

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1315 LIVERPOOL STREET PITTSBURGH PENNSYLVANIA 15233 8 UNITS - 8 BEDROOMS

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Code Conformance Information

Applicable Codes General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI S1317.1 2015 International Energy Conservation Code
Accessibility:	2015 International Fire Code
Energy:	2015 International Fuel Gas Code
Electrical:	2015 International Mechanical Code
Fire:	2013 NFPA 72
Fuel Gas:	2013 NFPA 13
Mechanical:	
Plumbing:	
Fire Alarm:	
Sprinkler:	
General Building / Project Information Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	7,788 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	27

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner: Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Architect: Fukai Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Ffg@farpe.com contact: Felix G. Fukui, AIA	Plan Review & Inspection: City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175
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General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
SCALE: 1/128" = 1'-0"

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**MANCHESTER SCATTERED SITES
MAP, CODE & CONTACT INFO,
Drawing List**

scale As Noted	Sheet No. A1 Project #2006
date May 6, 2022	
no. 2	of. 23

Materials Legend

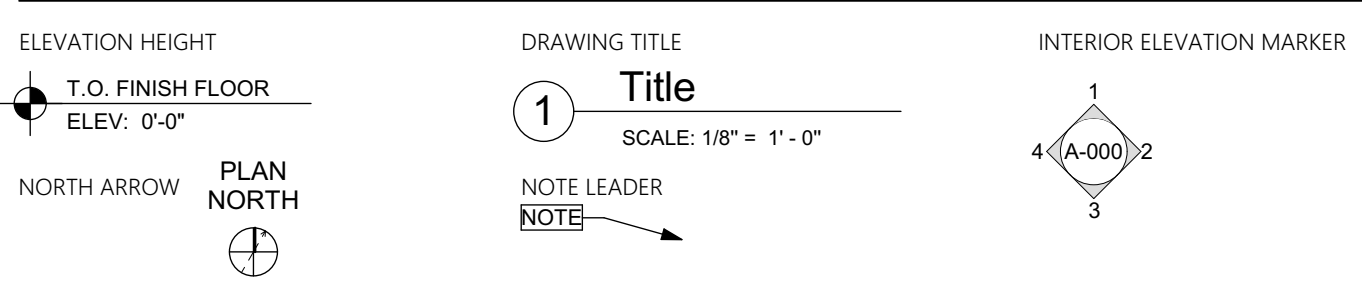
NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

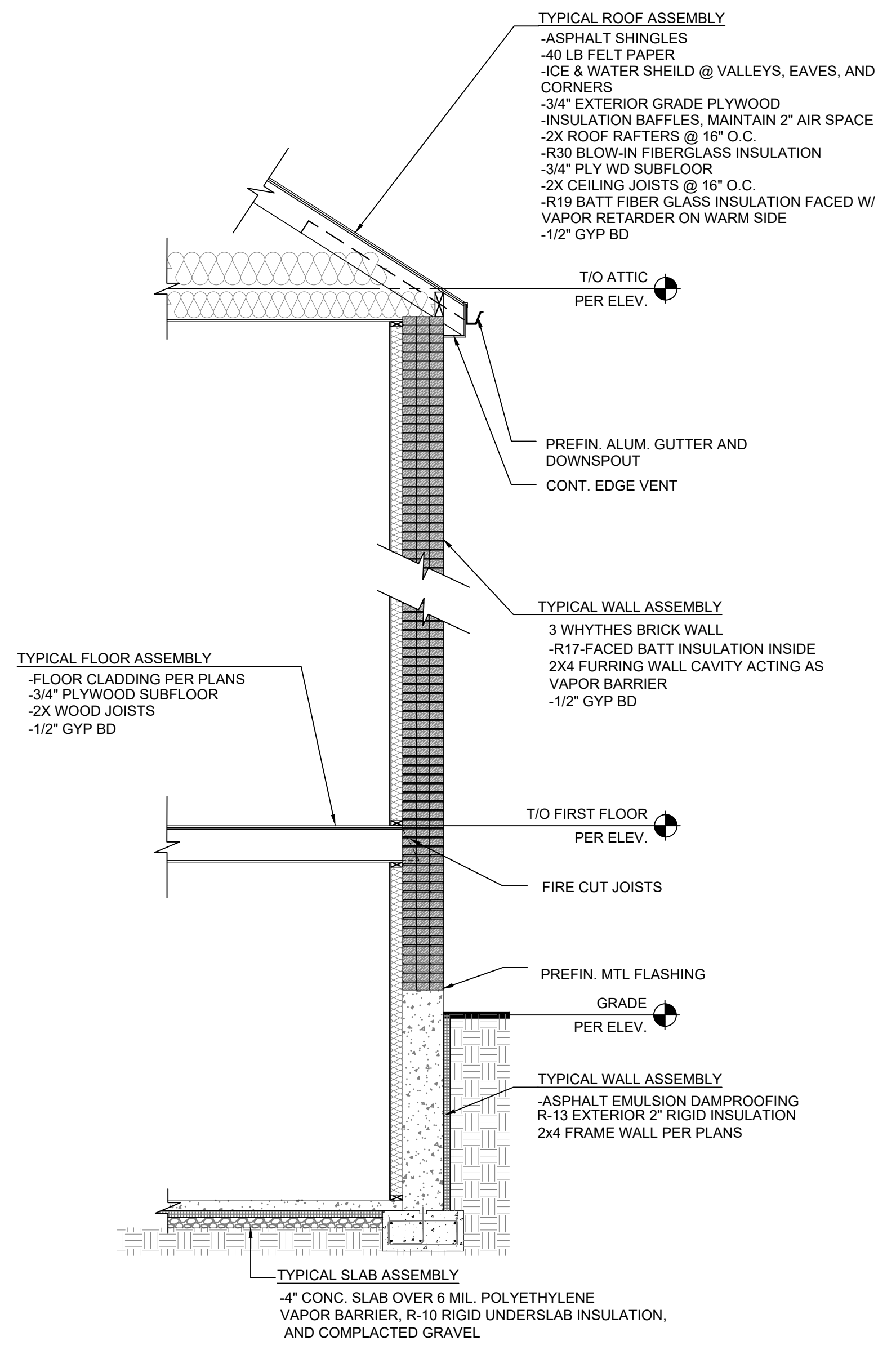
Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	EXHAUST	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXP.	Expansion	O.C.	On Center
ADH.	Adhesive	E.J.	Expansion Joint	OPP.	Opposite
ADJUST.	Adjustable	ESH	Exterior Sheathing	O.H.	Overhead
A/C	Air Conditioning	EXIST.	Existing	PR.	Pair
ALT.	Alteration	EXPOSED	Exposed	PLAS.	Plaster
ALTN.	Alternate	EXT.	Exterior	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	E.I.F.S.	Exterior Insulation & Finish System	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	F.R.P.	Fiberglass Reinforced Polyester	P.W.D.	Plywood
APPROX.	Approximate	FF	Finish Floor	POLY.	Polyethylene
ARCH.	Architectural	FIN.FLR.	Finish Floor	P.V.C.	Polyvinyl Chloride
ARCH.	Adjustable Shelving	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	Prefabricated
ASB.	Asbestos	F.E.	Fire Extinguisher	REF.	Refer To
ASPH.	Asphalt	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
AUTO.	Automatic	F.D.	Floor Drain	REINF.	Reinforcement
AVG.	Average	FTG.	Footing	RD.	Roof Drain
BLK.	Block	GA.	Gauge	RM.	Room
BD.	Board	G.C.	General Contractor	S.A.T.	Suspended Acoustical Tile
BOT	Bottom	G.F.I.	Ground Fault Interrupter	SCHED.	Schedule
BLDG	Building	GVP.	Gypsum Wall Board	SHT.	Sheet
C.I.P.	Cast In Place	G.W.B.	Gypsum Sheathing	SIM.	Similar
C.B.	Catch Basin	GSH	Gypsum Sheathing	S.C.	Solid Core
CEM.	Cement	H/C	Handicap	SPEC.S.	Specifications
CER.	Ceramic	H.V.A.C.	Heating, Ventilation & Air Conditioning	SQ.	Square
CG	Corner Guard	HT	Height	S.F.	Square Foot
C.M.T.	Ceramic Mosaic Tile	HC	Hollow Core	S.S.	Stainless Steel
C.W.T.	Ceramic Wall Tile	H.M.	Hollow Metal	STL.	Steel
C.O.	Center Line	HORIZ.	Horizontal	STOR.	Storage
CL.	Clearance	HR.	Hour	STRUCT.	Structural
COL.	Column	H.W.	Hot Water	TEL.	Telephone
CONC.	Concrete	IN.	Inch	THK.	Thick
C.M.U.	Concrete Masonry Unit	I.M.	Insulated Metal	T.B.D.	To Be Determined
CONT.	Continuous	INSUL.	Insulation or Insulated	T&G	Tongue & Groove
CORR.	Corridor	INT.	Interior	T.O.	Top Of
C.M.P.	Corrugated Metal Pipe	INV.	Invert	T.G.	Top Of Grade
CORS.	Courses	ISO.	Isolation	T.O.S.	Top Of Steel
DIA.	Diameter	JAN.	Janitor's Closet	TYP.	Typical
DET	Dens Glass Gold	J.T.	Joint	UNFIN.	Unfinished
DGL	Dens Glass Gold	LAM.	Laminate	UN.O.	Unless Noted Otherwise
DR.	Door	LAV.	Lavatory	V.B.	Vapor Barrier
DN.	Down	LG.	Long	VERT.	Vertical
D.S.	Downspout	M.D.F.	Medium Density Fiberboard	VEST.	Vestibule
DWG.	Drawing	M.D.H.	Magnetic Door Holder	V.C.T.	Vinyl Composition Tile
DWR.	Drawer	M.H.	Manhole	V.I.F.	Verify In Field
D.F.	Drinking Fountain	MFR.	Manufacturer	W.H.	Water Heater
D.I.P.	Ductile Iron Pipe	MAX.	Maximum	W.R.B.	Water Resistant Barrier
EA.	Each	MECH.	Mechanical	W.W.F.	Welded Wire Fabric
E.W.	Each Way	MET.	Metal	WIN.	Window
ELEC.	Electrical	MIN.	Minimum	W/O	Without
E.C.	Electrical Contractor			WD.	Wood
EL.	Elevation				

Symbols



1 ABBREVIATIONS AND MATERIALS

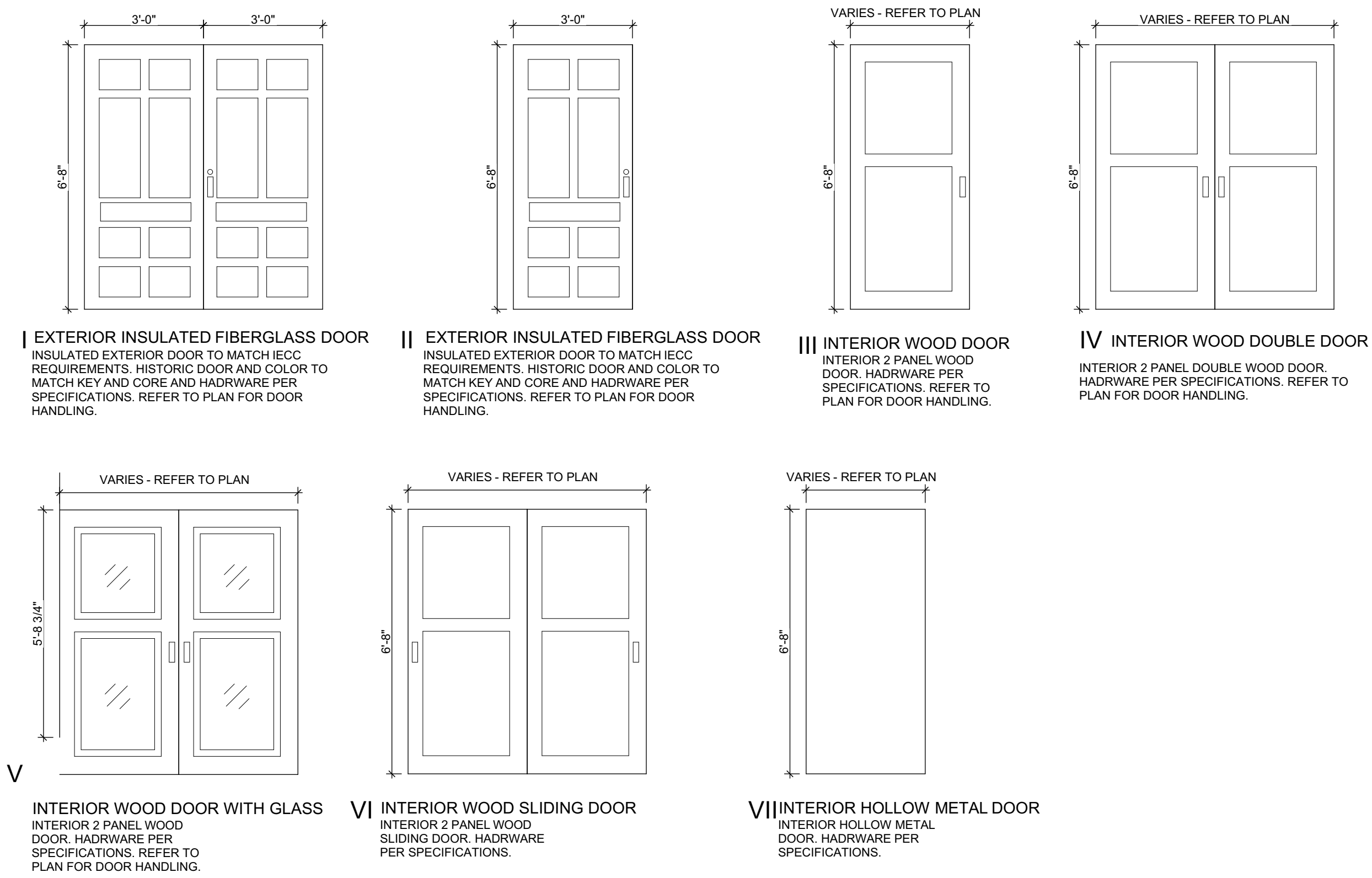


2 HISTORIC BRICK WALL SECTION

WINDOW SCHEDULE						
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-6"	2'-6"	8'-6"	WOOD	☑	☐
AA	2'-11"	6'-10 1/2"	9'-5"	WOOD	☑	☐
B	2'-2"	2'-5"	8'-6"	WOOD	☑	☐
BB	2'-6 1/2"	7'-5"	10'-2"	WOOD	☑	☐
C	3'-2"	2'-10"	8'-6"	WOOD	☑	☐
CC	2'-8"	2'-10"	8'-6"	WOOD	☑	☐
D	2'-6"	2'-10"	8'-6"	WOOD	☑	☐
E	3'-2"	2'-6"	8'-6"	WOOD	☑	☐
EE	2'-8"	6'-11 1/2"	9'-6"	WOOD	☐	☑
F	3'-0"	2'-5"	8'-6"	WOOD	☑	☐
FF	2'-8 1/2"	7'-5"	10'-0"	WOOD	☑	☐
G	2'-7"	8'-11 1/2"	10'-2 1/2"	WOOD	☑	☐
GG	2'-10 1/2"	5'-0"	8'-6"	WOOD	☑	☐
H	3'-0"	8'-10"	9'-0"	WOOD	☑	☐
I	1'-10"	4'-11 1/2"	9'-4 1/2"	WOOD	☑	☐
J	2'-1"	5'-6"	9'-2"	WOOD	☑	☐
K	2'-1 1/2"	5'-3"	9'-2 1/2"	WOOD	☑	☐
L	2'-2"	5'-2"	8'-0"	WOOD	☑	☐
M	2'-3"	5'-5 1/2"	11'-11 1/2"	WOOD	☑	☐
N	2'-3"	5'-11"	9'-5 1/2"	WOOD	☑	☐
O	2'-0 1/2"	5'-11"	9'-5 1/2"	WOOD	☑	☐
P	2'-3"	6'-11"	9'-5 1/2"	WOOD	☑	☐
Q	2'-6"	6'-11"	9'-0"	WOOD	☑	☐
R	2'-6"	7'-8"	10'-2 1/2"	WOOD	☑	☐
S	2'-7"	8'-10"	9'-0"	WOOD	☑	☐
T	2'-7 1/2"	6'-11 1/2"	9'-6 1/2"	WOOD	☑	☐
U	2'-8"	4'-0 1/2"	8'-8 1/2"	WOOD	☑	☐
V	2'-9 1/2"	5'-3"	9'-2 1/2"	WOOD	☑	☐
W	2'-10"	7'-8"	8'-2 1/2"	WOOD	☑	☐
X	3'-10"	8'-10"	9'-2 1/2"	WOOD	☑	☐
Y	2'-3"	5'-8 1/2"	8'-5 1/2"	WOOD	☑	☐
Z	2'-11"	6'-6"	10'-3"	WOOD	☑	☐

DOOR SCHEDULE						
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)	
					PASSAGE	SLIDING
1	2'-6 1/2"x6'-7"	III	WOOD	WOOD	PASSAGE	
2	2'-0"x6'-8"	VI	WOOD	WOOD	SLIDING	
3	4'-0"x6'-8"	VI	WOOD	WOOD	SLIDING	
4	2'-6"x6'-8"	III	WOOD	WOOD	PRIVACY	
5	2'-8"x6'-8"	III	WOOD	WOOD	PRIVACY	
6	2'-10"x6'-8"	II	FIBERGLASS	FIBERGLASS	EM. EXIT	
7	2'-8"x6'-8"	III	WOOD	WOOD	ENTRY	
8	3'-0"x6'-8"	VI	WOOD	WOOD	SLIDING	
9	2'-8"x6'-8"	III	WOOD	WOOD	DUMMY	
10	1'-8"x6'-8"	III	WOOD	WOOD	DUMMY	
11	3'-0"x6'-7"	III	WOOD	WOOD	PASSAGE	
12	1'-4"x6'-8"	III	WOOD	WOOD	DUMMY	
13	3'-3 1/2"x6'-8"	VII	HOLLOW METAL	HOLLOW METAL	PASSAGE	
14	3'-0"x6'-8"	VII	HOLLOW METAL	HOLLOW METAL	PASSAGE	
15	3'-0"x6'-8"	II	FIBERGLASS	FIBERGLASS	ENTRY	
16	2'-4"x6'-0"	VIII	HOLLOW METAL	HOLLOW METAL	PASSAGE	
17	2'-10"x7'-0"	III	WOOD	WOOD	ENTRY	
18	3'-0"x6'-8"	III	WOOD	WOOD	ENTRY	
19	2'-8"x6'-8"	III	WOOD	WOOD	DUMMY	
20	2'-1"x6'-8"	III	WOOD	WOOD	PASSAGE	
21	3'-0"x6'-8"	III	WOOD	WOOD	PASSAGE	
22	1'-6"x6'-8"	III	WOOD	WOOD	DUMMY	
23	2'-6"x6'-8"	III	WOOD	WOOD	PASSAGE	
24	2'-5 1/2"x6'-8"	VI	WOOD	WOOD	SLIDING	
25	2'-10"x7'-0"	III	WOOD	WOOD	ENTRY	
26	2'-4"x6'-8"	III	WOOD	WOOD	DUMMY	
27	4'-6"x10'-1"	I	FIBERGLASS	FIBERGLASS	ENTRY	
28	4'-9 1/2"x7'-9"	V	WOOD	WOOD	ENTRY	

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN.CLO	09 LVT
LIVING ROOM	09 LVT
LIVING ROOM ...	09 LVT
PENTRY	09 LVT



ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1315 LIVERPOOL STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

