The Agency has requested certain certifications from the architect and applicant in connection with

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

Development Amenities As the **DESIGN ARCHITECT**, I certify that:

An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage) (A long-term agreement with an existing community facility within walking distance from the

development may be considered, at the discretion of the Agency.) Common laundry facilities or the provision of washers and dryers in each dwelling un will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are

provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled. All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservational)

An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)

Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Smoke Free Development

As the APPLICANT, I certify that:

___X ___ At construction completion, a policy prohibiting the use of tobacco products in all dwelling units, common areas, other buildings that are a part of the development and within 25 feet of all buildings in the development will be

Energy Rebate Analysis (ERA)

A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts will be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. The energy rebate is not basis eligible and will be removed from basis on a tax credit development. Prior to closing the developer will be required to submit an updated ERA

a) A list of eligible utility, local, regional, state, or federal rebate programs; b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;

c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted

programs, and e) If renewable energy strategies are proposed, a cost/benefit analysis.

DESIGN ARCHITECT Date: 5,19,2021 Fukui Architett Pc Acknowledged and Accepted by the APPLICANT(S)

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

This preservation development will achieve certification under one of the green building standards

X Enterprise Green Communities – 2020 Moderate Rehab

_____ LEED v4 O+M – Multifamily – Certified

ICC 700-2020 National Green Building Standard Under Section 305.2 – Whole Building Rating – Bronze

Areas Rating – Compliant with Chapter 12 (must include kitchens and bathrooms) Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development

ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional

Energy Efficiency Goals (Only one of the following may be selected)

Submission drawing/specification package.

The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.phius.org or

www.passiv.de/en for additional guidance.) To qualify for these points, the applicant must contract with a qualified* Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WP) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WP to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/floor/roof construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. Passive House certification is required.

*Qualified is defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the **DESIGN ARCHITECT**, I certify that:

See Tab 29
The net area of all dwelling units must fall within the limits listed below. (Net area is Naïver Requests measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.) Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

	FLATS	MULTI-FLOOR UNITS
SRO	90 to 200 s.f.	
EFF	400 to 600 s.f.	
1 BR	550 to 850 s.f.	650 to 950 s.f.
2 BR	700 to 1,100 s.f.	850 to 1,300 s.f.
3 BR	950 to 1,350 s.f.	1,000 to 1,550 s.f.
4 BR	1,100 to 1,550 s.f.	1,200 to 1,750 s.f.
5 BR	1,300 to 1,750 s.f.	1,400 to 2,000 s.f.

Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)

Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.

Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be

VisitAbility

As the **DESIGN ARCHITECT**, I certify that:

considered as meeting this criterion.)

All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door, all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC□ IRC☑ Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry

5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0

Percentage of Gross Building Area: _____0%___ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A

10. Applicable Accessibility Regulations:

Section 504 ILEAS 7 PALICO FHAA ADA

Section 504 UFAS	₩ PAUCC_	J FHAA∟	ADA□				
Unit/Room Type	No. of	Accessible Units		Adaptable Units		Net SF**	Gross
· ·	Units	ADA	H/V	ADA	H/V		SF*
SRO	0						
EFF	0						
1 BR	35						
2 BR	13						
3 BR	25						
4 BR	13						
Community Room						2244	4116
Circulation,(hallways, stairs & etc.)						1753	2917
Other							
Unit Total	86	5	2	0	0		

ross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area.

Porches, patios and balconies shall not be included in the Gross Building Area. ** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show

the average if there is more than one size in each type.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.

Department of Energy's Zero Energy Ready Home Program Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

New Construction:

___ For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV) ___ For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) Substantial Rehabs:

___ For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) ___ For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) Preservation (Moderate Rehab) *:

___ For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV) ___ For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) *Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation

 Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.

 All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Fair Housing

As the **DESIGN ARCHITECT**, I certify that:

New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards

Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009.

Energy Conservation & Green Building Criteria

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

N/A All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of

the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes

shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed

3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60 000 btuh, gas fired water heaters, windows, ceiling fans exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: rogrammable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven

that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only) In addition 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Accessible Housing

As the DESIGN ARCHITECT, I certify that:

__X ___ To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to

this development and as amended by Federal. State and local authorities.

X The Fair Housing Act of 1988 & Fair Housing Design Manual ANSI A117.1-2009 (or edition currently adopted by the PA UCC)

Pennsylvania Uniform Construction Code

Uniform Federal Accessibility Standards (UFAS) Section 504 of the Rehabilitation Act of 1973

accessibility shall be used.

2010 ADA Standards for Accessible Design Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (Include name of locality and citation for applicable NOTE: Where multiple accessibility standards apply, the standard that affords greater

Accessible Units

For New Construction and Substantial Rehabilitation Developments:

As the design architect. I hereby certify that I either have designed or will design the referenced development to include twice the mandated number of fully accessible units under local, state, or federal mandate, whichever is greater. These units shall meet current accessibility standards.

Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate: _

Number of fully accessible units provided:

As the DESIGN ARCHITECT. I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility Number of existing fully accessible units (by current standards): _____0

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

Number of fully accessible units provided: _____5

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists.

As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments: The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)

PHFA Green Building Criteria for new construction and substantial rehabilitation

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design

the referenced development to include the following green building features: 1. No piping shall be located outside of the interior finish of the insulated building

envelope. (Not applicable to existing piping in preservation developments.) 2 All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)

3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the **DESIGN ARCHITECT**, I certify that for preservation developments:

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

The referenced development will promote energy efficiency and conservation

Enterprise Green Communities Criteria for Preservation Developments

Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the following mandatory 2015 Green Communities criteria, as amended:

Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)

Ecosystem Services/Landscaping (applicable only to new landscaping Water-Conserving Fixtures (Applicable only to new fixtures)

Energy Star Appliances (Applicable only to new appliances)

Healthier Material Selection (Applicable only to new paints, coatings and primers) Bath Kitchen Laundry surfaces Managing Moisture: Foundations (Applicable to new addition foundations)

with combustion equipment. Venting requirements are applicable to new combustion

8.1 Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements)
 8.2 Emergency Management Manual (Follow Enterprise requirements)

Home Ownership

X The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook

As the **DESIGN ARCHITECT**, landscape architect or civil engineer] I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal

(Check all that apply) ____ Outside of a flood way __X Outside any flood area ____ Inside a flood way _____ Inside a 500 year flood area ____ Inside a 100 year flood area

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

UNIT

UNIT 403

COMMON

COMMON

UNCONDITIONED

@50%

CONDITIONED

operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced general occupancy development to include the following percentage of affordable

_____ >20 - 25% of all units

Signed: _____ Date: ____

>10-15% of all units (suburban/rural X >25% of all units

Date: 4.19.202

*High rise developments and senior housing cannot qualify for this category.

Large Family Units

DESIGN ARCHITECT

units with three or more bedrooms:

Total units

Print: February

Firm Fukui Azalliact, PC

Acknowledged and Accepted by the APPLICANT(S)

Preservation developments are not required to follow the mandatory 2020 Enterprise Green

Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling

Lighting (Applicable only to new lighting fixtures)

Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and Combustion Equipment (Carbon monoxide alarm requirements apply to all projects

Integrated Pest Management (Applicable only if identified as a problem in the PCNA)

As the **DESIGN ARCHITECT**, I certify that:

ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be Flood Plain Certification

Emergency Management Agency for this development's site and have determined that the site is:

Project Location:

Owner:

200 ROSS STREET

PITTSBURGH,PA 15219

HACP

15233

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA

205 Ross Street

Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

general notes

revisions

project title

Any conflicts in the drawings or between new and

conditions in the field and shall advise Fukui Architects.

Pc of any discrepancies between, additions to, deletions

from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale

repairing, and preparations of all existing floor, wall, and

ceiling surfaces as required to receive scheduled finishes.

assemblies. Contractor shall provide and install all

data, notices, and other documents and instruments

prepared by the Architect as instruments of service shall

remain the property of the Architect. The Architect shall

retain all common law statutory, and other reserved

3. All work shall be installed in accordance with applicable

4. Contractor shall be responsible for the patching,

5. All items shown on drawings are finished construction

6. All reports, plans, specifications, computer files, field

material required for finished assemblies.

rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

drawings

codes and regulations.

existing construction shall be referred to the Architect. 2. Contractor shall verify all dimensions and existing

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drawing title

SELECTION CRITERIA, THRESHOLD CRITERIA, TABULAR SCHEDULE

As Noted May 6, 2022

Sheet No.

Project #2006

UNIT 101 500 **UNIT 102** 552 494 **UNIT 103** 455 488 **UNIT 104** 698 611 **UNIT 201 UNIT 202** 590 527 **UNIT 203** 530 469 **UNIT 204** 667 599 **UNIT 301** 600 538 **UNIT 302** 580 515 **UNIT 303** 512 465 **UNIT 304** 685 609 **UNIT 401** 500 469 **UNIT 402** 518 470

585

4,116

TABULAR AREA UNIT SCHEDULE

GROSS AREA (SF)

NET AREA (SF)

528

3.705

563

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1100 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233

15 UNITS - 15 BEDROOMS **Drawing Index** A0 PHFA DOCUMENTS A14 ACCESSIBLE ENLARGED PLANS FIRST FLOOR / ACCESSIBLE PLAN SELECTION CRITERIA FIRST FLOOR / ACCESSIBLE PLAN FIRST FLOOR / ACCESSIBLE PLAN A15 ACCESSIBLE ELEVATIONS COMMON KITCHEN ELEVATION 1 COMMON KITCHEN ELEVATION 2 THRESHOLD CRITERIA COMMON TOILET ROOM ELEVATION 1 TABULAR SCHEDULE COMMON TOILET ROOM ELEVATION 2 UNITS 103, 203, 303 KITCHEN ELEVATION 1 A1 COVER SHEET UNITS 103, 203, 303 KITCHEN ELEVATION 2 UNITS 103, 203, 303 KITCHEN ELEVATION 3 CODE & CONTACT INFO MANCHESTER SCATTERED SITES MAP Drawing List - DD UNIT 103, 203, 303 BATHROOM ELEVATION 1 UNIT 103, 203, 303 BATHROOM ELEVATION 2 Drawing List - DD Drawing List - DD UNIT 103, 203, 303 BATHROOM ELEVATION 3 A2 ABBREVIATIONS AND MATERIALS UNIT 204, 304 KITCHEN ELEVATION 1 UNIT 204, 304 KITCHEN ELEVATION 2 ABBREVIATIONS AND MATERIALS HISTORIC BRICK WALL SECTION A17 ACCESSIBLE ELEVATIONS INTERIOR STAIR DETAIL UNITS 204, 304 BATHROOM ELEVATION A3 DOOR AND WINDOW SCHEDULE UNITS 204, 304 BATHROOM ELEVATION 2 UNITS 204, 304 BATHROOM ELEVATION 3 WINDOW SCHEDULE UNITS 204, 304 BATHROOM ELEVATION 4 DOOR SCHEDULE (WITH EXISTING) A18 ACCESSIBLE DETAILS FINISH SCHEDULE MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS A4 SCOPE / GENERAL / GREEN COMMUNITIES NOTES MOUNTING HEIGHTS **ENERGY NOTES** ACCESSIBILITY CLEARANCES GENERAL NOTES TOE AND KNEE CLEARANCES A5 SITE PLAN SIGNAGE DETAIL ELEVATOR DETAILS ROOF AND SITE PLAN LEGEND MAILBOX ELEVATIONS ROOF PLAN NOTES SITE PLAN ACCESSIBLE NOTES A19 ACCESSIBLE DETAILS GRAPHIC SCALES EXTERIOR SIGNAGE GRAPHIC SCALES SMALL UNIT KEYNOTES DETECTABLE WARNING DETAIL A6 DEMO PLANS HANDRAIL AND STAIR DETAILS ACCESSIBLE PARKING SIGN DETAIL SMALL UNIT KEYNOTES BASEMENT / DEMO PLAN ACCESSIBLE PARKING STALL A20 RCP / POWER / DATA PLANS FIRST FLOOR / DEMO PLAN GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES GENERAL DEMOLITION NOTES BSMT. REFL. CLG/ POWER / DATA PLAN FIRST FLOOR REFL. CLG. / POWER / DATA PLAN DEMOLITION PLAN LEGEND A7 DEMO PLANS GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES A21 RCP / POWER / DATA PLANS SECOND FLOOR / DEMO PLAN THIRD FLOOR / DEMO PLAN GRAPHIC SCALES SMALL UNIT KEYNOTES GRAPHIC SCALES SECOND FLOOR REFL. CLG. / POWER / DATAPLAN THIRD FLOOR REFL. CLG. / POWER / DATA PLAN DEMOLITION PLAN LEGEND GENERAL DEMOLITION NOTES GRAPHIC SCALES A8 DEMO PLANS GRAPHIC SCALES SMALL UNIT KEYNOTES A22 RCP / POWER / DATA PLANS FOURTH FLOOR / DEMO PLAN SMALL UNIT KEYNOTES GRAPHIC SCALES FOURTH FLOOR REFL. CLG. / POWER / DATA PLAN GENERAL DEMOLITION NOTES DEMOLITION PLAN LEGEND **GRAPHIC SCALES** A9 FLOOR/FINISH/MECH./PLUMB. PLANv LIGHTING SCHEDULE **A23 EAST ELEVATION** SMALL UNIT KEYNOTES FLOOR PLAN LEGEND HISTORIC KEYNOTES BASEMENT /FINISH/MECH./PLUMB. PLAN EAST ELEVATION FIRST FLOOR /FINISH/MECH./PLUMB. PLAN SMALL UNIT KEYNOTES GRAPHIC SCALES GRAPHIC SCALES GRAPHIC SCALES **A24 WEST ELEVATION** A10 FLOOR/FINISH/MECH./PLUMB. PLAN WEST ELEVATION SMALL UNIT KEYNOTES FLOOR PLAN LEGEND GRAPHIC SCALES SMALL UNIT KEYNOTES SECOND FLOOR /FINISH/MECH./PLUMB. PLAN HISTORIC KEYNOTES THIRD FLOOR/FINISH/MECH./PLUMB. PLAN A25 SOUTH ELEVATION GRAPHIC SCALES HISTORIC KEYNOTES GRAPHIC SCALES GRAPHIC SCALES A11 FLOOR/FINISH/MECH./PLUMB. PLAN SOUTH ELEVATION SMALL UNIT KEYNOTES SMALL UNIT KEYNOTES **A26 NORTH ELEVATION** FLOOR PLAN LEGEND FOURTH FLOOR/FINISH/MECH./PLUMB. PLAN HISTORIC KEYNOTES GRAPHIC SCALES SMALL UNIT KEYNOTES A12 ACCESSIBLE PLANS NORTH ELEVATION GRAPHIC SCALES A27 103 KITCHEN ENLARGED PLANS AND ELEVATIONS FIRST FLOOR / ACCESSIBLE PLAN FIRST FLOOR / ACCESSIBLE PLAN ENLARGED FLOOR KITCHEN PLAN GRAPHIC SCALES UNITS 103, 203, 303 KITCHEN ELEVATION 1 ACCESSIBLE NOTES UNITS 103, 203, 303 KITCHEN ELEVATION 2 A13 ACCESSIBLE PLANS UNITS 103, 203, 303 KITCHEN ELEVATION 3 GRAPHIC SCALES A28 101/402 KITCHEN ENLARGED PLANS AND ELEVATIONS

ENLARGED FLOOR KITCHEN PLAN

KITCHEN ELEVATION 01

KITCHEN ELEVATION 02

FIRST FLOOR / ACCESSIBLE PLAN

FIRST FLOOR / ACCESSIBLE PLAN

FIRST FLOOR / ACCESSIBLE PLAN

ACCESSIBLE NOTES

ENLARGED FLOOR KITCHEN PLAN KITCHEN ELEVATION 01 KITCHEN ELEVATION 02 A29 104/202 KITCHEN ENLARGED PLANS AND ELEVATIONS ENLARGED FLOOR KITCHEN PLAN KITCHEN ELEVATION 02 KITCHEN ELEVATION 01 KITCHEN ELEVATION 01 KITCHEN ELEVATION 02 ENLARGED FLOOR KITCHEN PLANS E-1.0 ELECTRICAL COVER SHEET ELECTRICAL COVER SHEET E-1.1 ELECTRICAL DEMOLITION AND PROPOSED SITE PLANS ELECTRICAL DEMOLITION AND PROPOSED SITE PLANS E-2.1 ELECTRICAL DEMOLITION AND PROPOSED BASEMENT FLOOR PLANS 1315 Liverpool Electrical Final Review Set (022822) E-2.2 ELECTRICAL DEMOLITION AND PROPOSED FIRST FLOOR PLANS ELECTRICAL DEMOLITION AND PROPOSED FIRST FLOOR PLANS E-2.3 ELECTRICAL DEMOLITION AND PROPOSED SECOND FLOOR PLANS ELECTRICAL DEMOLITION AND PROPOSED SECOND FLOOR PLANS E-2.4 ELECTRICAL DEMOLITION AND PROPOSED THIRD FLOOR PLAN ELECTRICAL DEMOLITION AND PROPOSED THIRD FLOOR PLAN E-3.1 ELECTRICAL DETAILS AND SCHEDULES ELECTRICAL DETAILS AND SCHEDULES M-0 HVAC ABBREVIATIONS, SYMBOLS LEGEND, AND NOTES HVAC ABBREVIATIONS, SYMBOLS LEGEND, AND NOTES M-1 BASEMENT HVAC DEMOLITION AND NEW WORK PLANS BASEMENT HVAC DEMOLITION AND NEW WORK PLANS M-2 FIRST FLOOR HVAC DEMOLITION AND NEW WORK PLANS 1100 Sheffield HVAC Final Review Set (022822) M-3 SECOND FLOOR HVAC DEMOLITION AND NEW WORK PLANS 1100 Sheffield HVAC Final Review Set (022822) M-4 THIRD FLOOR HVAC DEMOLITION AND NEW WORK PLANS 1100 Sheffield HVAC Final Review Set (022822) M-5 FOURTH FLOOR HVAC DEMOLITION AND NEW WORK PLANS 1100 Sheffield HVAC Final Review Set (022822) M-6 ENLARGED BASEMENT BOILER/ MECH. ROOM HVAC DEMOLITION AND NEW WORK PLANS ENLARGED BASEMENT BOILER/ MECH. ROOM HVAC DEMOLITION AND NEW WORK PLANS M-7 HVAC DETAILS & DIAGRAMS **HVAC DETAILS & DIAGRAMS** M-8 HVAC WIRING DIAGRAMS HVAC WIRING DIAGRAMS M-9 HVAC SCHEDULES **HVAC SCHEDULES** M-10 HVAC SCHEDULES **HVAC SCHEDULES** MSP-1 SITE HVAC DEMOLITION AND NEW WORK PLANS SITE HVAC DEMOLITION AND NEW WORK PLANS P1 BASEMENT PLUMBING DEMOLITION AND NEW WORK PLANS BASEMENT PLUMBING DEMOLITION AND NEW WORK PLANS P2 FIRST FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

General Description of Work

PLUMBING DETAILS, SCHEDULES, & NOTES

P3 SECOND FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

P4 THIRD FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

P6 PLUMBING DETAILS, SCHEDULES, & NOTES

P5 FOURTH FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work

FIRST FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

SECOND FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

THIRD FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

FOURTH FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS

General Note Related to Quantities Shown in Documentation

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-

Code Conformance Information

2015 International Building Code Accessibility 2009 ICC/ANSI S1317.1 2015 International Energy Conservation Code Energy: 2014 NEC (NFPA 70) Electrical: 2015 International Fire Code 2015 International Fuel Gas Code 2015 International Mechanical Code 2017 Allegheny County Health department Plumbing Code

2013 NFPA 13

General Building / Project Information

Smoke detector:

contact: Mackenzie Pleskovic

Classification of Work: Level-2 alteration per the IEBC "R-2" Occupancy Group: Gross Area: Construction Type Sprinklers:

Fukui Architects Pc

Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers. Plan Review & Inspection Fukui Architects, Po City of Pittsburgh Housing Authority of the City of Pittsburgh 205 Ross Street Department of permits, Pittsburgh, PA 15219 Licenses and Inspections mackenzie.pleskovic@hacp.org

ph: 412.281.6001 200 Ross Street 3rd floor, room 320 Fgf@farpc.com contact: Felix G. Fukui, AIA

Pittsburgh, PA 15205 ph: 412.255.2175

-PROJECT LOCATION

general notes

Any conflicts in the drawings or between new an existing construction shall be referred to the Architect.

Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale

All work shall be installed in accordance with applicable codes and regulations.

Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.

All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies

All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall

MAP, CODE & CONTACT INFO, **Drawing List - DD**

As Noted May 6, 2022

Sheet No.

Project #2006

remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022 project title Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219 **Project Location:** MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA drawing title MANCHESTER SCATTERED SITES

MANCHESTER SCATTERED SITES MAP

Fukui Architects Pc

205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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-40 LB FELT PAPER
-ICE & WATER SHEILD @ VALLEYS, EAVES, AND
CORNERS
-3/4" EXTERIOR GRADE PLYWOOD
-INSULATION BAFFLES, MAINTAIN 2" AIR SPACE
-2X ROOF RAFTERS @ 16" O.C.
-R30 BLOW-IN FIBERGLASS INSULATION
-3/4" PLY WD SUBFLOOR
-2X CEILING JOISTS @ 16" O.C.
-R19 BATT FIBER GLASS INSULATION FACED W/

TYPICAL FLOOR ASSEMBLY
-FLOOR CLADDING PER PLAN
-3/4" PLYWOOD SUBFLOOR
-2X WOOD JOISTS
-1/2" GYP BD

T/O ATTIC
PER ELEV.

PREFIN. ALUM. GUTTER AND
DOWNSPOUT
CONT. EDGE VENT

TYPICAL WALL ASSEMBLY
3 WHYTHES BRICK WALL
-R17-FACED BATT INSULATION INSIDE
2X4 FURRING WALL CAVITY ACTING AS
VAPOR BARRIER
-3/4" PLYWOOD SUBFLOOR
-2X WOOD JOISTS
-1/2" GYP BD

NEWLUTI
COSET
-1/2" GYP BD

TYPICAL ROOF ASSEMBLY
-ASPHALT SHINGLES

VAPOR RETARDER ON WARM SIDE

-1/2" GYP BD

T/O FIRST FLOOR

— FIRE CUT JOISTS

-4" CONC. SLAB OVER 6 MIL. POLYETHYLENE

AND COMPLACTED GRAVEL

VAPOR BARRIER, R-10 RIGID UNDERSLAB INSULATION,

PREFIN. MTL FLASHING

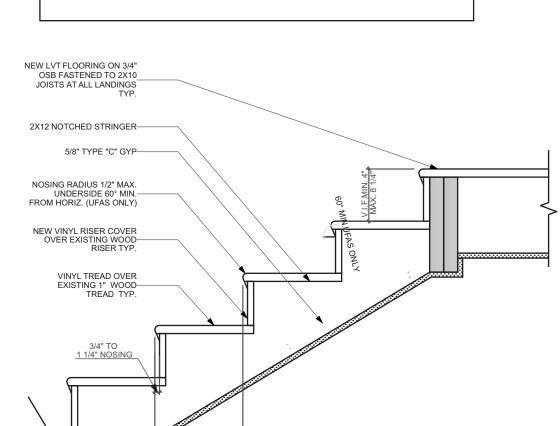
PER ELEV.

TYPICAL WALL ASSEMBLY

2x4 FRAME WALL PER PLANS

-ASPHALT EMULSION DAMPROOFING

R-13 EXTERIOR 2" RIGID INSULATION



11" MIN.

1 1/2" MAX.

RADIUS

THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY.MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

HISTORIC BRICK WALL SECTION

3 INTERIOR STAIR DETAIL

SCALE: 1' = 1'-0"

Any conflicts in the drawings or between new and

- existing construction shall be referred to the Architect.

 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects,
 Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

ABBREVIATIONS AND MATERIALS, HISTORIC BRICK WALL SECTION, INTERIOR STAIR DETAIL

As Noted

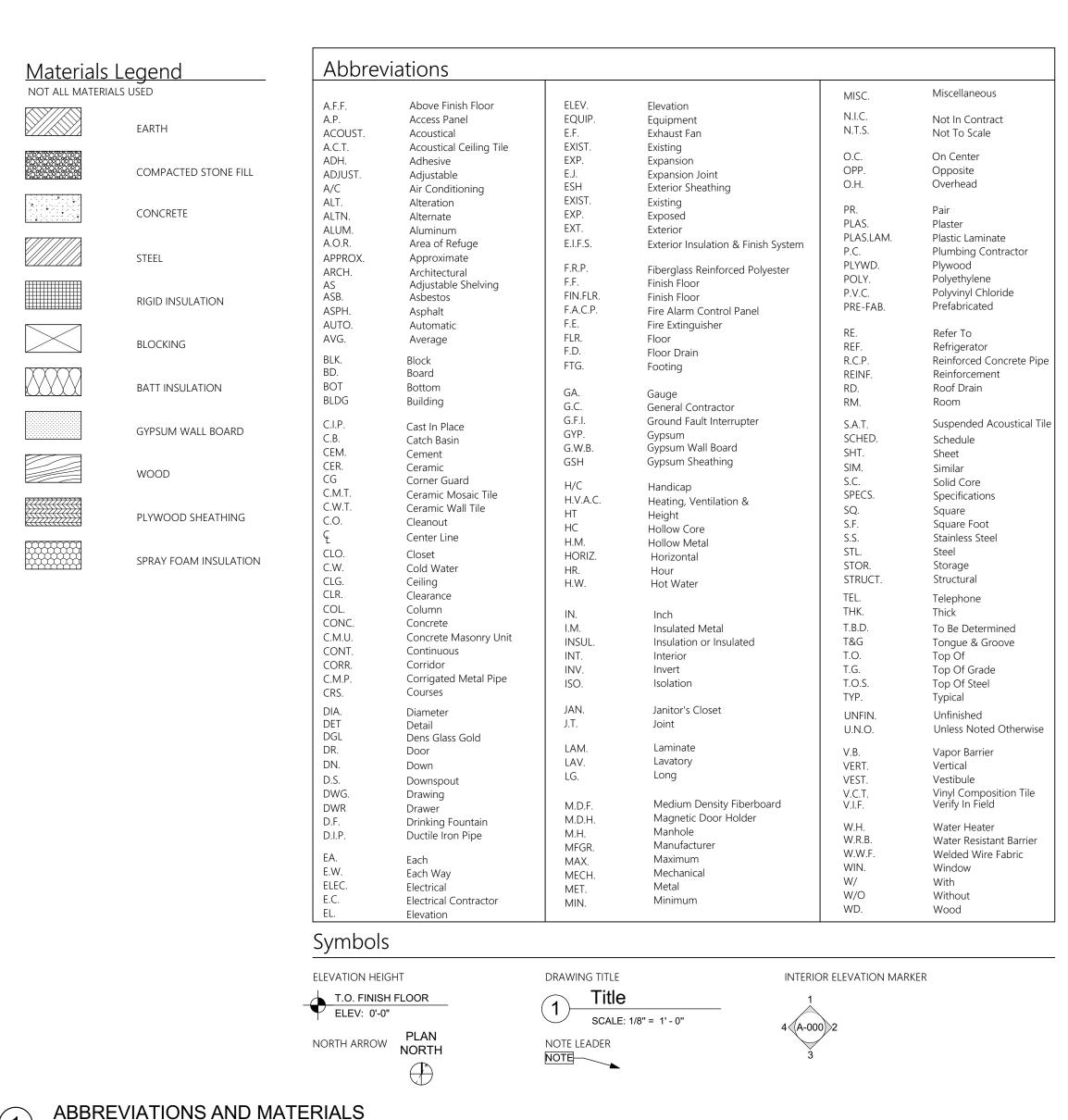
date

May 6, 2022

no. of.

Sheet No.

