG	Q
STOVE	RE/EQ-03	1
REF.	REF/EQ-04	1

ITEM	TAG	Q
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	C
KITCHEN SINK FAUCET	-	1
VANITY LAVATORY	-	2
PEDESTAL LAVATORY	-	C
LAVATORY (WALL HUNG)	-	C
LAVATORY FAUCET	-	2
WATER CLOSET	-	2
SHOWER	-	C
BATHTUB	-	1
BATHTUB / SHOWER FAUCETS	-	1
WASHER BOX	-	C
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	C
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	C
COUNTERTOP SINK FAUCET	-	C

date May 6, 2022 no. of.
no. of.
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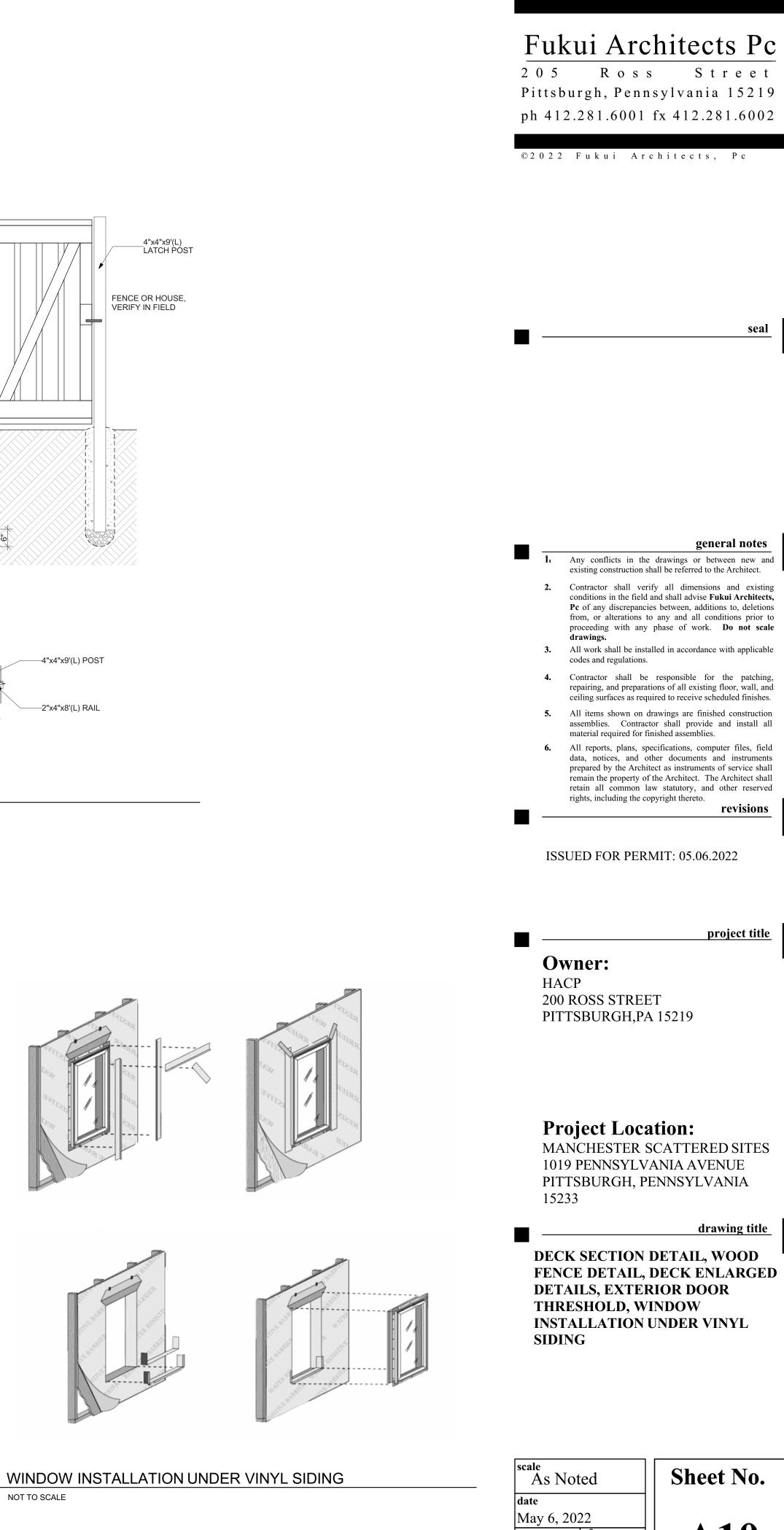




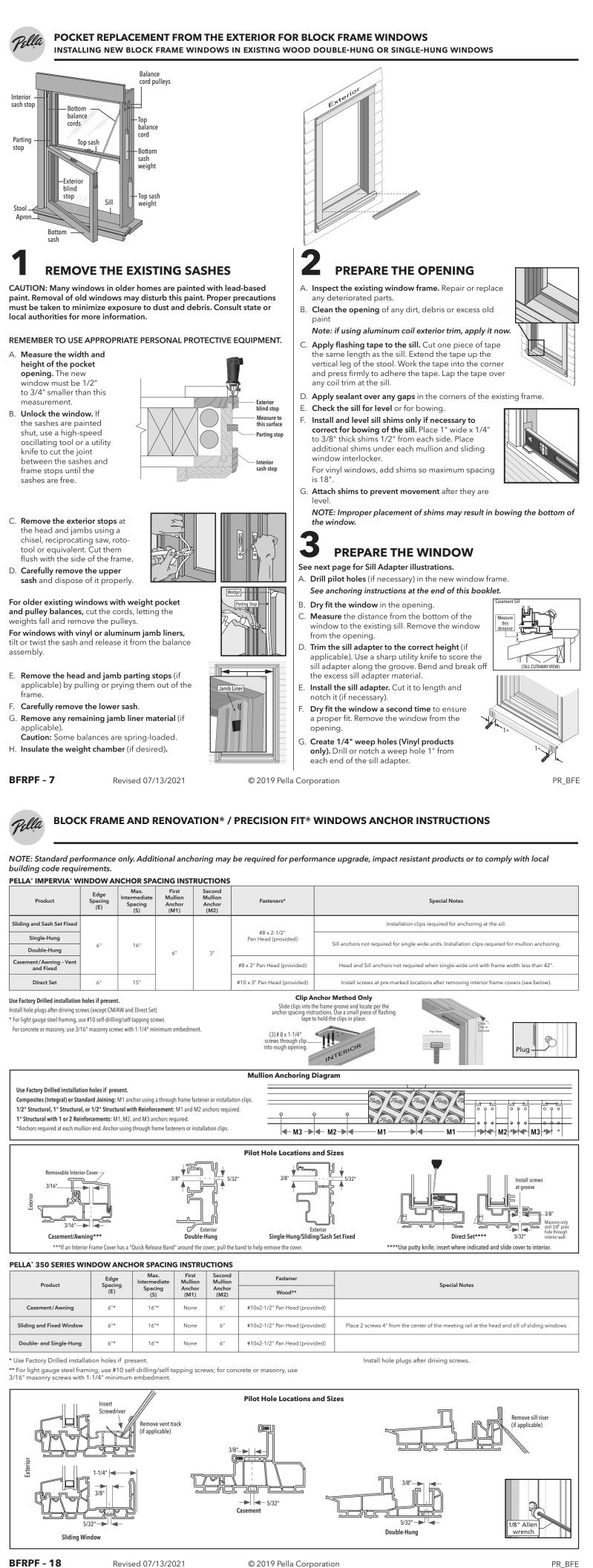
MAX 4"_____



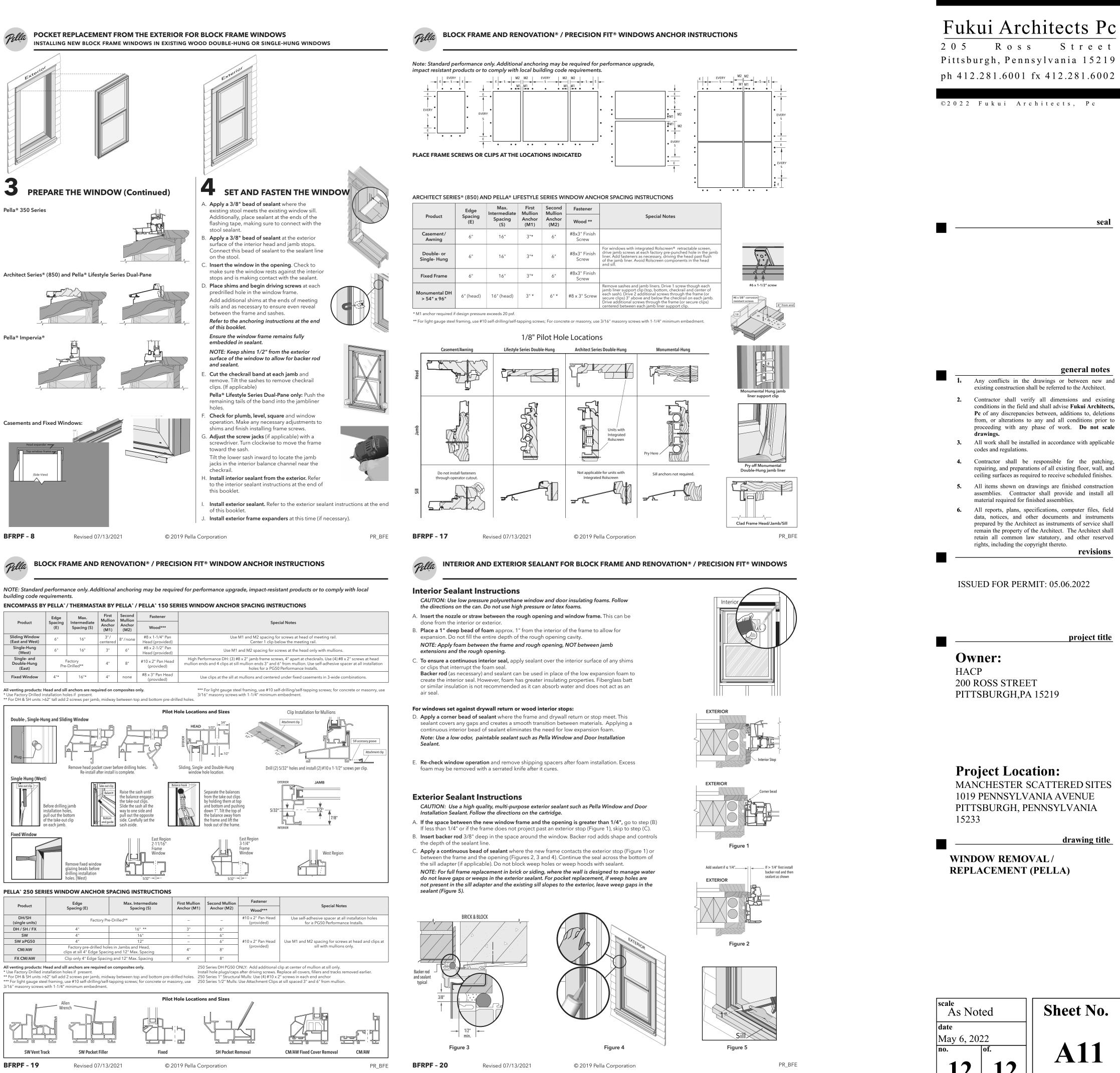
NOT TO SCALE

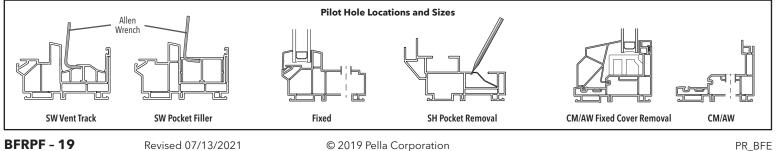


A10 12 11 Project #2006



Revised 07/13/2021





Project #2006

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

As the **DESIGN ARCHITECT**, I certify that:

Development Amenities

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. (schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	<u>MU</u>
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	 The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item. Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion. <u>New Construction</u>: For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) 	X The Fair Housing Act of 1988 & Fair Housing Desig X ANSI A117.1-2009 (or edition currently adopted by X Pennsylvania Uniform Construction Code X Uniform Federal Accessibility Standards (UFAS) X Section 504 of the Rehabilitation Act of 1973 X 2010 ADA Standards for Accessible Design X Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.) NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	 For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) <u>Preservation (Moderate Rehab)</u> *: For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) *Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation. 	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	 NOTE: Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. 	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completio All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- __X___ When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Large Family Units As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:	205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
<form><form><form><form><form><form><form><form><form><form></form></form></form></form></form></form></form></form></form></form>	©2022 Fukui Architects, Pc
PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) As the DESIGN ARCHITECT, I certify that for preservation developments:	<list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item>
As the <u>DESIGN ARCHITECT</u> , I certify that: <u>X</u> The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook-ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided. Flood Plain Certification As the <u>DESIGN ARCHITECT</u> , landscape architect or civil engineer] I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is:	project title
Emergency Management Agency for this development's site and have determined that the site is: (Check all that apply) Outside any flood area Outside of a flood way Inside a 500 year flood area Inside a flood way Inside a 100 year flood area Inside a 100 year flood area Inside a 100 year flood area TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 219	Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1105 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

SELECTION CRITERIA, THRESHOLD CRITERIA, **TABULAR SCHEDULE**

TABULAR AREA UNIT SCHEDULE				
UNIT #	GROSS AREA (SF)	NET AREA (SF)		
SFR	2,204	1,935		

scale As Noted		Sheet No.
date		
May 6, 202 no.	of.	A0
1	12	
_ _ _		Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1105 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 **2 BEDROOM UNIT**

Drawing Index

A0 PHFA DOCUMENTS

SELECTION CRITERIA

THRESHOLD CRITERIA TABULAR SCHEDULE

A1 COVER S	
AI COVER 5.	HEET
	ARCH PRLIM SET
	CODE AND CONTACT INFO
	MANCHESTER SCATTERED SITES MAP
A2 ARREVI	ATIONS AND MATERIALS
AZ ADDREVI	ABBREVIATIONS AND MATERIALS
	DOOR TYPES
	WINDOW SCHEDULE
	DOOR SCHEDULE (WITH EXISTING)
	FINISH SCHEDULE
	SIDING WALL SECTION
	BRICK WALL SECTION
	INTERIOR STAIR DETAIL
A3 SCOPE/ G	ENERAL / GREEN COMMUNITY NOTES
	GENERAL NOTES
	ENERGY NOTES
A4 SITE PLA	N AND ROOF PLAN
	ROOF PLAN
	SITE PLAN
	ROOF PLAN NOTES
	ROOF AND SITE PLAN LEGEND
	GRAPHIC SCALES
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
A5 FLOOR /]	DEMO PLANS
	BASEMENT / DEMO PLAN
	FIRST FLOOR / DEMO PLAN
	SECOND FLOOR / DEMO PLAN
	THIRD FLOOR / DEMO PLAN
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
	DEMOLITION PLAN LEGEND
	GENERAL DEMOLITION NOTES
A6 FLOOR/F	INISH/MECH./PLUMB. PLAN
	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
	BASEMENT/FINISH/MECH./PLUMB. PLAN
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	FLOOR PLAN LEGEND
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
A7 REFLECT	TED CEILING / POWER / DATA PLANS
	LIGHTING SCHEDULE
	RCP LEGEND
	BSMT. REFL. CLG/ POWER / DATA PLAN
	FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
	SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
	THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
	GRAPHIC SCALES
	SMALL UNIT VEVNOTES
48 FI FV 4 TI	SMALL UNIT KEYNOTES
A8 ELEVATIO	ONS
A8 ELEVATIO	ONS NORTH ELEVATION
A8 ELEVATIO	ONS NORTH ELEVATION SOUTH ELEVATION
A8 ELEVATI	ONS NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES
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A9 KITCHEN	ONS NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES NENLARGED PLANS AND ELEVATIONS KITCHEN ELEVATION 02 KITCHEN ELEVATION 01 FIRST FLOOR KITCHEN ENLARGED PLAN
A9 KITCHEN	ONS NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES NENLARGED PLANS AND ELEVATIONS KITCHEN ELEVATION 02 KITCHEN ELEVATION 01 FIRST FLOOR KITCHEN ENLARGED PLAN
A9 KITCHEN	ONS NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES VENLARGED PLANS AND ELEVATIONS KITCHEN ELEVATION 02 KITCHEN ELEVATION 01 FIRST FLOOR KITCHEN ENLARGED PLAN S
A9 KITCHEN	ONS NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES NENLARGED PLANS AND ELEVATIONS KITCHEN ELEVATION 02 KITCHEN ELEVATION 01 FIRST FLOOR KITCHEN ENLARGED PLAN S WOOD FENCE DETAIL
A8 ELEVATIO	ONS NORTH ELEVATION SOUTH ELEVATION GRAPHIC SCALES WEST ELEVATION SMALL UNIT KEYNOTES VENTARGED PLANS AND ELEVATIONS KITCHEN ELEVATION02 KITCHEN ELEVATION01 FIRST FLOOR KITCHEN ENLARGED PLAN S WOOD FENCE DETAIL DECK SECTION DETAIL

Code Conformance Information

Applicable Codes	
General:	2015 In
	2015 In
Accessibility:	2009 IC
Energy:	2015 In
Electrical:	2014 N
Fire:	2015 In
Fuel Gas:	2015 In
Mechanical:	2015 In
Plumbing:	2017 Al
Fire Alarm:	2013 N
Sprinkler:	2013 N
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R-2"
Stories:	3 story
Gross Area:	2,048 sc
Construction Type:	2,048 St V
Construction Type.	v

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers. **Building Owner:** Architect:

Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic

Sprinklers:

Smoke detector:

General Description of Work

- Notes on Sheet A-3.
- Architectural Scope Notes. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

Shown in Documentation

- offs.

nternational Building Code nternational Building Code ICC/ANSI A117.1 nternational Energy Conservation Code NEC (NFPA 70) nternational Fire Code

International Fuel Gas Code nternational Mechanical Code Allegheny County Health department Plumbing Code

NFPA 72 NFPA 13

2 alteration per the IEBC

with basement

Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002

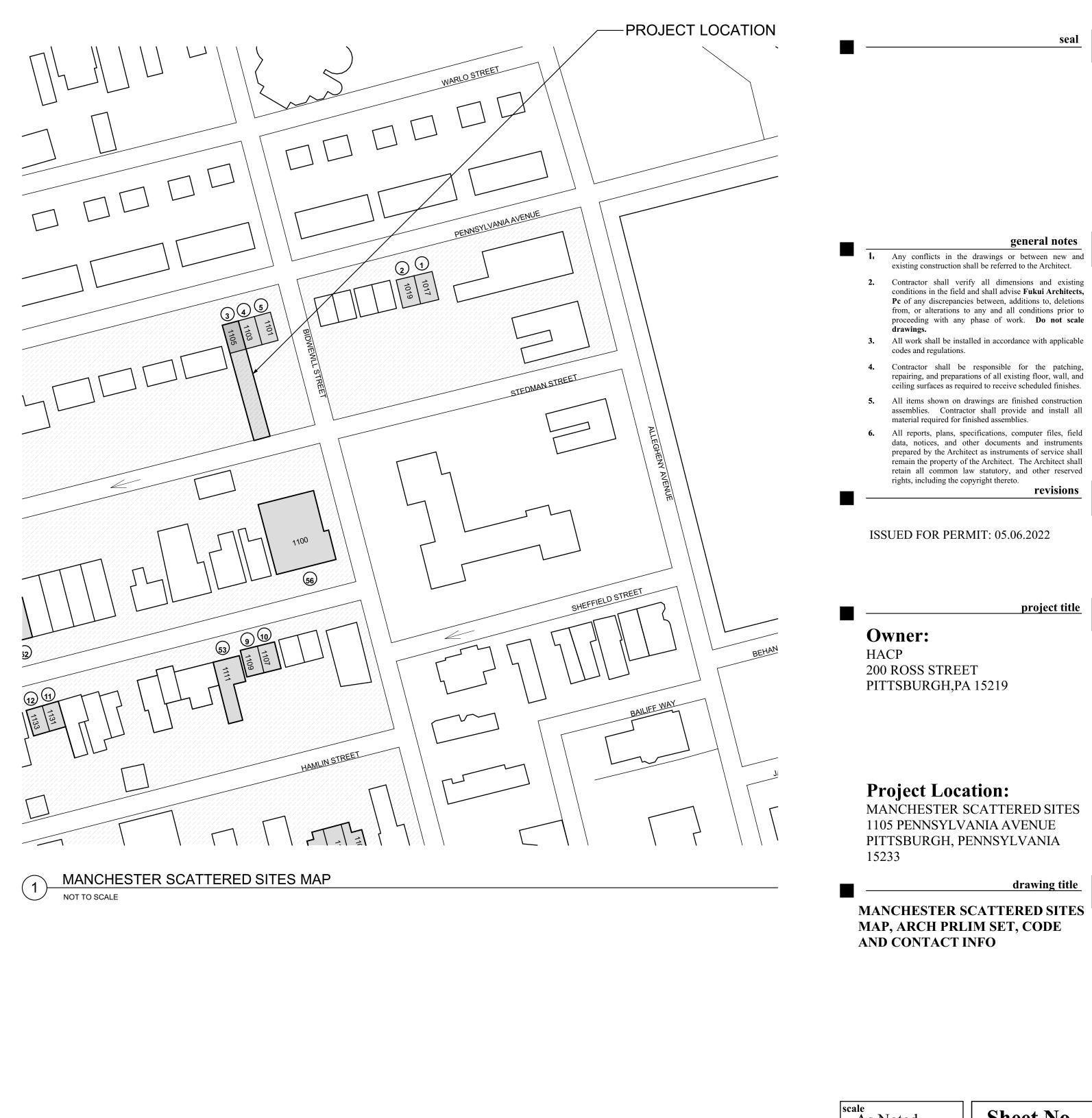
Fgf@farpc.com contact: Felix G. Fukui, AIA Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street

3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

General Note Related to Quantities

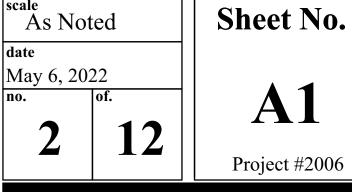
Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-

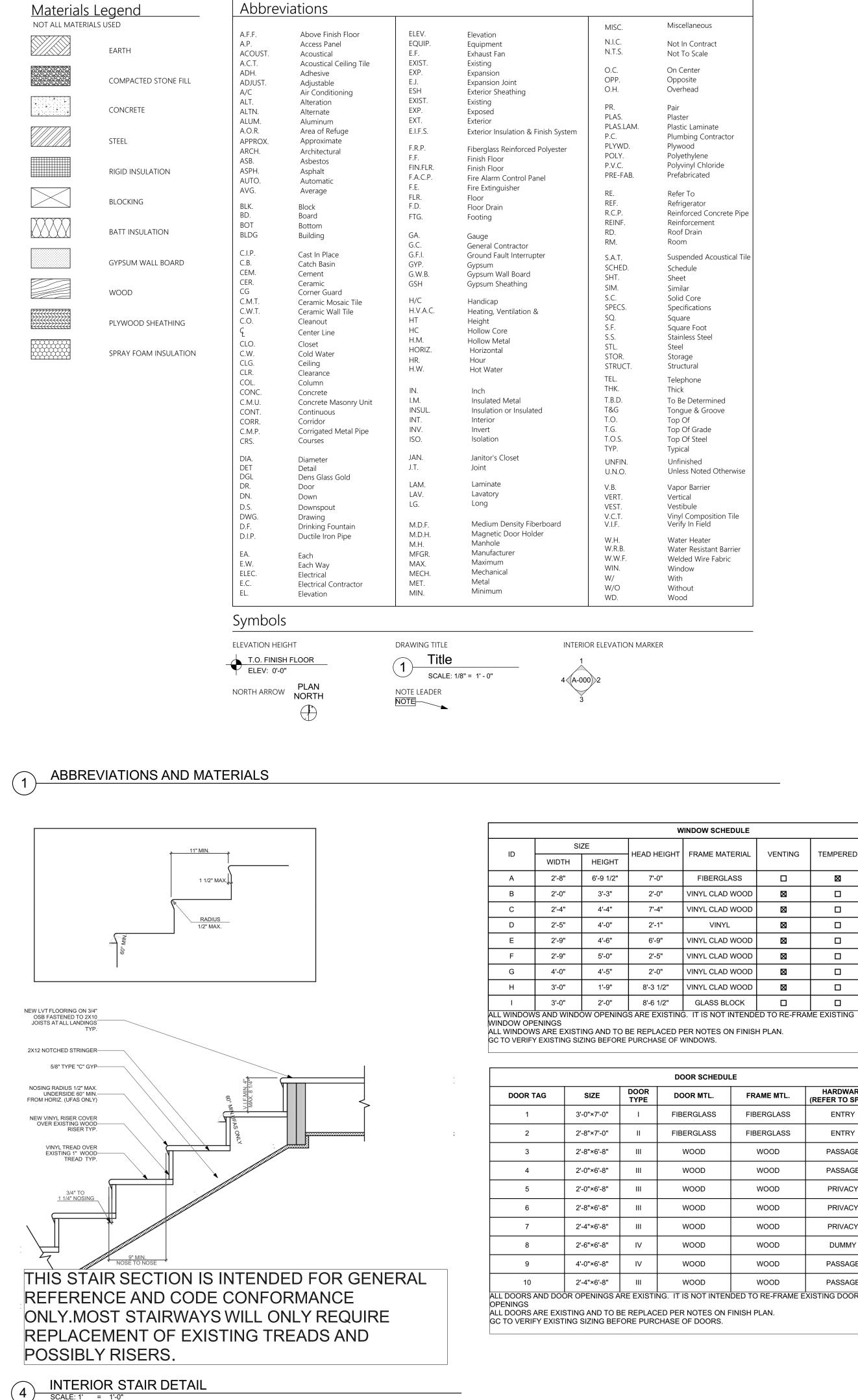


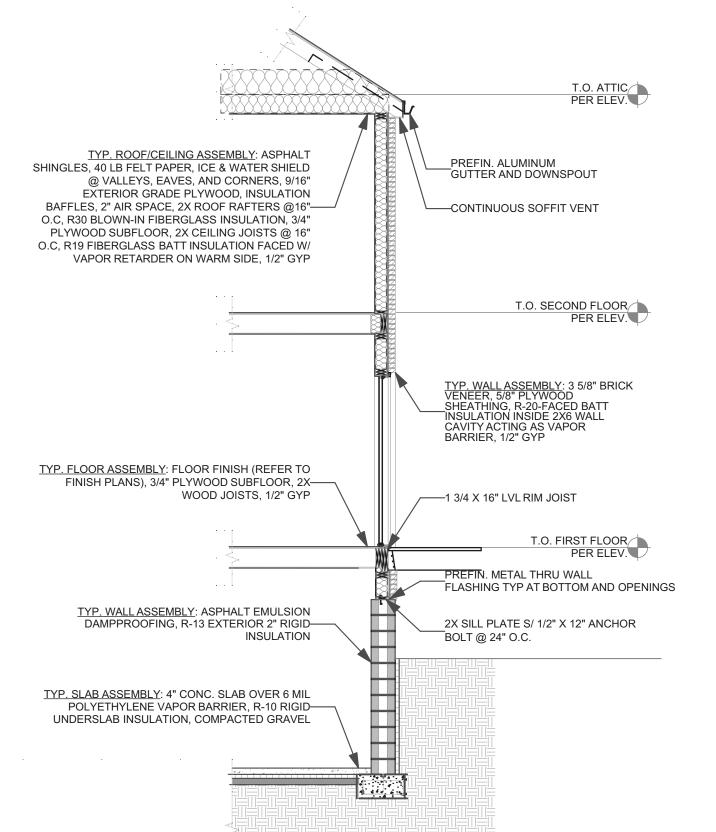
Fukui Architects Pc

Ross Street 2 0 5 Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

BRICK WALL SECTION (2

JOISTS @ 16" O.C, R19 FIBERGLASS BATT INSULATION FACED W/ VAPOR RETARDER ON WARM SIDE, 1/2" GYP

DAMPPROOFING, R-13 EXTERIOR 2" RIGID INSULATION

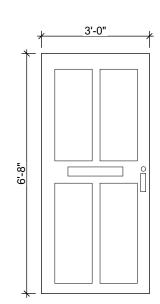
SIDING WALL SECTION 3

W	INDOW	SCHEDULE

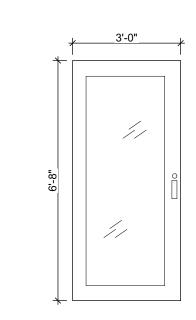
ΗT	FRAME MATERIAL	VENTING	TEMPERED
	FIBERGLASS		⊠
	VINYL CLAD WOOD	×	
	VINYL CLAD WOOD	×	
	VINYL	⊠	
	VINYL CLAD WOOD	×	
	VINYL CLAD WOOD	×	
	VINYL CLAD WOOD	×	
	VINYL CLAD WOOD	⊠	
	GLASS BLOCK		

DOOR SCHEDULE			
DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)	
FIBERGLASS	FIBERGLASS	ENTRY	
FIBERGLASS	FIBERGLASS	ENTRY	
WOOD	WOOD	PASSAGE	
WOOD	WOOD	PASSAGE	
WOOD	WOOD	PRIVACY	
WOOD	WOOD	PRIVACY	
WOOD	WOOD	PRIVACY	
WOOD	WOOD	DUMMY	
WOOD	WOOD	PASSAGE	
WOOD WOOD PASSAGE			
IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR			
ER NOTES ON FINISH PLAN.			

FINISH SCHEDULE		
NAME	FLOOR	
BEDROOM	09 LVT	
BTHRM	09 LVT	
CLO	09 LVT	
DINING ROOM	09 LVT	
ENTRY	09 LVT	
HALLWAY	09 LVT	
KITCHEN	09 LVT	
LIN. CLO	09 LVT	
LIVING ROOM	09 LVT	
PNTRY	09 LVT	
PWDR	09 LVT	

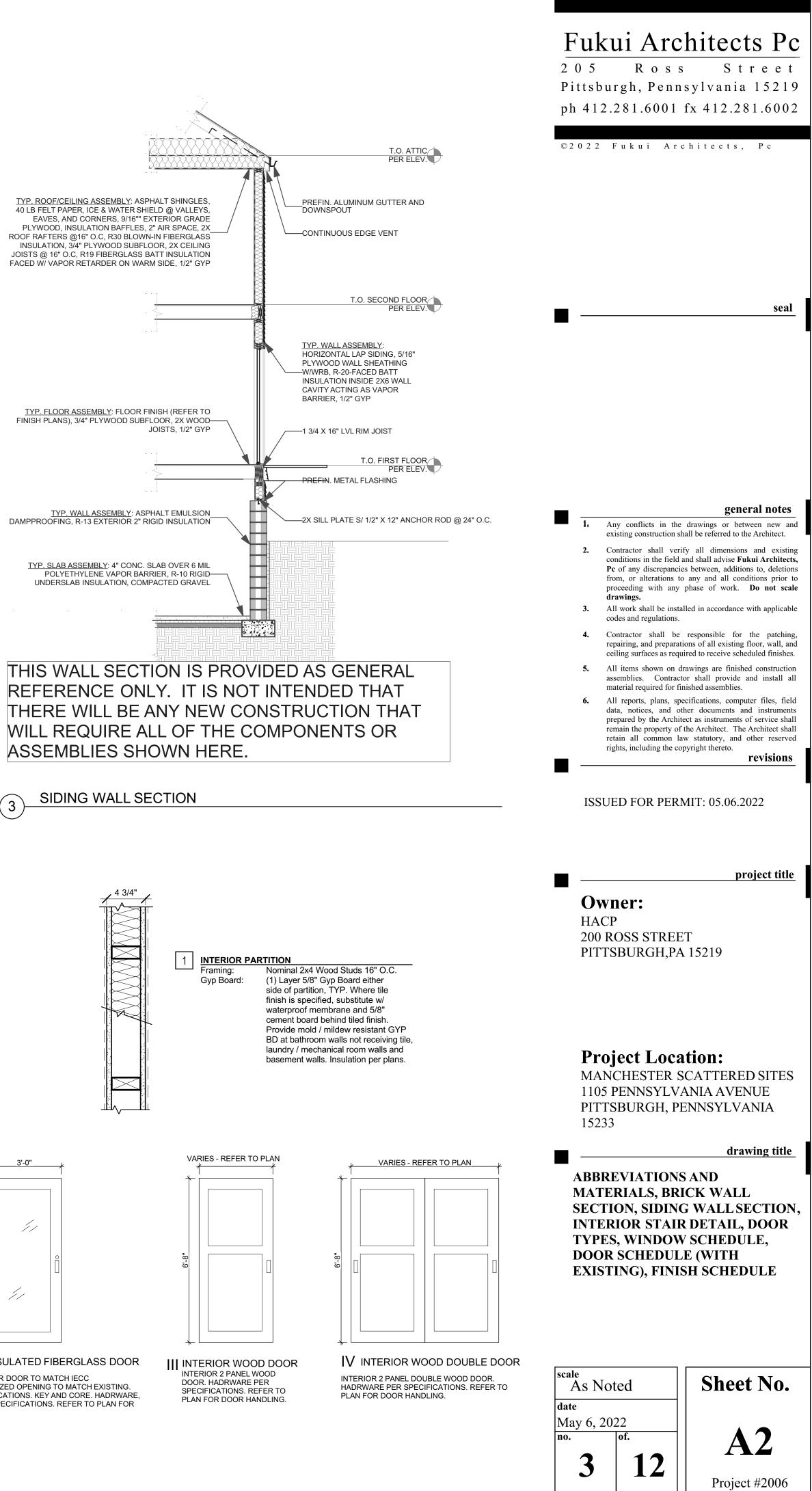


| EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HADRWARE. AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR

DOOR HANDLING



GENERAL FLOOR PLAN NOTES

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

ELECTRICAL SCOPE NOTES

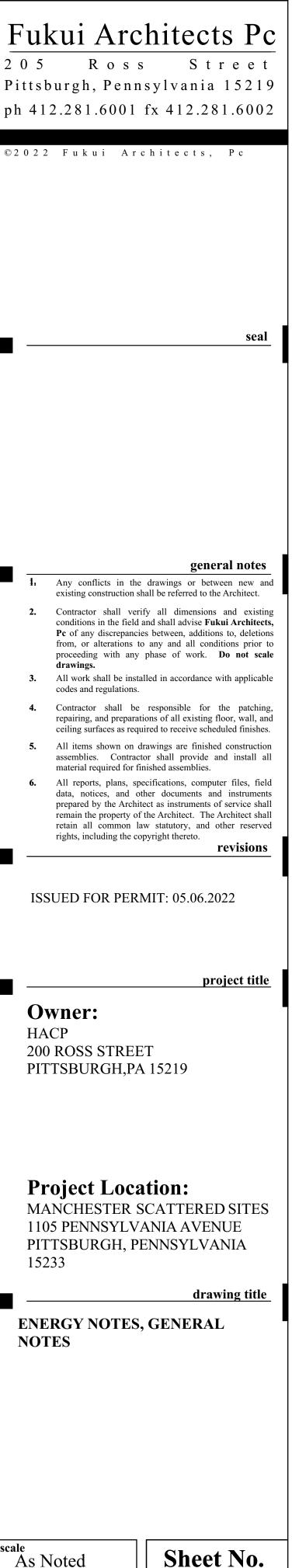
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- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

GREEN COMMUNITIES NOTES

- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

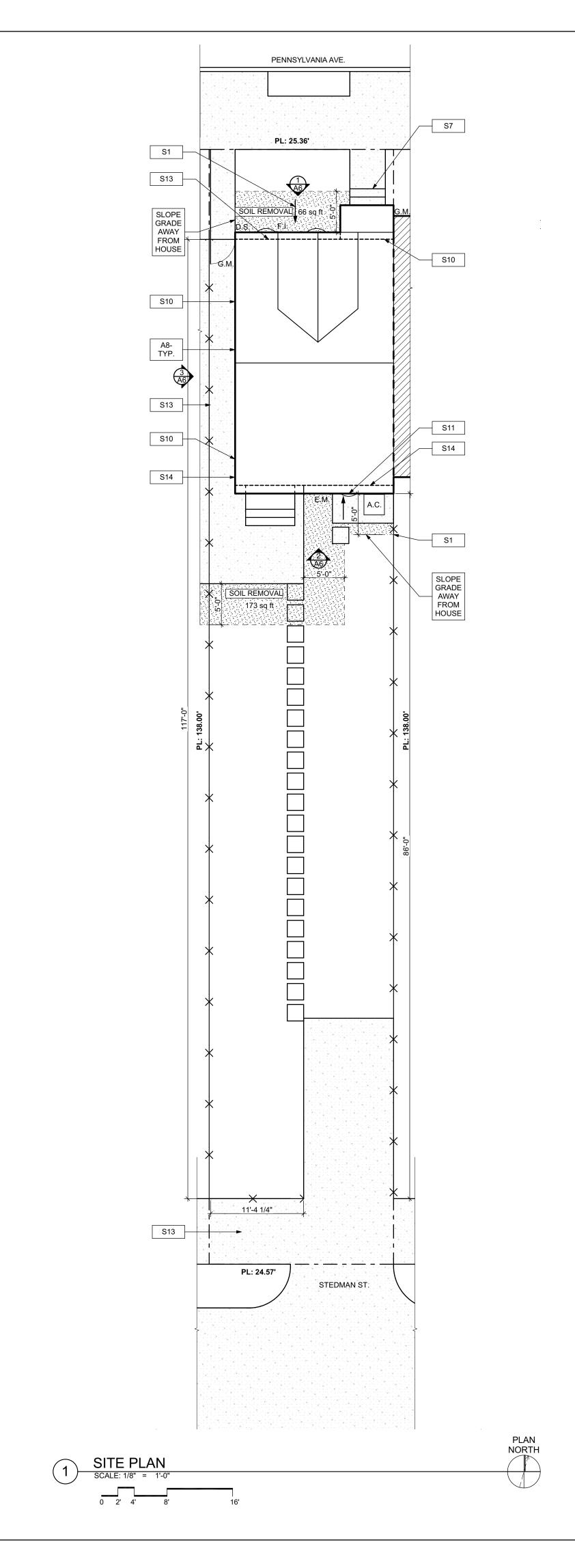


As Noted

Project #2006

May 6, 2022

date

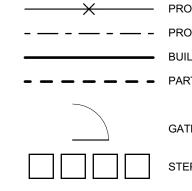


SCOPE REDUCTION: AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

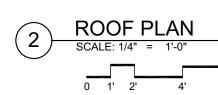
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

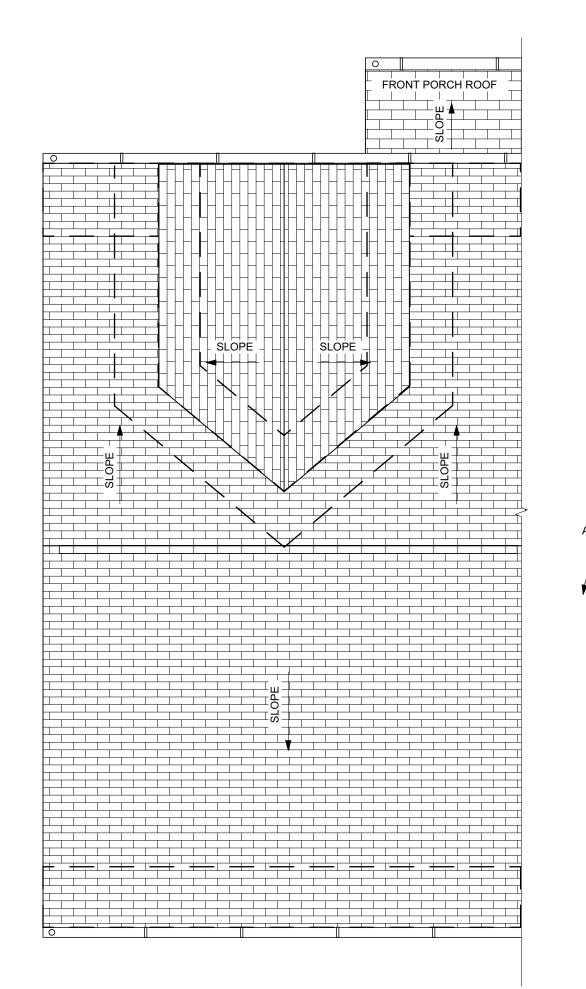
ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.

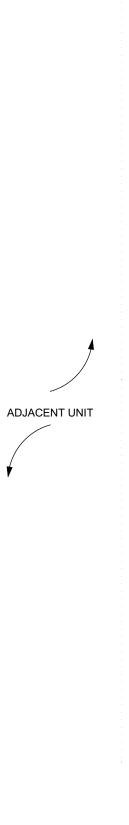
ROOF PLAN NOTES



ROOF AND SITE PLAN LEGEND







PLAN NORTH

ROPERTY FENCE	G.M.	GAS METER
ROPERTY LINE	F.I.	FRESH AIR INTAKE
JILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
ARTY WALL	E.M.	ELECTIC METER

GATE

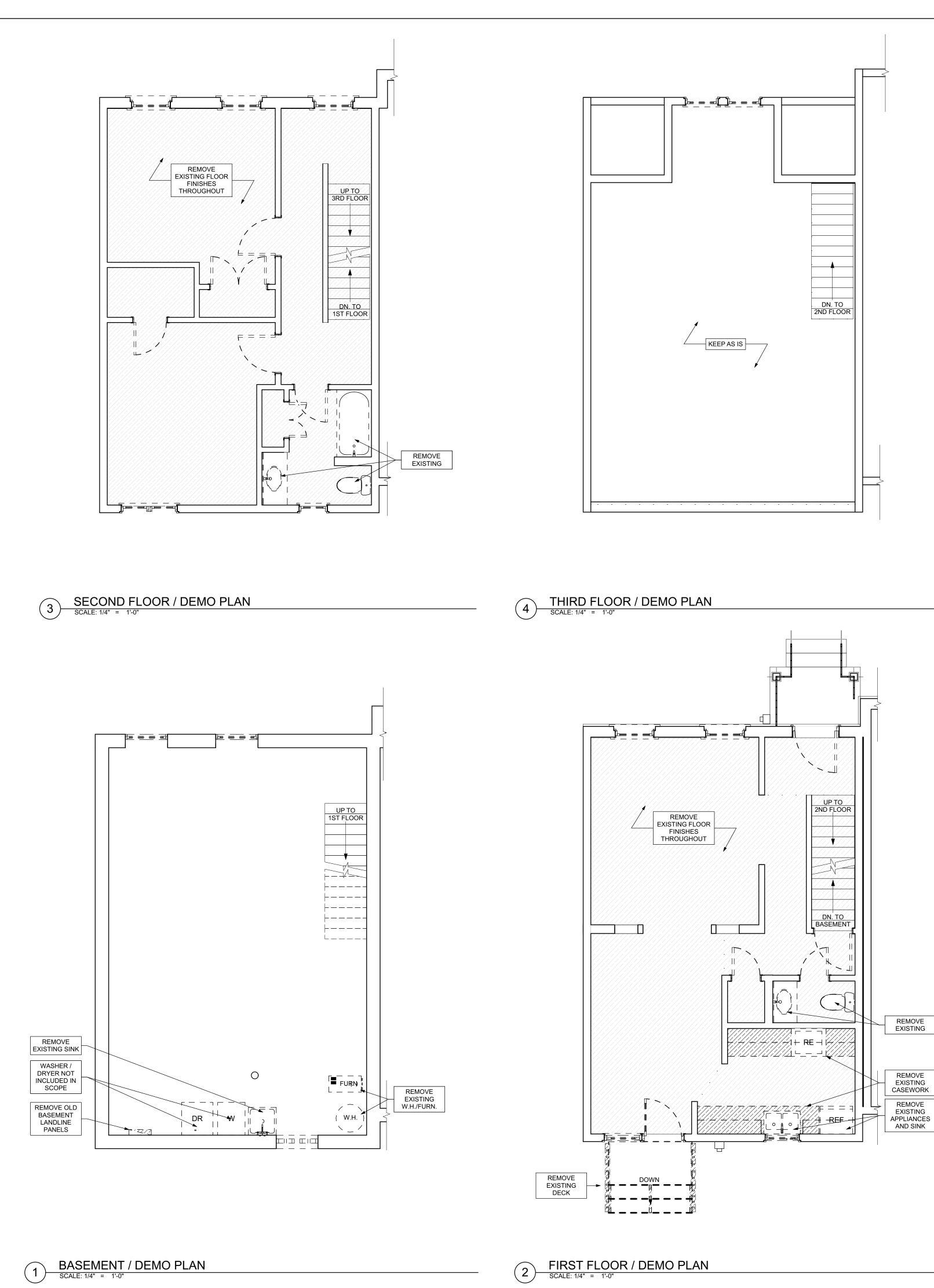
STEPPING CONCRETE PADS

- ICE WATER SHIELD

SITE PLAN NOTES

- 1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

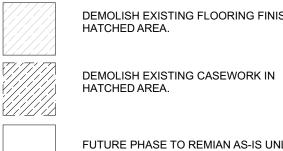
1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,	Fukui Architects P
<u> </u>	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street
	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 1521
	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.600
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL. AND PROVIDE	
٦	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND	
_	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"	
_	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A	
	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
-	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER	
	RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	general notes 1. Any conflicts in the drawings or between new an
DOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE,	2. Contractor shall verify all dimensions and existing
	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise Fukui Architec Pc of any discrepancies between, additions to, deletio
	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sca drawings.
	EXTERIOR WALL, SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	3. All work shall be installed in accordance with applicab codes and regulations.
	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	 Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and preparations of all existing floor.
]	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as required to receive scheduled finishes
	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	 All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.
	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	6. All reports, plans, specifications, computer files, fie data, notices, and other documents and instrumen
	NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED	prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL	retain all common law statutory, and other reserver rights, including the copyright thereto.
	WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER SPECIFICATIONS.	
	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
Т	SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN	
	SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
0	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD, DECICHT TO MATCH DEMOLISEED STAIP	• Owner:
	TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP
1	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES REFER TO	200 ROSS STREET
2	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN	PITTSBURGH,PA 15219
	MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
3	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING.	
_	PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE	
F	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REOLUBED. DURECTIONS TO	Project Location:
5	FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR	MANCHESTER SCATTERED SITES 1105 PENNSYLVANIA AVENUE
	WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	PITTSBURGH, PENNSYLVANIA
3	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
7	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	SITE PLAN, ROOF PLAN, ROOF
	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC
	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	SCALES, SMALL UNIT KEYNOTES
	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY, INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE	
7	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		date May 6, 2022
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GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRC
- WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED. 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE
- DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS. 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR
- PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION. 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT
- BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND



DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.

HATCHED AREA.

FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

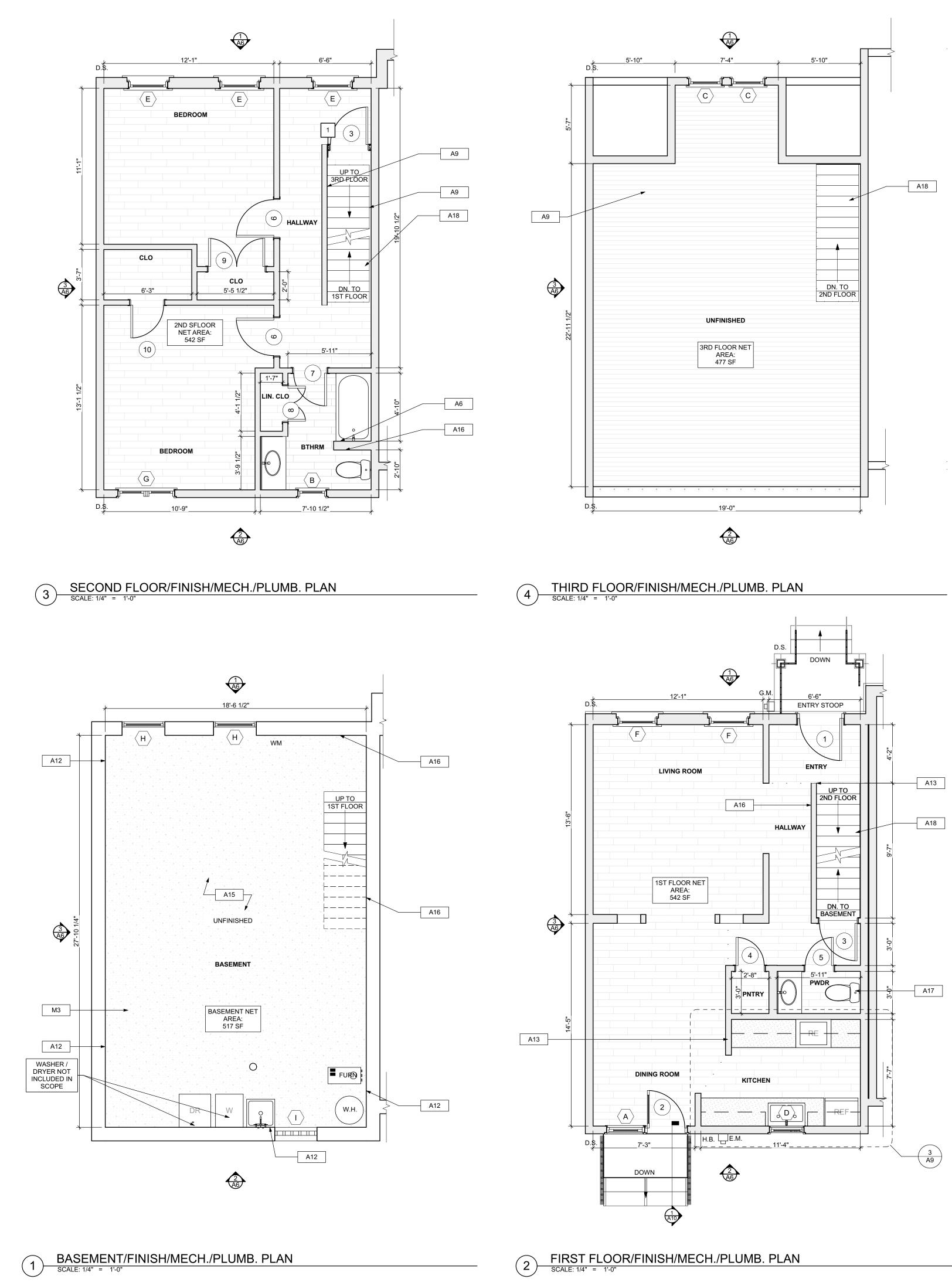
GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

> PLAN NORTH

SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	Fukui Architects Pc 205 Ross Street
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIME EXISTING TREE AWAY FROM BUILDING AS	seal
S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER	
S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
511	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12-0° MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE,	1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions
ARCHI	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
A2	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	3. All work shall be installed in accordance with applicable codes and regulations.
A3	FROM FACE OF CMU WALL. FOREPAND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	 All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.	material required for finished assemblies.6. All reports, plans, specifications, computer files, field
A6	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall
	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	retain all common law statutory, and other reserved rights, including the copyright thereto.
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS DED RECIFICATIONS. SCALL TRANSITION OF WALL	1105 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT / DEMO PLAN, FIRST
PLUMB	BING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR	FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES,
МЕСЦ	REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	DEMOLITION PLAN LEGEND,
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	GRAPHIC SCALES, SMALL UNIT KEYNOTES
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING	
M4	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE	
	WITH CORRECT SIZING AS NECESSARY.	scale As NotedSheet No.date
		May 6, 2022
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FLOOR PLAN LEGEND REF FRIDGE RE RANGE FURN GAS FURNANCE UTILITY SINK WASHER W NEW DOOR AND DOOR NUMBER 1 🛞 J W.H. WATER HEATER DOWN SPOUT D.S. □ E.M. ELECTRIC METER H.B. HOSE BIBB SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

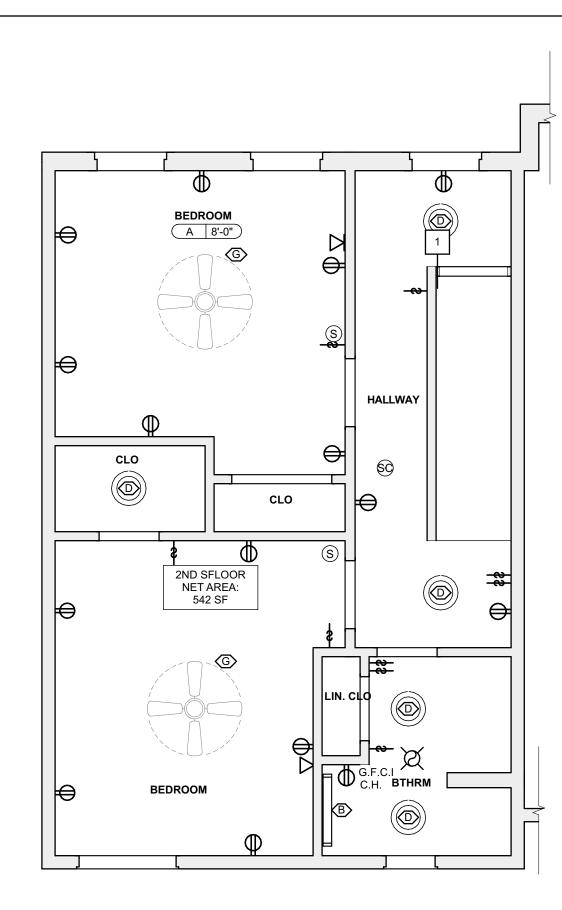
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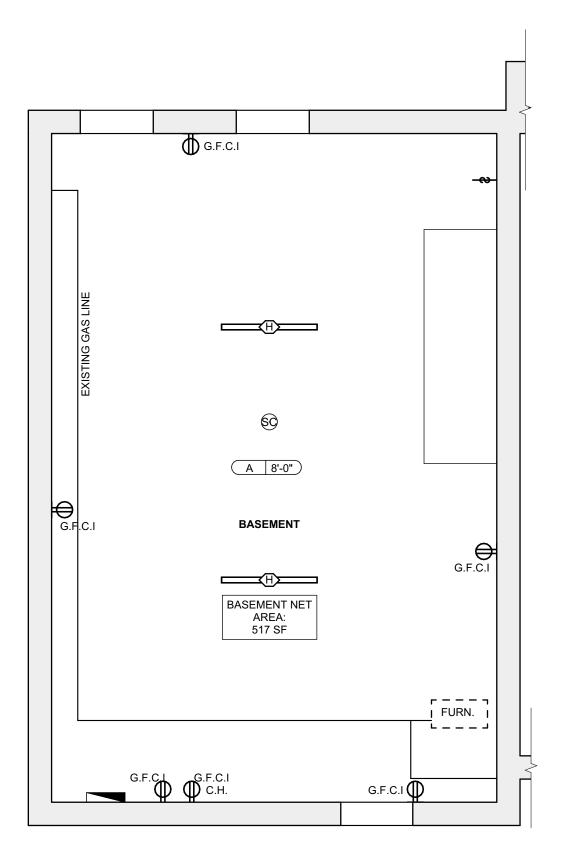
SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0".	Fukui Architects Po 205 Ross Street
S2	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 1521
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	ph 412.281.6001 fx 412.281.600
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION DEDUCTS UNIVERSITY OF A DESCRIPTION	©2022 Fukul Alchitects, Fe
<u>85</u>	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	seasea
S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10 S11	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
S12	DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN	
S13	THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	 Any conflicts in the drawings or between new a existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architect
ARCHIT	ELASHING, VENIS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise Fukui Architec Pc of any discrepancies between, additions to, deletio from, or alterations to any and all conditions prior proceeding with any phase of work Do not see
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	proceeding with any phase of work. Do not sca drawings.3. All work shall be installed in accordance with applicable
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	codes and regulations.Contractor shall be responsible for the patchin
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finishe
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install a
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	 material required for finished assemblies. 6. All reports, plans, specifications, computer files, fie data, notices, and other documents and instrument prepared by the Architect as instruments of service shaped by the Architect
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shares retain all common law statutory, and other reserver rights, including the copyright thereto.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	Owner:
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
A13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE	
A14	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	Project Location: MANCHESTER SCATTERED SITES
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	MANCHESTER SCATTERED SITES 1105 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED, PRIMER AND PAINT, NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS	drawing title
DI	REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT/FINISH/MECH./PLUM P DI AN EIDST
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB.
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	PLAN, SECOND
	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD
	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	FLOOR/FINISH/MECH./PLUMB.
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	PLAN, GRAPHIC SCALES, FLOOF PLAN LEGEND, SMALL UNIT
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	KEYNOTES
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale Shoot No.
		As Noted Sheet No.
		May 6, 2022
		- A0

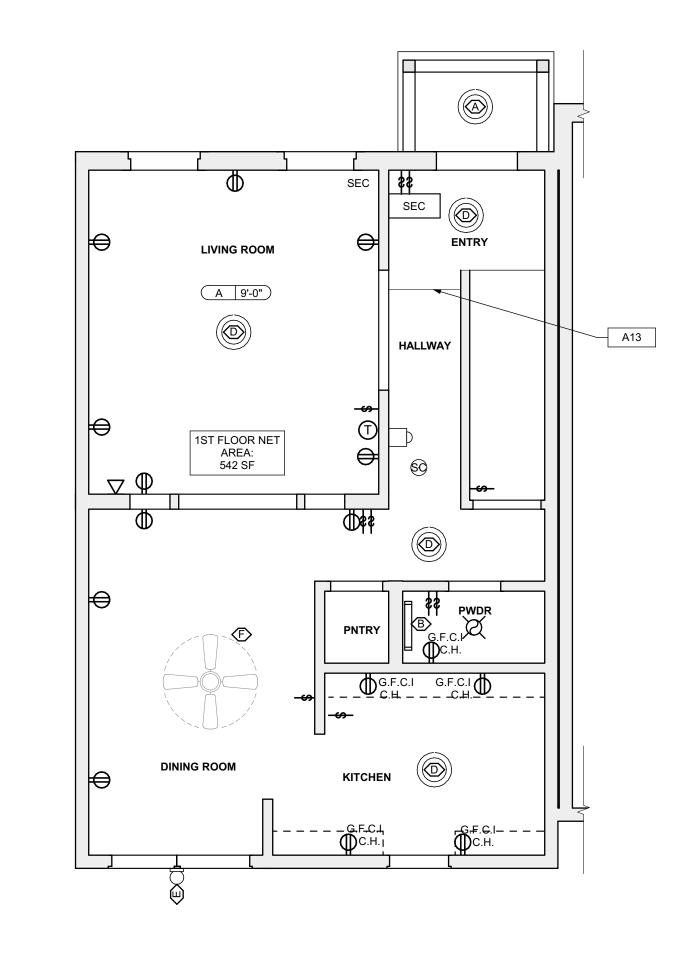
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Project #2006



3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN SCALE: 1/4" = 1'-0"

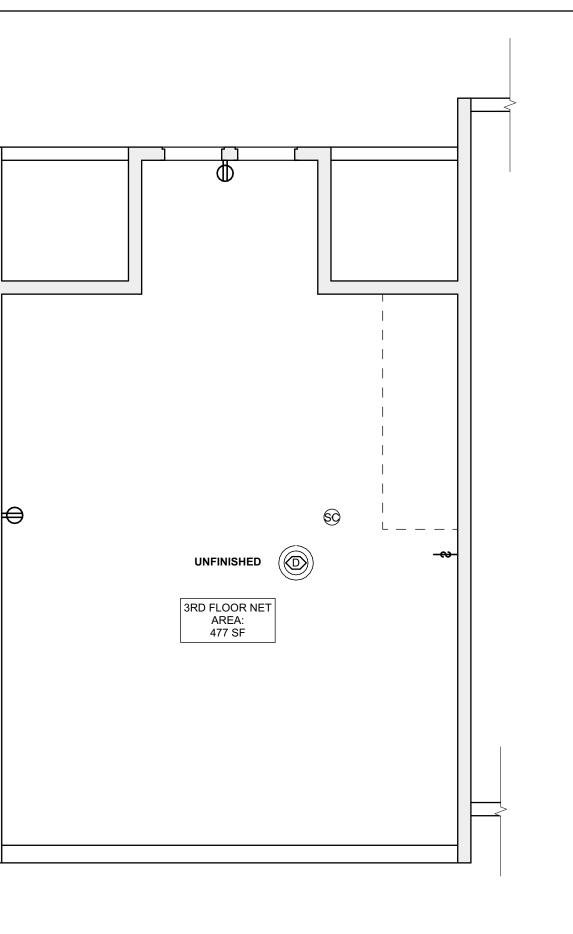








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		Lightin	g Schedule		
SYMBOL	Element ID TYPE		MANUFACTURER OR EQUIVALENT	MODEL NUMBER	Quantity
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
$\overline{\bigcirc}$	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

THIRD FLOOR REFL. CLG./ POWER / DATA PLAN

RCP LEGEND - (See Specifications for basis <u>of Design)</u>

- SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SC SMOKE/ CARBON MONOXIDECOMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N. **₩** CH

- LIGHT SWITCH
- X EXHAUST FAN
- DOORBELL
- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

0 1' 2'

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

> PLAN NORTH

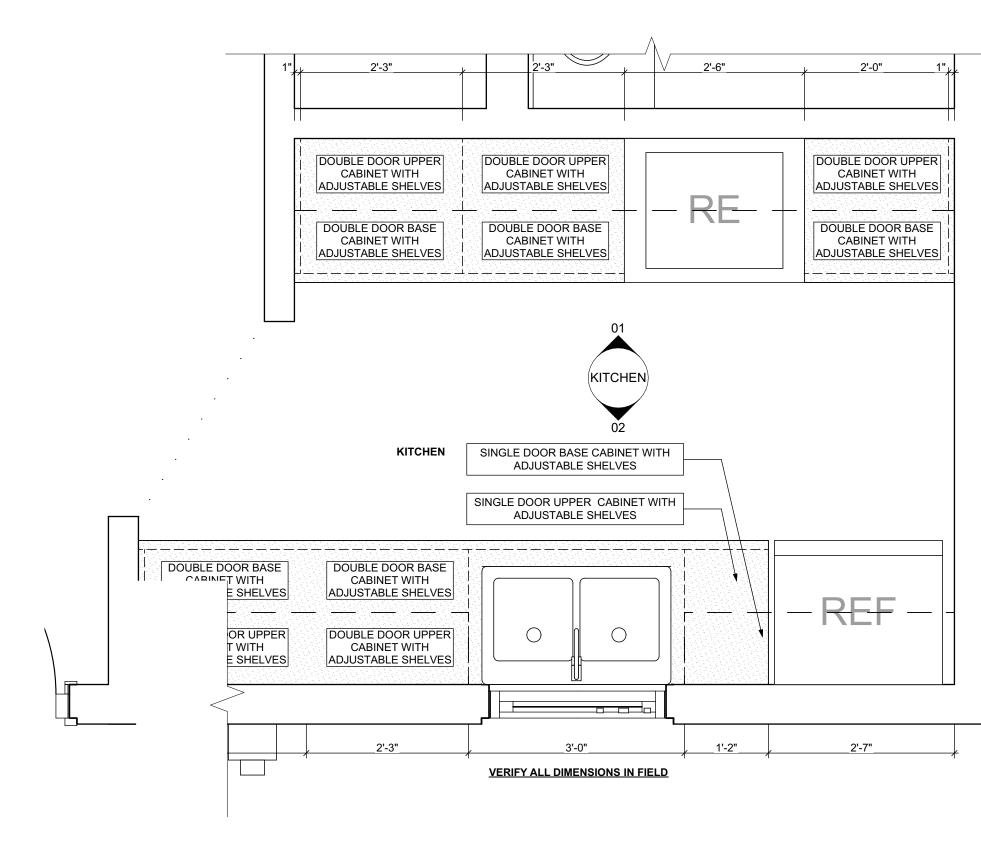
SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	Fukui Arc 2 0 5 Ross Pittsburgh, Penn	Street
S2 S3	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	ph 412.281.6001	•
	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND	©2022 Fukui Arc	chitects, Pc
	RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.		
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.		
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS		seal
S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER		-
S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.		
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER		
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'0" MIN.		
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.		
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.		general notes drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall veri conditions in the field a	hall be referred to the Architect. fy all dimensions and existing and shall advise Fukui Architects , es between, additions to, deletions
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to	any and all conditions prior to phase of work. Do not scale
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	-	lled in accordance with applicable
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	repairing, and preparati	responsible for the patching, ions of all existing floor, wall, and ired to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	5. All items shown on diassemblies. Contract	rawings are finished construction or shall provide and install all
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and ot	nished assemblies. ecifications, computer files, field her documents and instruments ect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER	remain the property of	the Architect. The Architect shall w statutory, and other reserved
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERM	MIT: 05.06.2022
A8 A9	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.		
	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	—	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:	
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREE PITTSBURGH,PA	
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT		
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.		
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Loca MANCHESTER S	tion: CATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	1105 PENNSYLVA PITTSBURGH, PI 15233	ANIA AVENUE
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED, PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	13233	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BSMT. REFL. CL	G/ POWER / DATA
PLUMB	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	PLAN, FIRST FLO POWER / DATA P	OOR REFL. CLG. / LAN, SECOND
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR REFL. CI	LG. / POWER / RD FLOOR REFL.
MECHA	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION	LEGEND, LIGHT GRAPHIC SCALE	ING SCHEDULE,
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	KEYNOTES	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.		
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted	Sheet No.
		date May 6, 2022	
		no. of. 12	A7
			Project #2006



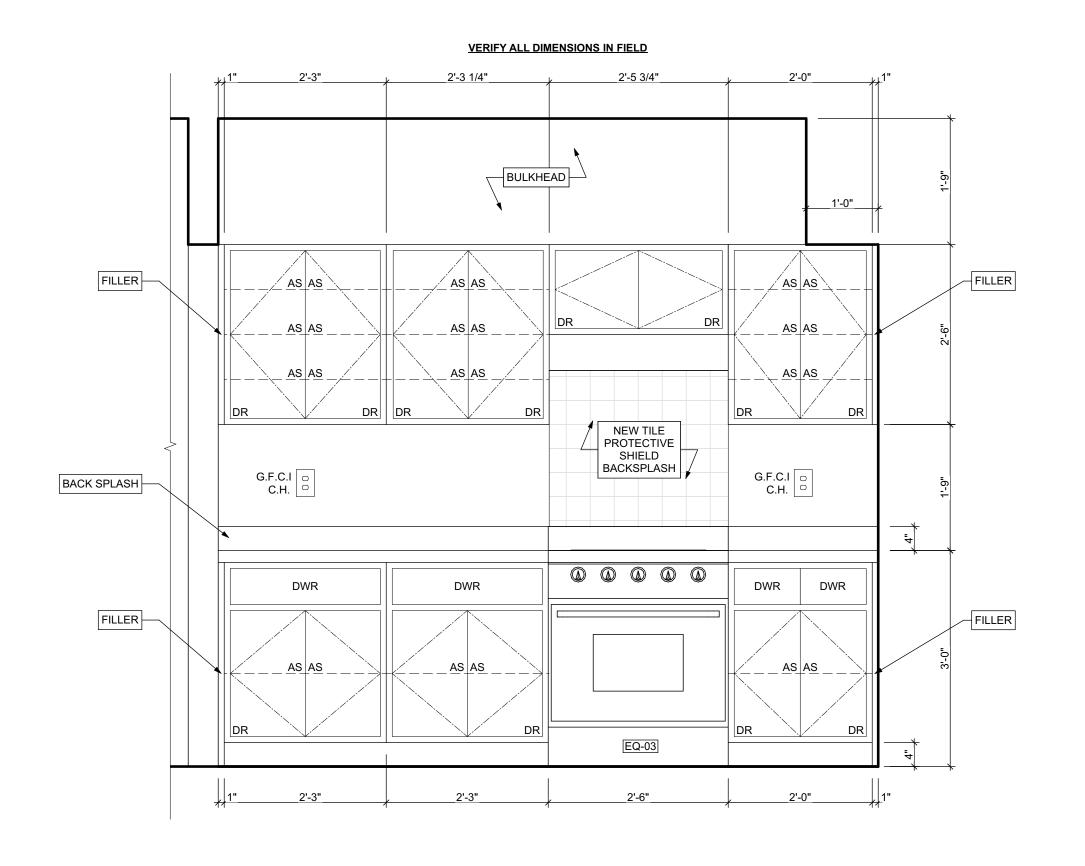
SITE	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,	Fukui Architects P
<u>.</u>	AT LOCATION SHOWN, REMOVE 4*+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Stree
	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	seasea
	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	
	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
DOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.
]	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architece Pc of any discrepancies between, additions to, deletion
	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sc : drawings.
7	EXTERIOR WALL SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	3. All work shall be installed in accordance with applical codes and regulations.
	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a collar or preparation of all existing floor, wall, a
	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	 ceiling surfaces as required to receive scheduled finishe 5. All items shown on drawings are finished construction assemblies — Contractor shall provide and install
٦	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install material required for finished assemblies.6. All reports, plans, specifications, computer files, file
_	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instrumen prepared by the Architect as instruments of service sh
	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect sharetain all common law statutory, and other reserverights, including the copyright thereto.
	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project titl
0	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	• Owner:
1	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
2	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
3	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
1	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
5	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1105 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
3	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
7	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
UMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	NORTH ELEVATION, SOUTH ELEVATION, WEST ELEVATION,
	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART, REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	GRAPHIC SCALES, SMALL UNIT KEYNOTES
	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	~
ECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022
		12 A8
		Project #2006

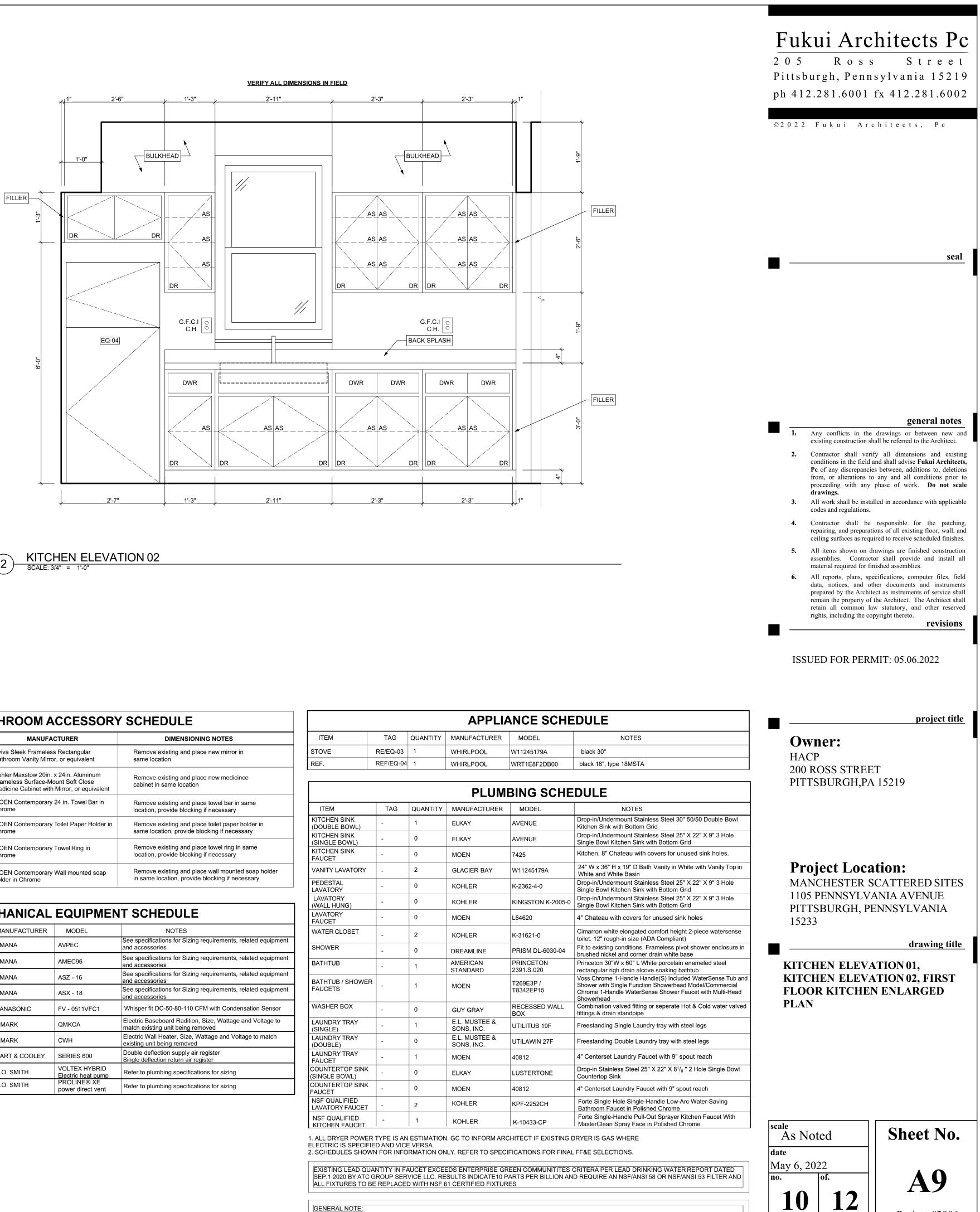


3 FIRST FLOOR KITCHEN ENLARGED PLAN SCALE: 3/4" = 1'-0"









(2)

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
VALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

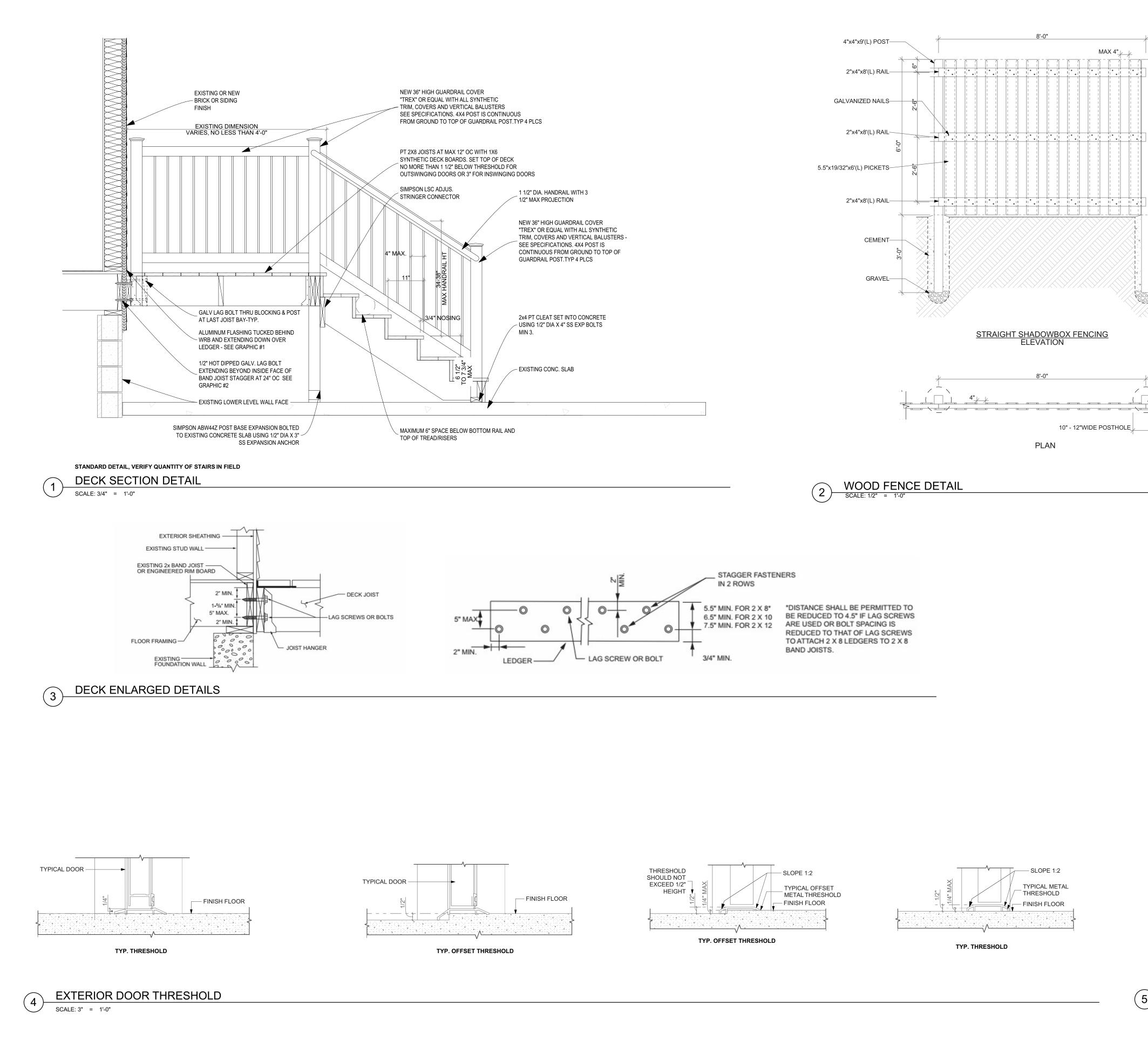
MECHANICAL EQUIPMENT SCHEDULE						
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES	
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories	
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories	
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories	
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories	
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor	
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed	
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed	
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register	
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing	
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing	

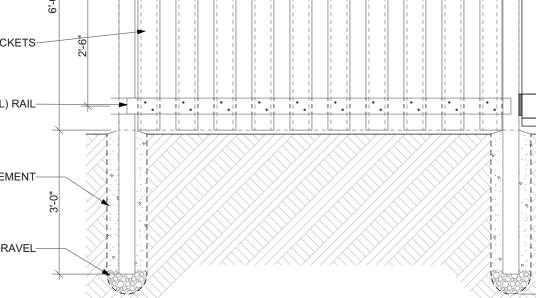
STOVE	RE/EQ-03	1
REF.	REF/EQ-04	1
ITEM	TAG	QI
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	0
KITCHEN SINK FAUCET	-	0
VANITY LAVATORY	-	2
PEDESTAL LAVATORY	-	0
LAVATORY (WALL HUNG)	-	0
LAVATORY FAUCET	-	0
WATER CLOSET	-	2
SHOWER	-	0
BATHTUB	-	1
BATHTUB / SHOWEF FAUCETS	۶ _	1
WASHER BOX	-	0
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	0
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	0
COUNTERTOP SINK FAUCET	-	0
NSF QUALIFIED	-	2

GENERAL NOTE: SPECIFICATION

MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY " AND MAY BE SUBSTITUTED WITH EQUIVALENT

Project #2006



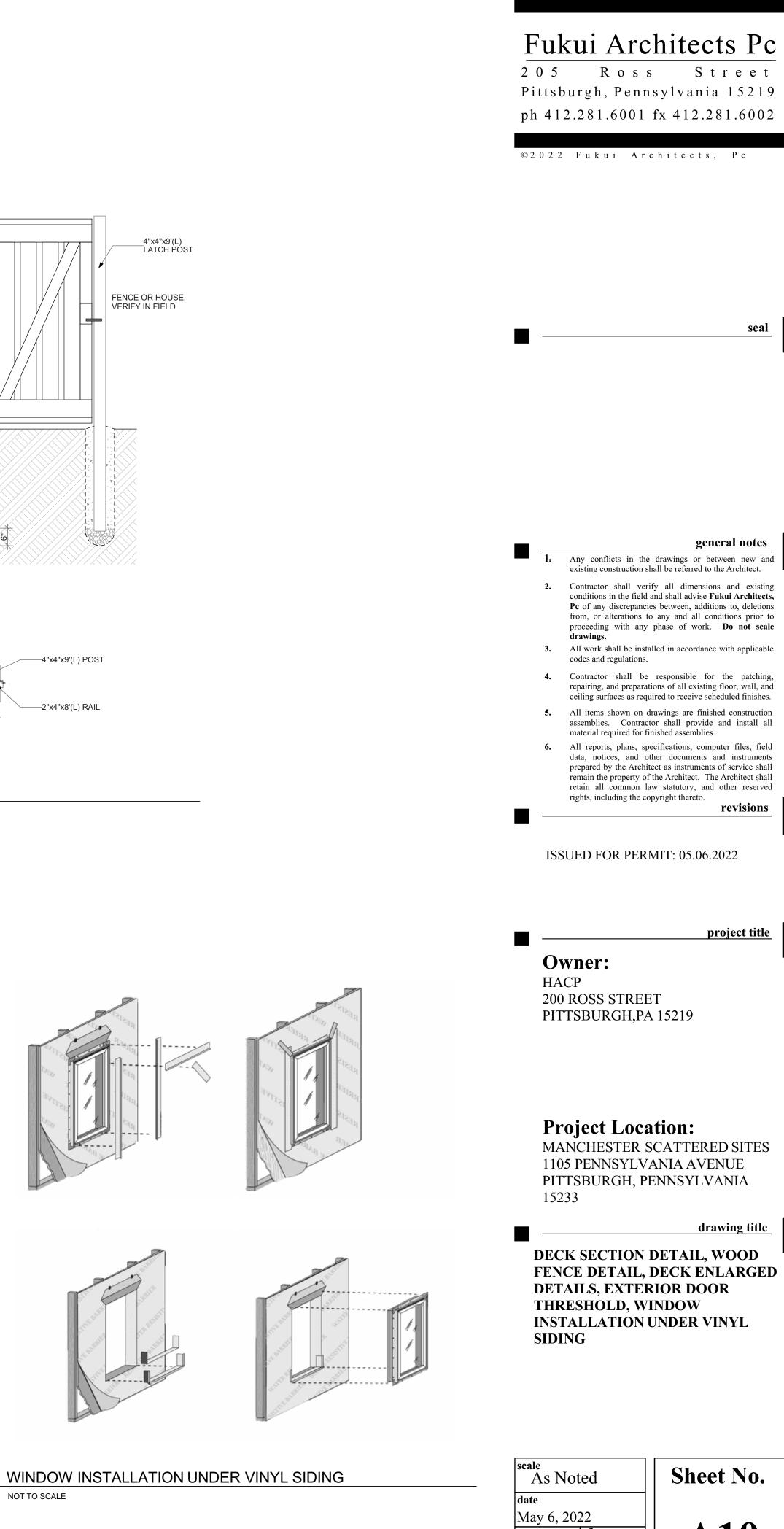




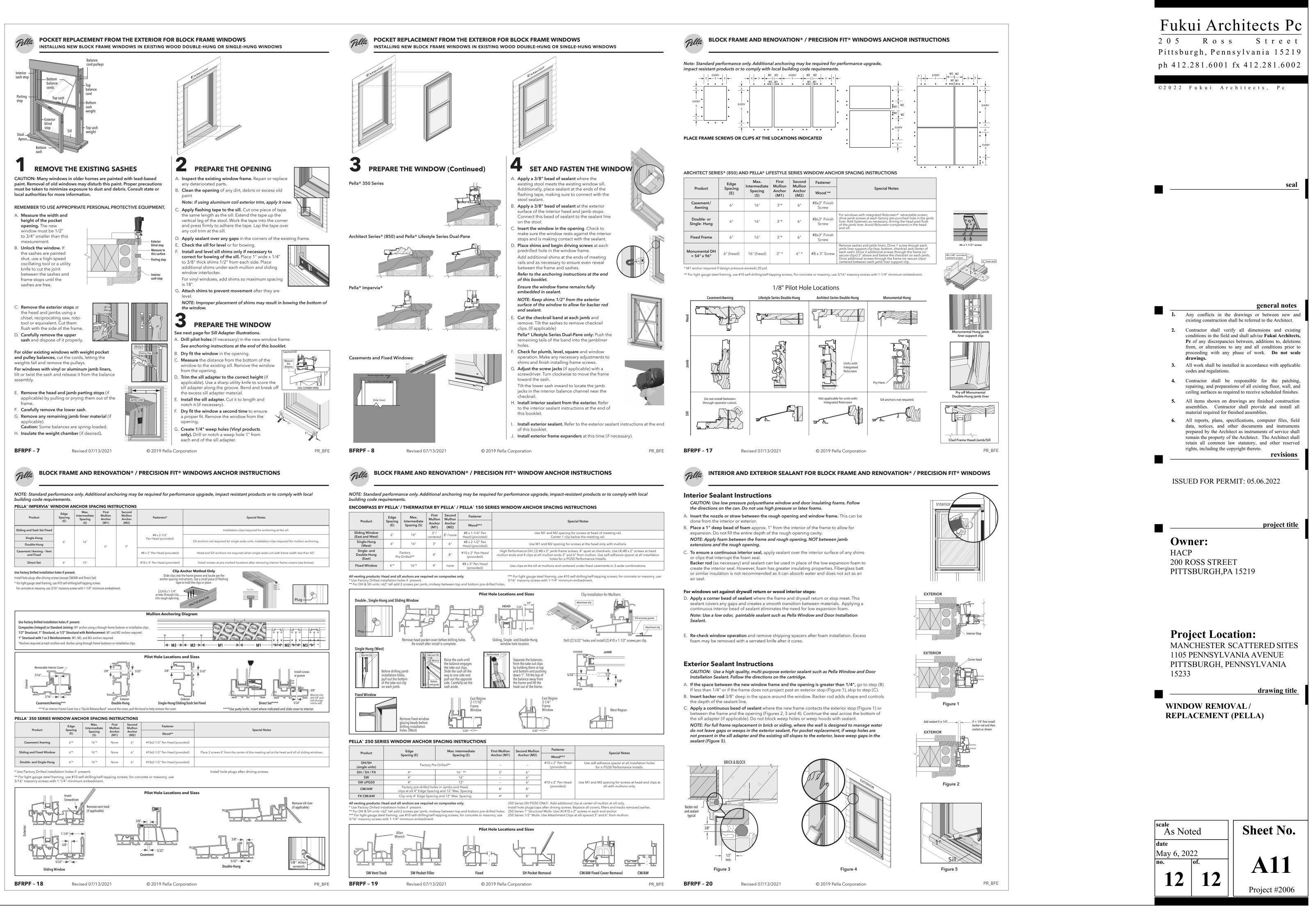
MAX 4"_____



NOT TO SCALE



A10 12 11 Project #2006



PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

As the **DESIGN ARCHITECT**, I certify that:

Development Amenities

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments. with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. (schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	 The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item. Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion. <u>New Construction</u>: For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) 	X The Fair Housing Act of 1988 & Fair Housing Desig X ANSI A117.1-2009 (or edition currently adopted by X Pennsylvania Uniform Construction Code X Uniform Federal Accessibility Standards (UFAS) X Section 504 of the Rehabilitation Act of 1973 X 2010 ADA Standards for Accessible Design X Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.) NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	 For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) <u>Preservation (Moderate Rehab)</u> *: For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) *Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation. 	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	 NOTE: Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. 	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completio All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- ____X When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable	205 Ross Stree Pittsburgh, Pennsylvania 152 ph 412.281.6001 fx 412.281.60
<form></form>	©2022 Fukui Architects, Pc
SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) DESIGN ARCHITECT, I certify that for preservation developments:	 Any conflicts in the drawings or between new existing construction shall be referred to the Architect Contractor shall verify all dimensions and exist conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prior proceeding with any phase of work. Do not set the prior of the prior of the prior of the phase of work.

Project Location:

MANCHESTER SCATTERED SITES 1103 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

SELECTION CRITERIA, THRESHOLD CRITERIA, **TABULAR SCHEDULE**

TABULAR AREA UNIT SCHEDULE					
UNIT # GROSS AREA (SF) NET AREA (SF)					
SFR	2,212	1,940			

scale As Noted	Sheet No.
date May 6, 2022	
no. of.	
	Project #2006

MANCHESTER SCATTERED SITES

HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1103 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 **3 BEDROOM UNIT**

Drawing Index A0 PHFA DOCUMENTS

SELECTION CRITERIA

THRESHOLD CRITERIA TABULAR SCHEDULE

	TABULAR SCHEDULE
A1 COVER SHEET	ſ
	ARCH PRLIM SET
	CODE AND CONTACT INFO
	MANCHESTER SCATTERED SITES MAP
A2 ABBREVIATIO	NS AND MATERIALS
	ABBREVIATIONS AND MATERIALS
	DOOR SCHEDULE (WITH EXISTING)
	WINDOW SCHEDULE
	DOOR TYPES
	FINISH SCHEDULE
	BRICK WALL SECTION
	SIDING WALL SECTION
	INTERIOR STAIR DETAIL
A3 SCOPE / GENE	RAL / GREEN COMMUNITY NOTES
	ENERGY NOTES
	GENERAL NOTES
A4 SITE PLAN AN	
	ROOF PLAN
	SITE PLAN
	ROOF PLAN NOTES
	ROOF AND SITE PLAN LEGEND
	GRAPHIC SCALES
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
A5 FLOOR / DEM	
ASTEOOR / DEWN	GENERAL DEMOLITION NOTES
	DEMOLITION PLAN LEGEND
	GRAPHIC SCALES
	THIRD FLOOR / DEMO PLAN
	SECOND FLOOR / DEMO PLAN
	BASEMENT / DEMO PLAN
	FIRST FLOOR / DEMO PLAN
	SMALL UNIT KEYNOTES
A6 FLOOR/FINISF	I/MECH./PLUMB. PLANS
	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
	BASEMENT/FINISH/MECH./PLUMB. PLAN
	GRAPHIC SCALES
	FLOOR PLAN LEGEND
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
A7 REFLECTED C	CEILING / POWER / DATA PLANS
	RCP LEGEND
	BSMT. REFL. CLG./ POWER / DATAPLAN
	THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
	FIRST FLOOR REFL. CLG./ POWER / DATA PLAN
	SECOND FLOOR REFL. CLG./ POWER / DATA PLAN
	LIGHTING SCHEDULE
	SMALL UNIT KEYNOTES
A8 ELEVATIONS	
	NORTH ELEVATION
	SOUTH ELEVATION
	GRAPHIC SCALES
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES

A9 KITCHEN ENLARGED PLANS AND ELEVATIONS

A10 DETAILS

KITCHEN ELEVATION 02 KITCHEN ELEVATION01

DECK ENLARGED DETAILS

DECK SECTION DETAIL EXTERIOR DOOR THRESHOLD

WOOD FENCE DETAIL

FIRST FLOOR KITCHEN ENLARGED PLAN

WINDOW INSTALLATION UNDER VINYL SIDING

Code Conformance Information

Applicable Codes	
General:	2015 In
	2015 In
Accessibility:	2009 IC
Energy:	2015 Int
Electrical:	2014 NI
Fire:	2015 Int
Fuel Gas:	2015 In
Mechanical:	2015 In
Plumbing:	2017 Al
Fire Alarm:	2013 NI
Sprinkler:	2013 NI
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R_2"

Occupancy Group Stories: Gross Area: Construction Type Sprinklers: Smoke detector:

"R-2' 1,940 sqft None

Contact Schedule

forward questions as appropriate to the consulting engineers.

Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic

Building Owner:

Architect: Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA

General Description of Work

- Notes on Sheet A-3.
- Architectural Scope Notes. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

offs.

nternational Building Code International Building Code CC/ANSI A117.1 nternational Energy Conservation Code NEC (NFPA 70) nternational Fire Code International Fuel Gas Code nternational Mechanical Code

Allegheny County Health department Plumbing Code NFPA 72 NFPA 13

2 alteration per the IEBC

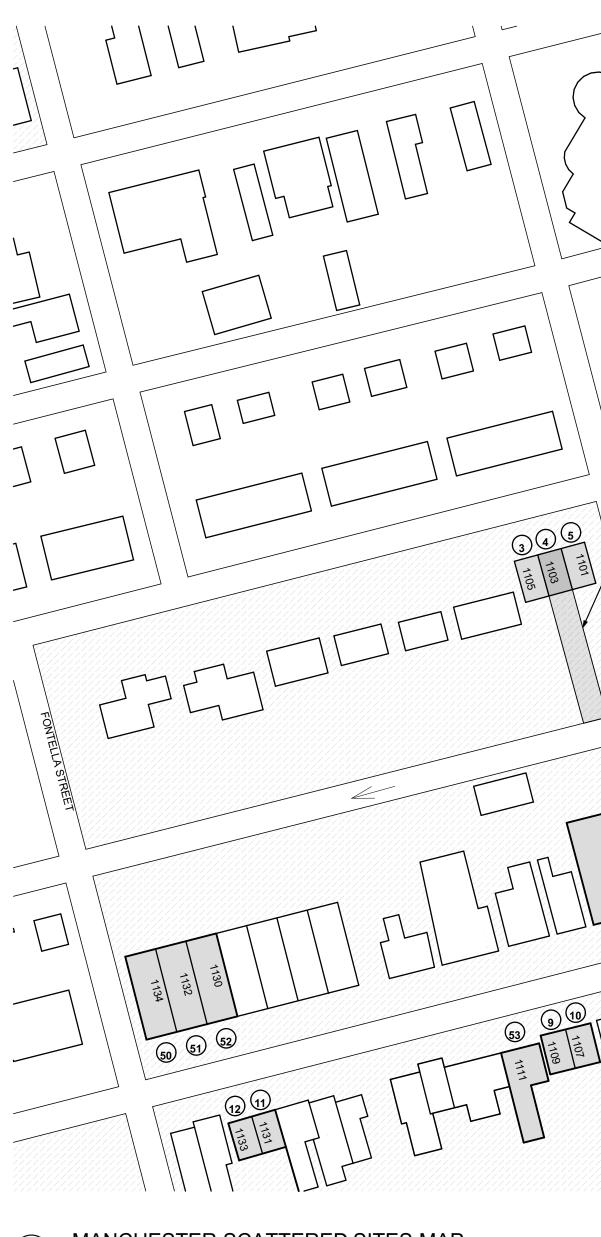
3 story with basement

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will

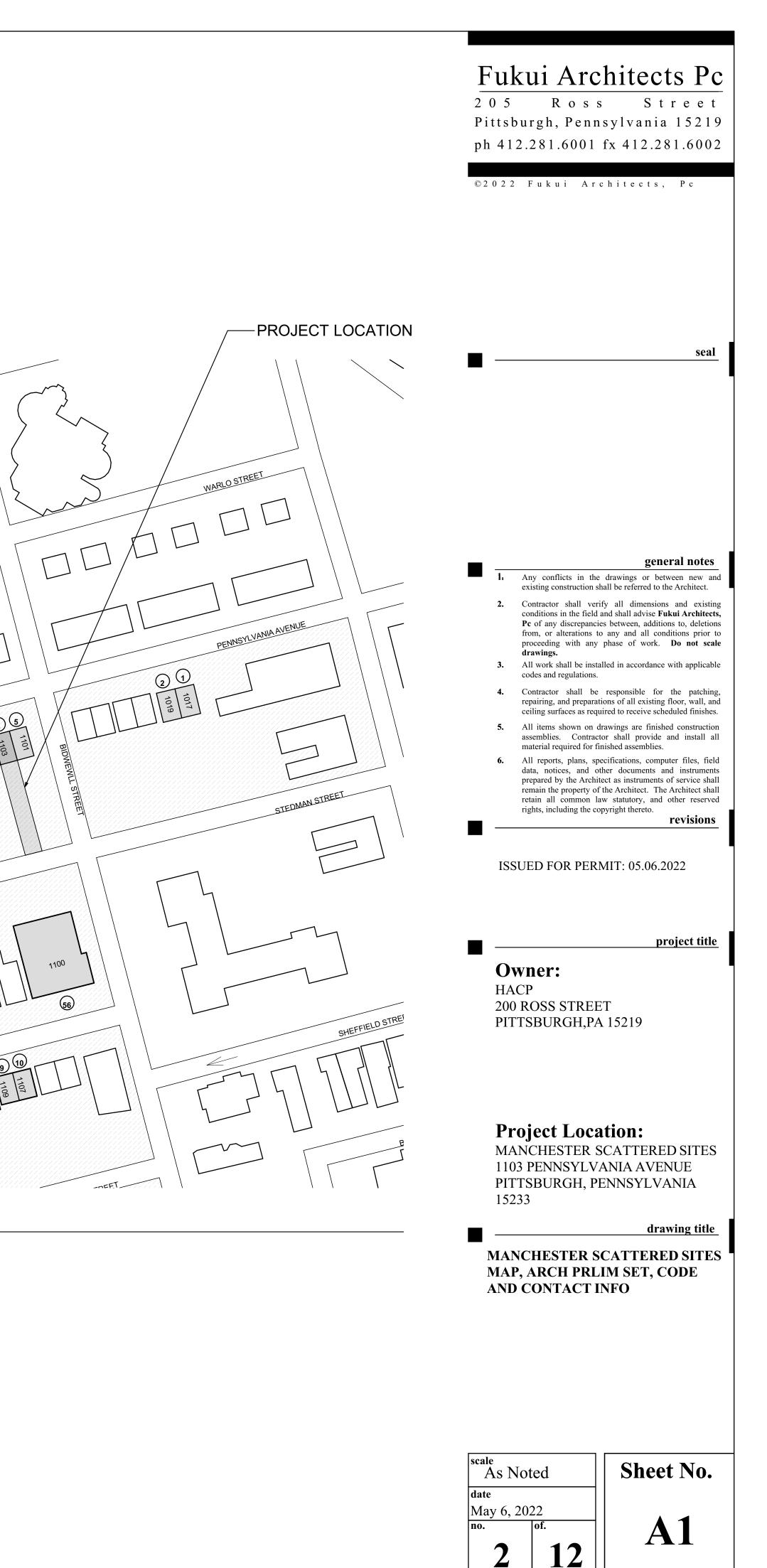
Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-