ABBREVIATIONS AND MATERIALS, HISTORIC BRICK WALL SECTION, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

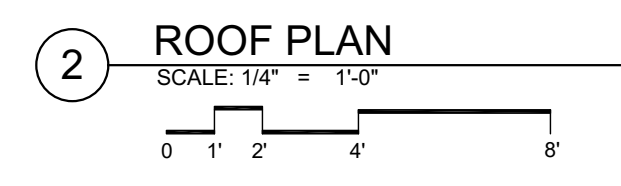
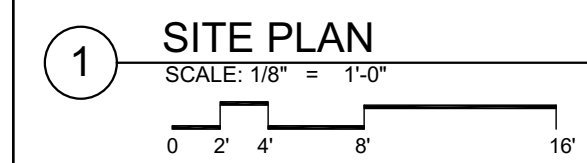
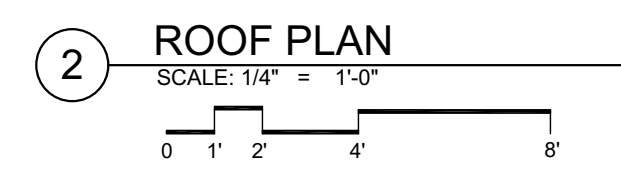
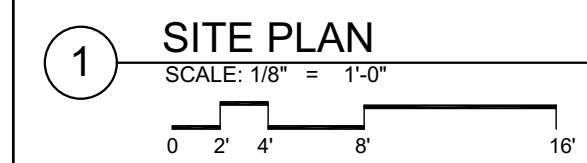
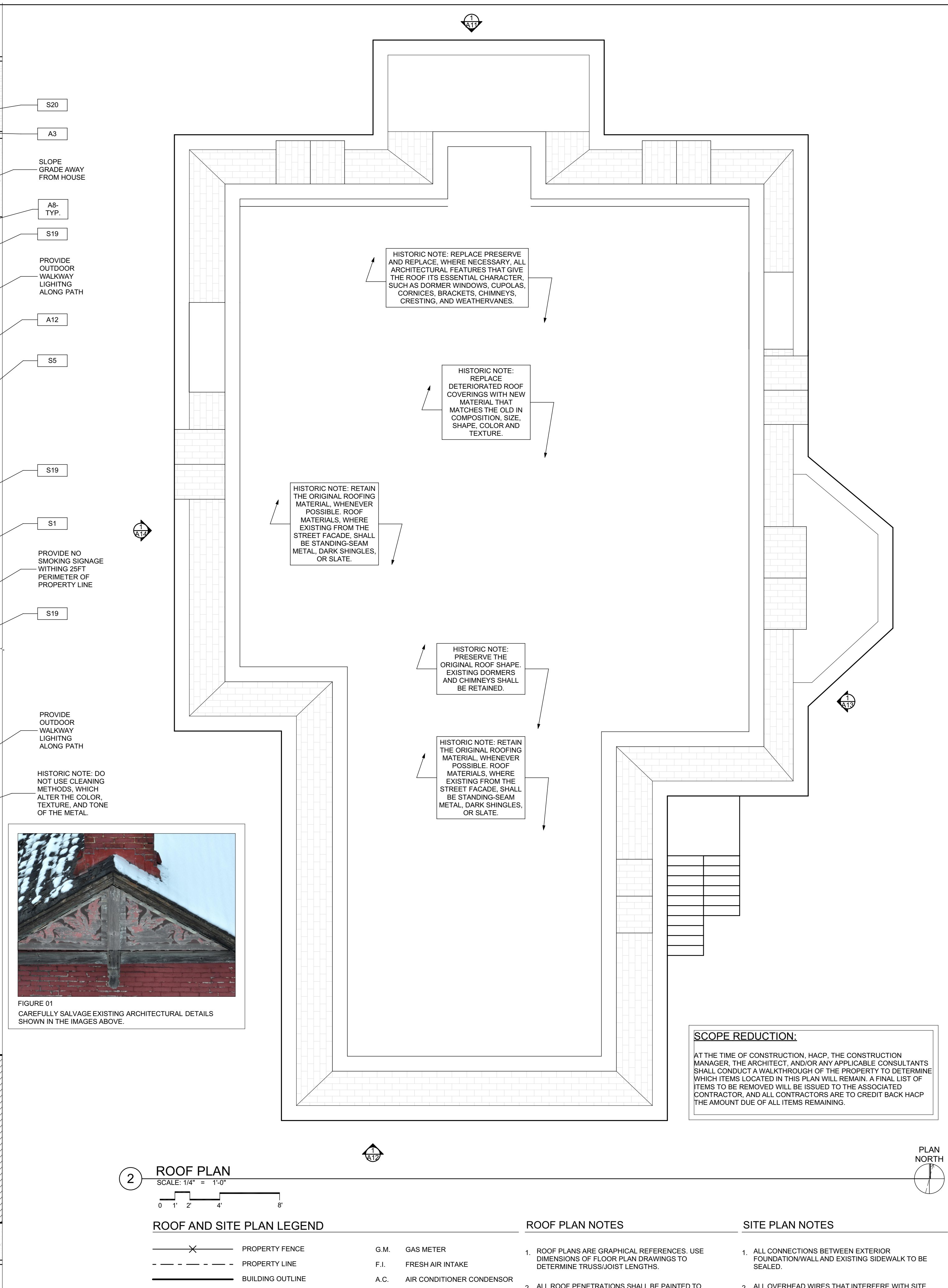
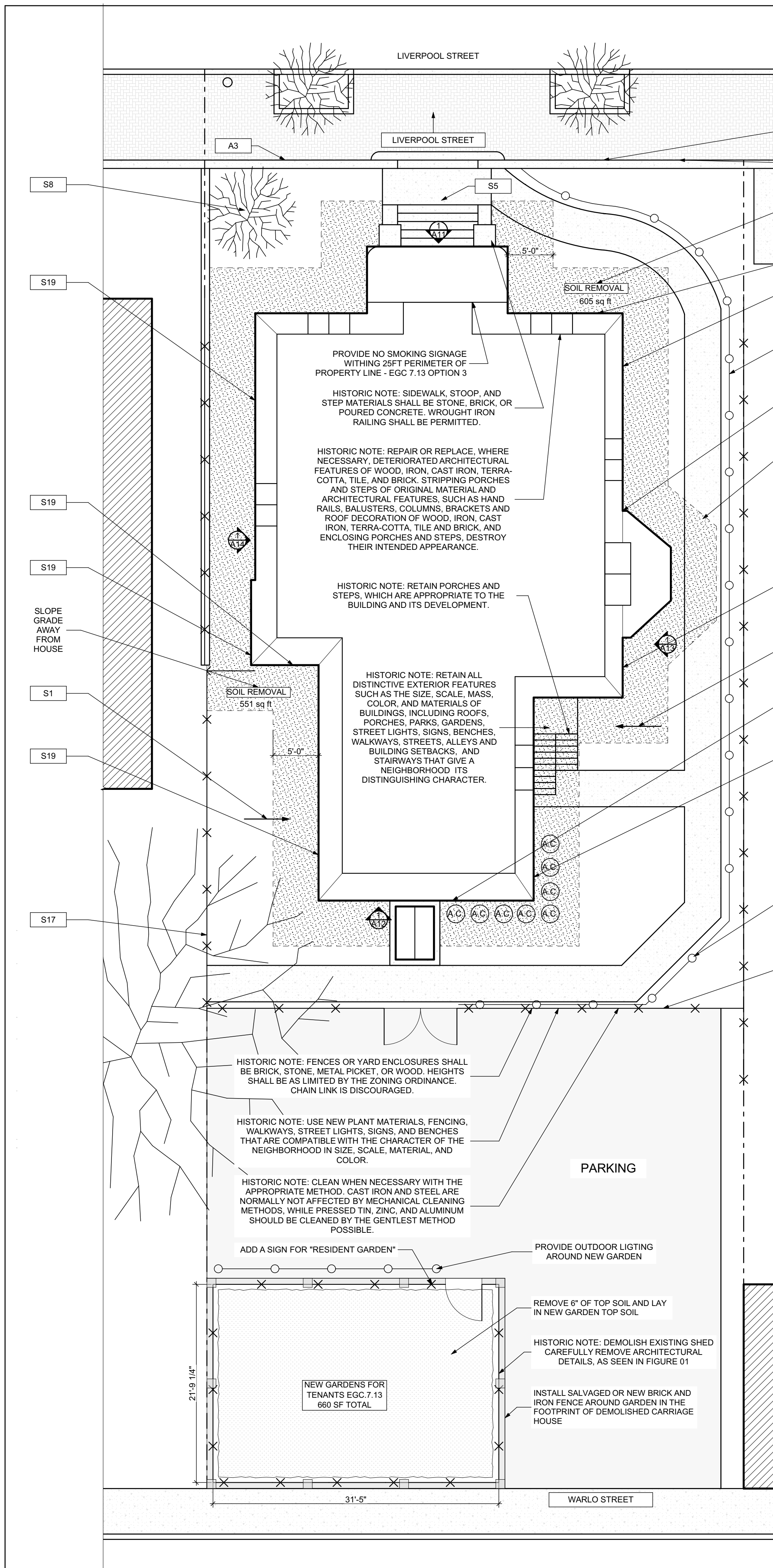
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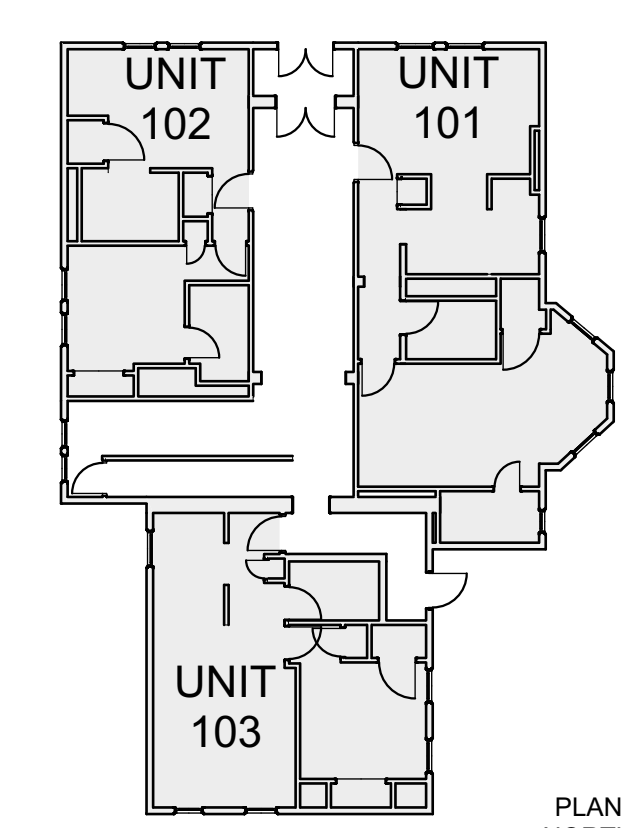
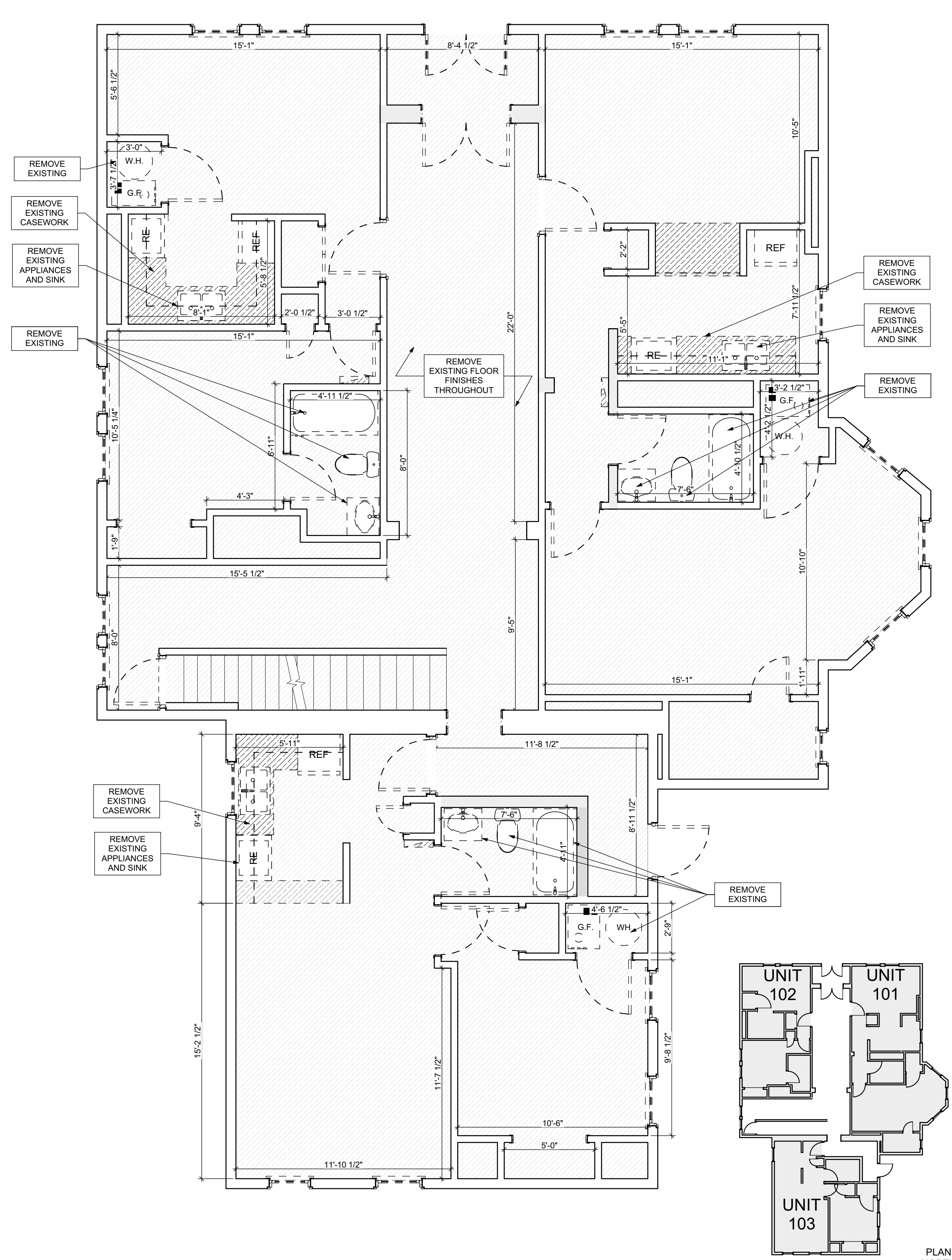
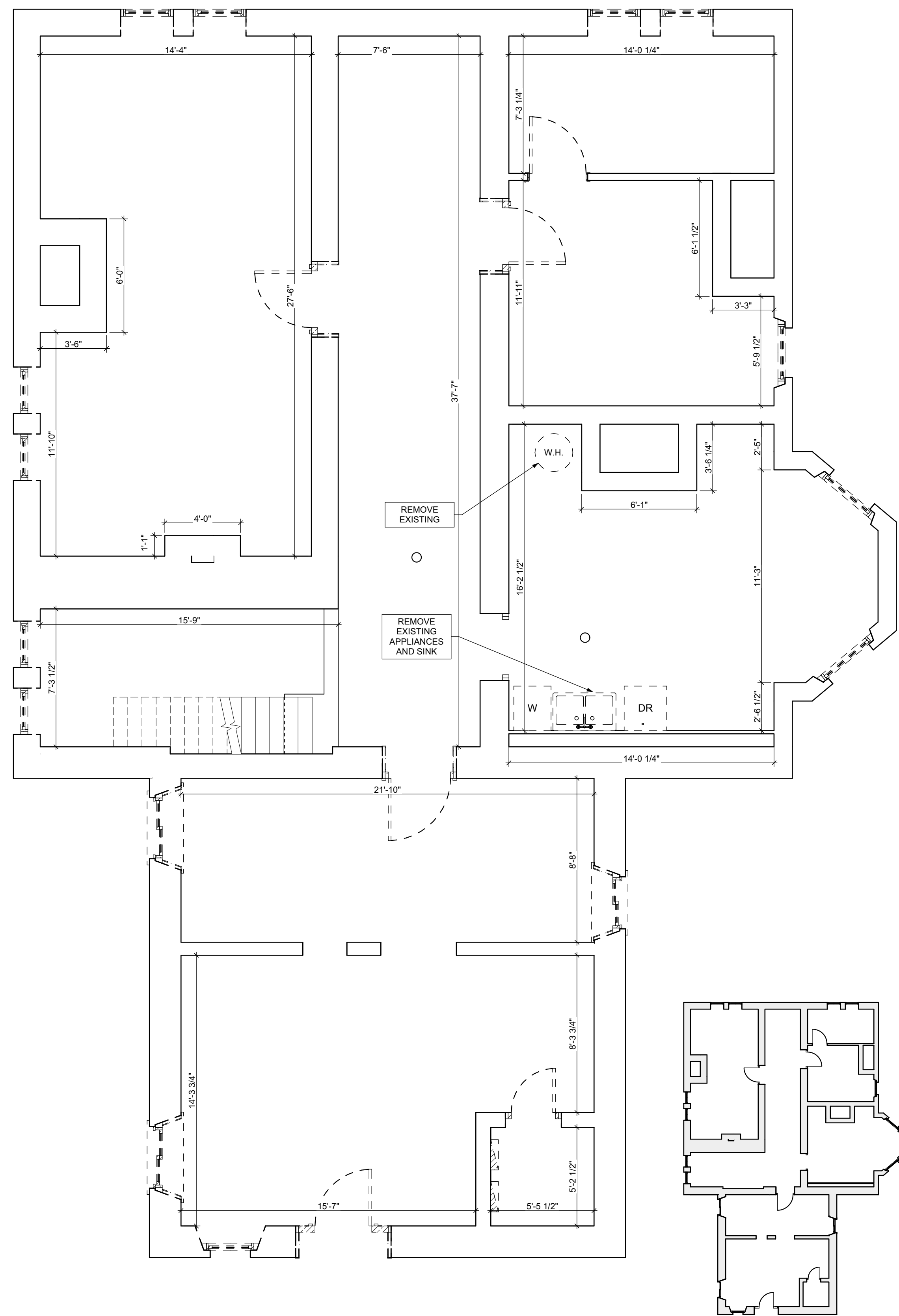
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HACP
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Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
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15233

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES



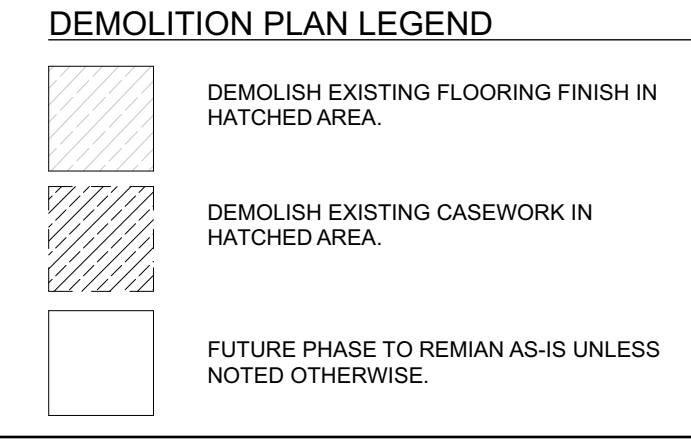


- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. RE-CONCRETE IS PRESENT MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE WAY BRICK. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, FLASHING, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. CHECK FOR LEAKS. CHECK FOR REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY. REPAIR AND RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPAIR TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DISMISL EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KNOCKDOWN TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2X4X1" SPREAD FOOTING AND APPLY CHAIR CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBTILING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE. CHANGING INSULATION. ADD INSULATION. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

- GENERAL DEMOLITION NOTES**
1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
 3. REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
 4. REMOVE ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
 5. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
 6. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
 7. COORDINATE WITH MEPPF REMOVALS WITH MEPPF DRAWINGS. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
 8. ITEMS NOT LABELED OR KEVED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
 9. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
 10. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.
 11. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.
 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.



SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
 AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING.

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

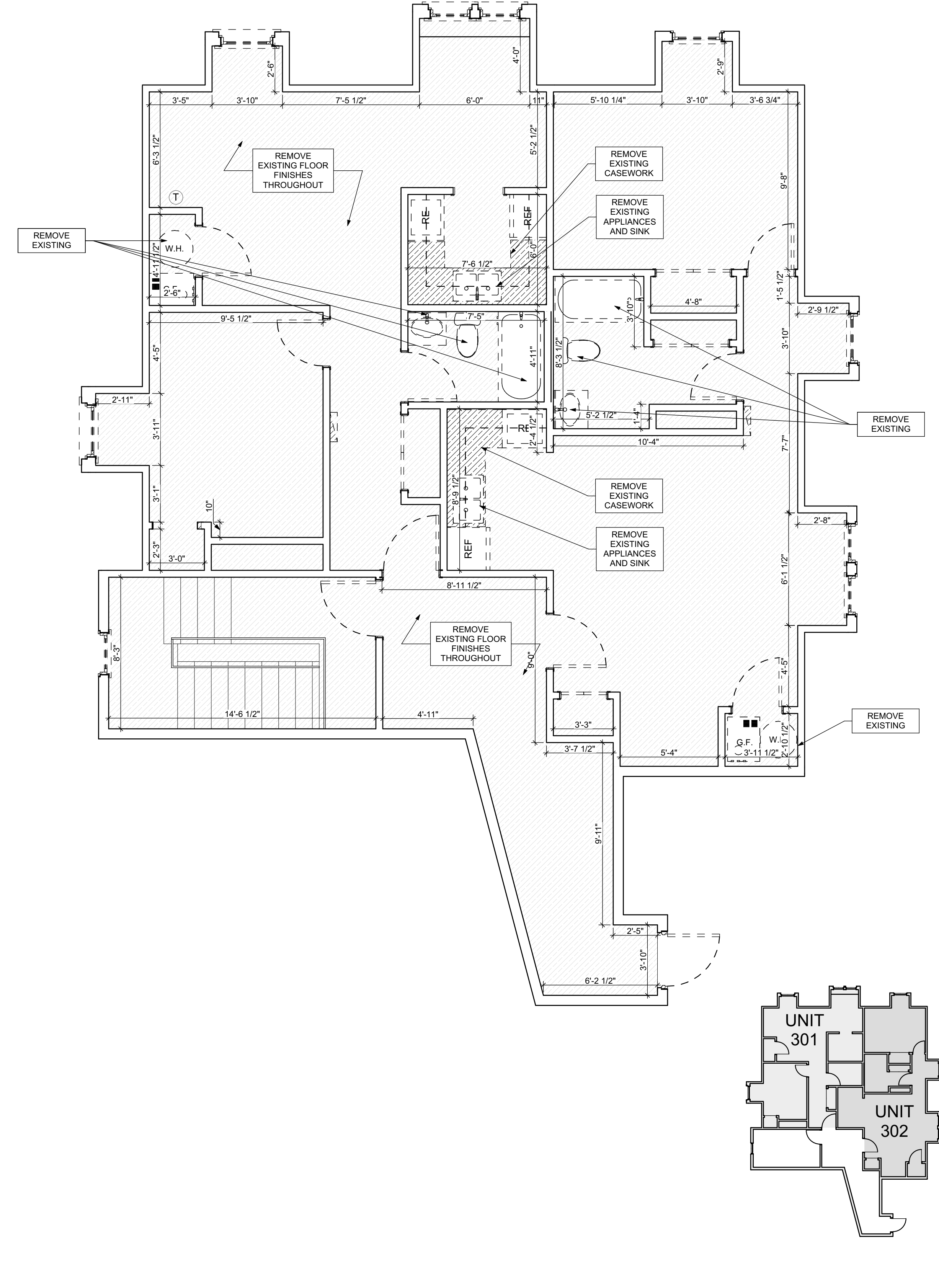
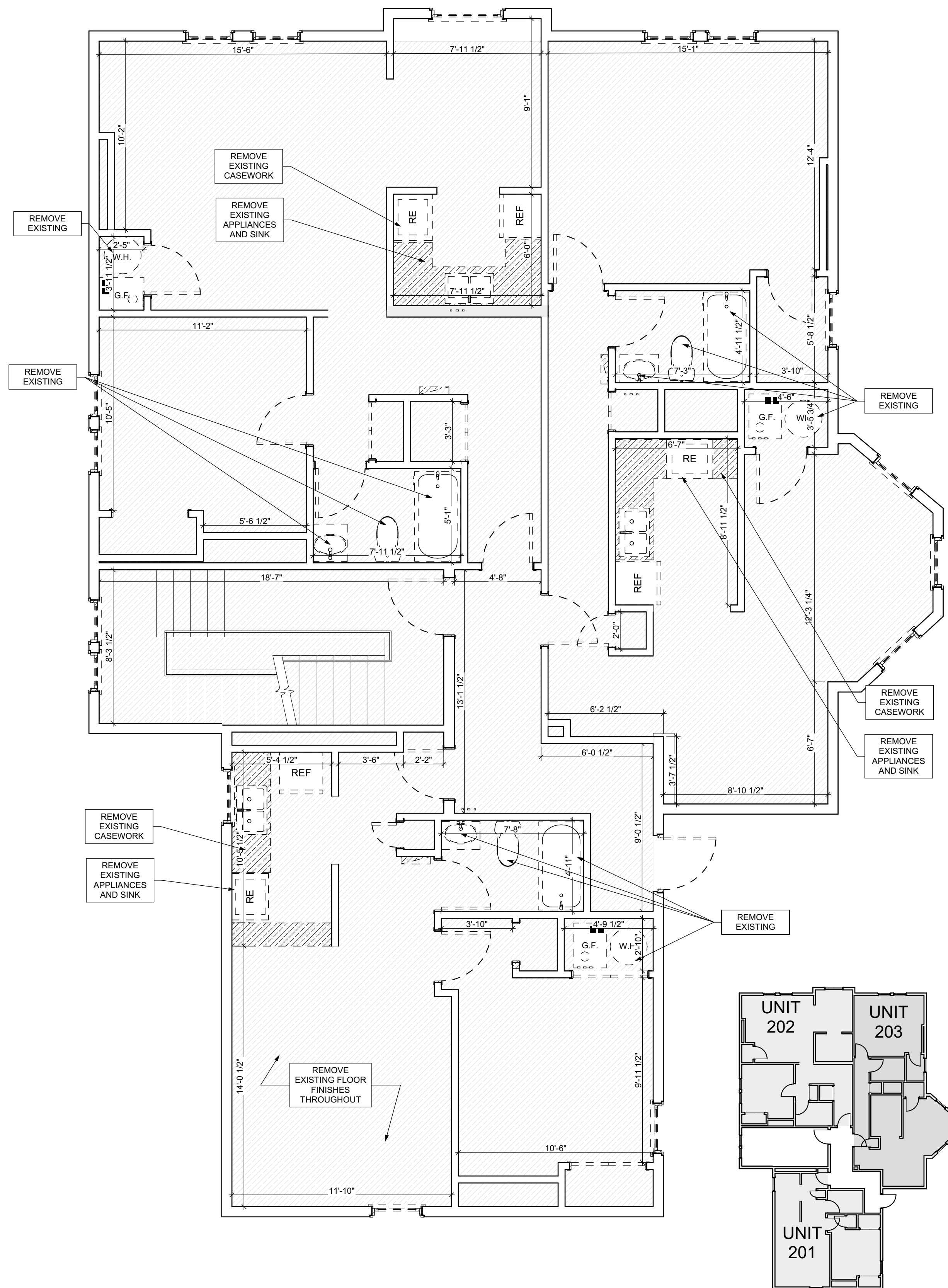
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1315 LIVERPOOL STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, BASEMENT KEY PLAN, FIRST FLOOR KEY PLAN, WALL SECTION, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	6	A5
of.	23	
Project #2006		



1 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

2 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL. IF THERE IS NO JUNCTION BOX, AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEVED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND

- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

SITE

- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SUBS. PROVIDE CONC. SUPPORT POSTS TO PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS OR STAIRS. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT EXISTING VEGETATION AND DEBRIS. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD. CHECK FOR MOISTURE. IF REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x FINISHED STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING W/BE FOR NEW STANDARD 2"x4" SPREAD FOOTING AND BRACE. CONNNECT OR FLATIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CHAFFER/BLOWER. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

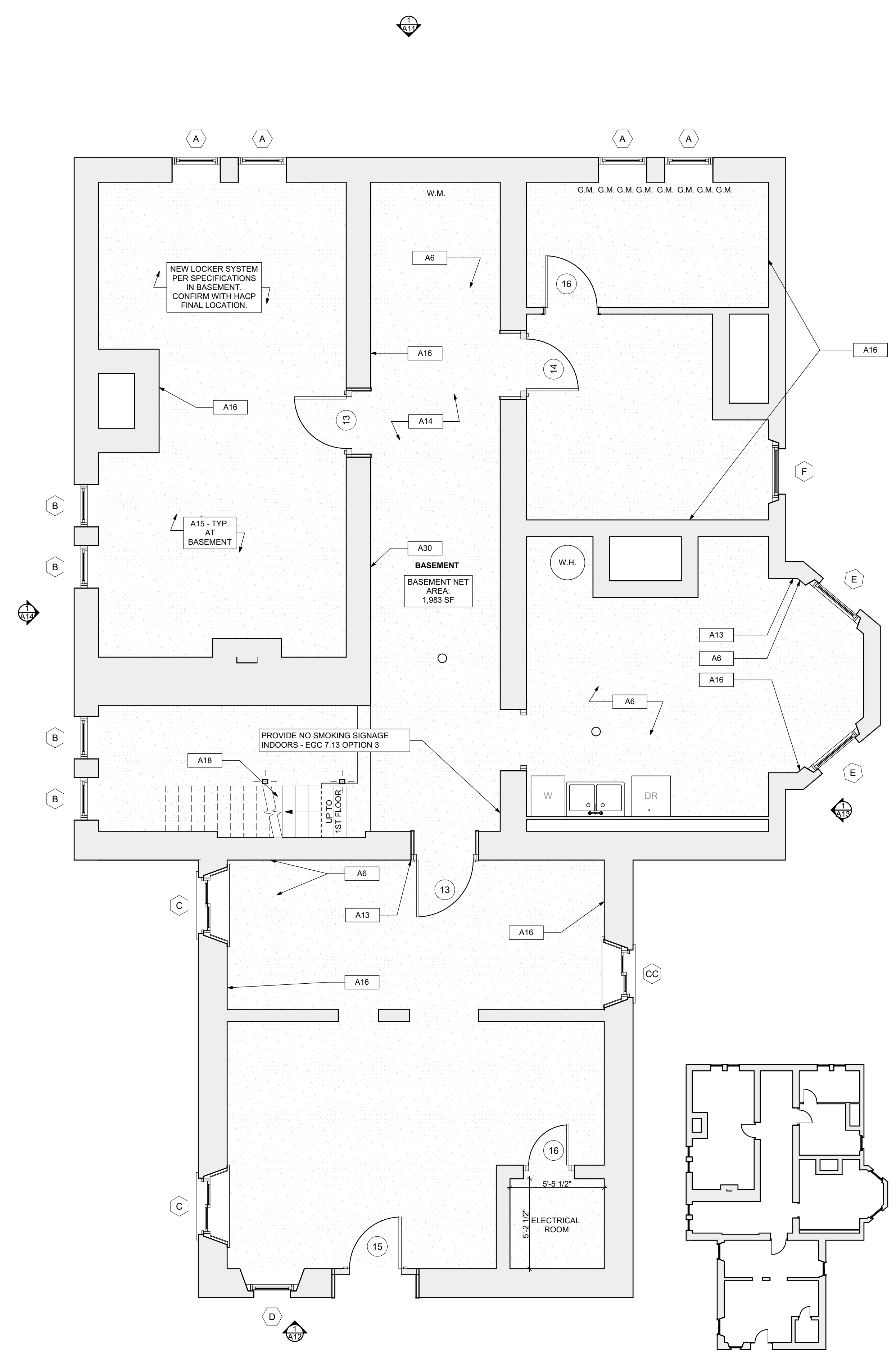
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**SECOND FLOOR / DEMO PLAN,
THIRD FLOOR / DEMO PLAN,
SMALL UNIT KEYNOTES, SECOND
FLOOR KEY PLAN, THIRD FLOOR
KEY PLAN, WALL SECTION,
GRAPHIC SCALES**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7 of 23	A6 Project #2006