A2



	SI	ZE	LIEAS VEIT	FDAME	\	
ID	WIDTH	HEIGHT	HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
Α	1'-10"	5'-5"	8'-3"	WOOD	×	
AA	2'-10"	5'-5"	7'-8"	WOOD	×	
В	1'-9 1/2"	7'-2 1/2"	9'-8"	WOOD	⊠	
ВВ	1'-10"	6'-6"	8'-9"	WOOD	⊠	
С	1'-10"	4'-9 1/2"	8'-3"	WOOD	⊠	
СС	2'-10"	6'-3"	8'-8"	WOOD	⊠	
D	1'-10"	5'-7"	7'-8"	WOOD	⊠	
DD	2'-10"	6'-3"	8'-6"	WOOD	×	
E	2'-10"	6'-9"	8'-11"	WOOD	×	
EE	3'-1"	4'-4"	8'-6"	WOOD	×	
F	1'-10"	7'-5"	9'-10 1/2"	WOOD	⊠	
FF	3'-3"	6'-4"	8'-8"	WOOD	⊠	
G	2'-0"	5'-0"	7'-3"	WOOD		
GG	2'-9"	3'-2"	7'-6"	WOOD		
Н	2'-0"	5'-5 1/2"	7'-8 1/2"	WOOD	 	
HH	2'-9"	3'-2"	7'-6 1/2"	WOOD	 	
1	2'-0"	6'-6"	8'-6"	WOOD	 	
II	3'-3 1/2"	6'-0"	8'-4"	WOOD	<u>=</u>	
J	2'-1"	5'-1"	7'-4 1/2"	WOOD	 ⊠	
JJ	1'-5"	4'-0"	7'-6"	WOOD		
K	2'-1"	5'-7"	7'-11"	WOOD		
KK	1'-10"	6'-9"	8'-9"	WOOD	 	
L	2'-1"	6'-2 1/2"	8'-5"	WOOD	⊠	
LL	2'-5"	2'-5"	2'-8"	WOOD	⊠	
M	2'-4"	6'-9"	8'-9"	WOOD	⊠	
MM	1'-8"	1'-6"	8'-0"	WOOD	_	
	2'-4"	7'-5"				
N NINI		7 -5 1'-8"	9'-10 1/2"	WOOD		
NN	2'-0"		8'-0"	WOOD	<u> </u>	
0	2'-4 1/2"	5'-11"	8'-2 1/2"	WOOD		
00	2'-2"	2'-0"	8'-0"	GLASS BLOCK		
P	2'-4 1/2"	6'-1 1/2"	8'-4"	WOOD	<u> </u>	
PP -	2'-4"	1'-6"	8'-0"	WOOD	<u> </u>	
Q	2'-7"	6'-1"	8'-4"	WOOD	⊠	
Q	2'-7"	6'-1"	8'-4 1/2"	WOOD		
QQ	2'-6"	2'-0"	8'-0"	GLASS BLOCK		
R	2'-8"	6'-2"	8'-4"	WOOD		
R	2'-8"	6'-2"	8'-4 1/2"	WOOD	⊠	
R	2'-8"	6'-2"	8'-5 1/2"	WOOD	⊠	
RR	2'-8"	5'-6"	7'-6"	WOOD		
S	2'-8"	6'-9"	8'-11"	WOOD		
SS	2'-8"	5'-6"	7'-6"	WOOD	×	
Т	2'-8 1/2"	5'-1"	7'-3 1/2"	WOOD	⊠	
TT	2'-9"	3'-6"	2'-0"	WOOD	⊠	
U	2'-9"	3'-11"	8'-1"	WOOD	⊠	
UU	2'-9"	4'-1"	8'-5 1/2"	WOOD	⊠	
V	2'-9"	5'-1 1/2"	7'-5"	WOOD	⊠	
W	2'-9"	5'-5"	7'-8 1/2"	WOOD	×	
WW	2'-9"	5'-0"	7'-0"	WOOD	×	
Х	2'-9"	6'-0"	8'-2"	WOOD	⊠	
Х	2'-9"	6'-0"	8'-3 1/2"	WOOD	⊠	
XX	2'-9"	5'-7"	7'-11"	WOOD	×	
Υ	2'-9"	6'-1 1/2"	8'-4 1/2"	WOOD	×	
	-	6'-6"	8'-6"	WOOD		

ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.

GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE							
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)		
2	3'-0"×6'-8"	III	WOOD	WOOD	PRIVACY		
3	3'-0"×6'-6"	II	HOLLOW METAL	HOLLOW METAL	PASSAGE		
4	3'-0"×6'-6"	II	HOLLOW METAL	HOLLOW METAL	ENTRY		
5	2'-10"×6'-6"	II	HOLLOW METAL	HOLLOW METAL	ENTRY		
6	3'-0"×6'-6"	П	HOLLOW METAL	HOLLOW METAL	PASSAGE		
7	3'-0"×6'-6"	II	HOLLOW METAL	HOLLOW METAL	PRIVACY		
8	2'-10"×6'-8"	III	WOOD	WOOD	PRIVACY		
9	3'-0"×6'-0"	III	WOOD	WOOD	PASSAGE		
10	2'-6"×6'-8"	III	WOOD	WOOD	PASSAGE		
11	2'-8"×6'-8"	III	WOOD	WOOD	PRIVACY		
12	2'-6"×6'-8"	III	WOOD	WOOD	PRIVACY		
13	2'-8"×6'-8"	III	WOOD	WOOD	PASSAGE		
14	1'-6"×6'-8"	III	WOOD	WOOD	DUMMY		
15	3'-0"×7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY		
16	2'-6"×6'-8"	III	WOOD	WOOD	DUMMY		
17	2'-8"×6'-8"	III	WOOD	WOOD	DUMMY		
18	1'-0"×6'-8"	III	WOOD	WOOD	DUMMY		
19	1'-8"×6'-0"	III	WOOD	WOOD	PASSAGE		
20	3'-0"×6'-8"	III	WOOD	WOOD	DUMMY		
21	3'-0"×6'-8"	III	WOOD	WOOD	PASSAGE		
22	3'-0"×7'-0"	IV	WOOD	WOOD	ENTRY		
23	2'-0"×6'-8"	III	WOOD	WOOD	DUMMY		
24	3'-0"×6'-8"	V	WOOD	WOOD	PRIVACY		
25	3'-3"×6'-8"	VI	WOOD	WOOD	SLIDING		
26	2'-4"×6'-8"	III	WOOD	WOOD	ENTRY		
28	3'-3"×6'-8"	VI	WOOD	WOOD	SLIDING		
29	2'-2"×6'-8"	VI	WOOD	WOOD	SLIDING		
30	2'-7"×6'-1 1/2"	III	WOOD	WOOD	DUMMY		

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

DINING 09 LVT DINING ROOM 09 LVT ENTRY 09 LVT FOYER 09 LVT HALLWAY 09 LVT HALLWAY 09 VCT KITCHEN 09 LVT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT LIVING ROOM 09 LVT		
DINING ROOM 09 LVT ENTRY 09 LVT FOYER 09 LVT HALLWAY 09 LVT HALLWAY 09 VCT KITCHEN 09 LVT KITCHEN 09 VCT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	DINING	09 LVT
ENTRY 09 LVT FOYER 09 LVT HALLWAY 09 LVT HALLWAY 09 VCT KITCHEN 09 LVT KITCHEN 09 VCT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	DINING	09 LVT
FOYER 09 LVT HALLWAY 09 LVT HALLWAY 09 VCT KITCHEN 09 LVT KITCHEN 09 VCT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	DINING ROOM	09 LVT
HALLWAY 09 LVT HALLWAY 09 VCT KITCHEN 09 LVT KITCHEN 09 VCT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	ENTRY	09 LVT
HALLWAY 09 VCT KITCHEN 09 LVT KITCHEN 09 VCT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	FOYER	09 LVT
KITCHEN 09 LVT KITCHEN 09 VCT LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	HALLWAY	09 LVT
KITCHEN	HALLWAY	09 VCT
LAUNDRY ROOM 09 VCT LIN.CLO 09 LVT LIVING 09 LVT	KITCHEN	09 LVT
LIN.CLO 09 LVT LIVING 09 LVT	KITCHEN	09 VCT
LIVING 09 LVT	LAUNDRY ROOM	09 VCT
·	LIN.CLO	09 LVT
LIVING ROOM 09 LVT	LIVING	09 LVT
	LIVING ROOM	09 LVT

FINISH SCHEDULE

FLOOR

09 | LVT

09 | VCT

09 | LVT

09 | LVT

09 | VCT

09 | LVT

NAME

BATH

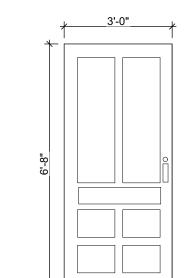
BATHROOM

BEDROOM

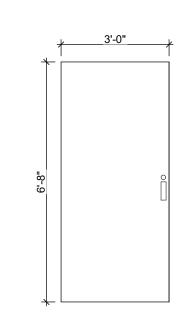
CLOSET

COMMON AREA

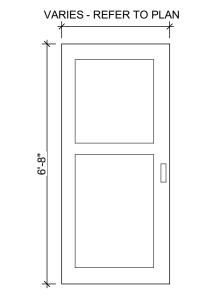
CORRIDOR



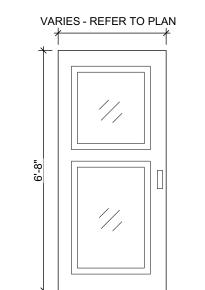
| EXTERIOR INSULATED FIBERGLASS DOOR INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. HISTORIC DOOR AND COLOR TO MATCH KEY AND CORE AND HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



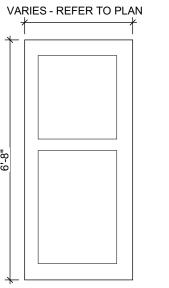
II EXTERIOR INSULATED METAL DOOR
INSULATED EXTERIOR DOOR TO MATCH IECC
REQUIREMENTS. HISTORIC DOOR AND COLOR TO
MATCH KEY AND CORE AND HADRWARE PER
SPECIFICATIONS. REFER TO PLAN FOR DOOR
HANDLING.



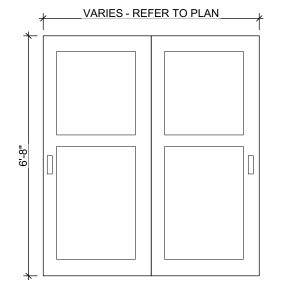
III INTERIOR WOOD DOOR INTERIOR 2 PANEL WOOD DOOR. HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



INTERIOR WOOD DOOR WITH GLASS
INTERIOR 2 PANEL WOOD
DOOR. HADRWARE PER
SPECIFICATIONS. REFER TO
PLAN FOR DOOR HANDLING.



V INTERIOR WOOD POCKET DOOR
INTERIOR 2 PANEL WOOD
POCKET DOOR. HADRWARE
PER SPECIFICATIONS.



VI INTERIOR WOOD SLIDING DOOR
INTERIOR 2 PANEL SLIDING WOOD DOOR.
HADRWARE PER SPECIFICATIONS. REFER TO
PLAN FOR DOOR HANDLING.

Fukui Architects Pc

205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

©2022 Fukui Architects, Pc

general notes

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revisions

project title

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

As Noted

date

May 6, 2022

A

Project #2006

- CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT

GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN

0'-0" IN THIS SET OF DRAWINGS. 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER

WRITING OF ANY INCONSISTENT OR MISSING

- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER
- SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS.SUBCONTRACTORS. AND WORK WITH THEOWNER, EACH PRIME CONTRACTOR &TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS &INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK, EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & **FOUIPMENT THAT ARE DAMAGED DURING THE** PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OF REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS

HAZARDOUS NOTES

- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT, AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

GENERAL HISTORIC PRESERVATION NOTES

- HISTORIC PRESERVATION NOTES SHALL OVERRIDE KEYNOTES WHERE APPLICABLE.
- THE REPAIR OF EXISTING FEATURES WITH NAPPROPRIATE MATERIALS, SUCH AS ALUMINUM JAMB CASINGS AND BRACKET TINWORK, SHALL BE AVOIDED.
- REHABILITATION WORK SHALL NOT DESTROY THE DISTINGUISHING QUALITIES OR CHARACTER OF THE STRUCTURE AND ITS ENVIRONMENT. THE REMOVAL OR ALTERATION OF ANY HISTORIC MATERIAL OR ARCHITECTURAL FEATURES SHOULD BE HELD TO A
- IN THE EVENT REPLACEMENT IS NECESSARY, THE NEW MATERIAL SHOULD MATCH THE MATERIAL BEING REPLACED IN THE COMPOSITION, DESIGN, COLOR TEXTURE, AND OTHER VISUAL QUALITIES. REPAIR OR REPLACEMENT OF MISSING ARCHITECTURAL FEATURES SHOULD BE BASED ON ACCURATE DUPLICATIONS OF ORIGINAL FEATURES, SUBSTANTIATED BY PHYSICAL OR PICTORIAL EVIDENCE, RATHER THAN ON CONJECTURAL DESIGNS OR THE AVAILABILITY OF DIFFERENT ARCHITECTURAL FEATURES FROM OTHER BUILDINGS

ENVIRONMENTAL AND LIANDSCAPE HISTORIC PRESERVATION NOTES

- RETAIN LANDSCAPE FEATURES SUCH AS PARKS. GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS THAT HAVE TRADITIONALLY LINKED BUILDINGS TO THEIR
- FNVIRONMENT USING NEW PLANT MATERIALS, FENCING, WALKWAYS. STREET LIGHTS, SIGNS, AND BENCHES THAT ARE
- COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.

ARCHITECTURAL SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:
- 1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11. INTERIOR WOOD HANDRAILS 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS
- 13. DUCTWORK

THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:

- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE, SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS.
- 19 ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING, NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICAITONS.
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES, PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL. ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE **CONSTRUCTION SET**

- PARKING PADS
- CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS
- 7. FIRE ALARM SYSTEMS

POSSIBLE

MASONRY HISTORIC PRESERVATION NOTES

- RETAIN ORIGINAL MASONRY AND MORTAR WHENEVER POSSIBLE, WITHOUT THE APPLICATION OF ANY SURFACE
- TREATMENT DUPLICATE OLD MORTAR IN COMPOSITION, COLOR TEXTURE, JOINT SIZE, METHOD OF APPLICATION, AND
- CLEANING MASONRY WILL BE APPROVED ONLY WHEN NECESSARY TO HALT DETERIORATION AND ALWAYS WITH THE GENTLEST METHOD POSSIBLE, SUCH AS LOW-PRESSURE WATER AND SOFT NATURAL BRUSHES. DETERIORATED MASONRY WORK SHALL BE REPAIRED TO BE INCONSPICUOUS AND COMPATIBLE WITH THE

EXISTING. BRICKWORK SHALL NOT BE SANDBLASTED AND

- MAY BE CLEANED WITH HYDROFLUORIC ACID IN CONCENTRATION OF NOT MORE THAN 5% OR **FOUIVALENT** WATERPROOFING DETAILS CANNOT ALTER THE EXTERIOR
- ON HISTORIC PROJECTS. REPOINTING WITH A MORTAR OF HIGH PORTLAND CEMENT CONTENT CAN CREATE A BOND THAT IS OFTEN STRONGER THAN THE BUILDING MATERIAL. THIS CAN CAUSE DETERIORATION AS A RESULT OF THE DIFFERING COFFFICIENT OF EXPANSION AND THE DIFFERING POROSITY OF THE MATERIAL AND THE MORTAR
- MASONRY SURFACES, WHICH HAVE BEEN PAINTED IN THE PAST, SHOULD, IN MOST CASES, BE REPAINTED. REPAIRING OR REPLACING, WHERE NECESSARY DETERIORATED MATERIAL WITH NEW MATERIAL SHOULD ATTEMPT TO DUPLICATE THE OLD AS CLOSELY AS

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

PLUMBING SCOPE NOTES

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN, EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS.
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND. DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET. PROVIDE AN INLET DUCT ADAPTOR,8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR, SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING, CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS LITH IZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P9 DISCONNECT AND REMOVE EXISTING HOSE-RIBB AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO
- REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED. P11.INSPECTION REPORT INDICATES SEWER BACKUP
- REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR / REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12"OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES), EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

DUPLICATED

WOOD HISTORIC PRESERVATION NOTES

REPAIR, RESTORE AND, IF NECESSARY, REPLACE

SUCH AS WOOD PANELING, OR ALUMINUM OR VINYL

SIDING IN APPROPRIATE SCALE AND FINISH, IS NOT

PROHIBITED. WHERE THOSE MATERIALS ARE USED

METAL HISTORIC PRESERVATION NOTES

CLEAN WHEN NECESSARY WITH THE APPROPRIATE

METHOD. CAST IRON AND STEEL ARE NORMALLY NOT

DO NOT USE CLEANING METHODS, WHICH ALTER THE

AFFECTED BY MECHANICAL CLEANING METHODS WHILE

PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED

DOORWAY PEDIMENTS IS PROHIBITED

BY THE GENTLEST METHOD POSSIBLE.

BY THE GENTLEST METHOD POSSIBLE.

COLOR, TEXTURE, AND TONE OF THE METAL

COLOR, TEXTURE, AND TONE OF THE METAL.

METAL HISTORIC PRESERVATION NOTES

CLEAN WHEN NECESSARY WITH THE APPROPRIATE

METHOD. CAST IRON AND STEEL ARE NORMALLY NOT

DO NOT USE CLEANING METHODS, WHICH ALTER THE

AFFECTED BY MECHANICAL CLEANING METHODS, WHILE

PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED

APPROPRIATE TRIM DETAILS WILL BE RETAINED OR

REMOVING ARCHITECTURAL FEATURES SUCH AS SIDING,

CORNICES, BRACKETS, WINDOW ARCHITRAVES, AND

EXISTING WOOD SIDING WITH SIMILAR WOOD MATERIALS.

HOWEVER, REPLACEMENT USING OTHER MATERIALS,

MECHANICAL SCOPE NOTES **ELECTRICAL SCOPE NOTES**

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING: BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:
- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS. AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATI DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TONEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS /BULKHEADS UPON COMPLETION OF THE WORK.
- M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING. CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BUI KHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.
- M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE, SEE SPECIFICATIONS.
- M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN. ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN,ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEE SPECIFICATIONS, THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK
- M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHENEXHAUST FAN. ALL ASSOCIATED EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN,ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS/ WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK.
- M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN. EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPER OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE SPECIFICATIONS.
- M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET. PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY, SEE SPECIFICATIONS.

E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR PROVIDE NEW NEMA-3R OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE

MANUFACTURER'S RECOMMENDED MINIMUM

E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE &

WATER HEATER BY PLUMBING CONTRACTOR.

E17.ELECTRICAL CONTRACTOR SHALL RECONNECT &

DISCONNECT POWER AT EXISTING WATER HEATER

LOCATION TO PERMIT THE REMOVAL OF EXISTING

PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT

CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH

AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING

RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) &

MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR

DISCONNECT POWER AT EXISTING CEILING MOUNTED

EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF

PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST

PUMP FURNISHED AND INSTALLED BY PLUMBING

CONDUCTORS AND CIRCUIT BREAKER ARE IN

E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE &

.19ELECTRICAL CONTRACTOR SHALL RECONNECT &

CONDUCTORS AND CIRCUIT BREAKER ARE IN

ACCORDANCE WITH THE MANUFACTURER'S

ASSEMBLY, INSTALLATION OF NEW DUPLEX

FAN FURNISHED AND INSTALLED BY MECHANICAL

CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH

AND/OR FUSES AS REQUIRED, FIFLD VERIEY EXISITING

RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) &

MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR

MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX

RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP

RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE

E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE,

E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS

IDENTIFIED SUITABLE FOR THE PURPOSEIN THE

OR OBSOLETE INTERCOM SYSTEM WITH NEW PER

SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING

AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE

CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD

INSTALLATION INSTRUCTIONS OF THE APPLICANCE

E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN

EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE

NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE

ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE

E24.CONTRACTOR SHALL DISCONNECT AND REMOVE

IN ACCORDANCE WITH THE I.B.C. AND N.E.C.

E25.CONTRACTOR SHALL DISCONENCT AND REMOVE

E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE

EXISITNG ABANDON LANDLINE PANEL(S) AND ALL

ALL ELECTRICALPANEL BOARDS.

ASSOCIATED ACCESSIBLE WIRING

ENTRANCES, PORCHES, & STEPS

HISTORIC PRESERVATION NOTES

RAILING SHALL BE PERMITTED

TO THE BUILDING AND ITS DEVELOPMENT.

RETAINED, RESTORED OR DUPLICATED.

SIDEWALK, STOOP, AND STEP MATERIALS SHALL BE

EXISTING TRANSOMS AND OTHER EMBELLISHMENTS

CHARACTERISTIC OF THE STRUCTURE SHALL BE

THE FRONT ENTRANCE SHALL BE ENCOURAGED.

APPROPRIATE WOOD PANEL CONSTRUCTION

REPAIR OR REPLACE. WHERE NECESSARY

DESTROY THEIR INTENDED APPEARANCE.

NECESSARY

SIMILAR SOURCE.

RETAIN PORCHES AND STEPS, WHICH ARE APPROPRIATE

STONE, BRICK, OR POURED CONCRETE. WROUGHT IRON

APPROPRIATE EXTERIOR LIGHTING ABOVE OR FLANKING

DETERIORATED ARCHITECTURAL FEATURES OF WOOD

STRIPPING PORCHES AND STEPS OF ORIGINAL MATERIAL

AND ARCHITECTURAL FEATURES, SUCH AS HAND RAILS,

DECORATION OF WOOD, IRON, CAST IRON, TERRA-COTTA

TILE AND BRICK, AND ENCLOSING PORCHES AND STEPS,

WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO

WHERE PAINTING IS NECESSARY, UTILIZE A GLOSS OF

SEMI-GLOSS PAINT WHICH CAN BE FASILY CLEANED.

DONE WITH CARE AS TO NOT DAMAGE THE BRICK.

RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE

KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS

AND HEADERS (IF MASONRY). SCRAPE DOWN THE TRIM

AND OTHER PAINTED SURFACE TO FIND OUT WHAT THE

ORIGINAL COLORS WERE FOR USE IN REPAINTING AS

COLORS BE SELECTED FROM HISTORICAL SELECTIONS,

SUCH AS "PITTSBURGH PAINT HISTORIC COLORS" OR A

IT IS SUGGESTED THAT EXTERIOR BODY AND TRIM

IRON, CAST IRON, TERRA-COTTA, TILE, AND BRICK.

BALUSTERS, COLUMNS, BRACKETS AND ROOF

DOORS ON THE FRONT FACADE SHALL BE A HISTORICALLY

CABLE WIRING AS REQUIRED.

E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH

EXISTING EXHAUST FAN BY MECHANICAL

ACCORDANCE WITH THE MANUFACTURER'S

TO FINAL INSTALLATION.

TO FINAL INSTALLATION.

WITH THEN.E.C.

AS REQUIRED.

MANUFACTURER

CONTRACTOR.

CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT

- PROTECTION (MOP) PRIORTO FINAL INSTALLATION. E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW FIELD VERIFY CONDITIONAND SIZE OF EACHBRANCH DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS FURNISHED AND INSTALLED BY PLUMBING AND/ORWIRING AS REQUIRED.ENSURE CONTRACTOR. INSTALLATION OF NEW DUPLEX NEWELECTRICALPANEL IS INCOMPLIANCE WITH RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE ARTICLE 110 WORK AND WITH THE N.E.C. EQUIPMENTSPACECLEARANCES PRIOR TO FINAL
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.

INSTALLATION.

- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25. OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLE(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- F6. ALL DEVICE COVERS FOR FLECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES, HEIGHT OF RECEPTACLES ABOVE

COUNTERTOPS SHALL BE 44" AFF U.N.O.

- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES, LIGHT SWITCHES.LUMINARIES. ETC., BEING INOPERABLE
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OFEXISTING FURNACE BY MECHANICAL CONTRACTOR
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID EPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

ROOF HISTORIC PRESERVATION NOTES

PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING

RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM

THE STREET FACADE. SHALL BE STANDING-SEAM METAL

(PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED

REPLACE DETERIORATED ROOF COVERINGS WITH NEW

MATERIAL THAT MATCHES THE OLD IN COMPOSITION,

PRESERVE AND REPLACE, WHERE NECESSARY, ALL

EXISTING WINDOW AND DOOR OPENINGS SHALL BE

SILLS, ARCHITRAVES, SHUTTERS, AND DOORS,

RETAINED, INCLUDING WINDOW SASH, GLASS, LINTELS,

PEDIMENTS, HOODS, ARCHITRAVES, STEPS, AND ALL

VINYL CLAD WOOD. VINYL CLAD AND OTHERS MAY BE

ACCOMMODATE SMALLER OR STOCK WINDOW UNITS

SHALL NOT BE PERMITTED ON THE FRONT FACADES.

WINDOW STYLES ON THE FRONT FACADE SHALL BE

FITHER ONE OVER ONE OR TWO OVER TWO UNI ESS

STAINED, BEVELED OR FANCY GLASS EXISTS IN THE

INSTALLED. MUST BE INSTALLED ON ALL FLOORS OR THE

FIRST FLOOR ONLY. WROUGHT IRON "BURGLAR BARS"

SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF

WINDOW SHUTTERS SHALL BE OPERABLE AND, IF

OF WINDOW OPENINGS ON THE FRONT FACADE.

ORIGINAL OR IS USED IN THE REPLACEMENT.

PERMITTED IF THE BASIC SHAPE OF THE ORIGINAL

INFILLING OF WINDOW AND DOOR OPENINGS TO

ALL WINDOW AND DOOR CASING, SASHES, AND MUNTINS

ON THE FRONT FACADE SHALL BE PAINTED, STAINED OR

ARCHITECTURAL FEATURES THAT GIVE THE ROOF ITS

ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS

CUPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING,

DOOR & WINDOW HISTORIC PRESERVATION NOTES

ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE

DOWNSPOUTS SHALL BE COPPER OR ALUMINUM

DORMERS AND CHIMNEYS SHALL BE RETAINED

DARK SHINGLES, OR SLATE

AND WEATHERVANES.

WINDOW IS NOT ALTERED

SIZE, SHAPE, COLOR AND TEXTURE.

GREEN COMMUNITIES NOTES

- - 1. MITIGATE ALL CONTAMINANTS FOUND. IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT
- 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN
- BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI. 4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES. SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL
- USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS **ENCLOSURES WICH ARE EXEMPT**
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS.
- 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS. WINDOWS. AND ROOF.
- 11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION FOUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER. VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY

13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER

- ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST, ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFF WITH SILT FENCING OR COMPARABLE MEASURES. PROJTECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES, SILT FENCING, SILT SACKS, ROCK FILTERS, OR COMPARABLE MEASURES, PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION. USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED.
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-

18 SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR

(WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION. 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR

EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS

21 LIGHTING INSIDE THE BUILDING BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.

BARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY

- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.

INSIDE OF OR OUTSIDE OF AN AIR BARRIER.

- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD. OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE.

31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH

CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN. 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.

ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS.
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND

DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED

REPRESENTATIVE IN ANY FAILED TESTED SYSTEM 36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE RODENT-AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN 1/4-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF

APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S

37. PROVIDE "SMOKING PROHIBITED WITHIN 25" OF BUILDING" AT ALL ENTRANCES OF MULTI-FAMILY BUILDINGS

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general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects. **Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale
- **3.** All work shall be installed in accordance with applicable codes and regulations.
- 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments

rights, including the copyright thereto.

prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved

revisions

project title

ISSUED FOR PERMIT: 05.06.2022

Owner: HACP 200 ROSS STREET

PITTSBURGH,PA 15219

15233

Project Location: MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA

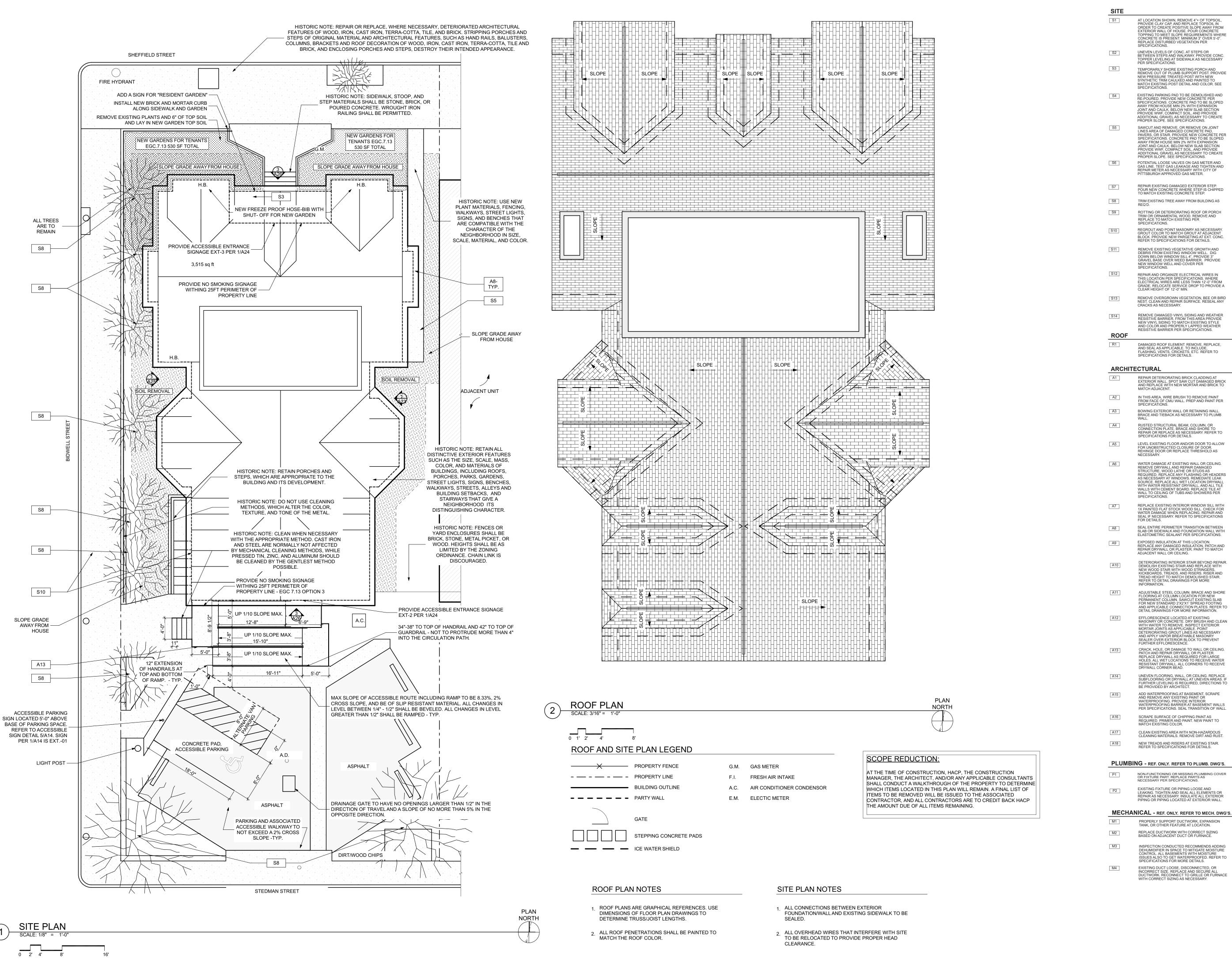
drawing title

NOTES

ENERGY NOTES, GENERAL

Sheet No. As Noted

May 6, 2022



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general notes

Any conflicts in the drawings or between new and

2. Contractor shall verify all dimensions and existing proceeding with any phase of work. Do not scale

drawings

4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and

REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS

WATER DAMAGE AT EXISTING WALL OR CEILING. WATER DAWAGE AT EXISTING WALL ON CEILING.
REMOVE DRYWALL AND REPAIR DAMAGED
STRUCTURE, WOOD LATHE OR STUDS AS
REQUIRED. REPLACE ANY FLASHING OR HEADERS
AS NECESSARY AT WINDOWS. REMEDIATE LEAK
SOURCE. REPLACE ALL WET LOCATION DRYWALL
WITH WATER RESISTANT DRYWALL, AND ALL TILE

REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.
REPLACE ANY DAMAGED INSULATION, PATCH AND
REPAIR DRYWALL OR PLASTER. PAINT TO MATCH

DETERIORATING INTERIOR STAIR BEYOND REPAIR.
DEMOLISH EXISTING STAIR AND REPLACE WITH
NEW WOOD STAIR WITH WOOD STRINGERS,
KICKBOARDS, TREADS, AND RISERS. RISER AND
TREAD HEIGHT TO MATCH DEMOLISHED STAIR.
REFER TO DETAIL DRAWINGS FOR MORE

ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING

AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS

SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.

CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WAL

PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.

EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

existing construction shall be referred to the Architect.

conditions in the field and shall advise Fukui Architects, **Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to

3. All work shall be installed in accordance with applicable codes and regulations.

ceiling surfaces as required to receive scheduled finishes. 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all

material required for finished assemblies.

6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved

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project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

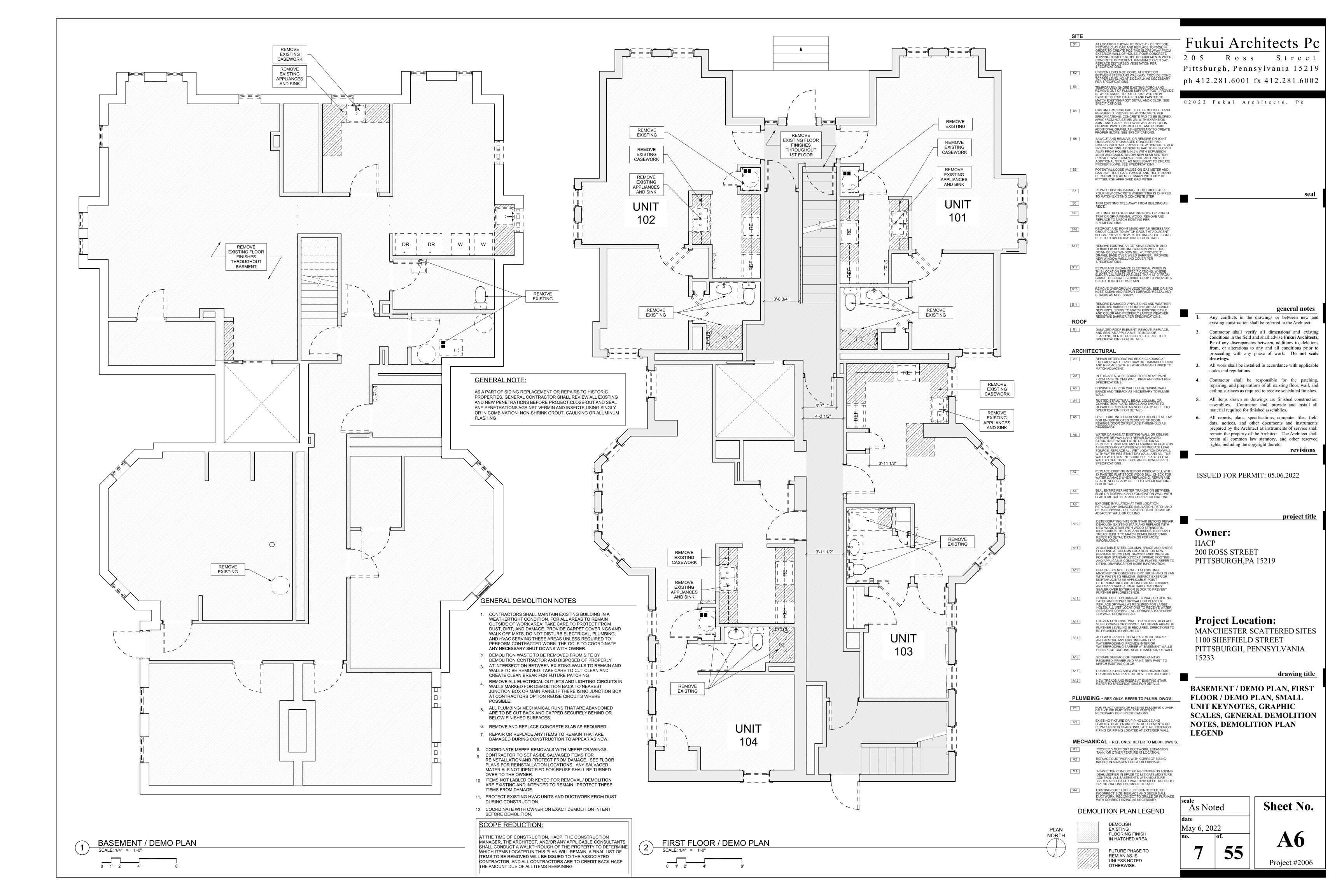
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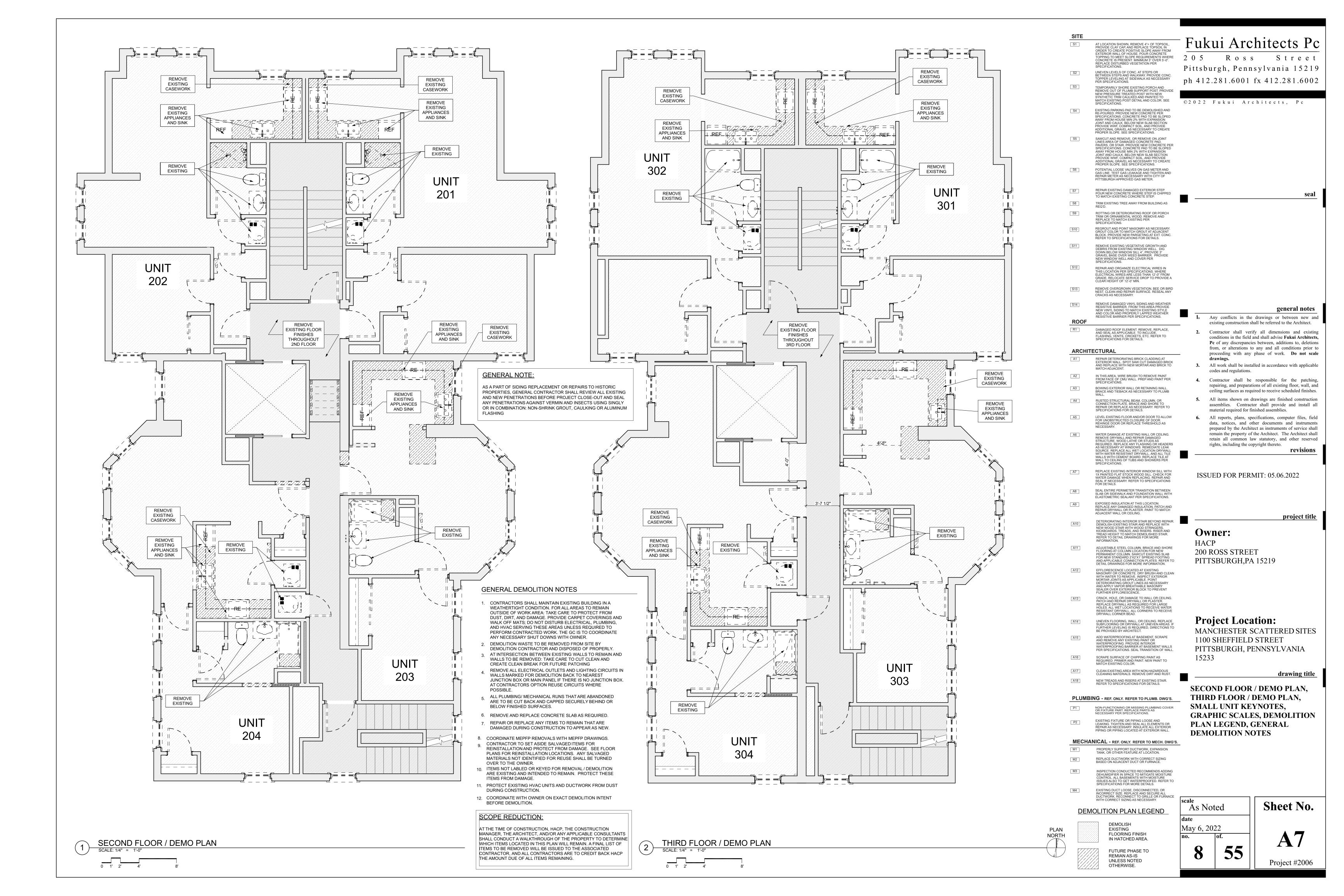
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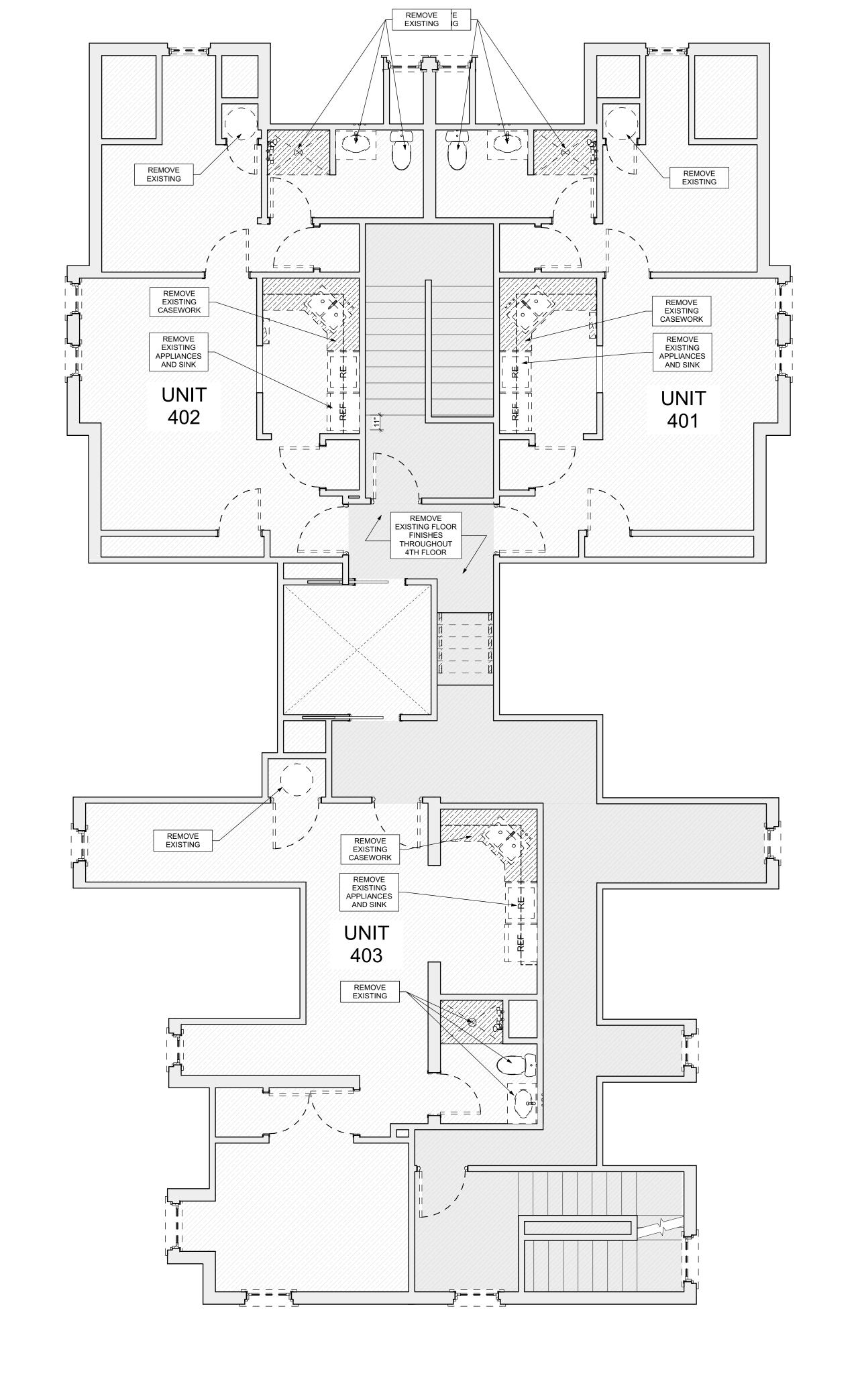
SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

As Noted May 6, 2022

Sheet No.







GENERAL DEMOLITION NOTES

- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE AND NECESSARY SHIFT DOWNS WITH OWNER.
- ANY NECESSARY SHUT DOWNS WITH OWNER.

 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY
- DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.

 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- 4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.

 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- 10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

PLAN NORTH AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE

ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING WALL OF HOUSE. POUR CONCRETE STOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5"-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.

UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.

TOPPER SPECIFICATIONS.

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Pittsburgh, Pennsylvania 15219

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REPAIR EXISTING DAMAGED EXTERIOR STEP.
POUR NEW CONCRETE WHERE STEP IS CHIPPED
TO MATCH EXISTING CONCRETE STEP.

TRIM EXISTING TREE AWAY FROM BUILDING AS
REQ'D.

general notes

Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and

ceiling surfaces as required to receive scheduled finishes.

5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all

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retain all common law statutory, and other reserved

revisions

project title

drawing title

2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.

3. All work shall be installed in accordance with applicable codes and regulations.

material required for finished assemblies.

rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

200 ROSS STREET

PITTSBURGH,PA 15219

Project Location:

1100 SHEFFIELD STREET

SMALL UNIT KEYNOTES,

DEMOLITION NOTES,

MANCHESTER SCATTERED SITES

PITTSBURGH, PENNSYLVANIA

FOURTH FLOOR / DEMO PLAN,

GRAPHIC SCALES, GENERAL

DEMOLITION PLAN LEGEND

HACP

IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.

BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB

EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.

TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.

EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK, BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.

ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER

REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC REFER TO SPECIFICATIONS FOR DETAILS.

REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.

REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.

REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY

RESISTIVE BARRIER PER SPECIFICATIONS.

DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

REPAIR DETERIORATING BRICK CLADDING AT

SPECIFICATIONS.

CRACKS AS NECESSARY.

S7

R1

ARCHITECTURAL

REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW

LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.

A6

WATER DAMAGE AT EXISTING WALL OR CEILING.
REMOVE DRYWALL AND REPAIR DAMAGED
STRUCTURE, WOOD LATHE OR STUDS AS
REQUIRED. REPLACE ANY FLASHING OR HEADERS
AS NECESSARY AT WINDOWS. REMEDIATE LEAK
SOURCE. REPLACE ALL WET LOCATION DRYWALL
WITH WATER RESISTANT DRYWALL, AND ALL TILE
WALLS WITH CEMENT BOARD. REPLACE TILE AT
WALL TO CEILING OF TUBS AND SHOWERS PER

REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.

A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.

DETERIORATING INTERIOR STAIR BEYOND REPAIR.

DEMOLISH EXISTING STAIR AND REPLACE WITH
NEW WOOD STAIR WITH WOOD STRINGERS,
KICKBOARDS, TREADS, AND RISERS, RISER AND
TREAD HEIGHT TO MATCH DEMOLISHED STAIR.
REFER TO DETAIL DRAWINGS FOR MORE
INFORMATION.

A11

ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

A12

EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

A13

CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

A14

UNEVEN FLOORING, WALL, OR CEILING, REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.

ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR

ADD WATERPROOFING AT BASEMENT. SCRAPE
AND REMOVE ANY EXISTING PAINT OR
WATERPROOFING. PROVIDE INTERIOR
WATERPROOFING BARRIER AT BASEMENT WALLS
PER SPECIFICATIONS. SEAL TRANSITION OF WALL.

A16 SCRAPE SURFACE OF CHIPPING PAINT AS

REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.

A17

CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.

NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.

M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.

M3

INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.

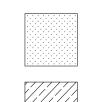
M4

EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

DEMOLITION PLAN LEGEND

DEMOLISH

EXISTING



FLOORING FINISH IN HATCHED AREA. FUTURE PHASE TO REMIAN AS-IS UNLESS NOTED OTHERWISE. As Noted

Sheet No.

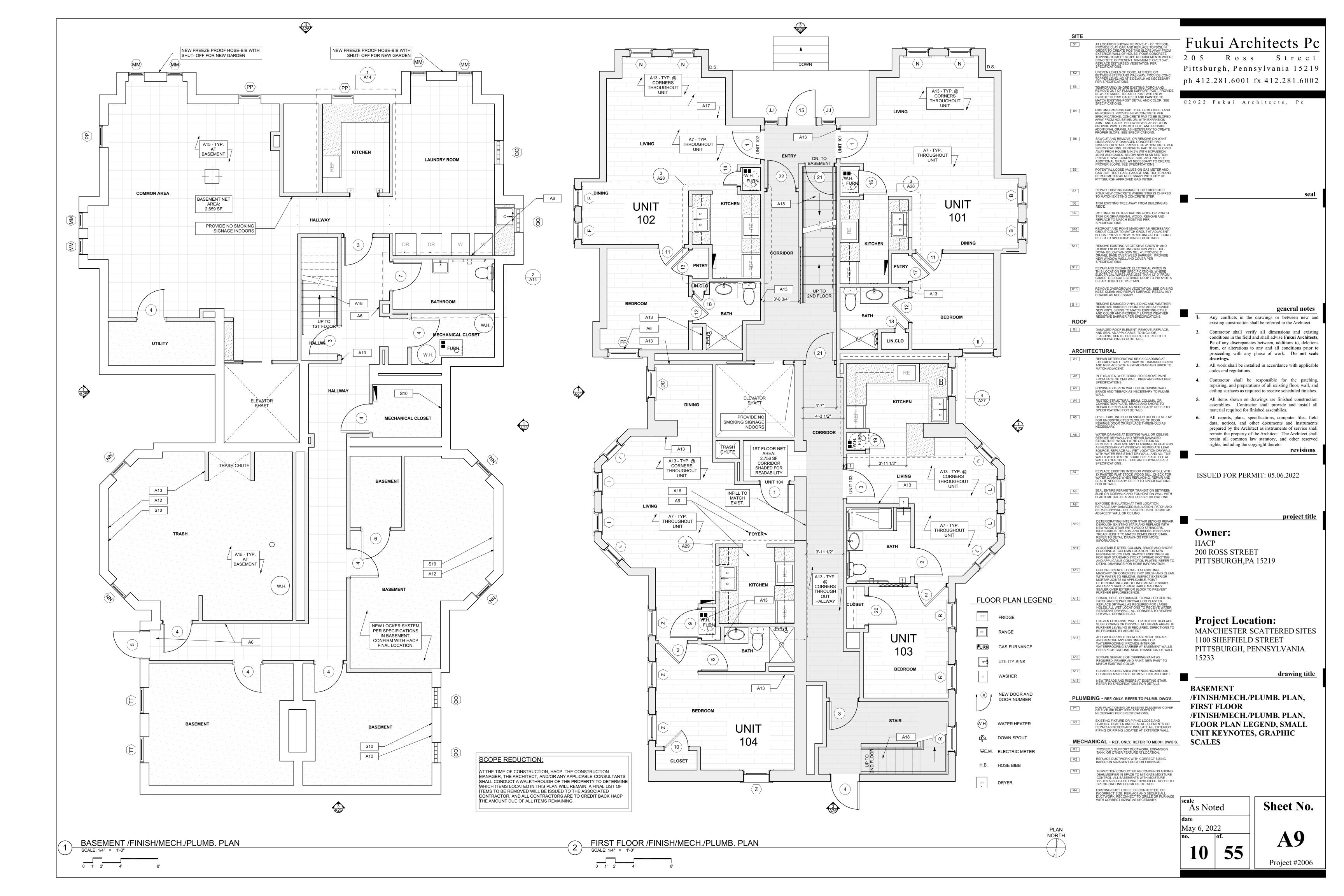
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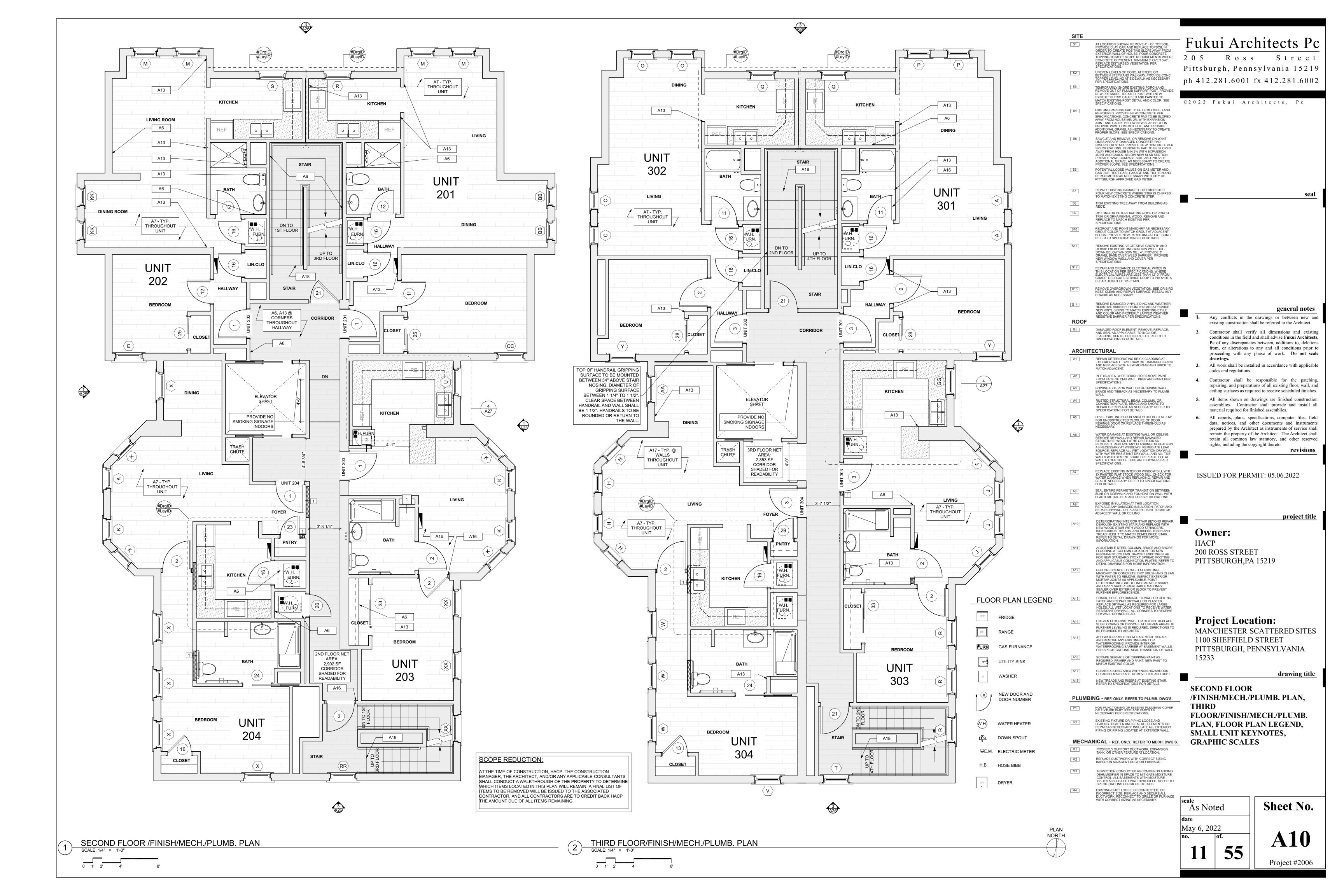
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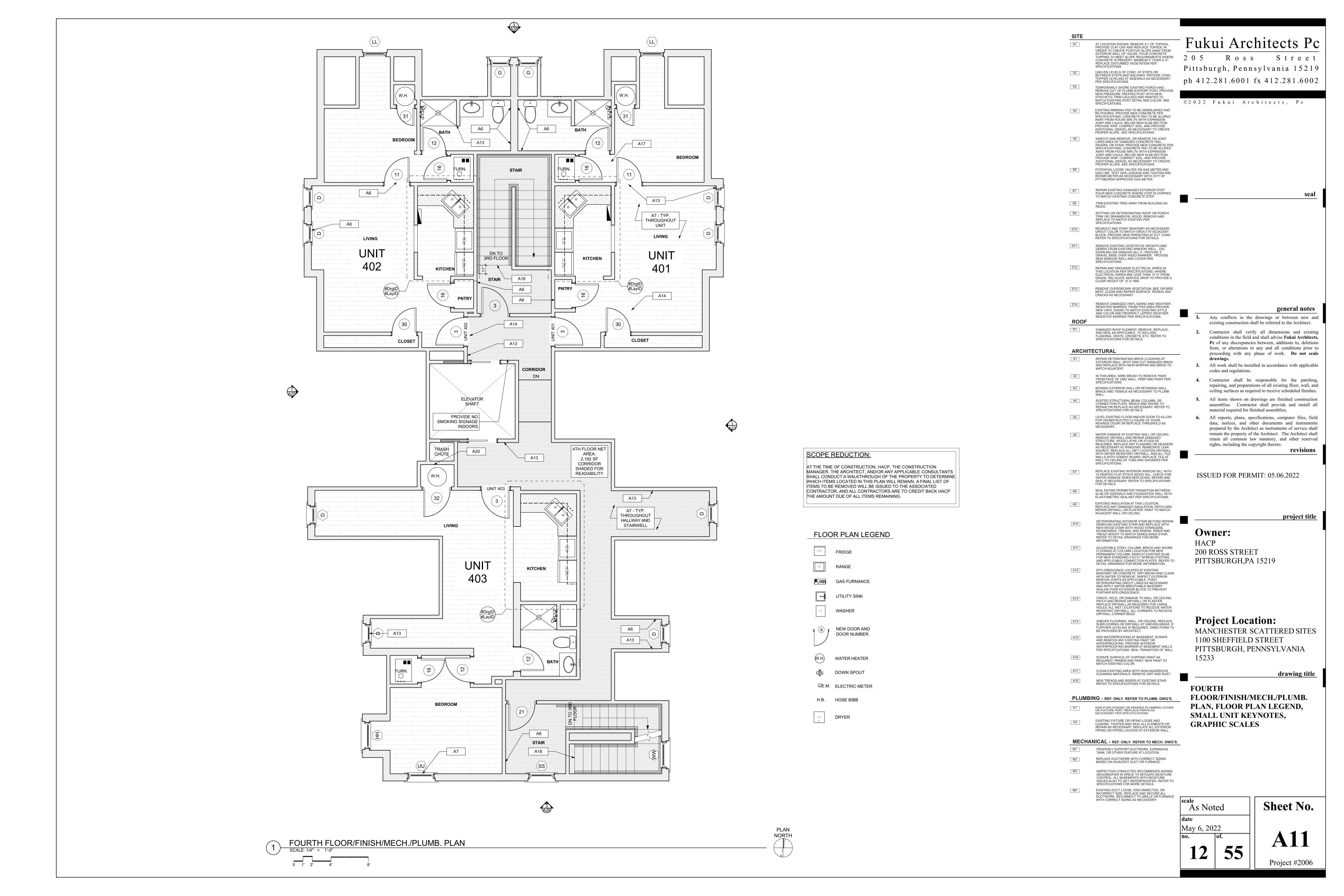
Project #2006

