### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification Of Selection Criteria The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: Manchester Scattered Sites The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.) Development Characteristics **Energy Conservation/Green Building** As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures Smart Site Selection - The development is located on, or is a(n): Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.) Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.) Certification under a National Green Building Program \_\_\_\_\_ Enterprise Green Communities – 2020 \_\_\_\_\_ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) – Silver \_\_\_\_\_ LEED v4 BD+C Multifamily Midrise – Silver OR LEED v4 BD+C New Construction & Major Renovation – Silver (4 stories or more) \_\_\_\_\_ ICC 700-2020 National Green Building Standard – Silver TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification Of Threshold Criteria the submission of an application. Development: \_\_\_\_\_Manchester Scattered Sites

The Agency has requested certain certifications from the architect and applicant in connection with

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

### **Development Amenities** As the **DESIGN ARCHITECT**, I certify that:

- An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage) (A long-term agreement with an existing community facility within walking distance from the
- development may be considered, at the discretion of the Agency.) Common laundry facilities or the provision of washers and dryers in each dwelling un will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing
- machines must be Energy Star® labeled. All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation
- An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.) Broadband Infrastructure - The installation of broadband infrastructure is required in all

new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments)

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA

### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Smoke Free Development

As the APPLICANT, I certify that:

\_\_\_X \_\_\_ At construction completion, a policy prohibiting the use of tobacco products in all dwelling units, common areas, other buildings that are a part of the development and within 25 feet of all buildings in the development will be

### Energy Rebate Analysis (ERA)

- A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts will be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. The energy rebate is not basis eligible and will be removed from basis on a tax credit development. Prior to closing the developer will be required to submit an updated ERA
- a) A list of eligible utility, local, regional, state, or federal rebate programs; b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted
- e) If renewable energy strategies are proposed, a cost/benefit analysis.

DESIGN ARCHITECT		
Signed:	Date:	5.19.2021
Firm Fulli Azalitato Pc	_	
Acknowledged and Accepted by the APPLICANT(S)		

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

This preservation development will achieve certification under one of the green building standards

- X Enterprise Green Communities 2020 Moderate Rehab
- \_\_\_\_\_ LEED v4 O+M Multifamily Certified

Submission drawing/specification package.

- ICC 700-2020 National Green Building Standard Under Section 305.2 Whole Building Rating – Bronze
- Areas Rating Compliant with Chapter 12 (must include kitchens and bathrooms) Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development

ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional

### Energy Efficiency Goals (Only one of the following may be selected)

The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.phius.org or

> www.passiv.de/en for additional guidance.) To qualify for these points, the applicant must contract with a qualified\* Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WP) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WP to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/floor/roof construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. Passive House certification is required.

\*Qualified is defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the **DESIGN ARCHITECT**, I certify that:

See Tab 29
The net area of all dwelling units must fall within the limits listed below. (Net area is Naïver Requests measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.) Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

	FLATS	MULTI-FLOOR UNITS
SRO	90 to 200 s.f.	
EFF	400 to 600 s.f.	
1 BR	550 to 850 s.f.	650 to 950 s.f.
2 BR	700 to 1,100 s.f.	850 to 1,300 s.f.
3 BR	950 to 1,350 s.f.	1,000 to 1,550 s.f.
4 BR	1,100 to 1,550 s.f.	1,200 to 1,750 s.f.
5 BR	1,300 to 1,750 s.f.	1,400 to 2,000 s.f.

- Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)
- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

### **VisitAbility**

### As the **DESIGN ARCHITECT**, I certify that:

All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door, all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

### 2.03 DEVELOPMENT TABULAR SCHEDULE

<b>Development Name:</b> Manchester Scattered Sit	es PHFA No.:				
Design Architect (Signature):	Date: 10/18/2021				
1. Number of Buildings: 56					
2. Building Height (Stories): 3 to 4 stories					
3. Building Code: IBC□ IRC☑ Construction T	ype: III-B or V-A				
4. Structural System: Wood Joists to 2x4 framing or masonry					
5. Exterior Finish: Brick or vinyl					
6. Gross Building Area*: 148,586					
7. Gross Commercial Area (SF): 0	Percentage of Gross Building Area: 0%				

Percentage of Gross Building Area: \_\_\_\_0%\_\_\_ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A

10. Applicable Accessibility Regulations:

Section 504 ☐ UFAS ✓ PAUCC ☐ FHAA ☐ ADA ☐

Section 504□ UFAS	<b>□</b> PAUCC∟	J FHAA □	ADA□				
Unit/Room Type	No. of	Accessible Units		Adaptable Units		Net SF**	Gross
7,1	Units	ADA	H/V	ADA	H/V		SF*
SRO	0						
EFF	0						
1 BR	35						
2 BR	13						
3 BR	25						
4 BR	13						
Community Room						2244	4116
Circulation,(hallways, stairs & etc.)			·			1753	2917
Other					·		
Unit Total	86	5	2	0	0		

Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area.

Porches, patios and balconies shall not be included in the Gross Building Area \*\* Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show

the average if there is more than one size in each type.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.

- Department of Energy's Zero Energy Ready Home Program Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.
- The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

- New Construction: \_\_\_ For 100% electric dwellings/buildings\*: HERS Index of 60 or less (without solar PV)
- \_\_\_ For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) Substantial Rehabs:
- \_\_\_ For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) \_\_\_ For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) Preservation (Moderate Rehab) \*:
- \_\_\_ For 100% electric dwellings/buildings\*: HERS Index of 80 or less (without solar PV) \_\_\_ For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) \*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation

 Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label.

 All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA

### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Fair Housing

As the **DESIGN ARCHITECT**, I certify that:

- New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards
- Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009.

### **Energy Conservation & Green Building Criteria**

As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures N/A All newly constructed multifamily buildings shall comply with the requirements of the

- 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of
- the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as
- verified by a REScheck certificate. Buildings four or more stories in height must exceed 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60 000 btuh, gas fired water heaters, windows, ceiling fans

exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: rogrammable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA

### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

### Accessible Housing

### As the DESIGN ARCHITECT, I certify that:

\_\_X \_\_ To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal. State and local authorities.

- X The Fair Housing Act of 1988 & Fair Housing Design Manual
- ANSI A117.1-2009 (or edition currently adopted by the PA UCC)

2010 ADA Standards for Accessible Design

- Pennsylvania Uniform Construction Code Uniform Federal Accessibility Standards (UFAS)
- Section 504 of the Rehabilitation Act of 1973
- Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (Include name of locality and citation for applicable NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

### Accessible Units

For New Construction and Substantial Rehabilitation Developments:

As the design architect. I hereby certify that I either have designed or will design the referenced development to include twice the mandated number of fully accessible units under local, state, or federal mandate, whichever is greater. These units shall meet current accessibility standards.

Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate: \_ Number of fully accessible units provided:

As the DESIGN ARCHITECT. I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility Number of existing fully accessible units (by current standards): \_\_\_\_\_0 Number of fully accessible units provided: \_\_\_\_\_5

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA

### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

### For ALL new construction, rehabilitation and preservation applications:

When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists.

As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments: The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria)

### PHFA Green Building Criteria for new construction and substantial rehabilitation

be used. (Not applicable to existing buildings.)

- As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design
  - the referenced development to include the following green building features: 1. No piping shall be located outside of the interior finish of the insulated building

treatment shall be applied to all wood framing and sheathing to a height of 24"

above the "at grade" floor level. Chemical soil treatment or bait stations shall not

envelope. (Not applicable to existing piping in preservation developments.) 2 All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.) 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced general occupancy development to include the following percentage of affordable

\_\_\_\_\_ >20 - 25% of all units

Signed: \_\_\_\_\_ Date: \_\_\_\_

>10-15% of all units (suburban/rural X >25% of all units

Date: 4.19.202

\*High rise developments and senior housing cannot qualify for this category.

Large Family Units

DESIGN ARCHITECT

units with three or more bedrooms:

Total units

Print: February

Firm Fukui Azalliact, PC

Acknowledged and Accepted by the APPLICANT(S)

### As the **DESIGN ARCHITECT**, I certify that for preservation developments:

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA

The referenced development will promote energy efficiency and conservation operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria

### **Enterprise Green Communities Criteria for Preservation Developments**

Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the following mandatory 2015 Green Communities criteria, as amended:

- Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)
- Ecosystem Services/Landscaping (applicable only to new landscaping Water-Conserving Fixtures (Applicable only to new fixtures)
- Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling
- Energy Star Appliances (Applicable only to new appliances)
- Lighting (Applicable only to new lighting fixtures) Healthier Material Selection (Applicable only to new paints, coatings and primers) Bath Kitchen Laundry surfaces
- Managing Moisture: Foundations (Applicable to new addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and Combustion Equipment (Carbon monoxide alarm requirements apply to all projects
- with combustion equipment. Venting requirements are applicable to new combustion Integrated Pest Management (Applicable only if identified as a problem in the PCNA)

### 8.1 Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements) 8.2 Emergency Management Manual (Follow Enterprise requirements) Home Ownership

As the **DESIGN ARCHITECT**, I certify that: X The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be

Flood Plain Certification As the **DESIGN ARCHITECT**, landscape architect or civil engineer] I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal

Emergency Management Agency for this development's site and have determined that the site is: (Check all that apply) \_\_\_\_ Outside of a flood way \_\_X Outside any flood area \_\_\_\_\_ Inside a flood way \_\_\_\_\_ Inside a 500 year flood area \_\_\_\_\_ Inside a 100 year flood area

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA

TABULAR AREA UNIT SCHEDULE **GROSS AREA (SF)** 

470

539

547

720

704

614

1,177

3,033

UNIT **UNIT 101** 

**UNIT 102** 

**UNIT 103** 

UNIT 201

UNIT202

**UNIT 203** 

**UNIT 301** 

**UNIT 302** 

COMMON

**BASEMENT** 

NET AREA (SF)

627

408

474

487

663

640

542

562

1,050

Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

> 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, **Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale

205 Ross Street

Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

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- drawings **3.** All work shall be installed in accordance with applicable
- codes and regulations. **4.** Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and
- ceiling surfaces as required to receive scheduled finishes. 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
- material required for finished assemblies. **6.** All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall

retain all common law statutory, and other reserved rights, including the copyright thereto. revisions

project title

general notes

ISSUED FOR PERMIT: 05.06.2022

## Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA

drawing title

**SELECTION CRITERIA,** THRESHOLD CRITERIA, TABULAR SCHEDULE

15233

**Sheet No.** 

Project #2006

As Noted May 6, 2022

# MANCHESTER SCATTERED SITES

# HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1315 LIVERPOOL STREET PITTSBURGH PENNSYLVANIA 15233 8 UNITS - 8 BEDROOMS

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UNIT 103 KITCHEN KITCHEN ELEVATION 01 KITCHEN ELEVATION 02 A18 UNIT 201 KITCHEN ELEVATIONS UNIT 201 KITCHEN KITCHEN ELEVATION 01

KITCHEN ELEVATION 02 **A19 UNIT 202 KITCHEN ELEVATIONS** UNIT 102 KITCHEN KITCHEN ELEVATION 01 KITCHEN ELEVATION 02

KITCHEN ELEVATION 03 **A20 UNIT 203 KITCHEN ELEVATIONS** UNIT 103 KITCHEN KITCHEN ELEVATION 01

KITCHEN ELEVATION 02

**A21 UNIT 301 KITCHEN ELEVATIONS** UNIT 301 KITCHEN KITCHEN ELEVATION 01 KITCHEN ELEVATION 02 KITCHEN ELEVATION 03

**A22 UNIT 302 KITCHEN ELEVATIONS** UNIT 302 KITCHEN KITCHEN ELEVATION 01 KITCHEN ELEVATION 02 **Code Conformance Information** 

Fuel Gas: Mechanical: Plumbing:

Fire Alarm:

Sprinkler:

2015 International Building Code 2009 ICC/ANSI S1317.1 2015 International Energy Conservation Code 2014 NEC (NFPA 70) 2015 International Fire Code 2015 International Fuel Gas Code 2015 International Mechanical Code 2013 NFPA 13

General Building / Project Information Classification of Work: Level-2 alteration per the IEBC Occupancy Group: 3 story with basement Gross Area: 7,788 sqft Construction Tyr Sprinklers: Smoke detector:

**Contact Schedule** 

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers. **Building Owner:** Plan Review & Inspection

of the City of Pittsburgh 205 Ross Street mackenzie.pleskovic@hacp.org ph: 412.281.6001 contact: Mackenzie Pleskovic

City of Pittsburgh 200 Ross Street contact: Felix G. Fukui, AIA ph: 412.255.2175

MANCHESTER SCATTERED SITES MAP

General Description of Work

For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under

with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.

2015 International Building Code

2017 Allegheny County Health department Plumbing Code

Housing Authority Fukui Architects, PC

Department of permits, Pittsburgh, PA 15219 Licenses and Inspections fx: 412.281.6002 3rd floor, room 320 Pittsburgh, PA 15205 Fgf@farpc.com

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

**General Note Related to Quantities Shown in Documentation** 

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions All contractor's and material suppliers shall be responsible for performing and relying on their own quantity takeFukui Architects Pc

Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

©2022 Fukui Architects, Pc

-PROJECT LOCATION

general notes

Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale

All work shall be installed in accordance with applicable codes and regulations.

Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.

All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.

All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

project title

Owner: HACP

200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** 

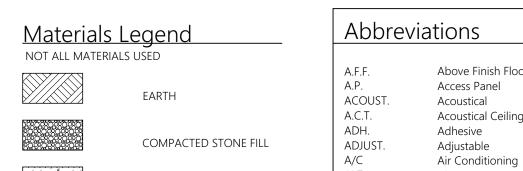
MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

MANCHESTER SCATTERED SITES MAP, CODE & CONTACT INFO, **Drawing List** 

As Noted May 6, 2022

**Sheet No.** 



CONCRETE

BLOCKING

WOOD

RIGID INSULATION

**BATT INSULATION** 

GYPSUM WALL BOARD

PLYWOOD SHEATHING

SPRAY FOAM INSULATION

STEEL

Miscellaneous MISC. Above Finish Floor Elevation N.I.C. EQUIP. Equipment Not In Contract N.T.S. Exhaust Fan Not To Scale EXIST. Acoustical Ceiling Tile Existing O.C. On Center Expansion OPP. Opposite **Expansion Joint** O.H. Overhead ESH Exterior Sheathing EXIST. Alteration Existing Pair ALTN. Alternate EXP. Exposed PLAS. Plaster EXT. ALUM. Aluminum Exterior PLAS.LAM. Plastic Laminate A.O.R. E.I.F.S. Area of Refuge Exterior Insulation & Finish System Plumbing Contractor APPROX. Approximate PLYWD. Plywood F.R.P. Fiberglass Reinforced Polyester ARCH. Architectural POLY. Polyethylene Finish Floor Adjustable Shelving P.V.C. Polyvinyl Chloride FIN.FLR. ASB. Finish Floor Asbestos Prefabricated PRE-FAB. F.A.C.P. ASPH. Asphalt Fire Alarm Control Panel F.E. AUTO. Fire Extinguisher Automatic Refer To AVG. Floor Average REF. Refrigerator Floor Drain BLK. Block R.C.P. Reinforced Concrete Pipe FTG. Footing Board REINF. Reinforcement BOT Bottom Roof Drain RD. GA. Gauge BLDG Building RM. Room G.C. General Contractor G.F.I. Ground Fault Interrupter C.I.P. S.A.T. Suspended Acoustical Tile Cast In Place GYP. SCHED. Schedule Catch Basin G.W.B. Gypsum Wall Board CEM. SHT. Cement Sheet GSH Gypsum Sheathing CER. SIM. Ceramic Similar Corner Guard Solid Core Handicap C.M.T. Ceramic Mosaic Tile SPECS. Specifications H.V.A.C. Heating, Ventilation & C.W.T. Ceramic Wall Tile SQ. Square C.O. Cleanout Square Foot Hollow Core Center Line S.S. Stainless Steel Hollow Metal CLO. Closet HORIZ. Horizontal STOR. Cold Water Storage C.W. STRUCT. Structural Ceiling H.W. Hot Water CLR. Clearance TEL. Telephone COL. Column THK. Thick CONC. Concrete T.B.D. To Be Determined Insulated Metal C.M.U. Concrete Masonry Unit INSUL. Tongue & Groove Insulation or Insulated CONT. Continuous Interior T.O. Top Of CORR. Corridor T.G. INV. Invert Top Of Grade C.M.P. Corrigated Metal Pipe ISO. T.O.S. Isolation Top Of Steel CRS. Courses TYP. Typical JAN. Diameter Janitor's Closet UNFIN. Unfinished DET Joint U.N.O. Unless Noted Otherwise DGL Dens Glass Gold Laminate Door V.B. Vapor Barrier Lavatory Down VERT. Vertical Long VEST. Downspout Vestibule

Symbols

DWG.

DWR

D.F.

D.I.P.

E.W.

ELEC.

Drawing

Drinking Fountain

Ductile Iron Pipe

**Electrical Contractor** 

Drawer

Each

Each Way

Electrical

Elevation

ELEVATION HEIGHT T.O. FINISH FLOOR ELEV: 0'-0" NORTH ARROW NORTH

DRAWING TITLE

M.D.F.

M.D.H.

MFGR.

MECH.

MAX.

MET.

MIN.

M.H.

SCALE: 1/8" = 1' - 0" NOTE LEADER

INTERIOR ELEVATION MARKER 4 (A-000) 2

Medium Density Fiberboard

Magnetic Door Holder

Manhole

Maximum

Mechanical

Metal

Minimum

Manufacturer

V.C.T.

V.I.F.

W.H.

W.R.B.

W.W.F.

WIN.

W/O

WD.

Vinyl Composition Tile

Water Resistant Barrier

Welded Wire Fabric

Verify In Field

Water Heater

Window

Without

With

Wood

# ABBREVIATIONS AND MATERIALS

			w	INDOW SCHEDULE		
	SI	ZE				
ID	WIDTH	HEIGHT	HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
Α	2'-6"	2'-6"	8'-6"	WOOD	⊠	
AA	2'-11"	6'-10 1/2"	9'-5"	WOOD	×	
В	2'-2"	2'-5"	8'-6"	WOOD	⊠	
ВВ	2'-6 1/2"	7'-5"	10'-2"	WOOD	⊠	
С	3'-2"	2'-10"	8'-6"	WOOD	⊠	
СС	2'-8"	2'-10"	8'-6"	WOOD	⊠	
D	2'-6"	2'-10"	8'-6"	WOOD	⊠	
Е	3'-2"	2'-6"	8'-6"	WOOD	⊠	
EE	2'-8"	6'-11 1/2"	9'-6"	WOOD		×
F	3'-0"	2'-5"	8'-6"	WOOD	⊠	
FF	2'-8 1/2"	7'-5"	10'-0"	WOOD	⊠	
G	2'-7"	8'-11 1/2"	10'-2 1/2"	WOOD	⊠	
GG	2'-10 1/2"	5'-0"	8'-6"	WOOD	⊠	
Н	3'-0"	8'-10"	9'-0"	WOOD	⊠	
1	1'-10"	4'-11 1/2"	9'-4 1/2"	WOOD	⊠	
J	2'-1"	5'-6"	9'-2"	WOOD	×	
K	2'-1 1/2"	5'-3"	9'-2 1/2"	WOOD	×	
L	2'-2"	5'-2"	8'-0"	WOOD	×	
М	2'-3"	5'-5 1/2"	11'-11 1/2"	WOOD	×	
N	2'-3"	5'-11"	9'-5 1/2"	WOOD	×	
0	2'-0 1/2"	5'-11"	9'-5 1/2"	WOOD	×	
Р	2'-3"	6'-11"	9'-5 1/2"	WOOD	×	
Q	2'-6"	6'-11"	9'-0"	WOOD	×	
R	2'-6"	7'-8"	10'-2 1/2"	WOOD	×	
S	2'-7"	8'-10"	9'-0"	WOOD	×	
Т	2'-7 1/2"	6'-11 1/2"	9'-6 1/2"	WOOD	×	
U	2'-8"	4'-0 1/2"	8'-8 1/2"	WOOD	×	
V	2'-9 1/2"	5'-3"	9'-2 1/2"	WOOD	×	
W	2'-10"	7'-8"	8'-2 1/2"	WOOD	×	
Х	3'-10"	8'-10"	9'-2 1/2"	WOOD	×	
Υ	2'-3"	5'-8 1/2"	8'-5 1/2"	WOOD		

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING

ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.

GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE							
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)		
1	2'-6 1/2"×6'-7"	III	WOOD	WOOD	PASSAGE		
2	2'-0"×6'-8"	VI	WOOD	WOOD	SLIDING		
3	4'-0"×6'-8"	VI	WOOD	WOOD	SLIDING		
4	2'-6"×6'-8"	III	WOOD	WOOD	PRIVACY		
5	2'-8"×6'-8"	III	WOOD	WOOD	PRIVACY		
6	2'-10"×6'-8"	11	FIBERGLASS	FIBERGLASS	EM. EXIT		
7	2'-8"×6'-8"	III	WOOD	WOOD	ENTRY		
8	3'-0"×6'-8"	VI	WOOD	WOOD	SLIDING		
9	2'-8"×6'-8"	III	WOOD	WOOD	DUMMY		
10	1'-8"×6'-8"	III	WOOD	WOOD	DUMMY		
11	3'-0"×6'-7"	III	WOOD	WOOD	PASSAGE		
12	1'-4"×6'-8"	III	WOOD	WOOD	DUMMY		
13	3'-3 1/2"×6'-8"	VII	HOLLOW METAL	HOLLOW METAL	PASSAGE		
14	3'-0"×6'-8"	VII	HOLOW METAL	HOLLOW METAL	PASSAGE		
15	3'-0"×6'-8"	Ш	FIBERGLASS	FIBERGLASS	ENTRY		
16	2'-4"×6'-0"	VIII	HOLLOW METAL	HOLLOW METAL	PASSAGE		
17	2'-10"×7'-0"	III	WOOD	WOOD	ENTRY		
18	3'-0"×6'-8"	III	WOOD	WOOD	ENTRY		
19	2'-8"×6'-8"	III	WOOD	WOOD	DUMMY		
20	2'-1"×6'-8"	III	WOOD	WOOD	PASSAGE		
21	3'-0"×6'-8"	III	WOOD	WOOD	PASSAGE		
22	1'-6"×6'-8"	III	WOOD	WOOD	DUMMY		
23	2'-6"×6'-8"	III	WOOD	WOOD	PASSAGE		
24	2'-5 1/2"×6'-8"	VI	WOOD	WOOD	SLIDING		
25	2'-10"×7'-0"	III	WOOD	WOOD	ENTRY		
26	2'-4"×6'-8"	III	WOOD	WOOD	DUMMY		
27	4'-6"×10'-1"	I	FIBERGLASS	FIBERGLASS	ENTRY		
28	4'-9 1/2"×7'-9"	V	WOOD	WOOD	ENTRY		

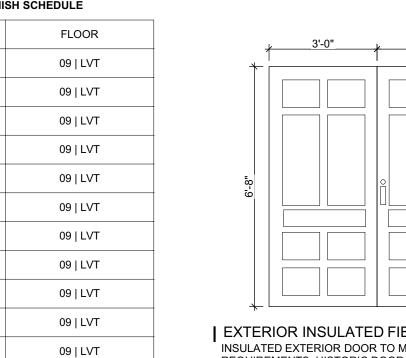
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.

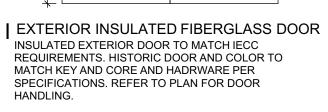
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

### TYPICAL ROOF ASSEMBLY -ASPHALT SHINGLES -40 LB FELT PAPER -ICE & WATER SHEILD @ VALLEYS, EAVES, AND CORNERS -3/4" EXTERIOR GRADE PLYWOOD -INSULATION BAFFLES, MAINTAIN 2" AIR SPACE -2X ROOF RAFTERS @ 16" O.C. -R30 BLOW-IN FIBERGLASS INSULATION -3/4" PLY WD SUBFLOOR -2X CEILING JOISTS @ 16" O.C. -R19 BATT FIBER GLASS INSULATION FACED W/ VAPOR RETARDER ON WARM SIDE -1/2" GYP BD T/O ATTIC PER ELEV. PREFIN. ALUM. GUTTER AND DOWNSPOUT CONT. EDGE VENT TYPICAL WALL ASSEMBLY 3 WHYTHES BRICK WALL -R17-FACED BATT INSULATION INSIDE TYPICAL FLOOR ASSEMBLY 2X4 FURRING WALL CAVITY ACTING AS -FLOOR CLADDING PER PLANS VAPOR BARRIER -3/4" PLYWOOD SUBFLOOR -1/2" GYP BD -2X WOOD JOISTS -1/2" GYP BD T/O FIRST FLOOR PER ELEV. FIRE CUT JOISTS PREFIN. MTL FLASHING GRADE / PER ELEV. TYPICAL WALL ASSEMBLY -ASPHALT EMULSION DAMPROOFING R-13 EXTERIOR 2" RIGID INSULATION 2x4 FRAME WALL PER PLANS TYPICAL SLAB ASSEMBLY -4" CONC. SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER, R-10 RIGID UNDERSLAB INSULATION, AND COMPLACTED GRAVEL

# HISTORIC BRICK WALL SECTION

FINISH SCHEDULE					
NAME	FLOOR				
BEDROOM	09   LVT				
BTHRM	09   LVT				
CLO	09   LVT				
DINING ROOM	09   LVT				
ENTRY	09   LVT				
HALLWAY	09   LVT				
KITCHEN	09   LVT				
LIN.CLO	09   LVT				
LIVING ROOM	09   LVT				
LIVING ROOM	09   LVT				
PNTRY	09   LVT				





VARIES - REFER TO PLAN

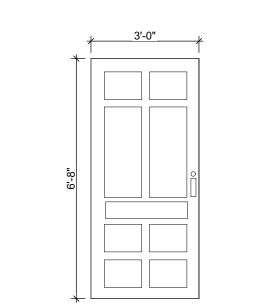
INTERIOR WOOD DOOR WITH GLASS

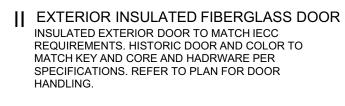
INTERIOR 2 PANEL WOOD

SPECIFICATIONS. REFER TO

PLAN FOR DOOR HANDLING.

DOOR. HADRWARE PER



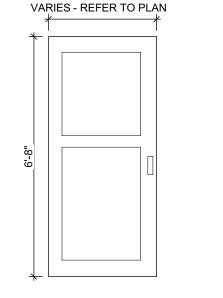


VARIES - REFER TO PLAN

**\/**| INTERIOR WOOD SLIDING DOOR

INTERIOR 2 PANEL WOOD SLIDING DOOR. HADRWARE

PER SPECIFICATIONS.



|| INTERIOR WOOD DOOR INTERIOR 2 PANEL WOOD DOOR. HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

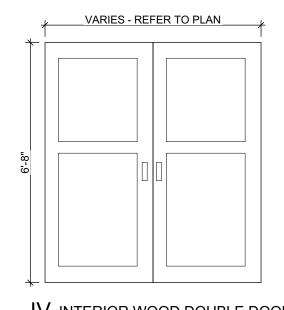
VARIES - REFER TO PLAN

V∏INTERIOR HOLLOW METAL DOOR

INTERIOR HOLLOW METAL

DOOR. HADRWARE PER

SPECIFICATIONS.



IV INTERIOR WOOD DOUBLE DOOR INTERIOR 2 PANEL DOUBLE WOOD DOOR. HADRWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

**ABBREVIATIONS AND** MATERIALS, HISTORIC BRICK WALL SECTION, DOOR TYPES, DOOR SCHEDULE (WITH **EXISTING), WINDOW SCHEDULE,** 

As Noted May 6, 2022

Project #2006

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Fukui Architects Pc

205 Ross Street

Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

general notes Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

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prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions

ISSUED FOR PERMIT: 05.06.2022

project title Owner:

HACP

200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** 

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

FINISH SCHEDULE

GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN

- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT
- 0'-0" IN THIS SET OF DRAWINGS. 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.

WRITING OF ANY INCONSISTENT OR MISSING

DIMENSIONS.

- 5. AT WALLS SCHEDULED FOR REFINISHINNG, SAND WALLS SMOOTH. REMOVE ALL ADHESIVE RESIDUE. AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS SUBCONTRACTORS, AND WORK WITH THEOWNER. EACH PRIME CONTRACTOR &TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND **ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR** RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS &INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY **DEMOLITION & CONSTRUCTION ACTIVITIES** SPECIFICALLY BY THEIR SCOPE OF WORK, EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED. PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS

### **HAZARDOUS NOTES**

- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

### GENERAL HISTORIC PRESERVATION NOTES

- HISTORIC PRESERVATION NOTES SHALL OVERRIDE KEYNOTES WHERE APPLICABLE.
- THE REPAIR OF EXISTING FEATURES WITH INAPPROPRIATE MATERIALS, SUCH AS ALUMINUM JAMB
- CASINGS AND BRACKET TINWORK, SHALL BE AVOIDED. REHABILITATION WORK SHALL NOT DESTROY THE DISTINGUISHING QUALITIES OR CHARACTER OF THE STRUCTURE AND ITS ENVIRONMENT. THE REMOVAL OR ALTERATION OF ANY HISTORIC MATERIAL OR ARCHITECTURAL FEATURES SHOULD BE HELD TO A
- IN THE EVENT REPLACEMENT IS NECESSARY, THE NEW MATERIAL SHOULD MATCH THE MATERIAL BEING REPLACED IN THE COMPOSITION, DESIGN, COLOR TEXTURE, AND OTHER VISUAL QUALITIES. REPAIR OR REPLACEMENT OF MISSING ARCHITECTURAL FEATURES SHOULD BE BASED ON ACCURATE DUPLICATIONS OF ORIGINAL FEATURES, SUBSTANTIATED BY PHYSICAL OR PICTORIAL EVIDENCE, RATHER THAN ON CONJECTURAL DESIGNS OR THE AVAILABILITY OF DIFFERENT ARCHITECTURAL FEATURES FROM OTHER BUILDINGS

### ENVIRONMENTAL AND LIANDSCAPE HISTORIC PRESERVATION NOTES

- RETAIN LANDSCAPE FEATURES SUCH AS PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS THAT HAVE TRADITIONALLY LINKED BUILDINGS TO THEIR
- **ENVIRONMENT** USING NEW PLANT MATERIALS, FENCING, WALKWAYS, STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE
- NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED

# ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- 1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICAITONS. REFER TO DETAIL SCHEDULE FOR
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS.
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- SPLASH BLOCKS, OR CAST IRON BOOTS.

### 8. ADDRESS NUMBERS

- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES 11. INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS
- 13. DUCTWORK

### THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:

- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATOINS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS, REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS.
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW

21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED

- WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICATIONS. 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO
- BE SEALED PER SPECIFICATIONS.
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOPFING AND VINYL SIDING TO NON HISTORIC PROPERITES, PER SPECIFICATIONS

### THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET

MASONRY HISTORIC PRESERVATION NOTES

RETAIN ORIGINAL MASONRY AND MORTAR WHENEVER

TEXTURE, JOINT SIZE, METHOD OF APPLICATION, AND

CLEANING MASONRY WILL BE APPROVED ONLY WHEN

NECESSARY TO HALT DETERIORATION AND ALWAYS WITH

DETERIORATED MASONRY WORK SHALL BE REPAIRED TO

EXISTING. BRICKWORK SHALL NOT BE SANDBLASTED AND

WATERPROOFING DETAILS CANNOT ALTER THE EXTERIOR

CEMENT CONTENT CAN CREATE A BOND THAT IS OFTEN

CAUSE DETERIORATION AS A RESULT OF THE DIFFERING

MASONRY SURFACES, WHICH HAVE BEEN PAINTED IN THE

DETERIORATED MATERIAL WITH NEW MATERIAL SHOULD

STRONGER THAN THE BUILDING MATERIAL. THIS CAN

DUPLICATE OLD MORTAR IN COMPOSITION, COLOR

THE GENTLEST METHOD POSSIBLE, SUCH AS LOW-

PRESSURE WATER AND SOFT NATURAL BRUSHES.

BE INCONSPICUOUS AND COMPATIBLE WITH THE

MAY BE CLEANED WITH HYDROFLUORIC ACID IN

REPOINTING WITH A MORTAR OF HIGH PORTLAND

COEFFICIENT OF EXPANSION AND THE DIFFERING

POROSITY OF THE MATERIAL AND THE MORTAR.

PAST, SHOULD, IN MOST CASES, BE REPAINTED.

REPAIRING OR REPLACING, WHERE NECESSARY,

ATTEMPT TO DUPLICATE THE OLD AS CLOSELY AS

CONCENTRATION OF NOT MORE THAN 5% OR

POSSIBLE, WITHOUT THE APPLICATION OF ANY SURFACE

- 1. PARKING PADS
- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING EMERGENCY LIGHTING

TREATMENT

FOUIVALENT

POSSIBLE

ON HISTORIC PROJECTS.

- SPRINKLER SYSTEMS
- 7. FIRE ALARM SYSTEMS

### PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN, EXTENDINEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS, SEE SPECIFICATIONS.
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER, PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN. DRAIN PIPING. AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR.8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR, SEE SPECIFICATIONS.
- 7. GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING, CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
  - P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS, UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
  - P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
  - P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
  - P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
  - P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES, PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
  - P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
  - P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
  - P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
  - P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED. INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR / REPLACE WATER PIPING AS MAY BE REQUIRED.
  - P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12"OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
  - P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO

DUPLICATED

WOOD HISTORIC PRESERVATION NOTES

REPAIR, RESTORE AND, IF NECESSARY, REPLACE

EXISTING WOOD SIDING WITH SIMILAR WOOD MATERIALS.

HOWEVER, REPLACEMENT USING OTHER MATERIALS,

SUCH AS WOOD PANELING, OR ALUMINUM OR VINYL

SIDING IN APPROPRIATE SCALE AND FINISH, IS NOT

PROHIBITED. WHERE THOSE MATERIALS ARE USED

METAL HISTORIC PRESERVATION NOTES

CLEAN WHEN NECESSARY WITH THE APPROPRIATE

METHOD. CAST IRON AND STEEL ARE NORMALLY NOT

DO NOT USE CLEANING METHODS, WHICH ALTER THE

AFFECTED BY MECHANICAL CLEANING METHODS, WHILE

PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED

DOORWAY PEDIMENTS IS PROHIBITED.

BY THE GENTLEST METHOD POSSIBLE.

BY THE GENTLEST METHOD POSSIBLE.

COLOR, TEXTURE, AND TONE OF THE METAL

COLOR, TEXTURE, AND TONE OF THE METAL.

METAL HISTORIC PRESERVATION NOTES

CLEAN WHEN NECESSARY WITH THE APPROPRIATE

METHOD. CAST IRON AND STEEL ARE NORMALLY NOT

DO NOT USE CLEANING METHODS, WHICH ALTER THE

AFFECTED BY MECHANICAL CLEANING METHODS, WHILE

PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED

APPROPRIATE TRIM DETAILS WILL BE RETAINED OR

REMOVING ARCHITECTURAL FEATURES SUCH AS SIDING,

CORNICES, BRACKETS, WINDOW ARCHITRAVES, AND

### **ELECTRICAL SCOPE NOTES**

MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT

TIME OF CONSTRUCTION HACP THE CONSTRUCTION

MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE

CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE

PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE

LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED

WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT

BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE,

DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED

REFRIGERANT PIPING, AND CONTROLS, PROVIDE NEW

HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL,

REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING

CONTROLS. AND PRECAST CONCRETE EQUIPMENT

BASE, EXTEND AND CONNECT NEW GAS PIPING TO

EXISTING GAS PIPING WITH ISOLATION VALVE. DIRT

CONDENSATE DRAIN LINE TO EXISTING CONDENSATE

CONCENTRIC VENT TERMINATION OUTDOORS, SEE

DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION

SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL

LEG AND UNION EXTEND AND CONNECT NEW

AIR INTAKE AND EXHAUST FLUE PIPING TONEW

EXISTING WALLS / BULKHEADS AS REQUIRED TO

PERFORM THE WORK AND RESTORE ALL WALLS

/BULKHEADS UPON COMPLETION OF THE WORK.

FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN

ASSOCIATED REFRIGERANT PIPING, AND CONTROLS.

REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING. CONTROLS, AND PRECAST CONCRETE EQUIPMENT

BASE. EXTEND AND CONNECT NEW CONDENSATE

SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS

CONDENSING UNIT, ALL ASSOCIATED REFRIGERANT

EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL

ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND

MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED

NEW CEILING MOUNTED BATHROOM EXHAUST FAN,ALL

EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE

CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR

BULKHEADS AS REQUIRED TO PERFORM THE WORK

AND RESTORE ALL CEILINGS / WALLS / BULKHEADS

MOUNTED KITCHENEXHAUST FAN. ALL ASSOCIATED

EXHAUST AIR DUCTWORK, ANDCONTROLS. PROVIDE

NEW CEILING MOUNTED KITCHEN EXHAUST FAN,ALL

CONTROLS. SEESPECIFICATIONS. THIS CONTRACTOR

BULKHEADS AS REQUIRED TO PERFORM THE WORK

ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS

MITIGATION FAN. EXISTING RADON EXHAUST AIR

OPERATION. EXTEND AND CONNECT TO EXISTING

MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO

RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE

CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES

DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET.

PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN

DUCTWORK TO REMAIN, PROVIDE NEW RADON

METER FOR VISUAL INDICATION OF PROPER

M7. DISCONNECT, REMOVE, AND REPLACE EXISTING

WITH IN-LINE LINT TRAP ASSEMBLY, SEE

M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED

PIPING, AND CONTROLS, PROVIDE NEW HIGH

PRECAST CONCRETE EQUIPMENT BASE, SEE

M4. DISCONNECT AND REMOVE EXISTING CEILING

ASSOCIATED EXHAUST AIR DUCTWORK, AND

SHALL OPEN ALL EXISTING CEILINGS/ WALLS /

UPON COMPLETION OF THE WORK.

UPON COMPLETION OF THEWORK.

SPECIFICATIONS.

SPECIFICATIONS.

M5. DISCONNECT AND REMOVE EXISTING CEILING

ASSOCIATED EXHAUST AIR DUCTWORK, AND

SHALL OPEN ALL EXISTING CEILINGS/ WALLS /

M6. DISCONNECT AND REMOVE EXISTING RADON

SPECIFICATIONS.

DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS

REQUIRED, SEE SPECIFICATIONS. THIS CONTRACTOR

REQUIRED TO PERFORM THE WORK AND RESTORE ALI

WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.