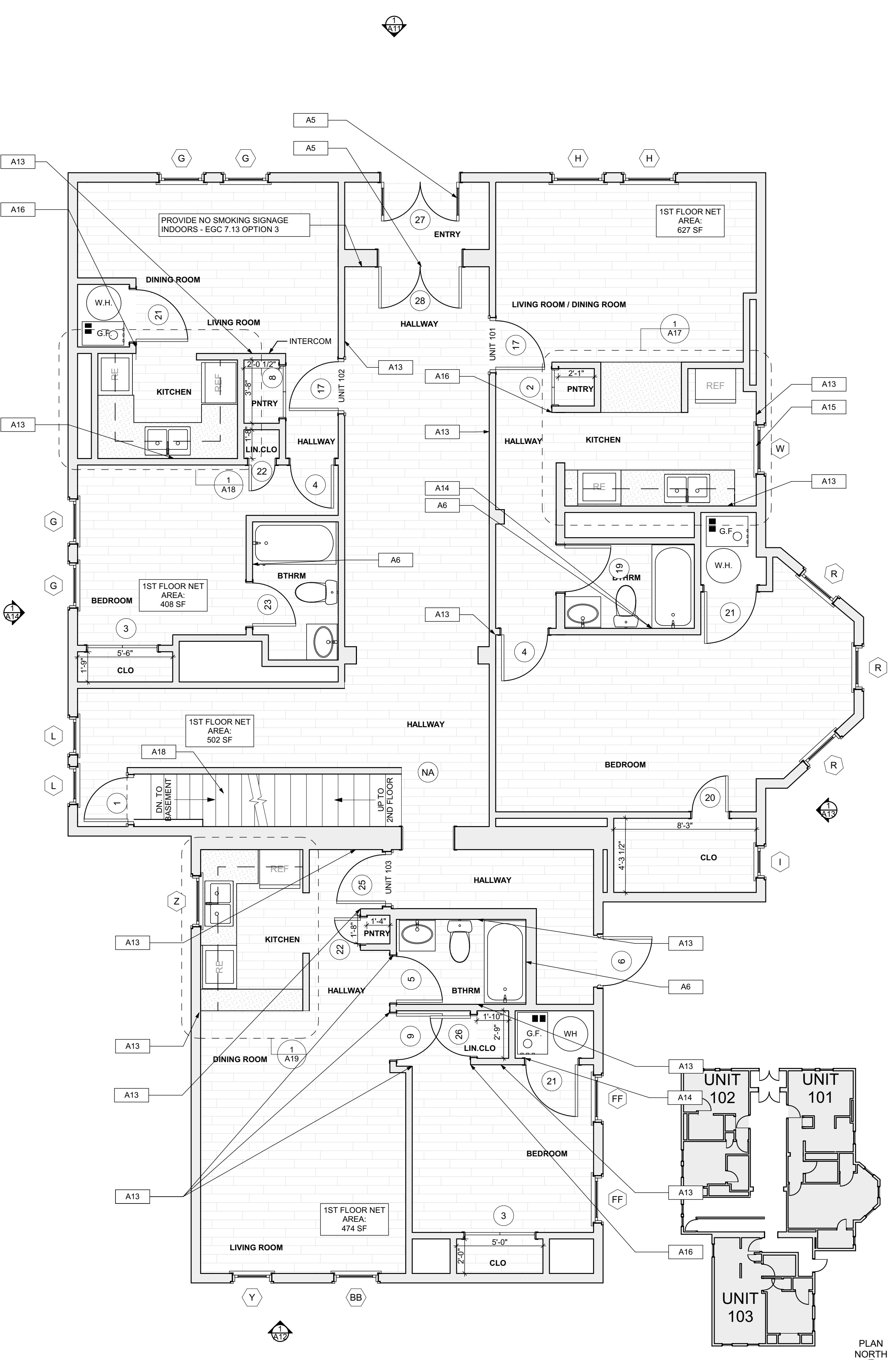


1 BASEMENT/FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

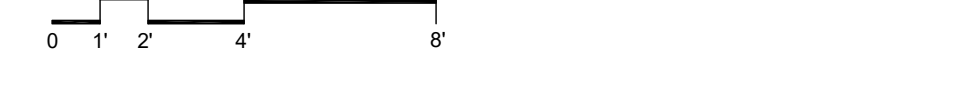


FLOOR PLAN LEGEND

	FRIDGE		WASHER		DOWN SPOUT
	RANGE		NEW DOOR AND DOOR NUMBER		ELECTRIC METER
	GAS FURNACE		WATER HEATER		HOSE BIBB
	UTILITY SINK		DRYER		



2 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. W/ CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S18 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% SLOPE. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% SLOPE. PROVIDE JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/ COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S22 POTENTIAL LEAKS VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. REFER TO SPECIFICATIONS FOR DETAILS.
 - S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR. PROPERLY LAP WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR. REMOVE SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH EXISTING.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED FLOORING OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. CHECK FOR MOISTURE. REPAIR AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR DATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PLYWOOD FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE. CONFIRM WITH HACP. ADD DELUMINER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

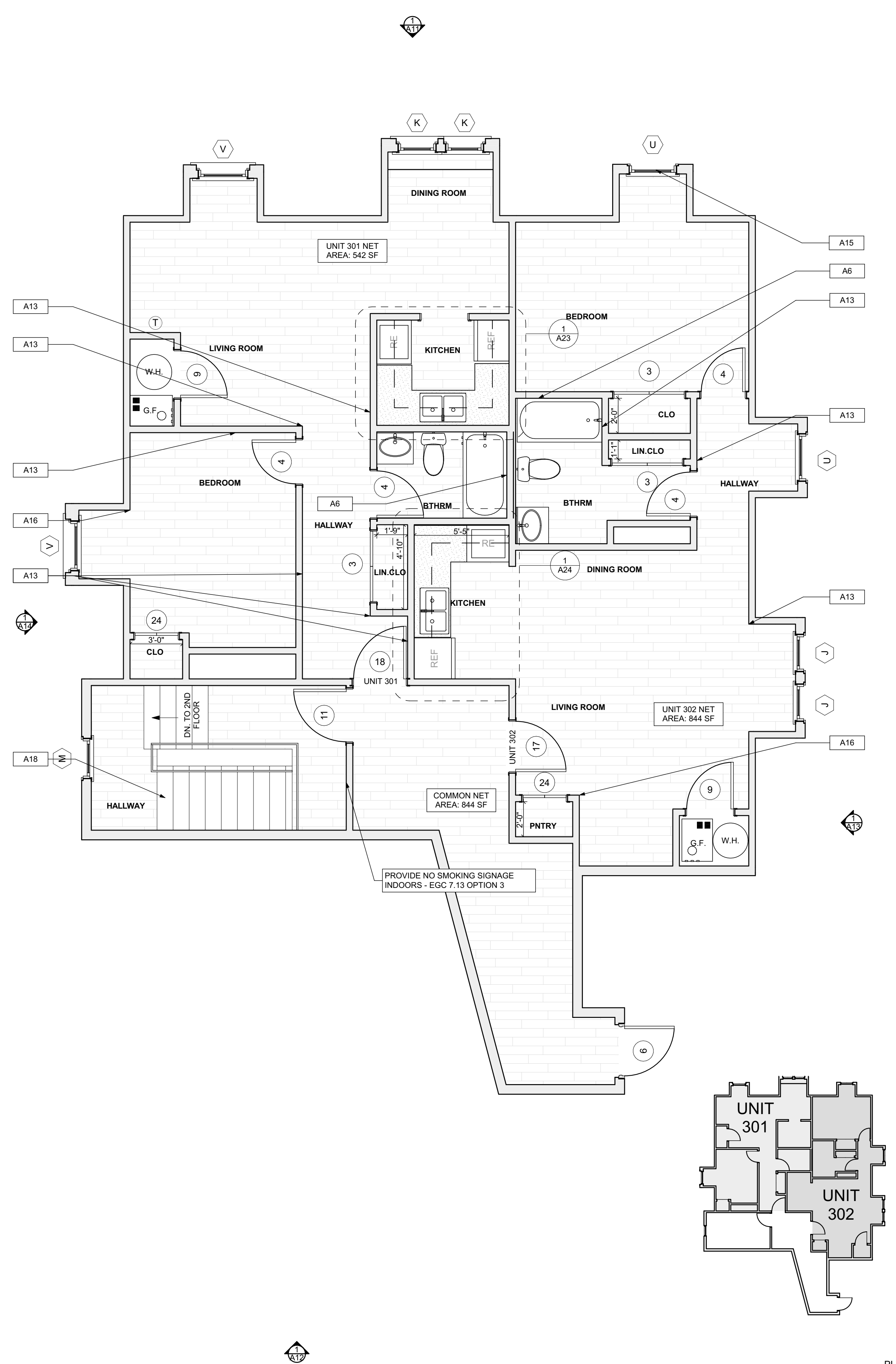
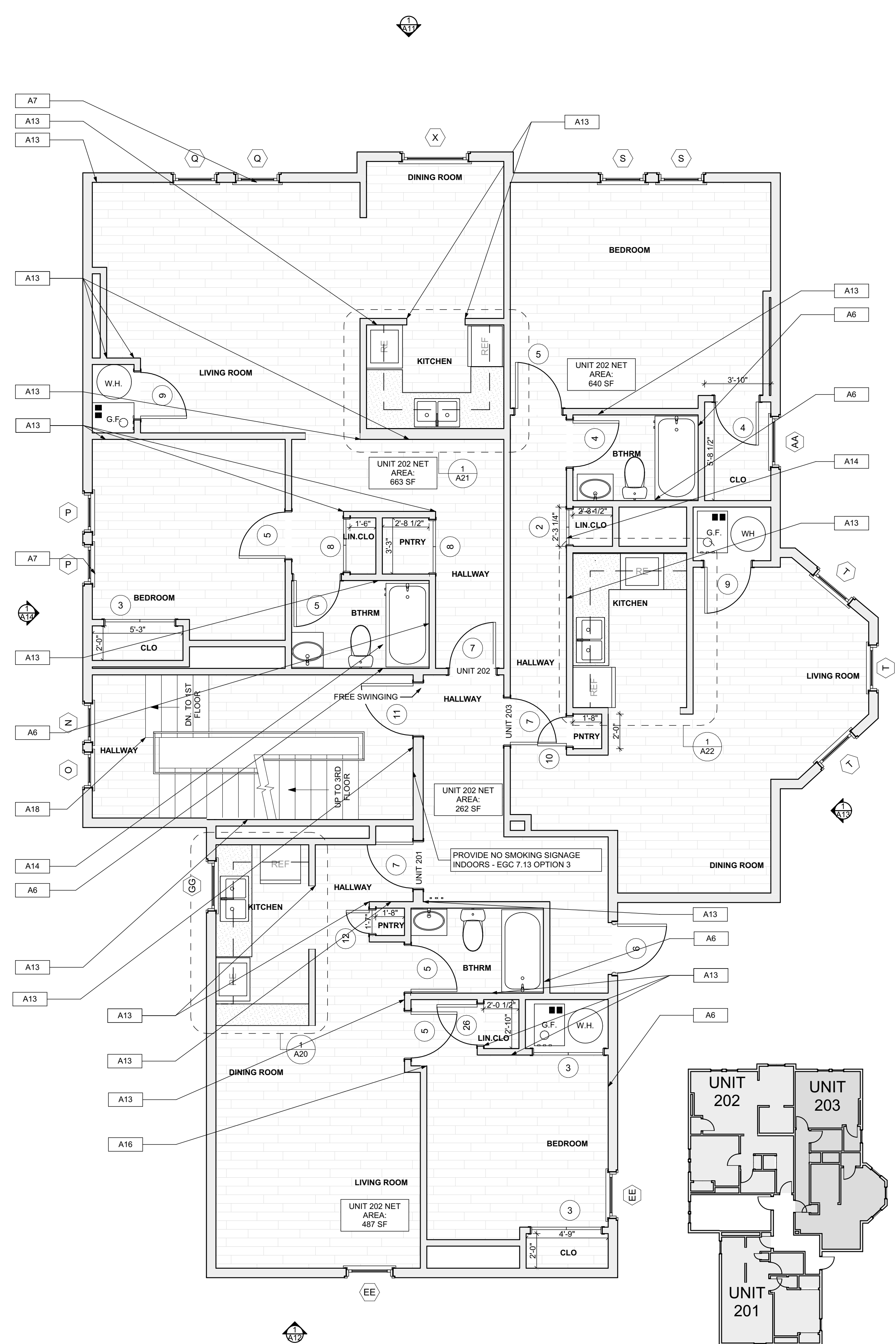
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1315 LIVERPOOL STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT/FINISH/MECH./PLUMB B. PLAN, FIRST FLOOR /FINISH/MECH./PLUMB. PLAN, BASEMENT KEY PLAN, FIRST FLOOR KEY PLAN, WALL SECTION, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	8	A7
of.	23	
		Project #2006



1 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

2 THIRD FLOOR /FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

	FRIDGE		WASHER		DOWN SPOUT
	RANGE		NEW DOOR AND DOOR NUMBER		ELECTRIC METER
	GAS FURNACE		H.B. HOSE BIBB		DRYER
	UTILITY SINK		W.H. WATER HEATER		

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. W/ CONCRETE IS PRESENT, MINIMUM 3" OVER 2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUTRIGGERS. BRUSH AND PAINT. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% SLOPE. PROVIDE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% SLOPE. PROVIDE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE. TIGHTEN AND REPAIR METERS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
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 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, REGRADE SERVICE DUCT TO PROVIDE CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
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 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REHANGING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
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 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELUMINER TO ALL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

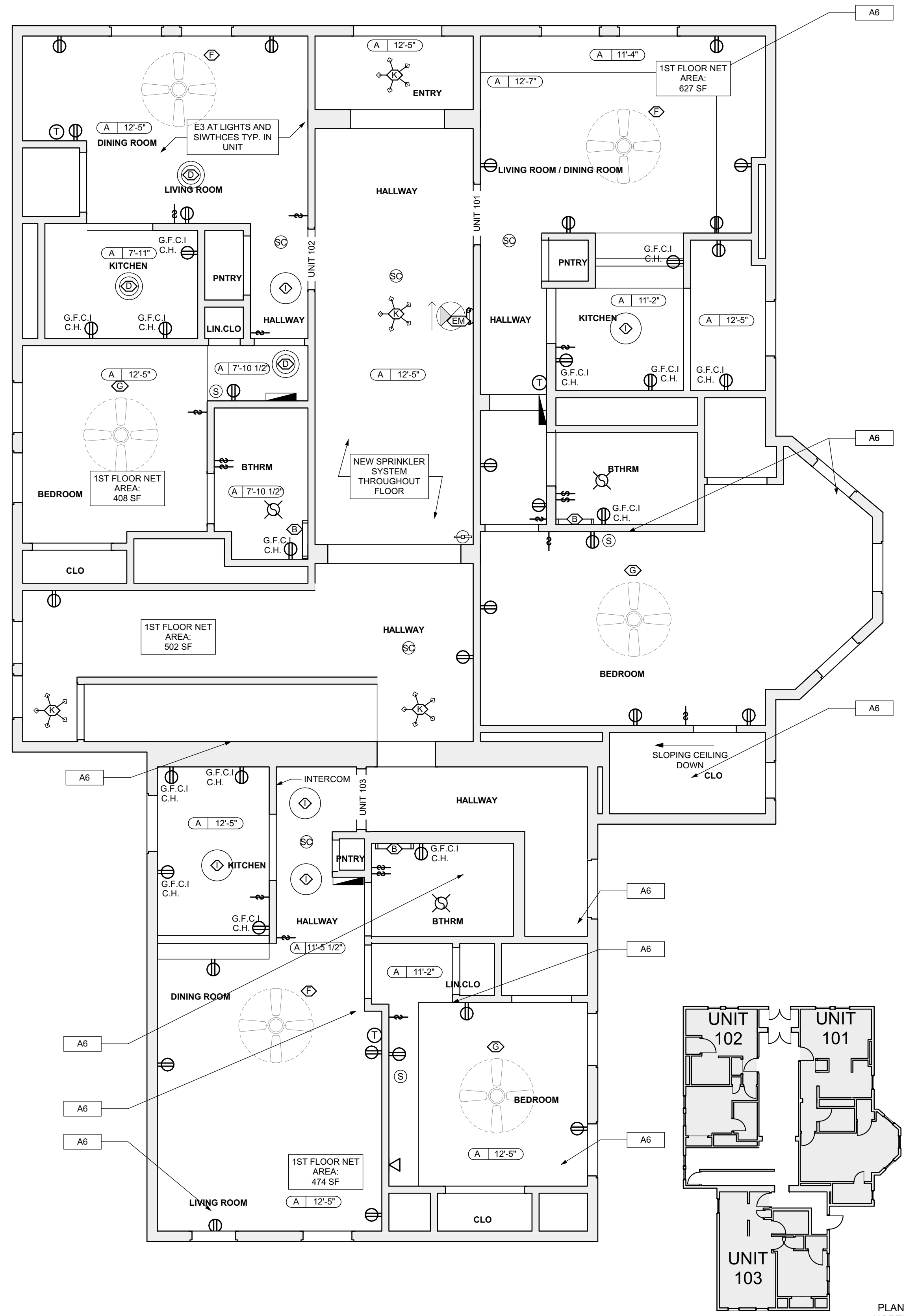
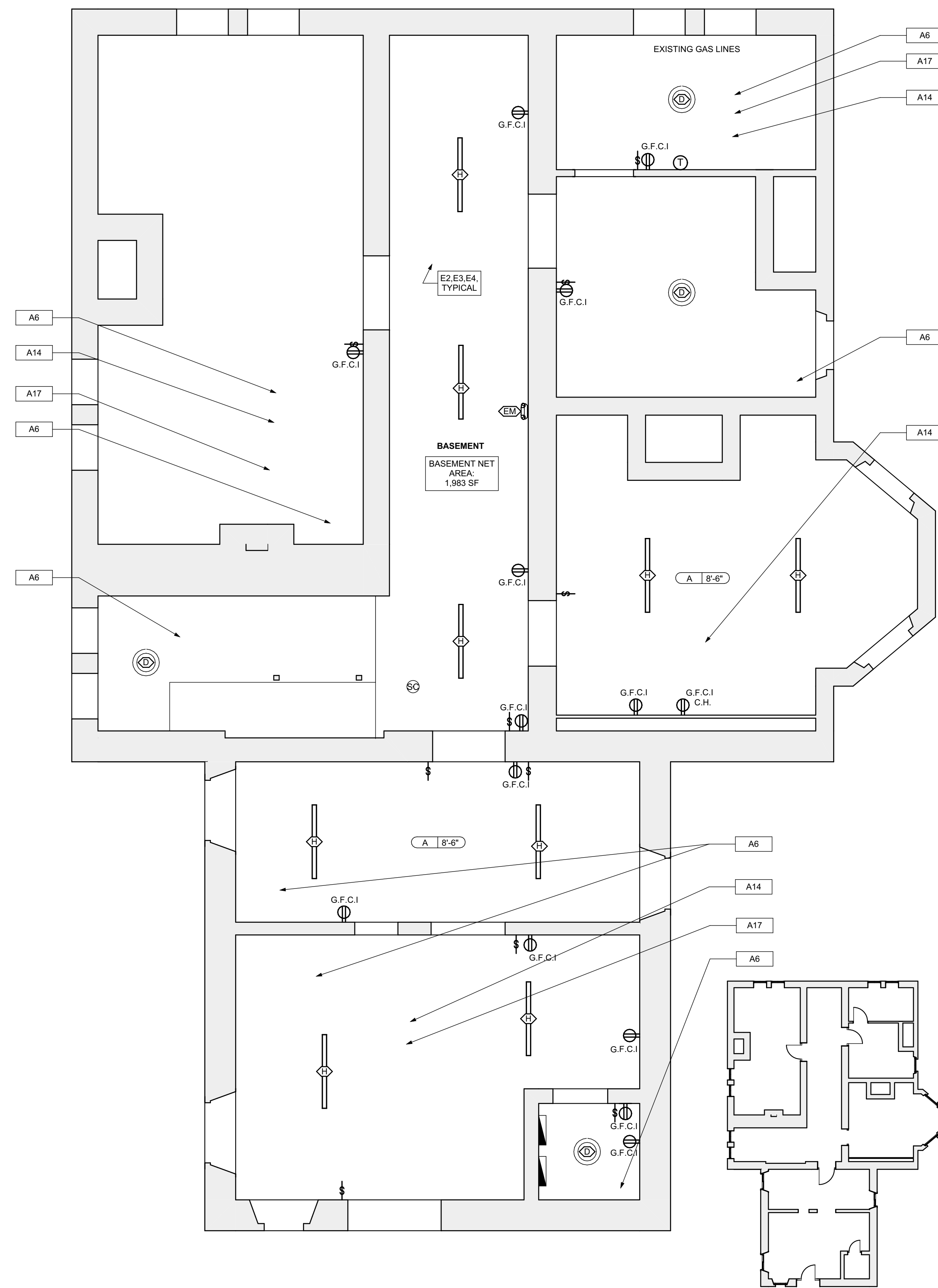
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1315 LIVERPOOL STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SECOND FLOOR /FINISH/MECH./PLUMB. PLAN, THIRD FLOOR /FINISH/MECH./PLUMB. PLAN, SECOND FLOOR KEY PLAN, THIRD FLOOR KEY PLAN, WALL SECTION, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	of. A8
	23	
		Project #2006



1 BASEMENT REFL. CLG./ POWER / DATA PLAN

SCALE: 1/4" = 1'-0"

2 FIRST FLOOR REFL. CLG./ POWER / DATA PLAN

SCALE: 1/4" = 1'-0"

RCP LEGEND - (See Specifications for basis of Design)

- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- ⊙ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ⊙ ELECTRICAL METER
- ⊙ THERMOSTAT
- ⊙ DATA/RECEPTICAL, 15" A.F.F. U.O.N.
- ⊙ ELECTRICAL RECEPTICAL, 15" A.F.F. U.O.N.
- ⊙ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- ⊙ GROUND FAULT CIRCUIT INTERRUPTER
- ⊙ GROUND FAULT CIRCUIT INTERRUPTER
- ⊙ LIGHT SWITCH
- ⊙ EXHAUST FAN
- ⊙ DOORBELL
- ⊙ GWB CEILING / CEILING HEIGHT
- ⊙ UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
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GENERAL NOTE:
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS, MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. W/ CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB BRICK SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-PAVED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W/ COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB. PROVIDE W/ COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
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- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
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- S29 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENT, CRACKS, ETC. REFER TO ARCHITECTURAL FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODS TO BE REPAIRED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOW. LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/LOOSE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOOR AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS. FURTHER LEVELING IS REQUIRED. DIRECTOR TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE. CHECK FOR CONDENSURE. CHECK FOR LEAKS. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repriming, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