FOURTH FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"







RE 4'-3 1/2" CORRIDOR **ACCESSIBLE UNIT** NEW SHELF AT CLOSET TO BE 48" CLEARANCE A \exists MAX. TO TOP OF SHELF. (4) A14) ¢LEARANCE A 36"X66" WC NEW ROD 30"X48" AND SHELF CLEARANCE A AT CLOSET TO BE 48" MAX. TO TOP OF SHELF. ACCESSIBLE ENTRANCE SIGNAGE. REFER TO ACCESSIBLE DETAILS ON A24 FOR DETAILS. TOP OF HANDRAIL GRIPPING SURFACE TO BE MOUNTED BETWEEN 34" ABOVE STAIR NOSING. DIAMETER OF GRIPPING SURFACE BETWEEN 1 1/4" TO 1 1/2". CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1 1/2". HANDRAILS TO BE ROUNDED OR RETURN PLAN NORTH

1 FIRST FLOOR / ACCESSIBLE PLAN

SCALE: 3/8" = 1'-0"

ACCESSIBLE NOTES

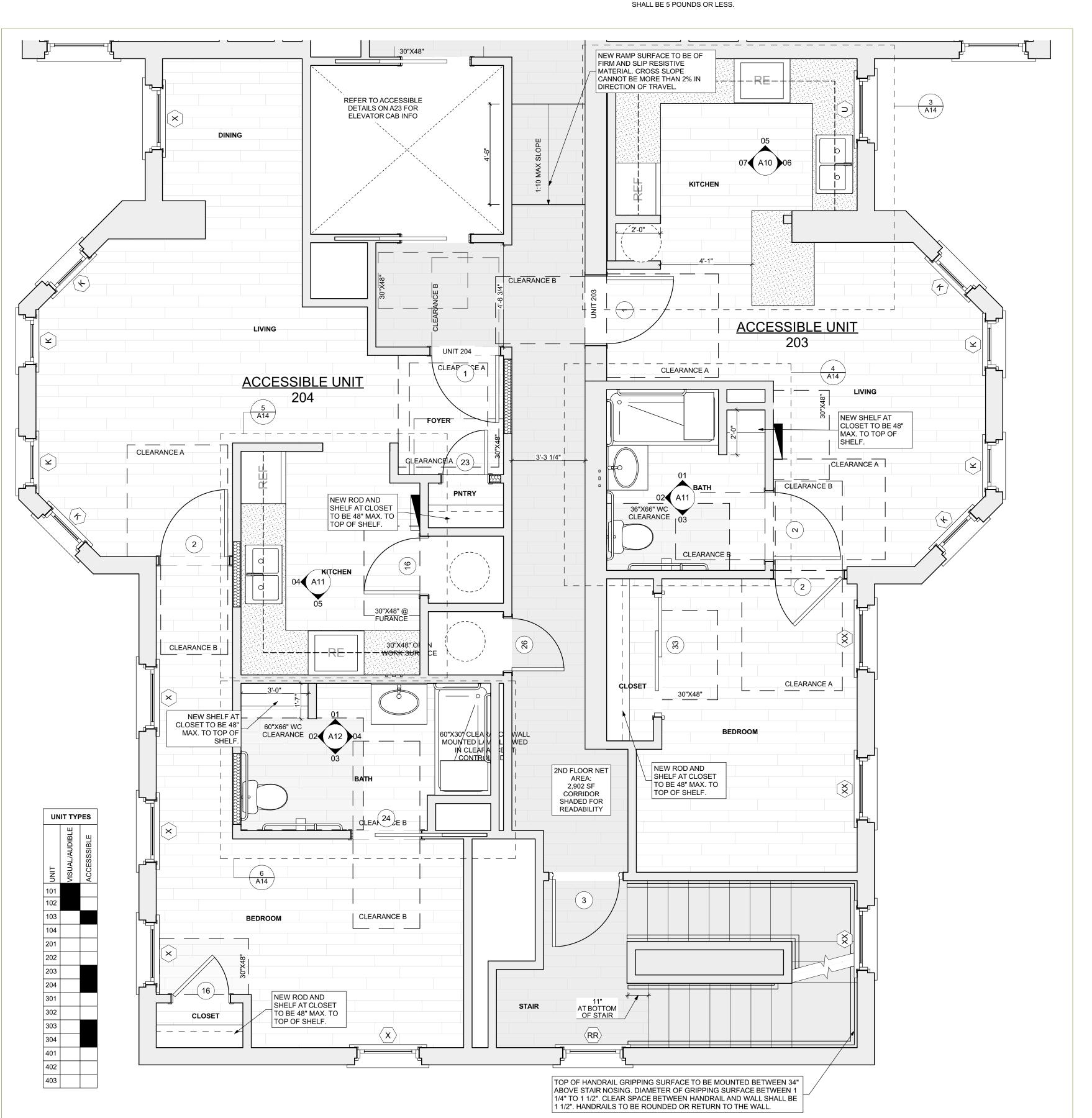
- 1. A 30"X48" CLEAR SPACE MUST BE PROVIDED FOR ALL EQUIPMENT INCLUDING THERMOSTATS, ELECTRIC 4. MOUNTING HEIGHT OF DOOR KNOBS AND COMMON USE DEADBOLTS TO BE NO HIGHER THAN 48" A.F.F.
- PANELS, AND LIGHT SWITCHES.

 2. ALL EQUIPMENT TO BE WITHIN REACH RANGE
 BETWEEN 15"-48" A.F.F. INCLUDING SWITCHES,

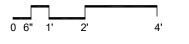
 5. INTERIOR DOORS TO HAVE AN OPENING FORCE OF
 NO GREATER THAN 5 POUNDS.
- OUTLETS, AND PANELS.

 3. ALL ACCESSIBLE DOORS TO BE LEVER OR PUSH/PULL. NO TIGHT GRASPING OR TWISTING SHALL BE REQUIRED TO OPERATE.

 6. ALL NON-SLIDING EXTERIOR DOORS TO HAVE A BEVELED THRESHOLD NO HIGHER THAN 3/4".
- 7. ALL FAUCETS TO BE ABLE TO BE OPERATED WITH ONE HAND.
- 8. FIXED AND HANDHELD SHOWER HEAD WITH A 60" MIN.
 HOSE. OPERATION MUST BE CAPABLE WITH ONE
 HAND AND SHOULD NOT REQUIRE TIGHT GRASPING
 OR TWISTING OF THE WRIST. LOCATED BELOW THE
 GRAB BAR AND BETWEEN THE OPEN SIDE AND
 CENTERLINE OF THE TUB.
- 9. HOT WATER SUPPLY TO NOT EXCEED 120 DEGREES FAHRENHEIT PER A117.1 607.8
- 10. CONFIRM LOCATION OF TOWEL BAR WITH OWNER.
 TOWEL BAR NOT TO BE MOUNTED HIGHER THAN 48"
 TO TOP OF BAR.
- 11. CABINET OPERATION PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERATION



FIRST FLOOR / ACCESSIBLE PLAN SCALE: 3/8" = 1'-0"



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Pittsburgh, Pennsylvania 15219
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general notes

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- **3.** All work shall be installed in accordance with applicable codes and regulations.
- **4.** Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- **5.** All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

FIRST FLOOR / ACCESSIBLE PLAN, GRAPHIC SCALES, ACCESSIBLE NOTES

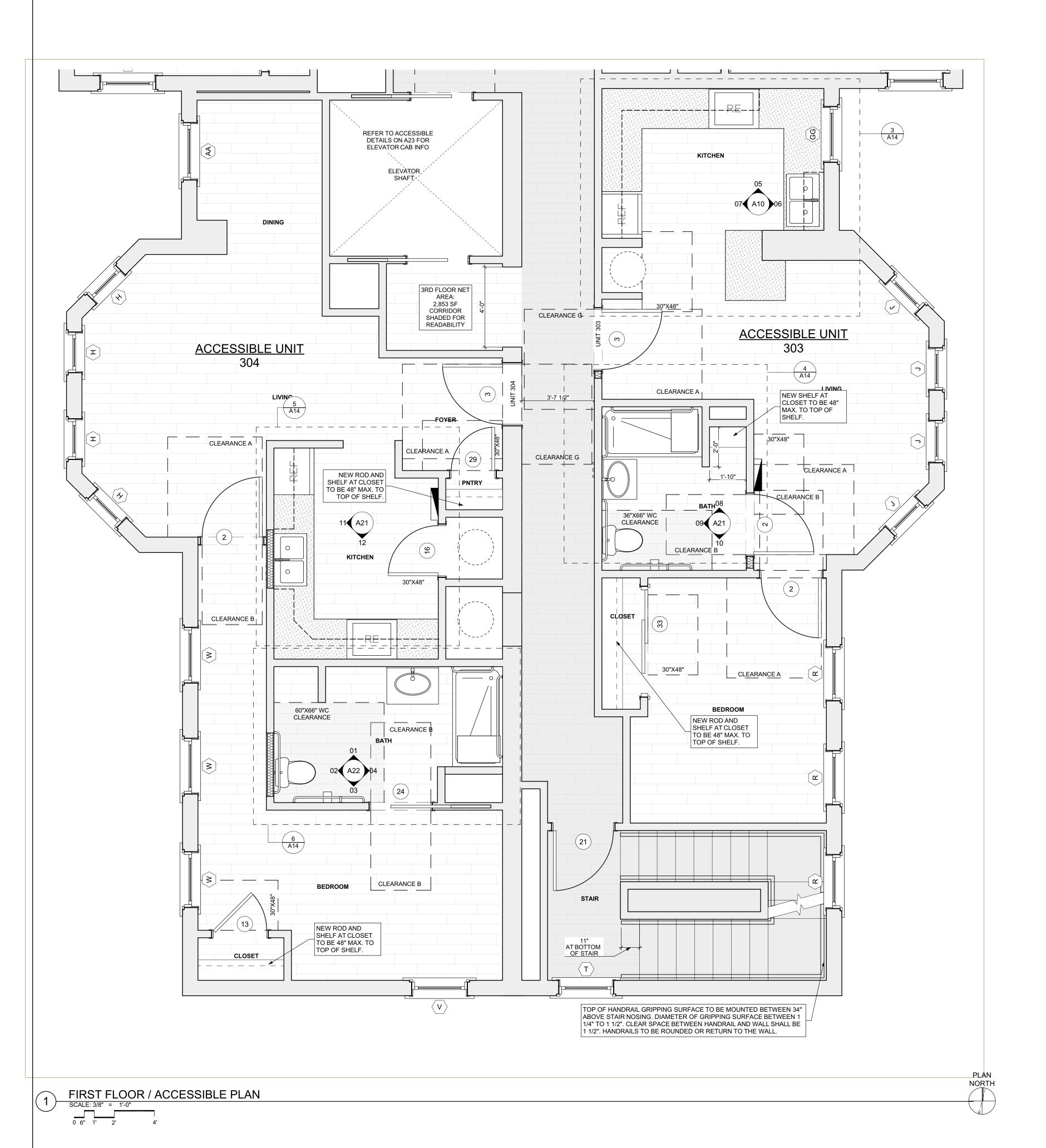
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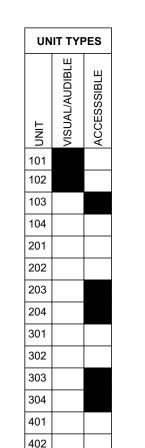
date

May 6, 2022

PLAN NORTH Sheet No.

A12



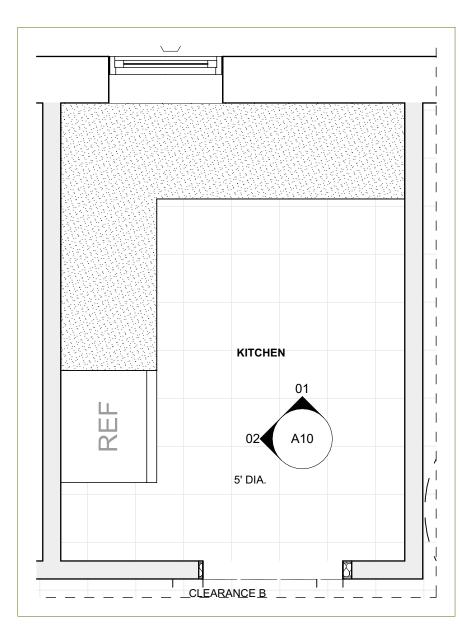


ACCESSIBLE NOTES

REQUIRED TO OPERATE.

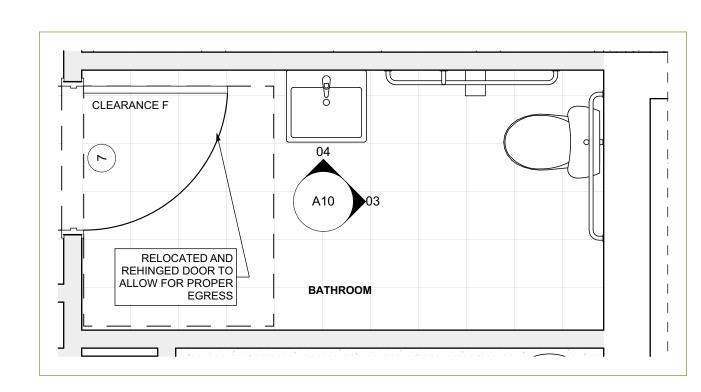
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- 2. ALL EQUIPMENT TO BE WITHIN REACH RANGE BETWEEN 15"-48" A.F.F. INCLUDING SWITCHES,
- 5. INTERIOR DOORS TO HAVE AN OPENING FORCE OF NO GREATER THAN 5 POUNDS.
- OUTLETS, AND PANELS.
- 3. ALL ACCESSIBLE DOORS TO BE LEVER OR PUSH/PULL.
 NO TIGHT GRASPING OR TWISTING SHALL BE
 REQUIRED TO OPERATE

 6. ALL NON-SLIDING EXTERIOR DOORS TO HAVE A
 BEVELED THRESHOLD NO HIGHER THAN 3/4".



FIRST FLOOR / ACCESSIBLE PLAN

SCALE: 1/2" = 1'-0"



2 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 1/2" = 1'-0"

Fukui Architects Pc

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general notes

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ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

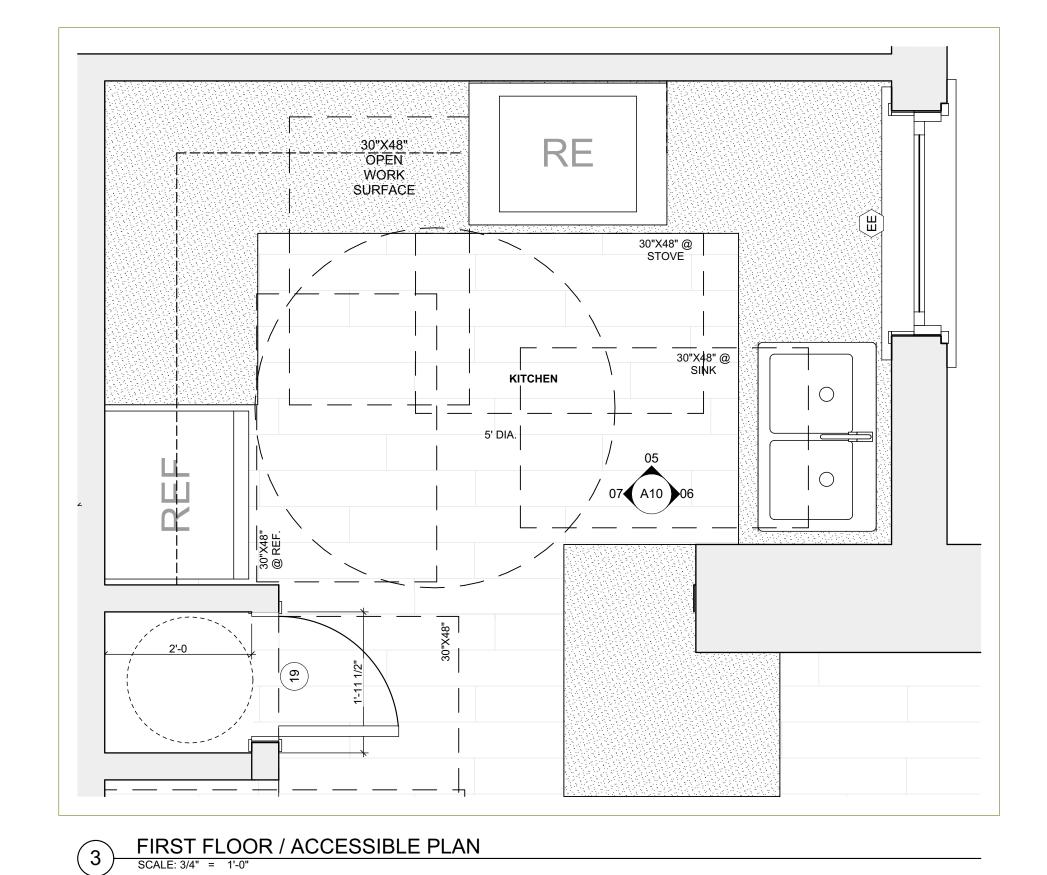
FIRST FLOOR / ACCESSIBLE PLAN, ACCESSIBLE NOTES, **GRAPHIC SCALES**

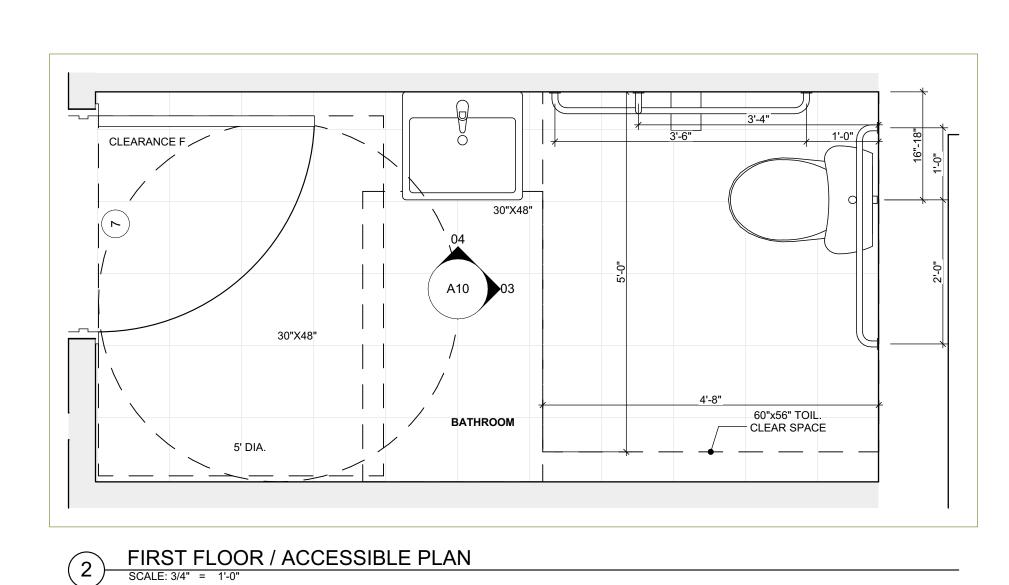
As Noted May 6, 2022

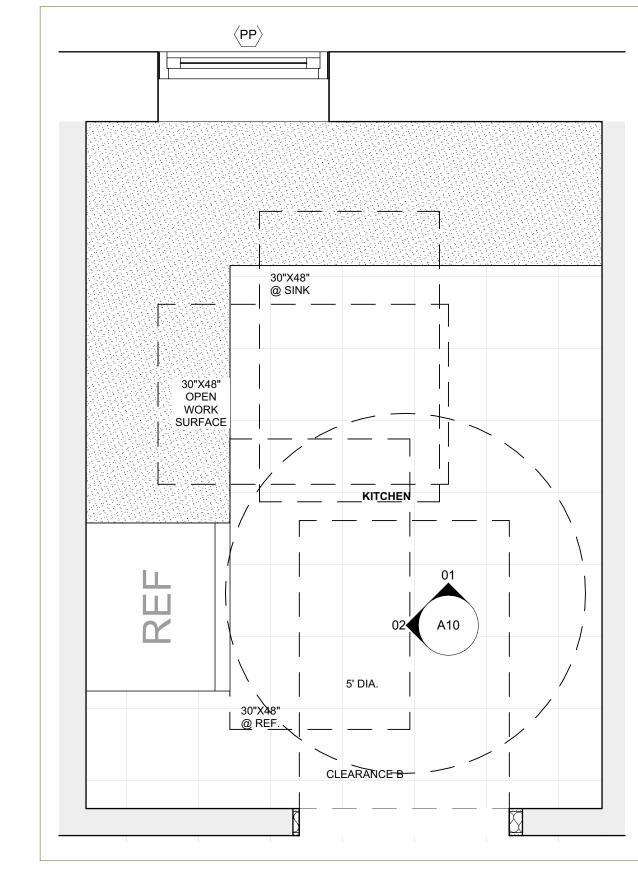
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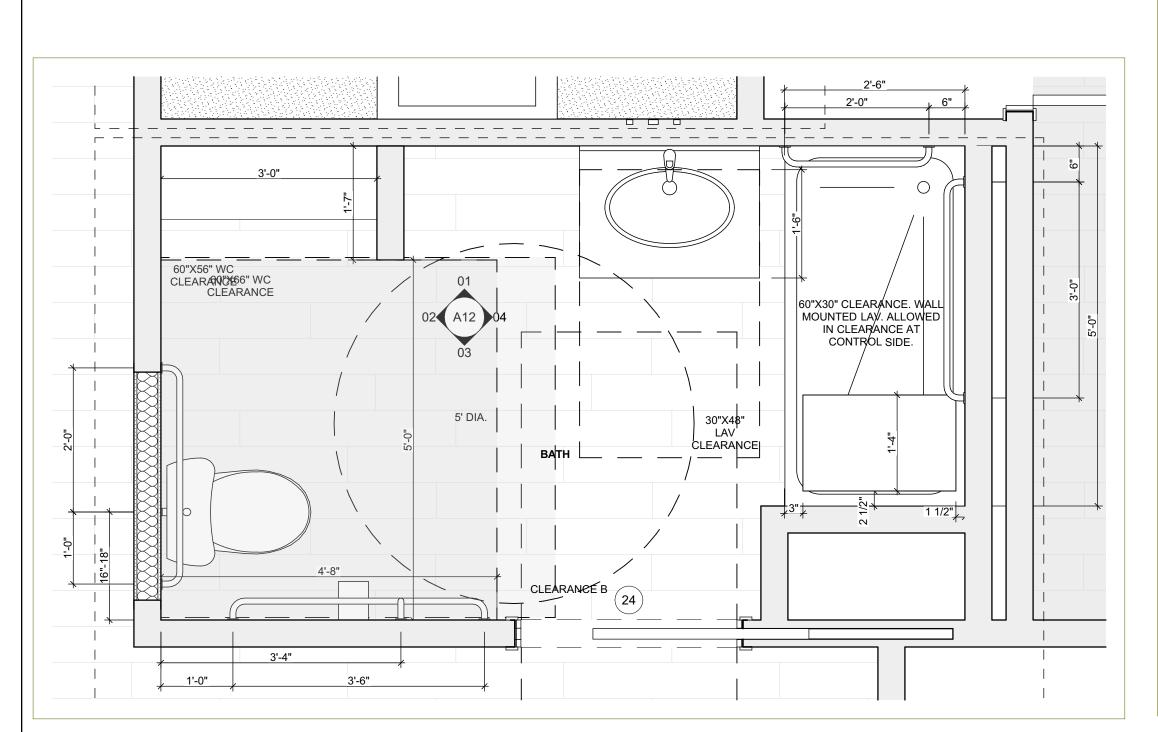
Project #2006