SUPPLY AND RETURN AIR DUCTWORK / GRILLES /

PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL

M2. DISCONNECT AND REMOVE EXISTING ELECTRIC

AIR DUCTWORK / GRILLES / REGISTERS. ALL

SUPPLY AND RETURN AIR DUCTWORK / GRILLES /

EVAPORATOR COIL, SUPPLY AND RETURN AIR

100% REPLACEMENT PER THE SPECIFICATIONS. AT THE

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN A FINAL LIST OF ITEMS TO BE REMOVED. WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIREDWITH NEWPER SPECIFICATIONS. FIELD VERIFY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED, NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE. OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLE(F.C.)LEVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES' JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES, LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE
- E10.FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OFEXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVID FPOWER TO NEW FURANCE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

# E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING

- UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E.19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIFLD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAI CONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN.E.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTEDTO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
- E25.CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED

- DORMERS AND CHIMNEYS SHALL BE RETAINED RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE. SHALL BE STANDING-SEAM METAL DARK SHINGLES, OR SLATE
- ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE DOWNSPOUTS SHALL BE COPPER OR ALUMINUM (PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED

**ROOF HISTORIC PRESERVATION NOTES** 

PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING

- REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE. PRESERVE AND REPLACE, WHERE NECESSARY, ALL
- ARCHITECTURAL FEATURES THAT GIVE THE ROOF ITS ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS CUPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING, AND WEATHERVANES.

### DOOR & WINDOW HISTORIC PRESERVATION NOTES

- EXISTING WINDOW AND DOOR OPENINGS SHALL BE RETAINED, INCLUDING WINDOW SASH, GLASS, LINTELS, SILLS, ARCHITRAVES, SHUTTERS, AND DOORS, PEDIMENTS, HOODS, ARCHITRAVES, STEPS, AND ALL
- ALL WINDOW AND DOOR CASING, SASHES, AND MUNTINS ON THE FRONT FACADE SHALL BE PAINTED, STAINED OR VINYL CLAD WOOD. VINYL CLAD AND OTHERS MAY BE PERMITTED IF THE BASIC SHAPE OF THE ORIGINAL
- WINDOW IS NOT ALTERED INFILLING OF WINDOW AND DOOR OPENINGS TO ACCOMMODATE SMALLER OR STOCK WINDOW UNITS SHALL NOT BE PERMITTED ON THE FRONT FACADES. WINDOW STYLES ON THE FRONT FACADE SHALL BE FITHER ONE OVER ONE OR TWO OVER TWO UNI ESS STAINED, BEVELED OR FANCY GLASS EXISTS IN THE
- ORIGINAL OR IS USED IN THE REPLACEMENT. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF INSTALLED. MUST BE INSTALLED ON ALL FLOORS OR THE FIRST FLOOR ONLY. WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.

### ENTRANCES, PORCHES, & STEPS HISTORIC PRESERVATION NOTES

RETAINED, RESTORED OR DUPLICATED.

RETAIN PORCHES AND STEPS, WHICH ARE APPROPRIATE TO THE BUILDING AND ITS DEVELOPMENT. SIDEWALK, STOOP, AND STEP MATERIALS SHALL BE STONE, BRICK, OR POURED CONCRETE, WROUGHT IRON RAILING SHALL BE PERMITTED EXISTING TRANSOMS AND OTHER EMBELLISHMENTS

CHARACTERISTIC OF THE STRUCTURE SHALL BE

APPROPRIATE EXTERIOR LIGHTING ABOVE OR FLANKING THE FRONT ENTRANCE SHALL BE ENCOURAGED. DOORS ON THE FRONT FACADE SHALL BE A HISTORICALLY APPROPRIATE WOOD PANEL CONSTRUCTION REPAIR OR REPLACE. WHERE NECESSARY DETERIORATED ARCHITECTURAL FEATURES OF WOOD IRON, CAST IRON, TERRA-COTTA, TILE, AND BRICK. STRIPPING PORCHES AND STEPS OF ORIGINAL MATERIAL AND ARCHITECTURAL FEATURES, SUCH AS HAND RAILS, BALUSTERS, COLUMNS, BRACKETS AND ROOF DECORATION OF WOOD, IRON, CAST IRON, TERRA-COTTA

TILE AND BRICK, AND ENCLOSING PORCHES AND STEPS,

AND OTHER PAINTED SURFACE TO FIND OUT WHAT THE

ORIGINAL COLORS WERE FOR USE IN REPAINTING AS

WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE DONE WITH CARE AS TO NOT DAMAGE THE BRICK. WHERE PAINTING IS NECESSARY, UTILIZE A GLOSS OF SEMI-GLOSS PAINT WHICH CAN BE FASILY CLEANED. KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS AND HEADERS (IF MASONRY). SCRAPE DOWN THE TRIM

DESTROY THEIR INTENDED APPEARANCE.

IT IS SUGGESTED THAT EXTERIOR BODY AND TRIM COLORS BE SELECTED FROM HISTORICAL SELECTIONS SUCH AS "PITTSBURGH PAINT HISTORIC COLORS" OR A SIMILAR SOURCE.

### **GREEN COMMUNITIES NOTES**

- 1. MITIGATE ALL CONTAMINANTS FOUND.
  - 2. IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS. WHICHEVER IS MORE STRINGENT.
  - 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN
  - BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI. 4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
- 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR
- 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
- 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES. SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL
- 8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS. AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS **ENCLOSURES WICH ARE EXEMPT**
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS.
- 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER. VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST, ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION. FOR REUSE, CONTROL THE PATHAND VELOCITY OF RUNOFF WITH SILT FENCING OR COMPARABLE MEASURES. PROJTECT ERPZS. ON-SITE STORM SEWER INLETS. WATERCOURSES AND WATER BODIES WITH STRAW BALES, SILT FENCING, SILT SACKS, ROCK FILTERS, OR COMPARABLE MEASURES, PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROO ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION. USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES, ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.

18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR

- CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-
- (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION. 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR BARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY

21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY

EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS

- OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS. 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER
- MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT, NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE

EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE).

- THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0. 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS.
- FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY

INSIDE OF OR OUTSIDE OF AN AIR BARRIER.

- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES. 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD. OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT.
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.

32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.

- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE.
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS.
- FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM

34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION

36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY, USE RODENT AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN 1/4-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

# Fukui Architects Pc

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- Any conflicts in the drawings or between new and
- 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects. **Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale

existing construction shall be referred to the Architect.

- **3.** All work shall be installed in accordance with applicable codes and regulations.
- 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
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**NOTES** 

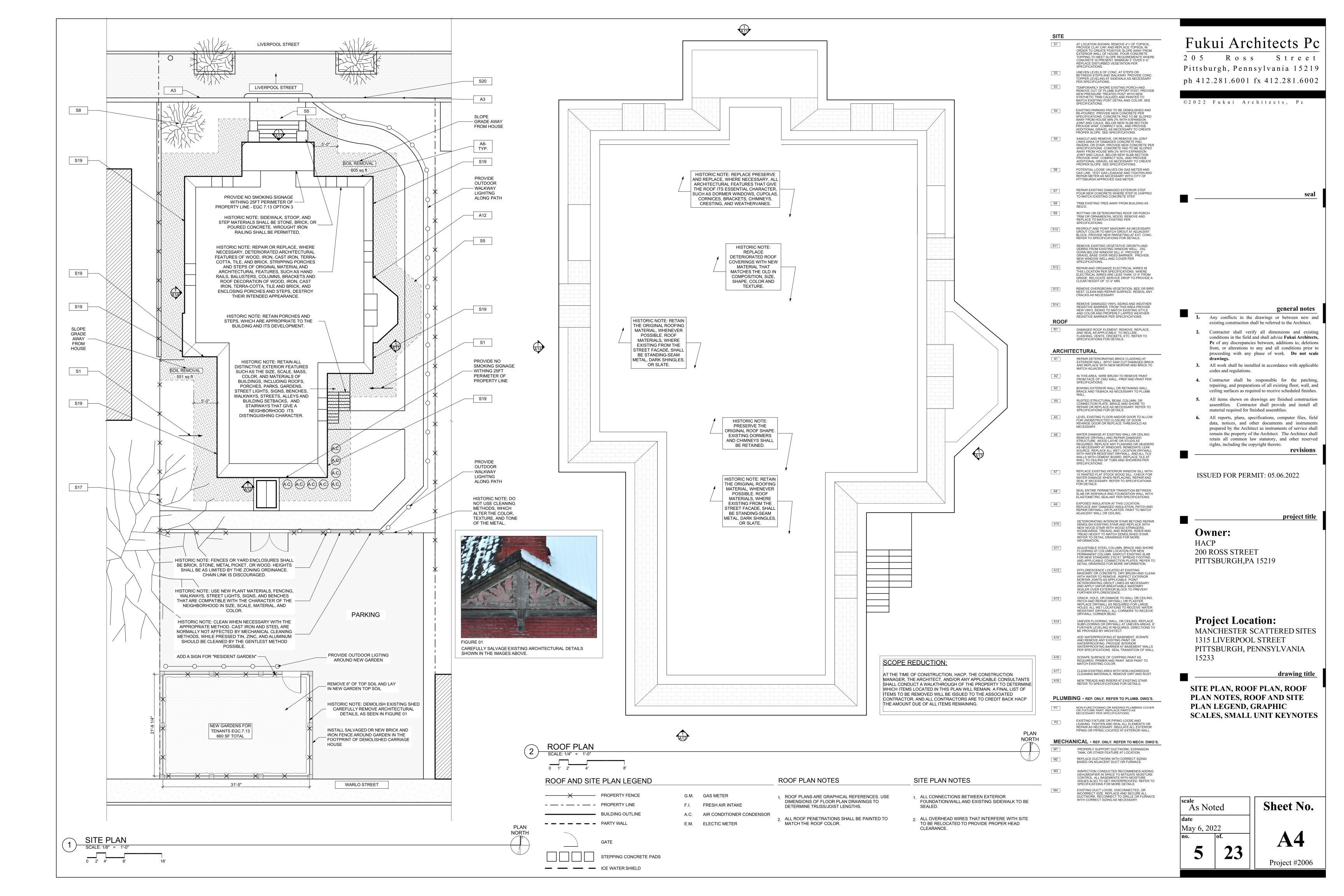
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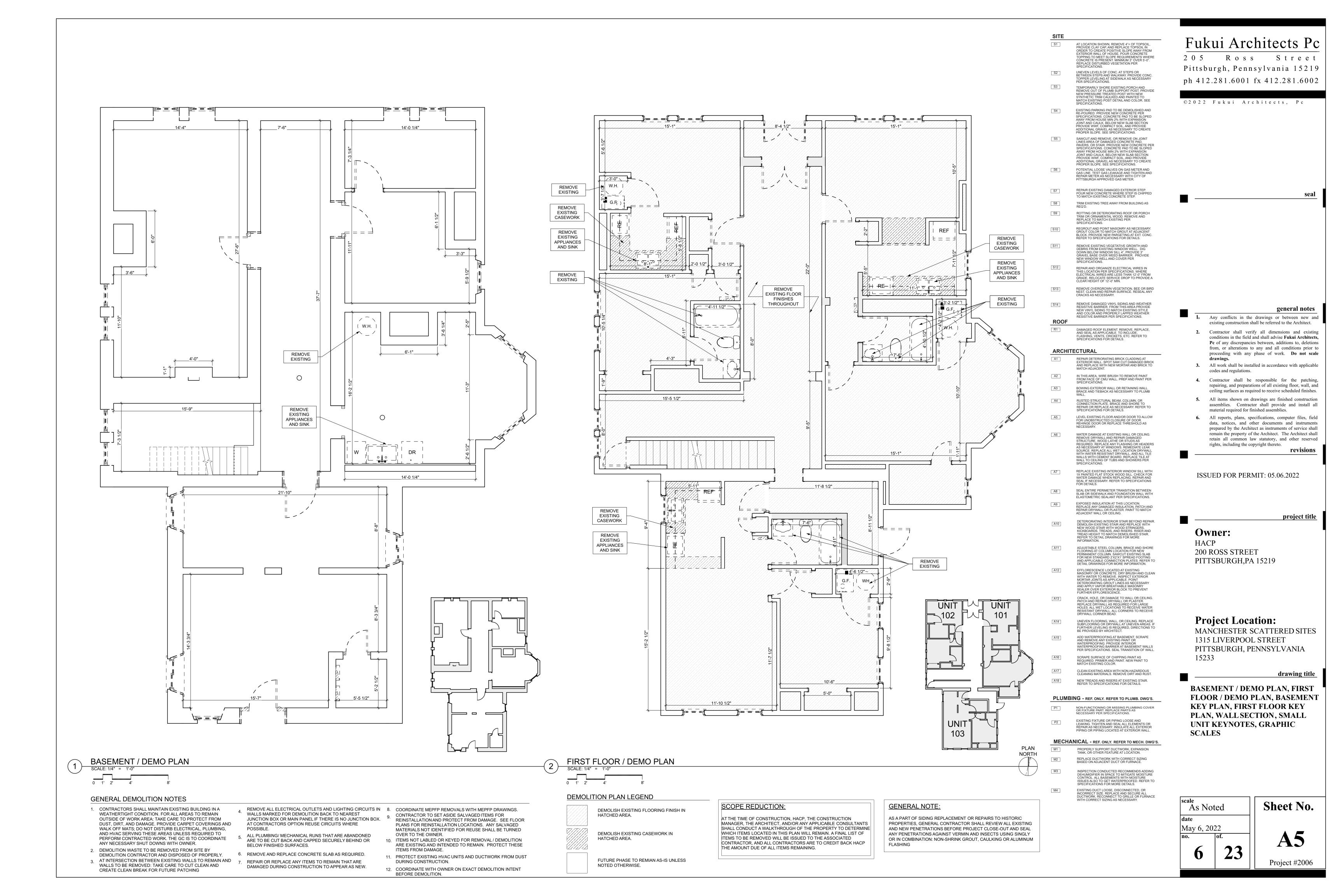
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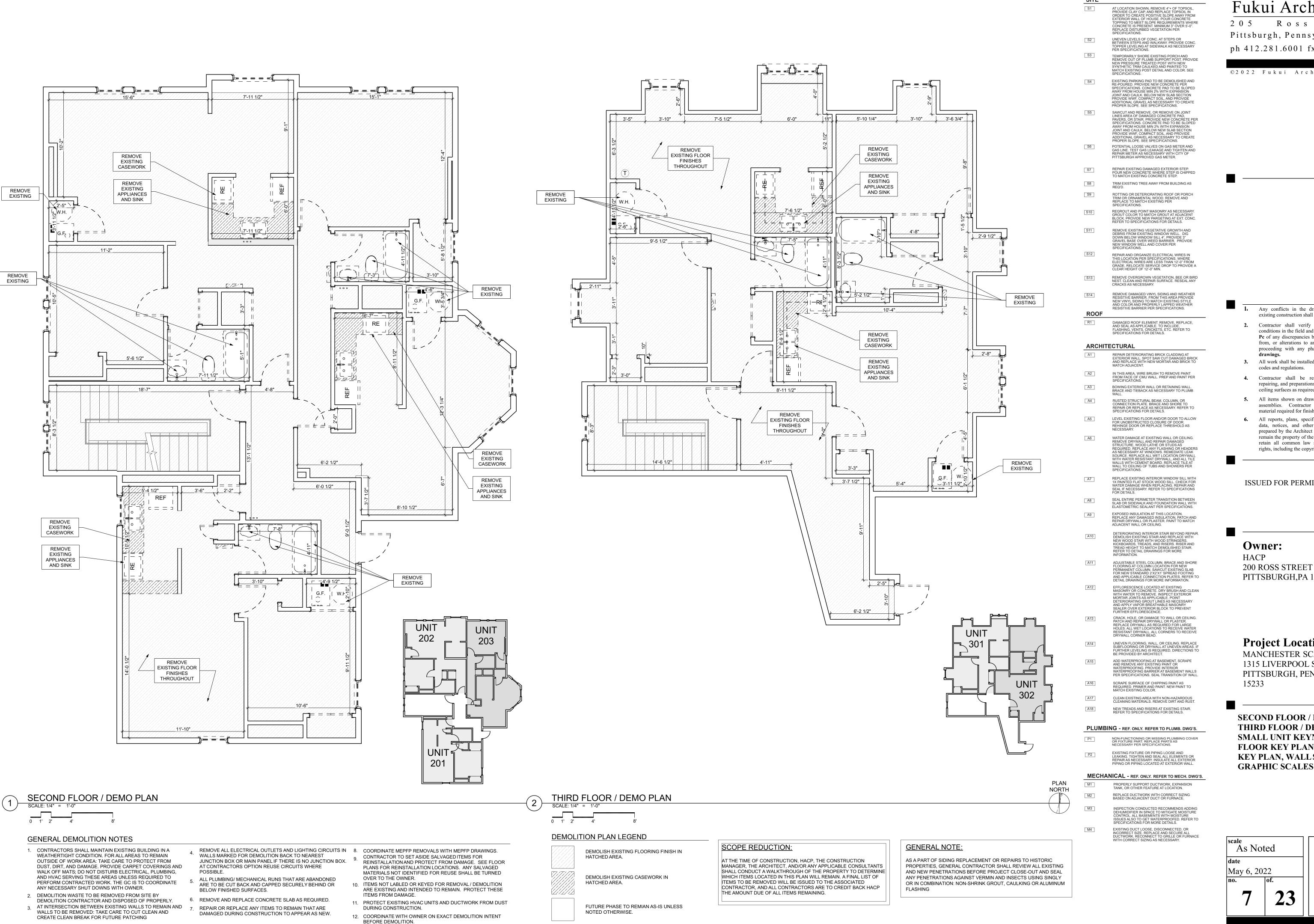
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**Sheet No.** 