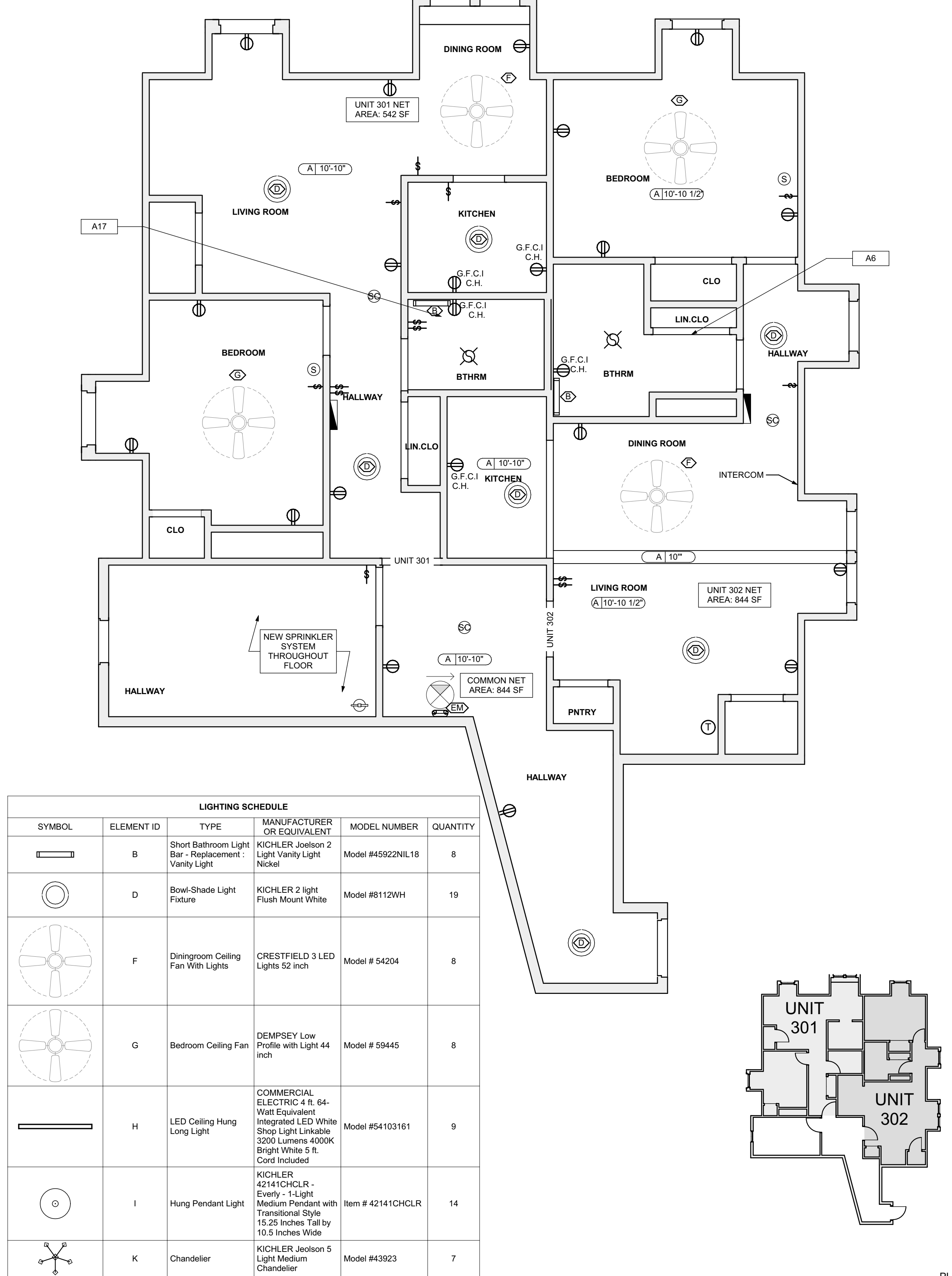
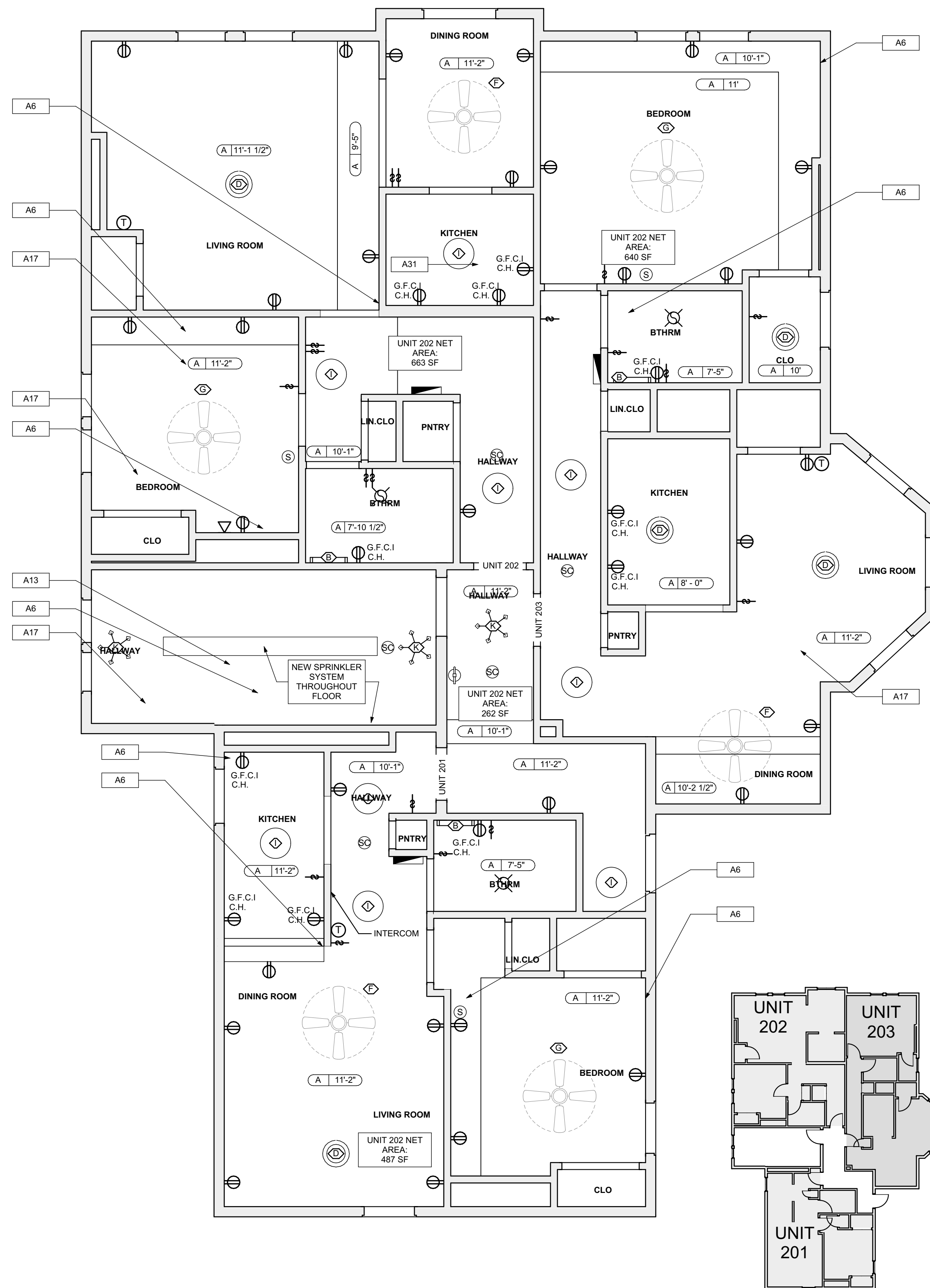
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT REFL. CLG./ POWER / DATA PLAN, FIRST FLOOR REFL. CLG./ POWER / DATA PLAN, SMALL UNIT KEYNOTES, WALL SECTION, BASEMENT KEY PLAN, FIRST FLOOR KEY PLAN, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	10	A9
of.	23	
		Project #2006



LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
[Symbol]	B	Short Bathroom Light Bar - Replacement	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922N118	8
[Symbol]	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112VH	19
[Symbol]	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	8
[Symbol]	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	8
[Symbol]	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 84-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	9
[Symbol]	I	Hung Pendant Light	KICHLER 42141CHCLR - Every - 1-Light Medium Pendant with Transitional Style 15.25 inches Tall by 10.5 inches Wide	Item # 42141CHCLR	14
[Symbol]	K	Chandelier	KICHLER Joelson 5 Light Medium Chandelier	Model #43923	7

1 SECOND FLOOR REFL. CLG./ POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

2 THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

- RCP LEGEND - (See Specifications for basis of Design)**
- ⊙ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
 - ⊙ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
 - ⊙ ELECTRICAL METER
 - ⊙ THERMOSTAT
 - ⊙ DATA/RECEPTICAL, 15" A.F.F. U.O.N.
 - ⊙ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
 - ⊙ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
 - ⊙ GFI GROUND FAULT CIRCUIT INTERRUPTER
 - ⊙ GFI GROUND FAULT CIRCUIT INTERRUPTER
 - ⊙ LIGHT SWITCH
 - ⊙ EXHAUST FAN
 - ⊙ DOORBELL
 - ⊙ GWB CEILING / CEILING HEIGHT
 - ⊙ UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
 ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS; MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICINGS FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

- SITE**
- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S19 TEMPORARILY EXISTING PORCH AND REMOVE OUT OF FOUNDATION PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S20 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S22 POTENTIAL GAS VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. PER SPECIFICATIONS FOR DETAILS.
 - S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS FOR DETAILS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF FLOOR FINISHES. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. REPAIR AND FINISH AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL TILE WALLS. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/CHIP EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL, OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18
- PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY.
 - P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
 - M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE. CHECK FOR CONDENSATE. CHECK FOR LEAKS. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1315 LIVERPOOL STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SECOND FLOOR REFL. CLG./ POWER / DATA PLAN, THIRD FLOOR REFL. CLG./ POWER / DATA PLAN, SMALL UNIT KEYNOTES, WALL SECTION, SECOND FLOOR KEY PLAN, THIRD FLOOR KEY PLAN, GRAPHIC SCALES

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date	May 6, 2022	
no.	11	A10
of.	23	
		Project #2006

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ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

NORTH ELEVATION, HISTORIC KEYNOTES, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale
As Noted

date
May 6, 2022

no. of

12 23

Sheet No.

A11

Project #2006

HISTORIC

- H1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAIRING, IF REQUIRED, FOLLOW LOCAL NPS NATIONAL PARK SERVICE PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- H2 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAIR REILING OR BUSTLED PAINT PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD. RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, USE MAY USE SYNTHETIC PAINTABLE TRIM PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H3 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT. FIX DISPLACED UNITS IN PLACE BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H4 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, CAREFULLY NOTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAIRING AND CALKUL TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H5 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW UNITS. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE UNITS WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES PER NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H6 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAR MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H7 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)

- H8 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING CORNERS, CHIMNEYS AND OTHER ELEMENTS.
- H9-TYP-X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND HANG ARRANGEMENT. NOTE: WINDOW OPENING WILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND UNITS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- H10-TYP-X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
- H11 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE-PAINT PEELING OR BUSTLED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARD PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT CORNER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H12 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS) IF EXISTING PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS.
- H13 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H14 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H15 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP. SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. ASUE TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING TO MEET 2% SLOPE. POUR CONCRETE TO MEET 2% SLOPE REQUIREMENTS. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE WAY SUPPORT POST. PROVIDE NEW PRESURE TREATED POST WITH NEW JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WIRE COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MATCH WITH EXISTING JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WIRE COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. REPAIR OR TAMP. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MATCH WITH EXISTING JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WIRE COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POLAR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING EXT. CONC. REPAIR AND POINT MASONRY PER DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND WEATHER LABELED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, GUTTERS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

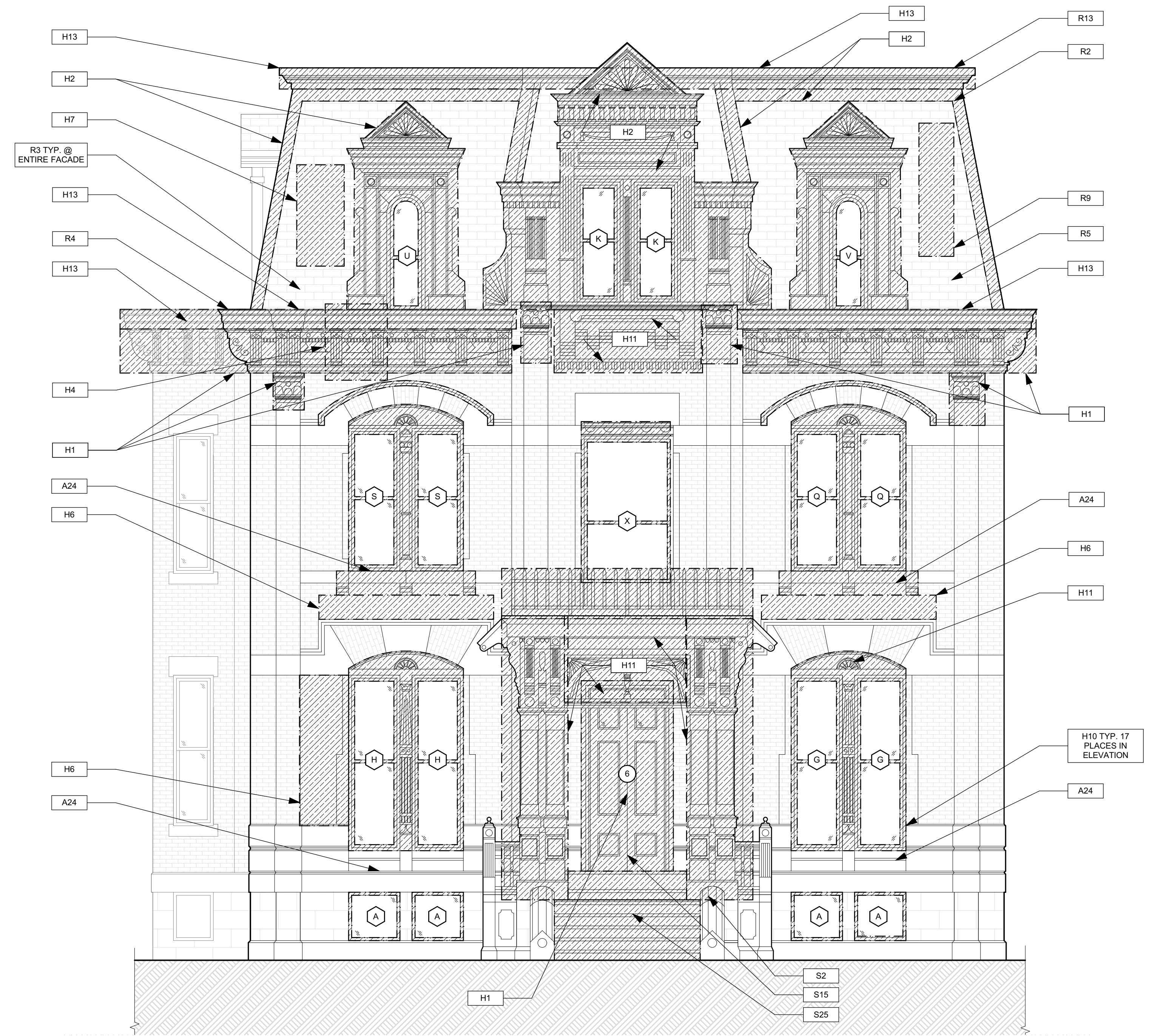
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. REMOVE DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH EXISTING PER DETAILS.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CORNER PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM COVERAGE OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. PATCH AND FINISH AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE AND REPAIR. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2X4X1 SPREAD FOOTING AND BRACE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

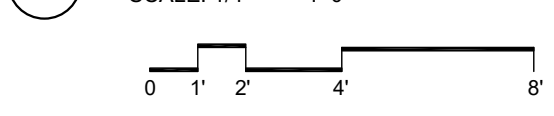
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITOR TO EXISTING FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALK-THROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

SOUTH ELEVATION, HISTORIC KEYNOTES, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted
date	May 6, 2022
no.	of.
13	23

SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING TO MEET SLOPE REQUIREMENTS. TOPPING TO MEET SLOPE REQUIREMENTS. CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE BAYKING POST. PROVIDE NEW PRESURE TREATED POST WITH NEW JOINT AND CAULK BELOW NEW SLAB. SELECT TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RECONSTRUCTED WITH CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MINIMUM 1% SLOPE. JOINT AND CAULK BELOW NEW SLAB. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MINIMUM 1% SLOPE. JOINT AND CAULK BELOW NEW SLAB. PROVIDE W/VE COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POLAR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. SEE SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. REMOVE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE. RELOCATE SERVICE DROP TO PROVIDE CLEAR HEIGHT OF 12'-0" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNSTRUCTURED FLOORING. REPAIR OR REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. BRACE AND SHORE TO REPAIR AS NECESSARY. FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
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- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING W/VE FOR NEW STANDARD 2"X4" SPREAD FOOTING AND BRACE. CHECK FOR PLASTER. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNLEVEL AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

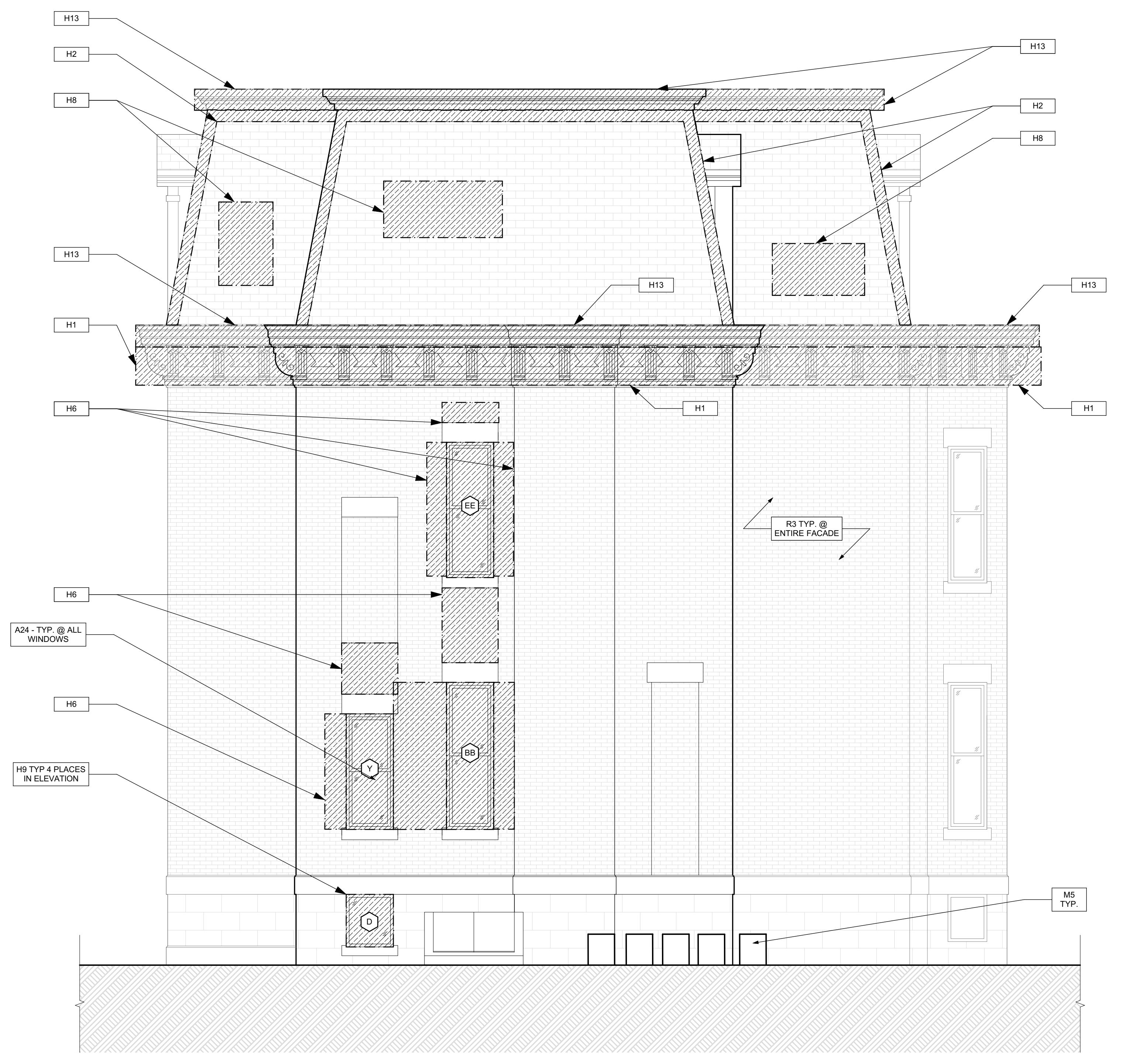
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTRIBUTING TO MOLD. ADD DELUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

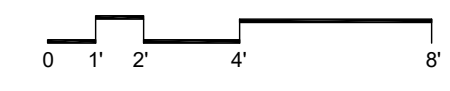
HISTORIC

- H1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAIRING, IF REQUIRED TO FOLLOW NPS NATIONAL PARK SERVICE PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- H2 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAIR TRIMMING OR BUSTLED TRIM PER NPS PRESERVATION BRIEF TO (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD. RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, USE MAY USE SYNTHETIC PAINTABLE TRIM. PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H3 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT. FIX DISPLACED UNITS IN PLACE BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H4 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY NOTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAIRING AND CAULK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H5 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW UNITS. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE UNITS WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H6 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAR MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS).
- H7 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS).

- H8 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING CORNERS, CHIMNEYS AND OTHER ELEMENTS.
- H9-TYP-X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND HANG ARRANGEMENT. NOTE: WINDOW OPENING WILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND UNITS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS).
- H10-TYP-X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
- H11 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE-PAINT FUELING OR BUSTLED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARD PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT CORNER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H12 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS).
- H13 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS).
- H14 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIALS OR FEATURE INDICATED ABOVE.
- H15 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP. SLOPED TO DRAIN. (SEE SPECIFICATIONS).

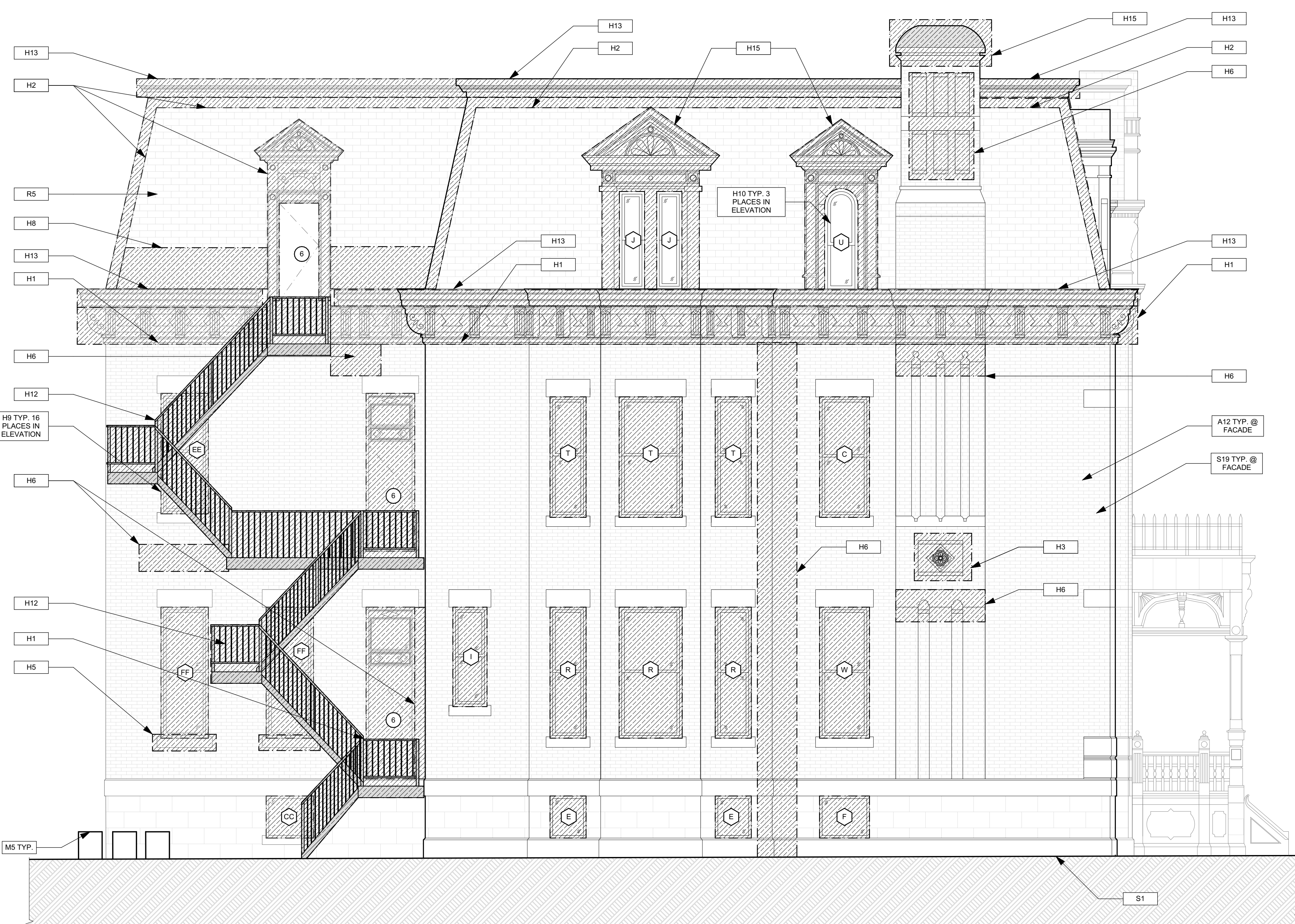


1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 4 8

SCOPE REDUCTION:
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GENERAL NOTE:
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HISTORIC

- H11 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OR WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS NATIONAL PARK SERVICE PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- H12 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10. SEE SPECIFICATIONS 10. FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H13 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF BRIMMAGE, CUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H14 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPOINTING AND CAULK TO CONFORM TO NPS. PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H15 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H16 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TESTS ARE REQUIRED TO ASSURE COLOR MATCH AND TYPING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H17 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- H18 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H19-TYP-X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND PANEL ARRANGEMENT. NOTE: WINDOW OPENING INFLU TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- H10-TYP-X IN THESE LOCATIONS PRESERVE EXISTING WINDOW WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS)
- H11 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H12 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAIR METAL FEATURES PER PAINT SPECIFICATIONS.
- H13 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H14 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H15 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S1 AT LOCATION SHOWN, REMOVE ±" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR TO MEET ±" SLOPE. POUR CONCRETE TOPPING TO MEET ±" SLOPE REQUIREMENTS. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE RISE/POST. PROVIDE NEW PRESURE TREATED POST WITH NEW 2"X4" TIE TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND TO BE REPLACED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. BRUSH WITH EXPANDED JOINT AND CAULK BELOW NEW SLAB SECTION TO PROVIDE WEATHER RESISTIVE BARRIER. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BRICKS OR STAIR PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. BRUSH WITH EXPANDED JOINT AND CAULK BELOW NEW SLAB SECTION TO PROVIDE WEATHER RESISTIVE BARRIER. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL GASES VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH OR FLOOR OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH EXISTING AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. SEE SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WOODEN WALL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REPAIR ANY CRACKS AS NECESSARY.
- S14 REPAIR DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR. PROVIDE WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRICK AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO BE REPAIRED OR REPLACED AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDERSTAIR STORAGE OF DOOR. REPAIR DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD TRIM OR HEADERS AS NECESSARY AT WINDOWS. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING W/ FOR NEW STANDARD 2"X4" SPREAD FOOTING AND ANCHOR BOLTS. CONSULT ARCHITECT FOR DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTION TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR AIR IN SPACE TO MITIGATE MOISTURE CONDENSATION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

EAST ELEVATION, HISTORIC KEYNOTES, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	14	A13
of.	23	
		Project #2006

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15233

WEST ELEVATION, HISTORIC
KEYNOTES, SMALL UNIT
KEYNOTES, GRAPHIC SCALES

HISTORIC

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H15 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
H16 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING REQUIRED. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
H17 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
H18 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
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H20-TYP-X IN THESE LOCATIONS PRESERVE EXISTING WINDOW WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
H21 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE-PAINTE PEELING OR BUBBLING WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
H22 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAIR METAL FEATURES PER PAINT SPECIFICATIONS.
H23 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
H24 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
H25 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REG. GRA. TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TYPING TO MEET SLOPE REQUIREMENTS. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE WORKPOST. PROVIDE NEW PRESURE TREATED POST WITH NEW 2" X 4" TIC. TYP. CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
S4 EXISTING PARKING PAD TO BE DEMOLISHED AND TOUPOUR PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE IS TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE IS TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/VE. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE TO TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR. SEE SPECIFICATIONS FOR DETAILS.
S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WOODEN LID AND COVER PER SPECIFICATIONS.
S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. REPAIR ANY CRACKS AS NECESSARY.
S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VINYL, CONCRETE, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR. REMOVE AND SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH EXISTING PER SPECIFICATIONS.
A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CAUL WALL. PREP AND PAINT PER SPECIFICATIONS.
A3 BOWING EXTERIOR WALL OR RETAINING WALL. REPAIR AND TIEBACK AS NECESSARY TO PLUMB WALL.
A4 RUSTED STRUCTURAL BEAM COLUMN, OR CORNER OR PLATE. REMOVE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM LAYOUT OF DOOR. REPAIR AND REFINISH DOOR OR DOOR THRESHOLD AS NECESSARY.
A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED MATERIALS. REPAIR AND FINISH AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS.
A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING AS PER NEW STANDARD 2XX4" SPREAD FOOTING AND BRACE. CHECK FOR WATER DAMAGE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT DRYWALL PATCH AND WATER RESISTANT DRYWALL PATCH TO PREVENT FURTHER EFFLORESCENCE.
A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION IS TO BE PROVIDED BY ARCHITECT.
A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.
A18

