

- 1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies...

ISSUED FOR PERMIT: 05.06.2022

Owner: HACP 200 ROSS STREET PITTSBURGH, PA 15219

SELECTION CRITERIA, THRESHOLD CRITERIA, TABULAR SCHEDULE

scale As Noted date May 6, 2022 no. 1 of 12 Project #2006

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification Of Selection Criteria

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The preservation development will achieve certification under one of the green building standards indicated below.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Accessible Housing As the DESIGN ARCHITECT, I certify that: To the best of my knowledge and belief I certify that I have designed the referenced development...

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Large Family Units As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development...

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification Of Threshold Criteria

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities As the DESIGN ARCHITECT, I certify that: The net area of all dwelling units must fall within the limits listed below.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Fair Housing As the DESIGN ARCHITECT, I certify that: The net area of all dwelling units must fall within the limits listed below.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) All developments utilizing central system refrigerant low type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) As the DESIGN ARCHITECT, I certify that for preservation developments: The referenced development will promote energy efficiency and conservation...

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Smoke Free Development As the APPLICANT, I certify that: At construction completion, a policy prohibiting the use of tobacco products in all dwelling units...

2.03 DEVELOPMENT TABULAR SCHEDULE Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) PHFA Green Building Criteria for new construction and substantial rehabilitation developments.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Flood Plain Certification As the DESIGN ARCHITECT, landscape architect or civil engineer I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map...

TABULAR AREA UNIT SCHEDULE UNIT # GROSS AREA (SF) NET AREA (SF) SFR 2,492 2,222

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1429 NIXON STREET PITTSBURGH PENNSYLVANIA 15233 2 BEDROOM UNIT

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Code Conformance Information

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IBC
Occupancy Group:	"R-2"
Stories:	3 story with Basement
Gross Area:	2,492 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	6

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

Materials Legend

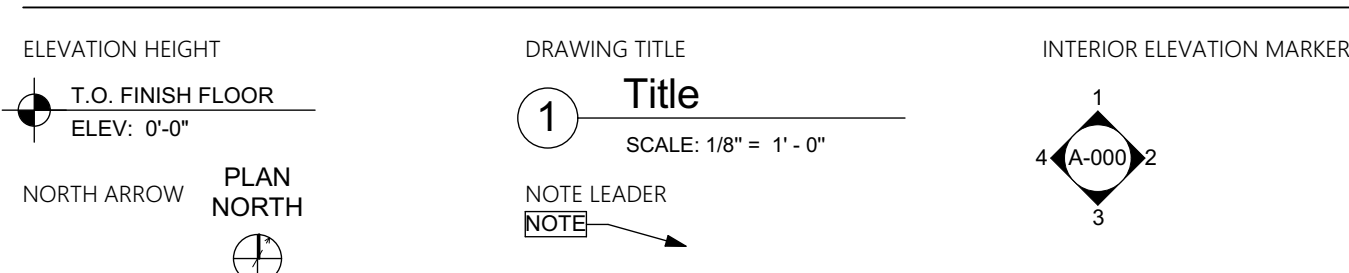
NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

Abbreviations

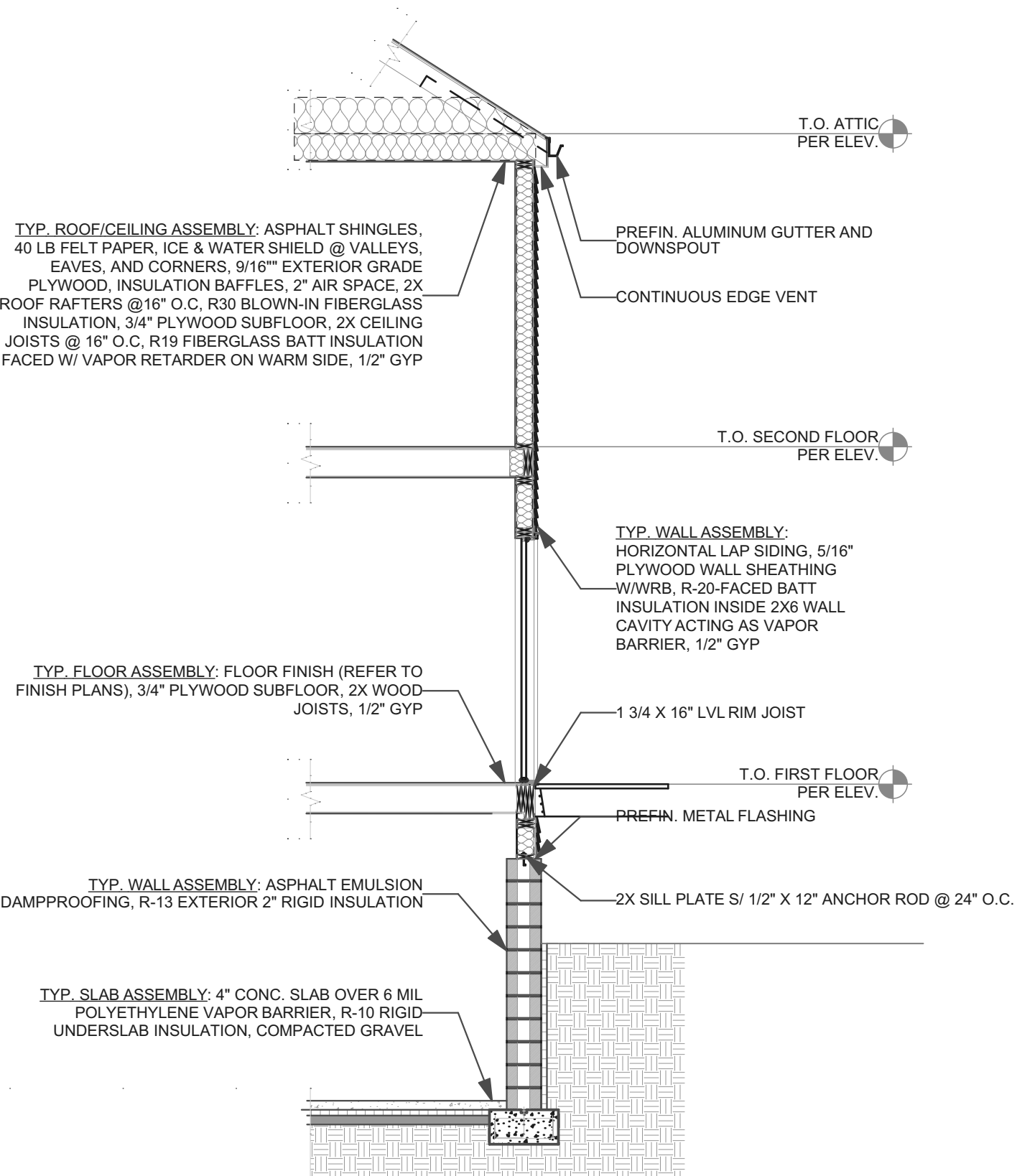
A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
ARCH.	Architectural	FIN.FLR.	Finish Floor	P.V.C.	Polyvinyl Chloride
ASB.	Asbestos	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	Prefabricated
ASPH.	Asphalt	F.E.	Fire Extinguisher	REF.	Refer To
AUTO.	Automatic	FLR.	Floor	REF.	Refrigerator
AVG.	Average	F.D.	Floor Drain	R.C.P.	Reinforced Concrete Pipe
BLK.	Block	FTG.	Footing	REINF.	Reinforcement
BD.	Board	GA.	Gauge	RD.	Room
BOT.	Bottom	G.C.	General Contractor	RM.	Room
BLDG.	Building	G.F.I.	Ground Fault Interrupter	S.A.T.	Suspended Acoustical Tile
C.I.P.	Cast In Place	GYP.	Gypsum	SCHED.	Schedule
C.B.	Catch Basin	G.W.B.	Gypsum Wall Board	SHT.	Sheet
C.M.	Cement	GSH.	Gypsum Sheathing	SIM.	Similar
CER.	Ceramic	H/C	Handicap	S.C.	Solid Core
CG	Corner Guard	H.V.A.C.	Heating, Ventilation & Air Conditioning	SPECS.	Specifications
C.M.T.	Ceramic Mosaic Tile	HT	Height	SQ.	Square
C.W.T.	Ceramic Wall Tile	HC	Hollow Core	S.F.	Square Foot
C.O.	Cleanout	H.M.	Hollow Metal	S.S.	Stainless Steel
CL	Center Line	HORIZ.	Horizontal	STL.	Steel
C.L.O.	Closet	HR.	Hour	STOR.	Storage
C.W.	Cold Water	H.W.	Hot Water	STRUCT.	Structural
CLG.	Ceiling	IN.	Inch	TEL.	Telephone
CLR.	Clearance	IM.	Insulated Metal	THK.	Thick
COL.	Column	INSUL.	Insulation or Insulated	T.B.D.	To Be Determined
CONC.	Concrete	INT.	Interior	T&G	Tongue & Groove
C.M.U.	Concrete Masonry Unit	INV.	Invert	T.O.	Top Of
CONT.	Continuous	ISO.	Isolation	T.G.	Top Of Grade
CORR.	Corridor	JAN.	Janitor's Closet	T.O.S.	Top Of Steel
C.M.P.	Corrugated Metal Pipe	J.T.	Joint	TYP.	Typical
CRS.	Courses	LAM.	Laminate	UNFIN.	Unfinished
DIA.	Diameter	LAV.	Lavatory	U.N.O.	Unless Noted Otherwise
DET.	Detail	L.V.	Long	V.B.	Vapor Barrier
DGL.	Dens Glass Gold	LG.	Long	VERT.	Vertical
DR.	Door	M.D.F.	Medium Density Fiberboard	VEST.	Vestibule
DN.	Down	MAX.	Maximum	V.C.T.	Vinyl Composition Tile
D.S.	Downspout	M.D.H.	Magnetic Door Holder	V.I.F.	Verify In Field
DWG.	Drawing	M.H.	Manhole	W.H.	Water Heater
D.F.	Drinking Fountain	MFR.	Manufacturer	W.R.B.	Water Resistant Barrier
D.I.P.	Ductile Iron Pipe	MECH.	Mechanical	W.W.F.	Welded Wire Fabric
EA.	Each	MET.	Metal	WIN.	Window
E.W.	Each Way	MIN.	Minimum	W/	With
ELEC.	Electrical			WO	Without
E.C.	Electrical Contractor			WD.	Wood
EL.	Elevation				