May 6, 2022







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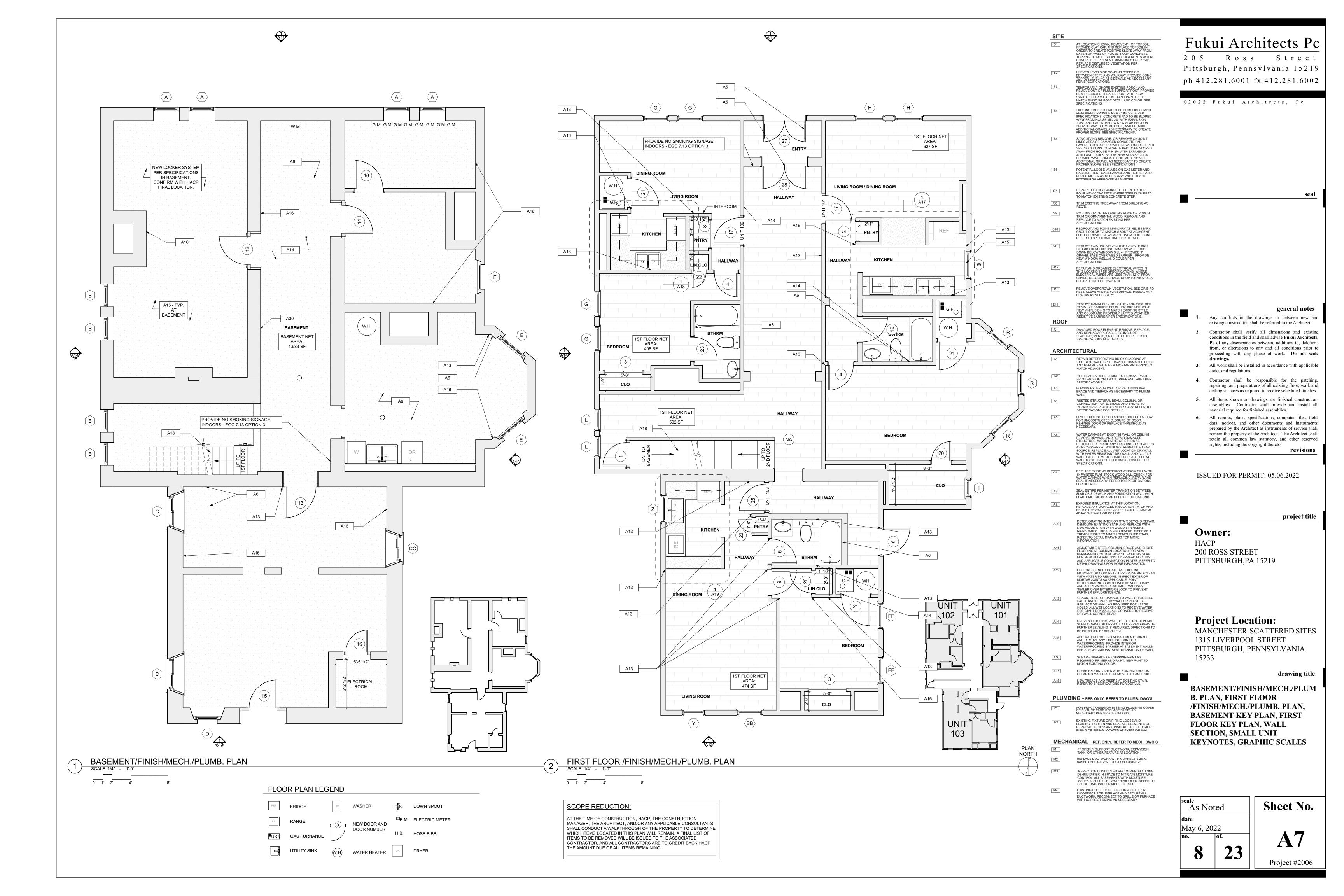
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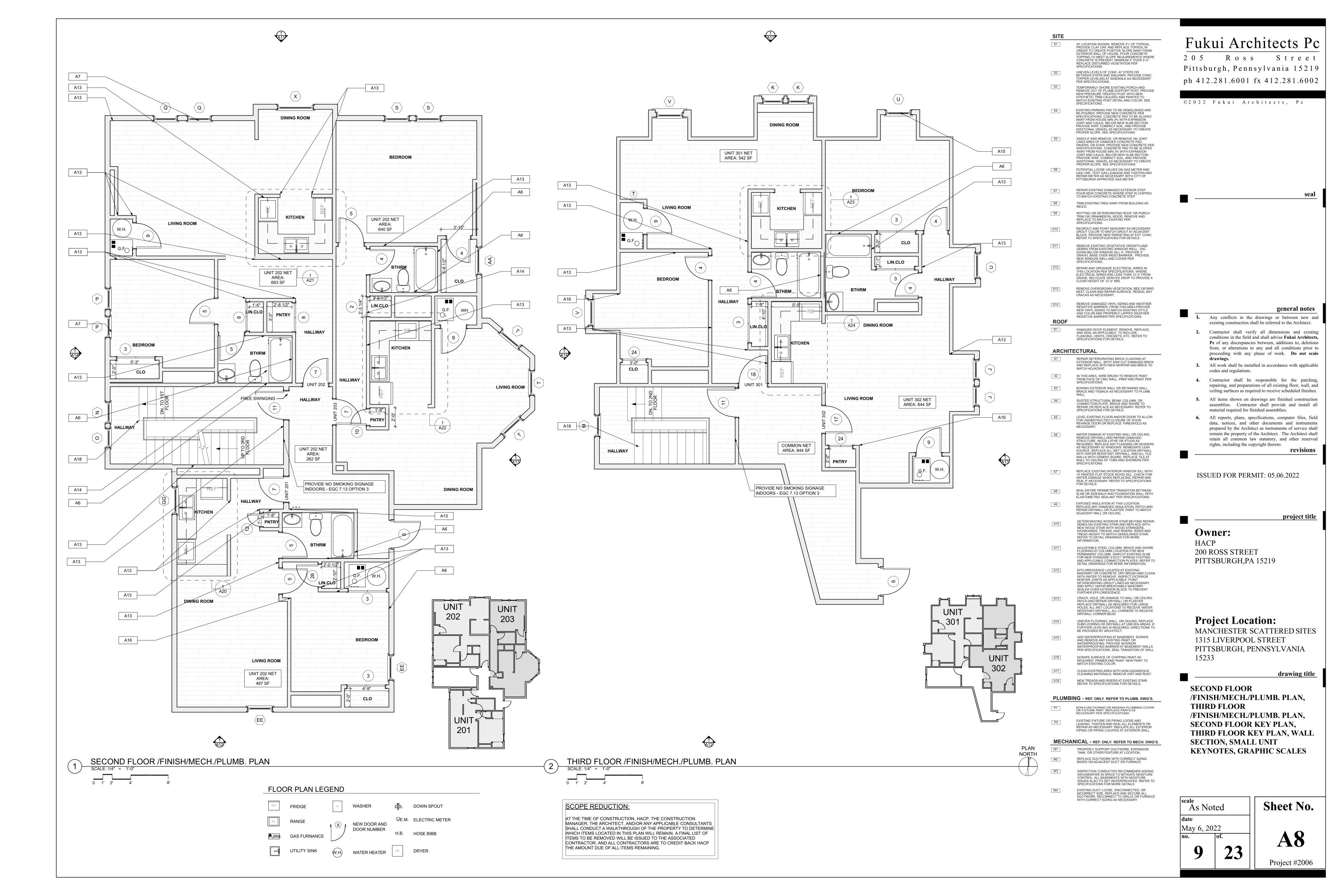
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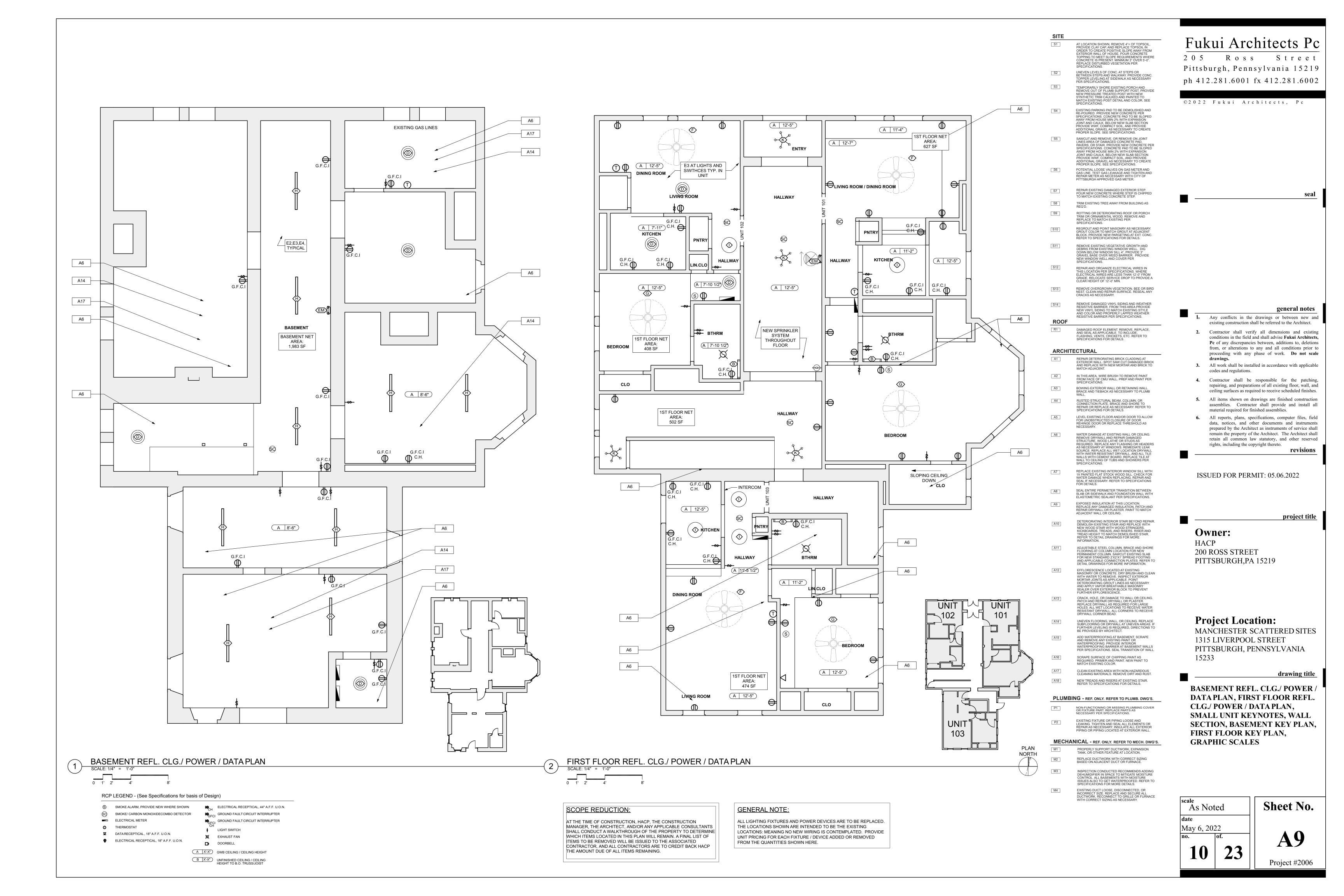
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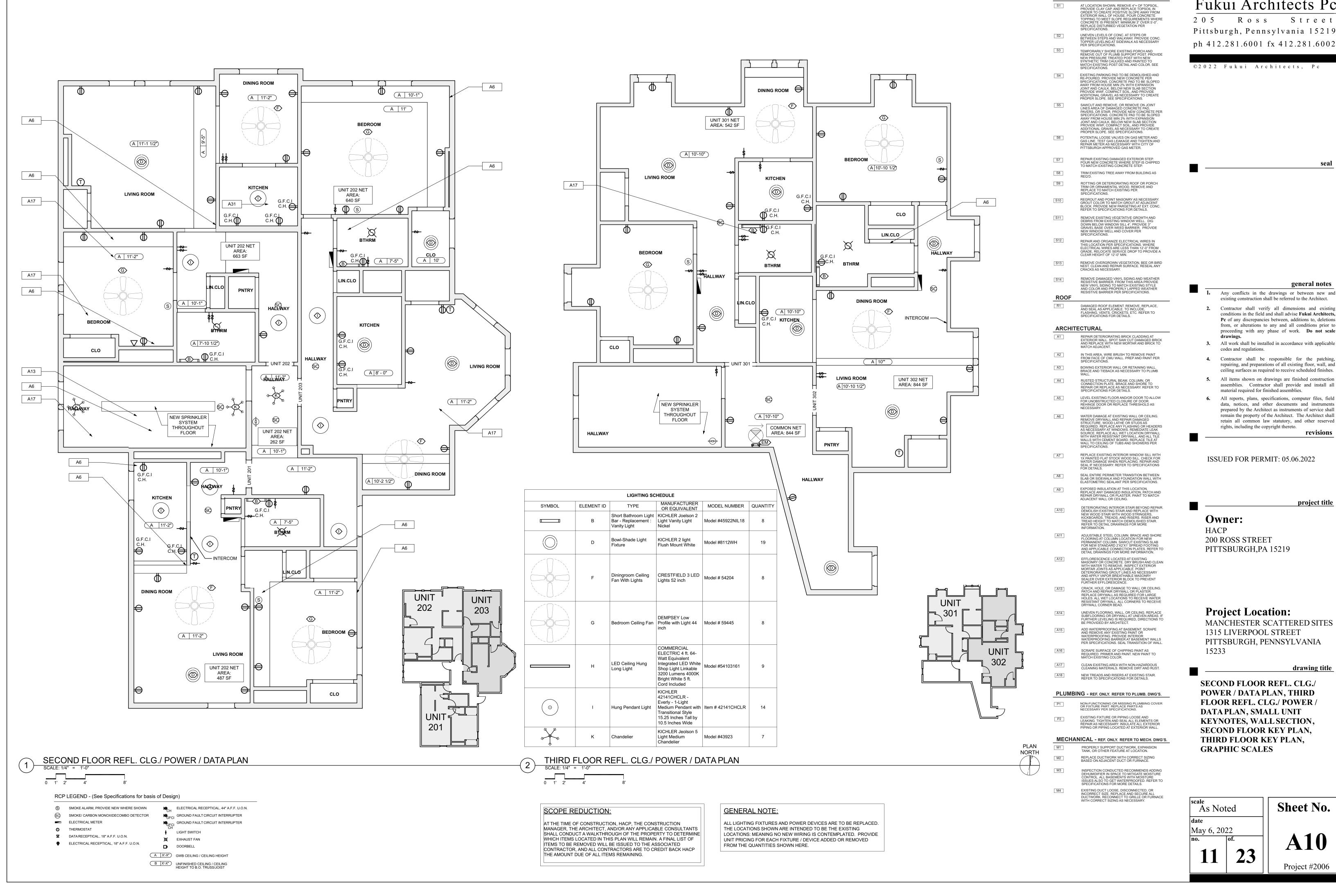
SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, SMALL UNIT KEYNOTES, SECOND FLOOR KEY PLAN, THIRD FLOOR KEY PLAN, WALL SECTION,

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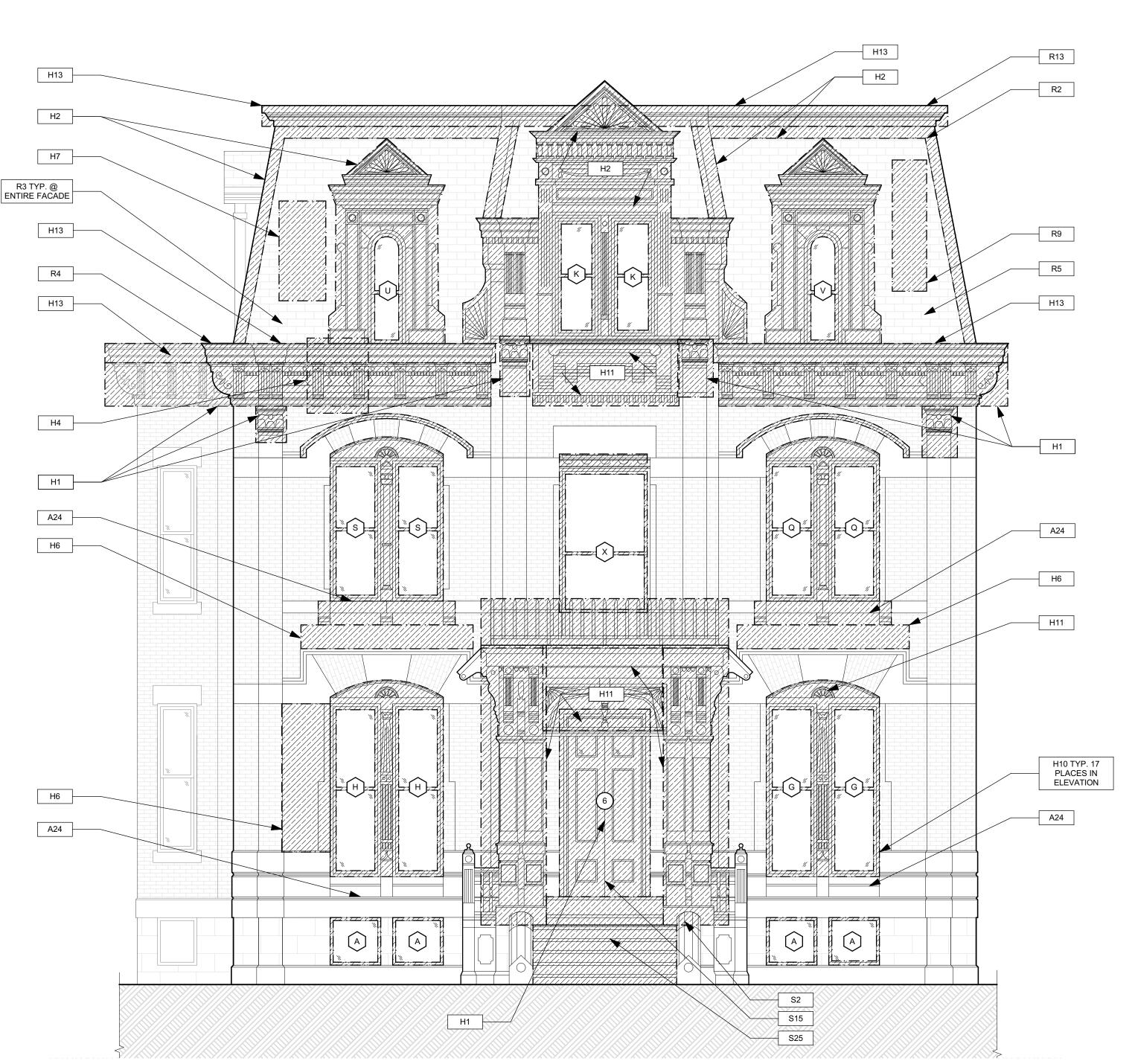




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REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS. ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED
INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE <u>NOT</u> ACCEPTABLE.
THE DETERIORATED WOOD OR MASONRY SILL AND
LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE
SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE

H10 - TYP. X

IN THESE LOCATIONS PRESERVE EXISITING WOOD
WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS). IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL, SCRAPE, TREAT AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM

UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS), DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND ENSURE THAT ROOF DRAINAGE, GUI LERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL H12 FURTHER DETERIORATION. FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET, IF NO FURTHUR MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS.

PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION). CRACK PATTERN INDICATES SETTLEMENT OF THE FROM BUILDING. (SEE SPECIFICATIONS) WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).

WATER INFILTRATION ISSUES ARE ADDRESSED REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR, TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK . (SEE SPECIFICATIONS) REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL

MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES O THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)

MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO

STRIPPING/REFINISHING IS NOT RECOMMENDED.
REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE

ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL

REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD

ARE DETERIORATED BEYOND REPAIR. USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT

ORIGINAL FEATURE. SEE SPECIFICATIONS FOR

IN THIS AREA. INVESTIGATE THE CAUSE OF BRICK

DISPLACEMENT. IF NO FURTHER MOVEMENT OR

REPAINTING AND CAULK TO CONFORM TO NPS:

STRUCTURAL ISSUES ARE EVIDENT. FIX DISPLACED

PAINTING AND ACCEPTABLE TRIM MATERIAL.

SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT

MAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVEL DETERIORATED WOOD IS TO BE REMOVED AND

PROTECT WORN SURFACES OF WOOD.

SPECIFICATIONS 10

H2

IN THIS AREA CLEAN AND PREP THE EXISTING METAL

CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS). AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY

AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE. RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE SPECIFICATIONS)

AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE

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**Project Location:** 

1315 LIVERPOOL STREET

MANCHESTER SCATTERED SITES

PITTSBURGH, PENNSYLVANIA

**KEYNOTES, GRAPHIC SCALES** 

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assemblies. Contractor shall provide and install all

remain the property of the Architect. The Architect shall

retain all common law statutory, and other reserved

REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS A5

AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5"-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.

UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONG

TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.

TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.

EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION

JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE

ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.

POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.

REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.

TRIM EXISTING TREE AWAY FROM BUILDING AS

ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.

REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC REFER TO SPECIFICATIONS FOR DETAILS.

REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.

REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.

REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY

RESISTIVE BARRIER PER SPECIFICATIONS.

DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

REPAIR DETERIORATING BRICK CLADDING AT

IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.