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY.
P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

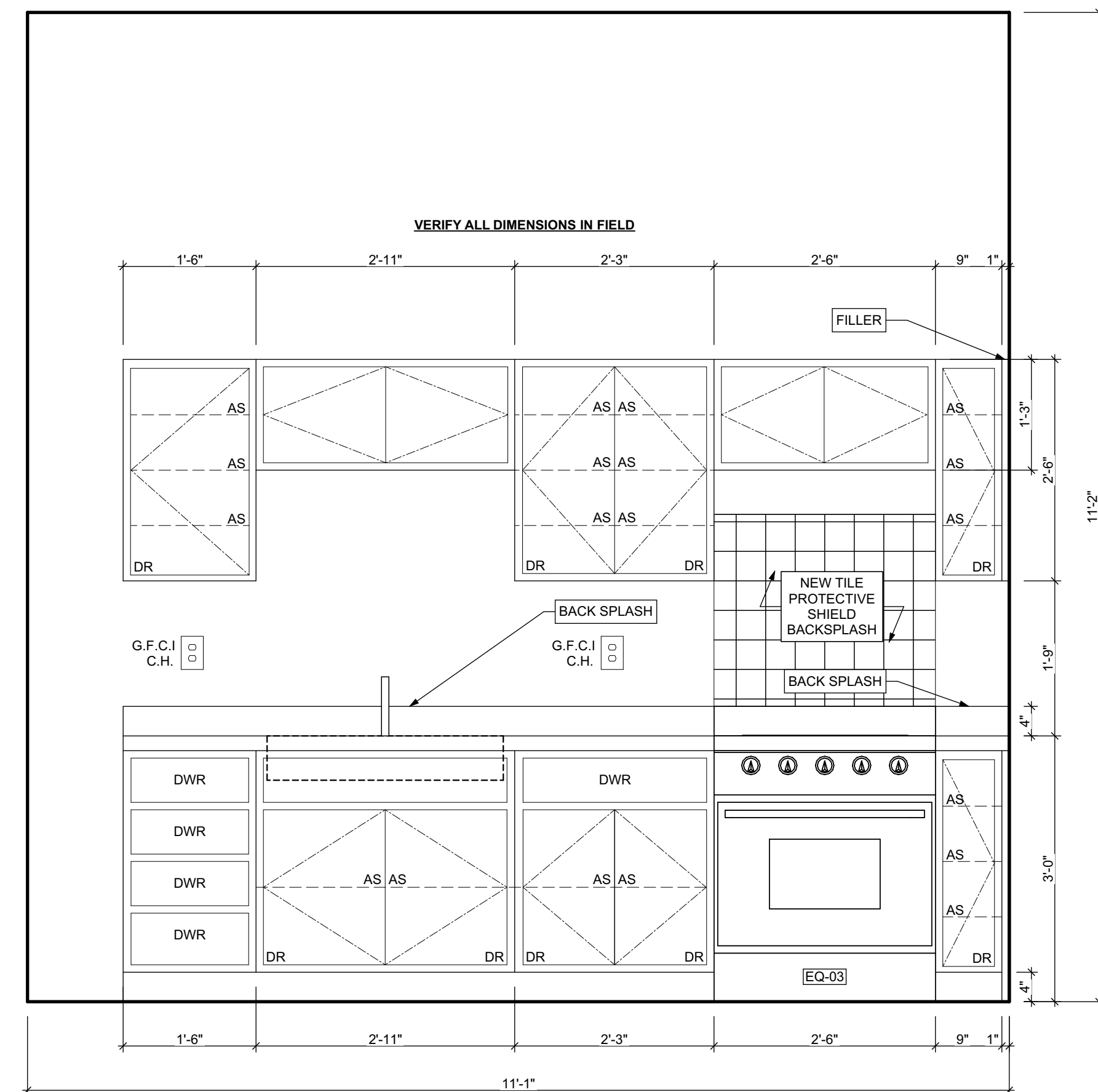
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITOR. CHECK FOR MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



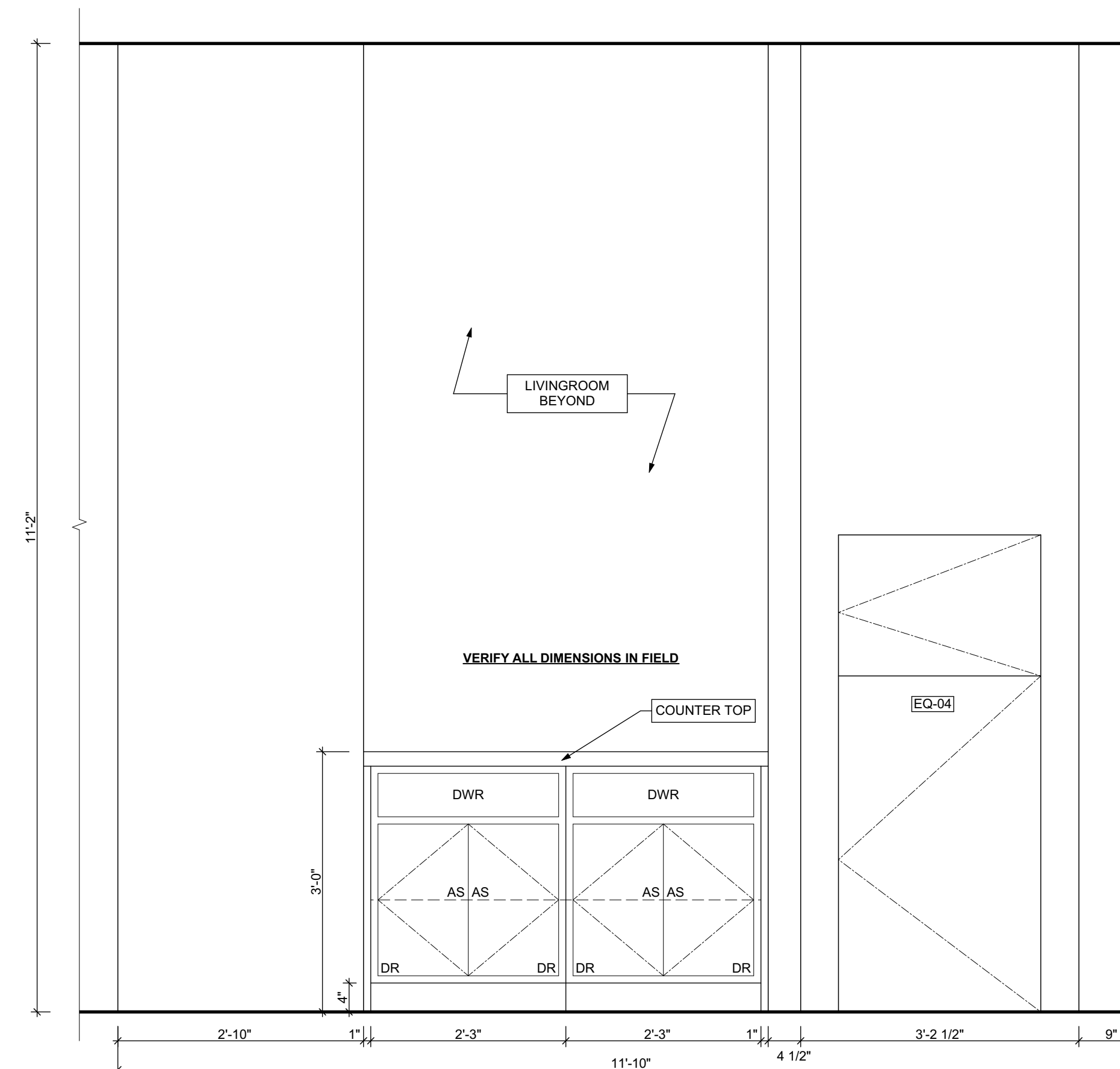
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 4 8'

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

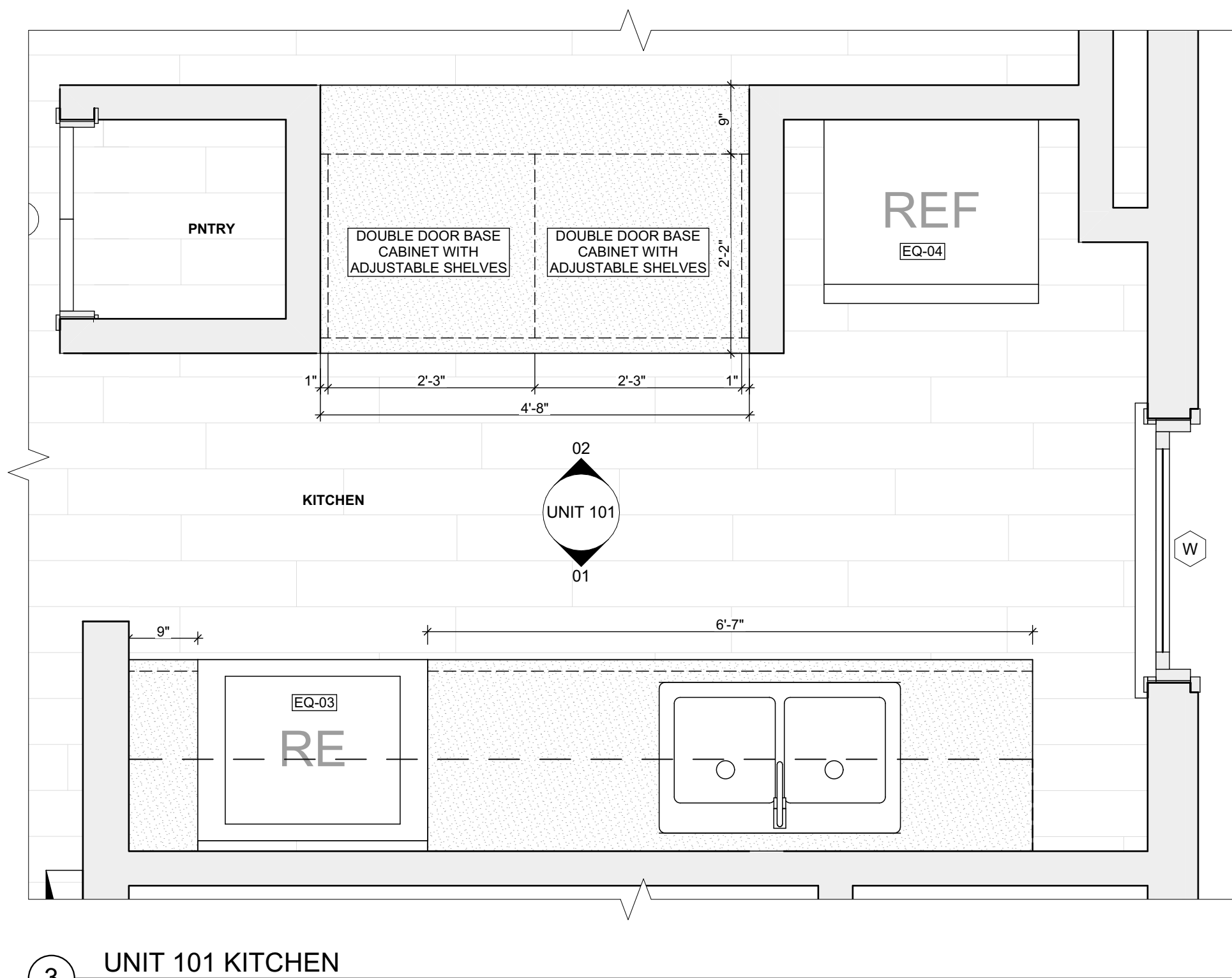
GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 UNIT 101 KITCHEN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	MODEL	DIMENSIONING NOTES
MIRROR	0	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent		Remove existing and place new mirror in same location
MEDICINE CABINET	8	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicine cabinet in same location
TOWEL BAR	8	MOEN Contemporary 24 in. Towel Bar in Chrome		Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	8	MOEN Contemporary Toilet Paper Holder in Chrome		Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	8	MOEN Contemporary Towel Ring in Chrome		Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	8	MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	8	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	8	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register
WATER HEATER	WH	9	A.O. SMITH	PROLINE® XE	VOLTEX HYBRID Electric heat pump. Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
WASHER	W	1	WHIRLPOOL	WDF330PAHB	24in black front contro built 0in tall tub dishwasher with 1 hr wash cycle, 55 dBA
DRYER	DR	1	WHIRLPOOL	WGD4950HW	7.0 cu. ft. 240-Volt White Electric Vented Dryer with AUTODRY Drying System
STOVE	RE/EQ-03	8	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	8	WHIRLPOOL	WRT1E8F2B00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	8	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	8	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	8	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	8	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	8	KOHLER	K-31621-0	Cinnaron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	8	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	8	MOEN	T269E3P / T6342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GLY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2", 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forse Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forse Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

seal

general notes

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 01, UNIT 101
KITCHEN ELEVATION 02, UNIT 101
KITCHEN

scale
As Noted

date
May 6, 2022

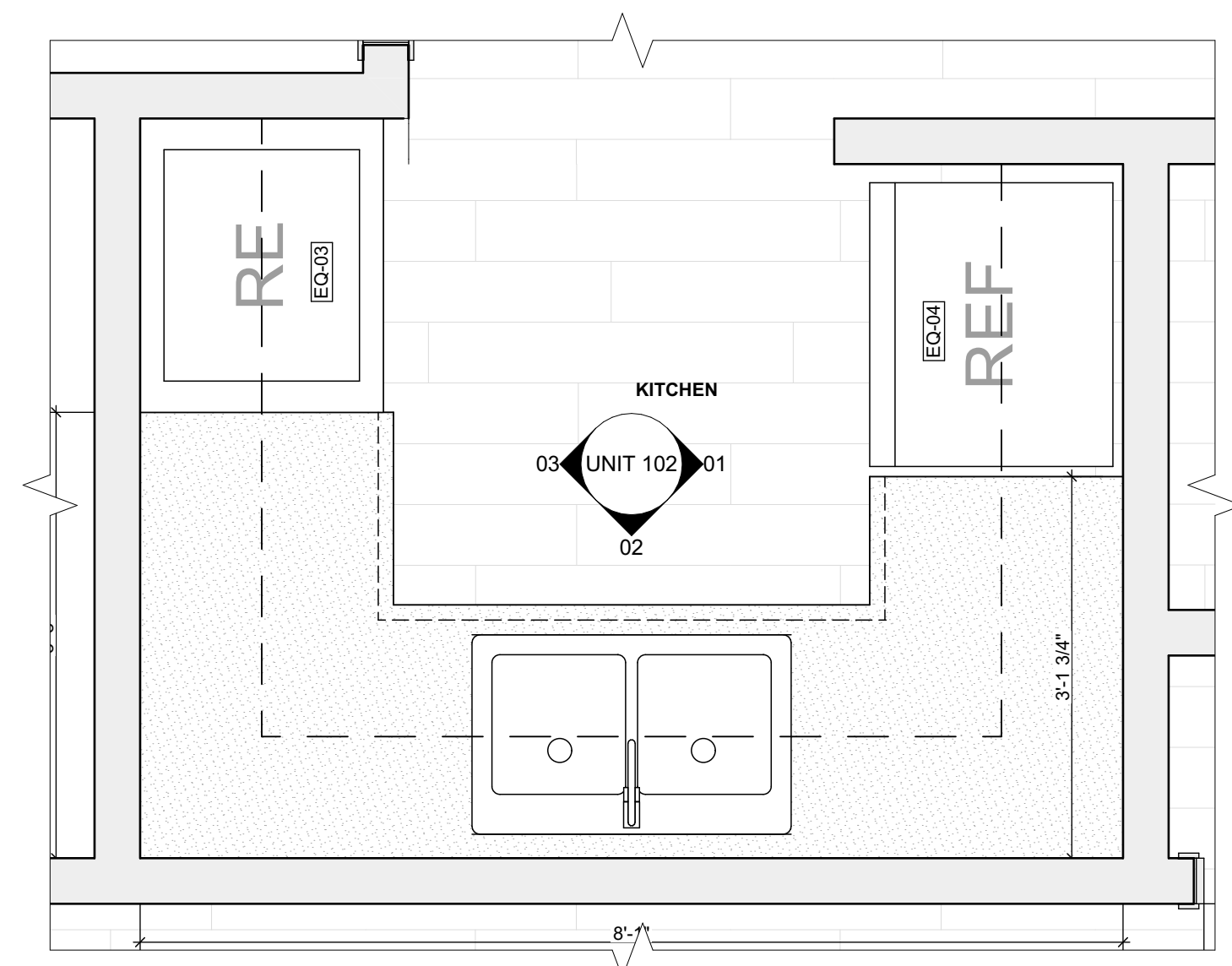
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16

of.
23

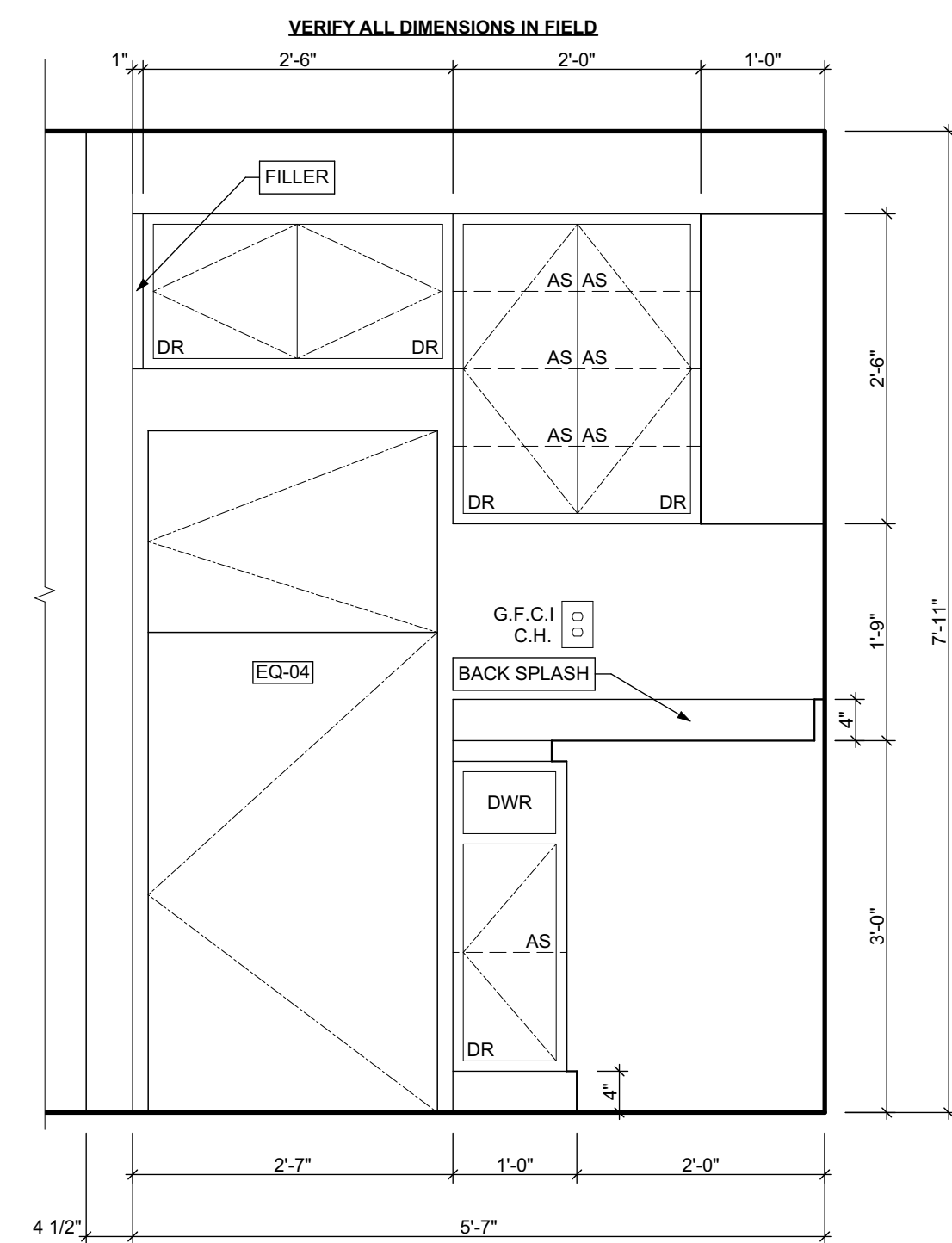
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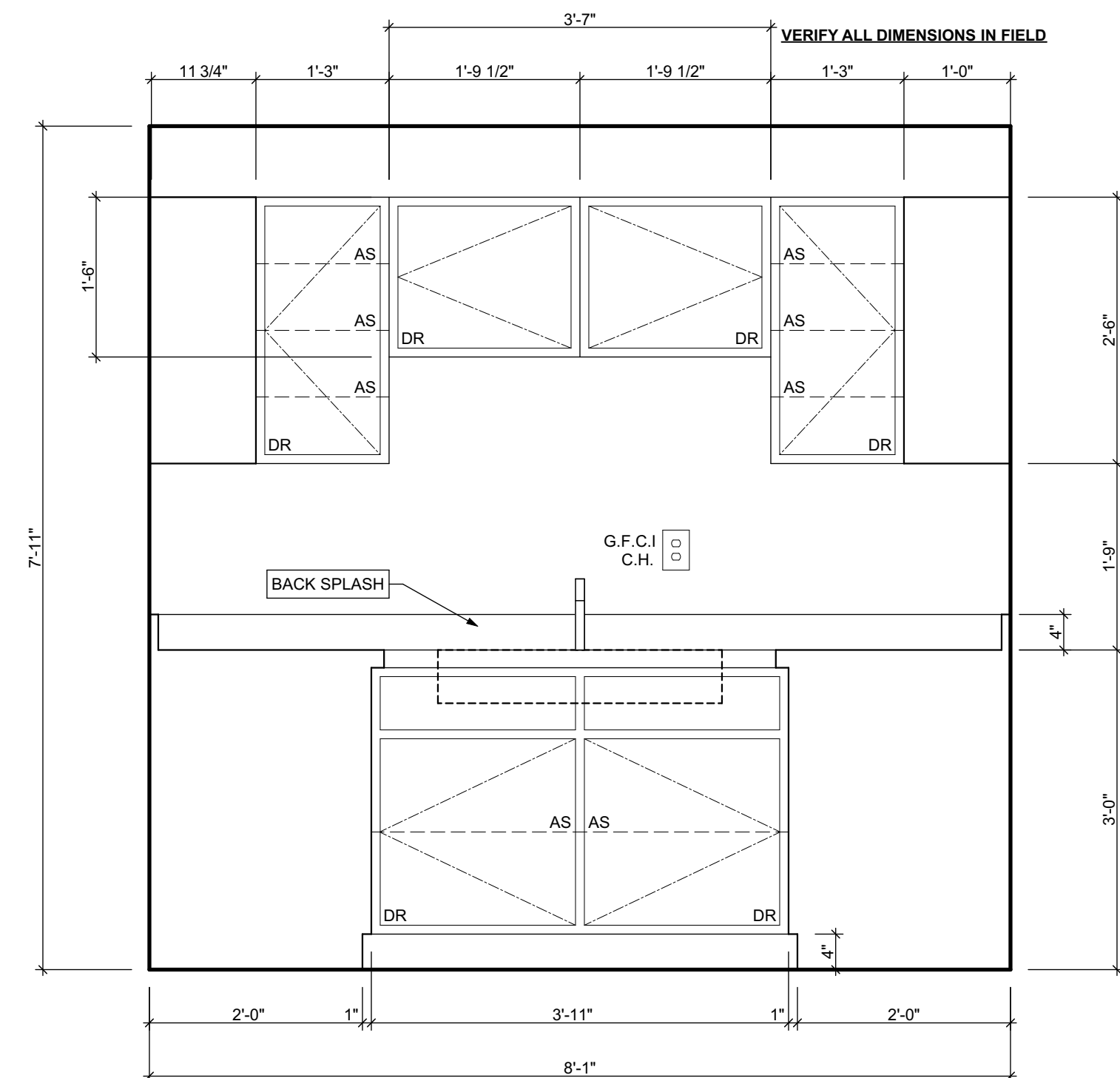
Project #2006



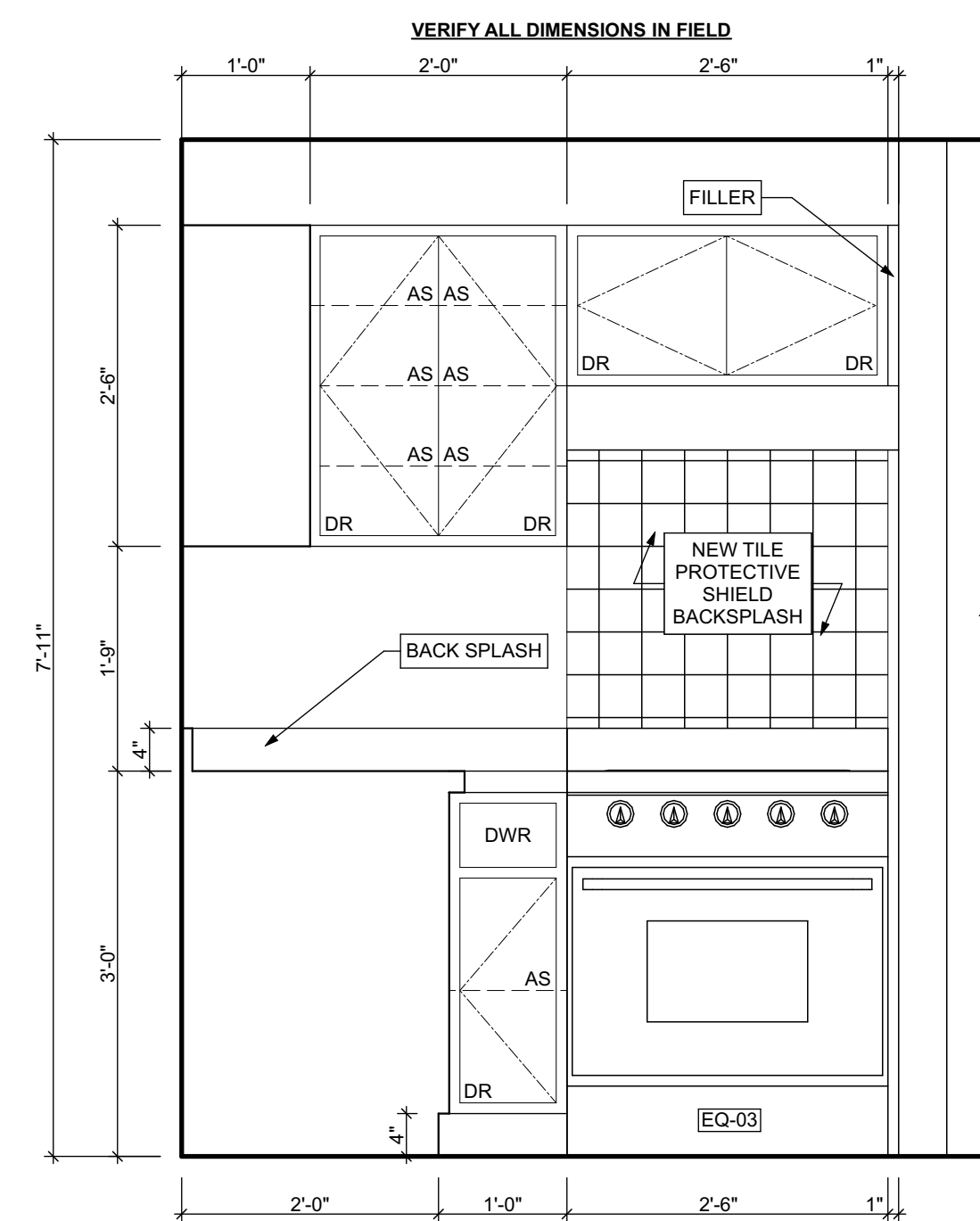
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SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



