

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fuku Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

SELECTION CRITERIA, THRESHOLD CRITERIA, TABULAR SCHEDULE

scale
As Noted
date
May 6, 2022
no.
1 of
55
Sheet No.
A0
Project #2006

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification Of Selection Criteria
The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.
Development: Manchester Scattered Sites
The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration.
Energy Conservation/Green Building
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.
Substantiation (The development is located on, or is a):
Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant.
Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity.
Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)
Certification under a National Green Building Program
Enterprise Green Communities - 2020
LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) - Silver
LEED v4 BD+C Multifamily Midrise - Silver OR
LEED v4 BD+C New Construction & Major Renovation - Silver (4 stories or more)
ICC 700-2020 National Green Building Standard - Silver
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 208

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The preservation development will achieve certification under one of the green building standards indicated below:
Enterprise Green Communities - 2020 Moderate Rehab
LEED v4 OM - Multifamily - Certified
ICC 700-2020 National Green Building Standard Under Section 305.2 - Whole Building Rating - Bronze
ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional Areas Rating - Compliant with Chapter 12 (must include kitchens and bathrooms)
For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawing/specification package.
Energy Efficiency Goals (Only one of the following may be selected)
The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below.
To qualify for these points, the applicant must contract with a qualified Certified Passive House Consultant who will certify the proposal at the time of application to PHFA.
Substantiation (Rehab):
For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)
Preservation (Moderate Rehab):
For 100% electric dwellings/buildings: HERS Index of 80 or less (without solar PV)
For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)
NOTE:
Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program as verification for these points but must follow the MFRH program to achieve the Energy Star® label.
All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
*Qualified as defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a qualified consultant.
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 209

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.
Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.
The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.
Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.
New Construction:
For 100% electric dwellings/buildings: HERS Index of 60 or less (without solar PV)
For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)
Substantiation:
For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)
Preservation (Moderate Rehab):
For 100% electric dwellings/buildings: HERS Index of 80 or less (without solar PV)
For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)
NOTE:
Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program as verification for these points but must follow the MFRH program to achieve the Energy Star® label.
All HERS indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.
*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.
For Preservation Developments:
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.
Number of existing fully accessible units (by current standards): 0
Number of fully accessible units provided: 5
Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I certify that:
To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.
The Fair Housing Act of 1988 & Fair Housing Design Manual
ANSI A117.1-2009 (or edition currently adopted by the PA LDC)
Pennsylvania Uniform Construction Code
Uniform Federal Accessibility Standards (UFAS)
Section 504 of the Rehabilitation Act of 1973
2010 ADA Standards for Accessible Design
Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)
NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.
Number of accessible units required under local mandate:
Number of accessible units required under state mandate:
Number of accessible units required under federal mandate:
Number of fully accessible units provided:
For Preservation Developments:
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.
Number of existing fully accessible units (by current standards): 0
Number of fully accessible units provided: 5
Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 211

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Large Family Units
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:
High rise developments and senior housing cannot qualify for this category.
Total units >15 - 20% of all units
Total number of affordable 3 or more-bedroom units >20 - 25% of all units
75-10% of all units (suburban/rural developments only) >25% of all units
DESIGN ARCHITECT
Print:
Date: 5/9/2022
Firm: Fuku Architects, Pc
Acknowledged and Accepted by the APPLICANT(S)
Print:
Date:
Print:
Date:
Print:
Date:
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 212

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification Of Threshold Criteria
The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.
Development: Manchester Scattered Sites
The development referenced above includes the following threshold criteria.
Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specified threshold criteria.
Development Amenities
As the DESIGN ARCHITECT, I certify that:
An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units.
Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided.
Common laundry will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility.
All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned.
An on-site management office will be provided.
Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure".
TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 215

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Unit Amenities
As the DESIGN ARCHITECT, I certify that:
The net area of all dwelling units must fall within the limits listed below.
Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
Window treatments will be provided in all residential units.
Visibility
As the DESIGN ARCHITECT, I certify that:
All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall comply with the requirements of the 2020 Enterprise Green Communities program.
In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled.
TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 216

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Fair Housing
As the DESIGN ARCHITECT, I certify that:
New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable.
The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards Guide.
Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2008.
Energy Conservation & Green Building Criteria
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures:
All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program.
All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program.
In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate.
PHFA Green Building Criteria for new construction and substantial rehabilitation developments:
As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following green building features:
No piping shall be located outside of the interior finish of the insulated building envelope.
All domestic water pipes except for PE-X piping shall be insulated.
Termite shields or locust based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation.
TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 217

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type.
Water-Conserving Fixtures (Applicable only to new fixtures)
Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)
Energy Star Appliances (Applicable only to new appliances)
Lighting (Applicable only to new lighting fixtures)
Healthier Material Selection (Applicable only to new paints, coatings and primers)
Bath, Kitchen Laundry surfaces
Managing Moisture Foundations (Applicable to new addition foundations)
Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)
Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only)
Integrated Pest Management (Applicable only if identified as a problem in the PCNA)
Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements)
Emergency Management Manual (Follow Enterprise requirements)
Home Ownership
As the DESIGN ARCHITECT, I certify that:
The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency).
Flood Plain Certification
As the DESIGN ARCHITECT, landscape architect or civil engineer I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is:
Outside any flood area
Inside a 500 year flood area
Inside a 100 year flood area
TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 218

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Smoke Free Development
As the APPLICANT, I certify that:
At construction completion, a policy prohibiting the use of tobacco products in all dwelling units, common areas, other buildings that are a part of the development and within 25 feet of all buildings in the development will be implemented.
Energy Rebate Analysis (ERA)
A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application.
DESIGN ARCHITECT
Print:
Date: 5/9/2022
Firm: Fuku Architects, Pc
Acknowledged and Accepted by the APPLICANT(S)
Print:
Date:
Print:
Date:
TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 220

2.03 DEVELOPMENT/TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.:
Design Architect (Signature): Date: 10/18/2021
1. Number of Buildings: 56
2. Building Height (Stories): 3 to 4 stories
3. Building Code: IRC/CBC Construction Type: III-B or V-A
4. Structural System: Wood Joists to 2x4 framing or masonry
5. Exterior Finish: Brick or vinyl
6. Gross Building Area*: 148,586
7. Gross Commercial Area (SF): Percentage of Gross Building Area: 0%
8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only
9. Required Variances: N/A
10. Application Accessibility Regulations:
Section 504 UFAS PAUCC FHAA ADA
Unit/Room Type No. of Units Accessible Units ADA HV Adaptable Units ADA HV Net SF** Gross SF**
SRO 0
EFF 0
1 BR 35
2 BR 13
3 BR 25
4 BR 13
Community Room 2244 4116
Circulation (hallways, stairs & etc.) 1753 2917
Other
Unit Total 86 5 2 0 0
*Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall.
** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls.
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Table with 3 columns: UNIT, GROSS AREA (SF), NET AREA (SF). Rows include UNIT 101-104, UNIT 201-204, UNIT 301-304, UNIT 401-404, UNIT 403-405, COMMON UNCONDITIONED @50%.

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1100 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 15 UNITS - 15 BEDROOMS

Drawing Index

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Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2009 ICC/ANSI S1317.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	Level-2 alteration per the IEBC
Classification of Work:	"R-2"
Occupancy Group:	4 story
Stories:	sqft
Gross Area:	V
Construction Type:	
Sprinklers:	
Smoke detector:	

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:
Housing Authority
of the City of Pittsburgh
ph: 412.715.7501
mackenzie.pleskovic@haap.org
contact: Mackenzie Pleskovic

Architect:
Fukui Architects, PC
205 Ross Street
Pittsburgh, PA 15219
ph: 412.281.6001
fx: 412.281.6002
Fg@faiaps.com
contact: Felix G. Fukui, AIA

Plan Review & Inspection:
City of Pittsburgh
Department of Permits,
Licenses and Inspections
200 Ross Street
3rd floor, room 320
Pittsburgh, PA 15205
ph: 412.255.2175



ENLARGED FLOOR KITCHEN PLAN KITCHEN ELEVATION01 KITCHEN ELEVATION02
A29 104/202 KITCHEN ENLARGED PLANS AND ELEVATIONS
ENLARGED FLOOR KITCHEN PLAN KITCHEN ELEVATION02 KITCHEN ELEVATION01 KITCHEN ELEVATION01 KITCHEN ELEVATION02 ENLARGED FLOOR KITCHEN PLANS
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ELECTRICAL COVER SHEET
E-1.1 ELECTRICAL DEMOLITION AND PROPOSED SITE PLANS
ELECTRICAL DEMOLITION AND PROPOSED SITE PLANS
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ELECTRICAL DEMOLITION AND PROPOSED SECOND FLOOR PLANS
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ELECTRICAL DEMOLITION AND PROPOSED THIRD FLOOR PLAN
E-3.1 ELECTRICAL DETAILS AND SCHEDULES
ELECTRICAL DETAILS AND SCHEDULES
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HVAC ABBREVIATIONS, SYMBOLS LEGEND, AND NOTES
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BASEMENT HVAC DEMOLITION AND NEW WORK PLANS
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FOURTH FLOOR PLUMBING DEMOLITION AND NEW WORK PLANS
P6 PLUMBING DETAILS, SCHEDULES, & NOTES
PLUMBING DETAILS, SCHEDULES, & NOTES

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.

1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, CODE & CONTACT INFO,
Drawing List - DD

scale As Noted	Sheet No. A1 Project #2006
date May 6, 2022	
no. 2	of. 55

Materials Legend

NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

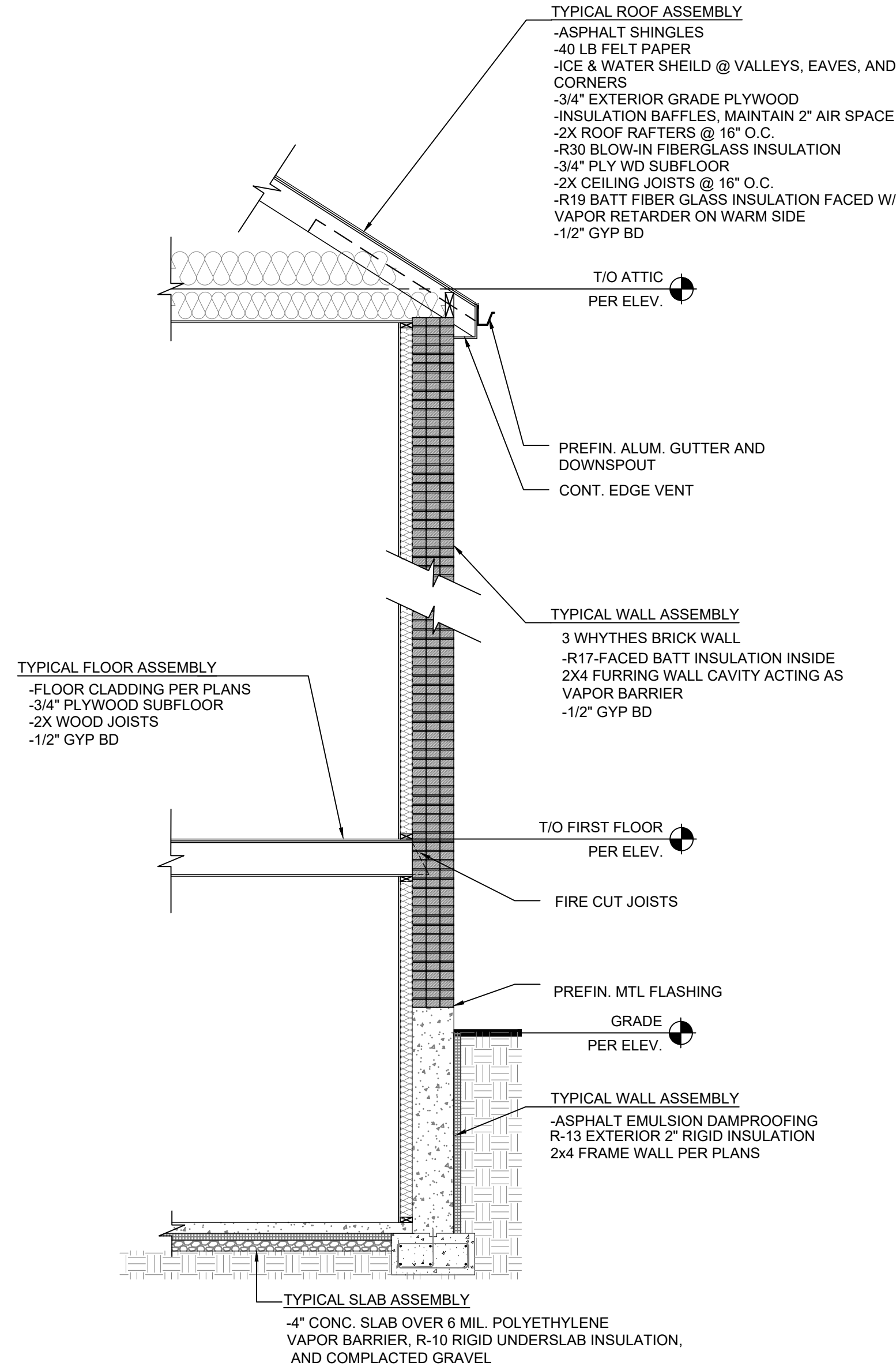
Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLASLAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	PLYWD.	Plywood
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	P.C.	Plumbing Contractor
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
ARCH.	Architectural	F.F.	Finish Floor	P.V.C.	Polyvinyl Chloride
AS	Adjustable Shelving	FIN.FLR.	Finish Floor	PRE-FAB.	Prefabricated
ASB.	Asbestos	F.A.C.P.	Fire Alarm Control Panel	RE.	Refer To
ASPH.	Asphalt	F.E.	Fire Extinguisher	REF.	Refrigerator
AUTO.	Automatic	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
AVG.	Average	F.D.	Floor Drain	RENF.	Reinforcement
BLK.	Block	FTG.	Footing	RD.	Roof Drain
BD.	Board	GA.	Gauge	RM.	Room
BOT.	Bottom	G.C.	General Contractor	S.A.T.	Suspended Acoustical Tile
BLOG.	Building	G.F.I.	Ground Fault Interrupter	SCHED.	Schedule
C.I.P.	Cast In Place	GYP.	Gypsum	SHT.	Sheet
C.B.	Catch Basin	G.W.B.	Gypsum Wall Board	SIM.	Similar
CEM.	Cement	GSH.	Gypsum Sheathing	S.C.	Solid Core
CER.	Ceramic	H/C	Handicap	SPECS.	Specifications
CG	Corner Guard	H.V.A.C.	Heating, Ventilation & Air Conditioning	SQ.	Square
C.M.T.	Ceramic Mosaic Tile	HT	Height	S.F.	Square Foot
C.W.T.	Ceramic Wall Tile	HC	Hollow Core	S.S.	Stainless Steel
C.O.	Cleanout	H.M.	Hollow Metal	STL.	Steel
CL	Center Line	HORIZ.	Horizontal	STOR.	Storage
CLO.	Closet	HR.	Hour	STRUCT.	Structural
C.W.	Cold Water	H.W.	Hot Water	TEL.	Telephone
CLG.	Ceiling	IN.	Inch	THK.	Thick
CLR.	Clearance	I.M.	Insulated Metal	T.B.D.	To Be Determined
COL.	Column	INSUL.	Insulation or Insulated	T&G	Tongue & Groove
CONC.	Concrete	INT.	Interior	T.O.	Top Of
C.M.U.	Concrete Masonry Unit	INV.	Invert	T.G.	Top Of Grade
CORR.	Corrosion	ISO.	Isolation	T.O.S.	Top Of Steel
CORR.	Corridor	JAN.	Janitor's Closet	TYP.	Typical
C.M.P.	Corrugated Metal Pipe	J.T.	Joint	UNFIN.	Unfinished
CRS.	Courses	U.N.O.	Unless Noted Otherwise	V.B.	Vapor Barrier
DIA.	Diameter	LAM.	Laminate	VERT.	Vertical
DET	Detail	LAV.	Lavatory	VEST.	Vestibule
DGL	Dens Glass Goid	LG.	Long	V.C.T.	Vinyl Composition Tile
DR.	Door	M.D.F.	Medium Density Fiberboard	V.I.F.	Verify In Field
DN.	Down	M.D.H.	Magnetic Door Holder	W.H.	Water Heater
D.S.	Downspout	M.H.	Manhole	W.R.B.	Water Resistant Barrier
DWG.	Drawing	MFGR.	Manufacturer	W.W.F.	Welded Wire Fabric
DWR	Drawer	MAX.	Maximum	WIN.	Window
D.F.	Drinking Fountain	MECH.	Mechanical	W/	With
D.I.P.	Ductile Iron Pipe	MET.	Metal	W/O	Without
EA.	Each	MIN.	Minimum	WD.	Wood
E.W.	Each Way				
ELEC.	Electrical				
E.C.	Electrical Contractor				
EL.	Elevation				

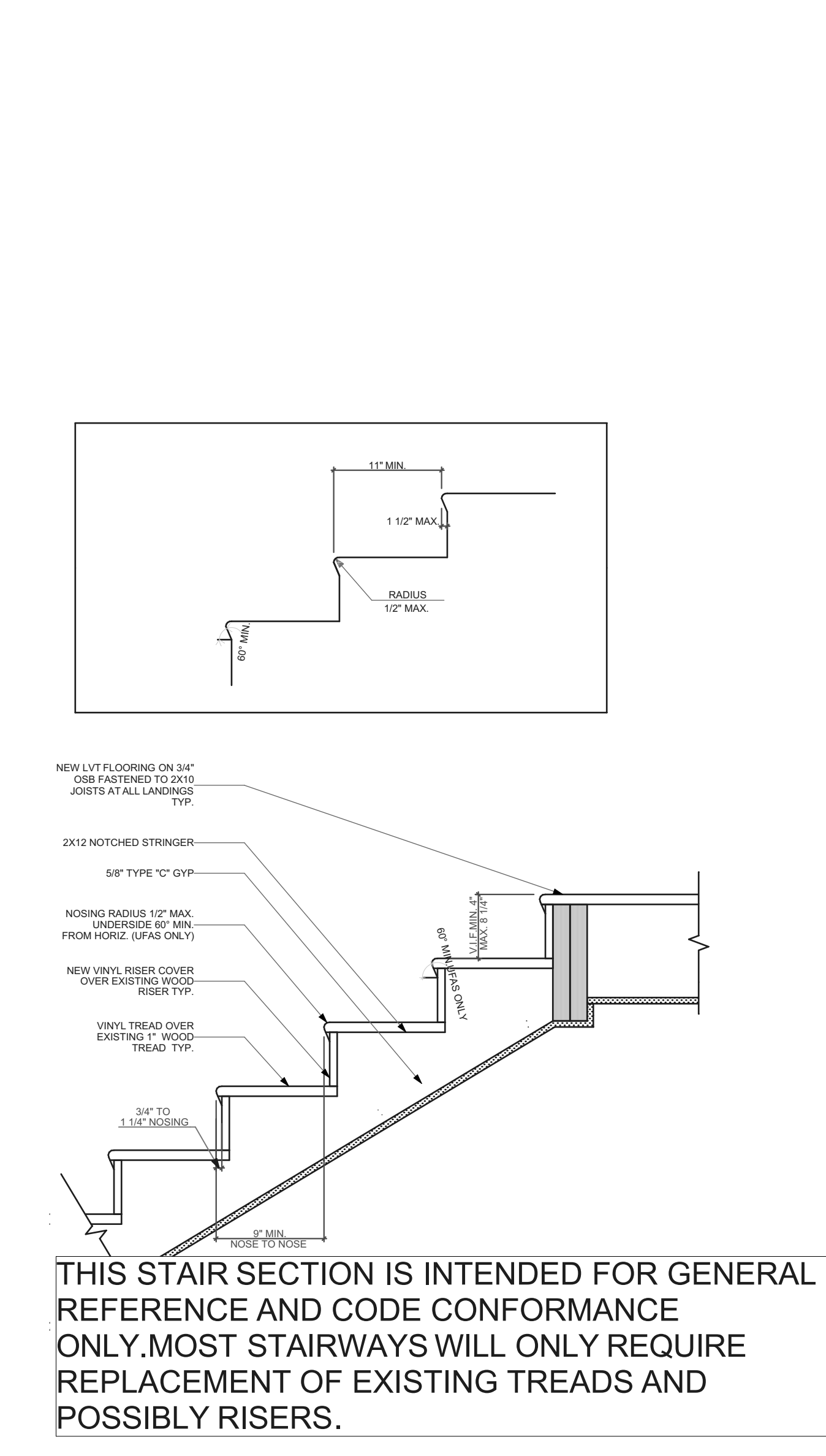
Symbols

	ELEVATION HEIGHT		DRAWING TITLE		INTERIOR ELEVATION MARKER
	T.O. FINISH FLOOR		Title		4 (A-000) 2
	ELEV. 0'-0"		SCALE: 1/8" = 1'-0"		3
	NORTH ARROW		NOTE LEADER		
	PLAN NORTH		NOTE		

2 HISTORIC BRICK WALL SECTION



3 INTERIOR STAIR DETAIL



1 ABBREVIATIONS AND MATERIALS

seal

general notes

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15233

drawing title

ABBREVIATIONS AND MATERIALS, HISTORIC BRICK WALL SECTION, INTERIOR STAIR DETAIL

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	3	A2
of.	55	
		Project #2006

WINDOW SCHEDULE						
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	1'-10"	5'-5"	8'-3"	WOOD	☒	☐
AA	2'-10"	5'-5"	7'-8"	WOOD	☒	☐
B	1'-9 1/2"	7'-2 1/2"	9'-8"	WOOD	☒	☐
BB	1'-10"	6'-6"	8'-9"	WOOD	☒	☐
C	1'-10"	4'-9 1/2"	8'-3"	WOOD	☒	☐
CC	2'-10"	6'-3"	8'-8"	WOOD	☒	☐
D	1'-10"	5'-7"	7'-8"	WOOD	☒	☐
DD	2'-10"	6'-3"	8'-6"	WOOD	☒	☐
E	2'-10"	6'-9"	8'-11"	WOOD	☒	☐
EE	3'-1"	4'-4"	8'-6"	WOOD	☒	☐
F	1'-10"	7'-5"	9'-10 1/2"	WOOD	☒	☐
FF	3'-3"	6'-4"	8'-8"	WOOD	☒	☐
G	2'-0"	5'-0"	7'-3"	WOOD	☒	☐
GG	2'-9"	3'-2"	7'-6"	WOOD	☒	☐
H	2'-0"	5'-5 1/2"	7'-8 1/2"	WOOD	☒	☐
HH	2'-9"	3'-2"	7'-6 1/2"	WOOD	☒	☐
I	2'-0"	6'-6"	8'-6"	WOOD	☒	☐
II	3'-3 1/2"	6'-0"	8'-4"	WOOD	☒	☐
J	2'-1"	5'-1"	7'-4 1/2"	WOOD	☒	☐
JJ	1'-5"	4'-0"	7'-6"	WOOD	☒	☐
K	2'-1"	5'-7"	7'-11"	WOOD	☒	☐
KK	1'-10"	6'-9"	8'-9"	WOOD	☒	☐
L	2'-1"	6'-2 1/2"	8'-5"	WOOD	☒	☐
LL	2'-5"	2'-5"	2'-8"	WOOD	☒	☐
M	2'-4"	6'-9"	8'-9"	WOOD	☒	☐
MM	1'-8"	1'-6"	8'-0"	WOOD	☒	☐
N	2'-4"	7'-5"	9'-10 1/2"	WOOD	☒	☐
NN	2'-0"	1'-8"	8'-0"	WOOD	☒	☐
O	2'-4 1/2"	5'-11"	8'-2 1/2"	WOOD	☒	☐
OO	2'-2"	2'-0"	8'-0"	GLASS BLOCK	☐	☐
P	2'-4 1/2"	6'-1 1/2"	8'-4"	WOOD	☒	☐
PP	2'-4"	1'-6"	8'-0"	WOOD	☒	☐
Q	2'-7"	6'-1"	8'-4"	WOOD	☒	☐
Q	2'-7"	6'-1"	8'-4 1/2"	WOOD	☒	☐
QQ	2'-6"	2'-0"	8'-0"	GLASS BLOCK	☐	☐
R	2'-8"	6'-2"	8'-4"	WOOD	☒	☐
R	2'-8"	6'-2"	8'-4 1/2"	WOOD	☒	☐
R	2'-8"	6'-2"	8'-5 1/2"	WOOD	☒	☐
RR	2'-8"	5'-6"	7'-6"	WOOD	☒	☐
S	2'-8"	6'-9"	8'-11"	WOOD	☒	☐
SS	2'-8"	5'-6"	7'-6"	WOOD	☒	☐
T	2'-8 1/2"	5'-1"	7'-3 1/2"	WOOD	☒	☐
TT	2'-9"	3'-6"	2'-0"	WOOD	☒	☐
U	2'-9"	3'-11"	8'-1"	WOOD	☒	☐
UU	2'-9"	4'-1"	8'-5 1/2"	WOOD	☒	☐
V	2'-9"	5'-1 1/2"	7'-5"	WOOD	☒	☐
W	2'-9"	5'-5"	7'-8 1/2"	WOOD	☒	☐
WW	2'-9"	5'-0"	7'-0"	WOOD	☒	☐
X	2'-9"	6'-0"	8'-2"	WOOD	☒	☐
X	2'-9"	6'-0"	8'-3 1/2"	WOOD	☒	☐
XX	2'-9"	5'-7"	7'-11"	WOOD	☒	☐
Y	2'-9"	6'-1 1/2"	8'-4 1/2"	WOOD	☒	☐
Z	2'-9"	6'-6"	8'-6"	WOOD	☒	☐

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS.
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE					
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
2	3'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
3	3'-0" x 6'-6"	II	HOLLOW METAL	HOLLOW METAL	PASSAGE
4	3'-0" x 6'-6"	II	HOLLOW METAL	HOLLOW METAL	ENTRY
5	2'-10" x 6'-6"	II	HOLLOW METAL	HOLLOW METAL	ENTRY
6	3'-0" x 6'-6"	II	HOLLOW METAL	HOLLOW METAL	PASSAGE
7	3'-0" x 6'-6"	II	HOLLOW METAL	HOLLOW METAL	PRIVACY
8	2'-10" x 6'-8"	III	WOOD	WOOD	PRIVACY
9	3'-0" x 6'-0"	III	WOOD	WOOD	PASSAGE
10	2'-6" x 6'-8"	III	WOOD	WOOD	PASSAGE
11	2'-8" x 6'-8"	III	WOOD	WOOD	PRIVACY
12	2'-6" x 6'-8"	III	WOOD	WOOD	PRIVACY
13	2'-8" x 6'-8"	III	WOOD	WOOD	PASSAGE
14	1'-6" x 6'-8"	III	WOOD	WOOD	DUMMY
15	3'-0" x 7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
16	2'-6" x 6'-8"	III	WOOD	WOOD	DUMMY
17	2'-8" x 6'-8"	III	WOOD	WOOD	DUMMY
18	1'-0" x 6'-8"	III	WOOD	WOOD	DUMMY
19	1'-8" x 6'-0"	III	WOOD	WOOD	PASSAGE
20	3'-0" x 6'-8"	III	WOOD	WOOD	DUMMY
21	3'-0" x 6'-8"	III	WOOD	WOOD	PASSAGE
22	3'-0" x 7'-0"	IV	WOOD	WOOD	ENTRY
23	2'-0" x 6'-8"	III	WOOD	WOOD	DUMMY
24	3'-0" x 6'-8"	V	WOOD	WOOD	PRIVACY
25	3'-3" x 6'-8"	VI	WOOD	WOOD	SLIDING
26	2'-4" x 6'-8"	III	WOOD	WOOD	ENTRY
28	3'-3" x 6'-8"	VI	WOOD	WOOD	SLIDING
29	2'-2" x 6'-8"	VI	WOOD	WOOD	SLIDING
30	2'-7" x 6'-1 1/2"	III	WOOD	WOOD	DUMMY

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FINISH SCHEDULE	
NAME	FLOOR
BATHROOM	09 VCT
BEDROOM	09 LVT
CLOSET	09 LVT
COMMON AREA	09 VCT
CORRIDOR	09 LVT
DINING	09 LVT
DINING	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
FOYER	09 LVT
HALLWAY	09 LVT
HALLWAY	09 VCT
KITCHEN	09 LVT
KITCHEN	09 VCT
LAUNDRY ROOM	09 VCT
LIN CLO	09 LVT
LIVING	09 LVT
LIVING ROOM	09 LVT

scale

general notes

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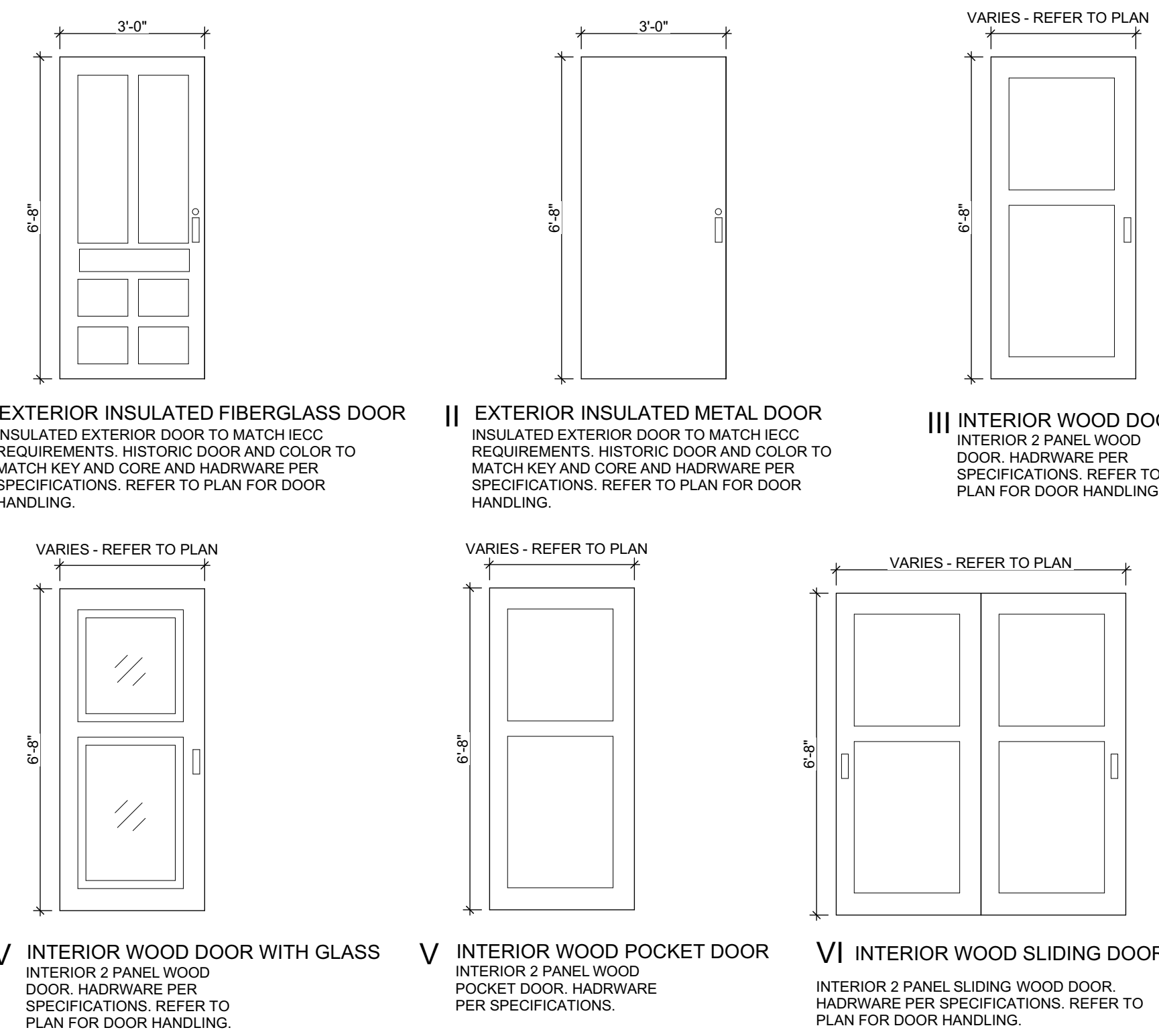
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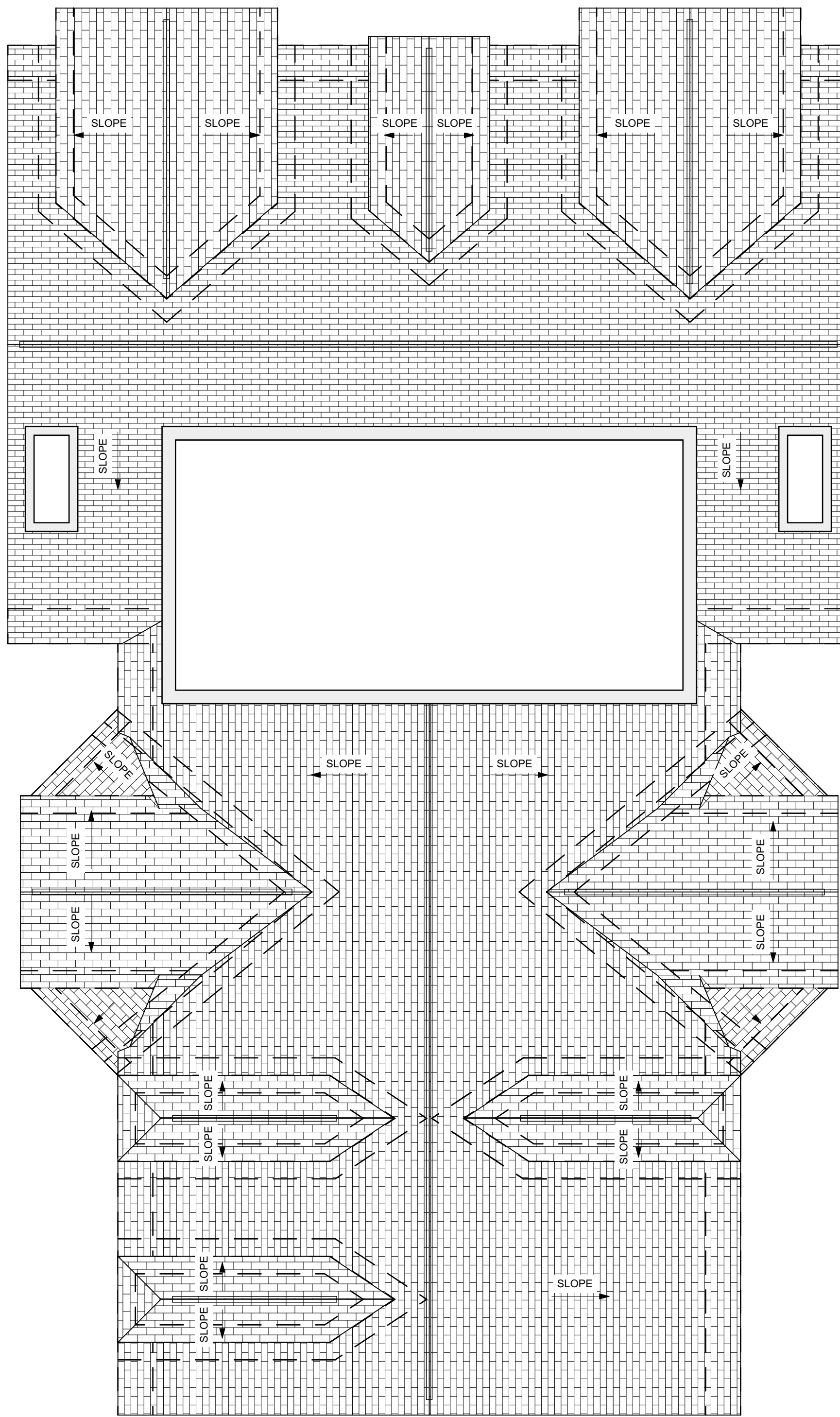
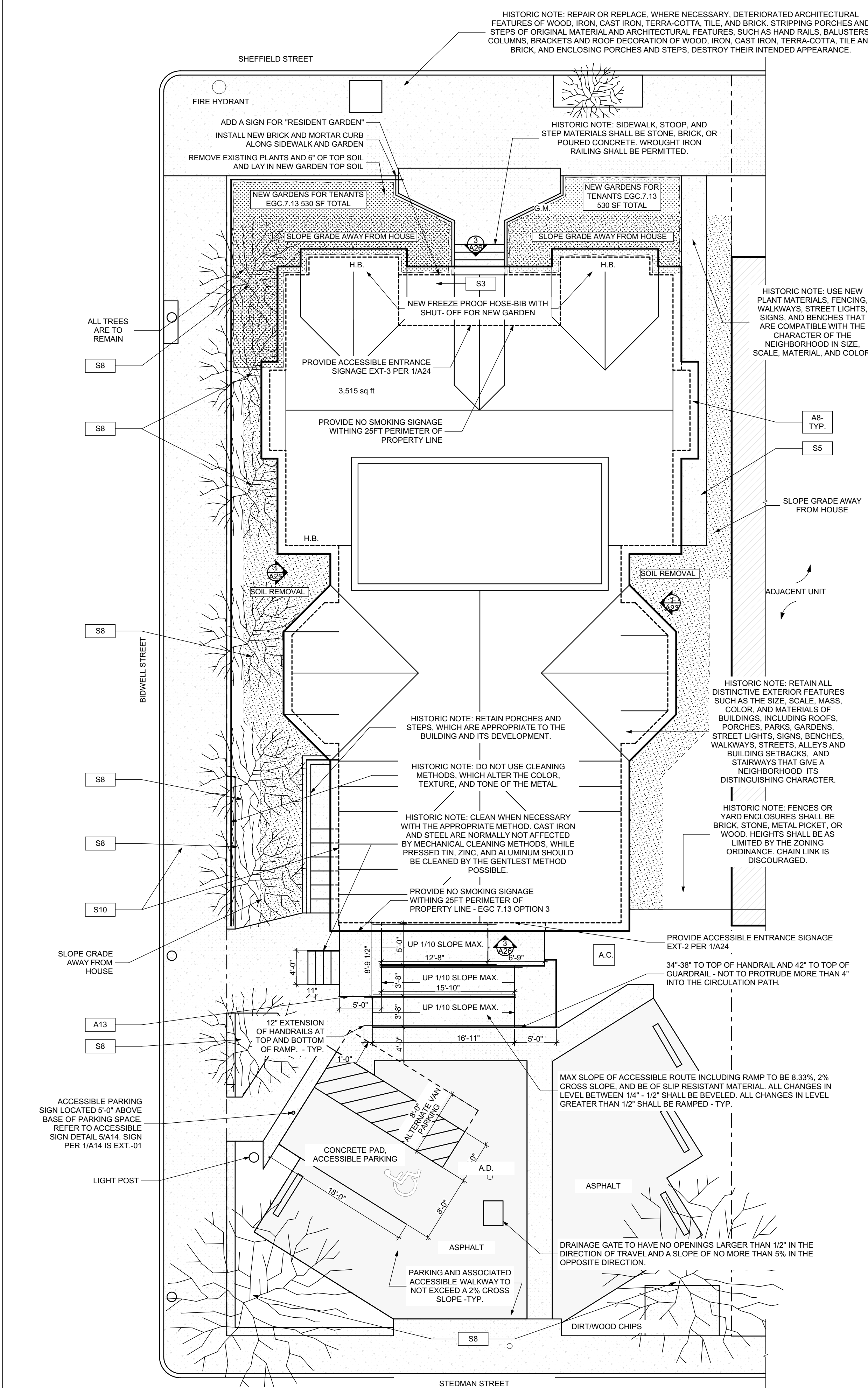
Project Location:
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DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE



scale	As Noted	Sheet No.
date	May 6, 2022	
no.	4	A3 Project #2006
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SITE

- AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET ALL REQUIREMENTS FOR CONCRETE. PREPARE MINIMUM 3" OVER OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUTRIGGERS. PROVIDE SUPPORTS TO PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. PROVIDE NEW JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENT, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. FINISH WITH EXPANDED JOINT CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REPAIR OR RENOVATE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED BULKHEAD. REPAIR OR REPLACE AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOW HEADERS. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING JOIST FOR NEW STANDARD 2"x4" SPREAD FOOTING AND BRACE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBTILING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR FILTERS. ADDITIONAL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