BOWING EXTERIOR WALL OR RETAINING WAL

RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO

BRACE AND TIEBACK AS NECESSARY TO PLUMB

EXTERIOR WALL, SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.

S1

S6

R1

A2

A4

**ARCHITECTURAL** 

WATER DAMAGE AT EXISTING WALL OR CEILING. A6 WALEN DAMAGE ALEXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.

REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN

SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.
REPLACE ANY DAMAGED INSULATION, PATCH AND
REPAIR DRYWALL OR PLASTER. PAINT TO MATCH

DETERIORATING INTERIOR STAIR BEYOND REPAIR.
DEMOLISH EXISTING STAIR AND REPLACE WITH
NEW WOOD STAIR WITH WOOD STRINGERS,
KICKBOARDS, TREADS, AND RISERS. RISER AND
TREAD HEIGHT TO MATCH DEMOLISHED STAIR.
REFER TO DETAIL DRAWINGS FOR MORE

ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING SAME DESCRIPTION OF THE STANDARD SAME DESCRIPTION OF THE SAME DESCRIPTION OF AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. A12

CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WAL

SCRAPE SURFACE OF CHIPPING PAINT AS

NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

A16 REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.

A18

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WAL

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.

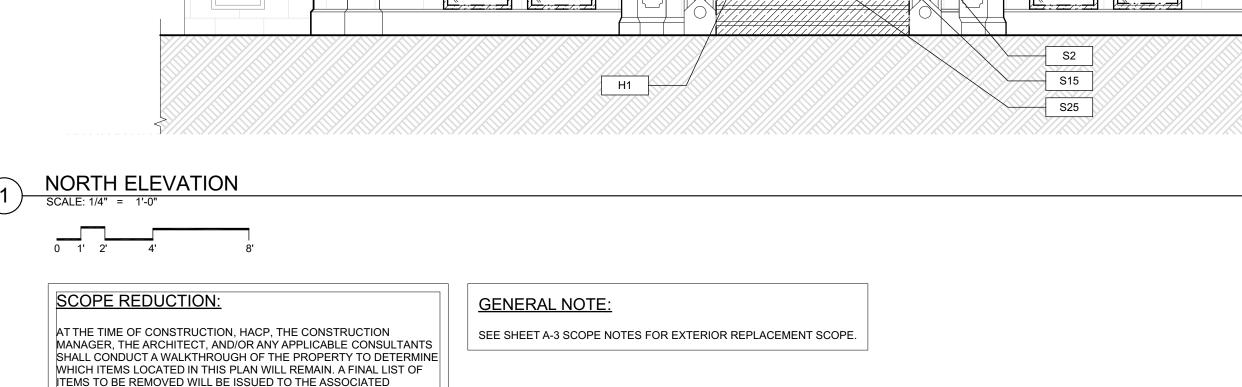
REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. M2

DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY. NORTH ELEVATION, HISTORIC KEYNOTES, SMALL UNIT

drawing title

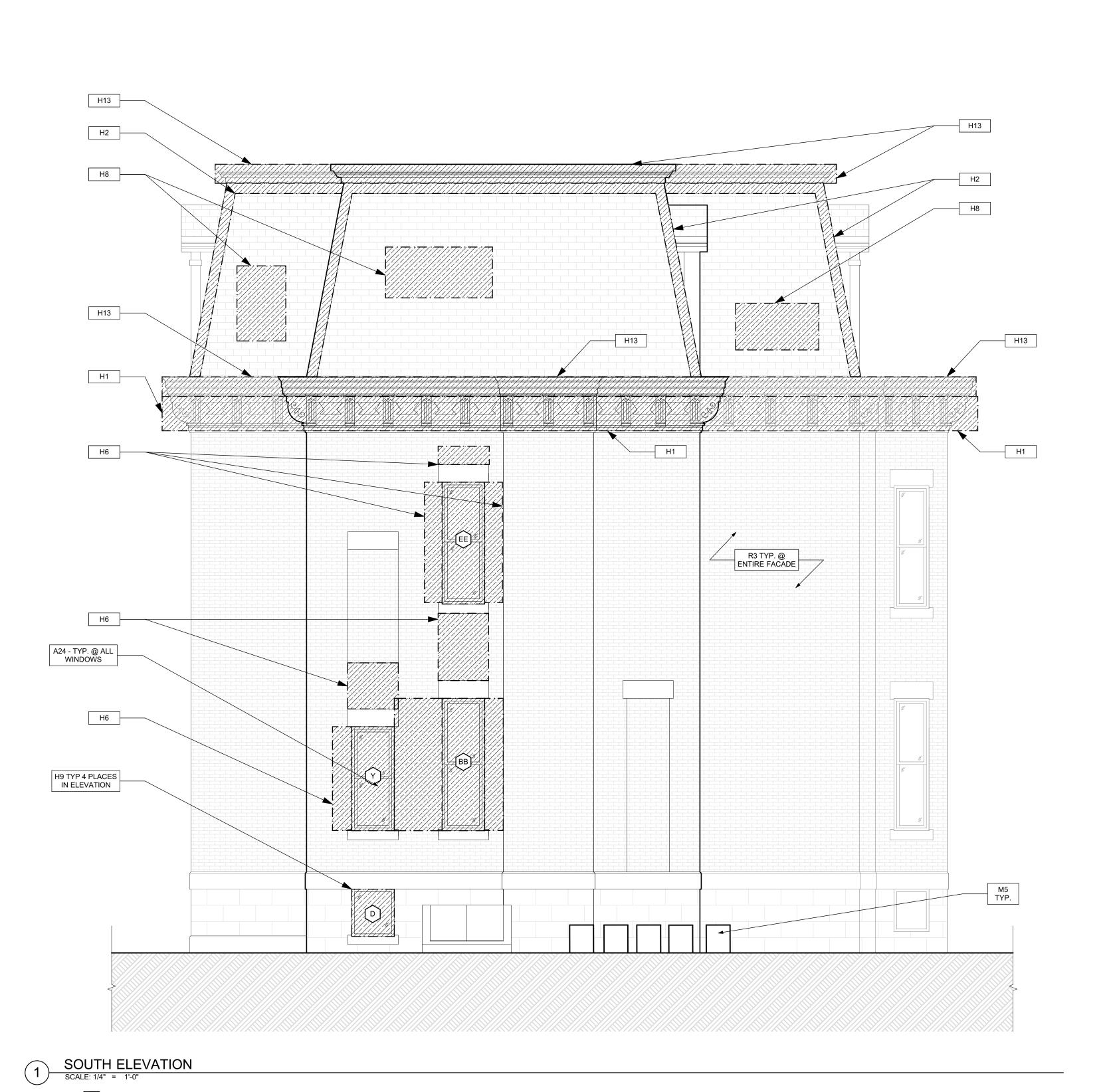
Sheet No. As Noted date

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CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP

THE AMOUNT DUE OF ALL ITEMS REMAINING.



S1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, STRIPPING/REFINISHING IS NOT RECOMMENDED.
REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR
AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS. ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED
INCLUDING FRAME AND FLASHING WITH NEW WINDOW MAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVEL DETERIORATED WOOD IS TO BE REMOVED AND UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE <u>NOT</u> ACCEPTABLE.
THE DETERIORATED WOOD OR MASONRY SILL AND
LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND ARE DETERIORATED BEYOND REPAIR. USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE WINDOW USING NPS PRESERVE EXISITING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR SPECIFICATIONS). IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE IN THIS AREA. INVESTIGATE THE CAUSE OF BRICK EXISTING BALUSTER MATERIAL, SCRAPE, TREAT AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT. FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS), DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM ENSURE THAT ROOF DRAINAGE, GUI LERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL H12 FURTHER DETERIORATION. S6 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET, IF NO FURTHUR MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS). INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION). AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY CRACK PATTERN INDICATES SETTLEMENT OF THE FROM BUILDING. (SEE SPECIFICATIONS) WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN
BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES
FOR MATERIAL OR FEATURE INDICATED ABOVE. RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED WATER INFILTRATION ISSUES ARE ADDRESSED. ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE REPOINT LOST OR WEAK MORTAR JOINTS USING A SPECIFICATIONS) COMPATIBLE MORTAR, TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK . (SEE SPECIFICATIONS) REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES O THE ORIGINAL COLOR AND TEXTURE. (SEE R1 A2 A4 A5 A6 A9

PROTECT WORN SURFACES OF WOOD.

PAINTING AND ACCEPTABLE TRIM MATERIAL.

MORTAR FOLLOWING PROCEDURES IN NPS

SPECIFICATIONS)

SPECIFICATIONS 10

H2

H3

H4

H5

AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5"-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONG TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER. REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY RESISTIVE BARRIER PER SPECIFICATIONS. DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS. **ARCHITECTURAL** REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS WATER DAMAGE AT EXISTING WALL OR CEILING. WALEN DAMAGE ALEXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.
REPLACE ANY DAMAGED INSULATION, PATCH AND
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Fukui Architects Pc 205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002 ©2022 Fukui Architects, Pc existing construction shall be referred to the Architect.

general notes Any conflicts in the drawings or between new and

2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings

**3.** All work shall be installed in accordance with applicable codes and regulations.

**4.** Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.

5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. **6.** All reports, plans, specifications, computer files, field

data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** 

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA

drawing title

SOUTH ELEVATION, HISTORIC KEYNOTES, SMALL UNIT **KEYNOTES, GRAPHIC SCALES** 

REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.

EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

M2

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WAL

PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

As Noted date May 6, 2022

Sheet No.

Project #2006

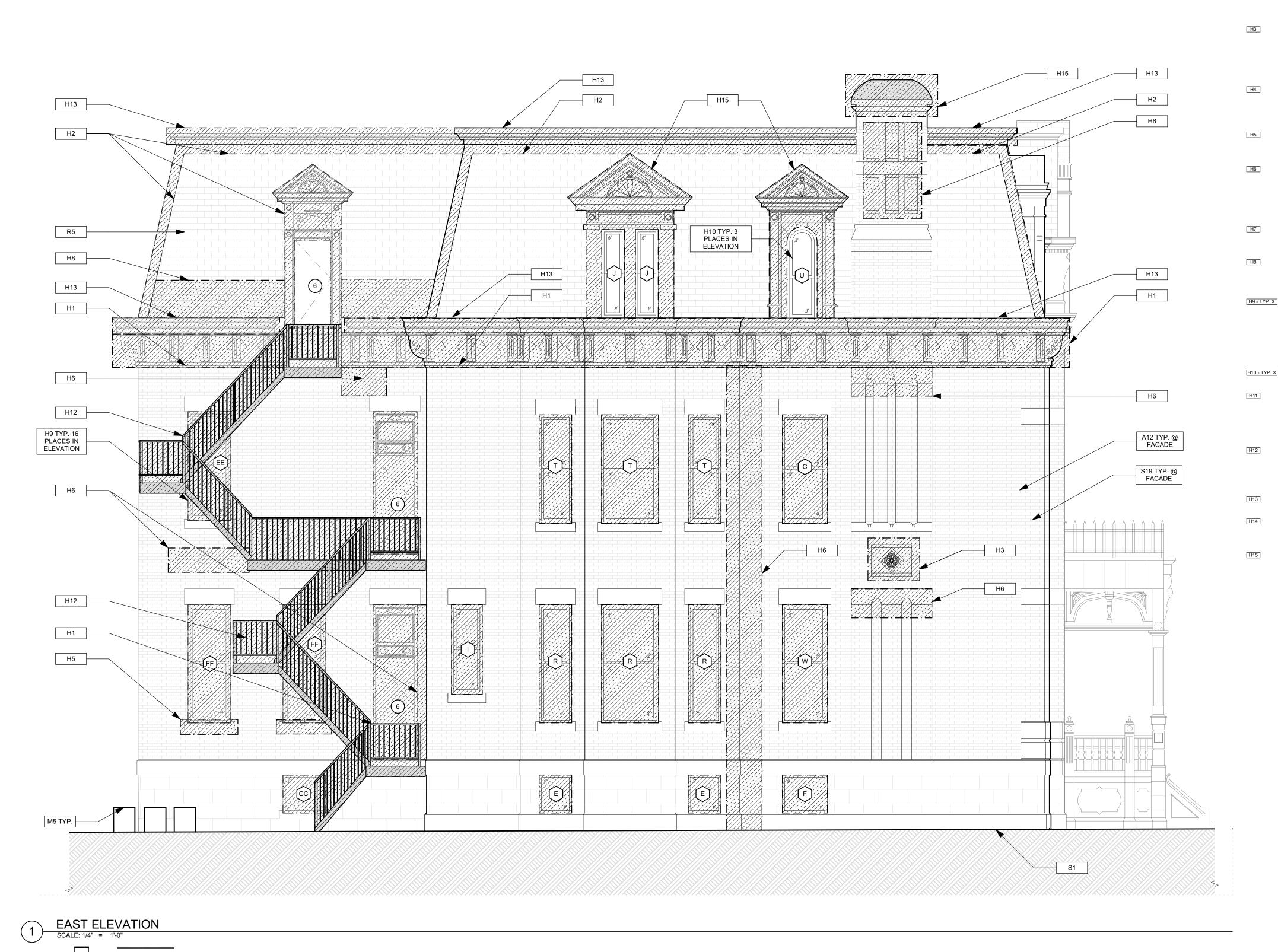
### **GENERAL NOTE:**

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP

SCOPE REDUCTION:

THE AMOUNT DUE OF ALL ITEMS REMAINING.

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.



S1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED.
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SPECIFICATIONS)

**ARCHITECTURAL** 

AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE. AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE EXPOSED INSULATION AT THIS LOCATION REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING. DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING SAME DESCRIPTION OF THE STANDARD SAME DESCRIPTION OF THE SAME DESCRIPTION OF AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. A12

AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5"-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONG TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AN REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER. REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS. DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS. REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA. WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS WALER DAMAGE ALEXISTING WALL OR CEILING.
REMOVE DRYWALL AND REPAIR DAMAGED
STRUCTURE, WOOD LATHE OR STUDS AS
REQUIRED. REPLACE ANY FLASHING OR HEADERS
AS NECESSARY AT WINDOWS. REMEDIATE LEAK
SOURCE. REPLACE ALL WET LOCATION DRYWALL
WITH WATER RESISTANT DRYWALL, AND ALL TILE
WALLS WITH CEMENT BOARD. REPLACE TILE AT
WALL TO CEILING OF TUBS AND SHOWERS PER
SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.

205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002 © 2022 Fukui Architects, Pc general notes Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, **Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings **3.** All work shall be installed in accordance with applicable codes and regulations. **4.** Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes. 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. **6.** All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

Fukui Architects Pc

ISSUED FOR PERMIT: 05.06.2022

project title

Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA

drawing title

EAST ELEVATION, HISTORIC KEYNOTES, SMALL UNIT **KEYNOTES, GRAPHIC SCALES** 

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

A16

A18

PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. M2

CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.

ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS

PER SPECIFICATIONS. SEAL TRANSITION OF WAL

CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.

NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.

LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR

PIPING OR PIPING LOCATED AT EXTERIOR WAL

NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.

DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.

date

**Sheet No.** 

Project #2006

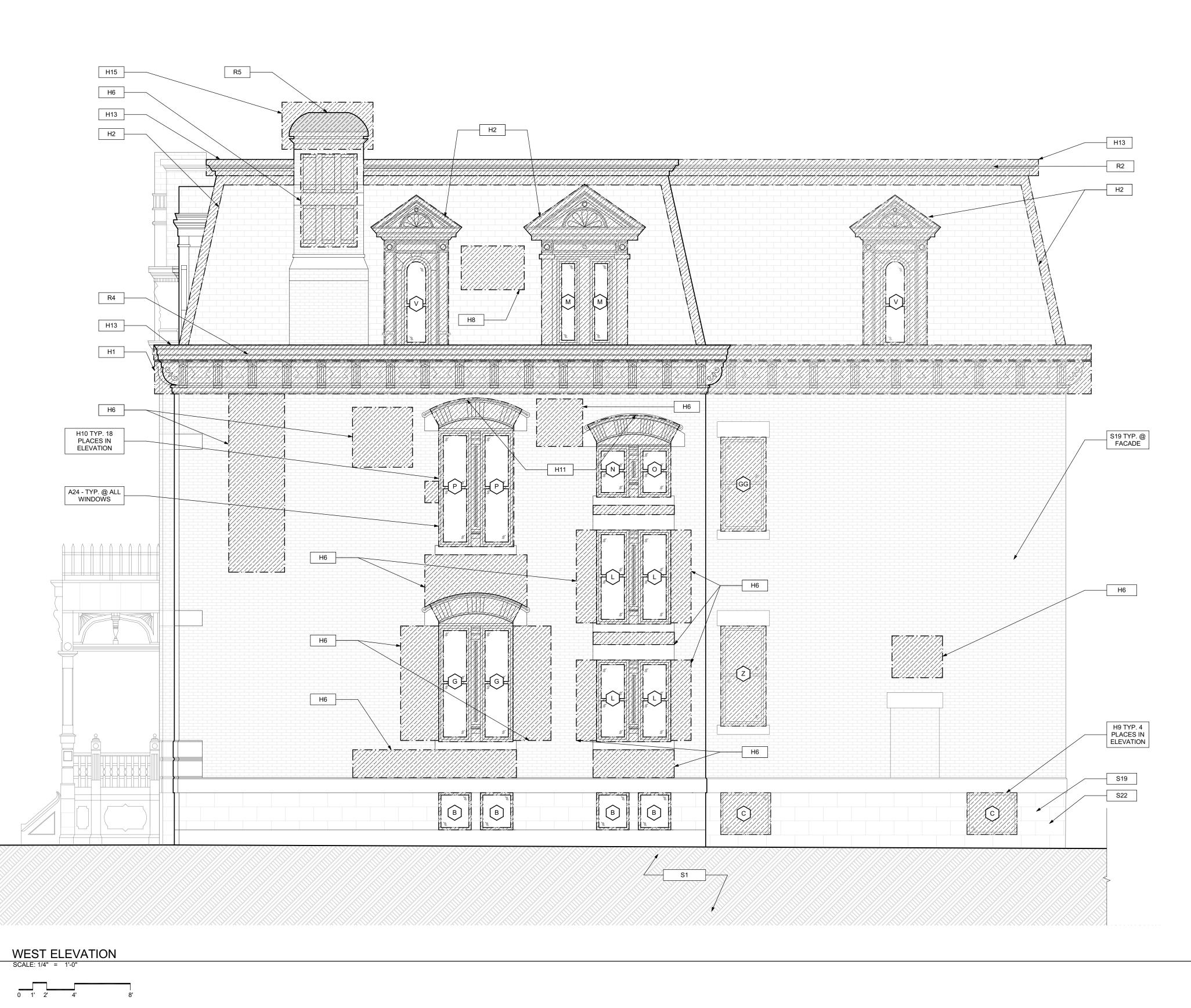
As Noted May 6, 2022

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER. THE ARCHITECT. AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

SCOPE REDUCTION:

**GENERAL NOTE:** 

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.



MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED.
REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF, SEE SPECIFICATIONS 10 ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL AMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL. IN THIS AREA. INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT. FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS), DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET, IF NO FURTHUR MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION). CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR, TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK . (SEE SPECIFICATIONS) REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE, MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS) REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR
AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS. H9 - TYP. X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE <u>NOT</u> ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES, (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND H10 - TYP. X IN THESE LOCATIONS PRESERVE EXISITING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS). IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL, SCRAPE, TREAT AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE, NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR
RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION. IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR. TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS). AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS) LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.

AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED H15 ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

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© 2022 Fukui Architects, Pc EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AN REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER. REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK, PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS. 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, **Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale REPAIR DETERIORATING BRICK CLADDING AT drawings EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. **3.** All work shall be installed in accordance with applicable codes and regulations. IN THIS AREA. WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. **4.** Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and BOWING EXTERIOR WALL OR RETAINING WALL. ceiling surfaces as required to receive scheduled finishes. BRACE AND TIEBACK AS NECESSARY TO PLUMB 5. All items shown on drawings are finished construction RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO assemblies. Contractor shall provide and install all REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. material required for finished assemblies. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS **6.** All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall WALER DAMAGE ALEXISTING WALL OR CEILING.
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DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

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CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER

RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.

FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.

ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS

PER SPECIFICATIONS. SEAL TRANSITION OF WAL

CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.

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PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.

INFORMATION.

A15

A16

A18

M2

ISSUED FOR PERMIT: 05.06.2022

Fukui Architects Pc

205 Ross Street

Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

**project title** 

general notes

revisions

Owner: HACP

200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** 

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA

drawing title

WEST ELEVATION, HISTORIC KEYNOTES, SMALL UNIT **KEYNOTES, GRAPHIC SCALES** 

As Noted date

**Sheet No.** 

Project #2006

May 6, 2022

**GENERAL NOTE:** SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:

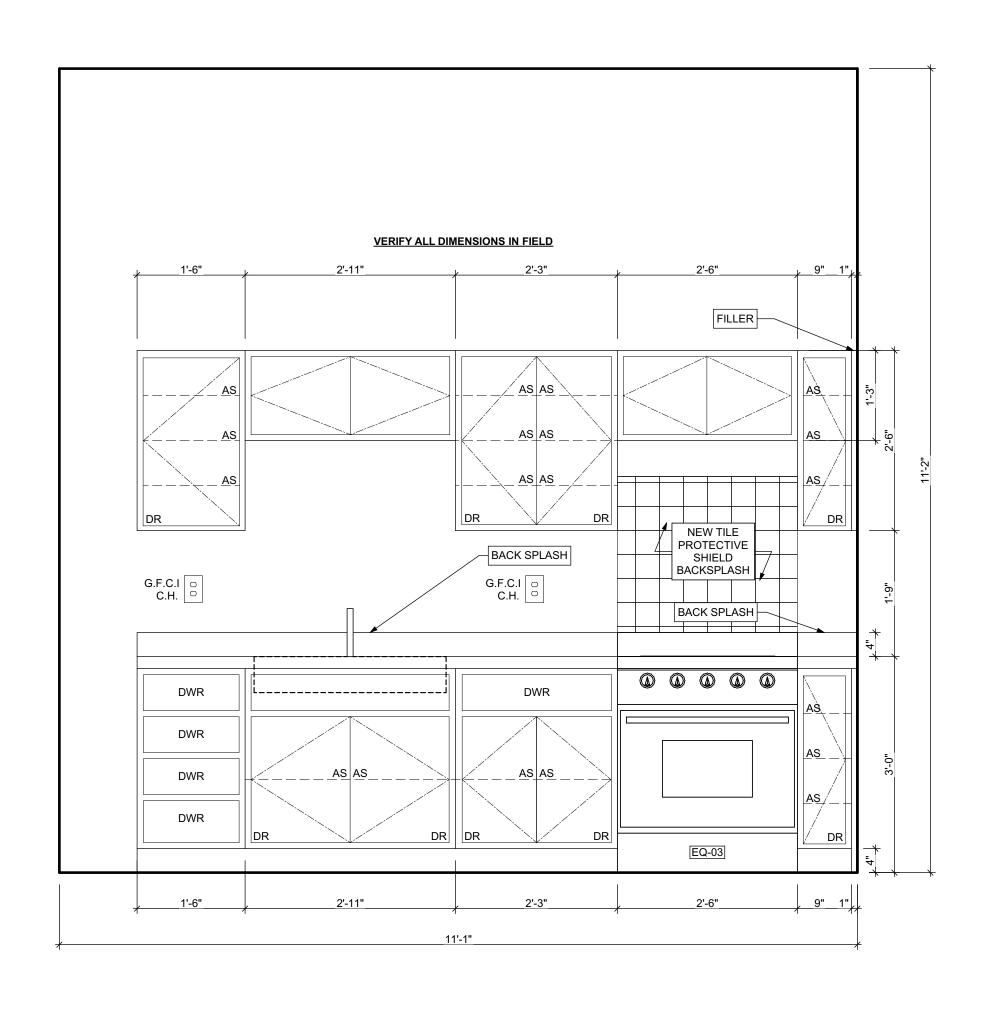
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION

ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP

THE AMOUNT DUE OF ALL ITEMS REMAINING.

MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS

SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF



VERIFY ALL DIMENSIONS IN FIELD

DWR

DWR

DWR

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AS AS

AS AS

AS AS

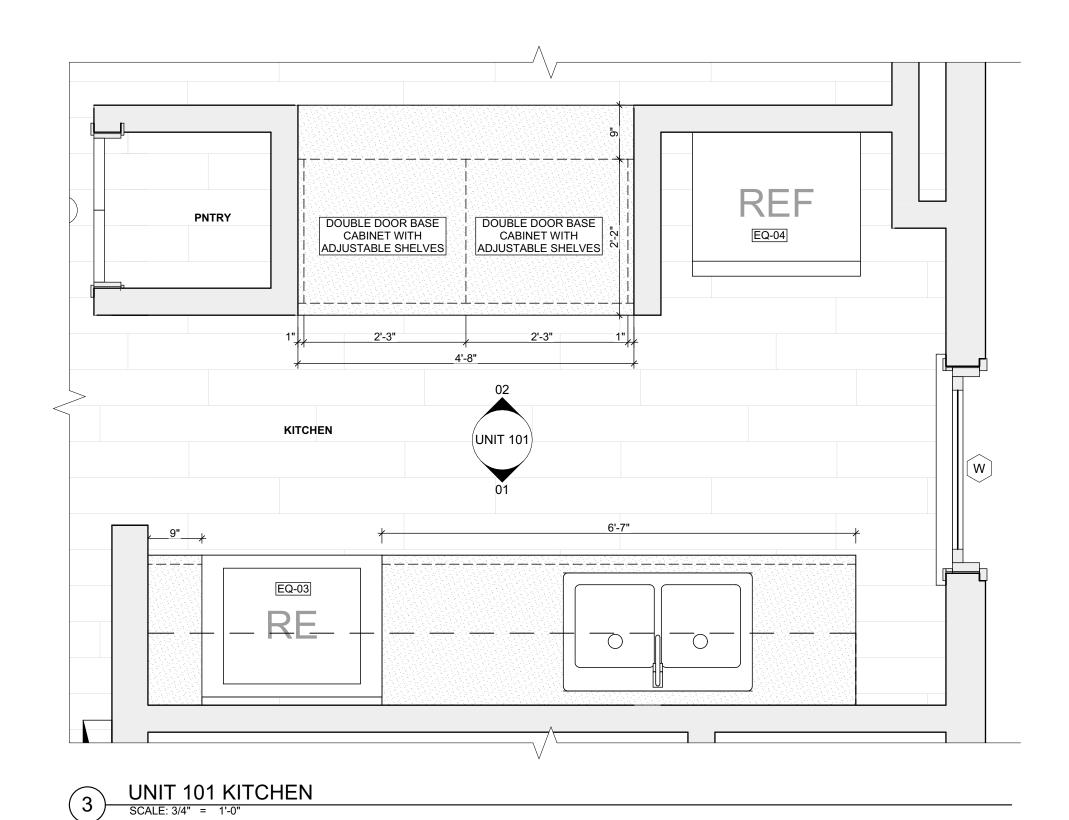
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(1) KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"

(2) KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"



BATHROOM ACCESSORY SCHEDULE						
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES			
MIRROR	0	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location			
MEDICINE CABINET	8	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicince cabinet in same location			
TOWEL BAR	8	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary			
TOILET PAPER HOLDER	8	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary			
TOWEL RING	8	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary			
WALL MOUNTED SOAP HOLDER	8	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary			

MECHANICAL EQUIPMENT SCHEDULE						
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES	
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, rela and accessories	ted equipment
NATURAL GAS FURNACE	FURN	8	AMANA	AMEC96	See specifications for Sizing requirements, rela and accessories	ted equipment
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, rela and accessories	ted equipment
AIR COOLED CONDENSING UNITS	AC	8	AMANA	ASX - 18	See specifications for Sizing requirements, rela and accessories	ited equipment
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensa	ation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and match existing unit being removed	d Voltage to
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage existing unit being removed	e to match
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register	
WATER HEATER	WH	9	A.O. SMITH	PROLINE® XE power direct vent	VOLTEX HYBRID Electric heat pump Refer to plumbing specification	ations for sizing

APPLIANCE SCHEDULE							
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES		
WASHER	W	1	WHIRLPOOL	WDF330PAHB	24in black front contro built 0in tall tub dishwasher with 1 hr wash cyclel, 55 dBA		
DRYER	DR	1	WHIRLPOOL	WGD4950HW	7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System		
STOVE	RE/EQ-03	8	WHIRLPOOL	W11245179A	black 30"		
REF.	REF/EQ-04	8	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA		

		1			
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	8	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	8	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	8	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	8	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	8	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	8	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	1	8	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub an Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	1	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or seperate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	·	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 81/8 " 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

 ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
 SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

# Fukui Architects Pc

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ISSUED FOR PERMIT: 05.06.2022

### project title

### Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

# **Project Location:**

MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15222

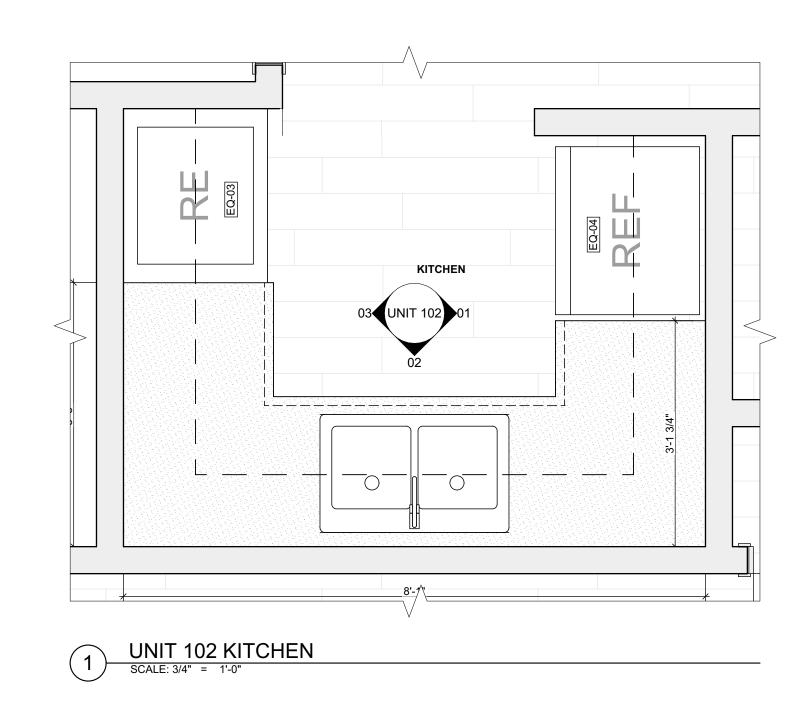
drawing title

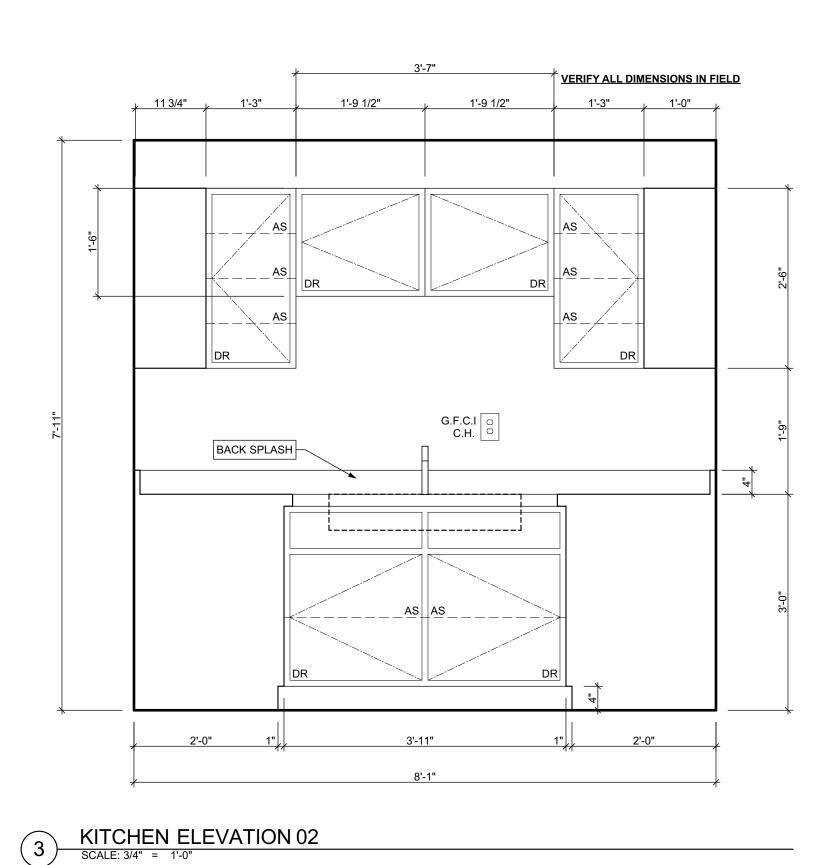
KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, UNIT 101 KITCHEN

scale	
As Not	ted
date	
	20
May 6, 202	<u> 22</u>
no.	of.

Sheet No.

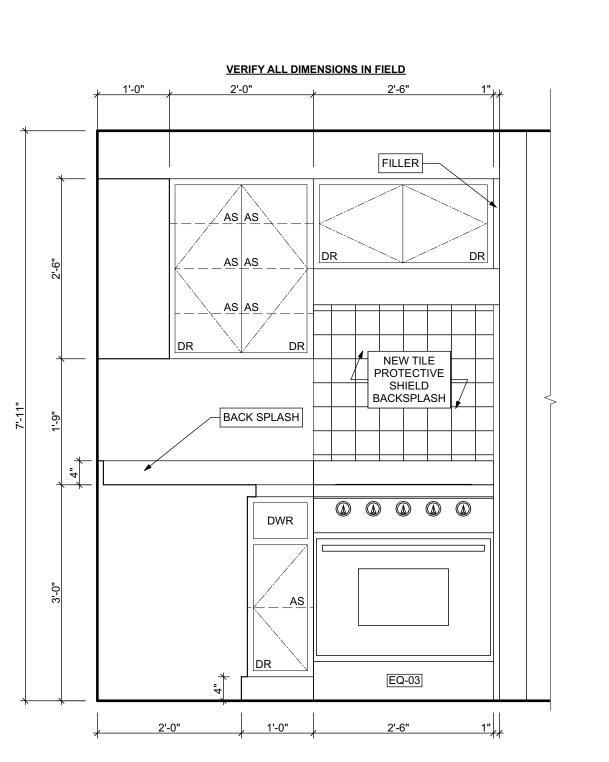
A15





G.F.C.I O C.H. BACK SPLASH 1'-0" 2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"

**VERIFY ALL DIMENSIONS IN FIELD** 



KITCHEN ELEVATION 03

SCALE: 3/4" = 1'-0"

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ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