4 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"

seal

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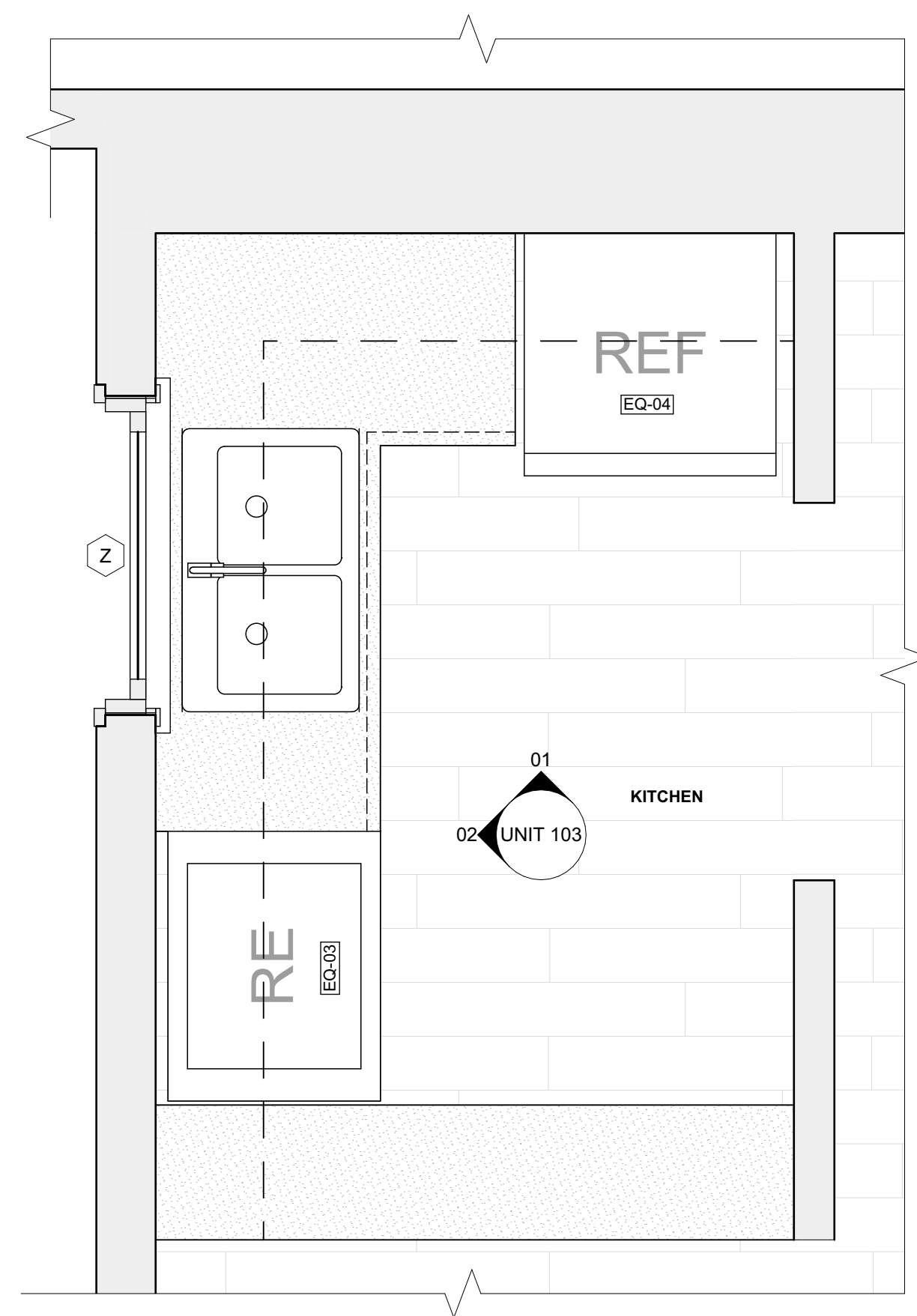
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

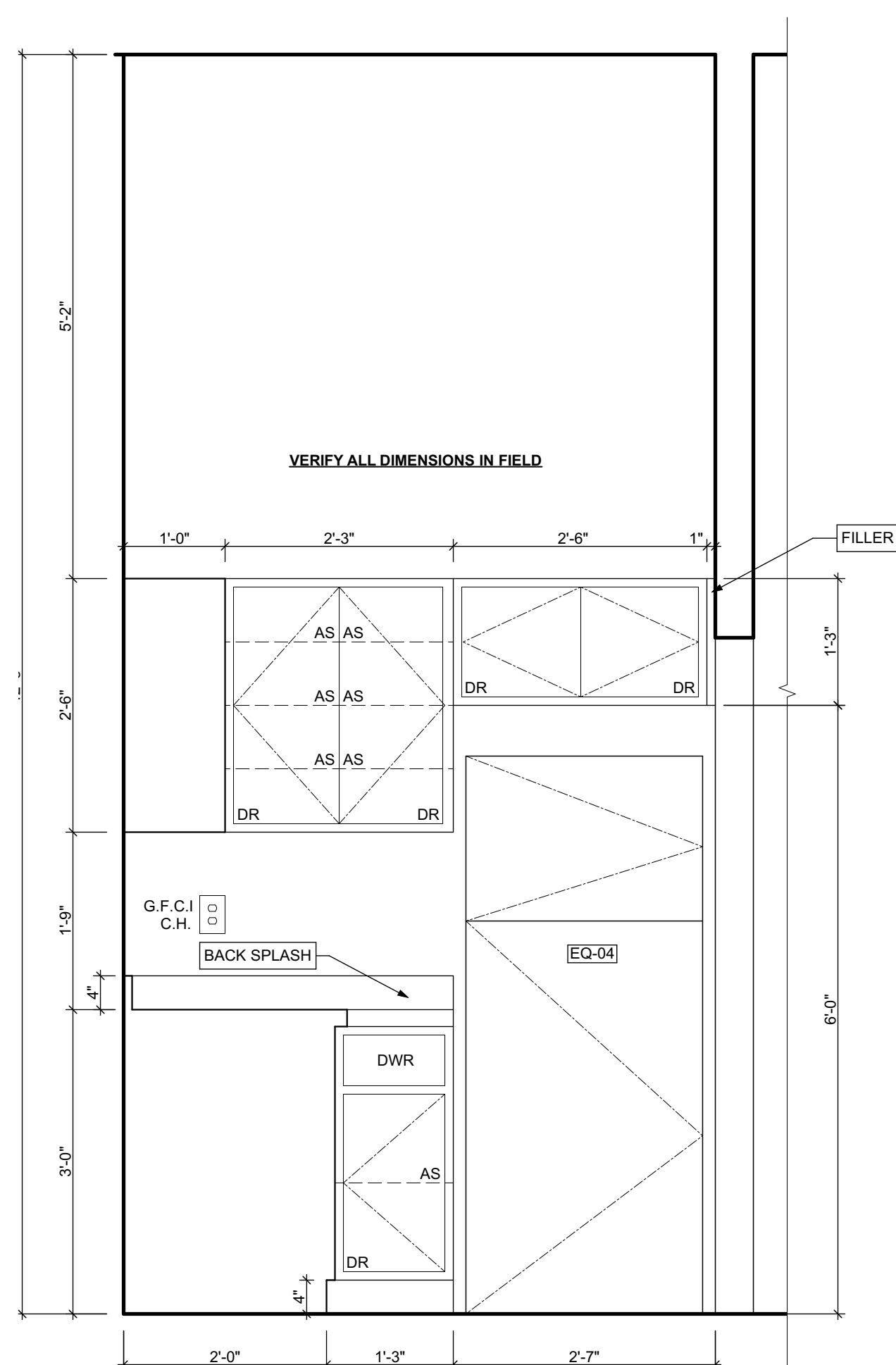
drawing title

**UNIT 102 KITCHEN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02, KITCHEN
ELEVATION 03**

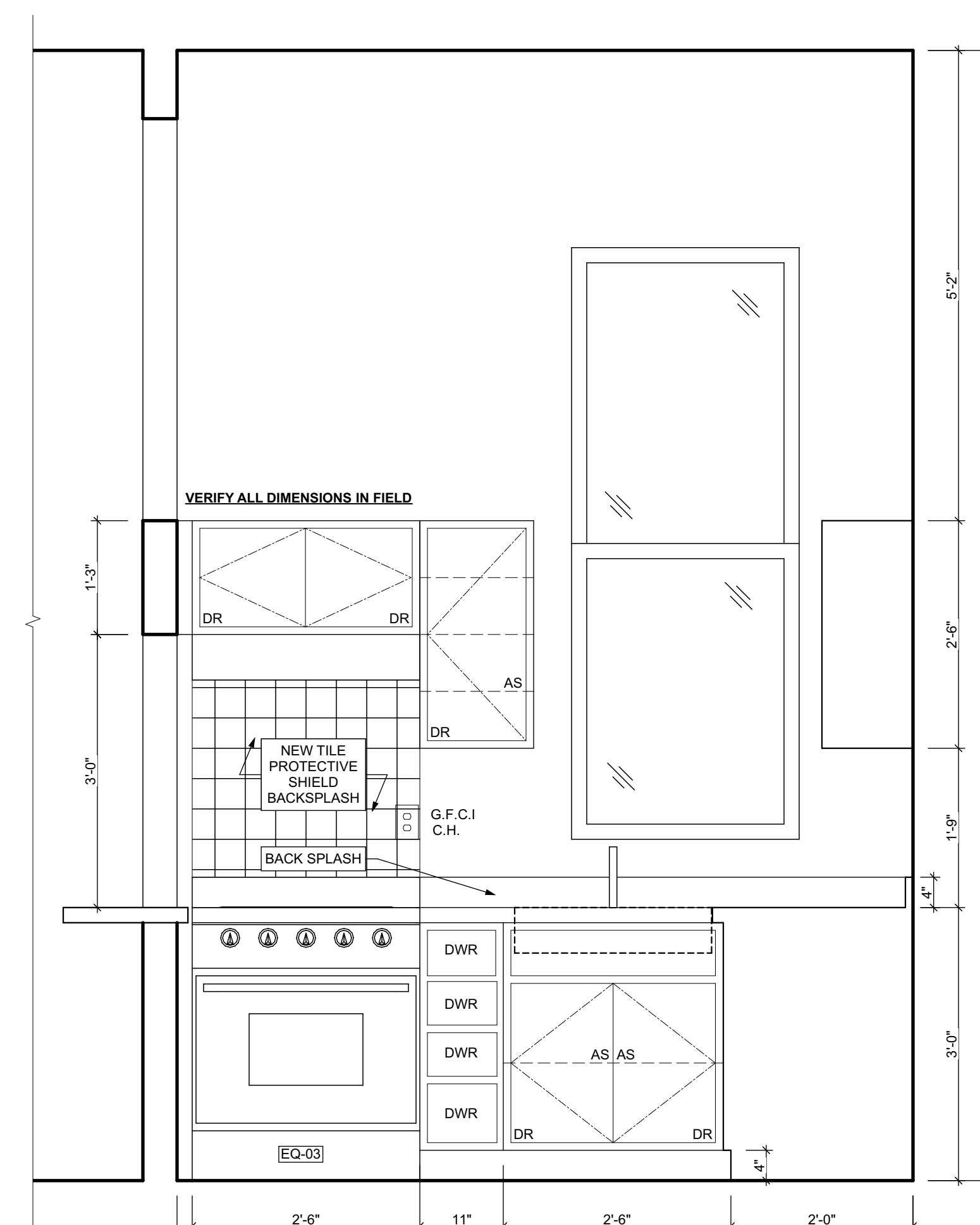
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date	May 6, 2022	
no.	17	of. A16 Project #2006
	23	



1 UNIT 103 KITCHEN
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"

seal

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15233

drawing title

UNIT 103 KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02

scale
As Noted

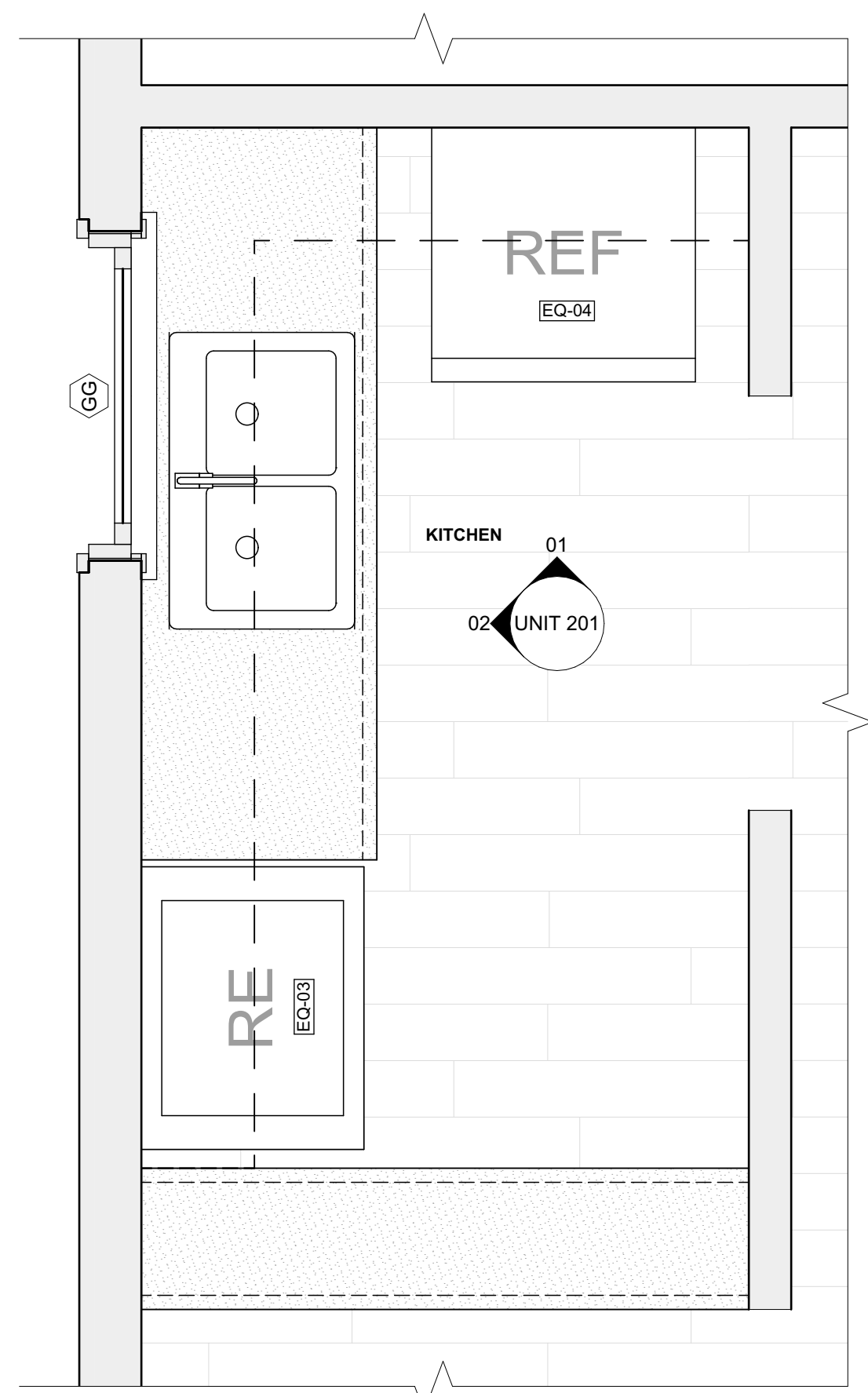
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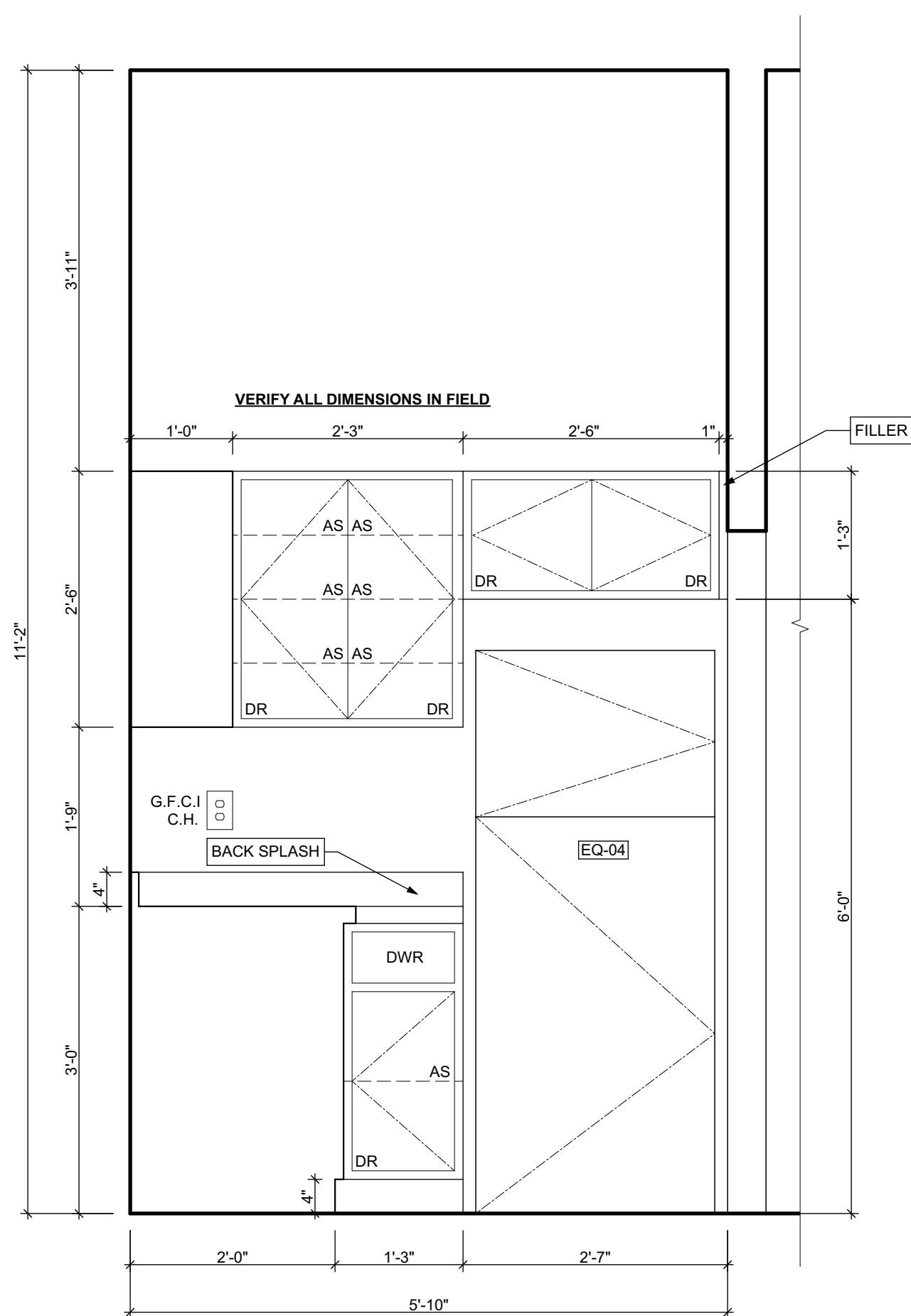
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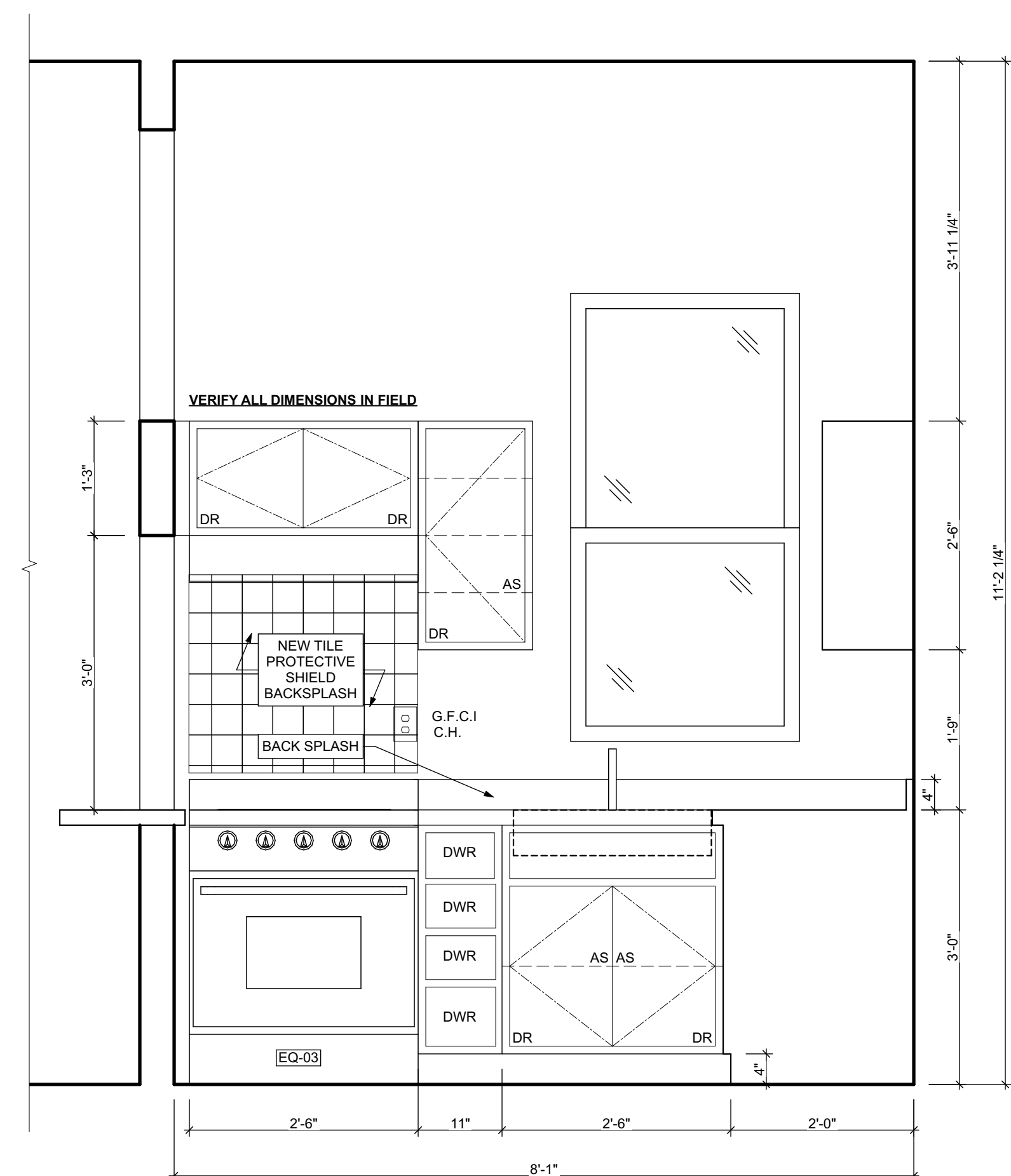
Project #2006