MANCHESTER SCATTERED SITES MAP NOT TO SCALE



Project	#20	06

DT ALL MATERIA	LS USED					MISC.	Miscellaneous
Y77AN		A.F.F.	Above Finish Floor	ELEV.	Elevation		
	EARTH	A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
	EARIN	ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
		A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	0.0	On Contor
		ADH.	Adhesive	EXP.	Expansion	O.C. OPP.	On Center
	COMPACTED STONE FILL	ADJUST.	Adjustable	E.J.	Expansion Joint		Opposite Overhead
· · · · · · · · ·		A/C	Air Conditioning	ESH	Exterior Sheathing	O.H.	Overnead
		ALT.	Alteration	EXIST.	Existing	PR.	Pair
9	CONCRETE	ALTN.	Alternate	EXP.	Exposed	PLAS.	Plaster
		ALUM.	Aluminum	EXT.	Exterior	PLAS.LAM.	Plastic Laminate
		A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	P.C.	Plumbing Cont
	STEEL	APPROX.	Approximate	500		PLYWD.	Plywood
		ARCH.	Architectural	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
		ASB.	Asbestos	F.F.	Finish Floor	P.V.C.	Polyvinyl Chlori
	RIGID INSULATION	ASPH.	Asphalt	FIN.FLR.	Finish Floor		Prefabricated
		AUTO.	Automatic	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	Prefabricated
		AVG.	Average	F.E.	Fire Extinguisher	RE.	Defer To
< 1	BLOCKING		-	FLR.	Floor	REF.	Refer To
		BLK.	Block	F.D.	Floor Drain		Refrigerator
$\overline{}$		BD.	Board	FTG.	Footing	R.C.P.	Reinforced Con
Λ		BOT	Bottom		-	REINF.	Reinforcement
XX	BATT INSULATION	BLDG	Building	GA.	Gauge	RD.	Roof Drain
			<u> </u>	G.C.	General Contractor	RM.	Room
		C.I.P.	Cast In Place	G.F.I.	Ground Fault Interrupter	S.A.T.	Suspended Acc
	GYPSUM WALL BOARD	C.B.	Catch Basin	GYP.	Gypsum	SCHED.	
		CEM.	Cement	G.W.B.	Gypsum Wall Board		Schedule
		CER.	Ceramic	GSH	Gypsum Sheathing	SHT.	Sheet
	WOOD	CG	Corner Guard	0.511	Gypsum sneutring	SIM.	Similar
		C.M.T.	Ceramic Mosaic Tile	H/C	Handicap	S.C.	Solid Core
777		C.W.T.	Ceramic Wall Tile	H.V.A.C.	Heating, Ventilation &	SPECS.	Specifications
		C.O.	Cleanout	HT	Height	SQ.	Square
$\langle \langle \langle \rangle \rangle$	PLYWOOD SHEATHING			HC	Hollow Core	S.F.	Square Foot
~~~		Ę	Center Line	H.M.	Hollow Metal	S.S.	Stainless Steel
		CLO.	Closet	HORIZ.	Horizontal	STL.	Steel
	SPRAY FOAM INSULATION	C.W.	Cold Water	HR.		STOR.	Storage
		CLG.	Ceiling	HR. H.W.	Hour	STRUCT.	Structural
		CLR.	Clearance	Π.ΨΨ.	Hot Water		
		COL.	Column			TEL.	Telephone
		CONC.	Concrete	IN.	Inch	THK.	Thick
		C.M.U.	Concrete Masonry Unit	I.M.	Insulated Metal	T.B.D.	To Be Determir
		CONT.	Continuous	INSUL.	Insulation or Insulated	T&G	Tongue & Groc
		CORR.	Corridor	INT.	Interior	Т.О.	Top Of
		C.M.P.	Corrigated Metal Pipe	INV.	Invert	T.G.	Top Of Grade
		CRS.	Courses	ISO.	Isolation	T.O.S.	Top Of Steel
						TYP.	Typical
		DIA.	Diameter	JAN.	Janitor's Closet	UNFIN.	Unfinished
		DET	Detail	J.T.	Joint	UNFIN. U.N.O.	Unless Noted C
		DGL	Dens Glass Gold			U.N.U.	Unless Noted C
		DR.	Door	LAM.	Laminate	V.B.	Vapor Barrier
		DN.	Down	LAV.	Lavatory	VERT.	Vertical
		D.S.	Downspout	LG.	Long	VEST.	Vestibule
		D.S. DWG.				VEST. V.C.T.	Vinyl Composit
			Drawing	M.D.F.	Medium Density Fiberboard	V.C.1. V.I.F.	Verify In Field
		D.F.	Drinking Fountain	M.D.H.	Magnetic Door Holder	vl.	. enty in Field
		D.I.P.	Ductile Iron Pipe	M.D.H. M.H.	Manhole	W.H.	Water Heater
					Manufacturer	W.R.B.	Water Resistan
		EA.	Each	MFGR.	Maximum	W.W.F.	Welded Wire Fa
		E.W.	Each Way	MAX.		WIN.	Window
		ELEC.	Electrical	MECH.	Mechanical	W/	With
		E.C.	Electrical Contractor	MET.	Metal	W/O	Without
		EL.	Elevation	MIN.	Minimum	WD.	Wood

ELEVATION HEIGHT T.O. FINISH FLOOR

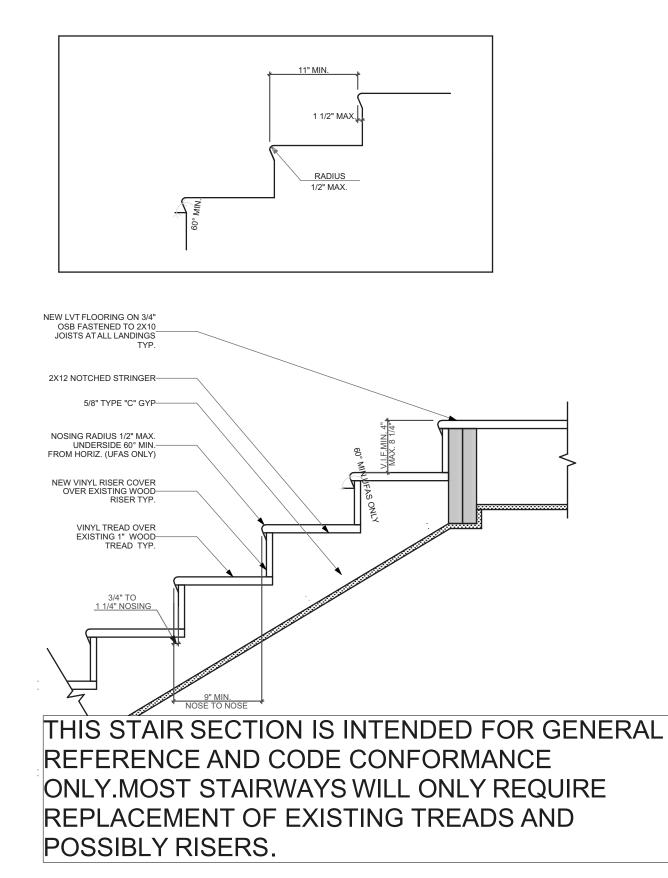
ELEV: 0'-0" PLAN NORTH ARROW NORTH  $(\uparrow)$ 

## DRAWING TITLE Title SCALE: 1/8" = 1' - 0" NOTE LEADER NOTE

INTERIOR ELEVATION MARKER 4 (A-000) 2

ABBREVIATIONS AND MATERIA	<b>L</b> S

(1)



WINDOW SCHEDULE						
	SIZE					TEMPEDER
ID	WIDTH	HEIGHT	HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
А	2'-8"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS		×
В	2'-0"	3'-3"	2'-0"	VINYL CLAD WOOD		
С	2'-4"	4'-4"	7'-4"	VINYL CLAD WOOD		
D	2'-5"	4'-0"	7'-11"	VINYL CLAD WOOD		
Е	2'-9"	4'-6"	2'-0"	VINYL CLAD WOOD		
F	2'-9"	5'-0"	2'-5"	VINYL CLAD WOOD		
G	4'-0"	4'-5"	2'-0"	VINYL CLAD WOOD		
Н	3'-0"	1'-9"	8'-1"	VINYL CLAD WOOD	×	
I	3'-0"	2'-0"	8'-6"	VINYL CLAD WOOD		
	LL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING /INDOW OPENINGS					

### ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE					
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPEC
1	3'-0"×7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	2'-8"×7'-0"	11	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"×6'-8"		WOOD	WOOD	PASSAGE
4	2'-0"×6'-8"		WOOD	WOOD	PASSAGE
5	2'-0"×6'-8"	III	WOOD	WOOD	PRIVACY
6	2'-8"×6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4"×6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6"×6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0"×6'-8"	IV	WOOD	WOOD	PASSAGE
10	2'-4"×6'-8"		WOOD	WOOD	PASSAGE
11	2'-6"×6'-8"	ш	WOOD	WOOD	PASSAGE

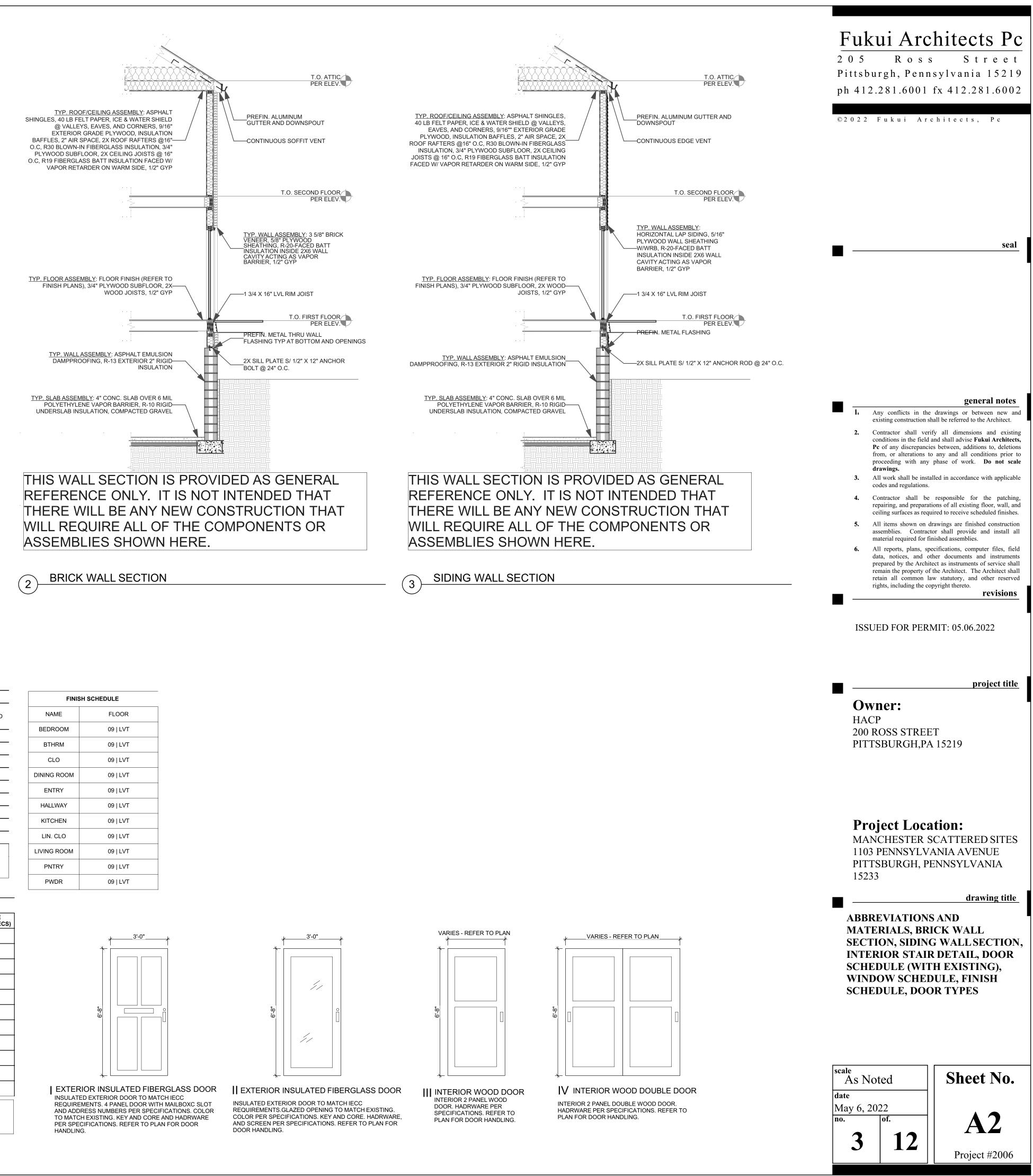
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.



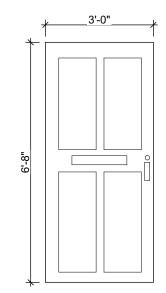
mined Groove

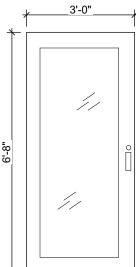
ed Otherwise

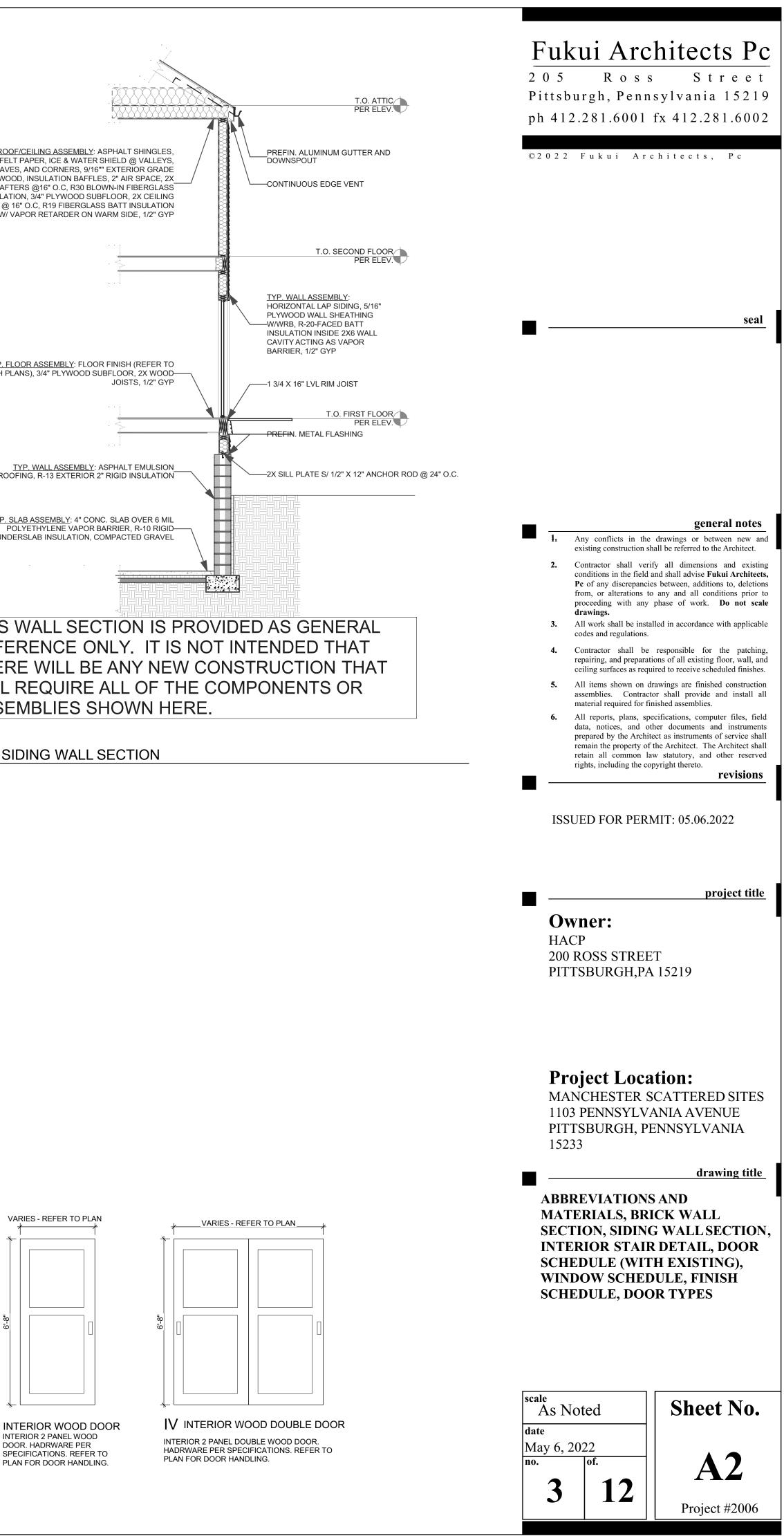
osition Tile stant Barrier e Fabric



FINISH SCHEDULE				
NAME	FLOOR			
BEDROOM	09   LVT			
BTHRM	09   LVT			
CLO	09   LVT			
DINING ROOM	09   LVT			
ENTRY	09   LVT			
HALLWAY	09   LVT			
KITCHEN	09   LVT			
LIN. CLO	09   LVT			
LIVING ROOM	09   LVT			
PNTRY	09   LVT			
PWDR	09   LVT			







## **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

### MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

### ELECTRICAL SCOPE NOTES

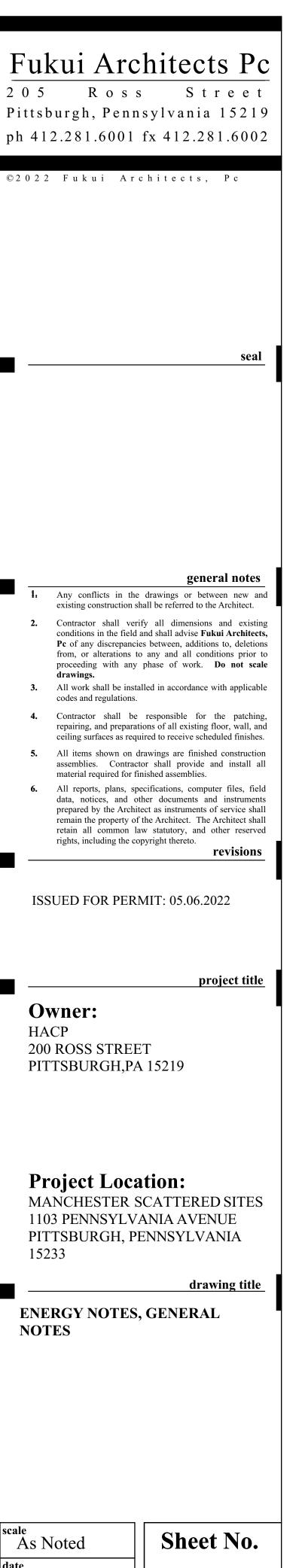
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

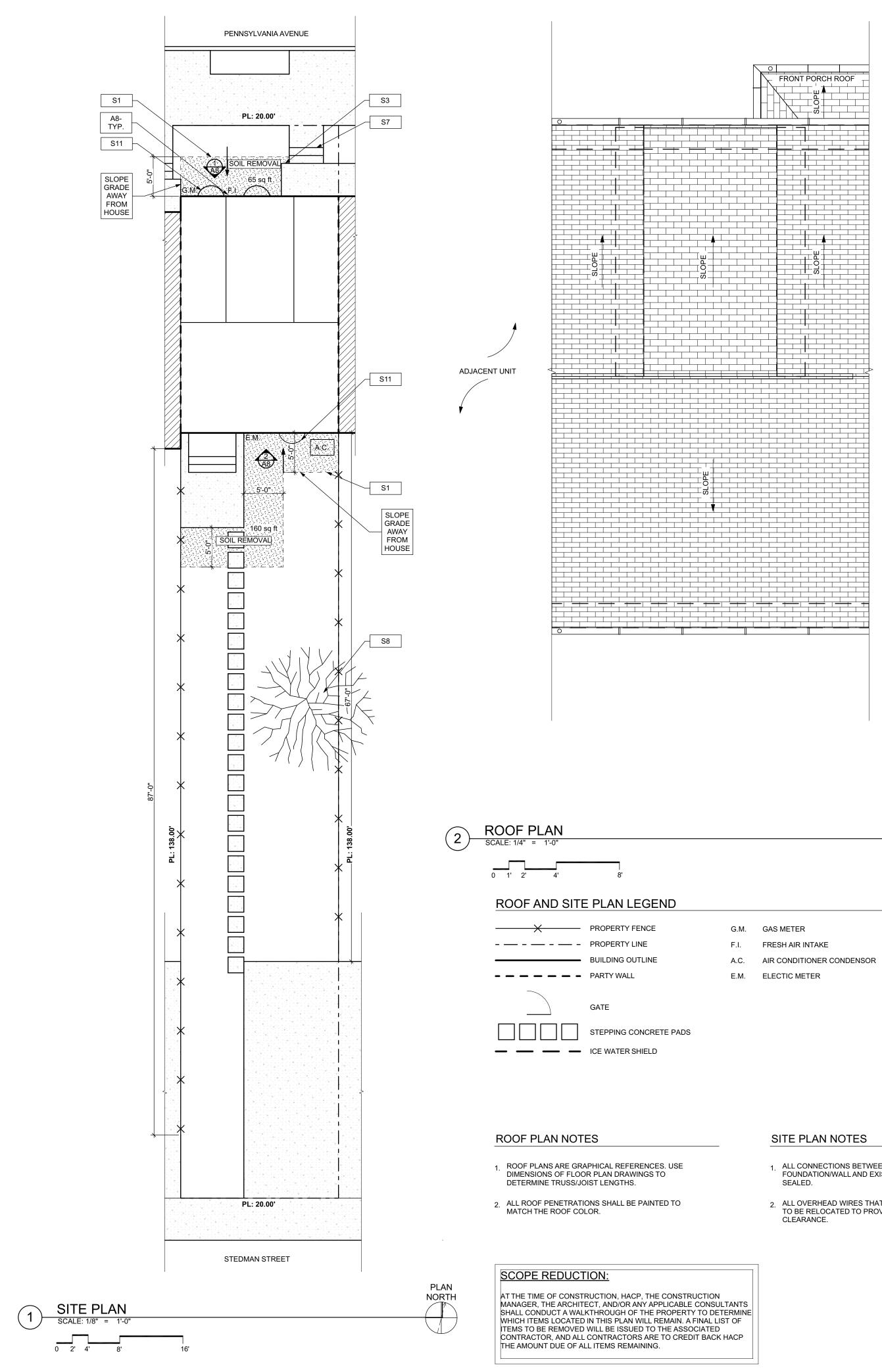
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

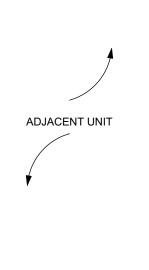
## **GREEN COMMUNITIES NOTES**

- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.



May 6, 2022



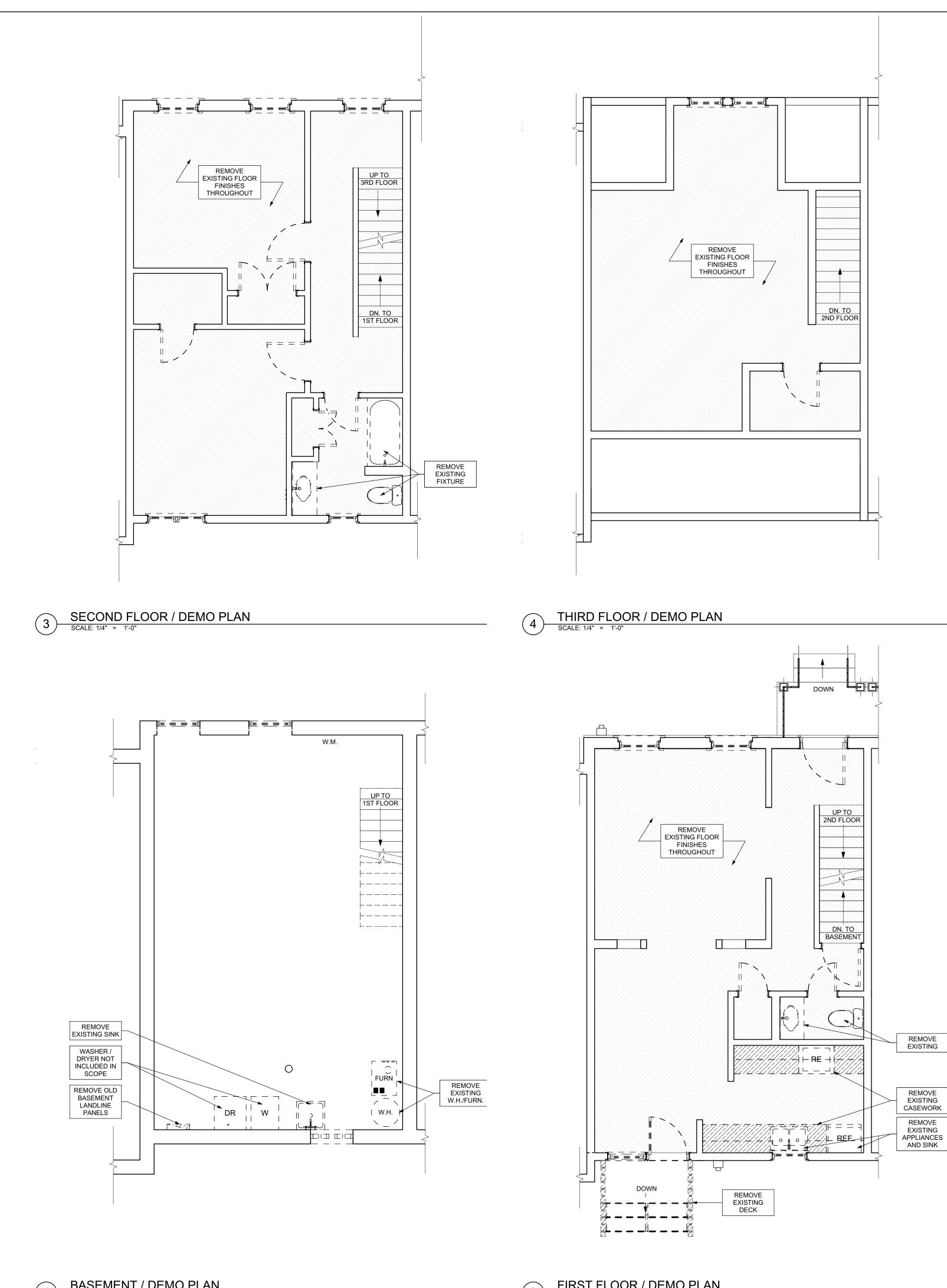




CE	G.M.	G
	F.I.	FF
NE	A.C.	AI
	E.M.	EL

- 1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE
- 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SITE	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM	Fukui Architects Po
	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street Pittsburgh, Pennsylvania 1521
2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.600
i .	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
1	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
3	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIMEXISTING TREE AWAY FROM BUILDING AS	seal
	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
)	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
1	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
2	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
3	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
4 00F	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new ar
	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ul> <li>existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion</li> </ul>
	<b>TECTURAL</b> REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not sca</b> <b>drawings.</b>
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li><b>3.</b> All work shall be installed in accordance with applicabl codes and regulations.</li></ul>
2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL, PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, an
	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>ceiling surfaces as required to receive scheduled finishes</li><li>All items shown on drawings are finished construction</li></ul>
·	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install a material required for finished assemblies.
5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, fiel data, notices, and other documents and instrument prepared by the Architect as instruments of service sha
3	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS	remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve rights, including the copyright thereto.
	AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the copyright thereto.
	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
3 9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
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1	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO	HACP 200 ROSS STREET PITTSBURGH,PA 15219
2	DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
3	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
4	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
5	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING, PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1103 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
6	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
7	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
LUMB	SING - REF. ONLY. REFER TO PLUMB. DWG'S.	PLAN NOTES, ROOF AND SITE
	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES
2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	SCIEDS, SWITTE UTILI NE LIVOTES
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
F	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		date May 6, 2022
		no. of. A4
		<b>5 12 Project</b> #2006



1) BASEMENT / DEMO PLAN SCALE: 1/4" = 1'-0"

2)-

## GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- 4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED. 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION. 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT
- BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND

DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.

DEMOLISH EXISTING CASEWORK IN HATCHED AREA.

FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

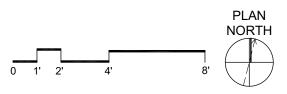
## SCOPE REDUCTION:

7/17/1

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

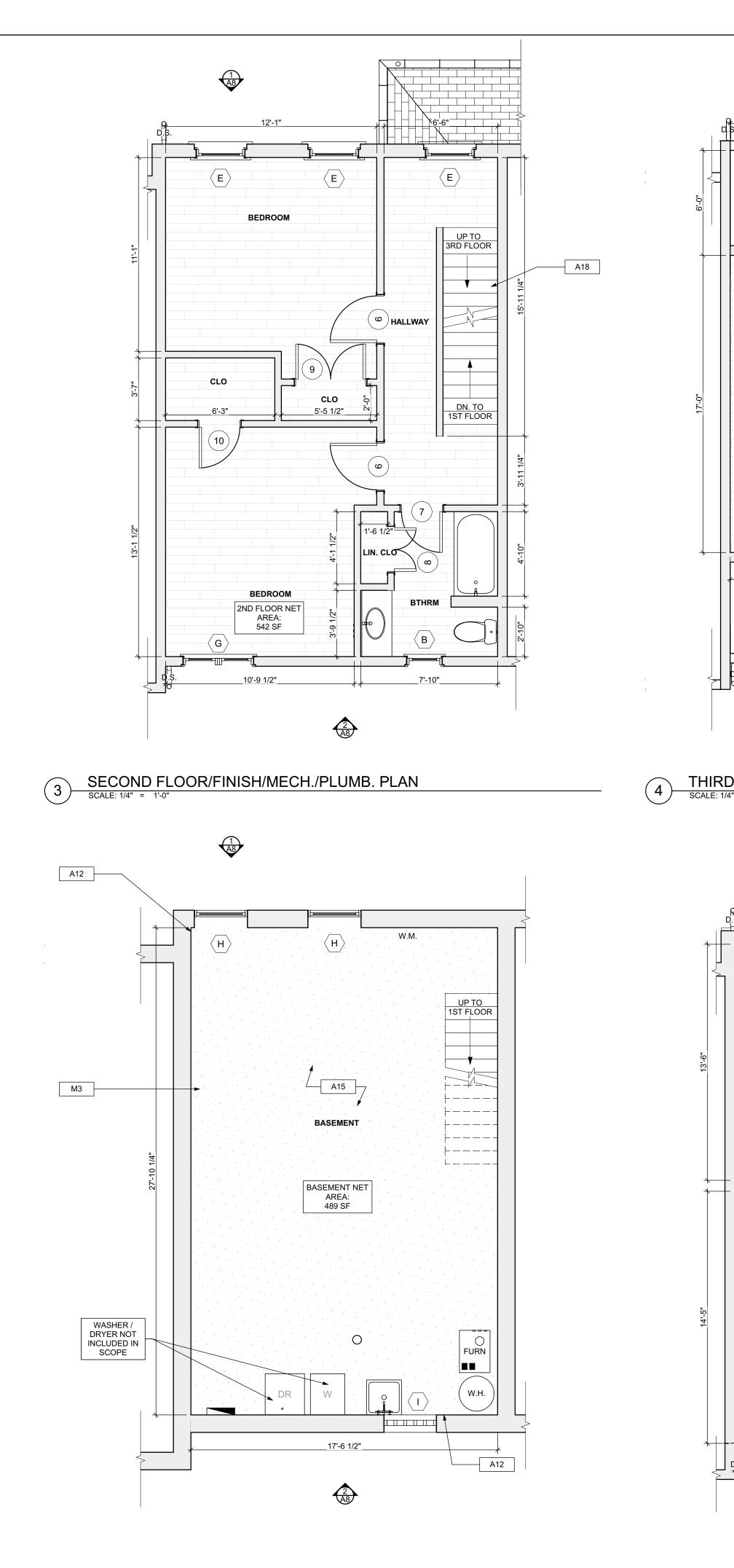
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

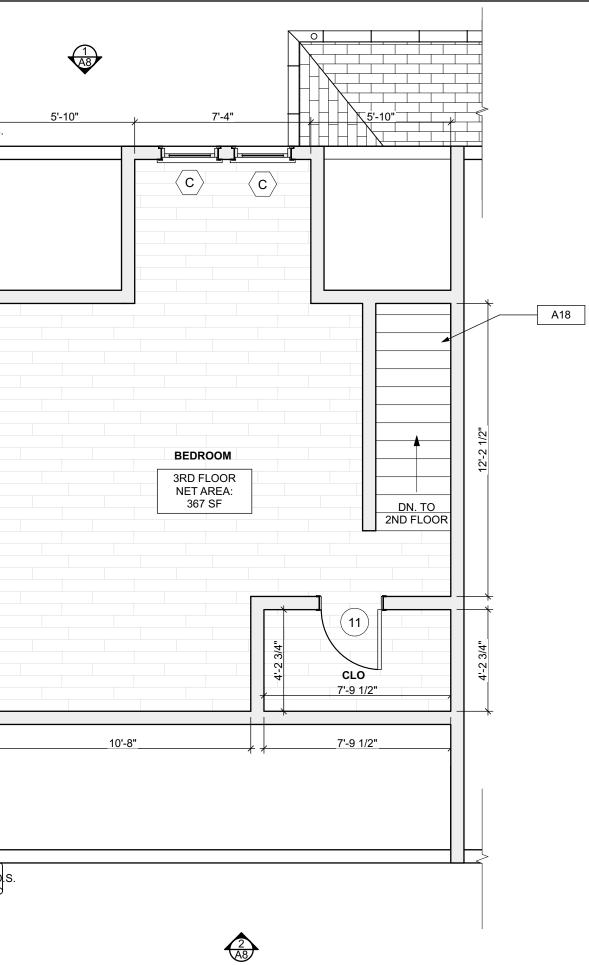


## FIRST FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"

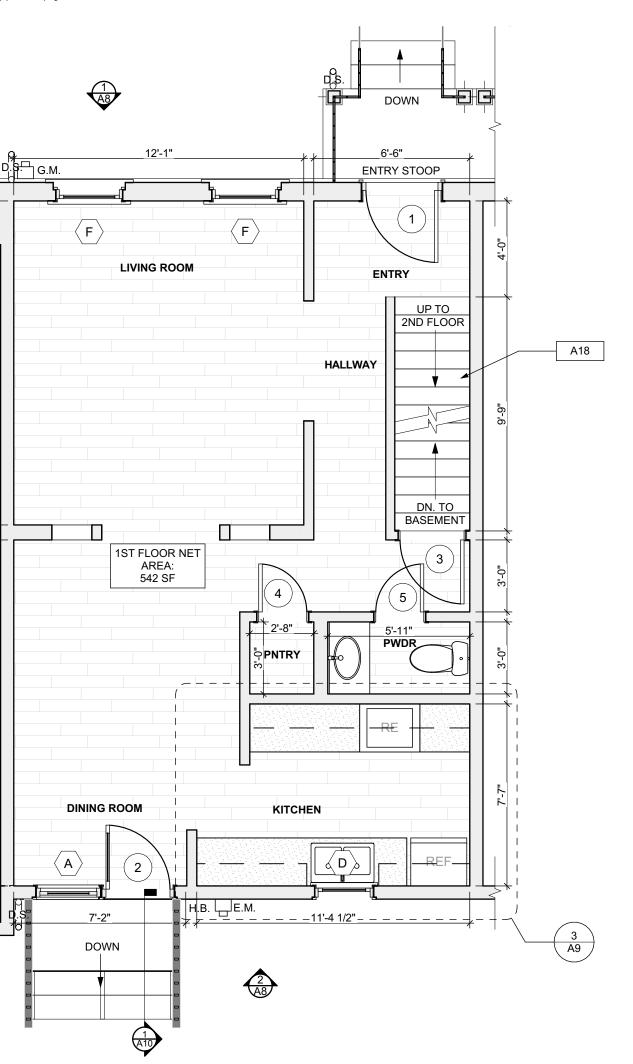
SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	Fukui Architects Pc 205 Ross Street Pittsburgh, Pennsylvania 15219
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.6002
<u>S</u> 3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	seal
S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD, REMOVE AND	
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and existing construction shall be referred to the Architect
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING VENTS, CRICKETS, ETC. REFER TO	<ul><li>existing construction shall be referred to the Architect.</li><li>Contractor shall verify all dimensions and existing</li></ul>
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise <b>Fukui Architects</b> , <b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>proceeding with any phase of work. Do not scale drawings.</li><li>3. All work shall be installed in accordance with applicable</li></ul>
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<ul><li>codes and regulations.</li><li>4. Contractor shall be responsible for the patching,</li></ul>
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.</li> </ol>
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<b>6.</b> All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	<b>Owner:</b>
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	DE FAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	·
A13	FORTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	1103 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233
A17 A18	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT / DEMO PLAN, FIRST
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD
P2	EXISTING FIXTURE PARTI. REPLACE PARTIS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND,
	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	<b>GRAPHIC SCALES, SMALL UNIT</b>
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	KEYNOTES
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
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		As Noted Sheet No. date May 6, 2022
		May 6, 2022 no. of. A5
		6 12 AJ







THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

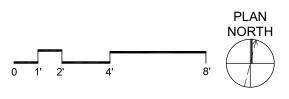


## REF FRIDGE RE RANGE GAS FURNANCE •**-**UTILITY SINK WASHER W.H) WATER HEATER DS. DOWN SPOUT DE.M. ELECTRIC METER H.B. HOSE BIBB DR • DRYER

FLOOR PLAN LEGEND

## SCOPE REDUCTION:

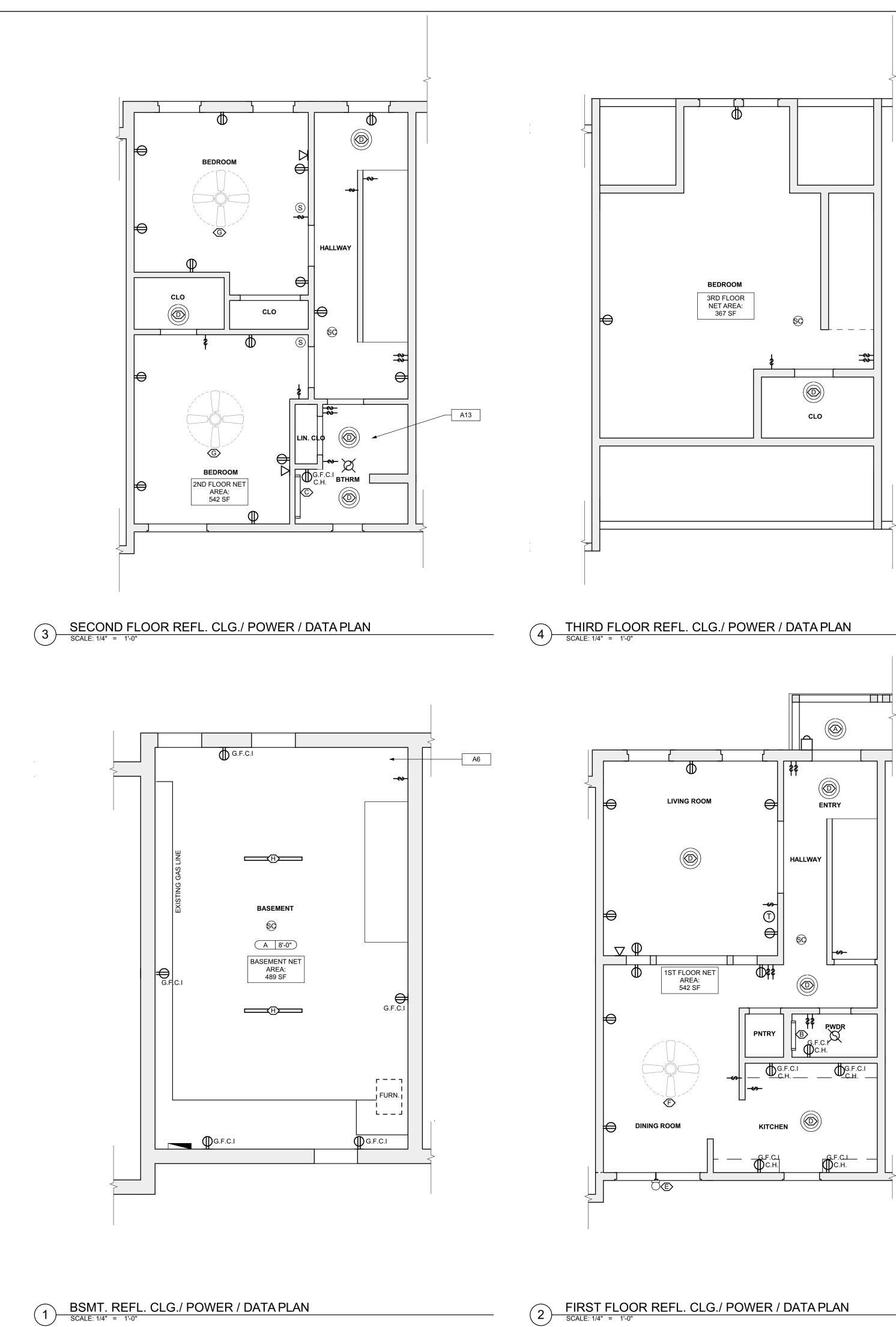
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE		
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S2	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
\$3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS	© 2 0 2 2 Fukui Architects, Pc
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S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ul> <li>existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects</li> <li>Pc of any discrepancies between, additions to, deletion</li> </ul>
		from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scal</b>
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with applicable codes and regulations.</li></ul>
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, and
A3 A4	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>ceiling surfaces as required to receive scheduled finishes.</li><li>5. All items shown on drawings are finished construction</li></ul>
A4	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	<ul> <li>assemblies. Contractor shall provide and install all material required for finished assemblies.</li> <li>6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments</li> </ul>
A6	NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE	prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
A9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	■ project title Owner:
A11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING	HACP 200 ROSS STREET
A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY	PITTSBURGH,PA 15219
A13	AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE	
A14	UNEVEN FLOORING, WALL, OR CEILING, REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1103 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT/FINISH/MECH./PLUM B. PLAN, FIRST
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR/FINISH/MECH./PLUMB.
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	PLAN, SECOND FLOOR/FINISH/MECH./PLUMB.
МЕСНА	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	PLAN, THIRD FLOOR/FINISH/MECH./PLUMB.
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT
M3	BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO CET WATERDRODGED RECEPT TO	KEYNOTES
M4	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	[seelo
	WITH CORRECT SIZING AS NECESSARY.	scale As NotedSheet No.date
		May 6, 2022

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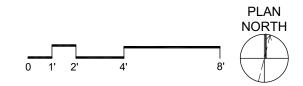
Project #2006



		LIGHTI	NG SCHEDULE		
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
$\bigcirc$	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
[]	С	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
$\bigcirc$	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	9
D	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

## RCP LEGEND - (See Specifications for basis <u>of Design)</u> SMOKE ALARM, PROVIDE NEW WHERE SHOWN S SC SMOKE/ CARBON MONOXIDECOMBO DETECTOR ELECTRICAL METER THERMOSTAT DATA RECEPTICAL, 18" A.F.F. U.O.N. ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N. ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N. € GFCI GROUND FAULT CIRCUIT INTERRUPTER CH LIGHT SWITCH ŧ 🗴 EXHAUST FAN A X'-X" GWB CEILING / CEILING HEIGHT B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST SCOPE REDUCTION: AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING. GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN	Fukui Arc	hitects Pc
	ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3' OVER 5-0'. REPLACE DISTURBED VEGETATION PER	205 Ross	Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Penns	•
<b>S</b> 3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW	ph 412.281.6001	IX 412.281.6002
	SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Arc	hitects, Pc
<u>S4</u>	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION		
<b>S</b> 5	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT		
00	LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION		
	JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.		
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	-	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH		
	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.		
S10	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.		
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.		
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM GRADE. RELOCATE SERVICE DROP TO PROVIDE A		
S13	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY		
S14	REST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE		
ROOF	RESISTIVE BARRIER, FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.		general notes drawings or between new and all be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	2. Contractor shall verif	y all dimensions and existing und shall advise <b>Fukui Architects</b> ,
ARCHIT	SPECIFICATIONS FOR DETAILS.	<b>Pc</b> of any discrepancies from, or alterations to	s between, additions to, deletions any and all conditions prior to phase of work. <b>Do not scale</b>
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>drawings.</li><li>3. All work shall be instal</li></ul>	led in accordance with applicable
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.		responsible for the patching,
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as requi	ons of all existing floor, wall, and ired to receive scheduled finishes.
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.		awings are finished construction or shall provide and install all hished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and oth	cifications, computer files, field her documents and instruments
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	remain the property of t retain all common law	ect as instruments of service shall the Architect. The Architect shall w statutory, and other reserved
	REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the cop	revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND	ISSUED FOR PERM	AIT: 05.06.2022
A8	SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH		
A9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH		
A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH		project title
	NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>Owner:</b>	
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB	HACP 200 ROSS STREE	Т
A12	FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING	PITTSBURGH,PA	15219
	MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY		
A13	AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER.		
	REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.		
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Loca</b> MANCHESTER SE	<b>tion:</b> CATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	1103 PENNSYLVA	ANIA AVENUE
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	PITTSBURGH, PE 15233	LINING Y L V ANIA
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.		drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BSMT. REFL. CLO	G./ POWER / DATA
PLUMBI	NG - REF. ONLY. REFER TO PLUMB. DWG'S.	PLAN, FIRST FLO POWER / DATA PI	
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR	FLOOR REFL. CL	G./ POWER /
	REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	DATA PLAN, THIE CLG./ POWER / D	ATA PLAN, RCP
	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	LEGEND, LIGHTI SMALL UNIT KEY	,
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.		
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOPED. REFER TO SPECIFICATIONS FOR MORE DETAILS.		
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale	Chast NT
		As Noted date	Sheet No.
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		no. of. <b>1 7</b>	A7
		8 12	Project #2006
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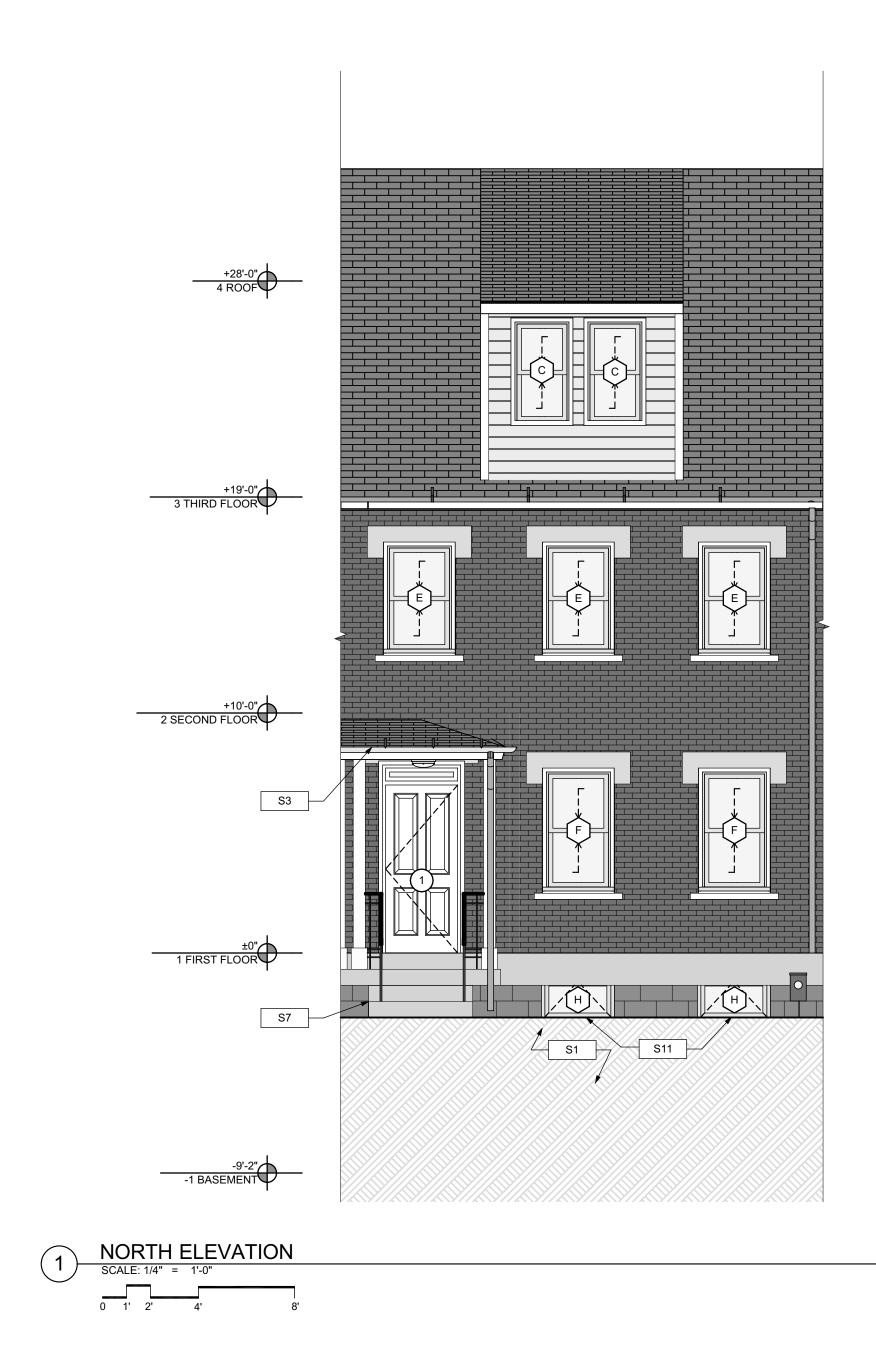
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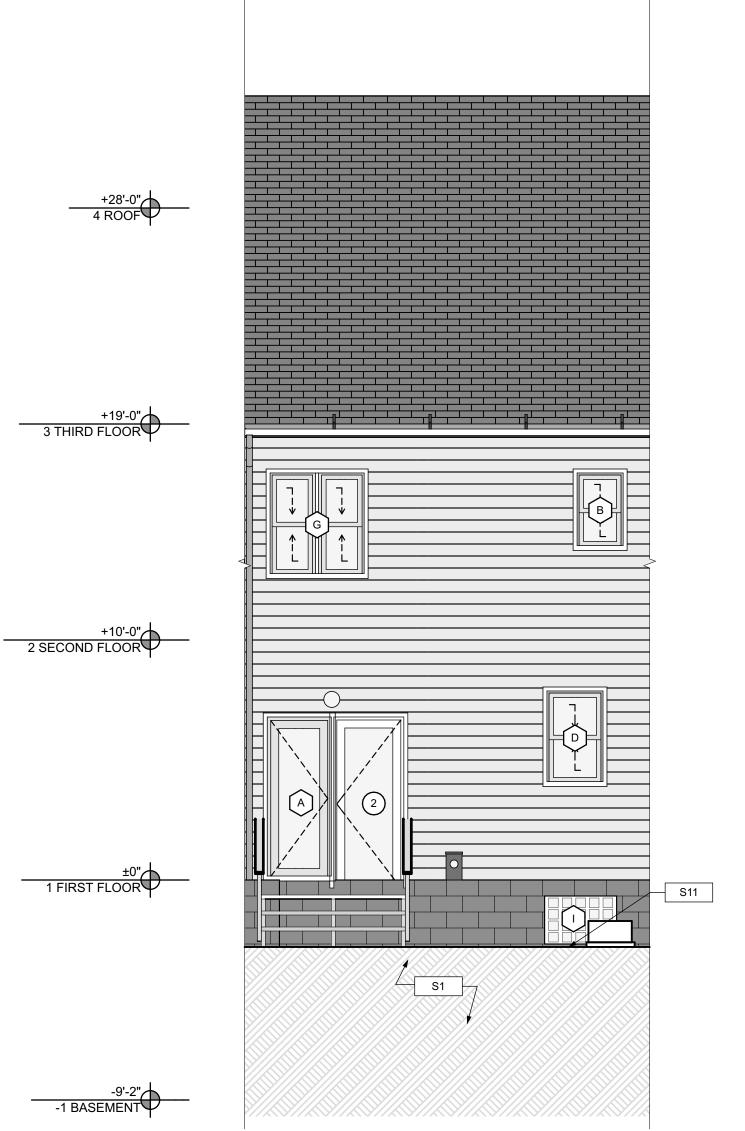
S7

S9

A5

A9





+19'-0" 3 THIRD FLOOR

+10'-0" 2 SECOND FLOOR

-9'-2" -1 BASEMENT

2 SOUTH ELEVATION SCALE: 1/4" = 1'-0" 0 1' 2' 4' 8'

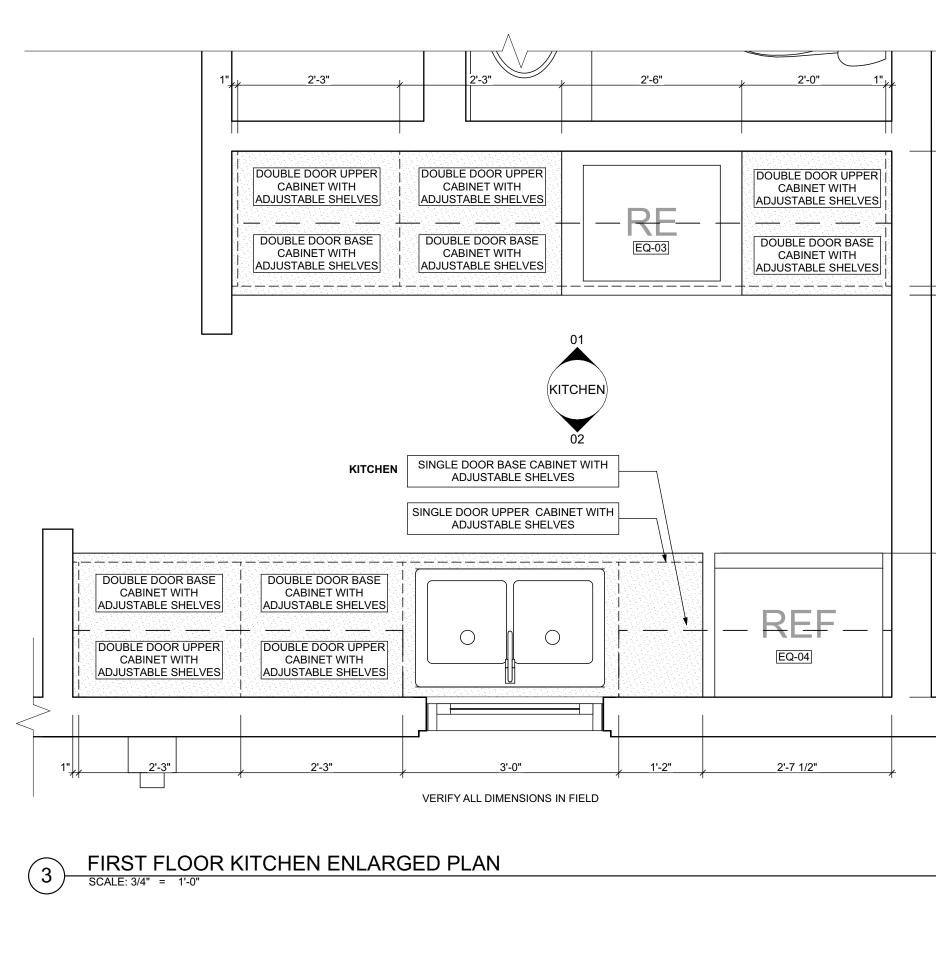
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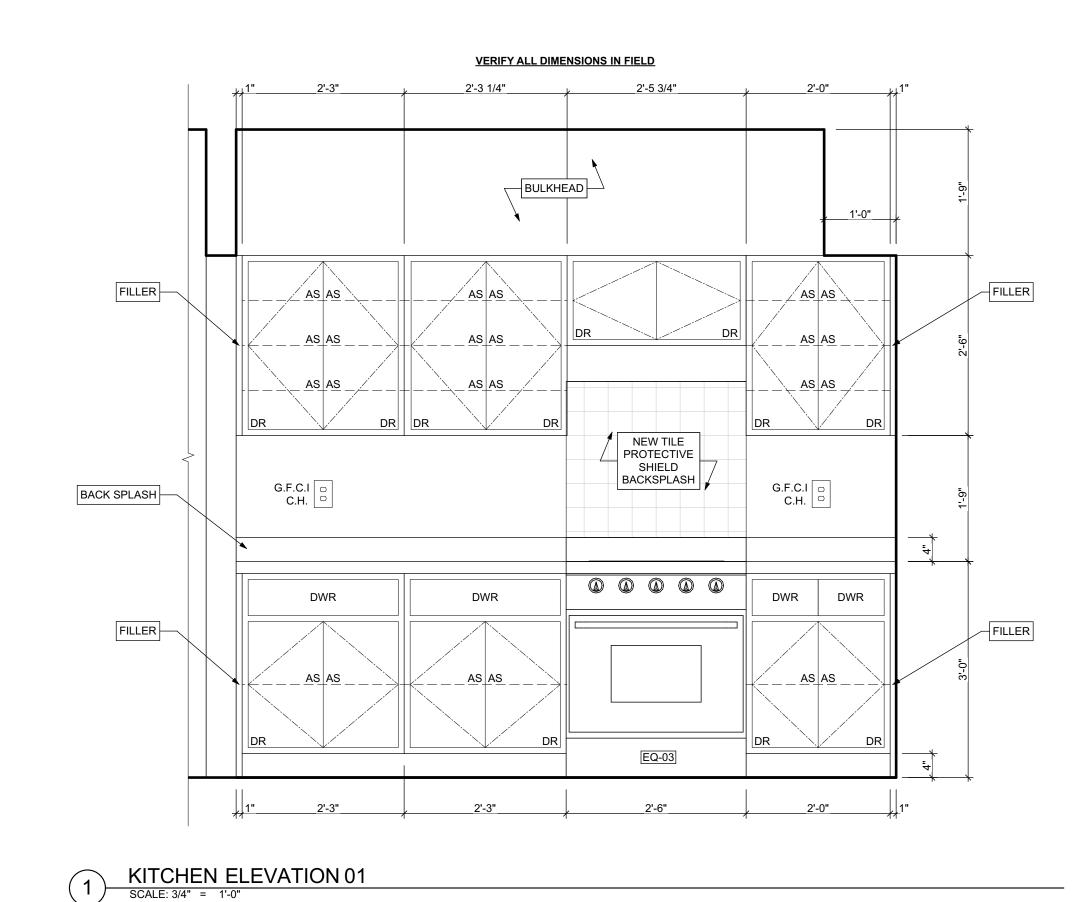
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

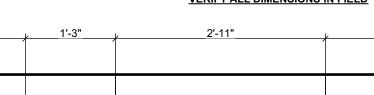
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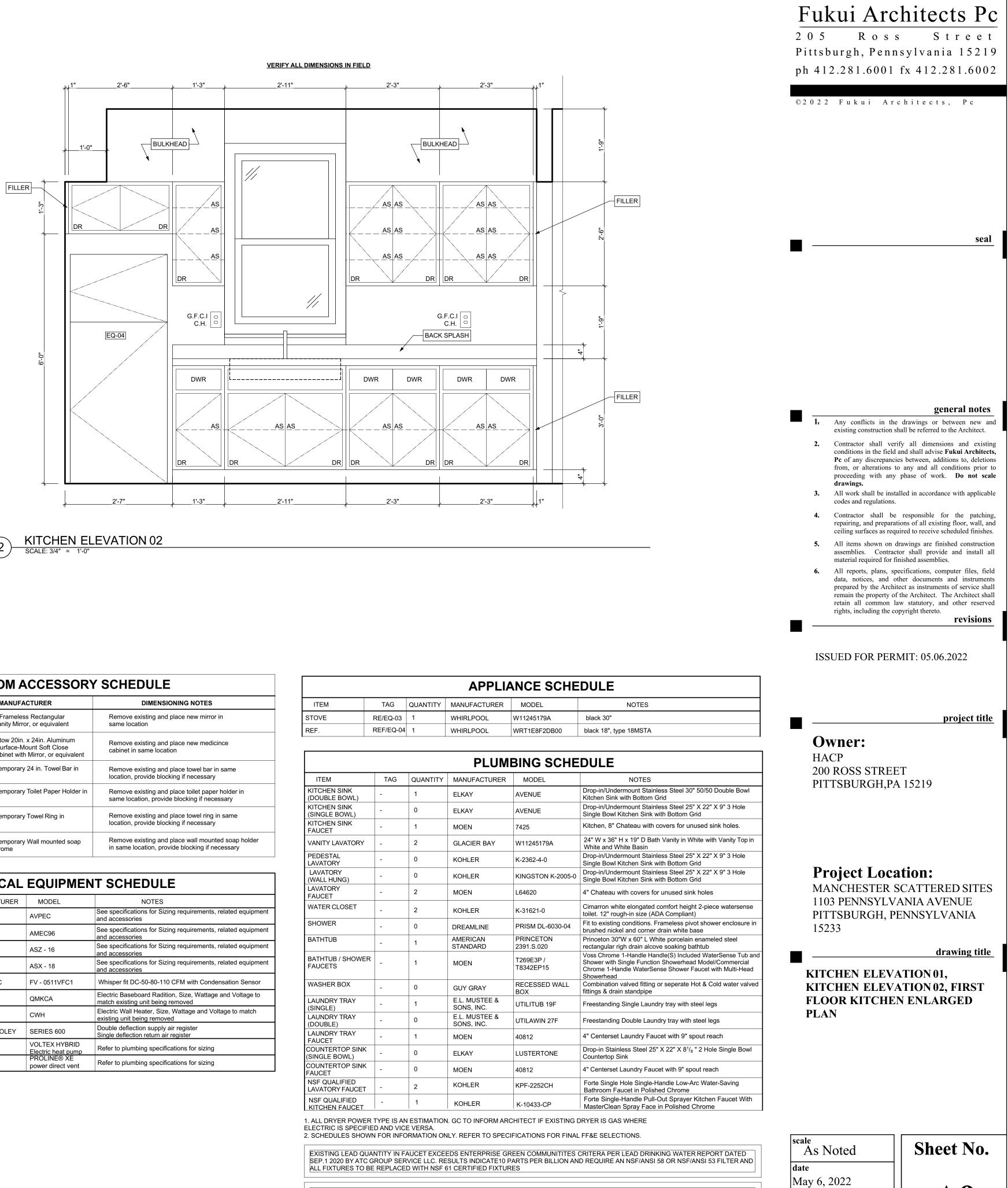
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTEDIOR WALL OF HOUSE DOLING CONCRETE	Fukui Architects Pc
	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC.	Pittsburgh, Pennsylvania 15219
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.6002
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
S6	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND	
	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
\$10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
	DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A	
S13	CLEAR HEIGHT OF 12-0° MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER	
	RESISTIVE BARRIER, FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>general notes</b> <b>1.</b> Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	<ul><li>existing construction shall be referred to the Architect.</li><li>Contractor shall verify all dimensions and existing</li></ul>
	FLASHIG, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise <b>Fukui Architects</b> <b>Pc</b> of any discrepancies between, additions to, deletions
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale drawings.</b>
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3 A4	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>ceiling surfaces as required to receive scheduled finishes.</li><li>5. All items shown on drawings are finished construction</li></ul>
<u>··</u> ]	CONNECTION AL BEAM, OCLOWIN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install all material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS, REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the copyright thereto.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
A8	WATER DAMAGE WHEN REFLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN	
A8 A9	SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
1	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND DEVICE TREADS, AND RISERS, RISER AND	• Owner:
	TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND REW STANDARD 2'X2'X1' SPREAD FOOTING	200 ROSS STREET
A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN	PITTSBURGH,PA 15219
	WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
A13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING.	
	PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	<b>Project Location:</b>
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR	MANCHESTER SCATTERED SITES 1103 PENNSYLVANIA AVENUE
	WATERPROOFING PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	NORTH ELEVATION, SOUTH
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	
	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECH	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION	
M2	REPEACE SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE	
M4	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	
T	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale Shared No.
		As Noted Sheet No.
		date May 6, 2022
		no. of. A8
		9 12
		Project #2006









2)

BATHROOM ACCESSORY SCHEDULE			
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
VALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

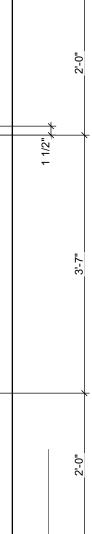
## MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

TAG	QUA
RE/EQ-03	1
REF/EQ-04	1
	RE/EQ-03

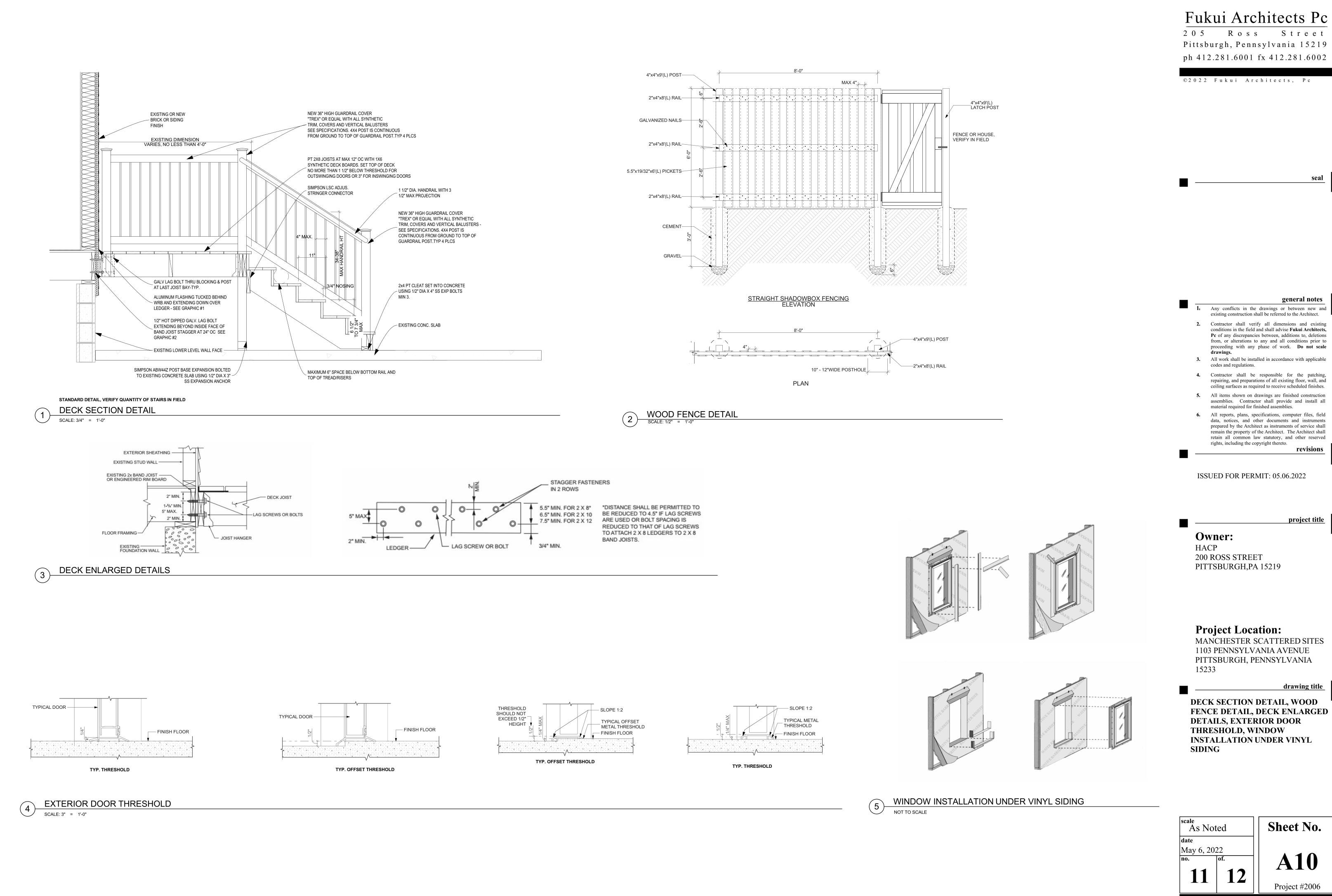
ITEM	TAG	QU
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	0
KITCHEN SINK FAUCET	-	1
VANITY LAVATORY	-	2
PEDESTAL LAVATORY	-	0
LAVATORY (WALL HUNG)	-	0
LAVATORY FAUCET	-	2
WATER CLOSET	-	2
SHOWER	-	0
BATHTUB	-	1
BATHTUB / SHOWER FAUCETS	-	1
WASHER BOX	-	0
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	0
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	0
COUNTERTOP SINK FAUCET	-	0
NSF QUALIFIED LAVATORY FAUCET	-	2
NSF QUALIFIED KITCHEN FAUCET	-	1

GENERAL NOTE: SPECIFICATION

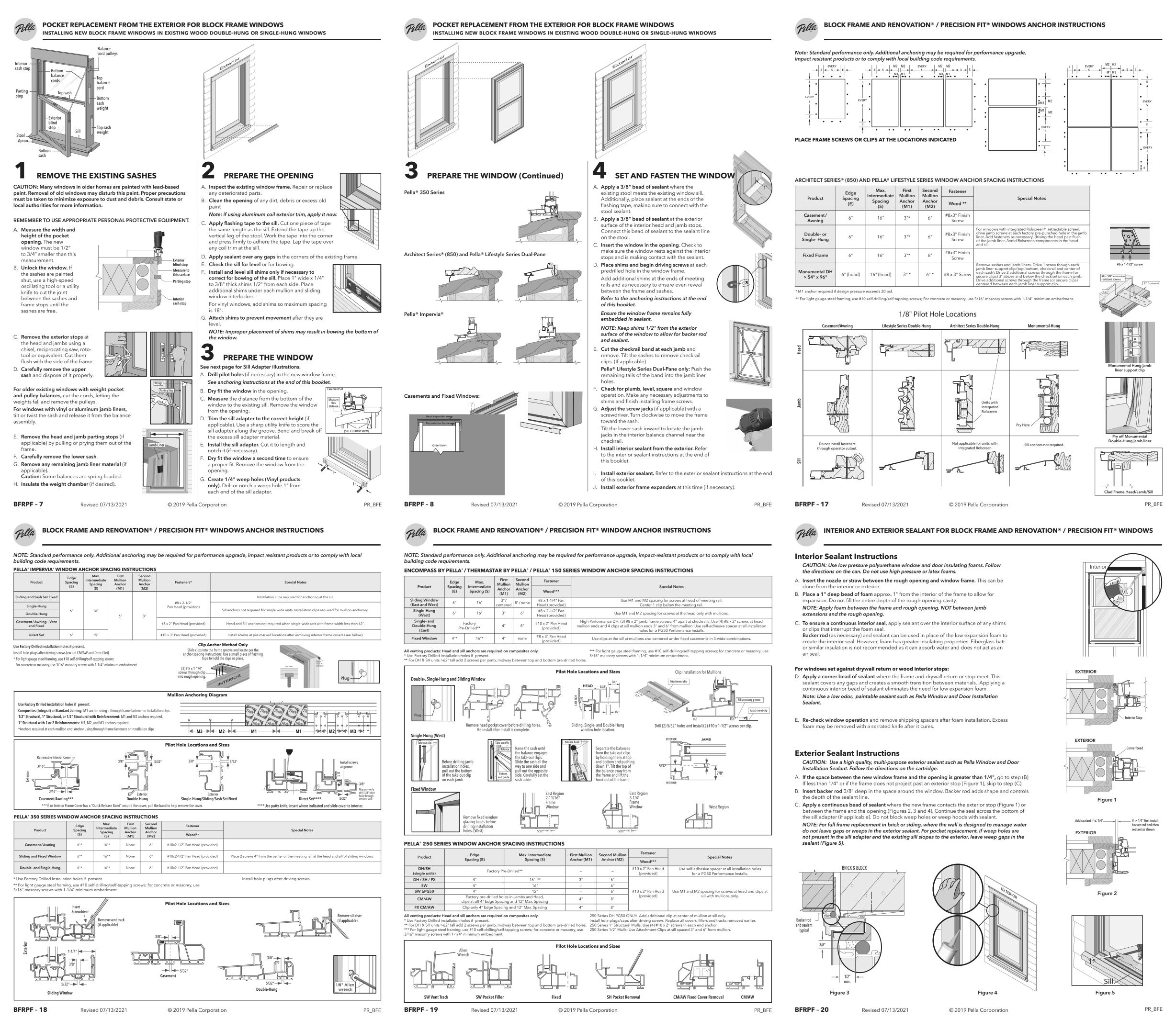


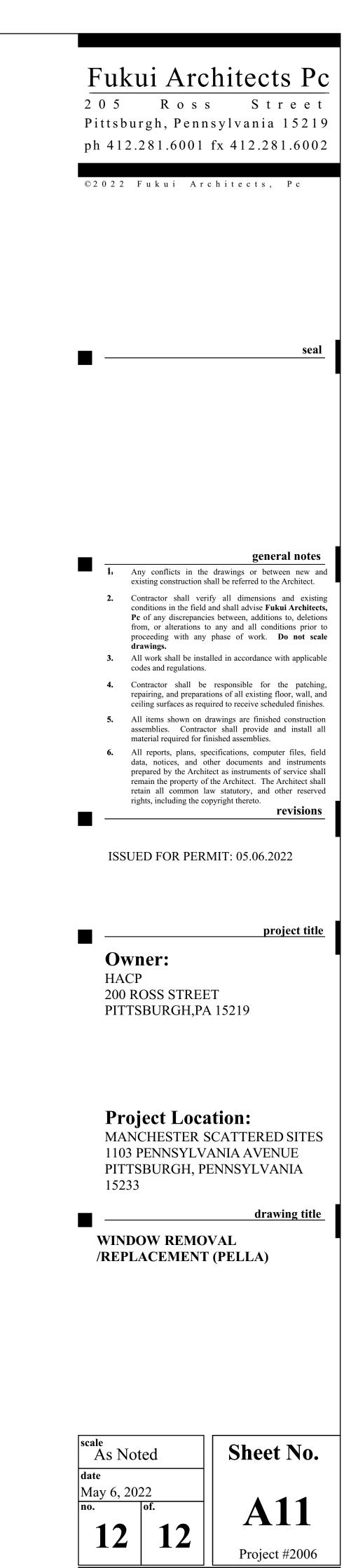
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY " AND MAY BE SUBSTITUTED WITH EQUIVALENT

**A9** 12 10 Project #2006



6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved





## PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

## Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

**Development Characteristics** Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

### As the **DESIGN ARCHITECT**, I certify that:

**Development Amenities** 

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments. with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preservat An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis. 

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. ( schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

## As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

## 2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC IRC Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	<ul> <li>The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.</li> <li>Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.</li> <li><u>New Construction</u>:         <ul> <li>For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)</li> </ul> </li> </ul>	X       The Fair Housing Act of 1988 & Fair Housing Desig         X       ANSI A117.1-2009 (or edition currently adopted by         X       Pennsylvania Uniform Construction Code         X       Uniform Federal Accessibility Standards (UFAS)         X       Section 504 of the Rehabilitation Act of 1973         X       2010 ADA Standards for Accessible Design         X       Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.)         NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	<ul> <li>For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)</li> <li><u>Preservation (Moderate Rehab)</u> *:</li> <li>For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.</li> </ul>	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	<ul> <li>NOTE:</li> <li>Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.</li> <li>All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.</li> </ul>	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA   210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to _____ accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- __X___ When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

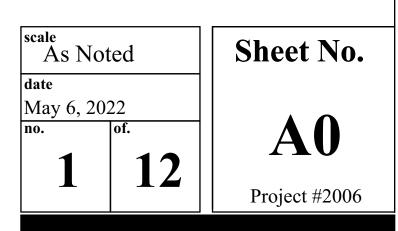
Large Family Units As the DESIGN ARCHITECT, I hereby c	ENCY (2021 UNDERWRITING APPLICATION) ertify that I either have designed or will design the nt to include the following percentage of affordable	205 Ross Street Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.6002
*High rise developments and senior housin          71       Total units         43       Total number of affordable 3 bedroom units         >>10-15% of all units (suburb developments only)         DESIGN ARCHITECT         Signed:         Print:         Firm         Hubber of Accepted by the APP         Signed:         Print:         Signed:         Print:         Signed:         Print:	or more- an/rural $X$ >25% of all units Z >25% of all units Date: $A$ (9.202)	©2022 Fukui Architects, Pc
e <u>DESIGN ARCHITECT</u> , I certify that for prese <u>X</u> The referenced developmen operational savings and sustainable buildi	will promote energy efficiency and conservation, ng practices by meeting the mandatory measures es Criteria, as amended below. (Not applicable if n Building program in Selection Criteria)	<ol> <li>Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior proceeding with any phase of work. Do not scandrawings.</li> </ol>
NSYLVANIA HOUSING FINANCE AGENO e DESIGN ARCHITECT, I certify that for prese The referenced development operational savings and sustainable buildi of the 2020 Enterprise Green Communities seeking certification under a National Gree Enterprise Green Communities Criteria f Preservation developments are not required Communities criteria for "moderate rehab" pr following mandatory 2015 Green Communities 3.1 Environmental Remediation (Follow 3.2 Minimization of Disturbance during ground disturbance) 3.3 Ecosystem Services/Landscaping (a 4.1 Water-Conserving Fixtures (Applicat 5.6 Sizing of Heating and Cooling Equip- equipment) 5.7 Energy Star Appliances (Applicable of 5.8 Lighting (Applicable only to new light 5.4 Healthier Material Selection (Applica 5.6 Bath, Kitchen Laundry surfaces 5.8 Managing Moisture: Foundations (Ap 5.9 Managing Moisture: Roofing and Wa roofing) 7.3 Combustion Equipment (Carbon m	XY (2021 UNDERWRITING APPLICATION)  ervation developments:  will promote energy efficiency and conservation, ng practices by meeting the mandatory measures se Criteria, as amended below. (Not applicable if a Building program in Selection Criteria)  or Preservation Developments to follow the mandatory 2020 Enterprise Green ojects. Instead, they shall comply with only the criteria, as amended: Enterprise and PHFA Tab 17 & 34 requirements) staging and construction. (Applicable only to new pplicable only to new landscaping) le only to new fixtures) ment (Applicable only to new heating and cooling only to new appliances) ing fixtures) ble only to new paints, coatings and primers) eplicable to new addition foundations) all Systems (Applicable to new walls, windows and proxide alarm requirements apply to all projects	<ul> <li>existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sca drawings.</li> <li>All work shall be installed in accordance with applicab codes and regulations.</li> <li>Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, an ceiling surfaces as required to receive scheduled finishes</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fiel data, notices, and other documents and instrument prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve rights, including the copyright thereto.</li> </ul>
NSYLVANIA HOUSING FINANCE AGENO e DESIGN ARCHITECT, I certify that for prese X The referenced developmeni operational savings and sustainable buildi of the 2020 Enterprise Green Communities seeking certification under a National Gree Enterprise Green Communities Criteria f Preservation developments are not required Communities criteria for "moderate rehab" priolowing mandatory 2015 Green Communities 3.1 Environmental Remediation (Follow 3.2 Minimization of Disturbance during ground disturbance) 3.3 Ecosystem Services/Landscaping (a 4.1 Water-Conserving Fixtures (Applicat 5.6 Sizing of Heating and Cooling Equip equipment) 5.7 Energy Star Appliances (Applicat 5.8 Managing Moisture: Roofing and Wa roofing) 7.3 Combustion Equipment (Carbon m with combustion equipment (Applic 7.5 Integrated Pest Management (Applic	EY (2021 UNDERWRITING APPLICATION) ervation developments:  will promote energy efficiency and conservation, ng practices by meeting the mandatory measures es Criteria, as amended below. (Not applicable if a Building program in Selection Criteria)  or Preservation Developments to follow the mandatory 2020 Enterprise Green ojects. Instead, they shall comply with only the criteria, as amended: Enterprise and PHFA Tab 17 & 34 requirements) staging and construction. (Applicable only to new pplicable only to new landscaping) le only to new fixtures) ment (Applicable only to new heating and cooling only to new appliances) ing fixtures) ble only to new paints, coatings and primers) all Systems (Applicable to new walls, windows and onoxide alarm requirements apply to all projects g requirements are applicable to new combustion able only if identified as a problem in the PCNA) Vanual and Plan (Follow Enterprise requirements)	<ol> <li>Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existic conditions in the field and shall advise Fukui Architec Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sea drawings.</li> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, arceiling surfaces as required to receive scheduled finished assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fie data, notices, and other documents and instrument prepared by the Architect. The Architect shar retain all common law statutory, and other reserver.</li> </ol>
NSYLVANIA HOUSING FINANCE AGENO e DESIGN ARCHITECT, I certify that for prese 	EY (2021 UNDERWRITING APPLICATION) ervation developments:  will promote energy efficiency and conservation, ng practices by meeting the mandatory measures es Criteria, as amended below. (Not applicable if a Building program in Selection Criteria)  or Preservation Developments to follow the mandatory 2020 Enterprise Green ojects. Instead, they shall comply with only the criteria, as amended: Enterprise and PHFA Tab 17 & 34 requirements) staging and construction. (Applicable only to new pplicable only to new landscaping) le only to new fixtures) ment (Applicable only to new heating and cooling only to new appliances) ing fixtures) ble only to new paints, coatings and primers) all Systems (Applicable to new walls, windows and onoxide alarm requirements apply to all projects g requirements are applicable to new combustion able only if identified as a problem in the PCNA) Vanual and Plan (Follow Enterprise requirements)	<ol> <li>Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existic conditions in the field and shall advise Fukui Architece Pc of any discrepancies between, additions to, deleted from, or alterations to any and all conditions prior proceeding with any phase of work. Do not see drawings.</li> <li>All work shall be installed in accordance with applical codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finished.</li> <li>All items shown on drawings are finished constructin assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, file data, notices, and other documents and instrumer prepared by the Architect as instruments of service sh retain all common law statutory, and other reservinghts, including the copyright thereto.</li> </ol>
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NSYLVANIA HOUSING FINANCE AGENCE	EY (2021 UNDERWRITING APPLICATION) ervation developments: :: will promote energy efficiency and conservation, rag practices by meeting the mandatory measures as Criteria, as amended below. (Not applicable if a Building program in Selection Criteria) or <b>Preservation Developments</b> to follow the mandatory 2020 Enterprise Green ojects. Instead, they shall comply with only the criteria, as amended: Enterprise and PHFA Tab 17 & 34 requirements) staging and construction. (Applicable only to new pplicable only to new landscaping) le only to new fixtures) ment (Applicable only to new heating and cooling only to new appliances) ing fixtures) ble only to new paints, coatings and primers) uplicable to new addition foundations) all Systems (Applicable to new walls, windows and conoxide alarm requirements apply to all projects g requirements are applicable to new combustion able only if identified as a problem in the PCNA) Wanual and Plan (Follow Enterprise requirements) plow Enterprise requirements) mily attached or detached structures (or otherwise mants as determined by the Agency). Utility hook- g a dryer duct vented to a wall or roof cap, must be pro civil engineer] I, the undersigned, hereby certify ood Insurance Rate Map published by the Federal	<ol> <li>Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and exist conditions in the field and shall advise Fukui Architee Pc of any discrepancies between, additions to, deleti from, or alterations to any and all conditions prior proceeding with any phase of work. Do not see drawings.</li> <li>All work shall be installed in accordance with applicat codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finished.</li> <li>All items shown on drawings are finished constructin assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fit data, notices, and other documents and instrume prepared by the Architect. The Architect herein all common law statutory, and other reserving its, including the copyright thereto.</li> </ol>

## **Project Location:**

MANCHESTER SCATTERED SITES 1101 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

**SELECTION CRITERIA**, THRESHOLD CRITERIA, **TABULAR SCHEDULE** 



TABULAR AREA UNIT SCHEDULE				
UNIT #	GROSS AREA (SF)	NET AREA (SF)		
SFR	2,388	1,935		

# MANCHESTER SCATTERED SITES

## HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1101 PENNSYLVANIA AVENUE PITTSBURGH PENNSYLVANIA 15233 **3 BEDROOM UNIT**

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**A0 PHFA DOCUMENTS** 

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## **Code Conformance Information**

Applicable Codes	
General:	2015 In
	2015 I
Accessibility:	2009 IO
Energy:	2015 Ii
Electrical:	2014 N
Fire:	2015 Ii
Fuel Gas:	2015 In
Mechanical:	2015 Ii
Plumbing:	2017 A
Fire Alarm:	2013 N
Sprinkler:	2013 N
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R-2"
Stories:	3 story
Gross Area:	1,935 s
Construction Type:	V
Sprinklers:	None

Smoke detector:

## **Contact Schedule**

Note: Any questions concerning the C forward questions as appropriate to the	
Building Owner:	Ar
Housing Authority of the City of Pittsburgh	Ful 203

of the City of Pittsburgh
ph: 412.715.7501
mackenzie.pleskovic@hacp.org
contact: Mackenzie Pleskovic

## **General Description of Work**

- Notes on Sheet A-3.
- Architectural Scope Notes.

## **General Note Related to Quantities** Shown in Documentation

- offs.

International Building Code International Building Code ICC/ANSI A117.1 International Energy Conservation Code NEC (NFPA 70) International Fire Code International Fuel Gas Code International Mechanical Code Allegheny County Health department Plumbing Code NFPA 72 NFPA 13

-2 alteration per the IEBC with basement saft

Documents shall first be directed to the Architect. The Architect will g engineers.

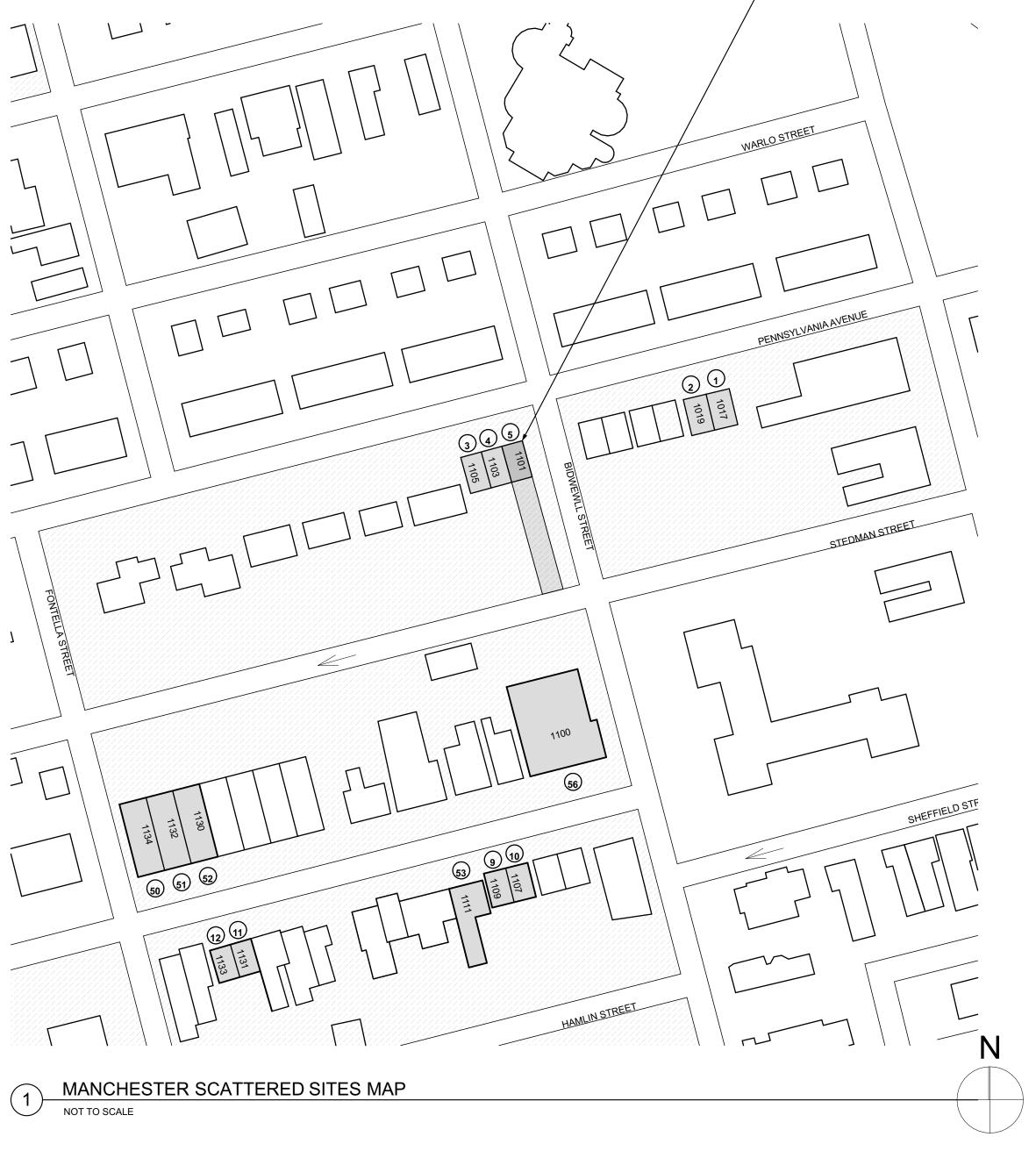
ukui Architects, PC 05 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA Plan Review & Inspection City of Pittsburgh Department of permits,

Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

1. It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

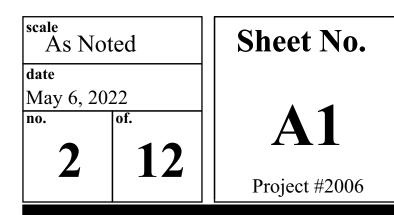
After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

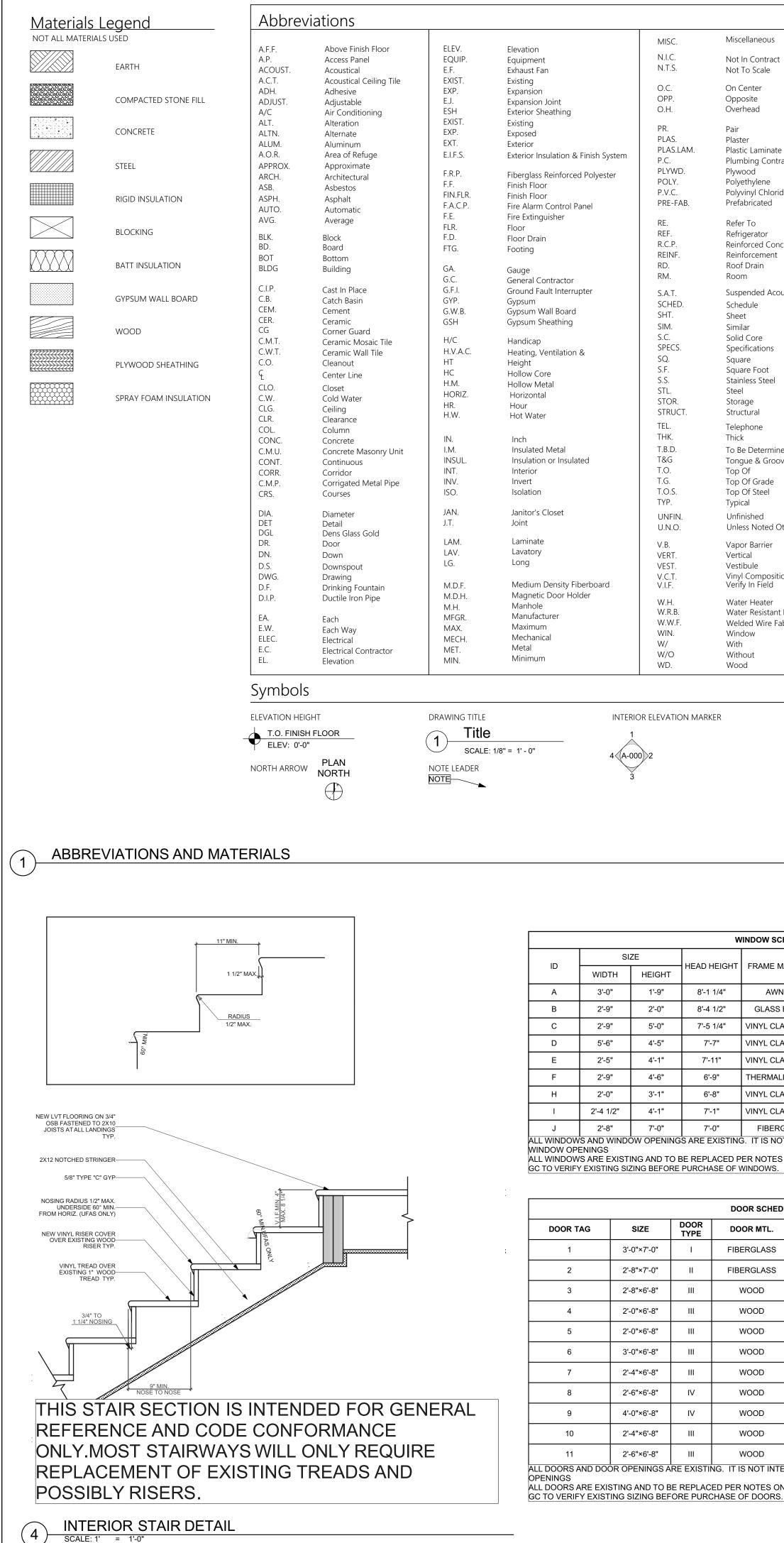
Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-



	Fukui Architects Pc 205 Ross Street
	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
	©2022 Fukui Architects, Pc
PROJECT LOCATION	seal
WARLO STREET	
PENNSYLVANIA AVENUE	<ul> <li>General notes</li> <li>Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.</li> </ul>
	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.</li> </ol>
STEDMAN STREET	<ol> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall material to account the application of the Architect as instruments.</li> </ol>
	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
	ISSUED FOR PERMIT: 05.06.2022
	project title
	Owner:
SHEFFIELD STF	HACP 200 ROSS STREET PITTSBURGH,PA 15219
N	<b>Project Location:</b> MANCHESTER SCATTERED SITES 1101 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA 15233
	drawing title

MANCHESTER SCATTERED SITES MAP, ARCH PRLIM SET, CODE AND CONTACT INFO



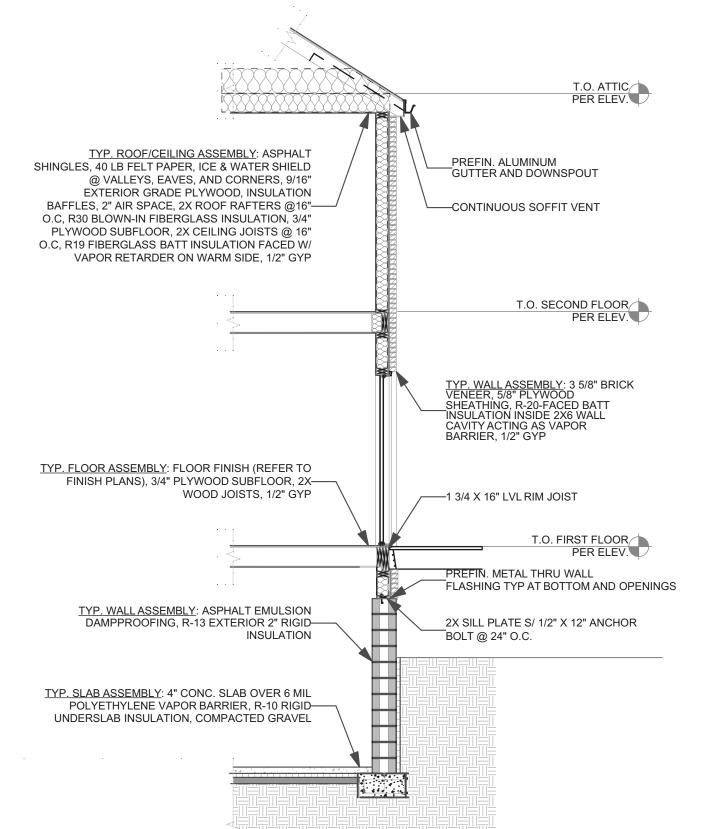


Plastic Laminate Plumbing Contractor Polyvinyl Chloride Reinforced Concrete Pipe Suspended Acoustical Ti

To Be Determined Tongue & Groove

Unless Noted Otherwise Vinyl Composition Tile

Water Resistant Barrier Welded Wire Fabric



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

BRICK WALL SECTION (2

SIDING WALL SECTION 3

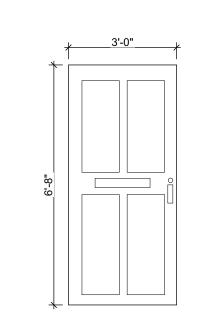
DOW SCHEDULE				
FRAME MATERIAL	VENTING	TEMPERED		
AWNING	X			
GLASS BLOCK				
INYL CLAD WOOD	⊠			
INYL CLAD WOOD	X			
INYL CLAD WOOD	X			
HERMALLY BRO				
INYL CLAD WOOD	⊠			
INYL CLAD WOOD	⊠			
FIBERGLASS				
IT IS NOT INTENDED TO RE-FRAME EXISTING				
R NOTES ON FINISH PLAN.				

R SCHEDULE				
R MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)		
RGLASS	FIBERGLASS	ENTRY		
RGLASS	FIBERGLASS	ENTRY		
OOD	WOOD	PASSAGE		
OOD	WOOD	PASSAGE		
OOD	WOOD	PRIVACY		
OOD	WOOD	PRIVACY		
OOD	WOOD	PRIVACY		
OOD	WOOD	DUMMY		
OOD	WOOD	PASSAGE		
OOD	WOOD	PASSAGE		
DOD WOOD PASSAGE				
NOT INTENDED TO RE-FRAME EXISTING DOOR				
IOTES ON FINISH PLAN. DOORS.				

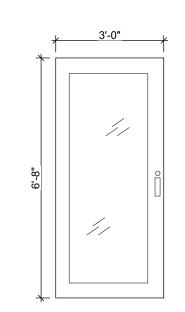
FINISH SCHEDULE			
NAME	FLOOR		
BEDROOM	09   LVT		
BTHRM	09   LVT		
CLO	09   LVT		
DINING ROOM	09   LVT		
ENTRY	09   LVT		
HALLWAY	09   LVT		
KITCHEN	09   LVT		
LIN. CLO	09   LVT		
LIVING ROOM	09   LVT		
PNTRY	09   LVT		

09 | LVT

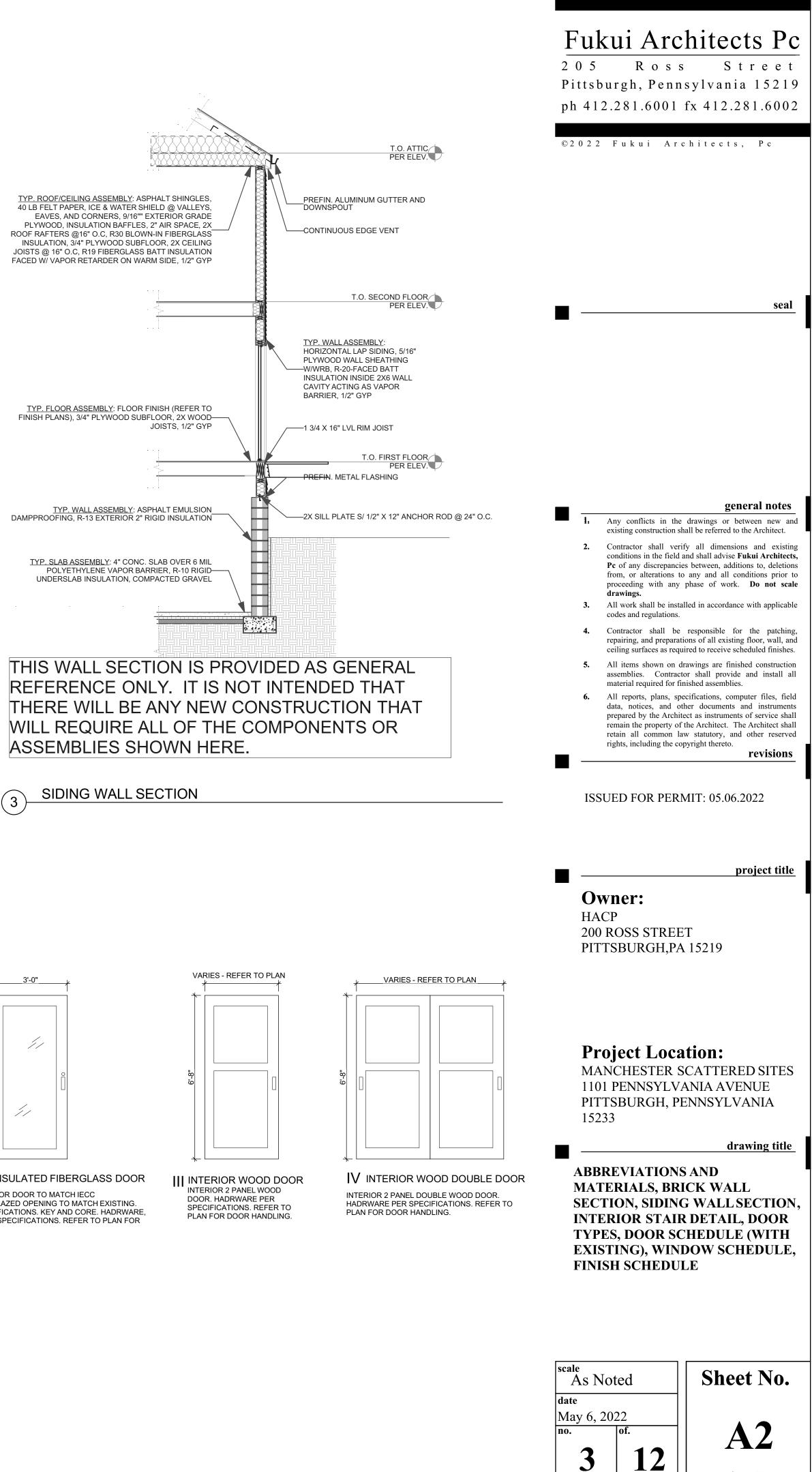
PWDR



**| EXTERIOR INSULATED FIBERGLASS DOOR** INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS, 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS.GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HADRWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



## **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

### MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

### ELECTRICAL SCOPE NOTES

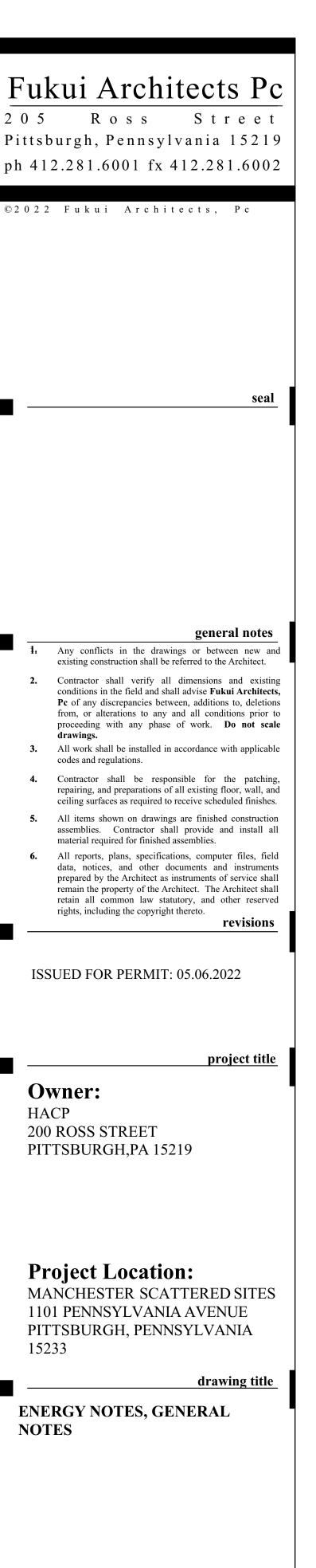
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

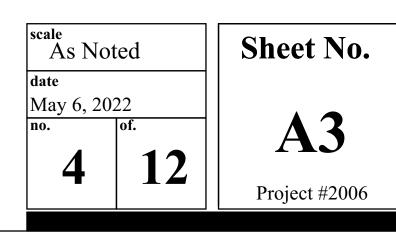
- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

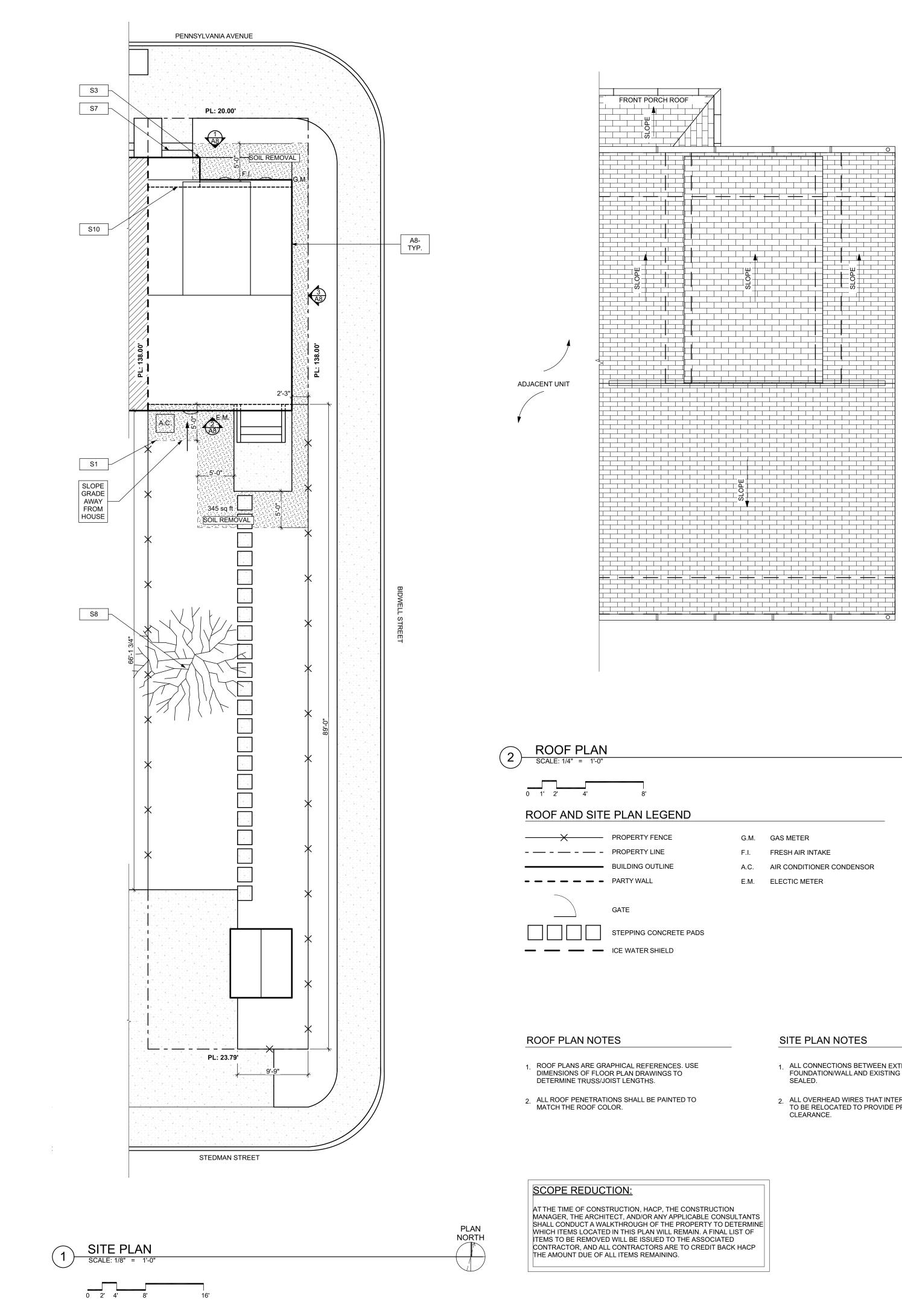
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

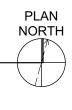
## **GREEN COMMUNITIES NOTES**

- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.



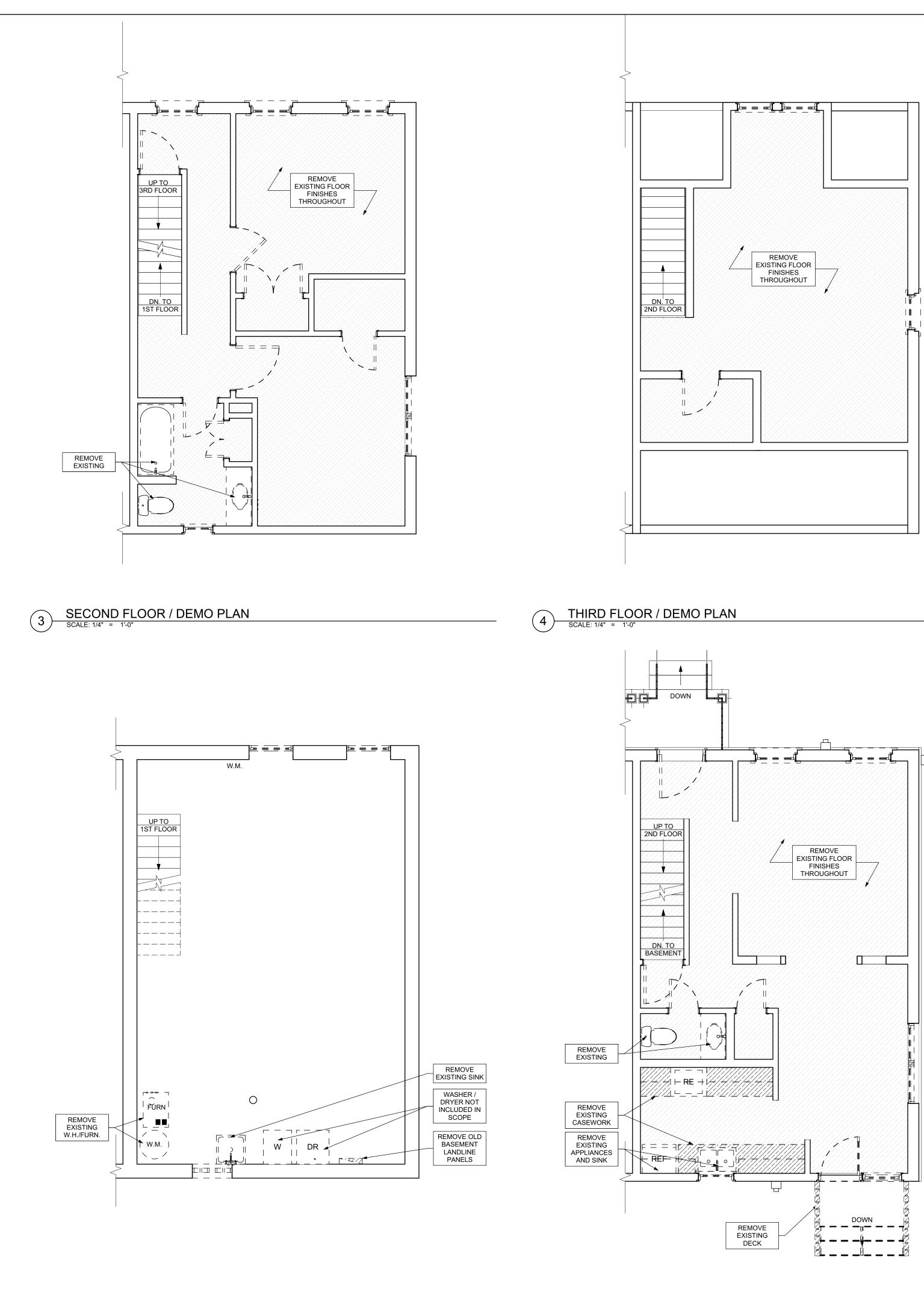






- 1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE
- 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD

1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,	Fukui Architects P
·	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street
2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 1521 ph 412 281 6001 fr 412 281 600
3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.600
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER	
	PAVERS, OK STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS, CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK, BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND	
	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
_	TRIM OR ORNAMENTAL WOOD, REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE	
2	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN	
	THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
3	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
1	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE	general notes
DOF	NEW VINYL SIDING TO MATCH EASTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.
	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIECATIONS FOR DETAILS	<ol> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect</li> </ol>
сны	SPECIFICATIONS FOR DETAILS.	<b>Pc</b> of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior
	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	<ul><li>proceeding with any phase of work. Do not sca drawings.</li><li>3. All work shall be installed in accordance with applicab</li></ul>
	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	codes and regulations.
	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	<ol> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, ar ceiling surfaces as required to receive scheduled finishes</li> </ol>
	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	5. All items shown on drawings are finished constructio assemblies. Contractor shall provide and install a
	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.	<ul><li>material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, fiel</li></ul>
-	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instrument prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha
	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK	retain all common law statutory, and other reserve rights, including the copyright thereto.
	SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	revisions
	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR	ISSUED FOR PERMIT: 05.06.2022
_	WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	1550222 I OK I LIXIVII I . 05.00.2022
	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
_	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
0	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD JEIGHT TO MATCH DEMOLISHED STAIP	• Owner:
	TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP
1	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN. LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2/22/11 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO	200 ROSS STREET PITTSBURGH PA 15219
2	DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN	PITTSBURGH,PA 15219
	WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
3	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER.	
	REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
4	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY APCHITECT	<b>Project Location:</b>
5	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SITES 1101 PENNSYLVANIA AVENUE
3	WATERPROOFING, PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
7	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
8	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
UMB	<b>ING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE
	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	PLAN LEGEND, GRAPHIC
	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	SCALES, SMALL UNIT KEYNOTES
FOU	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date Shoted
		May 6, 2022
		<b>12 A4</b>



(1)

GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND
- CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE
- POSSIBLE. 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- 7 REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND



DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.

DEMOLISH EXISTING CASEWORK IN HATCHED AREA.

FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

## SCOPE REDUCTION:

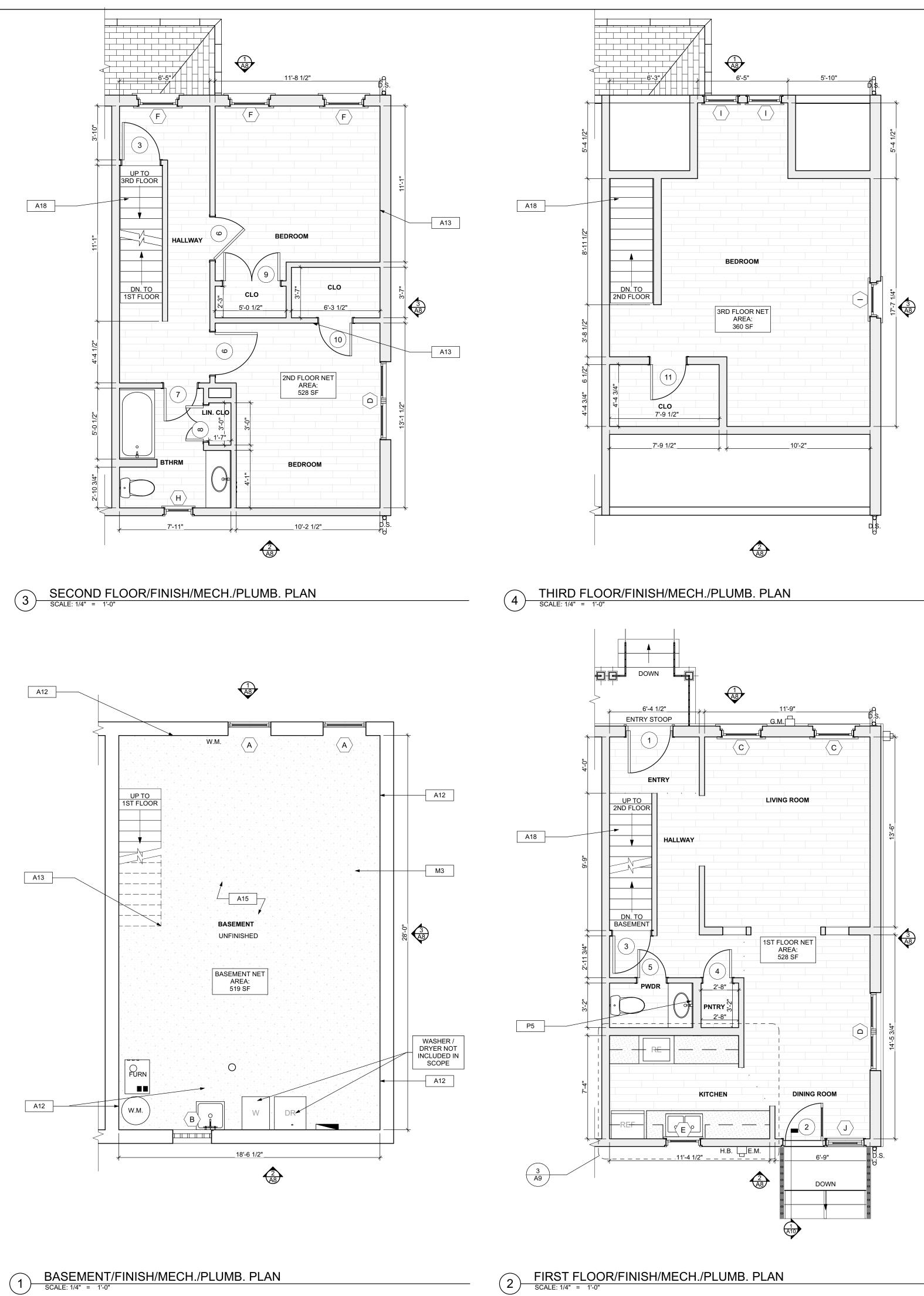
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM	Fukui Architects Pc
	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.6002
	REMOVE OUT OF FLOMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE	
	ELECTRICAL WIRES ARE LESS THAN 12-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE	general notes
ROOF	AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects,
ARCHIT	ECTURAL	<b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale</b>
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with applicable</li></ul>
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	<ul><li>codes and regulations.</li><li>Contractor shall be responsible for the patching,</li></ul>
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	<ul><li>material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, field</li></ul>
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	WALL TO CEILING OF TOBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	ELASTOME THE SCALENT FERSE CONTRACTORS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR.	project title
A10	DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>Owner:</b> HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WE'L LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	1101 PENNSYLVANIA AVENUE
A16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
A17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
DI		BASEMENT / DEMO PLAN, FIRST
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	FLOOR / DEMO PLAN, GENERAL
1	LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	DEMOLITION NOTES, DEMOLITION PLAN LEGEND,
	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	<b>GRAPHIC SCALES, SMALL UNIT</b>
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	KEYNOTES
M3	BASED ON ADJACENT DUCT OR FURNACE.	
	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
	WITH CORRECT SIZING AS NECESSARY.	scale As NotedSheet No.date
		May 6, 2022 no. of. A5
		6 12
		Project #2006



## RANGE FURN GAS FURNANCE UTILITY SINK WASHER NEW DOOR AND DOOR NUMBER 1 (X) I W.H) WATER HEATER DS. DOWN SPOUT □ E.M. ELECTRIC METER H.B. HOSE BIBB

FLOOR PLAN LEGEND

REF FRIDGE

RE

## SCOPE REDUCTION:

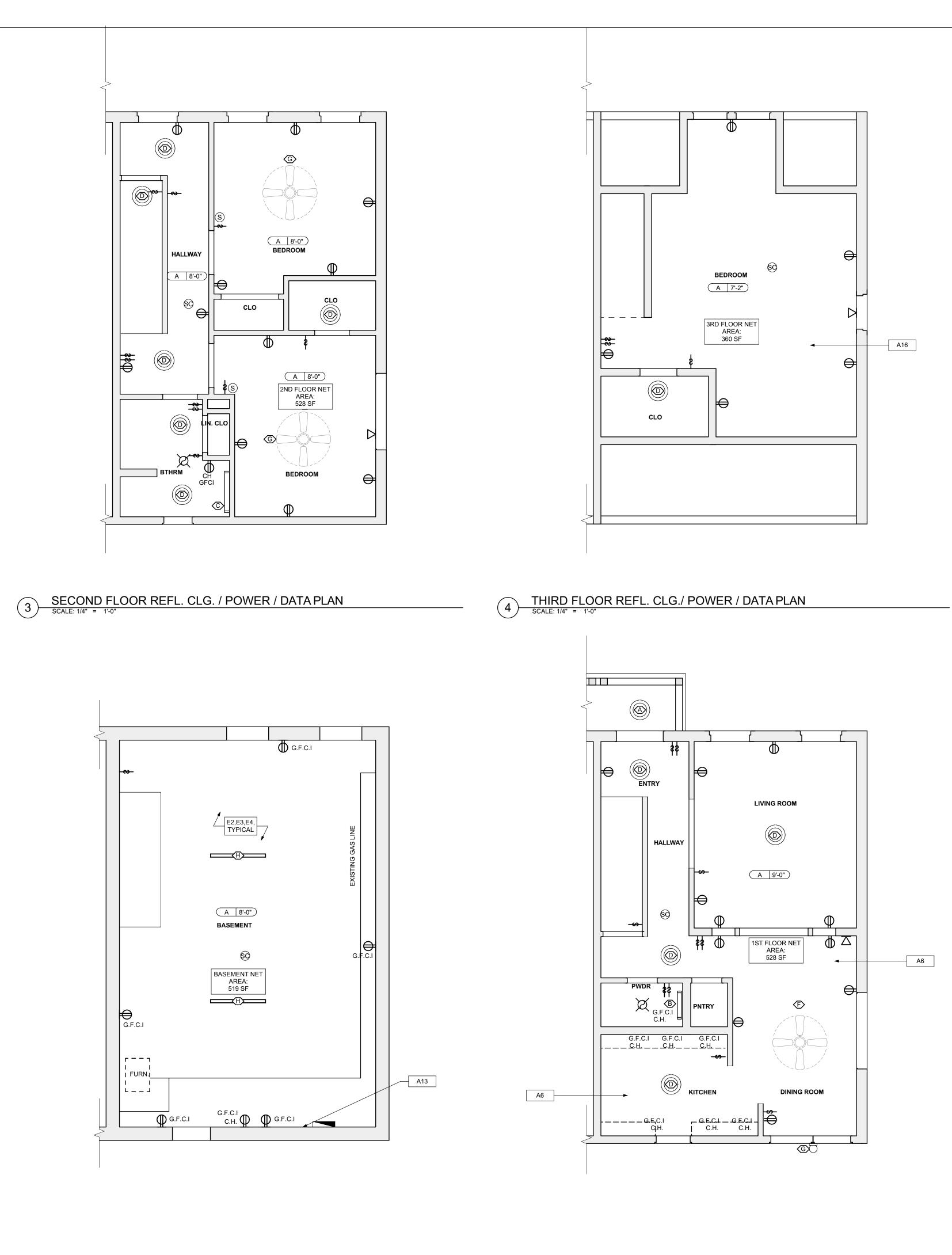
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

0 1' 2' 4' 8'

SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM	Fukui Architects P
	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Stree Bittsburgh Bonneylyania 1521
52	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW	Ph 112.201.0001 1A +12.201.000
	SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION	
	JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND	
	REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	sea
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE	
S12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN	
	THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
514	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE	general notes
ROOF	AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	<ol> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Archited</li> </ol>
ARCHIT	SPECIFICATIONS FOR DETAILS.	<b>Pc</b> of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	<ul><li>proceeding with any phase of work. Do not sc drawings.</li><li>3. All work shall be installed in accordance with application.</li></ul>
A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	codes and regulations.
43	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	<ol> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finisher</li> </ol>
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	<ol> <li>All items shown on drawings are finished constructi assemblies. Contractor shall provide and install</li> </ol>
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	<ul><li>6. All reports, plans, specifications, computer files, file</li></ul>
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS	remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto.
	AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT	revision
A7	WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH	
	1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	- · ·
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS,	project titl
	KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN, SAWCUT EXISTING SLAB	HACP 200 ROSS STREET
A12	FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY	
	AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
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A14	RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF	<b>Project Location:</b>
A15	FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE	MANCHESTER SCATTERED SITE
	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING, PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1101 PENNSYLVANIA AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT/FINISH/MECH./PLUN
	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB.
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB.
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	PLAN, THIRD FLOOR/FINISH/MECH./PLUMB.
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	PLAN, GRAPHIC SCALES, FLOOI PLAN LECEND SMALL UNIT
M2 M3	BASED ON ADJACENT DUCT OR FURNACE.	PLAN LEGEND, SMALL UNIT KEYNOTES
	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
Λ4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
	WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date
		May 6, 2022

12

Project #2006



(1)

Lighting Schedule					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	ltem # 11132AZTLED	1
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	11
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G Bedroom Ceiling Fan DEMPSEY Low Profile with Light 44 inch Model # 59445 3				
	Н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF					

## RCP LEGEND - (See Specifications for basis of Design)

- SMOKE ALARM, PROVIDE NEW WHERE SHOWN S
- SC SMOKE/ CARBON MONOXIDECOMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT  $\bigcirc$
- DATARECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N. φ
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N. He CLI

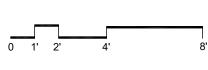
- LIGHT SWITCH
- X EXHAUST FAN
- DOORBELL
- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

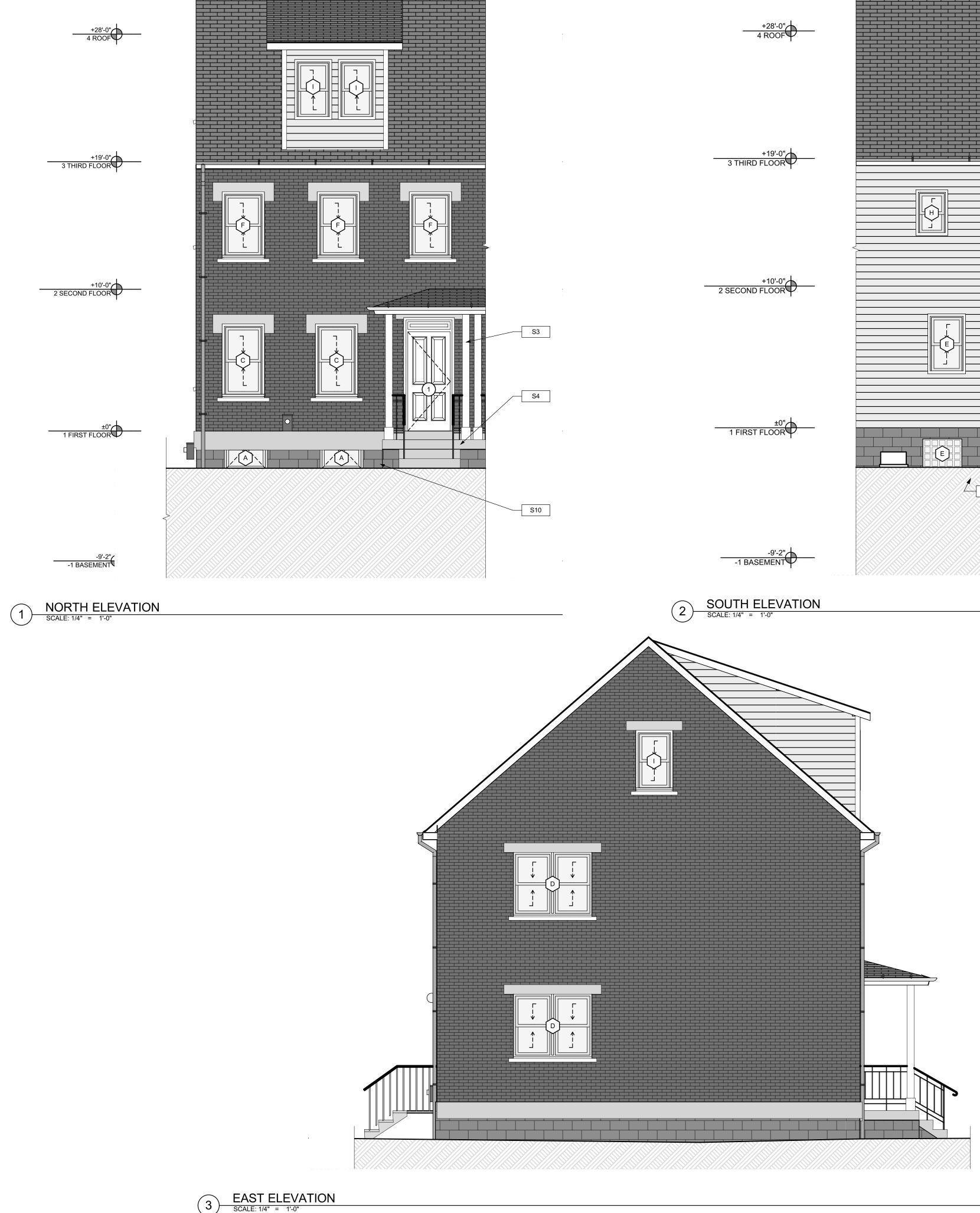
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

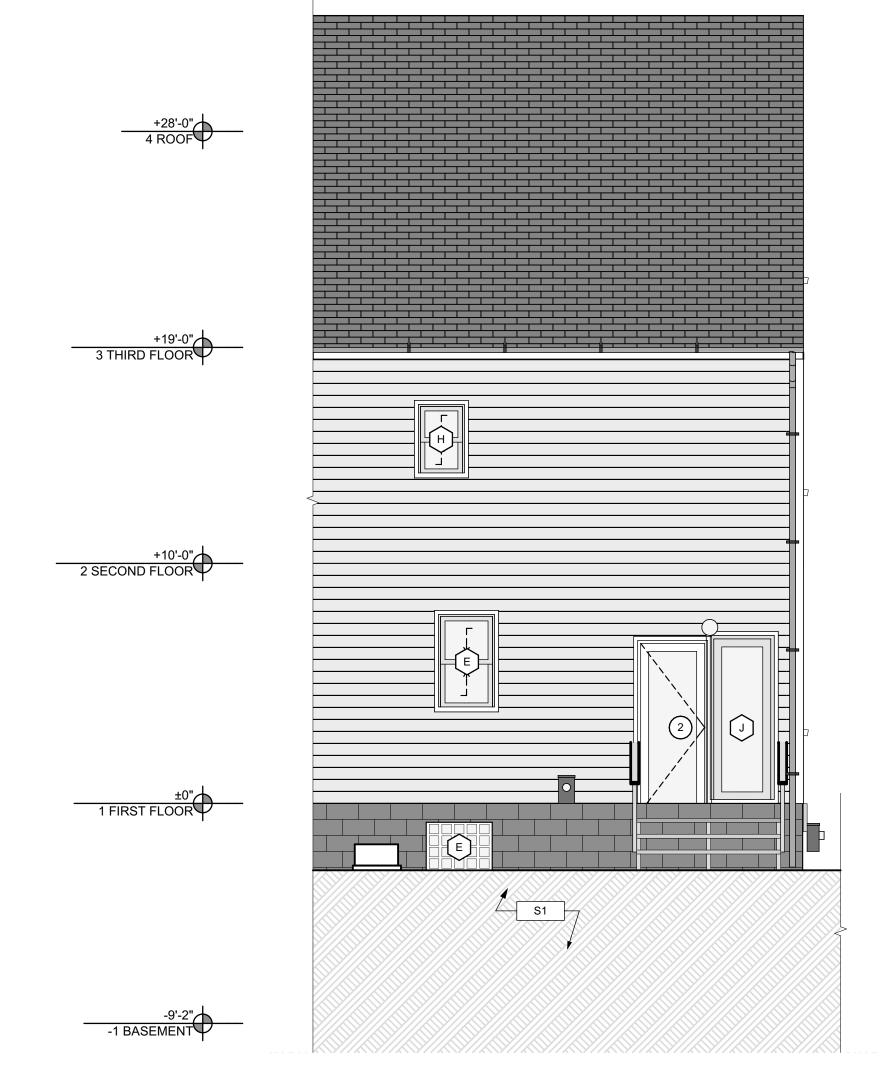




SITE		Eulaui Anabitanta Da
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0".	Fukui Architects Pc 205 Ross Street
32	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC.	Pittsburgh, Pennsylvania 15219
3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.6002
	NEMOVE OUT OF PLOME SUPPORT FOST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECETSATION OF CREATE ADDITIONAL GRAVEL AS NECETSATION	
55	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ANDEL AND CAULY SOLO ADD PROVIDE	
6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
\$8 \$9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	
10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT	
11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND	
-	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4', PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A	
13	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER, FROM THIS AREA PROVIDE	general notes
ROOF	NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	In Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
81	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects.</li> </ol>
RCHI	TECTURAL	<b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale</b>
1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>drawings.</li><li>All work shall be installed in accordance with applicable</li></ul>
.2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<ul><li>codes and regulations.</li><li>4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and</li></ul>
3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.</li><li>5. All items shown on drawings are finished construction</li></ul>
	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install all material required for finished assemblies.
.5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
.6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
\8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
.9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	• • • • •
10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	<b>Owner:</b>
11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB	HACP 200 ROSS STREET
412	FOR NEW STANDARD 2/2/2/1 SPERAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT	PITTSBURGH,PA 15219
	DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
413	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE	
14	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	<b>Project Location:</b>
15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SITES 1101 PENNSYLVANIA AVENUE
16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
.17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BSMT. REFL. CLG/ POWER / DATA
	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	PLAN, FIRST FLOOR REFL. CLG. /
21	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	<b>POWER / DATA PLAN, SECOND</b> <b>FLOOR REFL. CLG. / POWER /</b>
2	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY, INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	DATA PLAN, THIRD FLOOR REFL. CLG./ POWER / DATA PLAN,
	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	GRAPHIC SCALES, SMALL UNIT KEYNOTES, RCP LEGEND,
2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	LIGHTING SCHEDULE
3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
14	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date
		May 6, 2022 no. of. A7
		Project #2006







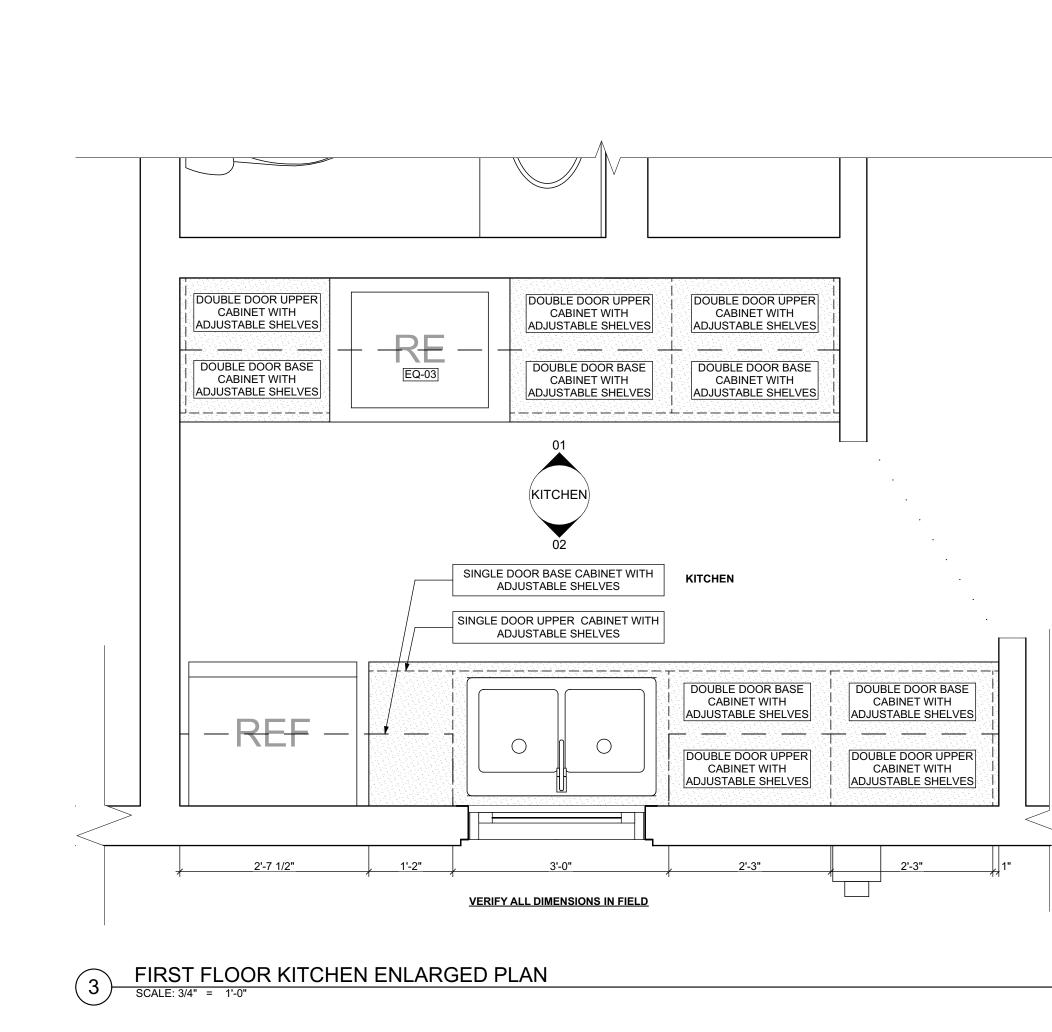
## <u>GENERAL NOTE:</u>

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

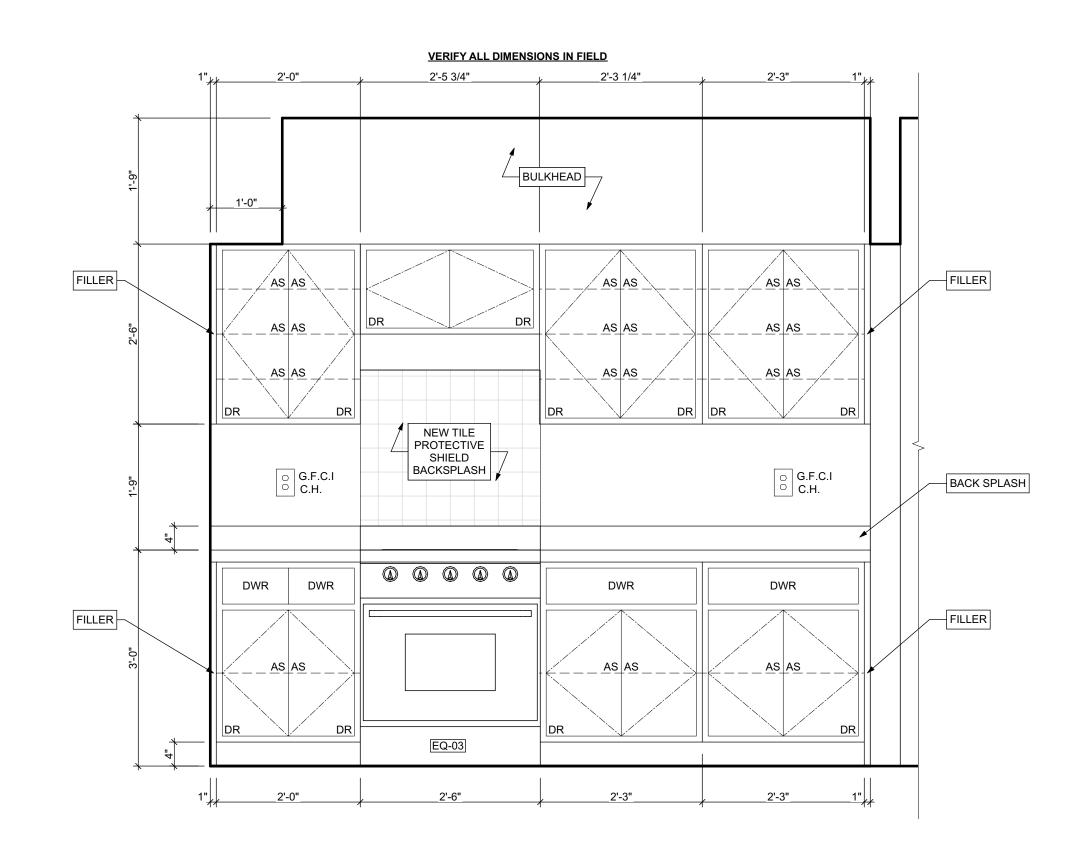
## SCOPE REDUCTION:

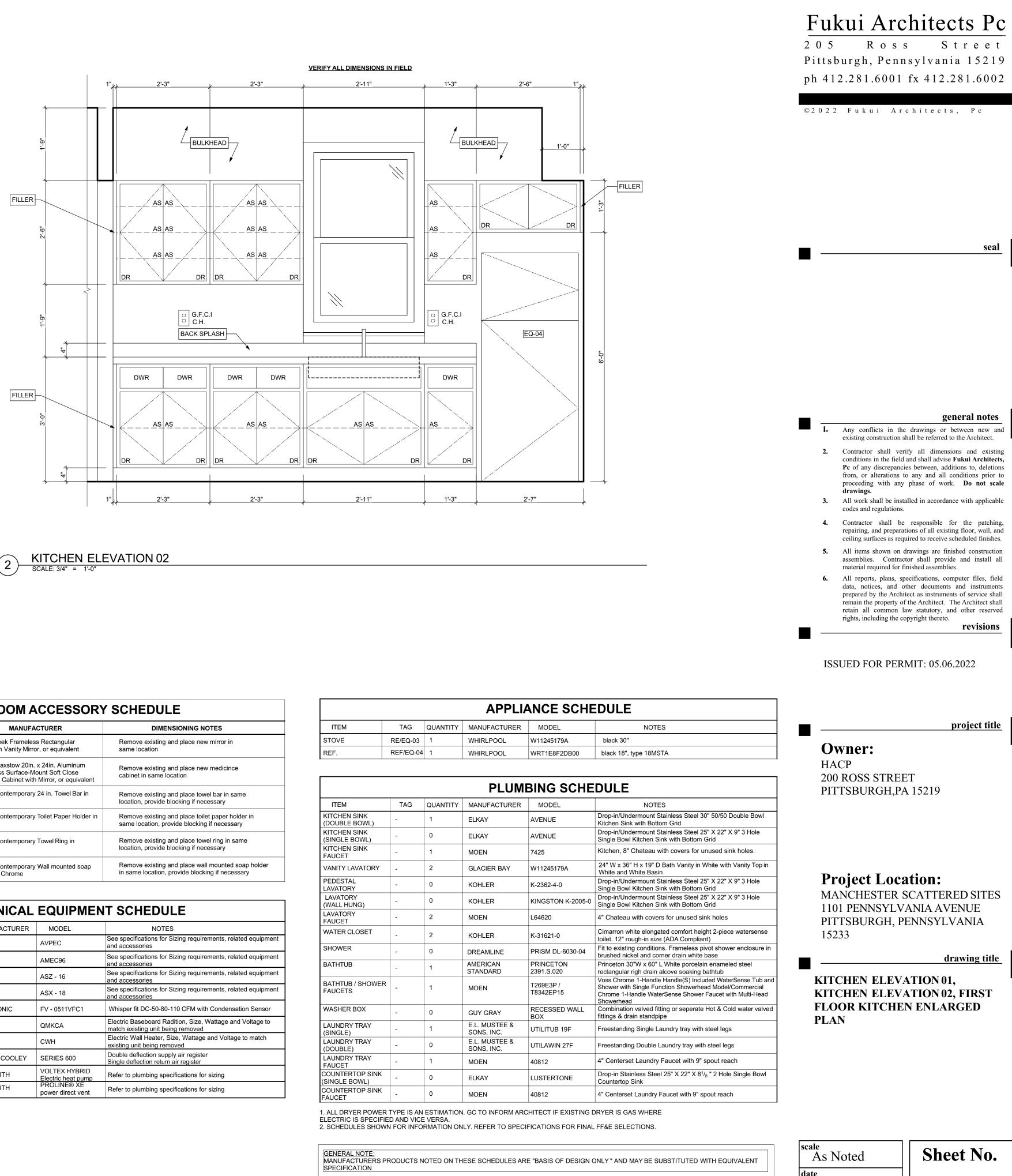
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIECATIONS	Fukui Architects
]	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 152 ph 412 281 6001 fx 412 281 60
	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	ph 412.281.6001 fx 412.281.60
]	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	- · · · · · · · · · · · · · · · · · · ·
]	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION	
	JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF	
	PITTSBURGH APPROVED GAS METER. REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED	
]	TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD, REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
0	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
1	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
2	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'0" MIN.	
13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between ne
<b>ROOF</b> रा	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ul><li>existing construction shall be referred to the Archit</li><li>Contractor shall verify all dimensions and conditions in the field and shall advise Fukui Architecture</li></ul>
RCHI	TECTURAL	<b>Pc</b> of any discrepancies between, additions to, de from, or alterations to any and all conditions p proceeding with any phase of work. <b>Do not</b>
1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with approximation of the statement o</li></ul>
2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<ul><li>codes and regulations.</li><li>4. Contractor shall be responsible for the parameters of all existing floor and second se</li></ul>
3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, w ceiling surfaces as required to receive scheduled fi
4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>All items shown on drawings are finished const assemblies. Contractor shall provide and ins material required for finished assemblies.</li> </ol>
5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	6. All reports, plans, specifications, computer file data, notices, and other documents and instr
16	NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATHE OR STUDS AS	prepared by the Architect as instruments of servic remain the property of the Architect. The Architec retain all common law statutory, and other re
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the copyright thereto.
7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
.8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
(9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS,	project
	NEW WOOD S LAR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>Owner:</b>
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB	HACP 200 ROSS STREET
A12	FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING	PITTSBURGH,PA 15219
	MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
A13	AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER.	
	PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	<b>Project Location:</b>
15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SI 1101 PENNSYLVANIA AVENUE
.16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
.18	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION
21	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	GRAPHIC SCALES, SMALL UN KEYNOTES
2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
IECH	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	
3	BASED ON ADJACENT DUCT OR FURNACE.	
4	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet N
		date May 6, 2022 no. of.
		<b>12 A8</b>
		<b>7 1 4</b>   Project #20