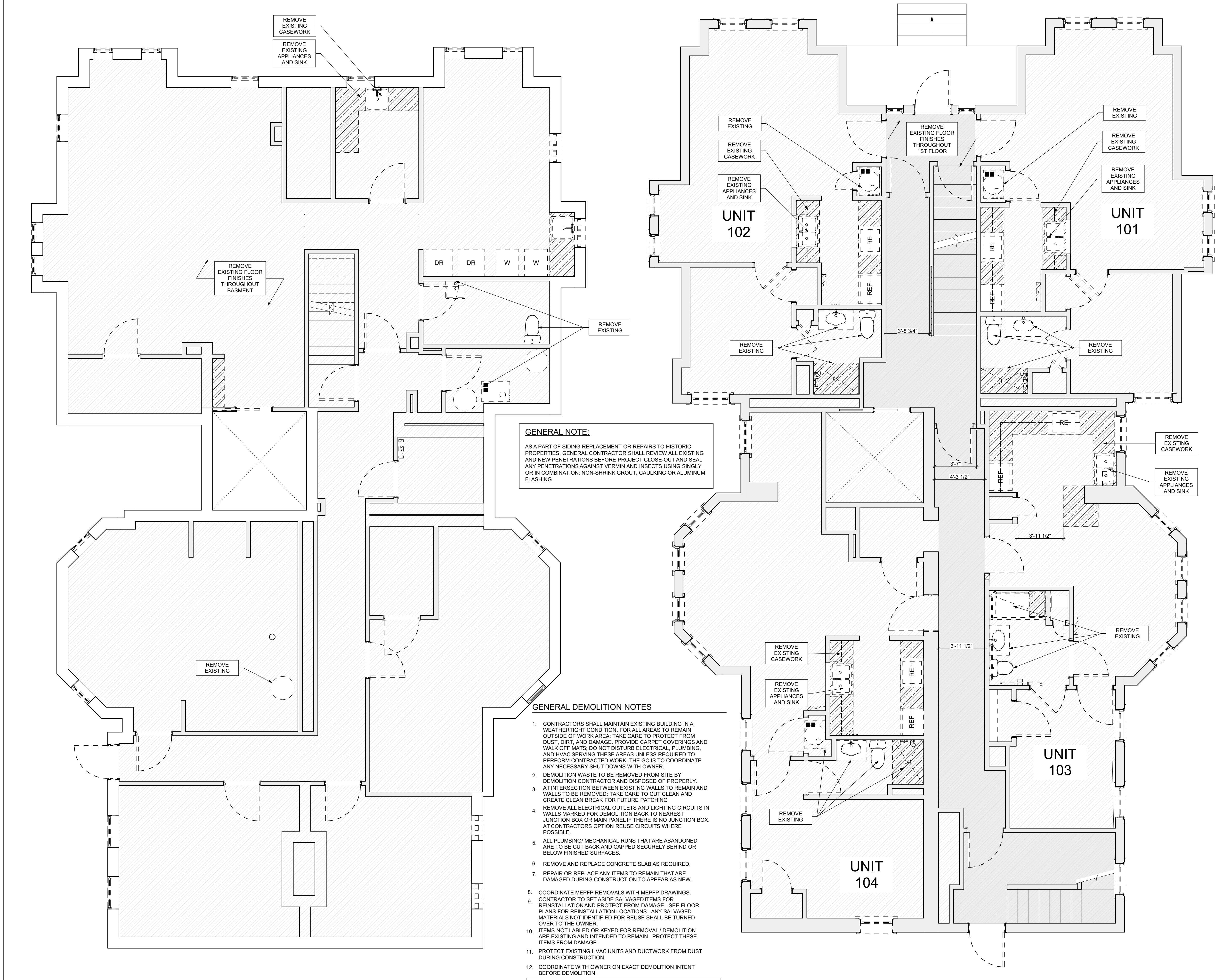
SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no. of
6 of **55**

Sheet No.
A5
Project #2006



GENERAL NOTE:
 AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

- GENERAL DEMOLITION NOTES**
- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT-DOWNS WITH OWNER.
 - DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
 - AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
 - REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
 - ALL PLUMBING/MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
 - REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
 - REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
 - COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
 - ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
 - PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
 - COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

SITE	
S1	AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL. PROVIDE 1/4" GRASS AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO FURNISH TO MEET SLOPE REQUIREMENTS. MINIMUM CONCRETE IS 3" THICK. PROVIDE 1/4" SLOPE AWAY FROM EXTERIOR WALLS WHERE NECESSARY. SEE SPECIFICATIONS.
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE EXISTING FLOOR FINISHES. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALLED AND NAMED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION REMOVE EXISTING CONC. AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S5	SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. SWALES OR SEAL. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE W/WT. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKS AND TIGHTEN AND REPAIR. TEST GAS METER NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
S13	REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REMOVE ANY CRACKS AS NECESSARY.
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAYED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
ROOF	
R1	DAMAGED ROOF ELEMENT REMOVE, REPLACE AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
ARCHITECTURAL	
A1	REPAIR OR TIERBORING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF BRICK WALL. PREP AND PAINT PER SPECIFICATIONS.
A3	SHOWING EXTERIOR WALL OR RETAINING WALL BRICK AND TIEBACK AS NECESSARY TO PLUMB WALL.
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION AT THIS LOCATION. REMOVE AND SHORE TO BE REPLACED OR REPAIR AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REPAIR OR REPLACE DOOR OR DOOR THRESHOLD AS NECESSARY.
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED MATERIALS. REPAIR OR REPLACE AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL WET WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUBS AND SHOWERS PER SPECIFICATIONS.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH W/ PRINTER FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, RICKBOARDS, TREADS, AND RISERS. RISERS AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A11	ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. REMOVE EXISTING FLOORING AND REPAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR. CONT. ALL APPLICABLE POINT. DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
A14	UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF SUBFLOOR LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALLS.
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.	
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3	DIRECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONDENSATION. ALL BATHS TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.
DEMOLITION PLAN LEGEND	
[Hatched Box]	DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
[Dotted Box]	FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

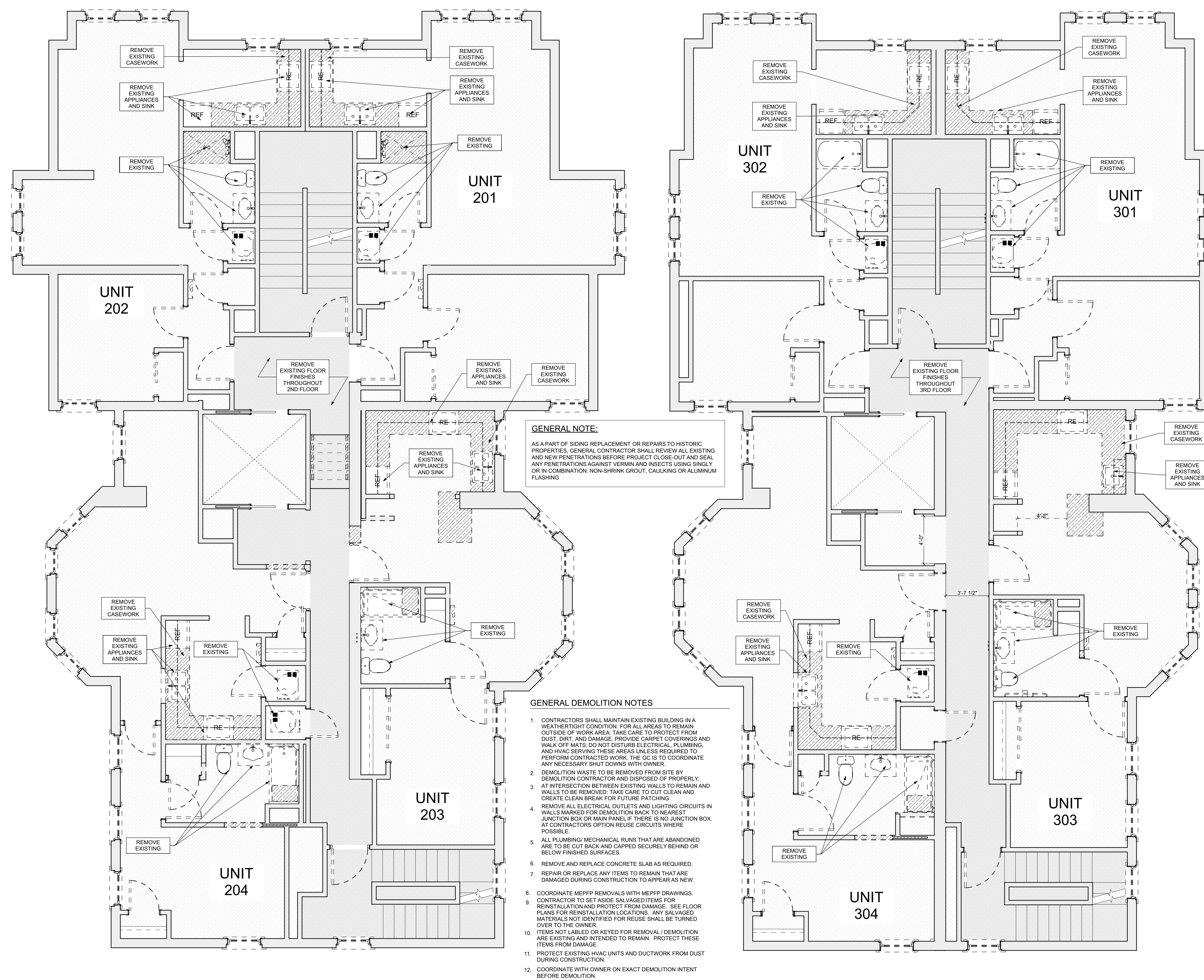
drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SMALL UNIT KEYNOTES, GRAPHIC SCALES, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND

scale	As Noted	Sheet No.	A6
date	May 6, 2022		
no.	7	of.	55
		Project #2006	

1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"



SITE

- S1: AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 2" OF SAND AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET SLOPE REQUIREMENTS. PROVIDE 2" OF CONCRETE TO MEET SLOPE REQUIREMENTS. PROVIDE 2" OF CONCRETE TO MEET SLOPE REQUIREMENTS. PROVIDE 2" OF CONCRETE TO MEET SLOPE REQUIREMENTS.
- S2: UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN LEVELS AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3: TEMPORARILY SHORE EXISTING PORCH AND REMOVE EXISTING CONCRETE. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND NAITED. MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4: EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE 4" OF 12" DIA. SECTION. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5: SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE 4" OF 12" DIA. SECTION. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6: POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR. REPAIR AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- S7: REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8: TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9: ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10: REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11: REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12: REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13: REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14: REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
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6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ARCHITECTURAL

- A1: REPAIR OR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. REMOVE EXISTING BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2: IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3: SOWING EXTERIOR WALL OR RETAINING WALL BRICK AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4: RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. REMOVE AND SHIP TO REPAIR OR RE-USE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5: LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6: WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED MATERIALS. REPAIR AND REFINISH TO MATCH EXISTING. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUB AND SHOWERS PER SPECIFICATIONS.
- A7: REPLACE EXISTING INTERIOR WINDOW SILL WITH 1/2" PRIME OF 6" X 6" WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8: SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9: EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10: DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, RICKSHAW, TREADS, AND RISERS. RISERS AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11: ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. REMOVE EXISTING SHORE FOR NEW STANDARD 2X4X12 BRIND FOOTING AND SHORING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12: EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AT APPLICABLE JOINT. DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13: CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14: UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB-FLOORING OR DRYWALL AT UNEVEN AREAS IF SURFACE LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15: ADD WATERPROOFING AT BASEMENT. SCOPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS. REFER TO SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16: SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17: CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18: NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1: NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2: EXISTING FIXTURE OR PIPING LEAKING AND LOOSE. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1: PROPRIETARY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2: REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3: INFLECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONDENSATION. ALL BARS TO BE INSTALLED. ISSUES AS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4: EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

DEMOLITION PLAN LEGEND

- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

PLAN NORTH

scale As Noted
 date May 6, 2022
 no. 8 of 55

GENERAL NOTE:
 AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLE OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING.

- GENERAL DEMOLITION NOTES**
1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
 4. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
 5. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
 8. COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
 10. ITEMS NOT LABELED OR KEYS FOR REMOVAL/ DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
 11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

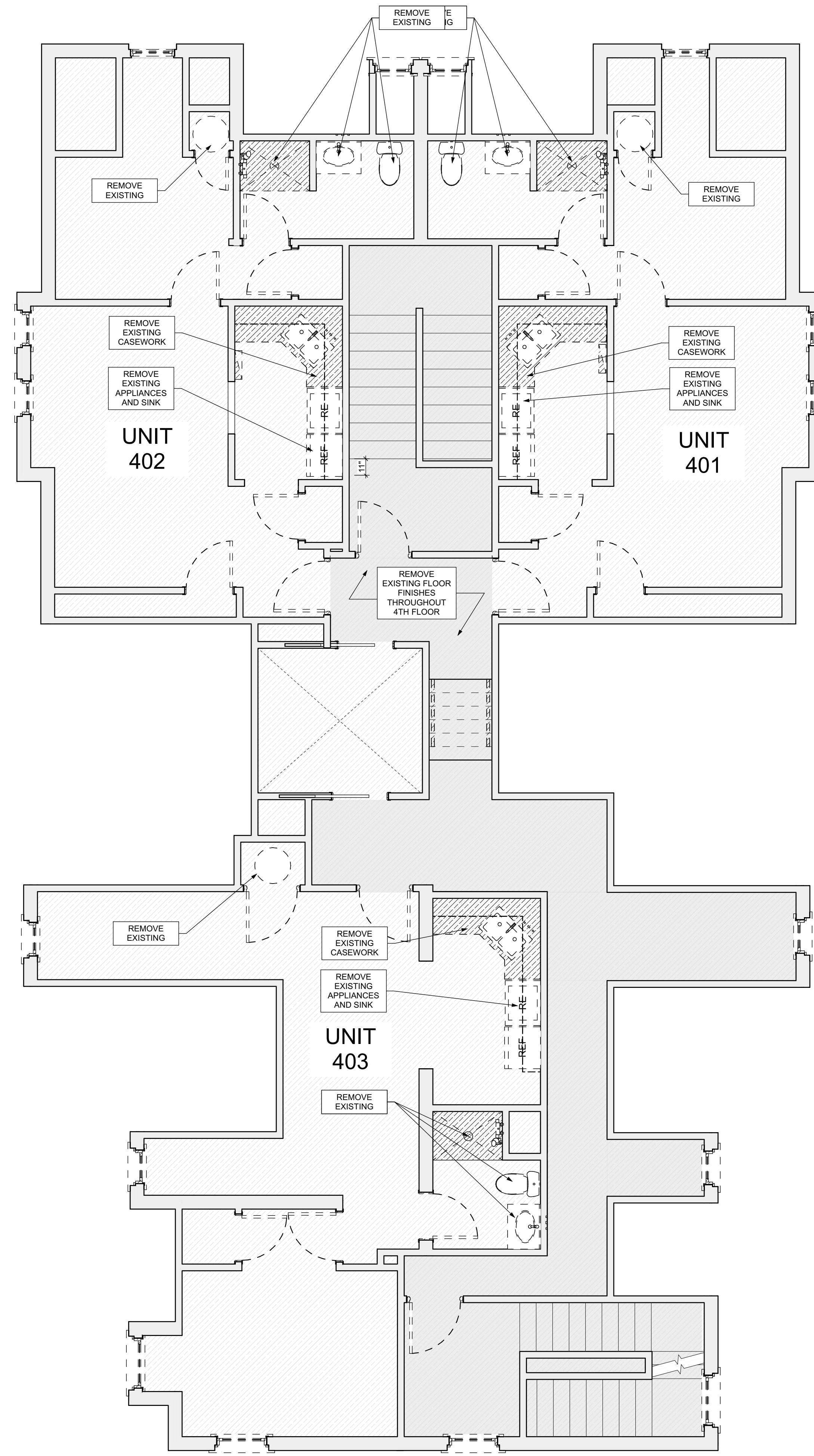
1 SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

2 THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

ISSUED FOR PERMIT: 05.06.2022



GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS, DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYS FOR REMOVAL/ DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

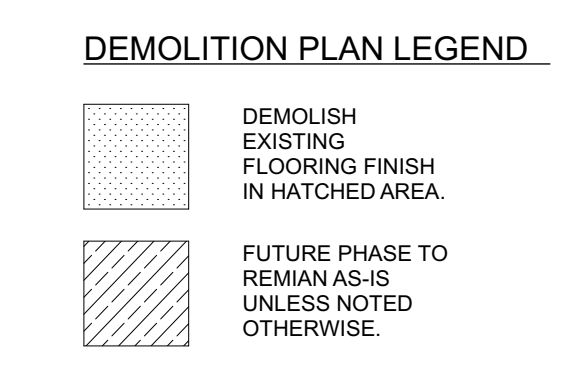
GENERAL NOTE:
 AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 1/4" CAS AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO FURNISH TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 1/4" REINFORCE TO BE PLACED TO MEET SLOPE REQUIREMENTS PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE CUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALLED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION TO MATCH EXISTING. PROVIDE 1/4" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE OR SEAL. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT FLOOR TO MATCH BROUIN IN NEAREST BLOCK. PROVIDE NEW PATCHING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BEYOND WINDOW WELL TO EXPOSE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- A1 REPAIR OR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 SOWING EXTERIOR WALL OR RETAINING WALL BRICK AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REMOVE OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR AND FINISH AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH A FINISHED CUT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL. PLASTER, PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR DEMAND. REMOVE AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, PICKERBOARD, TREADS, AND RISERS. RESEAL AND TRIM TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. REMOVE EXISTING FLOORING AND REPAIR AND FINISH AS REQUIRED. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR. CONT. AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB-FLOORING OR DRYWALL AT UNEVEN AREAS IF SUB-FLOORING LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONDENSATION. PROVIDE MORE DETAILS. ISSUES AS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.



- general notes**
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

FOURTH FLOOR / DEMO PLAN, SMALL UNIT KEYNOTES, GRAPHIC SCALES, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND

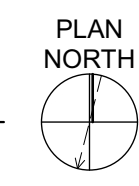
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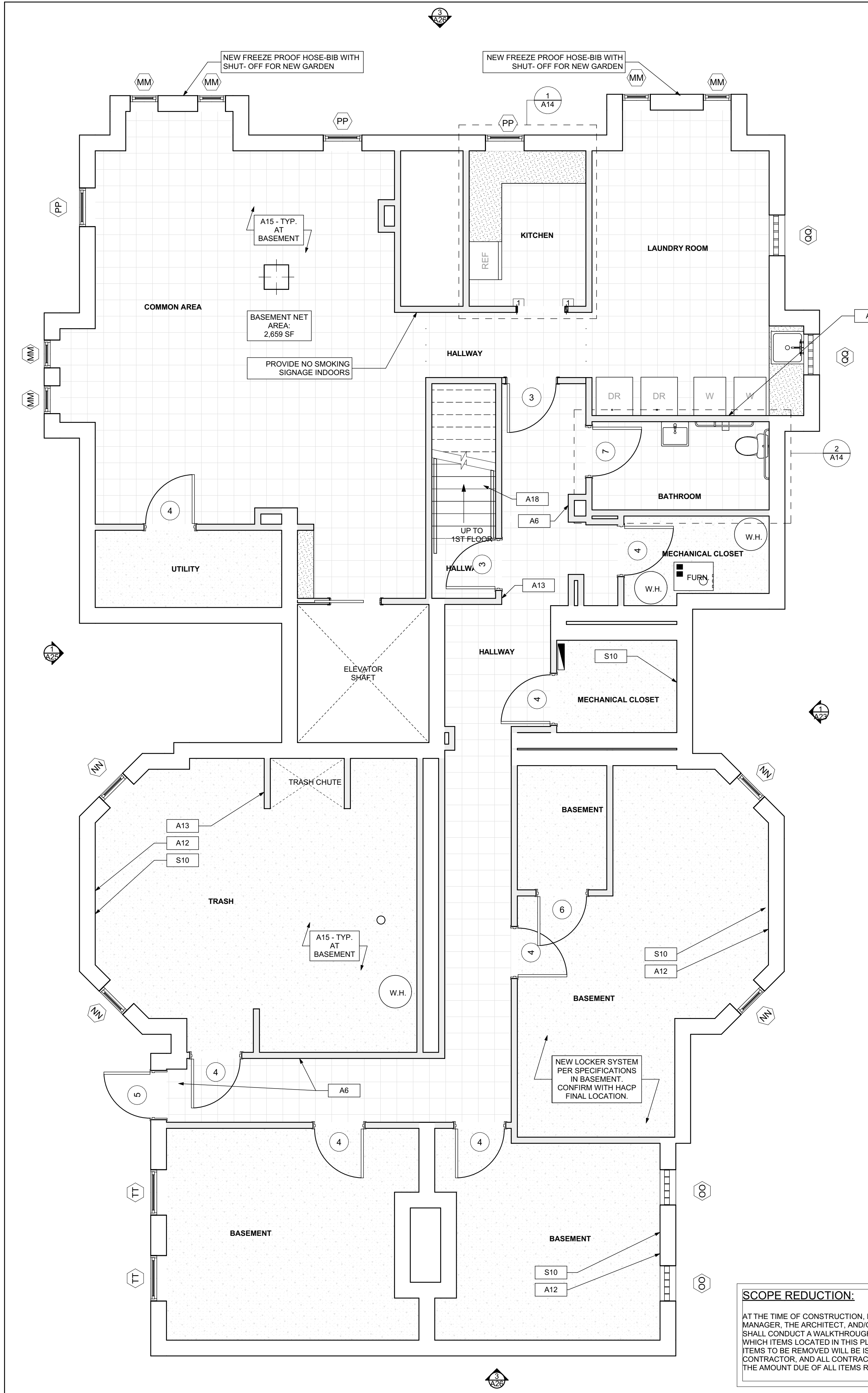
date
May 6, 2022

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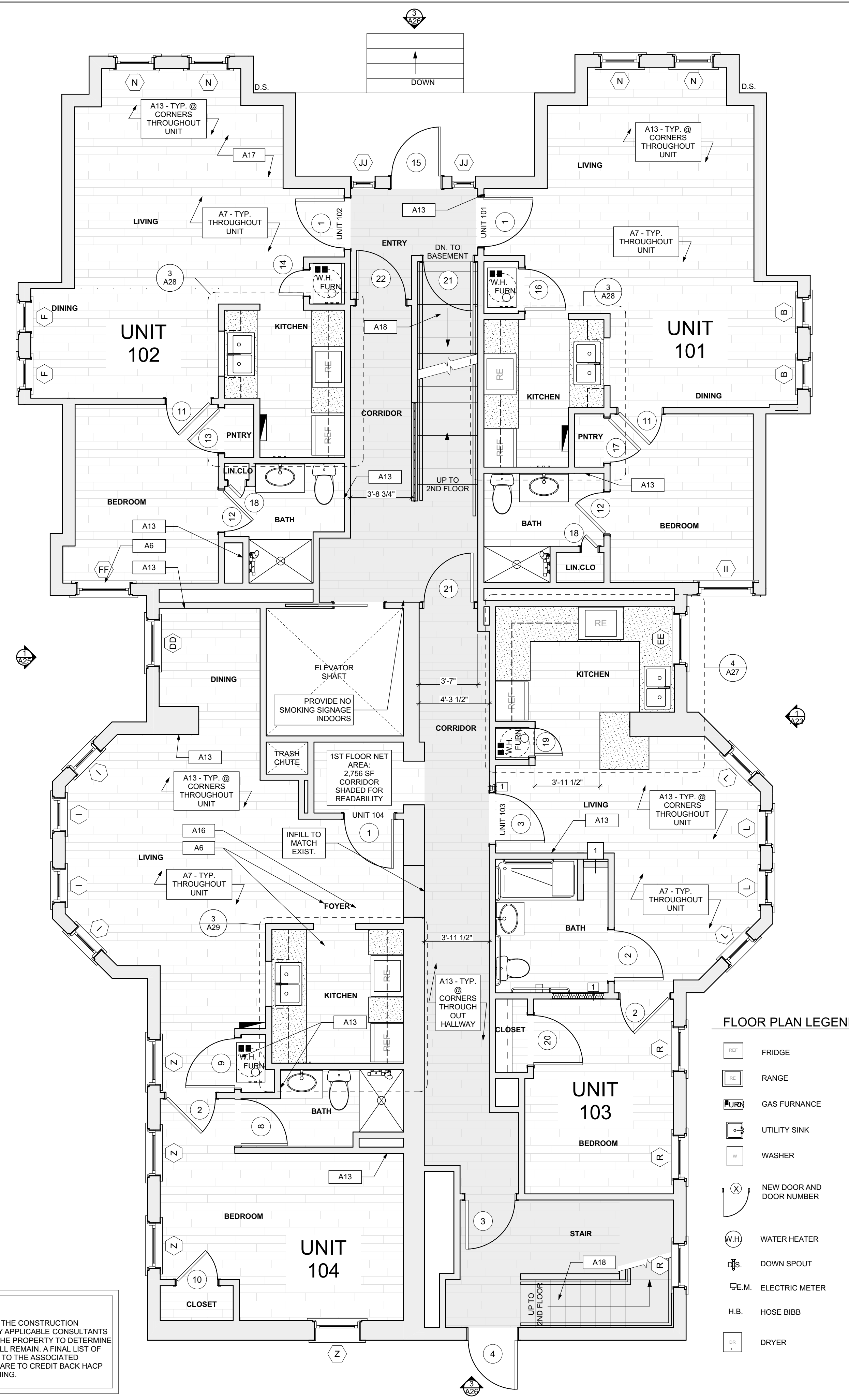
Sheet No.
A8
 Project #2006

1 FOURTH FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"





1 BASEMENT /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

SITE

S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 3/4" SAND AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 8" SLOPE TO UNBURIED VEGETATION PER SPECIFICATIONS.

S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.

S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE EXISTING FLOOR SUPPLY AND PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.

S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WVF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. SWAYES, OR SEAL. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WVF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.

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S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.

S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.

S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN ON WINDOW SILL 4" FROM EXISTING GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.

S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.

S13 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REPAIR ANY CRACKS AS NECESSARY.

S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

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A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.

A3 SOWING EXTERIOR WALL OR RETAINING WALL BRICK AND TIEBACK AS NECESSARY TO PLUMB WALL.

A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CORNER. REPLACE AS NECESSARY AND SHORE TO SPECIFICATIONS FOR DETAILS.

A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.

A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED SURFACE. REPAIR OR REPLACE WITH SHEETROCK AS NECESSARY AT WINDOWS OR HEADERS AS NECESSARY. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUBS AND SHOWERS PER SPECIFICATIONS.

A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1/2" PRINTER AT FLOOR WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY REFER TO SPECIFICATIONS FOR DETAILS.

A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.

A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.

A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, PICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. REMOVE EXISTING SLAB FOR NEW STANDARD 2X4X12 BRIM JOIST FOOTING AND BRACE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

A12 EFFLUESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLUESCENCE.

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A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBJ. EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, PICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALLS.

A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.

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P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.

M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.

M3 INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONFIRM ALL BATHS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.

M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

FLOOR PLAN LEGEND

[Symbol]	FRIDGE
[Symbol]	RANGE
[Symbol]	GAS FURNANCE
[Symbol]	UTILITY SINK
[Symbol]	WASHER
[Symbol]	NEW DOOR AND DOOR NUMBER
[Symbol]	WATER HEATER
[Symbol]	DOWN SPOUT
[Symbol]	ELECTRIC METER
[Symbol]	HOSE BIBB
[Symbol]	DRYER

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 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
- revisions**

ISSUED FOR PERMIT: 05.06.2022

project title

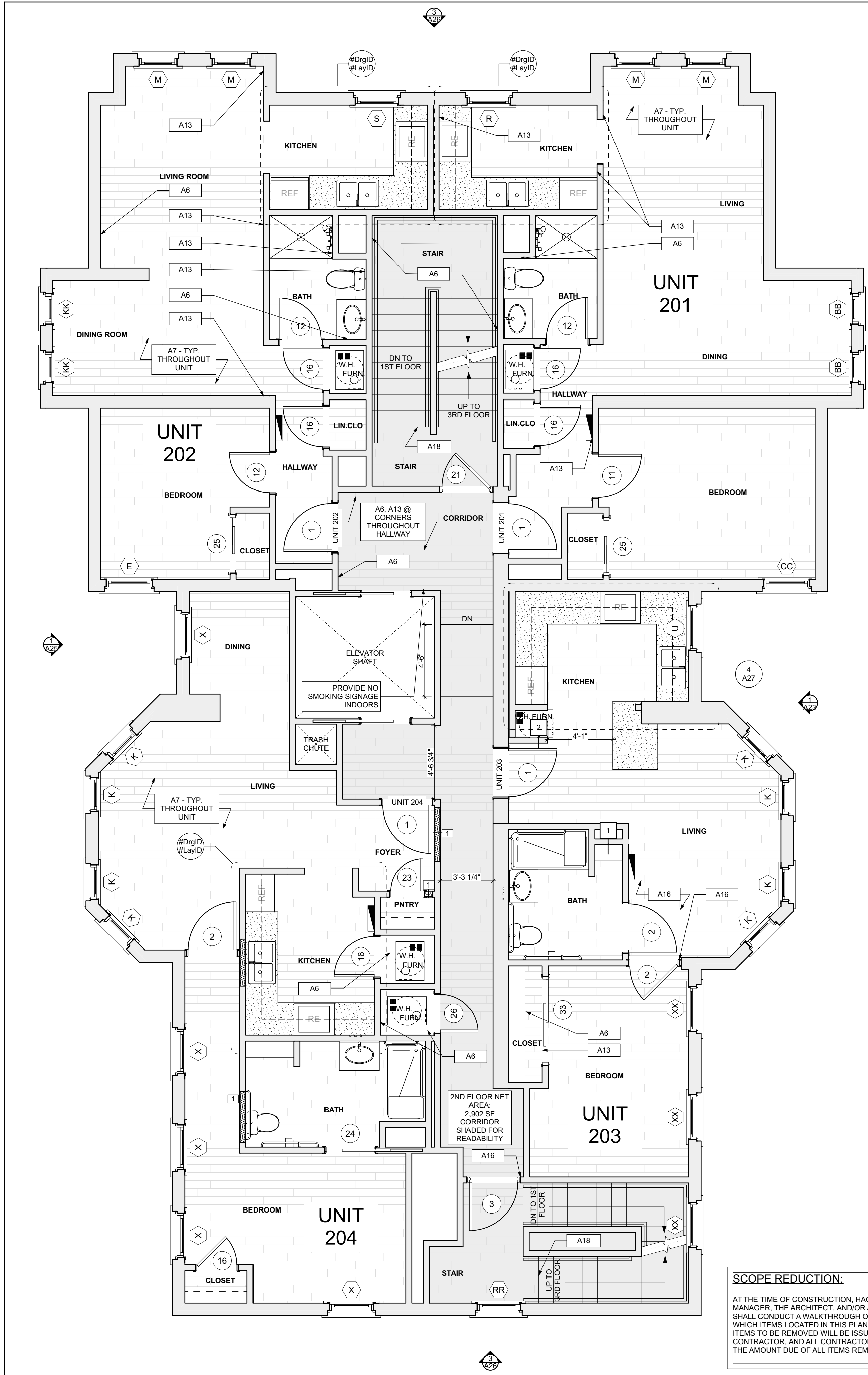
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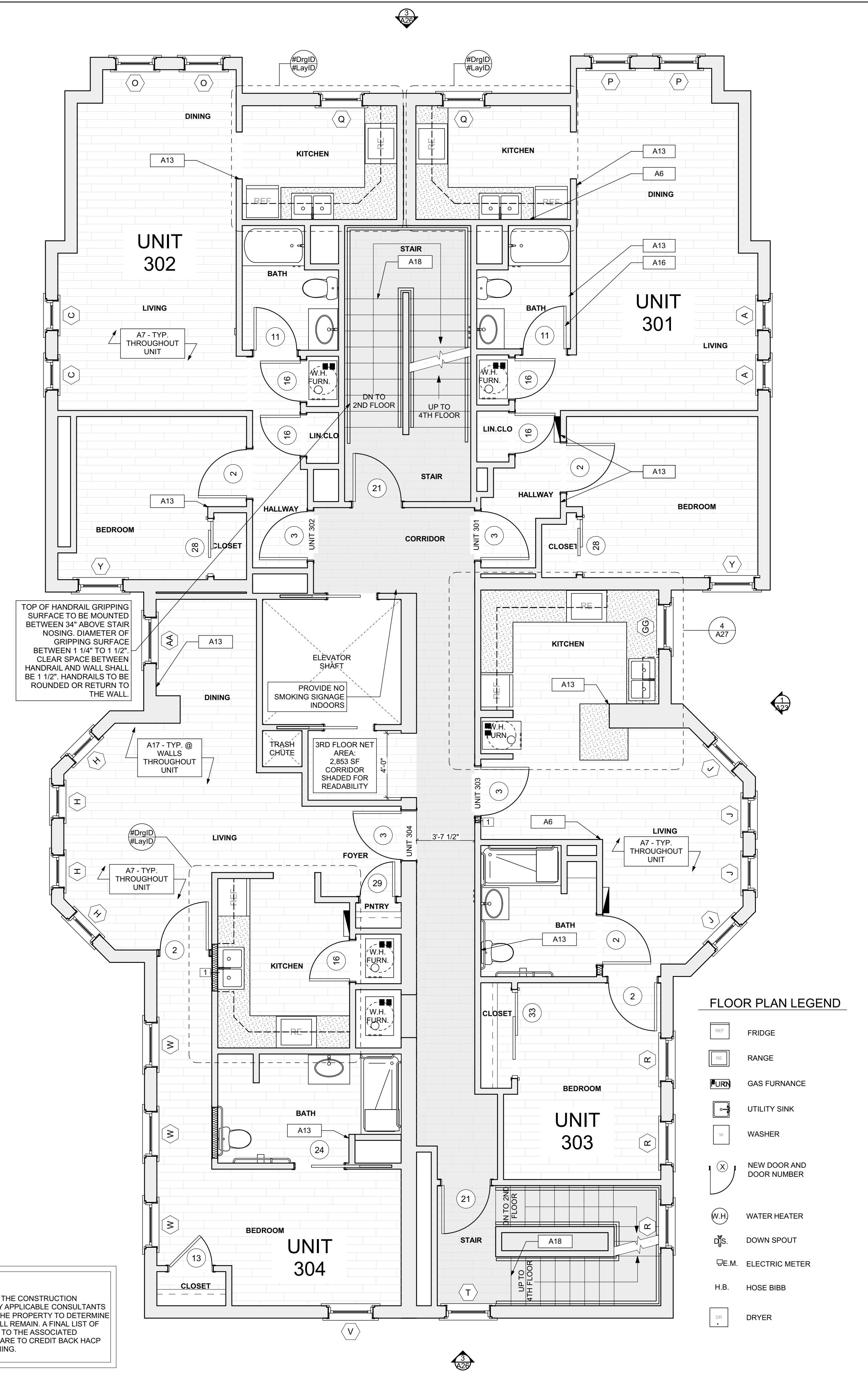
drawing title

**BASEMENT /FINISH/MECH./PLUMB. PLAN,
 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN,
 FLOOR PLAN LEGEND, SMALL
 UNIT KEYNOTES, GRAPHIC
 SCALES**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	10	A9
of.	55	
		Project #2006



1 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 2" GAS AND REINFORCE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO FORM TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 8" W/ REINFORCE TO BURRED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STAIRS AND WALKWAYS. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE EXISTING 2" x 4" PLUMS SUPPORT. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE W/WT. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE W/WT. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAYED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

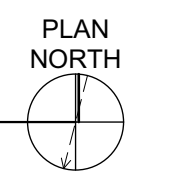
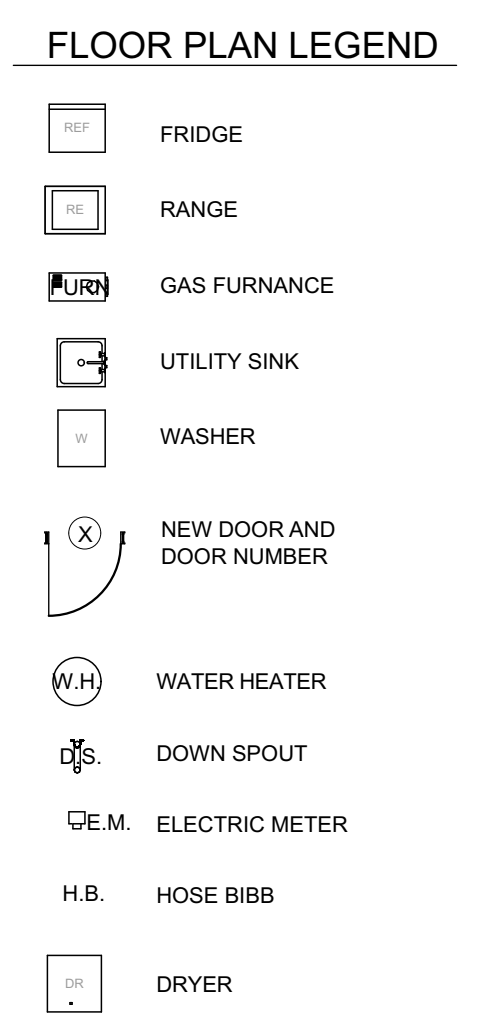
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- A1 REPAIR OR TEROBORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 SOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO STABILIZE. REPAIR AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED CEILING. REPAIR OR REPLACE WITH NEW DRYWALL. REPAIR OR REPLACE WITH NEW WOOD STAR WITH WOOD STRINGERS, NICKERBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH W/ PRINTER AT FLOOR WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPAIRING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAR WITH WOOD STRINGERS, NICKERBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. PROVIDE NEW FOOTING AND BRACE AS NECESSARY. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AT APPLICABLE POINT. DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF SURFACE LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCOPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALLS.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
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 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTACT ALL BUILDING DEPARTMENT ISSUES AS TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FURNITURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATION.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
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- revisions**

ISSUED FOR PERMIT: 05.06.2022

project title

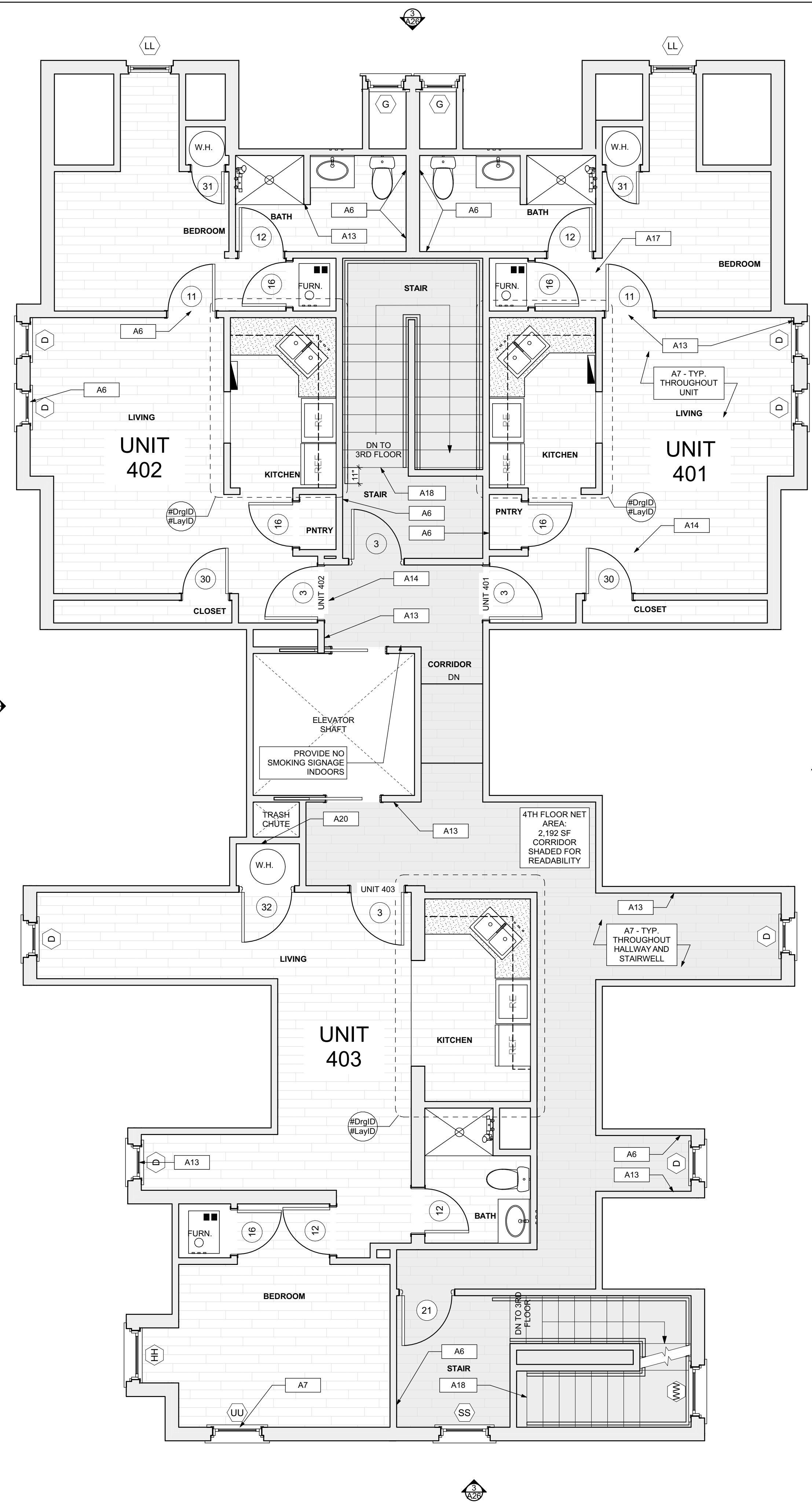
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SECOND FLOOR /FINISH/MECH./PLUMB. PLAN, THIRD FLOOR /FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale As Noted
 date May 6, 2022
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 Project #2006



SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 2" OF GRANULAR FILL, PROVIDE 1" OF TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO FURNISH TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 4" SLOPE TO EXISTING GRADE. SEE SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
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 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. PROVIDE 1" COMPACTED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE 4" GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. SAWCUT AND REMOVE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. PROVIDE 1" COMPACTED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE 4" GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
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ROOF

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- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR AND FINISH SURFACE AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUB AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH NEW PAINTED FRAMED WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPAIRING. REPAIR AND SEAL, IF NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS.
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- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. REFER TO SPECIFICATIONS FOR NEW STANDARD 2X2X7 SPREAD FOOTING AND ANCHOR BOLT. REFER TO SPECIFICATIONS FOR DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
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PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