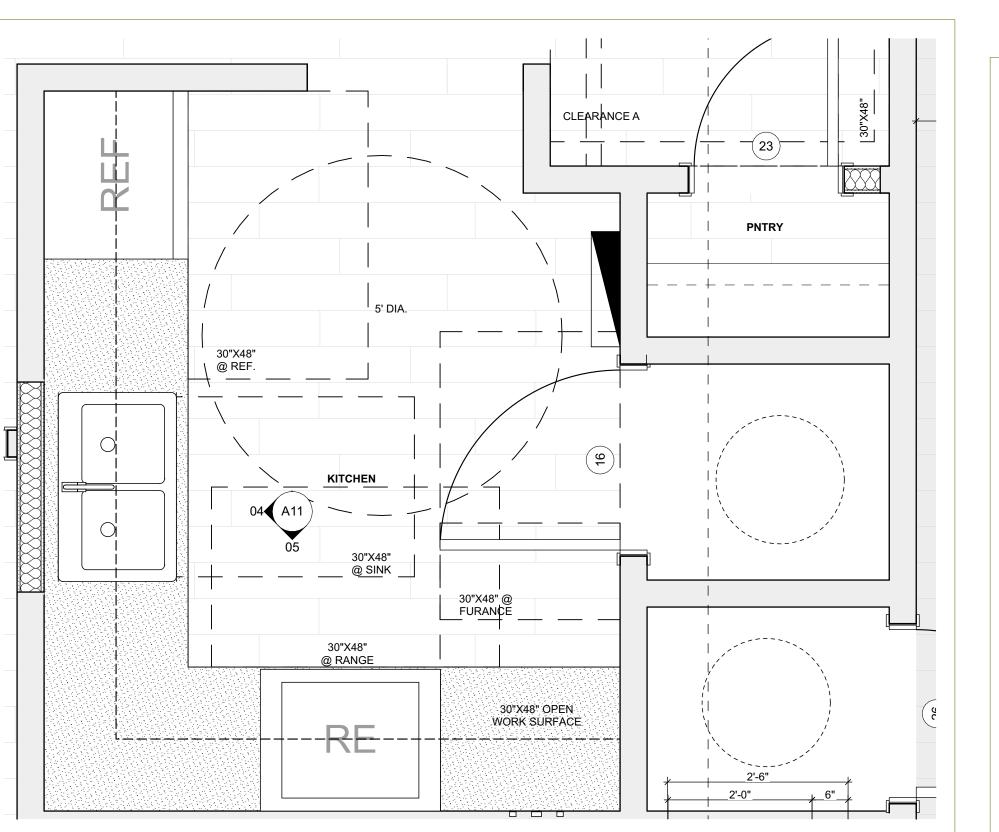




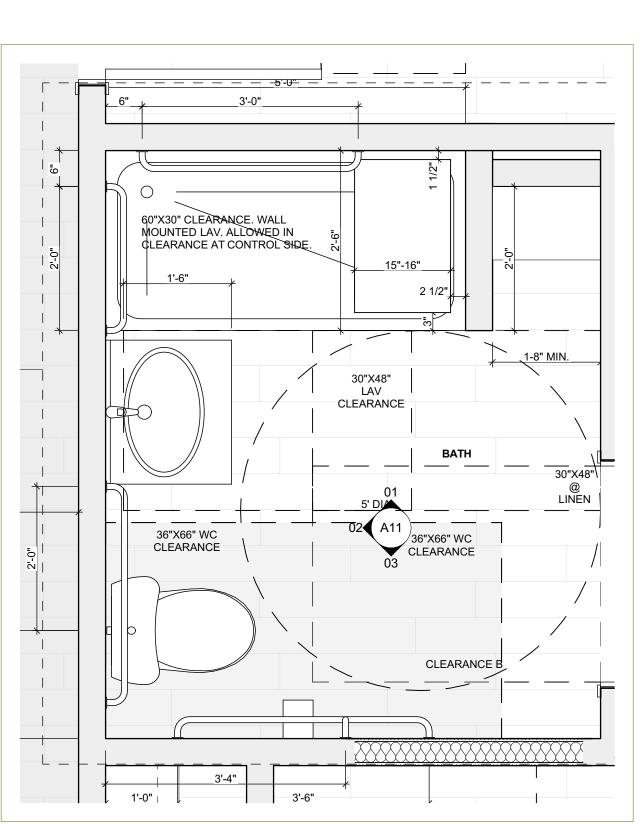
1) FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"







5 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"



FIRST FLOOR / ACCESSIBLE PLAN

SCALE: 3/4" = 1'-0"

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Sea

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ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

project title

FIRST FLOOR / ACCESSIBLE PLAN

As Noted

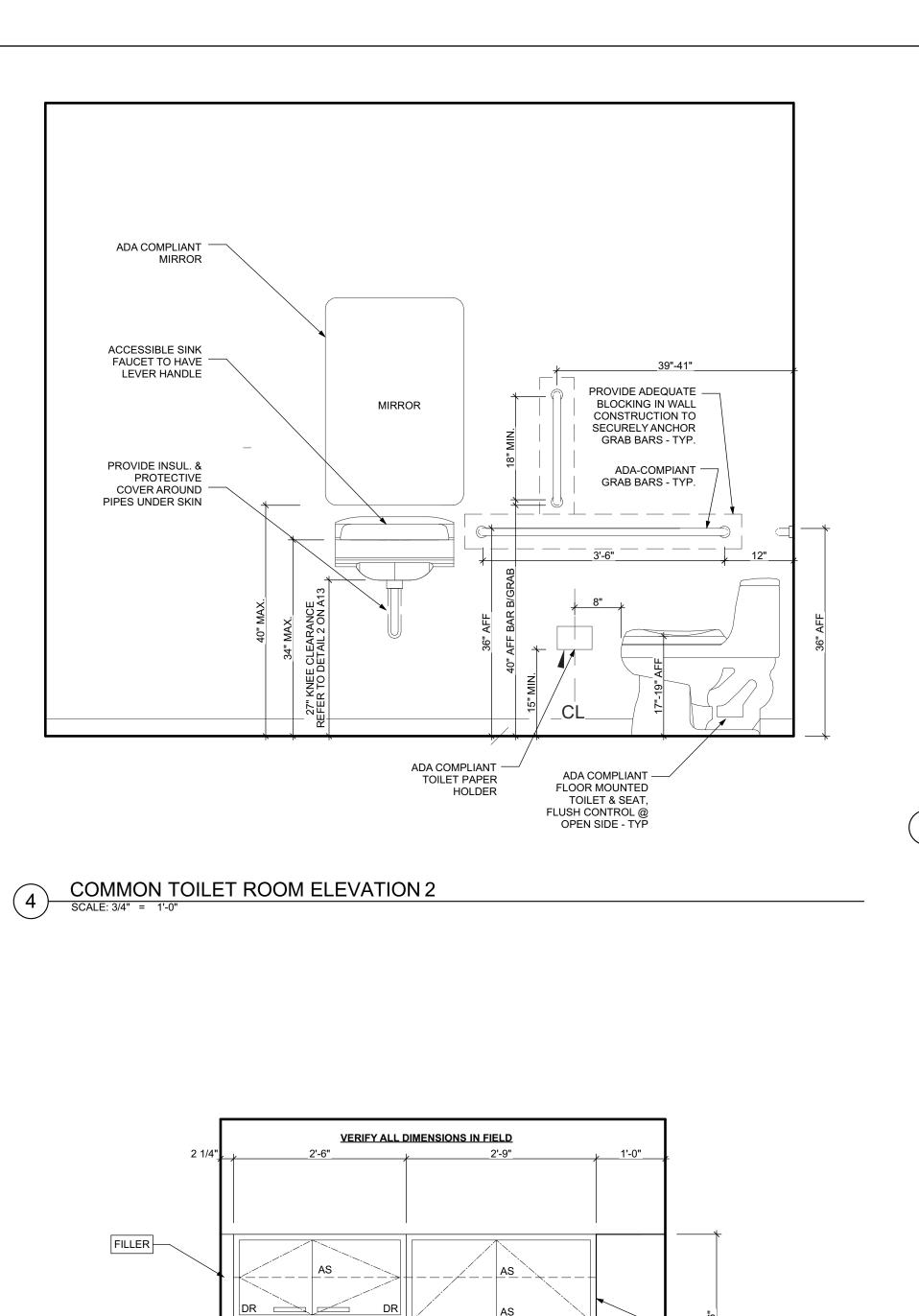
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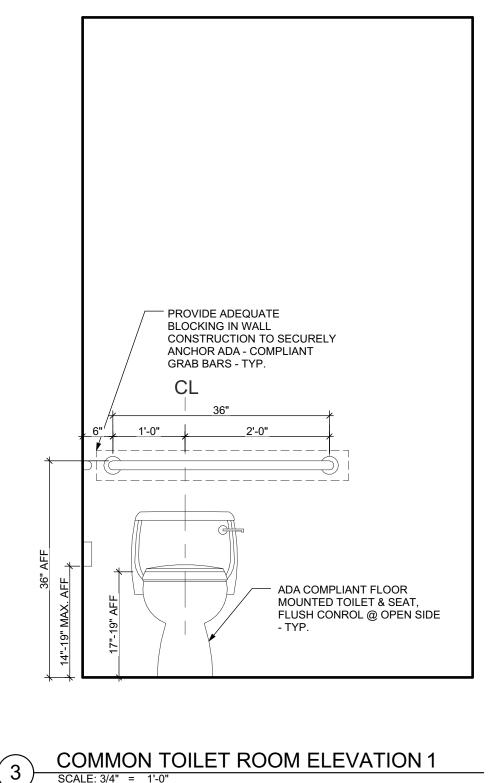
May 6, 2022

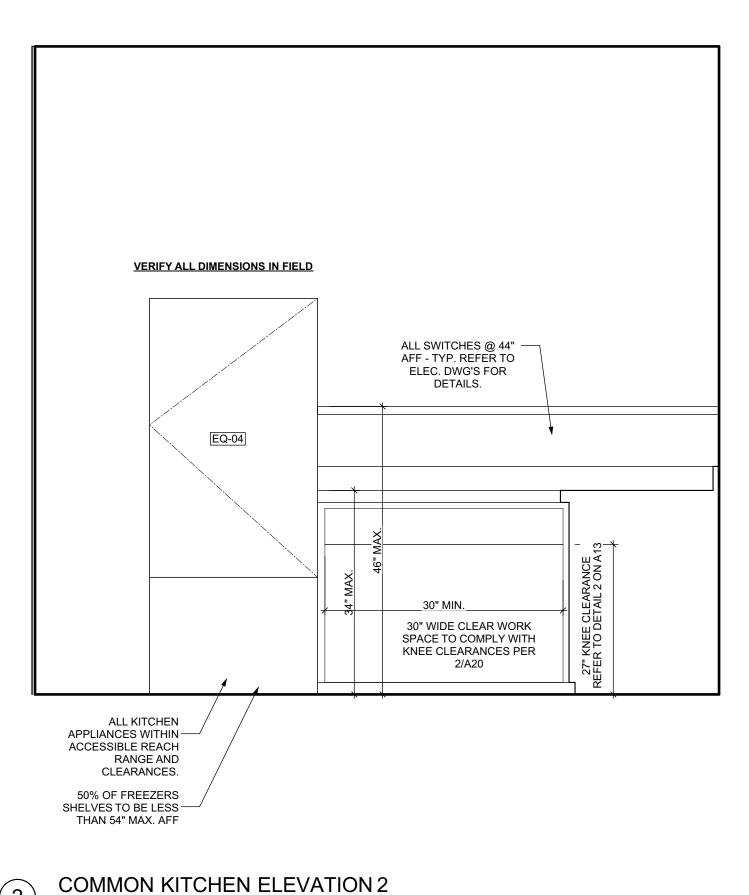
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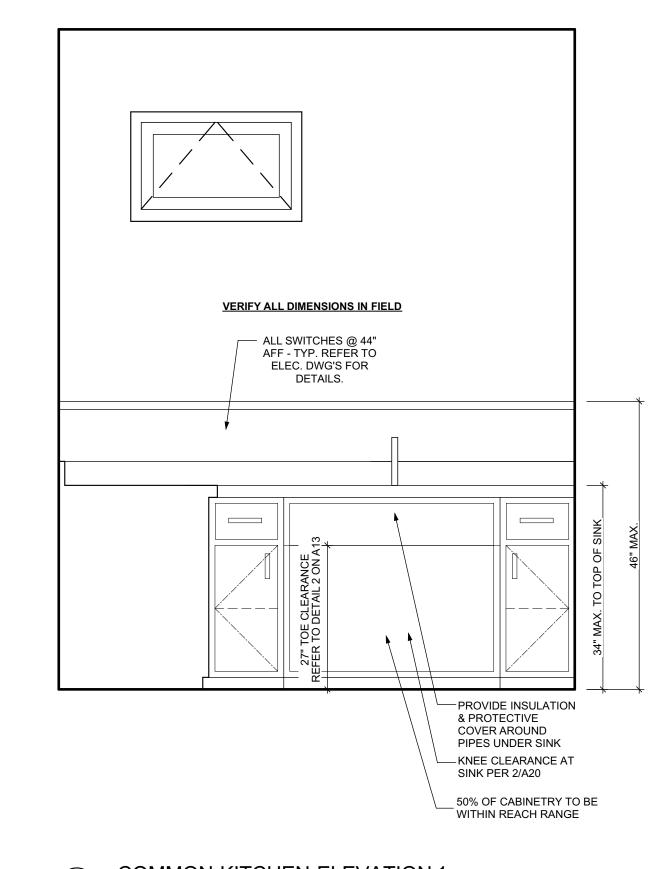
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Sheet No.



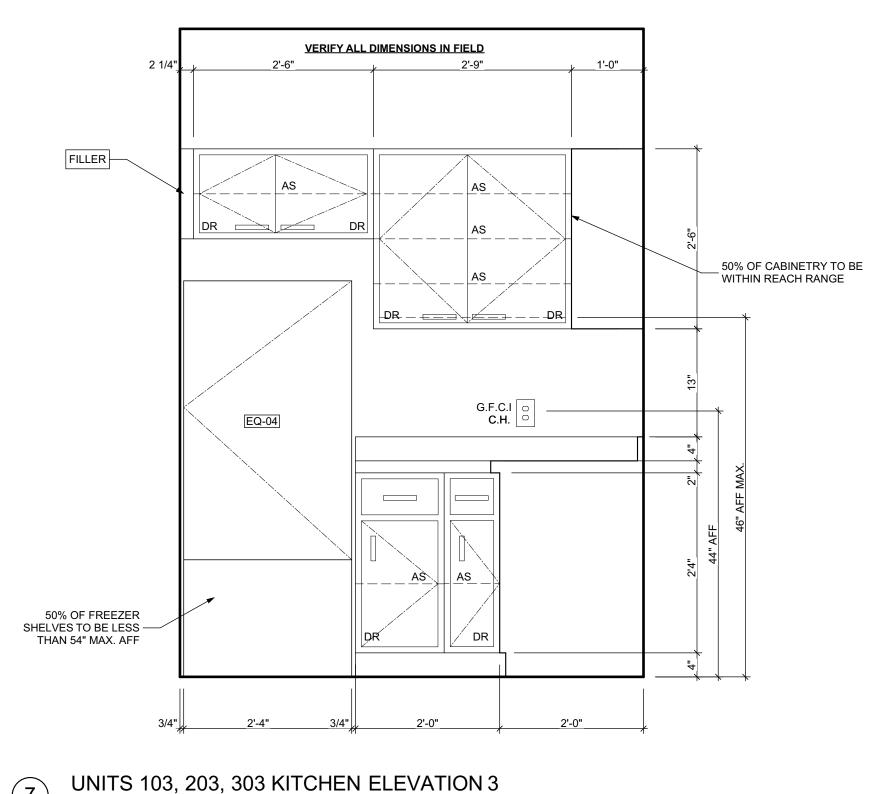


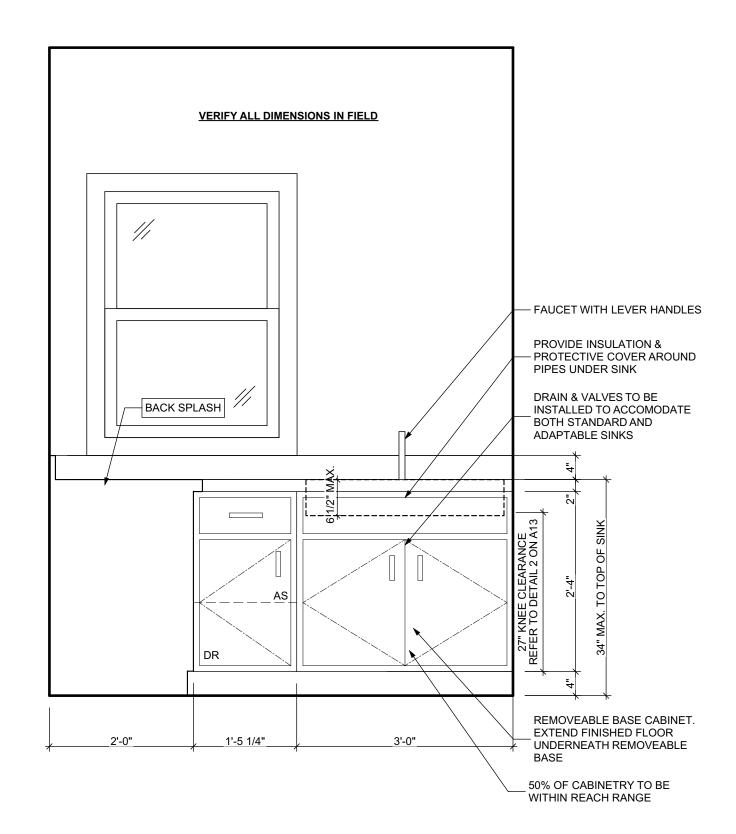




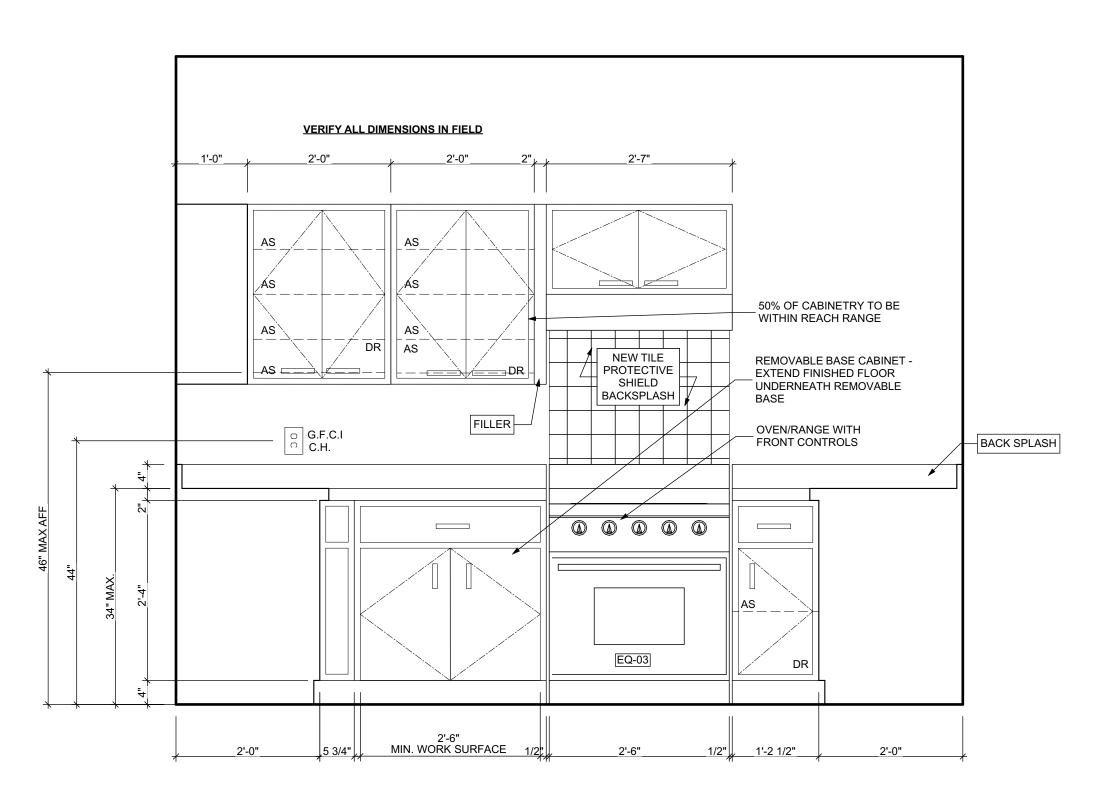
COMMON KITCHEN ELEVATION 1

SCALE: 3/4" = 1'-0"





UNITS 103, 203, 303 KITCHEN ELEVATION 2



UNITS 103, 203, 303 KITCHEN ELEVATION 1

TS 103, 203, 303 KITCHEN ELEVATION 1

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general notes

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revisions

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project title

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HACP 200 ROSS STREET PITTSBURGH,PA 15219

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drawing title

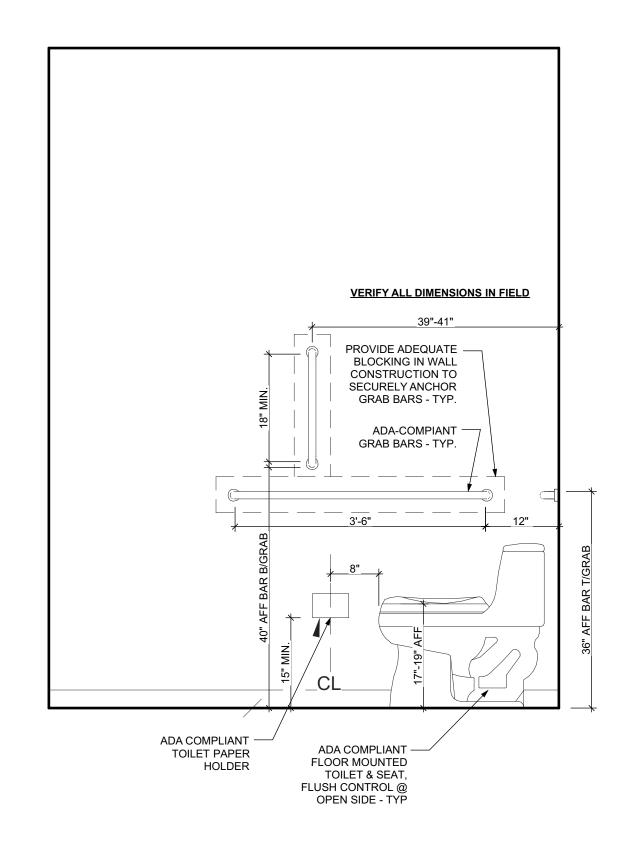
COMMON KITCHEN ELEVATION
1, COMMON KITCHEN
ELEVATION 2, COMMON TOILET
ROOM ELEVATION 1, COMMON
TOILET ROOM ELEVATION 2,
UNITS 103, 203, 303 KITCHEN
ELEVATION 1, UNITS 103, 203, 303
KITCHEN ELEVATION 2, UNITS
103, 203, 303 KITCHEN ELEVATION

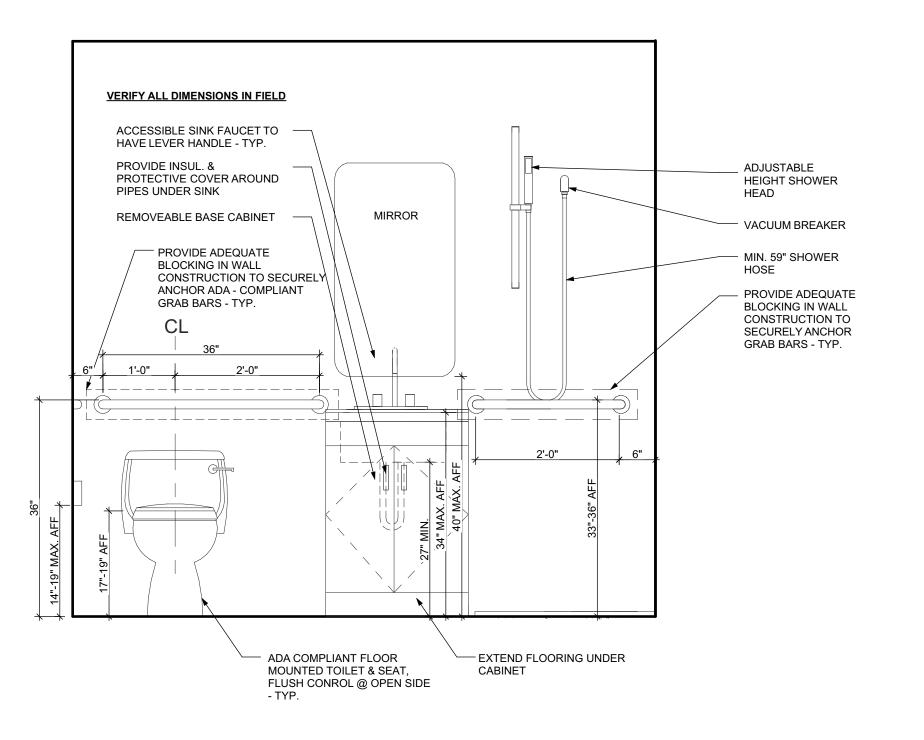
date
May 6, 2022
no. of.

16

 $\frac{1}{1}$ A1

A15Project #2006





UNIT 103, 203, 303 BATHROOM ELEVATION 2

ON OF SHOWER INTROLS INSIDE OREGION - TYP.

VIDE ADEQUIATE ON WALL STRUCTION TO JRELY ANCHOR 3 BARS - TYP.

11-7" MIN.

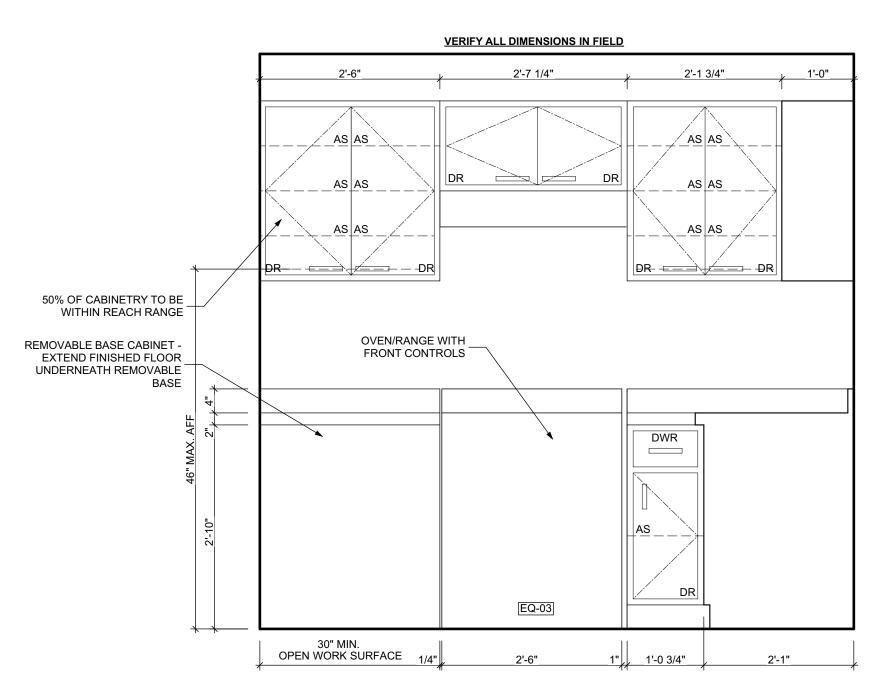
2-3" MAX.

11-7" MIN.