Symbols

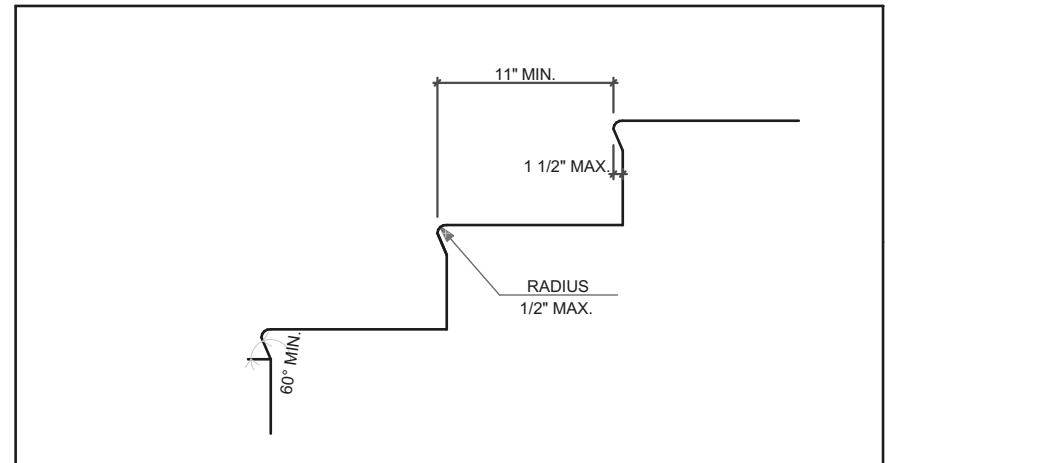


THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 SIDING WALL SECTION



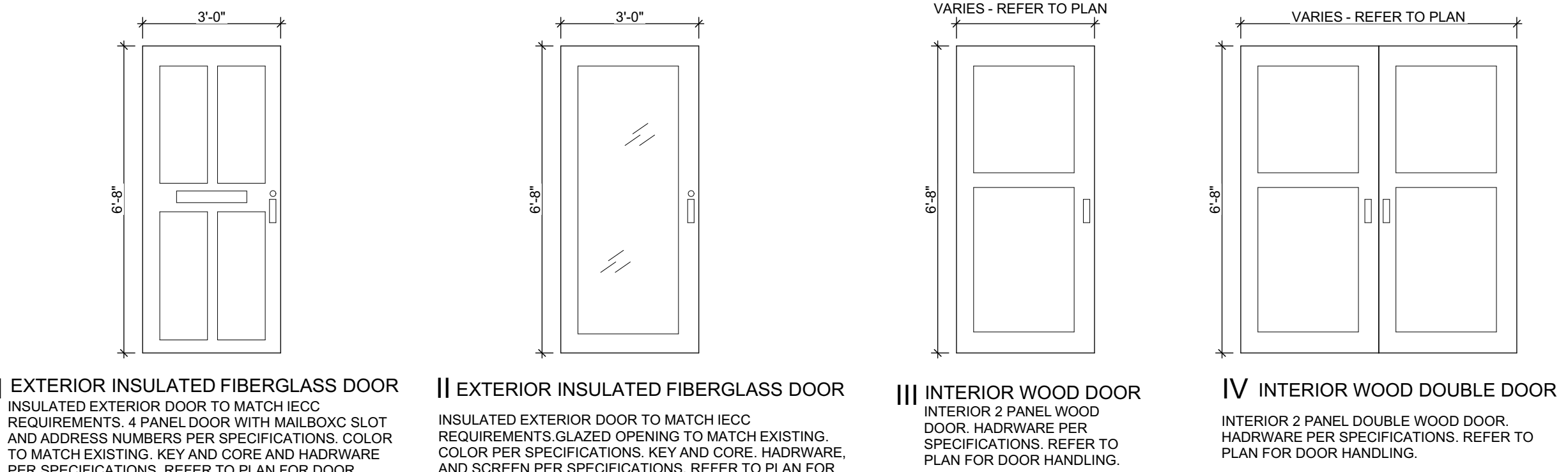
1 ABBREVIATIONS AND MATERIALS



WINDOW SCHEDULE						
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-9"	2'-0"	9'-0 3/4"	GLASS BLOCK	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B	3'-0"	1'-9"	8'-0"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C	2'-10"	5'-4 1/2"	8'-0"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D	2'-6"	4'-5"	8'-0"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E	2'-6"	3'-5"	8'-0"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	2'-9"	4'-6"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G	4'-10"	4'-1"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H	2'-6"	3'-1"	6'-8"	VINYL CLAD WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I	5'-6"	3'-10"	7'-2"	VINYL CLAD WOOD	<input type="checkbox"/>	<input type="checkbox"/>
J	3'-0"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS	<input checked="" type="checkbox"/>	<input type="checkbox"/>

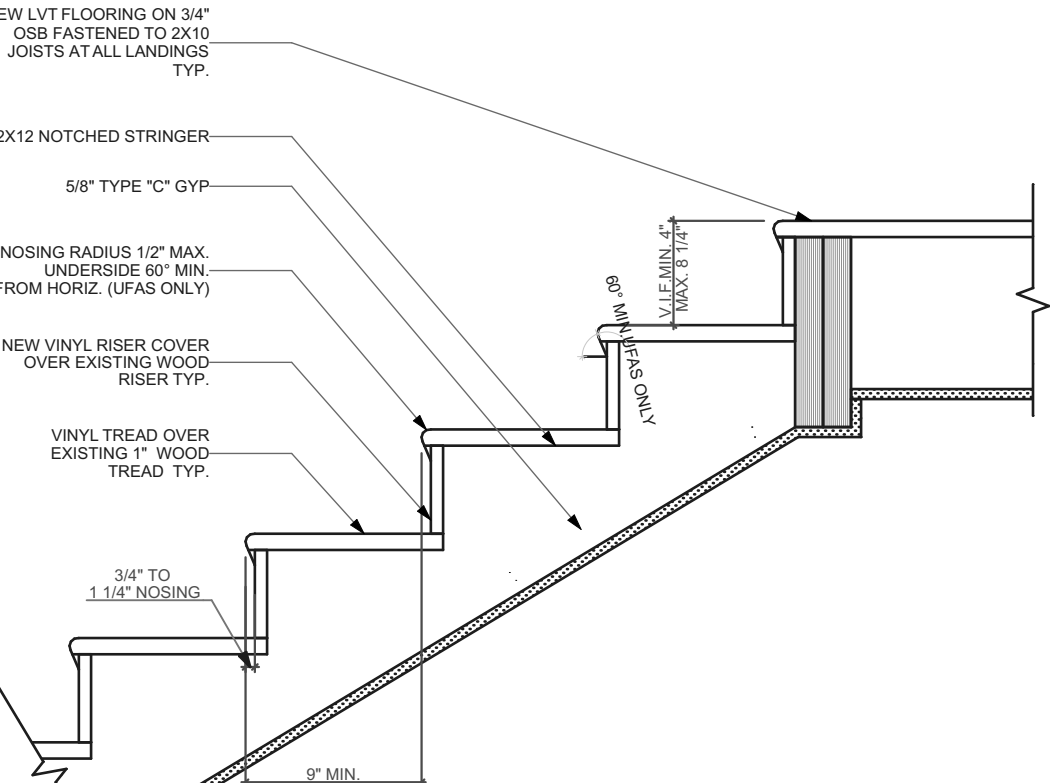
ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS. ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT
PWDR	09 LVT



DOOR SCHEDULE					
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	3'-0" x 7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	3'-0" x 7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8" x 6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
5	2'-6" x 6'-8"	III	WOOD	WOOD	PRIVACY
7	3'-0" x 6'-8"	IV	WOOD	WOOD	DUMMY
8	2'-6" x 6'-8"	III	WOOD	WOOD	PASSAGE
9	4'-8" x 6'-8"	IV	WOOD	WOOD	DUMMY
10	2'-8" x 6'-8"	III	WOOD	WOOD	PASSAGE

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS. ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

3 INTERIOR STAIR DETAIL

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

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PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

ABBREVIATIONS AND MATERIALS, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, DOOR TYPES, FINISH SCHEDULE

scale As Noted	Sheet No. A2 Project #2006
date May 6, 2022	
no. 3	of. 12

GREEN COMMUNITIES NOTES

- 1. MITIGATE ALL CONTAMINANTS FOUND.
2. IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART...
4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFRIGERATORS TO BE ENERGY STAR RATED.
6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION.
8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM # 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WHICH ARE EXEMPT.
9. INSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS.
10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION EQUIPMENT...
12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTXIC SEALING METHODS TO PREVENT PEST ENTRY.
13. ANY INSULATION INSTALLED AS PART OF THE REPAIR ACHIEVES GRADE I INSTALLATION PER ANSULFRANCE...
14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING WITH THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST...
15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION...
16. ALL PAINTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION...
17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION...
18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING...
19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING...
20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR BARRIER...
21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS...
22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION...
23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE)...
24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS...
25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS...
27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT...
28. FLASHINGS AT ROOF WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE...
29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
30. AT WALL/ROOF INTERSECTIONS, MAINTAIN 3" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS...
31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL...
32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT...
34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE...
35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT...
36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTXIC SEALANTS...

ELECTRICAL SCOPE NOTES

- E14. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR...
E15. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER...
E16. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER...
E17. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP...
E18. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN...
E19. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT...
E20. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR...
E21. CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM...
E22. NEW APPLIANCES SUCH AS BUILT-IN DISHWASHERS AND TRASH-COMPACTORS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECTED...
E23. CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICAL PANEL BOARDS.
E24. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING BATHROOM LIGHT FIXTURE(S)...
E25. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ABANDON LANDLINE PANEL(S)...
E26. CONTRACTOR SHALL PREPARE / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.
E27. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS...
E28. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE...
E29. CONTRACTOR FIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS...
E30. FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARM PER SPECIFICATIONS.
E31. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING GAS-FIRED FURNACE...
E32. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW FURNACE...
E33. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT...
E34. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP...
E35. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP...

MECHANICAL SCOPE NOTES

- M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS...
M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS...
M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT...
M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN...
M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHEN EXHAUST FAN...
M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN...
M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT...
M8. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER...
M9. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM...
M10. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER...
M11. INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED...
M12. INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S)...
M13. INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE...
M14. ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA...

PLUMBING SCOPE NOTES

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING...
P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER WITH EXPANSION TANK...
P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM...
P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE)...
P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUT SHOWER)...
P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM...
P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK...
P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY...
P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND FLUSH EXISTING COLD-WATER LINE...
P10. EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN...
P11. INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED...
P12. INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S)...
P13. INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE...
P14. ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA...

ARCHITECTURAL SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS...
1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
2. INTERIOR DOORS, HARDWARE, AND DOOR TRIM.
3. WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS.
4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
5. ALL CLOSETS ROD & SHELVES.
6. ALL ROOF SOFFITS.
7. GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAP, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS.
8. ADDRESS NUMBERS.
9. DRYWALL UP TO 2005F.
10. METAL EXTERIOR RAILINGS AND GATES.
11. INTERIOR WOOD HANDRAILS.
12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS.
13. DUCTWORK.
14. COMPLETELY REMOVE (U.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS...
15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS.
16. ALL WINDOW BLINDS TO BE REPLACED.
17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING...
18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE.
19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE.
20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING.
22. ALL WOOD FENCES AND POSTS TO BE REMOVED.
23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES...
THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET.
1. PARKING PADS
2. CONCRETE STEPS AND SIDEWALKS
3. INTERIOR STAIRS
4. BASEMENT SLAB AND WALL CRACKING
5. EMERGENCY LIGHTING
6. SPRINKLER SYSTEMS
7. FIRE ALARM SYSTEMS

GENERAL FLOOR PLAN NOTES

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS, DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK.
2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS.
4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE.
5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY.
6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR, REFER TO SPECIFICATIONS FOR DETAILS.
8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACF.
11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
12. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES.
13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACF'S REPRESENTATIVE.
14. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK.
15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES.
16. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS.
17. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURERS RECOMMENDATIONS.
HAZARDOUS NOTES
1. BUILDING PASSED INITIAL RADON INSPECTION OR RETEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION.