1 UNIT 201 KITCHEN
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"

seal

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15233

drawing title

UNIT 201 KITCHEN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02

scale
As Noted

date
May 6, 2022

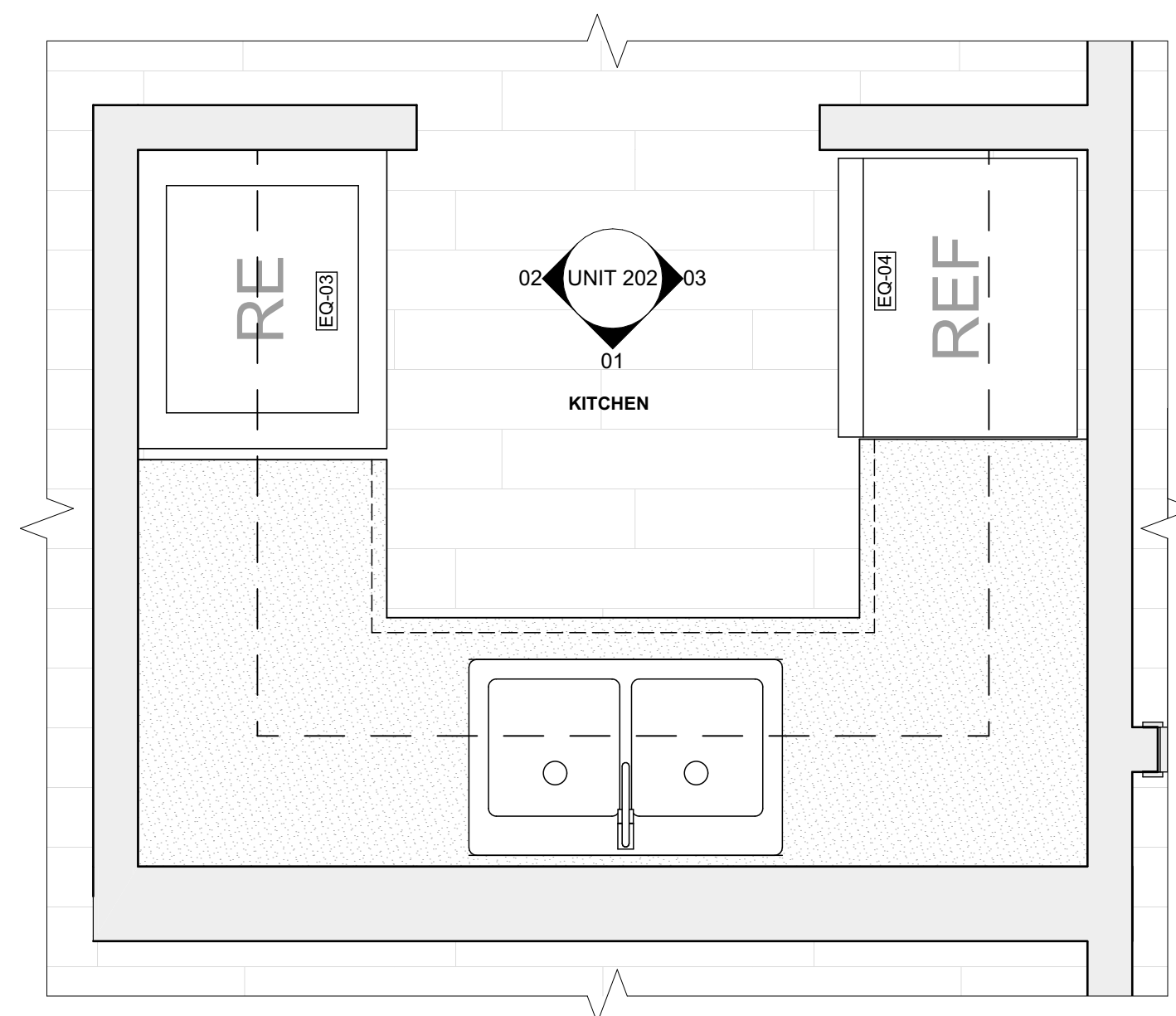
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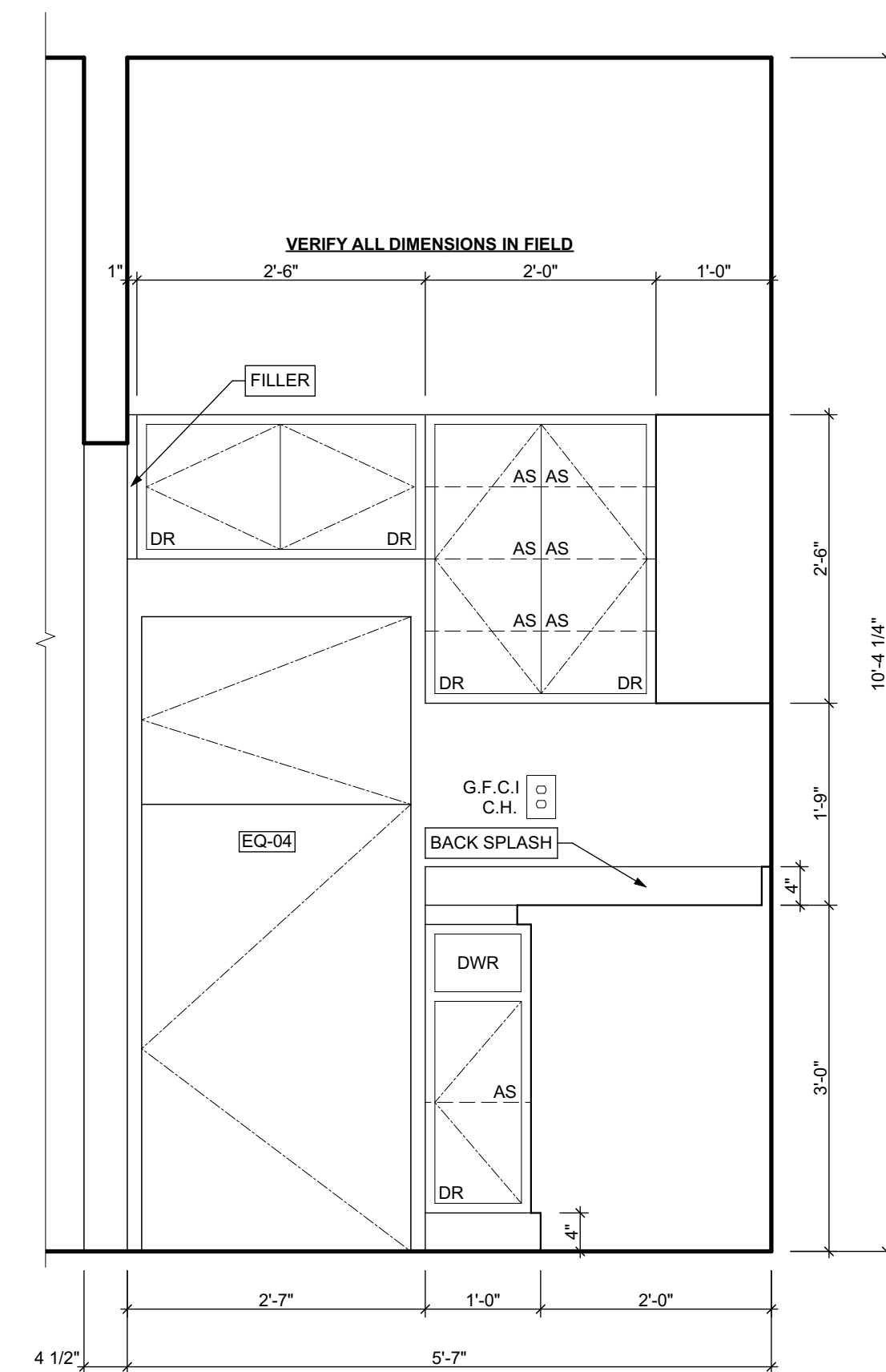
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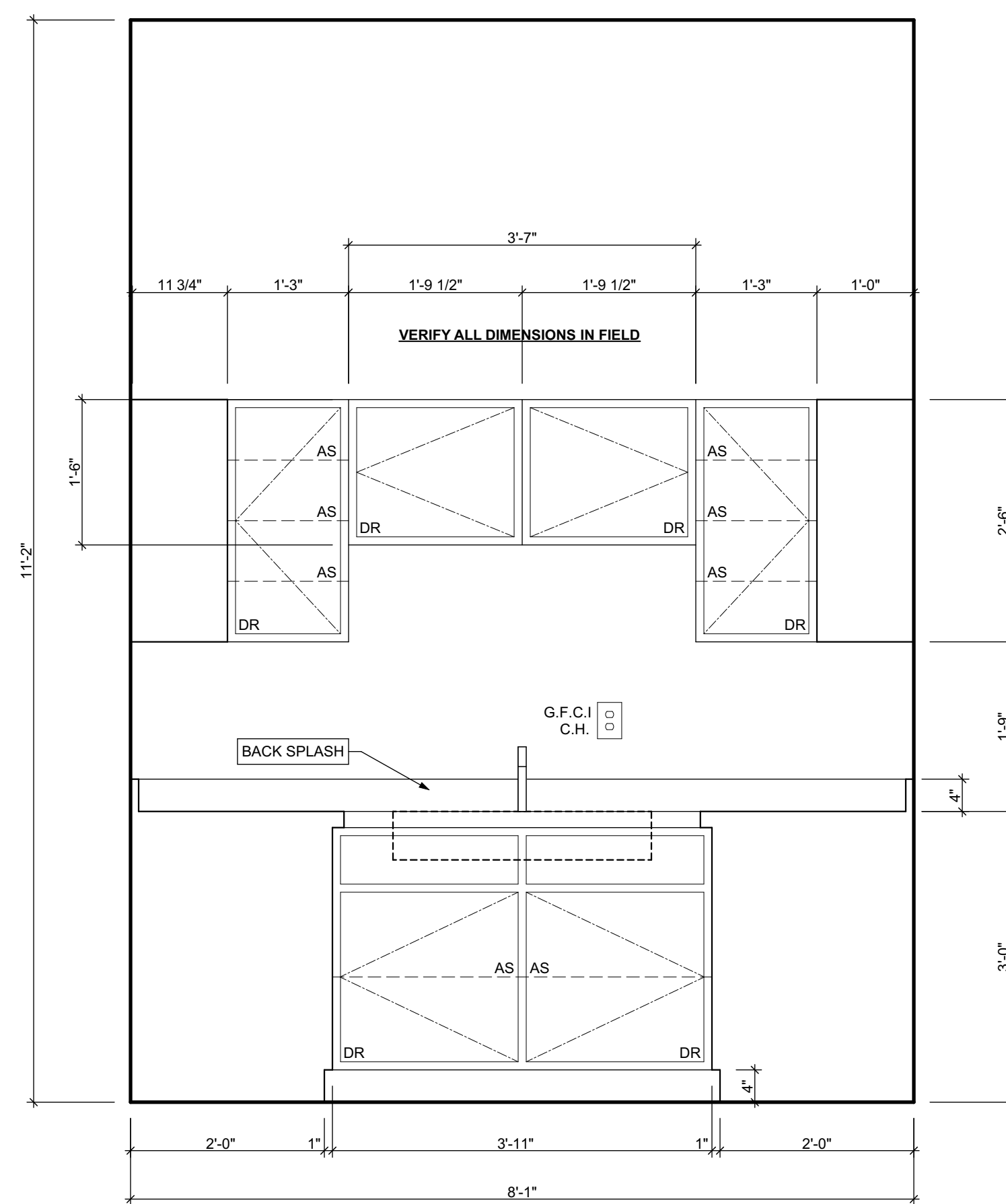
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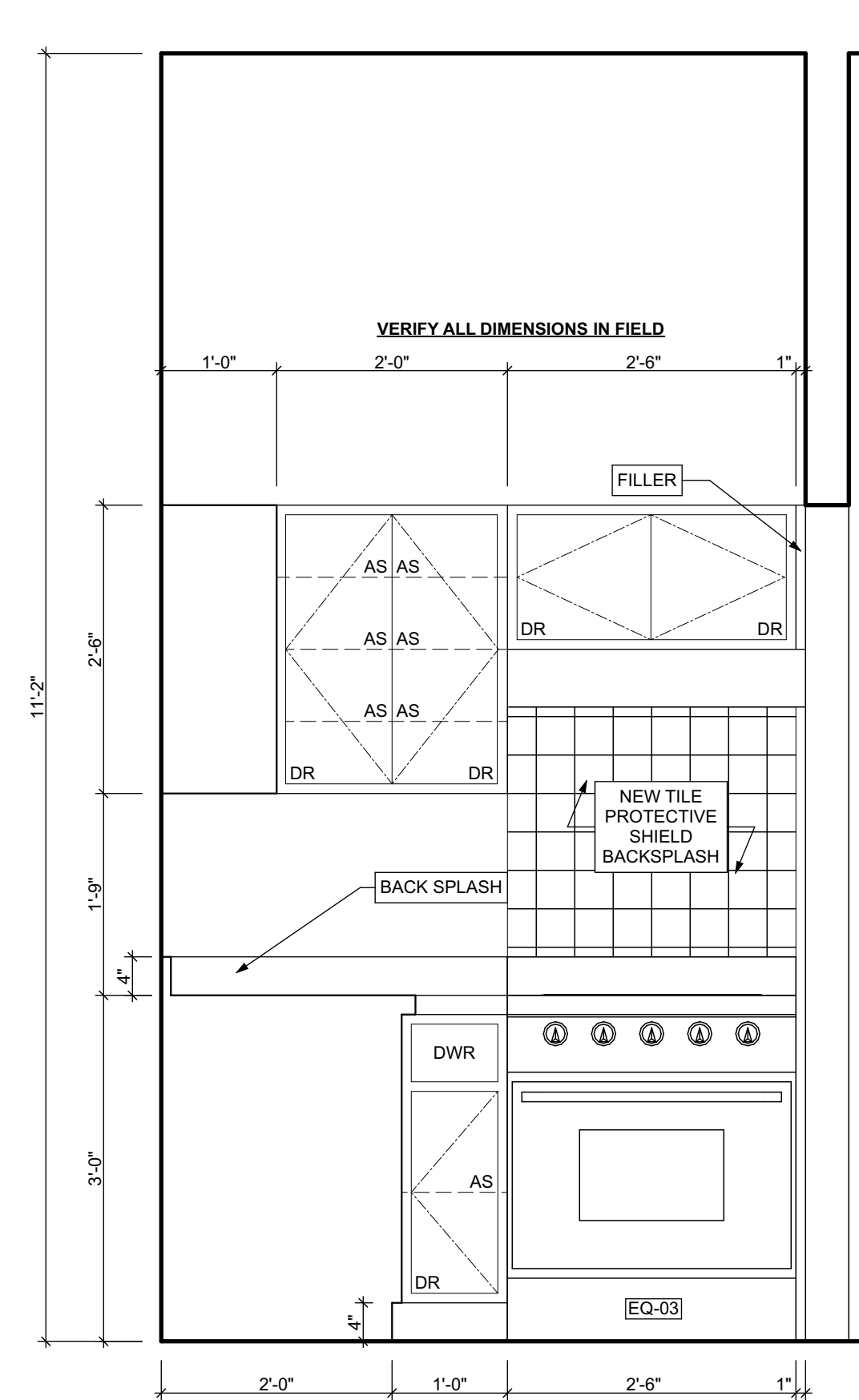
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2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



4 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"

seal

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drawing title

UNIT 102 KITCHEN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02, KITCHEN
ELEVATION 03

scale
As Noted

date
May 6, 2022

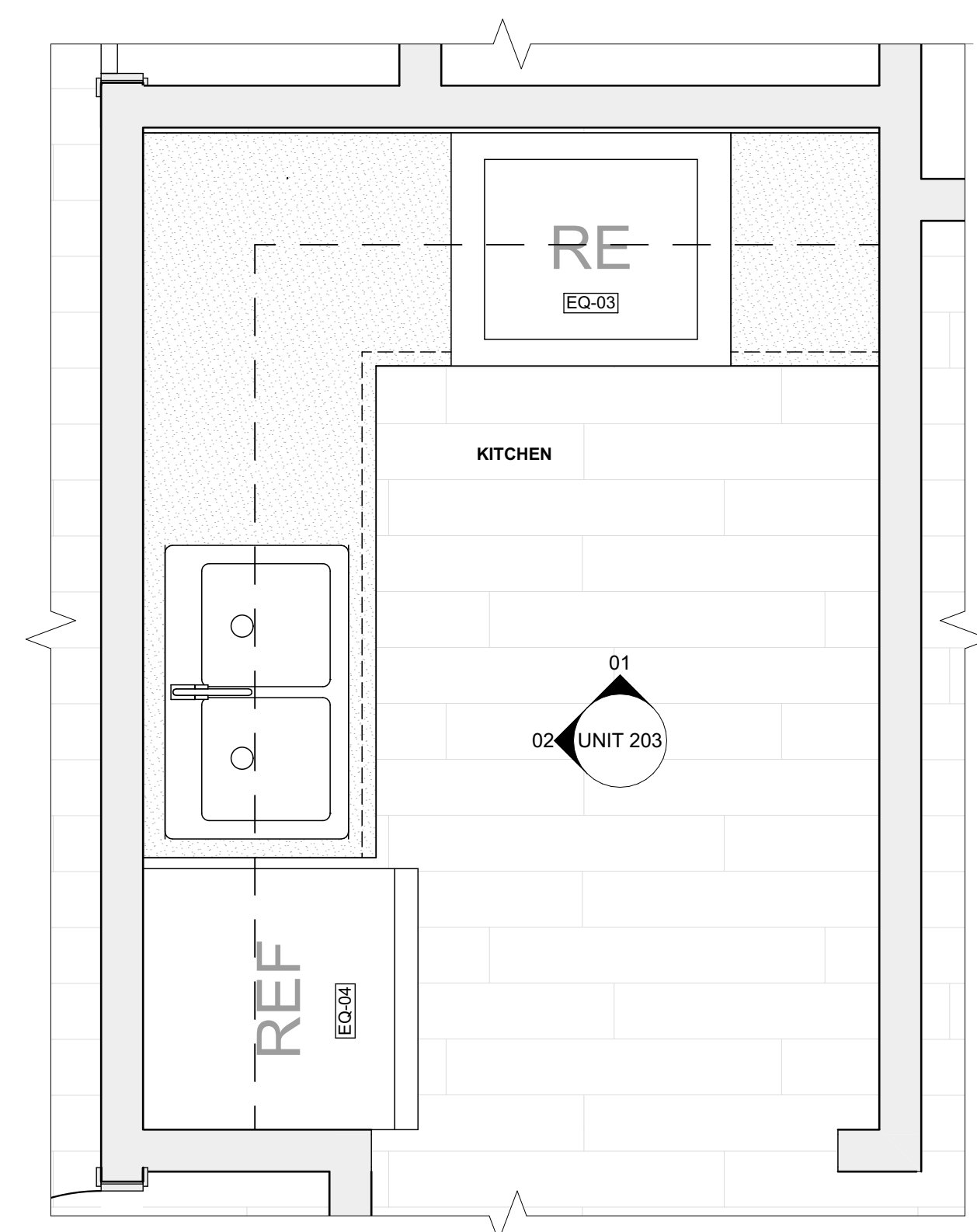
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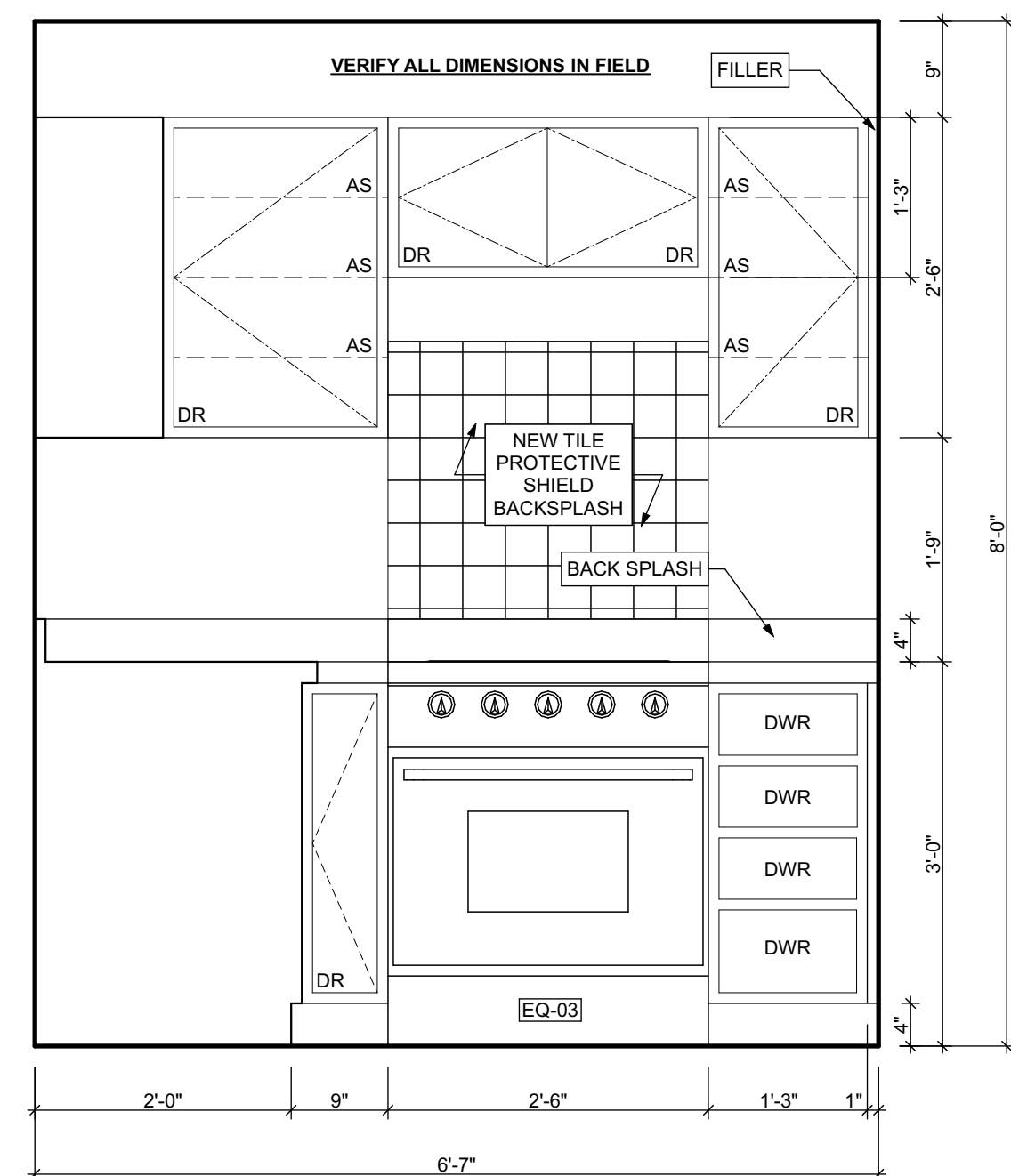
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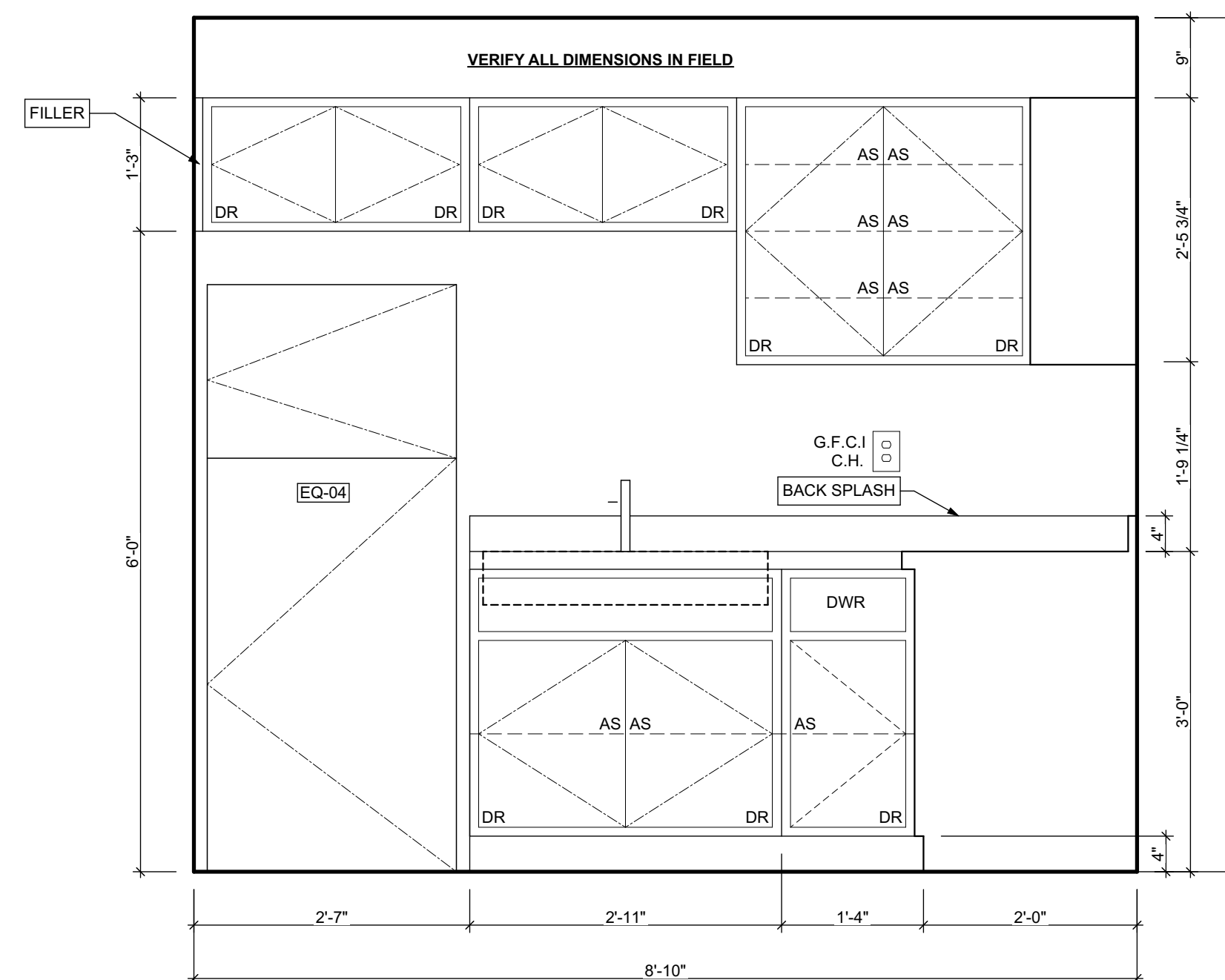
Project #2006