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MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONDENSED ON ALL BASEMENTS TO WITH RESISTIVE BARRIER. ALL BASEMENTS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

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5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

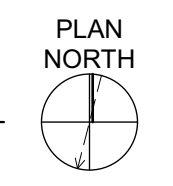
Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

FOURTH FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

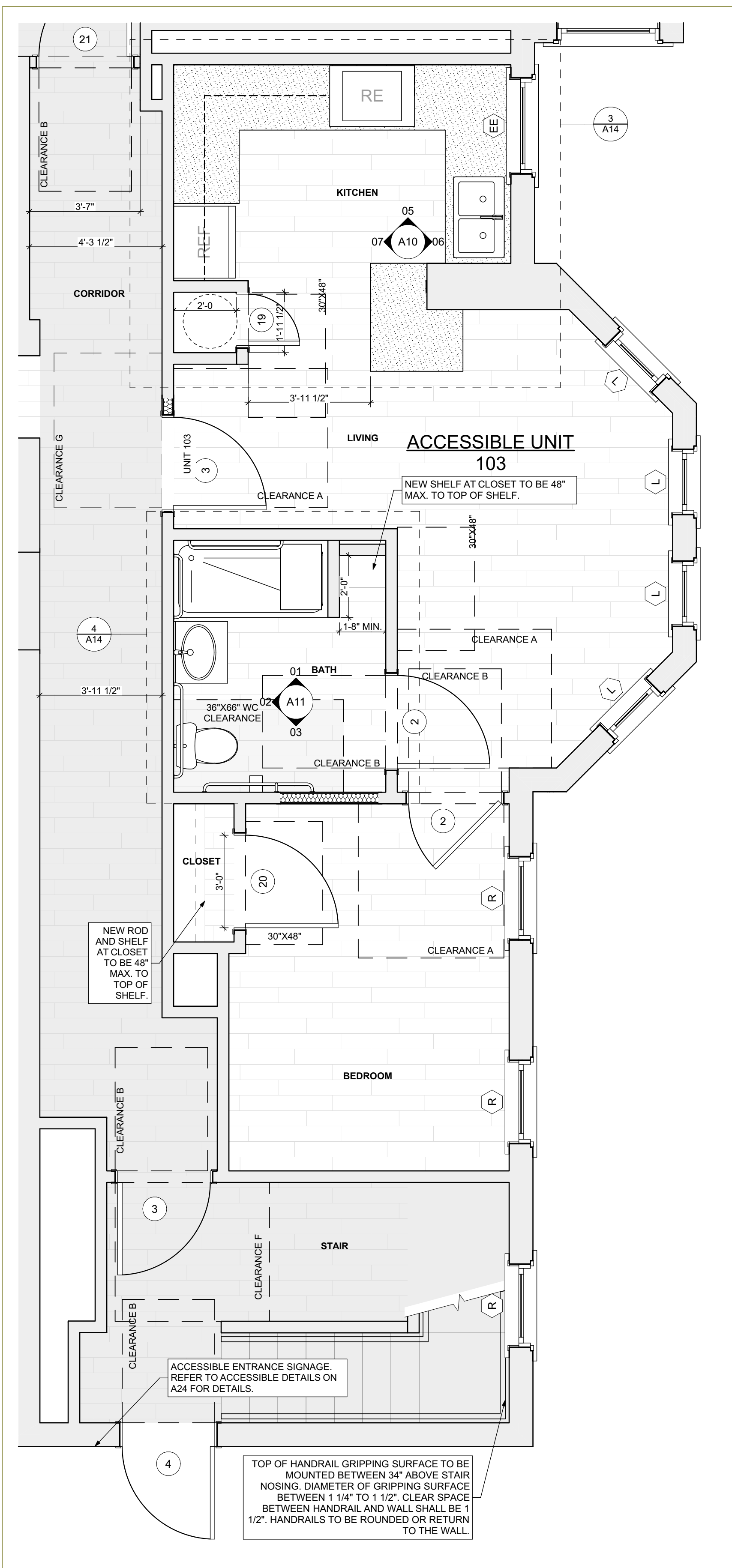
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of.	55	
		Project #2006

1 FOURTH FLOOR/FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"
 0 1' 2' 4' 8'



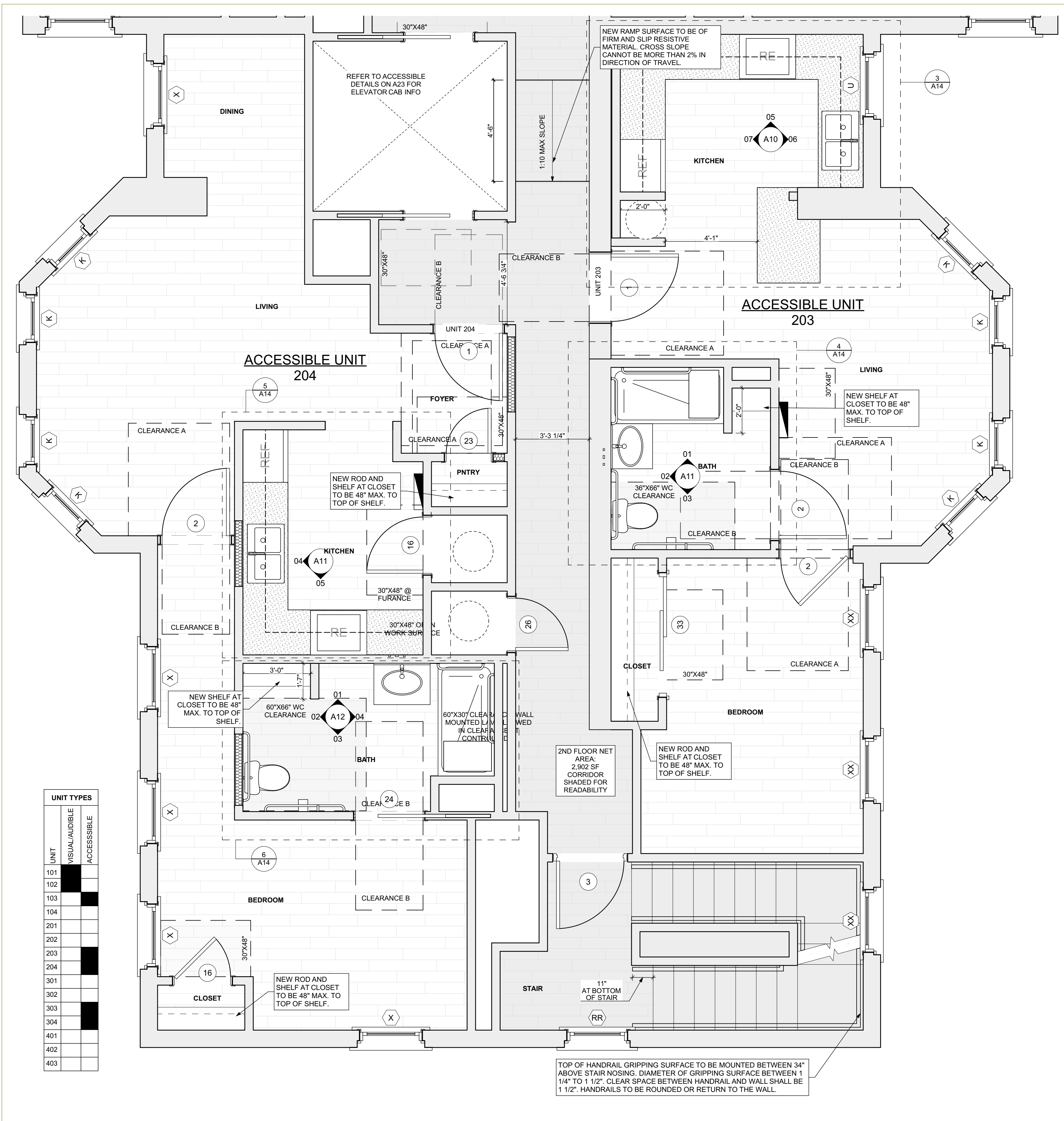
ACCESSIBLE NOTES

1. A 30"x48" CLEAR SPACE MUST BE PROVIDED FOR ALL EQUIPMENT INCLUDING THERMOSTATS, ELECTRIC PANELS, AND LIGHT SWITCHES.
2. ALL EQUIPMENT TO BE WITHIN REACH RANGE BETWEEN 15'-48" A.F.F. INCLUDING SWITCHES, OUTLETS, AND PANELS.
3. ALL ACCESSIBLE DOORS TO BE LEVER OR PUSH/PULL. NO TIGHT GRASPING OR TWISTING SHALL BE REQUIRED TO OPERATE.
4. MOUNTING HEIGHT OF DOOR KNOBS AND COMMON USE DEADBOLTS TO BE NO HIGHER THAN 48" A.F.F.
5. INTERIOR DOORS TO HAVE AN OPENING FORCE OF NO GREATER THAN 5 POUNDS.
6. ALL NON-SLIDING EXTERIOR DOORS TO HAVE A BEVELED THRESHOLD NO HIGHER THAN 3/4".
7. ALL FAUCETS TO BE ABLE TO BE OPERATED WITH ONE HAND.
8. FIXED AND HANDHELD SHOWER HEAD WITH A 60" MIN. HOSE. OPERATION MUST BE CAPABLE WITH ONE HAND AND SHOULD NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST. LOCATED BELOW THE GRAB BAR AND BETWEEN THE OPEN SIDE AND CENTERLINE OF THE TUB.
9. HOT WATER SUPPLY TO NOT EXCEED 120 DEGREES FAHRENHEIT PER A117.1 607.8
10. CONFIRM LOCATION OF TOWEL BAR WITH OWNER. TOWEL BAR NOT TO BE MOUNTED HIGHER THAN 48" TO TOP OF BAR.
11. CABINET OPERATION PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERATION SHALL BE 5 POUNDS OR LESS.



1 FIRST FLOOR / ACCESSIBLE PLAN

SCALE: 3/8" = 1'-0"
0 6" 1' 2' 4'



2 FIRST FLOOR / ACCESSIBLE PLAN

SCALE: 3/8" = 1'-0"
0 6" 1' 2' 4'

UNIT	VISUAL/AUDIBLE	ACCESSIBLE
101		
102		
103		
104		
201		
202		
203		
204		
301		
302		
303		
304		
401		
402		
403		

seal

general notes

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revisions

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project title

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PITTSBURGH, PA 15219

Project Location:
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**FIRST FLOOR / ACCESSIBLE
PLAN, GRAPHIC SCALES,
ACCESSIBLE NOTES**

scale
As Noted

date
May 6, 2022

no. 13 of 55

Sheet No.

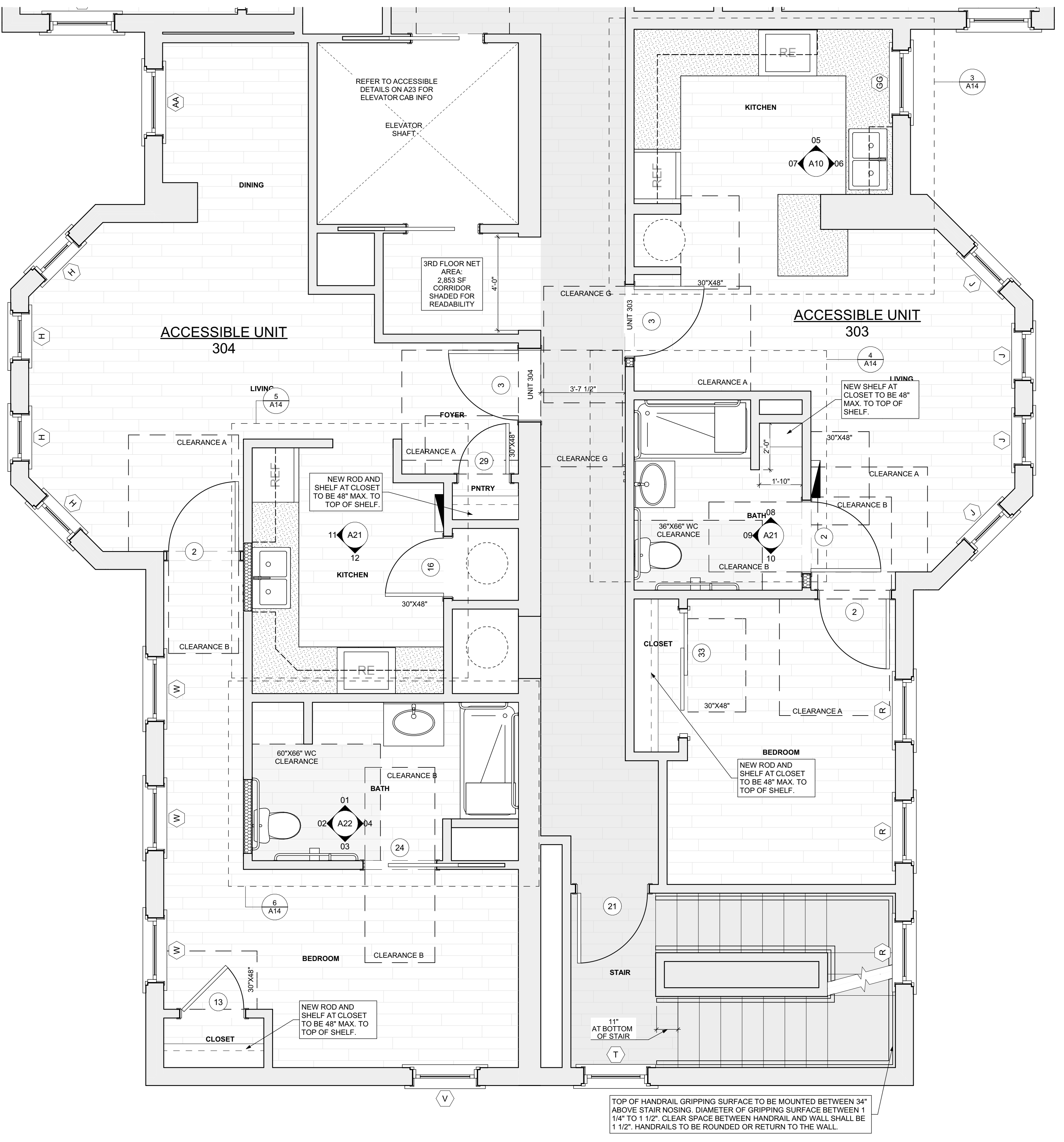
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Project #2006

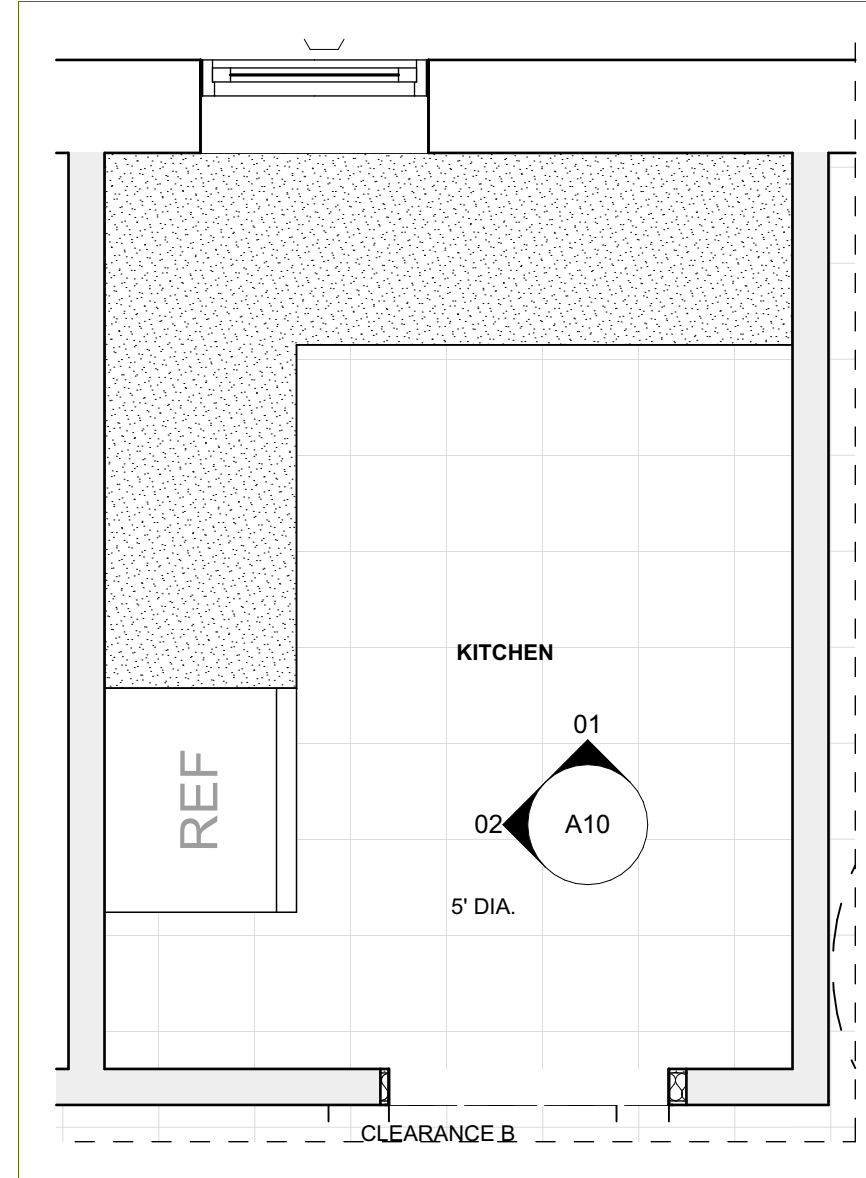
UNIT	VISUAL/AUDIBLE	ACCESSIBLE
101		
102		
103		
104		
201		
202		
203		
204		
301		
302		
303		
304		
401		
402		
403		

ACCESSIBLE NOTES

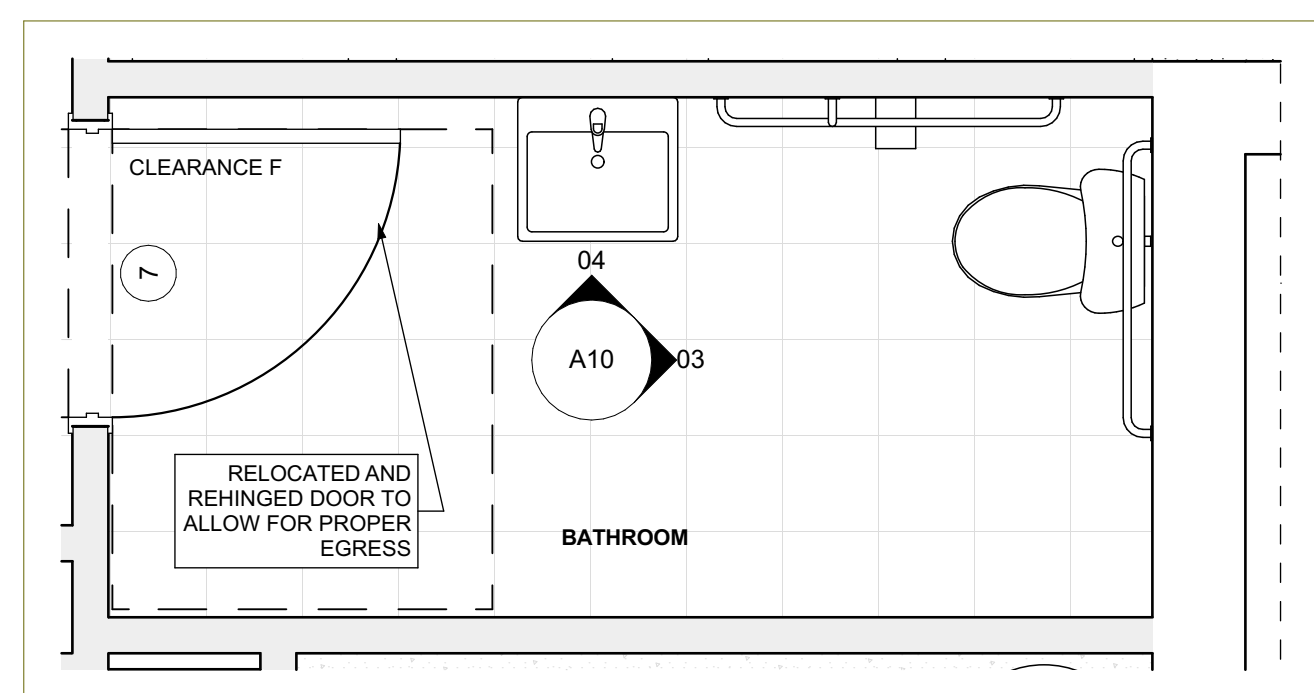
1. A 30"x48" CLEAR SPACE MUST BE PROVIDED FOR ALL EQUIPMENT INCLUDING THERMOSTATS, ELECTRIC PANELS, AND LIGHT SWITCHES.
2. ALL EQUIPMENT TO BE WITHIN REACH RANGE BETWEEN 15"-48" A.F.F. INCLUDING SWITCHES, OUTLETS, AND PANELS.
3. ALL ACCESSIBLE DOORS TO BE LEVER OR PUSH/PULL. NO TIGHT GRASPING OR TWISTING SHALL BE REQUIRED TO OPERATE.
4. MOUNTING HEIGHT OF DOOR KNOBS AND COMMON USE DEADBOLTS TO BE NO HIGHER THAN 48" A.F.F.
5. INTERIOR DOORS TO HAVE AN OPENING FORCE OF NO GREATER THAN 5 POUNDS.
6. ALL NON-SLIDING EXTERIOR DOORS TO HAVE A BEVELED THRESHOLD NO HIGHER THAN 3/4".
- 7.
- 8.



1 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/8" = 1'-0"



3 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 1/2" = 1'-0"



2 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 1/2" = 1'-0"

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

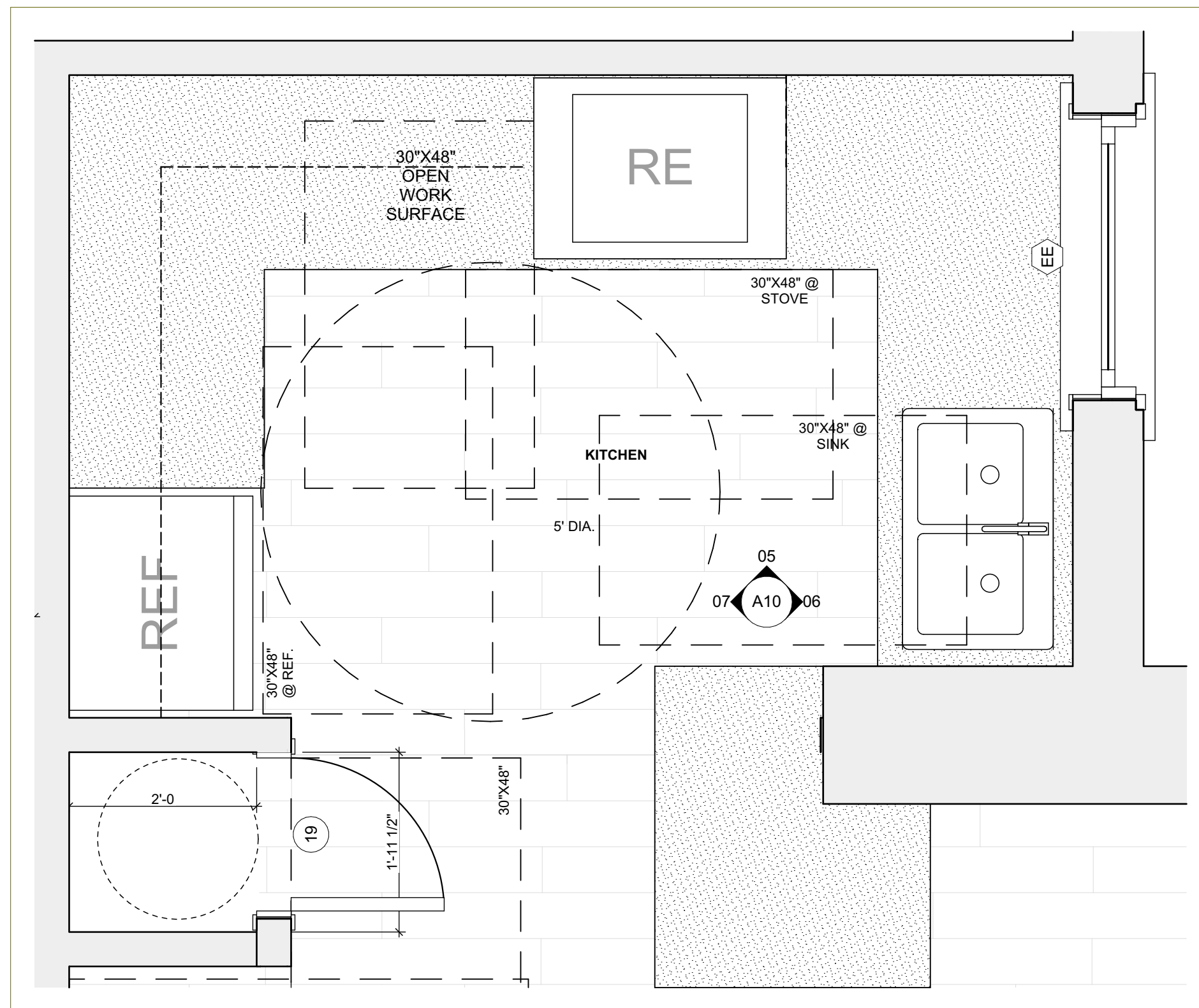
Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

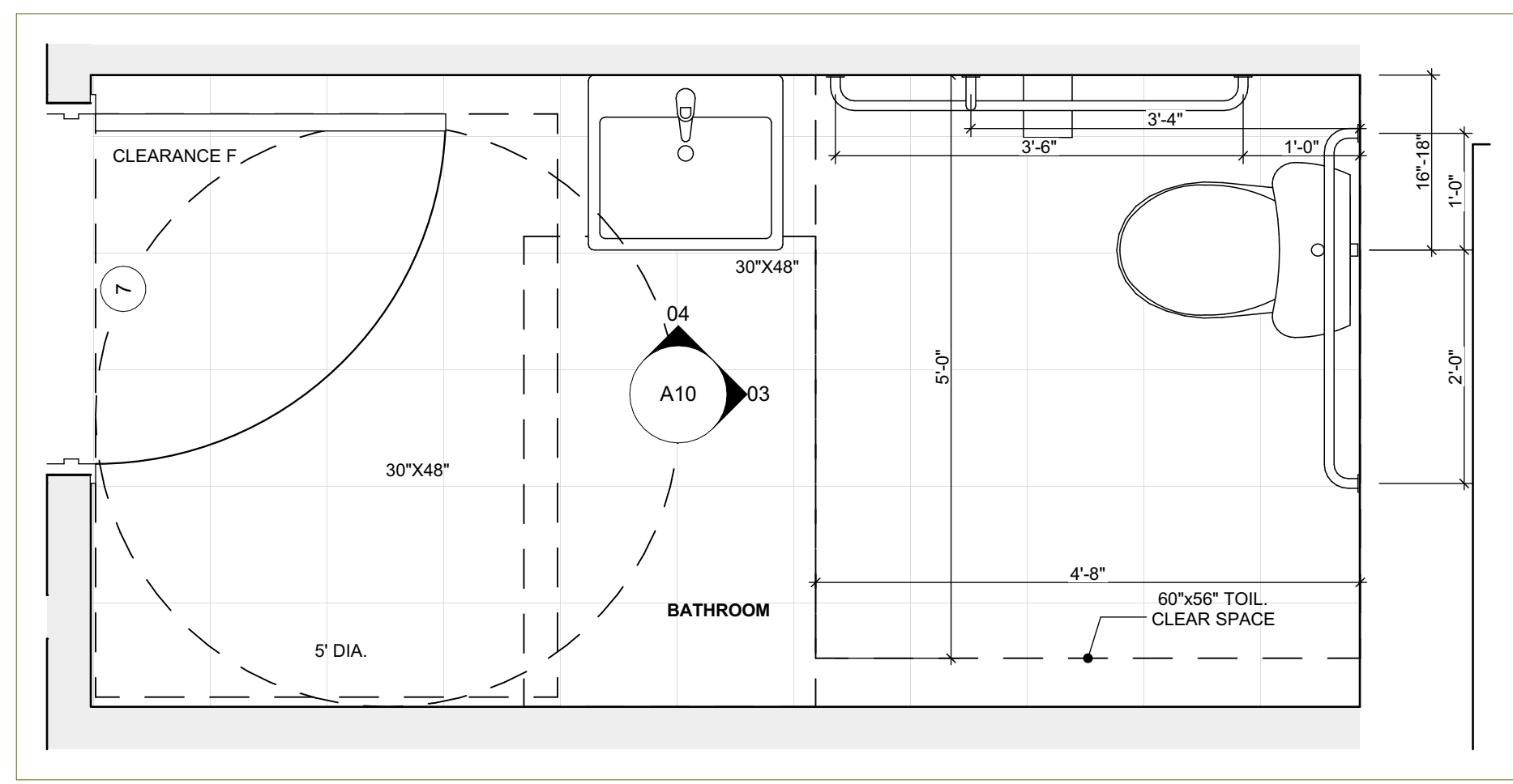
FIRST FLOOR / ACCESSIBLE
PLAN, ACCESSIBLE NOTES,
GRAPHIC SCALES

scale	As Noted
date	May 6, 2022
no.	14
of.	55

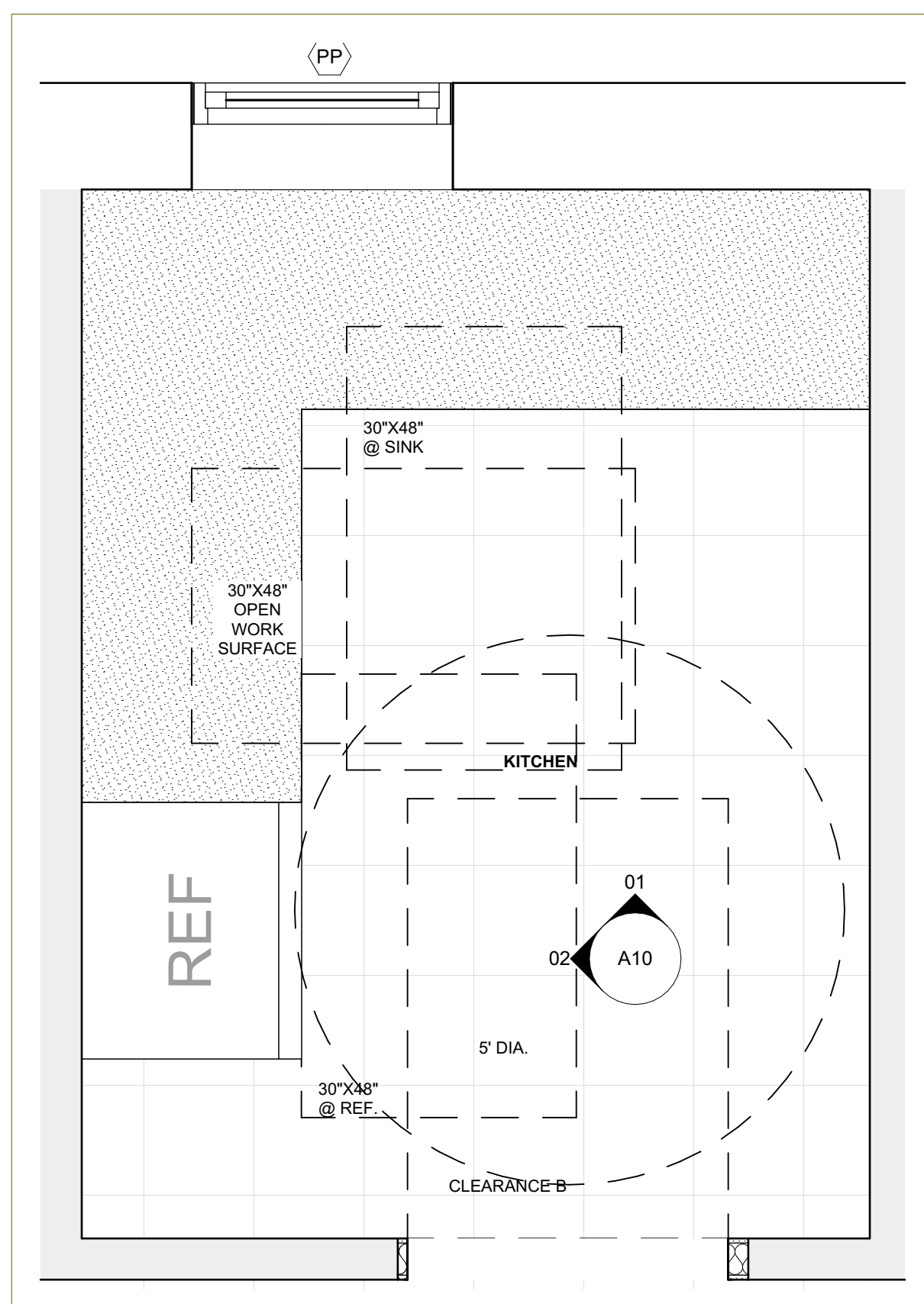
Sheet No.	A13
Project #	#2006



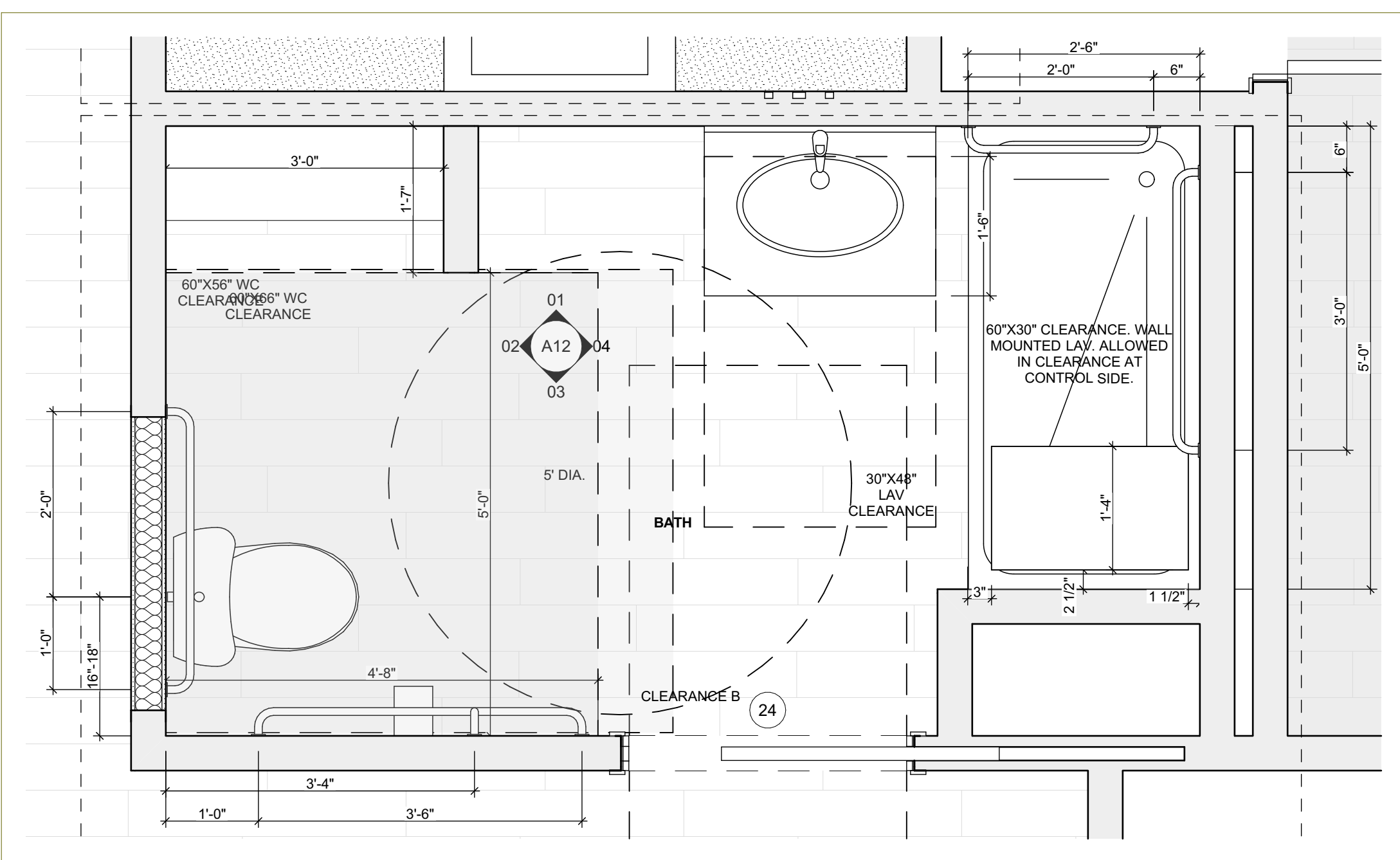
3 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"



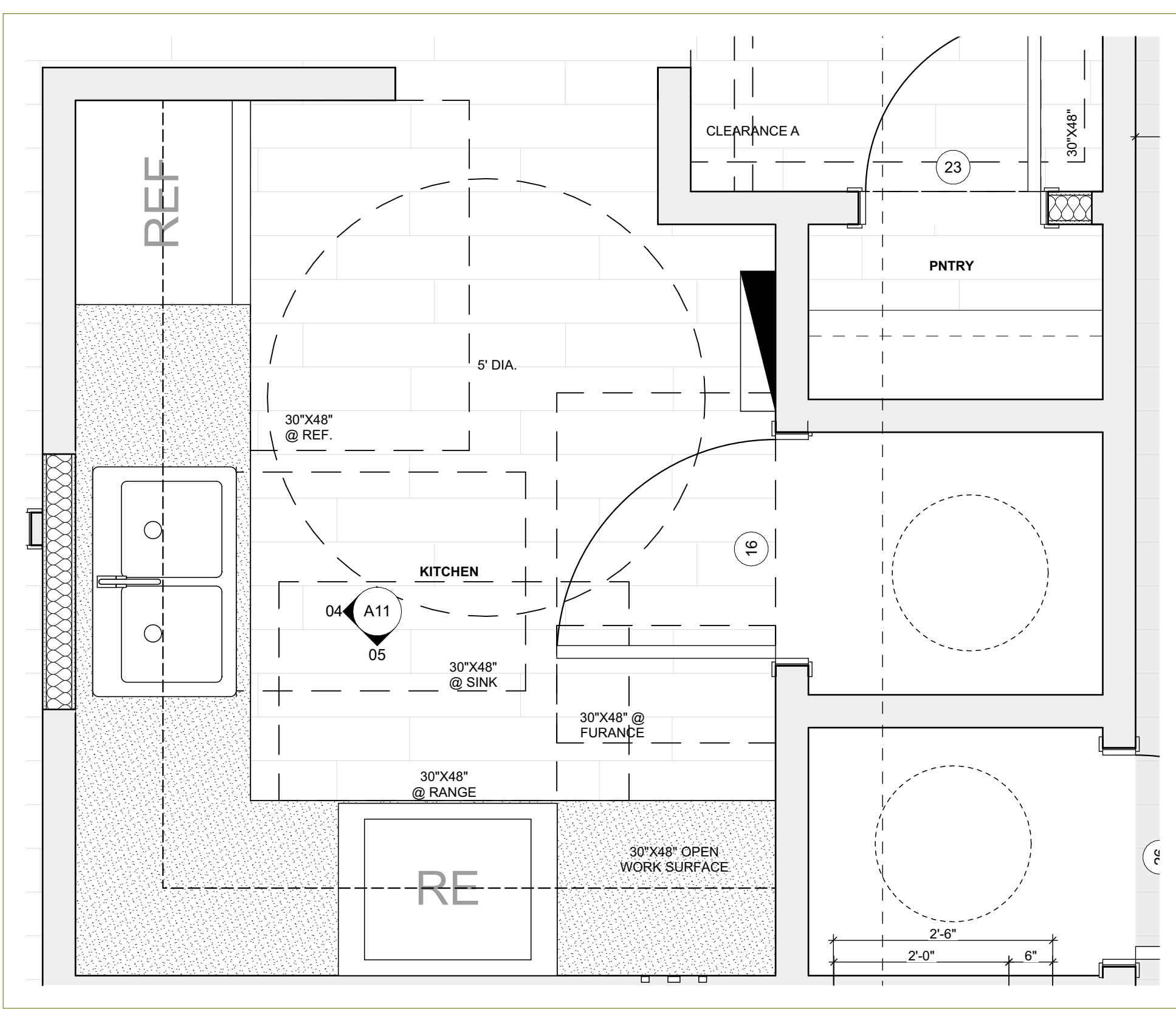
2 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"