As Noted

date May 6, 2022

no. 4 of 12

Sheet No. A3

Project #2006

scale

general notes

ISSUED FOR PERMIT: 05.06.2022

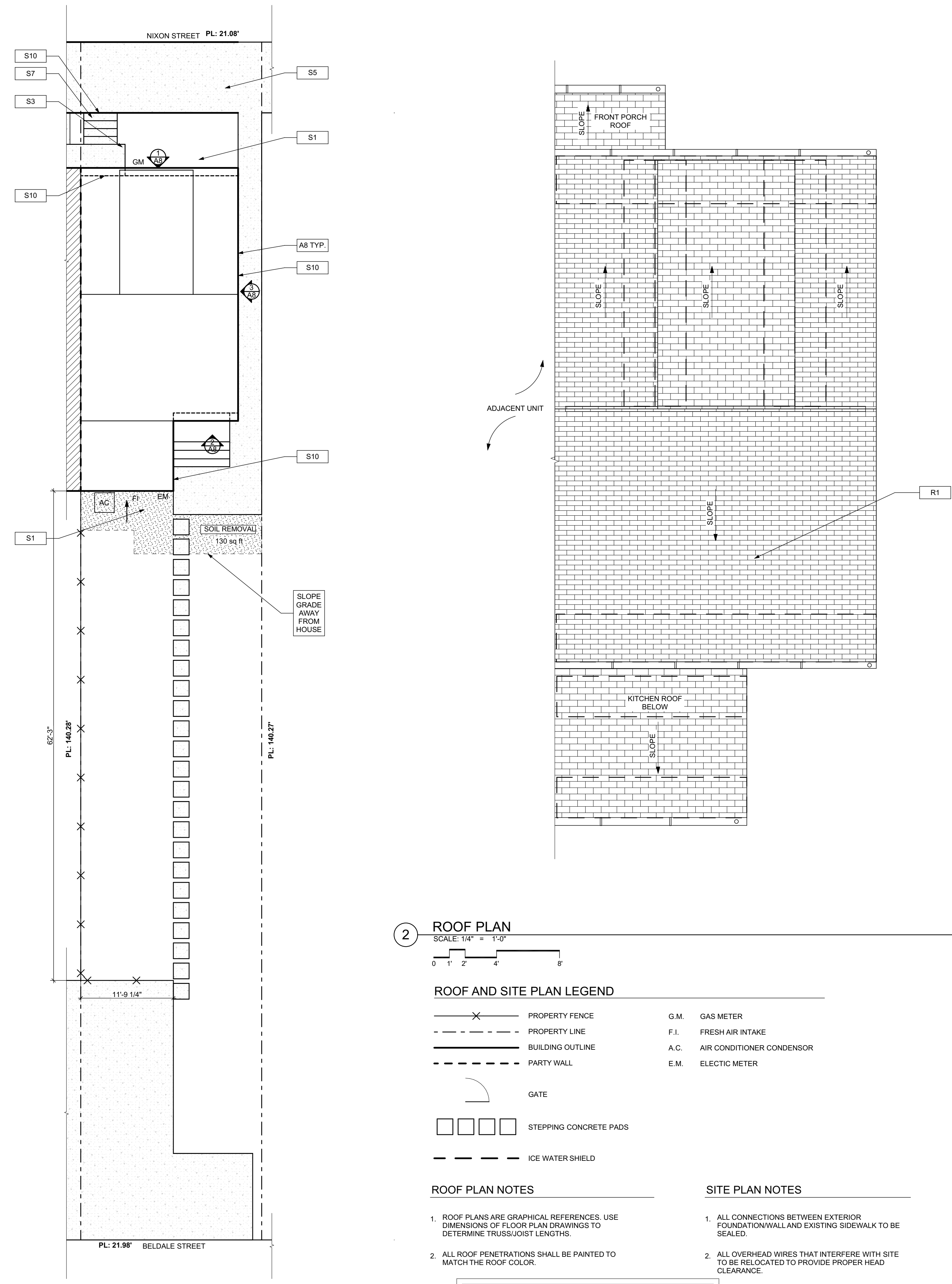
owner: HACF 200 ROSS STREET PITTSBURGH, PA 15219

Project Location: MANCHESTER SCATTERED SITES 1429 NIXON STREET PITTSBURGH, PENNSYLVANIA 15233

drawing title

ENERGY NOTES, GENERAL NOTES

As Noted
date May 6, 2022
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Sheet No. A3
Project #2006



- SITE**
- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF SLOPE POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLACE BRICK POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPS TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.
- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD AS NECESSARY. AS REQUIRED, REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING JOIST FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1429 NIXON STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

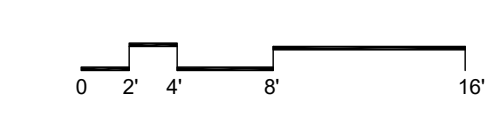
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

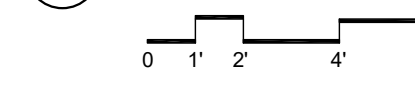
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONCERNS. PROVIDE INTERIOR DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

1 SITE PLAN
 SCALE: 1/8" = 1'-0"



2 ROOF PLAN
 SCALE: 1/4" = 1'-0"



ROOF AND SITE PLAN LEGEND

	PROPERTY FENCE	G.M.	GAS METER
	PROPERTY LINE	F.I.	FRESH AIR INTAKE
	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
	PARTY WALL	E.M.	ELECTIC METER
	GATE		
	STEPPING CONCRETE PADS		
	ICE WATER SHIELD		

ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

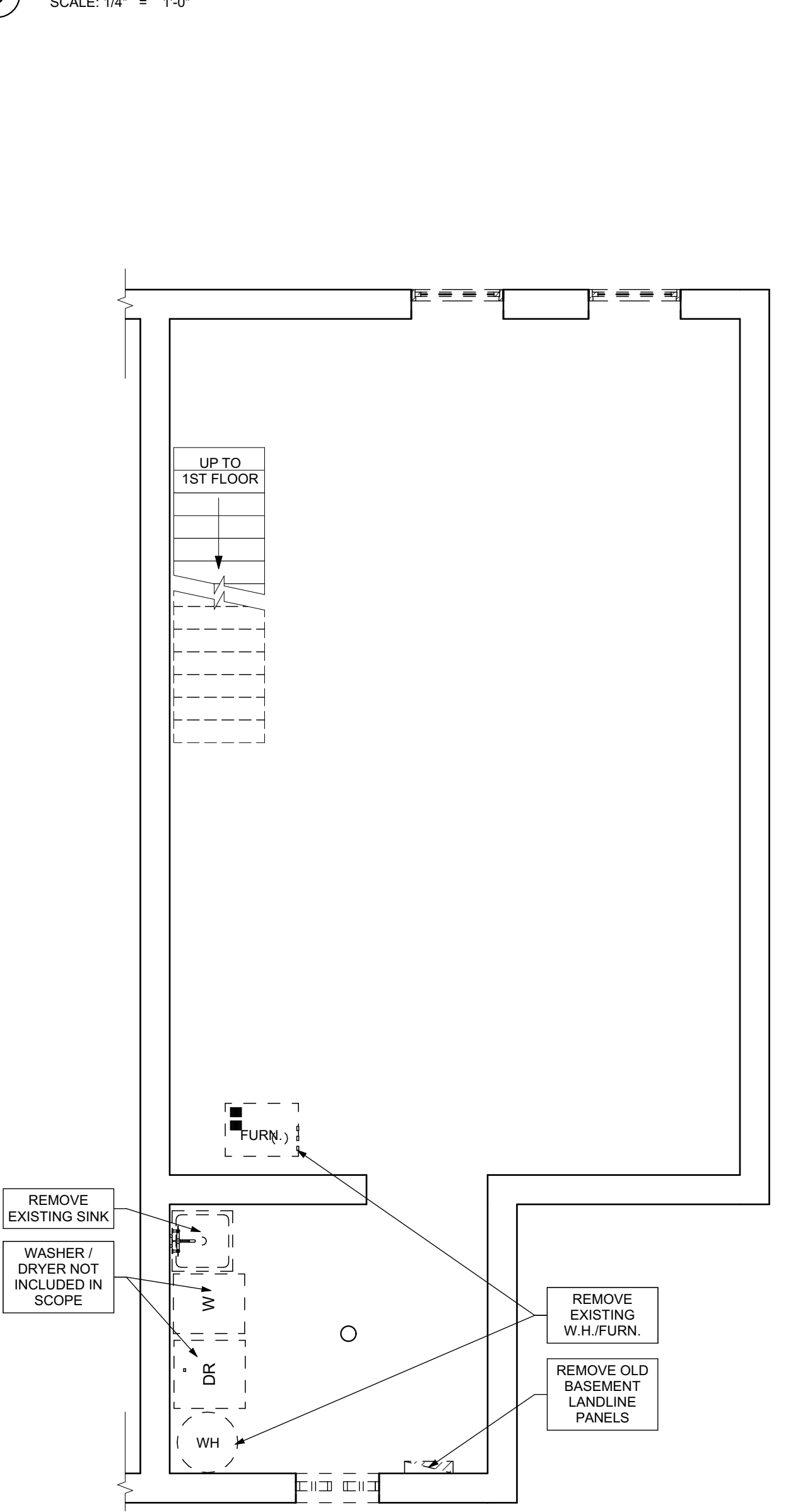
1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION WALL AND EXISTING SIDEWALK TO BE SEALED.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

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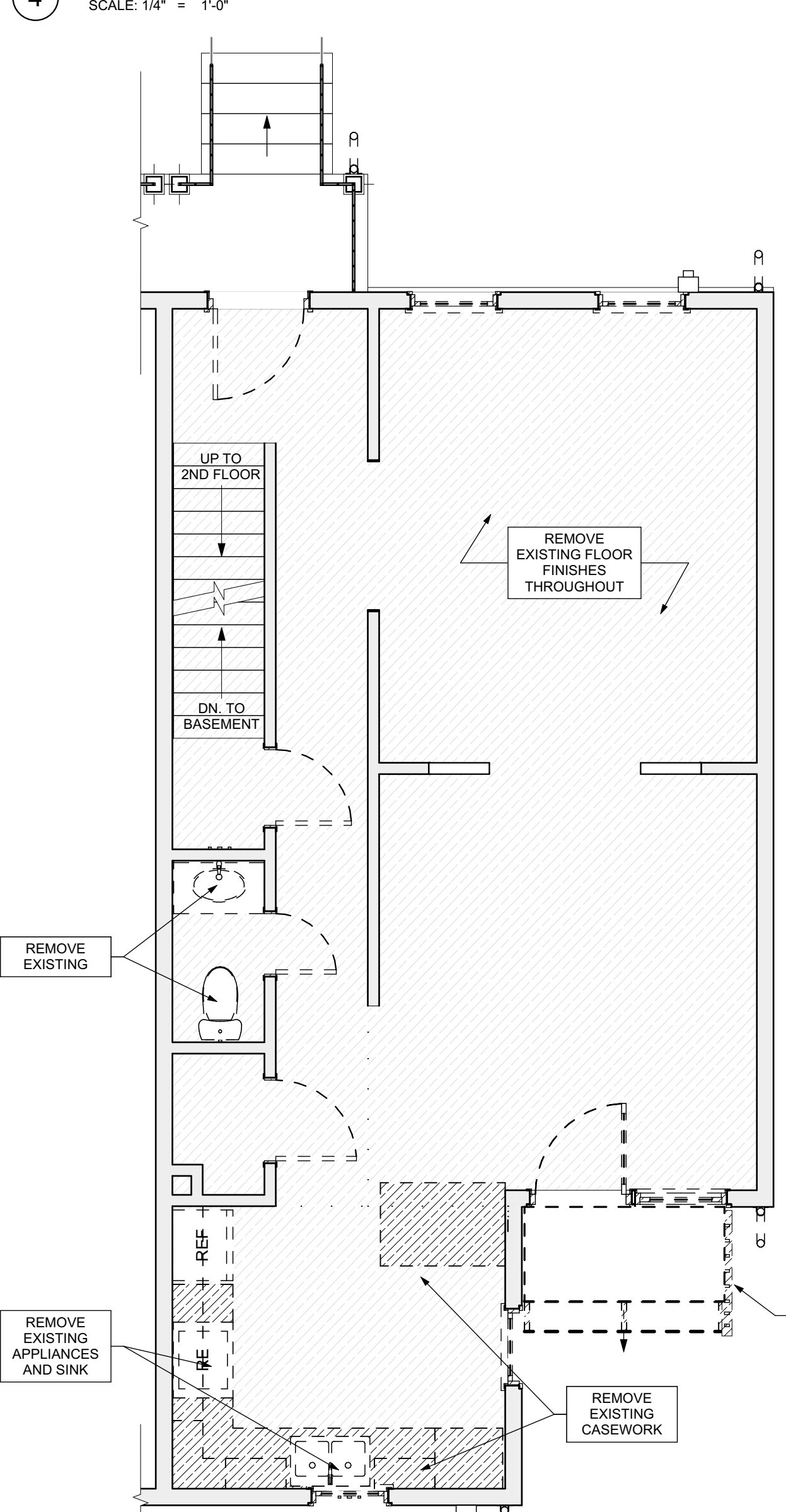
Sheet No.
A4
 Project #2006

3 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT / DEMO PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

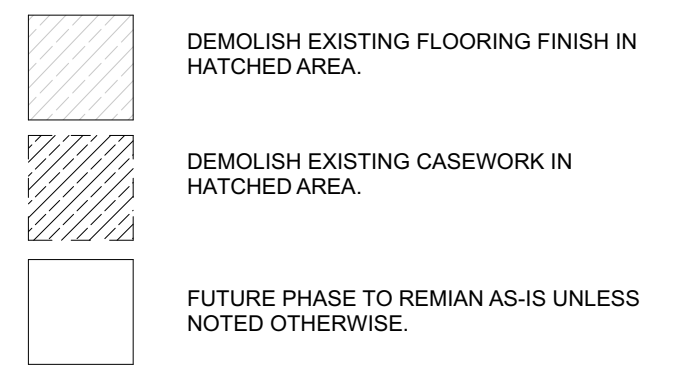


2 FIRST FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL. IF THERE IS NO JUNCTION BOX, AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEVED FOR REMOVAL/ DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