(2)

ITEM QUANTITY		MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

TAG	Q
RE/EQ-03	1
REF/EQ-04	1
	RE/EQ-03

ITEM	TAG	Q
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	C
KITCHEN SINK FAUCET	-	1
VANITY LAVATORY	-	2
PEDESTAL LAVATORY	-	C
LAVATORY (WALL HUNG)	-	C
LAVATORY FAUCET	-	2
WATER CLOSET	-	2
SHOWER	-	C
BATHTUB	-	1
BATHTUB / SHOWER FAUCETS	-	1
WASHER BOX	-	C
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	C
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	C
COUNTERTOP SINK FAUCET	-	C

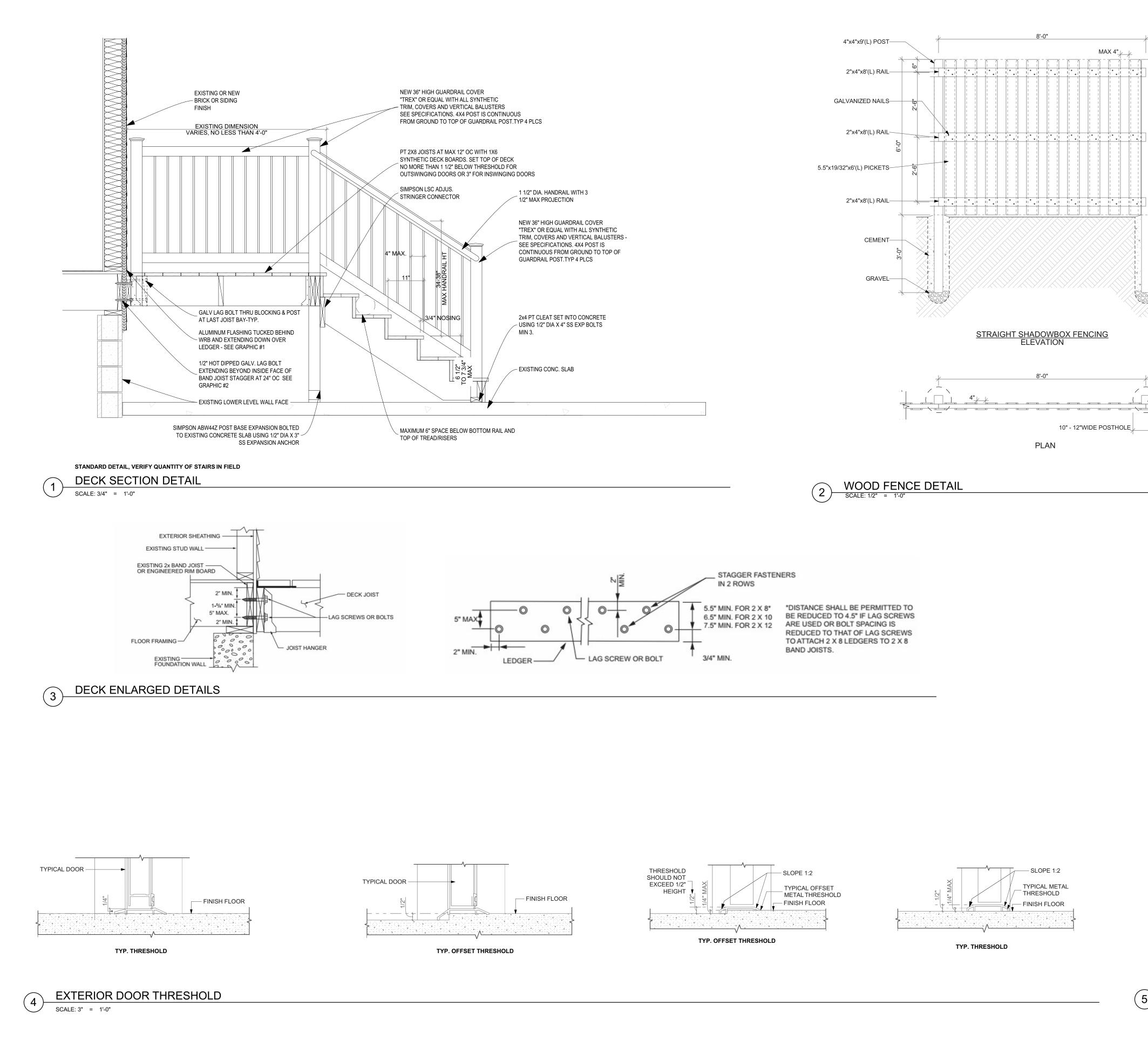
Project #2006

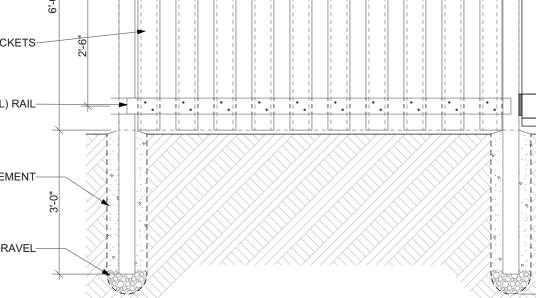
**A9** 

May 6, 2022

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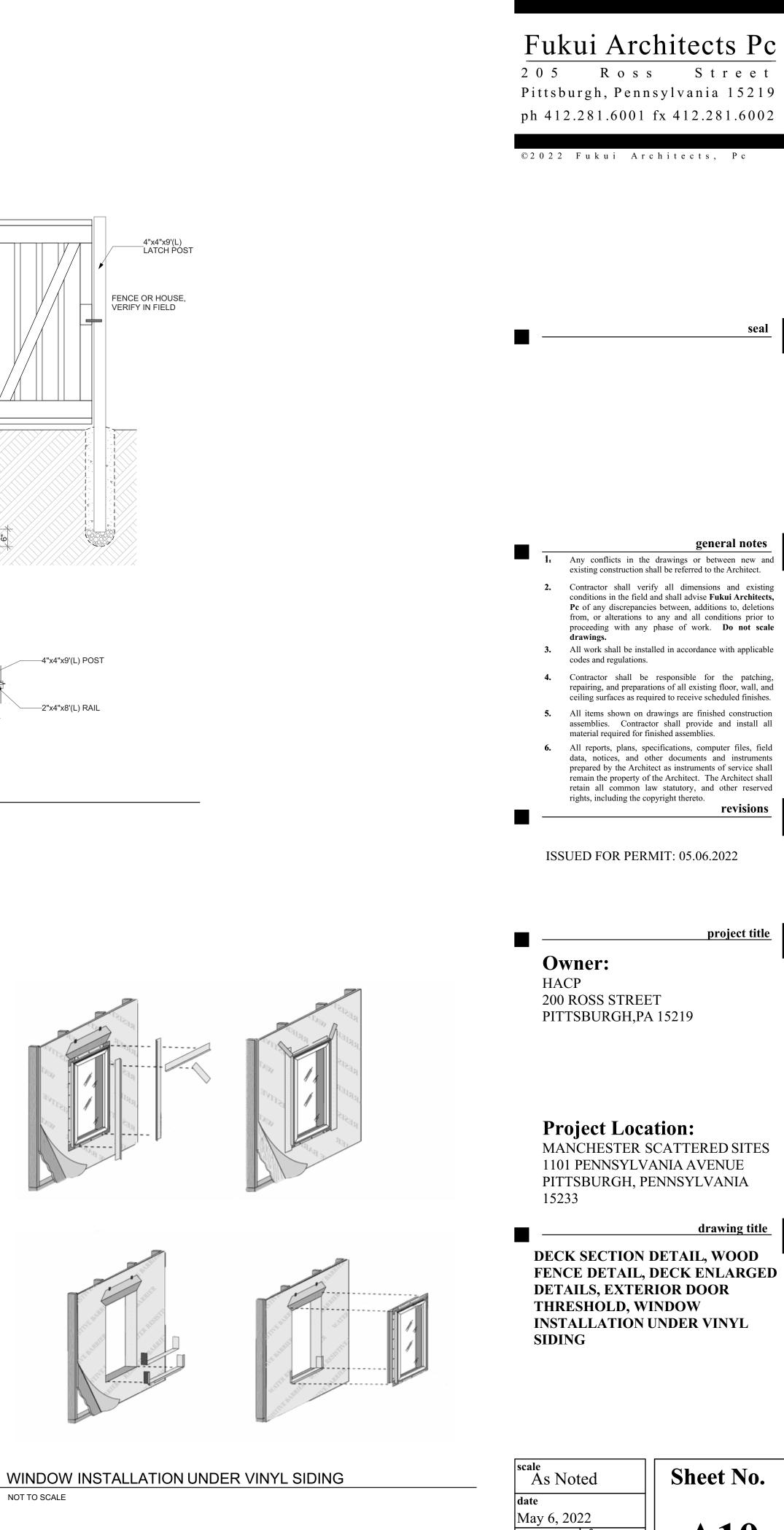




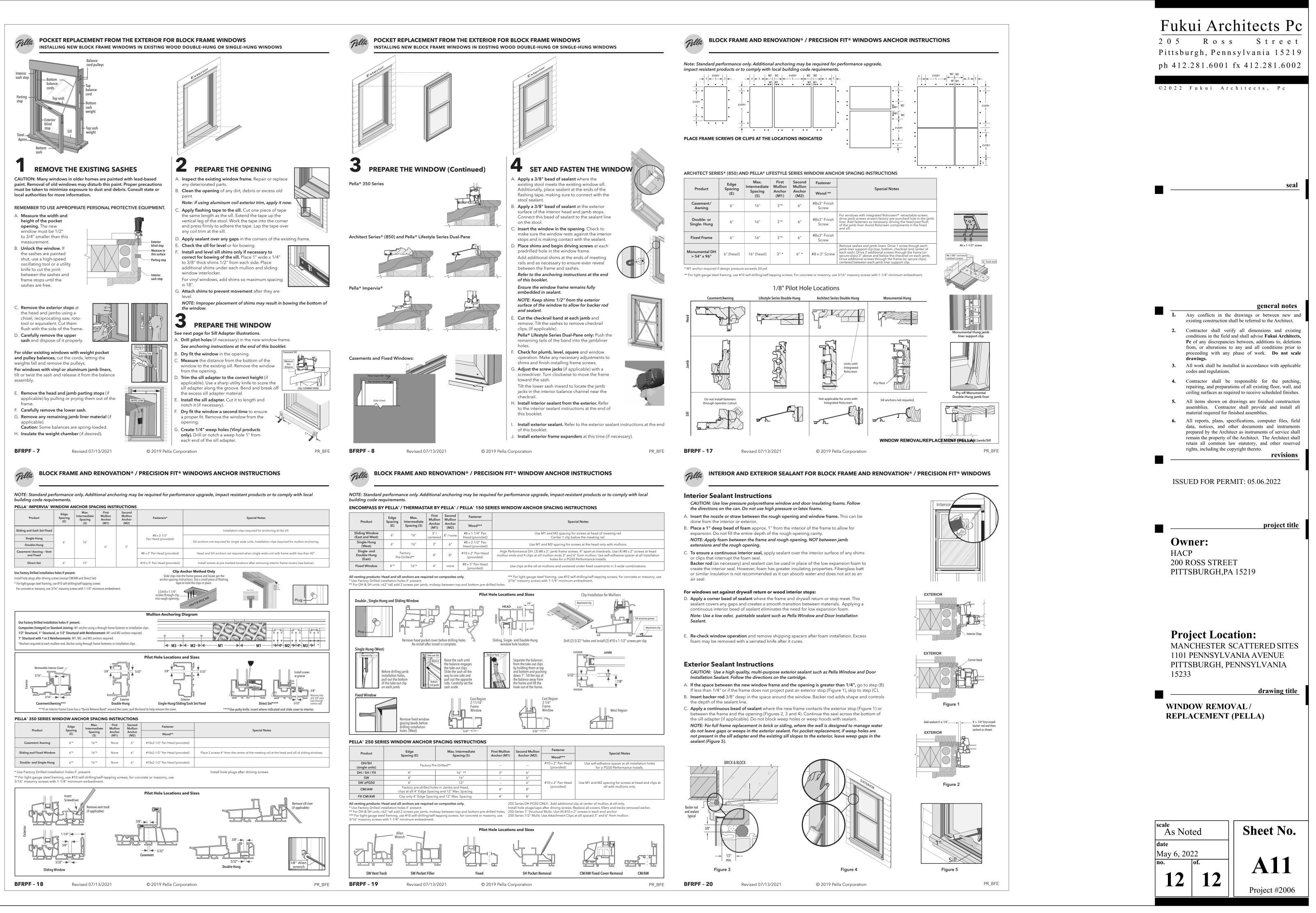
MAX 4"_____



NOT TO SCALE



**A10** 12 11 Project #2006



## PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

## Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

**Development Characteristics** Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

### As the **DESIGN ARCHITECT**, I certify that:

**Development Amenities** 

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments. with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)				
Smoke Free Develo	pment			
As the <u>APPLICANT</u> ,	I certify that:			
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.			
Energy Rebate Analysis (ERA)				
A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts with be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. The energy rebate is not basis eligible and will be removed from basis on a tax credit development. Prior to closing the developer will be required to submit an updated ER/ which includes:				

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis. 

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. ( schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

## As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

## 2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	<ul> <li>The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.</li> <li>Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.</li> <li><u>New Construction</u>:         <ul> <li>For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)</li> </ul> </li> </ul>	X       The Fair Housing Act of 1988 & Fair Housing Desig         X       ANSI A117.1-2009 (or edition currently adopted by         X       Pennsylvania Uniform Construction Code         X       Uniform Federal Accessibility Standards (UFAS)         X       Section 504 of the Rehabilitation Act of 1973         X       2010 ADA Standards for Accessible Design         X       Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.)         NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	<ul> <li>For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)</li> <li>Preservation (Moderate Rehab) *:</li> <li>For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>* Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.</li> </ul>	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	<ul> <li>NOTE:</li> <li>Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.</li> <li>All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.</li> </ul>	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA   210	Tab_08_02 Certification of Selection Criteria

limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to _____ accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 b 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60.000 btuh, gas fired water heaters, windows, ceiling fans. exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- X When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

	Fukui Architects Pc
PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)	$\frac{1}{205} \frac{1}{8000} \frac{1}{10000000000000000000000000000000000$
	Pittsburgh, Pennsylvania 15219
Large Family Units As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the	ph 412.281.6001 fx 412.281.6002
referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:	1
<ul> <li>*High rise developments and senior housing cannot qualify for this category.</li> <li>71 Total units &gt;15 - 20% of all units</li> <li>43 Total number of affordable 3 or more- &gt;20 - 25% of all units bedroom units</li> <li>&gt;10-15% of all units (suburban/rural X &gt;25% of all units developments only)</li> </ul>	©2022 Fukui Architects, Pc
DESIGN ARCHITECT	
Signed: $d$ Date: $d$ $(9, 202)$ Print: $d$ $(19, 202)$	
Firm <u>Fukuti Arealtheats</u> , <u>FC</u> Acknowledged and Accepted by the APPLICANT(S)	
Signed: Date:	
Print:	
Signed: Date: Print:	seal
Tab_08_02 Certification of Selection Criteria 212	general notes
PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)	<b>1.</b> Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
As the <u>DESIGN ARCHITECT</u> , I certify that for preservation developments: <u>X</u> The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)	<ol> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.</li> </ol>
Enterprise Green Communities Criteria for Preservation Developments Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the following mandatory 2015 Green Communities criteria, as amended:	<ul> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor, shall be reconcretible for the retabing</li> </ul>
<ul> <li>Environmental Remediation (Follow Enterprise and PHFA Tab 17 &amp; 34 requirements)</li> <li>Minimization of Disturbance during staging and construction. (Applicable only to new</li> </ul>	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
<ul> <li>ground disturbance)</li> <li>3.3 Ecosystem Services/Landscaping (applicable only to new landscaping)</li> <li>4.1 Water-Conserving Fixtures (Applicable only to new fixtures)</li> <li>5.6 Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling</li> </ul>	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
equipment) 5.7 Energy Star Appliances (Applicable only to new appliances) 5.8 Lighting (Applicable only to new lighting fixtures) 6.4 Healthier Material Selection (Applicable only to new paints, coatings and primers) 6.6 Bath, Kitchen Laundry surfaces 6.8 Managing Moisture: Foundations (Applicable to new addition foundations)	<b>6.</b> All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall
<ul> <li>6.9 Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)</li> <li>7.3 Combustion Equipment (Carbon monoxide alarm requirements apply to all projects</li> </ul>	retain all common law statutory, and other reserved rights, including the copyright thereto.
<ul> <li>with combustion equipment. Venting requirements are applicable to new combustion equipment only)</li> <li>7.5 Integrated Pest Management (Applicable only if identified as a problem in the PCNA)</li> </ul>	revisions
<ul> <li>8.1 Building Operations &amp; Maintenance Manual and Plan (Follow Enterprise requirements)</li> <li>8.2 Emergency Management Manual (Follow Enterprise requirements)</li> </ul>	
Home Ownership As the DESIGN ARCHITECT, I certify that:	ISSUED FOR PERMIT: 05.06.2022
X     The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook-ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided.	
Flood Plain Certification         As the DESIGN ARCHITECT, landscape architect or civil engineer] I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is: (Check all that apply)          Outside any flood area      Outside of a flood way	
Outside any nood area      Outside of a nood way        Inside a 500 year flood area      Inside a flood way        Inside a 100 year flood area      Inside a flood way	
TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA     219	project title
	Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219

Droi	inat	Loca	tion
Pro	lect	LOCA	ltion

r ruject Location: MANCHESTER SCATTERED SITES 1104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

## **SELECTION CRITERIA**, **THRESHOLD CRITERIA**, **TABULAR SCHEDULE**

TABULAR AREA UNIT SCHEDULE			
UNIT #	GROSS AREA (SF)	NET AREA (SF)	
SFR	2,521	2,249	

scale As Noted		Sheet No.
date May 6, 2022		
no.	of.	<b>A0</b>
1 13		Project #2006

# MANCHESTER SCATTERED SITES

## HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1104 W NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 **2 BEDROOM UNIT Code Conformance Information**

**Drawing Index** 

**A0 PHFA DOCUMENTS** 

SELECTION CRITERIA

THRESHOLD CRITERIA TABULAR SCHEDULE

TABULAR SCHEDULE	Gross Area: Construction Type:
A1 COVER SHEET	– Sprinklers: Smoke detector:
ARCH PRLIM SET	-
MANCHESTER SCATTERED SITES MAP	
CODE AND CONTACT INFO	
A2 ABBREVIATIONS AND MATERIALS	_
ABBREVIATIONS AND MATERIALS	~
DOOR TYPES	Contact
DOOR SCHEDULE (WITH EXISTING)	Note: Any questions con
WINDOW SCHEDULE	forward questions as appr
FINISH SCHEDULE SIDING WALL SECTION	Building Owner:
BRICK WALL SECTION	
INTERIOR STAIR DETAIL	Housing Authority of the City of Pittsburgh
A3 SCOPE / GENERAL / GREEN COMMUNITY NOTES	- ph: 412.715.7501
ENERGY NOTES	_ mackenzie.pleskovic@ha contact: Mackenzie Plesk
GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	_
ROOF PLAN	
SITE PLAN	
ROOF PLAN NOTES	
ROOF AND SITE PLAN LEGEND	Canana
GRAPHIC SCALES GRAPHIC SCALES	Genera
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	_ 1. It is intended that t Notes on Sheet A-3
GENERAL DEMOLITION NOTES	2. For Scope of Work
DEMOLITION PLAN LEGEND	Architectural Scop 3. After Bid Award an
BASEMENT / DEMO PLAN	3. After Bid Award an
FIRST FLOOR / DEMO PLAN	
SMALL UNIT KEYNOTES	
GRAPHIC SCALES	Genera
THIRD FLOOR / DEMO PLAN	Utitia
SECOND FLOOR / DEMO PLAN	- Shown
A6 FLOOR/FINISH/MECH./PLUMB. PLANS	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN BASEMENT/FINISH/MECH./PLUMB. PLAN	1. Orantition shares
FLOOR PLAN LEGEND	1. Quantities shown i with HACP. They
SMALL UNIT KEYNOTES	2. All contractor's and
GRAPHIC SCALES	offs.
A7 FLOOR/FINISH/MECH./PLUMB. PLANS	-
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	-
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	
SMALL UNIT KEYNOTES	
FLOOR PLAN LEGEND	
GRAPHIC SCALES	_
A8 REFLECTED CEILING / POWER / DATA PLANS	_
BASEMENT REFL. CLG./ POWER / DATA PLAN	
FIRST FLOOR REFL. CLG./ POWER / DATA PLAN SECOND FLOOR REFL. CLG./ POWER / DATA PLAN	
THIRD FLOOR REFL. CLG./ POWER / DATAPLAN	
SMALL UNIT KEYNOTES	
RCP LEGEND	
LIGHTING SCHEDULE	
GRAPHIC SCALES	
A9 ELEVATIONS	-
NORTH ELEVATION	-
SOUTH ELEVATION	
GRAPHIC SCALES	
WEST ELEVATION	
SMALL UNIT KEYNOTES	_
SMALL UNIT KEYNOTES A10 KITCHEN ENLARGED PLANS AND ELEVATIONS	-
SMALL UNIT KEYNOTES A10 KITCHEN ENLARGED PLANS AND ELEVATIONS FIRST FLOOR KITCHEN ENLARGED PLAN	-
SMALL UNIT KEYNOTES A10 KITCHEN ENLARGED PLANS AND ELEVATIONS FIRST FLOOR KITCHEN ENLARGED PLAN KITCHEN ELEVATION 02	-
SMALL UNIT KEYNOTES A10 KITCHEN ENLARGED PLANS AND ELEVATIONS FIRST FLOOR KITCHEN ENLARGED PLAN	-

Applicable Codes	
General:	2015 Iı
	2015 I
Accessibility:	2009 IO
Energy:	2015 Ii
Electrical:	2014 N
Fire:	2015 Ii
Fuel Gas:	2015 In
Mechanical:	2015 Iı
Plumbing:	2017 A
Fire Alarm:	2013 N
Sprinkler:	2013 N
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R-2"
Stories:	3 story

Stories:

Gross Area:

2,521 sqft None

## et Schedule

Any questions cond l questions as appr	C
ng Owner:	
g Authority	

hacp.org skovic

## al Description of Work

- ope Notes. and required project walkthroughs, additional Scope may be removed from contracted work.

## al Note Related to Quantities in Documentation

International Building Code International Building Code ICC/ANSI A117.1 International Energy Conservation Code NEC (NFPA 70) International Fire Code International Fuel Gas Code International Mechanical Code Allegheny County Health department Plumbing Code NFPA 72 NFPA 13

el-2 alteration per the IEBC 3 story with basement

truction Documents shall first be directed to the Architect. The Architect will nsulting engineers.

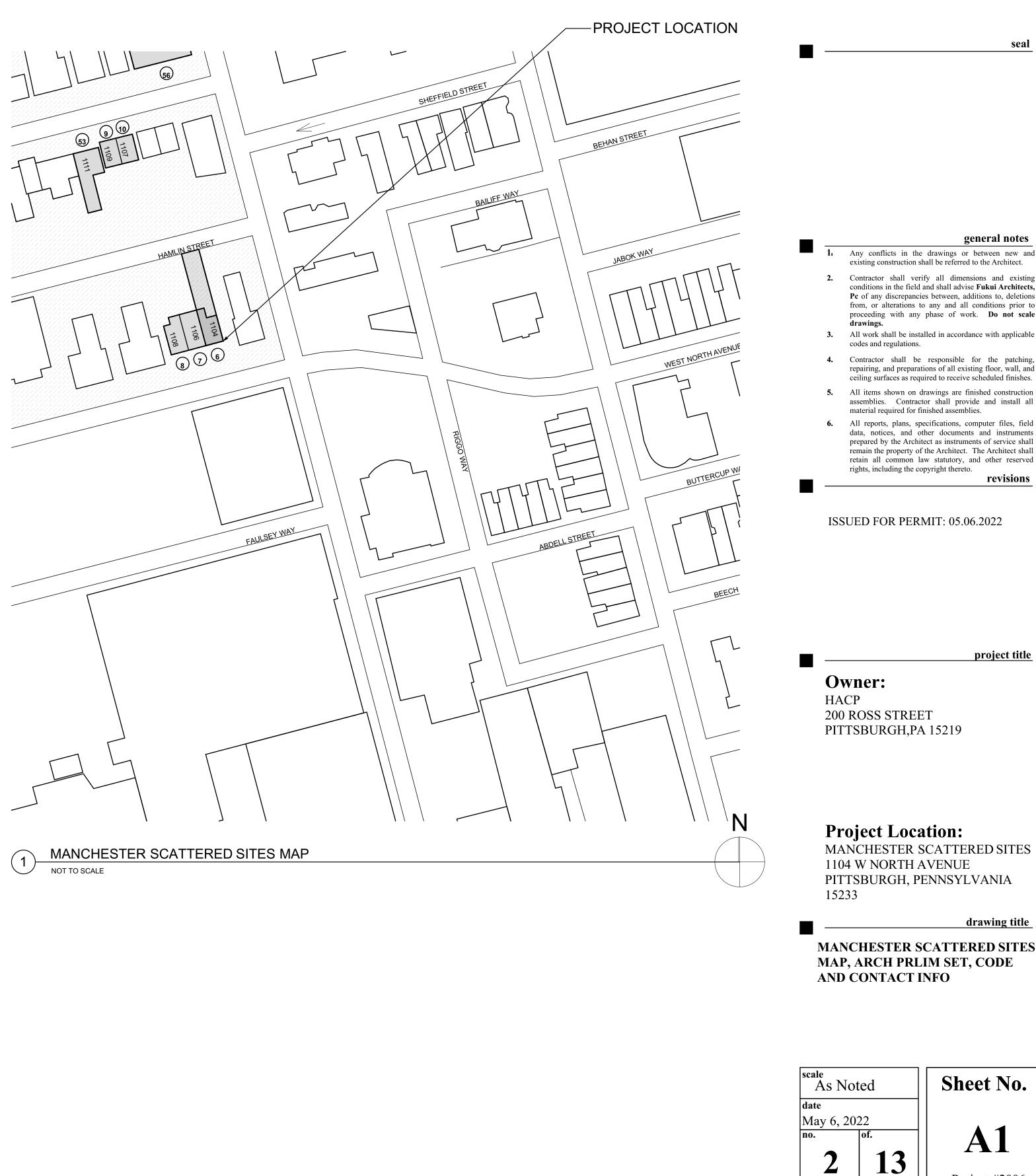
Architect: Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA Plan Review & Inspection City of Pittsburgh Department of permits, Licenses and Inspections

200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

at the scope of work is a complete interior and partial to complete exterior renovation. See Scope

ork items potentially removed from Project Scope see (second) 7 Items enumerated under

n in this set of documents are intended for Architect's use and convenience in scope discussions They are not to be relied on by the Contractor's in preparing bids or executing the work. and material suppliers shall be responsible for performing and relying on their own quantity take-



## Fukui Architects Pc Ross Street 2 0 5 Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

seal

general notes

revisions

project title

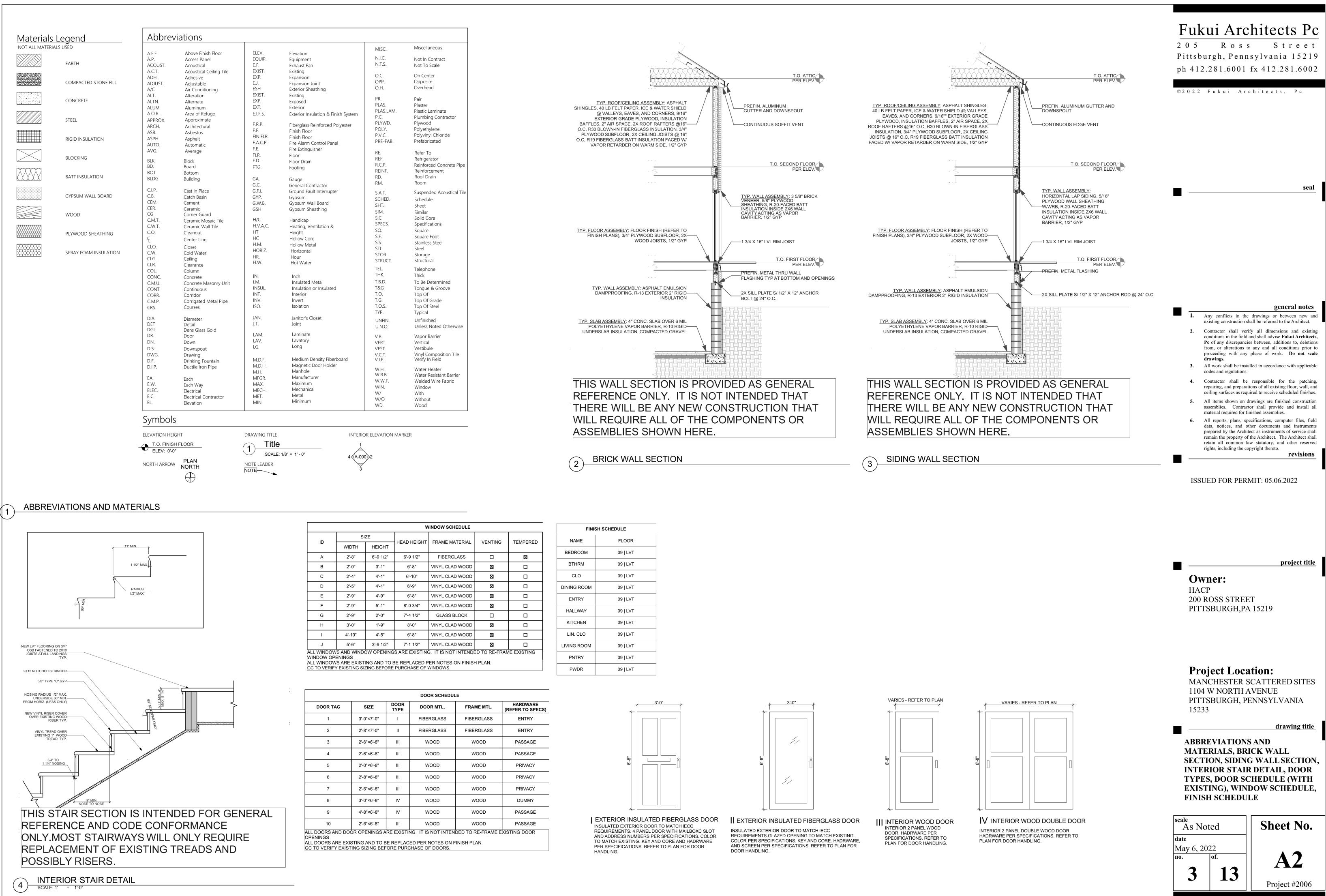
drawing title

**Sheet No.** 

**A1** 

Project #2006

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WINE	OOW SCHEDULE		
HT F	RAME MATERIAL	VENTING	TEMPERED
	FIBERGLASS		X
VI	NYL CLAD WOOD		
VI	NYL CLAD WOOD		
VI	NYL CLAD WOOD		
VI	NYL CLAD WOOD	×	
VI	NYL CLAD WOOD	×	
	GLASS BLOCK		
VI	NYL CLAD WOOD		
VI	NYL CLAD WOOD	×	
VI	NYL CLAD WOOD	×	

OR SCHEDULE				
OR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)		
ERGLASS	FIBERGLASS	ENTRY		
ERGLASS	FIBERGLASS	ENTRY		
VOOD	WOOD	PASSAGE		
VOOD	WOOD	PASSAGE		
VOOD	WOOD	PRIVACY		
VOOD	WOOD	PRIVACY		
VOOD	WOOD	PRIVACY		
VOOD	WOOD	DUMMY		
VOOD	WOOD	PASSAGE		
VOOD	VOOD WOOD PASSAGE			
S NOT INTENDED TO RE-FRAME EXISTING DOOR				

FINISH SCHEDULE		
NAME	FLOOR	
BEDROOM	09   LVT	
BTHRM	09   LVT	
CLO	09   LVT	
DINING ROOM	09   LVT	
ENTRY	09   LVT	
HALLWAY	09   LVT	
KITCHEN	09   LVT	
LIN. CLO	09   LVT	
LIVING ROOM	09   LVT	
PNTRY	09   LVT	
PWDR	09   LVT	

## **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALLAND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

### MECHANICAL SCOPE NOTES

### THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT **100% REPLACEMENT PER THE SPECIFICATIONS. AT THE** TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

### ELECTRICAL SCOPE NOTES

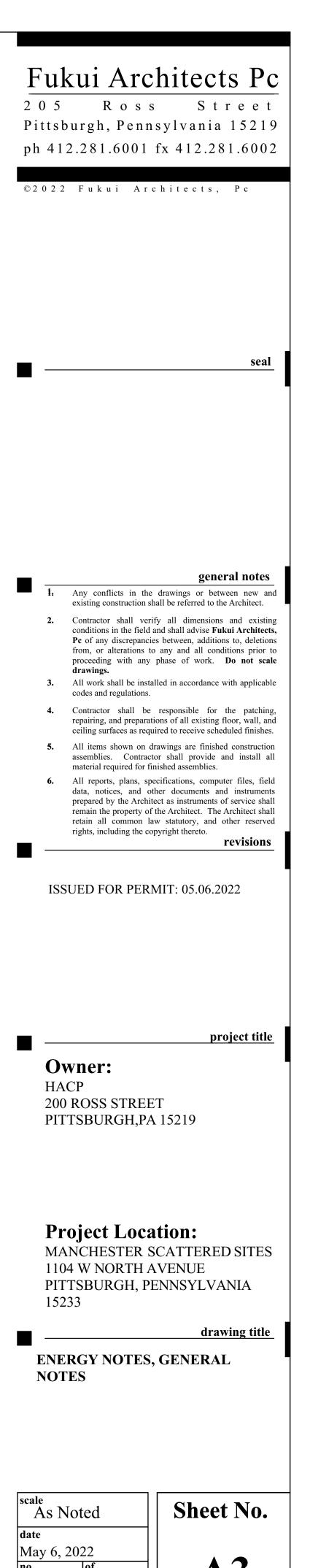
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

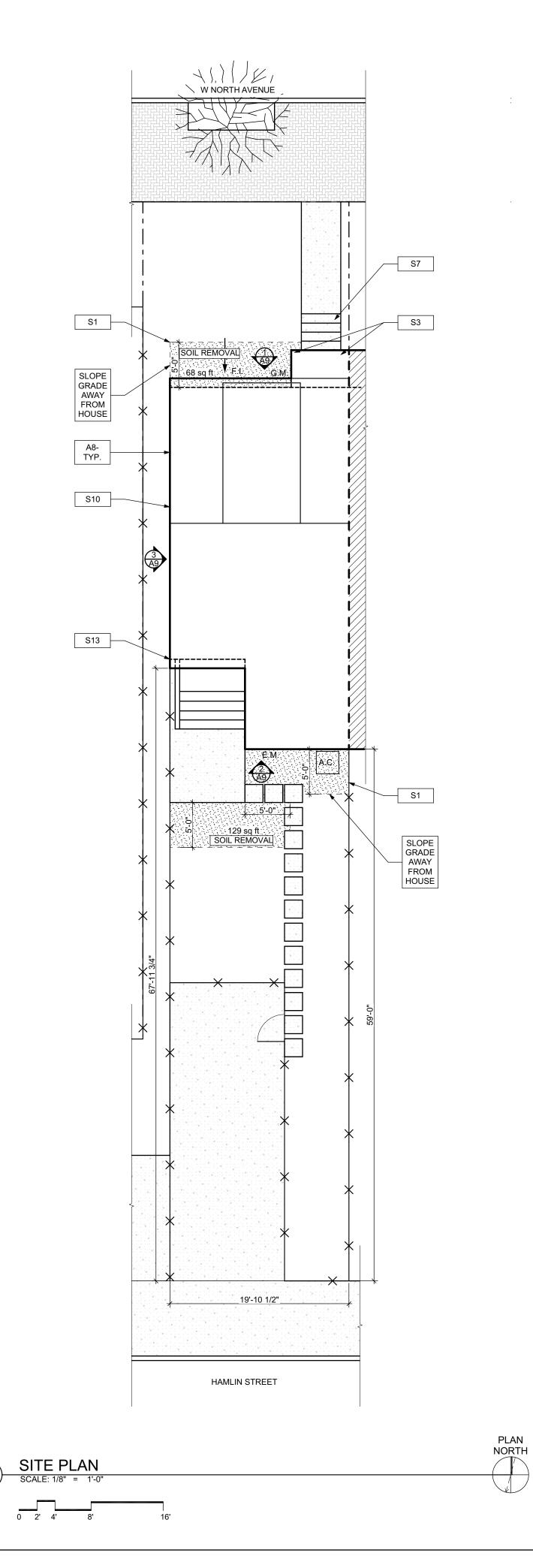
- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

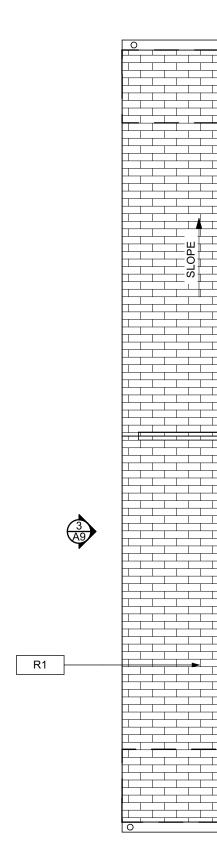
## **GREEN COMMUNITIES NOTES**

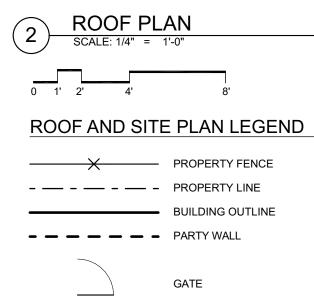
- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALLASSEMBLY, THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.





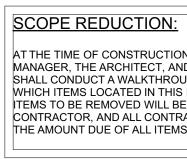
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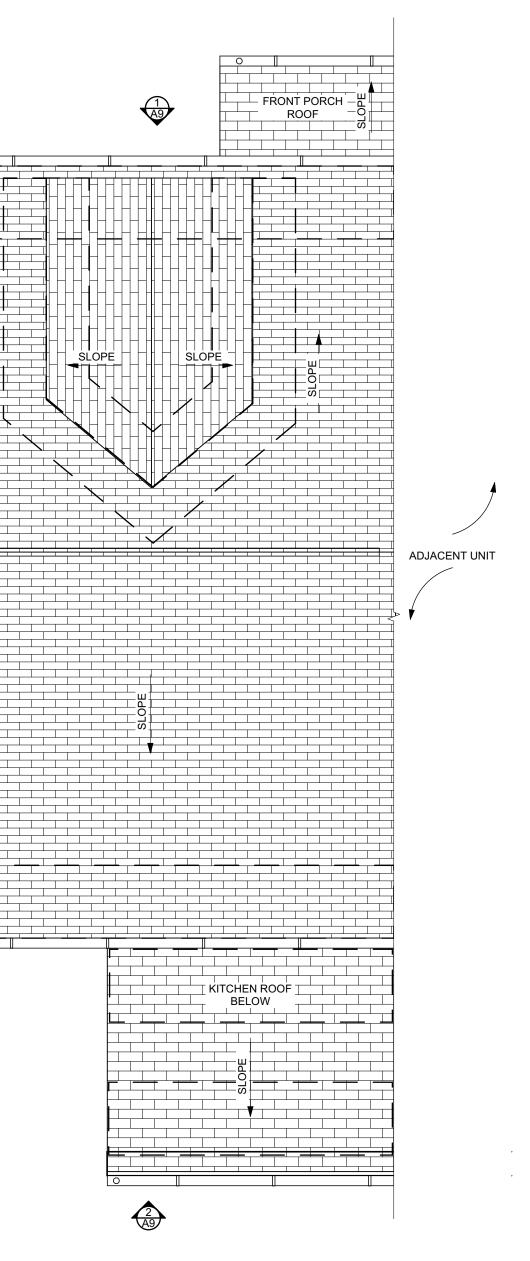




## ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- 2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.





PLAN NORTH 

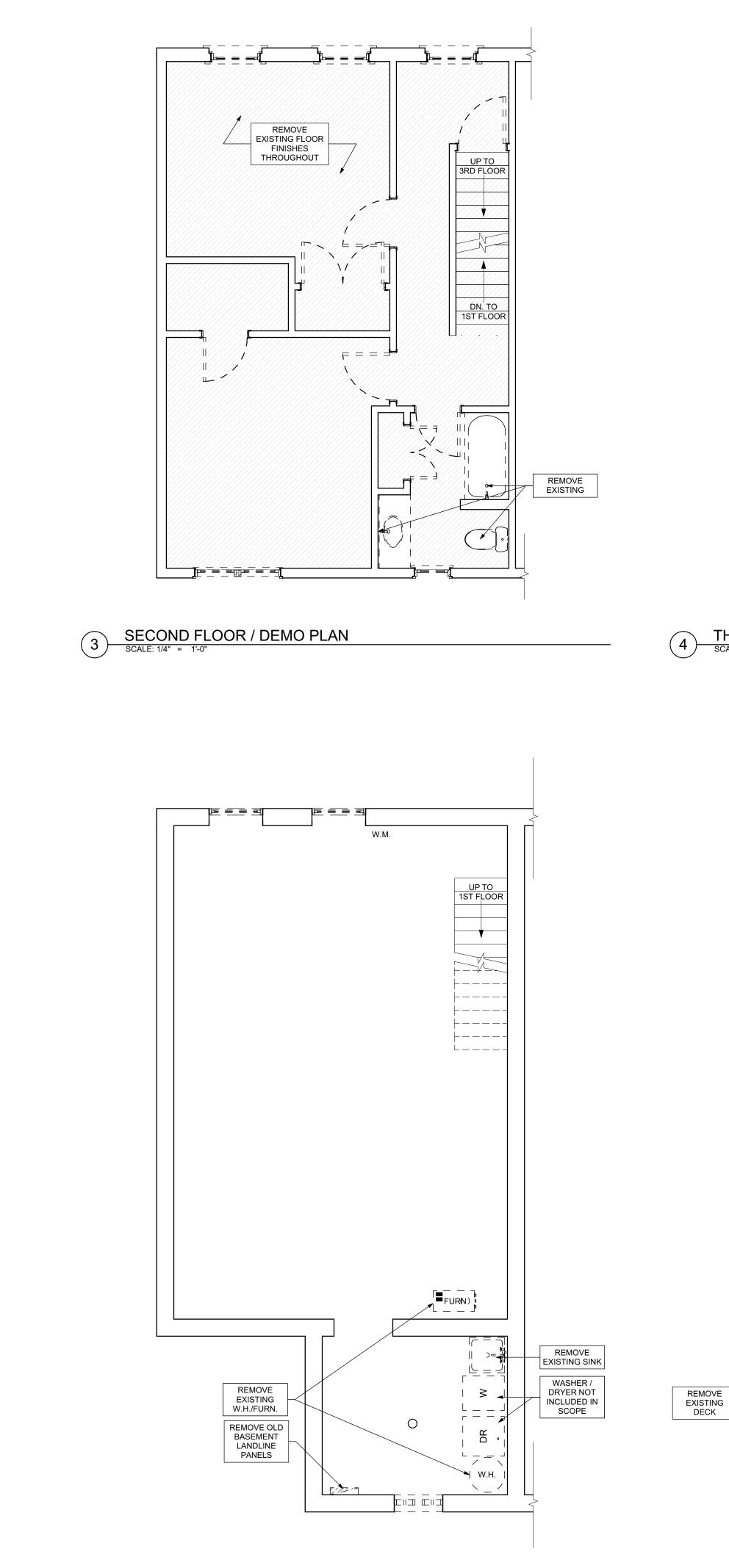
- G.M. GAS METER F.I. FRESH AIR INTAKE A.C. AIR CONDITIONER CONDENSOR
- E.M. ELECTIC METER
- STEPPING CONCRETE PADS
- - - ICE WATER SHIELD
- AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.
- SITE PLAN NOTES
- 1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SITE		Гп		chitects Po
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	2 0 5	R o s	s Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY			nsylvania 15219
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW	ph 41	2.281.6001	fx 412.281.6002
64	SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND	© 2 0 2 2	2 Fukui Aı	chitects, Pc
<u>S4</u>	EASTING FARMING FOR TO BE DIVOLS THE DAW RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.			
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS, CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK, BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE			
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.			
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	<b>—</b>		seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	—		
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT			
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"			
S12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0' FROM			
S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY			
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER, FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE	-		general notes
ROOF	AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1</b> :	existing construction	ne drawings or between new an shall be referred to the Architect.
	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2.	conditions in the fiel <b>Pc</b> of any discrepan	erify all dimensions and existin d and shall advise Fukui Architects cies between, additions to, deletion to any and all conditions prior t
ARCHI1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK		proceeding with an drawings.	y phase of work. Do not scal
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	3.	All work shall be inst codes and regulations	stalled in accordance with applicabl s.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4.	repairing, and prepar	e responsible for the patching ations of all existing floor, wall, an quired to receive scheduled finishes
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	5.	All items shown on	quired to receive scheduled finishes drawings are finished construction
<u>^</u>	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	(	material required for	
A5	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6.	data, notices, and prepared by the Arcl	specifications, computer files, field other documents and instrument nitect as instruments of service shal
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER SPECIFICATIONS.	■		of the Architect. The Architect shal law statutory, and other reserved copyright thereto. <b>revisions</b>
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	IS	SUED FOR PEF	RMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.			
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.			
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.			
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	■ —		project title
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	HA	wner: ACP	БТ
A13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.		0 ROSS STRE ITSBURGH,P	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.			
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.			
A16	SCRAPE SUFFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.		roject Loc	
A17	CLEAN EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.		ANCHESTER 04 W NORTH	SCATTERED SITES
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	PI	TTSBURGH, I	AVENUE PENNSYLVANIA
		152	233	
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.			drawing title
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.		,	OF PLAN, ROOF
	NICAL - REF. ONLY. REFER TO MECH. DWG'S.		AN NOTES, R AN LEGEND,	OOF AND SITE GRAPHIC
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AD LACENT DUCT OR FURMACE		,	L UNIT KEYNOTES
M3	BASED ON ADJACENT DUCT OR FURNACE.			
M4	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL			
	DUCTIVORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As 1	Noted	Sheet No.
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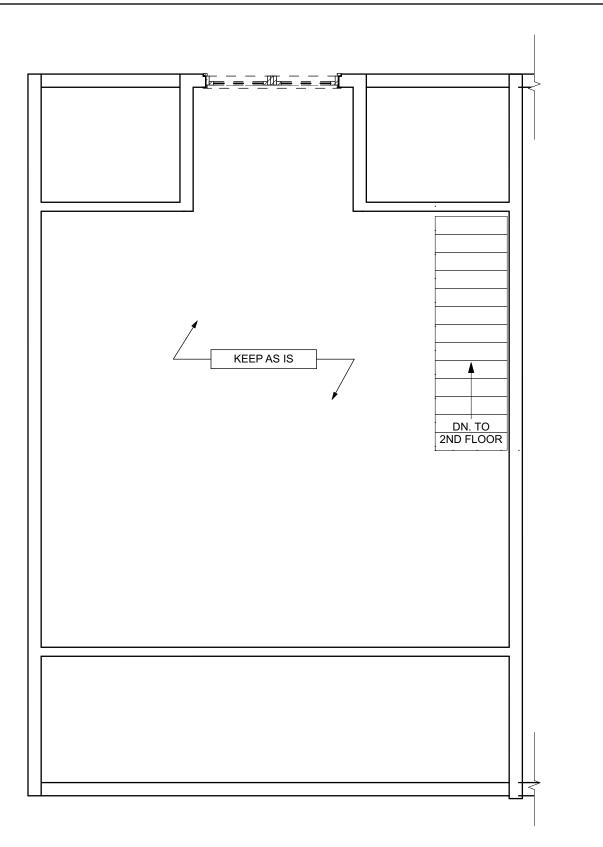
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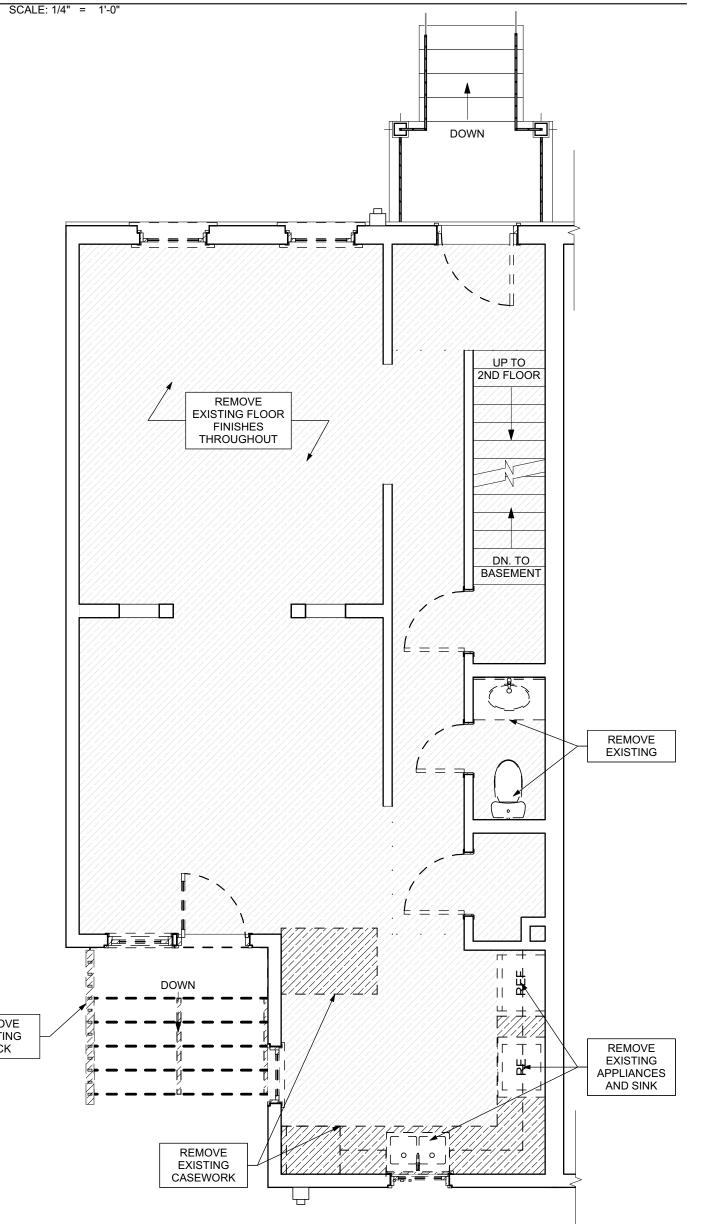
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## THIRD FLOOR / DEMO PLAN



## GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND
- CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED. 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION. 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND

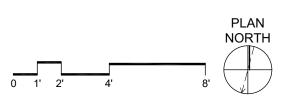
DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

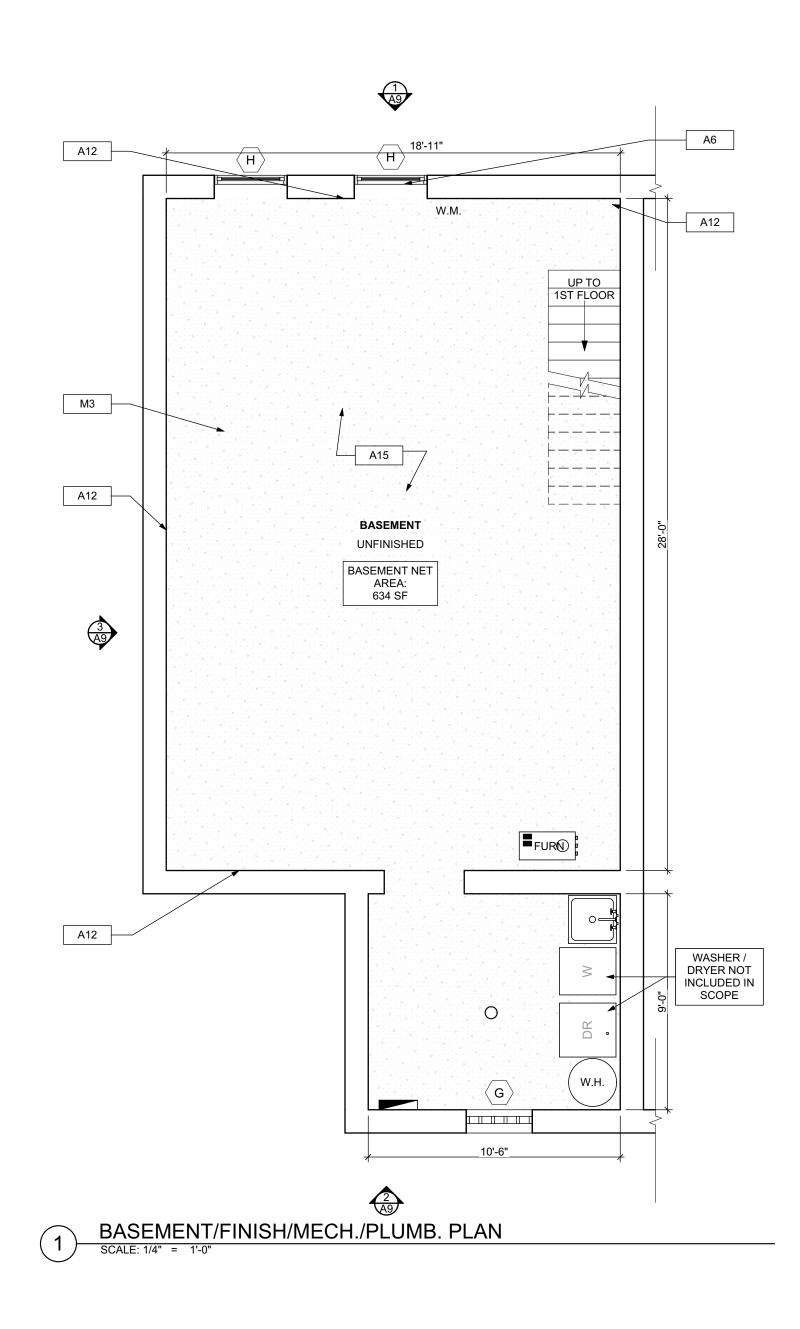


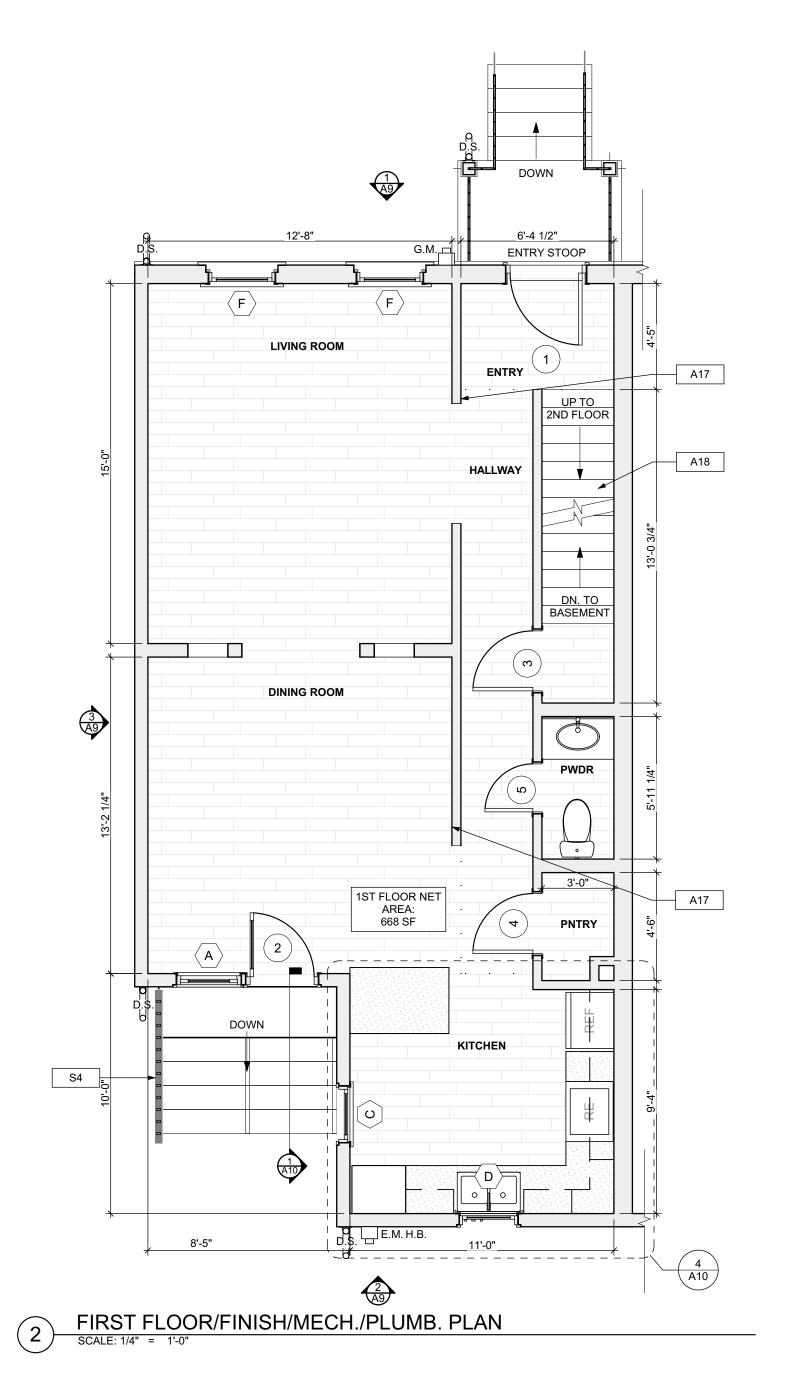
<ul> <li>FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.</li> <li>ARCHITECTURAL</li> <li>Conditions in the field and shall advise Fukui Architects Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scal drawings.</li> <li>AI REPAIR DETERIOR WALL SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.</li> <li>IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL, PREP AND PAINT PER SPECIFICATIONS.</li> <li>AI BOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.</li> <li>AG RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPARE OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS PLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHING &amp; CONSURCE TO REPLACE THRESHOLD AS NECESSARY.</li> <li>AB WATER DAMAGE AT EXISTING WALL OR CELLING.</li> <li>AB WATER DAMAGE AT EXISTING WALL OR CELLING.</li> </ul>			
<ul> <li>2. 0.5 R oss S Street</li> <li>2. 1. 1000 fs. 412.281.6002</li> <li>2. 2. 0.5 R oss S Street</li> <li>2. 1. 1000 fs. 412.281.6002</li> <li>2. 2. 2. 5 R oss S Street</li> <li>3. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>3. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>4. 2. 2. 5 R oss S Street</li> <li>4. 1000 fs. 412.281.6002</li> <li>4. 2. 2. 5 R oss S Street</li> <li>4. 2. 2. 5 R oss S Street</li> <li>5. 2. 2. 5 R oss S Street</li> <li>5. 5 R oss S Street</li> <li>5. 5 R oss S Street</li> <li>5. 5 R oss S Street</li> <li>5 R street</li> <li>5 R oss S Street</li> <li>5 R street</li> <li5 li="" r="" street<=""> <l< th=""><th></th><th>AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,</th><th>Fukui Architects Pc</th></l<></li5></ul>		AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,	Fukui Architects Pc
<ul> <li>Market Market Mar</li></ul>		ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER	205 Ross Street
<ul> <li>State of the second seco</li></ul>	S2	BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	
<ul> <li>Martin Barter State Sta</li></ul>	<u>S3</u>	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	
<ul> <li>metric assessment as</li></ul>	S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
<ul> <li>Additional processing in source of the second of the second</li></ul>	S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
Image: Control of the second of the secon	S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF	
<ul> <li>M. B. B.</li></ul>		POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	seal
<ul> <li>Ministry of any official statements of any official statements of any of any official statements of any of any official statements of any offic</li></ul>		TRIM OR ORNAMENTAL WOOD, REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
		BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
Direct Microsoftward Barbon Ander Barbo	S12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE	
<ul> <li>Brance State Sta</li></ul>	S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
ROOF       existing construction of the software to the Authors of the	S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	
ARCHITECTURAL         Image: Comparison of the second and comparison of the compa		DAMAGED ROOF ELEMENT, REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	<ul><li>existing construction shall be referred to the Architect.</li><li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects</li></ul>
<ul> <li>accuracy biology of the scalar set of the scalar set</li></ul>	ARCHIT		<b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale</b>
<ul> <li>and the second se</li></ul>	A1	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with applicable</li></ul>
<ul> <li>Description of the second secon</li></ul>	A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	codes and regulations.
<ul> <li>All images and index of the second sec</li></ul>	A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	4. Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
<ul> <li>Betcher Markets and Software Softwa</li></ul>	A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	
<ul> <li>And Business Acceleration and the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect that and compare the property of the Architect. The Architect that and compare the property of the Architect that and the property of t</li></ul>	A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	<ul><li>material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments</li></ul>
<ul> <li>ADDEAD STREET STR</li></ul>	A6	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
<ul> <li>Bud of Selection And Production Production And Production And Production And Produc</li></ul>	A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
Image: Control of the second secon	A8	SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
Image: An operation of the state is not presented in the state is	A9	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
<ul> <li>Adjustme of the first is of used in some of the second source is observed by a s</li></ul>	A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	
<ul> <li>FIT OPERATION OF THE ADDRESS AND CLEAN WITH WATER TO REAVE AND CLEAN WITH WATER TO REAVE AND CLEAN WATCH WATCH TO REAVE AN ADDRESS AND CLEAN WITH WATER TO REAVE AND REAVE WATER ADDRESS AND CLEAN WATCH WATCH REAVENESS AND CLEAN WATCH WATCH REAVENESS AND CLEAN ADDRESS AND CLEAR ADDRESS AN</li></ul>	A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2/22/11 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO	project title
PURIER HUDBELDE         ATS       OVACK HUDE, GORDANGE         ATS       OVACK HUDE, GORDANG, DIANGE         ATS       OVACK HUDE, GORDANG, DIANGE         ATS       OVACK HUDE, GORDANG, DIANGE DIANGE DIANGE         ATS       OVACK HUDE, GORDANG, DIANGE	A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	НАСР
<ul> <li>Suber Conneg or Revival. AT UNEVER AREAS. IF generations is reactive.</li> <li>Suber Conneg or Revival. AT UNEVER AREAS. IF generations is reactive.</li> <li>AD WATERPROCING REPORT IS RECOVER.</li> <li>AD WATERPROCING AT BASEMENT SCRAPE WALLS PER SPEcifications. Seal TRANSITION OF WALL.</li> <li>ATT CLEAN EXTING AREA WITH NON-HAZAROUS.</li> <li>CLEAN EXTING AREA WITH NON-HAZAROUS.</li> <li>CLEAN EXTING AREA WITH NON-HAZAROUS.</li> <li>CLEAN EXTING AREA WITH NON-HAZAROUS.</li> <li>PILUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.</li> <li>MON-FUNCTIONING OR MISSING PLUMBING COVER INTERIOR WALL.</li> <li>MON-FUNCTIONING CONNENDS ADDING DEMONAL AND TRANSING INTERIOR WALL.</li> <li>MON-FUNCTIONING PREVIDENCE INFERIOR WALL.</li> <li>MISPECTION CONNUCTOR BECOMMENDS ADDING DEMONAL AND TRANSING INTERIOR WALL.</li> <li>MISPECTION CONNUCTOR BECOMMENDS ADDING DEMONAL AND AND AND TRANSING INTERIOR OF MORE DEFINIC.</li> <li>MISPECTION CONNUCTOR RECONNENDS ADDING DEMONAL AND AND AND AND AND AND AND AND AND AND</li></ul>	A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE	
<ul> <li>ADD WITHERPROOFING AT BAGEMENT SORAPE WATERPROOFING PROVIDE INTERIOR WATERPROOFING PROVIDE INTERIOR WATERPROOFING PROVIDE INTERIOR WATERPROOFING PROVIDE INTERIOR PER SPECIFICATIONS SEAL TRANSITION OF WALL PER SPECIFICATIONS SEAL PROVIDENT OF PER SPECIFICATIONS OF MASSIME PROVIDENT OF PER SPECIFICATIONS OF PROVIDENT OF PER SPECIFICATIONS PER SPECIFICATIONS OF PROVIDENT OF PER SPECIFICATIONS OF PROVIDENT OF PROVIDENT OF PER SPECIFICATIONS OF PROVIDENT OF PROVIDENT OF PER SPECIFICATION OF PER SPECIFICATIONS PER SPECIFICATIONS OF PROVIDENT OF PROVIDENT OF PER SPECIFICATION OF PER SPECIFICATIONS</li></ul>	A14	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	
MATCH EXISTING COLOR AT7 CLEAN EXISTING AREA WITH NON-HAZARDOUG CLEANING MATERIALS. REMOVE DIRT AND RUST. AT8 NEW TREADS AND RISERS AT EXISTING STAR. PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S. PT NON-FUNCTIONING FOR DETAILS. PT NON-FUNCTIONING FOR DETAILS. PT NON-FUNCTIONING FOR DETAILS. PT NON-FUNCTIONING OR PRISON PLUMBING COVER PT NON-FUNCTIONING OR PRISON PLUMB. DWG'S. PT NON-FUNCTIONING OR PRISON PLUMBING COVER PT NON-FUNCTIONING PLUMBING COVER PT NON-FUNCTIONING PLUMBING COVER PT NON-FUNCTIONING PLUMBING COVER PT NON-FUNCTION PLUCTOR PLUMBING COVER PT NON-FUNCTION PLUMBING COVER PLACE DUCTION PLUMBING COVER PLACE DUCTION PLUMBING COVER PLACE DUCTION PLUMBING COVERED PLONDING PLOCARECT SUSPER PRIACE AND SECURE PLUMBING PLOCARECT SUSPER PRIACE PLUMBING COVER PLOCARECT SUSPER PRIACE PLOCE PLOCARECT SUSPER PLOCARE	A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	
<ul> <li>In the second sec</li></ul>	A16	REQUIRED. PRIMER AND PAINT. NEW PAINT TO	0
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.         P       NOR-FUNCTIONING OR MISSING PLUBING COVER MECESSARY PER SPECIFICATIONS.         P       EXISTING FUTURE OR PIPING LOOSE AND LEAKING, TOTHET NAD. SOEAL ALL ELEMENTS OR REPARA SNECESSARY. INSULATE ALL EXTERIOR WALL.         M       PROPERLY SUPPORT DUCTORORY. EXPANSION TANK, OR OTHER FEATURE ALL COLUMNOR.         M       PROPERLY SUPPORT DUCTORORY. EXPANSION TANK, OR OTHER FEATURE ALL CORRECT SIZING BASED ON ADJACENT DUCT OR RECOMMENDS ADDING CONTROL ALL BASEMENTS WITH MOISTURE CONTROL ALL BASEMENTS WITH MOISTURE CONTROL ALL BASEMENTS WITH MOISTURE CONTROL CONCENDENCE ON MIGHTER CONTROL SUPPORT DUCTOR RECOMMENDS ADDING CONTROL ALL BASEMENTS WITH MOISTURE CONTROL TO GET WIERFROOPED. OR MICHAGENER NOT DECLIRE ALL DEMODLITION NOTES, DEMODLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES         Scale As Noted       May 6, 2022		CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	1104 W NORTH AVENUE
<ul> <li>OR FIXTURE PART REPLACE PARTS AS NECESSARY PER SPECIATIONS.</li> <li>P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NOTESSARY.</li> <li>P3 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NOTESSARY.</li> <li>P4 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.</li> <li>P8 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.</li> <li>P8 PROPERLY SUPPORT DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCTOR FURNACE.</li> <li>P3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHVINDIFER IN SPACE TO MITIGATE MOISTURE (SUES ALSO TO GET WATERPROFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>P4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>P5 EXISTING AS NECESSARY.</li> </ul>	PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	
<ul> <li>LEAKING, TIGHTEN AND SEALALL ELEMENTS OR REPAIR SNECESSARY.</li> <li>BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND PLAN, SECOND FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION NOTES, DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES</li> <li>Scale As Noted</li> <li>Sheet No.</li> </ul>	P1	OR FIXTURE PART. REPLACE PARTS AS	drawing title
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.         M1       PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.         M2       REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.         M3       INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.         M4       EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZING AS NECESSARY.         M4       EXISTING AS NECESSARY.         Scale As Noted       As Noted         May 6, 2022       Sheet No.		EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
M2       REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.         M3       INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.         M4       EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.         Scale As Noted       Sheet No.         May 6, 2022       May 6, 2022		PROPERLY SUPPORT DUCTWORK, EXPANSION	FLOOR / DEMO PLAN, THIRD
<ul> <li>M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.</li> <li>Scale As Noted</li> <li>date May 6, 2022</li> </ul>	M2	REPLACE DUCTWORK WITH CORRECT SIZING	
INCORRECT SIZE REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. Scale As Noted date May 6, 2022		DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES,
May 6, 2022	M4	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	scale
			May 6, 2022
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Project #2006

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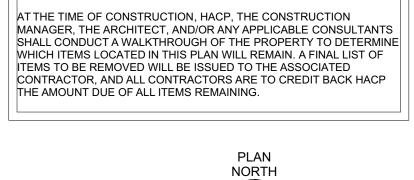


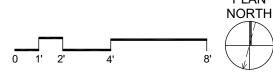


## FLOOR PLAN LEGEND

REF	FRIDGE
RE	RANGE
	GAS FURNANCE
°-	UTILITY SINK
W	WASHER
(W.H)	WATER HEATER
D <b>∬</b> S.	DOWN SPOUT
₽E.M.	ELECTRIC METER
H.B.	HOSE BIBB
DR •	DRYER

## SCOPE REDUCTION:

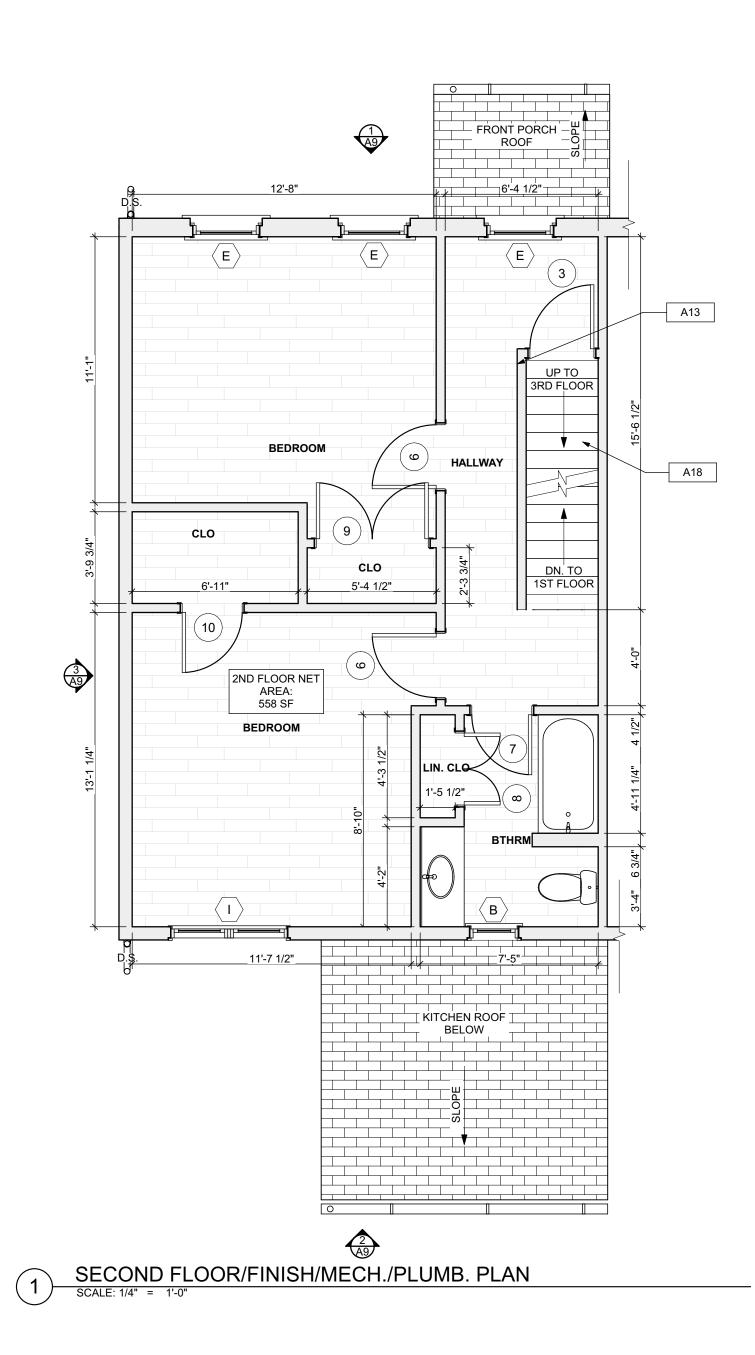


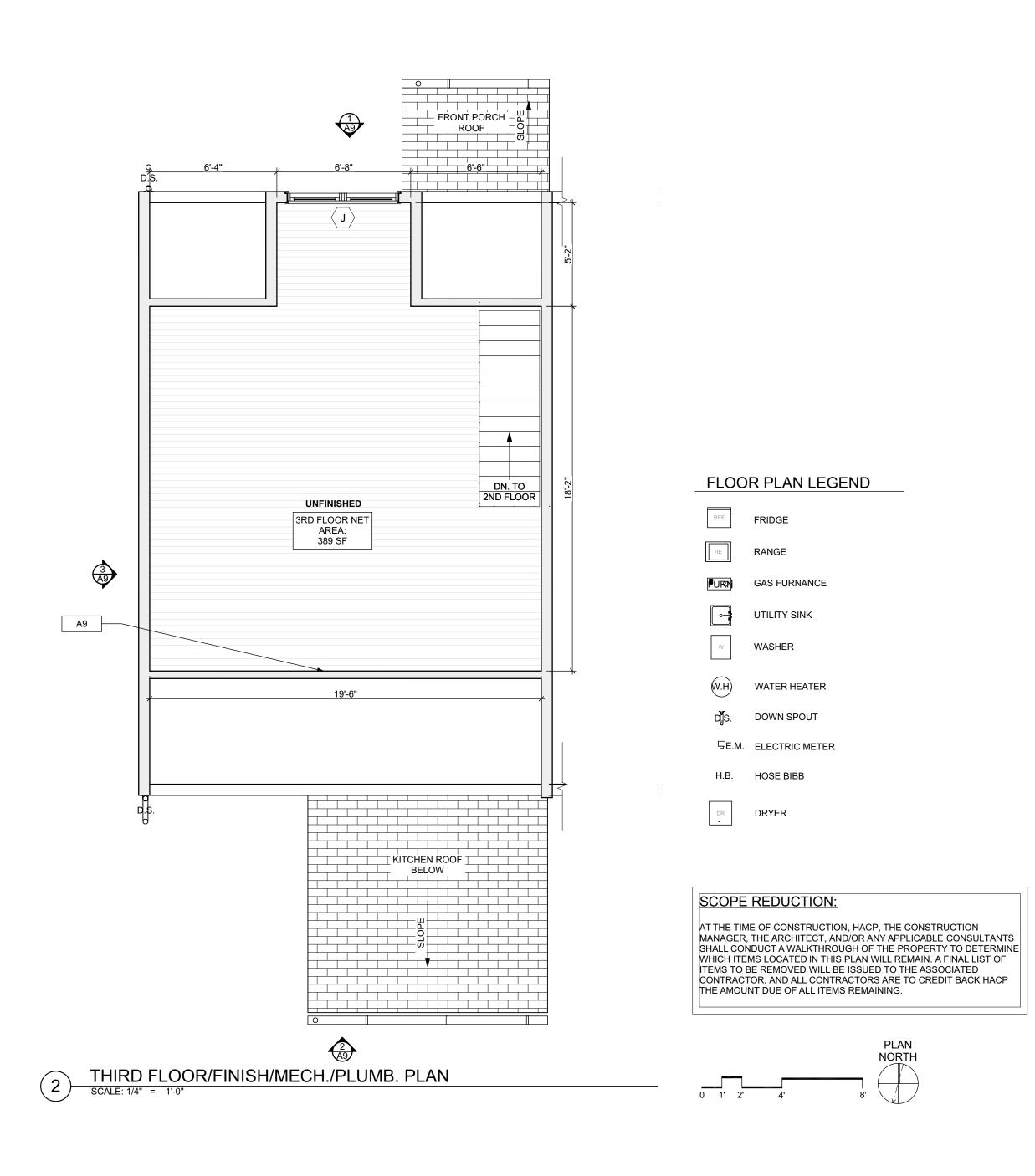


SITE		
	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM	Fukui Architects I
	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Stree
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 152 ph 412.281.6001 fx 412.281.60
3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW	pii 412.281.0001 1X 412.281.00
	SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
34	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND	
	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
87	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	S
9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	
10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
11	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND	
<u>.</u>	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4°, PROVIDE 3° GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM	
13	ELECTRICAL WIRES ARE LESS THAN 12-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD	
3	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
4 OOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new existing construction shall be referred to the Archite
81	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and exconditions in the field and shall advise Fukui Arch</li> </ol>
RCHIT	ECTURAL	<b>Pc</b> of any discrepancies between, additions to, de from, or alterations to any and all conditions pr proceeding with any phase of work. <b>Do not</b>
	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with application.</li></ul>
	MAI CH ADJACENI. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<ul><li>codes and regulations.</li><li>Contractor shall be responsible for the pat</li></ul>
	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wa ceiling surfaces as required to receive scheduled fin
]	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE: BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>All items shown on drawings are finished constru- assemblies. Contractor shall provide and insta- material required for finished assemblies.</li> </ol>
	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	6. All reports, plans, specifications, computer files, data, notices, and other documents and instru
	NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE WOOD LATHE OR STILDS AS	prepared by the Architect as instruments of service remain the property of the Architect. The Architec retain all common law statutory, and other re-
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE	rights, including the copyright thereto.
	WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	
	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
0	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS,	
	NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	
11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND ADDU ICABLE CONNECTION DI ATES DEFER TO	project (
12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN	Owner:
	WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	HACP 200 POSS STREET
13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. BEDI ACE DRYWALL AS PEOLURED EOBL ARCE	200 ROSS STREET PITTSBURGH,PA 15219
	REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
4	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	
5	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	
16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	<b>Project Location:</b>
17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	MANCHESTER SCATTERED SIT 1104 W NORTH AVENUE
18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	PITTSBURGH, PENNSYLVANIA
	<b>ING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	15233
	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	drawing t
2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEALALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	BASEMENT/FINISH/MECH./PLU B PLAN FIRST
	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB
2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES,
13	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE	GRAPHIC SCALES
4	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	
_	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No
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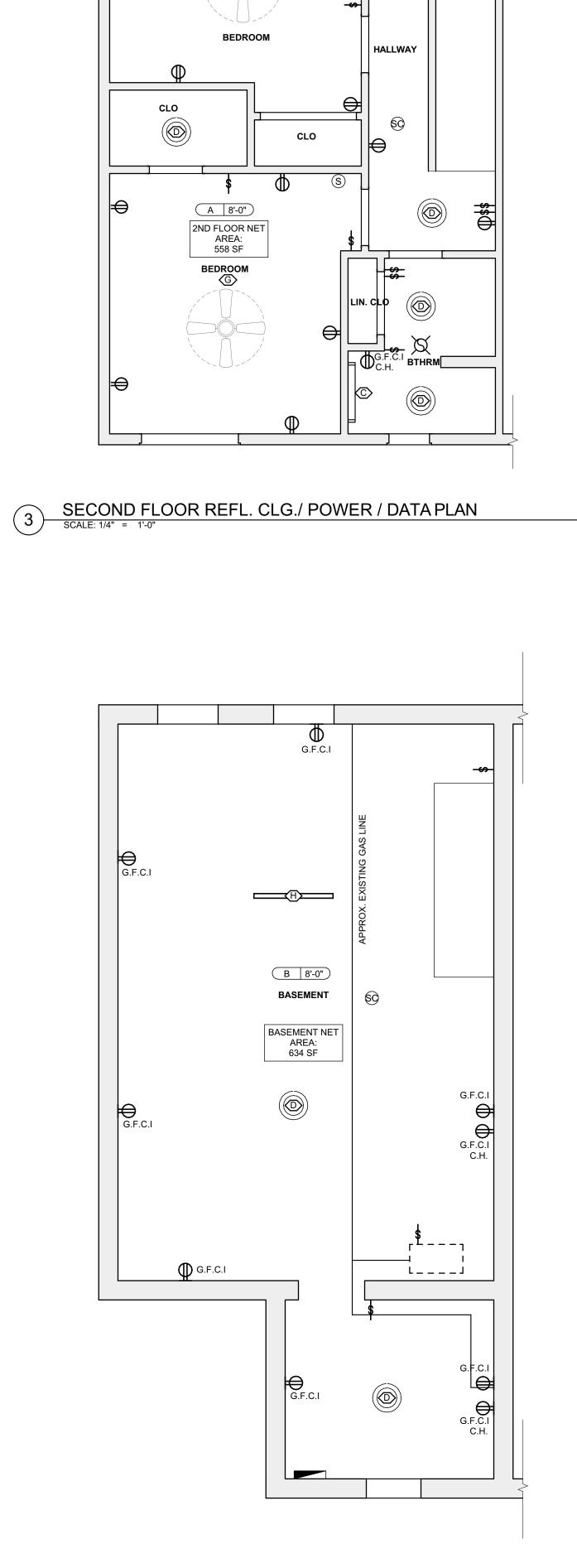


SITE		Eulaui Architaata Da
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE	Fukui Architects Pc
S2	CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	Pittsburgh, Pennsylvania 15219
 []	BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.6002
	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVELAS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS, CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
S6	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	seal
S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD, REPOVE AND	
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE	
S12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM	
S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	general notes
ROOF	RESISTIVE BARRIER PER SPECIFICATIONS.	<ol> <li>Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existing</li> </ol>
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise <b>Fukui Architects</b> , <b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	proceeding with any phase of work. Do not scale drawings.
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	<ul><li>ceiling surfaces as required to receive scheduled finishes.</li><li>All items shown on drawings are finished construction</li></ul>
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install all material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	
A11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING	project title
A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT	Owner: HACP
A13	DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER	200 ROSS STREET PITTSBURGH,PA 15219
A14	RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR	<b>Project Location:</b>
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	MANCHESTER SCATTERED SITES
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	1104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA
PLUMB	<b>ING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	15233
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	drawing title
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR DIDNO: OR DIDNO: LOCATED AT EXTERIOR WALL	SECOND
MECHA	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB.
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	PLAN, THIRD FLOOR/FINISH/MECH./PLUMB.
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	PLAN, SMALL UNIT KEYNOTES, FLOOR PLAN LEGEND, GRAPHIC
M4	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	SCALES
_	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
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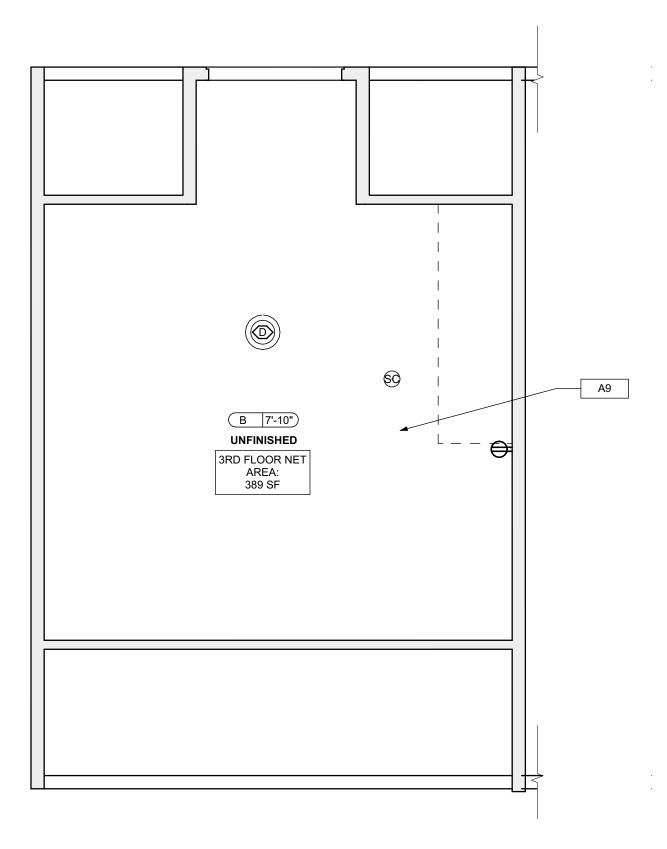
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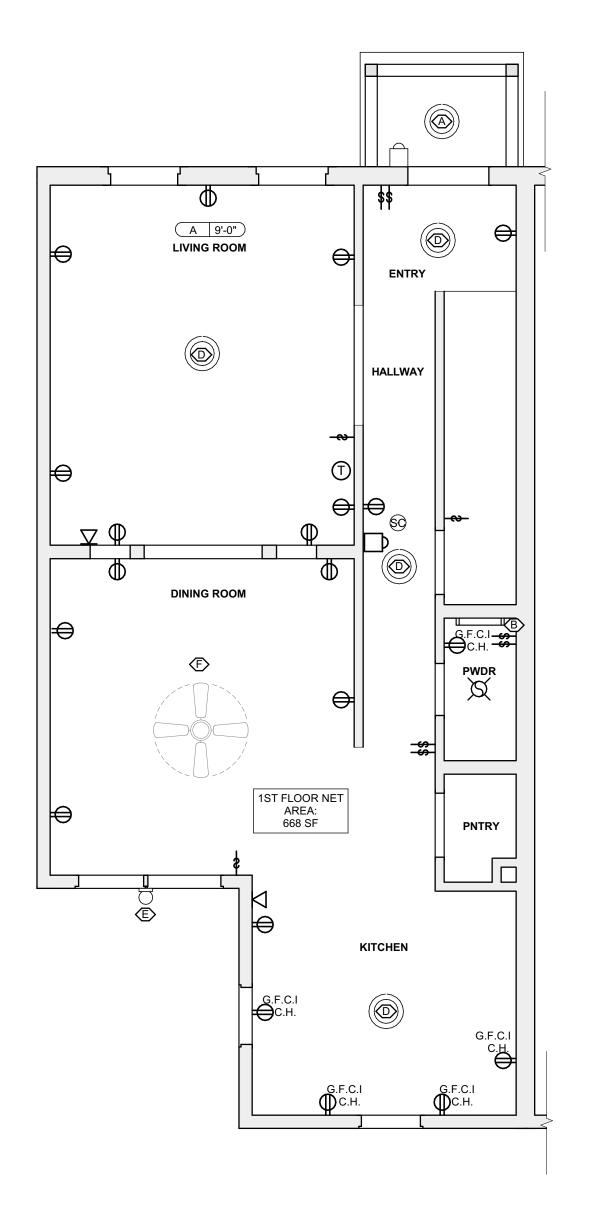
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LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	11
D	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	Н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	1

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

## THIRD FLOOR REFL. CLG./ POWER / DATA PLAN



## RCP LEGEND - (See Specifications for basis of Design)

S	SMOKE ALARM, PROVIDE NEW WHERE SHOWN
$\frown$	

$\sim$	ELECTRICAL METER

Ō	THERMOSTAT

-	
☑	DATA RECEPTICAL, 18" A.F.F. U.O.N.

Φ	ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N
<b>Ю</b> СН	ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N
	GROUND FAULT CIRCUIT INTERRUPTER

GFCI CH

LIGHT SWITCH

X EXHAUST FAN

DOORBELL

A X'-X" GWB CEILING / CEILING HEIGHT

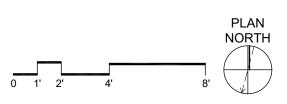
 B
 X'-X"
 UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

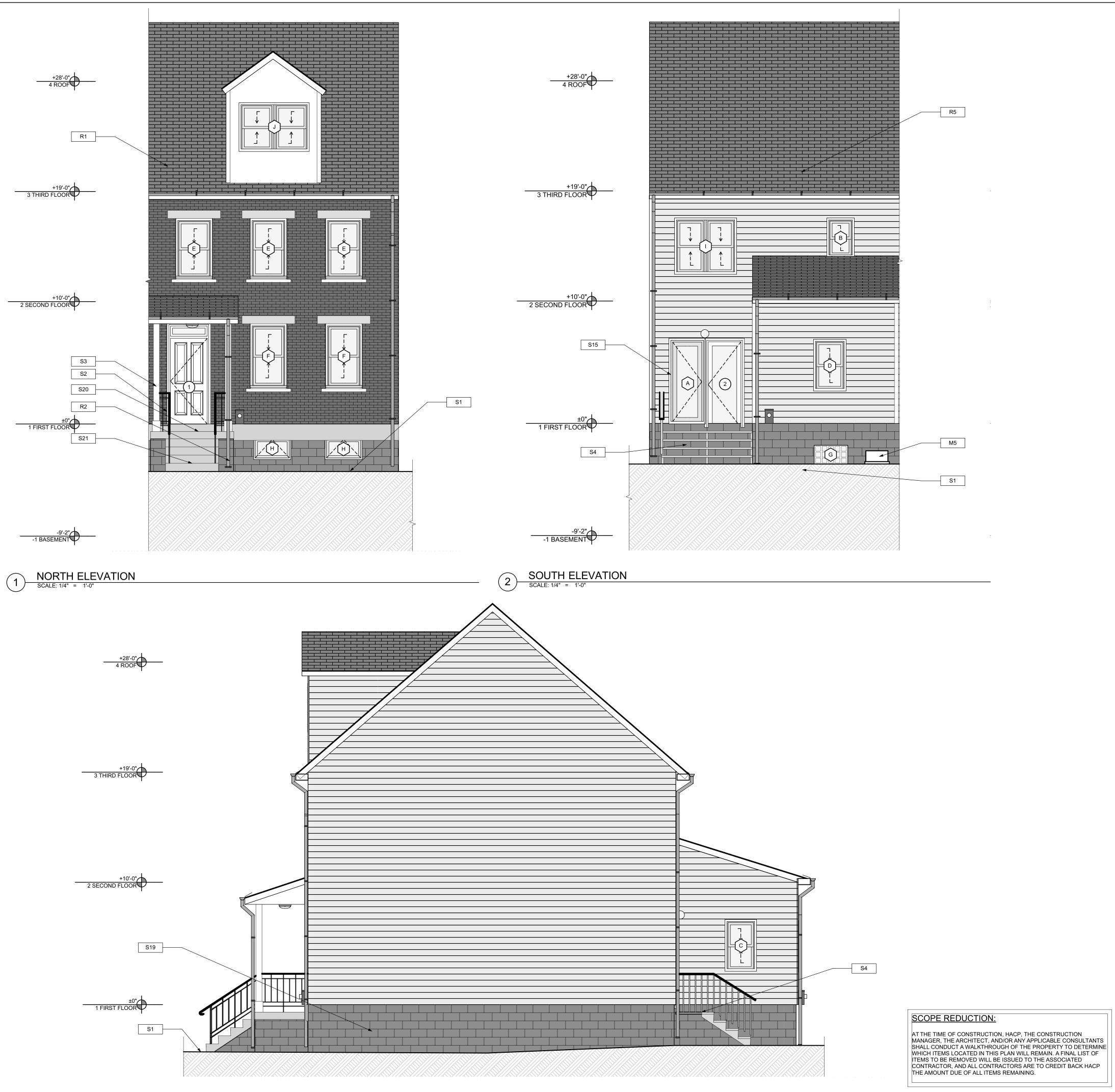


<u>S1</u>	AT LOCATION SHOWN, REMOVE 4" + OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	2 0 5	Ross	
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY			sylvania 1521 fx 412.281.600
S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLIMME SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	-	Fukui Aro	
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL CRAVEL AS NECESSARY TO CREATE	62022	FUKUI AIG	chriects, rc
85	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE			
56	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.			
37	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	<b>—</b>		sea
88 89	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	-		
10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT			
11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE			
12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A			
313	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.			
14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE	-		general notes
ROOF	AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.			drawings or between new a hall be referred to the Architect.
	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	co P	onditions in the field a c of any discrepancie	fy all dimensions and existi and shall advise <b>Fukui Architec</b> es between, additions to, deletic o any and all conditions prior
	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	d	rawings.	phase of work. <b>Do not sc</b> illed in accordance with applical
12	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	co	odes and regulations.	responsible for the patchin
.3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	c	eiling surfaces as requ	ions of all existing floor, wall, a ired to receive scheduled finishe
4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	as		rawings are finished construction shall provide and install nished assemblies.
.5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<b>6.</b> A	ata, notices, and ot	ecifications, computer files, fic ther documents and instrumenter as instruments of service sh
.6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	re	emain the property of	the Architect. The Architect shaw statutory, and other reserv
7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSU	ED FOR PERI	MIT: 05.06.2022
<u>8</u> 9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.			
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE			
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>—</b>		project titl
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	HAC	<b>ner:</b> P ROSS STREE	T
413	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.		SBURGH,PA	
.14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.			
15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.			
16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.		ject Loca	tion: SCATTERED SITES
17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	1104	W NORTH A	VENUE
PLUMBI	NG - REF. ONLY. REFER TO PLUMB. DWG'S.	PITTS 15233		ENNSYLVANIA
21	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	<b>—</b>		drawing title
2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	BASE	MENT REF	L. CLG./ POWER
<u>/IECHAI</u>	PIPING OR PIPING LOCATED AT EXTERIOR WALL.		<i>,</i>	ST FLOOR REFL DATA PLAN,
11	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	<b>SECO</b>	ND FLOOR	<b>REFL. CLG.</b> /
12	BASED ON ADJACENT DUCT OR FURNACE.			LAN, THIRD LG./ POWER /
Λ4	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	KEYN	PLAN, SMA OTES, RCP	LEGEND,
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	AS No		Sheet No.
		date May 6, 20	)22	
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Project #2006

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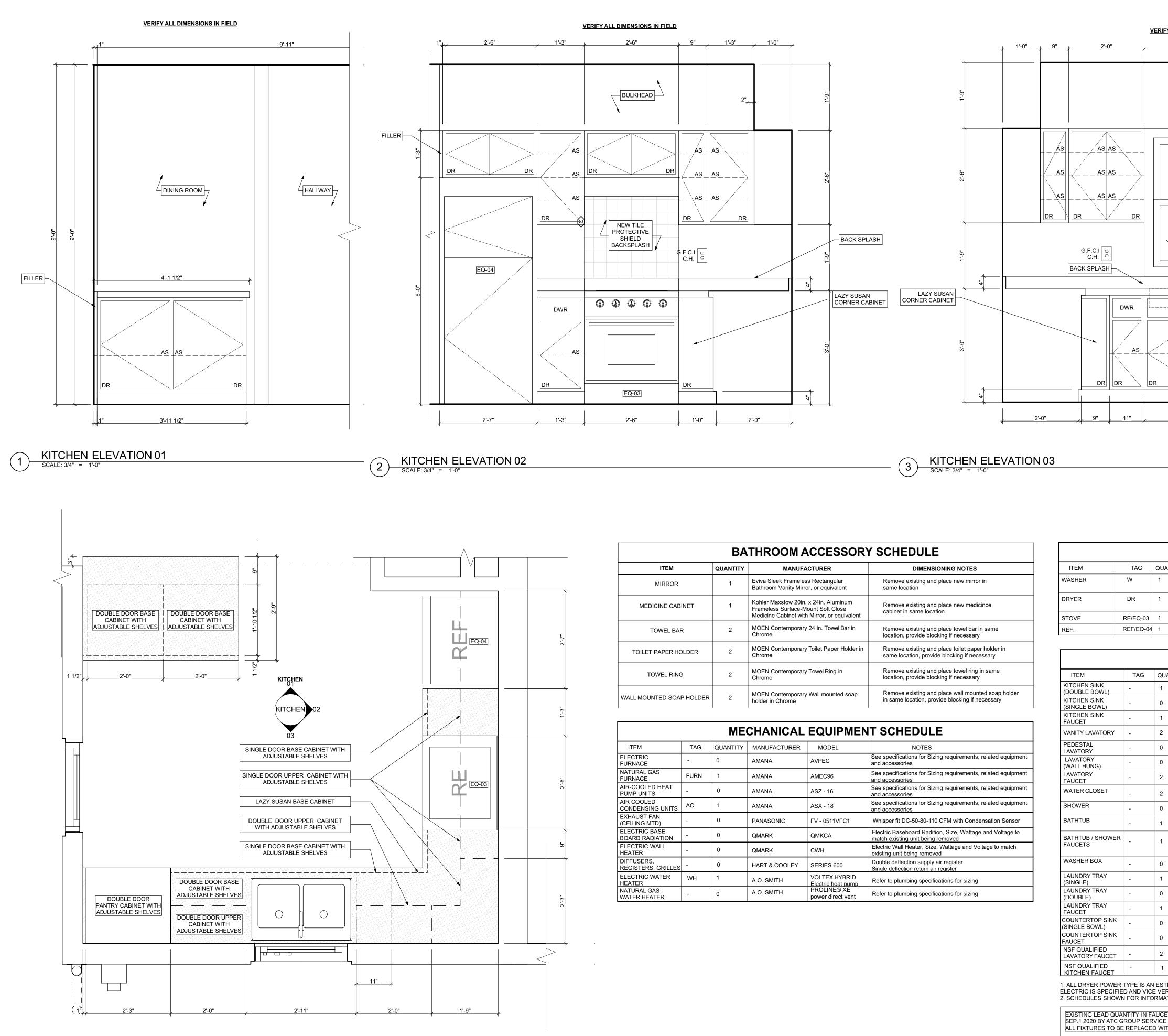
211-			
SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE	Fukui Arc	hitects P
	TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Pittsburgh, Penn	
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001	•
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE		
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	©2022 Fukui Arc	chitects, Pc
S5	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION		
S6	PROVIDE WWF, COMPACT SOL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS		seal
S8 S9	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH		
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT		
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"		
S12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM		
S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY		
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the	general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	existing construction sh 2. Contractor shall verific conditions in the field a	drawings or between new an all be referred to the Architect. fy all dimensions and existin and shall advise <b>Fukui Architec</b>
ARCHIT	ECTURAL	from, or alterations to	s between, additions to, deletio any and all conditions prior
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	drawings.	phase of work. <b>Do not sca</b>
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<b>3.</b> All work shall be instal codes and regulations.	lled in accordance with applicab
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.		responsible for the patchin ons of all existing floor, wall, an
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as requ	ired to receive scheduled finisher
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY, REFER TO	assemblies. Contracte	rawings are finished construction or shall provide and install a hished assemblies
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and ot	nished assemblies. ecifications, computer files, fiel her documents and instrumen ect as instruments of service sha
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of	the Architect. The Architect sha w statutory, and other reserve
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A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	PITTSBURGH,PA	-
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.		
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A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	Project Loca	tion:
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	MANCHESTER S	CATTERED SITES
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	1104 W NORTH A PITTSBURGH, PE	
PLUMB	<b>ING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	15233	
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	<b>—</b>	drawing title
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	<b>NORTH ELEVATI</b>	ION, SOUTH
	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	ELEVATION, WES	ST ELEVATION,
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION	GRAPHIC SCALE	CS, SMALL UNIT
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	KEYNOTES	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO		
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE, REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale	
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		date May 6, 2022	
		date May 6, 2022 no. of.	

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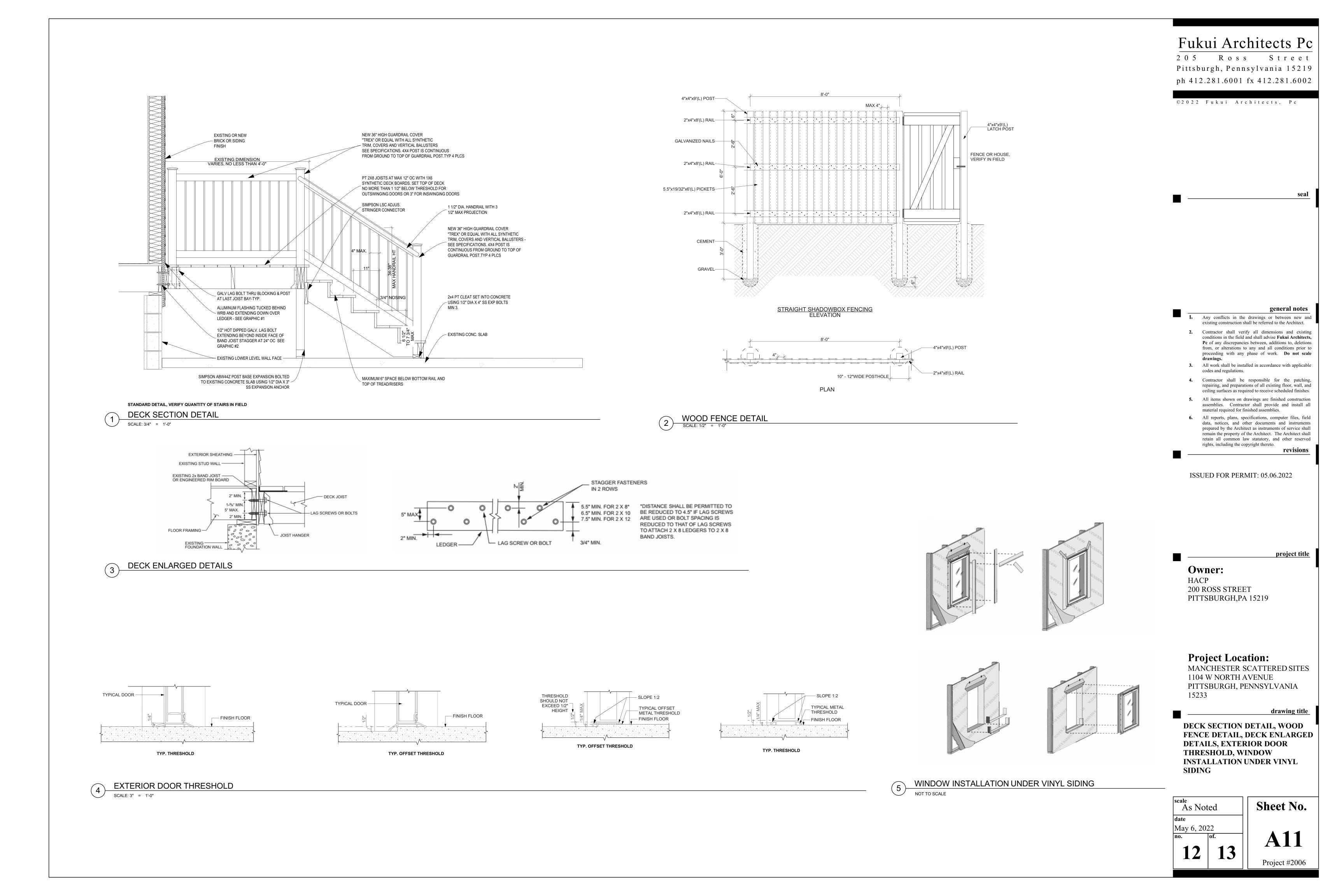


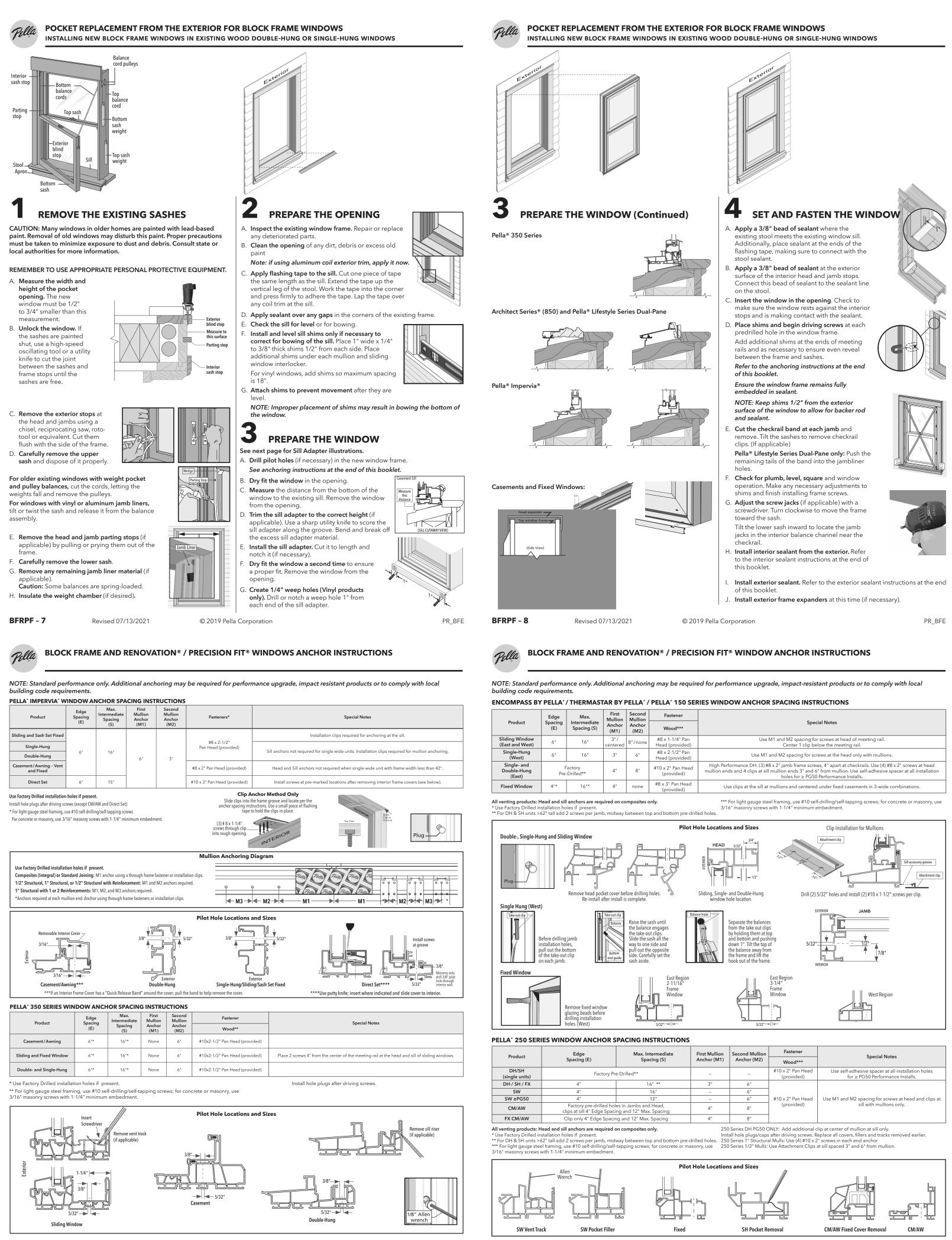
	BA	THROOM ACCESSOR	<b>SCHEDULE</b>
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

∠ 2'-0"	٢		MENSIONS IN FIELD 2'-11"	د 2'-0"	ب 2'-3" 1" بر	Fukui Architects P 2 0 5 Ross Street Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
<u>, 2'-0"</u> 2			_2-11"	2"-0"		©2022 Fukui Architects, Pc
			BULKHEAD			
AS AS			<i>»</i>	AS AS	AS AS	
AS AS				AS ASAS AS	AS AS	sea)
G.F.C.I O C.H. O	DR			G.F.C.I O C.H. O	DR DR DR IO 10	
	DWR			DWR	AS AS F F F F F F F F F F F F F F F F F	
	AS		AS ASDF	AS		<ol> <li>Any conflicts in the drawings or between new as existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior proceeding with any phase of work. Do not searched to the state of the</li></ol>
9"	11"		2'-11"	2'-0"		<ul><li>a. All work shall be installed in accordance with applicab codes and regulations.</li></ul>
** *			2-11		<u> </u>	<b>4.</b> Contractor shall be responsible for the patchir repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finishe
						assemblies. Contractor shall provide and install a material required for finished assemblies.
						6. All reports, plans, specifications, computer files, fie data, notices, and other documents and instrument prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reserver rights including the convright thereto.
			ΔΡΡΙΙΔ		DUI F	data, notices, and other documents and instrumer prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha retain all common law statutory, and other reserv rights, including the copyright thereto.
EM	TAG	QUANTITY	<b>APPLIA</b> MANUFACTURER	NCE SCHE	DULE	data, notices, and other documents and instrumen prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto.
	TAG	QUANTITY 1	MANUFACTURER			data, notices, and other documents and instrument prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto.
HER		QUANTITY 1 1	MANUFACTURER WHIRLPOOL	MODEL	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with	data, notices, and other documents and instruments prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto.
IER R	W	QUANTITY 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB	NOTES 24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto.
ier	W DR	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto.
IER R	W DR RE/EQ-03	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022
IER R E	W DR RE/EQ-03	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW W11245179A	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA	data, notices, and other documents and instrume prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reservights, including the copyright thereto.         retristion         ISSUED FOR PERMIT: 05.06.2022         project tit
HER R EM HEN SINK JBLE BOWL)	W DR RE/EQ-03 REF/EQ-04	1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 ISSUED FOR PERMIT: 05.06.2022 project tit
IER IR E E HEN SINK IBLE BOWL) HEN SINK GLE BOWL)	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 U U U U U U U U U U U U U	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE MODEL AVENUE AVENUE	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         EDULE         NOTES         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid	data, notices, and other documents and instrume prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reservights, including the copyright thereto.         retristion         ISSUED FOR PERMIT: 05.06.2022         project tit
IER R E E HEN SINK BLE BOWL) HEN SINK GLE BOWL) HEN SINK CET	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY MOEN	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE AVENUE AVENUE 7425	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         EDULE         NOTES         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserving methods in the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 ISSUED FOR PERMIT: 05.06.2022 project tit Owner: HACP
IER IR E E HEN SINK IBLE BOWL) HEN SINK GLE BOWL) HEN SINK CET TY LAVATORY ESTAL	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 U U U U U U U U U U U U U	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE MODEL AVENUE AVENUE	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         EDULE         NOTES         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. <b>revision</b> ISSUED FOR PERMIT: 05.06.2022 <b>project titl</b> <b>Ovener:</b> HACP 200 ROSS STREET
IER R E E E HEN SINK IBLE BOWL) HEN SINK GLE BOWL) HEN SINK CET TY LAVATORY ESTAL TORY ATORY	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 0 1 2	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL ELKAY ELKAY ELKAY MOEN GLACIER BAY	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE AVENUE AVENUE 7425 W11245179A	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         EDULE         NOTES         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 ISSUED FOR PERMIT: 05.06.2022 project tit Owner: HACP 200 ROSS STREET
IER IR E E E HEN SINK IBLE BOWL) HEN SINK SLE BOWL) HEN SINK CET TY LAVATORY ESTAL TORY ATORY L HUNG) TORY	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 2 0 1 2 0	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN CON CAN CON CAN CON CAN CON CAN CAN CAN CAN CAN CAN CAN CAN CAN CA	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00  BING SCHE AVENUE AVENUE 7425 W11245179A K-2362-4-0	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         EDULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. <b>revision</b> ISSUED FOR PERMIT: 05.06.2022 <b>project tit</b> <b>Owner:</b> HACP 200 ROSS STREET
IER R E E HEN SINK BLE BOWL) HEN SINK GLE BOWL) HEN SINK CET TY LAVATORY ESTAL TORY TORY L HUNG) TORY CET ER CLOSET	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN WHIRLPOOL CAN CON CAN CON CAN CON CAN CAN CAN CAN CAN CAN CAN CAN CAN CA	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>EDULE</b> NOTES         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)	data, notices, and other documents and instrume prepared by the Architect as instruments of service sharetain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory, and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and other reservices in the copyright theretain all common law statutory and all
HER R EM HEN SINK JBLE BOWL) HEN SINK JE BOWL) HEN SINK CET TY LAVATORY ESTAL TORY TORY L HUNG) TORY ET ER CLOSET WER	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL C C C C C C C C C C C C C C C C C C	MODEL           WDF330PAHB           WGD4950HW           W11245179A           WRT1E8F2DB00           BING SCHE           MODEL           AVENUE           AVENUE           7425           W11245179A           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0           PRISM DL-6030-04	NOTES         24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>EDULE</b> Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh retain all common law statutory, and other reservices, including the copyright therest. <b>revision</b> ISSUED FOR PERMIT: 05.06.2022 <b>project titl Owner:</b> HACP 200 ROSS STREET PITTSBURGH,PA 15219 <b>Project Loccation:</b>
IER R EM HEN SINK JBLE BOWL) HEN SINK JBLE BOWL) HEN SINK GLE BOWL) HEN SINK CET TY LAVATORY ESTAL ITORY ATORY L HUNG) ITORY ER CLOSET WER ITUB	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 2 0 1 2 0 0 0 2 2 2	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         V11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON         Z391.S.020	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         Solution 1000000000000000000000000000000000000	data, notices, and other documents and instrume prepared by the Architect. The Architect sh retain all common law statutory, and other reservights, including the copyright thereto.         revision         ISSUED FOR PERMIT: 05.06.2022         project titl         Owner:         HACP         200 ROSS STREET         PITTSBURGH,PA 15219         Project Location:         MANCHESTER SCATTERED SITE         MANCHESTER SCATTERED SITE         104 W NORTH AVENUE
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Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled s	data, notices, and other documents and instrument prepared by the Architect as instruments of services as repeared by the Architect as instruments of services as repeared by the Architect as instruments of services as repeared by the Architect as instruments of services as repeared by the Architect as instruments of services as repeared by the Architect as instruments of services as repeared by the Architect as instruments of services as repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect as instruments of services are repeared by the Architect are repeared
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HER FR FR FR FEM FEM FEM FEM FEN SINK JBLE BOWL) FHEN SINK GLE BOWL) FHEN SINK GLE BOWL) FHEN SINK CET ITY LAVATORY ESTAL ATORY LL HUNG) ATORY CET FER CLOSET FER C	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 0 1 2 0 1 2 0 0 1 2 0 1 2 0 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY GUY GRAY E.L. MUSTEE & SONS, INC.	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         Z391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX         UTILITUB 19F	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>EDULE</b> Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Shower Haude Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead <t< td=""><td>data, notices, and other documents and instrument repared by the Architect. The Architect . revision revision ISSUED FOR PERMIT: 05.06.2022 Droject tidl Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 drawing tidl KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03, FIRST</td></t<>	data, notices, and other documents and instrument repared by the Architect. The Architect . revision revision ISSUED FOR PERMIT: 05.06.2022 Droject tidl Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 drawing tidl KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03, FIRST
HER FR FR /E FEM CHEN SINK UBLE BOWL) CHEN SINK GLE BOWL) CHEN SINK GLE BOWL) CHEN SINK CET ITY LAVATORY ESTAL ATORY LL HUNG) ATORY CET FER CLOSET WER HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HT	W           DR           RE/EQ-03           REF/EQ-04           TAG           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 0 1 2 0 1 2 0 1 2 0 1 2 0 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY GUY GRAY GUY GRAY GUY GRAY GUY GRAY SONS, INC.	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         VI11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         Z391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX         UTILITUB 19F         UTILAWIN 27F         40812	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes.         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead         Combination valved fitting or seperate Hot & Cold water valved	data, notices, and other documents and instruments of services sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereis. ISSUED FOR PERMIT: 05.06.2022 Deroject till Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 Marwing title KITCHEN ELEVATION 01, KITCHEN ELEVATION 03, FIRST FLOOR KITCHEN ENLARGED
HER ER ER VE FEM CHEN SINK UBLE BOWL) CHEN SINK IGLE BOWL) CHEN SINK IGLE BOWL) CHEN SINK CET ITY LAVATORY LL HUNG) ATORY CET FER CLOSET DWER HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB HTUB H	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 0 1 2 0 1 2 0 1 2 0 1 2 0 1 2 0 1 1 1 0 1 1 1 0 1 1 1 0 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY GUY GRAY GUY GRAY SONS, INC. SONS, INC. SONS, INC.	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRINCETON         2391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX         UTILAWIN 27F         40812         LUSTERTONE	NOTES           24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA           7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System           black 30"           black 18", type 18MSTA           Source of the system           Diack 18", type 18MSTA           Din/Undermoun	data, notices, and other documents and instrument repared by the Architect. The Architect . revision revision ISSUED FOR PERMIT: 05.06.2022 Droject tidl Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 drawing tidl KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03, FIRST