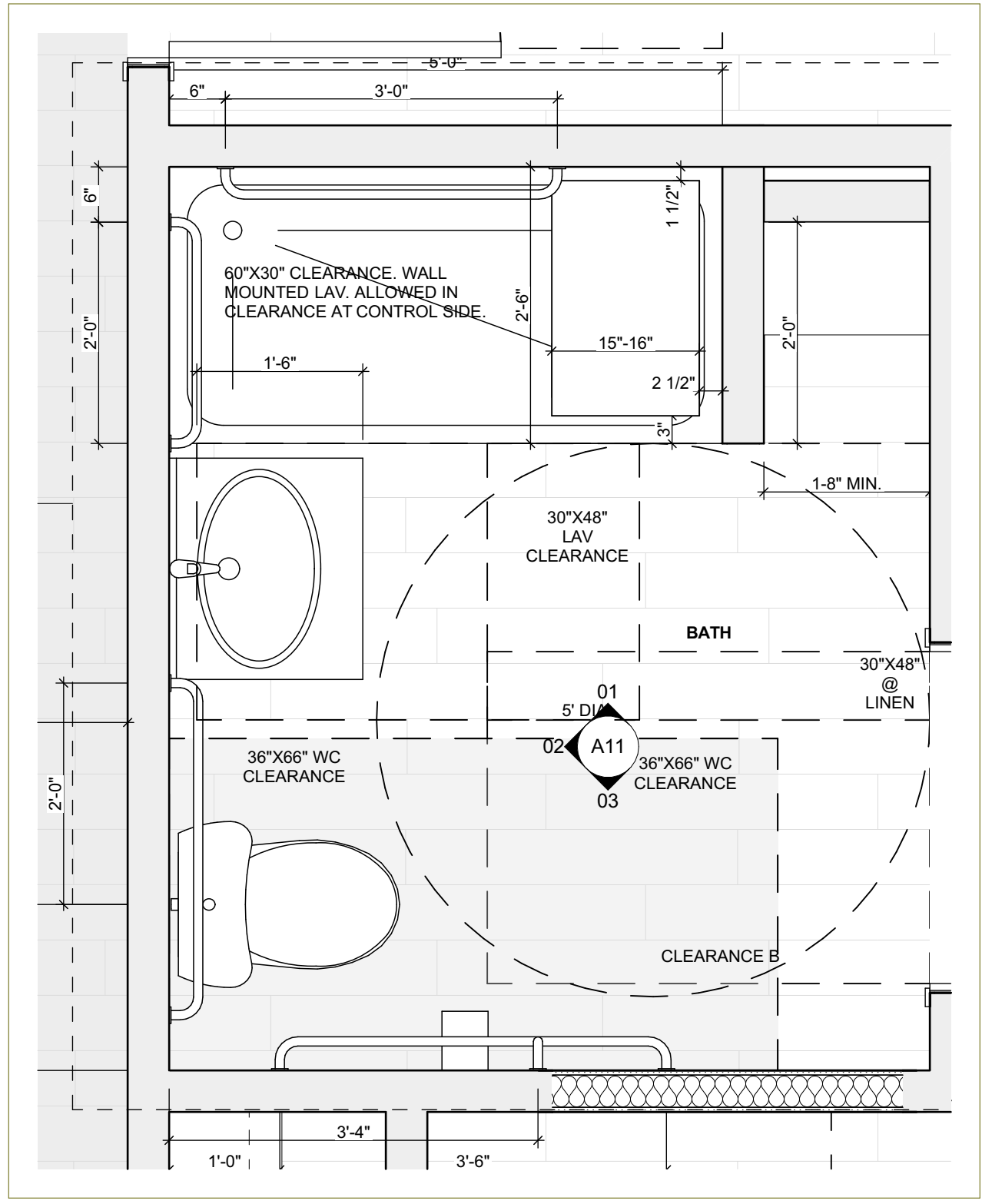
1 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"



6 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"



5 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"



4 FIRST FLOOR / ACCESSIBLE PLAN
SCALE: 3/4" = 1'-0"

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

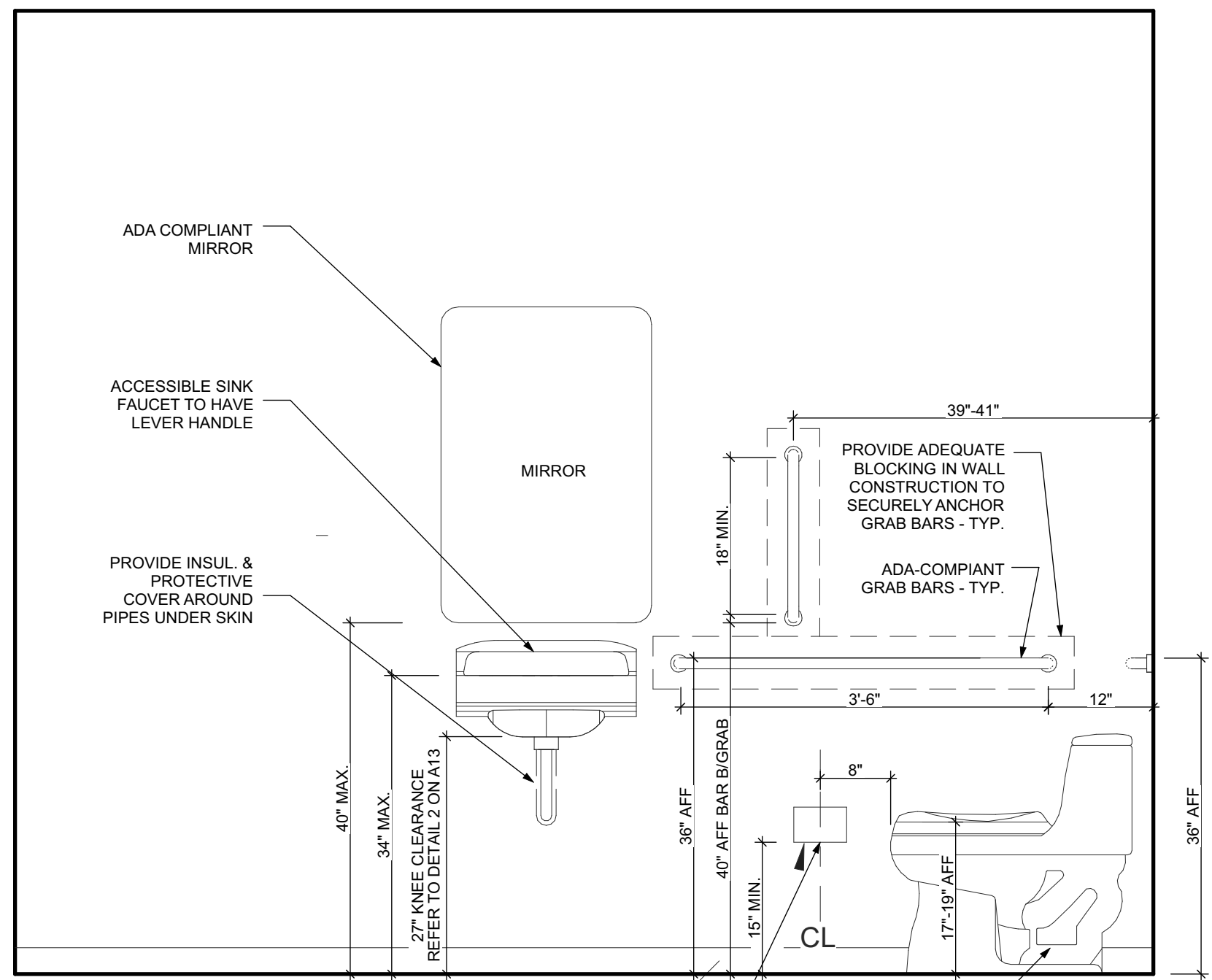
Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

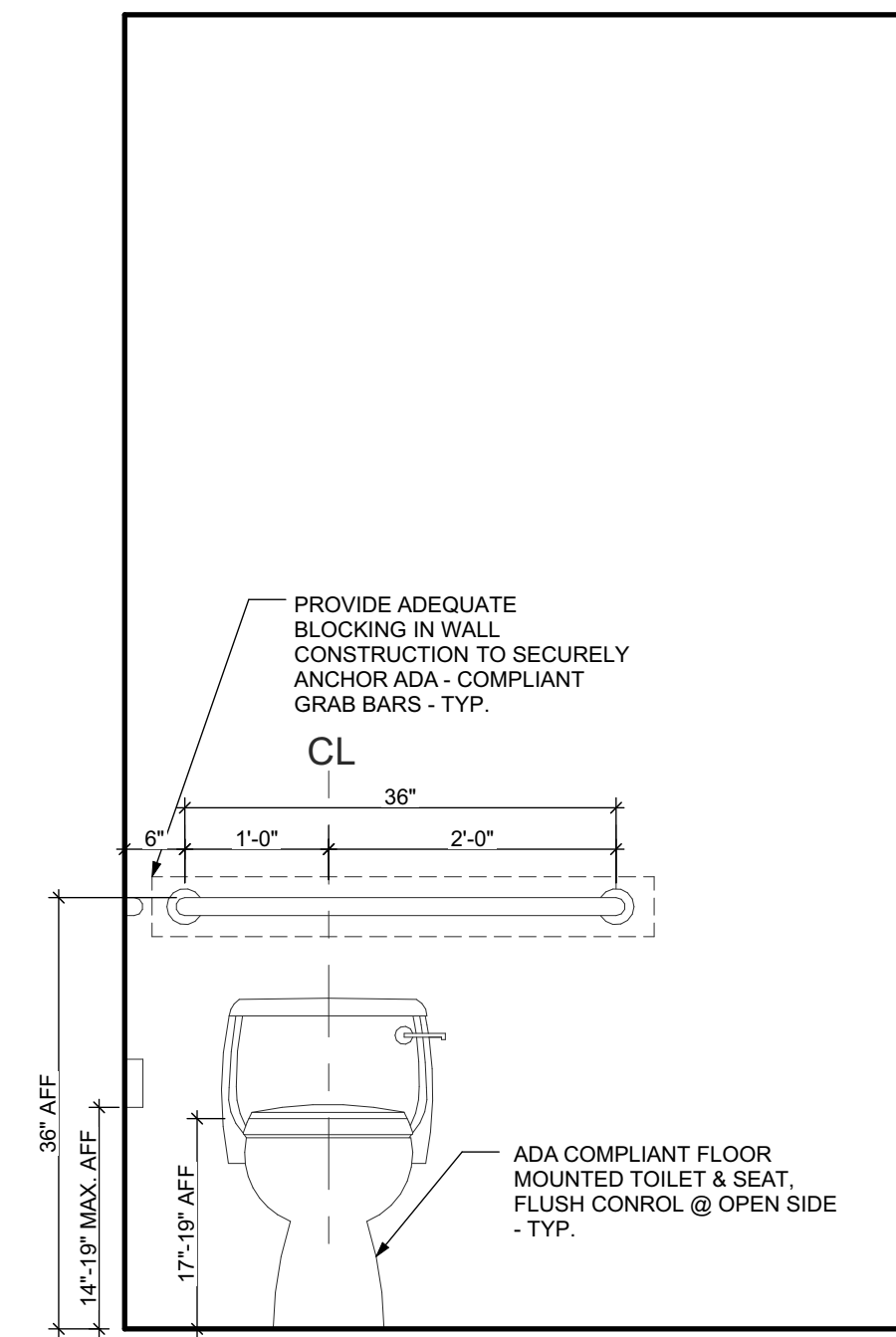
FIRST FLOOR / ACCESSIBLE PLAN

scale	As Noted
date	May 6, 2022
no.	15
of.	55

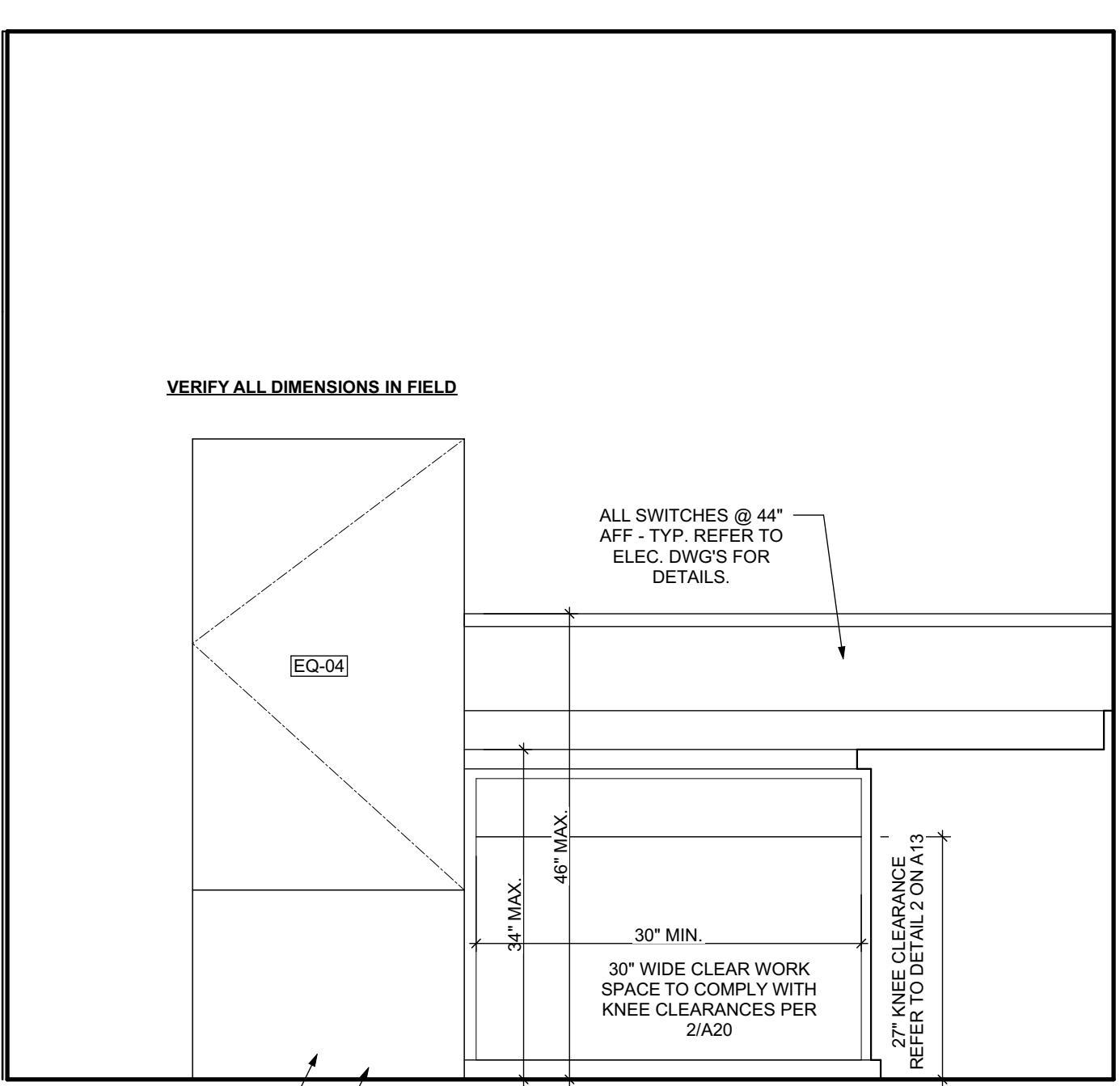
Sheet No.	A14
Project #	#2006



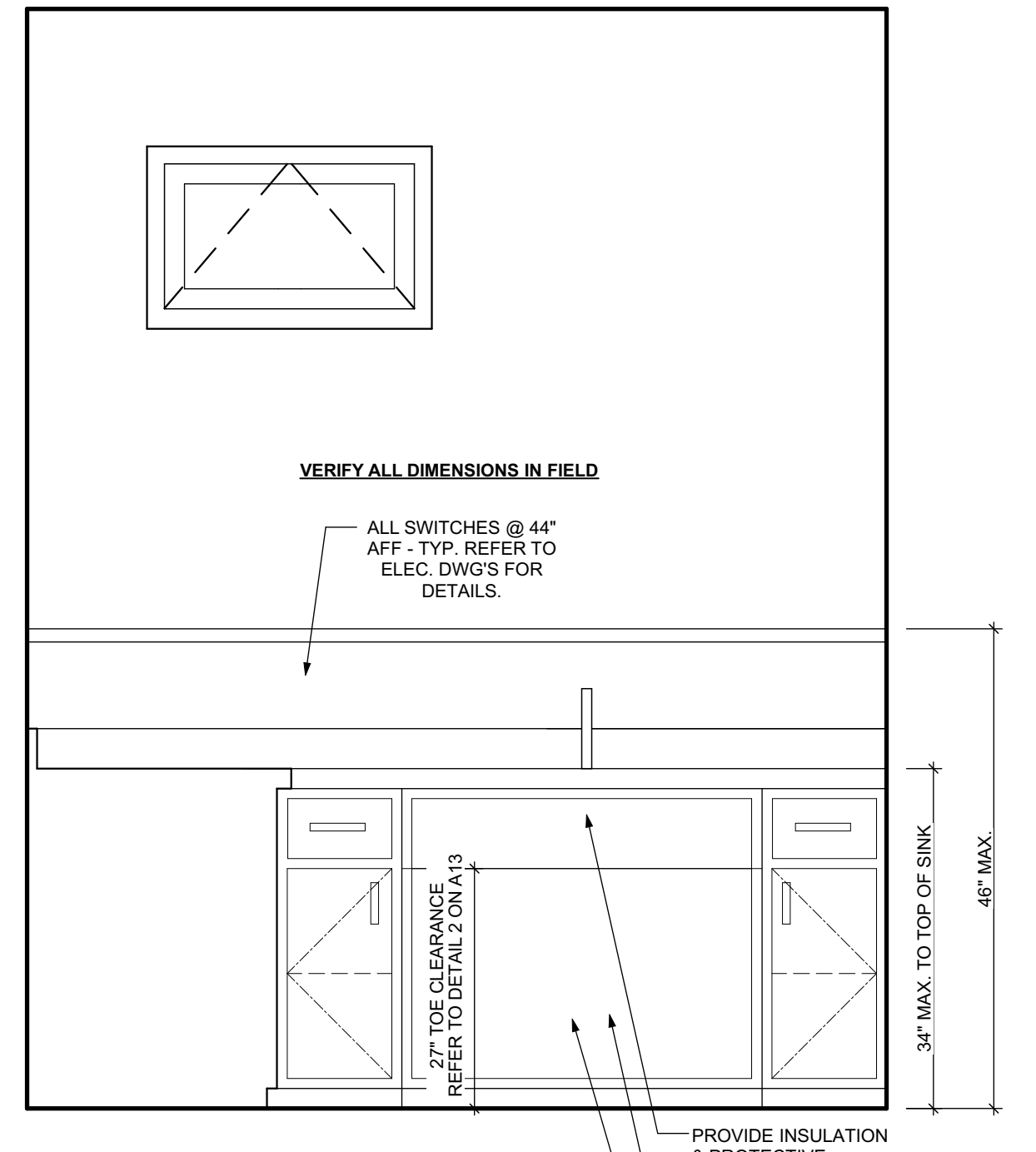
4 COMMON TOILET ROOM ELEVATION 2
SCALE: 3/4" = 1'-0"



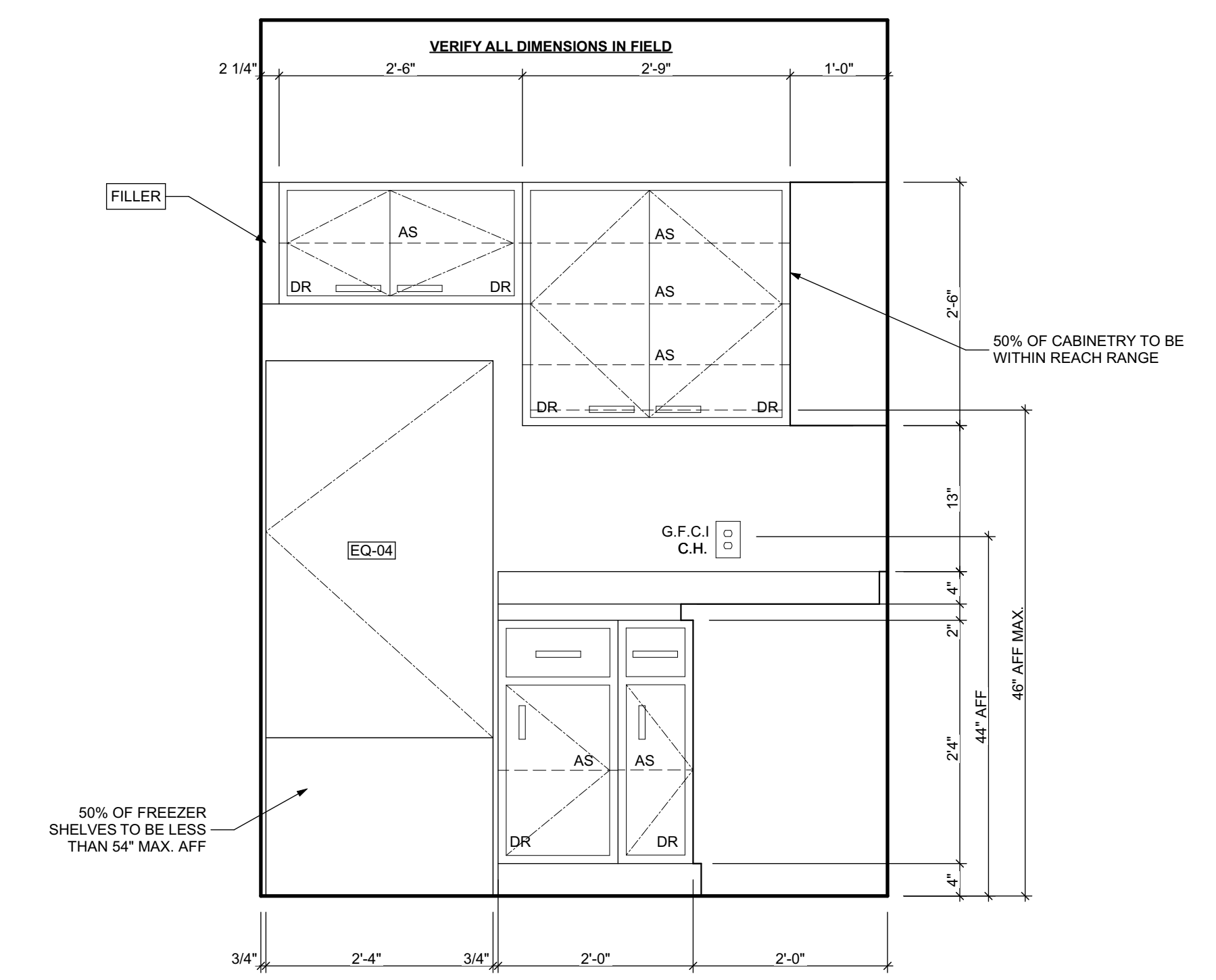
3 COMMON TOILET ROOM ELEVATION 1
SCALE: 3/4" = 1'-0"



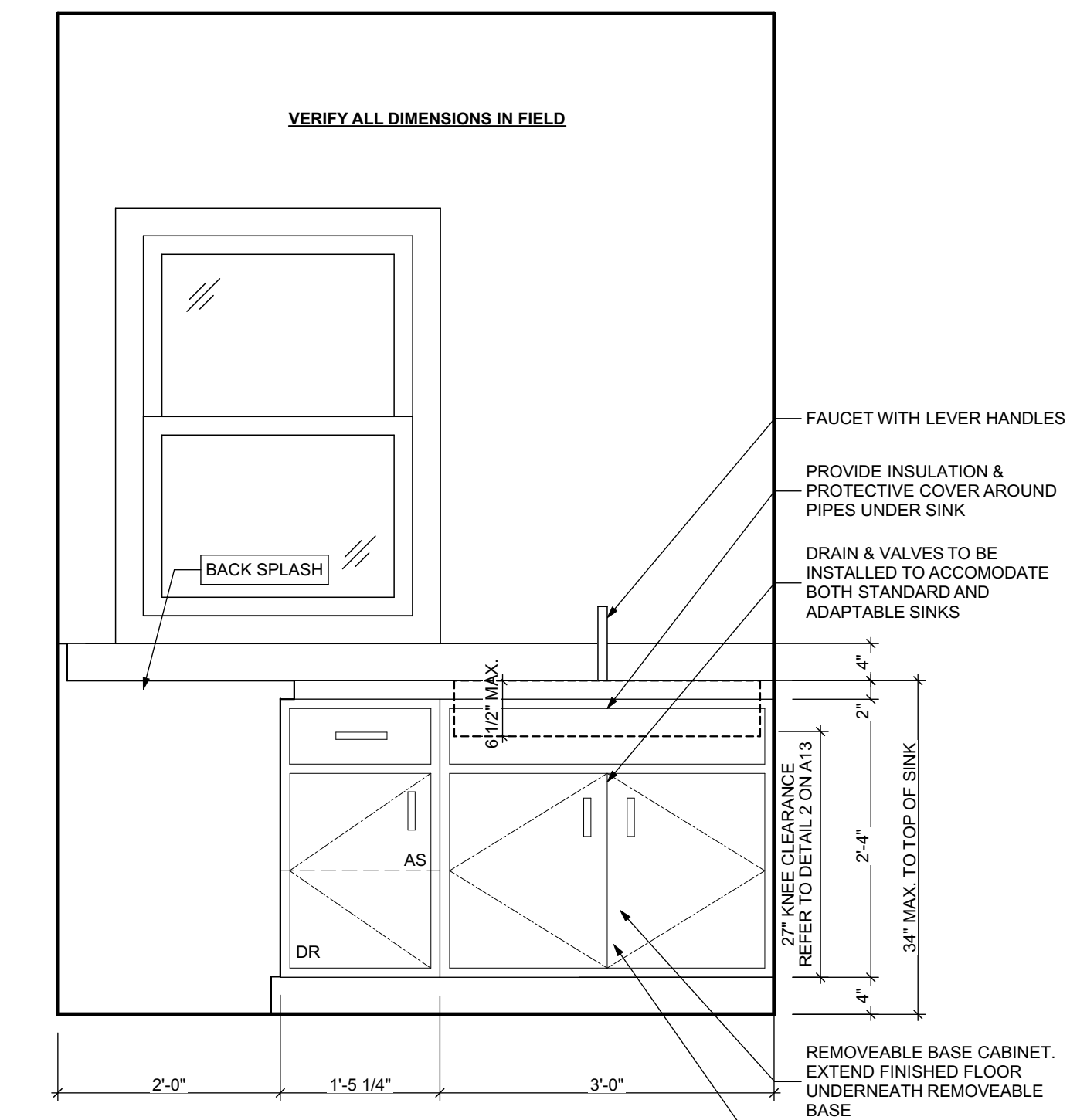
2 COMMON KITCHEN ELEVATION 2
SCALE: 3/4" = 1'-0"



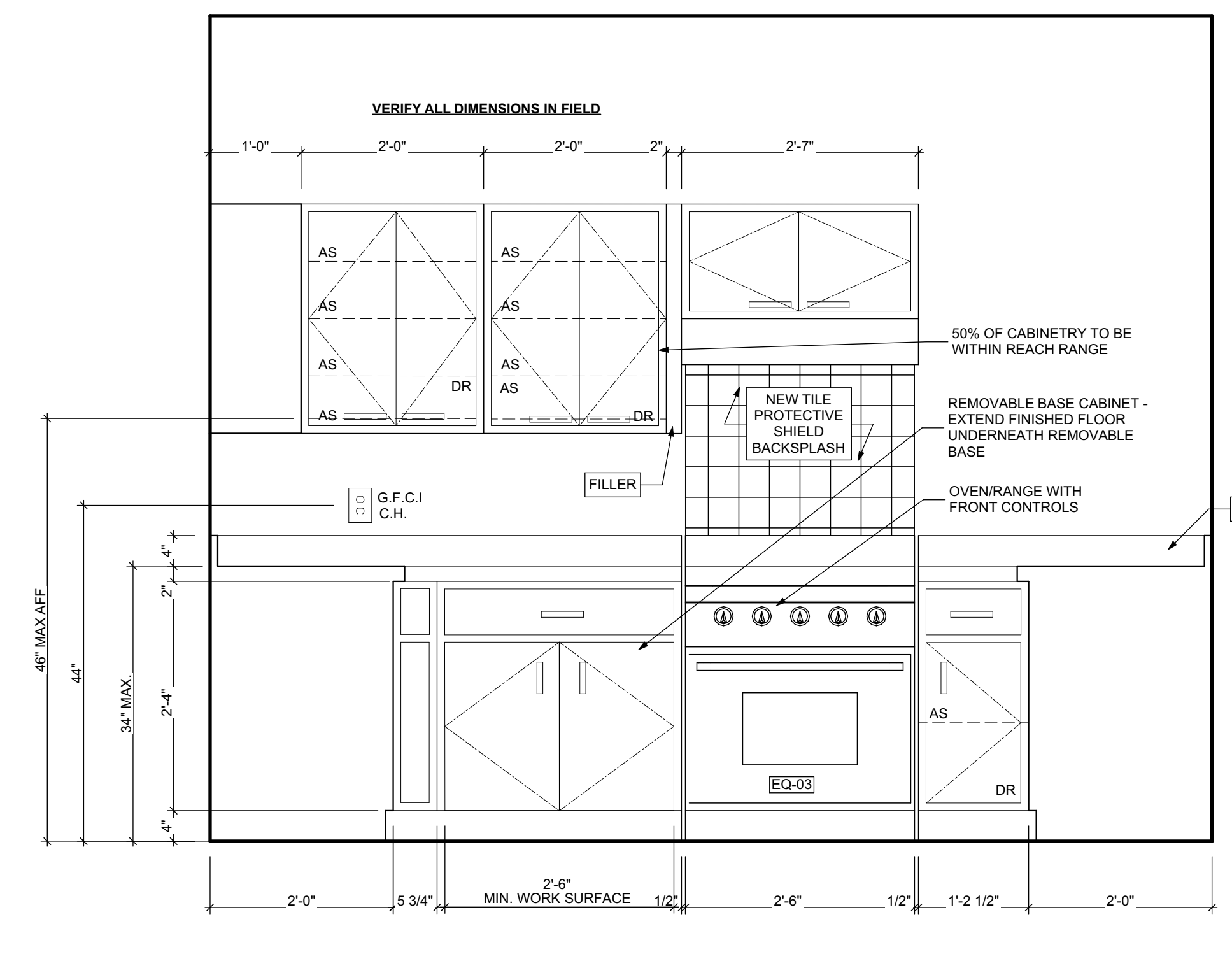
1 COMMON KITCHEN ELEVATION 1
SCALE: 3/4" = 1'-0"



7 UNITS 103, 203, 303 KITCHEN ELEVATION 3
SCALE: 3/4" = 1'-0"



6 UNITS 103, 203, 303 KITCHEN ELEVATION 2
SCALE: 3/4" = 1'-0"



5 UNITS 103, 203, 303 KITCHEN ELEVATION 1
SCALE: 3/4" = 1'-0"

general notes

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project title

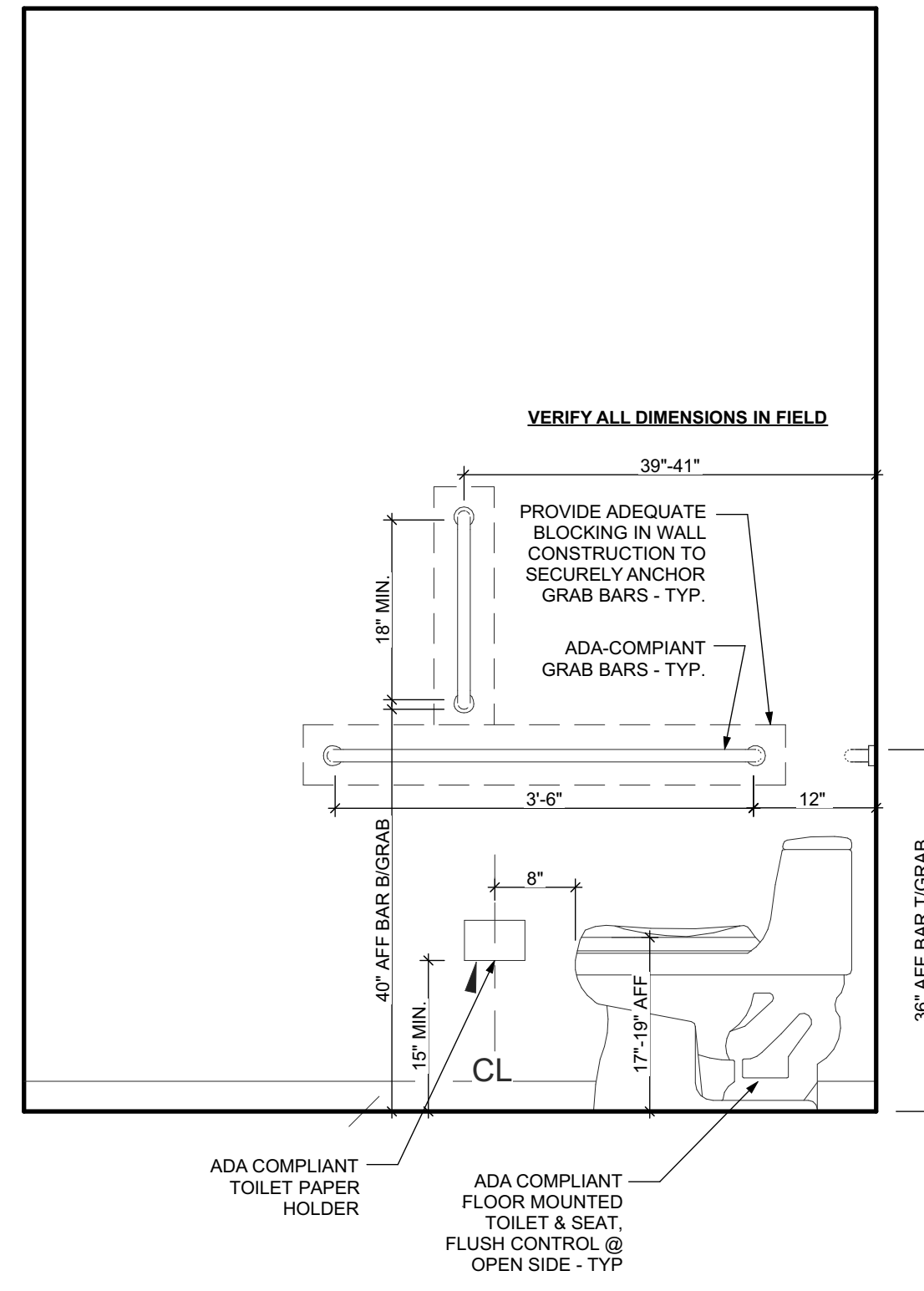
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

drawing title

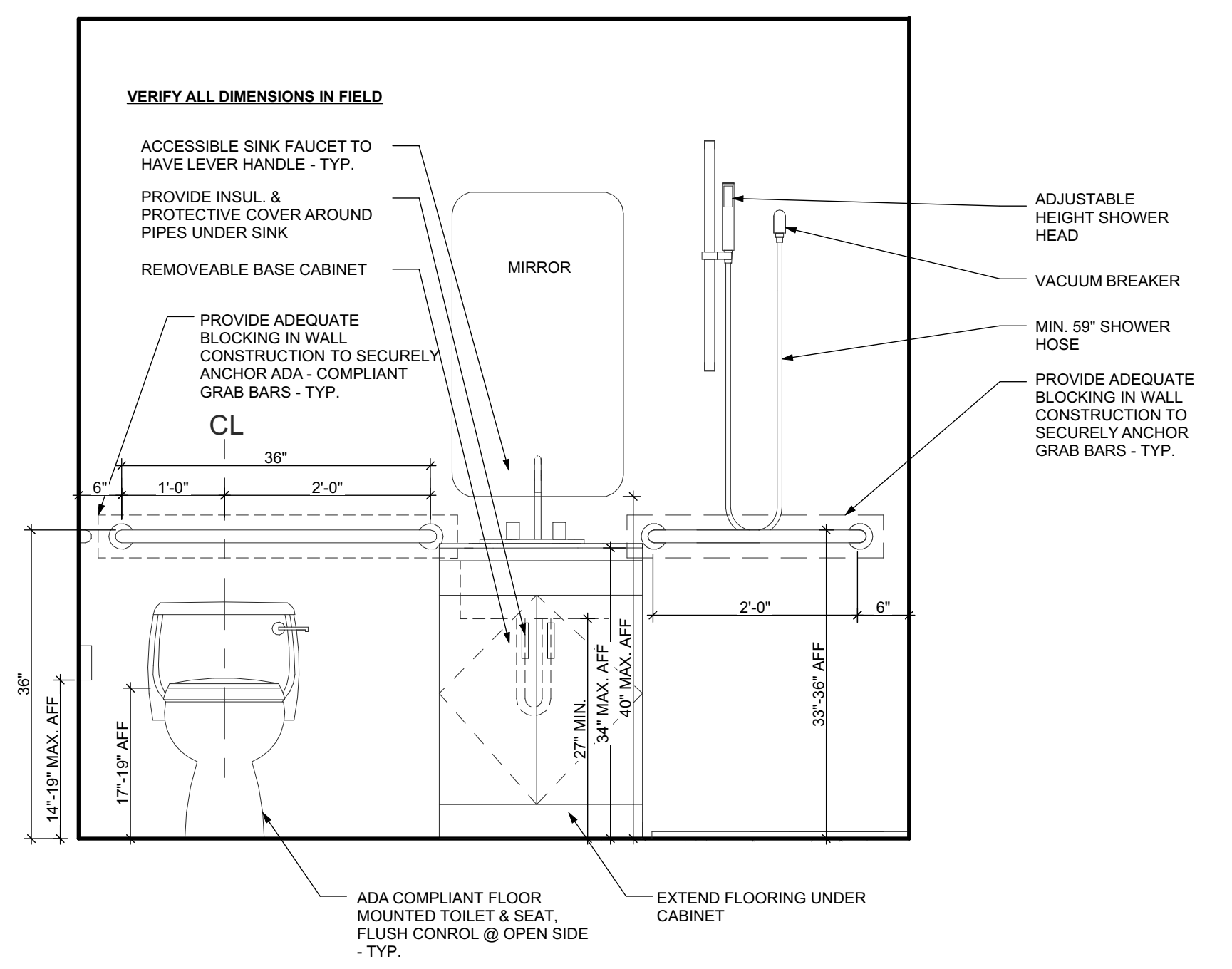
Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

COMMON KITCHEN ELEVATION 1, COMMON KITCHEN ELEVATION 2, COMMON TOILET ROOM ELEVATION 1, COMMON TOILET ROOM ELEVATION 2, UNITS 103, 203, 303 KITCHEN ELEVATION 1, UNITS 103, 203, 303 KITCHEN ELEVATION 2, UNITS 103, 203, 303 KITCHEN ELEVATION 3

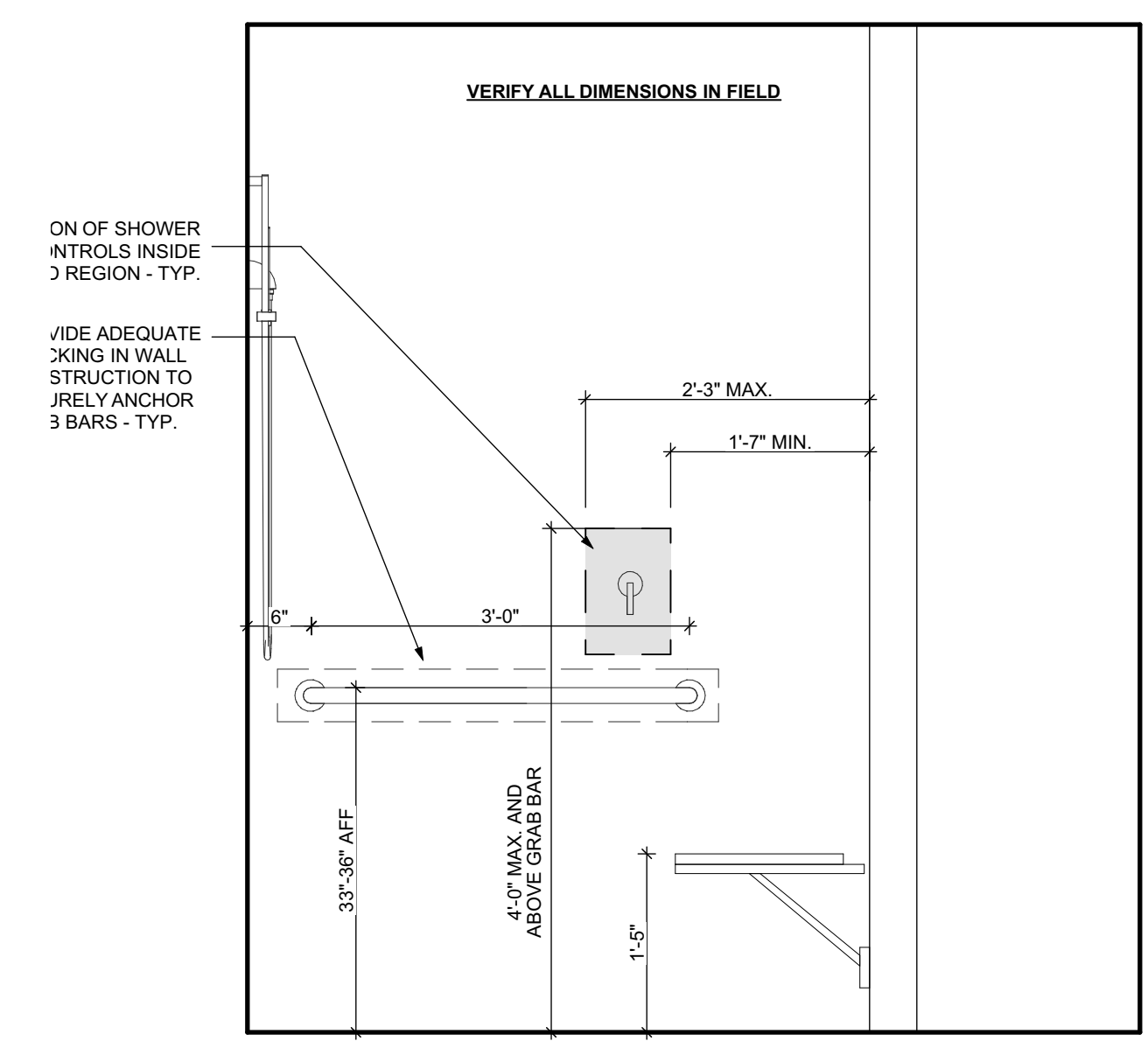
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	16	A15
of.	55	
		Project #2006