DEMOLITION PLAN LEGEND



SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

SITE

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY AND RED GUE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. W/ CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S21 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S23 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S24 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/ COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S25 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS. OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/ COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S26 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S27 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S28 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S29 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S30 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR AS SPECIFICATIONS FOR DETAILS.
- S31 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S32 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE SERVICE UP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S33 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S34 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, TRIMS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A21 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A31 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A41 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A51 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED CLOSURE OF DOOR. REHANGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A61 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS TO BE REPLACED AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A71 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x FINISHED STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A81 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A91 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A101 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A111 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2X2X12 SPREAD FOOTING. ADJUST COLUMN BRACE AND SHORE REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A121 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A131 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A141 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOOR OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTION TO BE PROVIDED BY ARCHITECT.
- A151 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A161 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A171 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A181 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P11 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P21 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M11 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M21 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON EQUIVALENT DUCT OR PURNACE.
- M31 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M41 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO RULL OR PURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

requirements

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

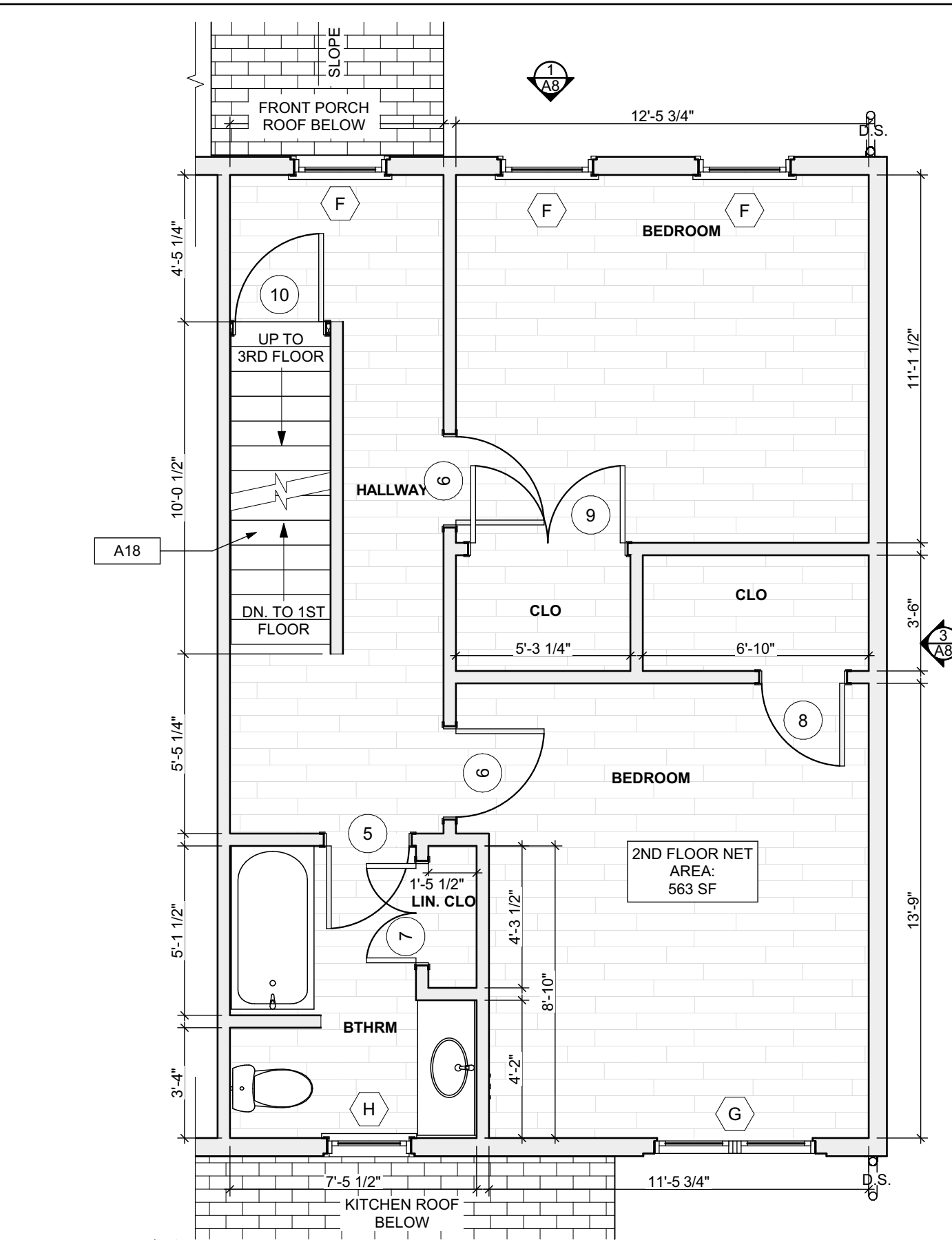
Project Location:
MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

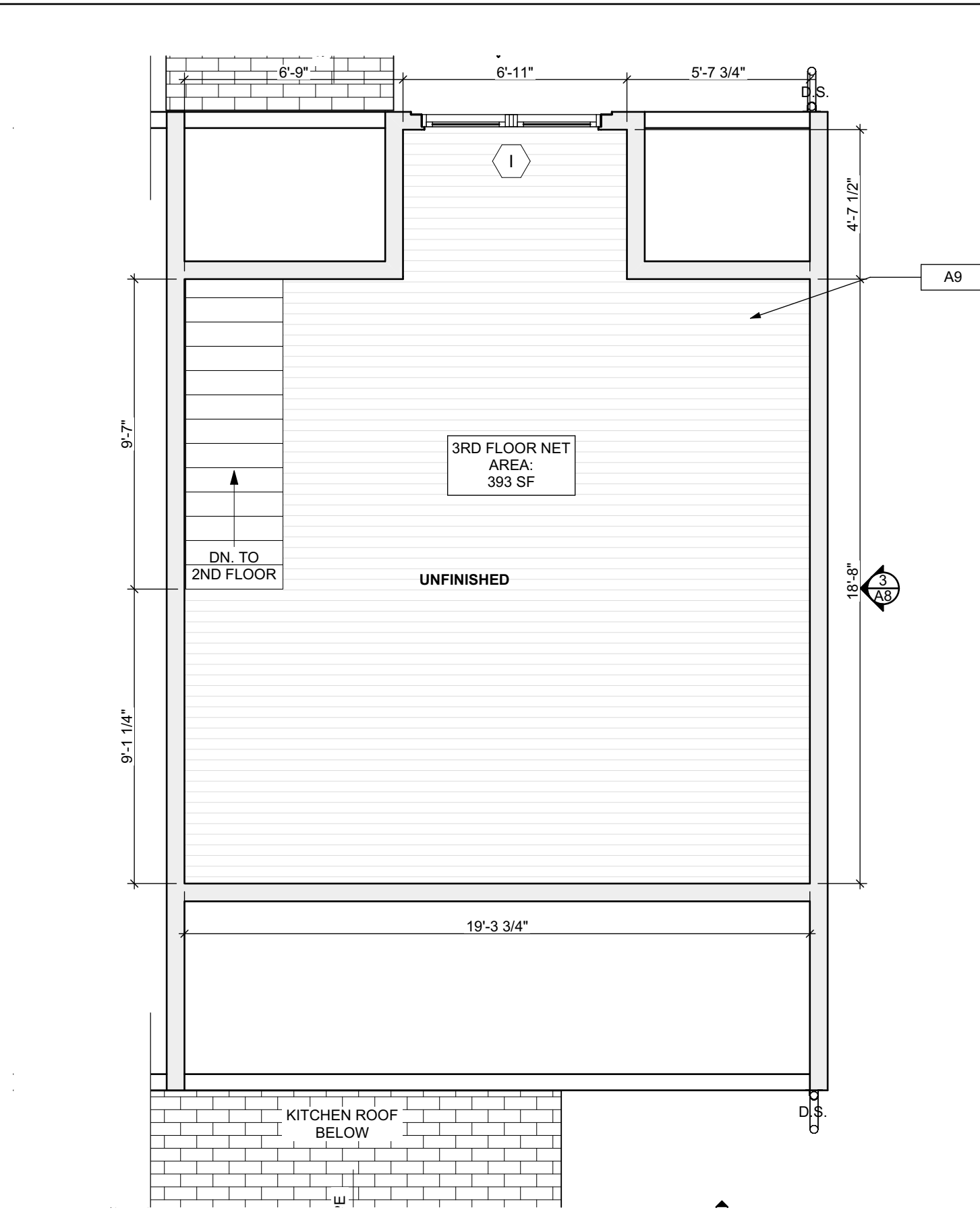
BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted
date	May 6, 2022
no.	6
of.	12