HER R FR FR FR FR FEN FEN FEN FEN FEN FEN FEN FEN	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 0 1 2 0 1 2 0 1 2 0 1 2 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 0 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY GLACIER BAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN COHLER DREAMLINE MOEN MOEN GUY GRAY GUY GRAY STANDARD GUY GRAY MOEN SIL. MUSTEE & SONS, INC. SUNS, INC. SUNS SONS, INC. SUNS SONS, INC. SUNS SONS, INC. SUNS SONS, INC.	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         V11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         2391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE         40812	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Princetro 30" W x 60" L White porcelain enameled steel rectangular tigh drain alcove soaking balhtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle Handle(S) Included WaterSenses Tub and Shower with Single Function Showerhead Model/Commercial	data, notices, and other documents and instrume prepared by the Architect as instruments of service sh remain the propert of the Architect. The Architet sh retain all common law statutory, and other reserv rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 moject titl Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITE 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 mawing titl KITCHEN ELEVATION 03, FIRST FLOOR KITCHEN ENLARGED
HER FR FR FR FE FE FE FE FE FE FE FE FE FE	W           DR           RE/EQ-03           REF/EQ-04           TAG           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1         1         1         1         1         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1 <td< td=""><td>MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY GUY GRAY STANDARD MOEN GUY GRAY GUY GRAY C GUY GRAY GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C C GUY GRAY C C C C C C C C C C C C C C C C C C C</td><td>MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         W11245179A         K-2362-4-0         KINGSTON K-2005-0         K-31621-0         PRINCETON         2391.S.020         Z269E3P /         Z369E3P /         RECESSED WALL         BOX         UTILAWIN 27F         40812         LUSTERTONE         40812         KPF-2252CH         K-10433-CP</td><td>NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimaron white elongated comfort height 2-piece watersense         toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White procelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) included WaterSense Tub and Showerhead         Combination valved fitting or seperate Hot &amp; Cold water valved fittings &amp; drain standpipe         Freestanding Double Laundry tray with steel</td><td>atta, notices, and other documents and instrumes of service sh remain the property of the Architect. The Architect sh remain the property of the Architect. The Architect sh remain the property of the Architect. The Architect sh remain the property of the Architect. The Architect sh remain the property of the Architect shows and the reserver and the architect shows and the reserver shows and the copyright shows and the architect shows and the reserver shows and the architect shows and the architect shows and the reserver shows and the architect shows</td></td<>	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY GUY GRAY STANDARD MOEN GUY GRAY GUY GRAY C GUY GRAY GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C GUY GRAY C C GUY GRAY C C C C C C C C C C C C C C C C C C C	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         W11245179A         K-2362-4-0         KINGSTON K-2005-0         K-31621-0         PRINCETON         2391.S.020         Z269E3P /         Z369E3P /         RECESSED WALL         BOX         UTILAWIN 27F         40812         LUSTERTONE         40812         KPF-2252CH         K-10433-CP	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimaron white elongated comfort height 2-piece watersense         toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White procelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) included WaterSense Tub and Showerhead         Combination valved fitting or seperate Hot & Cold water valved fittings & drain standpipe         Freestanding Double Laundry tray with steel	atta, notices, and other documents and instrumes of service sh remain the property of the Architect. The Architect sh remain the property of the Architect. The Architect sh remain the property of the Architect. The Architect sh remain the property of the Architect. The Architect sh remain the property of the Architect shows and the reserver and the architect shows and the reserver shows and the copyright shows and the architect shows and the reserver shows and the architect shows and the architect shows and the reserver shows and the architect shows
TRIC IS SPECIF	W           DR           RE/EQ-03           REF/EQ-04           TAG           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1         1         1         1         1         1         1         1         1         1         0         1         2         0         2         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0 <td< td=""><td>MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY KOHLER MOEN KOHLER DREAMLINE KOHLER DREAMLINE MOEN KOHLER DREAMLINE STANDARD GUY GRAY E.L. MUSTEE &amp; SONS, INC. GUY GRAY GUY GRAY KOHLER CONS STANDARD GUY GRAY CONS CONS, INC. CONS CONS CONS CONS CONS CONS CONS CONS</td><td>MODEL         WDF330PAHB         WGD4950HW         WI1245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         W11245179A         K-2362-4-0         KINGSTON K-2005-0         KINGSTON K-2005-0         KA31621-0         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         VIILAWIN 27F         40812         UTILAWIN 27F         40812         LUSTERTONE         KPF-2252CH         K-10433-CP</td><td>NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimaron white elongated comfort height 2-piece watersense         toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White procelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) included WaterSense Tub and Showerhead         Combination valved fitting or seperate Hot &amp; Cold water valved fittings &amp; drain standpipe         Freestanding Double Laundry tray with steel</td><td>data, notices, and other documents and instrument prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 moject field Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 Mawing title KITCHEN ELEVATION 03, FIRST FLOOR KITCHEN ENLARGED</td></td<>	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY KOHLER MOEN KOHLER DREAMLINE KOHLER DREAMLINE MOEN KOHLER DREAMLINE STANDARD GUY GRAY E.L. MUSTEE & SONS, INC. GUY GRAY GUY GRAY KOHLER CONS STANDARD GUY GRAY CONS CONS, INC. CONS CONS CONS CONS CONS CONS CONS CONS	MODEL         WDF330PAHB         WGD4950HW         WI1245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         W11245179A         K-2362-4-0         KINGSTON K-2005-0         KINGSTON K-2005-0         KA31621-0         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         VIILAWIN 27F         40812         UTILAWIN 27F         40812         LUSTERTONE         KPF-2252CH         K-10433-CP	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bow Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimaron white elongated comfort height 2-piece watersense         toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White procelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) included WaterSense Tub and Showerhead         Combination valved fitting or seperate Hot & Cold water valved fittings & drain standpipe         Freestanding Double Laundry tray with steel	data, notices, and other documents and instrument prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh retain all common law statutory, and other reserv rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 moject field Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 Mawing title KITCHEN ELEVATION 03, FIRST FLOOR KITCHEN ENLARGED

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BACK SPLASH	DWR			DWR	AS AS		
			AS AS				<ol> <li>Any conflicts in the drawings or between ne existing construction shall be referred to the Archit</li> <li>Contractor shall verify all dimensions and econditions in the field and shall advise Fukui Archit Pc of any discrepancies between, additions to, do from, or alterations to any and all conditions proceeding with any phase of work. Do not</li> </ol>
							<ul><li>drawings.</li><li>3. All work shall be installed in accordance with app codes and regulations.</li></ul>
9"	_11"	<u>.</u>	2'-11"	2'-0"	2'-3"1	1"   	<b>4.</b> Contractor shall be responsible for the pa
							repairing, and preparations of all existing floor, we ceiling surfaces as required to receive scheduled fin
							5. All items shown on drawings are finished constr assemblies. Contractor shall provide and inst material required for finished assemblies.
							6. All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other retain all common law statutory.
			ΔΡΡΙ Ι	ANCE SCHE			<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other rerights, including the copyright thereto.</li> </ul>
ITEM	TAG	QUANTITY	APPLI	ANCE SCHE	DULE		6. All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other retrights, including the copyright thereto.
	TAG W				_	o dishwasher with 1	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other rerights, including the copyright thereto.</li> </ul>
VASHER		1	MANUFACTURER	MODEL	NOTES 24in black front contro built 0in tall tub		<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other rerights, including the copyright thereto.</li> </ul>
VASHER ORYER	W DR RE/EQ-03	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW W11245179A	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Ven AUTODRY Drying System black 30"		<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other rerights, including the copyright thereto.</li> </ul>
VASHER RING RYER	W DR	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Ven AUTODRY Drying System		<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other rerights, including the copyright thereto.</li> </ul>
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VASHER	W DR RE/EQ-03	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE MODEL	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA <b>DULLE</b> NOTES Drop-in/Undermount Stainless Steel 3	ted Dryer with	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other rerights, including the copyright thereto.</li> </ul> <b>Tevis ISSUED FOR PERMIT:</b> 05.06.2022
VASHER	W DR RE/EQ-03 REF/EQ-04	1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL PLUM	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service retain all common law statutory, and other regists, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> </ul>
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VASHER	W DR RE/EQ-03 REF/EQ-04 TAG -	1 1 1 1 1 U U U U U U U U U U U U U U U	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY	MODEL WDF330PAHB WGD4950HW W11245179A WRT1E8F2DB00 BING SCHE MODEL AVENUE AVENUE	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service retain all common law statutory, and other regists, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> </ul>
ITEM ITEM ITEM ITEM ITEM ITEM ITEM ITEM	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY MOEN GLACIER BAY KOHLER	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other registry, including the copyright thereto.</li> <li>revisition</li> </ul> ISSUED FOR PERMIT: 05.06.2022          project         Owner:       HACP         200 ROSS STREET
VASHER	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> MANUFACTURER ELKAY ELKAY MOEN GLACIER BAY KOHLER	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other registry, including the copyright thereto.</li> <li>revisition</li> </ul> ISSUED FOR PERMIT: 05.06.2022          project         Owner:       HACP         200 ROSS STREET
VASHER	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -	1         1         1         1         1         1         0         1         0         1         2         0         0         1         2         0         2         0         2         0         2         0         2         0         2         0         2	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY KOHLER KOHLER MOEN	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other registry, including the copyright thereto.</li> <li>revisition</li> </ul> ISSUED FOR PERMIT: 05.06.2022          project         Owner:       HACP         200 ROSS STREET
VASHER	W           DR           RE/EQ-03           REF/EQ-04           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> MANUFACTURER ELKAY ELKAY MOEN GLACIER BAY KOHLER	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid unused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service remain the property of the Architect. The Architect remain the property of the Architect.</li> <li>revise</li> </ul>
VASHER	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER	MODEL         WDF330PAHB         WGD4950HW         WI1245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA <b>EDULLE INOTES</b> Drop-in/Undermount Stainless Steel 3 Kitchen Sink with Bottom Grid Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Kitchen, 8" Chateau with covers for u 24" W x 36" H x 19" D Bath Vanity in V White and White Basin Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom 4" Chateau with covers for unused sii Cimarron white elongated comfort heig toilet. 12" rough-in size (ADA Complian Fit to existing conditions. Frameless pi brushed nickel and corner drain white Princeton 30"W x 60" L White porcelai	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in base n enameled steel	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li>Project</li> <li>Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219</li> <li>Project Location: MANCHESTER SCATTERED STREED STREET</li> </ul>
VASHER	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL CON CON CON ELKAY MOEN GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON 2391.S.020         T269E3P /	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in base n enameled steel pathtub Ided WaterSense Tub and ad Model/Commercial	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service remain the property of the Architect. The Architect remain the property of the Architect.</li> <li>revise</li> </ul>
VASHER VASHER VASHER VASHER VASHER VASHER VASHER VAL	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY ELKAY MOEN GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER DREAMLINE AMERICAN	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         MODEL         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON 2391.S.020         T269E3P / T8342EP15         RECESSED WALL	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA <b>DULLE NOTES Drop-in/Undermount Stainless Steel 3</b> Kitchen Sink with Bottom Grid Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Kitchen, 8" Chateau with covers for u 24" W x 36" H x 19" D Bath Vanity in V White and White Basin Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Crop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Crop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Crop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Fit to existing conditions. Frameless pi brushed nickel and corner drain white Princeton 30"W x 60" L White porcelai rectangular righ drain alcove soaking b Voss Chrome 1-Handle Handle(S) Inclu Shower with Single Function Showerhead Combination valved fitting or seperate	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 10 Strong to the second 10 Strong to the se	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li>Project</li> <li>Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219</li> <li>Project Location: MANCHESTER SCATTERED STITUTE MANCHESTER SCATTERED STITUTE WORTH AVENUE</li> </ul>
VASHER VASHER VASHER VASHER VASHER VASHER VASHER VAVATORY VAVATORY VANITY LAVATORY EDESTAL LAVATORY VATER CLOSET SHOWER BATHTUB BATHTUB BATHTUB VASHER BOX LAUNDRY TRAY	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1         1         1         1         1         1         1         0         1         0         1         2         0         2         0         2         0         1         1         1         1         1         1         1         1         1         1         1         1         1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER MOEN MOEN MOEN ELL. MUSTEE &	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON 2391.S.020         T269E3P / T8342EP15	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA <b>DULLE DULE DULE DULE 1 2 1 2 1 1 2 1 1</b>	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in base n enameled steel bathtub ided WaterSense Tub and ad Model/Commercial Faucet with Multi-Head Hot & Cold water valved	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of servic remain the property of the Architect. The Architer retain all common law statutory, and other rerights, including the copyright thereto.</li> <li>revise</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> <li><b>Deroject</b></li> <li><b>Deroject</b></li> <li><b>Deroject Location:</b></li> <li><b>MANCHESTER SCATTERED STI</b> 1104 W NORTH AVENUE</li> <li>PITTSBURGH, PENNSYLVANIA</li> </ul>
VASHER VASHER VASHER VASHER VASHER VASHER VASHER VAVATOR VATCHEN SINK (DOUBLE BOWL) KITCHEN SINK (SINGLE BOWL) KITCHEN SINK FAUCET VANITY LAVATORY PEDESTAL LAVATORY LAVATORY FAUCET VANITY LAVATORY FAUCET VATER CLOSET SHOWER BATHTUB BATHTUB BATHTUB BATHTUB BATHTUB / SHOWER FAUCETS WASHER BOX LAUNDRY TRAY (SINGLE) LAUNDRY TRAY (SINGLE) LAUNDRY TRAY (SINGLE) LAUNDRY TRAY (SINGLE) LAUNDRY TRAY	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1         1         1         1         1         1         1         0         1         0         1         2         0         2         0         2         0         1         1         1         1         1         1         1         1         1         1         1         1         1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> MANUFACTURER ELKAY ELKAY MOEN GLACIER BAY MOEN GLACIER BAY MOEN KOHLER DREAMLINE MOEN MOEN MOEN	MODEL         WDF330PAHB         WGD4950HW         WT1245179A         WRT1E8F2DB00         MODEL         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON 2391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA <b>EDULE INOTES</b> Drop-in/Undermount Stainless Steel 3 Kitchen Sink with Bottom Grid Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Kitchen, 8" Chateau with covers for u 24" W x 36" H x 19" D Bath Vanity in V White and White Basin Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom 4" Chateau with covers for u 4" Chateau with covers for unused sii Cimarron white elongated comfort heig toilet. 12" rough-in size (ADA Compliar Fit to existing conditions. Frameless pi brushed nickel and corner drain white Princeton 30"W x 60" L White porcelai rectangular righ drain alcove soaking b Voss Chrome 1-Handle Handle(S) Inclu Shower with Single Function Showerhe Chrome 1-Handle WaterSense Shower Showerhead Combination valved fitting or seperate fittings & drain standpipe	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 10 Strong to the second Strong to the secon	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruprepared by the Architect as instruments of service retain all common law statutory, and other regists, including the copyright thereto.</li> <li>revise</li> </ul>
VASHER VASHER VASHER VASHER VASHER VASHER VAVATORE VANITY LAVATORY FAUCET VATER CLOSET SHOWER BATHTUB BATHTUB BATHTUB BATHTUB BATHTUB BATHTUB COUDEL COUDE	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1         1         1         1         1         1         1         0         1         0         1         2         0         2         0         1         2         0         1         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MHIRLPOOL MANUFACTURER ELKAY ELKAY MOEN GLACIER BAY GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER MOEN KOHLER MOEN KOHLER MOEN KOHLER MOEN KOHLER MOEN KOHLER MOEN KOHLER MOEN	MODEL         WDF330PAHB         WGD4950HW         WI1245179A         WRT1E8F2DB00         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON 2391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX         UTILITUB 19F	NOTES         24in black front contro built 0in tall turner wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Verner AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>DULLE DULE DULE DULE DULE DULE DOULE DOULE NOTES</b> Drop-in/Undermount Stainless Steel 3         Kitchen Sink with Bottom Grid       Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom       Kitchen, 8" Chateau with covers for un         24" W x 36" H x 19" D Bath Vanity in W       White and White Basin         Drop-in/Undermount Stainless Steel 2       Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2       Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2       Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2       Single Bowl Kitchen Sink with Bottom         4" Chateau with covers for unused sit       Cimarron white elongated comfort heig         fit to existing conditions. Frameless pi       brushed nickel and corner drain white         Princeton 30"W	ted Dryer with """"""""""""""""""""""""""""""""""""	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereo:</li></ul>
VASHER VASHER VASHER DRYER DRYER DRYER DRYER STOVE STOVE REF. ITEM KITCHEN SINK (DOUBLE BOWL) KITCHEN SINK (DOUBLE BOWL) KITCHEN SINK FAUCET VANITY LAVATORY PEDESTAL LAVATORY PEDESTAL LAVATORY FAUCET VATER CLOSET SHOWER BATHTUB CSUNTERTOP SINK SINGLE BOWL)	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1         1         1         1         1         1         1         0         1         0         1         2         0         2         0         1         2         0         1         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY MOEN GLACIER BAY GLACIER BAY KOHLER MOEN KOHLER MOEN KOHLER DREAMLINE AMERICAN STANDARD DREAMLINE GUY GRAY E.L. MUSTEE & SONS, INC.	MODEL         WDF330PAHB         WGD4950HW         WGD4950HW         WT1245179A         WRT1E8F2DB00         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRINCETON 2391.S.020         T269E3P / T8342EP15         RECESSED WALL BOX         UTILITUB 19F         UTILAWIN 27F	NOTES 24in black front contro built 0in tall tub hr wash cyclel, 55 dBA 7.0 cu. ft. 240-Volt White Electric Vent AUTODRY Drying System black 30" black 30" black 18", type 18MSTA <b>DULLE NOTES</b> Drop-in/Undermount Stainless Steel 3 Kitchen Sink with Bottom Grid Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Kitchen, 8" Chateau with covers for u 24" W x 36" H x 19" D Bath Vanity in V White and White Basin Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom Kitchen, 8" Chateau with covers for u 24" W x 36" H x 19" D Bath Vanity in V White and White Basin Drop-in/Undermount Stainless Steel 2 Single Bowl Kitchen Sink with Bottom 4" Chateau with covers for unused sii Cimarron white elongated comfort heig toilet. 12" rough-in size (ADA Compliar Fit to existing conditions. Frameless pi brushed nickel and corner drain white Princeton 30"W x 60" L White porcelai rectangular righ drain alcove soaking t Voss Chrome 1-Handle Handle(S) Inclu Shower with Single Function Showerhe Chrome 1-Handle WaterSense Shower Showerhead Combination valved fitting or seperate fittings & drain standpipe Freestanding Single Laundry tray with Freestanding Double Laundry tray with 4" Centerset Laundry Faucet with 9" S Drop-in Stainless Steel 25" X 22" X 8 ¹ / _C Countertop Sink	ted Dryer with 0" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in base n enameled steel bathtub ided WaterSense Tub and ad Model/Commercial Faucet with Multi-Head Hot & Cold water valved steel legs n steel legs spout reach / ₈ " 2 Hole Single Bowl	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of servic retain all common law statutory, and other regists, including the copyright theret.</li> <li>revise</li> </ul>
WASHER         DRYER         STOVE         STOVE         REF.         ITEM         KITCHEN SINK (DOUBLE BOWL)         KITCHEN SINK (SINGLE BOWL)         KITCHEN SINK FAUCET         VANITY LAVATORY         PEDESTAL LAVATORY         VANITY LAVATORY         PEDESTAL LAVATORY         KATER CLOSET         SHOWER         BATHTUB         COUNTERTOP SINK         SINGLE BOWL)         COUNTERTOP SINK         SINGLE BOWL)         COUNTERTOP SINK	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1         1         1         1         1         1         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         0         0         0         0 <tr< td=""><td>MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> ANUFACTURER ELKAY ELKAY MOEN GLACIER BAY GLACIER BAY MOEN KOHLER MOEN KOHLER DREAMLINE AMERICAN STANDARD DREAMLINE MOEN CUY GRAY GUY GRAY BUY GRAY MOEN CUY GRAY MOEN</td><td>MODEL         WDF330PAHB         WGD4950HW         WT1245179A         WRT1E8F2DB00         MODEL         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         BOX         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE</td><td>NOTES         24in black front contro built 0in tall turk         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vent         AUTODRY Drying System         black 30"         black 18", type 18MSTA         <b>DULLE DULE Drop-in/Undermount</b> Stainless Steel 3         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Kitchen, 8" Chateau with covers for u         24" W x 36" H x 19" D Bath Vanity in W         White and White Basin         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         4" Chateau with covers for unused sii         Cimarron white elongated comfort heigtoilet. 12" rough-in size (ADA Complian         Fit to existing conditions. Frameless pi         brushed nickel and corner drain white         Princeton 30"W x 60" L White porcelai         rectangular righ drain alcove soaking to the second single Function Showerhe         Chorome 1-Handle Handle(S) Inclu         Sho</td><td>ted Dryer with "" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in base n enameled steel pathtub Ided WaterSense Tub and ad Model/Commercial Faucet with Multi-Head Hot &amp; Cold water valved steel legs n steel legs spout reach V₈ " 2 Hole Single Bowl pout reach</td><td><ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereo:</li></ul></td></tr<>	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> ANUFACTURER ELKAY ELKAY MOEN GLACIER BAY GLACIER BAY MOEN KOHLER MOEN KOHLER DREAMLINE AMERICAN STANDARD DREAMLINE MOEN CUY GRAY GUY GRAY BUY GRAY MOEN CUY GRAY MOEN	MODEL         WDF330PAHB         WGD4950HW         WT1245179A         WRT1E8F2DB00         MODEL         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         BOX         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE	NOTES         24in black front contro built 0in tall turk         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vent         AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>DULLE DULE Drop-in/Undermount</b> Stainless Steel 3         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Kitchen, 8" Chateau with covers for u         24" W x 36" H x 19" D Bath Vanity in W         White and White Basin         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         4" Chateau with covers for unused sii         Cimarron white elongated comfort heigtoilet. 12" rough-in size (ADA Complian         Fit to existing conditions. Frameless pi         brushed nickel and corner drain white         Princeton 30"W x 60" L White porcelai         rectangular righ drain alcove soaking to the second single Function Showerhe         Chorome 1-Handle Handle(S) Inclu         Sho	ted Dryer with "" 50/50 Double Bowl 5" X 22" X 9" 3 Hole Grid Inused sink holes. White with Vanity Top in 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid 5" X 22" X 9" 3 Hole Grid nk holes ght 2-piece watersense nt) ivot shower enclosure in base n enameled steel pathtub Ided WaterSense Tub and ad Model/Commercial Faucet with Multi-Head Hot & Cold water valved steel legs n steel legs spout reach V ₈ " 2 Hole Single Bowl pout reach	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereo:</li></ul>
WASHER DRYER DRYER STOVE STOVE REF. ITEM KITCHEN SINK (DOUBLE BOWL) KITCHEN SINK (SINGLE BOWL) KITCHEN SINK FAUCET	W           DR           RE/EQ-03           REF/EQ-04           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1           1	1         1         1         1         1         1         0         1         0         1         2         0         2         0         1         2         0         1         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0          1          1          1          1 <td>MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> ANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY AMERICAN STANDARD DREAMLINE AMERICAN STANDARD MOEN GUY GRAY E.L. MUSTEE &amp; SONS, INC. GUY GRAY MOEN GUY GRAY MOEN</td> <td>MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         MODEL         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         KA1621-0         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         DRISM DL-6030-04         PRISM DL-6030-04         VITILITUB 19F         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE         40812         KPF-2252CH</td> <td>NOTES         24in black front contro built 0in tall tub         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vent         AUTODRY Drying System         black 30"         black 18", type 18MSTA         Solution 1000000000000000000000000000000000000</td> <td>ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with"" ted</td> <td><ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereis.</li> <li>revise</li> </ul></td>	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL <b>PLUM</b> ANUFACTURER ELKAY ELKAY GLACIER BAY GLACIER BAY GLACIER BAY MOEN GLACIER BAY MOEN GUY GRAY AMERICAN STANDARD DREAMLINE AMERICAN STANDARD MOEN GUY GRAY E.L. MUSTEE & SONS, INC. GUY GRAY MOEN GUY GRAY MOEN	MODEL         WDF330PAHB         WGD4950HW         W11245179A         WRT1E8F2DB00         MODEL         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0         KA1621-0         PRISM DL-6030-04         PRISM DL-6030-04         PRISM DL-6030-04         DRISM DL-6030-04         PRISM DL-6030-04         VITILITUB 19F         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE         40812         KPF-2252CH	NOTES         24in black front contro built 0in tall tub         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vent         AUTODRY Drying System         black 30"         black 18", type 18MSTA         Solution 1000000000000000000000000000000000000	ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with"" ted	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereis.</li> <li>revise</li> </ul>
WASHER         DRYER         STOVE         REF.         ITEM         KITCHEN SINK (DOUBLE BOWL)         KITCHEN SINK (SINGLE BOWL)         KITCHEN SINK FAUCET         VANITY LAVATORY         PEDESTAL LAVATORY         VANITY LAVATORY         PEDESTAL LAVATORY         KATER CLOSET         SHOWER         BATHTUB         SINGLE         LAUNDRY TRAY         GOUNTERTOP SINK	W           DR           RE/EQ-03           REF/EQ-04           TAG           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1         1         1         1         1         1         0         1         0         1         2         0         2         0         1         2         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1         0         1 <td< td=""><td>MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL MHIRLPOOL E C C C C C C C C C C C C C C C C C C</td><td>MODEL         WDF330PAHB         WGD4950HW         WT1245179A         WRT1E8F2DB00         MODEL         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         BOX         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE</td><td>NOTES         24in black front contro built 0in tall tub         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Verra AUTODRY Drying System         black 30"         black 30"         black 18", type 18MSTA         <b>DULLE DULE</b>         Drop-in/Undermount Stainless Steel 3         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Kitchen Sink with Bottom         Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kit</td><td>ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with"" ted</td><td><ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereis.</li> <li>revise</li> </ul></td></td<>	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL MHIRLPOOL E C C C C C C C C C C C C C C C C C C	MODEL         WDF330PAHB         WGD4950HW         WT1245179A         WRT1E8F2DB00         MODEL         MODEL         MODEL         AVENUE         AVENUE         K-2362-4-0         KINGSTON K-2005-0         L64620         K-31621-0         PRISM DL-6030-04         PRISM DL-6030-04         BOX         UTILITUB 19F         UTILAWIN 27F         40812         LUSTERTONE	NOTES         24in black front contro built 0in tall tub         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Verra AUTODRY Drying System         black 30"         black 30"         black 18", type 18MSTA <b>DULLE DULE</b> Drop-in/Undermount Stainless Steel 3         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Kitchen Sink with Bottom         Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kitchen Sink with Bottom         Drop-in/Undermount Stainless Steel 2         Single Bowl Kit	ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with "" ted Dryer with"" ted	<ul> <li>All reports, plans, specifications, computer files data, notices, and other documents and instruments of service remain the property of the Architect. The Architect retain all common law statutory, and other regists, including the copyright thereis.</li> <li>revise</li> </ul>

	v	ERIFY ALL D	DIMENSIONS IN FIELD			Fukui Architects Po 205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
2'-0"			_2'-11"	2'-0"	<u>+ 2'-3" 1"++</u>	© 2022 Entri Architecto De
			BULKHEAD			©2022 Fukui Architects, Pc
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	DWR AS	R	AS AS	DWR AS	DR DR DR	<ul> <li>I. Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.</li> <li>2. Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architects Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scal drawings.</li> <li>3. All work shall be installed in accordance with applicable codes and regulations.</li> </ul>
						<ol> <li>Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, an ceiling surfaces as required to receive scheduled finishes</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install al material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, field</li> </ol>
						data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
TEM	TAG	QUANTITY	1	ANCE SCHE	1	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
	TAG	QUANTITY 1	<b>APPLI</b> MANUFACTURER WHIRLPOOL		DULE NOTES 24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
SHER	-	QUANTITY 1 1	MANUFACTURER	MODEL	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
SHER /ER	W	1	MANUFACTURER WHIRLPOOL	MODEL WDF330PAHB	NOTES 24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
ER VE	W DR	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
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SHER	W DR RE/EQ-03	1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL	MODEL WDF330PAHB WGD4950HW W11245179A	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b> ISSUED FOR PERMIT: 05.06.2022 project title
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HER ER /E /E /E /E /E /E /E /E /E /E	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 2 0 1 2 0 0 0	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY ELKAY GLACIER BAY KOHLER KOHLER KOHLER	MODEL         WDF330PAHB         WGD4950HW         WGD4950HW         WT1245179A         WRT1E8F2DB00         BING SCHE         MODEL         AVENUE         AVENUE         7425         W11245179A         K-2362-4-0         KINGSTON K-2005-0	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>EDULE</b> NOTES         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Z4" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Z4" W chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense	data, notices, and other documents and instrument         prepared by the Architect as instruments of service share         retain all common law statutory, and other reserver         ights, including the copyright thereto.         retain all common law statutory, and other reserver         ISSUED FOR PERMIT: 05.06.2022         ISSUED FOR PERMIT: 05.06.2025         project title <b>Downer:</b> HACP         200 ROSS STREET         PITTSBURGH, PA 15219
HER ER /E /E /E /E /E /E /E /E /E /E	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 1 1 0 1 2 0 0 0 2 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY ELKAY GLACIER BAY KOHLER KOHLER MOEN	MODEL           WDF330PAHB           WGD4950HW           W11245179A           WRT1E8F2DB00             BING SCHE           MODEL           AVENUE           AVENUE           7425           W11245179A           K-2362-4-0           KINGSTON K-2005-0           L64620	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         Source Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Virte and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in	data, notices, and other documents and instrument prepared by the Architect as instruments of service sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the inperference of the Architect sharetain all common law statutory, and other reservering the Architect sharetain all common law statutory, and other reservering the Architect sharetain all common law statutory, and other reservering the Architect sharetain all common law statutory, and other reservering the Architect sharetain all common law statutory, and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and other reservering the Architect sharetain all common law statutory and all all all all all all all all all al
EM HEN SINK JBLE BOWL) HEN SINK JBLE BOWL) HEN SINK GLE BOWL) HEN SINK CET TY LAVATORY ESTAL TORY ATORY L HUNG) TTORY CET ER CLOSET WER	W DR RE/EQ-03 REF/EQ-04	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY ELKAY GLACIER BAY KOHLER KOHLER KOHLER KOHLER	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           WRT1E8F2DB00           AVENUE           AVENUE           V11245179A           WODEL           KODEL           KVENUE           K125           W11245179A           K125           K11245179A           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with         AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl         Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in         White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole         Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel	data, notices, and other documents and instrument prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha project titlet <b>Demonstration of the Architect sha</b> <b>project titlet</b> <b>Demonstration of the Architect sha</b> <b>project titlet</b> <b>Demonstration of the Architect sha</b> <b>project titlet</b> <b>Demonstration of the Architect sha</b> <b>project titlet</b>
HER HER R R /E HEN SINK JBLE BOWL) HEN SINK GLE BOWL) HEN SINK GLE BOWL) HEN SINK CET ITY LAVATORY LI HUNG) ATORY LI HUNG) ATORY CET FER CLOSET WER HTUB HTUB / SHOWER	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL WHIRLPOOL MANUFACTURER ELKAY ELKAY ELKAY ELKAY ELKAY KOHLER KOHLER KOHLER KOHLER DREAMLINE AMERICAN	MODEL           WDF330PAHB           WGD4950HW           WGD4950HW           W11245179A           WRT1E8F2DB00           BING SCHE           MODEL           AVENUE           AVENUE           V11245179A           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0           PRISM DL-6030-04           PRINCETON	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         Source State 10" Solve State 10" Solve State 10"         DULEE         Drop-in/Undermount Stainless Steel 30" Solve Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/	data, notices, and other documents and instrument prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha project titlet Description of the Architect sha remain the property of the Architect. The Architect sha remain the property of the Architect sha project titlet Description of the Architect sha remain the property of the Architect sha project titlet Description of the Architect sha remain the property of the Architect sha project titlet Description of the Architect sha remain the property of the Architect sha remain the property of the Architect sha project titlet Description of the Architect sha remain the property of the Architect sha project titlet Description of the Architect sha remain the property of the Architect sha project titlet Description of the Architect sha remain the property of the Architect sha remain the project sha remain the property of the Architect sha remain the
HER HER ER /E /E /E /E /E /E /E /E /E /E	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLACIER BAY         KOHLER         MOEN         KOHLER         DREAMLINE         AMERICAN STANDARD         MOEN	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           WRT1E8F2DB00           BING SCHE           MODEL           AVENUE           AVENUE           7425           W11245179A           VI1245179A           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0           PRISM DL-6030-04           PRINCETON 2391.S.020           T269E3P / T8342EP15           RECESSED WALL	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SDULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Wite and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Sh	data, notices, and other documents and instrument prepared by the Architect as instruments of service shale retain all common law statutory, and other reserve rights, including the copyright thereto. <b>revisions</b> ISSUED FOR PERMIT: 05.06.2022 <b>project title</b> <b>Owner:</b> HACP 200 ROSS STREET PITTSBURGH,PA 15219 <b>Project Location:</b> MANCHESTER SCATTERED SITES 104 W NORTH AVENUE
HER HER ER /E EM HEN SINK JBLE BOWL) HEN SINK GLE BOWL) HEN SINK GLE BOWL) HEN SINK CET TY LAVATORY ESTAL ATORY L HUNG) ATORY L HUNG) ATORY ER CLOSET WER HTUB HTUB HTUB / SHOWER HTUB HER BOX NDRY TRAY	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLKAY         MOEN         MOEN         MOEN         MOEN         GUY GRAY         E.L. MUSTEE &	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           MODEL           MODEL           MODEL           MODEL           MODEL           MODEL           MODEL           MODEL           MODEL           K11245179A           W11245179A           KVENUE           K425           W11245179A           K-2362-4-0           KINGSTON K-2005-0           L64620           KINGSTON K-2005-0           PRISM DL-6030-04           PRINCETON           2391.S.020           T269E3P /           T8342EP15           RECESSED WALL           BOX	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu, ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SDULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower whead	data, notices, and other documents and instrument prepared by the Architect as instruments of service sharetain all common law statutory, and other reserve rights, including the copyright thereto.         revisions         ISSUED FOR PERMIT: 05.06.2022         ISSUED FOR PERMIT: 05.06.2024         project title         Owner:         HACP         200 ROSS STREET         PITSBURGH,PA 15219         MANCHESTER SCATTERED SITES         104 W NORTH AVENUE         PITSBURGH, PENNSYLVANIA         105 WINGH, PENNSYLVANIA
HER HER R K K K K K K K K K K K K K	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLACIER BAY         KOHLER         MOEN         KOHLER         MOEN         MOEN         MOEN         GUY GRAY         E.L. MUSTEE &         SONS, INC.         E.L. MUSTEE &	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           WRT1E8F2DB00           BING SCHE           MODEL           AVENUE           AVENUE           7425           W11245179A           VI1245179A           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0           PRISM DL-6030-04           PRINCETON 2391.S.020           T269E3P / T8342EP15           RECESSED WALL	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SDULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Wite and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Sh	data, notices, and other documents and instruments prepared by the Architect as instruments of service sharetin all common law statutory, and other reserver rights, including the copyright there. <b>revisions</b> ISSUED FOR PERMIT: 05.06.2022 <b>project title Derive:</b> HACP 200 ROSS STREET PITTSBURGH,PA 15219 <b>MANCHESTER SCATTERED SITES</b> 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 <b>Manung title</b>
HER HER ER /E /E /E /E /E /E /E /E /E /E	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLACIER BAY         KOHLER         MOEN         MOEN         MOEN         MOEN         GUY GRAY         E.L. MUSTEE & SONS, INC.	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           MODEL           MODEL           WRT1E8F2DB00           KINGSTON           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0           PRISM DL-6030-04           PRISM DL-6030-04           PRISM DL-6030-04           I269E3P / T8342EP15           RECESSED WALL BOX           UTILITUB 19F	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SDULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead         Cormbination valve	data, notices, and other documents and instrument prepared by the Architect as instruments of service sharetain all common law statutory, and other reserve rights, including the copyright thereto.         revisions         ISSUED FOR PERMIT: 05.06.2022         ISSUED FOR PERMIT: 05.06.2024         project title         Owner:         HACP         200 ROSS STREET         PITSBURGH,PA 15219         MANCHESTER SCATTERED SITES         104 W NORTH AVENUE         PITSBURGH, PENNSYLVANIA         105 WINGH, PENNSYLVANIA
HER HER ER VE TEM CHEN SINK UBLE BOWL) CHEN SINK GLE BOWL) CHEN SINK GLE BOWL) CHEN SINK CET ITY LAVATORY ILTY LAVATORY ITY LAVATORY ITY LAVATORY ITY LAVATORY ITY LAVATORY IESTAL ATORY ATORY CET TER CLOSET DWER HTUB HTUB / SHOWER CETS SHER BOX NDRY TRAY GLE) NDRY TRAY UBLE) NDRY TRAY UBLE) NDRY TRAY CET NDRY TRAY CET	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLACIER BAY         KOHLER         MOEN         KOHLER         DREAMLINE         AMERICAN         STANDARD         MOEN         GUY GRAY         E.L. MUSTEE &         SONS, INC.         E.L. MUSTEE &	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           MODEL           MODEL           WRT1E8F2DB00           MODEL           MODEL           MODEL           AVENUE           AVENUE           K-2362-4-0           KINGSTON K-2005-0           L64620           K-31621-0           PRISM DL-6030-04           PRISM DL-6030-04           BOX           UTILITUB 19F           UTILAWIN 27F	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA <b>EDULE</b> Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead	data, notices, and other documents of service sha remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve rights, including the copyright thereit. ISSUED FOR PERMIT: 05.06.2022 Depoint the Depoint of the Architect sha project title Depoint of the Architect sha project title Depoint the Depoint of the Architect sha project title Depoint of the Architect sha project sha project title Depoint of the Architect sha project
SHER         ER         VE         VE         CHEN SINK         UBLE BOWL)         CHEN SINK         UBLE BOWL)         CHEN SINK         JGLE BOWL)         CHEN SINK         JGLE BOWL)         CHEN SINK         JGLE BOWL)         CHEN SINK         JGET         JITY LAVATORY         JESTAL         /ATORY         /LL HUNG)         /ATORY         JCET         TER CLOSET         DWER         THTUB         THTUB / SHOWER         SHER BOX         JNDRY TRAY         JGLE)         JNDRY TRAY         JUBLE)         JNDRY TRAY         JOET         JINDRY TRAY         JGLE         JNDRY TRAY         JCET         JINDRY TRAY         JINDRY TRAY         JOET         JINDRY TRAY         JUBLE)         JNDRY TRAY         JOET         JINDRY TRAY         JINDRY TRAY         JINDRY TRAY         JIN	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLACIER BAY         KOHLER         MOEN         KOHLER         DREAMLINE         AMERICAN         STANDARD         MOEN         GUY GRAY         E.L. MUSTEE &         SONS, INC.         E.L. MUSTEE &         SONS, INC.         E.L. MUSTEE &	MODEL           WDF330PAHB           WGD4950HW           WI1245179A           WRT1E8F2DB00           MODEL           MODEL           WRT1E8F2DB00           KINGSTON           K-2362-4-0           KINGSTON K-2005-0           KINGSTON K-2005-0           KINGSTON K-2005-0           PRISM DL-6030-04           PRISM DL-6030-04           PRISM DL-6030-04           DRINCETON           2391.S.020           X342EP15           RECESSED WALL           BOX           UTILITUB 19F           UTILAWIN 27F           40812	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SOULE         SOULE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Kitchen, 8" Chateau with covers for unused sink holes.         24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes.         Climarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead         Combination valved fitting or seperate Hot & Cold water valve	data, notices, and other documents and instrument remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve rights, including the copyright thereis. ISSUED FOR PERMIT: 05.06.2022 Deroject title Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 Project Location: MANCHESTER SCATTERED SITES 104 W NORTH A VENUE PITTSBURGH, PENNSYLVANIA 15233 Marwing title KITCHEN ELEVATION 01, KITCHEN ELEVATION 03, FIRST FLOOR KITCHEN ENLARGED
SHER SHER SHER SHER SHER SHER SHER SHER SINK SUBLE BOWL) CHEN SINK SUBLE BOWL) CHEN SINK SUBLE BOWL) CHEN SINK SHER SOWL) CHEN SINK SHER CLOSET OWER THTUB THTUB SHER BOX SHER BOX SHER BOX JNDRY TRAY SUBLE JNDRY TRAY SHER BOX JNDRY TRAY SHER BOX JNDRY TRAY SHER BOX JNDRY TRAY SHER BOX JNDRY TRAY SHER BOX JNDRY TRAY SHER BOX JNDRY TRAY JCET JNDRY TRAY SHER BOX JNDRY TRAY SHER BOX JNDRY TRAY SHER BOXL JNDRY TRAY SHER SINK IGLE BOWL) JNTERTOP SINK IGLE BOWL) JNTERTOP SINK IGLE BOWL)	W           DR           RE/EQ-03           REF/EQ-04           1           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -           -	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURER         WHIRLPOOL         MANUFACTURER         GLKAY         MOEN         MOEN         MOEN         GUY GRAY         E.L. MUSTEE & SONS, INC.         E.L. MUSTEE & SONS, INC.         E.L. MUSTEE & SONS, INC.         ELKAY	MODELWDF330PAHBWGD4950HWWI1245179AWRT1E8F2DB00WRT1E8F2DB00MODELMODELAVENUEAVENUE7425W11245179AK-2362-4-0KINGSTON K-2005-0KINGSTON K-2005-0KINGSTON K-2005-0PRISM DL-6030-04PRISM DL-6030-04PRISM DL-6030-04PRISM DL-6030-04UTILAWIN 27F40812LUSTERTONE	NOTES         24in black front contro built 0in tall tub dishwasher with 1         hr wash cyclel, 55 dBA         7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System         black 30"         black 18", type 18MSTA         SPUELE         Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid         4" Chateau with covers for unused sink holes         Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)         Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base         Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub         Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Shower Faucet with Multi-Head Showerhead         Combination valved fitting or seperate Hot & Cold water valved fittings & drain standpipe      <	data, notices, and other documents of service sharetain all common law statutory, and other reserver rights, including the copyright thereto. <b>revisions</b> ISSUED FOR PERMIT: 05.06.2022 <b>project title</b> <b>Owner:</b> HACP 200 ROSS STREET PITTSBURGH,PA 15219 <b>MANCHESTER SCATTERED SITES</b> 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 <b>drawing title</b> <b>KITCHEN ELEVATION 01,</b> KITCHEN ELEVATION 02, KITCHEN ELEVATION 03, FIRST
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SHER         'ER         'VE         VE         VE         CHEN SINK         DUBLE BOWL)         CHEN SINK         OUBLE BOWL)         CHEN SINK         JGLE BOWL)         CHEN SINK         JGLE BOWL)         CHEN SINK         JGLE BOWL)         CHEN SINK         JCET         VITY LAVATORY         DESTAL         /ATORY         ALL HUNG)         /ATORY         JCET         TER CLOSET         DWER         THTUB         THTUB / SHOWER         JNDRY TRAY         JUDRY TRAY         JUDRY TRAY         JUDRY TRAY         JUDRY TRAY         JUDRY TRAY         JUDRY TRAY         JUBLE)         JNDRY TRAY         JUBLE)         JNDRY TRAY         JUBLE)         JNDRY TRAY         JUBLE         JUDRY TRAY         JUBLE         JUDRY TRAY         JUBLE         JUDRY TRAY         JUBLE         J	W           DR           RE/EQ-03           REF/EQ-04           Image: Contract of the second of th	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MANUFACTURERWHIRLPOOLWHIRLPOOLWHIRLPOOLWHIRLPOOLWHIRLPOOLWHIRLPOOLWHIRLPOOLBLUMMANUFACTURERELKAYELKAYGLACIER BAYKOHLERKOHLERMOENKOHLERDREAMLINEAMERICAN STANDARDGUY GRAYE.L. MUSTEE & SONS, INC.E.L. MUSTEE & SONS, INC.MOENKOHLERKOHLERKOHKOHLERKOHLER	MODELWDF330PAHBWGD4950HWWI1245179AWRT1E8F2DB00MODELMODELMODELAVENUE7425W11245179AK-2362-4-0KINGSTON K-2005-0KINGSTON K-2005-0KINGSTON K-2005-0KINGSTON K-2005-0PRISM DL-6030-04PRISM DL-6030-04PRISM DL-6030-04PRISM DL-6030-04BOXUTILITUB 19FUTILAWIN 27F40812LUSTERTONEKOB12KPF-2252CH	NOTES           24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA           7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System           black 30"           black 18", type 18MSTA           Solution of the system           black 30"           black 18", type 18MSTA           SOLUEE           Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid           Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid           Kitchen Sink with Bottom Grid           Kitchen Sink with Bottom Grid           Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid           Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid           Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid           Origo colspane"2"           Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid           Origo colspane"2"           Princeton 30"W & 60" L           Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid           P	data, notices, and other decuments and instrument remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 DESUED FOR PERMIT: 05.06.2022 MACP 200 ROSS STREET PITTSBURGH,PA 15219 DESUED FOR PERMITS DISCUED STREET PITTSBURGH,PA 15219 MANCHESTER SCATTERED SITES 104 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 Marwing title KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03, FIRST FLOOR KITCHEN ENLARGED



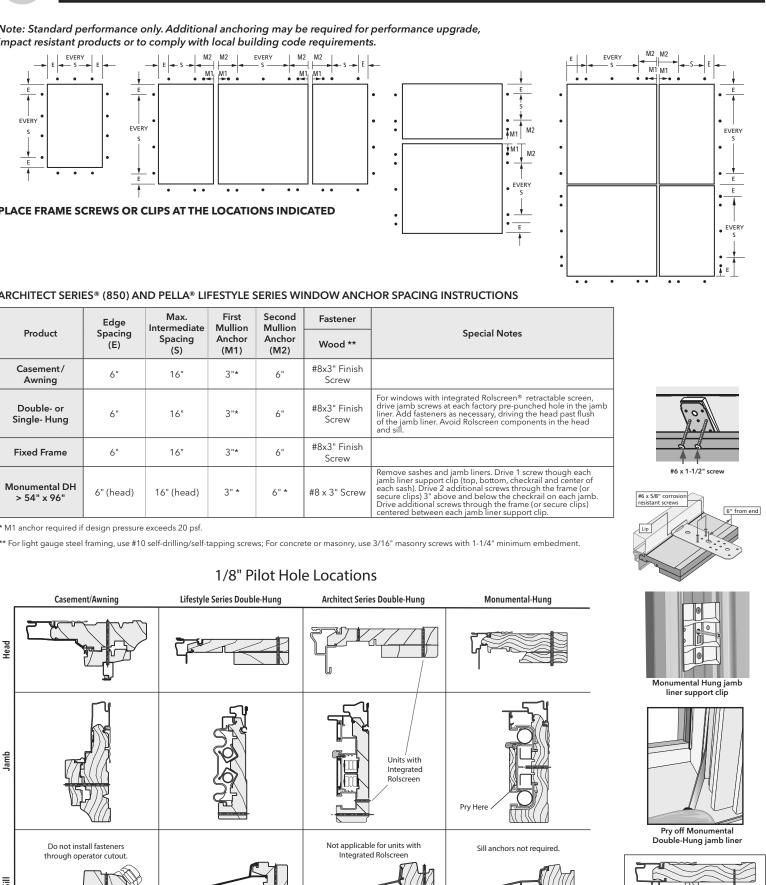


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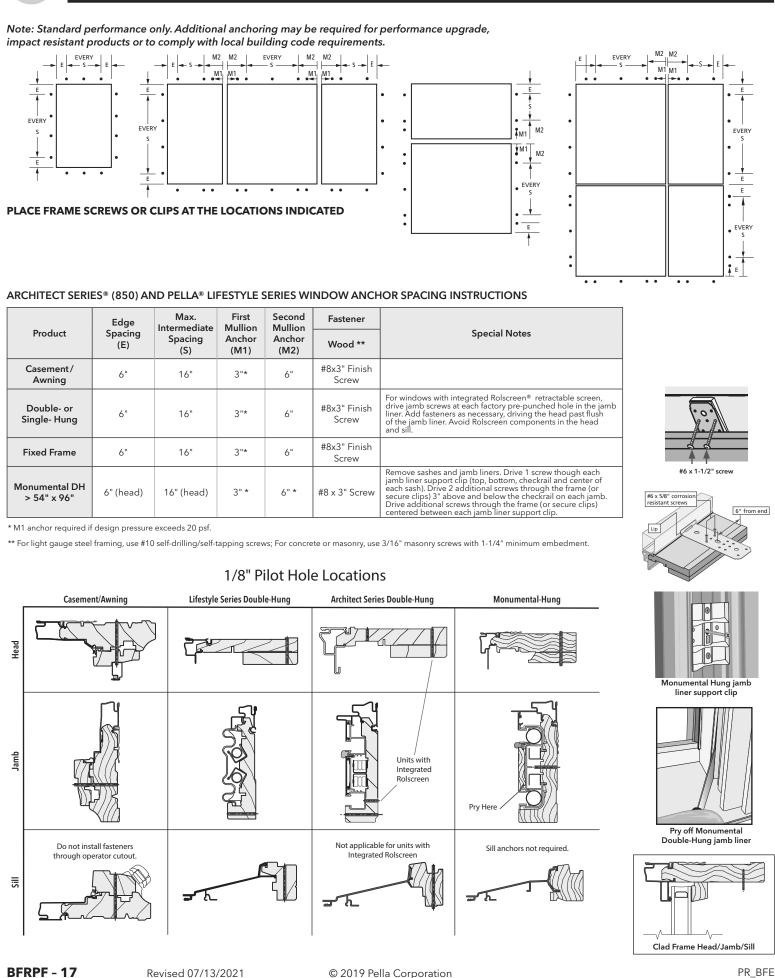
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	Edge	Max. Intermediate	First Mullion	Second Mullion	Fastener	
Product	Spacing (E)	Spacing (S)	Anchor (M1)	Anchor (M2)	Wood **	
Casement/ Awning	6"	16"	3"*	6"	#8x3" Finish Screw	
Double- or Single- Hung	6"	16"	3"*	6"	#8x3" Finish Screw	For windows with int drive jamb screws at liner. Add fasteners a of the jamb liner. Ave and sill.
Fixed Frame	6"	16"	3"*	6"	#8x3" Finish Screw	
Monumental DH > 54" x 96"	6" (head)	16" (head)	3" *	6" *	#8 x 3" Screw	Remove sashes and jamb liner support c each sash). Drive 2 a secure clips) 3" abov Drive additional scre centered between e



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INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

Revised 07/13/2021

## Interior Sealant Instructions

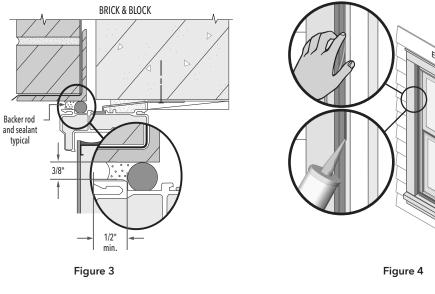
- CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams. A. Insert the nozzle or straw between the rough opening and window frame. This can be
- done from the interior or exterior. B. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.
- NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening. C. To ensure a continuous interior seal, apply sealant over the interior surface of any shims
- or clips that interrupt the foam seal. Backer rod (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.

### For windows set against drywall return or wood interior stops:

- D. Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam. Note: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant
- E. **Re-check window operation** and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

## **Exterior Sealant Instructions**

- CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.
- A. If the space between the new window frame and the opening is greater than 1/4", go to step (B) If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
- B. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- C. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant. NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the exterior sealant. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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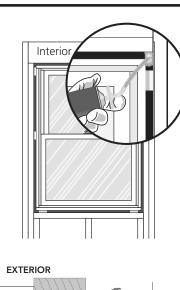
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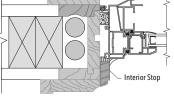
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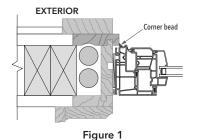
Revised 07/13/2021

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Add sealant if  $\leq 1/4^{"}$  | If > 1/4" first install

FXTERIOR

backer rod and the

sealant as shown



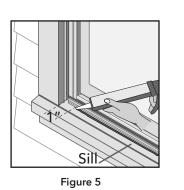
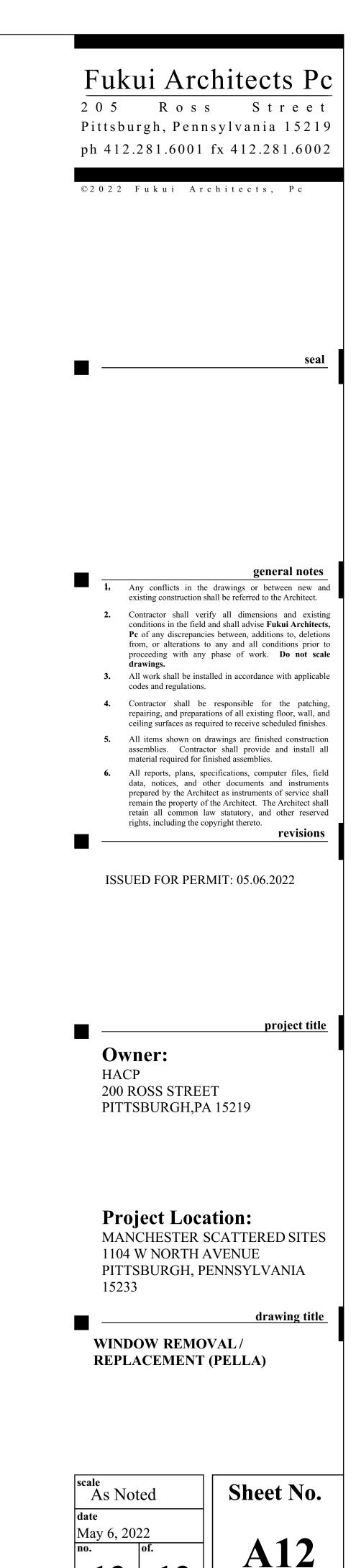


Figure 2

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Project #2006

## PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

## Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

**Development Characteristics** Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

## As the **DESIGN ARCHITECT**, I certify that:

**Development Amenities** 

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments. with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preservat An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis. 

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculitzetz Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. ( schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

## As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

## 2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC IRC Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units ADA H/V SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	<ul> <li>The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.</li> <li>Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.</li> <li><u>New Construction</u>:         <ul> <li>For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)</li> </ul> </li> </ul>	X       The Fair Housing Act of 1988 & Fair Housing Desig         X       ANSI A117.1-2009 (or edition currently adopted by         X       Pennsylvania Uniform Construction Code         X       Uniform Federal Accessibility Standards (UFAS)         X       Section 504 of the Rehabilitation Act of 1973         X       2010 ADA Standards for Accessible Design         X       Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.)         NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	<ul> <li>For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)</li> <li><u>Preservation (Moderate Rehab)</u> *:</li> <li>For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.</li> </ul>	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	<ul> <li>NOTE:</li> <li>Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.</li> <li>All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.</li> </ul>	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA   210	Tab_08_02 Certification of Selection Criteria

limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to _____ accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- __X___ When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)         Large Family Units         As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:	205 Ross Stree Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