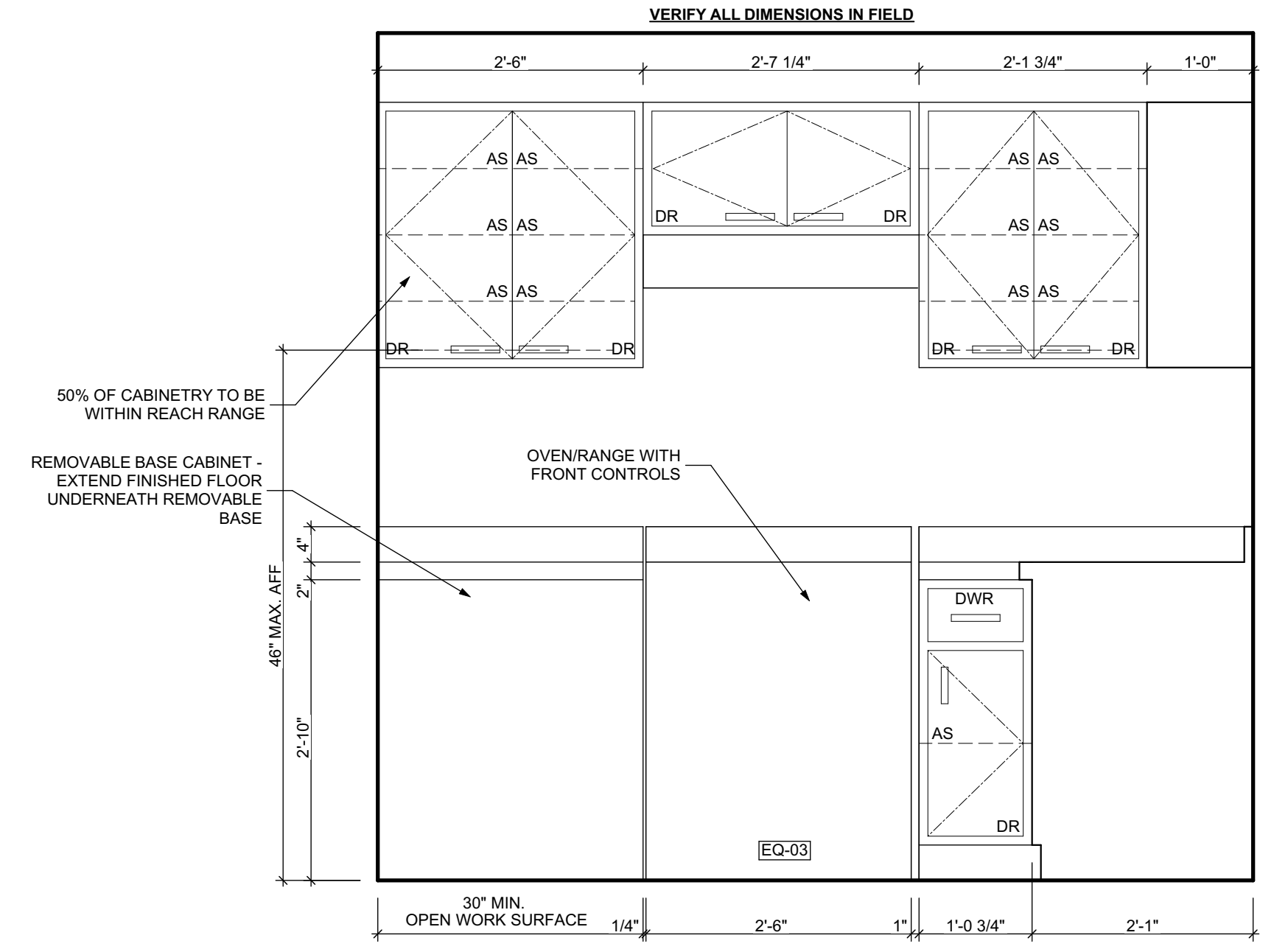
3 UNIT 103, 203, 303 BATHROOM ELEVATION 3
SCALE: 3/4" = 1'-0"



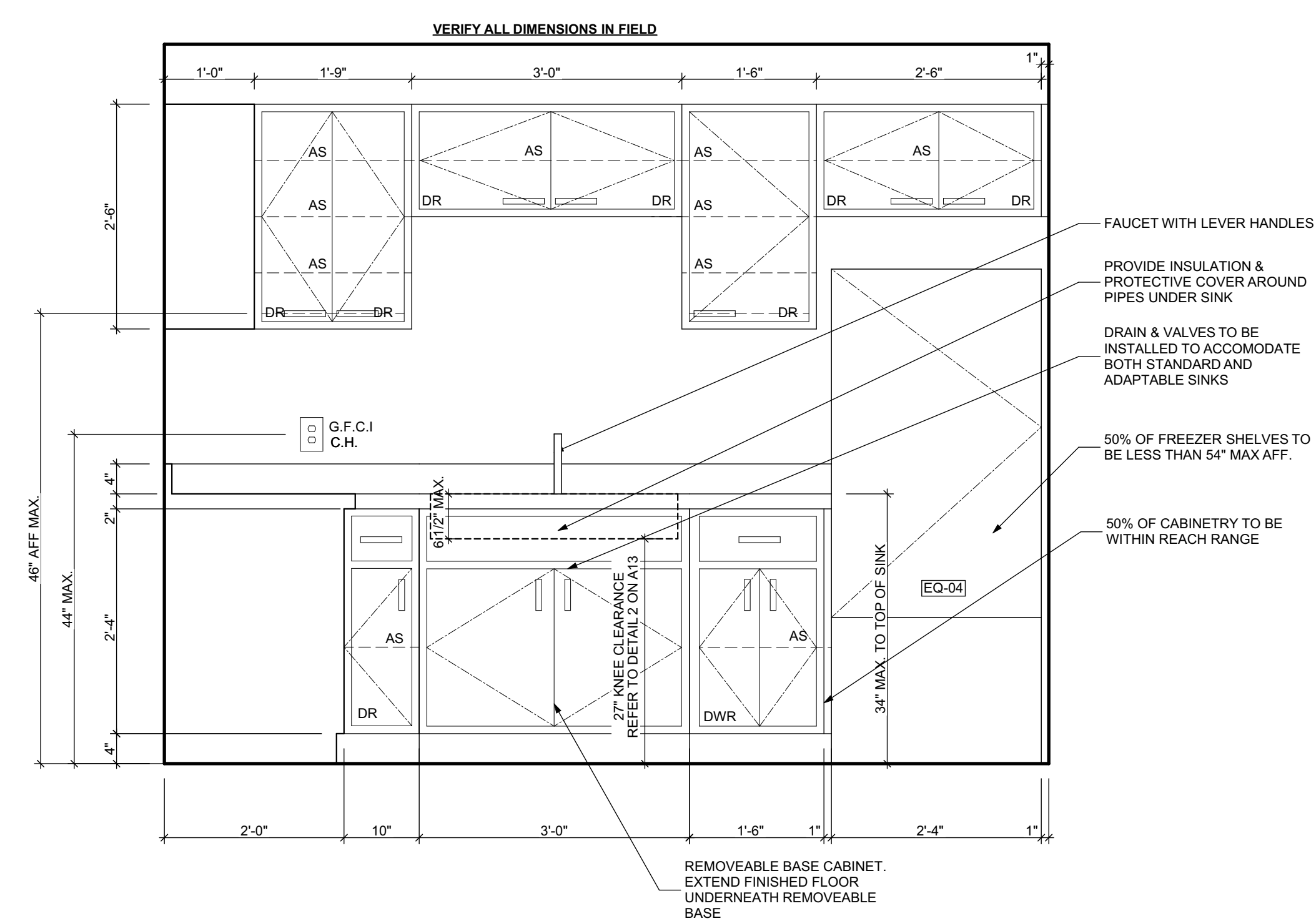
2 UNIT 103, 203, 303 BATHROOM ELEVATION 2
SCALE: 3/4" = 1'-0"



1 UNIT 103, 203, 303 BATHROOM ELEVATION 1
SCALE: 3/4" = 1'-0"



5 UNIT 204, 304 KITCHEN ELEVATION 2
SCALE: 3/4" = 1'-0"



4 UNIT 204, 304 KITCHEN ELEVATION 1
SCALE: 3/4" = 1'-0"

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

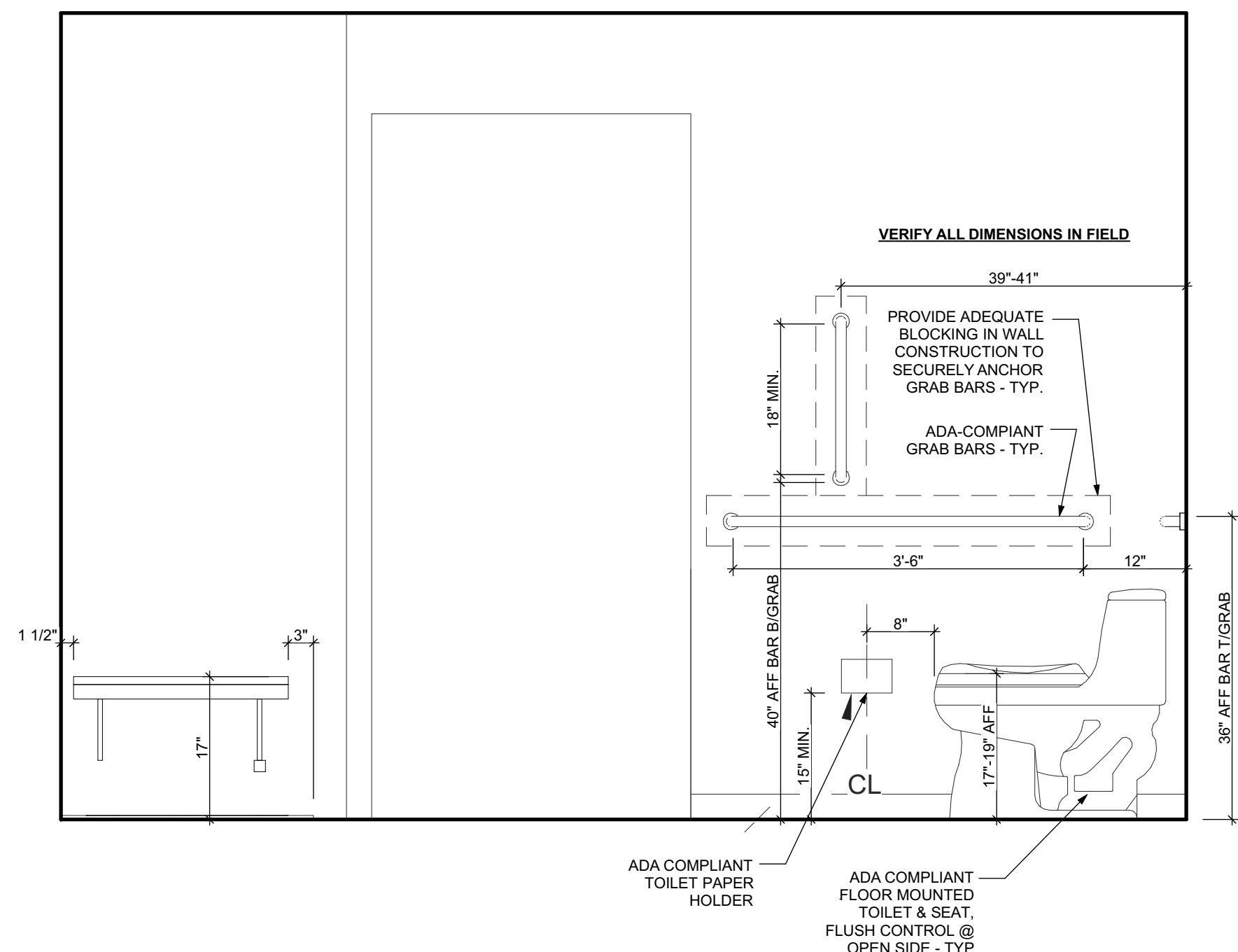
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

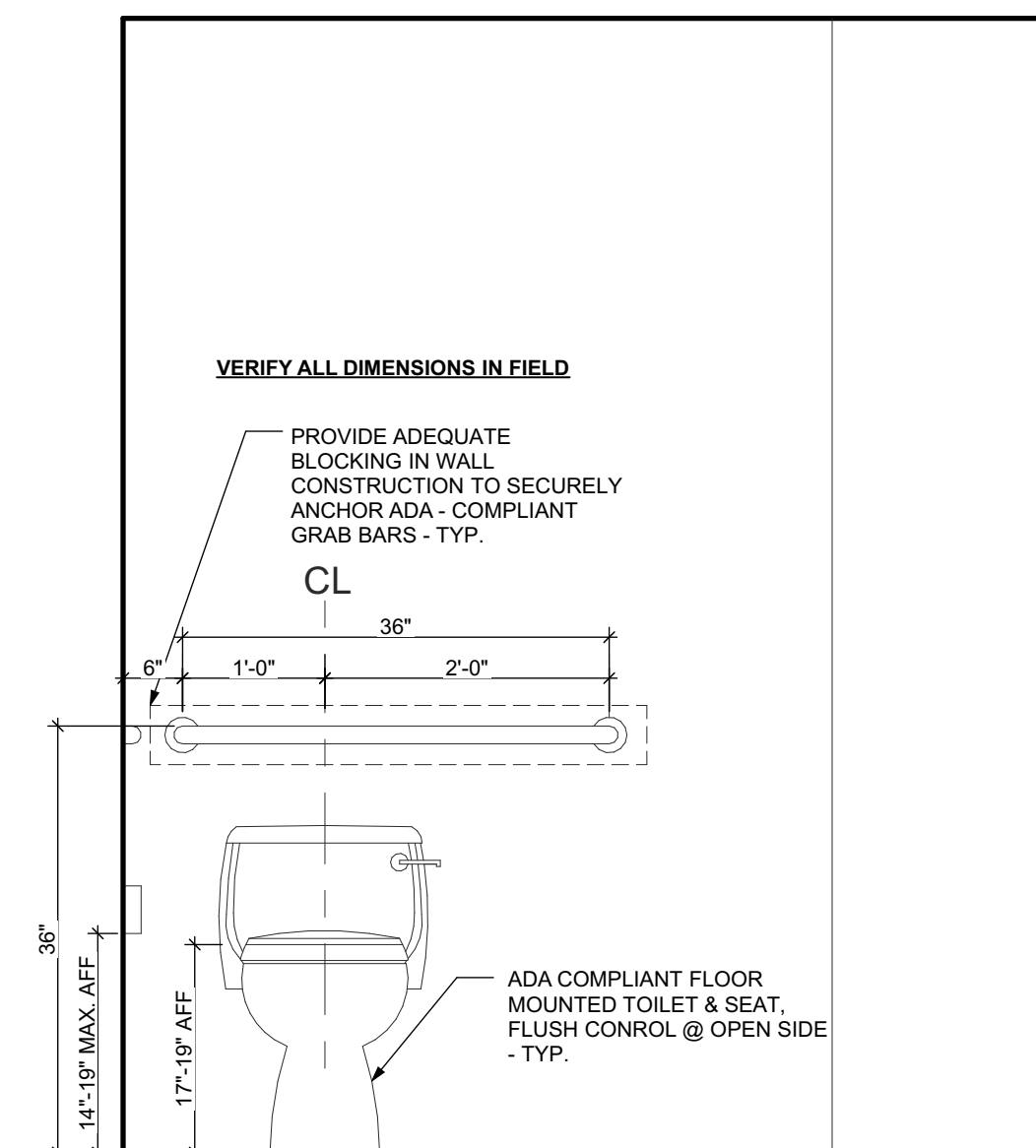
drawing title

UNIT 103, 203, 303 BATHROOM ELEVATION 1, UNIT 103, 203, 303 BATHROOM ELEVATION 2, UNIT 103, 203, 303 BATHROOM ELEVATION 3, UNIT 204, 304 KITCHEN ELEVATION 1, UNIT 204, 304 KITCHEN ELEVATION 2

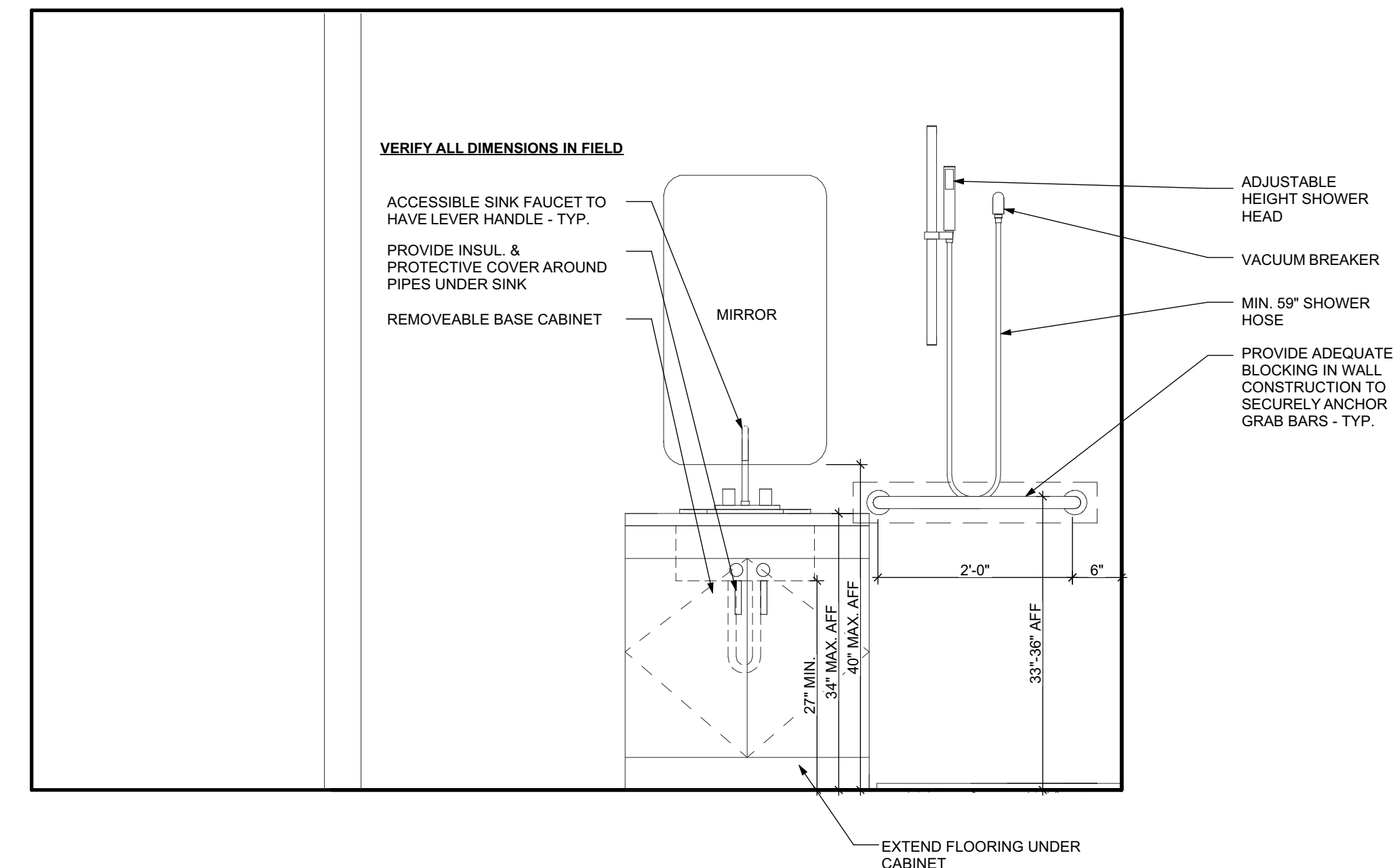
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	17	A16
of.	55	
		Project #2006



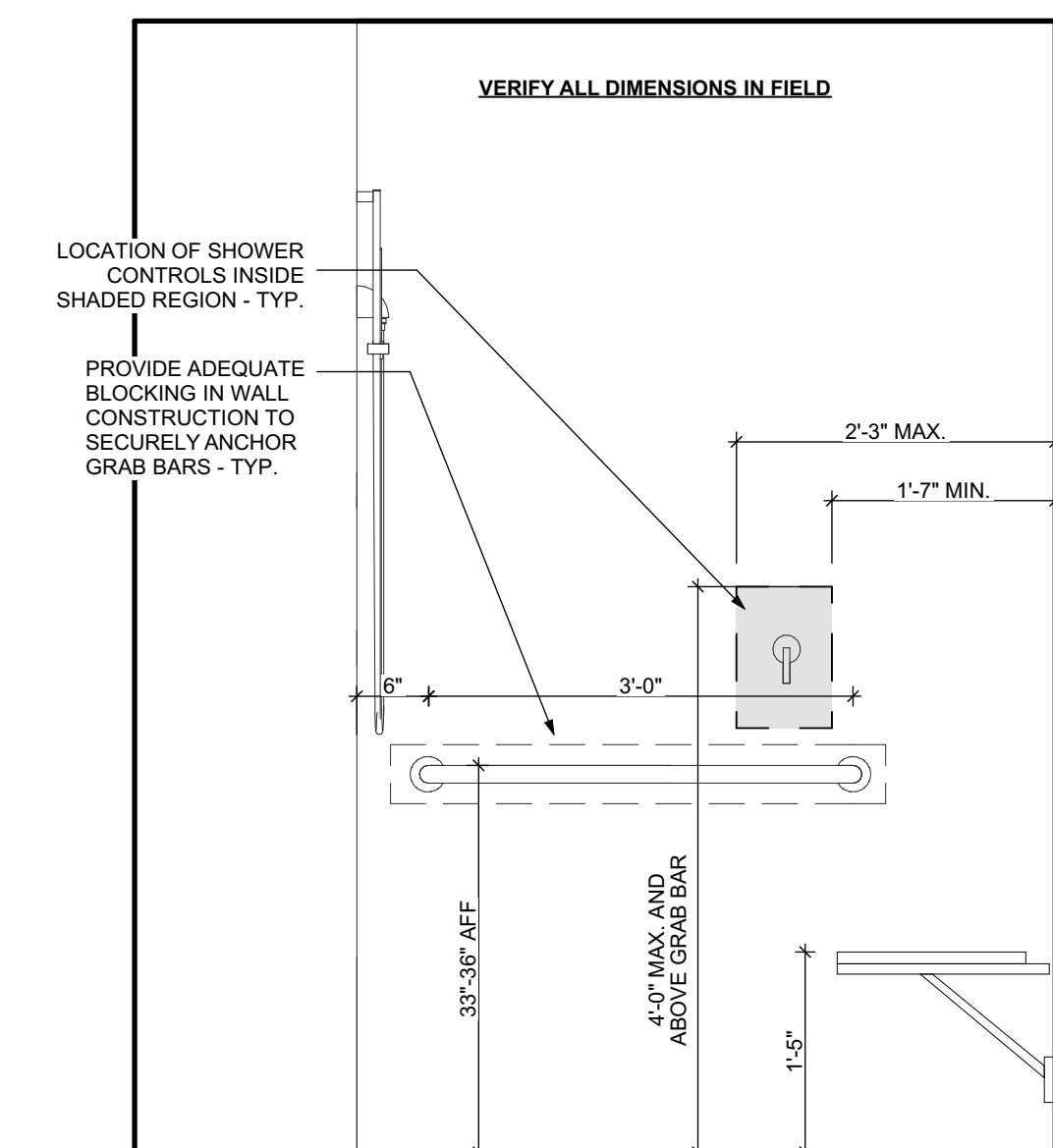
3 UNITS 204, 304 BATHROOM ELEVATION 3
SCALE: 3/4" = 1'-0"



2 UNITS 204, 304 BATHROOM ELEVATION 2
SCALE: 3/4" = 1'-0"



1 UNITS 204, 304 BATHROOM ELEVATION 1
SCALE: 3/4" = 1'-0"



4 UNITS 204, 304 BATHROOM ELEVATION 4
SCALE: 3/4" = 1'-0"

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

UNITS 204, 304 BATHROOM
ELEVATION 1, UNITS 204, 304
BATHROOM ELEVATION 2, UNITS
204, 304 BATHROOM ELEVATION
3, UNITS 204, 304 BATHROOM
ELEVATION 4

scale
As Noted

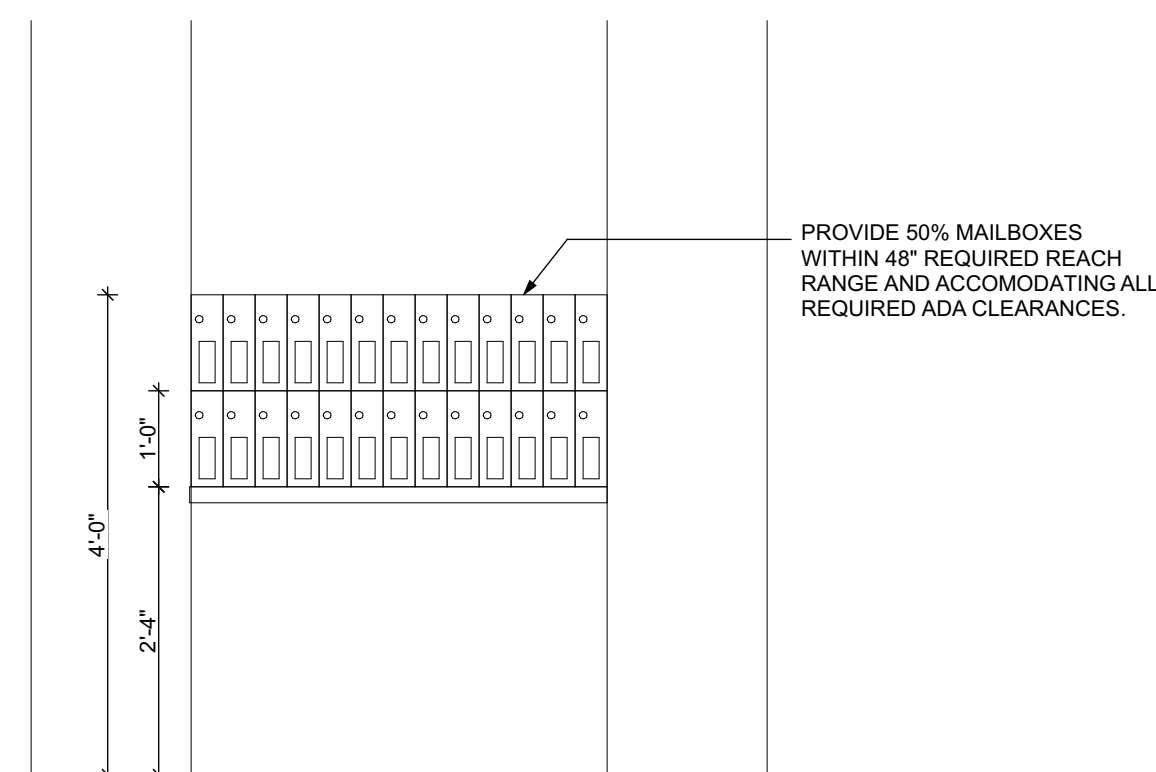
date
May 6, 2022

no. 18 of. 55

Sheet No.

A17

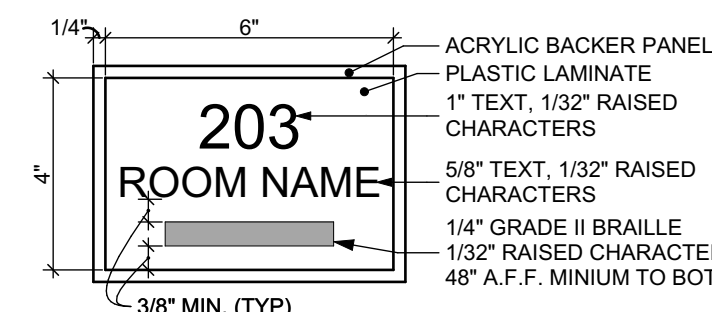
Project #2006



PROVIDE 50% MAILBOXES WITHIN 48" REQUIRED REACH RANGE AND ACCOMMODATING ALL REQUIRED ADA CLEARANCES.

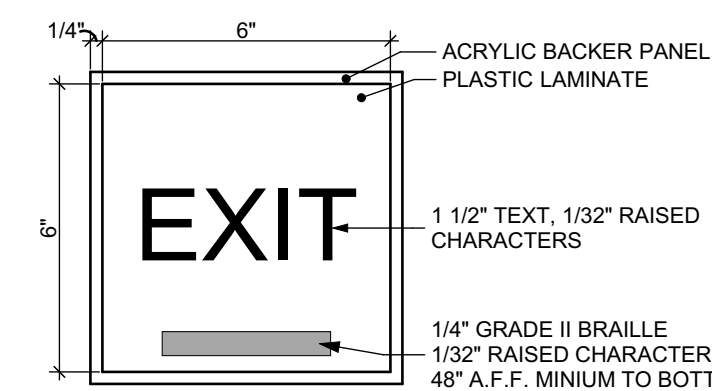
ACCESSIBLE NOTES

1. A 30"x48" CLEAR SPACE MUST BE PROVIDED FOR ALL EQUIPMENT INCLUDING THERMOSTATS, ELECTRIC PANELS, AND LIGHT SWITCHES.
2. ALL EQUIPMENT TO BE WITHIN REACH RANGE BETWEEN 15"-48" A.F.F. INCLUDING SWITCHES, OUTLETS, AND PANELS.
3. ALL ACCESSIBLE DOORS TO BE LEVER OR PUSH/PULL. NO TIGHT GRASPING OR TWISTING SHALL BE REQUIRED TO OPERATE.
4. MOUNTING HEIGHT OF DOOR KNOBS AND COMMON USE DEADBOLTS TO BE NO HIGHER THAN 48" A.F.F.
5. INTERIOR DOORS TO HAVE AN OPENING FORCE OF NO GREATER THAN 5 POUNDS.
6. ALL NON-SLIDING EXTERIOR DOORS TO HAVE A BEVELED THRESHOLD NO HIGHER THAN 3/4".



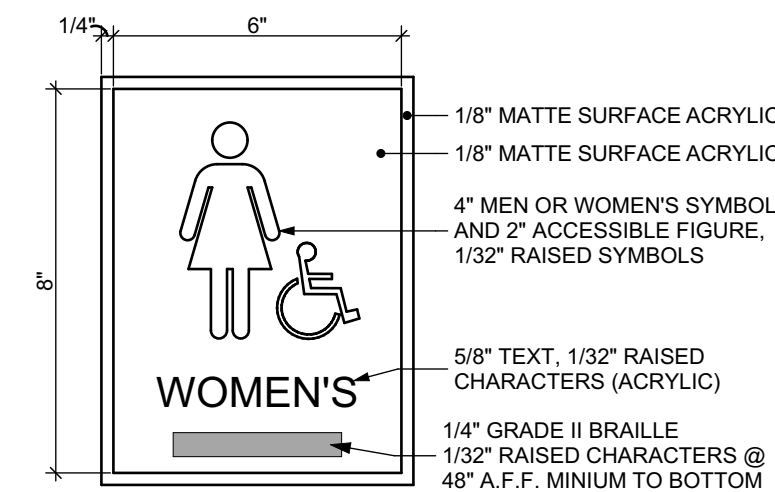
(S-1) GENERAL SIGNAGE

PROVIDE ON WALL SURFACE ON HANDLE SIDE ONLY, TYPICAL



(S-2) EXIT SIGNAGE

PROVIDE AT ALL EXIT DOORS ON INTERIOR SIDE.



(S-3) TOILET ROOM SIGNAGE

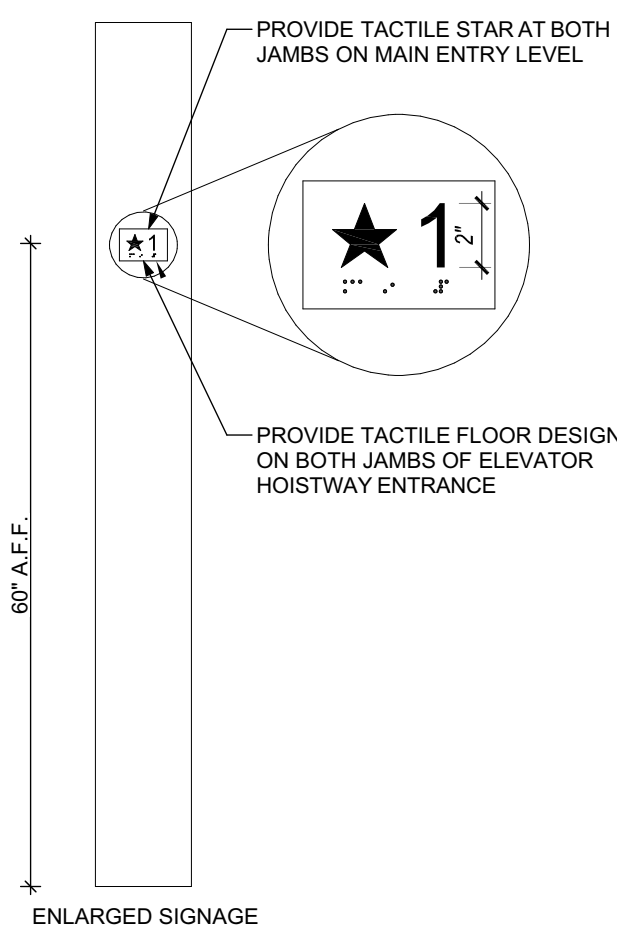
PROVIDE AT MEN'S ROOM AND WOMEN'S ROOM.

SIGNAGE NOTE:

- 1.) SIGNAGE LOCATIONS AND CHARACTERS TO COMPLY WITH REQUIREMENTS SIGNAGE PER ICC/ANSI A117.1-2009, CHAPTER 7.
- 2.) TYPICAL ATTACHMENT METHOD IS TO BE CONCEAL MOUNTING.
- 3.) REFER TO DOOR SCHEDULE (A-600) FOR DOOR SIGNAGE TYPE REQUIREMENTS.

1 MAILBOX ELEVATIONS

SCALE: 1" = 1'-0"



ENLARGED SIGNAGE

RAILS SHALL BE PROVIDED ON THE SIDE OF THE ELEVATOR CAR MOUNTED BETWEEN 32" AND 36" ABOVE THE FLOOR OF THE CAR.

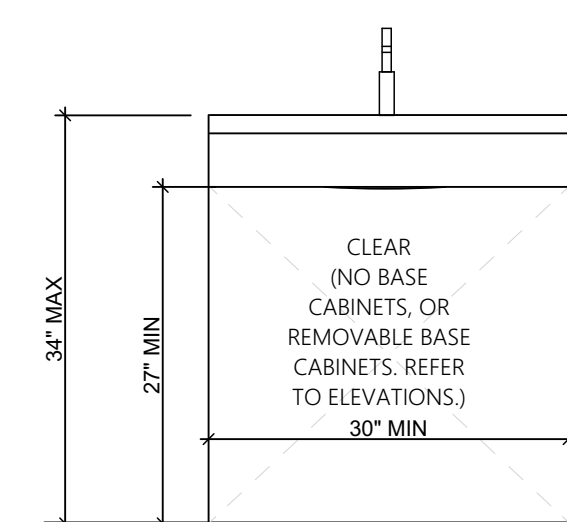
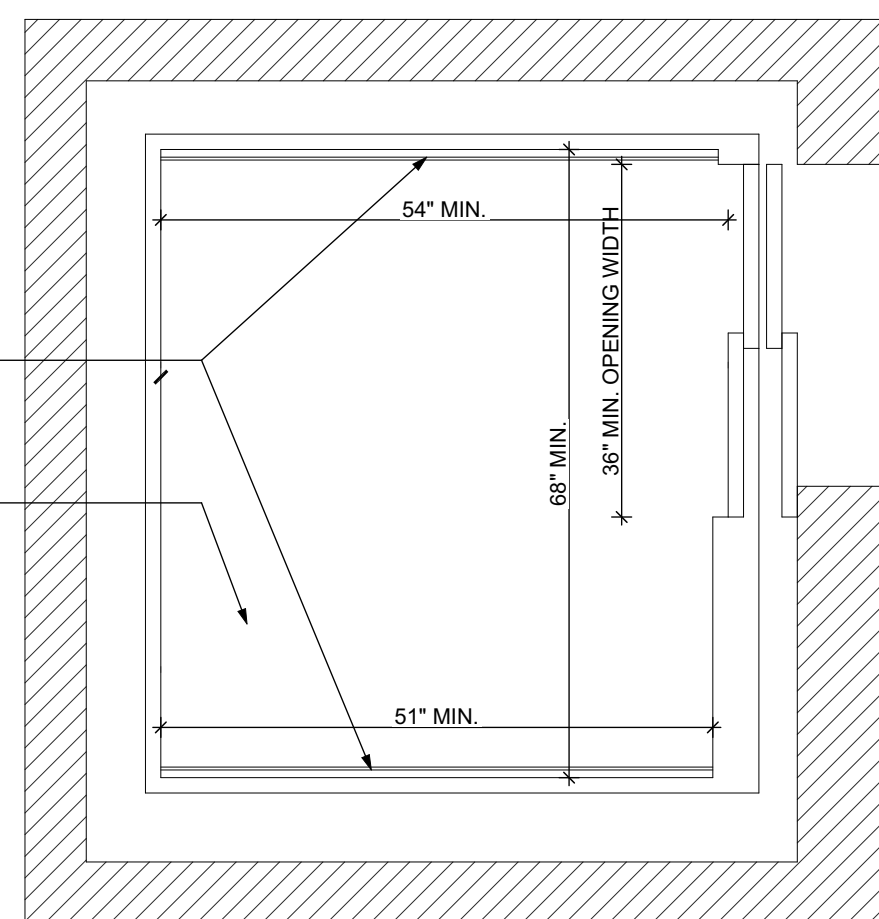
MIN. DIMENSIONS OF ELEVATOR CAR WITH SIDE (OFF CENTERED) ENTRY ACCORDING TO ANSI A117.1-2009 TABLE 407.4.1

VISUAL AND AUDIBLE HALL SIGNAL 2 1/2" MIN. IN HEIGHT PER SIGNAL ELEMENT

CALL BUTTON NO SMALLER THAN 3/4"

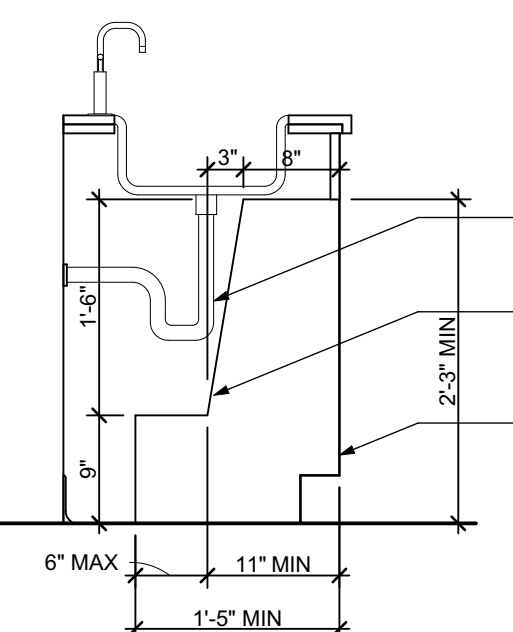
DOOR SIGNALS

2 ACCESSIBLE NOTES



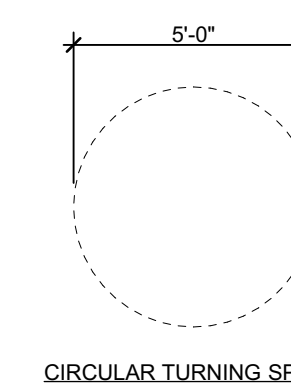
3 SIGNAGE DETAIL

SCALE: 3/8" = 1'-0"

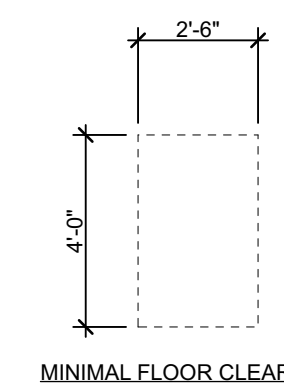


WHEN SINK COVER NOT PROVIDED, INSULATE ALL EXPOSED PIPING.

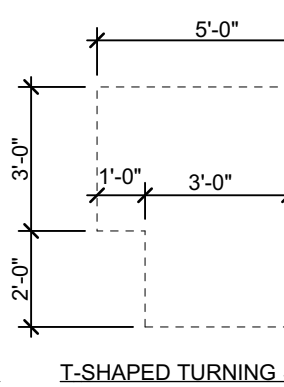
PROFILE AT UNIT SINKS. CABINETS TO BE REMOVABLE.