**Project Location:** 

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

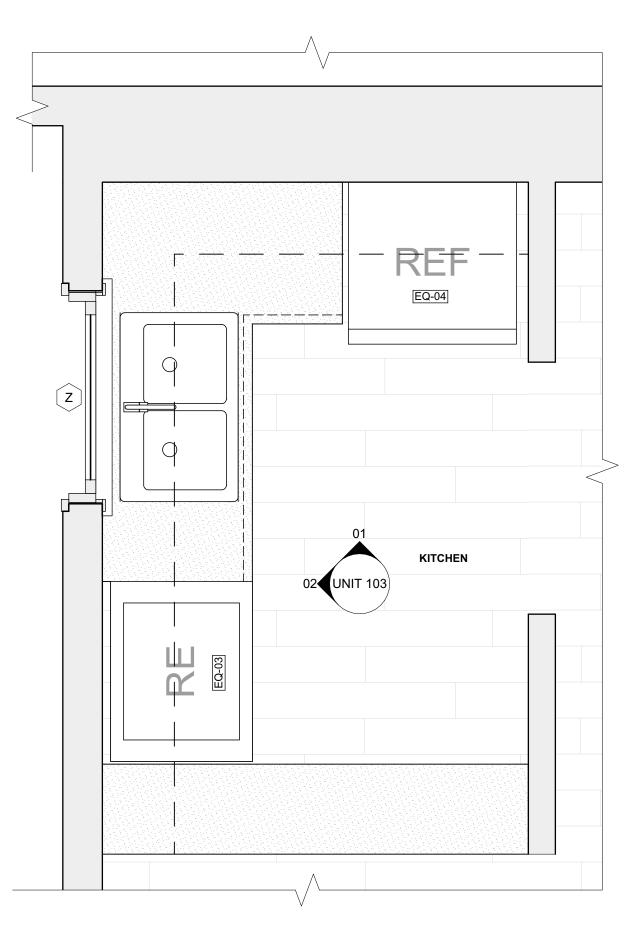
drawing title

**UNIT 102 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03** 

As Noted May 6, 2022

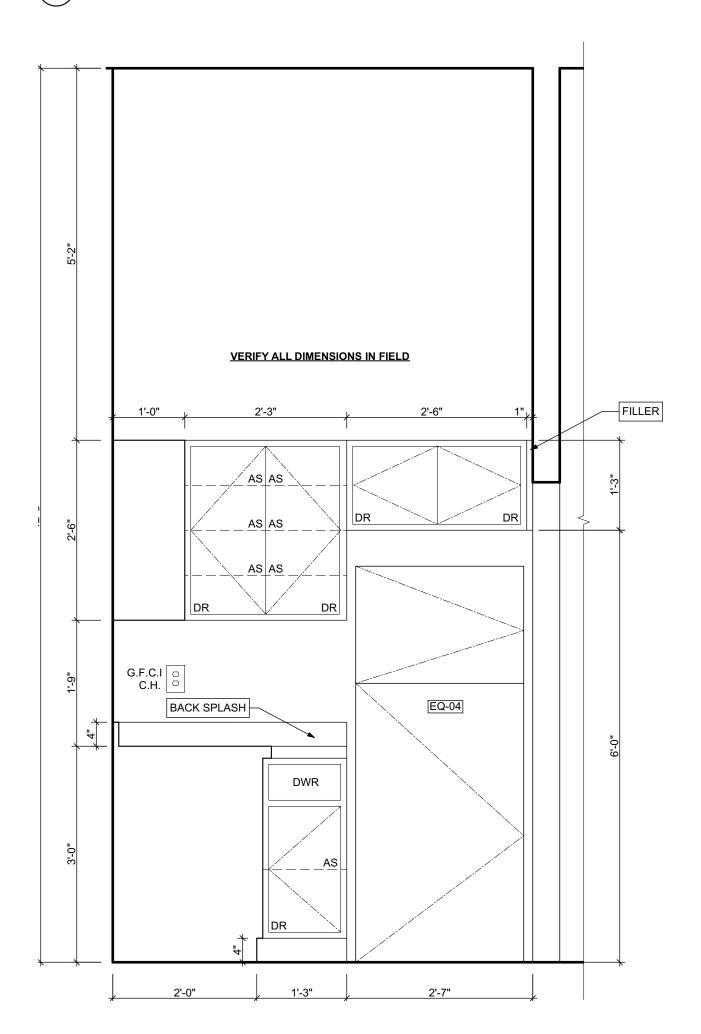
**A16** 

Project #2006

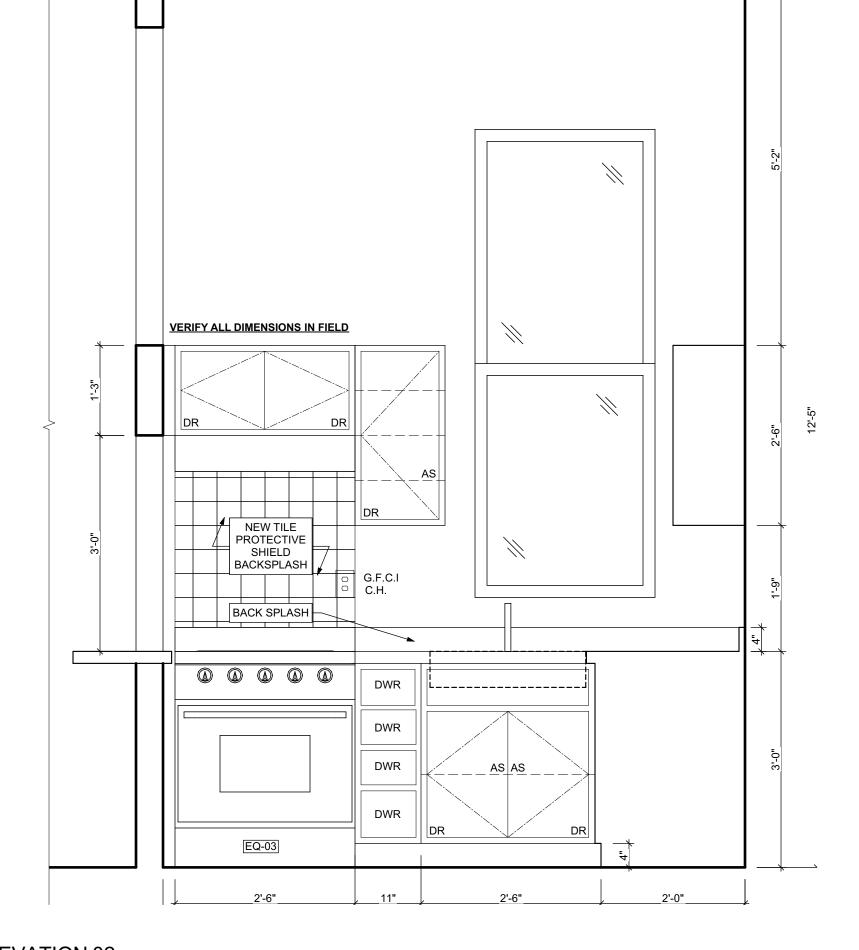


1 UNIT 103 KITCHEN

SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"

# Fukui Architects Pc

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Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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ISSUED FOR PERMIT: 05.06.2022

project title

### Owner:

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### **Project Location:**

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

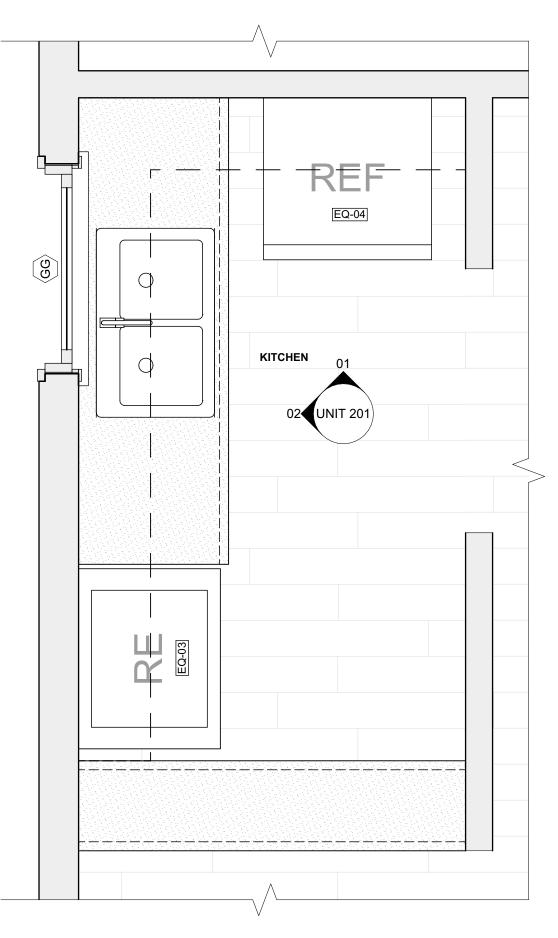
UNIT 103 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02

date
May 6, 2022
no. of.

**18** 

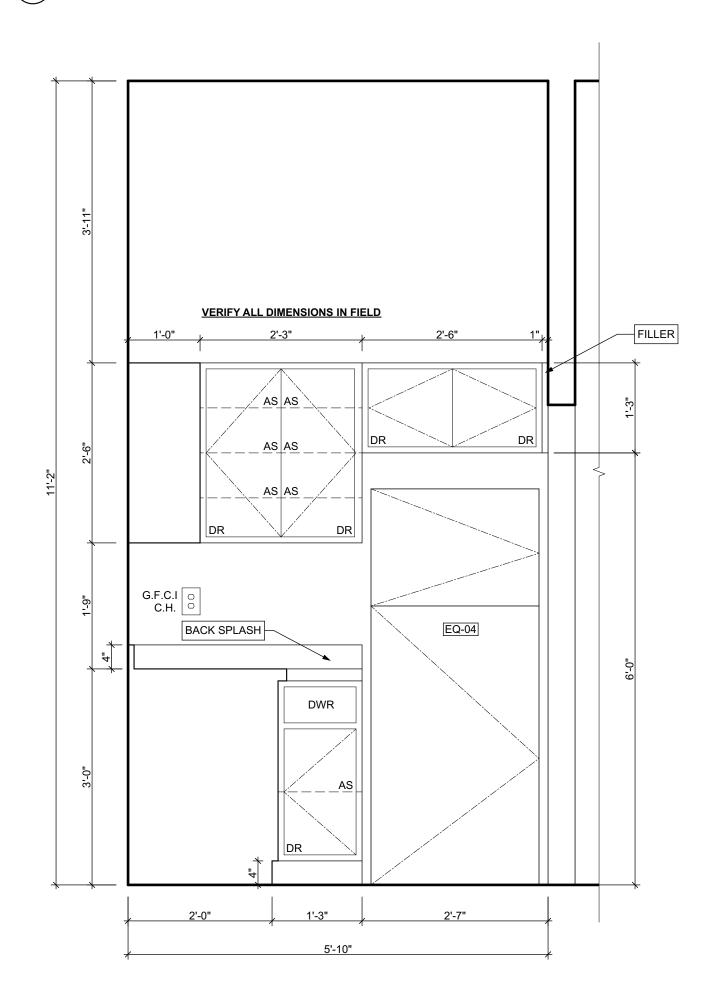
**A1** 

Project #2006

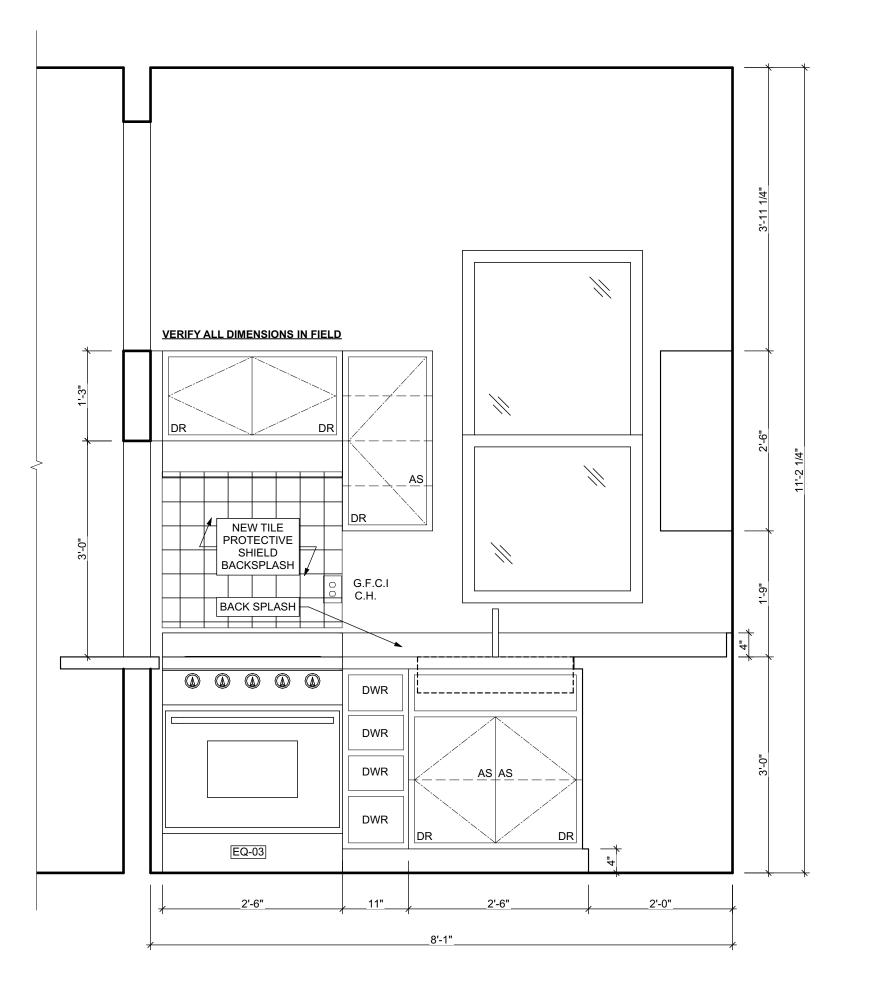


1 UNIT 201 KITCHEN

SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



(3) KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

# Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

### **Project Location:**

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

UNIT 201 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02

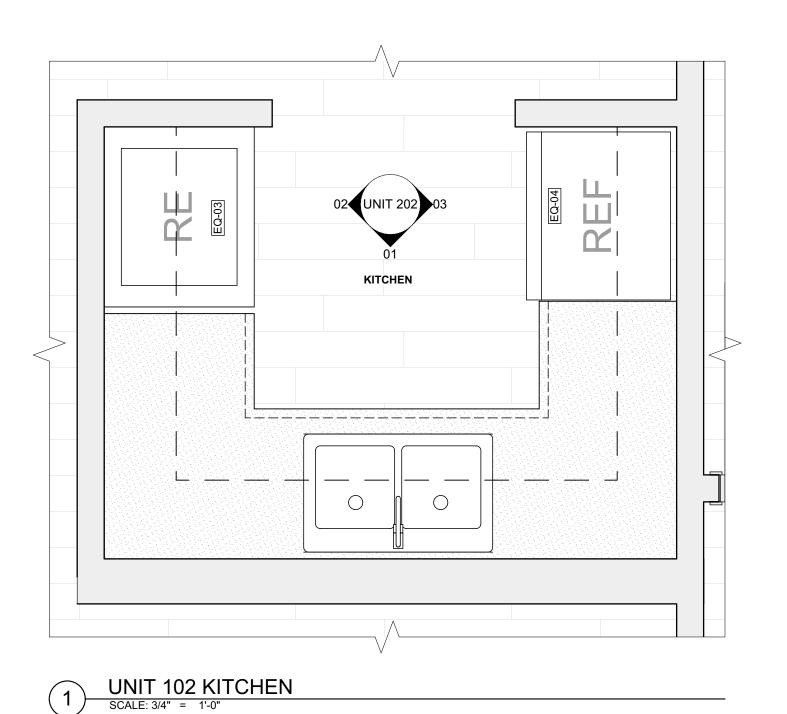
As Noted

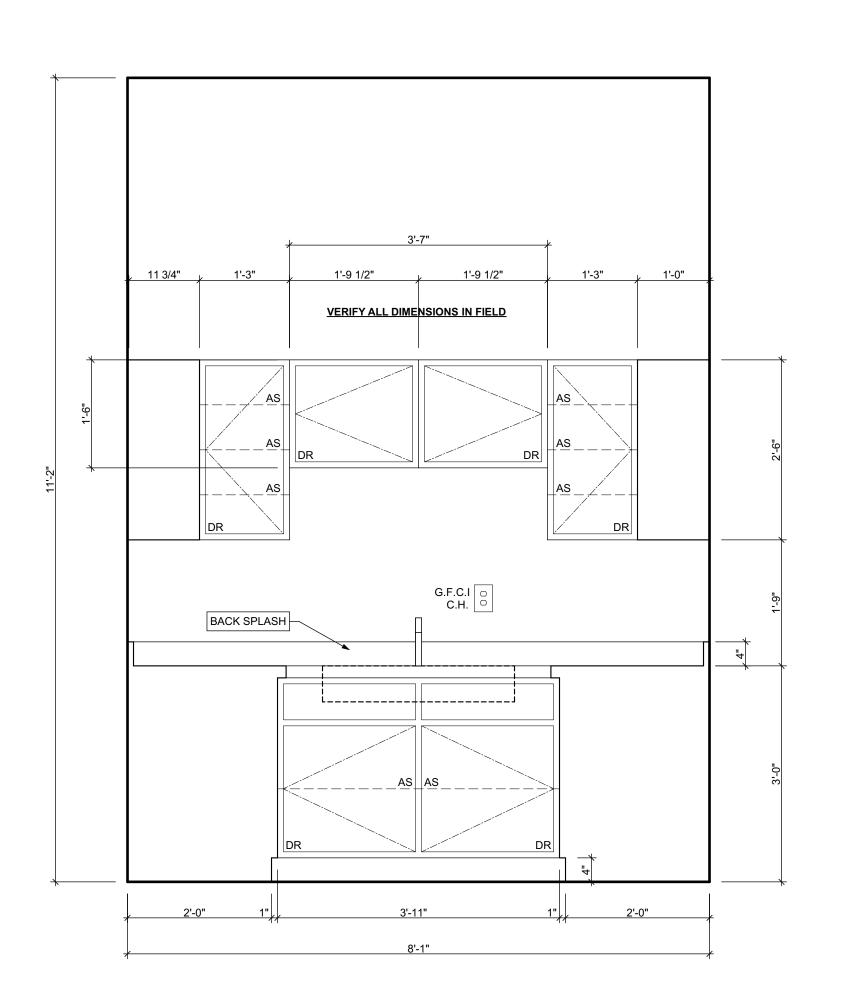
date

May 6, 2022

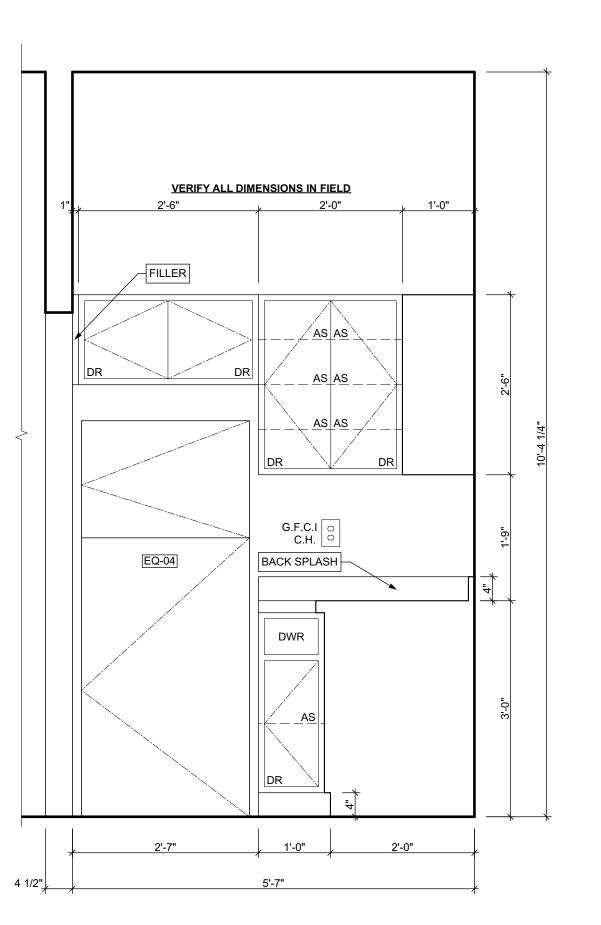
no. 19

**A18**Project #2006



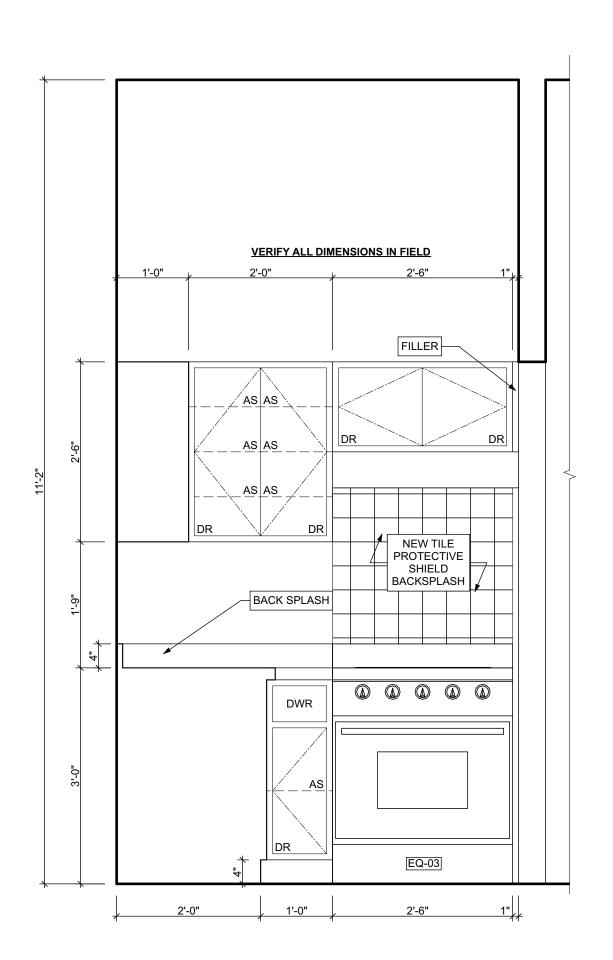


3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"



KITCHEN ELEVATION 03

SCALE: 3/4" = 1'-0"

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ISSUED FOR PERMIT: 05.06.2022

project title

# Owner:

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### **Project Location:**

MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

UNIT 102 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03

As Noted

date

May 6, 2022

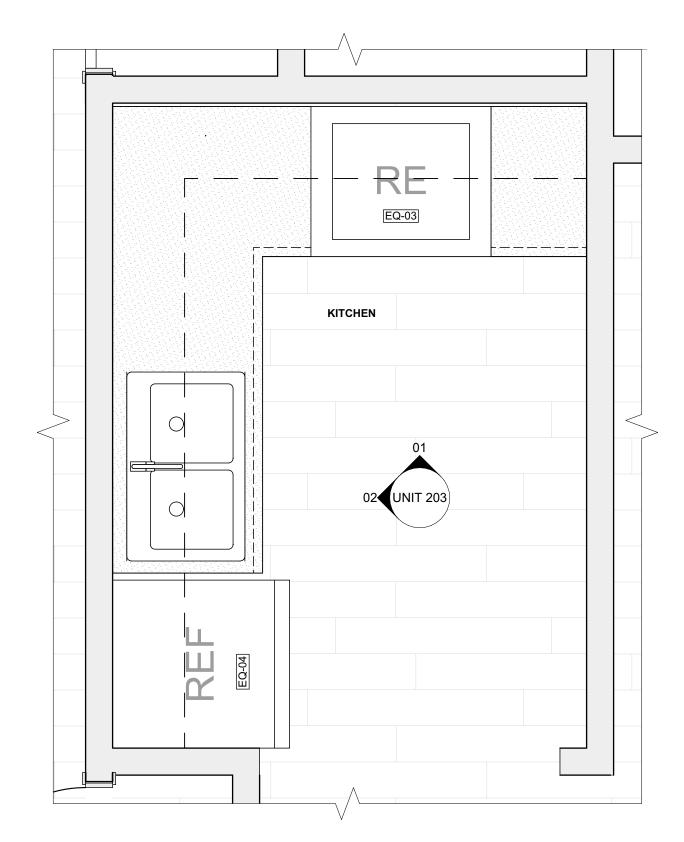
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**20** 

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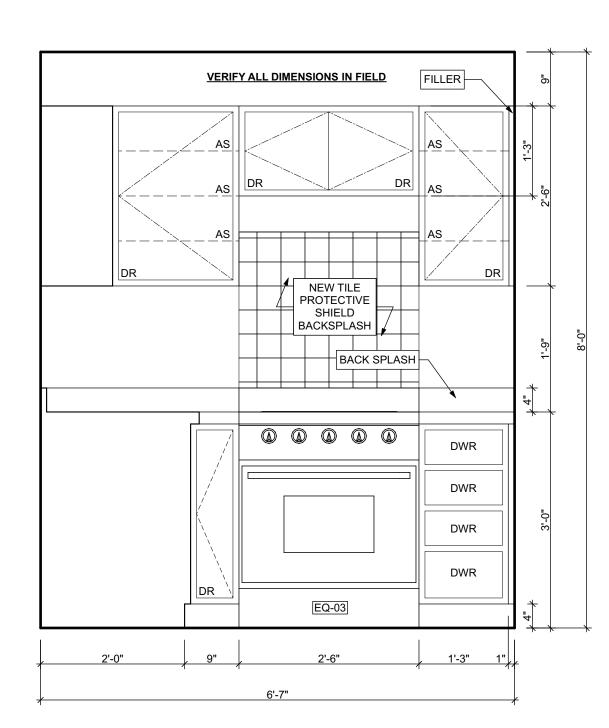
A19

Sheet No.