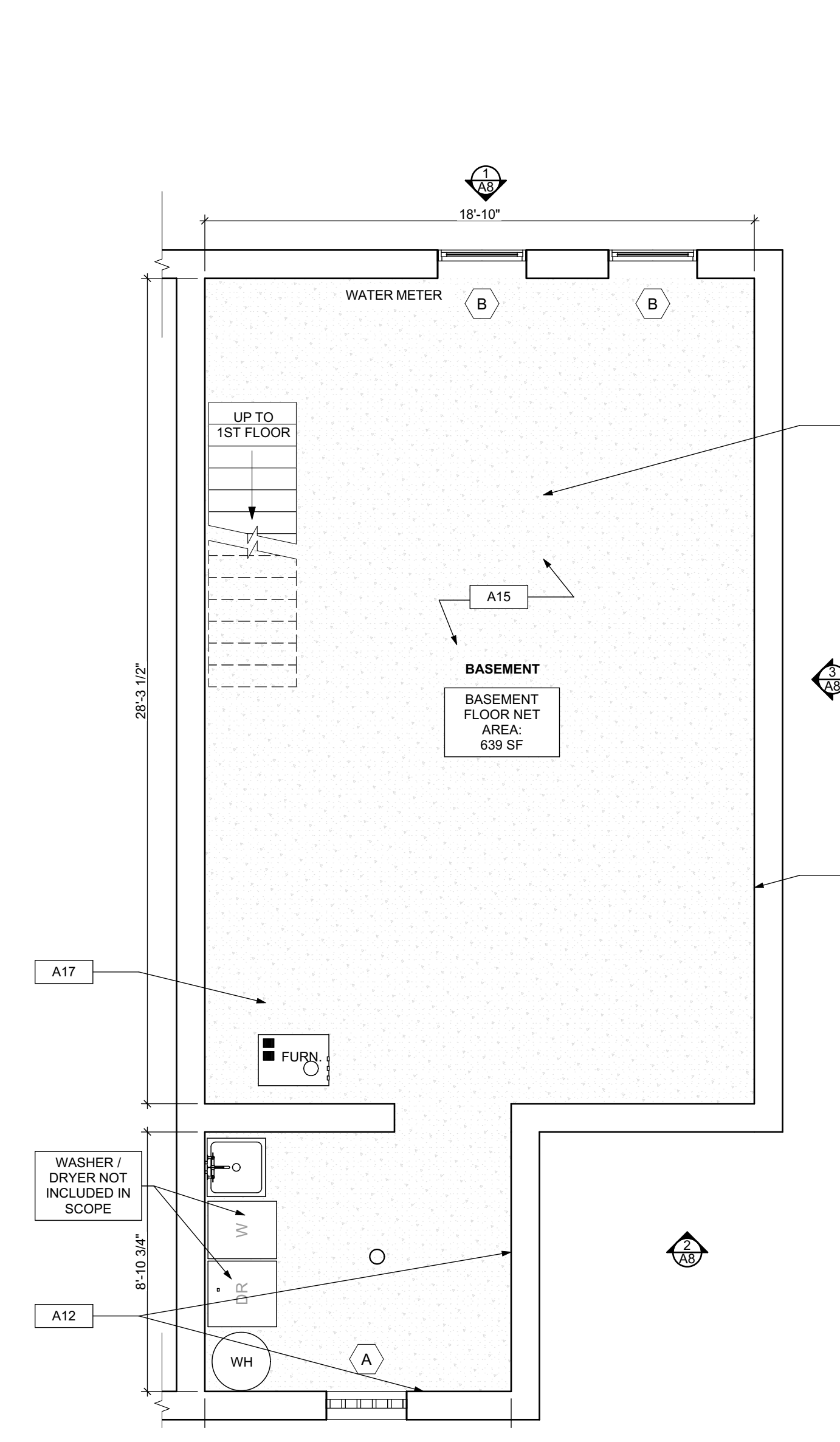
Sheet No.	A5
Project #	2006



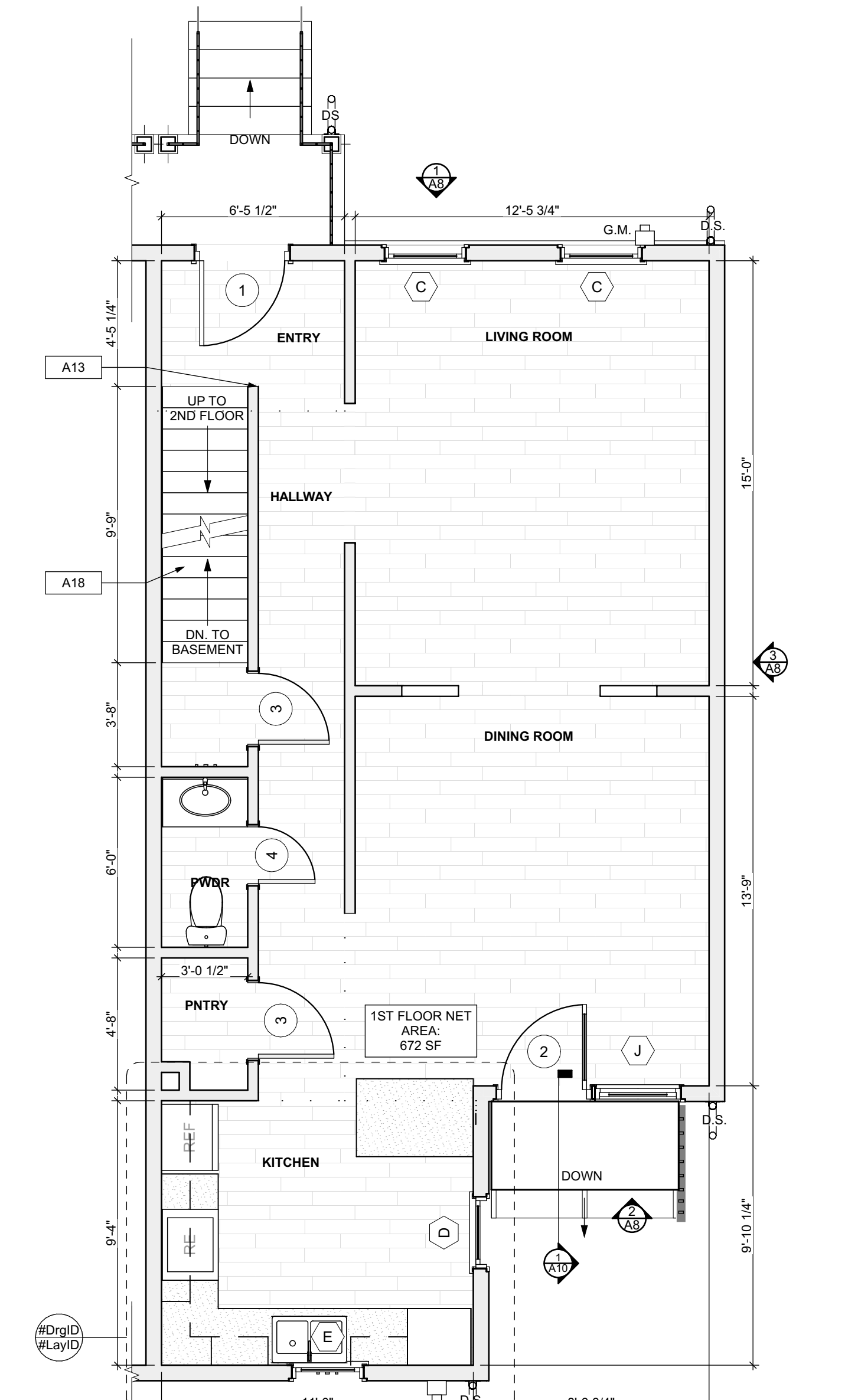
3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT FLOOR/FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

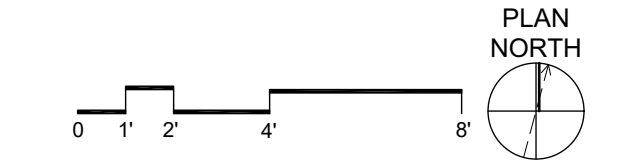


2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REGRADE. DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF HOUSE. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CEMENT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE UP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED CLOSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOODWORK AS NECESSARY. REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACKS, SPLITTING, AND WEAR. REMOVE AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2X2X1" SPREAD FOOTING AND BRACE. CHECK CONCRETE FOR FLAKES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION TO AIR QUALITY. ADD DELIMITERS. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL SUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1429 NIXON STREET
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT FLOOR/FINISH/MECH./PLUMB. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	of. A6 Project #2006
	12	

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
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- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1429 NIXON STREET
 PITTSBURGH, PENNSYLVANIA
 15233

BASEMENT FLOOR REFL.CLG./ POWER/ DATA PLAN , FIRST FLOOR REFL.CLG./ POWER/ DATA PLAN , SECOND FLOOR REFL.CLG./ POWER/ DATA PLAN , LIGHTING SCHEDULE, SMALL UNIT KEYNOTES, RCP LEGEND

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	A	Exterior Surface Mounted	KICHLER 11132AZTLED - 23W 1 LED Outdoor Wall/Flush Mount - with Utilitarian inspirations - 3 inches tall by 11 inches wide	Item # 11132AZTLED	1
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NL18	1
	C	Long Bathroom Light Bar - Replacement: Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	1
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	2
	H	LED Ceiling Hung Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

SITE

- S1 AT LOCATION SHOWN, REMOVE ± 2" OF TOPSOIL, PROVIDE CLAY AND REUSE TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE. FOUR CONCRETE WALLS CONCRETE IS PRESENT MINIMUM 3" OVER 100% REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POSTS. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BRICKS OR STAIRS PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CLAIR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

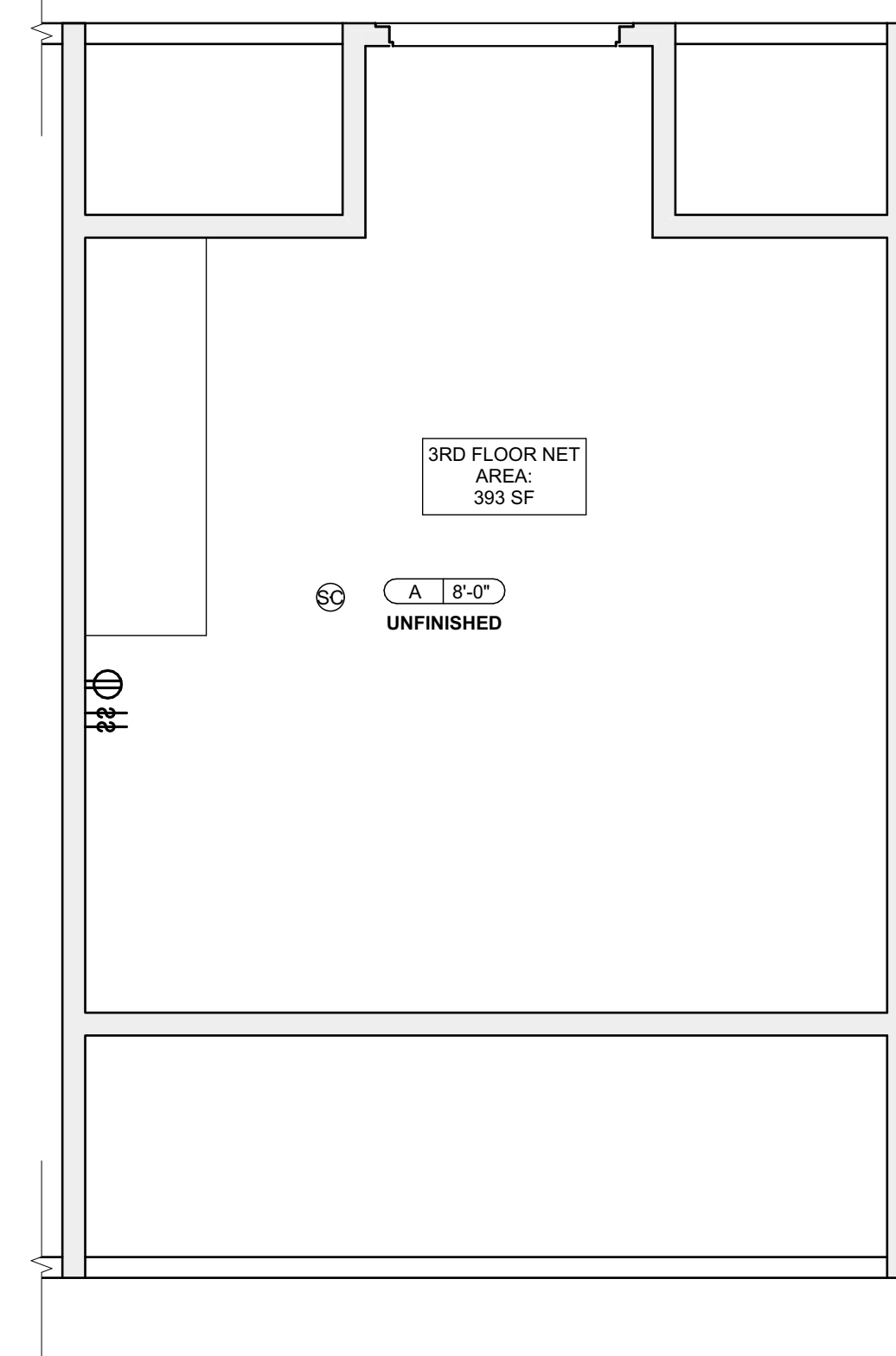
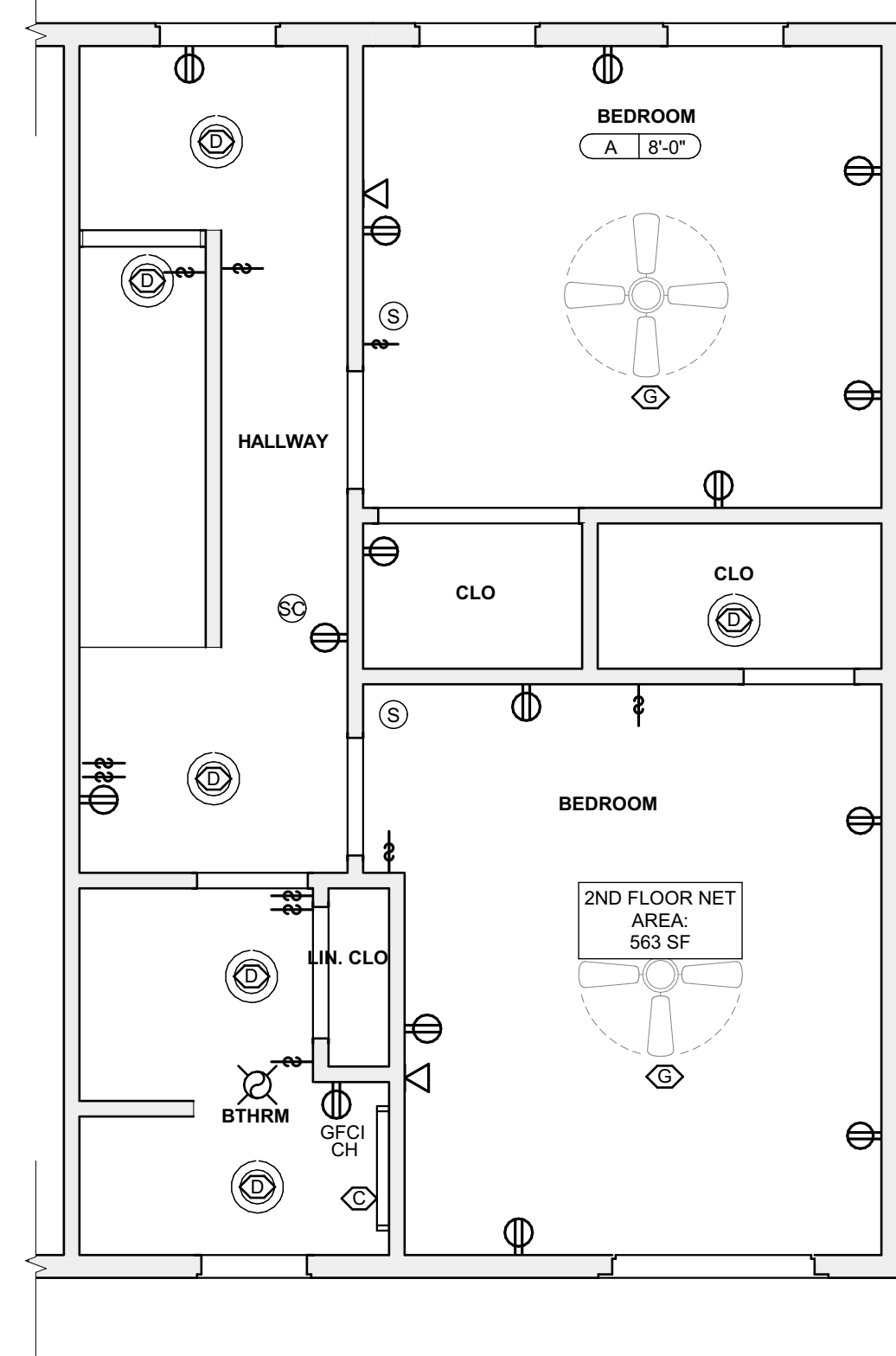
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH EXISTING.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR HEADERS AS NECESSARY AT WINDOWS. LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND BRACE. CHECK CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPER AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPER SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