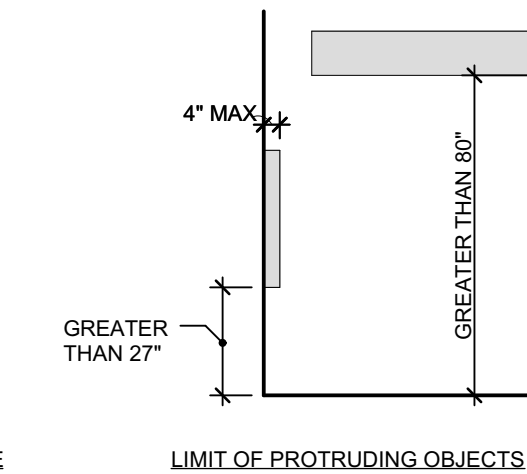
CIRCULAR TURNING SPACE (FIGURE 304.3)



MINIMAL FLOOR CLEARANCE (FIGURE 305.3)



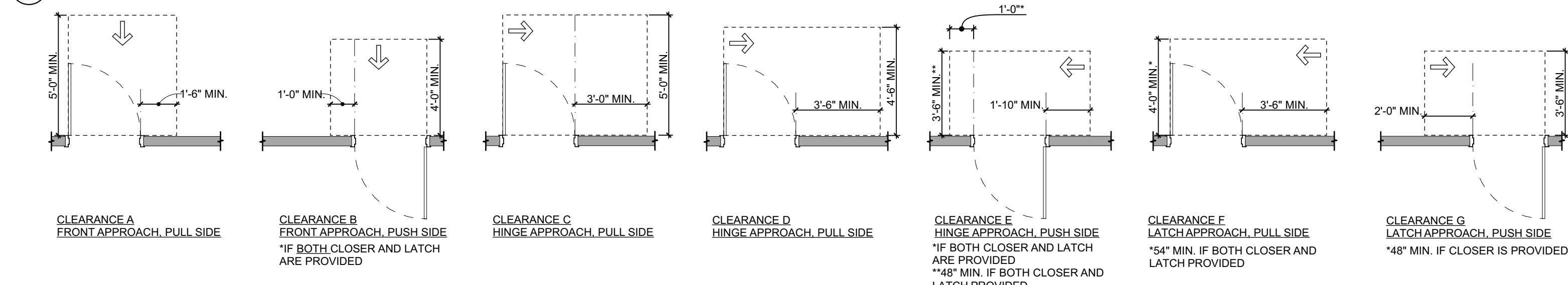
T-SHAPED TURNING SPACE (FIGURE 304.3)



LIMIT OF PROTRUDING OBJECTS (FIGURE 307.2)

4 TOE AND KNEE CLEARANCES

SCALE: 3/4" = 1'-0"

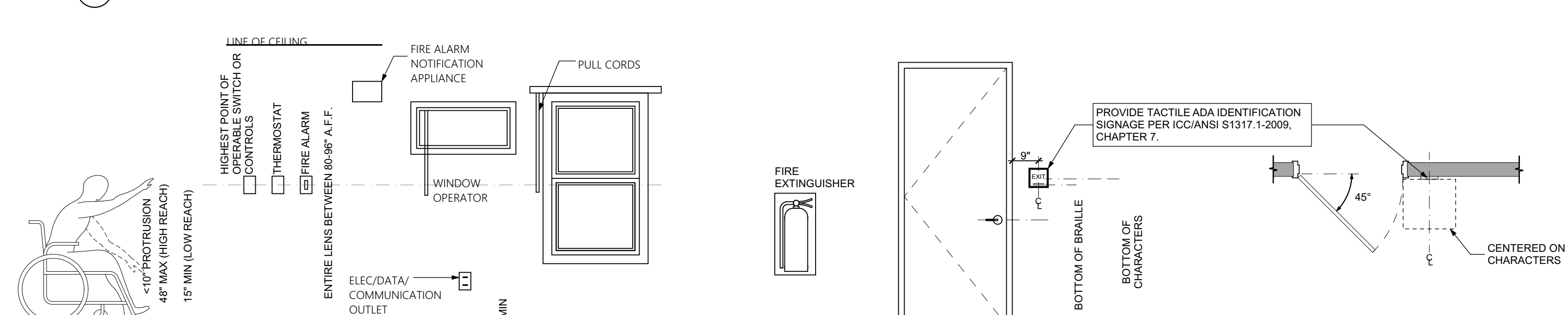


5 ACCESSIBILITY CLEARANCES

SCALE: 1/4" = 1'-0"

6 MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS

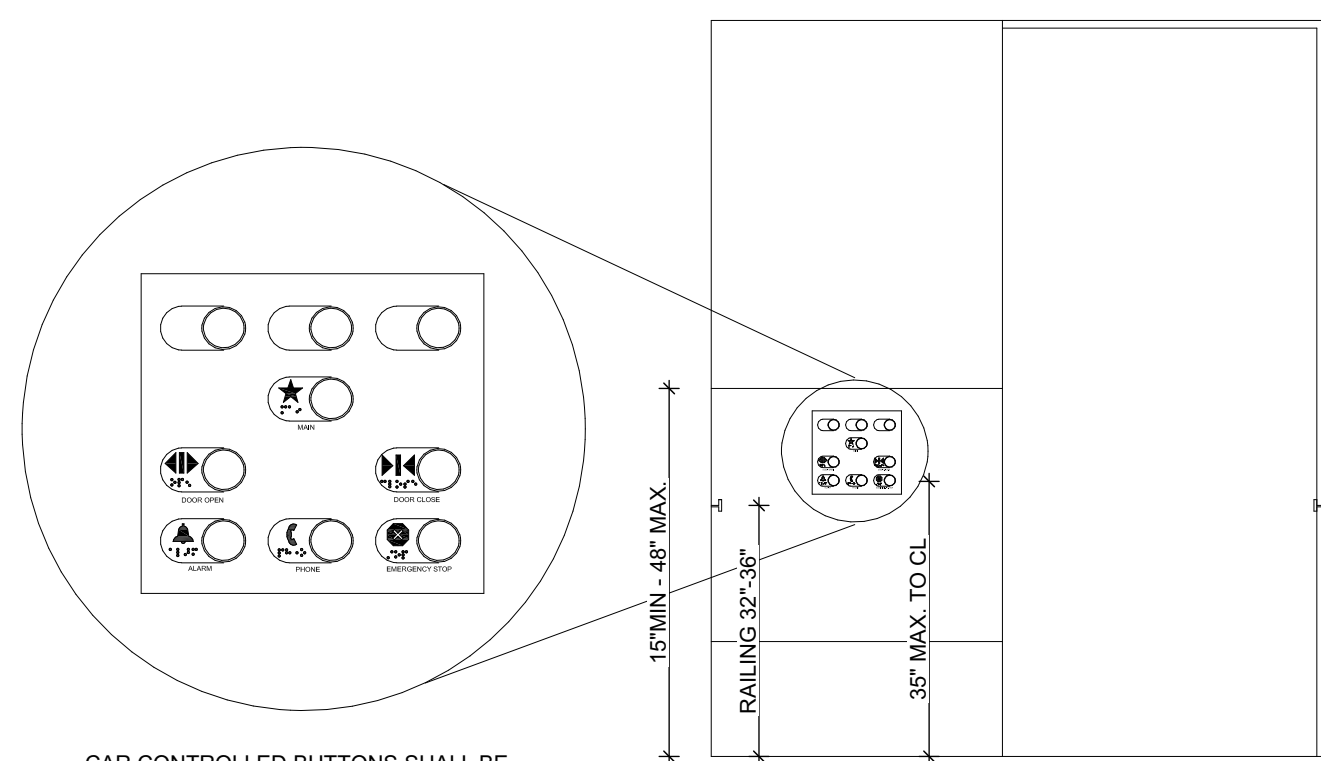
SCALE: 1/4" = 1'-0"



GENERAL

PUBLIC AREAS

LOCATION OF SIGNS AT DOORS



CAR CONTROLLED BUTTONS SHALL BE IDENTIFIED BY RAISED CHARACTERS AND BRAILLE PLACED IMMEDIATELY TO THE LEFT OF THE CONTROL BUTTON COMPLYING WITH SECTIONS ICC A117.1 703.3 AND 703.4. PRESSURE REQUIREMENTS TO BE MET.

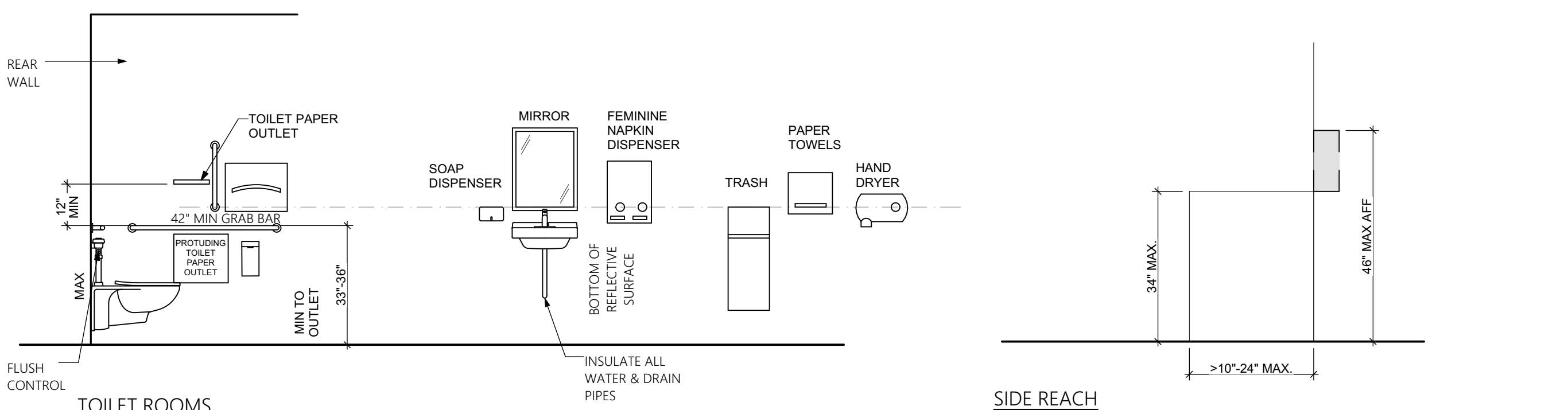
NOTE: ELEVATOR TO FULLY COMPLY WITH ALL REQUIREMENTS OF ICC A117.1 CHAPTER 4.407. -ELEVATOR LANDING REQUIREMENTS 4.407.2 -ELEVATOR DOOR REQUIREMENTS 4.407.3 -ELEVATOR CAR REQUIREMENTS 4.407.4

8 ELEVATOR DETAILS

SCALE: 1" = 1'-0"

7 MOUNTING HEIGHTS

SCALE: 3/8" = 1'-0"



TOILET ROOMS

SIDE REACH

seal

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project title

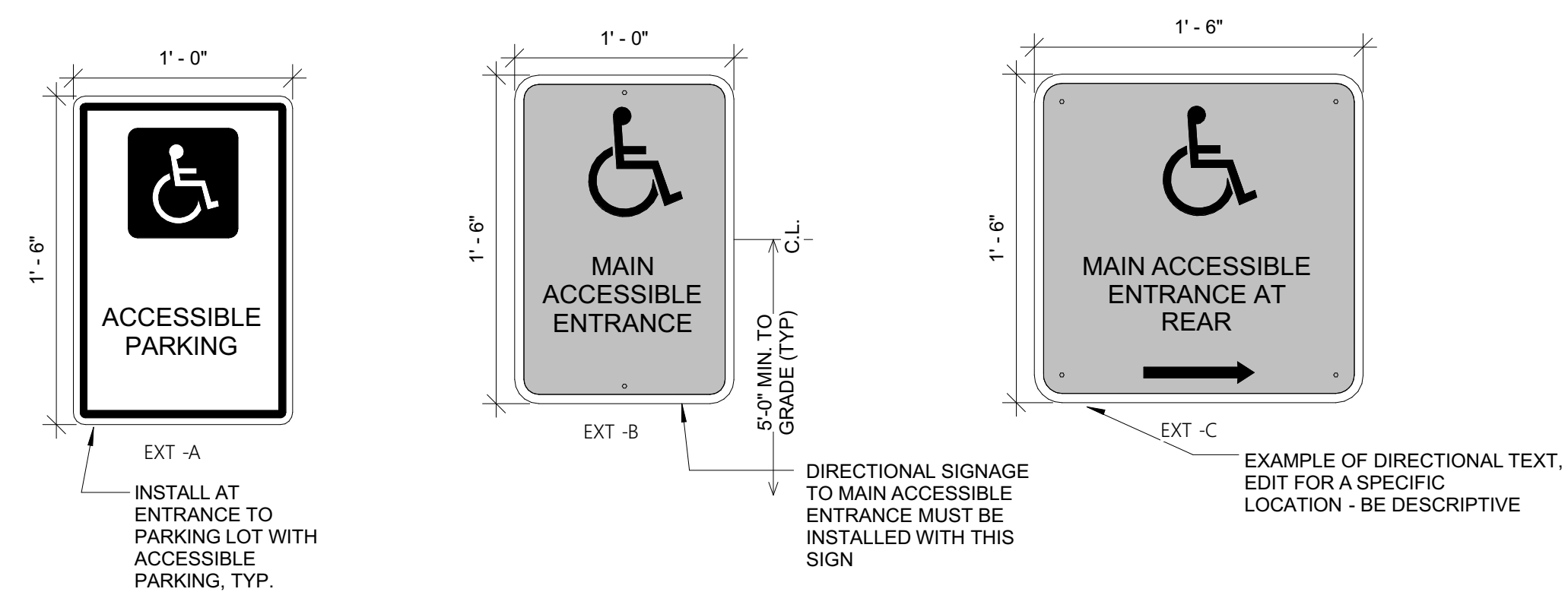
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

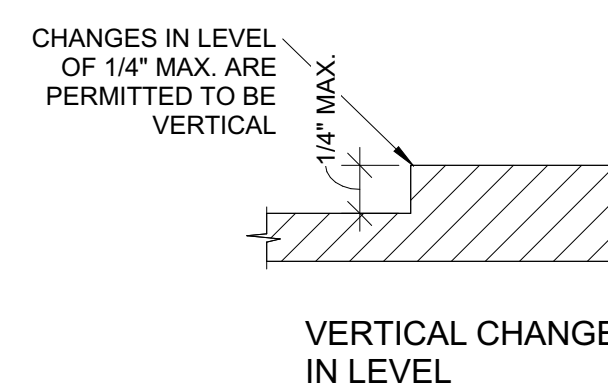
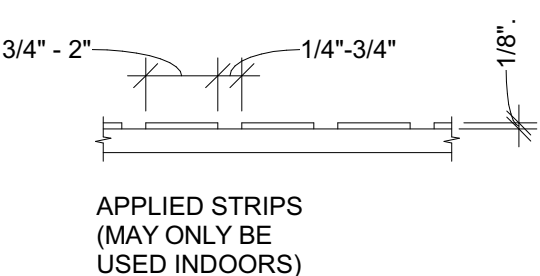
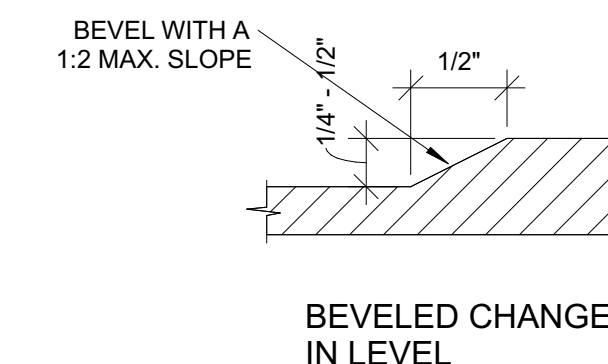
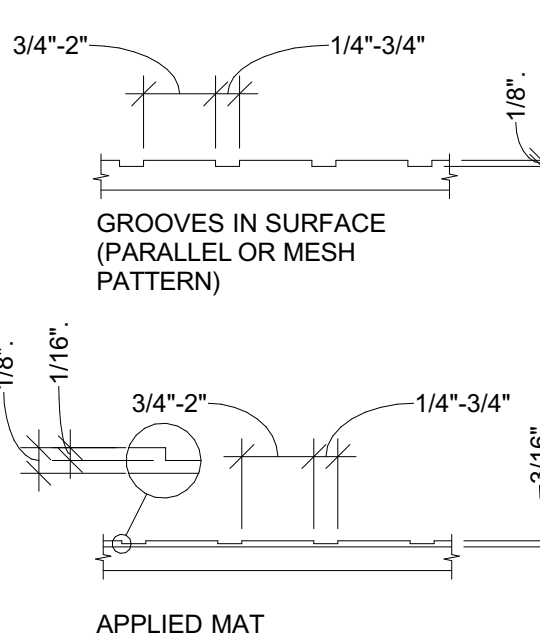
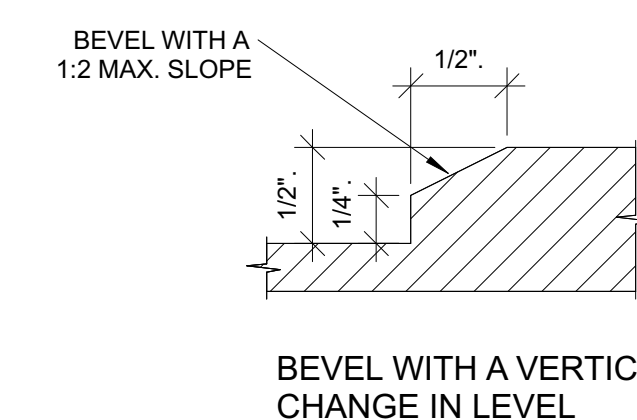
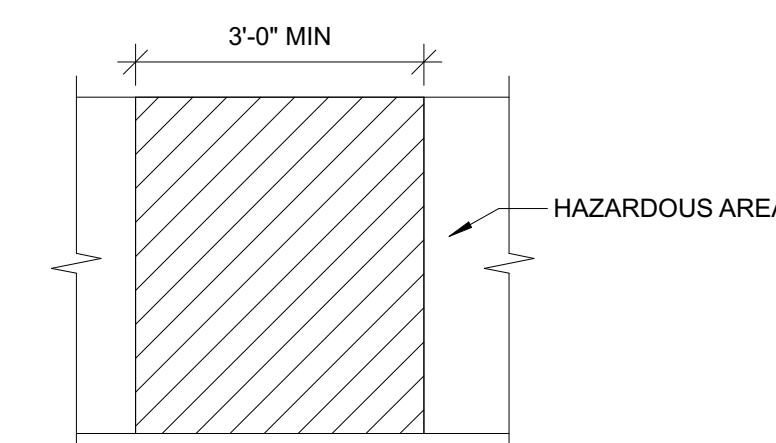
drawing title

MAILBOX ELEVATIONS,
ACCESSIBLE NOTES, SIGNAGE
DETAIL, TOE AND KNEE
CLEARANCES, ACCESSIBILITY
CLEARANCES, MANEUVERING
CLEARANCE AT MANUAL
SWINGING DOORS, MOUNTING
HEIGHTS, ELEVATOR DETAILS

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	19	A18
of.	55	
		Project #2006

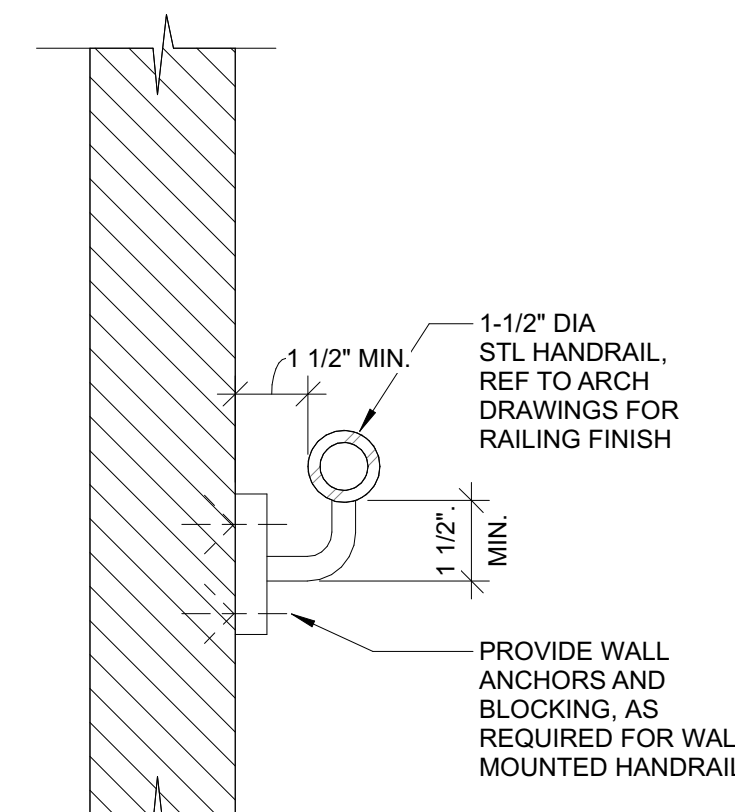


1 EXTERIOR SIGNAGE
SCALE: 1" = 1'-0"

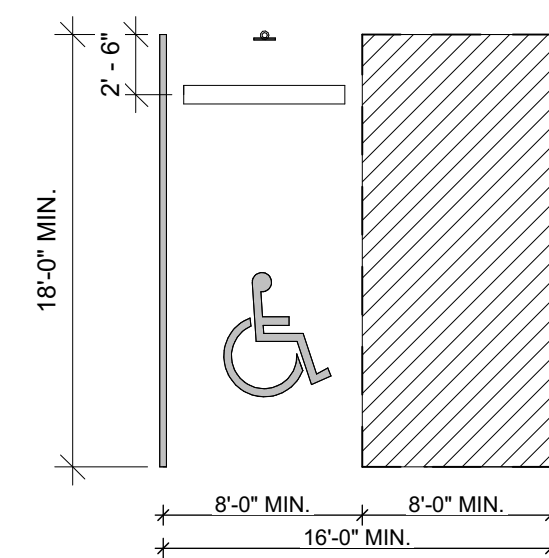
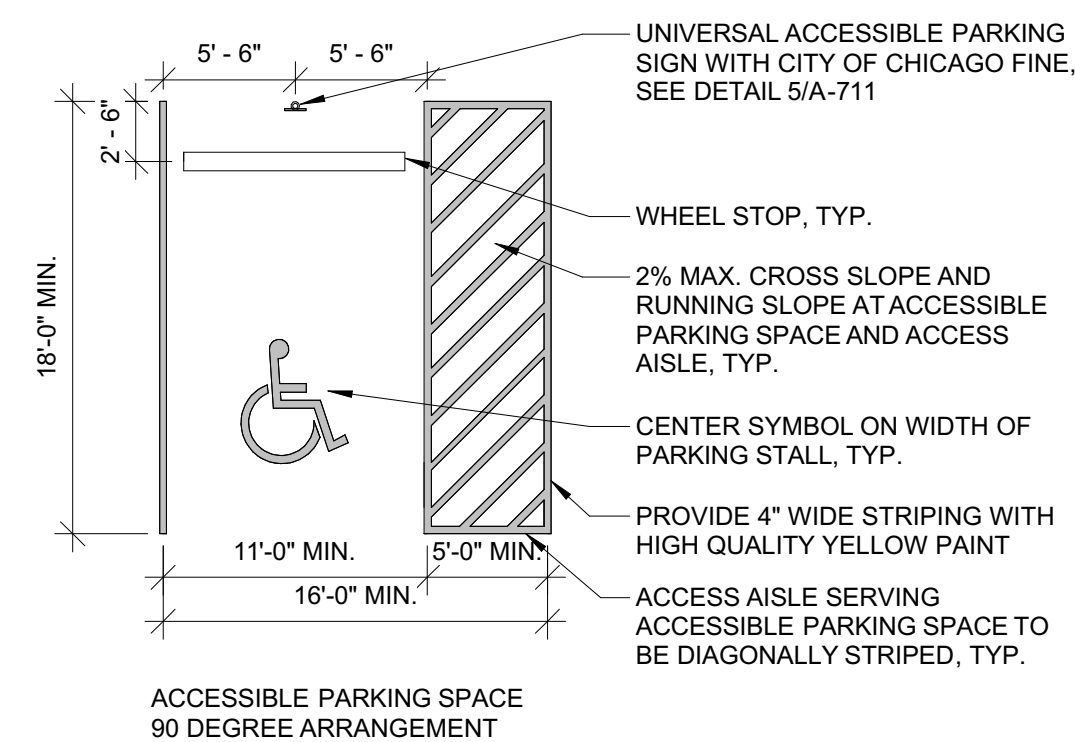
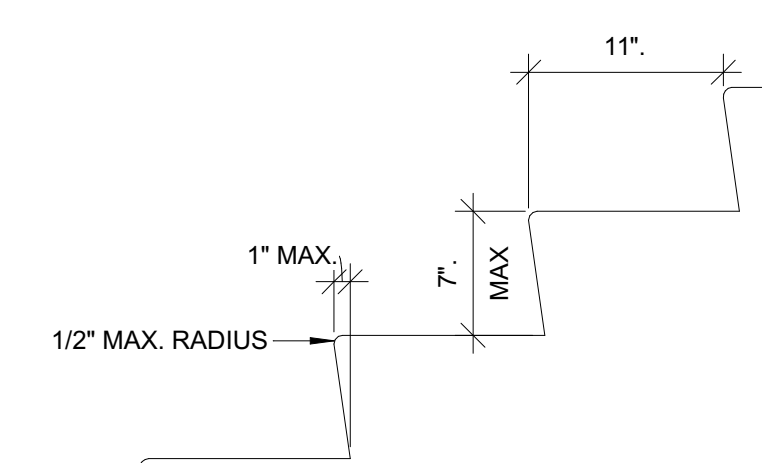


2 LEVEL CHANGE DETAILS
SCALE: 1" = 1'-0"

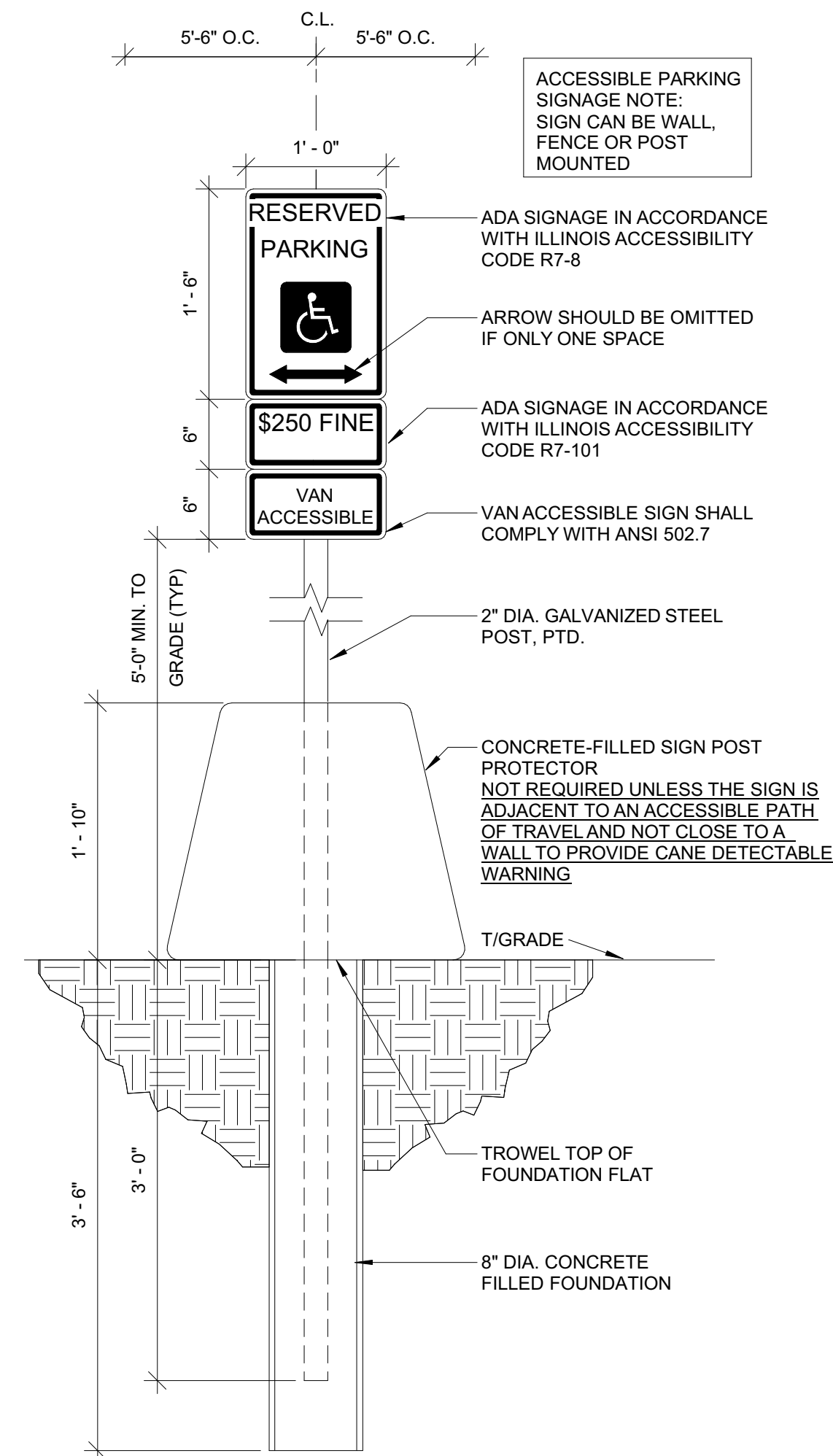
3 DETECTABLE WARNING DETAIL
SCALE: 1" = 1'-0"



4 HANDRAIL AND STAIR DETAILS
SCALE: 1" = 1'-0"



6 ACCESSIBLE PARKING STALL
SCALE: 1" = 1'-0"



5 ACCESSIBLE PARKING SIGN DETAIL
SCALE: 1" = 1'-0"

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

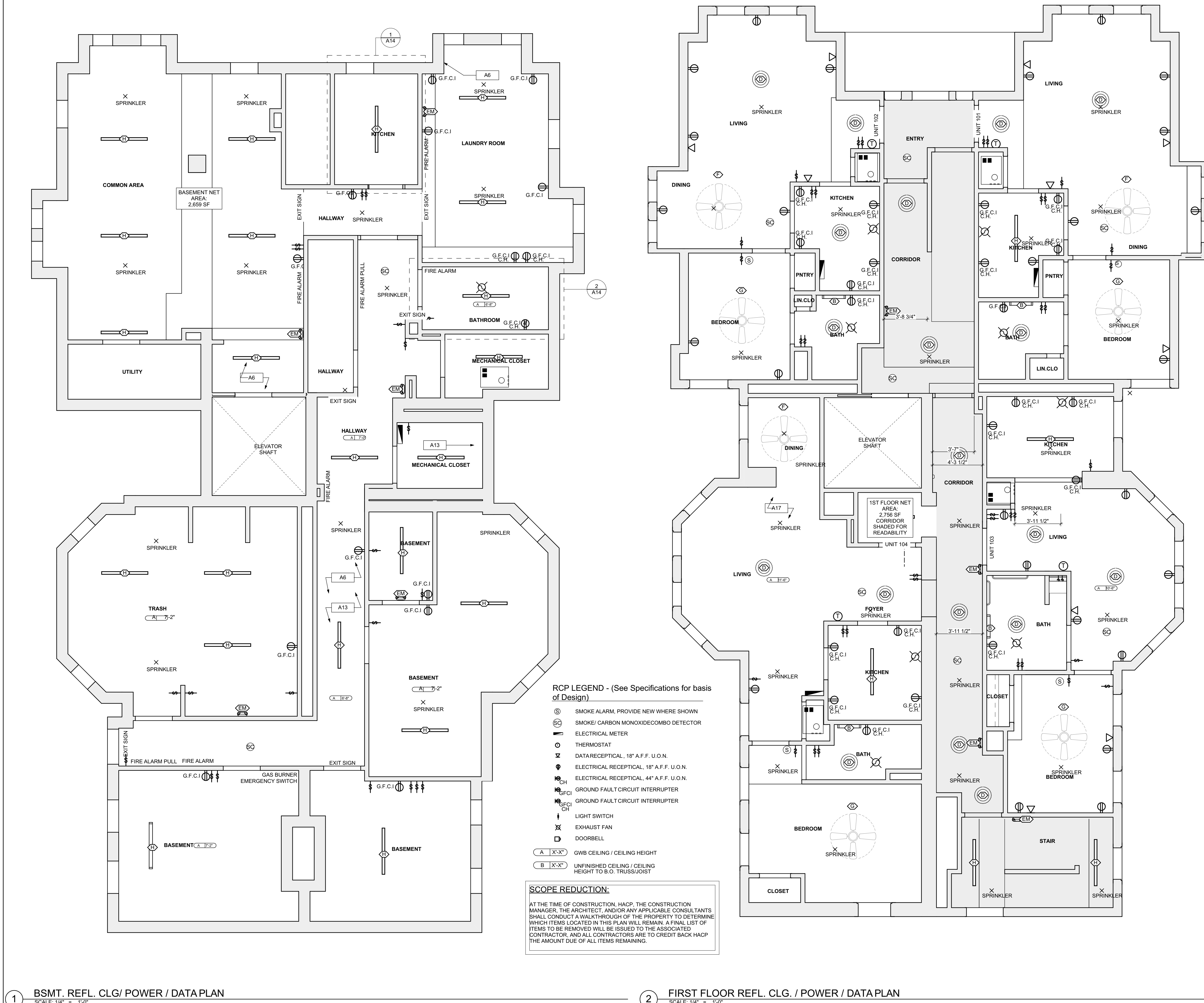
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

EXTERIOR SIGNAGE, LEVEL CHANGE DETAILS, DETECTABLE WARNING DETAIL, HANDRAIL AND STAIR DETAILS, ACCESSIBLE PARKING SIGN DETAIL, ACCESSIBLE PARKING STALL

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	20	A19
of.	55	
		Project #2006



- SITE**
- S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 1/2" SAND AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 8" W/ REINFORCEMENT. REPLACE EXISTING VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE EXISTING TRIM. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALLED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION UNIFORM AND CALK. BELOW NEW SLAB SECTION PROVIDE W/WT. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. SWEEP OR SEAL. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE W/WT. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKS AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE AND REAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR OR TERNORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 SOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTOR. REPLACE BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. PATCH AND REPAIR. REPAIR OR REPLACE. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH W/ PRINTER AT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL. IF NECESSARY REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, TREADS, RISERS, AND RISERS. RESEAL TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR STAIR. PERMANENT COLUMN. BRACE AND SHORE FOR NEW STANDARD 2X2X2 SPREAD FOOTING AND REPAIR CABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR. CONT. ALL APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF SUBFLOORING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALLS.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FEATURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CORRECT ALL BLENDS WITH WEATHERSTRIPE. ISSUES AS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BSMT. REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale As Noted	Sheet No. A20 Project #2006
date May 6, 2022	
no. 21	of. 55

1 BSMT. REFL. CLG/ POWER / DATA PLAN
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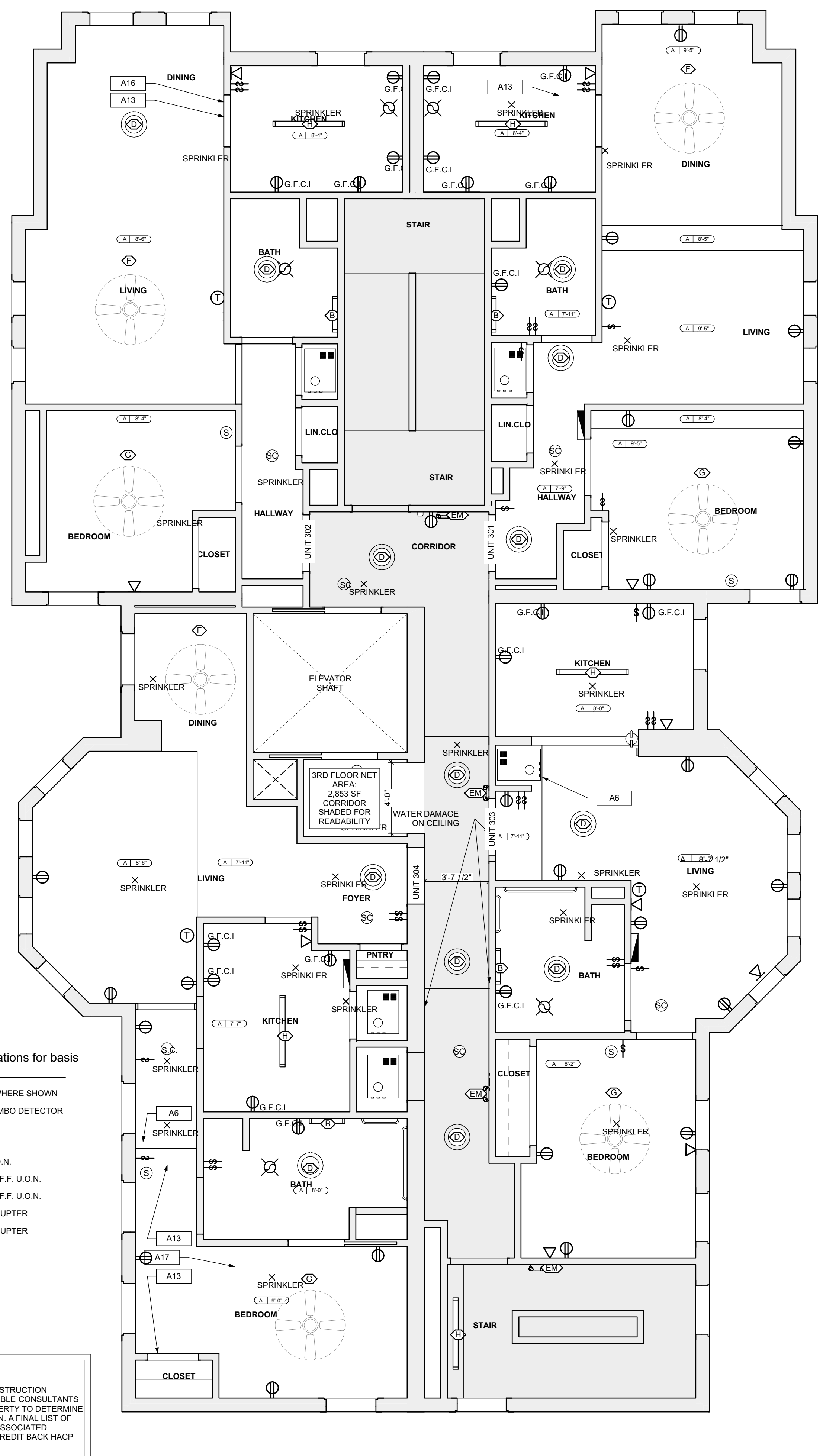
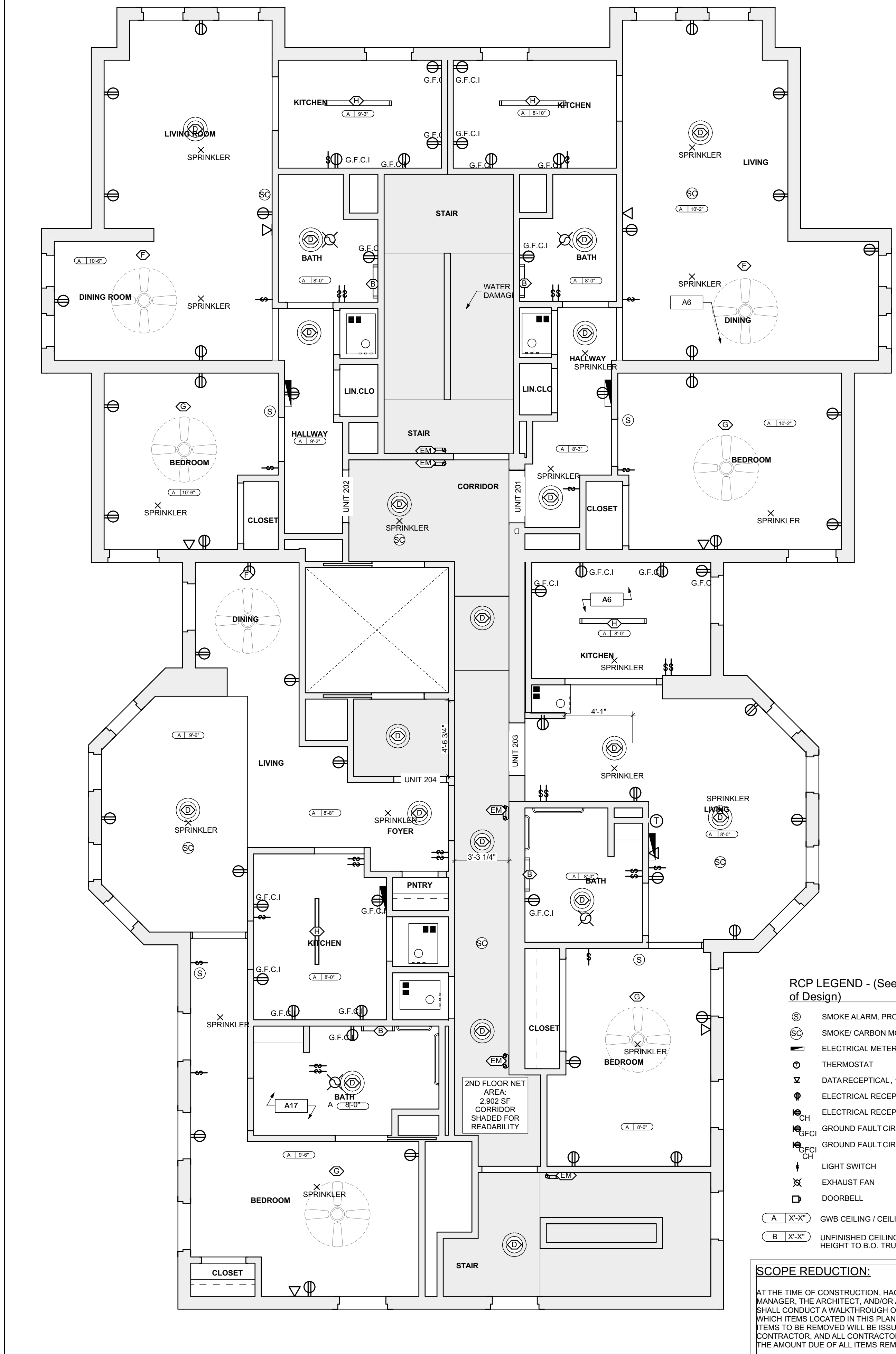
2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