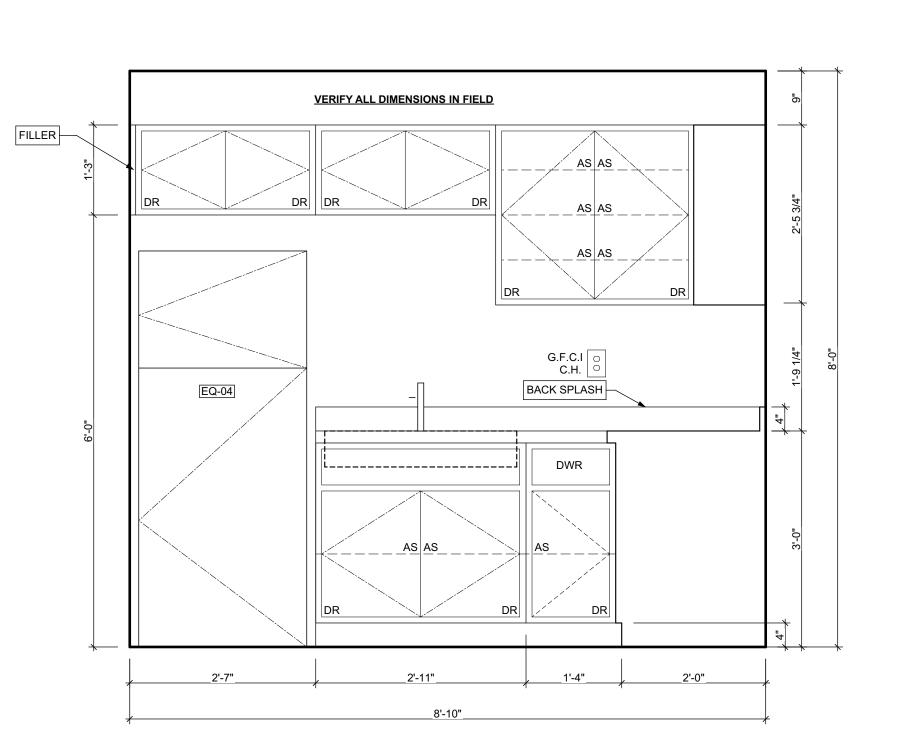
1 UNIT 103 KITCHEN

SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

### Owner:

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## **Project Location:**

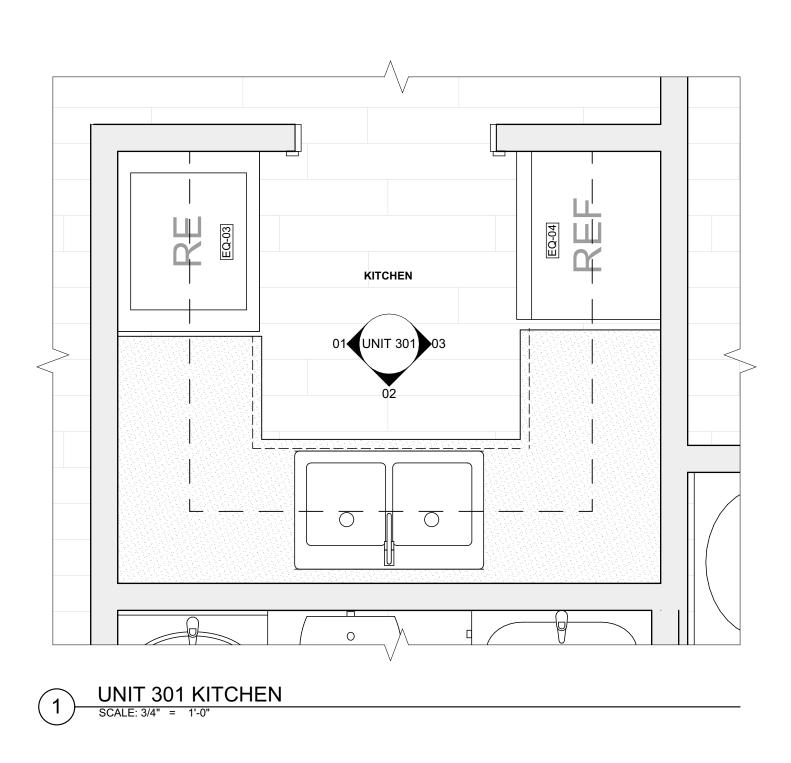
MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

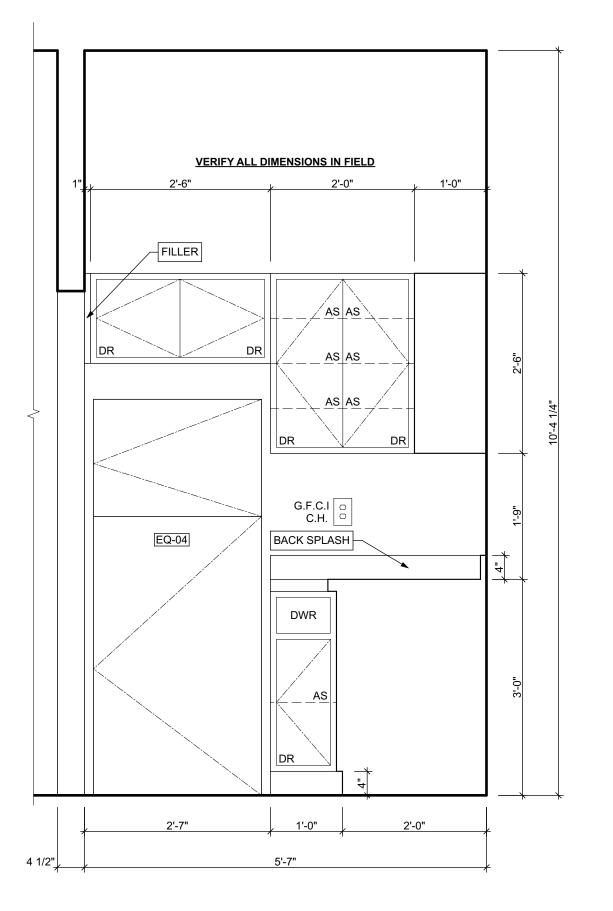
drawing title

UNIT 103 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02

date
May 6, 2022
no.
of.

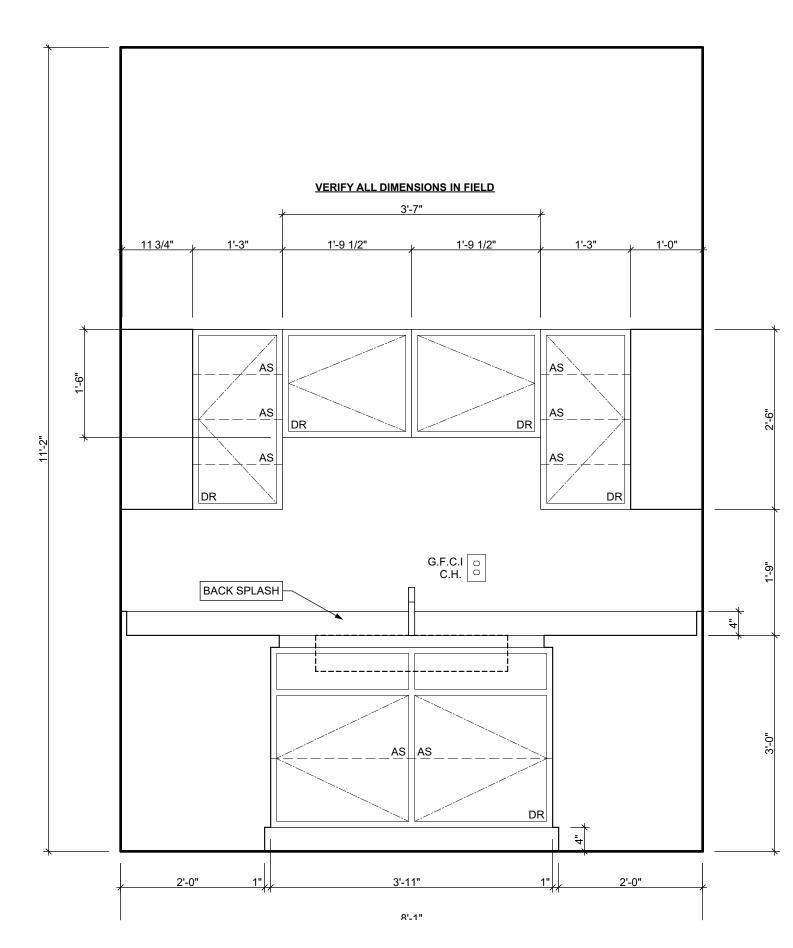
Sheet No.
A20





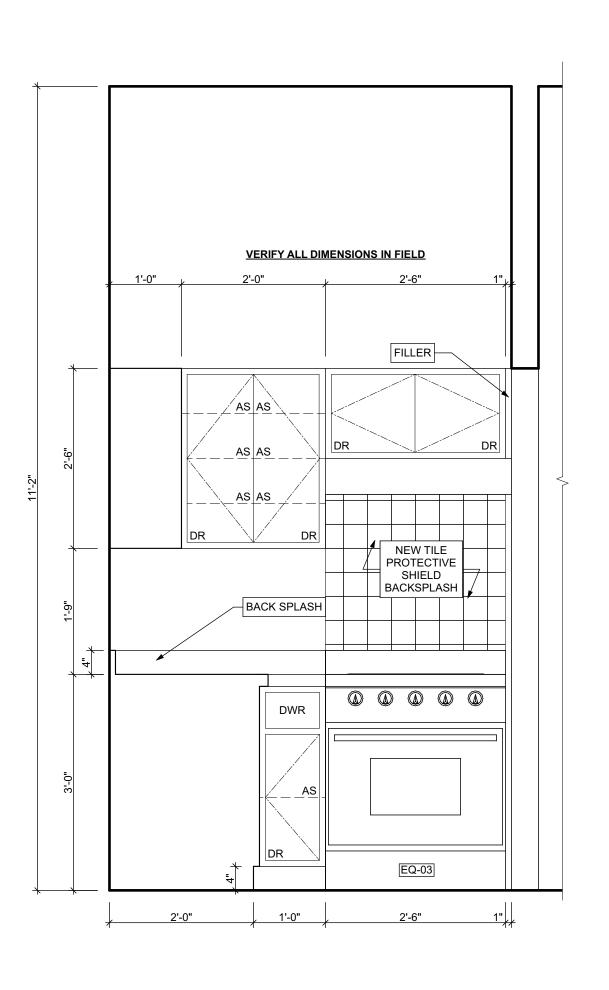
2 KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"



KITCHEN ELEVATION 03

SCALE: 3/4" = 1'-0"

# Fukui Architects Pc

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ISSUED FOR PERMIT: 05.06.2022

project title

## Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

### **Project Location:**

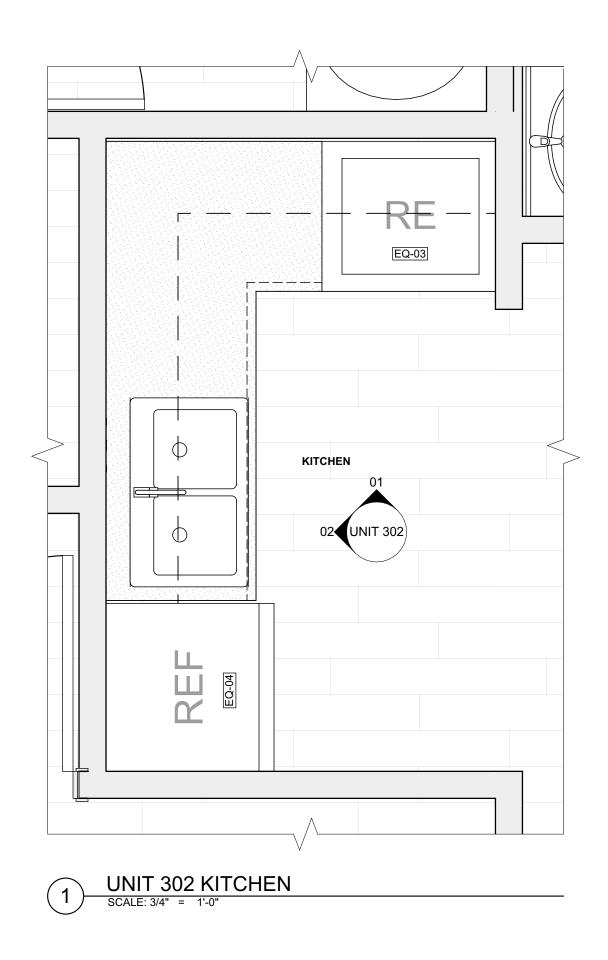
MANCHESTER SCATTERED SITES 1315 LIVERPOOL STREET PITTSBURGH, PENNSYLVANIA 15233

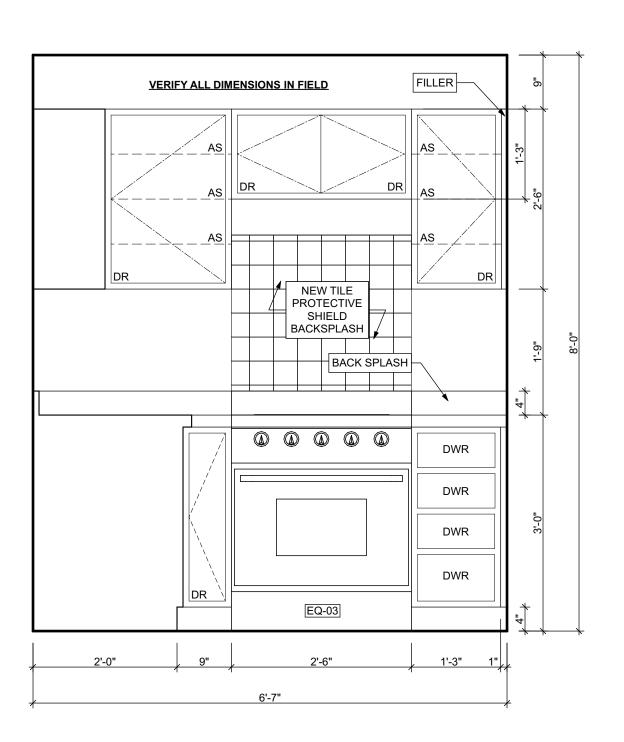
drawing title

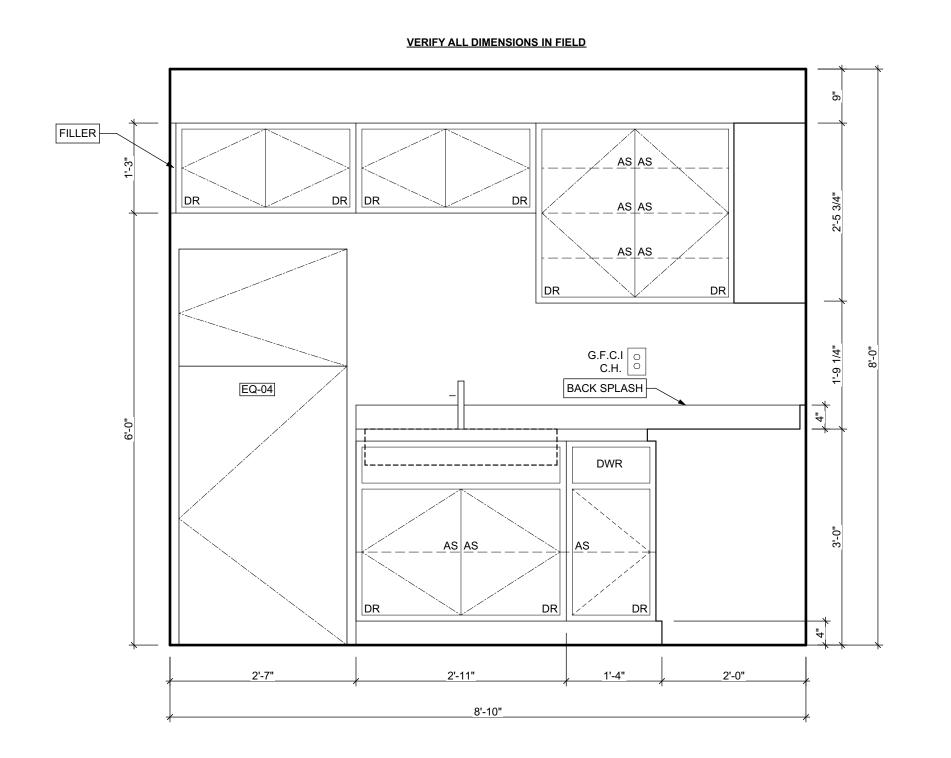
UNIT 301 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02, KITCHEN ELEVATION 03

date
May 6, 2022
no. of.

**A21**Project #2006







2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"

3 KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"

# Fukui Architects Pc

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Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

### Owner:

HACP 200 ROSS STREET PITTSBURGH,PA 15219

# **Project Location:**

MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

UNIT 302 KITCHEN, KITCHEN ELEVATION 01, KITCHEN ELEVATION 02

date
May 6, 2022
no. of.

Sheet No.

A22