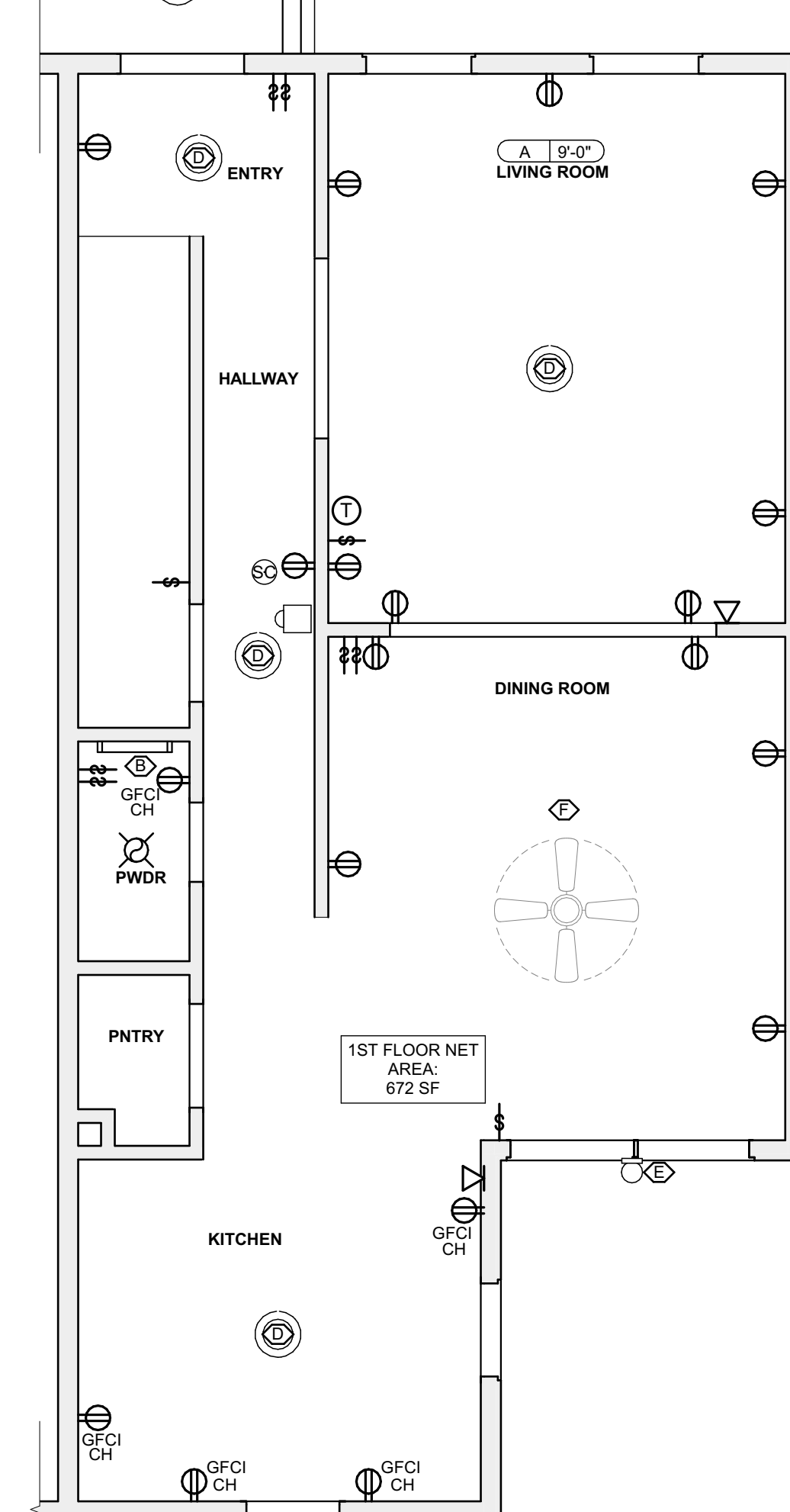
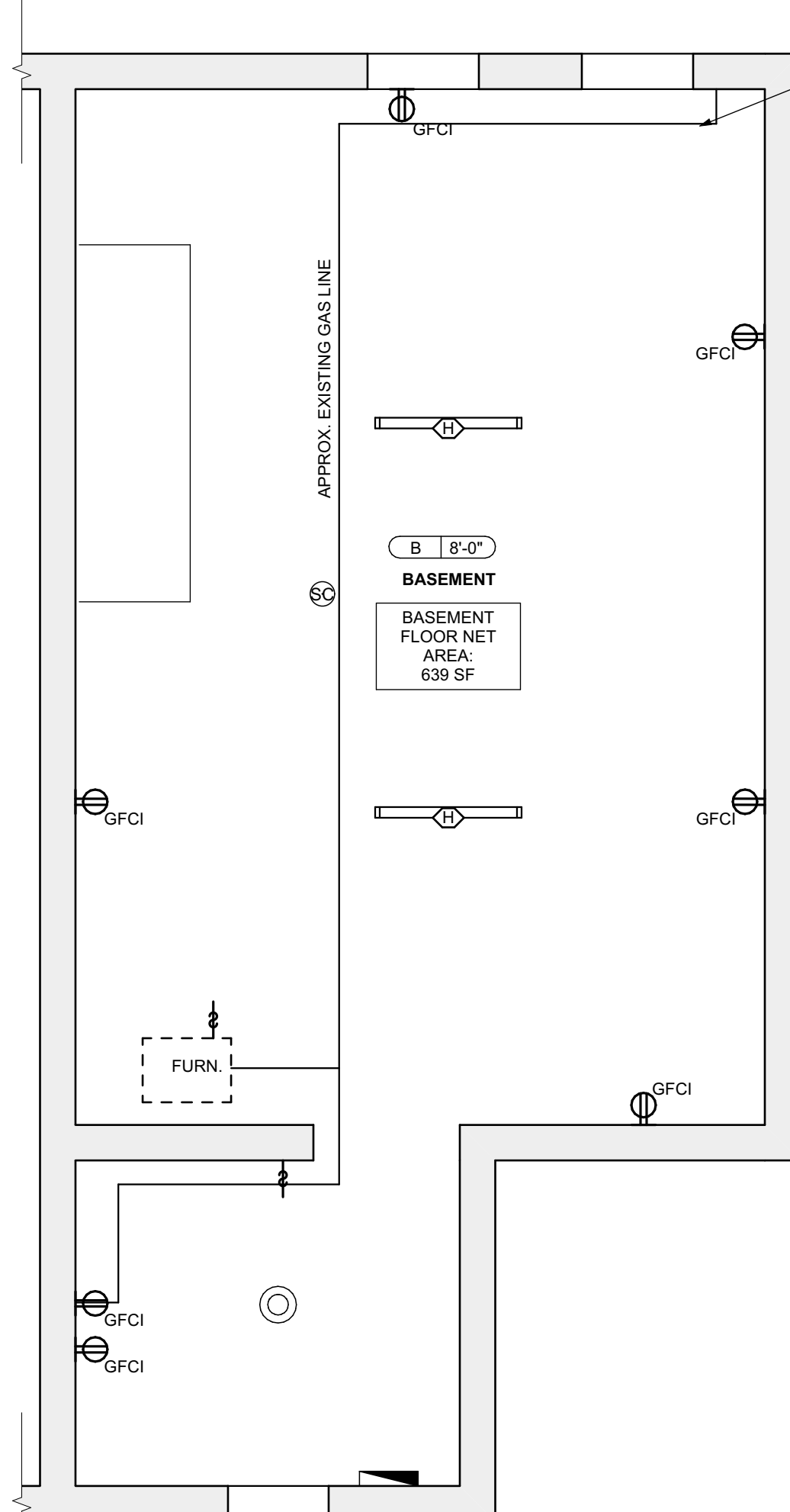
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR PURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELIMITER TO EXISTING. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR PURNACE WITH CORRECT SIZING AS NECESSARY.



3 SECOND FLOOR REFL.CLG./ POWER/ DATA PLAN
 SCALE: 1/4" = 1'-0"

4 THIRD FLOOR REFL.CLG./ POWER/ DATA PLAN
 SCALE: 1/4" = 1'-0"



1 BASEMENT FLOOR REFL.CLG./ POWER/ DATA PLAN
 SCALE: 1/4" = 1'-0"

2 FIRST FLOOR REFL.CLG./ POWER/ DATA PLAN
 SCALE: 1/4" = 1'-0"

RCP LEGEND - (See Specifications for basis of Design)

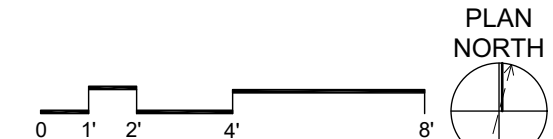
- Ⓢ SMOKE ALARM. PROVIDE NEW WHERE SHOWN
- Ⓢ SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- Ⓢ ELECTRICAL METER
- Ⓢ THERMOSTAT
- Ⓢ DATA RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- Ⓢ GFCI GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ GFCI CH GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ LIGHT SWITCH
- Ⓢ EXHAUST FAN
- Ⓢ DOORBELL
- A 1'X'1' GWB CEILING / CEILING HEIGHT
- B 1'X'1' UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.