RCP LEGEND - (See Specifications for basis of Design)

- ☉ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- ☉ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ⊖ ELECTRICAL METER
- ⊖ THERMOSTAT
- ⊖ DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ⊖ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ⊖ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- ⊖ GFCI GROUND FAULT CIRCUIT INTERRUPTER
- ⊖ GFCI GROUND FAULT CIRCUIT INTERRUPTER
- ⊖ LIGHT SWITCH
- ⊖ EXHAUST FAN
- ⊖ DOORBELL
- A |X-X" GWB CEILING / CEILING HEIGHT
- B |X-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



RCP LEGEND - (See Specifications for basis of Design)

- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- ⊙ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ⊙ ELECTRICAL METER
- ⊙ THERMOSTAT
- ⊙ DATA RECEPTICAL, 18" A.F.F. U.O.N.
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- ⊙ EXHAUST FAN
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SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 2" CAS AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 8" REPLACE TURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STAIRS OR BETWEEN EXISTING SIDEWALK AND CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE CUT OF PLUMB SUPPORT POST PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. SWALES, OR SEAL. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 7% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WVF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR OR TERMINATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 SOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION. REPLACE BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED MATERIAL. PATCH AND REPAIR WITH MATCHING MATERIAL. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1/4" PLYWOOD OR 1/2" OSB. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR DEMO EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, NICKERBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. REMOVE EXISTING SLAB FOR NEW STANDARD 2X12 JOIST BRACING FOOTING AND SPRING CABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AT APPLICABLE JOINT. DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FINISH LEVEL IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FEATURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CORRECT ALL BELLS WITH WITH RESTRICTION ISSUES AS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

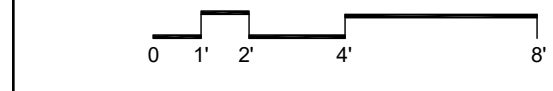
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

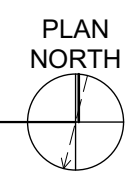
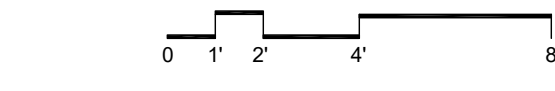
drawing title

SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, SMALL UNIT KEYNOTES, GRAPHIC SCALES

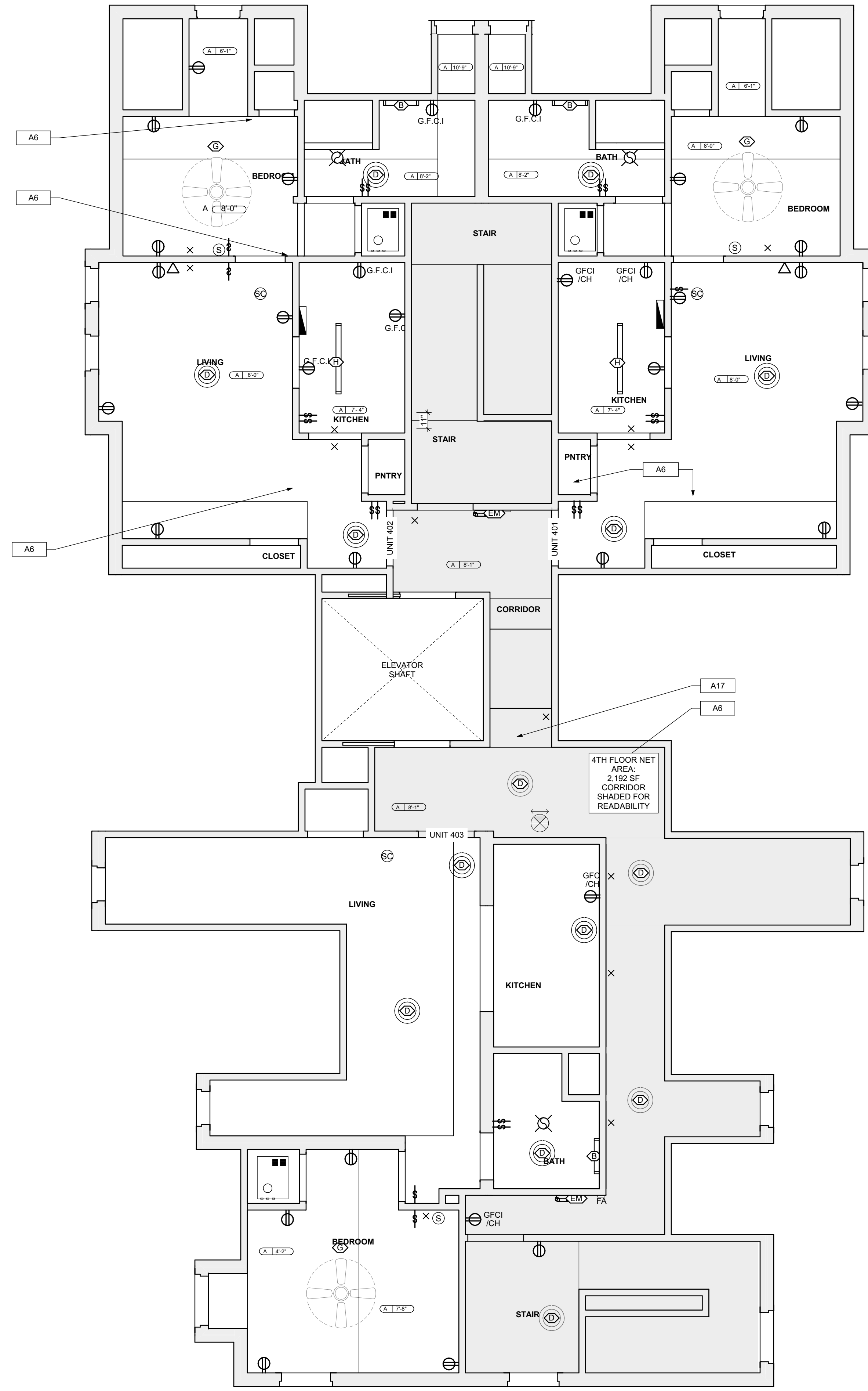
1 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



scale	As Noted	Sheet No.
date	May 6, 2022	
no.	22	A21
of.	55	
		Project #2006



LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	B	Short Bathroom Light Bar - Replacement Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NL18	15
	D	Box-Style Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	66
	EM	Emergency Lights	N/A	N/A	15
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	9
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	15
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	39

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

- SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- GROUND FAULT CIRCUIT INTERRUPTER
- GROUND FAULT CIRCUIT INTERRUPTER
- LIGHT SWITCH
- EXHAUST FAN
- DOORBELL
- GWB CEILING / CEILING HEIGHT
- UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
 ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



- SITE**
- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE 2" CHALK AND REGRADE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POLYMER CONCRETE TO MEET SLOPE REQUIREMENTS WHERE POLYMER CONCRETE IS PRESENT. MINIMUM 3" OVER 8" REPAIR TO EXISTING VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE EXISTING CONCRETE. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALLED AND NEEDED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. PROVIDE JOINT AND CHALK BELOW NEW SLAB SECTION AND PROVIDE COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CHALK BELOW NEW SLAB SECTION AND PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW POINTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BEHIND WINDOW WELL TO REMOVE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND REAL AS APPLICABLE. TO INCLUDE FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- [A1] REPAIR OR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT AT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] SOWING EXTERIOR WALL OR RETAINING WALL. BRICK AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION. BRACE AND SHORE TO STABILIZE. REMOVE AND REPAIR AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNRESTRICTED CLOSURE OF DOOR. REHANG DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR AND FINISH SURFACE WITH WATER RESISTANT BOARD. REPAIR AND FINISH SURFACE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OR TUB AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH NEW FINISHED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, RICKBOARDS, TREADS, AND RISERS. RISERS AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. BRACE AND SHORE FOR NEW STANDARD 2X4X4 SPREAD FOOTING AND BRACE. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB-FLOORING OR DRYWALL AT UNEVEN AREAS IF SURFACE LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] IMPROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDING ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONDENSATION. ALL BASEMENTS TO BE MITIGATED. ISSUES AS TO GET WATER PROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

FOURTH FLOOR REFL. CLG. / POWER / DATA PLAN, LIGHTING SCHEDULE, SMALL UNIT KEYNOTES, GRAPHIC SCALES

1 FOURTH FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

scale As Noted	Sheet No. A22 Project #2006
date May 6, 2022	
no. 23	of. 55



WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 0 1' 2' 4' 8'

HISTORIC

- H11 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED, TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- H12 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXIST. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW W/IN KIND. ALL WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING, HAND SCRAPE AND REPAINT TRIM OR BLENDED TRIM AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR NEARLY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H13 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H14 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICHE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CALK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H15 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO BE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING NPS GUIDELINES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H16 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE RESOLVED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST MORTAR JOINTS TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H17 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- H18 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H19 - TYP X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOW INDICATED INCLUDING FRAME AND FLASHING WITH NEW WOOD UNITS MATCHING THE EXISTING FENESTRATION AND FRAME ARRANGEMENT. NOTE: ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- H110 - TYP X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS)
- H111 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND REPAINT PEELING OR BLETTED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT FRONT DORMER FROM FURTHER DETERIORATION.
- H112 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PREPARED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS.
- H113 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H114 AT THIS LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H115 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S11 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CORK AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POLYMER CONCRETE IS TO BE USED TO REPAIR CONCRETE. CONCRETE IS TO BE PRESENT MINIMUM 3" OVER P-27 SPECIFICATIONS.
- S12 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TYPERS LEVELING AT SIDEWALKS AS NECESSARY PER SPECIFICATIONS.
- S13 TEMPORARILY SHORE EXISTING PORCH AND REPAIR OR REPLACE EXISTING POSTS AND PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S14 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH SLOPE JOINT AND CALK BELOW NEW SLAB SECTION. PROVIDE W/4" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S15 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. REPAIR OR REPLACE CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH SLOPE JOINT AND CALK BELOW NEW SLAB SECTION. PROVIDE W/4" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S16 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METAS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- S17 REPAIR EXISTING DAMAGED EXTERIOR STEP POLAR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S18 TRIM EXISTING TREE AWAY FROM BUILDING AS REQD.
- S19 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S20 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLEFTS TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PORTLAND CEMENT CONC. REFER TO SPECIFICATION FOR DETAILS.
- S21 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING WINDOW WELL. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S22 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DROPS TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- S23 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST CLEAN AND REPAIR SURFACE. REPAIR ANY CRACKS AS NECESSARY.
- S24 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR OR TEMPORARILY BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIE-BACKS AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR APPROPRIATE CLOSURE OF DOOR. REPAIR DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR OR REPLACE AS NECESSARY. REPLACE ALL WEI LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF THIS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1/2" PAINTED FLAT STOOD WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE STAIR AND REPAIR WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISERS AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION. BRACE AND SHORE FOR NEW STAIR AND 2X2" SPREAD FOOTING AND BRACE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WEI LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE FURTHER LEVELS AS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FEATURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATION.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DUCTWORK IN SPACE TO MITIGATE MOISTURE. THIS SPACE SHALL BE SEaled WITH WATERPROOFING. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** if any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

WEST ELEVATION, SMALL UNIT KEYNOTES, GRAPHIC SCALES, HISTORIC KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	25	of.
	55	
		A24
		Project #2006



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8' 16'

HISTORIC

- H11 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- H12 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXIST. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED, CLEARLY WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H13 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H14 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPOINTING AND CALK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H15 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H18B RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISOLATED, PROCEED TO REPOINT, LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST MORTAR REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H17 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- H18 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H18-TYP-X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WOOD UNITS MATCHING THE EXISTING FENESTRATION AND FRAME ARRANGEMENT. NOTE: WINDOW OPENING IS TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- H18-TYP-X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS)
- H11T IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND REPAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMERS AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H12T IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS.
- H13T AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHINGS TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H14T AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H15T AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S11 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAKES AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER P-20 FIBER REINFORCED VEGETATION PER SPECIFICATIONS.
- S12 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALKS AS NECESSARY PER SPECIFICATIONS.
- S13 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE BRICKY POST. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S14 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH 5/8" SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE 10" COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S15 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. REPAIR OR REPLACE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH 5/8" SLOPED JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE 10" COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S16 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- S17 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S18 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S19 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S20 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLEFTS TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S21 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S22 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- S23 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REPAIR ANY CRACKS AS NECESSARY.
- S24 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR OR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIE-BACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1/2" PAINTED FLAT STOOD WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL IN THE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISERS AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION. BRACE AND SHORE PER PERMANENT COLUMN. BRACE AND SHORE FOR NEW STAIR AND 2x2" SPREAD FOOTING AND ANCHORS. REFER TO SPECIFICATIONS FOR DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB-FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
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PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

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- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
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- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CHECK BALANCE WITH MECHANICAL ENGINEER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
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GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

scale

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SOUTH ELEVATION, GRAPHIC SCALES, HISTORIC KEYNOTES, SMALL UNIT KEYNOTES

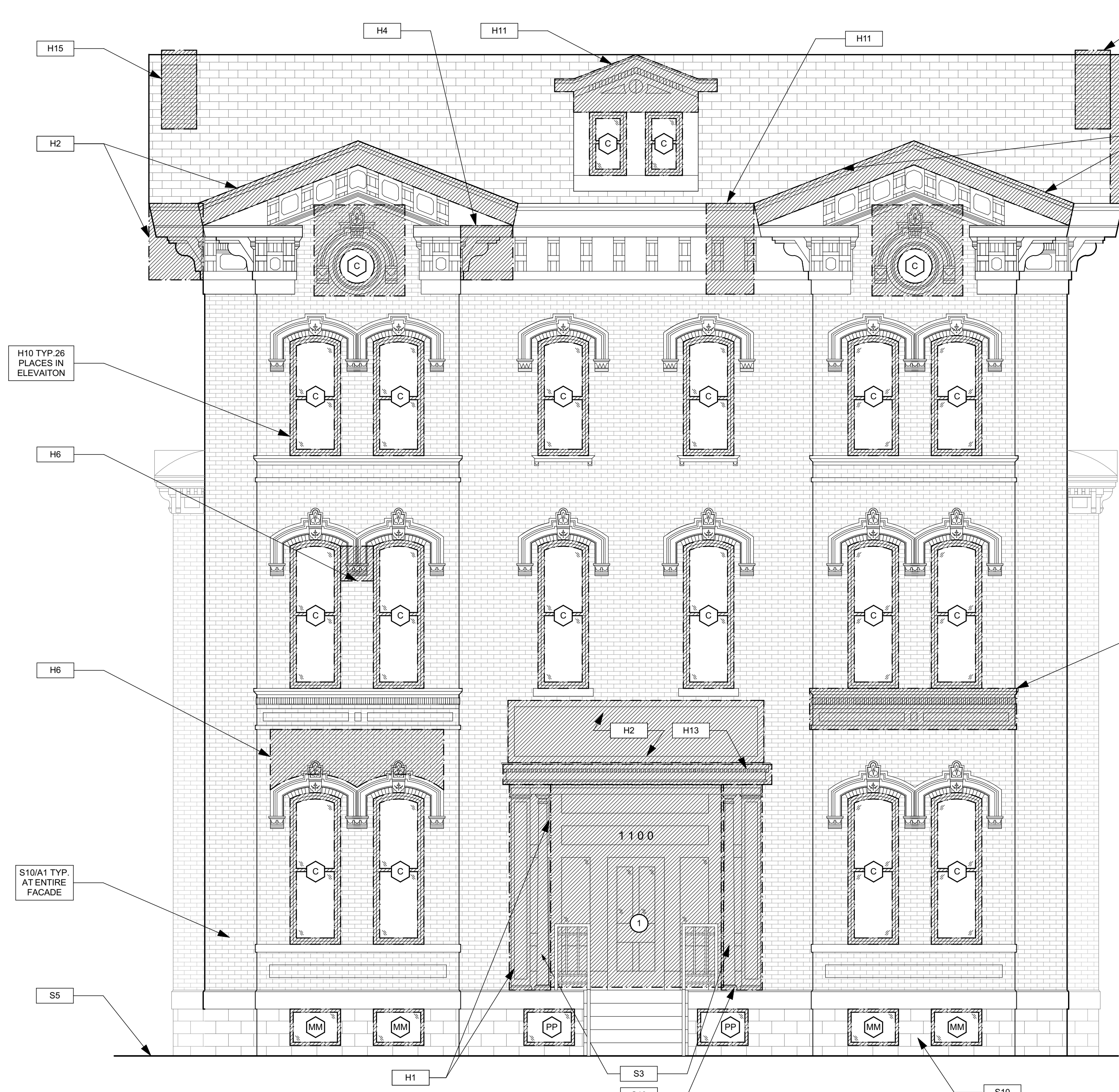
scale
 As Noted

date
 May 6, 2022

no. of
 26 55

Sheet No.
A25

Project #2006



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8' 16'

HISTORIC

- H11 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- H12 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXIST. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW W/IN KIND. ALL WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING, HAND SCRAPE AND REPAINT FIELDS OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR NEARLY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H13 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H14 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CALLS TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H15 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H16 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE RESOLVED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST MORTAR JOINTS TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAIN USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H17 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- H18 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H19-TYP-X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WOODY UNITS MATCHING THE EXISTING FENESTRATION AND FRAME ARRANGEMENT. NOTE: WINDOW OPENING IS TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- H19-TYP-X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
- H111 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND REPAINT FIELDS OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMERS AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H112 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS).
- H113 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H114 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H115 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S11 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL. PROVIDE CLAY CANS AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET SLOPE REQUIREMENTS TO PREVENT CONCRETE TO PRESENT MINIMUM 3" OVER PAZ. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S12 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALKS NECESSARY PER SPECIFICATIONS.
- S13 TEMPORARILY SHORE EXISTING PORCH AND EXISTING ROOF. PROVIDE 4x4 POSTS TO PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CALLED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S14 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH SLOPED JOINT AND CALK BELOW NEW SLAB SECTION. PROVIDE 4" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S15 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. RAISE OR LOWER. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH SLOPED JOINT AND CALK BELOW NEW SLAB SECTION. PROVIDE 4" COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S16 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST FOR LEAKAGE AND CITY OF PITTSBURGH APPROVED GAS METER.
- S17 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S18 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S19 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S20 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLEFTS TO MATCH (SHOUT AT NEAREST BLOCK). PROVIDE NEW PORTLAND CEMENT CONCRETE TO MATCH SPECIFICATION FOR DETAILS.
- S21 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING WINDOW WELL. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S22 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE TO 12" FROM GRADE. PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- S23 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REPAIR ANY CRACKS AS NECESSARY.
- S24 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, GUTTERS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR OR TEMPORARILY BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIE-BACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR PROPER DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCES. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1" PAINTED FLAT STOOD WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. REPAIR AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. LAMINATE EXISTING SLAB FOR NEW COLUMN AND 2x2" SPREAD FOOTING PER SPECIFICATIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AT APPLICABLE. POINT DETERIORATING CIRCUIT LINES AS NECESSARY AND APPLY VAPOR BREATHEABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELS IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONDENSATION. BALANCE SYSTEM WITH MITIGATOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

GENERAL NOTE:
 SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

scale

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

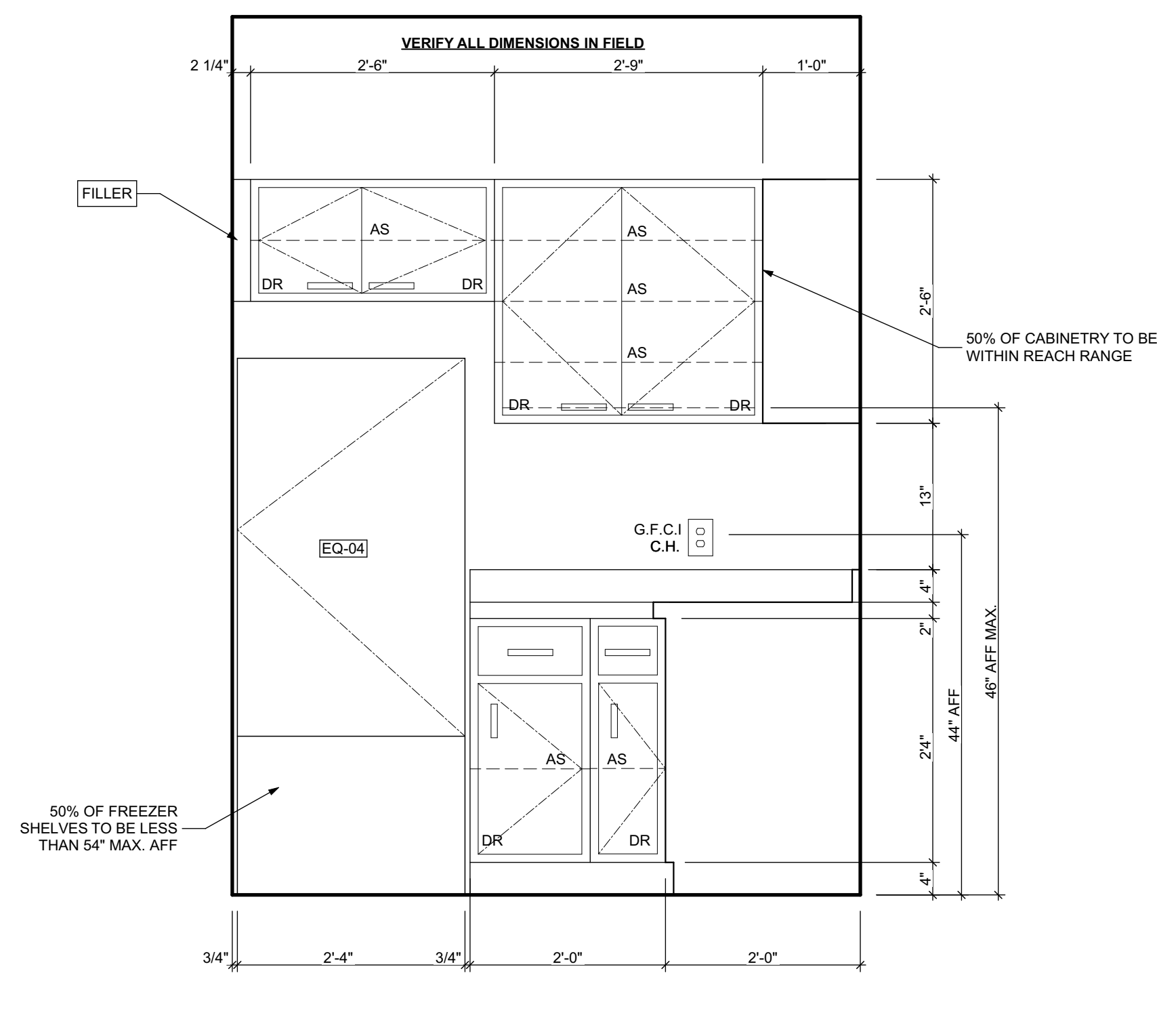
Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1100 SHEFFIELD STREET
 PITTSBURGH, PENNSYLVANIA
 15233

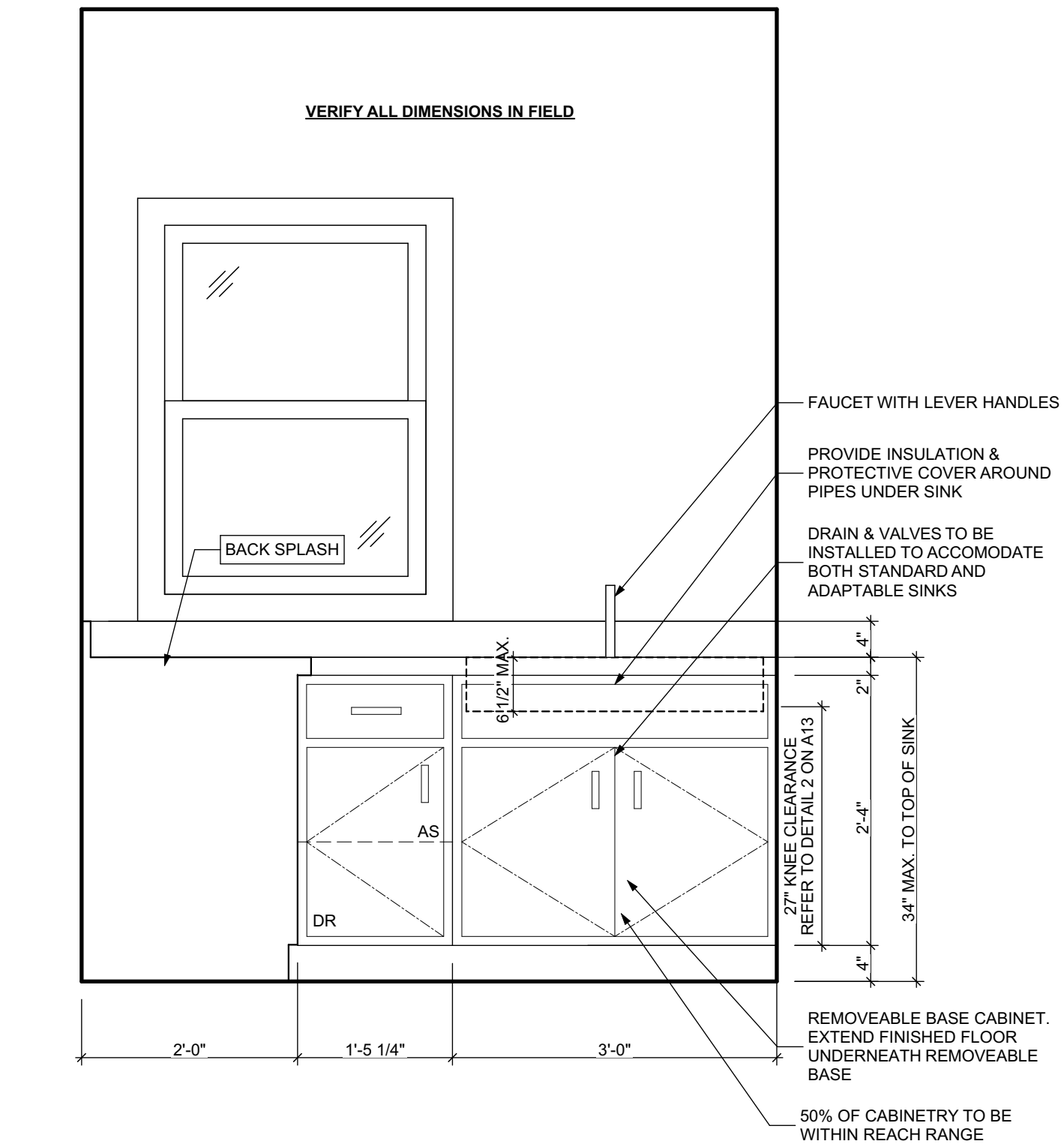
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HISTORIC KEYNOTES, SMALL UNIT KEYNOTES, NORTH ELEVATION, GRAPHIC SCALES

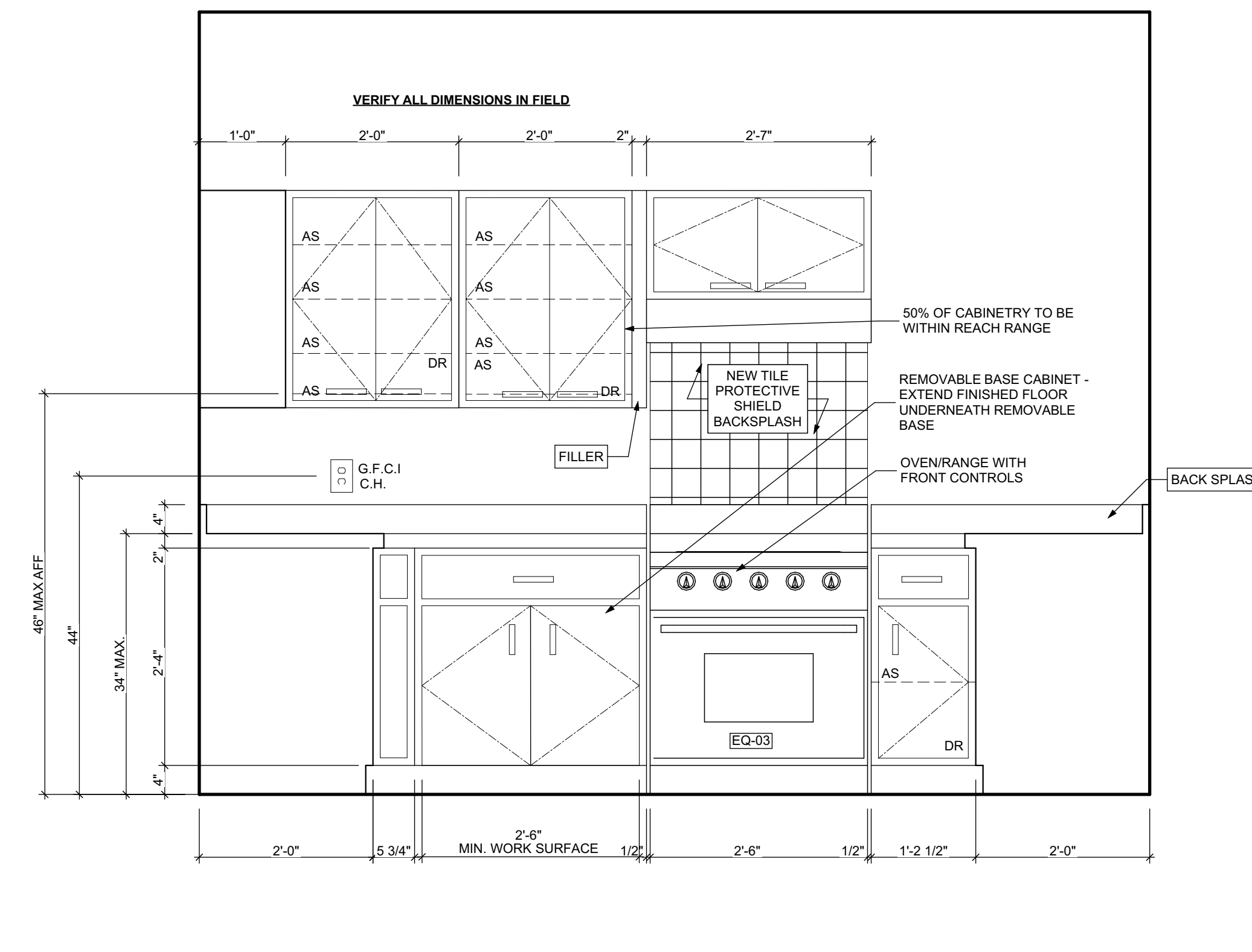
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date	May 6, 2022	
no.	27	of.
		A26
		Project #2006



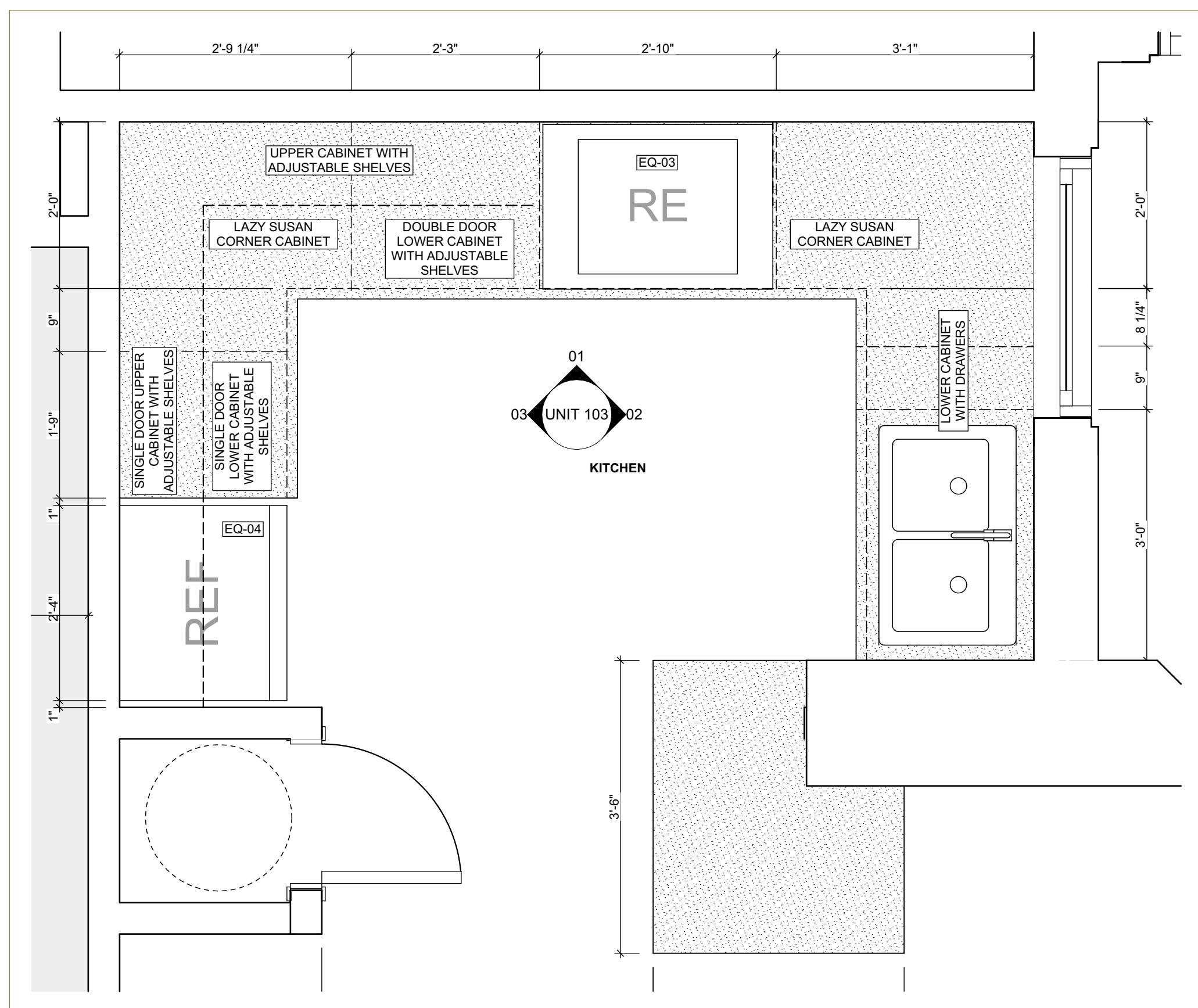
3 UNITS 103, 203, 303 KITCHEN ELEVATION 3
SCALE: 3/4" = 1'-0"