*High rise developments and senior housing cannot qualify for this category.          71       Total units       >15 - 20% of all units         43       Total number of affordable 3 or more-bedroom units       >20 - 25% of all units	©2022 Fukui Architects, Pc
TAB_08_02 Certification of Selection Criteria 212	
ASYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)  DESIGN ARCHITECT, I certify that for preservation developments:           x       operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)         Enterprise Green Communities Criteria for Preservation Developments         Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria, as amended:         1       Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements)         2       Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)         3       Ecosystem Services/Landscaping (applicable only to new landscaping)         1       Water-Conserving Fixtures (Applicable only to new fixtures)         6       Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)	<ol> <li>Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existic conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior proceeding with any phase of work. Do not see drawings.</li> <li>All work shall be installed in accordance with application codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finisher</li> </ol>
<ul> <li><b>PESIGN ARCHITECT</b>, I certify that for preservation developments:</li> <li>x The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)</li> <li><b>Enterprise Green Communities Criteria for Preservation Developments</b></li> <li><b>Environmental Remediation (Follow Enterprise and PHFA Tab 17 &amp; 34 requirements</b>)</li> <li><b>Minimization of Disturbance during staging and construction.</b> (Applicable only to new landscaping)</li> <li><b>Water-Conserving Fixtures (Applicable only to new fixtures</b>)</li> <li><b>Sizing of Heating and Cooling Equipment (Applicable only to new landscaping)</b></li></ul>	<ul> <li>existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existic conditions in the field and shall advise Fukui Architece Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sea drawings.</li> <li>All work shall be installed in accordance with applicate codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finished</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install and stall accordance with applicate codes.</li> </ul>
<ul> <li>DESIGN ARCHITECT, I certify that for preservation developments:</li> <li>x The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)</li> <li>Enterprise Green Communities Criteria for Preservation Developments</li> <li>reservation developments are not required to follow the mandatory 2020 Enterprise Green communities criteria, as amended:</li> <li>1 Environmental Remediation (Follow Enterprise and PHFA Tab 17 &amp; 34 requirements)</li> <li>2 Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)</li> <li>3 Ecosystem Services/Landscaping (applicable only to new landscaping)</li> <li>1 Water-Conserving Fixtures (Applicable only to new fixtures)</li> <li>Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)</li> <li>7 Energy Star Appliances (Applicable only to new appliances)</li> <li>Lighting (Applicable only to new lighting fixtures)</li> <li>Managing Moisture: Foundations (Applicable to new addition foundations)</li> <li>Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)</li> <li>3 Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only)</li> <li>Integrated Pest Management (Applicable only if identified as a problem in the PCNA)</li> <li>8 Building Operations &amp; Maintenance Manual and Plan (Follow Enterprise requirements)</li> <li>2 Emergency Management Manual (Follow Enterprise requirements)</li> </ul>	<ol> <li>Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and exist conditions in the field and shall advise Fukui Architec Pc of any discrepancies between, additions to, deleted from, or alterations to any and all conditions prior proceeding with any phase of work. Do not see drawings.</li> <li>All work shall be installed in accordance with applical codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finished.</li> <li>All items shown on drawings are finished constructin assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, file data, notices, and other documents and instrumen prepared by the Architect as instruments of service sh retain all common law statutory, and other reserving thes, including the copyright thereto.</li> </ol>

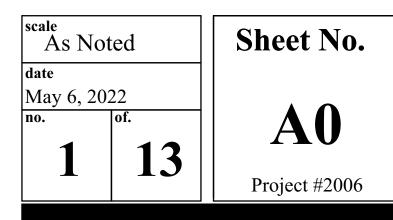
## **Project Location:**

MANCHESTER SCATTERED SITES 1106 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

**SELECTION CRITERIA**, THRESHOLD CRITERIA, **TABULAR SCHEDULE** 

TABULAR AREA UNIT SCHEDULE							
UNIT #	GROSS AREA (SF)	NET AREA (SF)					
SFR	2,657	2,250					



# MANCHESTER SCATTERED SITES

## HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1106 W NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 **3 BEDROOM UNIT**

**Drawing Index** 

**A0 PHFA DOCUMENTS** 

SELECTION CRITERIA

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A6 FLOOR/FIN	NISH/MECH./PLUMB. PLANS
	BASEMENT/FINISH/MECH./PLUMB. PLAN
	FLOOR PLAN LEGEND
	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
A7 FLOOR/FIN	GRAPHIC SCALES NISH/MECH./PLUMB. PLANS
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
	FLOOR PLAN LEGEND
	GRAPHIC SCALES
A8 REFLECTE	CD CEILING / POWER / DATA PLANS
	SMALL UNIT KEYNOTES RCP LEGEND
	LIGHTING SCHEDULE
	THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
	SECOND FLOOR REFL. CLG./ POWER / DATA PLAN
	BASEMENT REFL. CLG./ POWER / DATA PLAN
	GRAPHIC SCALES
	FIRST FLOOR REFL. CLG./ POWER / DATAPLAN
AY NUKTH / SC	OUTH ELEVATION NORTH ELEVATION
	SOUTH ELEVATION
	GRAPHIC SCALES
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
A10 KITCHEN	ENLARGED PLANS AND ELEVATIONS
	FIRST FLOOR KITCHEN ENLARGED PLAN
	KITCHEN ELEVATION 02
	KITCHEN ELEVATION 03
	KITCHEN ELEVATIONOI
A11 DETAILS	KITCHEN ELEVATION 01
A11 DETAILS	KITCHEN ELEVATION 01 WOOD FENCE DETAIL
A11 DETAILS	
A11 DETAILS	WOOD FENCE DETAIL
A11 DETAILS	WOOD FENCE DETAIL DECK SECTION DETAIL

## **Code Conformance Information**

Applicable Codes	
General:	2015 Int
	2015 In
Accessibility:	2009 IC
Energy:	2015 Int
Electrical:	2014 NE
Fire:	2015 Int
Fuel Gas:	2015 Int
Mechanical:	2015 Int
Plumbing:	2017 All
Fire Alarm:	2013 NF
Sprinkler:	2013 NF
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R-2"
Stories:	3 story v
Gross Area:	2,242 sq
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

## **Contact Schedule**

forward questions as appropriate to the consulting engineers. **Building Owner:** 

ousing Authority	I
the City of Pittsburgh	2
: 412.715.7501	I
ackenzie.pleskovic@hacp.org	I
ntact: Mackenzie Pleskovic	f
	I

ma

## **General Description of Work**

- Notes on Sheet A-3.
- Architectural Scope Notes.

## **General Note Related to Quantities** Shown in Documentation

- offs.

nternational Building Code International Building Code CC/ANSI A117.1 nternational Energy Conservation Code JEC (NFPA 70) nternational Fire Code nternational Fuel Gas Code nternational Mechanical Code Allegheny County Health department Plumbing Code JFPA 72 VFPA 13

alteration per the IEBC with basement

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will

Architect:

Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320

Pittsburgh, PA 15205

ph: 412.255.2175

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

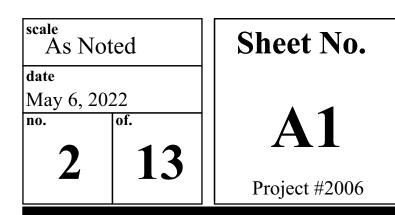
Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-



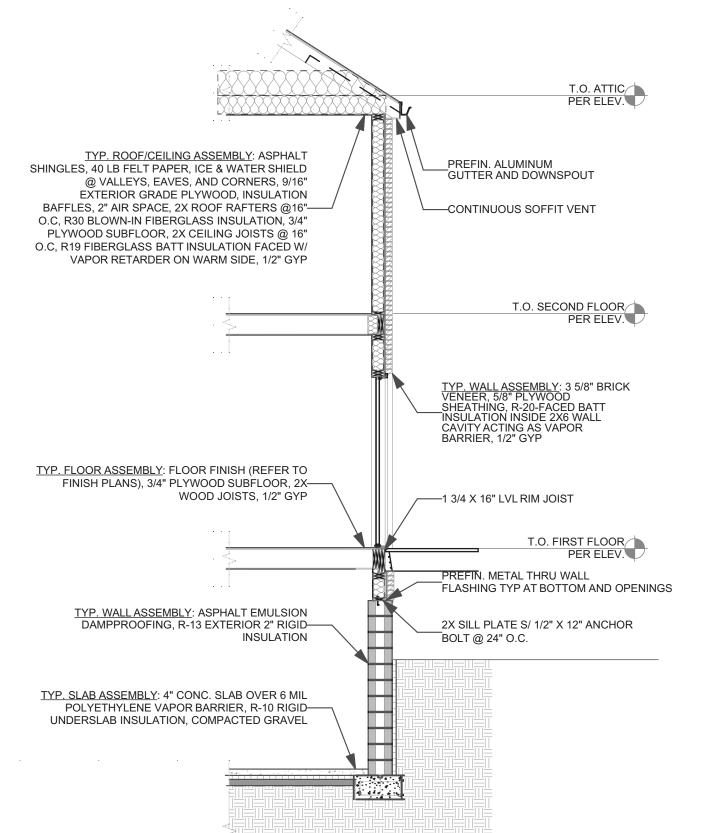


seal general notes Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings. 3. All work shall be installed in accordance with applicable codes and regulations. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions ISSUED FOR PERMIT: 05.06.2022 project title **Owner:** 200 ROSS STREET PITTSBURGH,PA 15219 **Project Location:** MANCHESTER SCATTERED SITES 1106 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA

drawing title **MANCHESTER SCATTERED SITES** MAP, ARCH PRLIM SET, CODE AND CONTACT INFO



<u>Materials</u>	Legend	Abbre	viations				1				
NOT ALL MATERIA		A.F.F.	Above Finish Floor	ELEV.	Elevation			ISC.	Miscellaneous		
	EARTH	A.P. ACOUST. A.C.T.	Access Panel Acoustical Acoustical Ceiling Tile	EQUIP. E.F. EXIST.	Equipment Exhaust Fan Existing			I.C. T.S.	Not In Contract Not To Scale		
	COMPACTED STONE FILL	ADH. ADJUST.	Adhesive Adjustable	EXP. E.J.	Expansion Expansion Joint		0. 01 0.	PP.	On Center Opposite Overhead		
	CONCRETE	A/C ALT. ALTN.	Air Conditioning Alteration Alternate	ESH EXIST. EXP.	Exterior Sheathing Existing Exposed	g	PF		Pair Plaster		
	STEEL	ALUM. A.O.R. APPROX.	Aluminum Area of Refuge Approximate	EXT. E.I.F.S.	Exterior Exterior Insulatior	n & Finish Syste	em PL P.	.AS.LAM. C.	Plastic Laminate Plumbing Contr		
		ARCH. ASB.	Architectural Asbestos	F.R.P. F.F. FIN.FLR.	Fiberglass Reinfor Finish Floor Finish Floor	rced Polyester	PC	.YWD. DLY. V.C.	Plywood Polyethylene Polyvinyl Chlori	de	
	RIGID INSULATION	ASPH. AUTO. AVG.	Asphalt Automatic Average	F.A.C.P. F.E.	Fire Alarm Contro Fire Extinguisher	ol Panel	PF RE	RE-FAB.	Prefabricated Refer To		
	BLOCKING	BLK. BD.	Block Board	FLR. F.D. FTG.	Floor Floor Drain Footing		RE R.	F. C.P.	Refrigerator Reinforced Con	crete Pipe	
	BATT INSULATION	BOT BLDG	Bottom Building	GA. G.C.	Gauge General Contracto	or	RE		Reinforcement Roof Drain Room		
	GYPSUM WALL BOARD	C.I.P. C.B. CEM.	Cast In Place Catch Basin	G.F.I. GYP.	Ground Fault Inte Gypsum	errupter	SC	A.T. Ched.	Suspended Aco Schedule	oustical Tile	
	WOOD	CER. CG	Cement Ceramic Corner Guard	G.W.B. GSH	Gypsum Wall Boa Gypsum Sheathin		SH SII S.0	M.	Sheet Similar Solid Core		
	PLYWOOD SHEATHING	C.M.T. C.W.T. C.O.	Ceramic Mosaic Tile Ceramic Wall Tile Cleanout	H/C H.V.A.C. HT	Handicap Heating, Ventilati Height	on &	SF SC	PECS. Q.	Specifications Square		
		۶ CLO.	Center Line Closet	HC H.M. HORIZ.	Hollow Core Hollow Metal Horizontal		S.I S.S ST	5.	Square Foot Stainless Steel Steel		
	SPRAY FOAM INSULATION	C.W. CLG. CLR.	Cold Water Ceiling Clearance	HORIZ. HR. H.W.	Horizontal Hour Hot Water		ST ST	OR. RUCT.	Storage Structural		
		COL. CONC.	Column Concrete	IN. I.M.	Inch Insulated Metal		TE TH		Telephone Thick To Be Determin	and	
		C.M.U. CONT. CORR.	Concrete Masonry Unit Continuous Corridor	INSUL. INT.	Insulation or Ins Interior	ulated	Т8 Т.(	kG D.	Tongue & Groo Top Of		
		C.M.P. CRS.	Corrigated Metal Pipe Courses	INV. ISO.	Invert Isolation		T.( T.( TY	D.S.	Top Of Grade Top Of Steel Typical		
		DIA. DET DGL	Diameter Detail Dens Glass Gold	JAN. J.T.	Janitor's Closet Joint			NFIN. N.O.	Unfinished Unless Noted C	Otherwise	
		DR. DN.	Door Down	LAM. LAV. LG.	Laminate Lavatory Long			RT.	Vapor Barrier Vertical		
		D.S. DWG. D.F.	Downspout Drawing Drinking Fountain	M.D.F.	Medium Density			EST. C.T. I.F.	Vestibule Vinyl Compositi Verify In Field	ion Tile	
		D.I.P. EA.	Ductile Iron Pipe Each	M.D.H. M.H. MFGR.	Magnetic Door I Manhole Manufacturer	Holder	W	.H. .R.B.	Water Heater Water Resistant		
		E.W. ELEC.	Each Way Electrical	MAX. MECH.	Maximum Mechanical Metal				Welded Wire Fa Window With	abric	
		E.C. EL.	Electrical Contractor Elevation	MET. MIN.	Minimum		W W	/0	Without Wood		
		Symbol	ls								
		ELEVATION HE	EIGHT			IN	ITERIOR ELEV	ATION MA	ARKER		
		ELEVATION HE	EIGHT SH FLOOR -0"	(1) Title	1/8" = 1' - 0"		ITERIOR ELEV	ATION MA	ARKER		
			EIGHT SH FLOOR -0" PLAN NORTH	(1) Title				ATION MA	ARKER		
		ELEVATION HE	EIGHT SH FLOOR -0" NA PLAN	1 Title scale:				ATION MA	NRKER		
		ELEVATION HE T.O. FINIS ELEV: 0'- NORTH ARROY	EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:				ATION MA	ARKER		
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1 ABBRE	EVIATIONS AND MA	ELEVATION HE T.O. FINIS ELEV: 0'- NORTH ARROV	EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:				ATION MA	WINDOW SCH	EDULE	
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1 ABBRE	<u>, 11" MIN.</u>	ELEVATION HE T.O. FINIS ELEV: 0'- NORTH ARROV	EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0"	4<	1 (A-000) 2 3		HEIGHT FRAME MA		G TEMPERED
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1 ABBRE	11" MIN. 1 1/2 RAD		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0"	4<	1 A-000 2 3 IZE HEIGHT 7'-0"	HEAD I 7' 2' 6'	HEIGHT FRAME MA	TERIAL VENTIN	
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1 ABBRE	11" MIN. 1 1/2 RAD 1/2" N		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0" ID A B C D F	4< S WIDTH 3'-3" 2'-9" 2'-4" 2'-0" 2'-9" 2'-4" 3'-0"	1 A-000 2 3 1 2 1 1 2 3 2 3 2 1 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 3 2 3 3 2 3 3 2 3 3 2 3 3 2 3 3 2 3 3 2 3 3 3 2 3 3 3 3 3 3 3 3 3 3 3 3 3	HEAD I 7' 2' 6' 6' 6' 8'	WINDOW SCH       HEIGHT     FRAME MA       -2"     FIBERGL       -5"     VINYL CLAE       -9"     VINYL CLAE       -8"     VINYL CLAE       -8"     VINYL CLAE       -1"     VINYL CLAE	TERIAL VENTIN	
1 NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN	3/4" 2X10		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0" ID A B C D F G	4< S WIDTH 3'-3" 2'-9" 2'-4" 2'-9" 2'-4"	1 A-000 2 3 IZE HEIGHT 7'-0" 5'-0" 3'-2" 3'-3" 4'-6" 4'-1"	HEAD I 7'- 2'- 6'- 6'- 6'- 6'- 6'- 8'- 8'- 7'-	WINDOW SCHI       HEIGHT     FRAME MA       -2"     FIBERGI       -5"     VINYL CLAE       -9"     VINYL CLAE       -8"     VINYL CLAE	TERIAL VENTIN	
1 NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN	3/4" 2X10 NGS TYP.		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0"	4< S WIDTH 3'-3" 2'-9" 2'-4" 2'-0" 2'-9" 2'-4" 2'-0" 2'-9" 2'-4" 3'-0" 5'-6" 3'-0" 4'-10"	IZE HEIGHT 7'-0" 5'-0" 3'-2" 3'-3" 4'-6" 4'-1" 1'-9" 3'-10" 2'-0" 4'-1"	HEAD I 7'' 2' 6' 6' 6' 6' 8' 7' 8'-1 6'	Image: Window schie         HEIGHT       FRAME MA         -2"       FIBERGL         -5"       VINYL CLAE         -9"       VINYL CLAE         -8"       VINYL CLAE         -8"       VINYL CLAE         -1"       VINYL CLAE         -1"       VINYL CLAE	TERIAL     VENTIN       ASS     Image: Constraint of the second	
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1 NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN T 2X12 NOTCHED STRING	3/4" 2X10 NGS TYP. GER GYP AAX. MIN.		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0" ID A B C D F G H I J K ALL WINDOW OPENINGS ALL WINDOW	4< S WIDTH 3'-3" 2'-9" 2'-4" 2'-0" 2'-9" 2'-4" 3'-0" 5'-6" 3'-0" 4'-10" S AND WINDO S ARE EXISTII	1           A-000           2           3	HEAD H 7' 2' 6' 6' 6' 6' 6' 8' 1 6' 8' 1 6' 8'-1 6' 8'-1 6' 8'-1 6' 8'-1 6' 8'-1 6' 8'-1	WINDOW SCHI         HEIGHT       FRAME MA         -2"       FIBERGI         -5"       VINYL CLAE         -9"       VINYL CLAE         -8"       VINYL CLAE         -8"       VINYL CLAE         -1"       VINYL CLAE         -1"       VINYL CLAE         -1"       VINYL CLAE         -9"       VINYL CLAE         -11"       VINYL CLAE<	TERIAL     VENTIN       ASS     Image: Constraint of the second	
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NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN T 2X12 NOTCHED STRING 5/8" TYPE "C" ( NOSING RADIUS 1/2" M UNDERSIDE 60" P FROM HORIZ. (UFAS ON NEW VINYL RISER CO OVER EXISTING WC RISER T VINYL TREAD OV EXISTING 1" WC	3/4"       3/4"       1/2" M       1/2" M       1/2" M       00		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0"	4< S WIDTH 3'-3" 2'-9" 2'-4" 2'-4" 2'-0" 2'-9" 2'-4" 3'-0" 5'-6" 3'-0" 4'-10" S ARE EXISTII Y EXISTING S TAG 3	IZE HEIGHT 7'-0" 5'-0" 3'-2" 3'-2" 3'-3" 4'-6" 4'-1" 1'-9" 3'-10" 2'-0" 4'-1" W OPENINGS NG AND TO B IZING BEFOR	HEAD I 7' 2' 6' 6' 6' 6' 6' 8'-1 6' 8'-1 6' 8'-1 6' 8'-1 6' 5 ARE EXIS E REPLAC E PURCH/	WINDOW SCH         HEIGHT       FRAME MA         -2"       FIBERGL         -5"       VINYL CLAE         -9"       VINYL CLAE         -9"       VINYL CLAE         -8"       VINYL CLAE         -8"       VINYL CLAE         -1"       VINYL CLAE         -9"       VINYL CLAE         -1"       VINYL CLAE         -10       VINYL CLAE         -10       VINYL CLAE         -10       VINYL CLAE         -10       VINYL CLAE <tr< td=""><td>TERIAL VENTIN</td><td>HARDWARE</td></tr<>	TERIAL VENTIN	HARDWARE
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NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN T 2X12 NOTCHED STRING 5/8" TYPE "C" ( NOSING RADIUS 1/2" M UNDERSIDE 60" P FROM HORIZ. (UFAS ON NEW VINYL RISER CO OVER EXISTING WC RISER T VINYL TREAD OV EXISTING 1" WC	3/4" 2X10 NGS TYP. GER GYP MAX. NLY) VER DOD TYP. VER DOD TYP.		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0"	4< WIDTH 3'-3" 2'-9" 2'-4" 2'-4" 2'-4" 2'-0" 2'-9" 2'-4" 3'-0" 5'-6" 3'-0" 4'-10" 'S AND WINDO 'S ARE EXISTII Y EXISTING S TAG 3 3 3 2 2 2 2 2 3 3 3 3 3 3 3 3 3 3 3 3 3	1         A-000)       2         3       2         IZE       HEIGHT         7'-0"       5'-0"         3'-2"       3'-3"         4'-6"       4'-1"         1'-9"       3'-10"         2'-0"       4'-1"         1'-9"       3'-10"         2'-0"       4'-1"         1'-9"       3'-10"         2'-0"       4'-1"         NG AND TO B       BEFOR         SIZE       '-0"×7'-0"         '-0"×7'-0"       '-0"×7'-0"	HEAD I 7'. 2'. 6'. 6'. 6'. 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 1 1 1 1 1 1 1 1 1 1 1 1 1	WINDOW SCHI         HEIGHT       FRAME MA         -2"       FIBERGL         -5"       VINYL CLAE         -9"       VINYL CLAE         -9"       VINYL CLAE         -8"       VINYL CLAE         -8"       VINYL CLAE         -1"       VINYL CLAE         -1"       VINYL CLAE         -1"       VINYL CLAE         -9"       VINYL CLAE         -1"       VINYL CLAE         -9"       VINYL CLAE         STING. IT IS NOT INTE         SE OF WINDOWS.         DOOR SCHEDU         DOOR MTL.         FIBERGLASS         FIBERGLASS         FIBERGLASS         WOOD         WOOD	TERIAL VENTIN   ASS Image: Constraint of the second s	Image: state of the
1 NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN T 2X12 NOTCHED STRING 5/8" TYPE "C" ( NOSING RADIUS 1/2" M UNDERSIDE 60" I FROM HORIZ. (UFAS ON NEW VINYL RISER CO OVER EXISTING WO RISER T VINYL TREAD OI EXISTING 1" WO TREAD T	3/4" 2X10 NGS TYP. GER GYP MAX. NLY) VER DOD TYP. VER DOD TYP.		EIGHT SH FLOOR -0" PLAN NORTH	1 Title scale:	1/8" = 1' - 0"	4< S WIDTH 3'-3" 2'-9" 2'-4" 2'-4" 2'-0" 2'-9" 2'-4" 3'-0" 5'-6" 3'-0" 4'-10" S AND WINDO S ARE EXISTING S ARE EXISTING S TAG 3 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2	1         A-000         2         3         IZE         HEIGHT         7'-0"         5'-0"         3'-2"         3'-3"         4'-6"         4'-1"         1'-9"         3'-10"         2'-0"         4'-1"         1'-9"         3'-10"         2'-0"         4'-1"         VOPENINGS         NG AND TO B         IZING BEFOR         SIZE         '-0"×7'-0"         '-0"×7'-0"         '-6"×6'-8"	HEAD I 7'. 2'. 6'. 6'. 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 8'. 1 1 1 1 1 1 1	Image: Second state sta	TERIAL VENTIN   ASS Image: state interval inte	HARDWARE (REFER TO SPECS) ENTRY PASSAGE
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NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN 2X12 NOTCHED STRING 5/8" TYPE "C" ( NOSING RADIUS 1/2" M UNDERSIDE 60" ! FROM HORIZ. (UFAS ON NEW VINYL RISER CO OVER EXISTING WO RISER T VINYL TREAD O' EXISTING 1" WO TREAD T 3/4" TO 1 1/4" NOSI	3/4" 2X10 NGS TYP. GER GYP MAX. NLY) VER DOD TYP. VER DOD TYP.	ELEVATION HE T.O. FINIS ELEV: 0'- NORTH ARROV TERIALS	EIGHT SH FLOOR -0" W PLAN NORTH 	1 <u>Title</u> SCALE: NOTE LEADER NOTE	1/8" = 1' - 0"	4< WIDTH 3'-3" 2'-9" 2'-4" 2'-4" 2'-0" 2'-4" 3'-0" 2'-4" 3'-0" 4'-10" S AND WINDO S ARE EXISTIN S A A A A A A A A A A A A A A A A A A A	1         A-000         2         3         IZE         HEIGHT         7'-0"         5'-0"         3'-2"         3'-2"         3'-3"         4'-6"         4'-1"         1'-9"         3'-10"         2'-0"         4'-1"         1'-9"         3'-10"         2'-0"         4'-1"         WOPENINGS         NG AND TO B         IZING BEFOR         SIZE         '-0"×7'-0"         '-0"×7'-0"         '-0"×6'-8"         '-0"×6'-8"	HEAD I 7'. 2'. 6'. 6'. 6'. 6'. 6'. 8'.1 6'. 8'.1 6'. 8'.1 6'. 5 ARE EXIS E REPLAC E PURCH/ DOOR TYPE I II III III III III	WINDOW SCHI         HEIGHT       FRAME MA         -2"       FIBERGI         -5"       VINYL CLAD         -9"       VINYL CLAD         -9"       VINYL CLAD         -8"       VINYL CLAD         -8"       VINYL CLAD         -1"       VINYL CLAD         STING. IT IS NOT INTE         SED PER NOTES ON F         ASE OF WINDOWS.         DOOR MTL.         FIBERGLASS         FIBERGLASS         FIBERGLASS         FIBERGLASS         WOOD         WOOD         WOOD	TERIAL VENTIN   ASS Image: Constraint of the second s	Image: Constraint of the second se
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NEW LVT FLOORING ON OSB FASTENED TO 2 JOISTS AT ALL LANDIN 2X12 NOTCHED STRING 5/8" TYPE "C" ( NOSING RADIUS 1/2" M UNDERSIDE 60" M FROM HORIZ. (UFAS ON NEW VINYL RISER CO OVER EXISTING WC RISER T VINYL TREAD ON EXISTING 1" WC TREAD T 3/4" TO 11/4" NOSII THIS ST REFERE ONLY.M	3/4" 2X10 NGS TYP. GER GYP MAX. NILY) VER POD TYP. VER POD TYP. VER POD TYP. VER POD TYP. VER TYP. SECTION IS TAIR SECTION IS			Title SCALE: NOTE LEADER NOTE	1/8" = 1' - 0"	4< WIDTH 3'-3" 2'-9" 2'-4" 2'-9" 2'-4" 2'-9" 2'-4" 3'-0" 4'-10" S AND WINDO S ARE EXISTIN S ARE EXIS	1         A-000         2         3         IZE         HEIGHT         7'-0"         5'-0"         3'-2"         3'-3"         4'-6"         4'-1"         1'-9"         3'-10"         2'-0"         4'-1"         VOPENINGS         NG AND TO B         IZING BEFOR         '-0"×7'-0"         '-0"×7'-0"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"         '-0"×6'-8"	HEAD I 7'- 2'- 6'- 6'- 6'- 6'- 6'- 6'- 6'- 8'- 1 6'- 5 ARE EXIS E REPLAC E REPLAC E REPLAC E REPLAC E REPLAC I 1 11 111 111 111 111 111 111 111 111	Image: Sector of the sector	TERIAL       VENTIN         ASS       Image: Constraint of the second seco	Image: state of the second



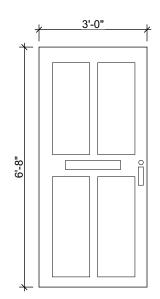
THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

BRICK WALL SECTION (2)

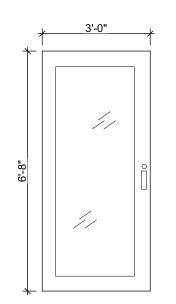
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SIDING WALL SECTION 3

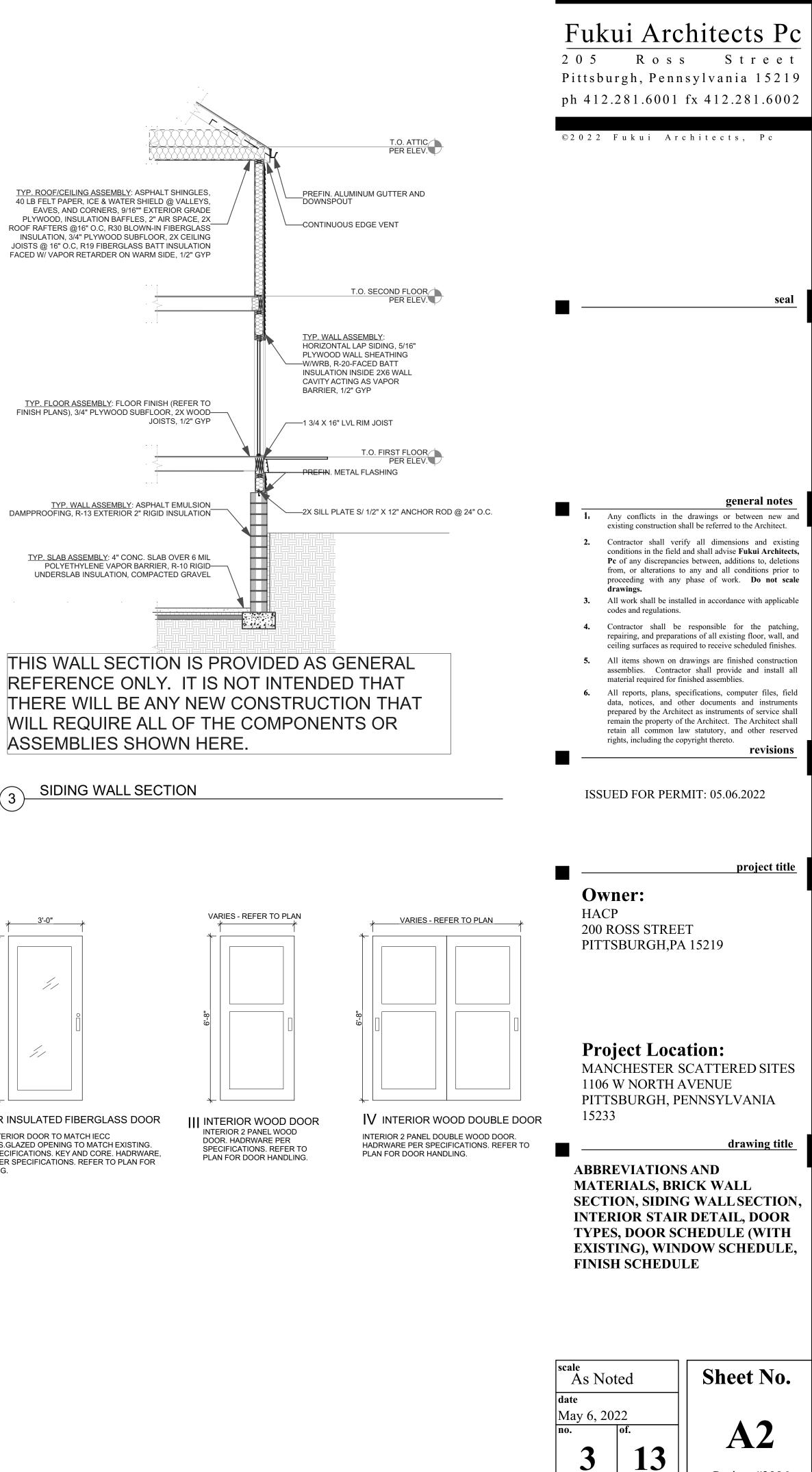
FINISH SCHEDULE				
NAME	FLOOR			
BEDROOM	09   LVT			
BTHRM	09   LVT			
CLO	09   LVT			
DINING ROOM	09   LVT			
ENTRY	09   LVT			
HALLWAY	09   LVT			
KITCHEN	09   LVT			
LIN. CLO	09   LVT			
LIVING ROOM	09   LVT			
PNTRY	09   LVT			
PWDR	09   LVT			



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



**||** EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS.GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HADRWARE AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



## **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

### MECHANICAL SCOPE NOTES

### THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

### ELECTRICAL SCOPE NOTES

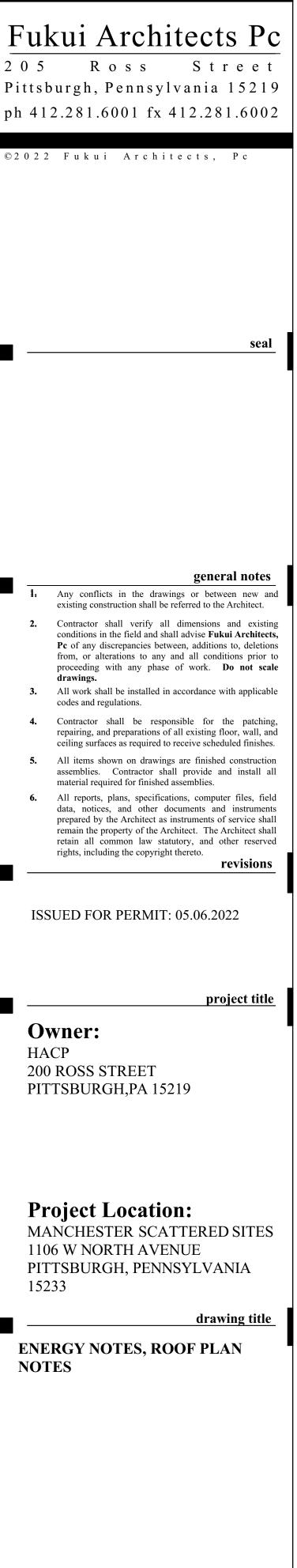
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

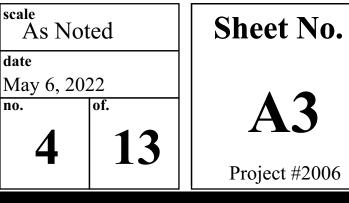
- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

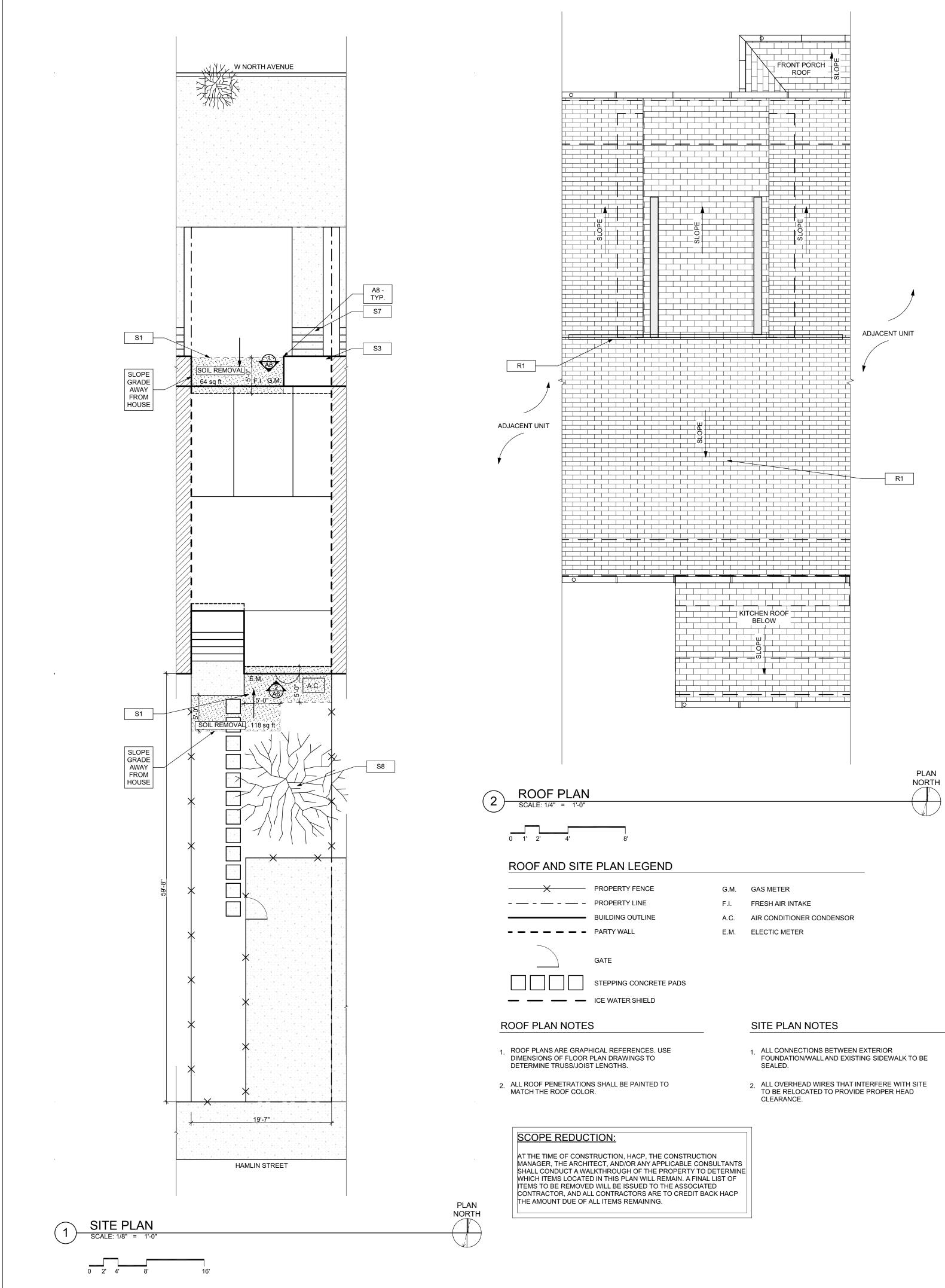
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

## **GREEN COMMUNITIES NOTES**

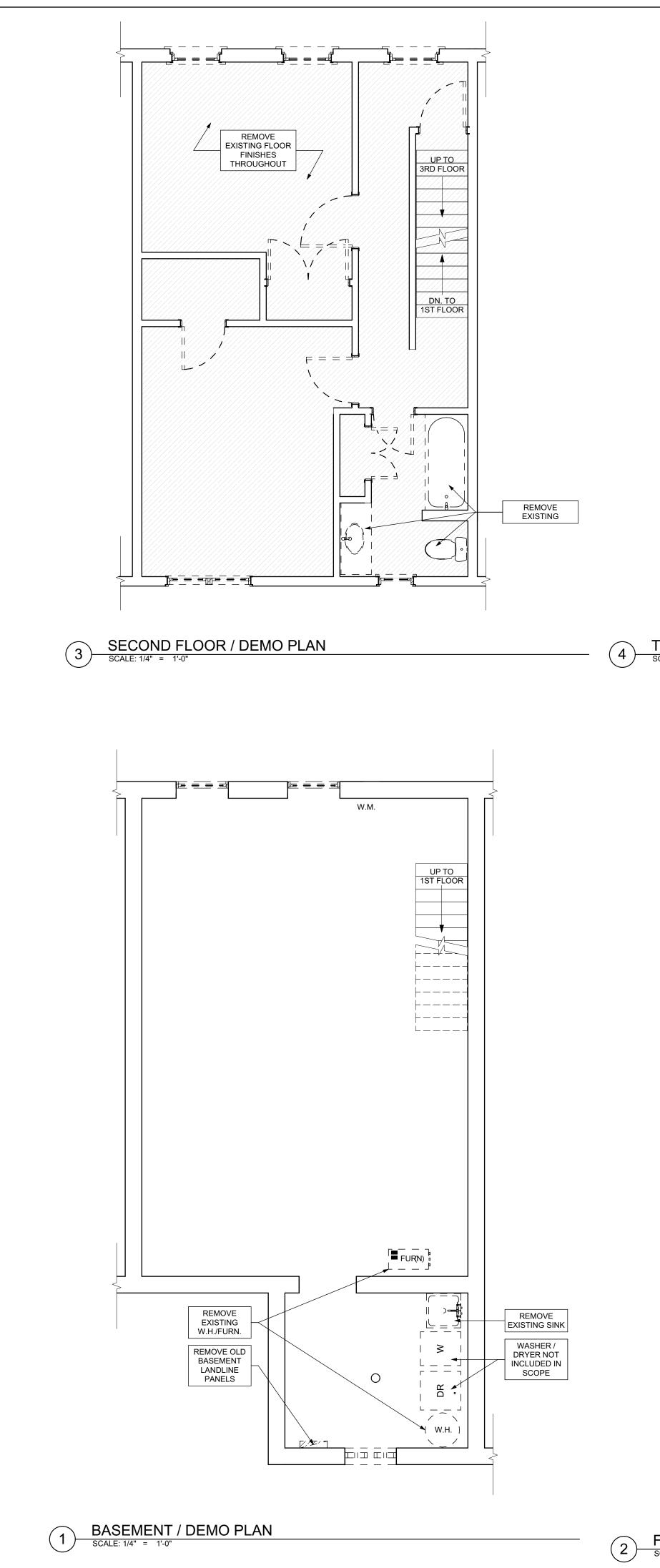
- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

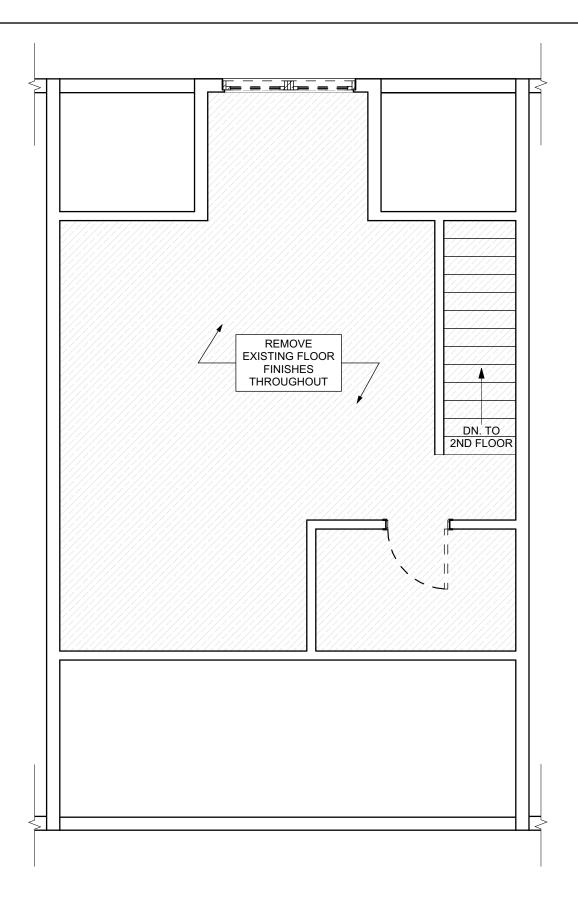




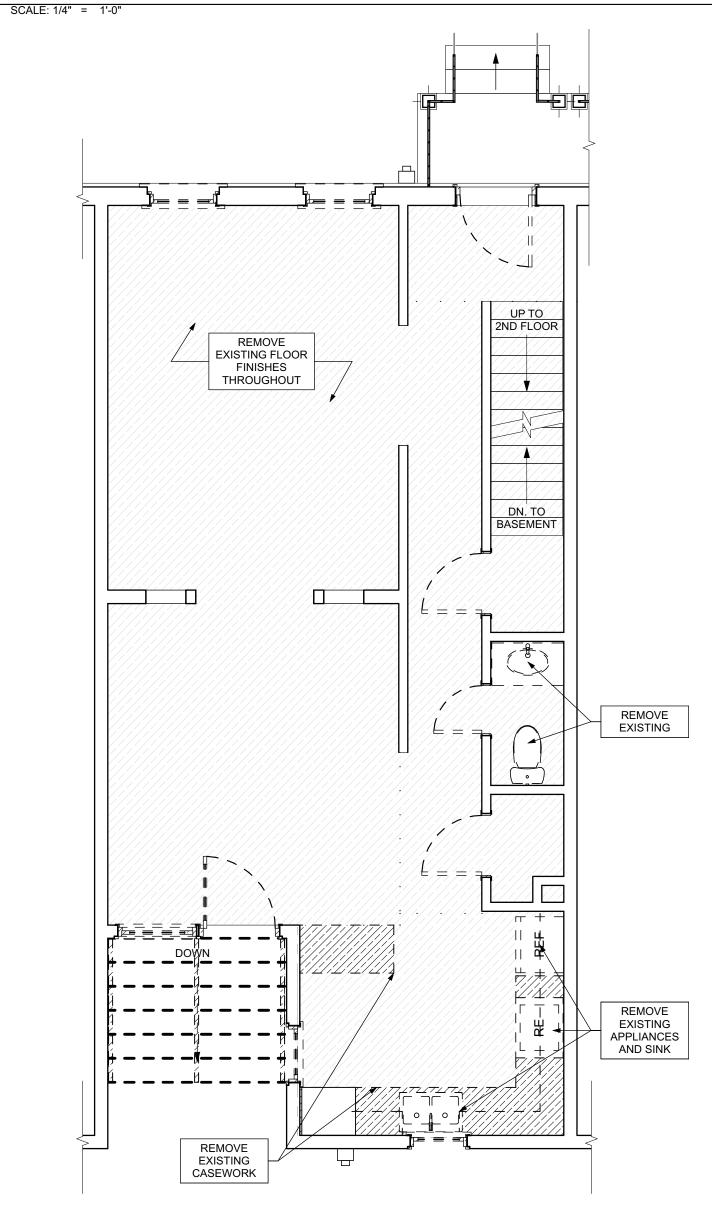


<ul> <li>Bester in the second sec</li></ul>	31	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPDING TO MEET SLOPE BEQUIREMENTS WHERE	Fukui Architects Po
In the second		CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street Pittsburgh, Pennsylvania 15219
Here is a second and a	52	BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	ph 412.281.6001 fx 412.281.6002
<ul> <li>State of the second seco</li></ul>	3	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO	© 2022 Enkni Architecto Do
<ul> <li>Second Second Sec</li></ul>	4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER	©2022 Fukul Alchitects, rc
<ul> <li>State of the second seco</li></ul>		AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
<ul> <li>Market and a strategy of a stra</li></ul>	5	LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
<ul> <li>Mathematical and a second secon</li></ul>		JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
State   State </td <td>6</td> <td>GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF</td> <td></td>	6	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF	
	7	POUR NEW CONCRETE WHERE STEP IS CHIPPED	seal
<ul> <li>Description of the second secon</li></ul>	3	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
<ul> <li>See Some of the set of the set</li></ul>		REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
<ul> <li>Second Second Sec</li></ul>	_	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
<ul> <li>Multiple of the state of the st</li></ul>	1	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
<ul> <li>Michael Schwarzschulter auf auf auf auf auf auf auf auf auf auf</li></ul>	2	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A	
<form><ul> <li>Microsoftware and a second of the second of</li></ul></form>	3	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
OPE       Contract and the second secon	4	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE	
Control of the second sec	OOF	NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	1. Any conflicts in the drawings or between new an
RetITECTURAL     P. of any distribution of the state of t	_	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	2. Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect
<ul> <li>deving:</li> <lideving:< li=""> <lideving:< li=""> <lideving:< li=""> <li< td=""><td>RCHI</td><td>TECTURAL</td><td><b>Pc</b> of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior t proceeding with any phase of work. <b>Do not scal</b></td></li<></lideving:<></lideving:<></lideving:<></ul>	RCHI	TECTURAL	<b>Pc</b> of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior t proceeding with any phase of work. <b>Do not scal</b>
<ul> <li>In the part of the second process of the second proce</li></ul>		EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with applicable</li></ul>
<ul> <li>Citing and the second set of the se</li></ul>	2	FROM FACE OF CMU WALL. PREP AND PAINT PER	4. Contractor shall be responsible for the patching
<ul> <li>Southering Andread South 2006 (1997) The second seco</li></ul>	_	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as required to receive scheduled finishes
A UP optice plane, specifications, campare filts, fully activity of activ	1	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	assemblies. Contractor shall provide and install al
<ul> <li>Multiply de Actual de la data la de la de</li></ul>	5	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	6. All reports, plans, specifications, computer files, fieldata, notices, and other documents and instrument
Fights including the copyright thems. Fights including t	3	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved
<ul> <li>SUED FOR PERMIT: 05.06.2022</li> <li>SUED FOR PERMIT: 05.06.2</li></ul>		REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	-
<ul> <li>FOLLETAS</li> <li>SCALEMENT TRUETED T</li></ul>	7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
Image: Provide and the second control of the second contre second control of the second contrel of th	3	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
<ul> <li>Added Will Concernsol</li> <li>Determine the end of the set of the set</li></ul>	)	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
Model Metric, Treation, AND REFERE RESERANCE         Model Metric, The Low Model Service Services         Model Metric, The Low Model Services         Model Metric, The Low Metric, Services         Model Metric, Services Services	0	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH	project title
<ul> <li>Addetweet Toollaw, Savet Tooling Book and Sover Tool and Sover Tool</li></ul>		KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	
PITTSBURGH, PA 15219 <p< td=""><td>11</td><td>ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB</td><td></td></p<>	11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB	
<ul> <li>MADDRAY OF CONCRETE DAY BELLAND CLEAN MADDRAY OF CONCRETE DAY BELLAND CLEAND MADDRAY OF CONCRETE</li></ul>	2	FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	PITTSBURGH,PA 15219
Sealer over trend operation according to prevent operations of the second operation		MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY	
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<b>5 13 A4</b>			





## THIRD FLOOR / DEMO PLAN



## FIRST FLOOR / DEMO PLAN SCALE: 1/4" = 1'-0"

## GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- 4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
   REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND



DEMOLISH EXISTING CASEWORK IN HATCHED AREA.

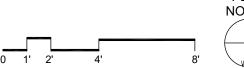
FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

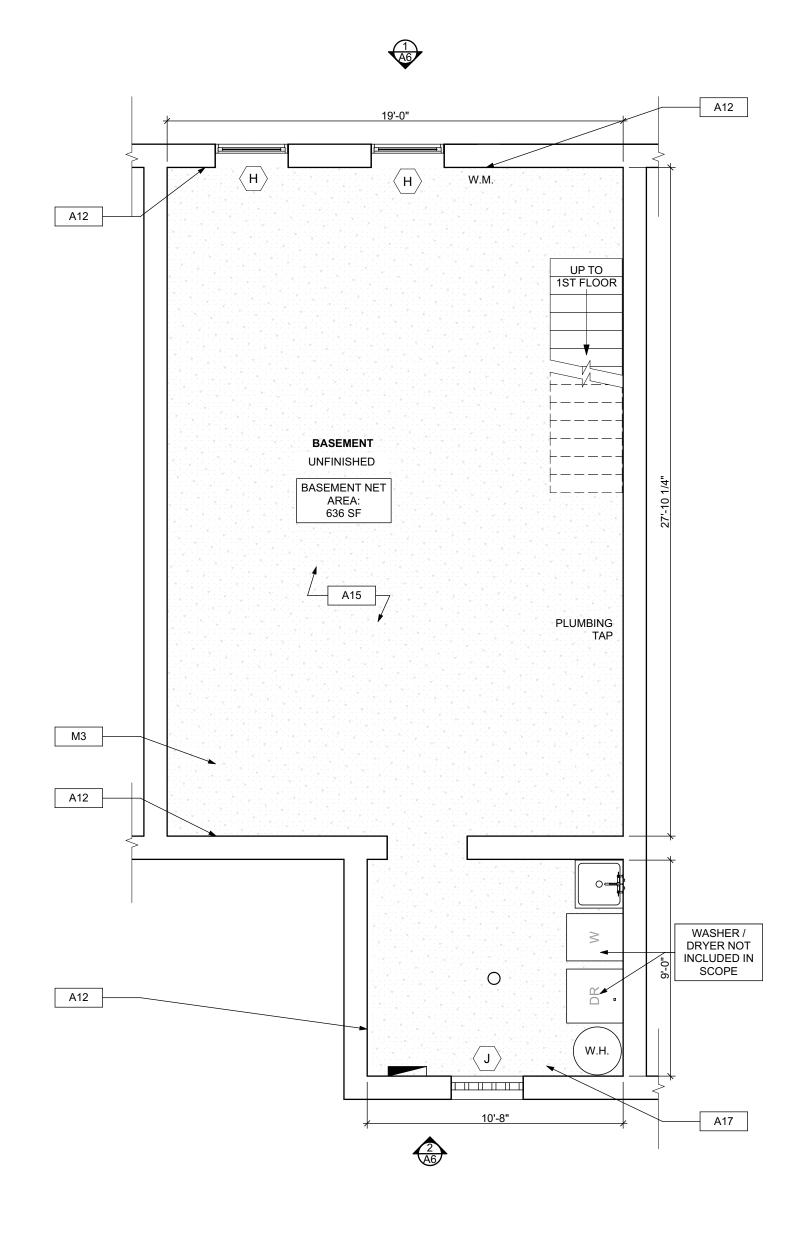
## GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

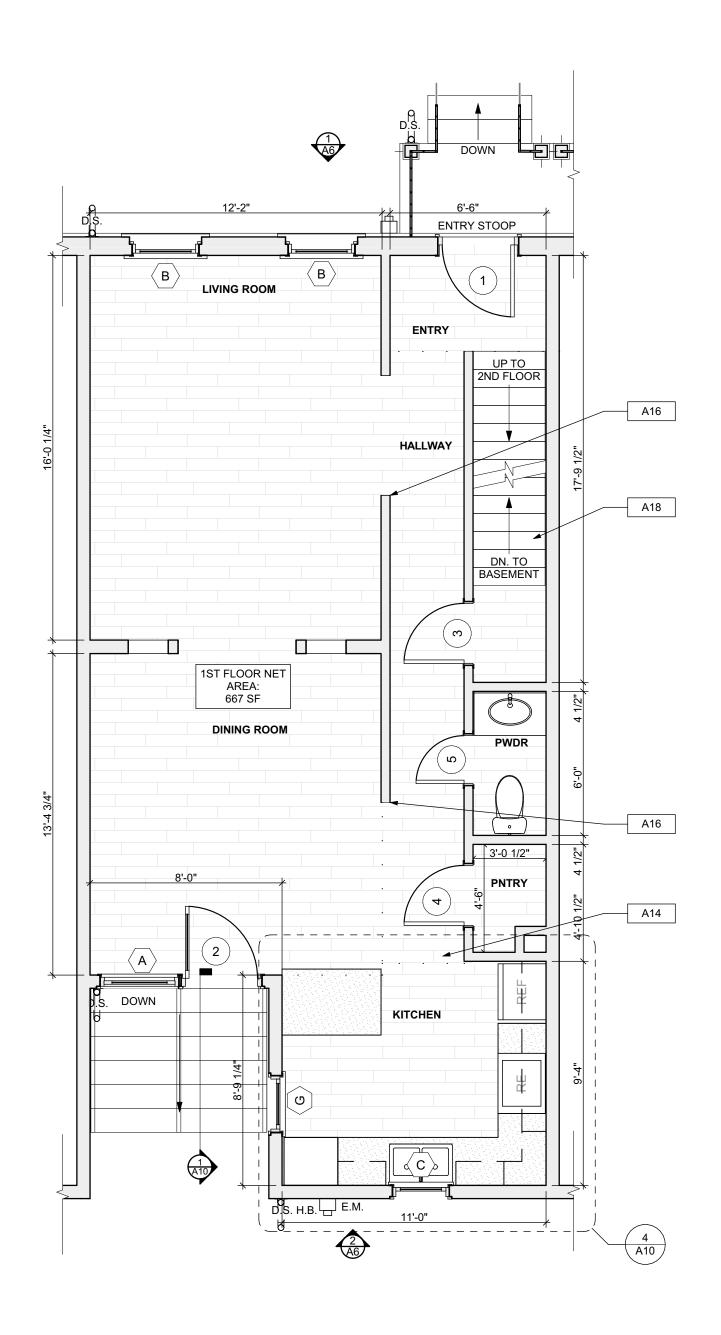




SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN	Fukui Architects Pc
	ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3' OVER 5-0".	205 Ross Street
S2	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	Pittsburgh, Pennsylvania 15219
S3	BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARII Y SHORE EXISTING PORCH AND	ph 412.281.6001 fx 412.281.6002
	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	
S4	MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND	©2022 Fukui Architects, Pc
	RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND	
	REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"	
	GRAVEL BASE OVER WEED BARRIER. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0 ⁻⁷ FROM GRADE RELOCATE SERVICE DROP TO PROVIDE A	
\$13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD	
	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER DECISIVE PARPIER DEE SPECIFICATIONS	general notes
ROOF	RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects,
ARCHI	TECTURAL	<b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale</b>
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	<ul><li>drawings.</li><li>All work shall be installed in accordance with applicable</li></ul>
A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	<ol> <li>Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.</li> </ol>
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	<ul><li>5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all</li></ul>
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<b>6.</b> All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved
	REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE	rights, including the copyright thereto.
	WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN	
A9	SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
1	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND	
	RICKBOARDS, TREADS, AND DISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD (2724) SPREAD FOOTING	200 ROSS STREET
440	FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETEDIORATING CROUT INFEG AS DEGESSARY	
	DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE	
	HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	Drainat I agation
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	1106 W NORTH AVENUE
A16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	13233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFERENCE TO SPECIFICATIONS FOR DETAILS	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	<b>BASEMENT / DEMO PLAN, FIRST</b>
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD
	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	FLOOR / DEMO PLAN, GENERAL
P2	LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	DEMOLITION NOTES, DEMOLITION PLAN LEGEND,
MECH	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	SMALL UNIT KEYNOTES,
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	GRAPHIC SCALES
W2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
	INSPECTION CONDICTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date Silect 140.
		May 6, 2022
		no. of. A5
		6 13
		<b>U I J Project</b> #2006



BASEMENT/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0" 

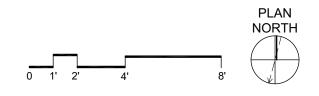


## 2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

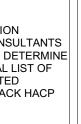


SCOPE REDUCTION:

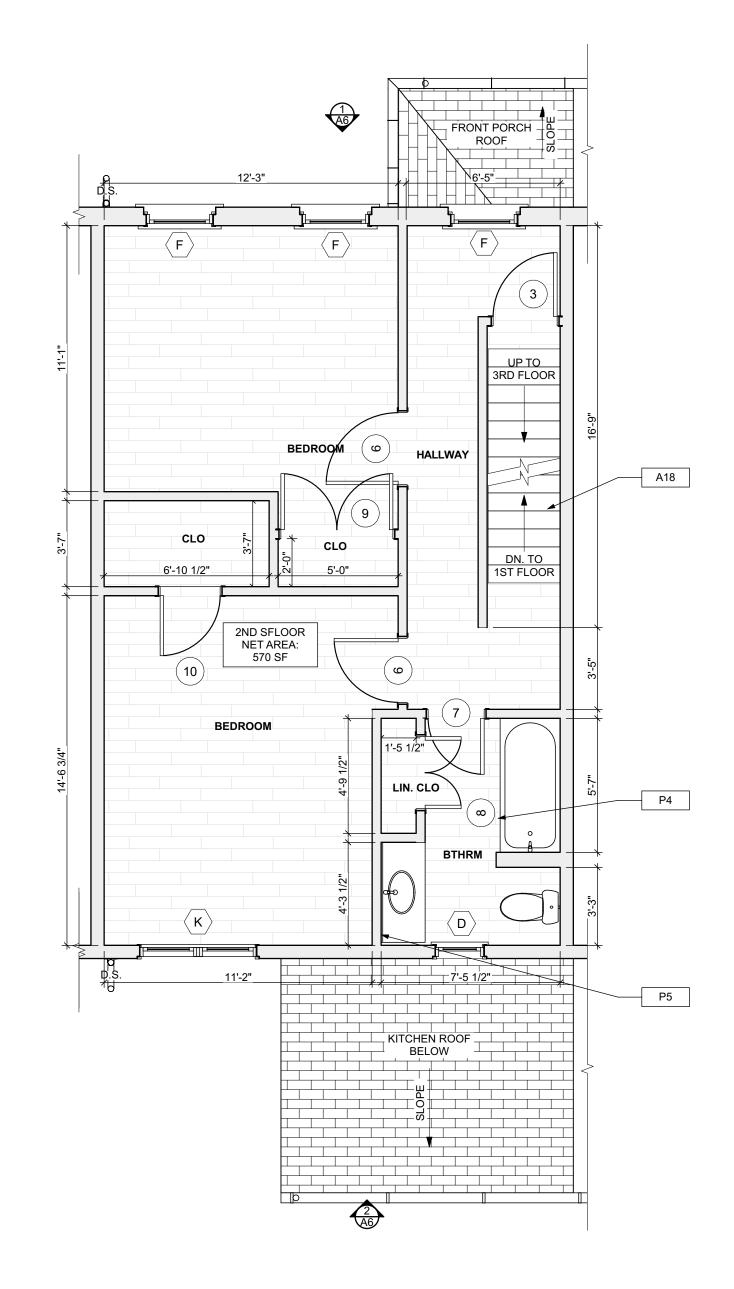
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

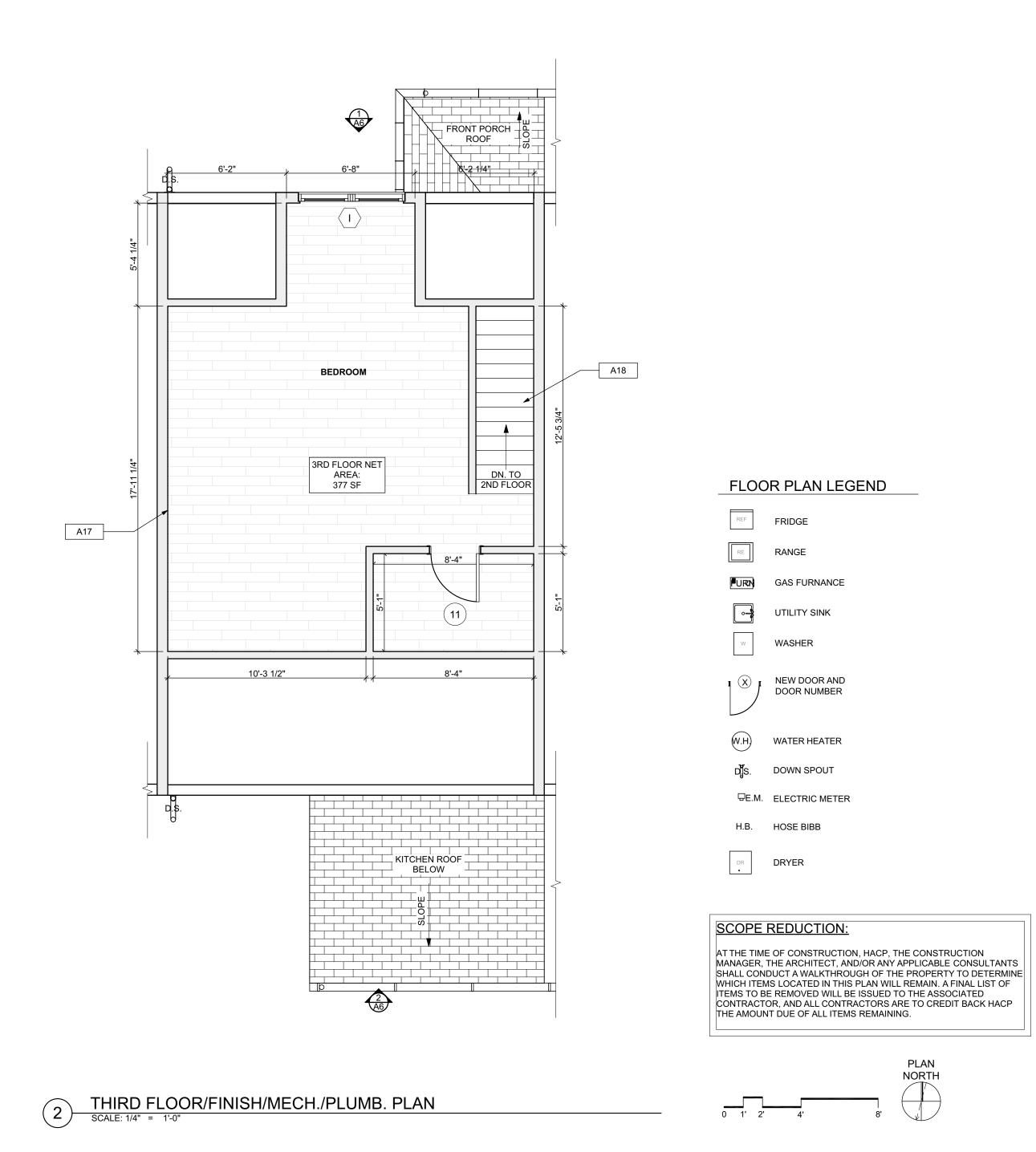


SITE S1		
	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE	Fukui Architects Pc
	TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street Pittsburgh, Pennsylvania 15219
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
<u>S4</u>	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD, REMOVE AND	
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
S12	DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE	
S13	ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD	
S14	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE	
ROOF	RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	general notes         1.       Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions</li> </ol>
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale</b> <b>drawings.</b>
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	<b>5.</b> All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved
	REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the copyright thereto. <b>revisions</b>
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEALIF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	■ project title Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1106 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	15233
A18	CLEAN EAST ING AAEMAN WITH NON-FRACADOUST. CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	<b>BASEMENT/FINISH/MECH./PLUM</b>
		B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB.
P1 P2	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEALALLE FMENTS OR	PLAN, FLOOR PLAN LEGEND,
	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	SMALL UNIT KEYNOTES, GRAPHIC SCALES
M1	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. DEED AGE BUILD ROOM (WITH CORPECT OFFICE)	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
 	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	
	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE, REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		date
		May 6, 2022
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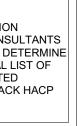


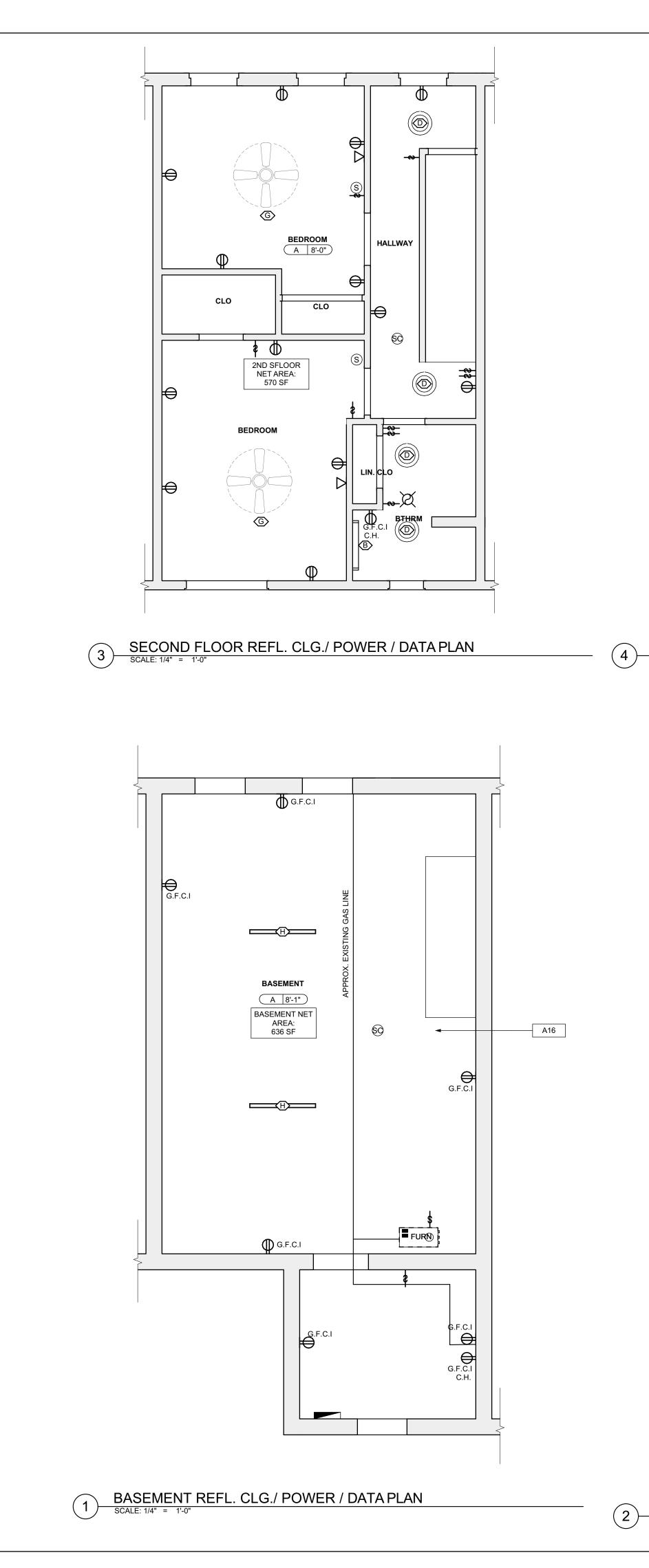
## SECOND FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

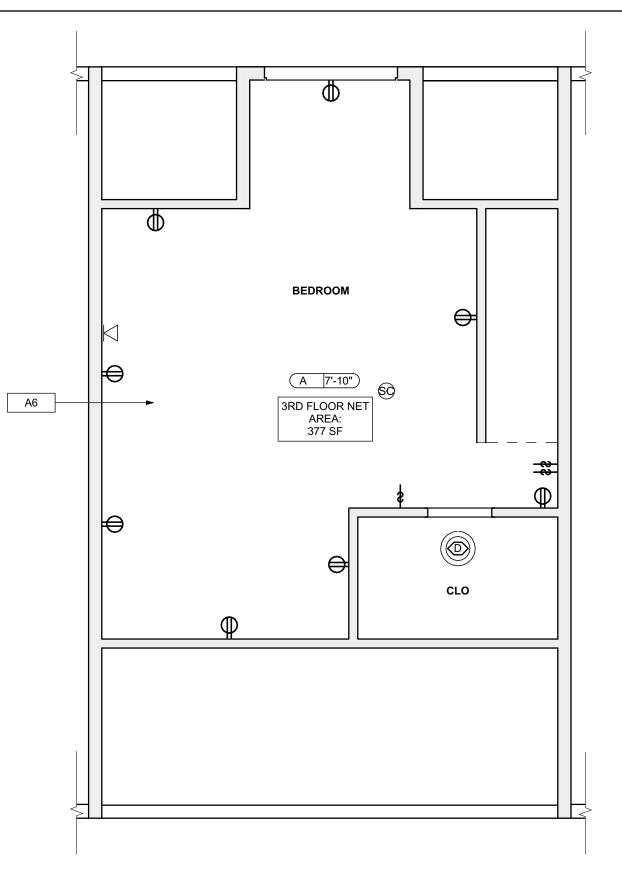




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<ul> <li>Besterner in der Besterner in der Besterner</li></ul>	SITE S1	PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE			
<ul> <li>The second second</li></ul>	S2	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC.	Pittsbu	rgh, Penn	sylvania 15219
<ul> <li>Control of the control of the control</li></ul>	S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO			
<ul> <li>Marchard &amp; Rad Key Lange Service Service</li></ul>	<u>S4</u>	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	© 2 0 2 2 F	Fukui Aro	chitects, Pc
<ul> <li>Michael Person and P</li></ul>	<u>85</u>	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION			
<ul> <li>Control of the second se</li></ul>	S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF			
<ul> <li>National Science Science</li></ul>	S7	POUR NEW CONCRETE WHERE STEP IS CHIPPED	<b>—</b>		seal
<ul> <li>B. B. B</li></ul>		REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	-		
<ul> <li>Mitty of specific and specific</li></ul>	510	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT			
<ul> <li>Biologica Carliero Contentiation of the second content of the second conten</li></ul>	511	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"			
Contract Section of Section S	512	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE			
<ul> <li>Michael Marken Markan Marken Marken Marken Marken Marken Marken Marken Marken Ma</li></ul>	513	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY			
Market Development of the second s	514	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE	_		general notes
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<ul> <li>Section 2. Section 2</li></ul>	R1	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	con Pc	nditions in the field a of any discrepancie	and shall advise <b>Fukui Architects</b> , as between, additions to, deletions
<ul> <li>A. M. vock ability to responsible for the property of the Architect of the Arc</li></ul>		REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	fro pro <b>dr</b>	m, or alterations to be been been been been been been been	o any and all conditions prior to phase of work. <b>Do not scale</b>
<ul> <li>Method Name</li> <li>Method N</li></ul>	A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	CO	des and regulations.	
<ul> <li>A. All cents shown on drawings are finished counts in the section of the section of</li></ul>	A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	rep	pairing, and preparati	ons of all existing floor, wall, and
<ul> <li>Becomposition and a second seco</li></ul>	A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	ass	semblies. Contract	or shall provide and install all
<ul> <li>WHETE FORMULA CONTACT AND A DECEMPTION OF A DECEM</li></ul>	A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	<b>6.</b> Al	l reports, plans, spe	ecifications, computer files, field
Image: Section of the section of th	A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	rer	nain the property of ain all common la	the Architect. The Architect shall w statutory, and other reserved
<ul> <li>In SUED FOR PERMIT: 05.06.2022</li> <li>ISSUED FOR</li></ul>		AS NECESSARY AT WINDOWS, REMEDIATE LEAK SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER			revisions
<ul> <li>Bud of all provides the solution.</li> <li>Bud of all p</li></ul>	A7	1X PAINTED FLAT STOCK WOOD SILL, CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS	ISSUE	ED FOR PERM	MIT: 05.06.2022
APPCAGE DEFINICE OF LANGE AT MATTER MATTE		SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.			
<ul> <li>HACP TO DETAIL CRAVINGS FOR MORE MORE TO PERFORM TO THE PERFORMANCE OF A DETAIL OF A DETA</li></ul>	A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	■ — Owr	ner:	project title
RET       CLUME CONTECT AT EXERTING         RET       CHURDERGENE CONTECT AT EXERCISE         Maintage Contract and the contract of the c	A11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING	HACP 200 R	OSS STREE	
FURTHER EPICORESCENCE.         ATS       GRACK, HOLE, CR MARGET DIVINALL OR CELLING, PARTER BEAR, DEVINALL OR PELATER         MEDISAL UNELCOORING TO RECEIVE WATER PERSISTANT DIVINALL CONNERBER DE CELLING, PARTER ALL DIVINE PERSISTANT DIVINALL CONNERBER DE CELLING, REPLACE DIVINE PERSISTANT DIVINE PERSISTAN	A12	DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	FILIS	DUKUN,PA	. 15219
<ul> <li>MIENDE HOOMING WALL OF CELING REPACE PERFERICACE OF CHARACTER CELING REPACE PERFERICACE OF CHARACTER CELING REPACE PERFERICACE OF CHARACTER CELING REPACE PERFERICACE OF CHARACTER CELING REPACE WATERPROPERS OF INC AT BASEMENT SCRAPE AND WATERPROPERS OF INC AT BASEMENT SCRAPE WATERPROPERS OF INC AT BASEMENT AND INST.</li> <li>CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEAN EXISTING AND SEAL ALL ELEMENTS OF PIPING IOCATED A TEXTERIOR WADE FINANCIAL - REF. ONLY. REFER TO PLUME DWO'S.</li> <li>PROFENTING FOR THE COMMENDS ADDING DECHANICAL - REF. ONLY. REFER TO RESUME STANK, OR OTHER FEATURE AT LOCATION.</li> <li>MIENDER SCRAPT EXISTING AND ALL ELEMENTS OF PIPING OCATED AT EXTERIOR MORE STANK, OR OTHER FEATURE TO DECOMENDS ADDING DECHANICAL - REF. ONLY. REFER TO RESUME STANK, OR OTHER FEATURE TO RESUME STANK, OR OTHER FEATURE TO RESUME STANK, OR OTHER FEATURE TO REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>MIENDER SCRAPT AND AND ALL ELEMENTS OF STANK, OR OTHER FEATURE TO RESUME STANK, OR OTHER FEATURE TO RECOMEND ADDING DECHANICAL - REF. ONLY. REFER TO RESUME STANK, O</li></ul>	A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE			_
<ul> <li>AND REMOVE ANY EXISTING PANT OR WHETERPROOFING PROVIDE WHETERON TO WALL PER SPECIFICATIONS SEAL TRANSITION OF WALL PER SPECIFICATIONS OF MERINA PLANT TO MATCH EARLY RAD PAILT. NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW THEADS AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW THEADS AND SERBER AF WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW THEADS AND PER SPECIFICATIONS FOR DETAILS.</li> <li>NON-FULTIONING OR MISSING PLUMBING COVER NEEDENTITIES WATER ARE CONTRACT. NECESSARY FER SPECIFICATIONS FOR DETAILS.</li> <li>NON-FULTIONING OR MISSING PLUMBING COVER NEEDENTITIES WATER ARE CONTRACT. NEW REPLACE DRIPING LOCATED AT EXTENSION TANK, OR OTHER AND SEAL ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTENSION TANK, OR OTHER TO MECH. DWORS.</li> <li>MECHANICAL - REF. ONLY. REFER TO MECH. DWORS.</li> <li>MISPECTION CONDUCTED RECOMMENDS ADDING DEMUNDIFICAL INSPACETION DUCT OF RURACE. SECOLUTION OR DESCHARDS TO MITTAN MISTURE CONTROLL AND SEARCH TO MITTAN TO MISTURE CONTROLL AND SEARCH TO MITTANDE STURE SECOLUTION OR DESCHARDS ADDING DEMUNDIFICAL INSPACE TO MITTANDE STURE SECOLUTION OR DESCHARDS ADDING DEMUNDIFICAL INSPACETED OR MICHANGING AS INCERSIARY.</li> <li>SECOND CONTROLL AND SEARCH TO MITTANDE STURE SECOLUTION OR DESCHARDS ADDING DEMUNDIFICAL INSPACE TO MITTANDE STURE SECOND CONDUCTED DECOMMENTED DOR MICHANG AS INCERSIARY.</li> <li>SECOND CONDUCTED RECOMMENTED DOR MICHANG AS INCERSIARY.</li> <li>SECOND CONDUCTED RECOMMENTED DOR MICHANG AS INCERSIARY.</li> <li>SECOND CONDUCTED RECOMMENTED DOR MICHANG AS INCERSIARY.</li> <li>SECON</li></ul>	A14	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	U		
Marcine Existing Colore, Twine Tool New Parket	A15	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	PITTS		
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PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.         PI       NON-FUNCTIONING OR MISSING PLUMBING COVER OF HXTURE PART REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.         P2       EXISTING FIXTURE OR PIPING LOOSE AND LEAKING: TIGHTEM AND SECTION COVER OF PREPARE AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL         MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.         M1       PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION BASED ON ADJACENT DUCT OR FURNACE.         M2       REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.         M3       INSPECTION CONTICETER NOTE TO BRITURE CONTROL ALL BASEMENTS WITH MOISTURE CONTROL ALL BASEMENTS WITH MOIST		CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	SECON	ND	drawing title
<ul> <li>Dispersive and the second pressive as a second pressive and precessary pressive and precessary pressive and precessary insulate all elements or previous does and previous or previous does and previ</li></ul>			FLOOI	R/FINISH/N	IECH./PLUMB.
<ul> <li>MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.</li> <li>MI PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.</li> <li>MZ REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.</li> <li>M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.</li> <li>Scale As Noted</li> <li>date May 6, 2022</li> </ul>		OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	FLOOI PLAN,	R/FINISH/N SMALL UN	NIT KEYNOTES,
TANK, OR OTHER FEATURE AT LOCATION. M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. Scale As Noted date May 6, 2022		ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION			GEND, GKAPHIC
DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. Scale As Noted date May 6, 2022		TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING			
EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. Scale As Noted date May 6, 2022	M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO			
As Noted Sheet N date May 6, 2022	M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	scale	]	
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8   13			8	13	Project #2006



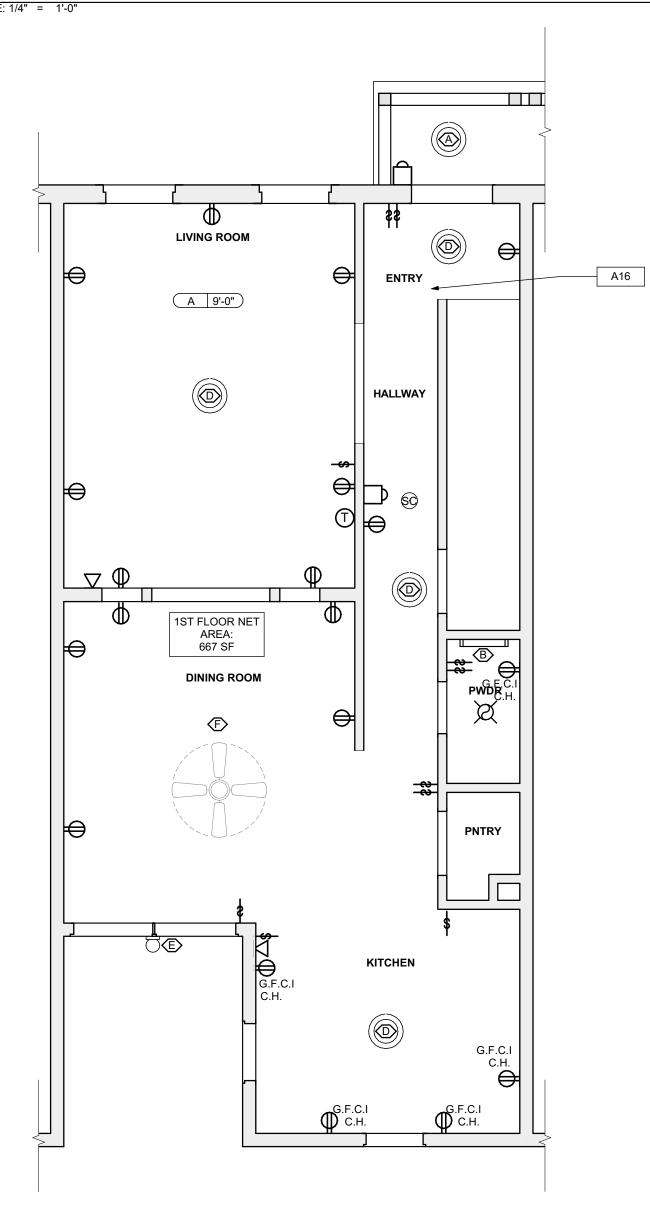




LIGHTING SCHEDULE					
SYMBOL ELEMENT ID TYPE		MANUFACTURER OR EQUIVALENT	MODEL NUMBER	Quantity	
$\bigcirc$	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	5
D	Е	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

4 THIRD FLOOR REFL. CLG./ POWER / DATA PLAN

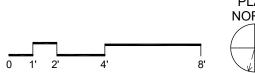


RCP I of De	LEGEND - (See Specifications for basis sign)
S	SMOKE ALARM, PROVIDE NEW WHERE SHOWN
SC	SMOKE/ CARBON MONOXIDECOMBO DETECTOR
	ELECTRICAL METER
O	THERMOSTAT
$\mathbf{\nabla}$	DATARECEPTICAL, 18" A.F.F. U.O.N.
Φ	ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
<b>€</b> CH	ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
€ GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFCI CH	GROUND FAULT CIRCUIT INTERRUPTER
ŧ	LIGHT SWITCH
Ø	EXHAUST FAN
D	DOORBELL
A X'-X"	GWB CEILING / CEILING HEIGHT
B X'-X"	UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST
SCOPE REE	DUCTION:

## AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

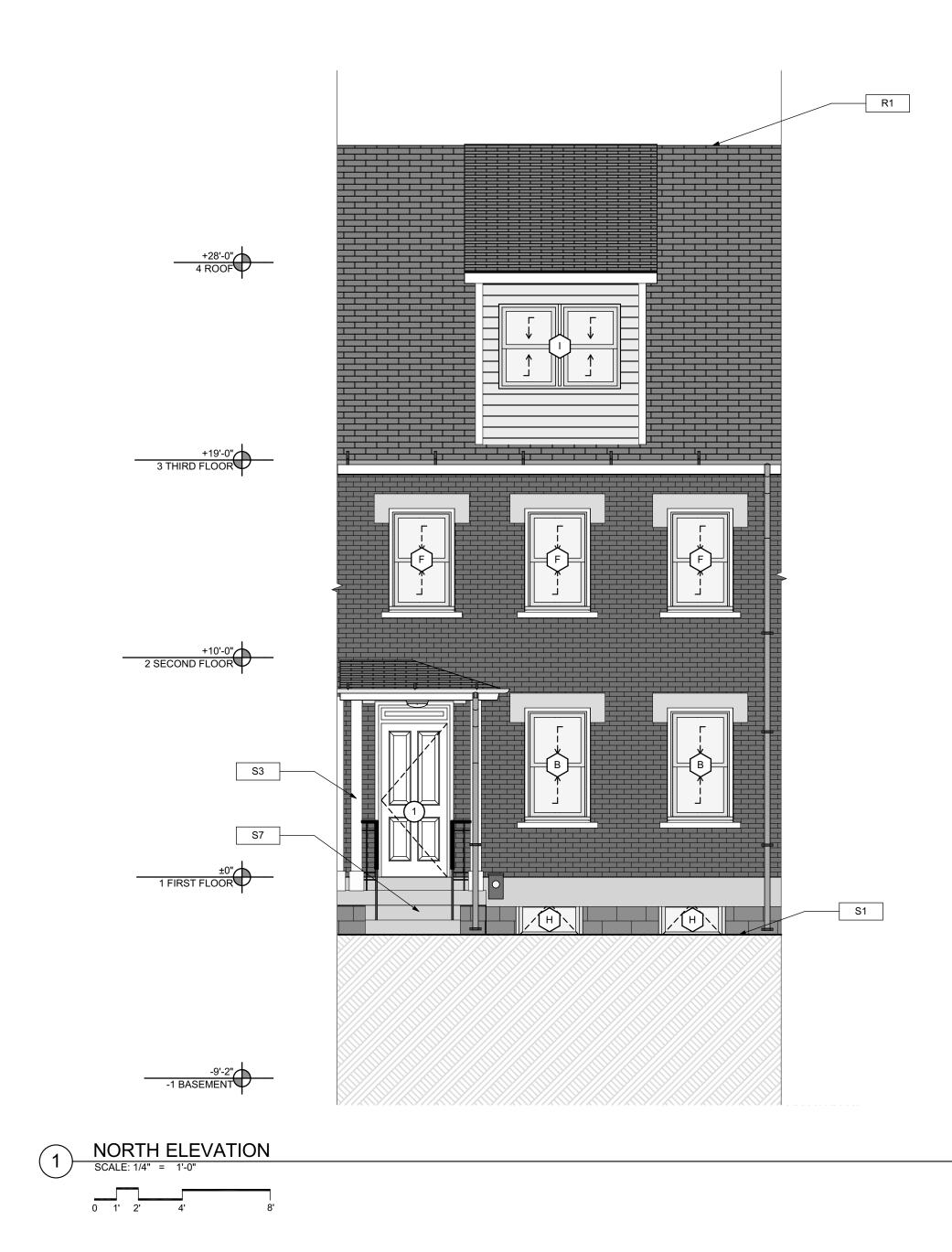


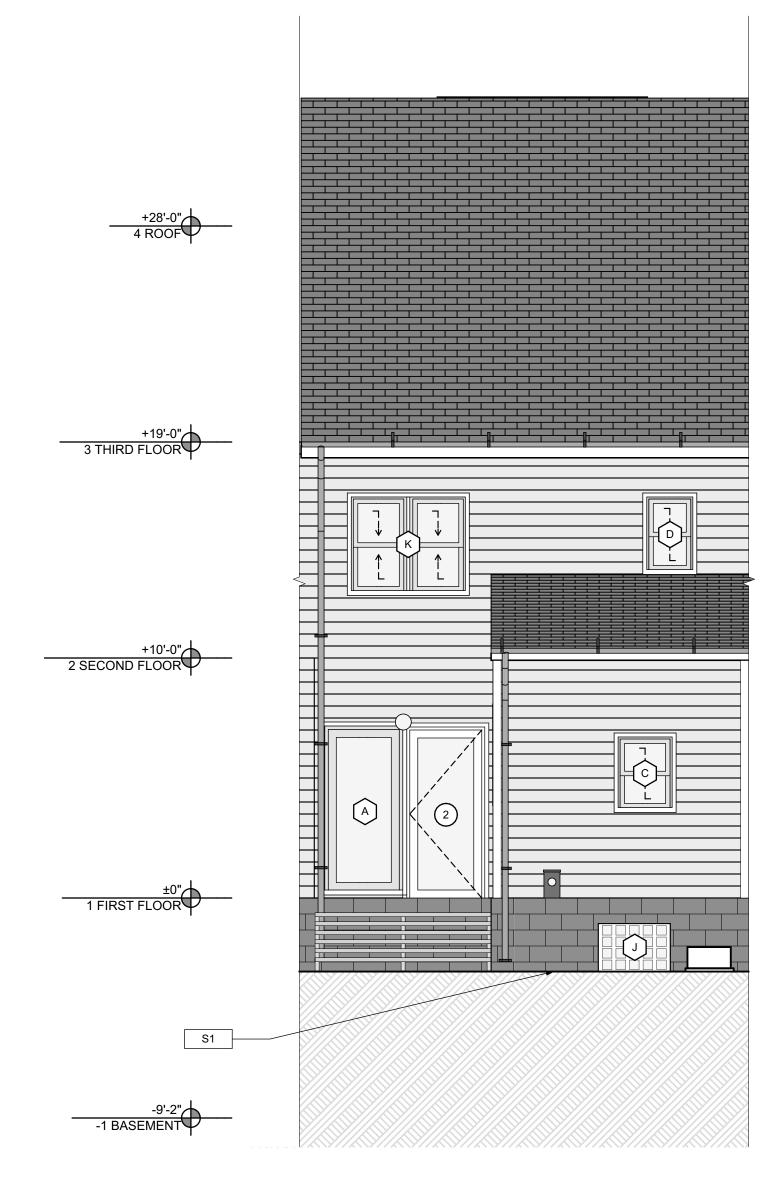


SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3' OVER 5-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Pa 205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
<u>\$5</u>	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	seal
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
310	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND	
511	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
512	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS, WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
513	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.
₹1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletior</li> </ol>
	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior t proceeding with any phase of work. <b>Do not scal</b> <b>drawings.</b>
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ol> <li>All work shall be installed in accordance with applicabl codes and regulations.</li> </ol>
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, an
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as required to receive scheduled finishes
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	<ol> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install al material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, field</li> </ol>
A6	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	data, notices, and other documents and instrument prepared by the Architect as instruments of service shal remain the property of the Architect. The Architect shal
	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER, PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	<b>Owner:</b>
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DEMUNICE FOR MODE INFORMATION	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	SEALER OVER EXTENDED CONTO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1106 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
		BASEMENT REFL. CLG./ POWER / DATA PLAN FIRST FLOOR REFL
	ING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	DATA PLAN, FIRST FLOOR REFL. CLG./ POWER / DATA PLAN,
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	SECOND FLOOR REFL. CLG./ POWER / DATA PLAN, THIRD FLOOR REFL. CLG./ POWER /
	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	DATA PLAN, SMALL UNIT
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	KEYNOTES, RCP LEGEND, LIGHTING SCHEDULE, GRAPHIC
M3	BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE	SCALES
	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
M4	WITH CORRECT SIZING AS NECESSARY	scale
<u>M4</u>	WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
M4 ]	WITH CORRECT SIZING AS NECESSARY.	As Noted date May 6, 2022 no. lof. Sheet No.

13

Project #2006





2 SOUTH ELEVATION SCALE: 1/4" = 1'-0"

0 1' 2' 4' 8

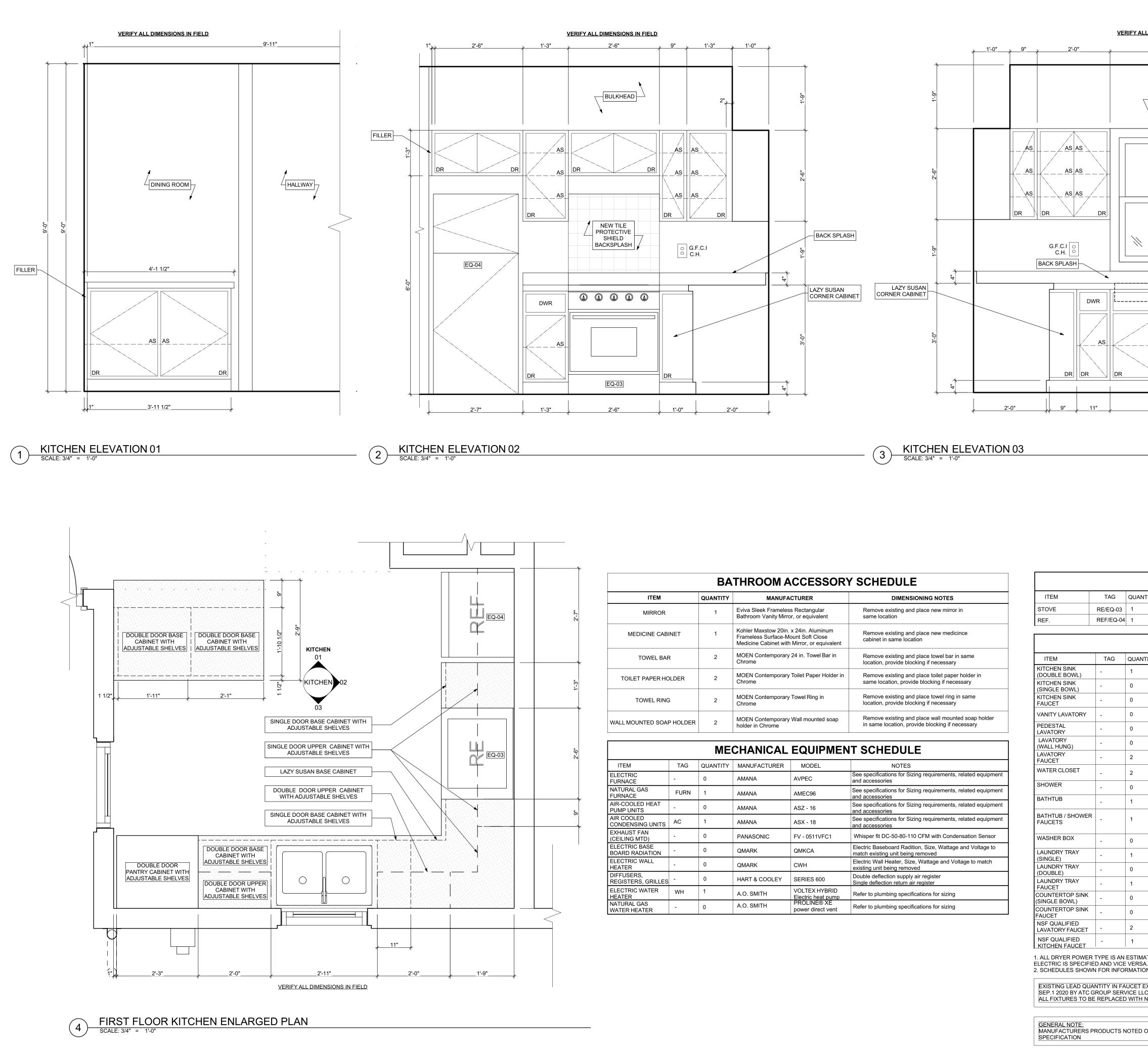
<u>GENERAL NOTE:</u>

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Pc 205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219
<b>S</b> 3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO	ph 412.281.6001 fx 412.281.6002
S4	MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	©2022 Fukui Architects, Pc
S5	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION	
S6	JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
S10	TRIM OF OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT	
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
S12	DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELLAND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE	
S13	ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION. BEE OR BIRD	
S14	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER	
ROOF	RESISTIVE BARRIER, FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<ul> <li>Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.</li> </ul>
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions</li> </ol>
ARCHI	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale drawings.</b>
	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and coiling surfaces as required to receive scheduled finishes
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	<ul><li>ceiling surfaces as required to receive scheduled finishes.</li><li>5. All items shown on drawings are finished construction</li></ul>
	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	assemblies. Contractor shall provide and install all material required for finished assemblies.
A5 A6	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall
	REMOVE DRYWALLAND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IT NECESSARY, REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1106 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	<b>NORTH ELEVATION, SOUTH</b>
PLUMB	NON-FUNCTIONING OR MISSING PLUMBING COVER	ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M1 M2	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	
M3	BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE	
M4	ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORPECT SIZING AS NECESSARY	
	WITH CORRECT SIZING AS NECESSARY.	scale     Sheet No.
		date May 6, 2022
		Project #2006

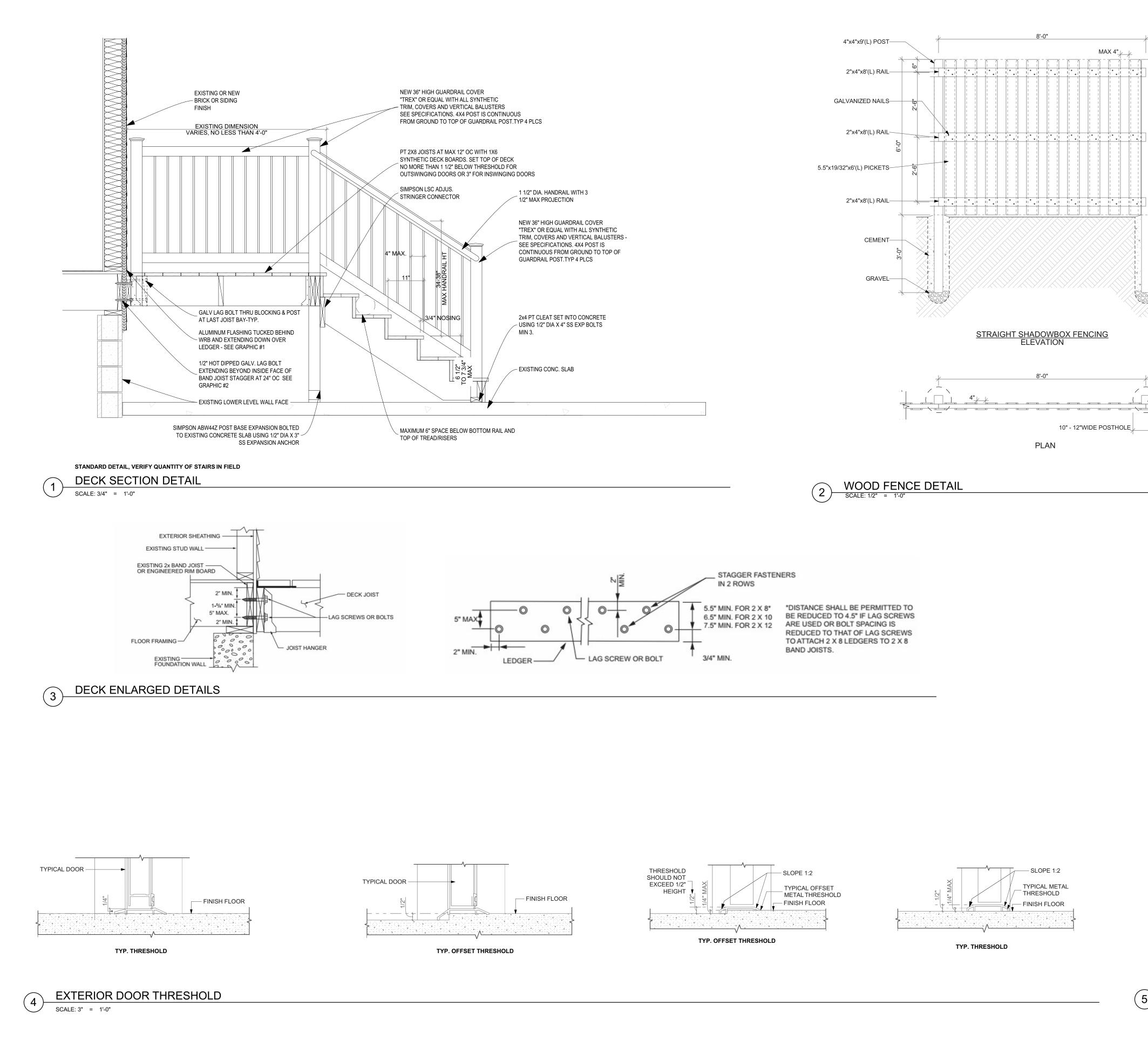


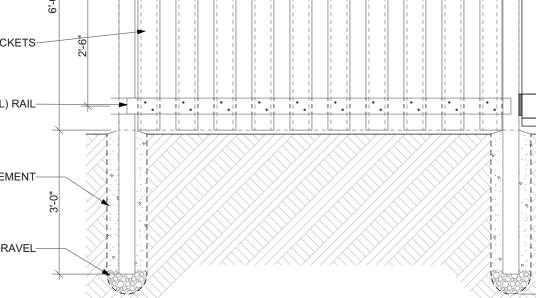
ITEM		QUANTITY			
MIRROR		QUANTITY 1	MANUFA Eviva Sleek Frameles Bathroom Vanity Mirro		DIMENSIONING NOTES Remove existing and place new mirror in same location
MEDICINE CABI	NET	1	Kohler Maxstow 20in. Frameless Surface-M Medicine Cabinet with		Remove existing and place new medicince cabinet in same location
TOWEL BAR	R	2	MOEN Contemporary Chrome	/ 24 in. Towel Bar in	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HO	LDER	2	MOEN Contemporary Chrome	/ Toilet Paper Holder in	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING		2	MOEN Contemporary Chrome	/ Towel Ring in	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER 2		2	MOEN Contemporary holder in Chrome	/ Wall mounted soap	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary
ITEM	TAG		MANUFACTURER	MODEL	IT SCHEDULE NOTES
ELECTRIC FURNACE	_	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipmen and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipmen and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipmen and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipmen and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	1	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS		0	A.O. SMITH	PROLINE® XE	Refer to plumbing specifications for sizing

ITEM	TAG	QU
STOVE	RE/EQ-03	1
REF.	REF/EQ-04	1

ITEM	TAG	QU
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	0
KITCHEN SINK FAUCET	-	0
VANITY LAVATORY	-	0
PEDESTAL LAVATORY	-	0
LAVATORY (WALL HUNG)	-	0
LAVATORY FAUCET	-	2
WATER CLOSET	-	2
SHOWER	-	0
BATHTUB	-	1
BATHTUB / SHOWER FAUCETS	-	1
WASHER BOX	-	0
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	0
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	0
COUNTERTOP SINK FAUCET	-	0
NSF QUALIFIED LAVATORY FAUCET	-	2
NSF QUALIFIED KITCHEN FAUCET	-	1
1 ALL DRYFR POWER	TYPE IS AN	EST

			Fukui Arc 205 Ross Pittsburgh, Penn	Street sylvania 15219
ALL DIMENSIONS IN FIELD			ph 412.281.6001	fx 412.281.6002
2'-11"	2'-0"		©2022 Fukui Arc	hitects, Pc
	AS AS AS AS AS AS DR G.F.C.I C.H.	AS AS AS AS BR DR DR DR DR DR DR DR DR FILLER		seal
ASAS	DWR AS	DR DR DR	<ul> <li>existing construction sh</li> <li>Contractor shall verif conditions in the field a</li> <li>Pc of any discrepancie from, or alterations to</li> </ul>	<b>general notes</b> drawings or between new and all be referred to the Architect. Y all dimensions and existing nd shall advise <b>Fukui Architects</b> , s between, additions to, deletions any and all conditions prior to phase of work. <b>Do not scale</b>
			<ul> <li>ceiling surfaces as requi</li> <li>5. All items shown on dr assemblies. Contractor material required for fin</li> <li>6. All reports, plans, spe data, notices, and oth prepared by the Architer remain the property of the</li> </ul>	cifications, computer files, field her documents and instruments ect as instruments of service shall the Architect. The Architect shall w statutory, and other reserved byright thereto. <b>revisions</b>
			_	project title
ANTITY MANUFACTURER WHIRLPOOL	MODEL W11245179A	NOTES black 30"		project title
WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA	<b>Owner:</b>	
			HACP 200 ROSS STREE	Т
		NOTES	PITTSBURGH,PA	
ANTITY MANUFACTURER ELKAY ELKAY MOEN	AVENUE F AVENUE 5 7425	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid Kitchen, 8" Chateau with covers for unused sink holes.		
GLACIER BAY	VV11243179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole	<b>D</b>	
KOHLER		Single Bowl Kitchen Sink with Bottom Grid Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole	Project Loca	
MOEN		Single Bowl Kitchen Sink with Bottom Grid	MANCHESTER S 1106 W NORTH A	CATTERED SITES VENUE
KOHLER       DREAMLINE       AMERICAN       STANDARD	K-31621-0 Ct PRISM DL-6030-04 Ft PRINCETON F	Cimarron white elongated comfort height 2-piece watersense oilet. 12" rough-in size (ADA Compliant) Fit to existing conditions. Frameless pivot shower enclosure in orushed nickel and corner drain white base Princeton 30"W x 60" L White porcelain enameled steel ectangular righ drain alcove soaking bathtub	PITTSBURGH, PE 15233	ENNSYLVANIA drawing title
MOEN GUY GRAY	T269E3P / T8342EP15	/oss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead Combination valved fitting or seperate Hot & Cold water valved ittings & drain standpipe	KITCHEN ELEVA KITCHEN ELEVA KITCHEN ELEVA	TION 02,
E.L. MUSTEE & SONS, INC. E.L. MUSTEE &		reestanding Single Laundry tray with steel legs	FLOOR KITCHEN PLAN	NENLARGED
SONS, INC.		Freestanding Double Laundry tray with steel legs		
ELKAY		Drop-in Stainless Steel 25" X 22" X 8 ¹ / ₈ " 2 Hole Single Bowl		
MOEN KOHLER KOHLER MATION. GC TO INFORM ARC	40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812 40812	Countertop Sink		
RSA. TION ONLY. REFER TO SPECI T EXCEEDS ENTERPRISE GR	FICATIONS FOR FINAL F		scale As Noted date May 6, 2022	Sheet No.
			no. of.	A10
D ON THESE SCHEDULES AF	RE "BASIS OF DESIGN OI	NLY " AND MAY BE SUBSTITUTED WITH EQUIVALENT	11 13	Project #2006



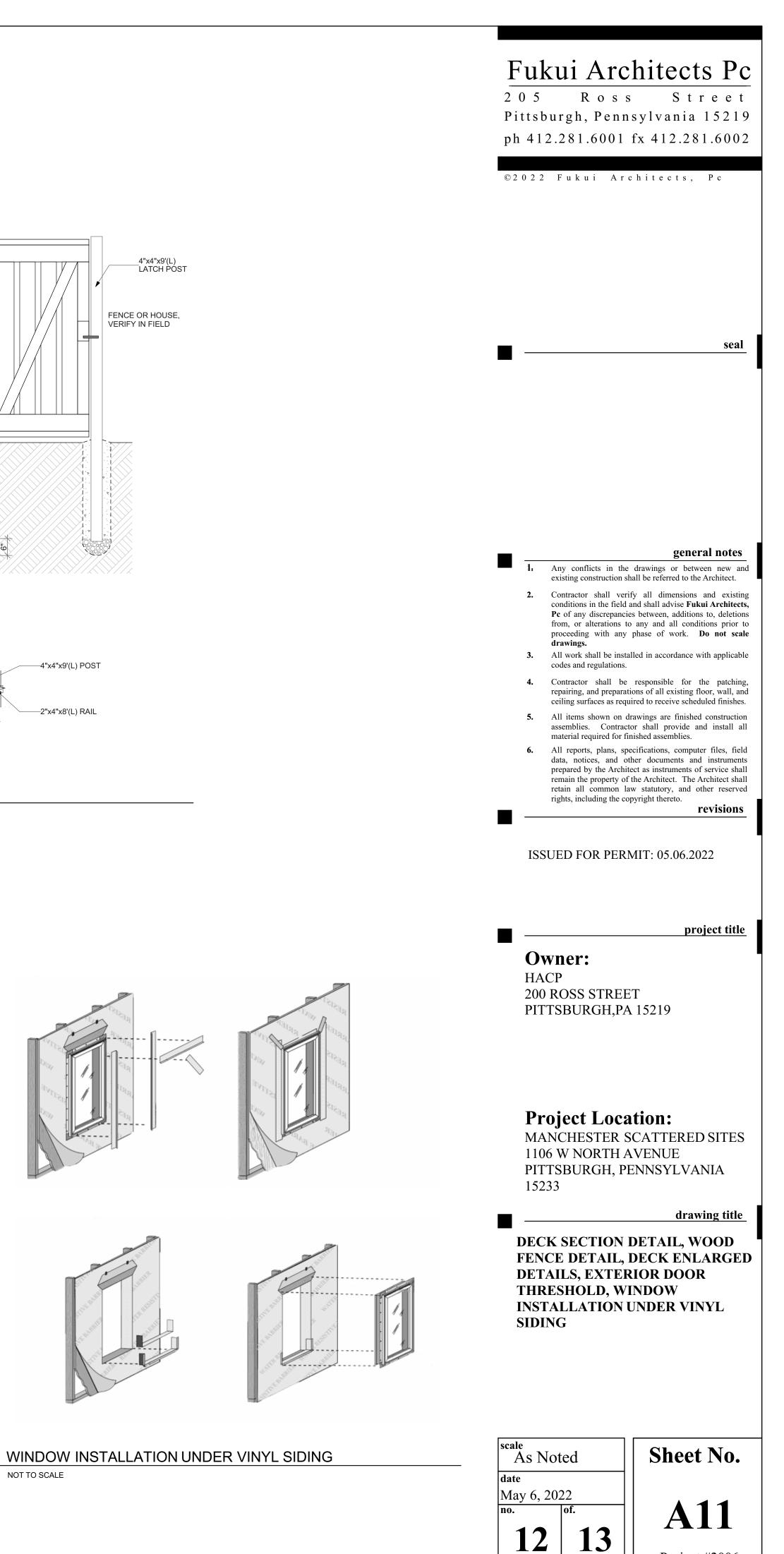




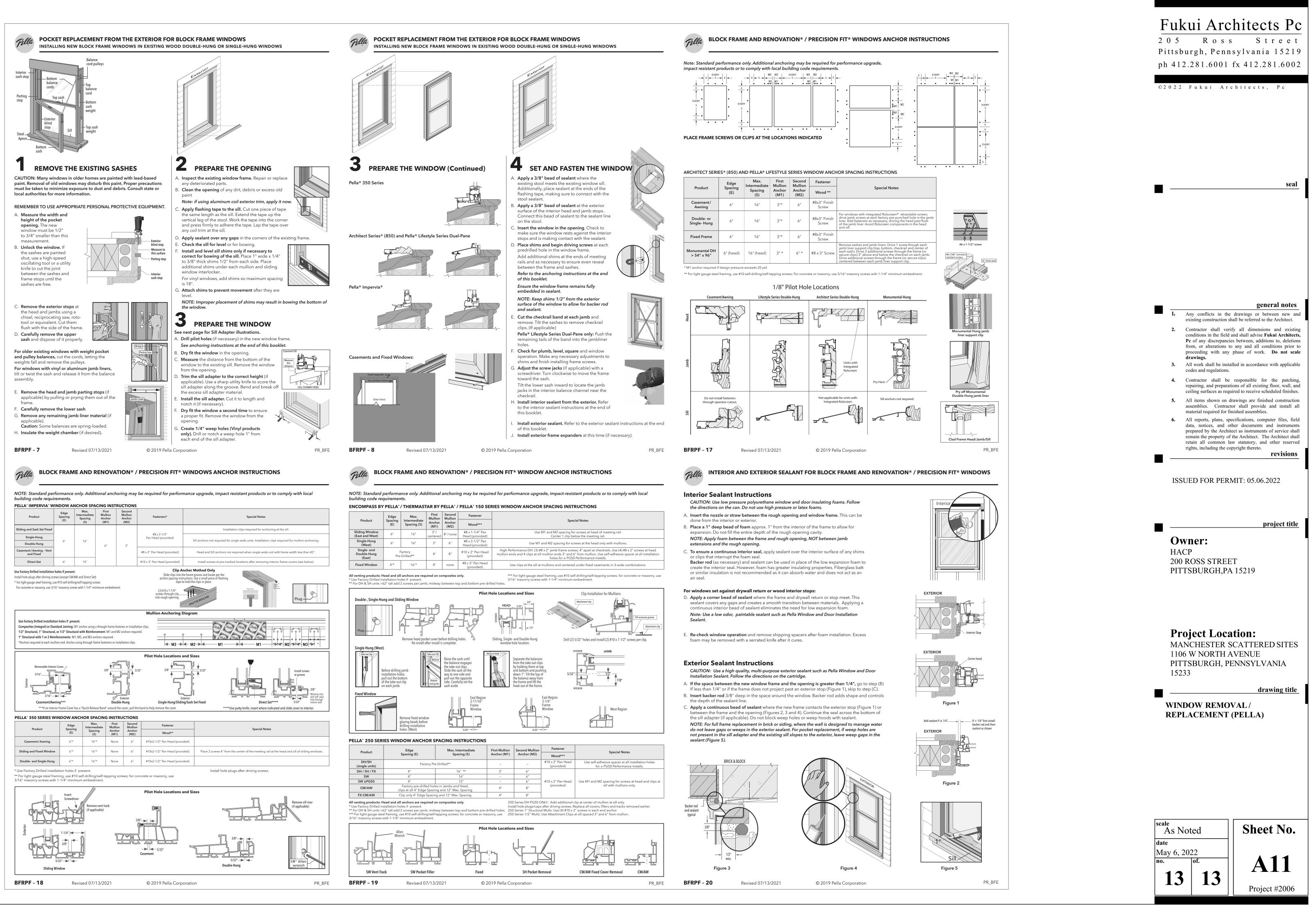
MAX 4"_____



NOT TO SCALE



Project #2006



## PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

## Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

**Development Characteristics** Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

## As the **DESIGN ARCHITECT**, I certify that:

**Development Amenities** 

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis. 

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. ( schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

## As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

## 2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallwavs. 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	<ul> <li>The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.</li> <li>Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.</li> <li><u>New Construction</u>:         <ul> <li>For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)</li> </ul> </li> </ul>	X       The Fair Housing Act of 1988 & Fair Housing Desig         X       ANSI A117.1-2009 (or edition currently adopted by         X       Pennsylvania Uniform Construction Code         X       Uniform Federal Accessibility Standards (UFAS)         X       Section 504 of the Rehabilitation Act of 1973         X       2010 ADA Standards for Accessible Design         X       Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.)         NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	<ul> <li>For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)</li> <li>Preservation (Moderate Rehab) *:</li> <li>For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>* Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.</li> </ul>	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	<ul> <li>NOTE:</li> <li>Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.</li> <li>All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.</li> </ul>	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA   210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to _____ accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 b 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- ____X When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Large Family Units As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable	205 Ross Stree Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
units with three or more bedrooms: *High rise developments and senior housing cannot qualify for this category.	
71       Total units       >>15 - 20% of all units         43       Total number of affordable 3 or more-bedroom units       >>20 - 25% of all units         >>10-15% of all units (suburban/rural developments only)       X       >>25% of all units         DESIGN ARCHITECT       X       >>25% of all units         Signed:       Date:       4.19.202         Print:       Total value, Accepted by the APPLICANT(S)       Date:         Signed:       Date:	©2022 Fukui Architects, Pc
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA     212	
DAM_09_02 CREMTIPICATION OF SELECTION CRITERIA         DEVIDUATION OF SELECTION CRITERIA         SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)         DESIGN ARCHITECT         I critify that for preservation developments:	<ul> <li>In the field and shall derive the Architect of any discrepancies between, additions to, delete for any discrepancies as required to receive scheduled finite.</li> <li>All tems shown on drawings are finished construct schedules for the protein schedule assemblies. Contractor shall provide assemblies.</li> <li>All tems shown on drawings are finished construct schedules for the protein schedule assemblies.</li> <li>All temps the Architect as instruments of service scheduled for the property of the Architect. The Architect as instruments of service schedules are the property of the Architect. The Architect as instruments of service as instruments.</li> </ul>
SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)         DESIGN ARCHITECT, I certify that for preservation developments:	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, deleti from, or alterations to any and all conditions prior proceeding with any phase of work. Do not su drawings.</li> <li>All work shall be installed in accordance with applicat codes and regulations.</li> <li>Contractor shall be responsible for the patchine repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish.</li> <li>All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, findata, notices, and other documents and instrume prepared by the Architect as instruments of service stream in the property of the Architect. The Architect stream all common law statutory, and other reserving thes, including the copyright thereto.</li> </ol>
SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)  DESIGN ARCHITECT, I certify that for preservation developments:            x         The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria).  Enterprise Green Communities Criteria for Preservation Developments  servation developments are not required to follow the mandatory 2020 Enterprise Green mmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the owing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance).  Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Frutures (Applicable only to new infutures) Extra (policable only to new infutures) Extra (policable only to new appliances) Extra (policable on (Applicable on env addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and noofing) Extra (policable only to new ingine requirements are applicable to new walls, windows and noofing) Extra (Carrbon monoxide alarm requirements apply to all projects with combustion equipment. (Carbon monoxide alarm requirements are applicable to new combustion equipment. Venting requirements are applicable to new combustion equipment. Venting requirements are applicable to new combustion equipment. Management (Applicable only to reak equipment). Extra (policable conty the trans a contended be to meaction). Extra (policable on exampliances) Extra (po	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, deleti from, or alterations to any and all conditions prior proceeding with any phase of work. Do not su drawings.</li> <li>All work shall be installed in accordance with applicat codes and regulations.</li> <li>Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish.</li> <li>All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fi data, notices, and other documents and instrume prepared by the Architect as instruments of service si retain all common law statutory, and other reserving its, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> </ol>
SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)           DESIGN ARCHITECT, I certify that for preservation developments:	<ul> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prior proceeding with any phase of work. Do not set drawings.</li> <li>All work shall be installed in accordance with applied codes and regulations.</li> <li>Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish.</li> <li>All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fid data, notices, and other documents and instrume prepared by the Architect as instruments of service stream in the property of the Architect. The Architect as remain the property of the Architect. The Architect as remain the property of the Architect. The Architect as remain the property of the Architect. The Architect as remain the property of the Architect. The Architect as remain the property of the Architect. The Architect as remain the property of the Architect. The Architect as remain the property of the Architect. The Architect as retain all common law statutory, and other reserrights, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> </ul>
SYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)  DESIGN ARCHITECT, I certify that for preservation developments:            x	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and exist conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, deleti from, or alterations to any and all conditions prior proceeding with any phase of work. Do not so drawings.</li> <li>All work shall be installed in accordance with applicat codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish.</li> <li>All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fi data, notices, and other documents and instrume prepared by the Architect as instruments of service si remain the property of the Architect. The Architect si retain all common law statutory, and other reservinghts, including the copyright thereto.</li> <li>ISSUED FOR PERMIT: 05.06.2022</li> </ol>

## **Project Location:**

MANCHESTER SCATTERED SITES 1108 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233

drawing title

**SELECTION CRITERIA**, THRESHOLD CRITERIA, **TABULAR SCHEDULE** 

TABULAR AREA UNIT SCHEDULE			
UNIT # GROSS AREA (SF) NET AREA (SF)			
SFR	2,520	2,249	

scale As Noted		Sheet No.
date		
May 6, 202	22	
no.	of.	<b>A0</b>
1	13	
		Project #2006

# MANCHESTER SCATTERED SITES

## HACP, Existing Triplex Unit Repairs and Level 2 Alterations 1108 W NORTH AVENUE PITTSBURGH PENNSYLVANIA 15233 **3 BEDROOM UNIT**

## **Drawing Index**

**A0 PHFA DOCUMENTS** 

SELECTION CRITERIA

THRESHOLD CRITERIA TABULAR SCHEDULE

A1 COVER SHEET	
	ARCH PRLIM SET
	CODE AND CONTACT INFO
	MANCHESTER SCATTERED SITES MAP
A2 ABBREVIATION	NS AND MATERIALS
	ABBREVIATIONS AND MATERIALS
	DOOR TYPES
	DOOR SCHEDULE (WITH EXISTING)
	WINDOW SCHEDULE
	FINISH SCHEDULE
	SIDING WALL SECTION
	BRICK WALL SECTION
	INTERIOR STAIR DETAIL
A3 SCOPE/ GENER	AL / GREEN COMMUNITY NOTES
	GENERAL NOTES
	ENERGY NOTES
A4 SITE PLAN AND	O ROOF PLAN
	ROOF PLAN
	SITE PLAN
	ROOF AND SITE PLAN LEGEND
	ROOF PLAN NOTES
	GRAPHIC SCALES
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
A5 FLOOR / DEMO	PLANS
	GENERAL DEMOLITION NOTES
	DEMOLITION PLAN LEGEND
	THIRD FLOOR / DEMO PLAN

## **Code Conformance Information**

Applicable Codes	
General:	2015 Int
	2015 In
Accessibility:	2009 IC
Energy:	2015 Int
Electrical:	2014 NI
Fire:	2015 Int
Fuel Gas:	2015 Int
Mechanical:	2015 Int
Plumbing:	2017 Al
Fire Alarm:	2013 NF
Sprinkler:	2013 NH
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R-2"
Stories:	3 story v

2,249 sqft Gross Area Construction Type: Sprinklers: None Smoke detector:

## **Contact Schedule**

forward questions as appropriate to the consulting engineers. **Building Owner:** 

Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic

Architect: Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA

## **General Description of Work**

- Notes on Sheet A-3.
- Architectural Scope Notes.

## **General Note Related to Quantities** Shown in Documentation

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-

	ROOF PLAN NOTES
	GRAPHIC SCALES
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
A5 FLOOR / D	DEMO PLANS
	GENERAL DEMOLITION NOTES
	DEMOLITION PLAN LEGEND
	THIRD FLOOR / DEMO PLAN
	SECOND FLOOR / DEMO PLAN
	BASEMENT / DEMO PLAN
	FIRST FLOOR / DEMO PLAN
	SMALL UNIT KEYNOTES
	GRAPHIC SCALES
A6 FLOOR/FI	NISH/MECH./PLUMB. PLANS
	BASEMENT/FINISH/MECH./PLUMB. PLAN
	GRAPHIC SCALES
	FLOOR PLAN LEGEND
	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
A7 FLOOR/FI	NISH/MECH./PLUMB. PLANS
	GRAPHIC SCALES
	FLOOR PLAN LEGEND
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
A8 REFL. CE	LING / POWER / DATA PLANS
	THIRD FLOOR REFL. CEILING / POWER / DATA PLAN
	SECOND FLOOR REFL. CEILING / POWER / DATA PLAN
	BSMT REFL. CEILING / POWER / DATA PLAN
	FIRST FLOOR REFL. CEILING / POWER / DATA PLAN
	SMALL UNIT KEYNOTES
	LIGHTING SCHEDULE
	RCP LEGEND
	GRAPHIC SCALES
A9 ELEVATIO	DNS
	NORTH ELEVATION
	SOUTH ELEVATION
	GRAPHIC SCALES
	EAST ELEVATION
	SMALL UNIT KEYNOTES
A10 KITCHEN	N ENLARGED PLANS AND ELEVATIONS
	FIRST FLOOR KITCHEN ENLARGED PLAN
	KITCHEN ELEVATION 02
	KITCHEN ELEVATION 03
	KITCHEN ELEVATION 01
A11 DETAILS	
	DECK SECTION DETAIL
	DECK ENLARGED DETAILS
	DECK ENLARGED DETAILS WINDOW INSTALLATION UNDER VINYL SIDING

nternational Building Code International Building Code CC/ANSI A117.1 nternational Energy Conservation Code NEC (NFPA 70) nternational Fire Code nternational Fuel Gas Code nternational Mechanical Code Allegheny County Health department Plumbing Code

JFPA 72 VFPA 13 alteration per the IEBC

with basement

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will

Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.



## Fukui Architects Pc

Ross Street 2 0 5 Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

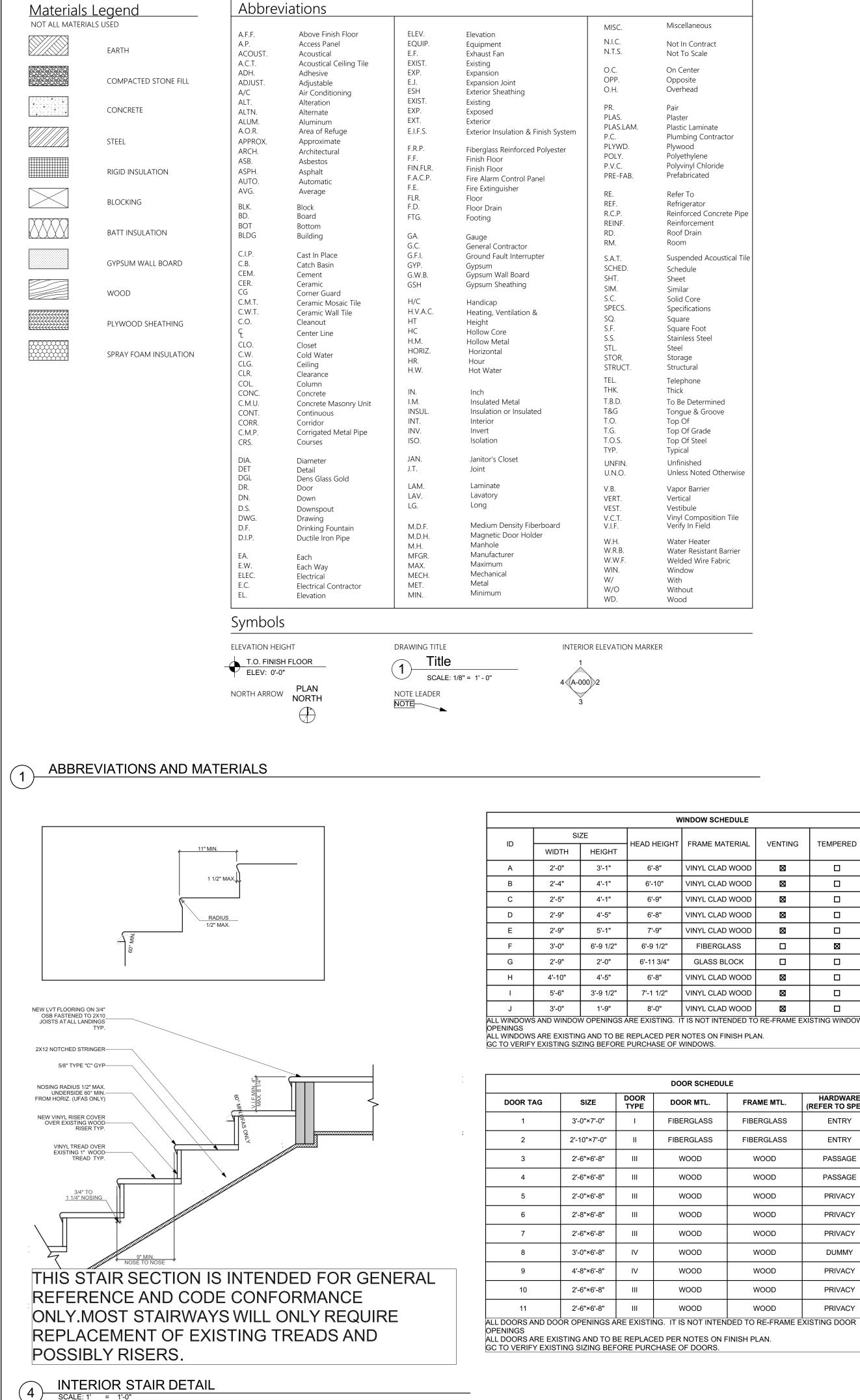
©2022 Fukui Architects, Pc

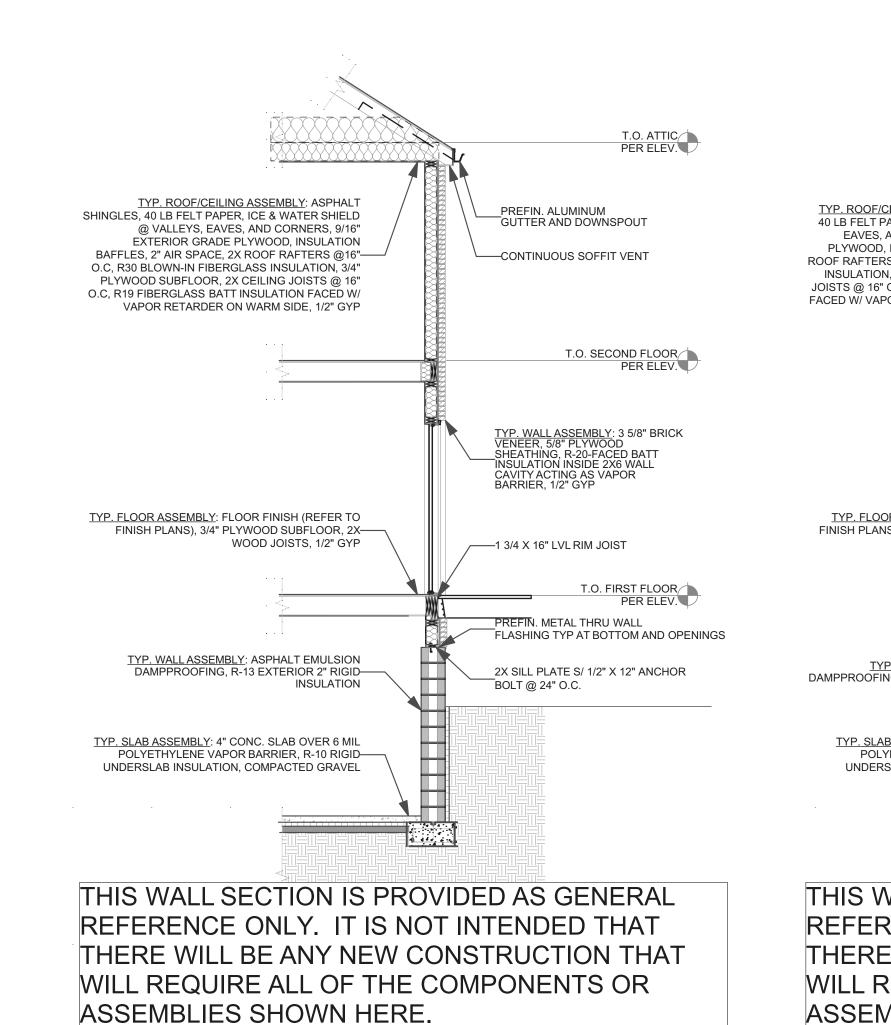
seal general notes Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings. 3. All work shall be installed in accordance with applicable codes and regulations. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions ISSUED FOR PERMIT: 05.06.2022 project title **Owner:** HACP 200 ROSS STREET PITTSBURGH,PA 15219 **Project Location:** MANCHESTER SCATTERED SITES 1108 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233 drawing title **MANCHESTER SCATTERED SITES** MAP, ARCH PRLIM SET, CODE **AND CONTACT INFO Sheet No.** As Noted date May 6, 2022



13

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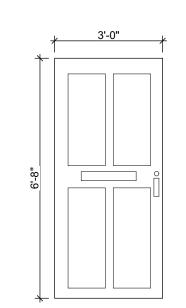


**BRICK WALL SECTION** 

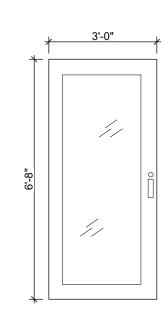
(2

FRAME MATERIAL	VENTING	TEMPERED				
VINYL CLAD WOOD						
VINYL CLAD WOOD						
VINYL CLAD WOOD						
VINYL CLAD WOOD	⊠					
VINYL CLAD WOOD	⊠					
FIBERGLASS		⊠				
GLASS BLOCK						
VINYL CLAD WOOD	⊠					
VINYL CLAD WOOD	⊠					
VINYL CLAD WOOD	$\boxtimes$					
IS NOT INTENDED TO RE-FRAME EXISTING WINDOW						
NOTES ON FINISH PLAN. /INDOWS.						

FINISH SCHEDULE			
NAME	FLOOR		
BEDROOM	09   LVT		
BTHRM	09   LVT		
CLO	09   LVT		
DINING ROOM	09   LVT		
ENTRY	09   LVT		
HALLWAY	09   LVT		
KITCHEN	09   LVT		
LIN. CLO	09   LVT		
LIVING ROOM	09   LVT		
PNTRY	09   LVT		
PWDR	09   LVT		



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING



EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS.GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HADRWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

## PRIVACY PRIVACY

HARDWARE

(REFER TO SPECS)

ENTRY

ENTRY

PASSAGE

PASSAGE

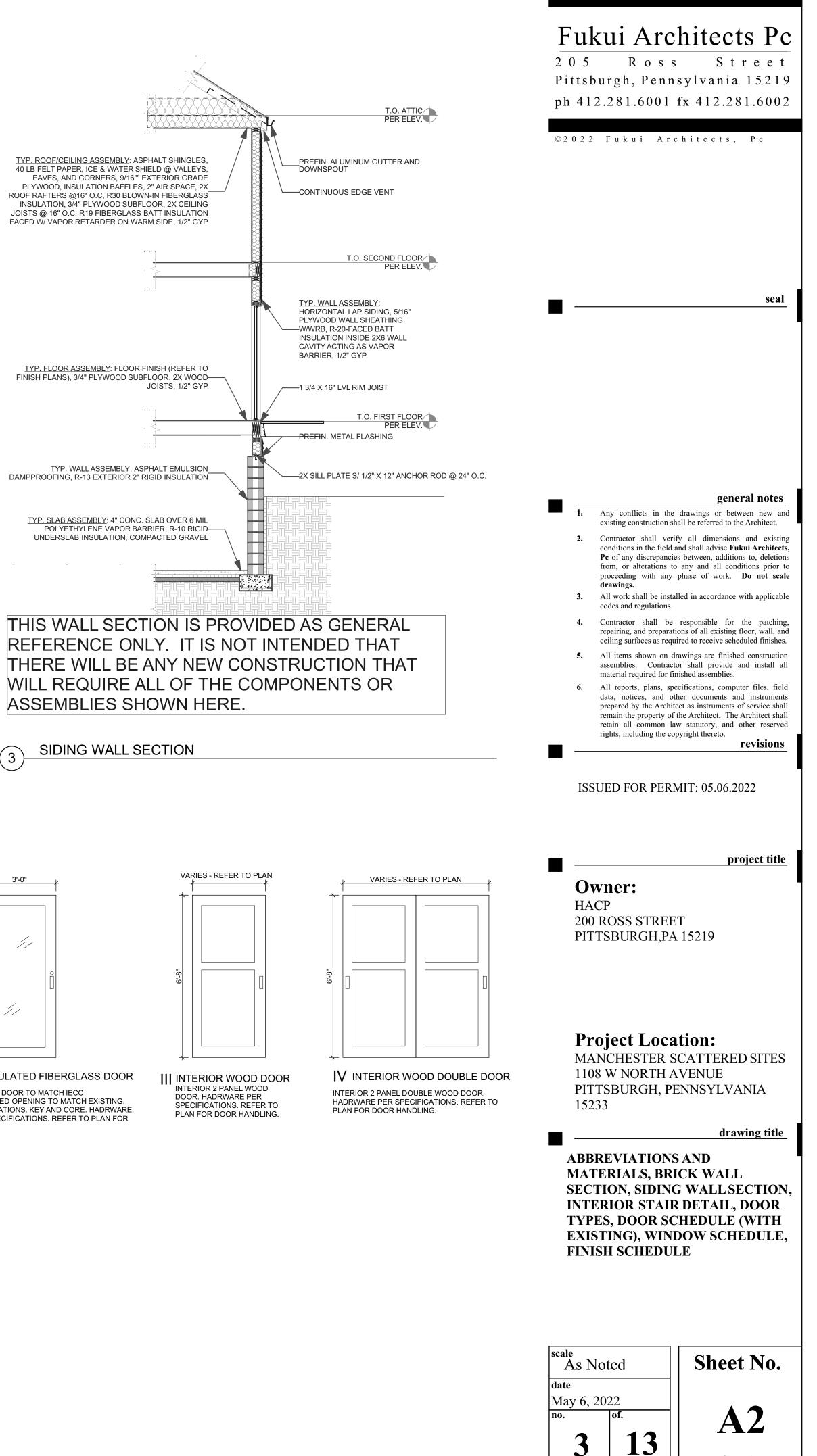
PRIVACY

PRIVACY

PRIVACY

DUMMY

PRIVACY



Project #2006

## **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

### MECHANICAL SCOPE NOTES

### THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

### ELECTRICAL SCOPE NOTES

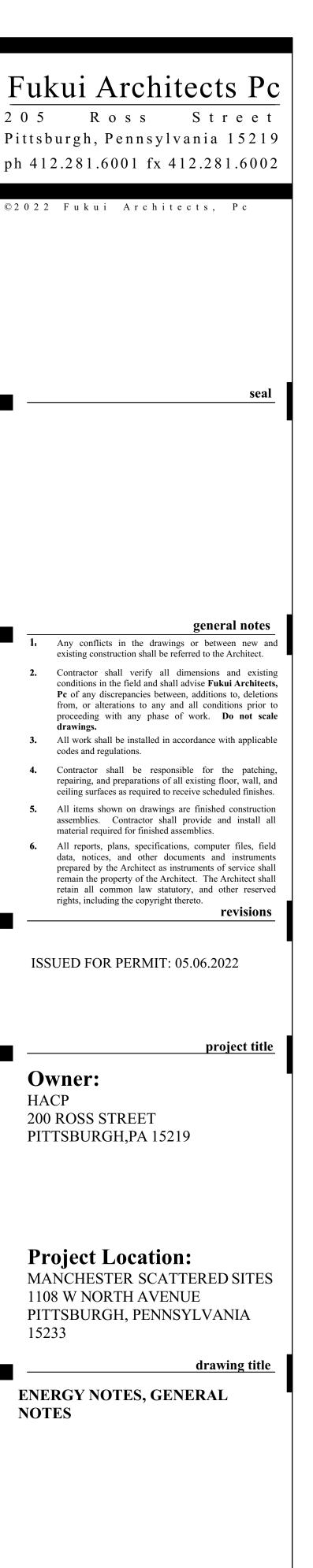
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

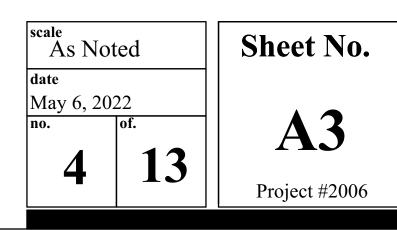
- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

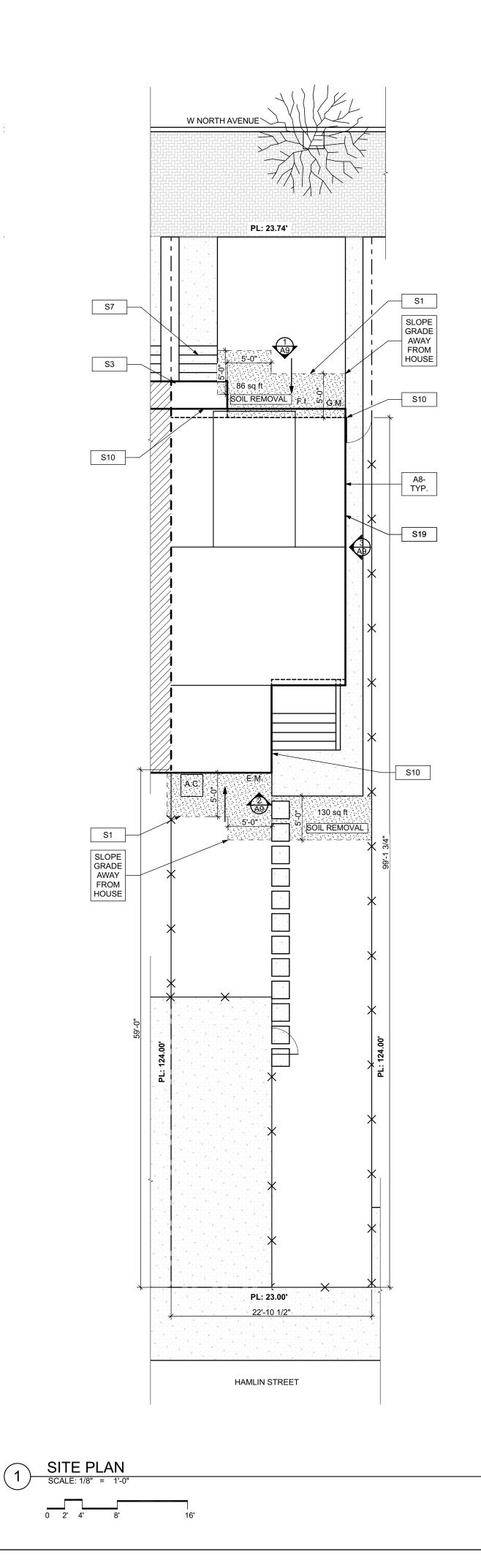
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

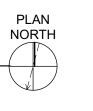
## **GREEN COMMUNITIES NOTES**

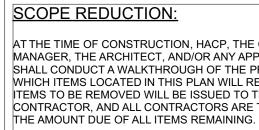
- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.





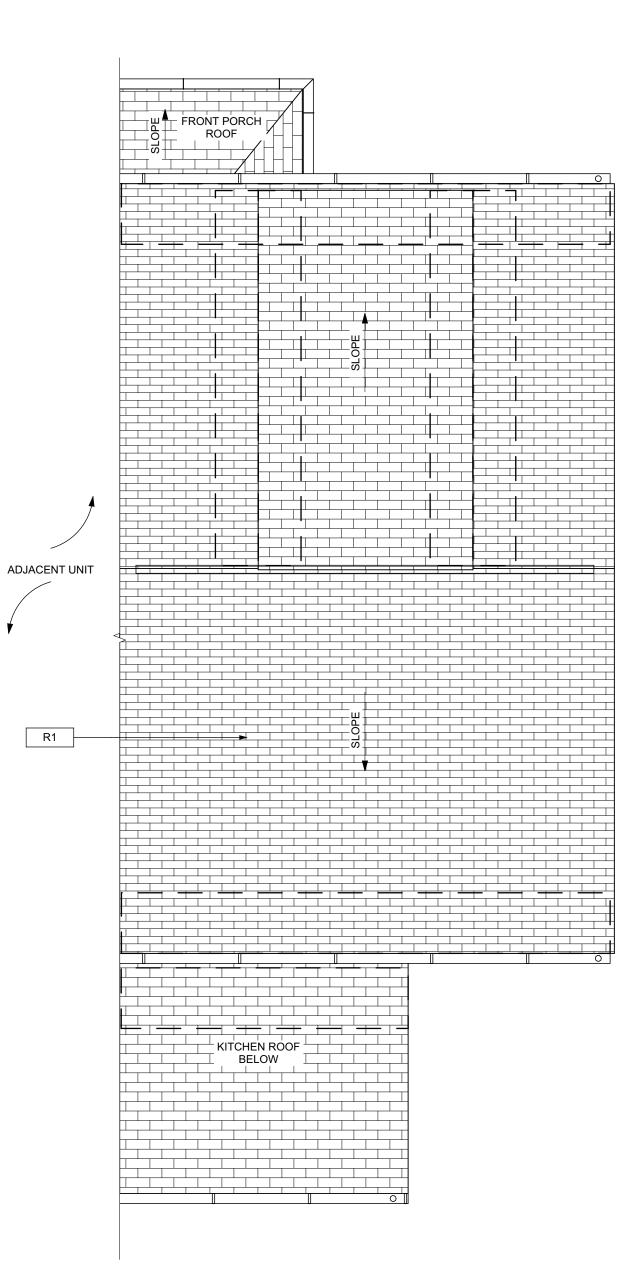






ROOF PLAN NOTES

- **- - - - P**A
- 0 1' 2' 4' – <u>– – – – – – P</u>R
- 2 ROOF PLAN SCALE: 1/4" = 1'-0" ROOF AND SITE PLAN LEGEND ------X----- PR



PROPERTY FENCE	
PROPERTY LINE	
BUILDING OUTLINE	
PARTY WALL	

GATE

STEPPING CONCRETE PADS

ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.

2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP

## SITE PLAN NOTES

G.M. GAS METER

F.I. FRESH AIR INTAKE

E.M. ELECTIC METER

A.C. AIR CONDITIONER CONDENSOR

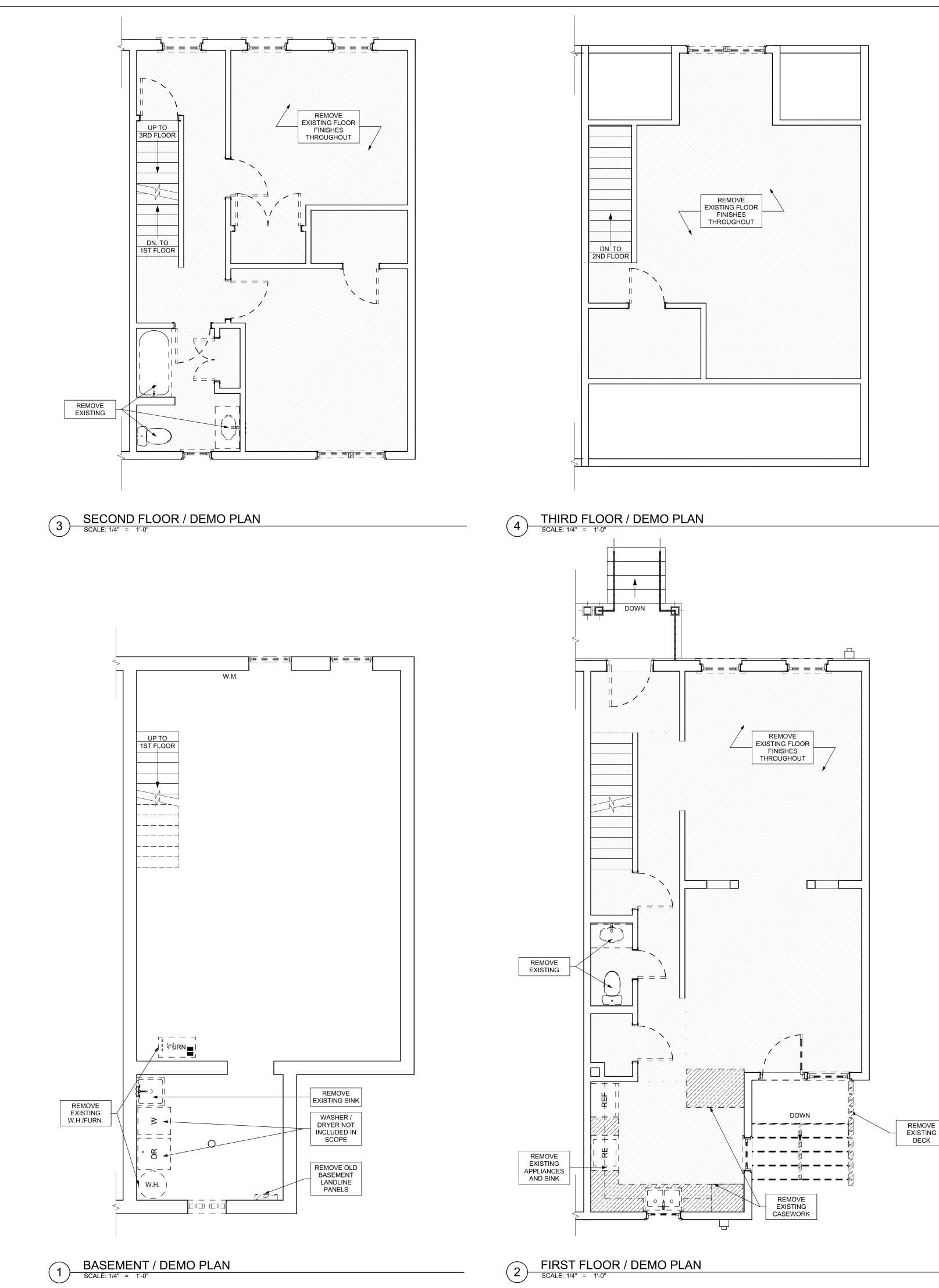
1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.

PLAN

NORTH

2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0".	Fukui Architects Pc
S2	REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	Pittsburgh, Pennsylvania 15219
S3	BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO	ph 412.281.6001 fx 412.281.6002
S4	MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	©2022 Fukui Architects, Pc
S5	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
S6	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4°, PROVIDE 3° GRAVEL BASE OVER WEED BARRIER. PROVIDE	
S12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	<ul><li>existing construction shall be referred to the Architect.</li><li>2. Contractor shall verify all dimensions and existing</li></ul>
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise <b>Fukui Architects</b> , <b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
ARCHI	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND DEDIACE WITH NEW MORTAR AND PRICK	proceeding with any phase of work. Do not scale drawings.
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patching.</li> </ol>
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	<ol> <li>Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.</li> </ol>
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.	<ul><li>material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, field data mating and other documents and instruments.</li></ul>
A6	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall
	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER SPECIFICATIONS.	retain all common law statutory, and other reserved rights, including the copyright thereto.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL, CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>Owner:</b>
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2/X1 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	Droigot I agations
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1108 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	SITE PLAN, ROOF PLAN, ROOF
PLUMB	NON-FUNCTIONING OR MISSING PLUMBING COVER	PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	SCALES, SMALL UNIT KEYNOTES
MECHA	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION	
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		date
		May 6, 2022 no. of. A4
		<b>5 13</b> Project #2006



GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND
- WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRC
- WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED. 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS. 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND

DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.

DEMOLISH EXISTING CASEWORK IN HATCHED AREA.

FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

0 1' 2'

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

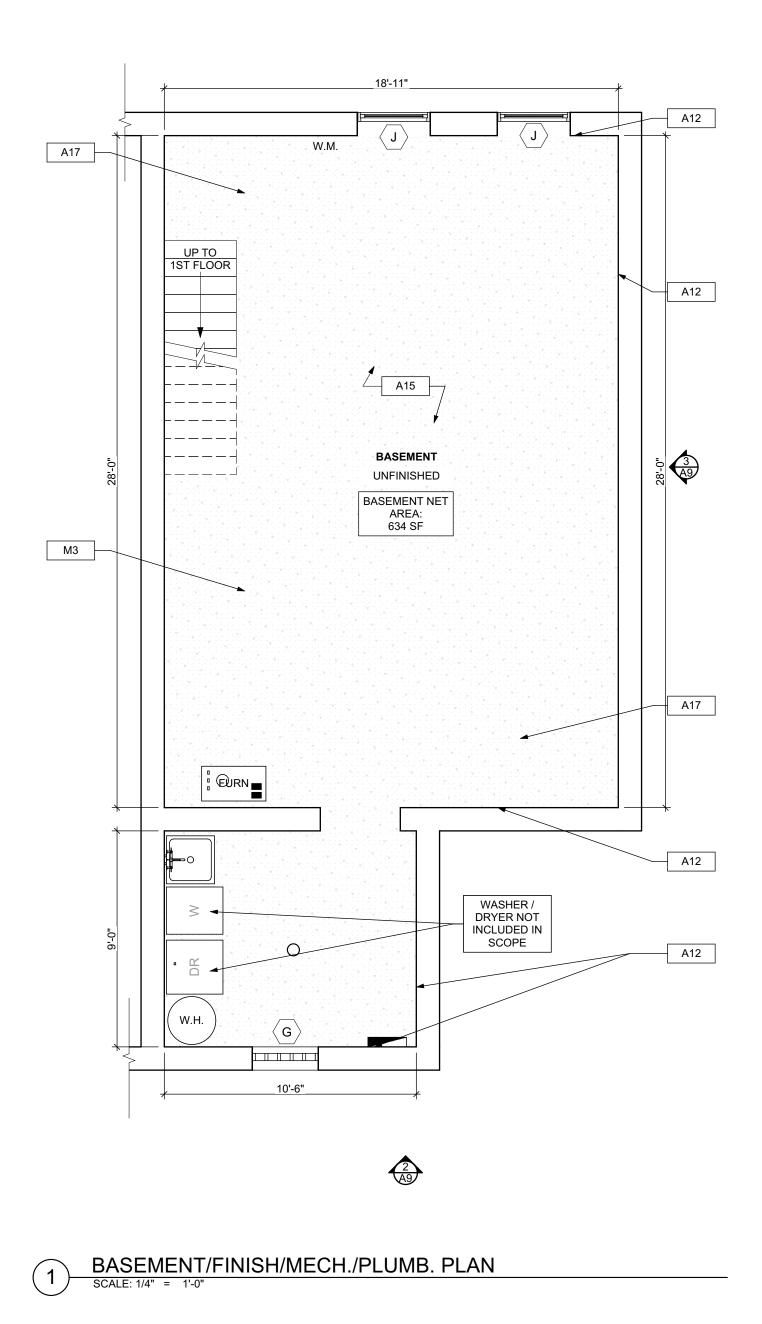
> PLAN NORTH

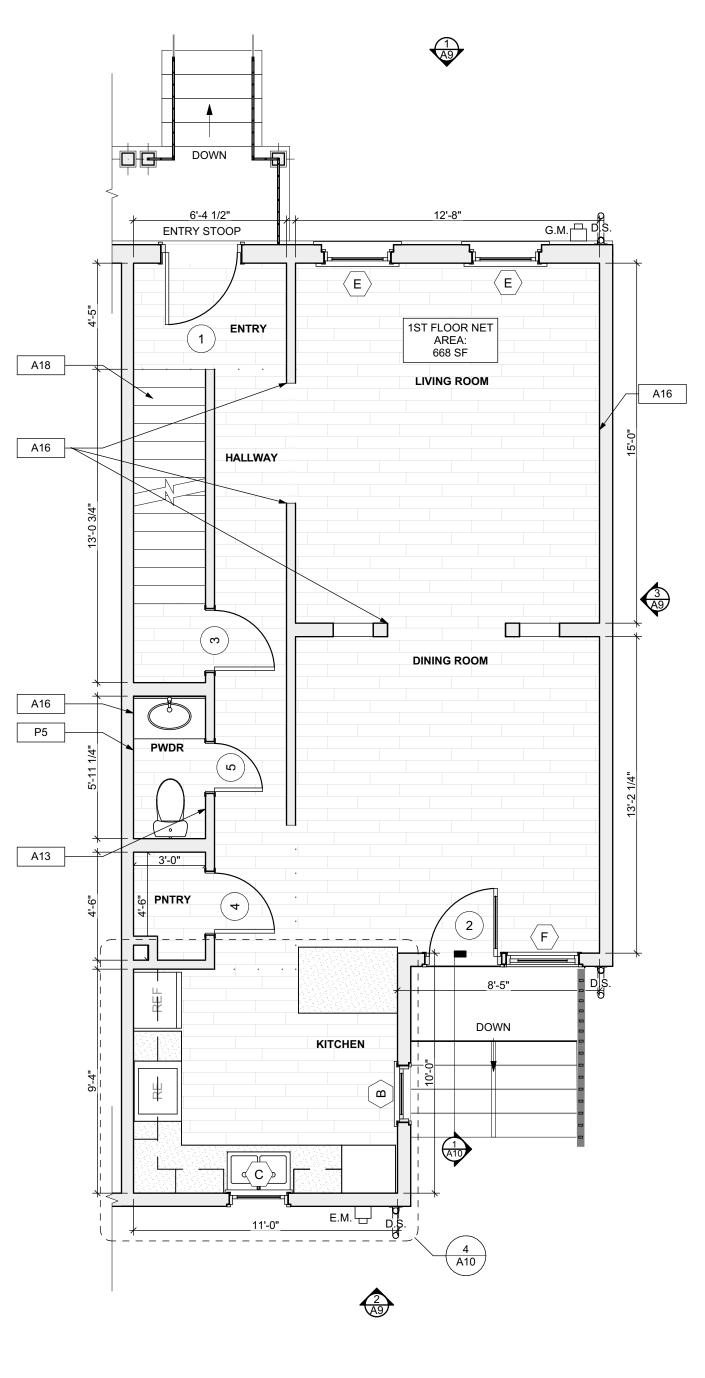
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<ul> <li>Pittsburgh, Pennsylvania 15219</li> <li>Pittsburg</li></ul>		ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE	
<ul> <li>Province of the second s</li></ul>		REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	
<ul> <li>Statistics of the second sec</li></ul>	S2	BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	
<ul> <li>CONTRACT ACCOUNT ON A CONTRACT ACCOUNT ON A CONTRACT ACCOUNT ON A CONTRACT ACCOUNT ACCOUNT A CONTRACT ACCOUNT ACCOU</li></ul>	S3	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW	
		MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
<ul> <li>Bigstrank and the second sec</li></ul>	<u>S4</u>	RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION	
		PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
<ul> <li>Mathematical and the second of the second of</li></ul>	S5	LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER	
<ul> <li>Sett</li> <li>Sett<td></td><td>AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION</td><td></td></li></ul>		AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
	S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
<ul> <li>Control and a second sec</li></ul>		REPAIR METER AS NECESSARY WITH CITY OF	
	S7	POUR NEW CONCRETE WHERE STEP IS CHIPPED	seal
<ul> <li>The second second</li></ul>	S8	TRIM EXISTING TREE AWAY FROM BUILDING AS	
	S9	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER	
<ul> <li>Mathematical Control (1997)</li> <li>Mathematical Control (19</li></ul>	310	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT	
	S11	REFER TO SPECIFICATIONS FOR DETAILS.	
<ul> <li>Minimum management of a second second</li></ul>		DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE	
Image: A standard of the stand	S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN	
<form><ul> <li>All Andreas And All Andreas All All All All All All All All All Al</li></ul></form>		ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A	
	313	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
Description       Description         Image: Description of the set of the se	314	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE	
<ul> <li>Manual and the mathematical and the second se</li></ul>	D00-	NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	1. Any conflicts in the drawings or between new and
<ul> <li>Better State Stat</li></ul>		DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE	
ARCHITECTURAL         Image: An intervent with the intervent of the		FLASHING, VENTS, CRICKETS, ETC. REFER TO	conditions in the field and shall advise <b>Fukui Architects</b> , <b>Pc</b> of any discrepancies between, additions to, deletions
<ul> <li>All work half be baseline scale of the second second</li></ul>			from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale</b>
<ul> <li>Minimum and Angeneration of the Section of the Sectio</li></ul>		EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	3. All work shall be installed in accordance with applicable
<ul> <li>Burden extrange of the second o</li></ul>	A2	FROM FACE OF CMU WALL. PREP AND PAINT PER	4. Contractor shall be responsible for the patching,
<ul> <li>Scheet muchail. Mr. Records and more and mor</li></ul>	A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	
<ul> <li>A. If the part of the control of the c</li></ul>	A4	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	assemblies. Contractor shall provide and install all
Bit and State Sta	A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	-
<ul> <li>Terrain all common law statutory, and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and revision of the statutory and other reserved rights, michadag the copyright there. <i>revision</i></li> <li>Territor of the statutory and revision of</li></ul>		REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	prepared by the Architect as instruments of service shall
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<ul> <li>Ale and the designed and the control of the second of the s</li></ul>	A7	1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND	ISSUED FOR PERMIT: 05.06.2022
Sector	A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
ADJACHT WALL DO BLEUNG       project titlle         ADJACHT WALL D	A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND	
<ul> <li>Martin Bernstein Bruck and Bernstein Bernst</li></ul>		ADJACENT WALL OR CEILING.	project title
<ul> <li>HACP TO COLO.</li> <li>MARKEN TO COLOR ADJACK STRATE STRATE STRATE</li> <li>MARKEN TO COLOR ADJACK STRATE STRATE</li></ul>	A10	DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND	- Owner•
200 ROSS STREET         PLOTING TO UNIT LOCATOR FOR MERGING         PLOTI		REFER TO DETAIL DRAWINGS FOR MORE	
ABD APPLICABLE CONVECTION ADDRESS ADDRESS TO THE CONVECTION ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS THE CONVECTION ADDRESS AT EXAMINE TO THE CONVECTION ADDRESS AT	A11	FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2'X1' SPREAD FOOTING	
<ul> <li>Medium of the control of the provided and observed and ob</li></ul>	A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING	PHTISBURGH,PA 15219
Add Aff Y. WORK BEFANIABLE WARKING TO WARK TO NAME TO NAME TO THE WARKING THE WARKING TO THE WARKING TO THE WARKING TO THE WARKING TO THE WARKING T		MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY	
<ul> <li>PATCH AND REPART PRIVAL OR PLATTER PROVIDE OF ALL OFFICIATIONS TO BECOME WATER RESISTANT DRIVAL LA COLLEMAS REPLACE MEMORY DYNALL ALL CONNERS TO RECIEVE BERNAND OF ALL OR CLAWS REPLACE PERDINE LIVELINGS AND RECIEVE WATER RESISTANT DRIVAL OR CLAWS REPLACE MEMORY DYNALL CONNERS TO RECIEVE WATER RESISTANT DRIVAL OR CLAWS REPLACE MEMORY DYNALL CONNERS TO RECIEVE WATER RESISTANT DRIVEN TO AREA MEMORY DATA RESISTANT DRIVEN AND REAL TRANSMENT WILLS RESISTANT DRIVEN AND RANT NEW PLANT TO MEMORY DESCRIPTIONS SEA. TRANSMENT WILLS RESISTANT DRIVEN AND RANT NEW PLANT TO MEMORY DESCRIPTIONS SEA. TRANSMENT WALLS RESISTANT DRIVEN AND RANT NEW PLANT TO MEMORY DESCRIPTIONS SEA. TRANSMENT WALLS RESISTANT DRIVEN AND RANT NEW PLANT TO MEMORY DESCRIPTIONS OF TO REPLACE PLUMBING - REF ONLY. REFER TO PLUMB. DWG'S. RESISTING FAULT RECORD TO SUBJECT AND THE REPORT OF TO MEMORY RESISTING FAULT RECORD TO RECORD TO RESISTING FAULT RECORD TO RECORD TO RESISTING FAULT RECORD TO RECORD TO RECORD THE DRIVEN OF TO REPLACE RESISTING FAULT RECORD TO RECORD TO RECORD THE REAL RECORD TO RECORD TO RESISTING FAULT RESISTING FAULT RECORD TO RESISTING FAULT RECORD TO RECORD TO RESISTING FAULT RECORD TO RESISTI</li></ul>		AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
BESISTANT DEVIAUL ALL CONNERS TO RECEIVE         RAT       UNE-VENT ALL CONNERS TO RECEIVE         RAT       UNE-VENT ALL CONNERS TO RECEIVE         RAT       UNE-VENT ALL CONNERS TO REPLACE         Main DEPLACE ON DEVIAUL ALL UNERSEARCE TO NOT TO THE PROVIDED BY ARCHITECT       MAIN DEPLACE AND EXEMPTION TO THE PROVIDED BY ARCHITECT         RAT       AND REMOVE ANY EXSITING PAINT OR       MAIN DEPLACE ANY EXSITING PAINT OR         RAT       CLEAN EXSTING PAINT OR POINT OF WALLS         RAT       CLEAN EXSTING PAINT REVEAUNT TO         RAT       CLEAN EXSTING PAINT REVEAUNT TO         RAT       CLEAN EXSTING APEA WITH NON-MAIR PROVIDER         PLUMBING - REF. ONLY. REFER TO PLUME. DWOSS.       TO ALL CONTRACT RECEASER         PT       NON-FUNCTIONING ON MESING PLUMING COVER         PLUMBING - REF. ONLY. REFER TO MECH. DWOSS.       TO ALL CONTRACT ALL EXTERNOL         PT       NON-FUNCTIONING ON MESING PLUMING COVER         PC       EXCITING TATILIE OR PRIPHOLOGICAL AND EXCITING STAR         PT       NON-FUNCTIONING ON MESING PLUMING COVER         PT       NON-FUNCTIONING ON MESING PLUMING COVER         PT       RECENT ON SCIENCESSARY WINGLICKER ALL EXTERNOL         PT       RECENT ON CONTRACT ALL EXTERNOL         PT       REPORTING PLANCE AT EXTERNOL         RESECTION CONNER ON THE READY ON THE	A13	PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER	
FURTHER LEVELING RECURRED DIRECTIONS TO         ADD WATERPROOPNOAT AST RESENENT: SCRAPE         MINING REQUERTS         MINING RECORD         MINING RESTRICT TO SPECIFICATIONS FOR DETAILS         MINING RESTRICT TO	A14	RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE	Project Location.
<ul> <li>ADD WATEPROOF NG AT ASSEMENT: GRAPH of the construction of wall with proposed systems what or any second system of the assement of the construction of wall with proposed second systems with the assement of the construction of wall with proposed second systems with the system of the assement of the construction of wall with proposed second systems with the system of the system of the construction of the constructio</li></ul>	· • .	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	•
PER SPECIFICATIONS. SEAL TRANSITION OF WALL         NET       MECUJURED PRIME COMPAND PAINT NEW PAINT TO RECUJURED PRIME COMPAND PAINT NEW PAINT TO CLEAN NO MATERNALS. REMOVE OWN AND ROAT.         ATT       CLEAN EXISTING AREA WITH NON-HAZARDOUST. CLEAN NO MATERNALS. REMOVE OWN AND ROAT.         ATT       CLEAN EXISTING AREA WITH NON-HAZARDOUST.         ATT       NEWFER TO SPECIFICATIONS FOR DETAILS.         PLUMBING - REF. ONLY. REFER TO PLUME DWG'S.       BASEMMENT / DEMO PLAN, SECOND FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, PENNED SCATED AT EXTENSION THE PRIME CLOATED AT EXTENSION THE CHANICAL - REF. ONLY. REFER TO MECH. DWG'S.         MT       PROMEWLY SUPPORT DUCTIONS KEXANSION THE CONTROL ALL BASEMENTS OF PENNED SCATED AT EXTENSION OF WALL         MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.       MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.         MT       PROMEWLY SUPPORT DUCTIONS KEXANSION THE CONTROL ALL BASEMENTS WITH MOSTURE SCAED ON ADJUEST MEDICATIONS ADDING DEMOLIPTION OUTLE OR CONNECTED OR INSTRUCT ALL BASEMENTS WITH MOSTURE USES ALSO ID GET WATERFROME ADDING DEMOLIPTION RECET DIAL AND ADDING DEMOLIPTION RECET DEMOLIPTIC OR CONNECTED OR INSTRUCT ALL BASEMENTS WITH MOSTURE USES ALSO ID GET WATERFROMEWLY OF ANTIGATE MOSTURE WITH CORRECT SIZING AS NECESSARY.         MM       EXISTING DUCT LOCE. DECONNECTED OR INSTRUCT ALL BASEMENTS WITH MOSTURE USES ALSO ID GET WATERFROMEWLY OF A PAINTAGE WITH CORRECT SIZING AS NECESSARY.	A15	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	1108 W NORTH AVENUE
Marcine Revention Repeating and Read with Non-HAZARDOUS         Marcine Revention Repeating and Reserve and Revention Repeating and Reserve a	A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	
CLEANING MATERIALS REMOVE DIRT AND RUST.          MB       NEW TREADS AND VERSE AT EXAMPLE         MB       NEFFER TO SPECIFICATIONS FOR DETAILS.         PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.       BASEMENT / DEMO PLAN, SECOND         FI       NON-FUNCTIONING OR MISSING PRUMBING COVER NECESSARY PER SPECIFICATIONS.         PC       EXISTING FIXTURE OR PIPING LOSE AND LEAVING TRUTE OR PIPING LOSE AND PIPING OR PIPING LOCATED AT EXTERIOR WALL         PC       EXISTING FIXTURE OR PIPING LOSE AND LEAVING TRUTE OR PIPING LOCATED AT EXTERIOR WALL         MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.       FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES         MC       NSPECTION CONDUCTED RECOMMENDS ADDING DOWTON, AR DESPECIFIE OR INCORRECT SIZE AND SECURE ALL DEMOLITION PLAN LEGEND, STREED ALL DOSE. DISCONCETED, OR INCORRECT SIZE AND SECURE ALL DEMOLITION PLAN LEGEND, STREED ALL DOSE. DESCONCETED, OR INCORRECT SIZE AND SECURE ALL DEMOLITION CONDUCTOR RETURNACE         MC       EXISTING DUCTOR RETED OR INCORRECT SIZE AND SECURE ALL DEMOLITION CONDUCTOR RETURNACE         MC       INSPECTION CONDUCTED RECOMMENDS ADDING DOWTON AR RECEISARY.         MC       DESTING DUCTOR RECEID. OR INCORRECT SIZE AND SECURE ALL DOWTON AR RECEID AND SECURE ALL DEMOLITION RECEID AS INCORECTED, OR INCORRECT SIZE AND SECURE ALL DEMOLITION RECEIDED AND ALL DEMOLITION RECEIDED AS INCORECTED, OR INCORRECT SIZE AND SECURE ALL DEMOLITION RECEIDED AS INCORECTED, OR INCORRECT SIZE AND SECURE ALL DEMOLITION AS INCORECTED, OR INCORRECT SIZE AND SECURE ALL DEMOLITION ADD AS INCORECTED AS I		REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.         PI       MOM-FUNCTIONING OR MISSING PLUMBING COVER OF REVIEW PART REPLACE PARTING         PI       MOM-FUNCTIONING OR MISSING PLUMBING COVER OF REVIEW PART REPLACE PARTING         PI       EXISTING PERCENDATIONS         MI       EXISTING PERCENDATIONS         MI       PROPERTY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.         MI       REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OF FURMACE.         MI       INSPECTION CONDUCTED RECOMMENTER CONTROL ALL BASEMENTS WITH MOISTURE CONTROL ALL BASEMENTS WITH MOSTURE CONTROL ALL BASEMENTS WITH ALL EXTENDE MI CONTROL ALL B		CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	drawing title
<ul> <li>PI NON-FUNCTIONING OF MISSING PLUMBING COVER OR FLYTING PART REPLACE PARTS AS CONSTRUCTIONING OF MISSING PLUMBING COVER OF FLYTING PART REPLACE PARTS AS CONSTRUCTIONS.</li> <li>PIC CONSTRUCTIONS OF MISSING PLUMBING COVER MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.</li> <li>MECHANICAL - REF. REPLACE MAINS ADDING DEHUMIDIFIER IN SPACE TO MITICATE MOISTURE CONTROL ALL BASEMENTS WITH MOISTURE SCALE ASS Noted</li> <li>MAY 6, 2022</li> <li>NO.</li> <li>MAY 6, 2022</li> <li>NO.</li> <li>MAY 6, 2022</li> <li>NO.</li> <li>MAY 6, 2022</li> <li>NO.</li> <li>MAY 6, 113</li> </ul>			
<ul> <li>MEDIZIONE DATA REPLACE PARTS AS MEDIZIONE DATA REPLACE PARTS AS PERSONNEL DISCONTENTS OR PERSONNEL PLANNER TOTURE OR PIPMO LOOSE AND LEANING TO THE AND SEALL LEXTERIOR MEDIZION CONTURE OF ALL LEXTERIOR MEDIZION CONTURE OF ALL ELEMENTS OR PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.</li> <li>MEDIZION CONDUCTED RECOMMENDS ADDING DEMUMDIFIER FEATURE AND SECURE ALL USING ALL ASSEMENTS WITH MOISTURE CONTROL LAIL BASEMENTS WITH MOISTURE CONTROL LAIL BASEMENTS WITH MOISTURE CONTROL LOOSE, DISCIDLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.</li> <li>MISPECTION CONDUCTED RECOMMENDS ADDING DEMUMDIFIER CONNECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>MISPECTION CONSECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>MISPECTION CONSECTED, OR MAY OF A CONNECTED OR MAY OF A CONNECTED INFORMED ADDING DEMUMDIFIER MAY OF A CONNECTED INFORMATION OF THE AND STURE CONTROL AND SECONNECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>MISPECTION CONDUCTED RECOMMENDS ADDING DEMUMDIFIER MAY OF A CONNECTED OF AND SECONECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>MAY OF A CONNECTED OF AND SECONECTED, OR MAY OF A CONNECTED OF A DIRE OF THINNECH MAY OF A CONNECTED AS AND SECONECTED, OR MAY OF A CONNECTED AS AND SECONECTED, OR MAY</li></ul>		NON-FUNCTIONING OR MISSING PLUMBING COVER	
<ul> <li>DEMOLITION NOTES, DEMOLITE ALTERETINET OR PIPING OR PIPING LOCATED AT EXTERIOR WALL.</li> <li>MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.</li> <li>PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.</li> <li>REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.</li> <li>INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE USSUES ALSO TO GET WATERPROOPED. REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZING AS NECESSARY.</li> <li>Scale AS Noted date May 6, 2022.</li> <li>May 6, 2032.</li> <li>May 6, 20</li></ul>	P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	
<ul> <li>MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.</li> <li>MC PROPERTY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.</li> <li>MC REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AUAGENT DUCT OR FURNACE.</li> <li>MS INSPECTION CONDUCTED RECOMMENDS ADDING OPHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL ALL BASEMENTS WITH CORRECT SIZING AS NECESSARY.</li> <li>Scale As NOTED</li> <li>MG 6, 2022</li> <li>MG 6, 113</li> </ul>		REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	,
<ul> <li>REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.</li> <li>INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE (SOURD ALL BASEMENTS WITH MOISTURE (SUBS ALSO TO GET WATERPROPORED, REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>Existing DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE, REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.</li> <li>Scale As Noted</li> <li>date May 6, 2022 no.</li> <li>of.</li> <li>6</li> <li>133</li> </ul>			SMALL UNIT KEYNOTES,
<ul> <li>INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.</li> <li>EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE REPLACE AND SECURE ALL DUCTWORK. RECONNECTED OR WITH CORRECT SIZING AS NECESSARY.</li> <li><b>Scale</b> As Noted</li> <li><b>date</b> May 6, 2022</li> <li>no. of.</li> <li>of.</li> <li>6 133</li> </ul>		TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	GKAPHIC SUALES
CONTROL ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. scale As Noted date May 6, 2022 no. of. 6 133 A55	M3	INSPECTION CONDUCTED RECOMMENDS ADDING	
INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.		CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
$\begin{array}{c c c c c c c c c c c c c c c c c c c $	M4	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	scalo
May 6, 2022 no. of. A5 6 13			As Noted    Sheet No.
6 13 A5			
6 13			May 6, 2022

- A11 A12
- A13
- A14 A15
- A16
- A17 A18

- P1 P2 MEC M1 M2
- M3 M4





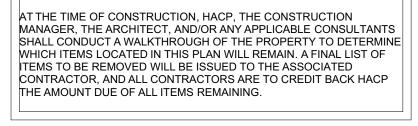


2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

## FLOOR PLAN LEGEND

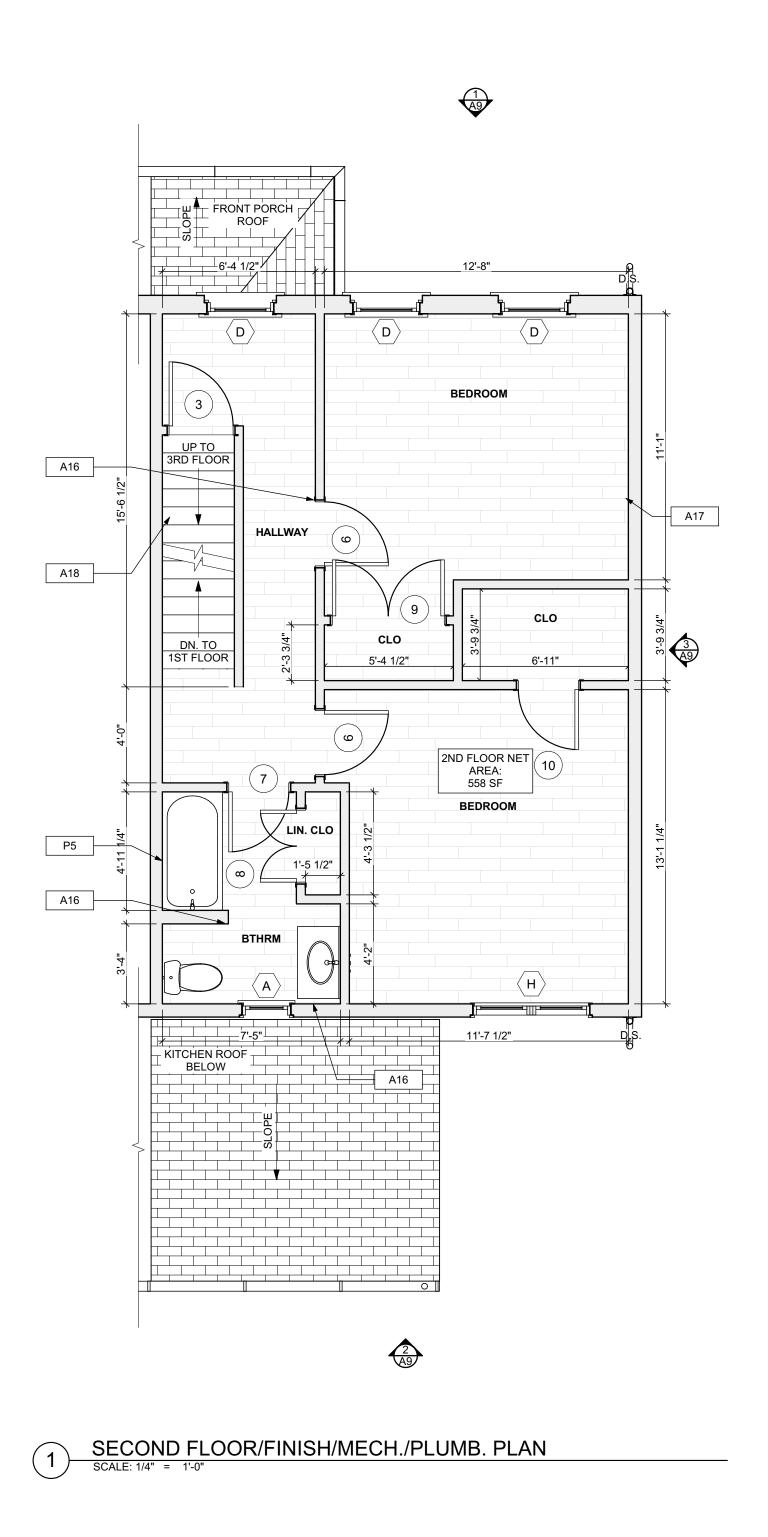
REF	FRIDGE
RE	RANGE
	GAS FURNANCE
<b>•</b>	UTILITY SINK
W	WASHER
$\bigcup^{\otimes}$	NEW DOOR AND DOOR NUMBER
W.H)	WATER HEATER
djs.	DOWN SPOUT
₽E.M.	ELECTRIC METER
H.B.	HOSE BIBB
DR •	DRYER

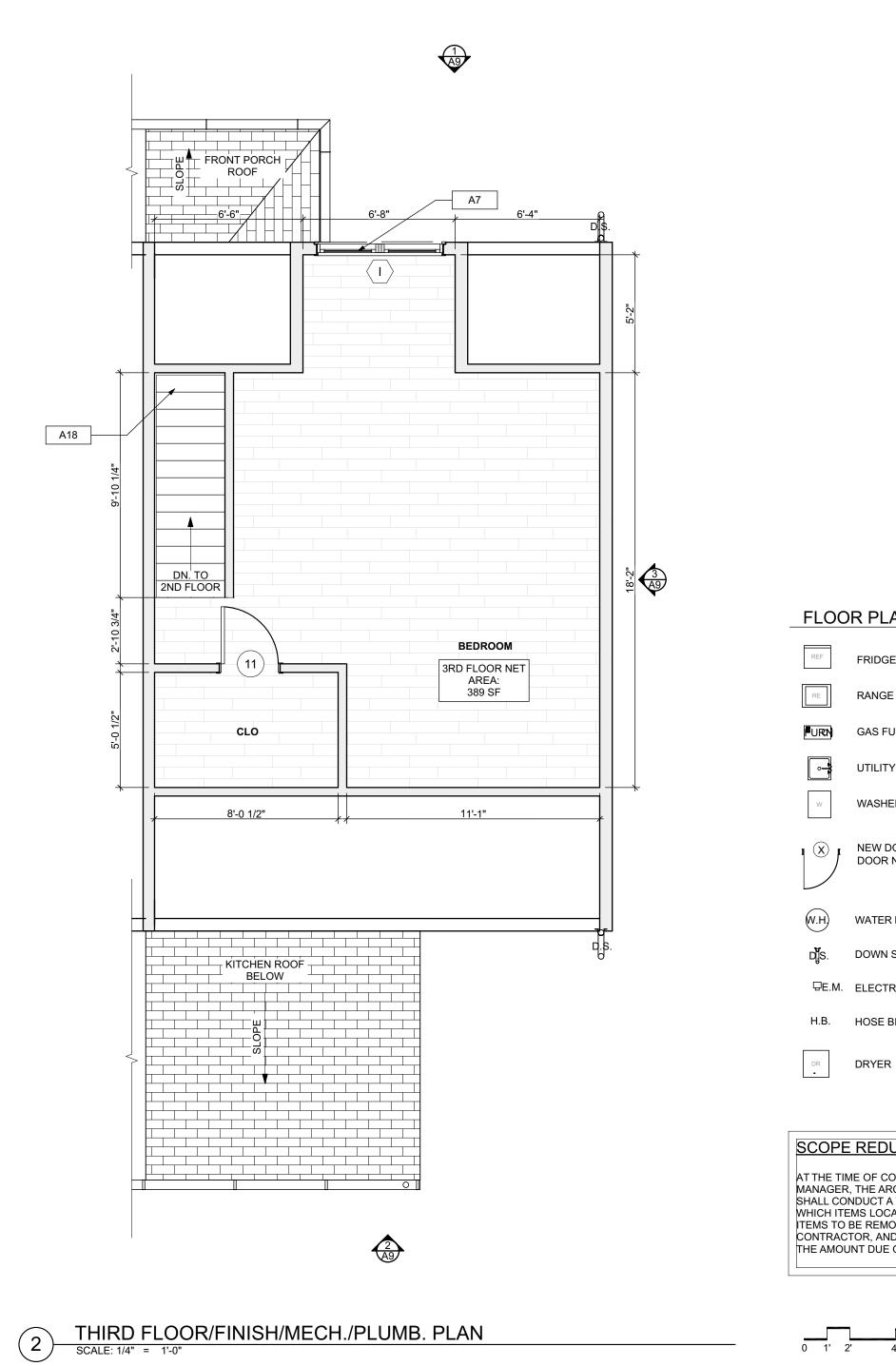
## SCOPE REDUCTION:



					PLAN
					NORTH
0	1'	2'	4'	8'	

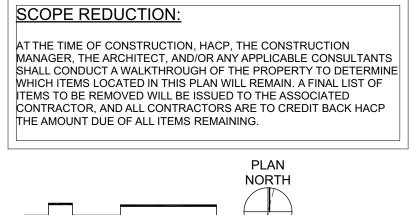
SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE	Fukui Architects Pc
52	EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	205 Ross Street Pittsburgh, Pennsylvania 15219
S2	BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	©2022 Fukui Architects, Pc
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	©2022 rukur Architects, PC
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK, BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>general notes</b> <b>1.</b> Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE,	existing construction shall be referred to the Architect.
	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from or alterations to any and all conditions prior to</li> </ol>
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL: SPOT SAW CUT DAMAGED BRICK	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale drawings.</b>
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	<ul><li>5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all</li></ul>
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	<ul><li>assemblies. Contractor shall provide and install all material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, field</li></ul>
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
	AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
A9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	<b>Owner:</b>
A11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE	НАСР
	FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
A13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING.	
	PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALLAT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	<b>Project Location:</b>
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SITES 1108 W NORTH AVENUE
A16	WATERPROOFING. PROVIDE IN LERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
A16	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
PLUMP	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT/FINISH/MECH./PLUM B. PLAN, FIRST
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR/FINISH/MECH./PLUMB.
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT
MECH	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	KEYNOTES
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	
M2 M3	BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE	
	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		date May 6, 2022
		no. of. A6
		7   13
		Project #2006





FLOOR PLAN LEGEND

1 200	
REF	FRIDGE
RE	RANGE
URN	GAS FURNANCE
	UTILITY SINK
W	WASHER
×	NEW DOOR AND DOOR NUMBER
W.H)	WATER HEATER
DJS.	DOWN SPOUT
₽E.M.	ELECTRIC METER
H.B.	HOSE BIBB
DR	DRYER



SITE	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,	Fukui Architects Pc
	PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	©2022 Fukui Architects, Pc
<u>S4</u>	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOLL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	©2022 fukul Aleniteets, ie
\$5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and existing construction shall be referred to the Architect
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ul> <li>existing construction shall be referred to the Architect.</li> <li>Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions</li> </ul>
ARCHIT	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale drawings.</b>
A2	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	<b>5.</b> All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<ul><li>material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall</li></ul>
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <b>revisions</b>
A7	WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	Ducient Lengtion.
A14 A15	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR	<b>Project Location:</b> MANCHESTER SCATTERED SITES 1108 W NORTH AVENUE
A16	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING, PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA
A16 A17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	15233
A18	CLEANING MATERIALS. REMOVE DIRT AND RÜST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	<b>B</b> drawing title SECOND
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR
MECHA M1	<b>NICAL - REF. ONLY. REFER TO MECH. DWG'S.</b> PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING	PLAN LEGEND, SMALL UNIT KEYNOTES
M3	BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		As Noted Sheet No. date May 6, 2022
		<b>A</b> 7
		<b>O I J</b> Project #2006



		LIGHTIN	NG SCHEDULE	-	
SYMBOL	Element ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
$\bigcirc$	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
uD	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
$\bigcirc$	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	12
Ū	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	3
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND

- SMOKE ALARM, PROVIDE NEW WHERE SHOWN S
- SC SMOKE/ CARBON MONOXIDECOMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT Ō
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPITCAL, 18" A.F.F. U.O.N. Φ
- ELECTRICAL RECEPITCAL, 44" A.F.F. U.O.N. **₩** CH
- € GFCI CH
- LIGHT SWITCH - **#** - -
- 🗴 EXHAUST FAN
- DOORBELL
- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

0 1' 2' 4'

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

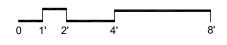
PLAN NORTH

SITE				1.1
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	2 0 5 R	Ross	
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	_		sylvania 15219 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fuku		
<u>S4</u>	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE			
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE			
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S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	<b>—</b> ——		seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND			
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.			
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER			
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.			
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.			
S14 <b>ROOF</b>	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.			drawings or between new and
ROOF R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	2. Contractor	r shall verit	all be referred to the Architect. fy all dimensions and existing and shall advise <b>Fukui Architects</b> ,
ARCHI	SPECIFICATIONS FOR DETAILS.	<b>Pc</b> of any from, or a	discrepancie alterations to	bes between, additions to, deletions of any and all conditions prior to phase of work. <b>Do not scale</b>
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	drawings. 3. All work s	•	lled in accordance with applicable
A2 A3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	repairing, a	and preparati	responsible for the patching, ons of all existing floor, wall, and ired to receive scheduled finishes.
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	5. All items	shown on di	rawings are finished construction or shall provide and install all
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.	material re 6. All reports	equired for fir ts, plans, spe	nished assemblies. ccifications, computer files, field
A6	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED	prepared b remain the	by the Archite e property of	her documents and instruments ect as instruments of service shall the Architect. The Architect shall
	REMOVE DRYWALL AND REPARE DAWAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.			w statutory, and other reserved pyright thereto. <b>revisions</b>
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A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.			
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A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT			
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.			
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A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1108 W NC	ORTH A	
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233	, 1 L	
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.			drawing title
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	DATA PLAN	N, FIRS	LING / POWER / ST FLOOR REFL.
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.			R / DATA PLAN, REFL. CEILING /
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	POWER / D FLOOR RE	DATA P EFL. CE	LAN, THIRD EILING / POWER /
MECHA	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	DATA PLAN KEYNOTE	,	
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.		,	DULE, GRAPHIC
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR	SCALES		
	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted		Sheet No.
		date May 6, 2022 no.  of.		
			13	<b>A8</b>
				Project #2006

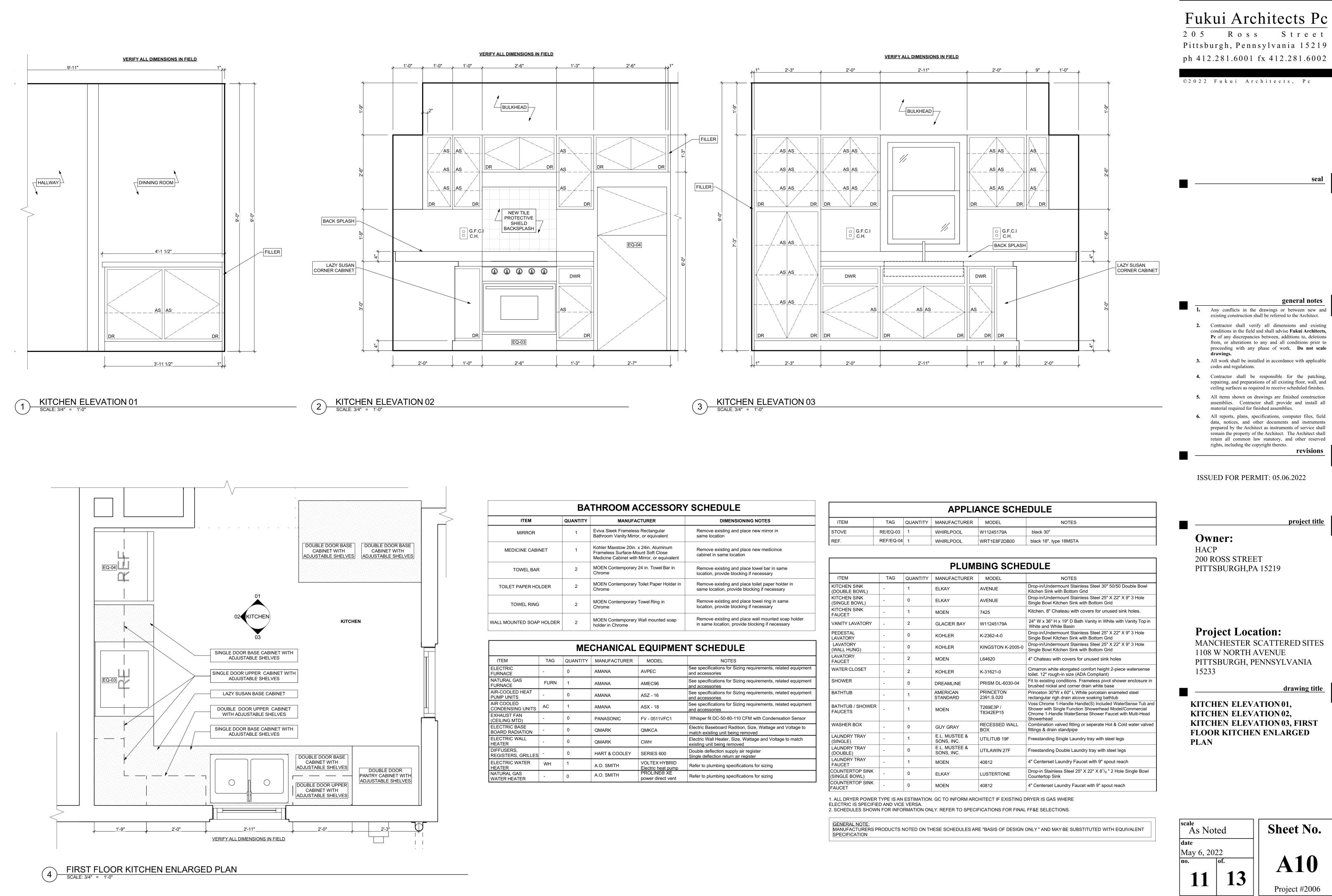


SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE	Fukui Architects Po
	CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street Pittsburgh, Pennsylvania 15219
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	•
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	©2022 Fukui Architects, Pc
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS, CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	—
	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"	
	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A	
S13	CLEAR HEIGHT OF 12'-0' MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER	
	RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	general notes           1. Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	<ul><li>existing construction shall be referred to the Architect.</li><li>Contractor shall verify all dimensions and existir</li></ul>
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion
ARCHI	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior proceeding with any phase of work. <b>Do not sca drawings.</b>
	EXTERIOR WALL SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<b>3.</b> All work shall be installed in accordance with applicab codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>5. All items shown on drawings are finished construction</li></ul>
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install a material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	6. All reports, plans, specifications, computer files, fiel data, notices, and other documents and instrumen
A6	NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED	prepared by the Architect as instruments of service sha remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE	rights, including the copyright thereto.
	WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING, REPAIR AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEAL ANT PER SPECIECATIONS	
A9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR.	project title
	DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	– Owner:
A11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW	HACP 200 DOSS STREET
	FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN, SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR	
	MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER.	
	REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING: REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT	<b>Project Location:</b>
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SITES 1108 W NORTH AVENUE
A40	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED, PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	NORTH ELEVATION, SOUTH
PLUME	NON-FUNCTIONING OR MISSING PLUMBING COVER	ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	KEYNOTES
	LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECHA	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION	
M1 M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE	
<b></b>	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		date May 6, 2022
		no. of.
		10 13 A
		<b>LU LJ</b> Project #2006

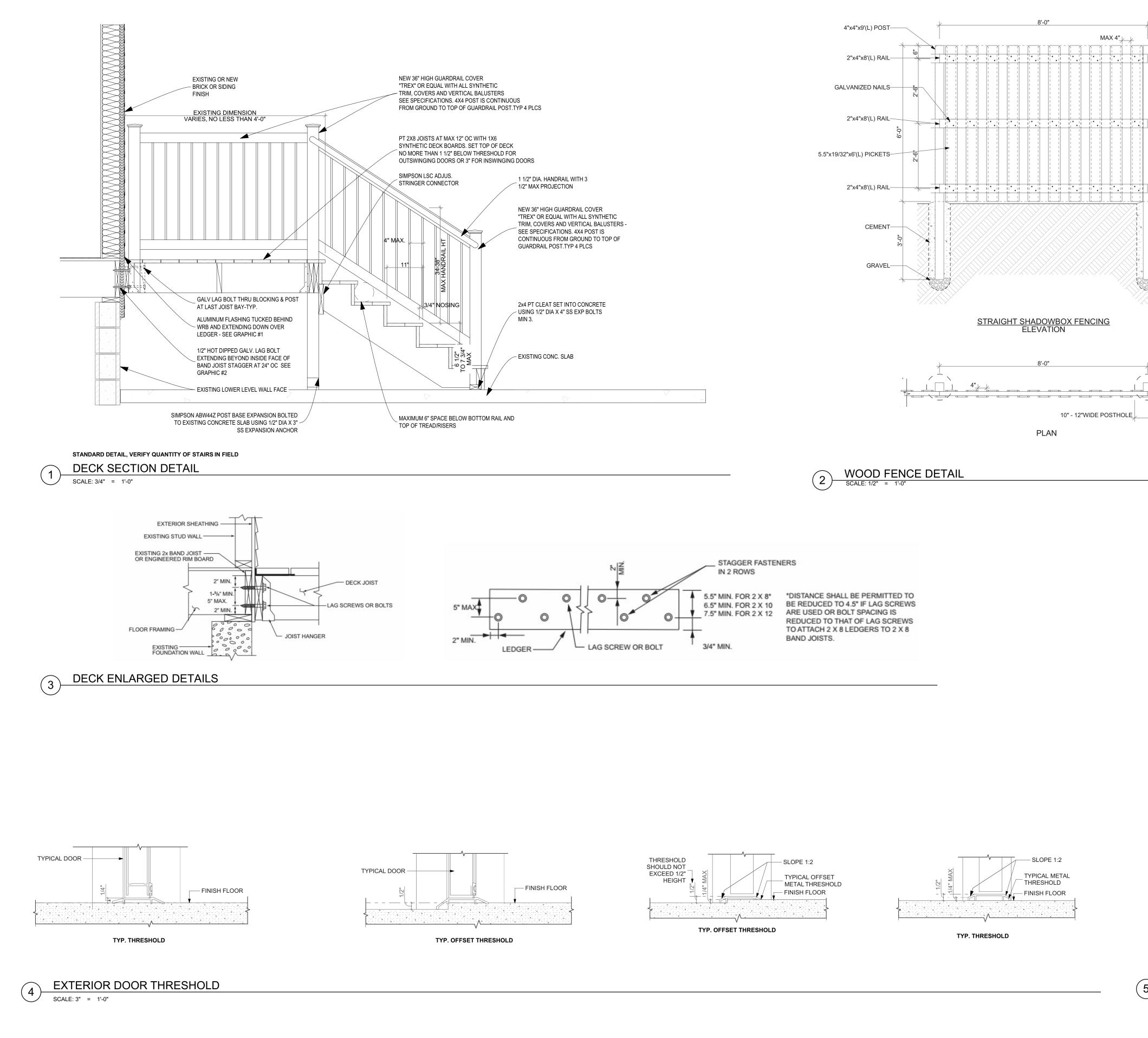


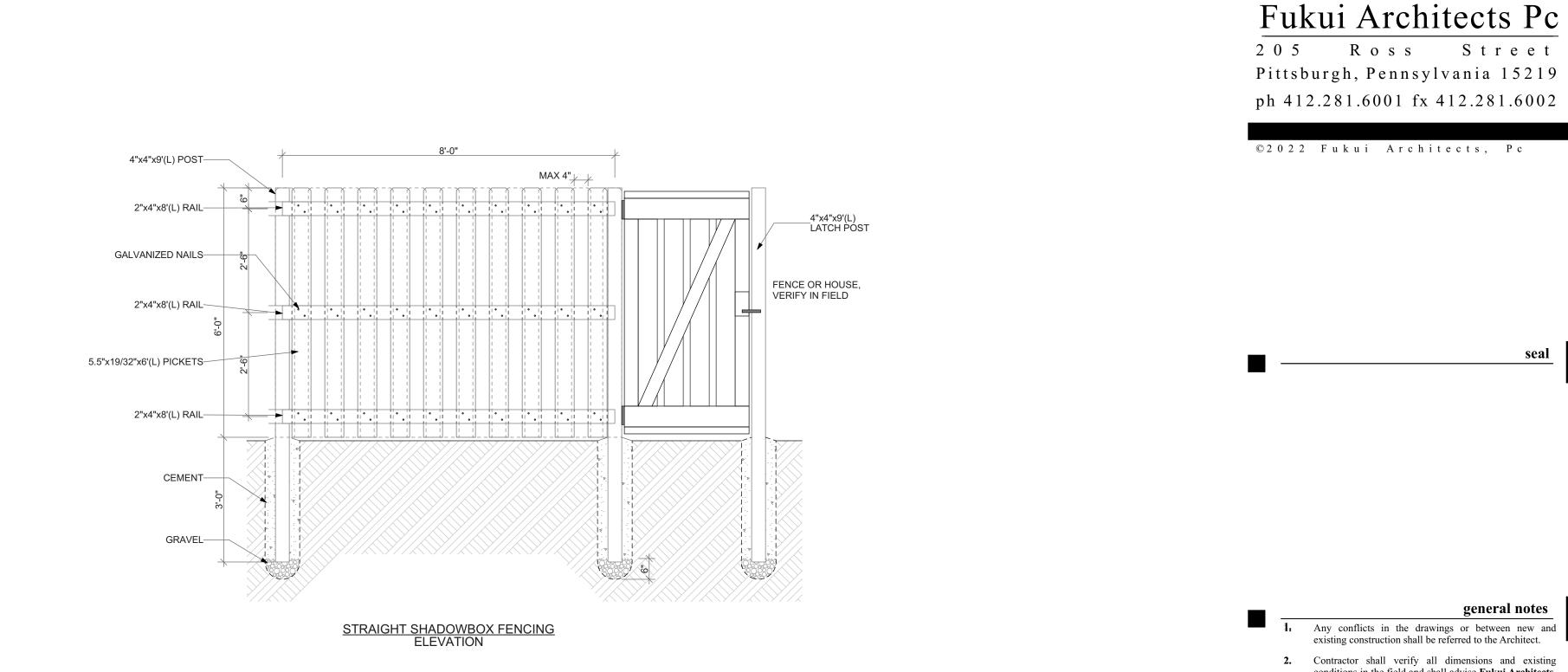
	BA	THROOM ACCESSORY	SCHEDULE
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

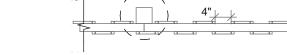
		ME	CHANICAL	EQUIPMEN	NT SCHEDULE
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	1	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	-	0	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

ITEM	TAG	QUAN
STOVE	RE/EQ-03	1
REF.	REF/EQ-04	1

ITEM	TAG	QUA
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	0
KITCHEN SINK FAUCET	-	1
VANITY LAVATORY	-	2
PEDESTAL LAVATORY	-	0
LAVATORY (WALL HUNG)	-	0
LAVATORY FAUCET	-	2
WATER CLOSET	-	2
SHOWER	-	0
BATHTUB	-	1
BATHTUB / SHOWER FAUCETS	-	1
WASHER BOX	-	0
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	0
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	0
COUNTERTOP SINK	-	0











- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- 3. All work shall be installed in accordance with applicable codes and regulations.
- 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions

ISSUED FOR PERMIT: 05.06.2022

project title

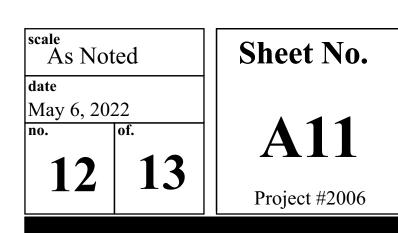
**Owner:** HACP 200 ROSS STREET PITTSBURGH,PA 15219

## **Project Location:**

MANCHESTER SCATTERED SITES 1108 W NORTH AVENUE PITTSBURGH, PENNSYLVANIA 15233

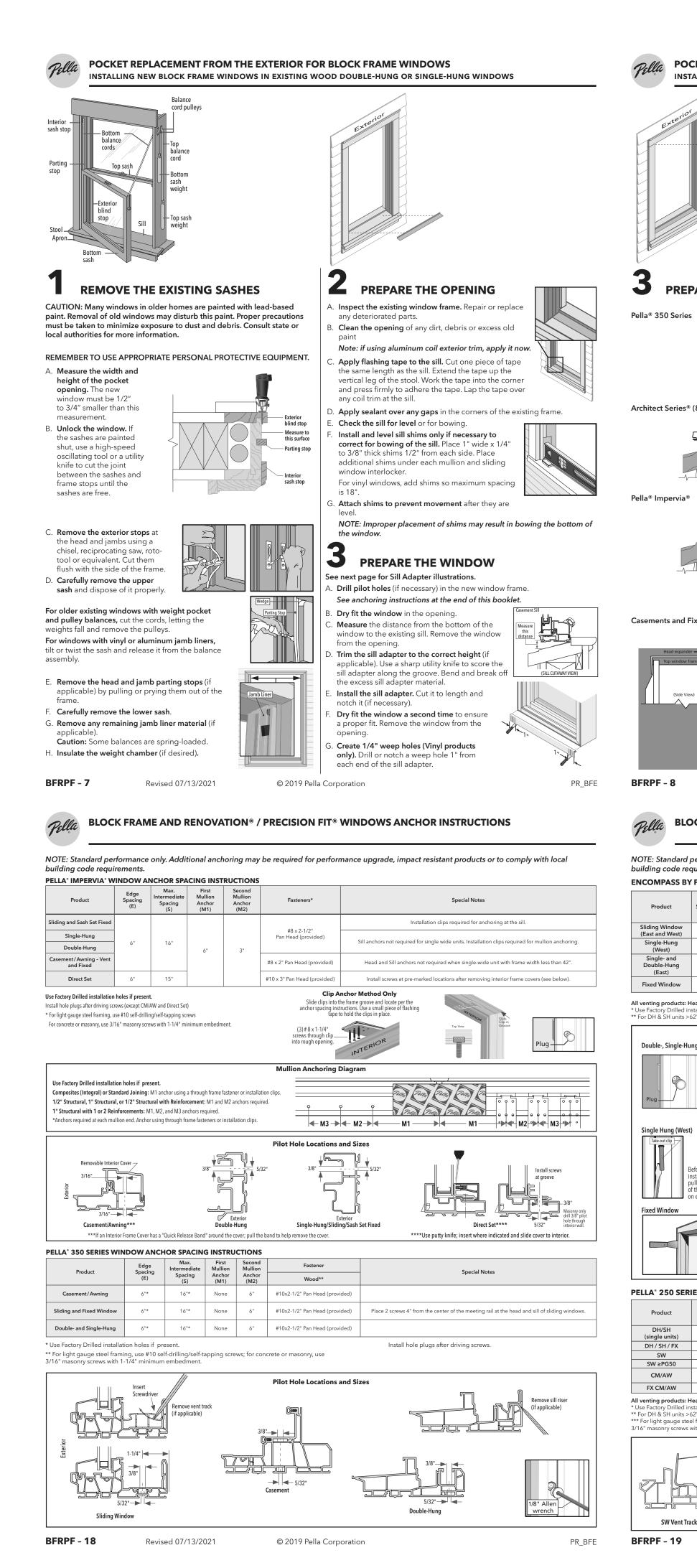
## drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED **DETAILS, EXTERIOR DOOR** THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

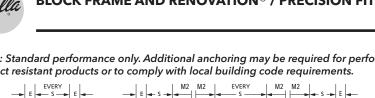


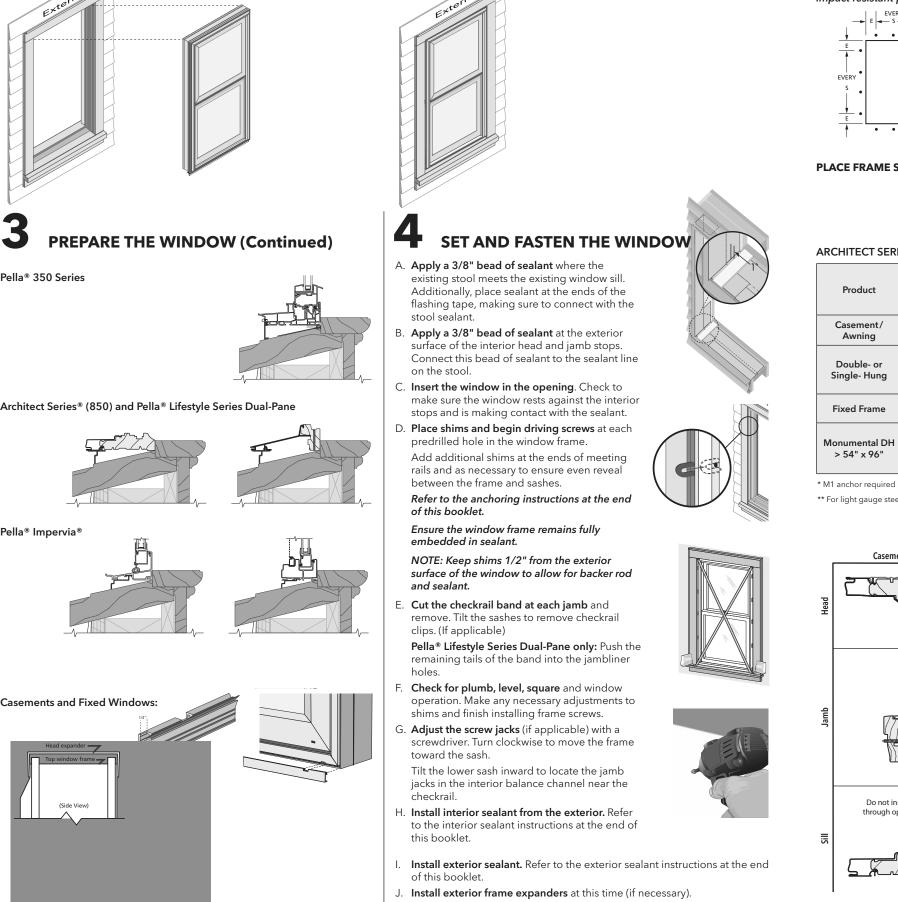
—4"x4"x9'(L) POST

—2"x4"x8'(L) RAIL



### POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS





Revised 07/13/2021

SW Pocket Filler

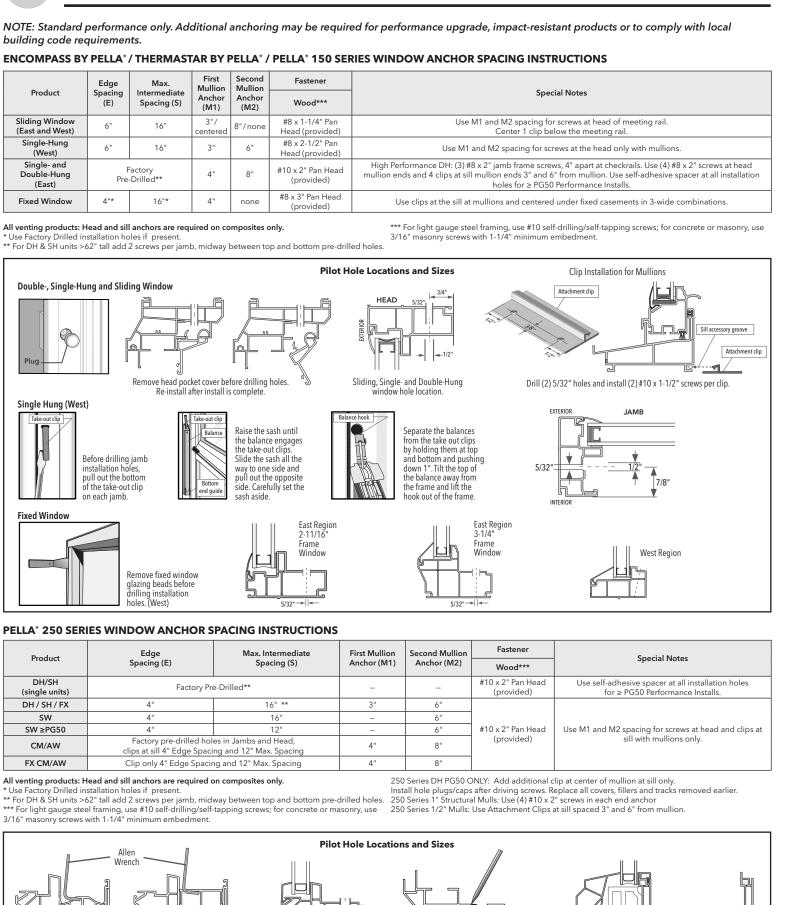
Revised 07/13/2021

Fixed

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## **BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS**

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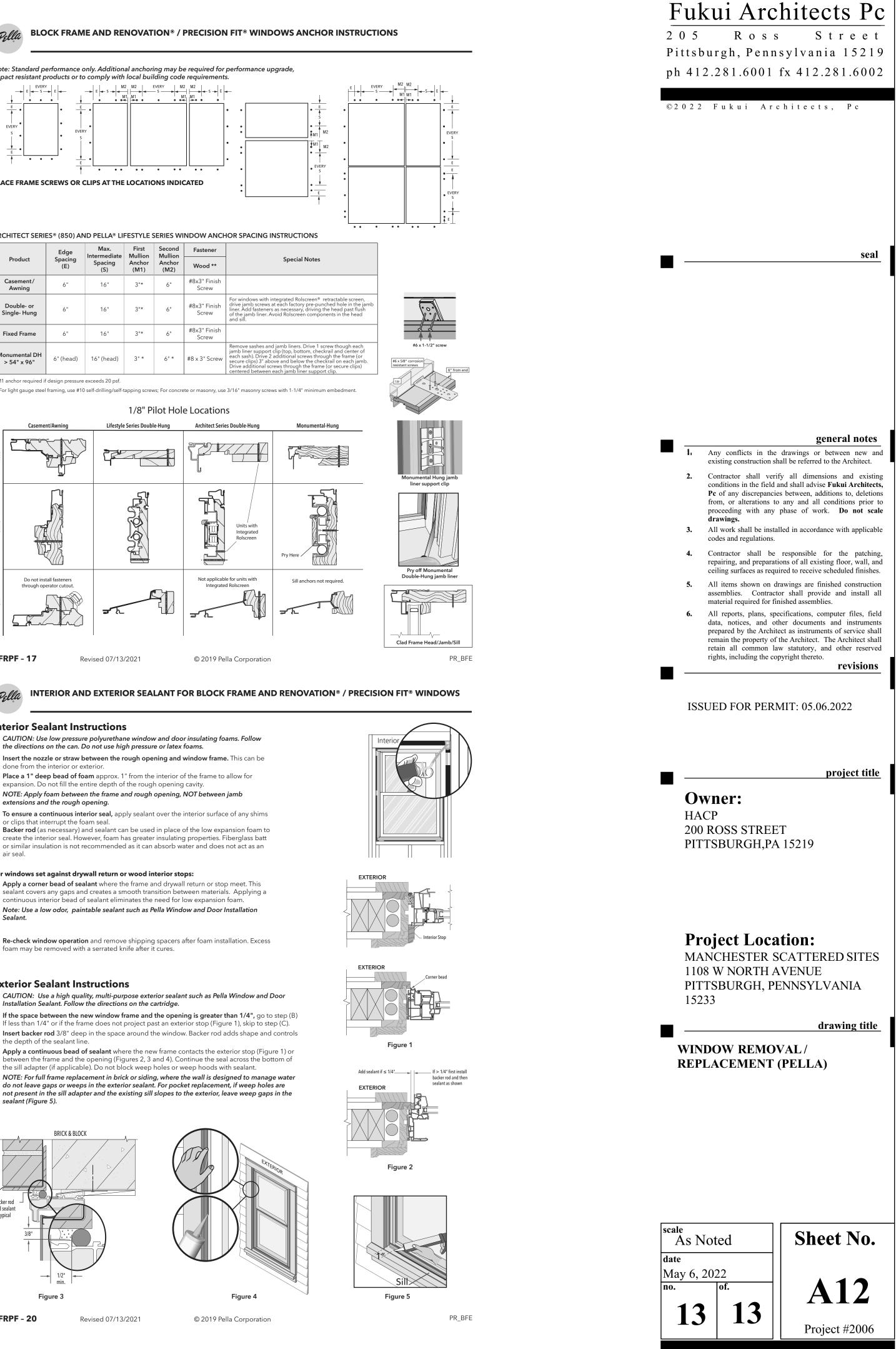


SH Pocket Remova

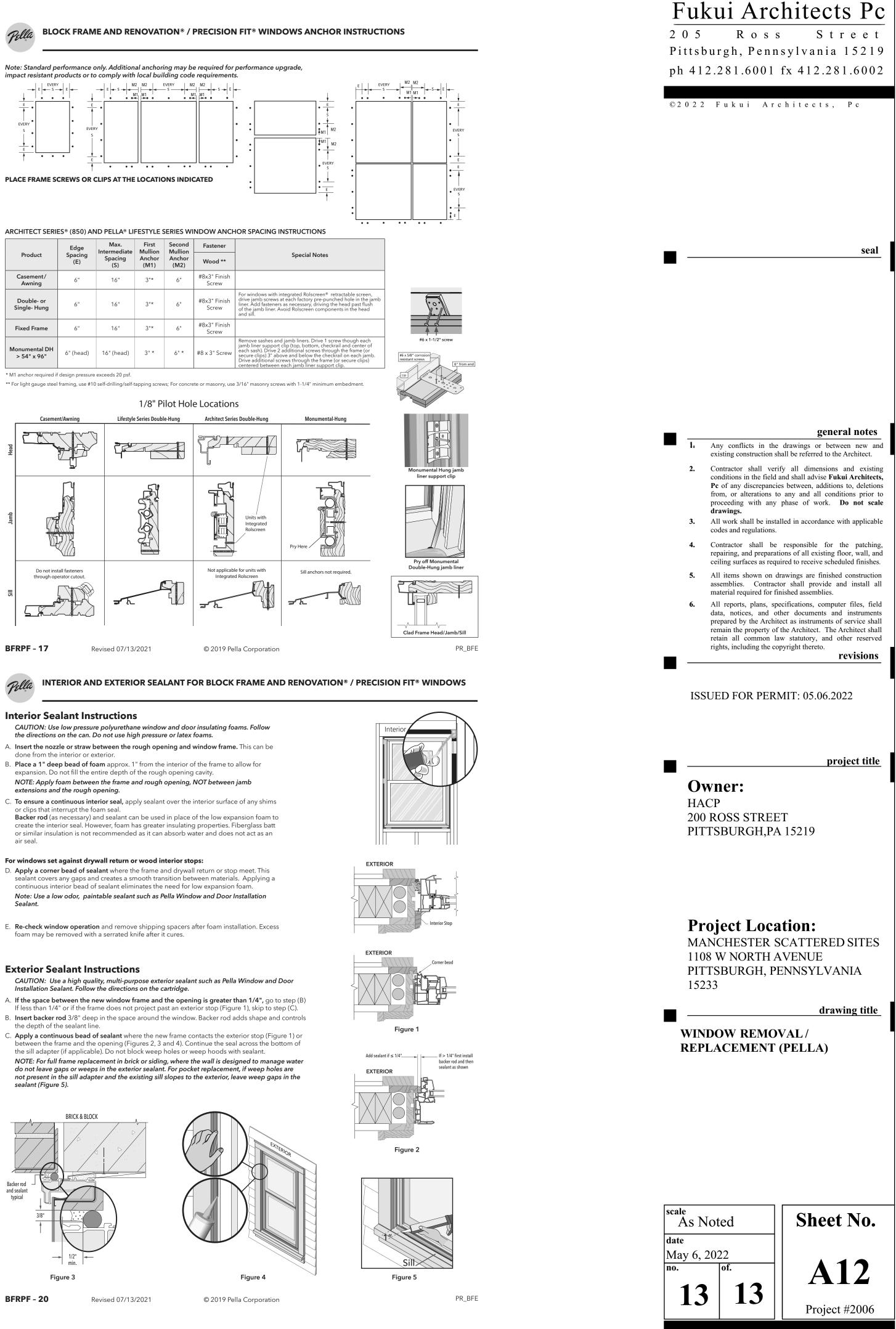
CM/AW Fixed Cover Removal

CM/AW

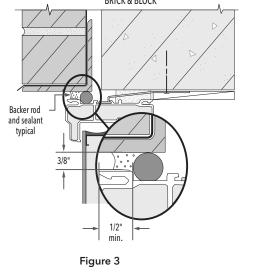
PR_BFE

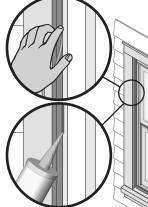


ARCHITECT SERIES® (850) AND PELLA® LIFEST TLE SERIES WINDOW ANCHOR SPACING						
	Edge	Max. Intermediate	First Mullion	First Second Mullion Mullion Anchor Anchor (M1) (M2)	Fastener	
Product	Spacing (E)	Spacing (S)	Anchor		Wood **	
Casement/ Awning	6"	16"	3"*	6"	#8x3" Finish Screw	
Double- or Single- Hung	6"	16"	3"*	6"	#8x3" Finish Screw	For windows wit drive jamb screv liner. Add fasten of the jamb liner and sill.
Fixed Frame	6"	16"	3"*	6"	#8x3" Finish Screw	
Monumental DH > 54" x 96"	6" (head)	16" (head)	3" *	6" *	#8 x 3" Screw	Remove sashes jamb liner suppo each sash). Drive secure clips) 3" a Drive additional centered betwee
* M1 anchor required if	design pressure	exceeds 20 psf.				



PR_BFE







## PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

## Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

**Development Characteristics** Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Design Architect's/Applicant's Certification Of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

## As the **DESIGN ARCHITECT**, I certify that:

**Development Amenities** 

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preservat An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)			
Smoke Free Develo	pment		
As the <u>APPLICANT</u> ,	I certify that:		
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.		
Energy Rebate Ana	lysis (ERA)		
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/		

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis. 

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. ( schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

## As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	MU
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

## 2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF):0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504□ UFAS Ø PAUCC□ FHAA□ ADA□ Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallwavs. 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	<ul> <li>The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.</li> <li>Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.</li> <li><u>New Construction</u>:         <ul> <li>For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)</li> </ul> </li> </ul>	X       The Fair Housing Act of 1988 & Fair Housing Desig         X       ANSI A117.1-2009 (or edition currently adopted by         X       Pennsylvania Uniform Construction Code         X       Uniform Federal Accessibility Standards (UFAS)         X       Section 504 of the Rehabilitation Act of 1973         X       2010 ADA Standards for Accessible Design         X       Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.)         NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	<ul> <li>For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)</li> <li>Preservation (Moderate Rehab) *:</li> <li>For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>* Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.</li> </ul>	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	<ul> <li>NOTE:</li> <li>Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.</li> <li>All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.</li> </ul>	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA   210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to _____ accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 b 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60.000 btuh, gas fired water heaters, windows, ceiling fans. exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

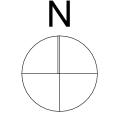
- X When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)         Large Family Units         As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:         *High rise developments and senior housing cannot qualify for this category.         71       Total units         43       Total units         43       Total number of affordable 3 or more-bedroom units         >10-15% of all units (suburban/rural developments only)       X         DESIGN ARCHITECT       Date:         Signed:       Date:	205 Ross Street Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms: *High rise developments and senior housing cannot qualify for this category.          71       Total units       >15 – 20% of all units         43       Total number of affordable 3 or more-bedroom units       >20 – 25% of all units         >10-15% of all units (suburban/rural developments only)       X       >25% of all units	
*High rise developments and senior housing cannot qualify for this category. <u>71</u> Total units >15 - 20% of all units <u>43</u> Total number of affordable 3 or more- bedroom units >20 - 25% of all units >10-15% of all units (suburban/rural >25% of all units developments only) DESIGN ARCHITECT Signed: Date:	
43       Total number of affordable 3 or more- bedroom units       >20 - 25% of all units         >10-15% of all units (suburban/rural developments only)       X       >25% of all units         DESIGN ARCHITECT       Signed:	
bedroom units     X     >25% of all units       >10-15% of all units (suburban/rural developments only)     X     >25% of all units       DESIGN ARCHITECT     Signed:	©2022 Fukui Architects, Pc
DESIGN ARCHITECT Signed:	
Signed: Date: Date:	
Firm Ficket Arealiset PC	
Acknowledged and Accepted by the APPLICANT(S)	
Signed: Date:	
Print:	
Signed: Date: Print:	seal
AB_08_02 Certification of Selection Criteria 212	
	general notes
YLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)	<b>1.</b> Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.
<u>DESIGN ARCHITECT</u> , I certify that for preservation developments: <u>X</u> The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if	<ol> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletio from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sca drawings</li> </ol>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with applicab codes and regulations.</li></ul>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green immunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended:	<ol> <li>All work shall be installed in accordance with applicab codes and regulations.</li> <li>Contractor shall be responsible for the patchin</li> </ol>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green nmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)	<ol> <li>All work shall be installed in accordance with applicate codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, as ceiling surfaces as required to receive scheduled finisher</li> </ol>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green nmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures)	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishe</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a</li> </ol>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green mmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the owing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Energy Star Appliances (Applicable only to new appliances) Lighting (Applicable only to new lighting fixtures)	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishet</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, field to the patching of the patching of</li></ol>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green nmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Energy Star Applicable only to new appliances) Lighting (Applicable only to new lighting fixtures) Healthier Material Selection (Applicable only to new paints, coatings and primers) Bath, Kitchen Laundry surfaces	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishets.</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, file data, notices, and other documents and instrumen prepared by the Architect as instruments of service shall be responsible.</li> </ol>
seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green nmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Energy Star Appliances (Applicable only to new appliances) Lighting (Applicable only to new lighting fixtures) Healthier Material Selection (Applicable only to new paints, coatings and primers) Bath, Kitchen Laundry surfaces Managing Moisture: Foundations (Applicable to new addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishest.</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, field data, notices, and other documents and instrumen prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reserver rights, including the copyright thereto.</li> </ol>
<ul> <li>seeking certification under a National Green Building program in Selection Criteria)</li> <li>Enterprise Green Communities Criteria for Preservation Developments</li> <li>servation developments are not required to follow the mandatory 2020 Enterprise Green nmunities criteria for "moderate rehab" projects. Instead, they shall comply with only the owing mandatory 2015 Green Communities criteria, as amended:</li> <li>Environmental Remediation (Follow Enterprise and PHFA Tab 17 &amp; 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)</li> <li>Ecosystem Services/Landscaping (applicable only to new landscaping)</li> <li>Water-Conserving Fixtures (Applicable only to new fixtures)</li> <li>Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)</li> <li>Energy Star Appliances (Applicable only to new appliances)</li> <li>Lighting (Applicable only to new lighting fixtures)</li> <li>Healthier Material Selection (Applicable only to new paints, coatings and primers)</li> <li>Bath, Kitchen Laundry surfaces</li> <li>Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)</li> <li>Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only)</li> </ul>	<ol> <li>All work shall be installed in accordance with applicable codes and regulations.</li> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishets.</li> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, fie data, notices, and other documents and instrument prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reservor rights, including the copyright thereto.</li> </ol>
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## drawing title **SELECTION CRITERIA**, THRESHOLD CRITERIA, **TABULAR SCHEDULE**

15233

PITTSBURGH, PENNSYLVANIA

TABULAR AREA UNIT SCHEDULE				
UNIT # GROSS AREA (SF) NET AREA (SF)				
SFR	2,397	2,146		

scale As Noted		Sheet No.
date May 6, 202	22	
no.	of. 12	<b>A0</b>
		Project #2006

# MANCHESTER SCATTERED SITES

## HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1109 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 **4 BEDROOM UNIT**

**Drawing Index** 

Drawing Index	<b>Code Conformance</b>
A0 PHFA DOCUMENTS	Applicable Codes General: 2015 International
	General: 2015 International 2015 International 2015 International
	Accessibility: 2009 ICC/ANSI A Energy: 2015 International
	Electrical: 2014 NEC (NFPA
	Fire: 2015 International Fuel Gas: 2015 International
SELECTION CRITERIA	Mechanical: 2015 International
	Plumbing: 2017 Allegheny Co
	Fire Alarm:2013 NFPA 72Sprinkler:2013 NFPA 13
	General Building / Project Information
THRESHOLD CRITERIA	Classification of Work: Level-2 alteration
TABULAR SCHEDULE	Occupancy Group: "R-2" Stories: 3 story with basen
	Gross Area: 2,146 sqft
A1 COVER SHEET	Sprinklers: None
ARCH PRLIM SET CODE AND CONTACT INFO	Smoke detector: 8
MANCHESTER SCATTERED SITES MAP	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
DOOR TYPES	
DOOR SCHEDULE (WITH EXISTING)	<b>Contact Schedule</b>
WINDOW SCHEDULE	
FINISH SCHEDULE	Note: Any questions concerning the Construction Documents
SIDING WALL SECTION	forward questions as appropriate to the consulting engineers.
INTERIOR STAIR DETAIL	Building Owner: Architect:
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	Housing Authority Fukui Archited
GENERAL NOTES	of the City of Pittsburgh 205 Ross Stree ph: 412.715.7501 Pittsburgh, PA
ENERGY NOTES A4 SITE PLAN AND ROOF PLAN	mackenzie.pleskovic@hacp.org ph: 412.281.60
ROOF PLAN	contact: Mackenzie Pleskovic fx: 412.281.60 Fgf@farpc.co
SITE PLAN	contact: Felix
ROOF PLAN NOTES	
ROOF AND SITE PLAN LEGEND	
GRAPHIC SCALES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	——— Conoral Decarintia
A5 FLOOR / DEMO PLANS	<b>General Description</b>
DEMOLITION PLAN LEGEND	
GENERAL DEMOLITION NOTES	1. It is intended that the scope of work is a complete interior Notes on Sheet A-3.
FIRST FLOOR / DEMO PLAN	2. For Scope of Work items potentially removed from Proj
BASEMENT / DEMO PLAN	Architectural Scope Notes. 3. After Bid Award and required project walkthroughs, add
SECOND FLOOR / DEMO PLAN THIRD FLOOR / DEMO PLAN	5. And Blu Award and required project warkinoughs, add
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A6 FLOOR/FINISH/MECH./PLUMB. PLANS	General Note Relat
BASEMENT/FINISH/MECH./PLUMB. PLAN	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN	Shown in Documen
GRAPHIC SCALES	Shown in Documen
FLOOR PLAN LEGEND	
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	1. Quantities shown in this set of documents are intended f with HACP. They are not to be relied on by the Contract
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	2. All contractor's and material suppliers shall be responsib
SMALL UNIT KEYNOTES	offs.
A7 REFLECTED CEILING / POWER / DATA PLANS	
RCP LEGEND	
LIGHTING SCHEDULE BSMT. REFL. CLG/ POWER / DATA PLAN	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
THIRD FLOOR REFL. CLG./ POWER / DATAPLAN	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A8 ELEVATIONS	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
WEST ELEVATION	
SMALL UNIT VEVNOTES	

**KITCHEN ELEVATION01** KITCHEN ELEVATION 02 A10 DETAILS WOOD FENCE DETAIL DECK SECTION DETAIL DECK ENLARGED DETAILS WINDOW INSTALLATION UNDER VINYL SIDING EXTERIOR DOOR THRESHOLD

FIRST FLOOR KITCHEN ENLARGED PLAN