UNIT 103, 203, 303 BATHROOM ELEVATION 1

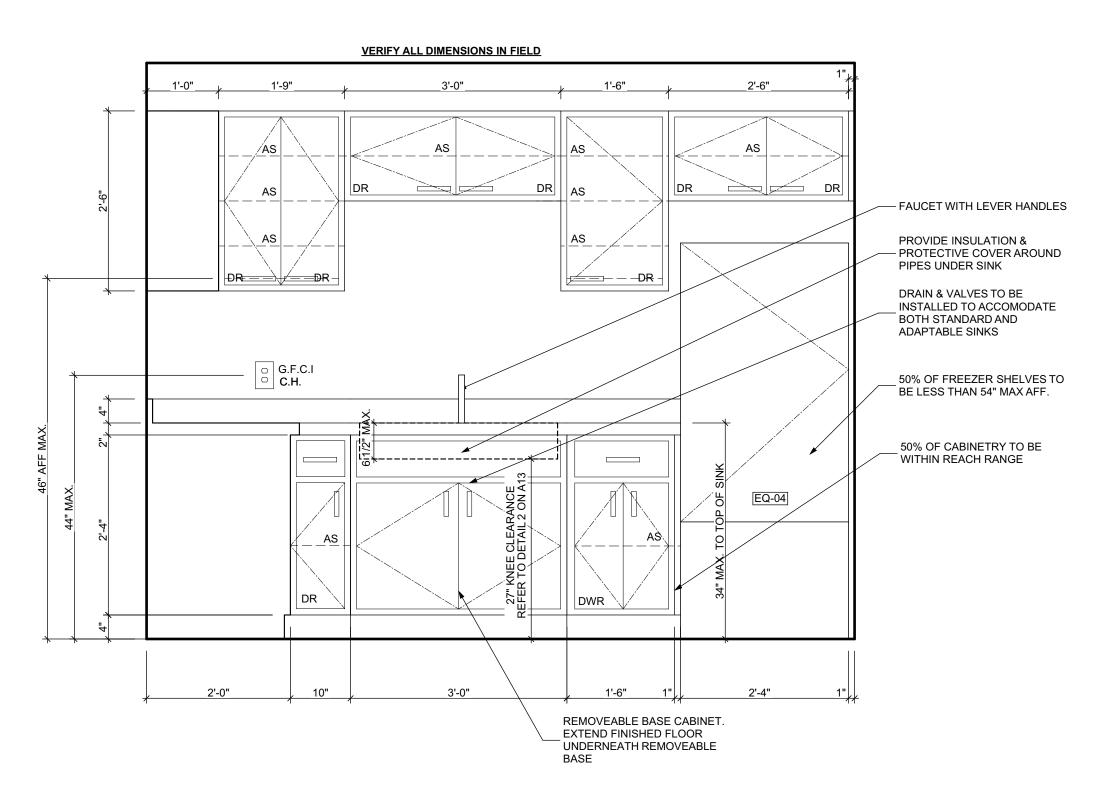
SCALE: 3/4" = 1'-0"

3 UNIT 103, 203, 303 BATHROOM ELEVATION 3



UNIT 204, 304 KITCHEN ELEVATION 2

SCALE: 3/4" = 1'-0"



4 UNIT 204, 304 KITCHEN ELEVATION 1

SCALE: 3/4" = 1'-0"

Fukui Architects Pc

2 0 5 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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general notes

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale
- 3. All work shall be installed in accordance with applicable codes and regulations.
- **4.** Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- **5.** All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

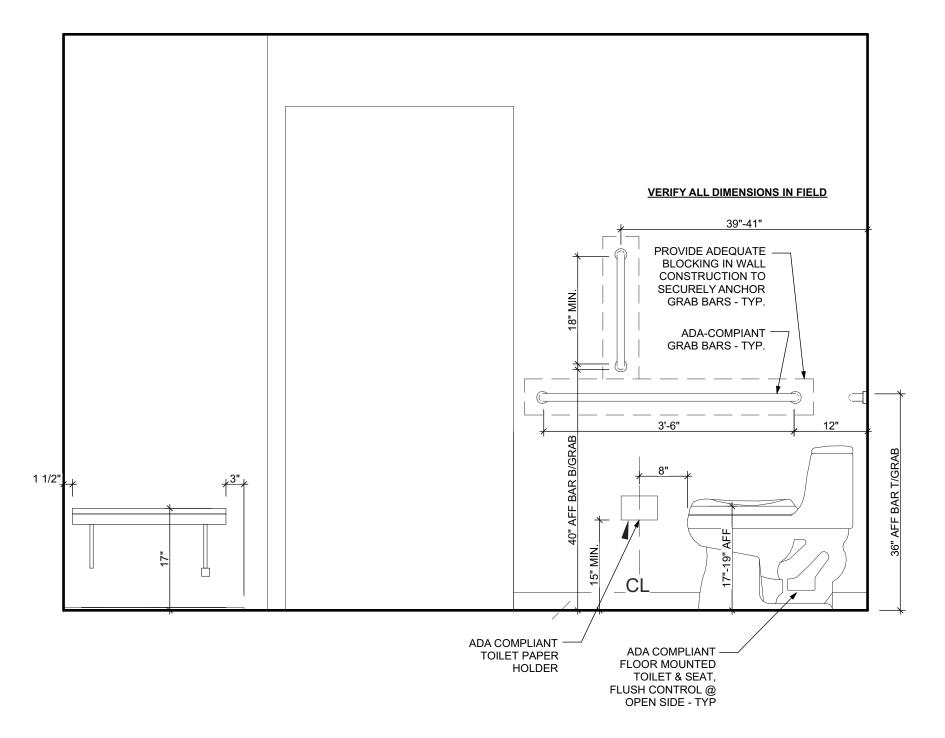
drawing title

UNIT 103, 203, 303 BATHROOM ELEVATION 1, UNIT 103, 203, 303 BATHROOM ELEVATION 2, UNIT 103, 203, 303 BATHROOM ELEVATION 3, UNIT 204, 304 KITCHEN ELEVATION 1, UNIT 204, 304 KITCHEN ELEVATION 2

date
May 6, 2022
no. of.

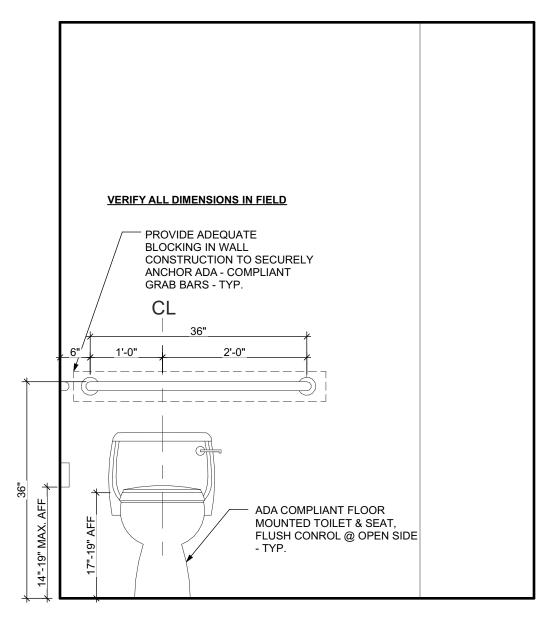
A16

Sheet No.



UNITS 204, 304 BATHROOM ELEVATION 3

SCALE: 3/4" = 1'-0"



2 UNITS 204, 304 BATHROOM ELEVATION 2

SCALE: 3/4" = 1'-0"

1) UNITS 204, 304 BATHROOM ELEVATION 1
SCALE: 3/4" = 1'-0"

VERIFY ALL DIMENSIONS IN FIELD

LOCATION OF SHOWER
CONTROLS INSIDE
SHADED REGION - TYP.

PROVIDE ADEQUATE
BLOCKING IN WALL
CONSTRUCTION TO
SECURELY ANCHOR
GRAB BARS - TYP.

6"

3'-0"

1'-7" MIN.

1'-7" MIN.

UNITS 204, 304 BATHROOM ELEVATION 4

SCALE: 3/4" = 1'-0"

Fukui Architects Pc

2 0 5 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

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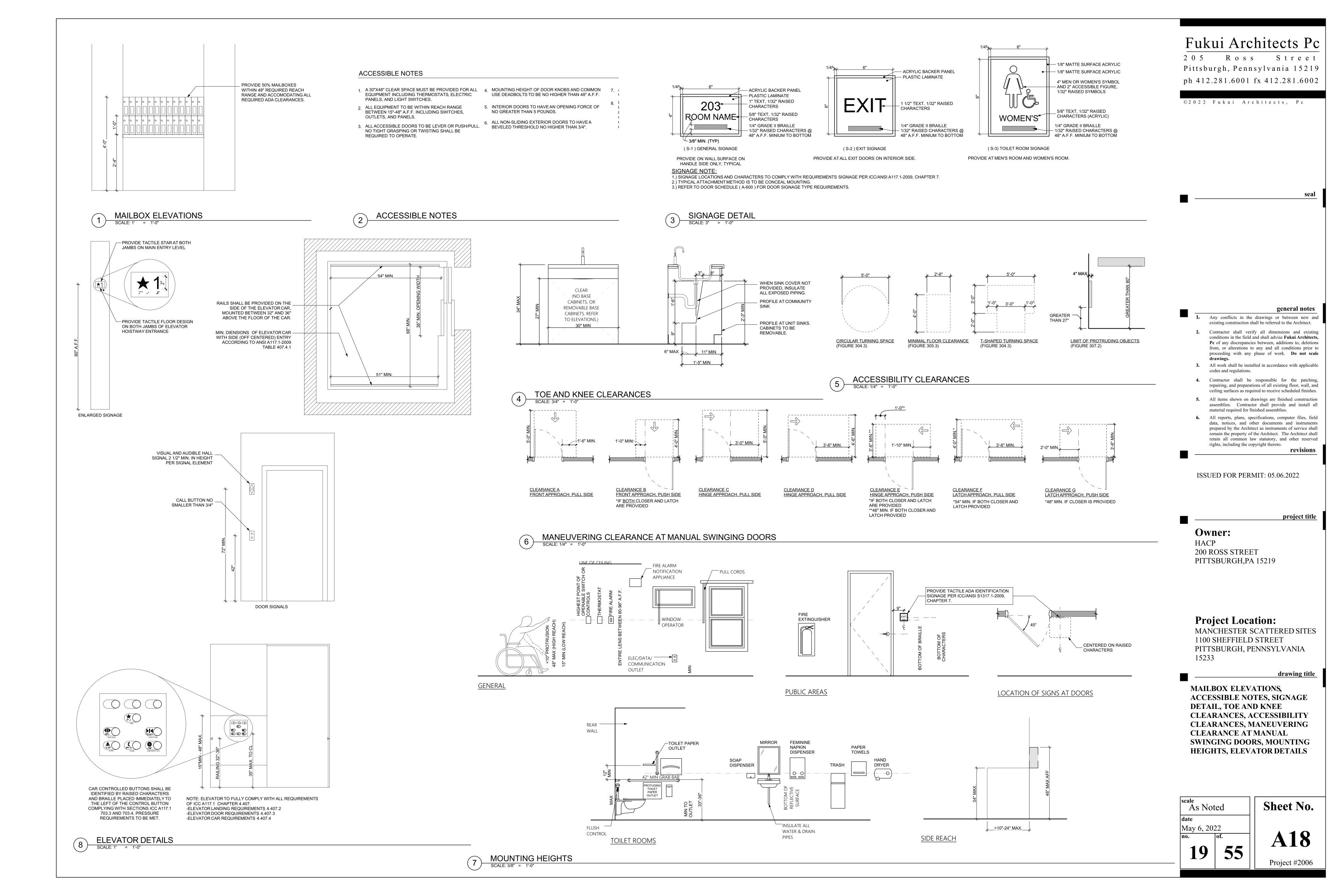
UNITS 204, 304 BATHROOM ELEVATION 1, UNITS 204, 304 BATHROOM ELEVATION 2, UNITS 204, 304 BATHROOM ELEVATION 3, UNITS 204, 304 BATHROOM ELEVATION 4

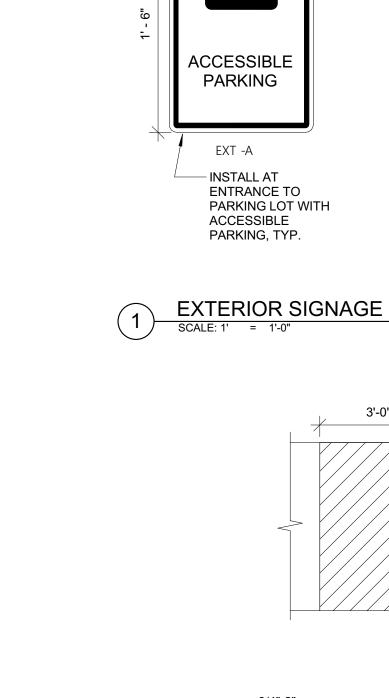
date
May 6, 2022
no. of.

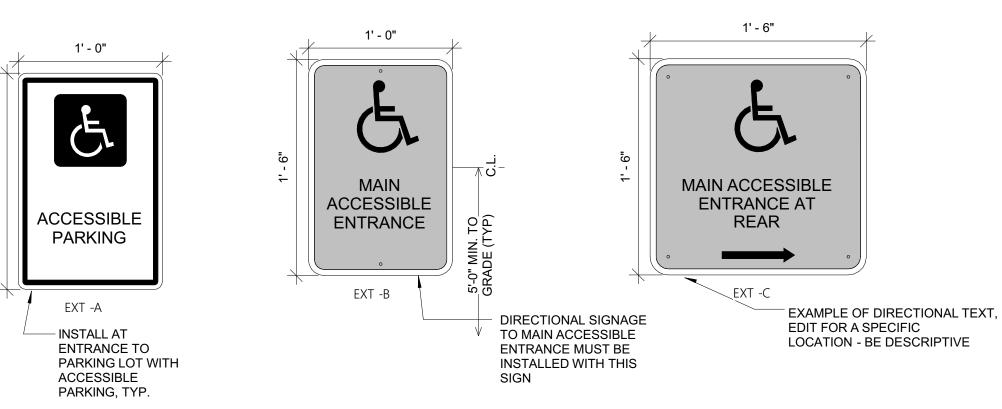
18

55

A17Project #2006







BEVEL WITH A

BEVEL WITH A VERTICAL

BEVELED CHANGE

IN LEVEL

CHANGE IN LEVEL

1:2 MAX. SLOPE

BEVEL WITH A

1:2 MAX. SLOPE

CHANGES IN LEVEL

OF 1/4" MAX. ARE PERMITTED TO BE

VERTICAL

Fukui Architects Pc 2 0 5 Ross Street Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

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3. All work shall be installed in accordance with applicable codes and regulations.

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revisions

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drawing title

EXTERIOR SIGNAGE, LEVEL CHANGE DETAILS, DETECTABLE WARNING DETAIL, HANDRAIL AND STAIR DETAILS, ACCESSIBLE PARKING SIGN DETAIL, ACCESSIBLE PARKING STALL

scale
As Noted

date
May 6, 2022
no. of.

A19

Sheet No.

Project #2006

APPLIED MAT

3/4" - 2"

APPLIED STRIPS
(MAY ONLY BE
USED INDOORS)

DETECTABLE WARNING DETAIL

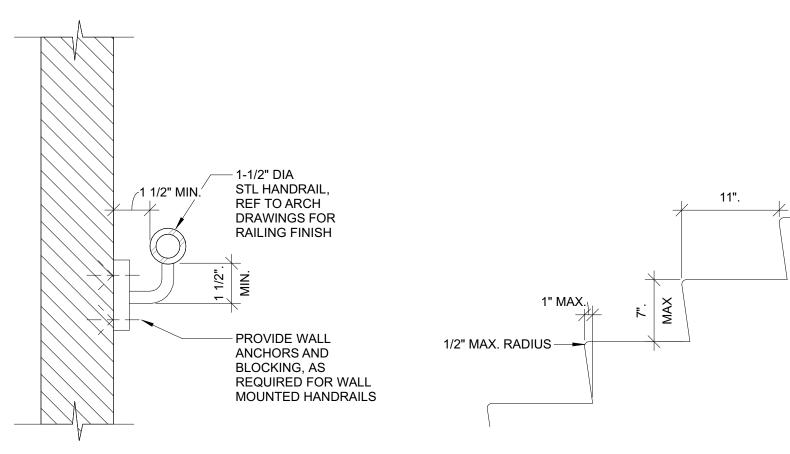
SCALE: 1' = 1'-0"

VERTICAL CHANGE
IN LEVEL

2

LEVEL CHANGE DETAILS
SCALE: 1' = 1'-0"

- HAZARDOUS AREA



4 HANDRAIL AND STAIR DETAILS

SCALE: 1' = 1'-0"

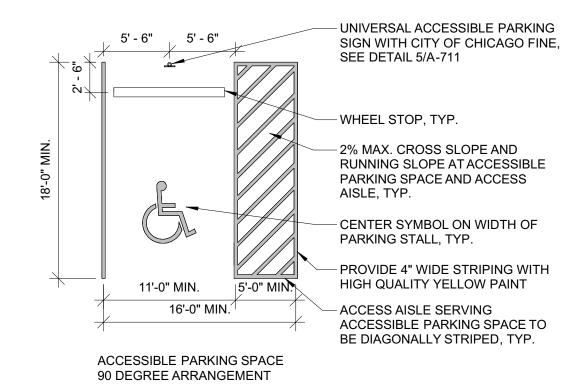
3'-0" MIN

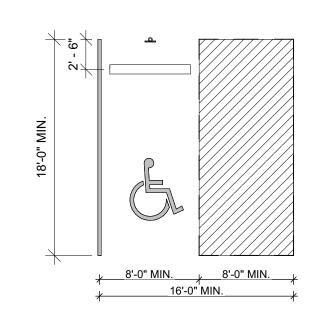
GROOVES IN SURFACE

(PARALLEL OR MESH

PATTERN)

3/4"-2"—

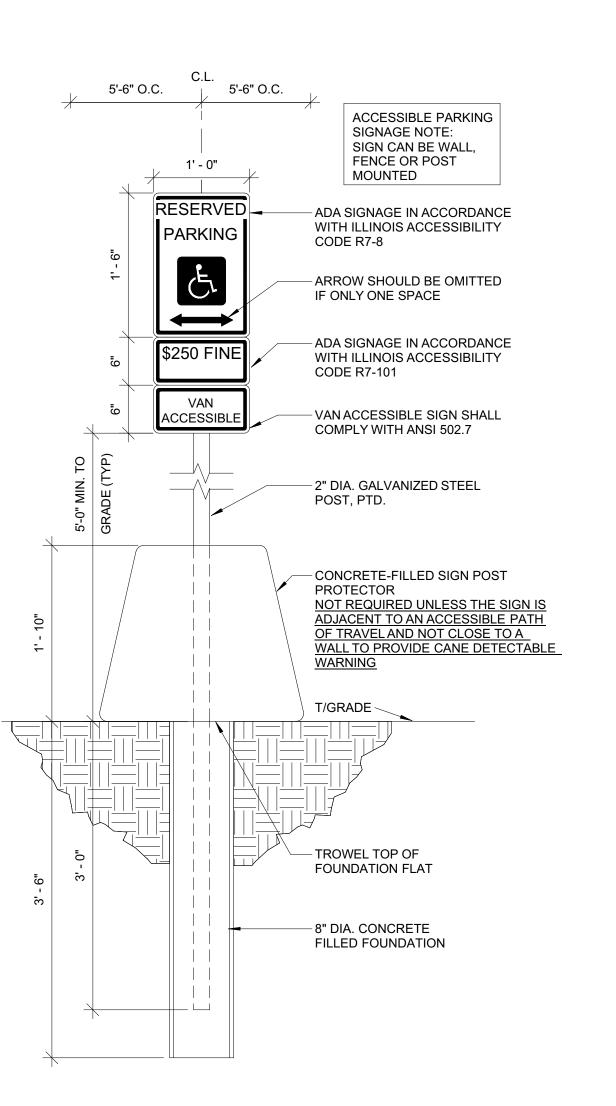




ACCESSIBLE VAN PARKING SPACE 90 DEGREE ARRANGEMENT DIMENSIONS REFER TO ACCESSIBLE SPOT FOR NOTES

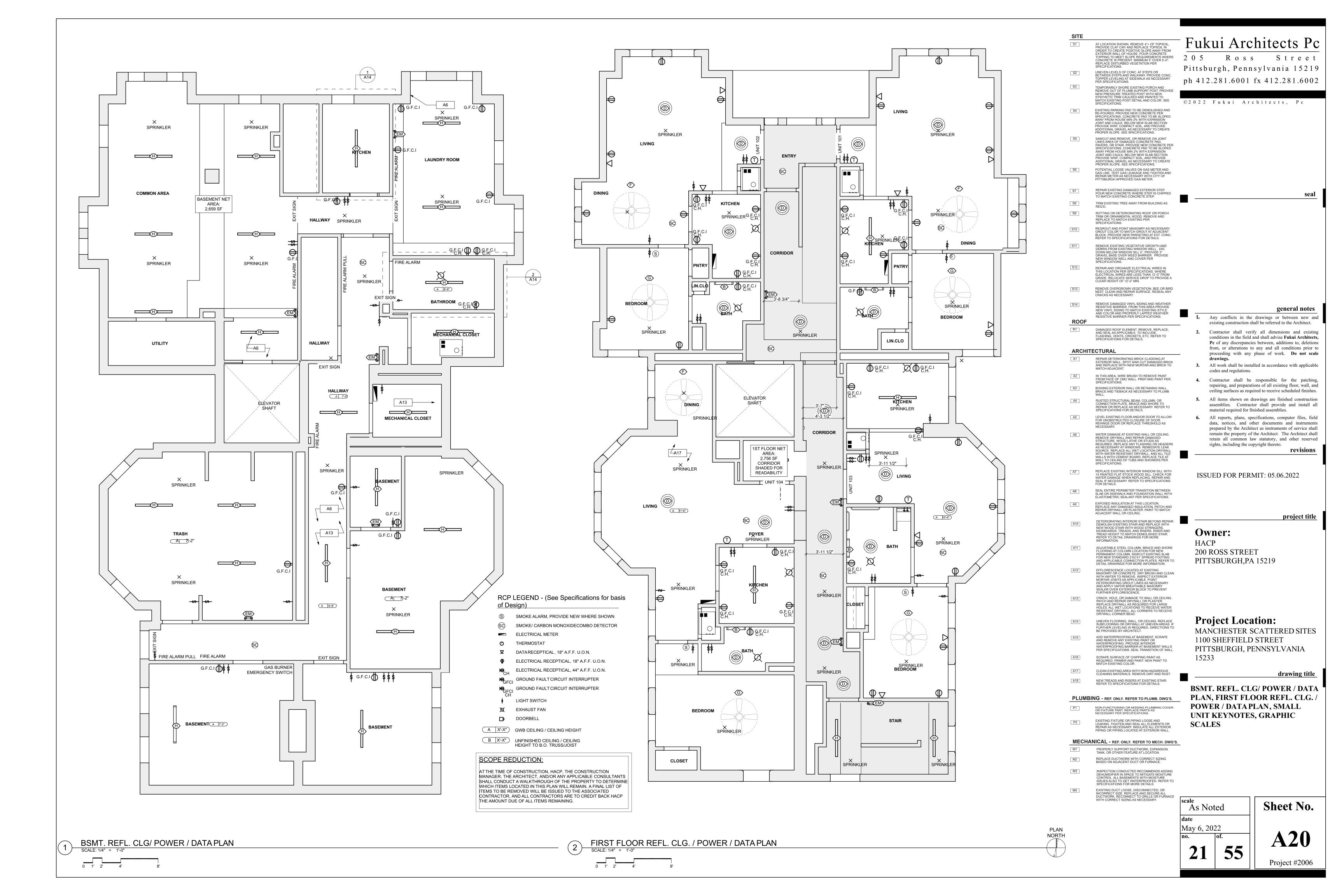
6 ACCESSIBLE PARKING STALL

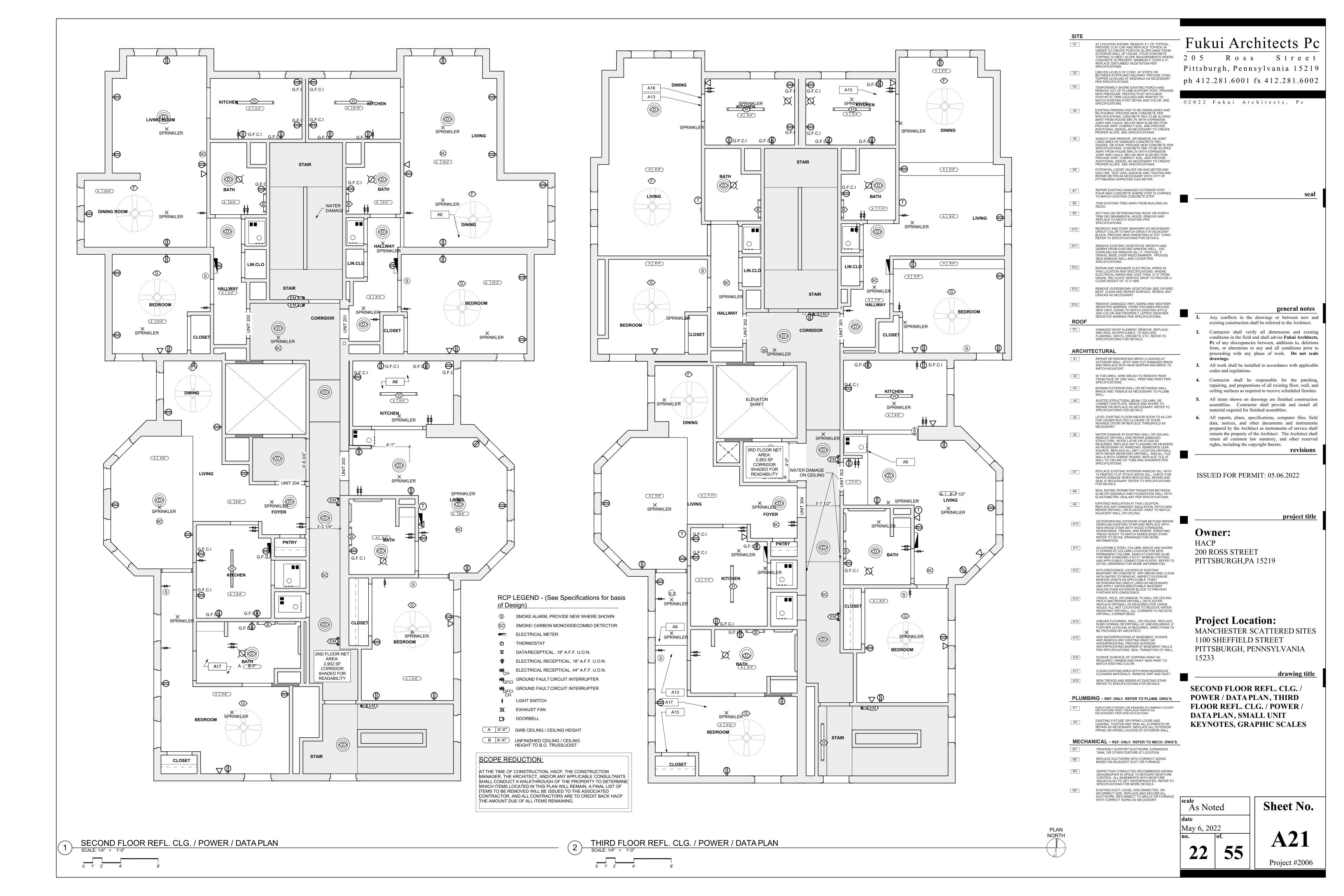
SCALE: 1' = 1'-0"

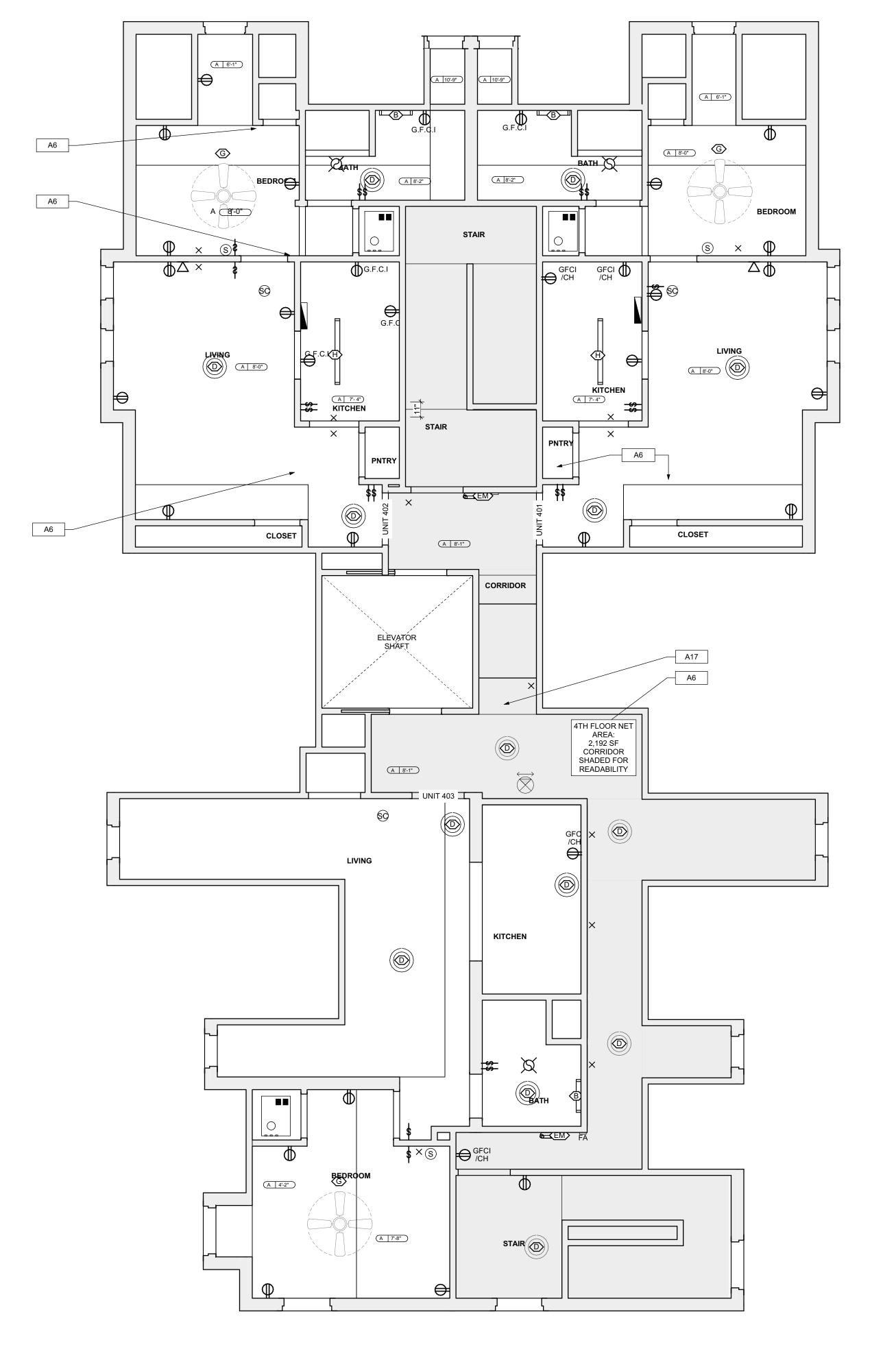


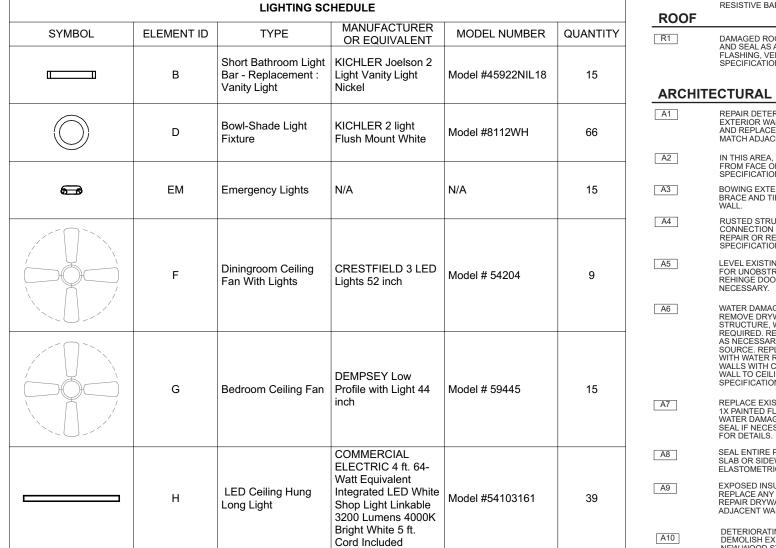
ACCESSIBLE PARKING SIGN DETAIL

SCALE: 1' = 1'-0"









RCP LEGEND - (See Specifications for basis of Design)

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

SMOKE ALARM, PROVIDE NEW WHERE SHOWN

SMOKE/ CARBON MONOXIDECOMBO DETECTOR

ELECTRICAL METER

THERMOSTAT

DATA RECEPTICAL, 18" A.F.F. U.O.N.

ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N. ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.

⊜GFCI GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER

LIGHT SWITCH X EXHAUST FAN

D DOORBELL

A X'-X" GWB CEILING / CEILING HEIGHT

B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

PLAN NORTH

Fukui Architects Pc AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE

TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5"-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. Ross Street Pittsburgh, Pennsylvania 15219 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. ph 412.281.6001 fx 412.281.6002

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REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.

TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.

EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED

ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.

ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.

REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC REFER TO SPECIFICATIONS FOR DETAILS.

REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.

REPAIR AND ORGANIZE ELECTRICAL WIRES IN

THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12"-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12"-0" MIN.

REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY

RESISTIVE BARRIER PER SPECIFICATIONS.

DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

REPAIR DETERIORATING BRICK CLADDING AT

IN THIS AREA. WIRE BRUSH TO REMOVE PAINT

BOWING EXTERIOR WALL OR RETAINING WALL

BRACE AND TIEBACK AS NECESSARY TO PLUMB

REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.

WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK

REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.

EXPOSED INSULATION AT THIS LOCATION.
REPLACE ANY DAMAGED INSULATION, PATCH AND
REPAIR DRYWALL OR PLASTER. PAINT TO MATCH
ADJACENT WALL OR CEILING.

DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND

TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.

ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS

PER SPECIFICATIONS. SEAL TRANSITION OF WALL.

CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.

NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.

REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.

EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.

CRACKS AS NECESSARY.

S7

AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE

general notes

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drawing title

FOURTH FLOOR REFL. CLG. / POWER / DATA PLAN, LIGHTING SCHEDULE, SMALL UNIT **KEYNOTES, GRAPHIC SCALES**

EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. As Noted date May 6, 2022

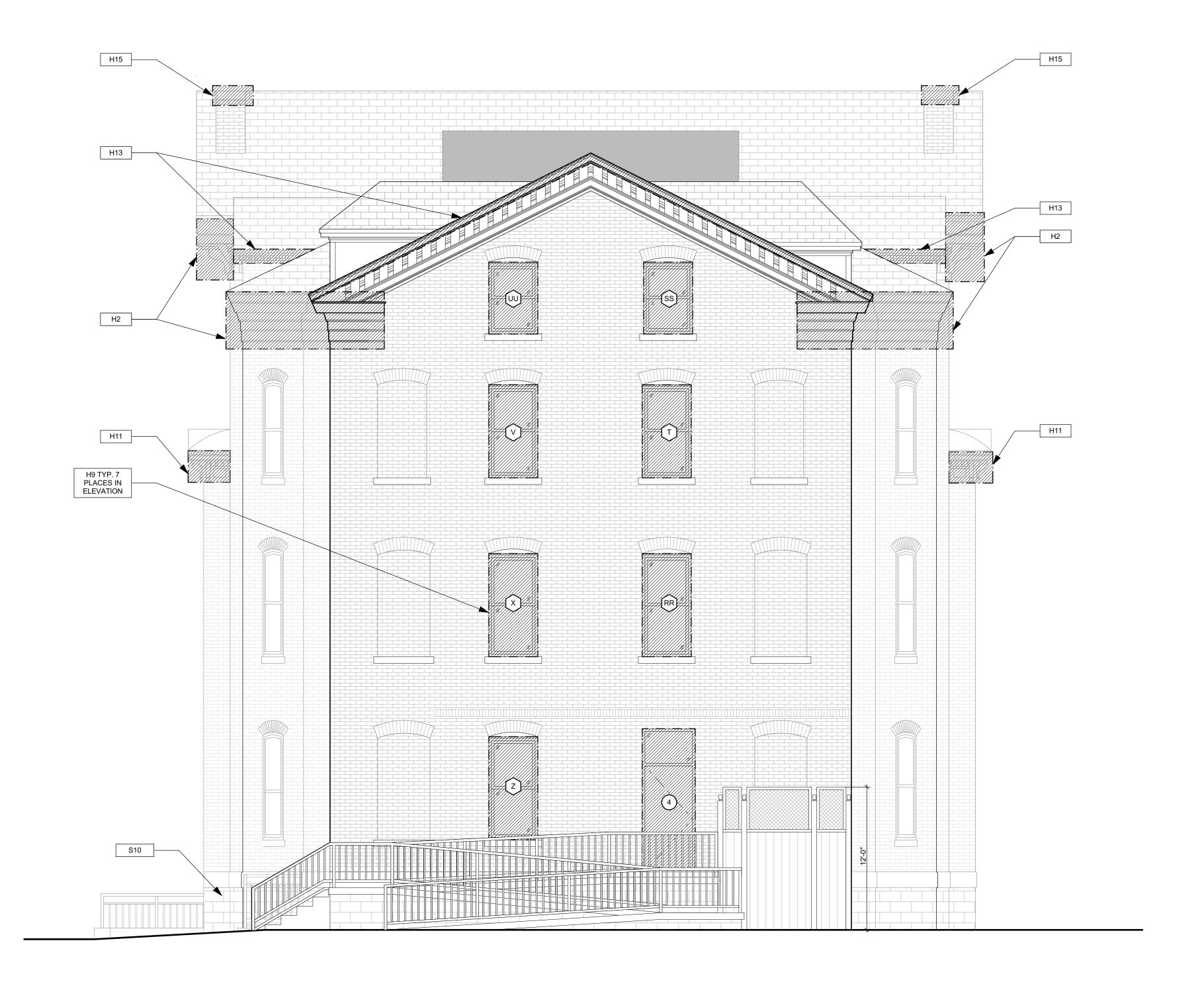
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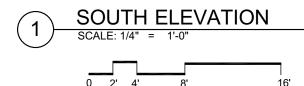
Project #2006

1 FOURTH FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"









GENERAL NOTE:

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:

MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD.
STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL

PARK SERVICE) PRESERVATION BRIEF. SEE

ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL

DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD

ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE

PAINTING AND ACCEPTABLE TRIM MATERIAL. IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK

DISPLACEMENT, IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING

ENSURE THAT ROOF DRAINAGE, GUTTERS AND

REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).

CRACK PATTERN INDICATES SETTLEMENT OF THE VINDOW LINTEL. IF CRACK APPEARS TO HAVE

STABILIZED. REPOINT THE LINTEL WITH COMPATIBLE PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). RESOLVE WATER INFILTRATION ISSUES FROM ABOVE

THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A

AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK . (SEE SPECIFICATIONS) REPAIR SLATE ROOF USING TRADITIONAL MATERIALS

COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN

AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE

REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE

SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR

AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.

REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW

UNITS MATCHING THE EXISTING FENESTRATION AND

PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL

TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND

LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE

WINDOW USING NPS PRESERVATION BRIEF 9 (SEE

SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND

IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE

EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE

RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM

A4

DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR

IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF

FEATURES PER PAINT SPECIFICATIONS

FROM BUILDING. (SEE SPECIFICATIONS)

EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE

CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL

AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW

AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES

FOR MATERIAL OR FEATURE INDICATED ABOVE.

NODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY

AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE

H9 - TYP. X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND

H10 - TYP. X IN THESE LOCATIONS PRESERVE EXISITING WOOD

SPECIFICATIONS).

SPECIFICATIONS)

H15

NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE.

INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHUR MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE

ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS.

LASHING ARE DIRECTING WATER AWAY FROM THE WALL

ENSURE ROUP DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY

WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS), FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING

SPECIFICATIONS 10

MATERIALS.

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

Fukui Architects Pc AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE, POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5"-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.

Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC

TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.

TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.

EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED

AWAY FROM HOUSE MIN 2% WITH EXPANSION

JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE

ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.

REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.

REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY

RESISTIVE BARRIER PER SPECIFICATIONS.

DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

REPAIR DETERIORATING BRICK CLADDING AT

IN THIS AREA, WIRE BRUSH TO REMOVE PAINT

BOWING EXTERIOR WALL OR RETAINING WALL

RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO

EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.

FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.

BRACE AND TIEBACK AS NECESSARY TO PLUMB

REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS

WATER DAMAGE AT EXISTING WALL OR CEILING.

WATER DAMAGE AT EXISTING WALL OR CEILING.
REMOVE DRYWALL AND REPAIR DAMAGED
STRUCTURE, WOOD LATHE OR STUDS AS
REQUIRED. REPLACE ANY FLASHING OR HEADERS
AS NECESSARY AT WINDOWS. REMEDIATE LEAK
SOURCE. REPLACE ALL WET LOCATION DRYWALL
WITH WATER RESISTANT DRYWALL, AND ALL TILE
WALLS WITH CEMENT BOARD. REPLACE TILE AT
WALL TO CEILING OF TUBS AND SHOWERS PER
SPECIFICATIONS.

REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.

SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.

EXPOSED INSULATION AT THIS LOCATION.
REPLACE ANY DAMAGED INSULATION, PATCH AND
REPAIR DRYWALL OR PLASTER. PAINT TO MATCH
ADJACENT WALL OR CEILING.

DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIN WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND RISERS, RISER AND RISERS, RISER AND RISERS.

TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE

ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT

MORIAN JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES, ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.

ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS

SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.

CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.

NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL

PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.

EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

INFORMATION.

CRACKS AS NECESSARY.

ARCHITECTURAL

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REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.

general notes

revisions

project title

Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions

proceeding with any phase of work. Do not scale drawings. All work shall be installed in accordance with applicable

from, or alterations to any and all conditions prior to

codes and regulations. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and

ceiling surfaces as required to receive scheduled finishes. 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.

All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved

rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

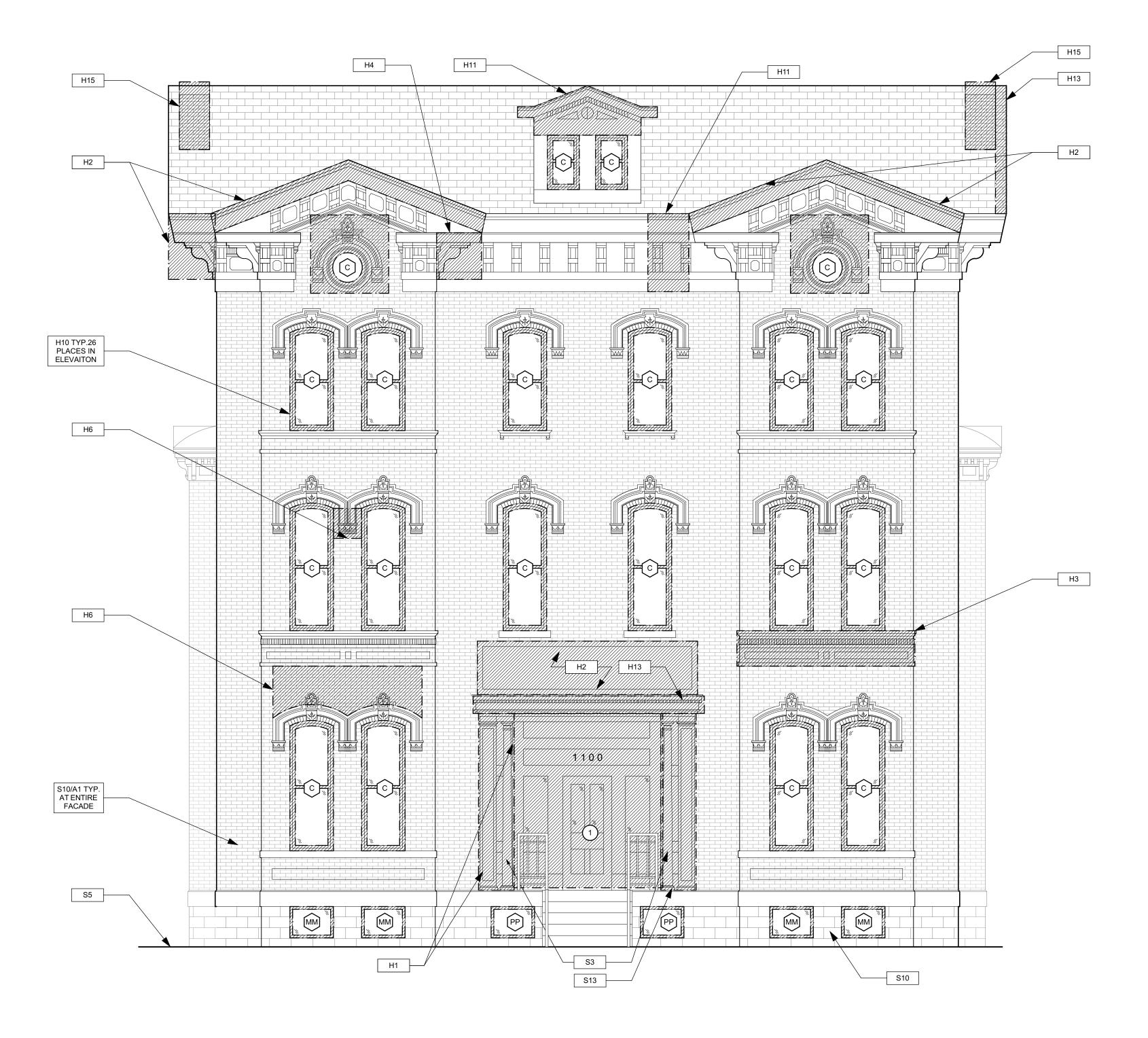
Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA

drawing title

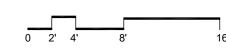
SOUTH ELEVATION, GRAPHIC SCALES, HISTORIC KEYNOTES, SMALL UNIT KEYNOTES

Sheet No. As Noted ldate May 6, 2022



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



HISTORIC	3	SITE		- T 1 ' A 1 ' ,
H1	MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10	S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Pc 2 0 5 Ross Street
H2	ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND	S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
	REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING	\$3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	© 2022 Fukui Architects, Pc
	INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.	S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	©2022 Fukul Alemiteets, le
H3	IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE.	S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
H4	ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS. INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHUR MOVEMENT OR STRUCTURAL	S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
	ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).	S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
H5	CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).	S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER	
H6	RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A	S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
	COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)	S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
H7	REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)	S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
H8	REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING	S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
19 - TYP. X	DORMERS, CHIMNEYS AND OTHER ELEMENTS. ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW	S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
	UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND	R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
110 - TYP. X	REPAIRS) IN THESE LOCATIONS PRESERVE EXISITING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).	A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	 proceeding with any phase of work. Do not scale drawings. All work shall be installed in accordance with applicable codes and regulations.
	IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE- PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2	A2 A3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
12	ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION. IN THIS AREA CLEAN AND PREP THE EXISTING METAL	A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
12	FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR,	A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
13	TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS). AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)	A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
114	AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES	A7	WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH	
15	FOR MATERIAL OR FEATURE INDICATED ABOVE. AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)	A8	1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN	ISSUED FOR PERMIT: 05.06.2022
		A9	SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH	
		A10	ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	Owner:
		A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING	HACP 200 ROSS STREET
		A12	AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	PITTSBURGH,PA 15219
		A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER	
		A14	RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
		A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA
		A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	15233
		A18	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	HISTORIC KEYNOTES, SMALL
		PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	UNIT KEYNOTES, NORTH ELEVATION, GRAPHIC SCALES
		P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
		MECHA M1	NICAL - REF. ONLY. REFER TO MECH. DWG'S	<u>s. </u>
		M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
		M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
		M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale State No.
	SCOPE REDUCT	TION:		As Noted Sheet No.

GENERAL NOTE:

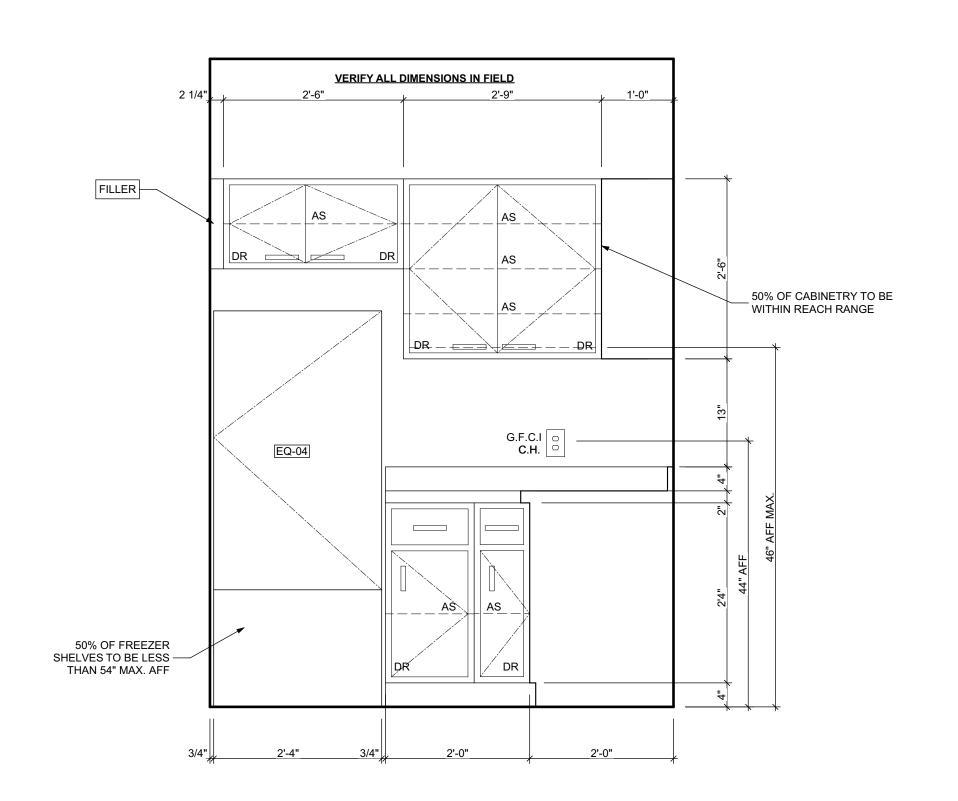
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

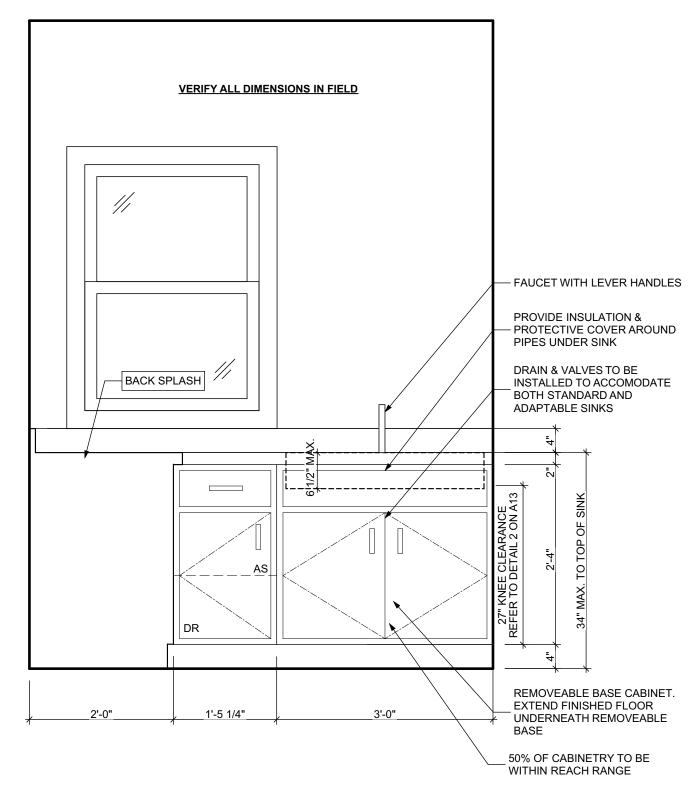
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

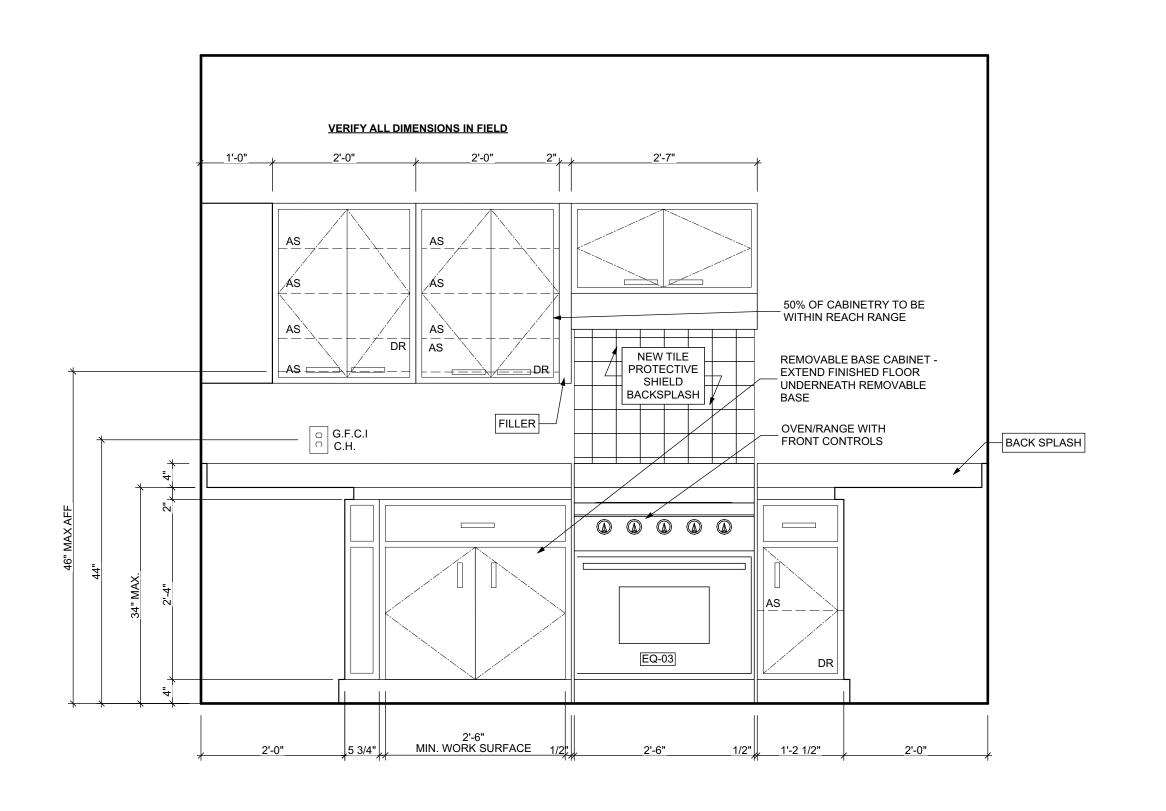
date May 6, 2022

| Sheet No.