1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

SITE

- S1 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVEMENTS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR PER SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYING OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND SHEATHING AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT APPLICABLE. LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS OR PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER RESISTANT MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTAMINATION. ADD DELIMITOR. CHECK FOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

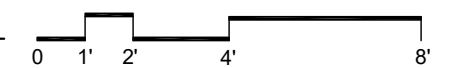
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HACP
200 ROSS STREET
PITTSBURGH, PA 15219

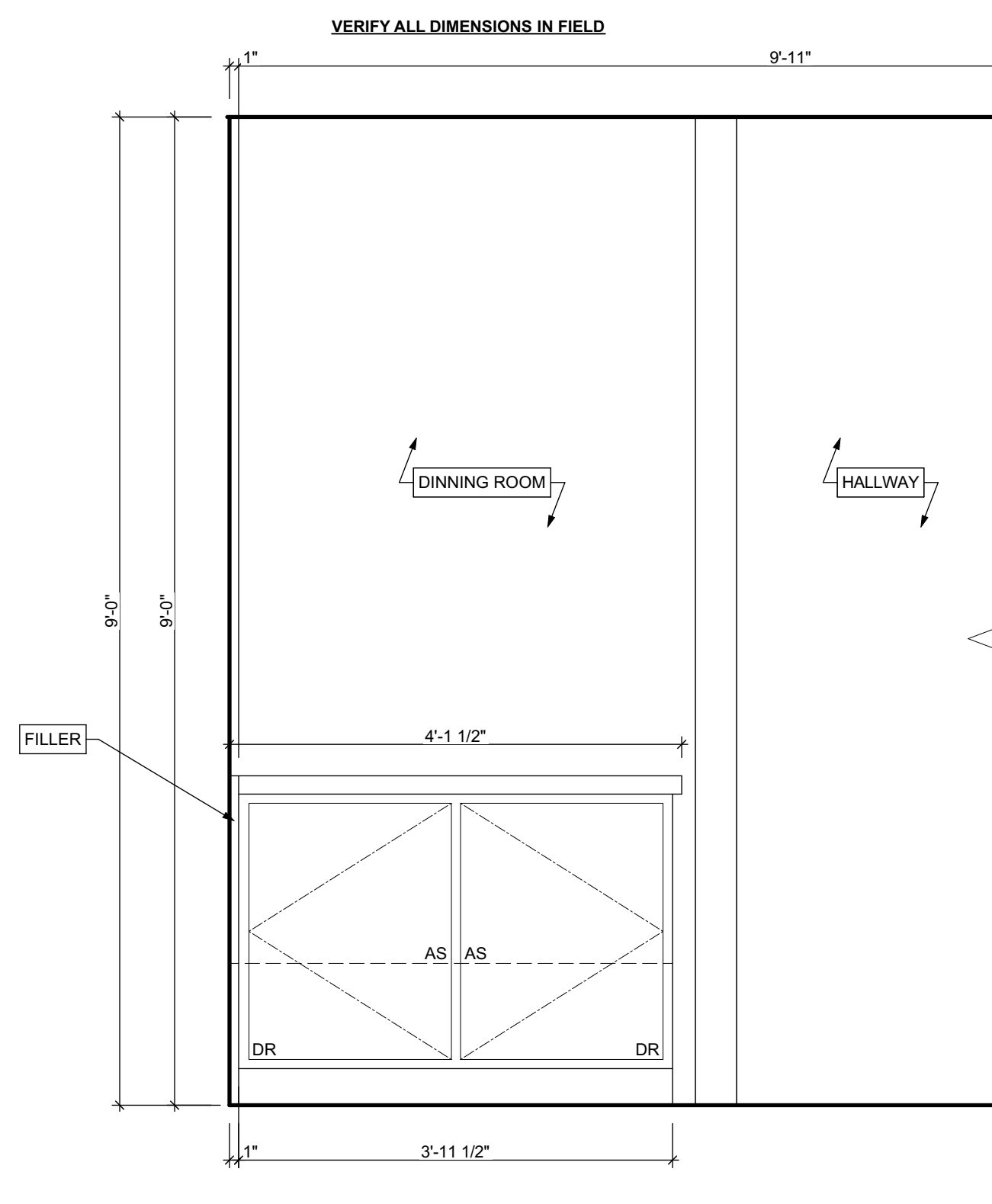
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MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

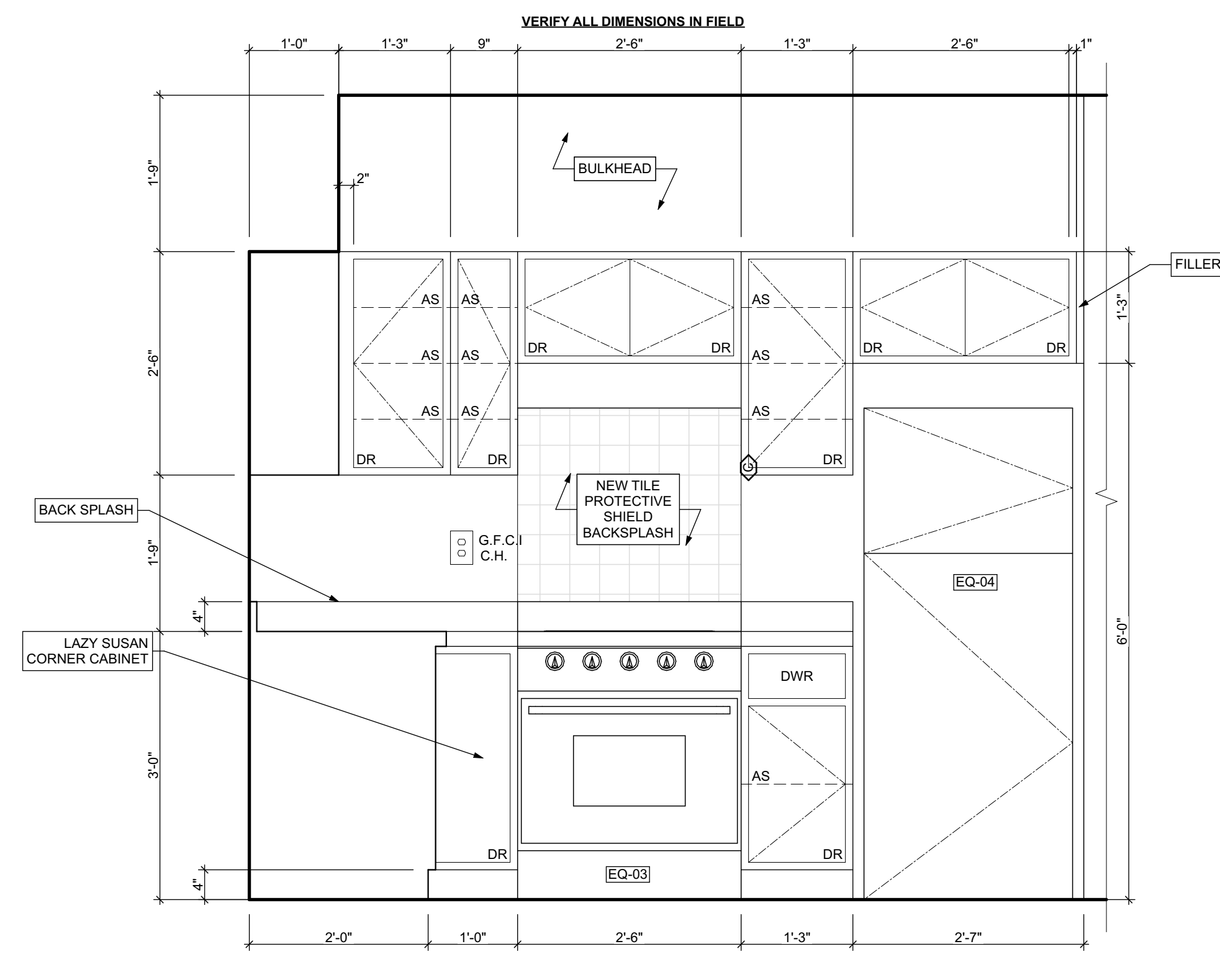
NORTH ELEVATION, SOUTH ELEVATION, EAST ELEVATION, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	9	A8
of.	12	
		Project #2006

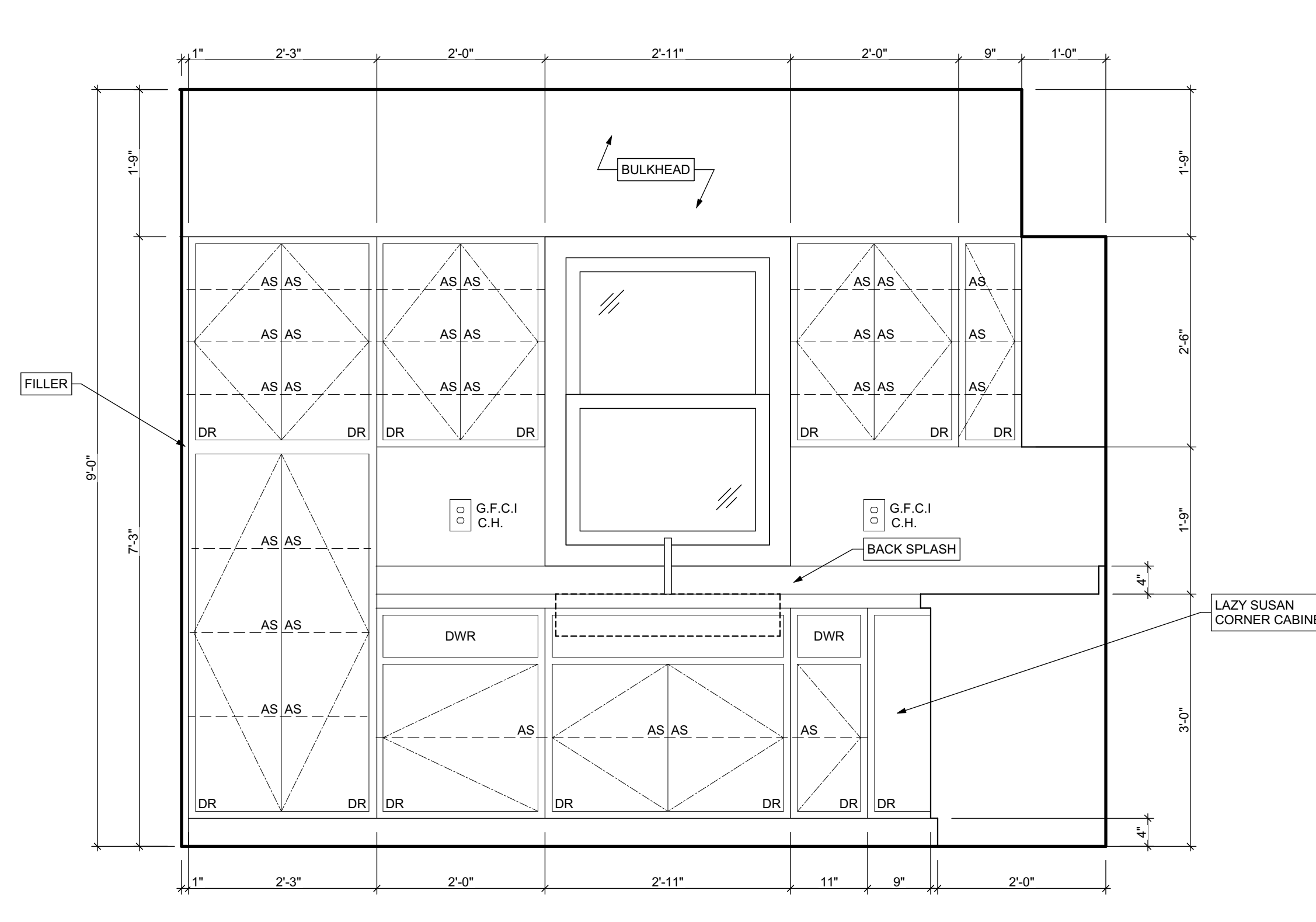




1 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 KITCHEN ELEVATION 03
SCALE: 3/4" = 1'-0"