SMALL UNIT KEYNOTES

**A9 KITCHEN ENLARGED PLANS AND ELEVATIONS** 

## **Code Conformance Information**

ernational Building Code ernational Building Code C/ANSI A117.1 ernational Energy Conservation Code C (NFPA 70) ernational Fire Code ernational Fuel Gas Code ernational Mechanical Code egheny County Health department Plumbing Code PA 72 PA 13

alteration per the IEBC vith basement

Documents shall first be directed to the Architect. The Architect will

ui Architects, PC Ross Street burgh, PA 15219 12.281.6001 12.281.6002 *i*)farpc.com act: Felix G. Fukui, AIA

### Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205

ph: 412.255.2175

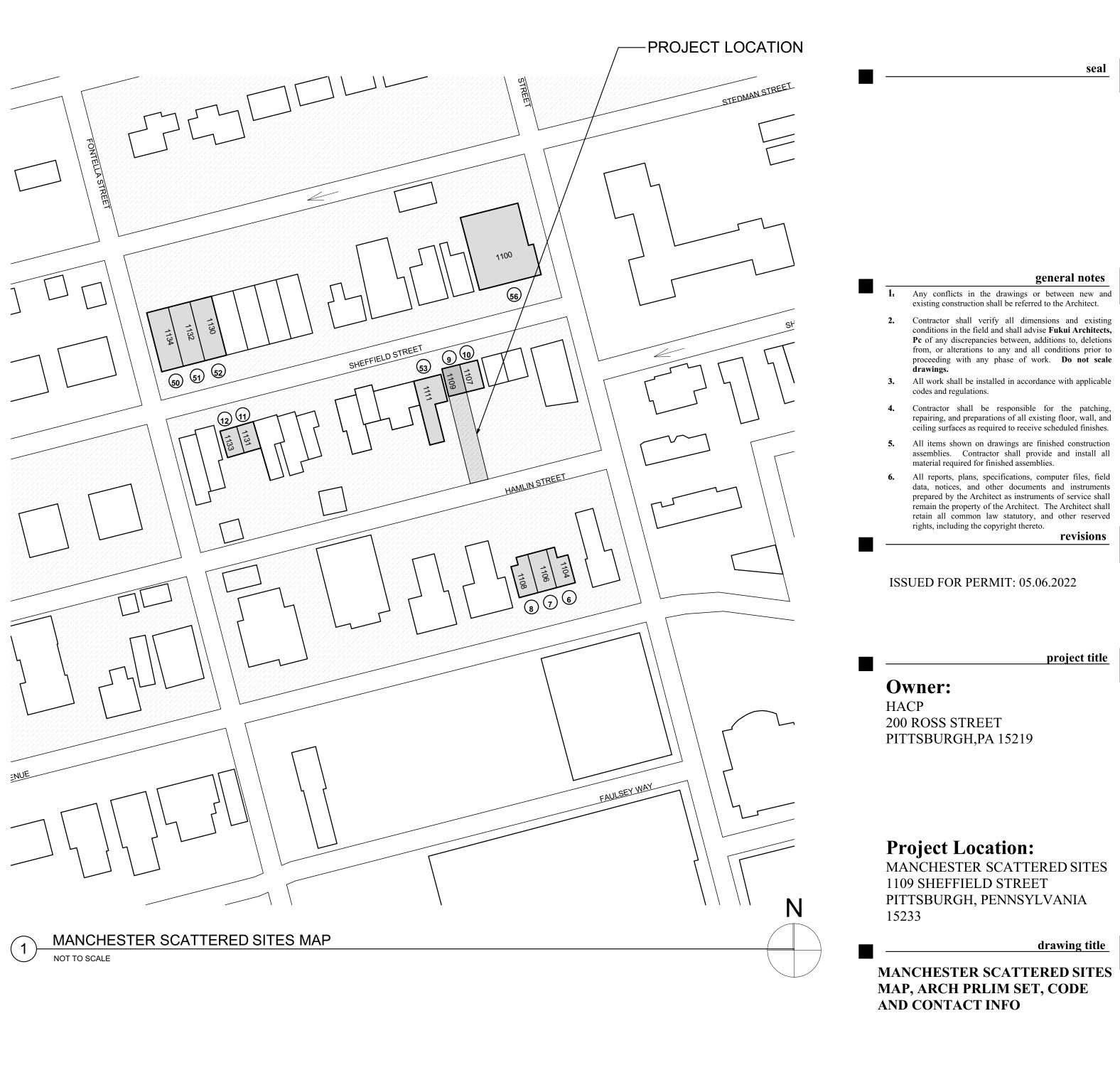
## otion of Work

lete interior and partial to complete exterior renovation. See Scope from Project Scope see (second) 7 Items enumerated under

bughs, additional Scope may be removed from contracted work.

## elated to Quantities nentation

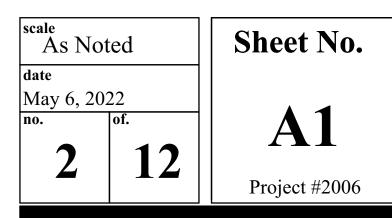
intended for Architect's use and convenience in scope discussions e Contractor's in preparing bids or executing the work. responsible for performing and relying on their own quantity take-

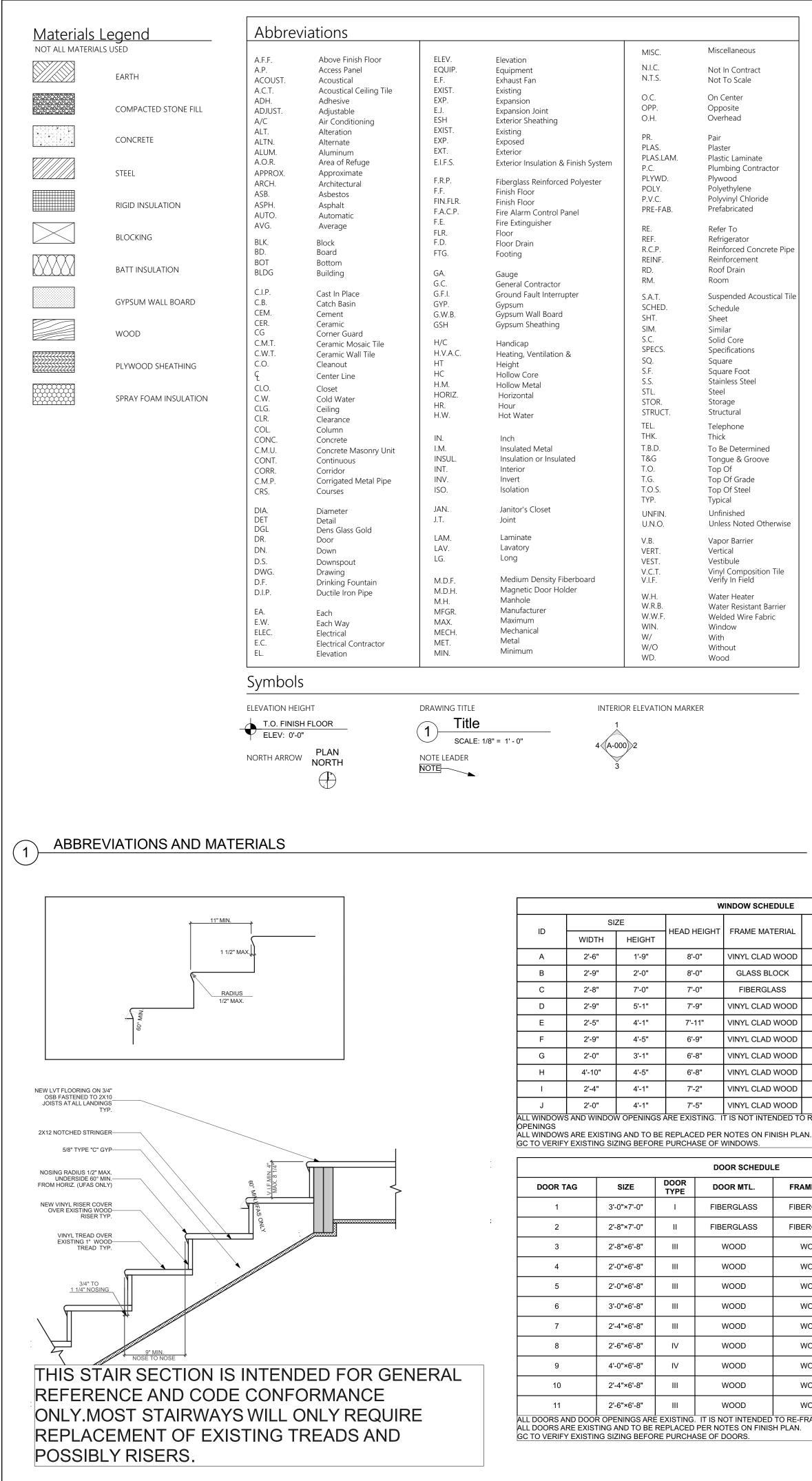


## Fukui Architects Pc

Ross Street 2 0 5 Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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**Plumbing Contractor** Polyvinyl Chloride

Reinforced Concrete Pipe

Suspended Acoustical Tile

Tongue & Groove

Unless Noted Otherwise

Vinyl Composition Tile

Water Resistant Barrier

Welded Wire Fabric

TYP. ROOF/CEILING ASSEMBLY: ASPHALT SHINGLES, 40 LB FELT PAPER, ICE & WATER SHIELD @ VALLEYS, PLYWOOD. INSULATION BAFFLES, 2" AIR SPACE, 2X ROOF RAFTERS @16" O.C, R30 BLOWN-IN FIBERGLASS INSULATION, 3/4" PLYWOOD SUBFLOOR, 2X CEILING JOISTS @ 16" O.C, R19 FIBERGLASS BATT INSULATION FACED W/ VAPOR RETARDER ON WARM SIDE, 1/2" GYP

TYP. FLOOR ASSEMBLY: FLOOR FINISH (REFER TO

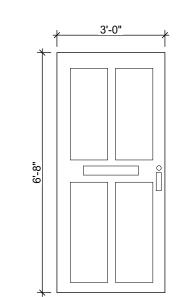
DAMPPROOFING, R-13 EXTERIOR 2" RIGID INSULATION

SIDING WALL SECTION (2)

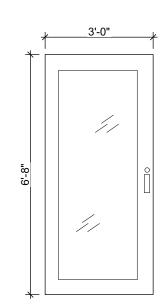
NDOW SCHEDULE				
FRAME MATERIAL	VENTING	TEMPERED		
VINYL CLAD WOOD				
GLASS BLOCK				
FIBERGLASS		⊠		
VINYL CLAD WOOD				
VINYL CLAD WOOD				
VINYL CLAD WOOD				
VINYL CLAD WOOD				
VINYL CLAD WOOD	×			
VINYL CLAD WOOD				
VINYL CLAD WOOD	⊠			
IS NOT INTENDED TO RE-FRAME EXISTING WINDOW				
OTES ON FINISH PLAN.				

OR SCHEDULE				
OR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)		
ERGLASS	FIBERGLASS	ENTRY		
ERGLASS	FIBERGLASS	ENTRY		
WOOD	WOOD	PASSAGE		
WOOD	WOOD	PASSAGE		
WOOD	WOOD	PRIVACY		
WOOD	WOOD	PRIVACY		
WOOD	WOOD	PRIVACY		
WOOD	WOOD	DUMMY		
WOOD	WOOD	PASSAGE		
WOOD	WOOD	PASSAGE		
WOOD	WOOD	PRIVACY		
DT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS TES ON FINISH PLAN.				

FINISH SCHEDULE			
NAME	FLOOR		
BEDROOM	09   LVT		
BTHRM	09   LVT		
CLO	09   LVT		
DINING ROOM	09   LVT		
ENTRY	09   LVT		
HALLWAY	09   LVT		
KITCHEN	09   LVT		
LIN. CLO	09   LVT		
LIVING ROOM	09   LVT		
PNTRY	09   LVT		
PWDR	09   LVT		

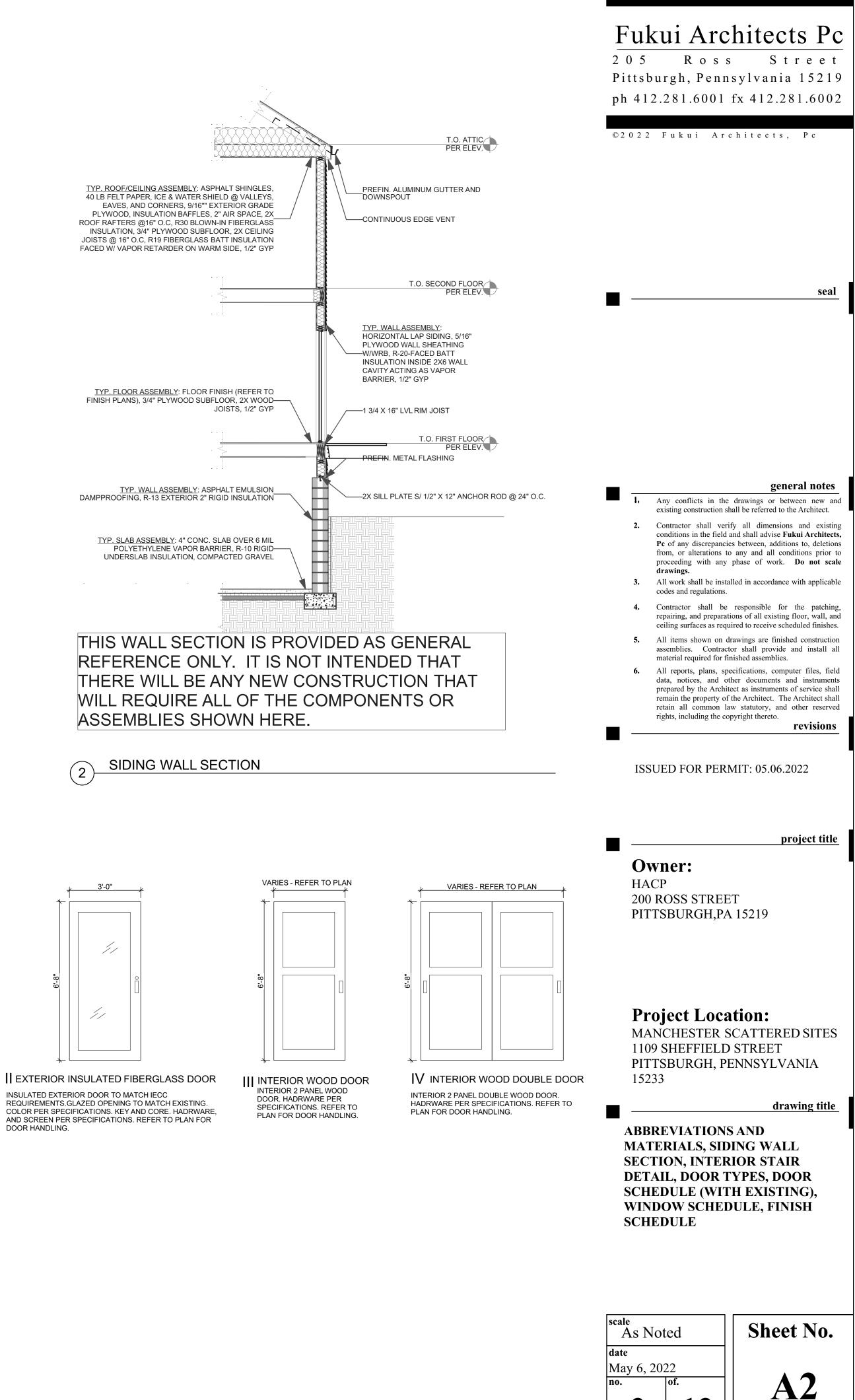


EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



**||** EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS.GLAZED OPENING TO MATCH EXISTING.

DOOR HANDI ING.



12 3

Project #2006

## **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

### MECHANICAL SCOPE NOTES

### THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

### ELECTRICAL SCOPE NOTES

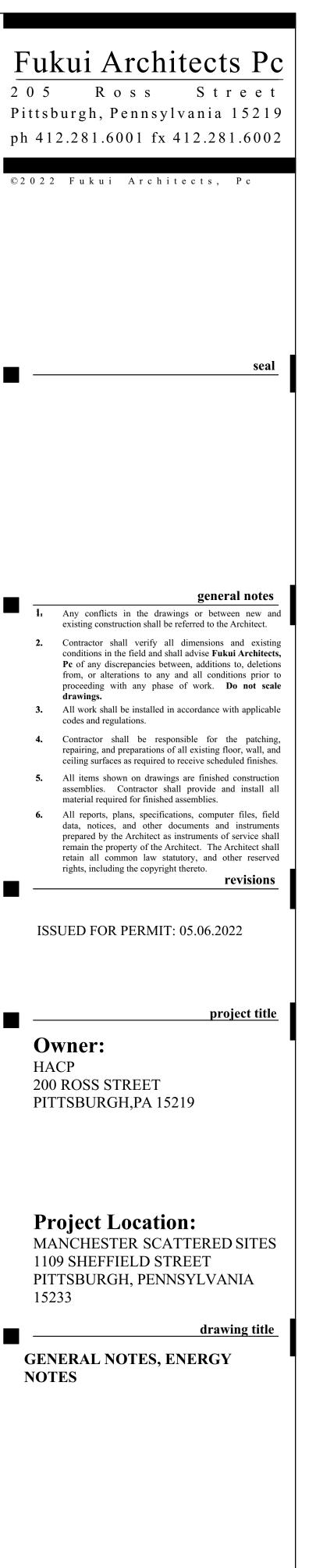
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

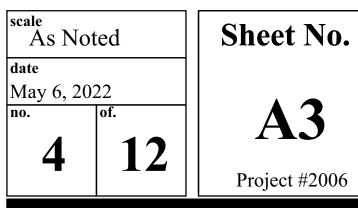
- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

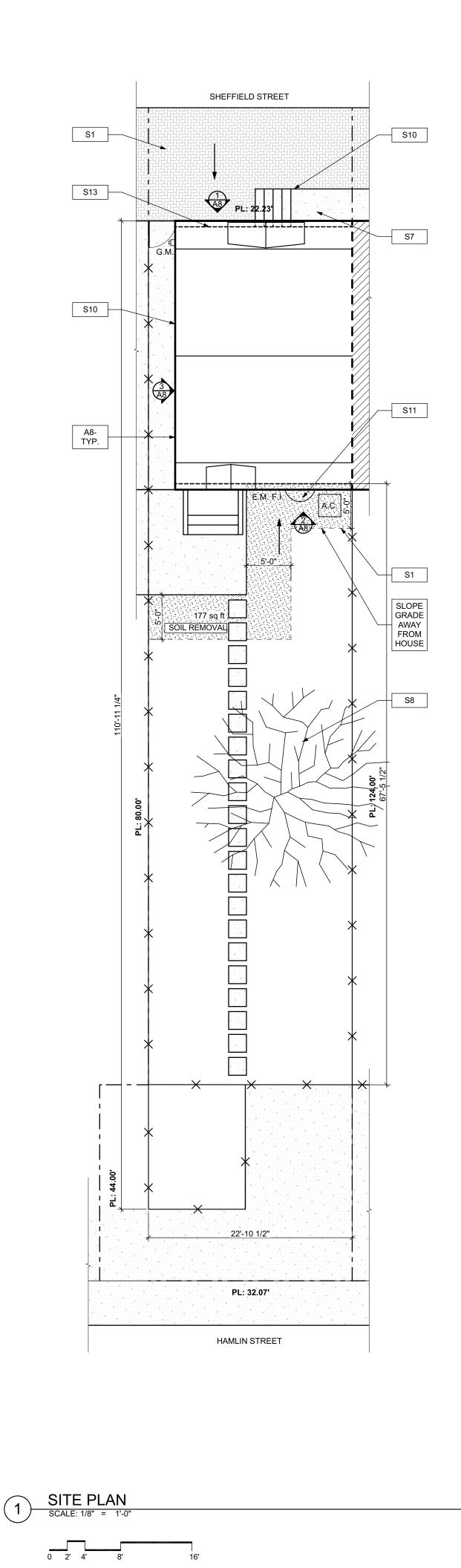
- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

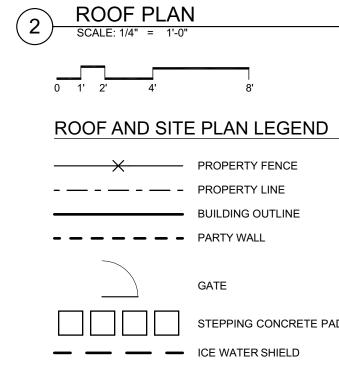
## **GREEN COMMUNITIES NOTES**

- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.









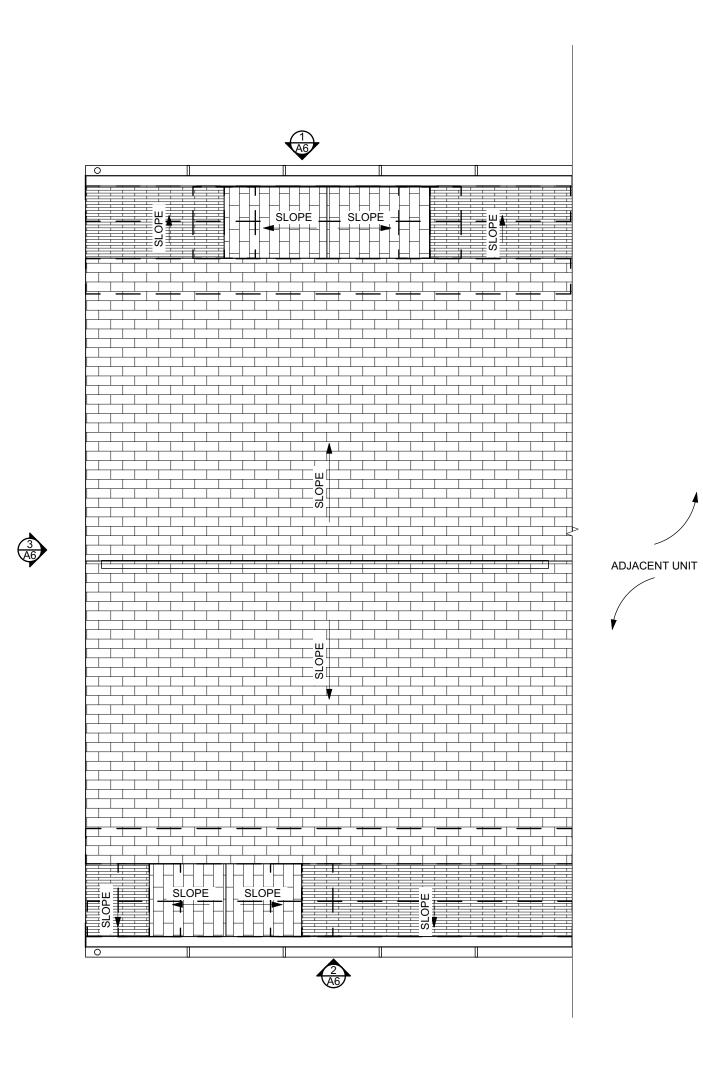
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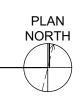
ROOF PLAN NOTES

- 1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- 2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SCOPE REDUCTION: AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS

PLAN NORTH





- STEPPING CONCRETE PADS

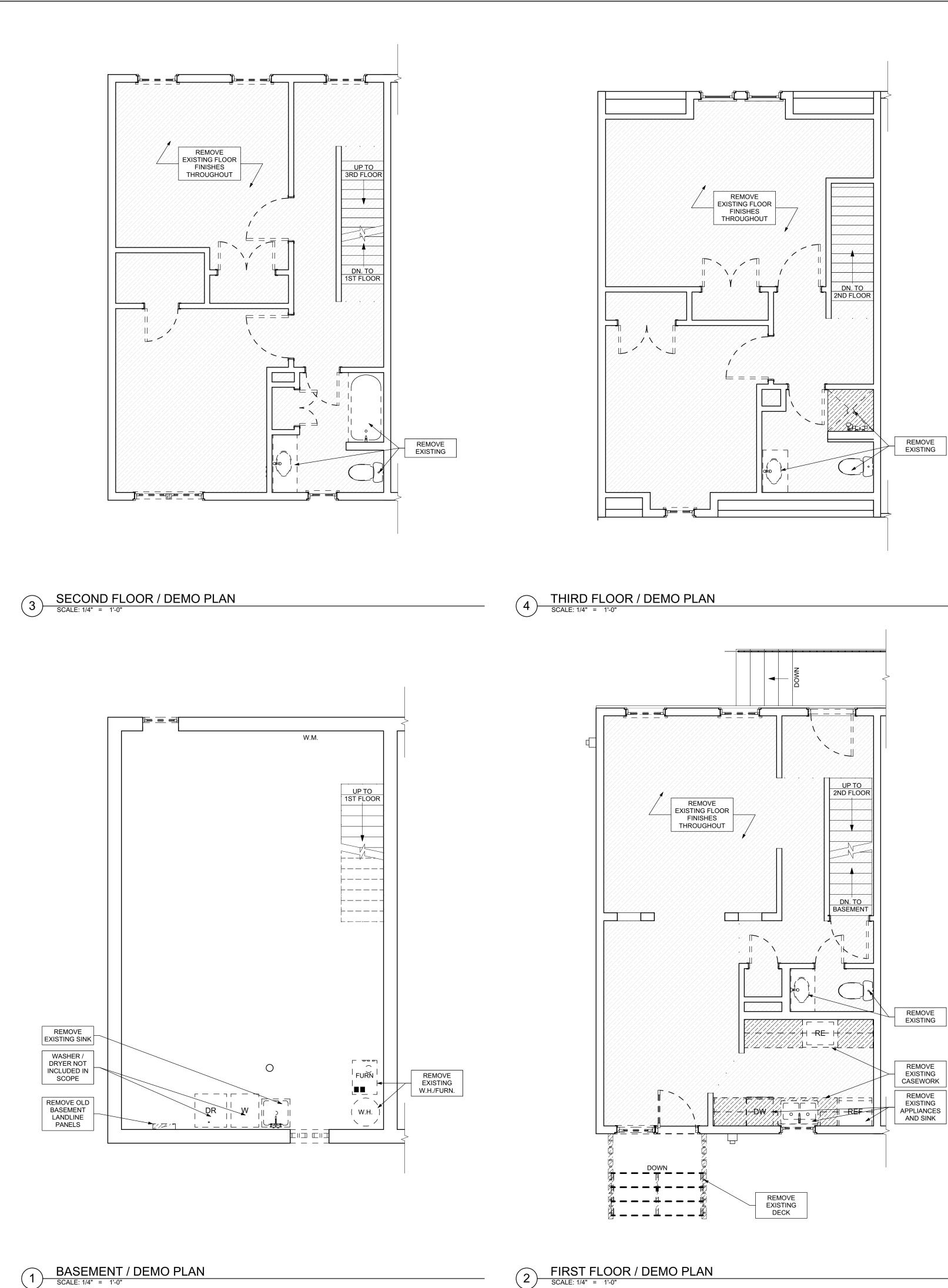
- SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- G.M. GAS METER F.I. FRESH AIR INTAKE
- A.C. AIR CONDITIONER CONDENSOR E.M. ELECTIC METER

## SITE PLAN NOTES

- 1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL,	Fukui Architects P
	PROVIDE CLAY CAP, AND REPLACE TO PSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	205 Ross Street Pittsburgh, Pennsylvania 1521
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.600
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
67	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	—
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>general notes</b> <b>1.</b> Any conflicts in the drawings or between new an
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	<ul><li>2. Contractor shall verify all dimensions and existing</li></ul>
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ul> <li>Conductor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architect</li> <li>Pc of any discrepancies between, additions to, deletion from, or alterations to any and all conditions prior</li> </ul>
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	proceeding with any phase of work. <b>Do not sca</b> drawings.
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	<b>3.</b> All work shall be installed in accordance with applicat codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	<ol> <li>Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishe</li> </ol>
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	<ol> <li>All items shown on drawings are finished construction assemblies. Contractor shall provide and install a</li> </ol>
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW	<ul><li>assentiones. Contractor shall provide and instant a material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, fie</li></ul>
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	data, notices, and other documents and instrumer prepared by the Architect as instruments of service sha
<u>A6</u>	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	remain the property of the Architect. The Architect sha retain all common law statutory, and other reserver rights, including the copyright thereto. <b>revisions</b>
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X1 SPREAD FOOTING	HACP 200 ROSS STREET
A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY	PITTSBURGH,PA 15219
A13	AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE	
A14	HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING, REPLACE SUBELOORING, OR DRYWALL AT UNEVEN APEAS. IE	<b>Project Location:</b>
A15	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SITES 1109 SHEFFIELD STREET
A16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	PITTSBURGH, PENNSYLVANIA 15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	SITE PLAN, ROOF PLAN, ROOF
PLUME	BING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	SCALES, SMALL UNIT KEYNOTE
MECH	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING	
	INSPECTION CONDUCTED RECOMMENDED ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		date May 6, 2022
		no. of. A4
		Project #2006



## GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND
- WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN
- WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED. 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE
- DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW. 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.
- 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND

- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
  - DEMOLISH EXISTING CASEWORK IN HATCHED AREA.

  - FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE.

## SCOPE REDUCTION:

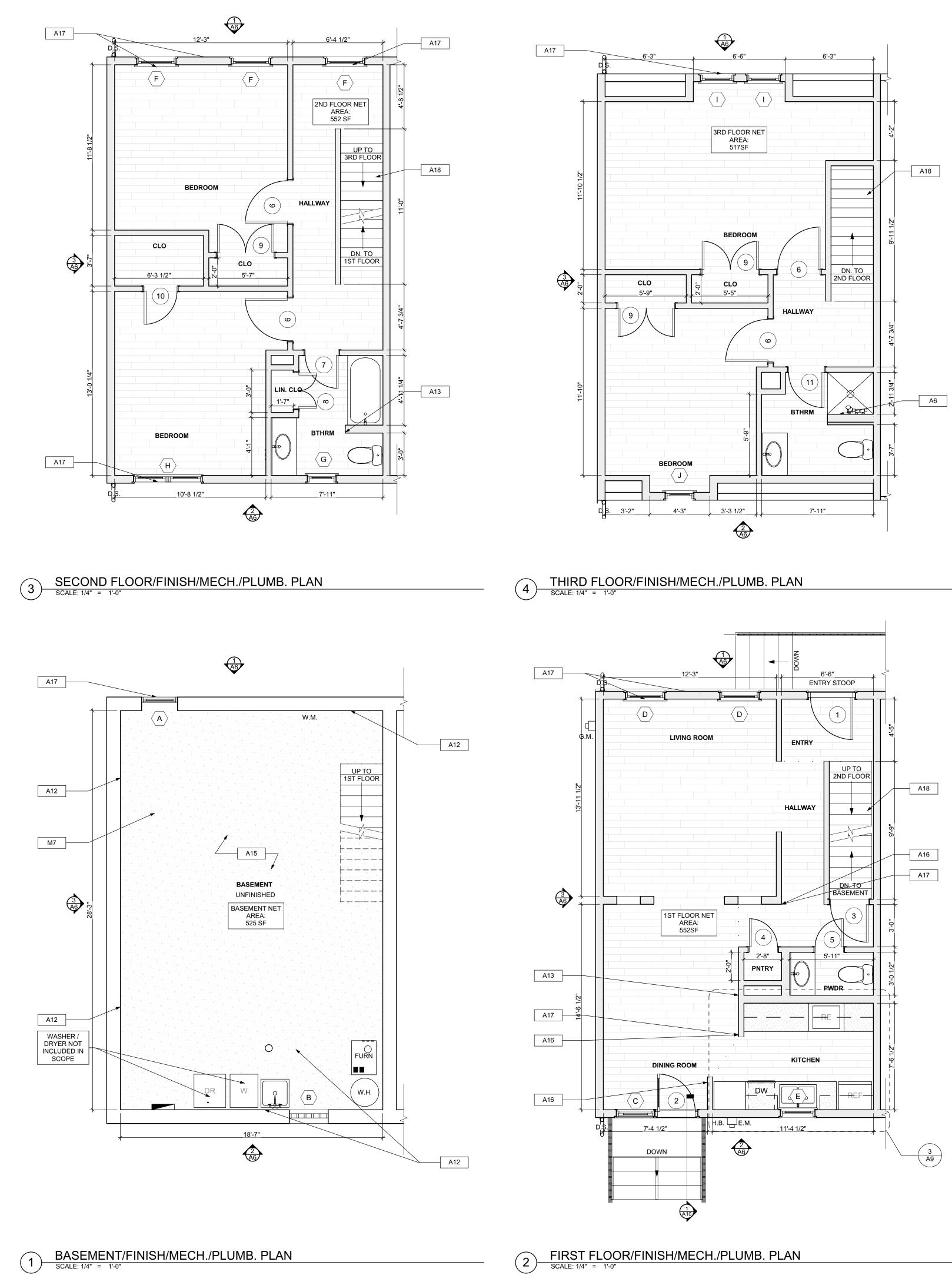
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS WANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## <u>GENERAL NOTE:</u>

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Pc 205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC.	Pittsburgh, Pennsylvania 15219
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	ph 412.281.6001 fx 412.281.6002
_	REMOVE OUT OF PLUMB SUPPORT POST, PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	—
	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PAREETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"	
	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKE AS NECESSARY.	
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE	<b>1</b> 4 .
POOF	NEW VINVE SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new and
ROOF	DAMAGED ROOF ELEMENT, REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	<ul><li>existing construction shall be referred to the Architect.</li><li>Contractor shall verify all dimensions and existing</li></ul>
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise <b>Fukui Architects</b> , <b>Pc</b> of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL SPOT SAW CUT DAMAGED BRICK	from, or alterations to any and all conditions prior to proceeding with any phase of work. <b>Do not scale drawings.</b>
<u> </u>	EXTERIOR WALL SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<b>3.</b> All work shall be installed in accordance with applicable codes and regulations.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. ROWING EXTERIOR WALL OR RETAINING WALL	<b>4.</b> Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>ceiling surfaces as required to receive scheduled finishes.</li><li>5. All items shown on drawings are finished construction</li></ul>
	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install all material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED	prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the copyright thereto.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH	
A9	ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR.	project title
A10	DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	<b>Owner:</b>
A11	REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE	НАСР
	FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	, , , , , , , , , , , , , , , , , , , ,
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE DROUNDED BY ABCHIECT	<b>Project Location:</b> MANCHESTER SCATTERED SITES
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	1109 SHEFFIELD STREET
A16	WATERPROOFING, PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA
A16	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT / DEMO PLAN, FIRST
PLUMBI	<b>ING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	FLOOR / DEMO PLAN, SECOND
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	<b>DEMOLITION NOTES,</b>
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	DEMOLITION PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	KEYNOTES
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
MO	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS	
M3	SPECIFICATIONS FOR MORE DETAILS.	
M3 M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	
M3 M4	EXISTING DUCT LOOSE, DISCONNECTED, OR	scale As Noted Sheet No.
	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	As Noted Sheet No. date May 6, 2022
	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	As Noted Sheet No.



_FLOO	R PLAN LEGEND
REF	FRIDGE
RE	RANGE
FURN	GAS FURNANCE
	UTILITY SINK
W	WASHER
$\sum_{i=1}^{\infty}$	NEW DOOR AND DOOR NUMBER
(V.H)	WATER HEATER
DJS.	DOWN SPOUT
₽E.M.	ELECTRIC METER
H.B.	HOSE BIBB
DR •	DRYER
AT THE TI MANAGE SHALL CO WHICH IT ITEMS TO CONTRAC	E REDUCTION: ME OF CONSTRUCTION, HACP, THE CONSTRUCTION R, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS DNDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE EMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF D BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP UNT DUE OF ALL ITEMS REMAINING.

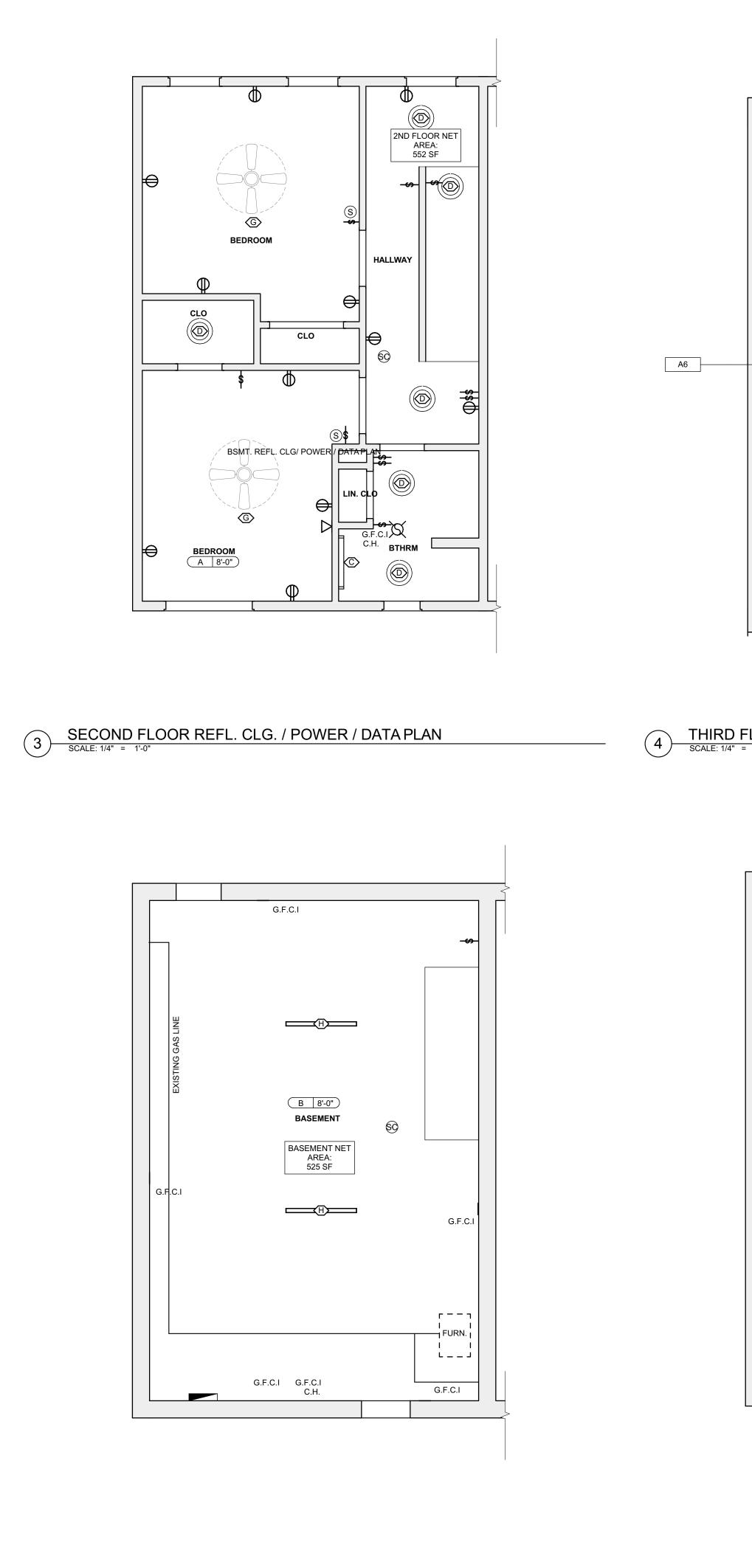
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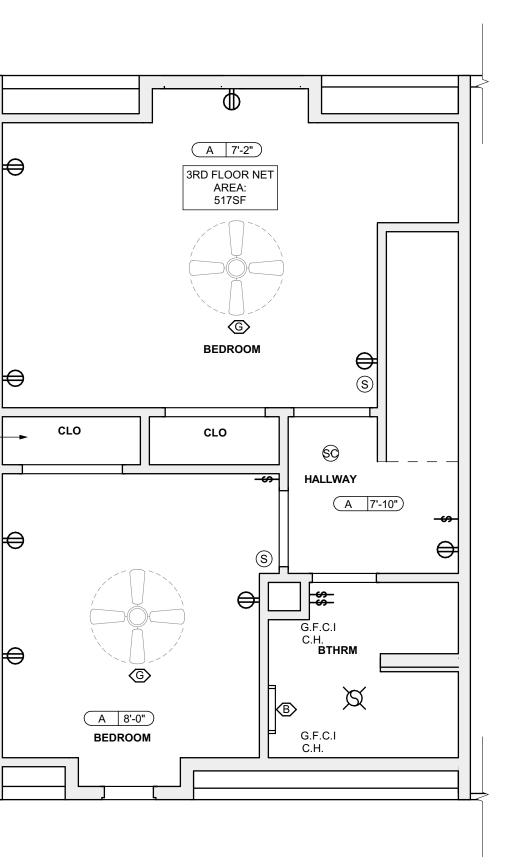
SITE		
31	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REOUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects F 2 0 5 Ross Stree
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC.	Pittsburgh, Pennsylvania 152
3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW DESSUBE TREATED POST WITH NEW	ph 412.281.6001 fx 412.281.60
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
64	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION	
	JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
35	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK, BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF	
-	REPAIR METER AS NECESSART WITH CIT OF PITTSBURGH APPROVED GAS METER.	
\$7	TO MATCH EXISTING FOR A WAY FROM BUILDING AS	S(
69	REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD, REMOVE AND	
10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT	
11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND	
	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM	
3	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD	
	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>general not</b> <b>1.</b> Any conflicts in the drawings or between new
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE,	existing construction shall be referred to the Architec
	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and ex conditions in the field and shall advise Fukui Archi Pc of any discrepancies between, additions to, deleter the statement of the state</li></ol>
RCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions pr proceeding with any phase of work. <b>Do not</b> drawings.
<u> </u>	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	<ol> <li>All work shall be installed in accordance with applicodes and regulations.</li> </ol>
2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	<b>4.</b> Contractor shall be responsible for the patrepairing, and preparations of all existing floor, wal
3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR	<ul><li>ceiling surfaces as required to receive scheduled fini</li><li>5. All items shown on drawings are finished constru</li></ul>
	CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and insta material required for finished assemblies.
5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<ol> <li>All reports, plans, specifications, computer files, data, notices, and other documents and instru- prepared by the Architect as instruments of service</li> </ol>
.6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	remain the property of the Architect. The Architect retain all common law statutory, and other res
	REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT	rights, including the copyright thereto.
7	WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH	—
7	1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
18	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
(9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	•
410	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS,	project t
	KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X' SPREAD FOOTING	200 ROSS STREET
12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING	PITTSBURGH,PA 15219
-	MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
13	AND APPER OVER EXTERIOR BLOCK TO PREVENT SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER.	
	PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO	<b>Project Location:</b>
15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	MANCHESTER SCATTERED SIT 1109 SHEFFIELD STREET
.16	WATERPROOFING. PROVIDE INI TERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
A17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
418	CLEAN EAIS INIG AAEA WITH NOVE DIRT AND DUST. CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing ti
	<b>ING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	BASEMENT/FINISH/MECH./PLU B. PLAN, FIRST
<u>'1</u>	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR/FINISH/MECH./PLUMB.
2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR	PLAN, SECOND FLOOR/FINISH/MECH./PLUMB.
FOLIA	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	PLAN, THIRD
	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	FLOOR/FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOO
12	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	PLAN LEGEND, SMALL UNIT KEYNOTES
ИЗ	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS	
4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
	WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No
		date
		May 6, 2022

12

Project #2006

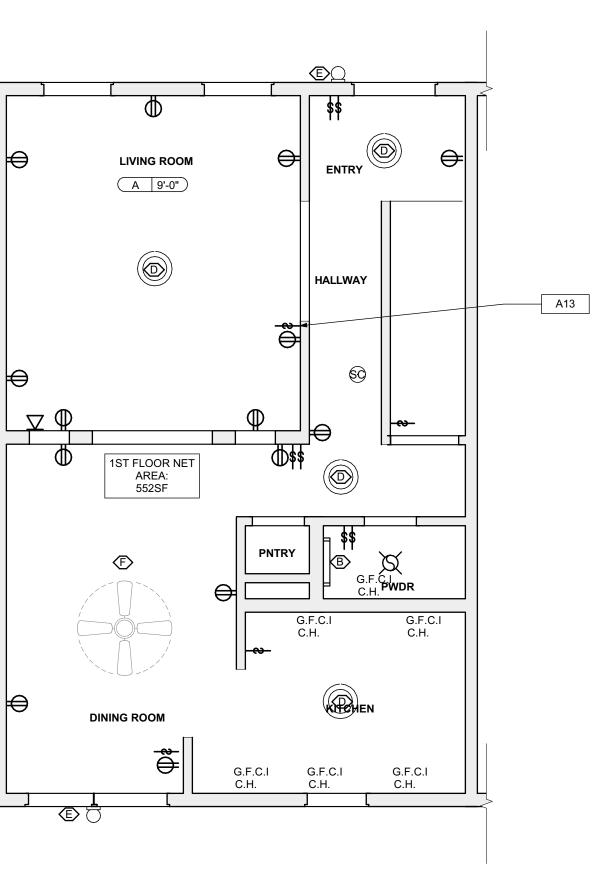






LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
01	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	2
	С	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
$\bigcirc$	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
Ū	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	4
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

THIRD FLOOR REFL. CLG./ POWER / DATA PLAN SCALE: 1/4" = 1'-0"



RCF	PLEGEND - (See Specifications for basis
of D	esign)
ഭ	SMOKE ALARM, PROVIDE NEW WHERE SHOWN

- $\mathbf{\Theta}$ SC SMOKE/ CARBON MONOXIDECOMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT Ō
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- GFCI GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER
- LIGHT SWITCH
- 🗴 EXHAUST FAN

DOORBELL

- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING
  - HEIGHT TO B.O. TRUSS/JOIST

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

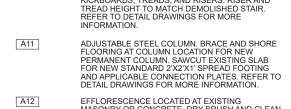
0 1' 2'

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

PLAN

NORTH

SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	
54	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
56	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
37	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	
58	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
510	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
511	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
312	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
313	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
514	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	
ROOF		
र1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	
ARCHIT	ECTURAL	
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	
44	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	
45	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	
<u>46</u>	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER SPECIFICATIONS.	
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
49	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	



EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. A13

- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. A14 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. A15
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. A16
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. A17 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS. A18

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. P1 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL. P2 MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S. M1 PROPERLY SUPPORT DUCTWORK, EXPANSION

	TANK, OR OTHER FEATURE AT LOCATION.
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL

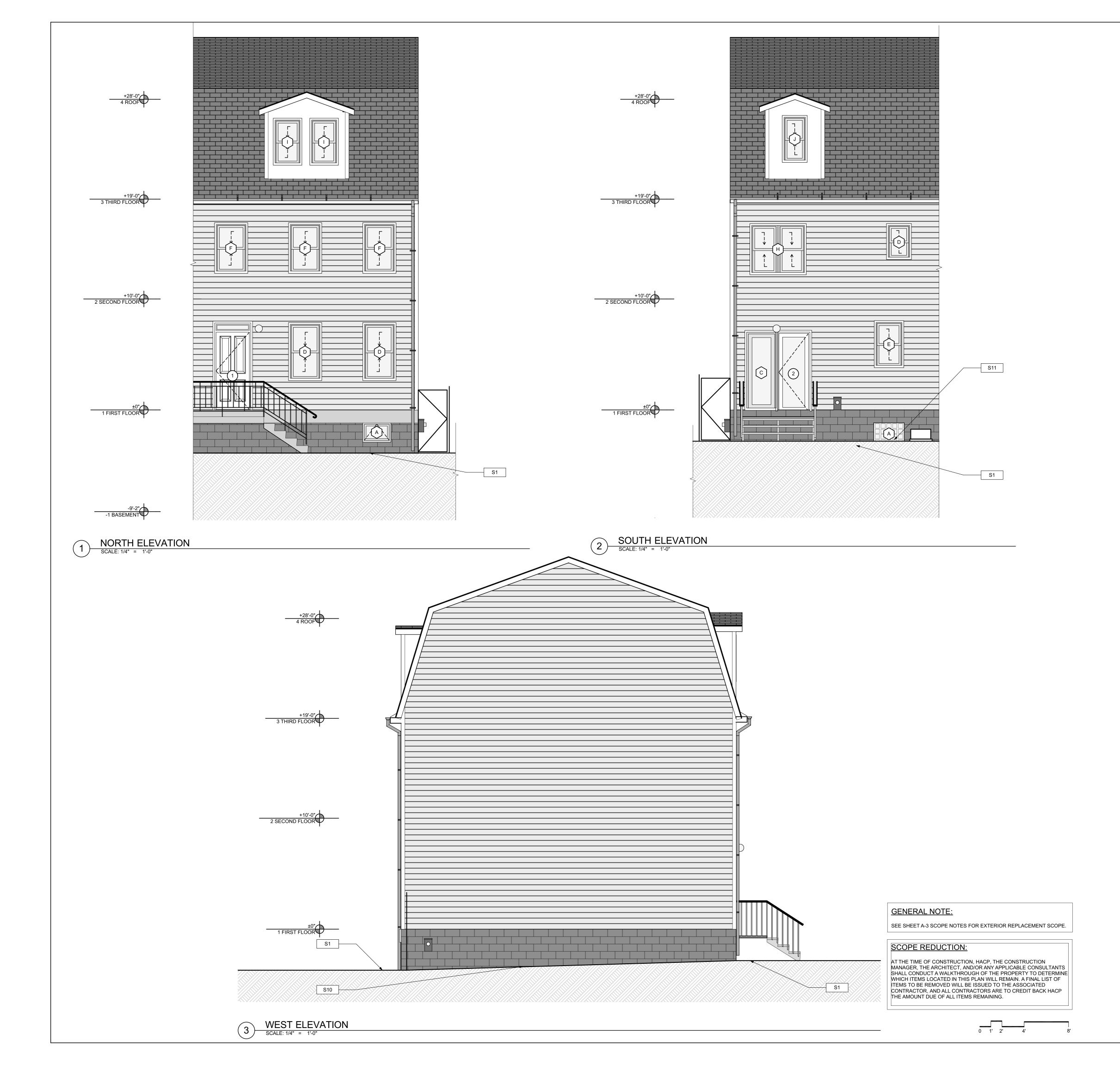
INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

ph 41	Ross burgh, Penn 2.281.6001	chitects Pc
■		seal
<ul> <li>■ 1.</li> <li>2.</li> <li>3.</li> <li>4.</li> <li>5.</li> <li>6.</li> </ul>	<ul> <li>existing construction s</li> <li>Contractor shall ver conditions in the field</li> <li>Pc of any discrepancifrom, or alterations t</li> <li>proceeding with any drawings.</li> <li>All work shall be instructed and regulations.</li> <li>Contractor shall be repairing, and prepara ceiling surfaces as required for find the shown on a seemblies. Contract material required for find the repaired state, notices, and o prepared by the Archi remain the property of</li> </ul>	responsible for the patching tions of all existing floor, wall, and uired to receive scheduled finishes. drawings are finished construction tor shall provide and install all
	rights, including the co	MIT: 05.06.2022
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■ • O • HA 200	<b>WNET:</b> ACP 0 ROSS STREF FTSBURGH,PA	
О НА 200 РГЛ РГЛ МА 110 РГЛ	ACP D ROSS STREE TTSBURGH,PA <b>roject Loca</b> ANCHESTER S D9 SHEFFIELD TTSBURGH, P	ET A 15219 A tion: SCATTERED SITES
<ul> <li>O</li> <li>HA</li> <li>200</li> <li>PIT</li> <li>PI</li> <li>MA</li> <li>110</li> <li>PIT</li> <li>152</li> </ul> BSN PLA POV FLC DAT CLC CLC CLC GRA	ACP D ROSS STREE TTSBURGH,PA ANCHESTER S D9 SHEFFIELD TTSBURGH, PA 233 AT. REFL. CL AN, FIRST FLA WER / DATA F DOR REFL. CA TA PLAN, THI G./ POWER / I GEND, LIGHT	ET A 15219 A tion: SCATTERED SITES O STREET

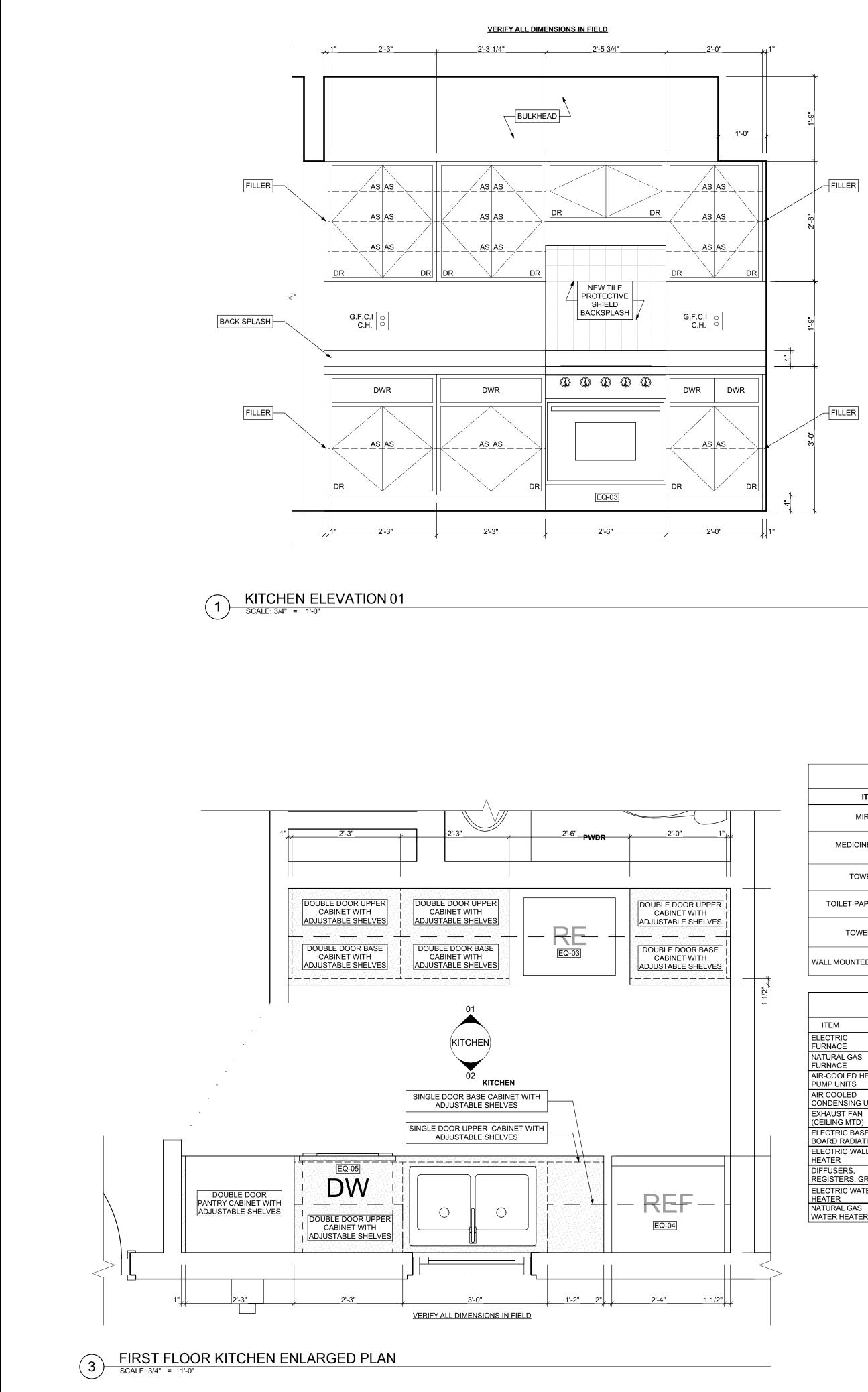
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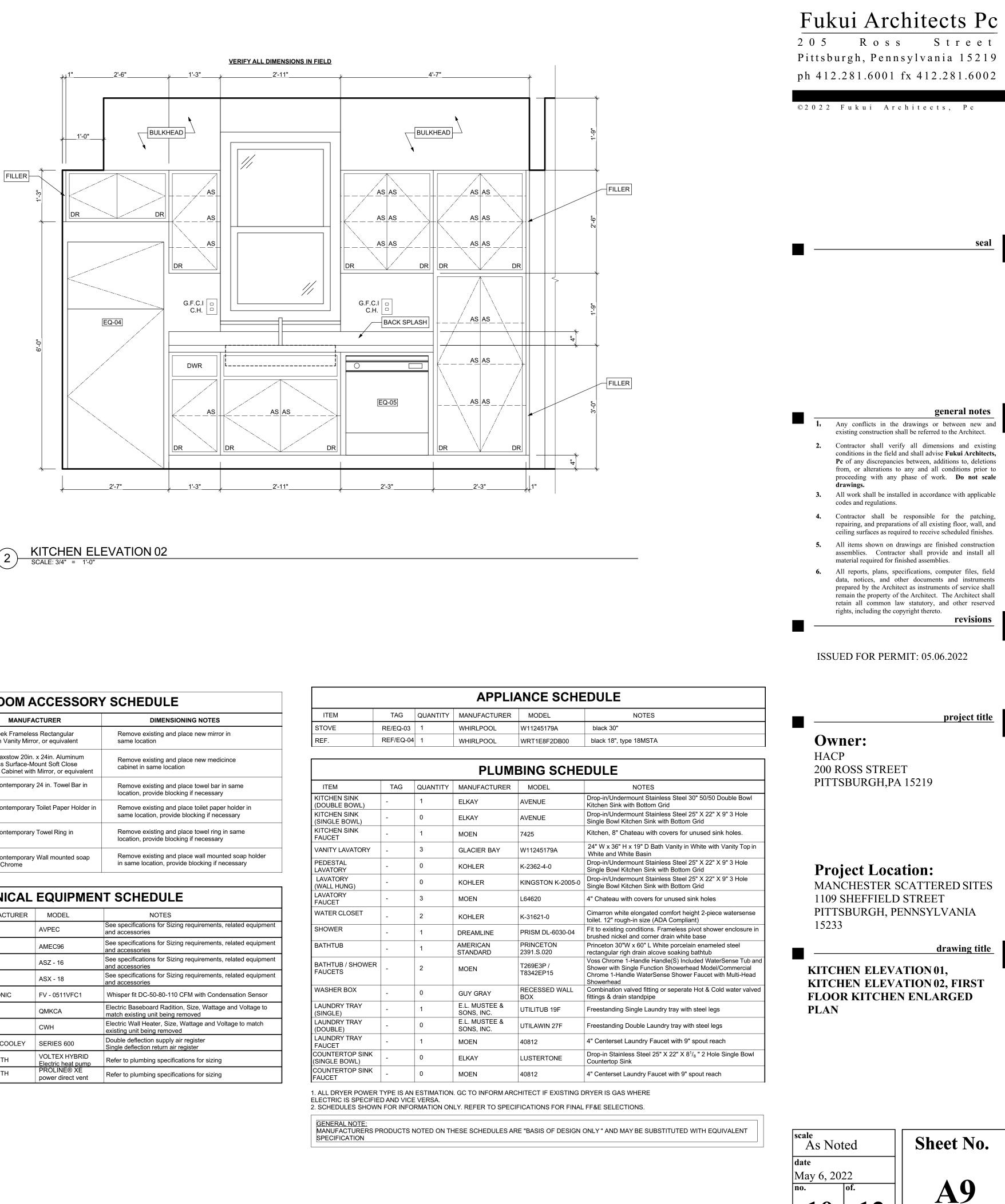
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51	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SDECIECATION	Fukui Arcl	Stree
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC: AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Penns ph 412.281.6001 f	-
S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.		X 412.281.000 hitects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE		
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE		
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	<b>—</b>	sea
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	-	
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.		
S11	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND		
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S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.		
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.		
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1</b> : Any conflicts in the o	general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	<ul><li>existing construction sha</li><li>2. Contractor shall verify</li></ul>	ll be referred to the Architect.
	SPECIFICATIONS FOR DETAILS.	<b>Pc</b> of any discrepancies from, or alterations to	d shall advise <b>Fukui Architec</b> between, additions to, deletio any and all conditions prior
	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	drawings.	hase of work. <b>Do not sc:</b> ed in accordance with applicab
A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	codes and regulations.	responsible for the patchir
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparatio	responsible for the patchin ns of all existing floor, wall, a ed to receive scheduled finishe
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	assemblies. Contractor	wings are finished construction shall provide and install a
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.		ifications, computer files, fie
A6	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	prepared by the Architec	er documents and instrumer et as instruments of service sha he Architect. The Architect sha
<u>A6</u>	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER		statutory, and other reserve
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND	ISSUED FOR PERM	IIT: 05.06.2022
A8	SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN		
A9	SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND		
410	REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR.	<b>—</b>	project titl
A10	DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP	
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA	
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT		
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	<b>D 1</b>	<b>1 0</b>
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALLAT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	<b>Project Locat</b> MANCHESTER SC	
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL	1109 SHEFFIELD S PITTSBURGH, PE	
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233	
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.		drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	NORTH ELEVATION	ON, SOUTH
	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	ELEVATION, WES GRAPHIC SCALES	T ELEVATION,
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	GRAPHIC SCALES KEYNOTES	5, SIVIALL UNII
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.		
MECH	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION		
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.		
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIEICATIONS FOR MORE DETAILS		
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO SCILLE OR FURNACE	· · · · · · · · · · · · · · · · · · ·	
	WITH CORRECT SIZING AS NECESSARY.	scale As Noted	Sheet No.
		date May 6, 2022 no. of.	<b>A8</b>
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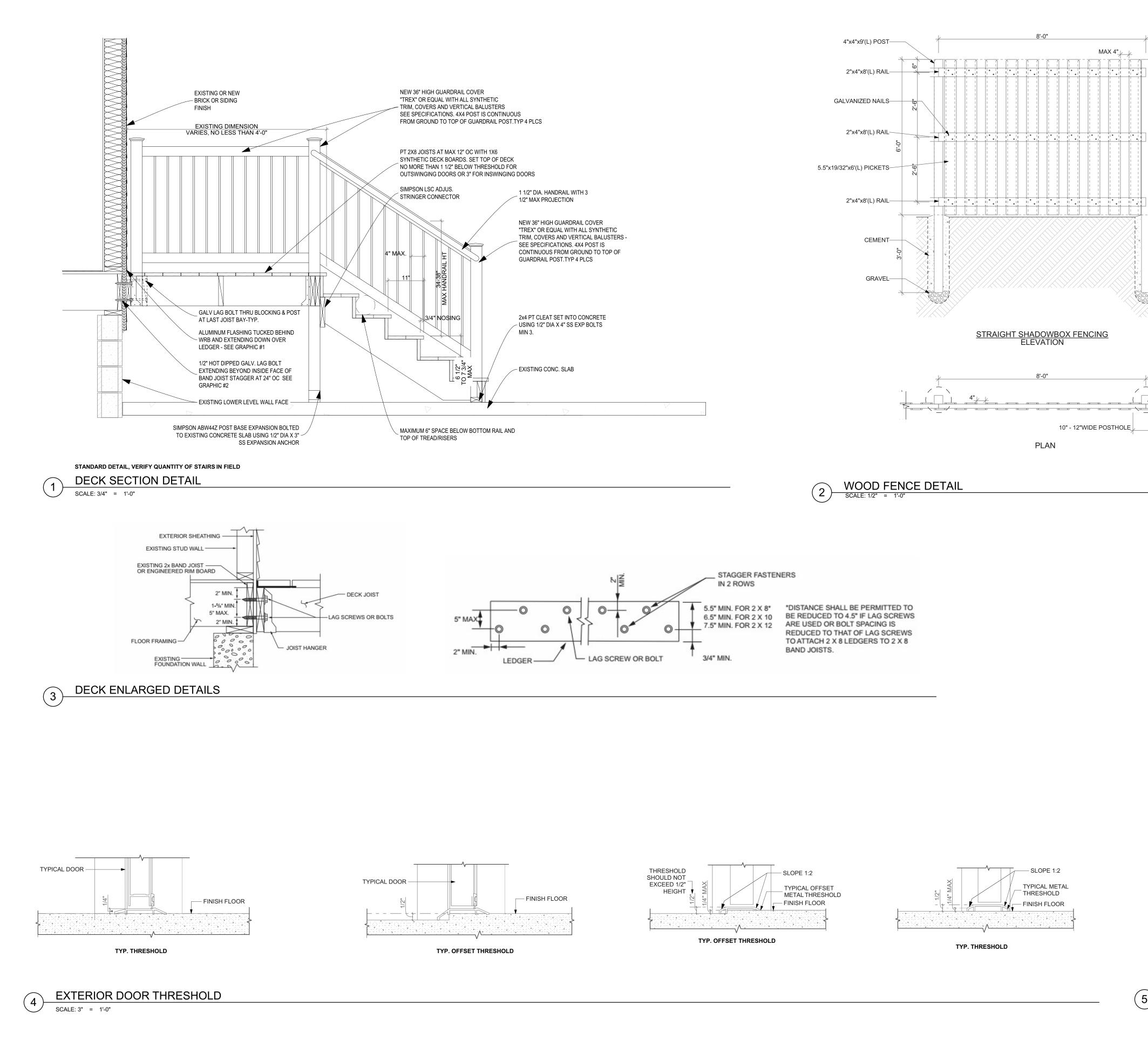
## BATHROOM ACCESSORY SCHEDULE

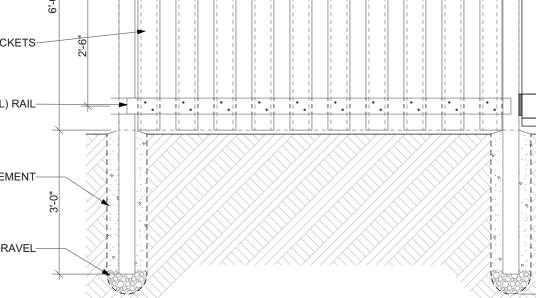
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	2	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

ITEM	TAG	QU
STOVE	RE/EQ-03	1
REF.	REF/EQ-04	1

ITEM	TAG	QUA
KITCHEN SINK (DOUBLE BOWL)	-	1
KITCHEN SINK (SINGLE BOWL)	-	0
KITCHEN SINK FAUCET	-	1
VANITY LAVATORY	-	3
PEDESTAL LAVATORY	-	0
LAVATORY (WALL HUNG)	-	0
LAVATORY FAUCET	-	3
WATER CLOSET	-	2
SHOWER	-	1
BATHTUB	-	1
BATHTUB / SHOWER FAUCETS	-	2
WASHER BOX	-	0
LAUNDRY TRAY (SINGLE)	-	1
LAUNDRY TRAY (DOUBLE)	-	0
LAUNDRY TRAY FAUCET	-	1
COUNTERTOP SINK (SINGLE BOWL)	-	0
COUNTERTOP SINK FAUCET	-	0



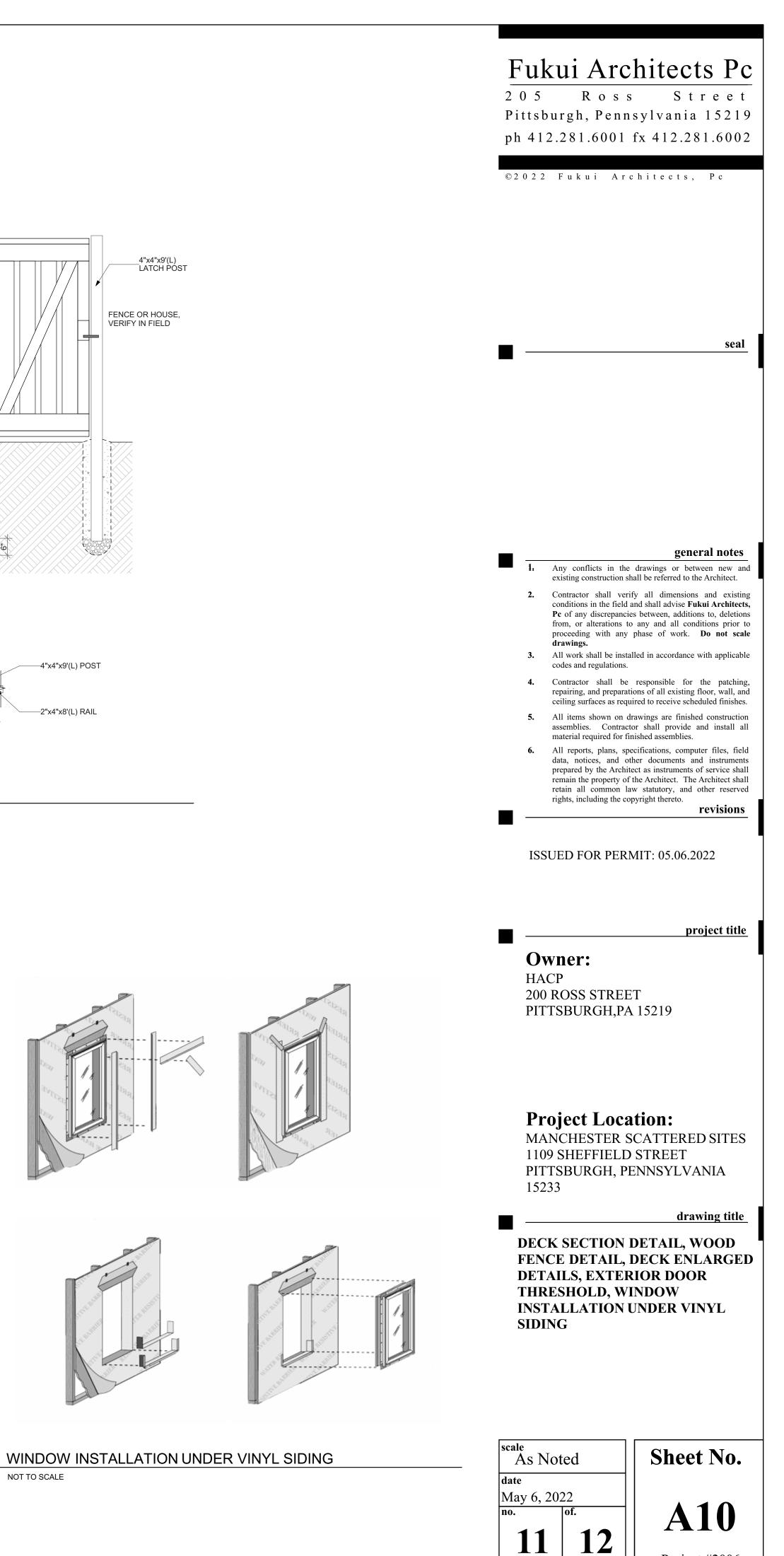




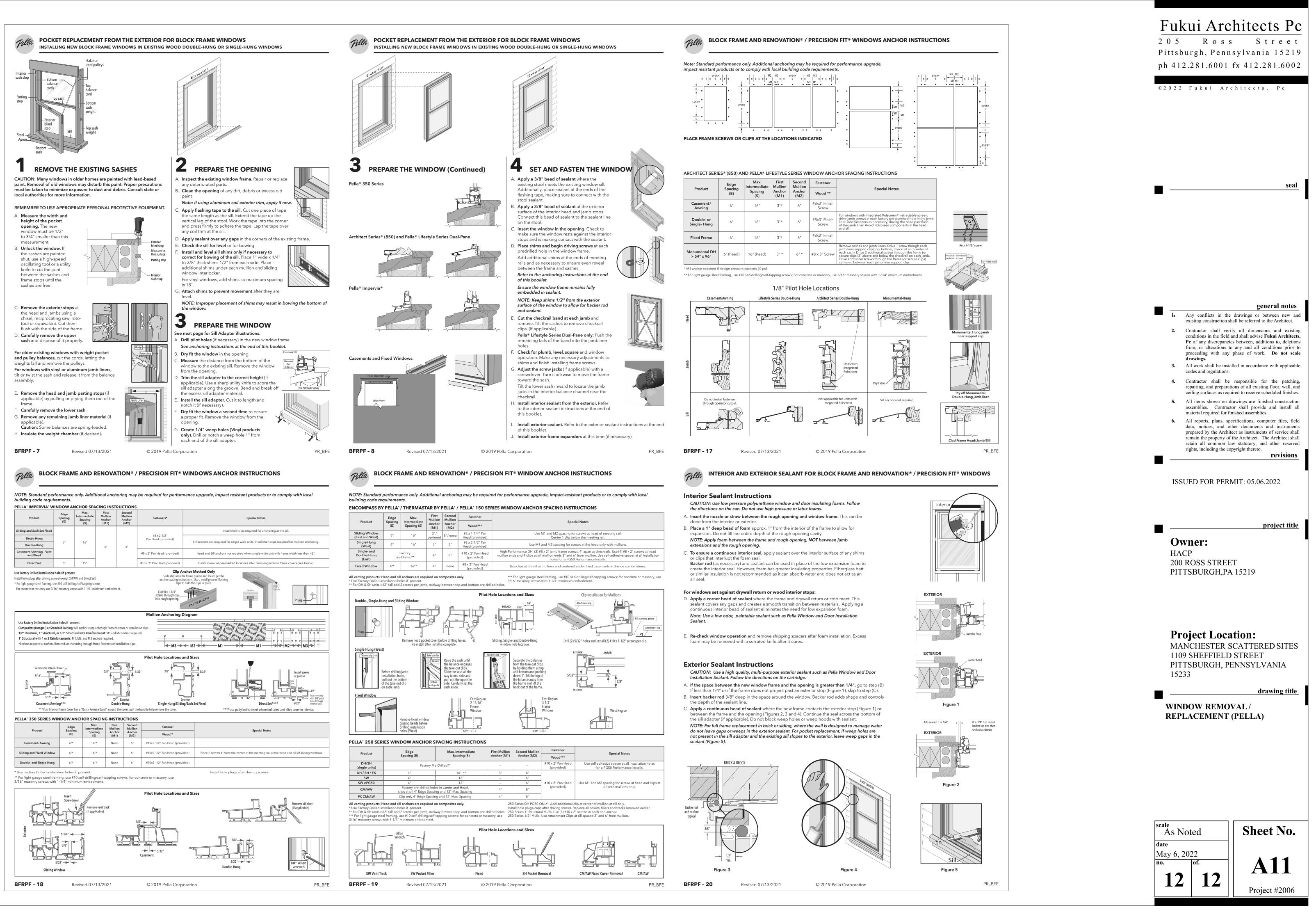
MAX 4"_____



NOT TO SCALE



Project #2006



#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

## Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

**Development Characteristics** Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

#### Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

#### As the **DESIGN ARCHITECT**, I certify that:

**Development Amenities** 

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preserva An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis. 

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculitzetz Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. ( schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

## As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	<u>MU</u>
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

## 2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504 UFAS 🖉 PAUCC 🗆 FHAA 🗆 ADA Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	<ul> <li>The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.</li> <li>Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.</li> <li><u>New Construction</u>:         <ul> <li>For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)</li> </ul> </li> </ul>	X       The Fair Housing Act of 1988 & Fair Housing Desig         X       ANSI A117.1-2009 (or edition currently adopted by         X       Pennsylvania Uniform Construction Code         X       Uniform Federal Accessibility Standards (UFAS)         X       Section 504 of the Rehabilitation Act of 1973         X       2010 ADA Standards for Accessible Design         X       Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.)         NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	<ul> <li>For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)</li> <li><u>Preservation (Moderate Rehab)</u> *:</li> <li>For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)</li> <li>*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.</li> </ul>	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	<ul> <li>NOTE:</li> <li>Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.</li> <li>All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.</li> </ul>	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA   210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- ____X When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)	205 Ross Stree
Large Family Units	Pittsburgh, Pennsylvania 1521
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:	ph 412.281.6001 fx 412.281.600
*High rise developments and senior housing cannot qualify for this category.	©2022 Fukui Architects, Pc
71       Total units       >15 - 20% of all units         43       Total number of affordable 3 or more- bedroom units       >20 - 25% of all units         >10-15% of all units (suburban/rural developments only)       X       >25% of all units	,,
DESIGN ARCHITECT	
Signed: Date: Date:	
Firm Fuller, Arealticate, PC	
Acknowledged and Accepted by the APPLICANT(S)	
Signed: Date:	
Print:	
Signed: Date: Print:	Se:
AB_08_02 CERTIFICATION OF SELECTION CRITERIA 212	
	general note
YLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)	<b>1.</b> Any conflicts in the drawings or between new
· · · · · · · · · · · · · · · · · · ·	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exist</li> </ol>
ESIGN ARCHITECT, I certify that for preservation developments: X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Architer Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prior</li> </ol>
ESIGN ARCHITECT, I certify that for preservation developments: X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prior proceeding with any phase of work. Do not s drawings.</li> <li>All work shall be installed in accordance with applic codes and regulations.</li> </ol>
<u>ESIGN ARCHITECT</u> , I certify that for preservation developments: <u>X</u> The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green munities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prioproceeding with any phase of work. Do not s drawings.</li> <li>All work shall be installed in accordance with applic codes and regulations.</li> <li>Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall,</li> </ol>
ESIGN ARCHITECT, I certify that for preservation developments:           x         The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria) Enterprise Green Communities Criteria for Preservation Developments servation developments are not required to follow the mandatory 2020 Enterprise Green numunities criteria, as amended: Enterprise Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new faxtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions price proceeding with any phase of work. Do not s drawings.</li> <li>All work shall be installed in accordance with applic codes and regulations.</li> <li>Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish</li> <li>All items shown on drawings are finished construct</li> </ol>
ESIGN ARCHITECT, I certify that for preservation developments:           x         The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)           Enterprise Green Communities Criteria for Preservation Developments           servation developments are not required to follow the mandatory 2020 Enterprise Green numunities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended:           Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements)           Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)           Ecosystem Services/Landscaping (applicable only to new fixtures)	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exist conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prior proceeding with any phase of work. Do not st drawings.</li> <li>All work shall be installed in accordance with applic codes and regulations.</li> <li>Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish</li> <li>All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, files</li> </ol>
ESIGN ARCHITECT, I certify that for preservation developments:         x       The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)         Enterprise Green Communities Criteria for Preservation Developments         servation developments are not required to follow the mandatory 2020 Enterprise Green munities criteria for "moderate rehab" projects. Instead, they shall comply with only the wing mandatory 2015 Green Communities criteria, as amended:         Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements)         Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)         Ecosystem Services/Landscaping (applicable only to new fixtures)         Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)         Energy Star Appliances (Applicable only to new appliances)         Lighting (Applicable only to new lighting fixtures)         Healthier Material Selection (Applicable only to new paints, coatings and primers)         Bather Material Selection (Applicable only to new paints, coatings and primers)	<ol> <li>Any conflicts in the drawings or between new existing construction shall be referred to the Architect</li> <li>Contractor shall verify all dimensions and exis conditions in the field and shall advise Fukui Archite Pc of any discrepancies between, additions to, delet from, or alterations to any and all conditions prioe proceeding with any phase of work. Do not s drawings.</li> <li>All work shall be installed in accordance with applic codes and regulations.</li> <li>Contractor shall be responsible for the patch repairing, and preparations of all existing floor, wall, ceiling surfaces as required to receive scheduled finish</li> <li>All items shown on drawings are finished construct assemblies. Contractor shall provide and install material required for finished assemblies.</li> <li>All reports, plans, specifications, computer files, f data, notices, and other documents and instrume prepared by the Architect as instruments of service s</li> </ol>
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## **Project Location:**

MANCHESTER SCATTERED SITES 1107 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

**SELECTION CRITERIA**, THRESHOLD CRITERIA, **TABULAR SCHEDULE** 

TABULAR AREA UNIT SCHEDULE					
UNIT #	GROSS AREA (SF)	NET AREA (SF)			
SFR	2,236	1,987			

scale As Noted	Sheet No.
date	
May 6, 2022	
1 12	
	Project #2006

# MANCHESTER SCATTERED SITES

# HACP, Existing Duplex Unit Repairs and Level 2 Alterations **1107 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT**

**Drawing Index** 

**A0 PHFA DOCUMENTS** 

SELECTION CRITERIA

THRESHOLD CRITERIA TABULAR SCHEDULE

	ARCH PRLIM SET
	CODE AND CONTACT INFO
	MANCHESTER SCATTERED SITES MAP
A2 ABBREVIAT	IONS AND MATERIALS
	ABBREVIATIONS AND MATERIALS
	DOOR TYPES
	WINDOW SCHEDULE
	DOOR SCHEDULE (WITH EXISTING)
	FINISH SCHEDULE
	SIDING WALL SECTION
	INTERIOR STAIR DETAIL
A3 SCOPE / GEN	NERAL / GREEN COMMUNITIES NOTES
	GENERAL NOTES
	ENERGY NOTES
A4 SITE PLAN A	ND ROOF PLAN
	ROOF
	SITE PLAN
	ROOF PLAN NOTES
	ROOF AND SITE PLAN LEGEND GRAPHIC SCALES
	GRAPHIC SCALES GRAPHIC SCALES
	GRAPHIC SCALES SMALL UNIT KEYNOTES
A5 FLOOR / DE	
N I LOOK / DE	DEMOLITION PLAN LEGEND
	GENERAL DEMOLITION NOTES
	BASEMENT / DEMO PLAN
	FIRST FLOOR / DEMO PLAN
	SECOND FLOOR / DEMO PLAN
	THIRD FLOOR / DEMO PLAN
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
	SMALL UNIT KEYNOTES
A6 FLOOR/FINI	SH/MECH./PLUMB. PLANS
	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
	BASEMENT/FINISH/MECH./PLUMB. PLAN
	FLOOR PLAN LEGEND
	GRAPHIC SCALES
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
	SMALL UNIT KEYNOTES
A7 REFL. CLG.	/ POWER / DATA PLANS
	BASEMENT REFL. CLG. / POWER / DATA PLAN
	FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
	SECOND FLOOR REFL. CLG. / POWER / DATAPLAN
	THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
	SMALL UNIT KEYNOTES
	RCP LEGEND
<b>A8 ELEVATION</b>	
	NORTH ELEVATION
	SOUTH ELEVATION
	GRAPHIC SCALES
	EAST ELEVATION
	SMALL UNIT KEYNOTES
A9 KITCHEN EI	NLARGED PLANS AND ELEVATIONS
	FIRST FLOOR KITCHEN ENLARGED PLAN
	KITCHEN ELEVATION 02
	KITCHEN ELEVATION 01
A10 DETAILS	
A10 DETAILS	DECK ENLARGED DETAILS
A10 DETAILS	WINDOW INSTALLATION UNDER VINYL SIDING
A10 DETAILS	

## **Code Conformance Information**

Applicable Codes	
General:	2015 Int
	2015 In
Accessibility:	2009 IC
Energy:	2015 Int
Electrical:	2014 NI
Fire:	2015 Int
Fuel Gas:	2015 Int
Mechanical:	2015 Int
Plumbing:	2017 Al
Fire Alarm:	2013 NI
Sprinkler:	2013 NH
General Building / Project Information	
Classification of Work:	Level-2
Occupancy Group:	"R-2"
Stories:	3 story v

Gross Area:

Sprinklers:

Construction Type:

Smoke detector:

**Contact Schedule** 

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers. Plan Review & Inspection: **Building Owner:** Architect: Housing Authority ukui Architects, PC City of Pittsburgh of the City of Pittsburgh 05 Ross Street Department of permits, ph: 412.715.7501 ttsburgh, PA 15219 Licenses and Inspections : 412.281.6001 mackenzie.pleskovic@had 200 Ross Street contact: Mackenzie Plesko : 412.281.6002 3rd floor, room 320 Pittsburgh, PA 15205 Fgf@farpc.com contact: Felix G. Fukui, AIA ph: 412.255.2175

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cp.org	ph
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# **General Description of Work**

- Notes on Sheet A-3.
- Architectural Scope Notes.

# **General Note Related to Quantities** Shown in Documentation

- offs.

nternational Building Code International Building Code CC/ANSI A117.1 nternational Energy Conservation Code NEC (NFPA 70) nternational Fire Code nternational Fuel Gas Code nternational Mechanical Code Allegheny County Health department Plumbing Code VFPA 72 VFPA 13

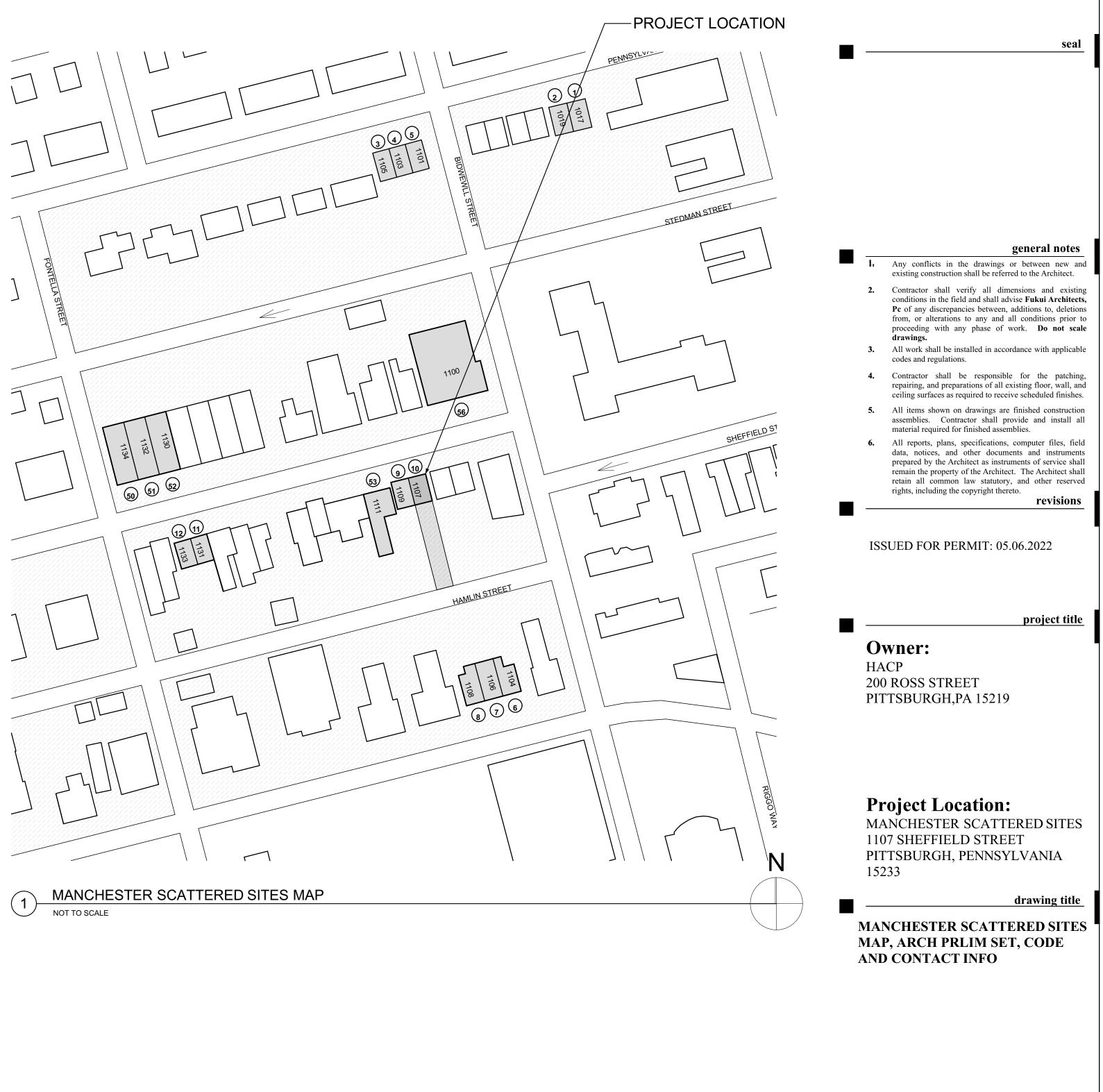
2 alteration per the IEBC 3 story with basement 1,987 sqft

None

. It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

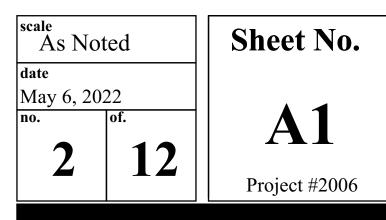
Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-

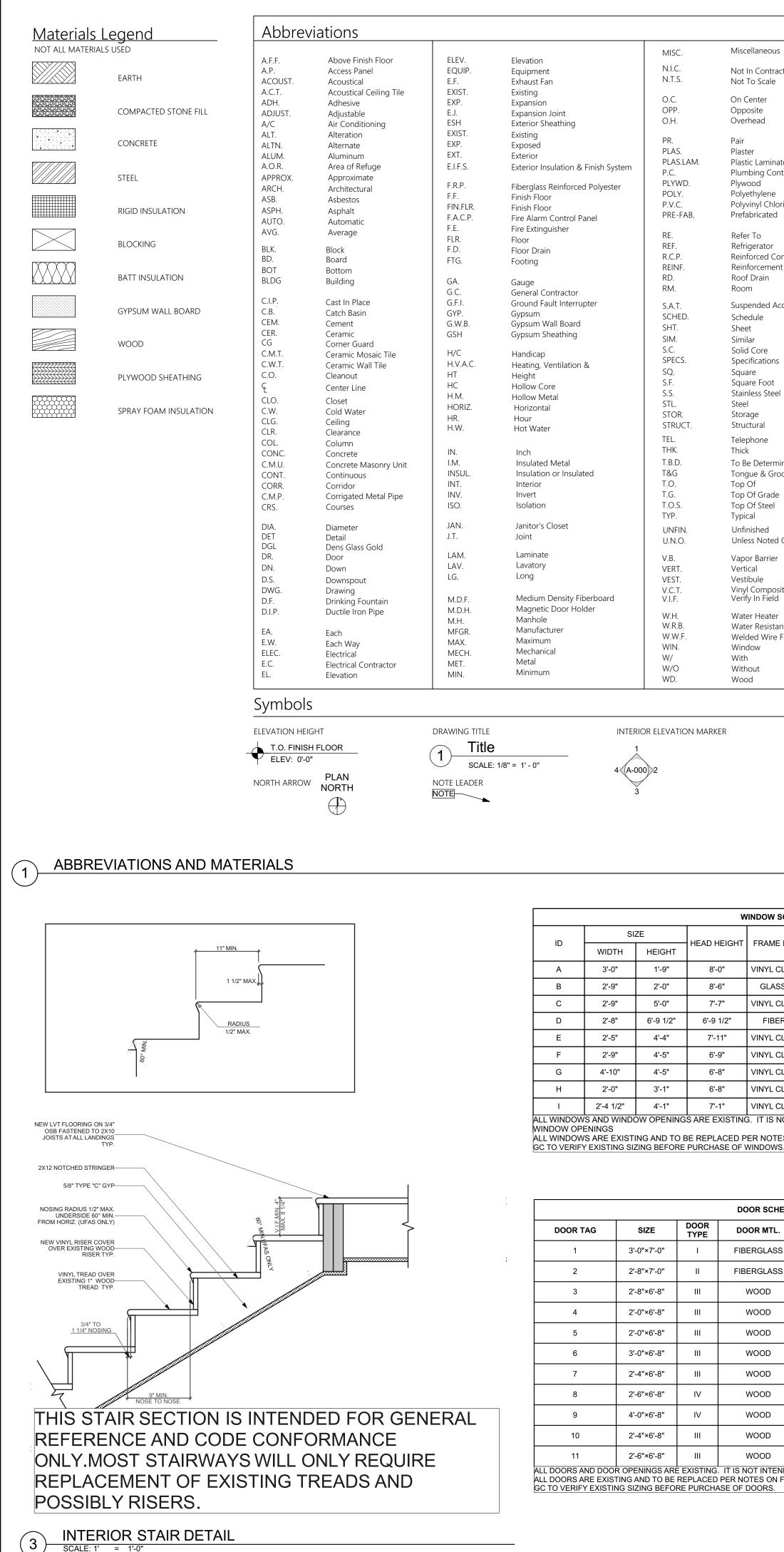


# Fukui Architects Pc

Ross Street 2 0 5 Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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SCALE: 1' = 1'-0"

Not In Contract

Plastic Laminate Plumbing Contractor

Polyethylene Polyvinyl Chloride Prefabricated

Refrigerator Reinforced Concrete Pipe Reinforcement

Suspended Acoustical Tile

Specifications

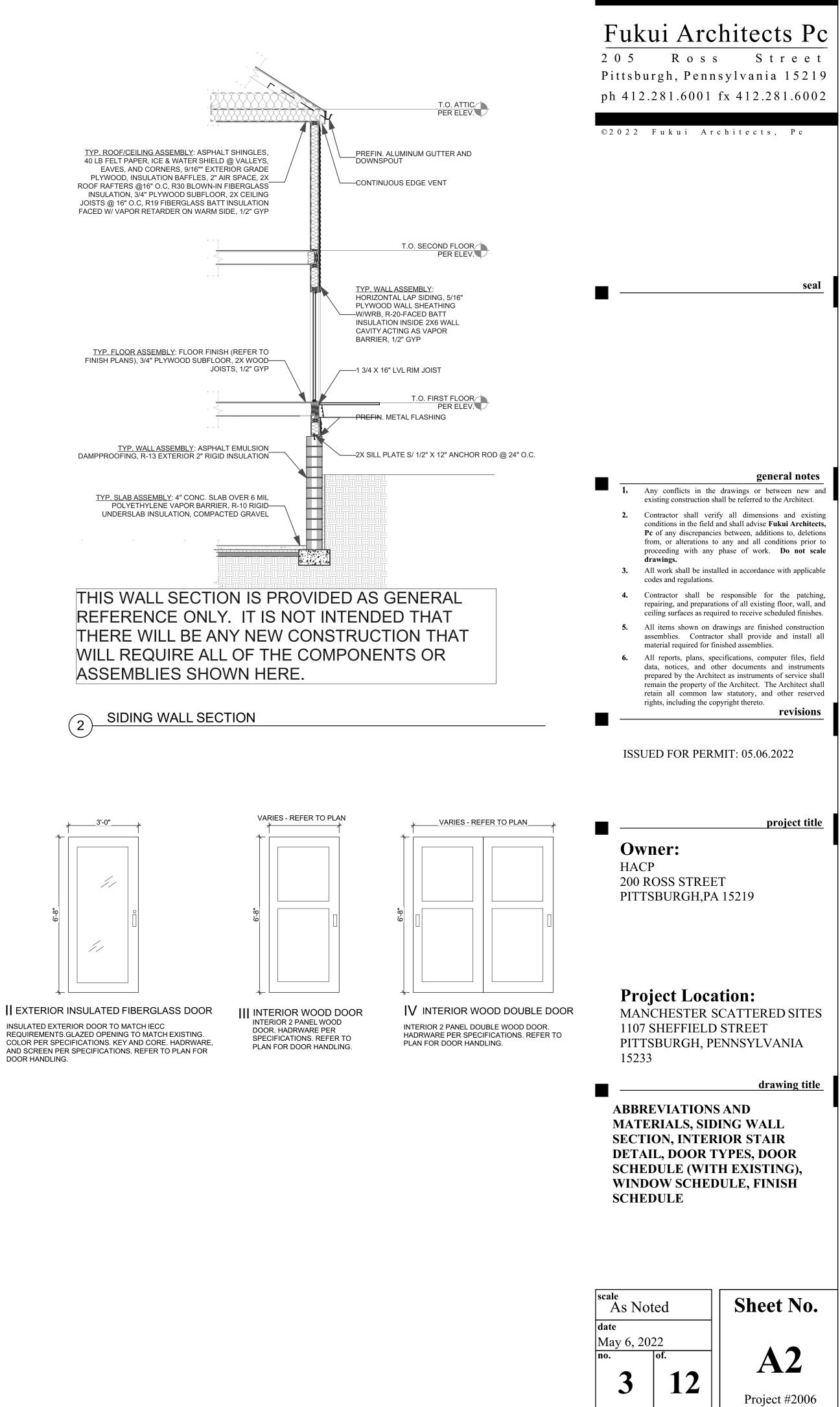
Square Foot Stainless Steel

To Be Determined Tongue & Groove Top Of Grade

Unless Noted Otherwise

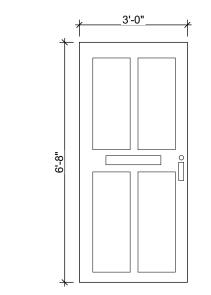
Vapor Barrier

Vestibule Vinyl Composition Tile Verify In Field Water Heater Water Resistant Barrier Welded Wire Fabric



NDOW SCHEDULE		
FRAME MATERIAL	VENTING	TEMPERED
VINYL CLAD WOOD	⊠	
GLASS BLOCK		
VINYL CLAD WOOD	⊠	
FIBERGLASS	⊠	⊠
VINYL CLAD WOOD	⊠	
VINYL CLAD WOOD	⊠	
VINYL CLAD WOOD	×	
VINYL CLAD WOOD	×	
VINYL CLAD WOOD	⊠	
IT IS NOT INTENDE	ED TO RE-FRAM	IE EXISTING
R NOTES ON FINISH INDOWS.	H PLAN.	

FINISI	H SCHEDULE
NAME	FLOOR
BEDROOM	09   LVT
BTHRM	09   LVT
CLO	09   LVT
DINING ROOM	09   LVT
ENTRY	09   LVT
HALLWAY	09   LVT
KITCHEN	09   LVT
LIVING ROOM	09   LVT
PWDR	09   LVT

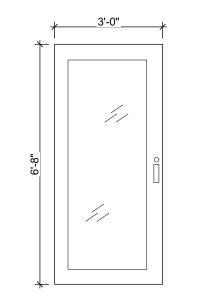


**|** EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOXC SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR

TO MATCH EXISTING. KEY AND CORE AND HADRWARE

PER SPECIFICATIONS. REFER TO PLAN FOR DOOR

HANDLING.



**EXTERIOR INSULATED FIBERGLASS DOOR** 

## DOOR SCHEDULE

OR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
RGLASS FIBERGLASS		ENTRY
RGLASS	FIBERGLASS	ENTRY
VOOD WOOD		PASSAGE
/OOD	WOOD	PASSAGE
/OOD	WOOD	PRIVACY
/OOD	WOOD	PRIVACY
/OOD	WOOD	PRIVACY
/OOD	WOOD	DUMMY
/OOD	WOOD	PASSAGE
/OOD	WOOD	PASSAGE
/OOD	WOOD	PASSAGE
OT INTENDED TES ON FINIS OORS.	TO RE-FRAME EXISTI H PLAN.	NG DOOR OPENINGS

#### **GENERAL FLOOR PLAN NOTES**

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING TH PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS. AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION. GC TO CONTACT OWNER. ARCHITECT. AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS. OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYSAND BATHROOMS REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND SPECIFICATIONS ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:

1. PARKING PADS

SPECIFICAITONS.

- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS

#### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK FLOOR STAND DRAIN PAN DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE, PROVIDE NEW TOIL FT AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

- 7. FIRE ALARM SYSTEMS

#### MECHANICAL SCOPE NOTES

#### THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL.SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL FXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPE OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

#### ELECTRICAL SCOPE NOTES

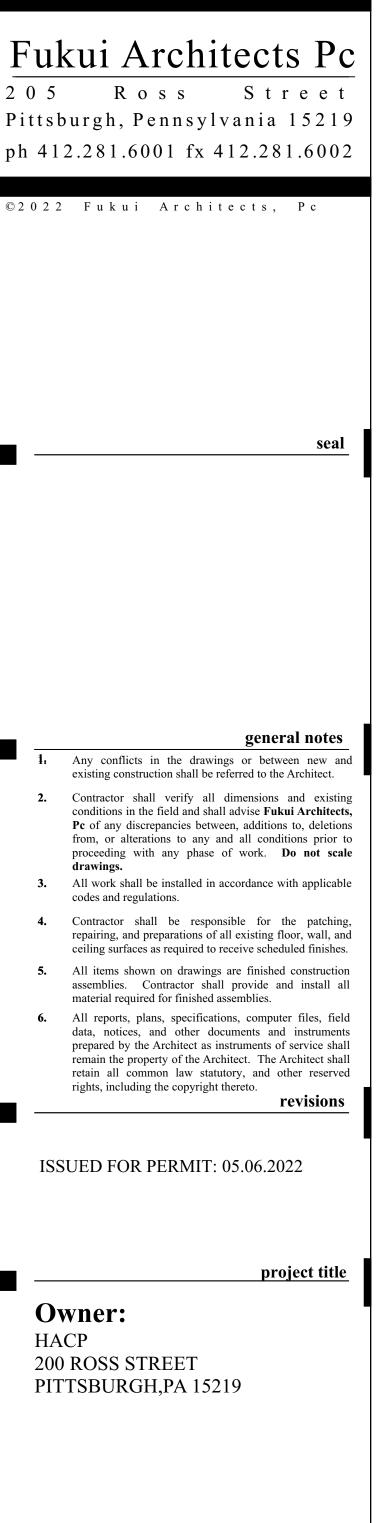
THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIEY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR, EIELD VERIEY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS, PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING, LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDI.E(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES. LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE.
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION, REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25 CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

### **GREEN COMMUNITIES NOTES**

- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART, ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR RATED
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIEV POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFE WITH SILT FENCING OR COMPARABLE MEASURES, PROJECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES. SILT FENCING. SILT SACKS. ROCK FILTERS. OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE, IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION.
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR ARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING, NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS. KITCHENS, AND LAUNDRY ROOMS, MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT, CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEALALL WALL FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN ¼-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

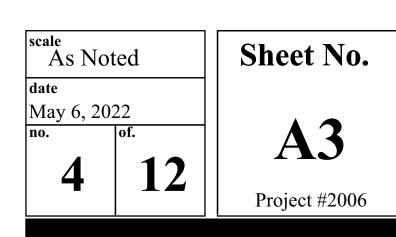


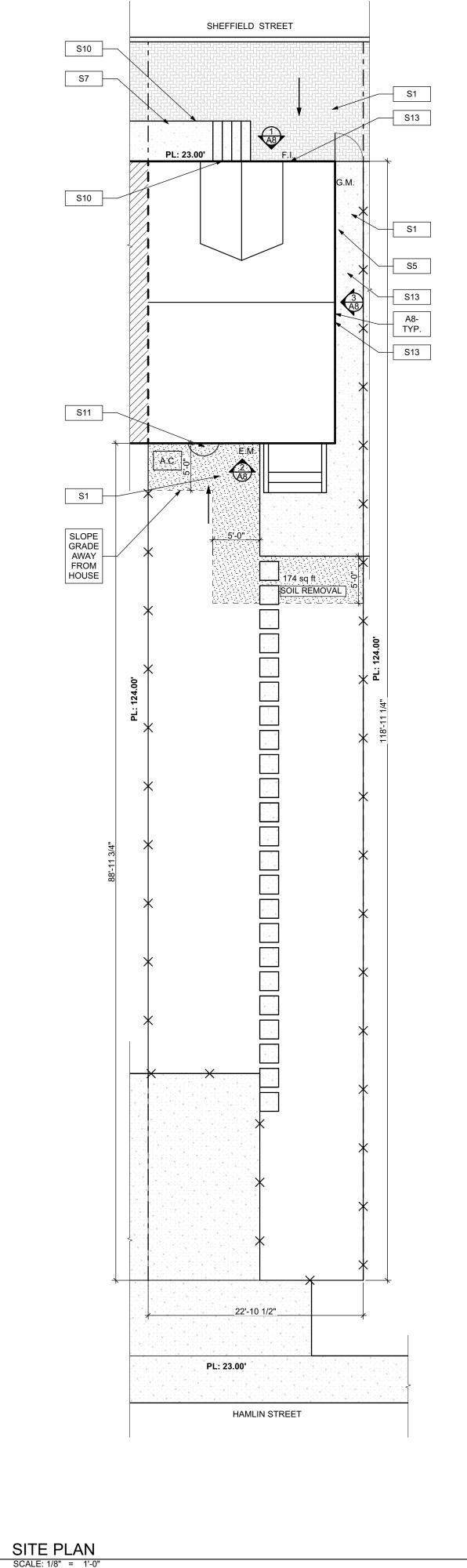
## **Project Location:**

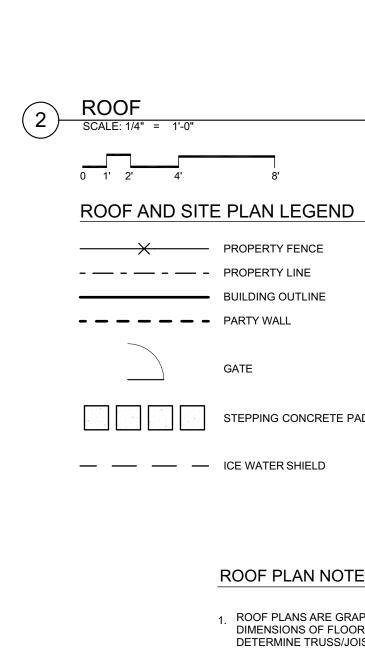
MANCHESTER SCATTERED SITES **1107 SHEFFIELD STREET** PITTSBURGH, PENNSYLVANIA 15233

drawing title

**ENERGY NOTES, GENERAL** NOTES



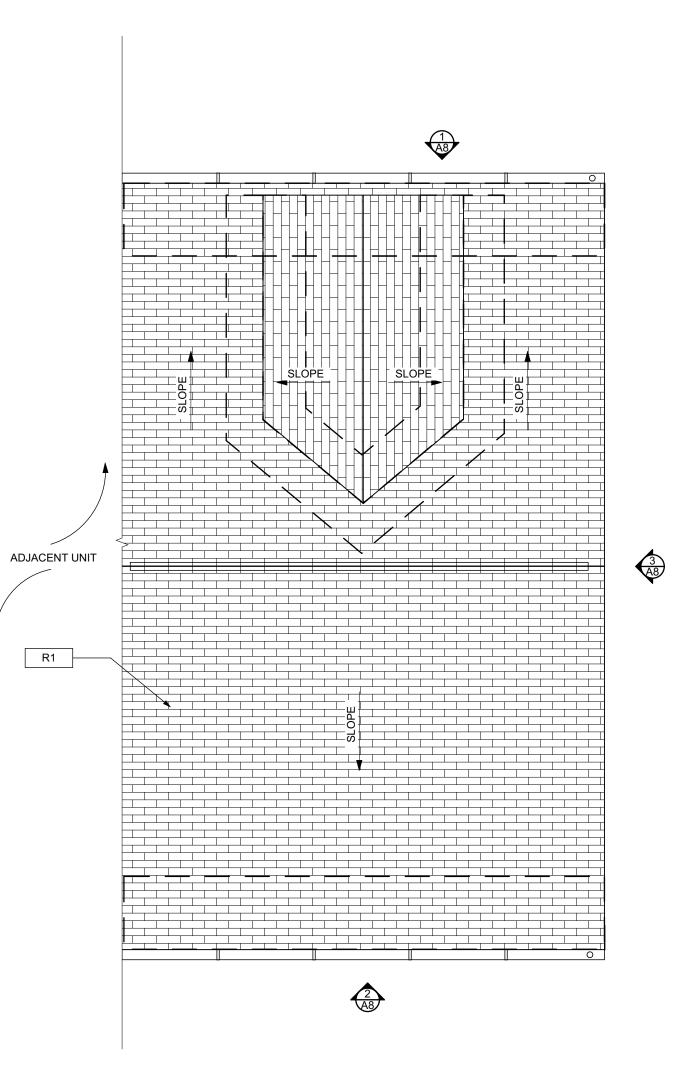




SCOPE REDUCTION: THE AMOUNT DUE OF ALL ITEMS REMAINING.

PLAN NORTH

(1) SCALE: 1/8" = 1'-0" 0 2' 4' 8'



ROPERTY FENCE

- G.M. GAS METER F.I. FRESH AIR INTAKE
- A.C. AIR CONDITIONER CONDENSOR
- E.M. ELECTIC METER

## GATE

STEPPING CONCRETE PADS

## ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- 2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

## SITE PLAN NOTES

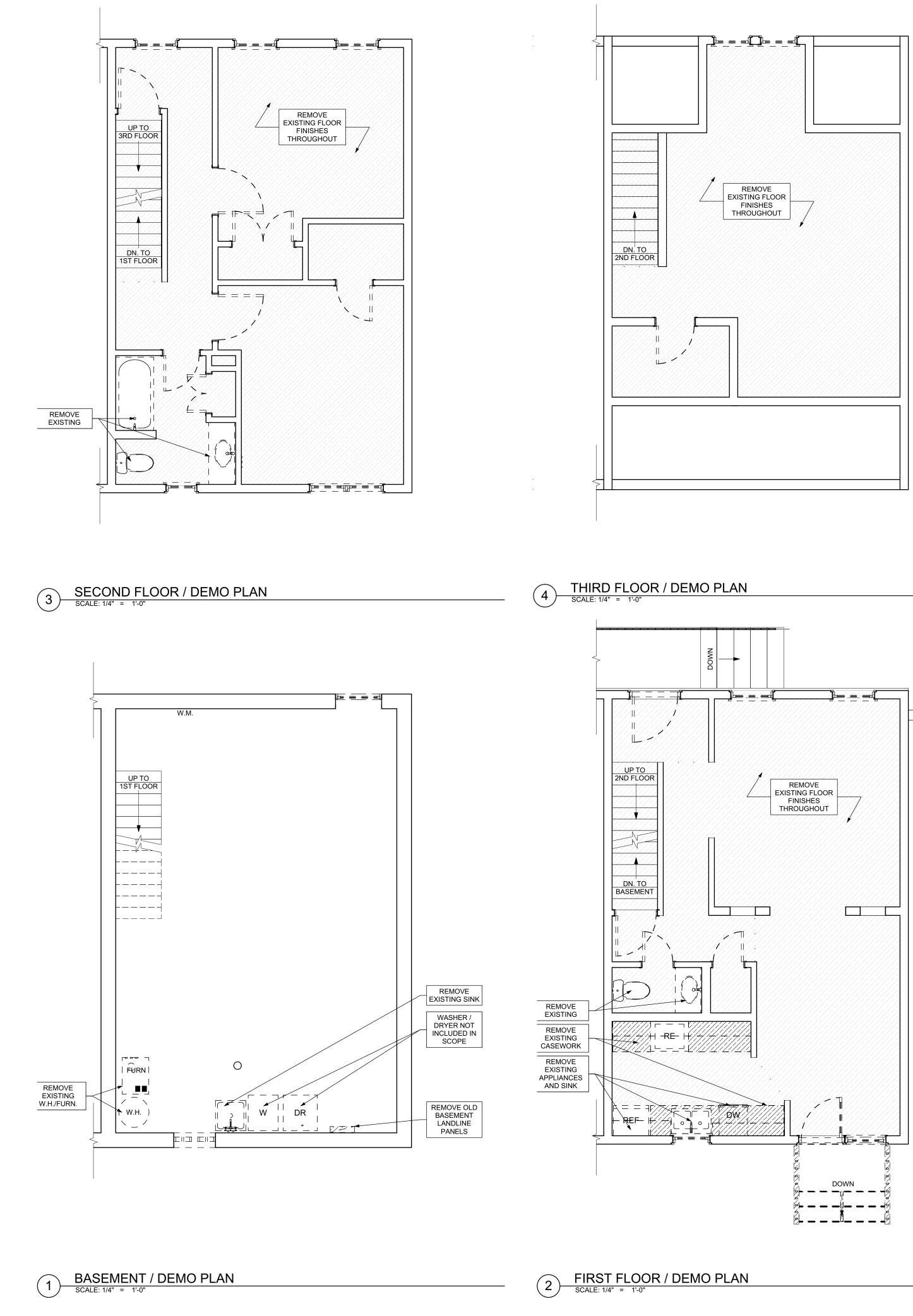
1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.

PLAN NORTH

2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP

SITE		Enland Anglitante D
S1	AT LOCATION SHOWN, REMOVE 4*+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIECATIONS	Fukui Architects P 205 Ross Stree
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 1521
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE	ph 412.281.6001 fx 412.281.600
	NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION	
00	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED	sea
S8	TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC.	
S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
	DEWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM	
<u>S12</u>	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD	
S13	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	general notes
ROOF	RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new a existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall verify all dimensions and existic conditions in the field and shall advise Fukui Architec
ARCHII	TECTURAL	<b>Pc</b> of any discrepancies between, additions to, deletic from, or alterations to any and all conditions prior proceeding with any phase of work. <b>Do not sc</b>
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH AD LACENT	<ul><li>drawings.</li><li>3. All work shall be installed in accordance with applical</li></ul>
A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIECATIONS	codes and regulations. <b>4.</b> Contractor shall be responsible for the patchin
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finishe
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY, REFER TO	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR.	<ul><li>material required for finished assemblies.</li><li>6. All reports, plans, specifications, computer files, field</li></ul>
A6	REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING.	data, notices, and other documents and instrumen prepared by the Architect as instruments of service sh remain the property of the Architect. The Architect sh
<u>AU</u>	REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK	retain all common law statutory, and other reserv rights, including the copyright thereto.
	SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER	revision
A7	SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH	
	1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	• 4 4•41
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS,	project titl
	KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>Owner:</b>
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB	HACP 200 ROSS STREET
	FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING CROUT JUES AS NECCESSARY	
	DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES, ALL WET LOCATIONS TO RECEIVE WATER	
A14	RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING. WALL. OR CEILING. REPLACE	<b>Project Location:</b>
	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL	1107 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	15233
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	SITE PLAN, ROOF, ROOF PLAN
PLUMB	<b>BING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	NOTES, ROOF AND SITE PLAN
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY, INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL	
МЕСНА	PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		date Silect 140.
		May 6, 2022
		no. of. A4
		<b>5 12</b>
		Project #2006



#### GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND
- WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN
- WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS. 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

## DEMOLITION PLAN LEGEND



DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.

DEMOLISH EXISTING CASEWORK IN HATCHED AREA.

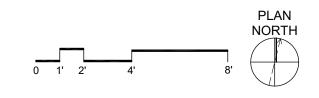
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#### **SCOPE REDUCTION:**

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

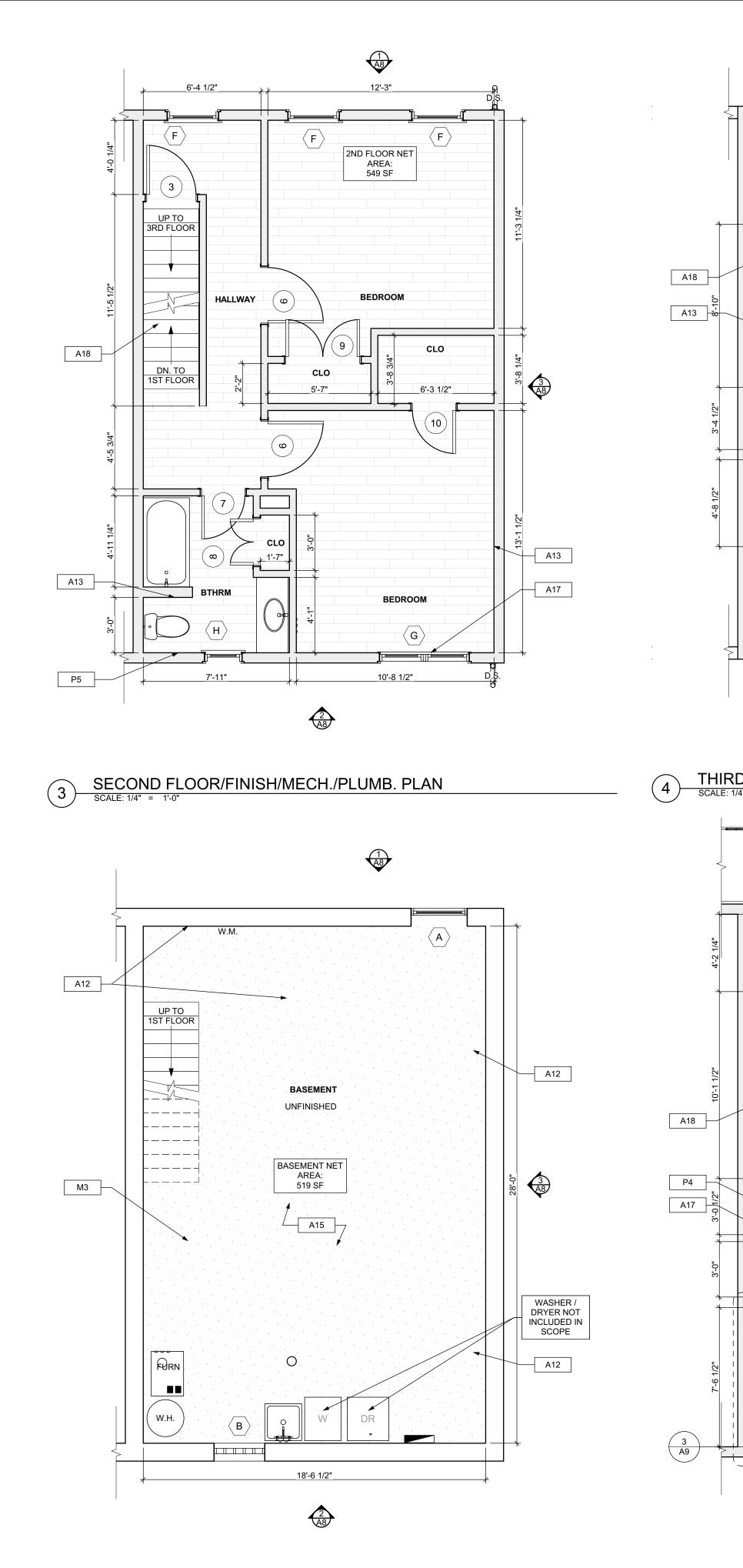
### <u>GENERAL NOTE:</u>

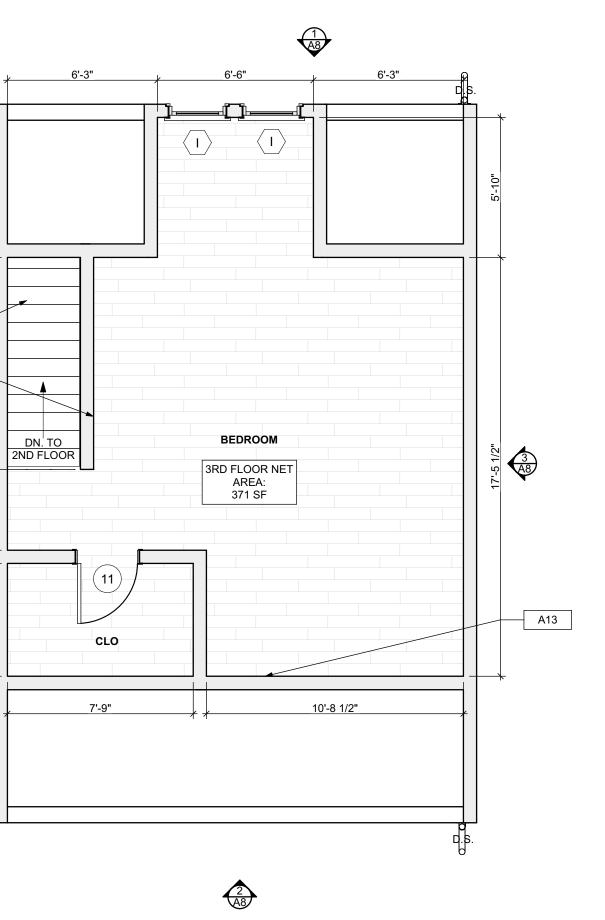
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



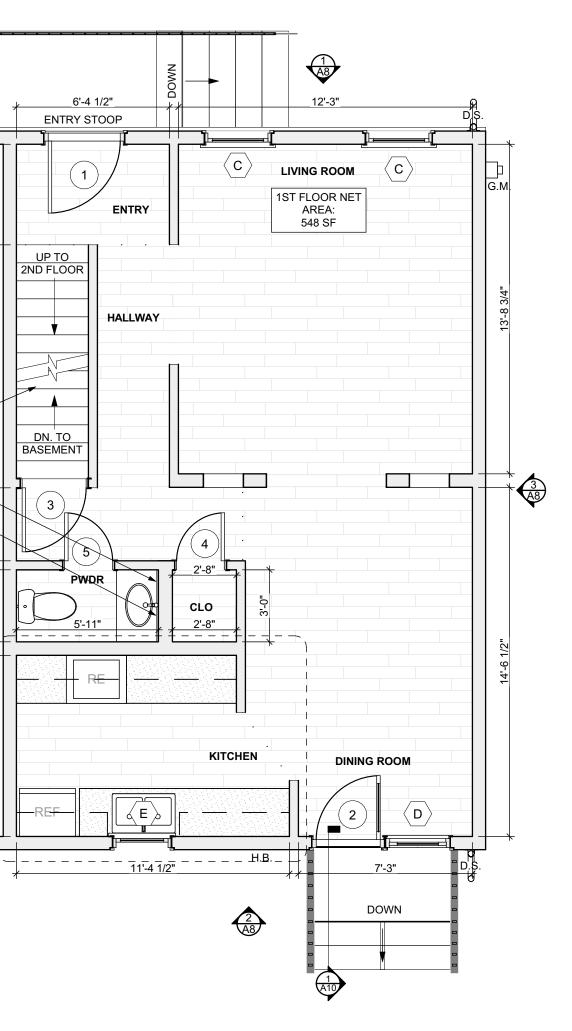
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As Noted S	heet N
date May 6, 2022	
no. of.	<b>A</b> 5
6 12	
	Project #2







THIRD FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"



FIRST FLOOR/FINISH/MECH./PLUMB. PLAN

## FLOOR PLAN LEGEND

REF FRIDGE RANGE RE FURN GAS FURNANCE •**-**UTILITY SINK WASHER NEW DOOR AND 1 (X) DOOR NUMBER (W.H) WATER HEATER DS. DOWN SPOUT ₽E.M. ELECTRIC METER H.B. HOSE BIBB

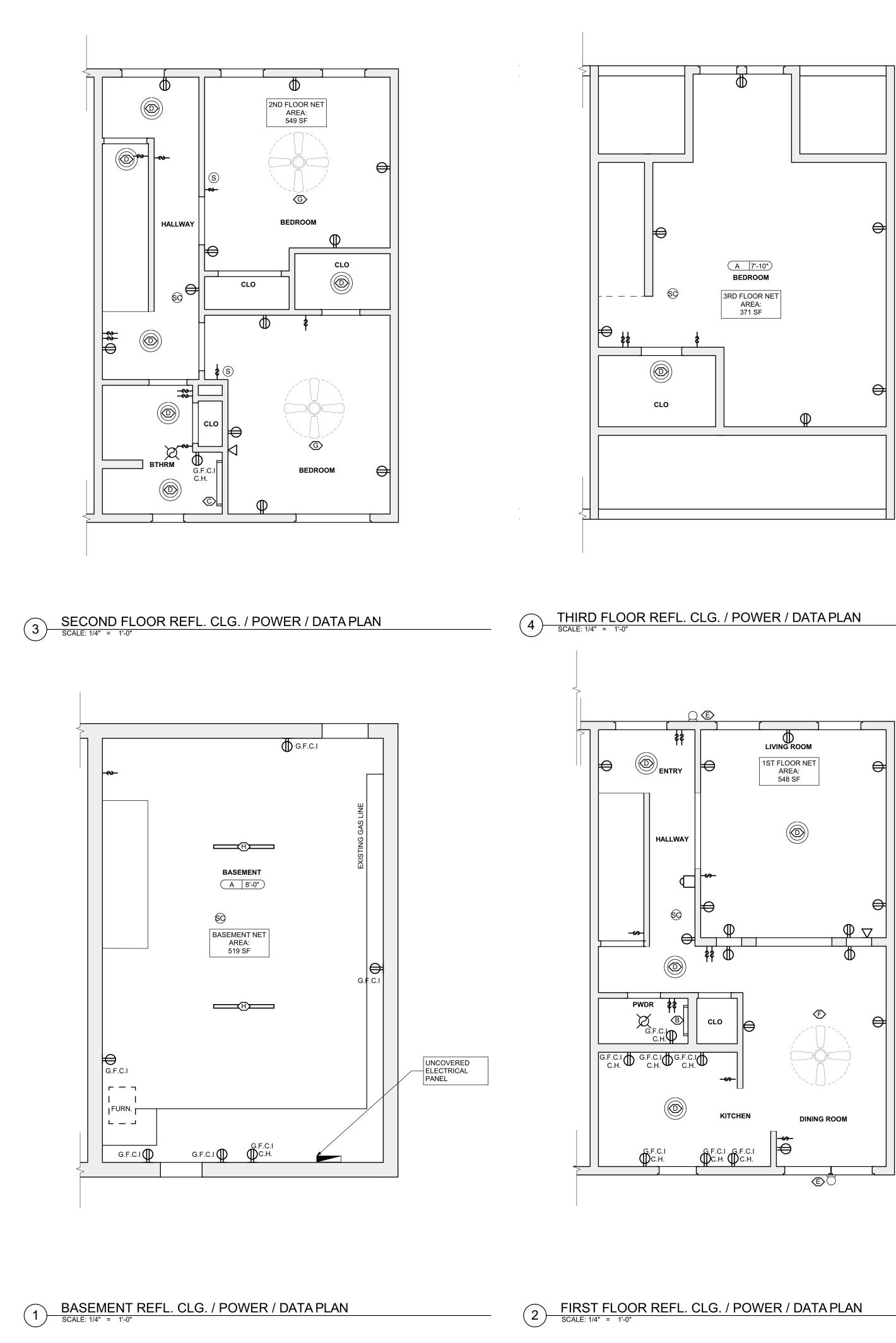
DR DRYER

## SCOPE REDUCTION: AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING. PLAN NORTH 0 1' 2'

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S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Po 205 Ross Street
32	SPECIFICATIONS. UNEVEN LEVELS OF CONC, AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.600
53	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
54	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
<u>S5</u>	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	seal
S9 S10	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT PLOCK DROUTDE NEW DARCENTIC AT ADJACENT	
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE	
S12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	<ol> <li>Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion</li> </ol>
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	from, or alterations to any and all conditions prior proceeding with any phase of work. <b>Do not sca</b> <b>drawings.</b>
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL, PREP AND PAINT PER	<ul> <li>All work shall be installed in accordance with applicab codes and regulations.</li> <li>Contractor shall be responsible for the patchin</li> </ul>
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	4. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, an ceiling surfaces as required to receive scheduled finisher.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO CONCENTION FOR PETAL	<b>5.</b> All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies.
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<ul> <li>material required for finished assemblies.</li> <li>6. All reports, plans, specifications, computer files, fie data, notices, and other documents and instrumen prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharemain the property of the Architect.</li> </ul>
<u>A6</u>	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	retain all common law statutory, and other reserver rights, including the copyright thereto.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	<b>Owner:</b> HACP
A11 A12	ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING	200 ROSS STREET PITTSBURGH,PA 15219
	MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	Droigot I agotions
A14 A15	UNEVEN FLOORING, WALL, OR CEILING, REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR	<b>Project Location:</b> MANCHESTER SCATTERED SITES 1107 SHEFFIELD STREET
A16	WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	PITTSBURGH, PENNSYLVANIA 15233
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT/FINISH/MECH./PLUM
PLUMB	<b>ING - REF. ONLY. REFER TO PLUMB. DWG'S.</b> NON-FUNCTIONING OR MISSING PLUMBING COVER	B. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB.
P1 P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	PLAN, SECOND
	LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND,
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	GRAPHIC SCALES, SMALL UNIT KEYNOTES
M3 M4	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL, ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	NE I NU I Eð
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022
		$\begin{array}{c c} \hline no. & of. \\ \hline \end{array}$

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Project #2006



		LIGHT	ING SCHEDULE		
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	1
	С	Long Bathroom Light Bar - Replacement : Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
$\bigcirc$	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	11
7	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	н	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

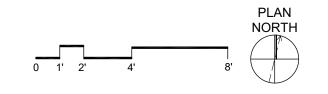
S	SMOKE ALARM, PROVIDE NEW WHERE SHOWN
SC	SMOKE/ CARBON MONOXIDECOMBO DETECTOR
	ELECTRICAL METER
O	THERMOSTAT
V	DATARECEPTICAL, 18" A.F.F. U.O.N.
φ	ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
<b>€</b> CH	ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
₩ GFCI	GROUND FAULT CIRCUIT INTERRUPTER
₩ GFCI CH	
сп <b>†</b>	LIGHT SWITCH
Ø	EXHAUST FAN
D	DOORBELL
A X'-X"	GWB CEILING / CEILING HEIGHT
B X'-X"	UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

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ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

## GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

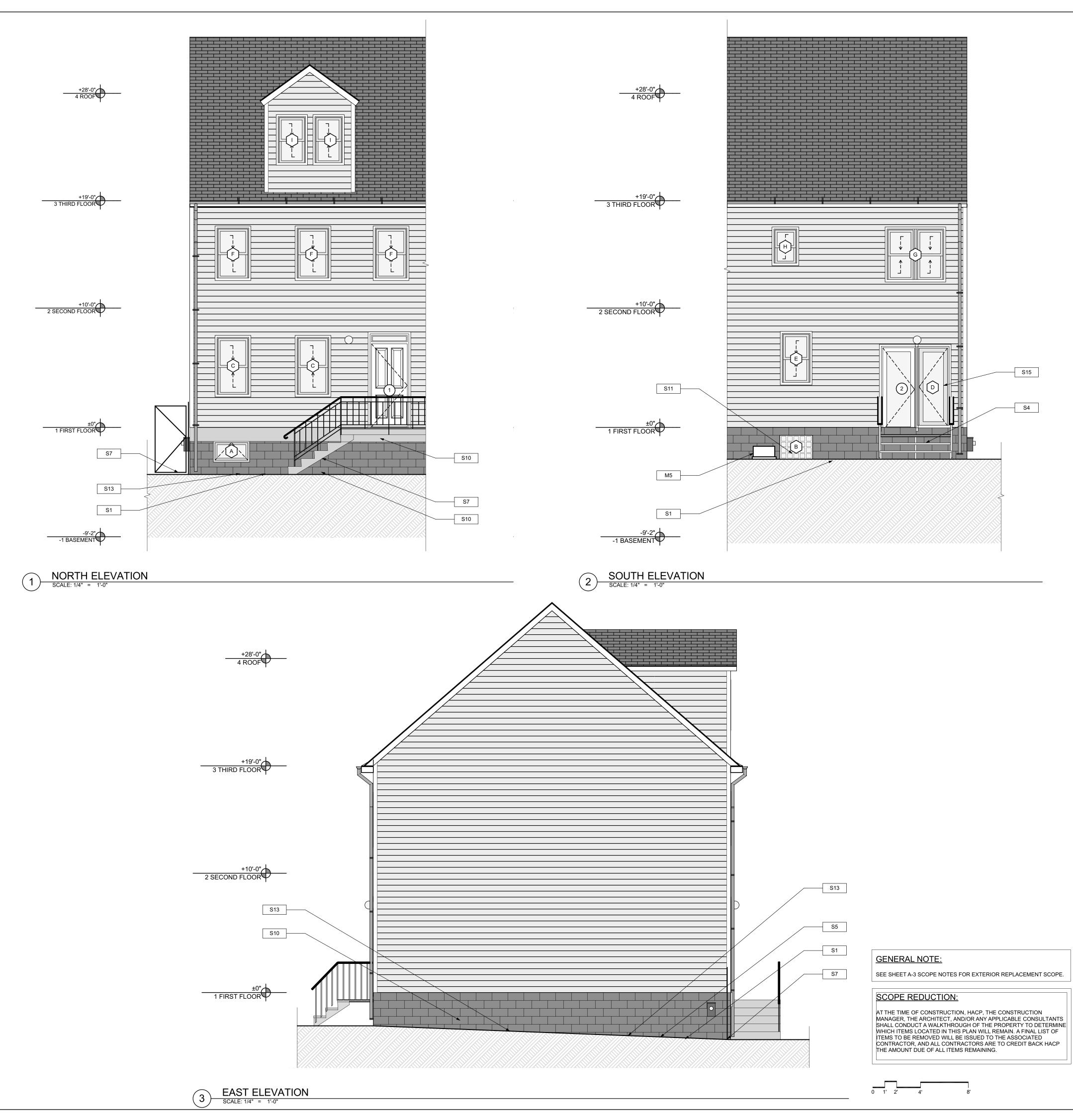


S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN OPDEP TO CREATE POSITIVE SI OPE AWAY EPOM	Fuk	ui Arc	chitects Pc
<u>60</u>	ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVENJEVELS OF CONC. AT STEPS OR	205 Pittsbu	Ros Irgh, Penr	s Street nsylvania 15219
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.			fx 412.281.6002
<u>S3</u>	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	© 2 0 2 2	Fukui Ar	chitects, Pc
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S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	_		
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT			
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S12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE			
S13	ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD			
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ARCHIT	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND DED ACE WITH NEW MORTAP AND BRICK TO	F	proceeding with any Irawings.	phase of work. Do not scale
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	С	odes and regulations.	
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A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	<b>5.</b> A	All items shown on ssemblies. Contract	drawings are finished construction to shall provide and install all
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A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS	1107	SHEFFIELD	) STREET
A16	PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO	PITT 1523	· · · · · ·	ENNSYLVANIA
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	<b>—</b> —		drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASE	MENT REF	L. CLG. / POWER /
		DATA	PLAN, FIR	ST FLOOR REFL. DATA PLAN,
P1 P2	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR	SECO	ND FLOOR	REFL. CLG. /
	REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOO	R REFL. C	PLAN, THIRD LG. / POWER /
M1	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING		PLAN, SM. OTES, RCI	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.			
M4	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL			
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As No	oted	Sheet No.
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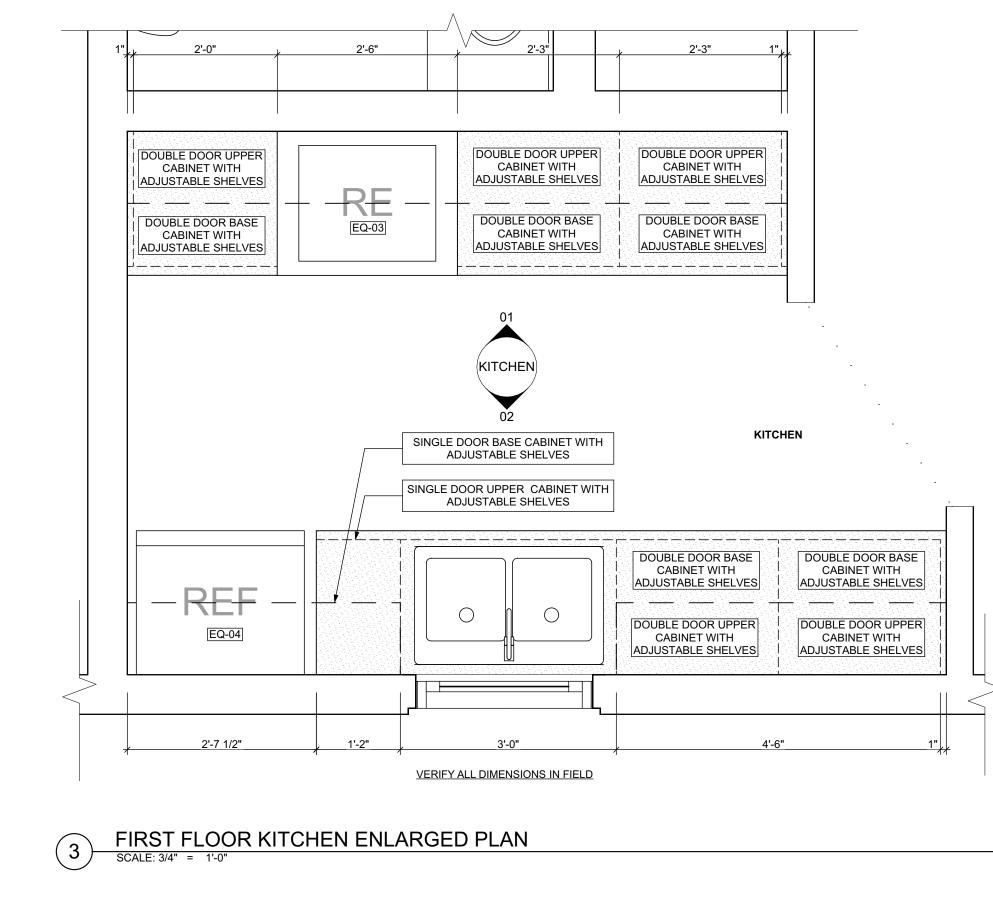
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Project #2006

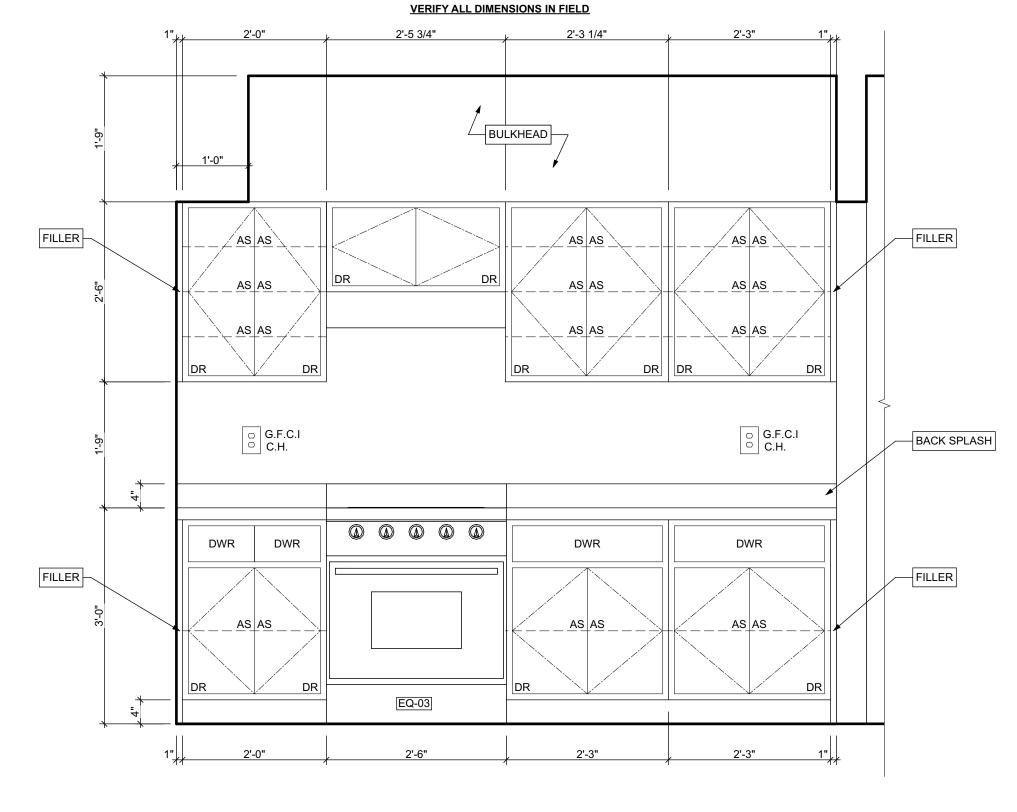
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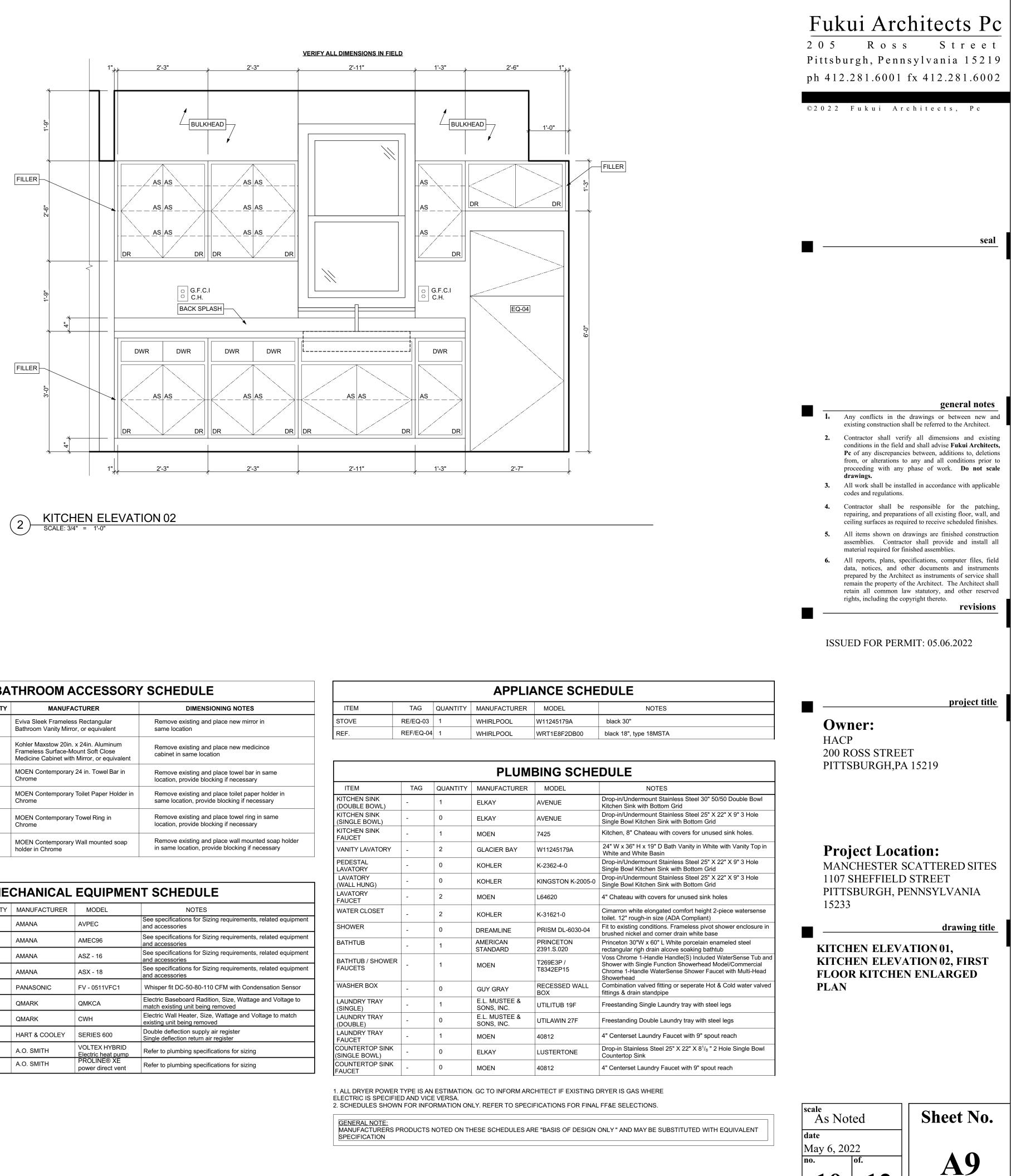


	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0".	Fukui Architects Po
S2	REPLACE DISTRESENT. MINIMUM 3 OVER 5-0. REPLACE DISTUBBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC.	Pittsburgh, Pennsylvania 1521
S3	TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	ph 412.281.6001 fx 412.281.600
	REMOVE OUT OF PLUMB SUPPORT POST, PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED	
	AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD,	
	PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND	
	GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	-
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.	
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3"	
S12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
<i>212</i>	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0° MIN.	
S13	CLEAR HEIGHT OF 12-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE	concern a star
ROOF	NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	<b>1.</b> Any conflicts in the drawings or between new an existing construction shall be referred to the Architect
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, ELASHING VENTS, CRICKETS, ETC. REFER TO	<ul><li>existing construction shall be referred to the Architect.</li><li>Contractor shall verify all dimensions and existing the shall be be a share to the shall be be a share to the sha</li></ul>
A D O	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise <b>Fukui Architec</b> <b>Pc</b> of any discrepancies between, additions to, deletio from, or alterations to any and all conditions prior
	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL, SPOT SAW CUT DAMAGED BRICK	proceeding with any phase of work. Do not sca drawings.
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	<b>3.</b> All work shall be installed in accordance with applicat codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	<ol> <li>Contractor shall be responsible for the patchir repairing, and preparations of all existing floor, wall, a ceiling surfaces as required to receive scheduled finishe</li> </ol>
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	5. All items shown on drawings are finished construction
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	<ul> <li>assemblies. Contractor shall provide and install a material required for finished assemblies.</li> <li>6. All reports, plans, specifications, computer files, fie</li> </ul>
	FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	<ol> <li>All reports, plans, specifications, computer files, fie data, notices, and other documents and instrumer prepared by the Architect as instruments of service shall be a service shall be service shall be a service shall be a service shall be a servi</li></ol>
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS	remain the property of the Architect. The Architect sha retain all common law statutory, and other reserve rights including the copyright thereto
	AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT	rights, including the copyright thereto.
	WALLS WITH CENERG OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH	—
A7	1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH	project title
	NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB	HACP 200 ROSS STREET
	FOR NEW STANDARD 2:X2:11 SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING CROUTLUES AS NECESSARY	
	DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER DESIGNATE DRYMALL AN LOODIEDE TO DESCRIFE	
A14	RESISTANT DRYWALL, ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE	<b>Project Location:</b>
	SUBFLOORING OR DRYWALLAT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1107 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17	MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.	drawing title
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	■ NORTH ELEVATION, SOUTH
PLUMB	<b>SING -</b> REF. ONLY. REFER TO PLUMB. DWG'S.	ELEVATION, EAST ELEVATION,
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	GRAPHIC SCALES, SMALL UNIT KEYNOTES
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECHA	ANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING	
	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE	
	WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date
		May 6, 2022 no. of. A8
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		<b>7</b>   <b> </b> <i>L</i>









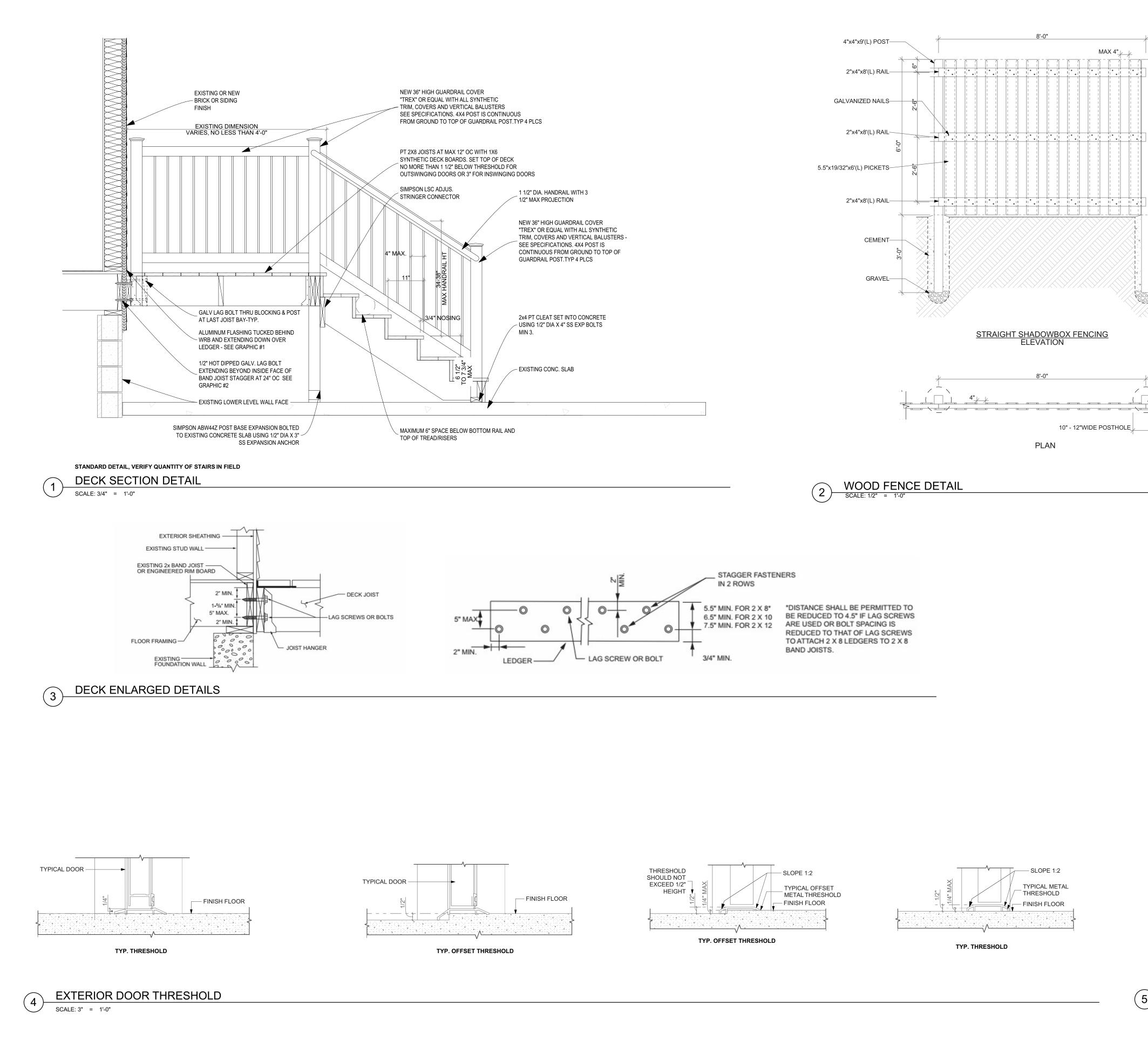
Project #2006

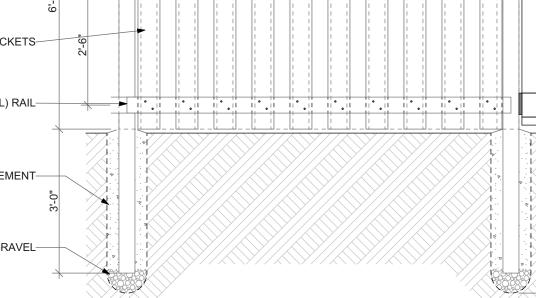
BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
		MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE						
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES	
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories	
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories	
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories	
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories	
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor	
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed	
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed	
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register	
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing	
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing	

ITEM	TAG	QUA
STOVE	RE/EQ-03	1
REF.	REF/EQ-04	1

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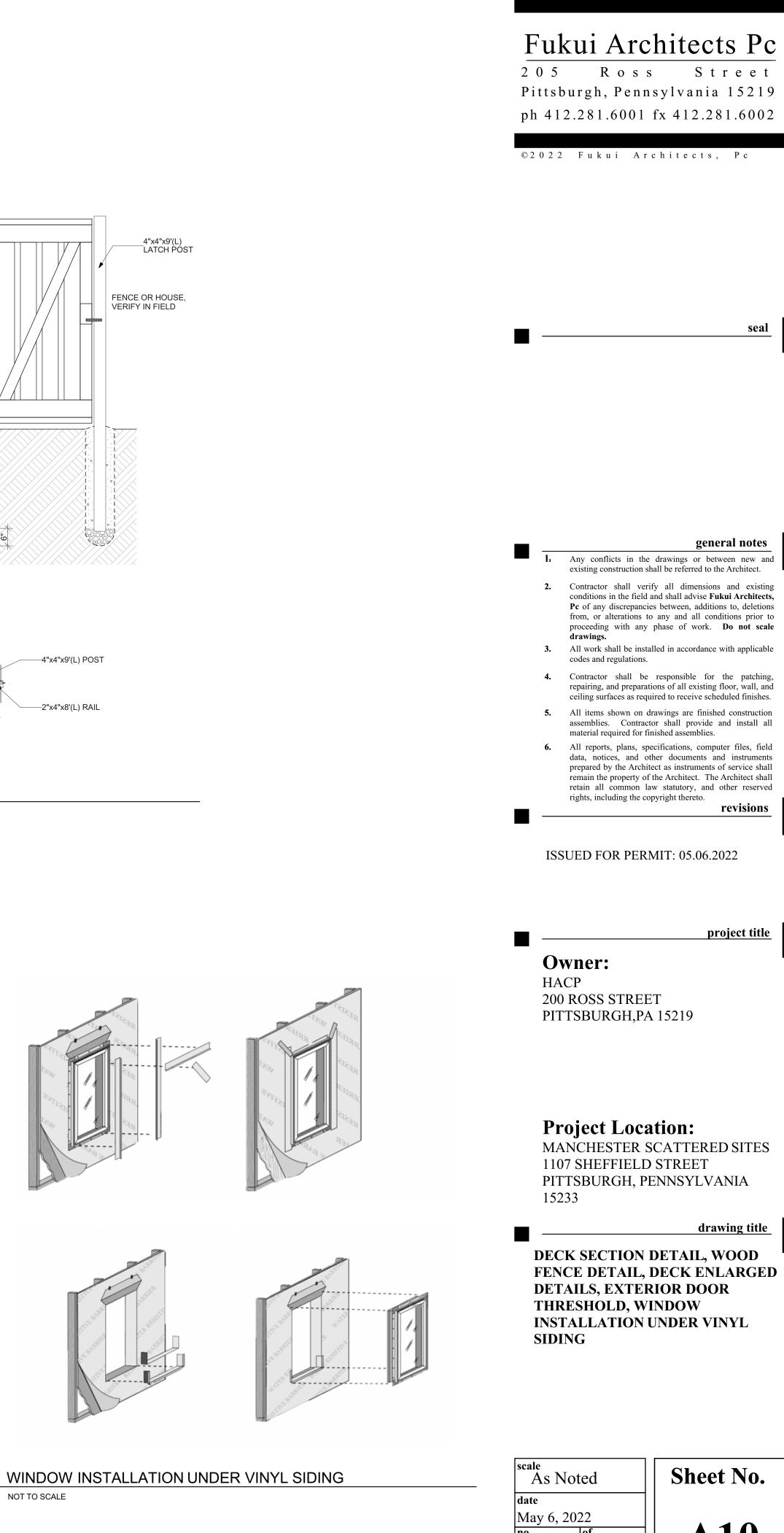




MAX 4"_____



NOT TO SCALE



**A10** 12 Project #2006

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