A26 Project #2006







3 UNITS 103, 203, 303 KITCHEN ELEVATION 3

UNITS 103, 203, 303 KITCHEN ELEVATION 2

SCALE: 3/4" = 1'-0"

ITEM

MIRROR

MEDICINE CABINET

TOWEL BAR

TOILET PAPER HOLDER

TOWEL RING

ELECTRIC WATER

NATURAL GAS

WH 15

QUANTITY

1) UNITS 103, 203, 303 KITCHEN ELEVATION 1

DIMENSIONING NOTES

Remove existing and place new mirror in

Remove existing and place new medicince

Remove existing and place towel bar in same

same location, provide blocking if necessary

Remove existing and place towel ring in same

Remove existing and place toilet paper holder in

location, provide blocking if necessary

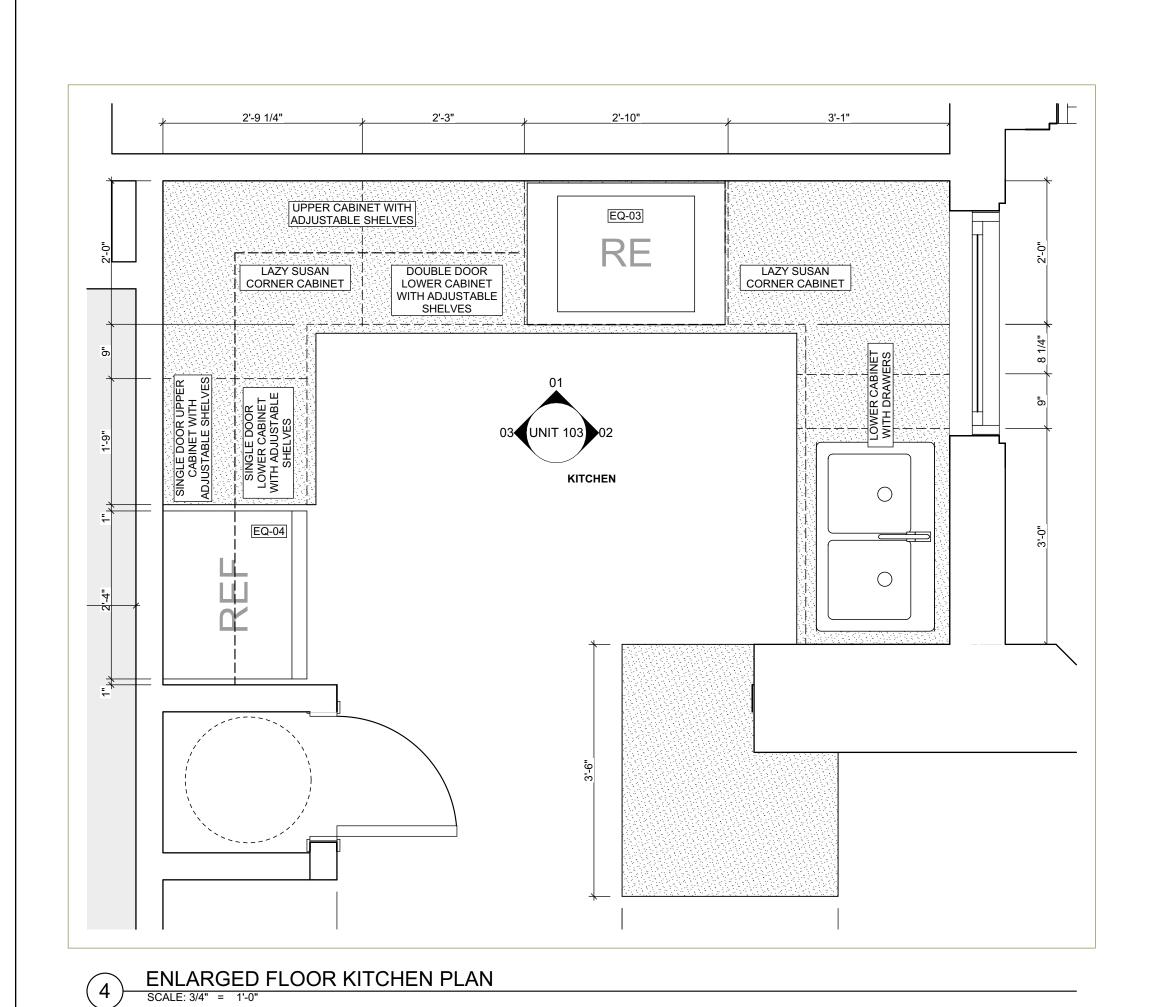
location, provide blocking if necessary

Refer to plumbing specifications for sizing

Refer to plumbing specifications for sizing

same location

cabinet in same location



WALL MOUNTED SOAK	VALL MOUNTED SOAP HOLDER 0 MOEN Contemporary Wall molder in Chrome		Wall mounted soap	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	
		ME	CHANICAL	EQUIPMEN	NT SCHEDULE
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	15	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	15	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register

BATHROOM ACCESSORY SCHEDULE

MANUFACTURER

Eviva Sleek Frameless Rectangular

Bathroom Vanity Mirror, or equivalent

Kohler Maxstow 20in. x 24in. Aluminum

Frameless Surface-Mount Soft Close

Medicine Cabinet with Mirror, or equivalent

MOEN Contemporary 24 in. Towel Bar in

MOEN Contemporary Toilet Paper Holder in

MOEN Contemporary Towel Ring in

Chrome

A.O. SMITH

A.O. SMITH

APPLIANCE SCHEDULE								
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES			
WASHER	W	1	WHIRLPOOL	WDF330PAHB	24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA			
DRYER	DR	1	WHIRLPOOL	WGD4950HW	7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System			
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"			
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA			

PLUMBING SCHEDULE								
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES			
KITCHEN SINK (DOUBLE BOWL)	-	10	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid			
KITCHEN SINK (DOUBLE BOWL) ADA	-	5						
KITCHEN SINK (SINGLE BOWL)	-	2	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid			
KITCHEN SINK FAUCET	-	16	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.			
VANITY LAVATORY	-	10	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin			
VANITY LAVATORY - ADA	-	5						
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid			
LAVATORY (WALL HUNG)	-	1	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid			
LAVATORY FAUCET	-	16	MOEN	L64620	4" Chateau with covers for unused sink holes			
WATER CLOSET	-	10	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)			
WATER CLOSET - ADA	-	6						
SHOWER	-	8	DREAMLINE	PRISM DL-6030-04				
SHOWER - ADA	-	5			Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base			
BATHTUB	-	2	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub			
BATHTUB / SHOWER FAUCETS	-	15	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead			
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or seperate Hot & Cold water valved fittings & drain standpipe			
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs			
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs			
LAUNDRY TRAY FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach			
COUNTERTOP SINK SINGLE BOWL)	-	2	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 ¹ / ₈ " 2 Hole Single Bowl Countertop Sink			
COUNTERTOP SINK FAUCET	-	2	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach			
NSF QUALIFIED LAVATORY FAUCET	-	0	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome			
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome			

 ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
 SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS. Fukui Architects Pc

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general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA

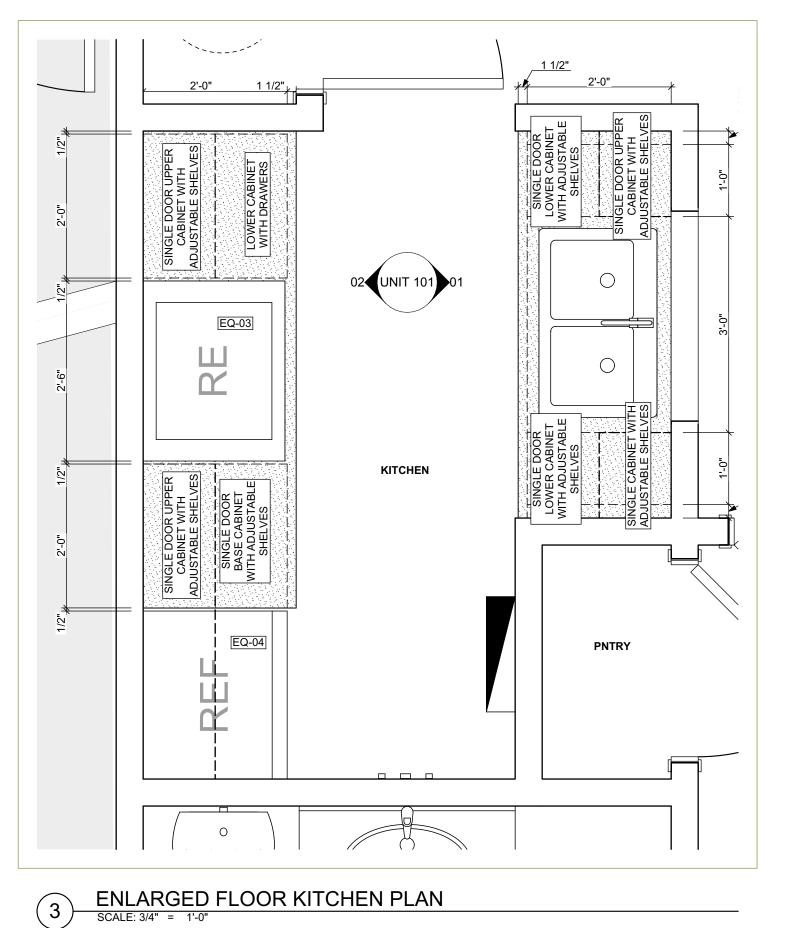
drawing title

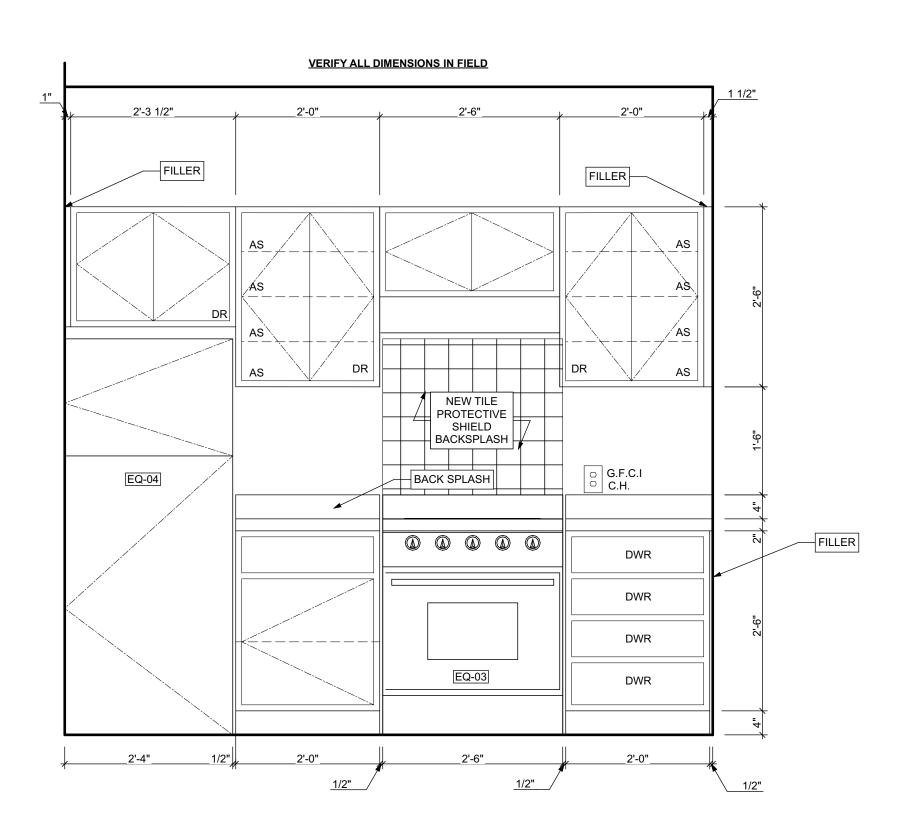
UNITS 103, 203, 303 KITCHEN ELEVATION 1, UNITS 103, 203, 303 KITCHEN ELEVATION 2, UNITS 103, 203, 303 KITCHEN ELEVATION 3, ENLARGED FLOOR KITCHEN PLAN

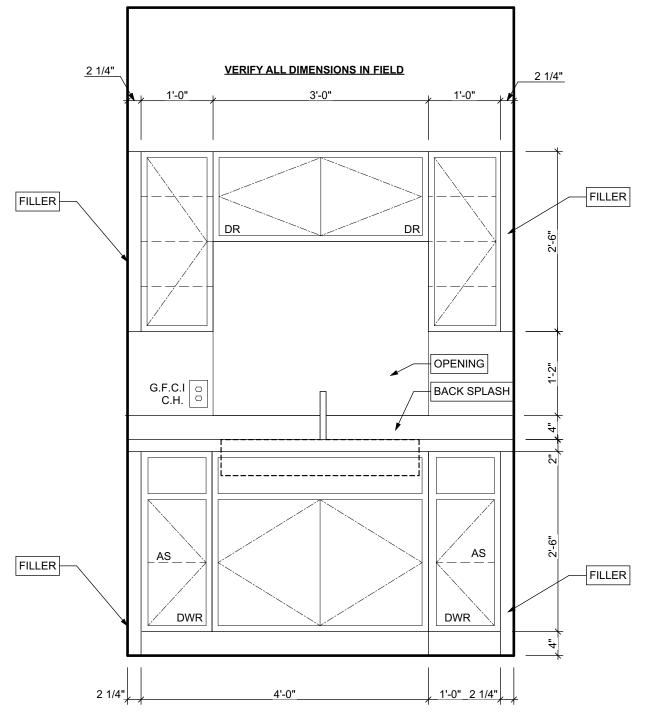
date
May 6, 2022
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Sheet No.

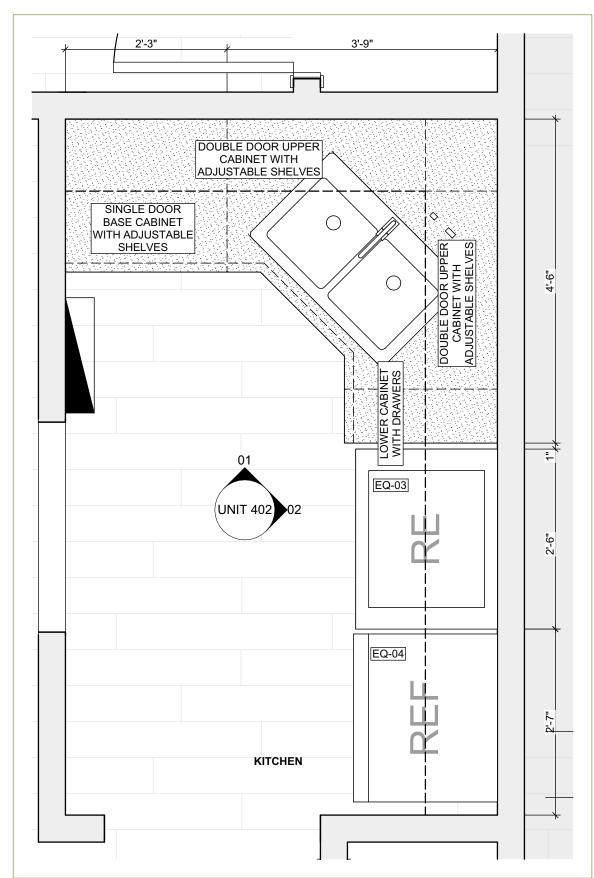






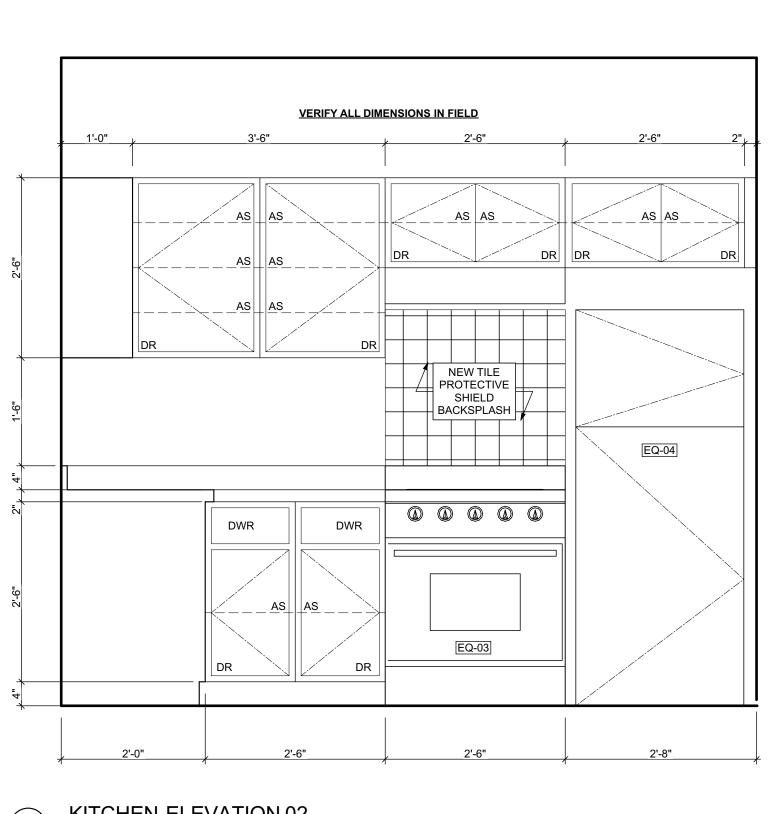
2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"

1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"

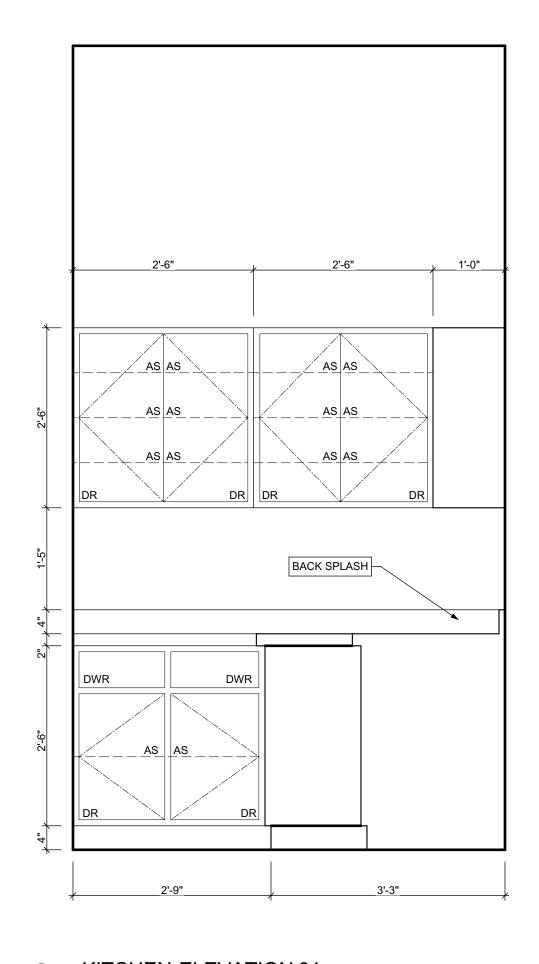


6 ENLARGED FLOOR KITCHEN PLAN

SCALE: 3/4" = 1'-0"



SCALE: 3/4" = 1'-0"



KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"

Fukui Architects Pc

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revisions

general notes

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

Project Location:

MANCHESTER SCATTERED SITES 1100 SHEFFIELD STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, ENLARGED FLOOR KITCHEN PLAN

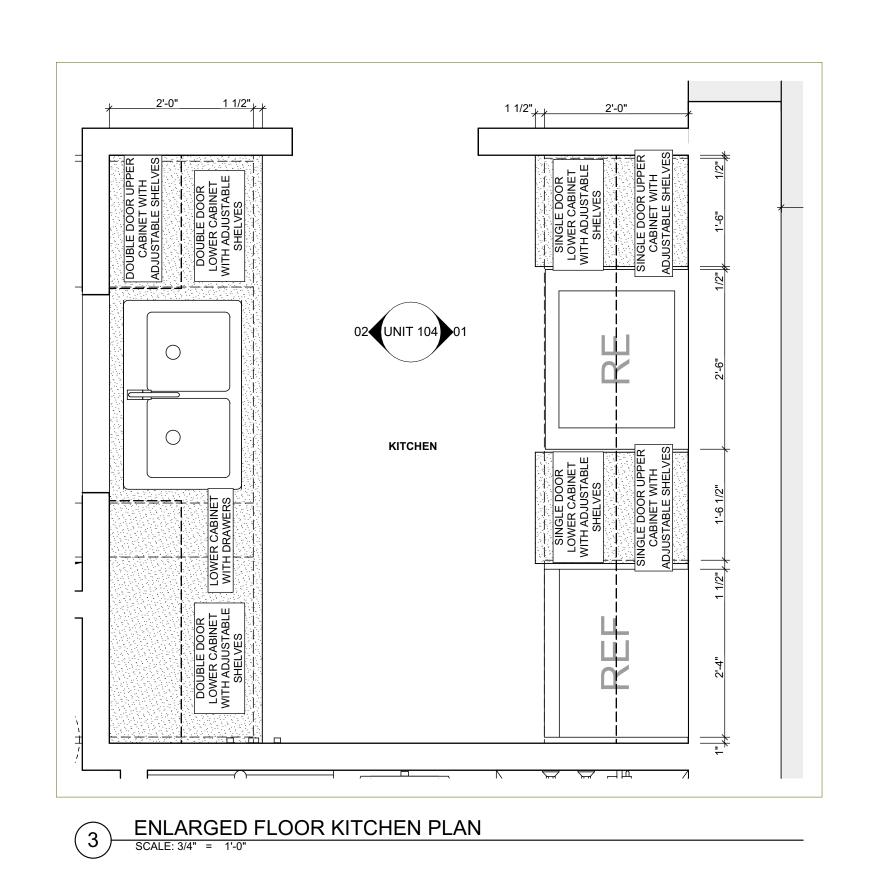
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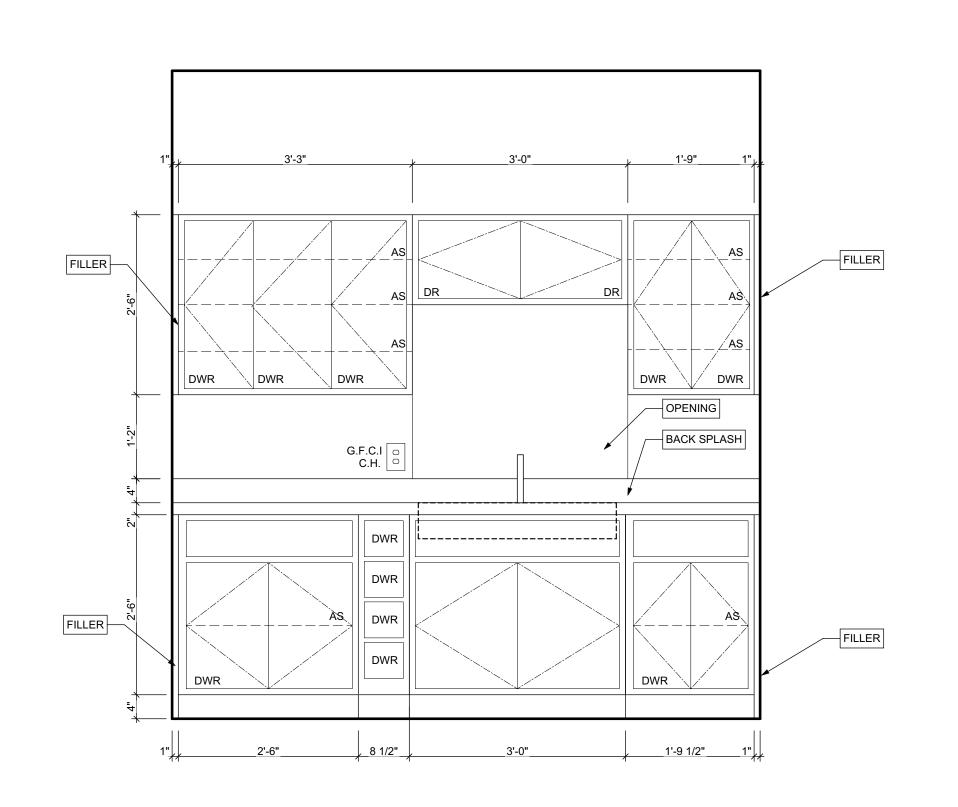
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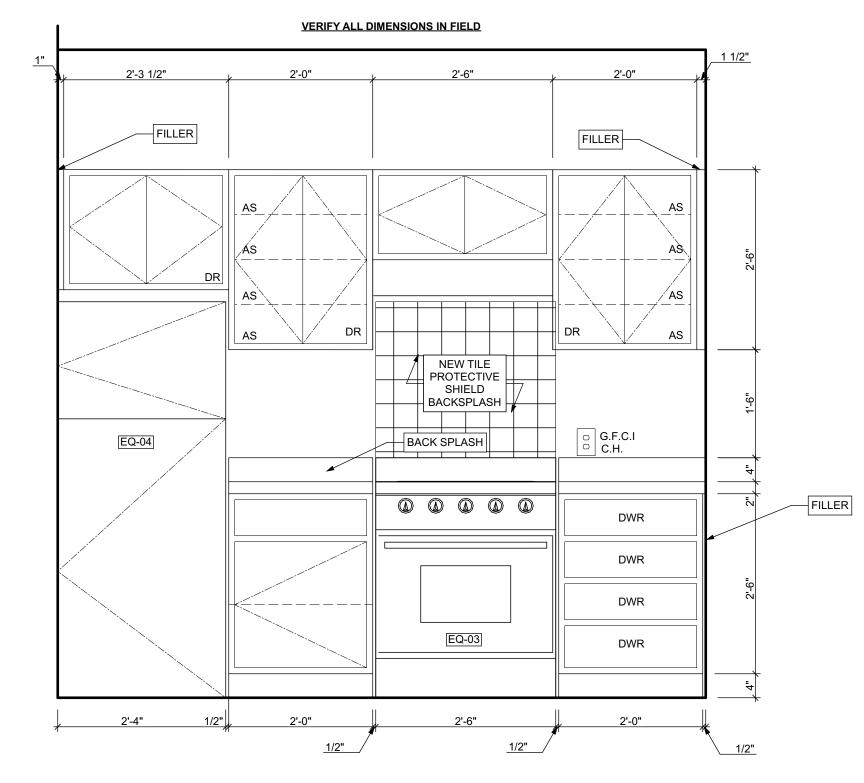
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Sheet No.

A28





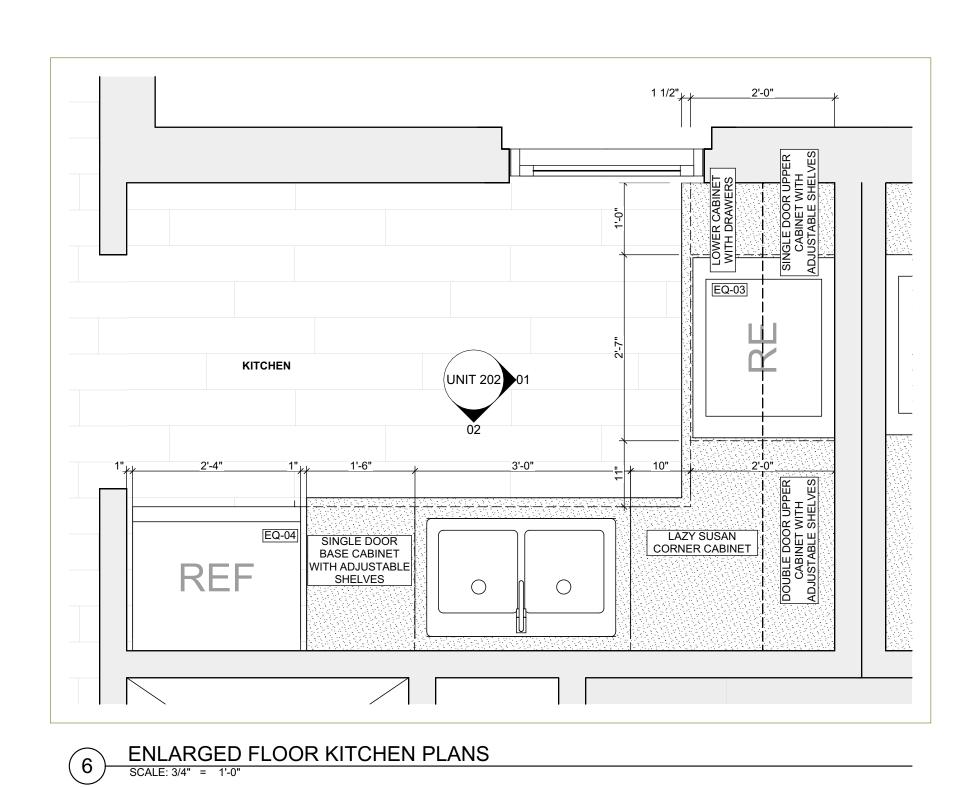


KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"

KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"



VERIFY ALL DIMENSIONS IN FIELD

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KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"

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drawing title

KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, ENLARGED FLOOR KITCHEN PLAN, ENLARGED FLOOR KITCHEN PLANS

date
May 6, 2022
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30

55

Sheet No.

A29