2 UNITS 103, 203, 303 KITCHEN ELEVATION 2
SCALE: 3/4" = 1'-0"



1 UNITS 103, 203, 303 KITCHEN ELEVATION 1
SCALE: 3/4" = 1'-0"



4 ENLARGED FLOOR KITCHEN PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	MODEL	DIMENSIONING NOTES
MIRROR	16	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent		Remove existing and place new mirror in same location
MEDICINE CABINET	0	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicine cabinet in same location
TOWEL BAR	15	MOEN Contemporary 24 in. Towel Bar in Chrome		Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	16	MOEN Contemporary Toilet Paper Holder in Chrome		Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	16	MOEN Contemporary Towel Ring in Chrome		Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	0	MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	15	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	15	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 800	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	15	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
WASHER	W	1	WHIRLPOOL	WDF330PAHB	24in black front contro built 0in tall tub dishwasher with 1 hr wash cycle, 55 dBA
DRYER	DR	1	WHIRLPOOL	WGD4950HW	7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	10	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (DOUBLE BOWL) ADA	-	5			
KITCHEN SINK (SINGLE BOWL)	-	2	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	16	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	10	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
VANITY LAVATORY - ADA	-	5			
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	1	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	16	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	10	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
WATER CLOSET - ADA	-	6			
SHOWER	-	8	DREAMLINE	PRISM DL-6030-04	
SHOWER - ADA	-	5			Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	2	AMERICAN STANDARD	PRINCETON 2391 S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	15	MOEN	T269E3P / T634ZEP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	2	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" * 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	2	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	0	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
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15233

drawing title

UNITS 103, 203, 303 KITCHEN
ELEVATION 1, UNITS 103, 203, 303
KITCHEN ELEVATION 2, UNITS
103, 203, 303 KITCHEN ELEVATION
3, ENLARGED FLOOR KITCHEN
PLAN

scale
As Noted

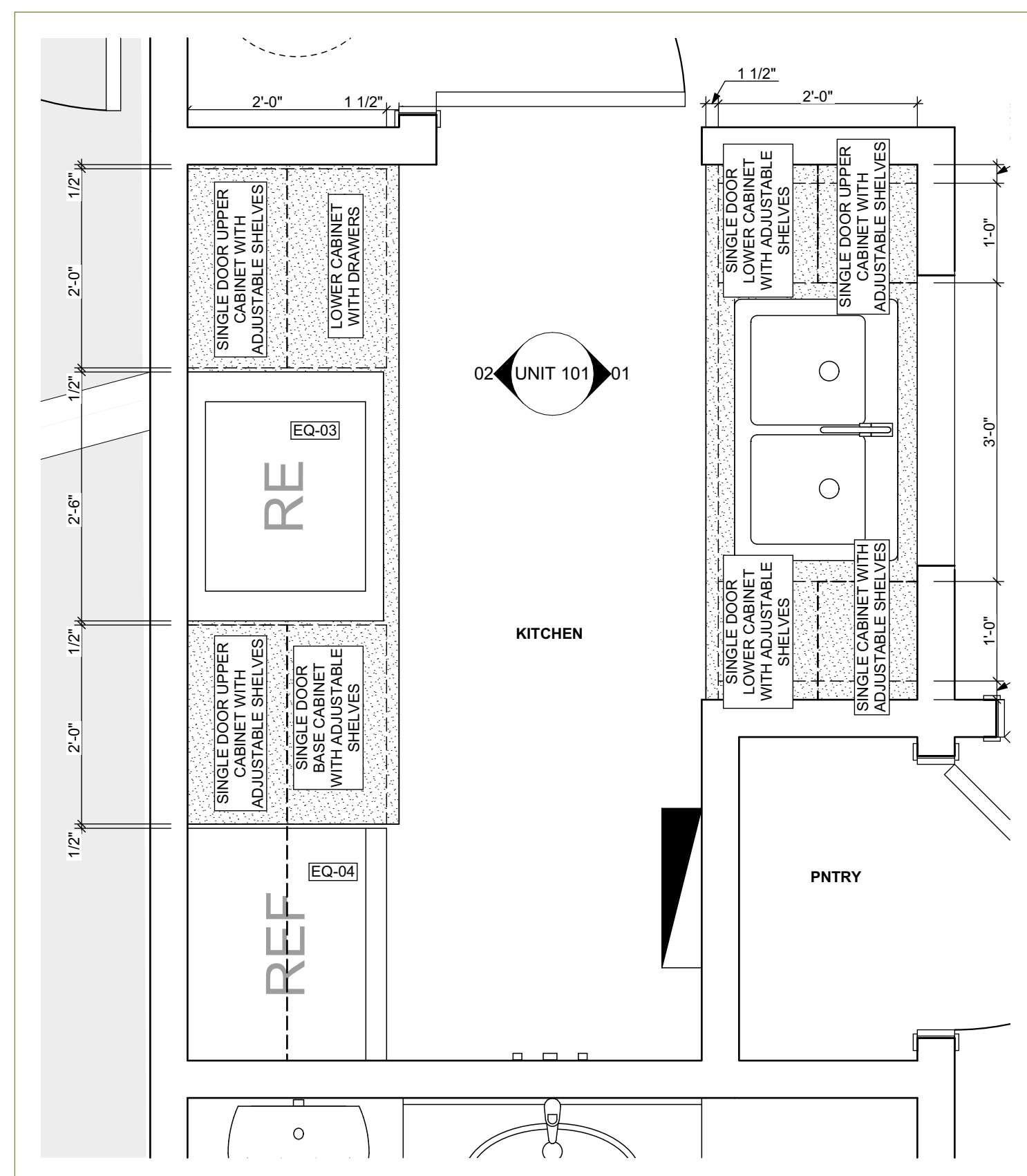
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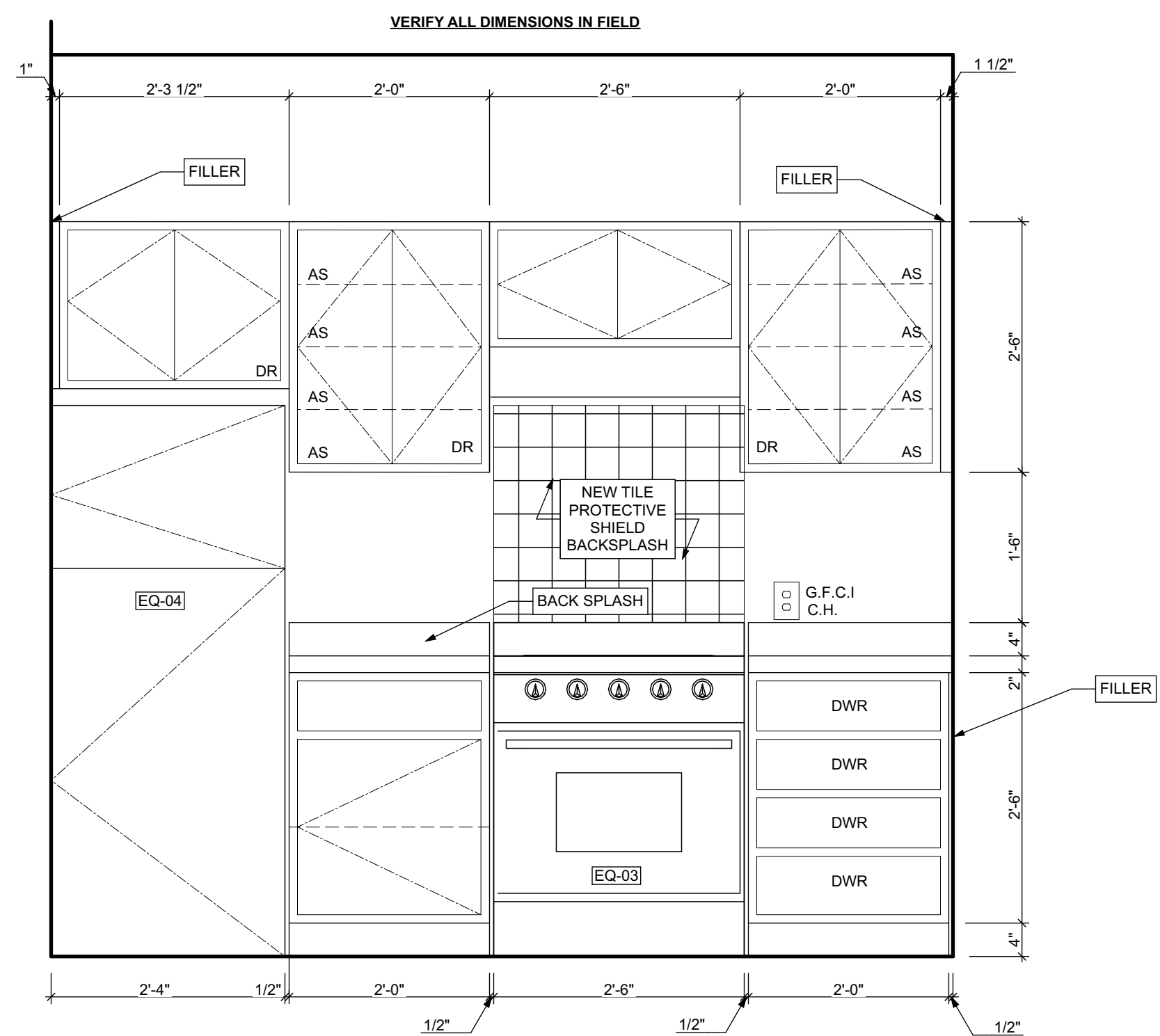
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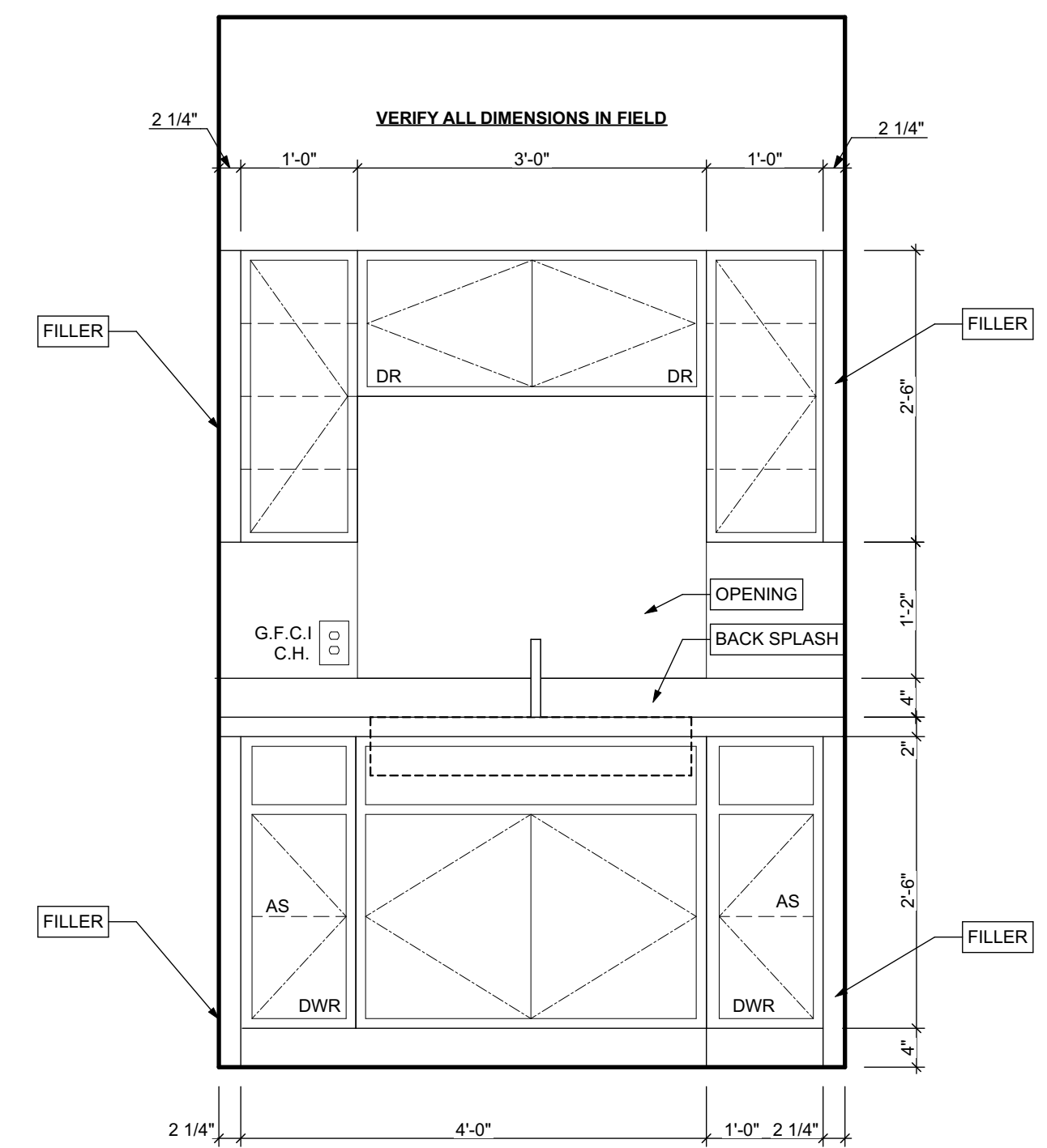
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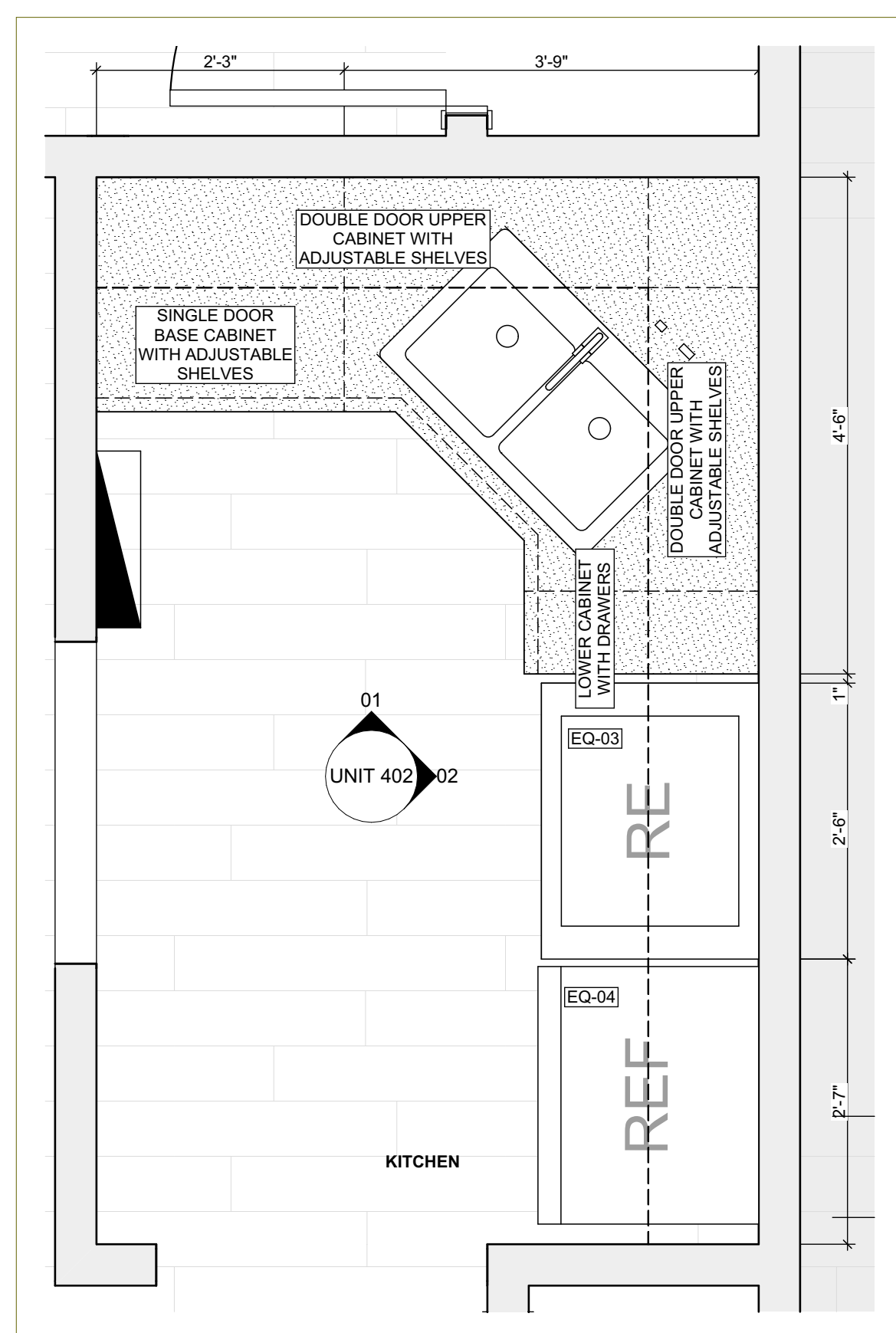
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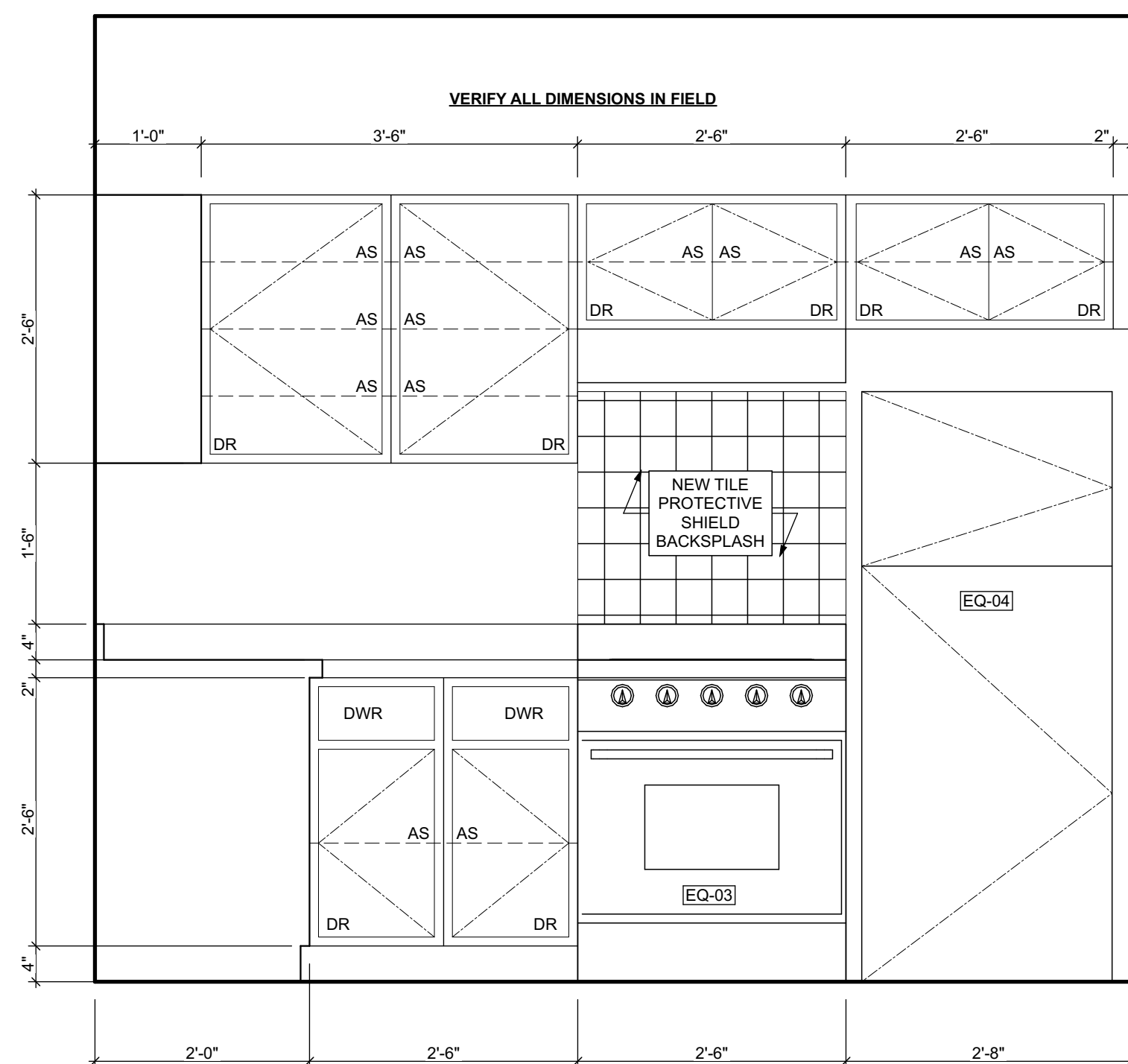
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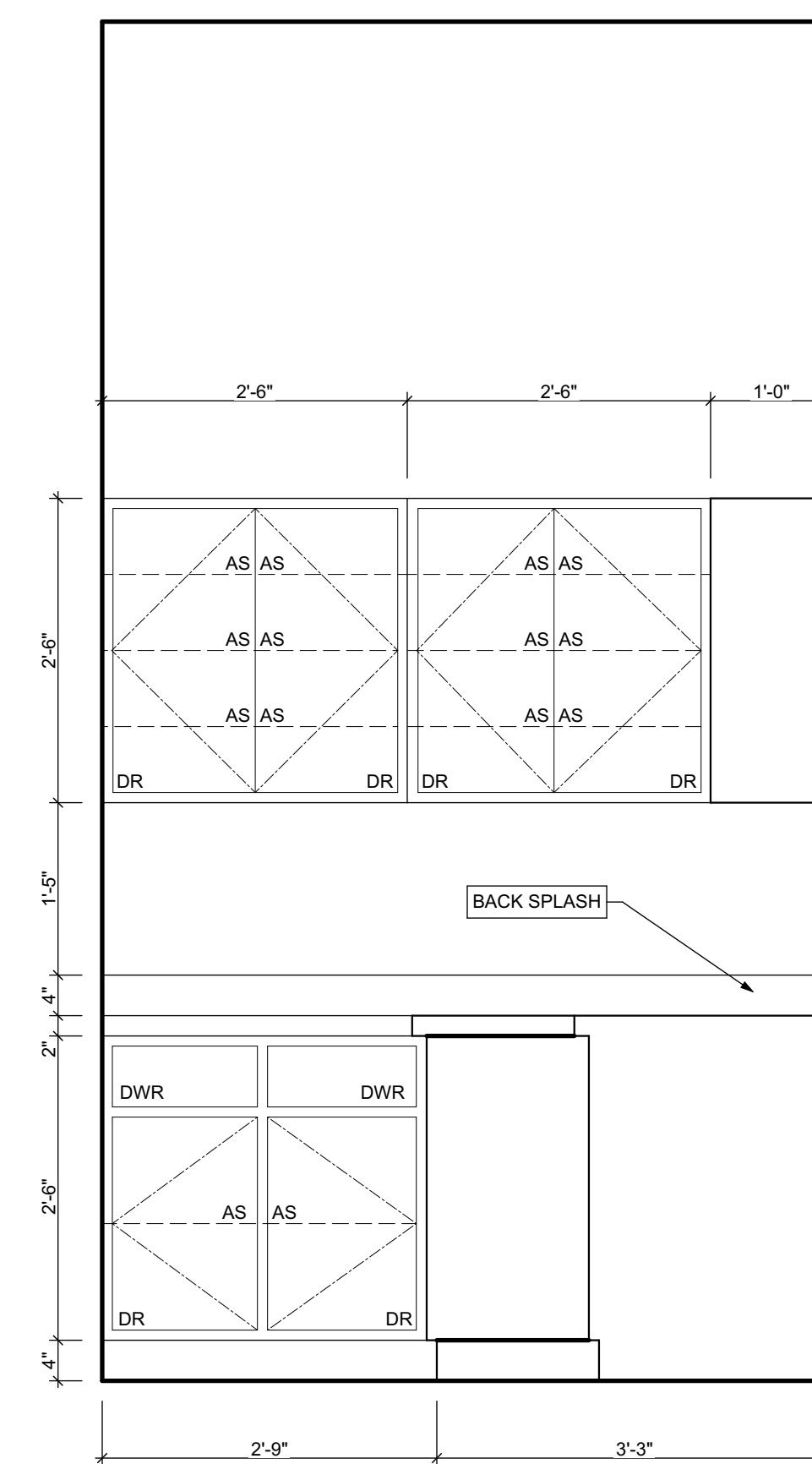
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6 ENLARGED FLOOR KITCHEN PLAN
SCALE: 3/4" = 1'-0"



5 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



4 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"

seal

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Project Location:
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1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02,
ENLARGED FLOOR KITCHEN
PLAN**

scale
As Noted

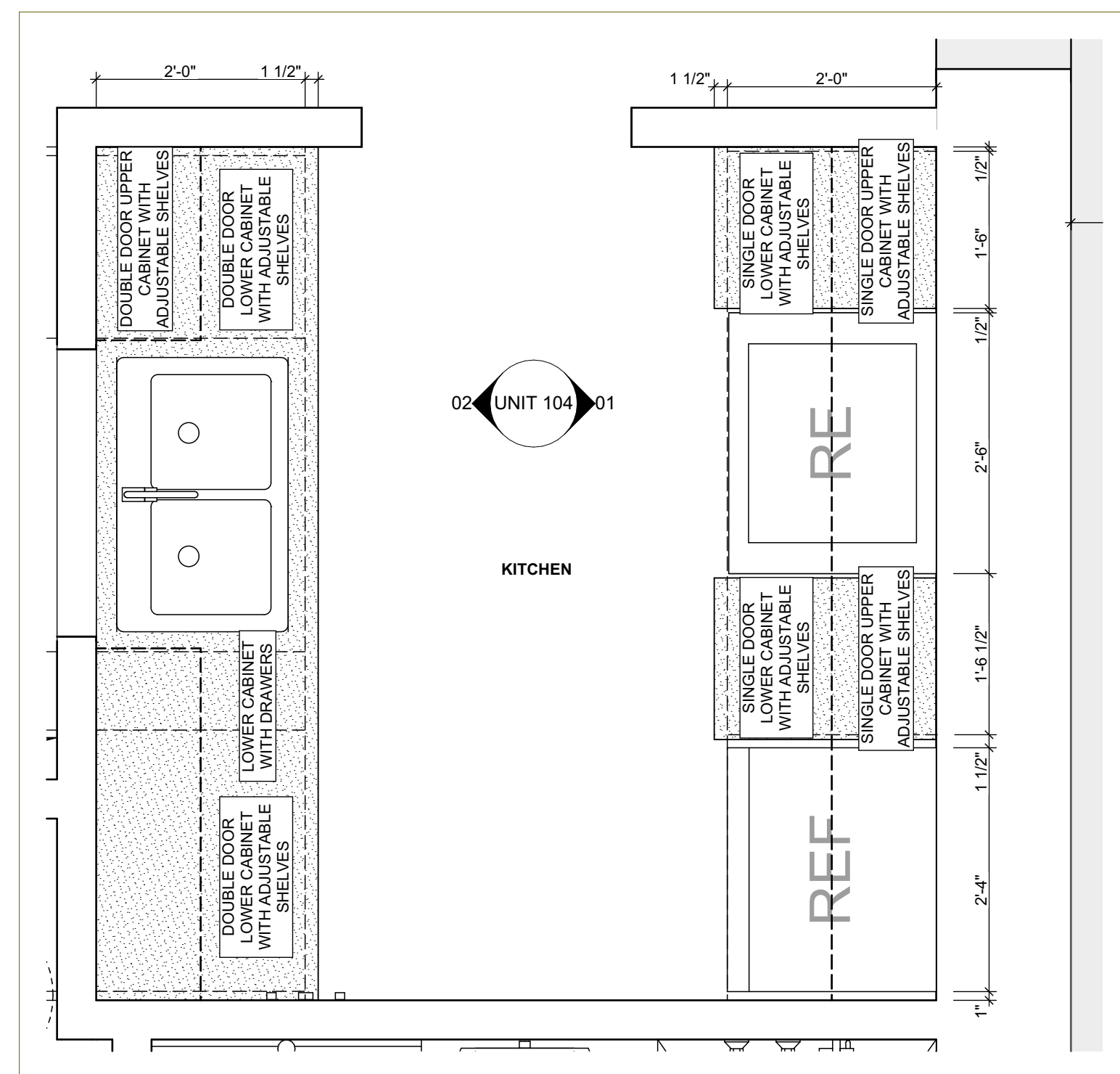
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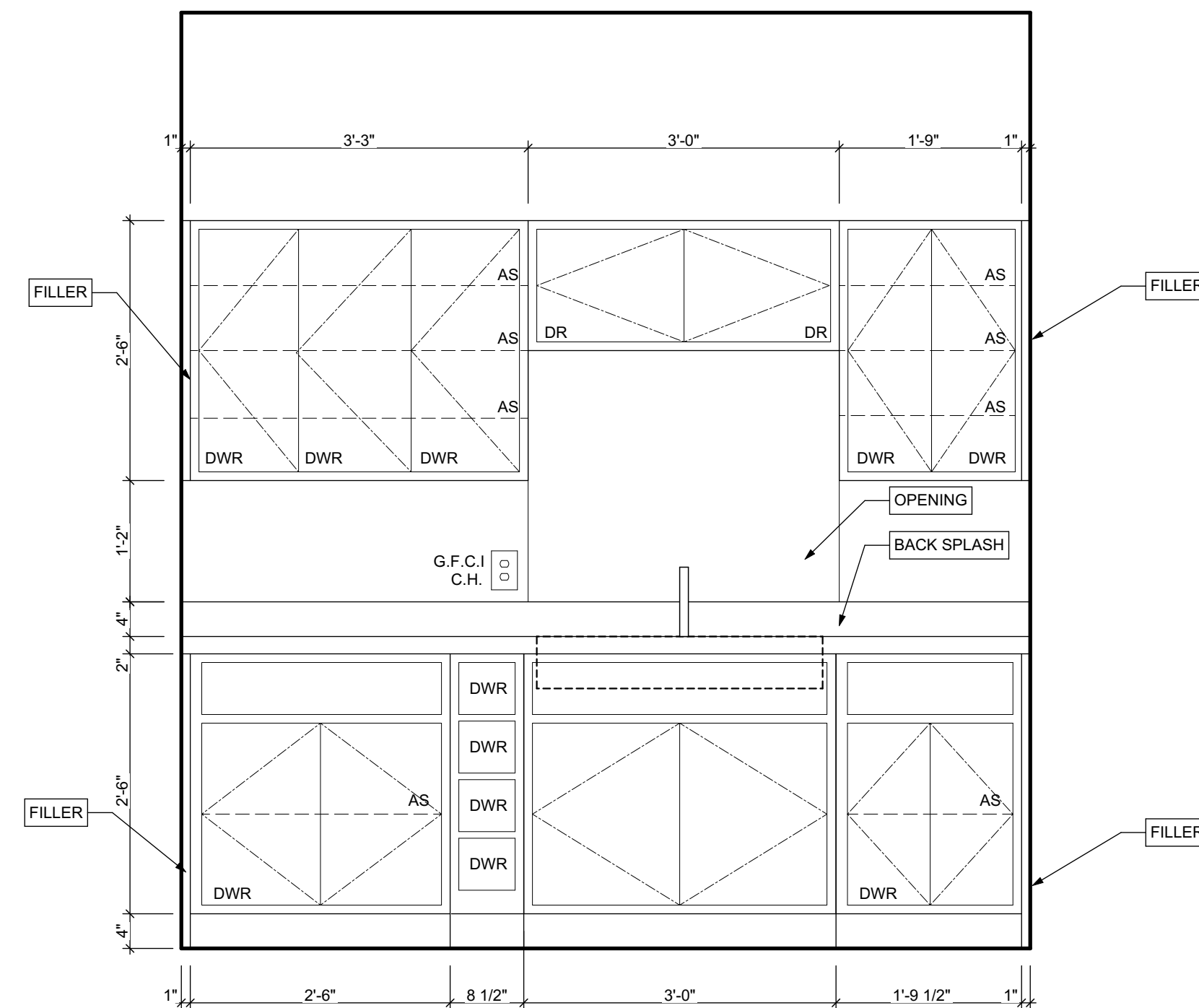
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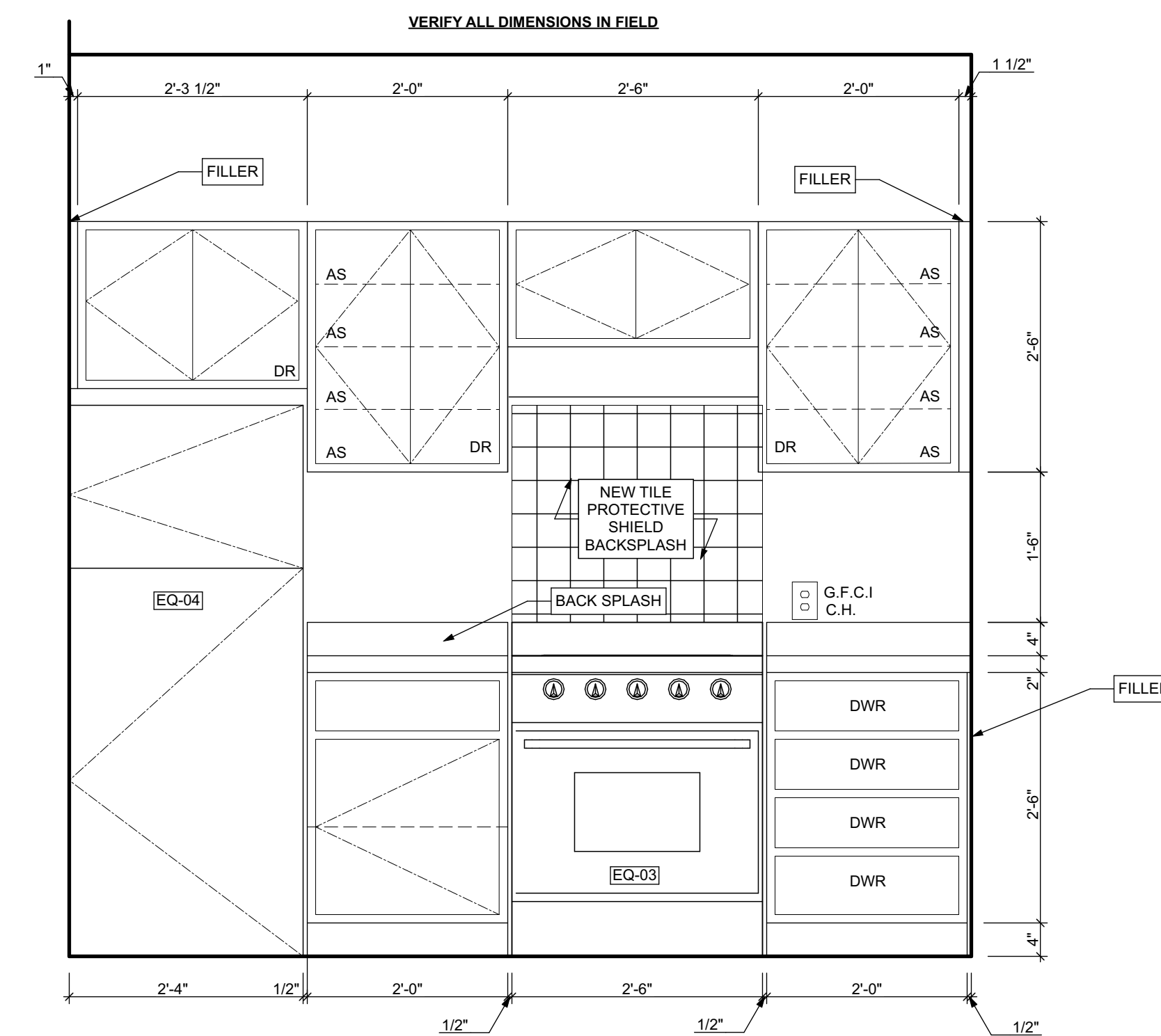
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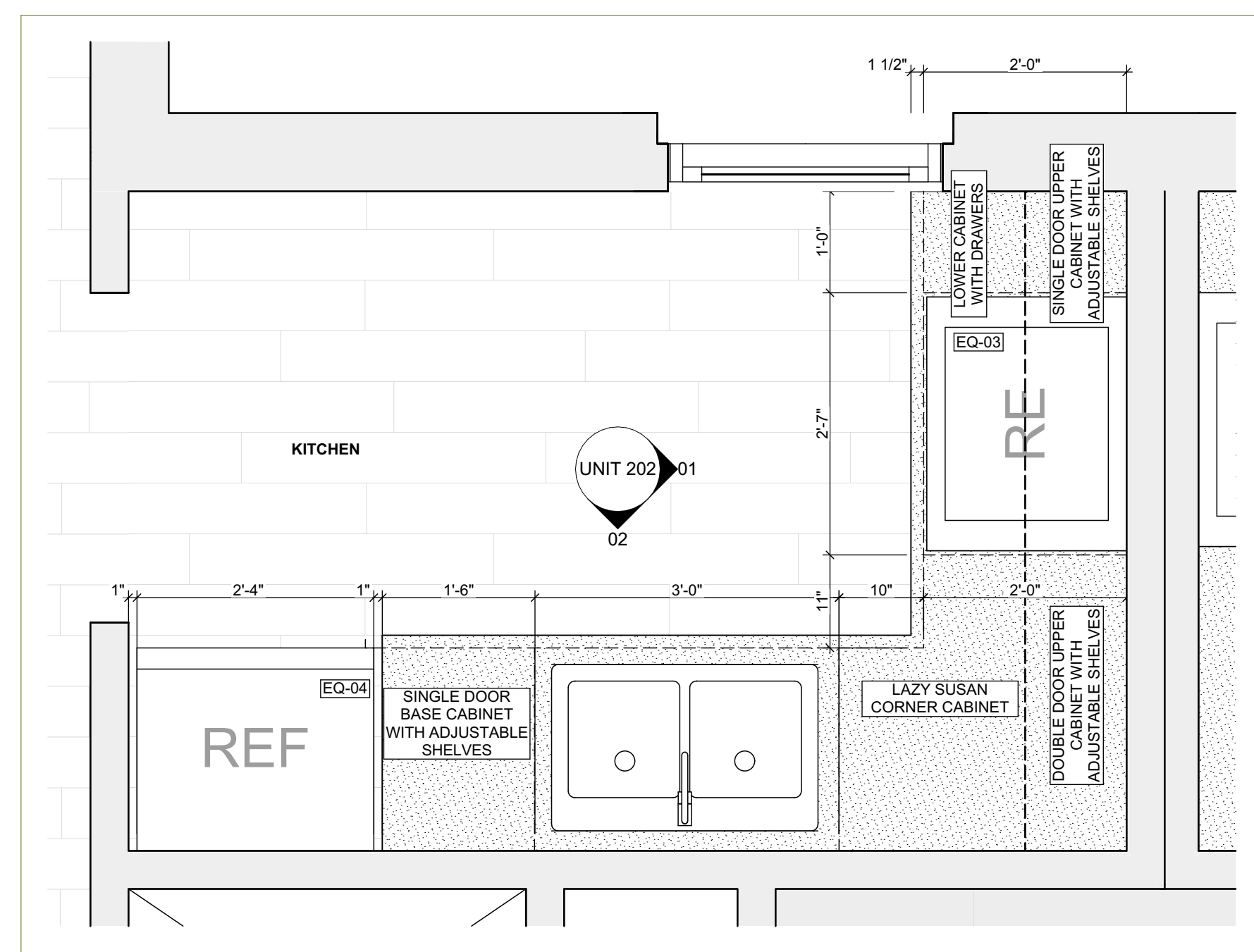
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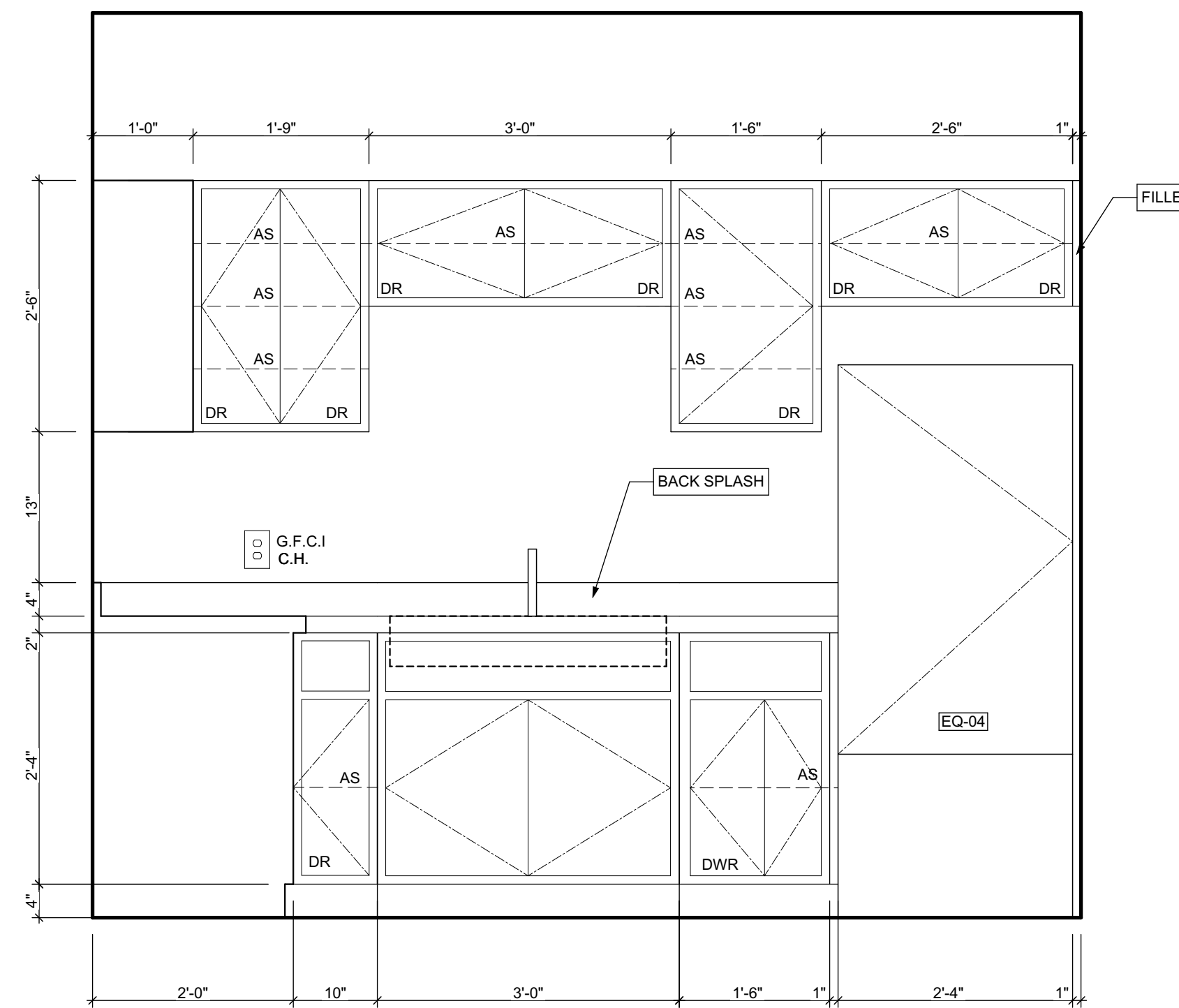
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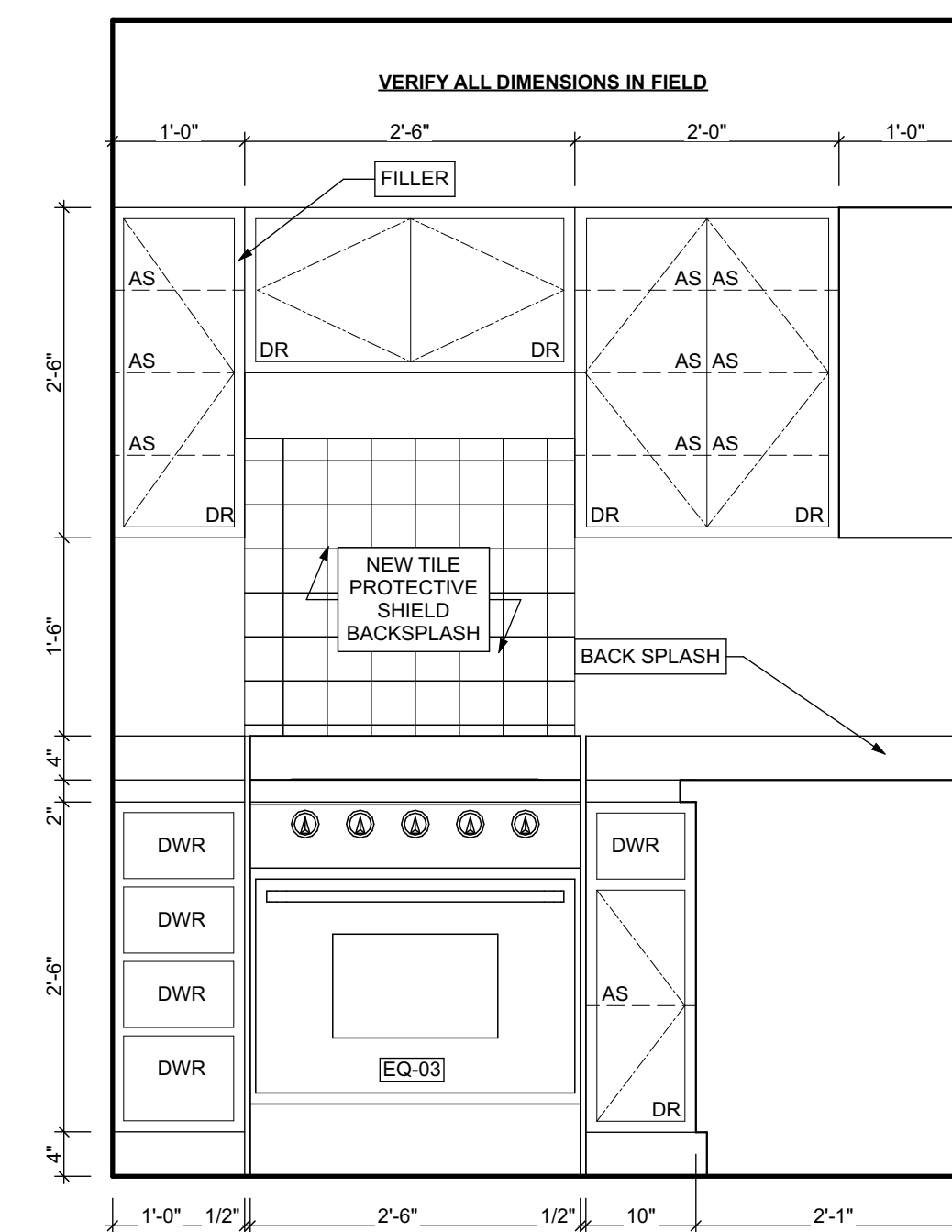
1 KITCHEN ELEVATION 01
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6 ENLARGED FLOOR KITCHEN PLANS
SCALE: 3/4" = 1'-0"



5 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



4 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"

seal

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- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1100 SHEFFIELD STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**KITCHEN ELEVATION 01,
KITCHEN ELEVATION 02,
ENLARGED FLOOR KITCHEN
PLAN, ENLARGED FLOOR
KITCHEN PLANS**

scale
As Noted

date
May 6, 2022

no. 30 of. 55

Sheet No.

A29

Project #2006