1 UNIT 103 KITCHEN
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"

seal

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drawing title

UNIT 103 KITCHEN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02

scale
As Noted

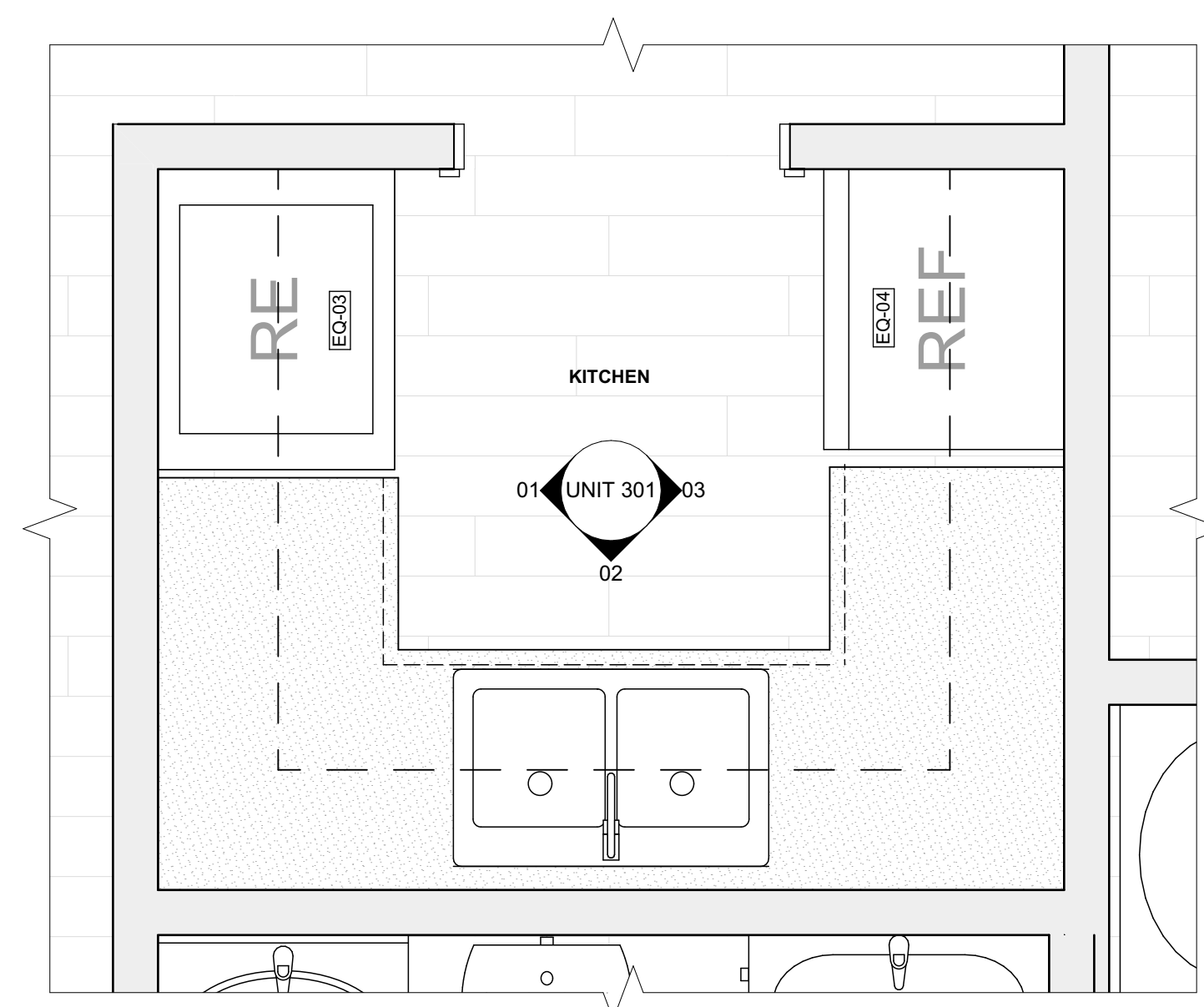
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May 6, 2022

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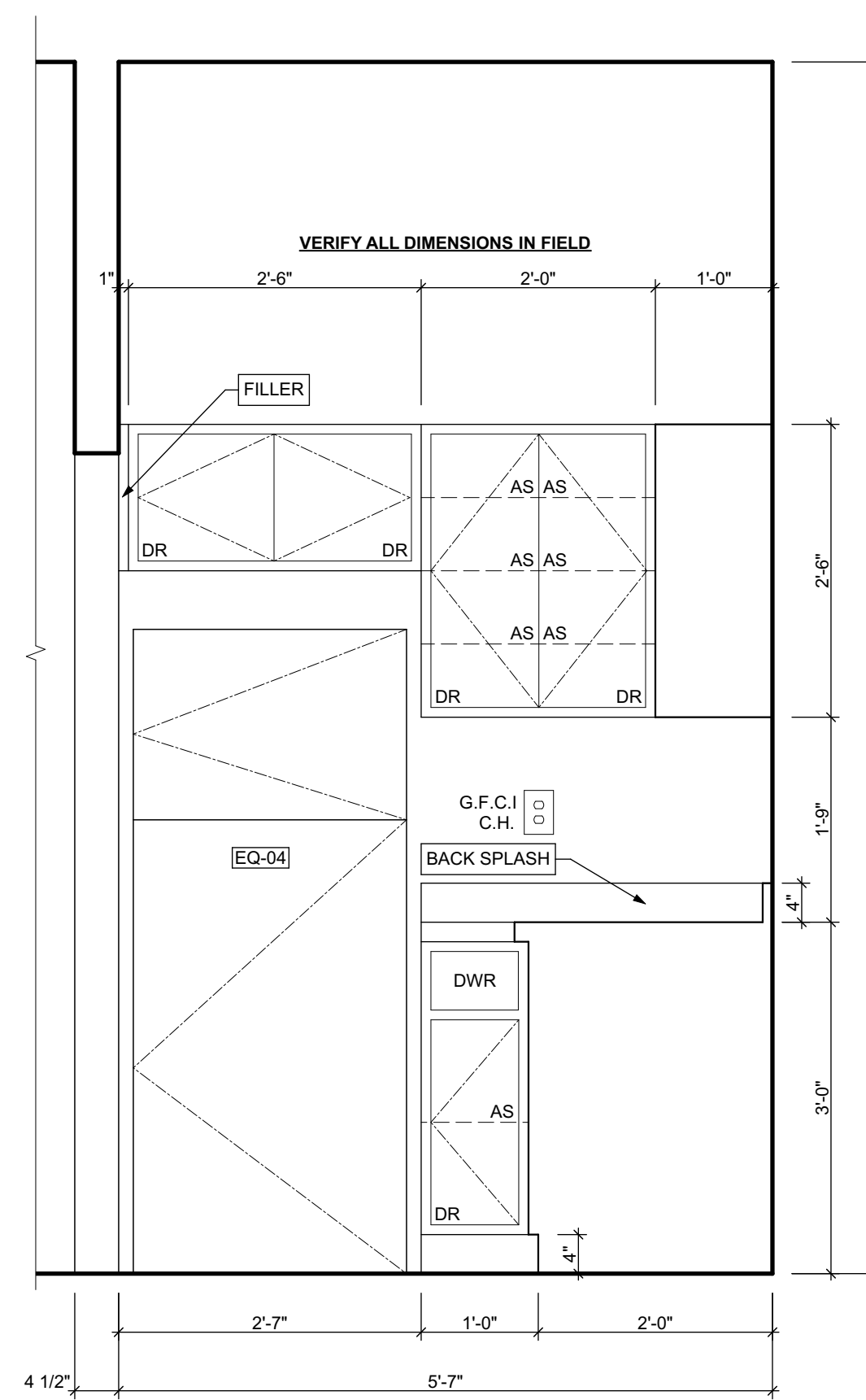
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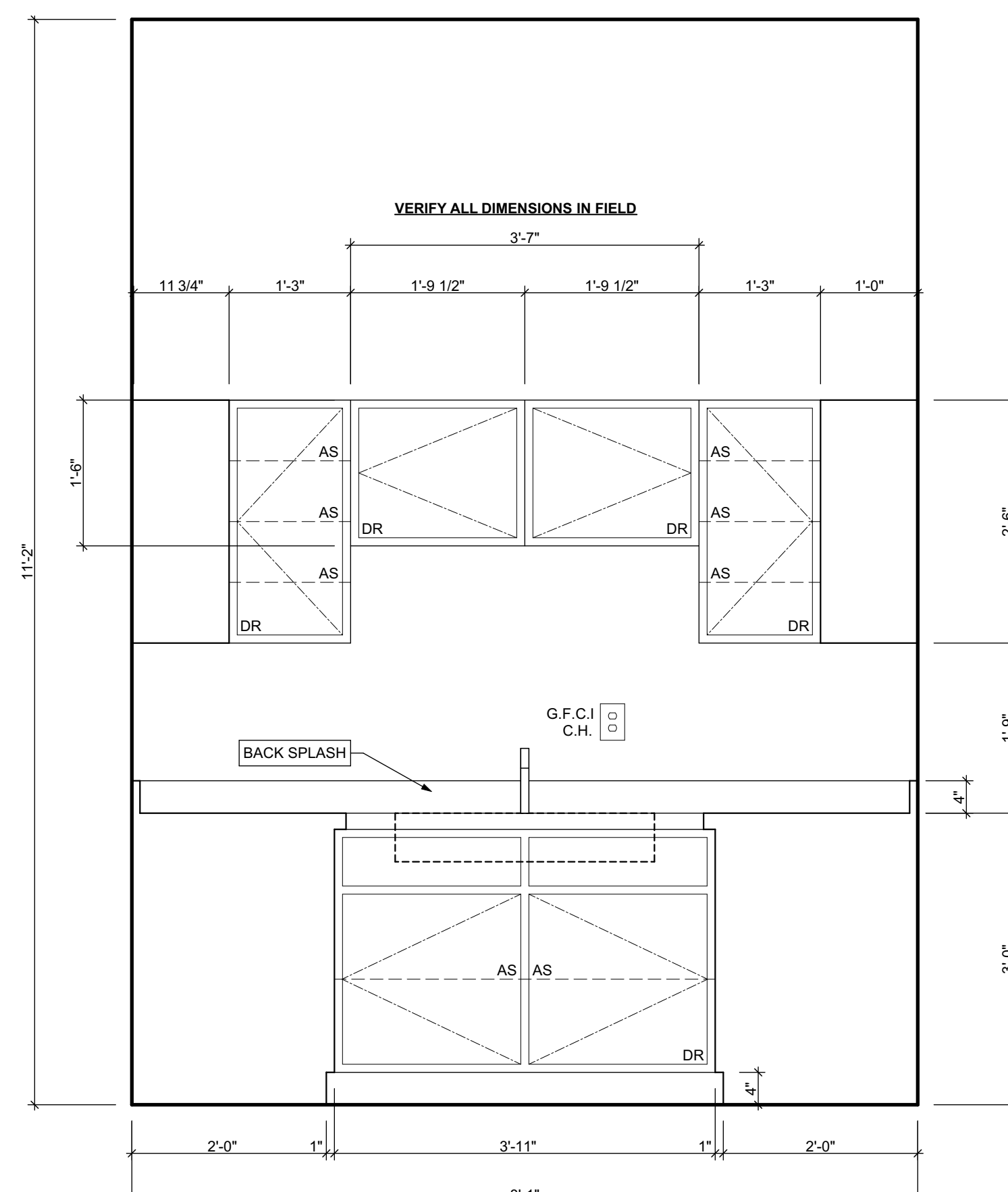
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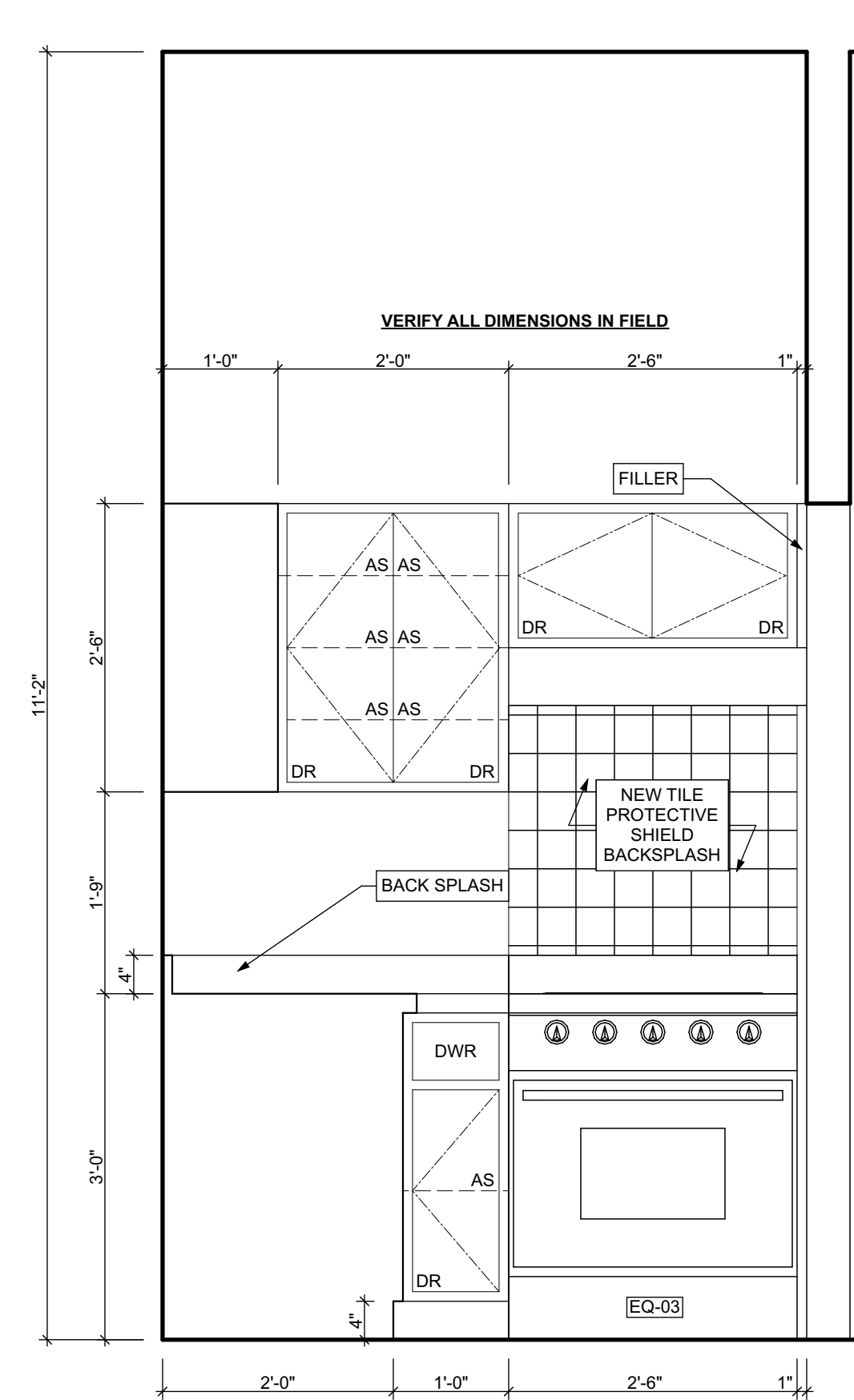
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2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



4 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1315 LIVERPOOL STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

UNIT 301 KITCHEN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02, KITCHEN
ELEVATION 03

scale
As Noted

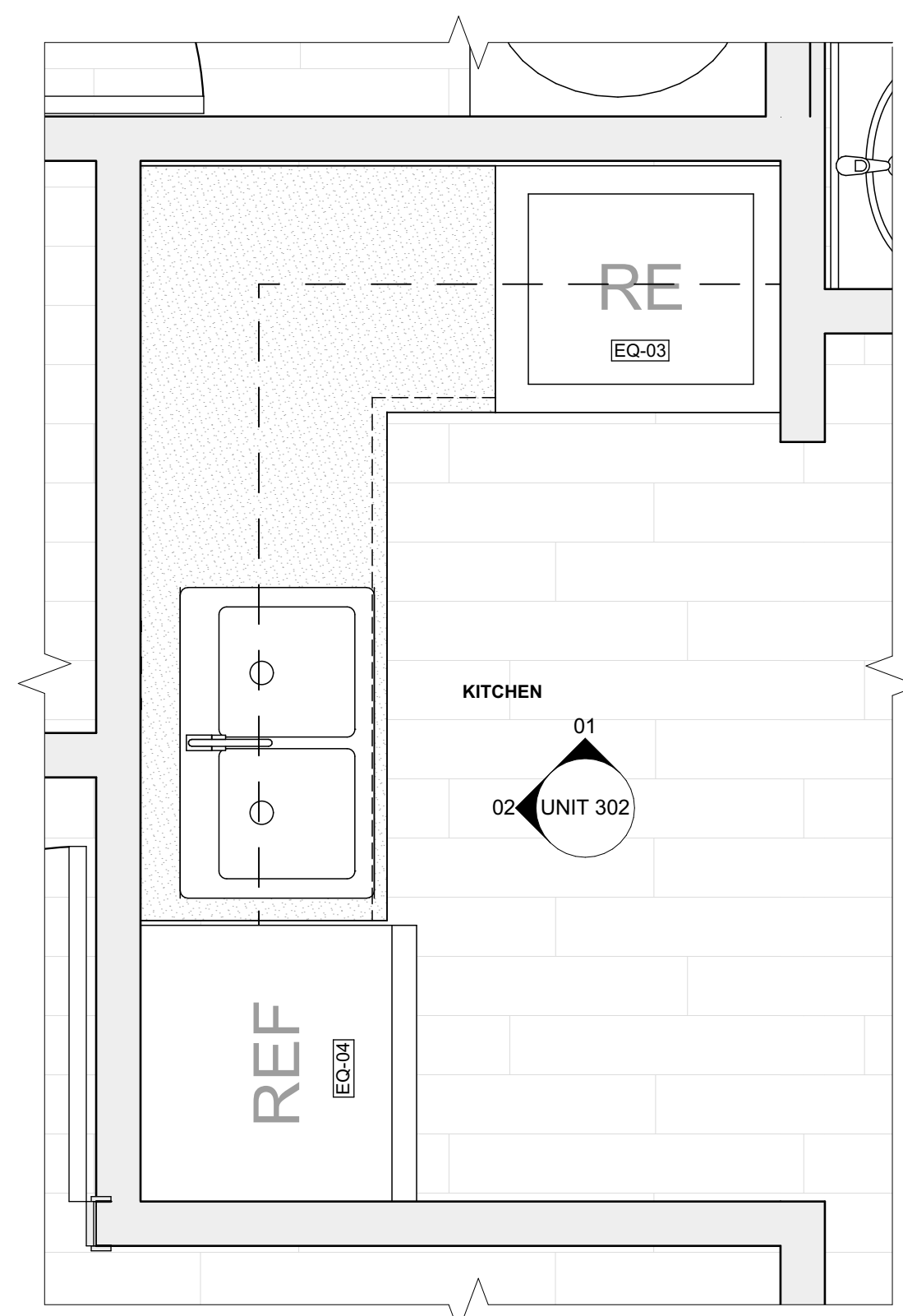
date
May 6, 2022

no. 22 of. 23

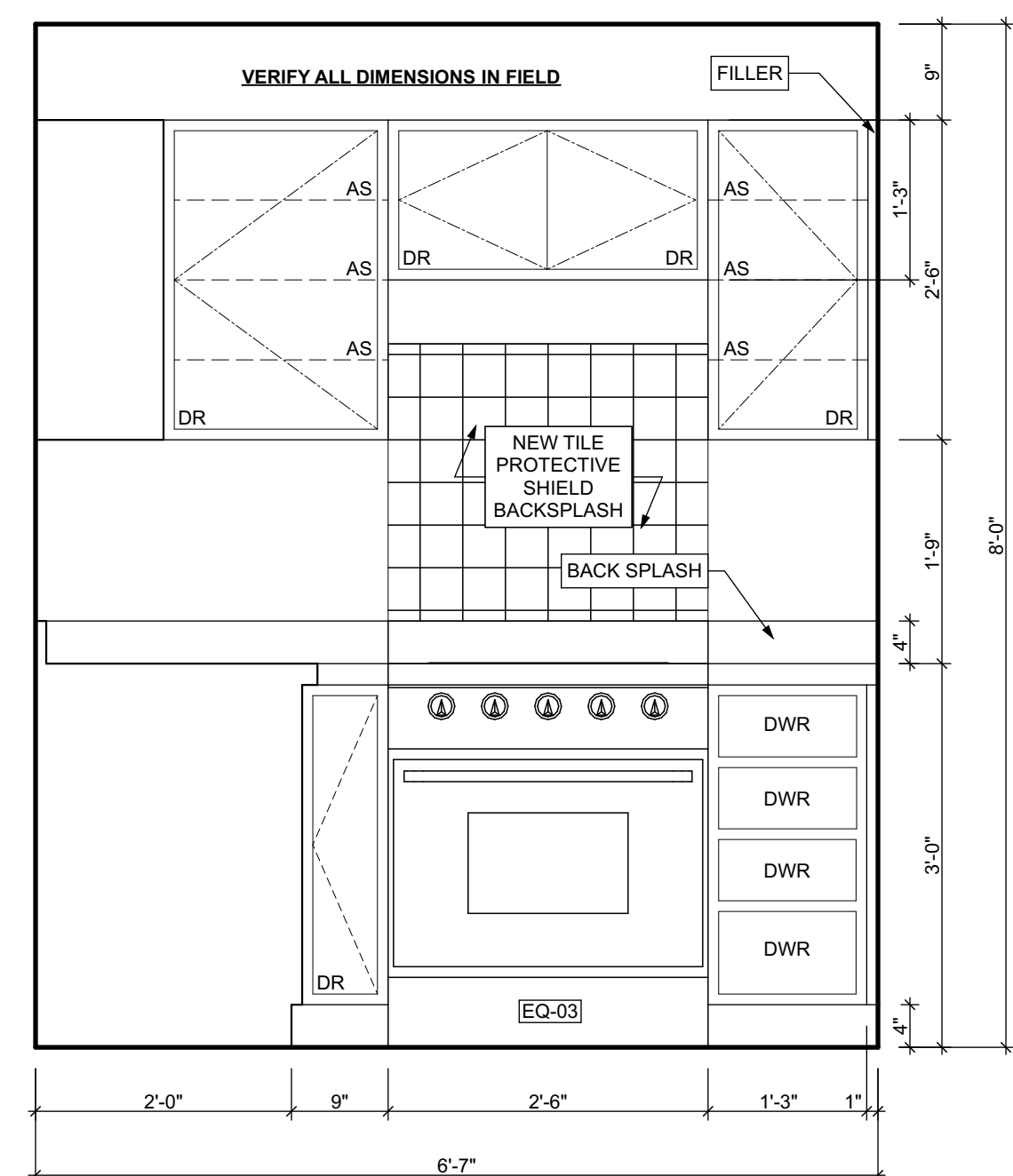
Sheet No.

A21

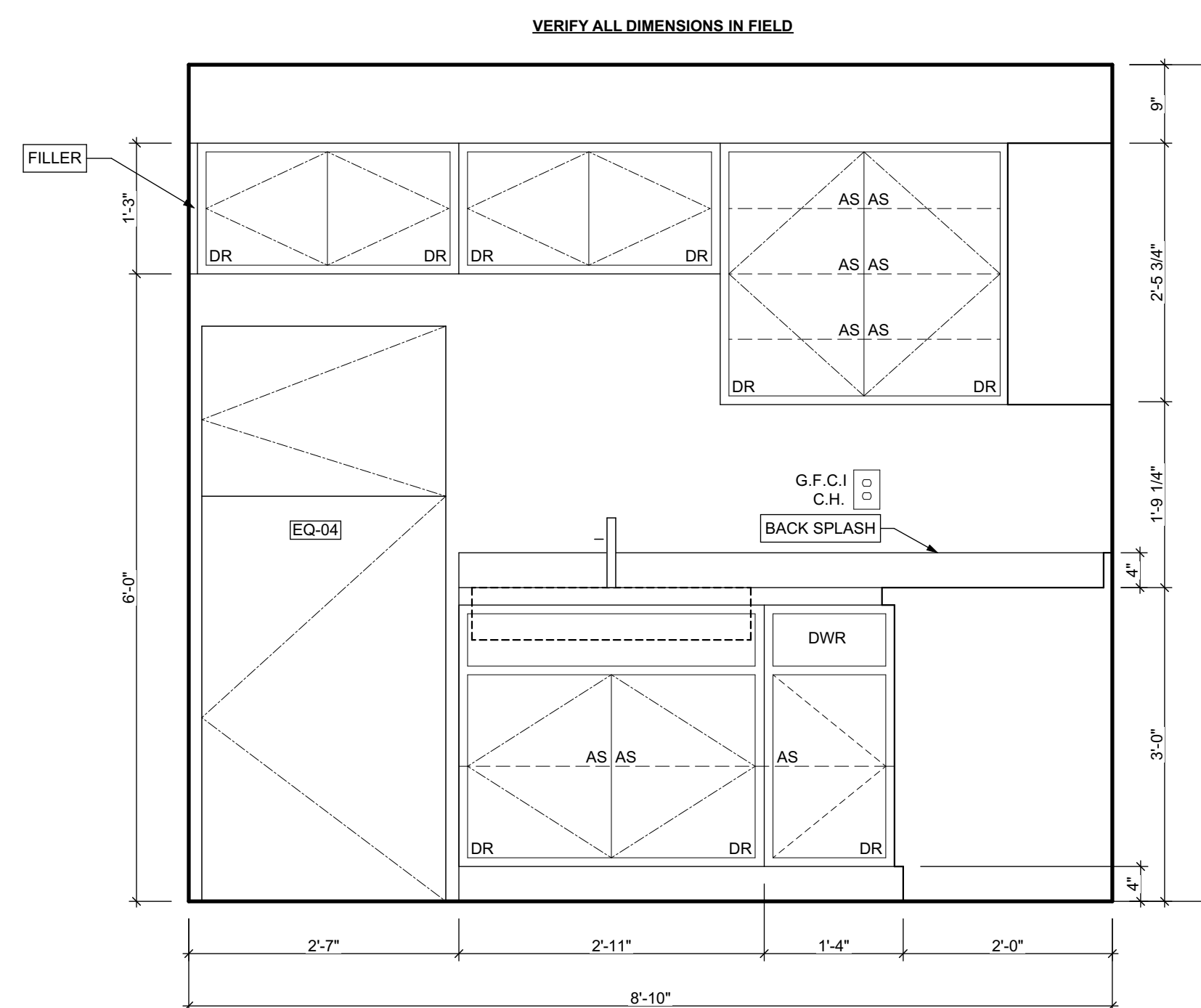
Project #2006



1 UNIT 302 KITCHEN
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"

seal

general notes

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revisions

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15233

drawing title

UNIT 302 KITCHEN, KITCHEN
ELEVATION 01, KITCHEN
ELEVATION 02

scale
As Noted

date
May 6, 2022

no. of.

23

23

Sheet No.

A22

Project #2006