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

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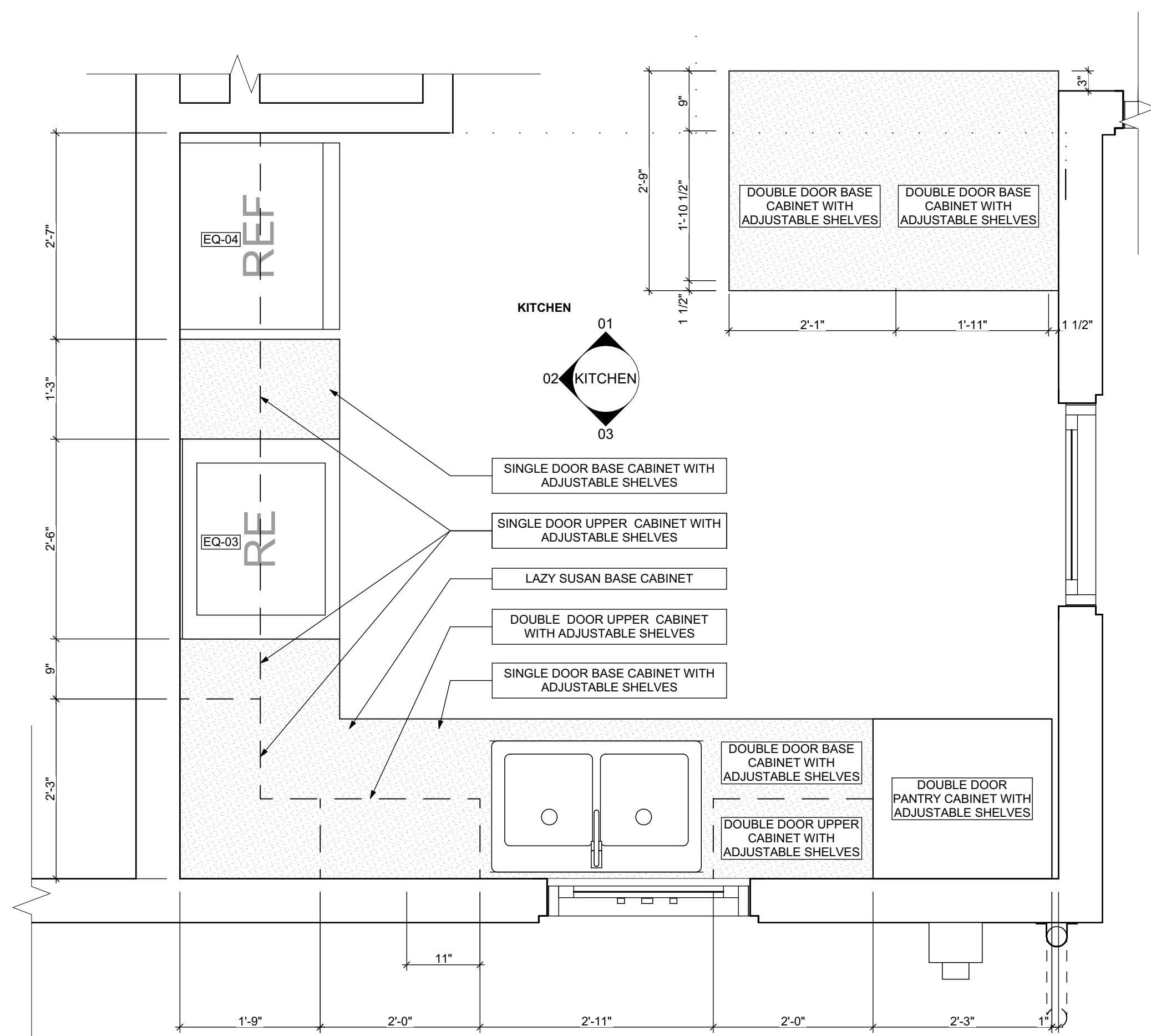
project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 02,
KITCHEN ELEVATION 03, FIRST
FLOOR KITCHEN ENLARGED
PLAN



4 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	2	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	4	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	4	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	4	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC66	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASEBOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	WH	1	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	-	0	A.O. SMITH	PROLINE® XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	-	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	2	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	-	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391 S-020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	1	MOEN	T269E3P / TB342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

- ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
- SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP. 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

GENERAL NOTE:
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

scale
As Noted

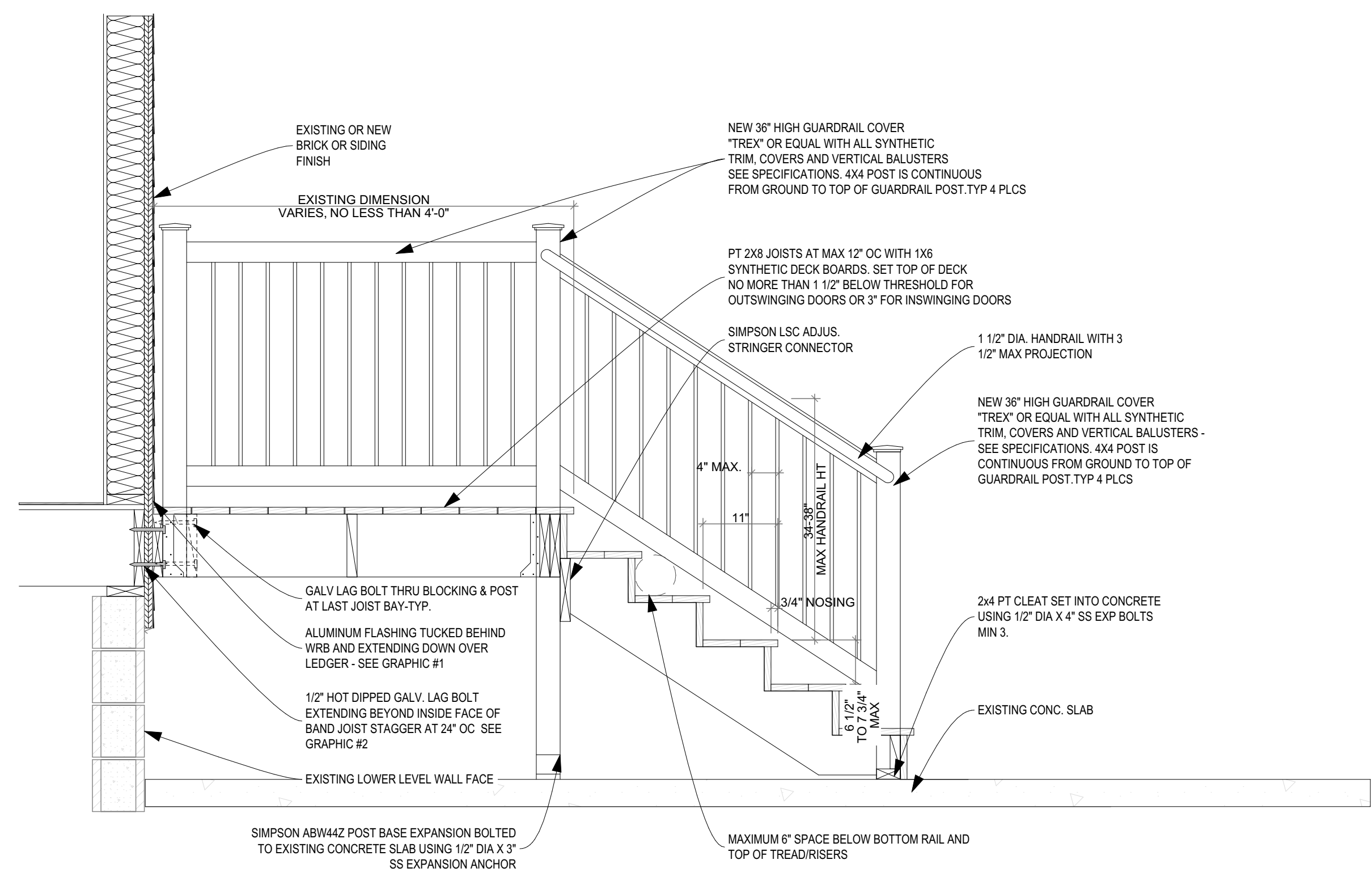
date
May 6, 2022

no. 10 of 12

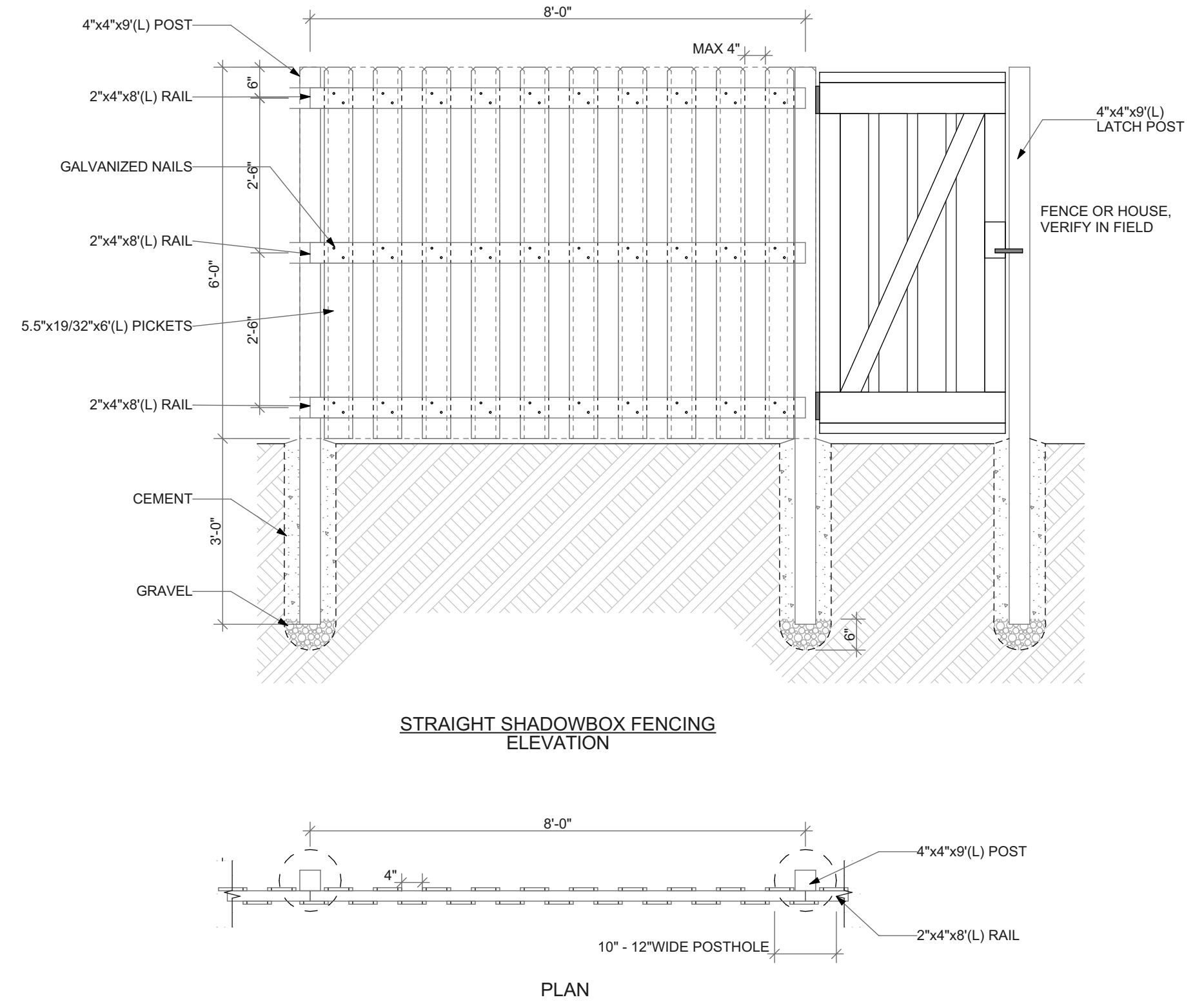
Sheet No.

A9

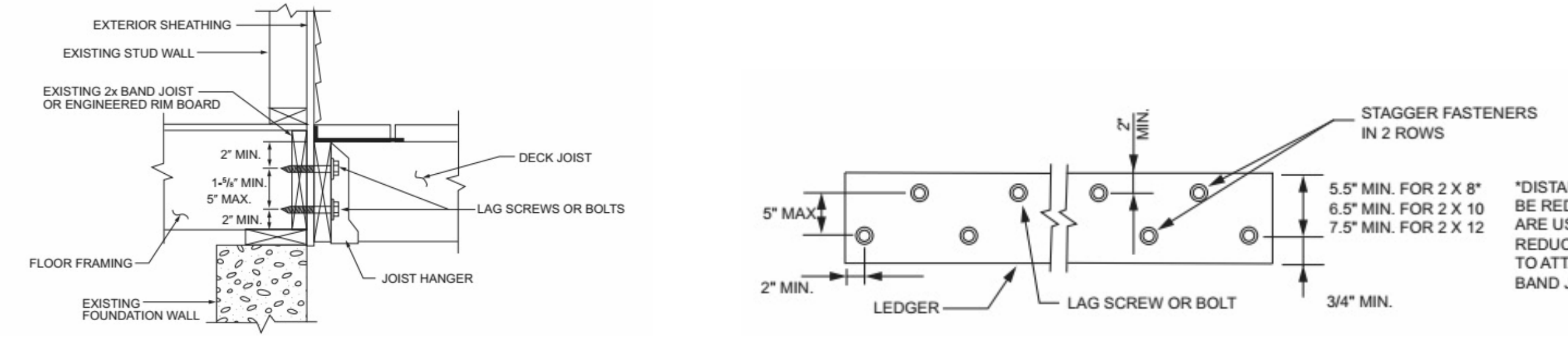
Project #2006



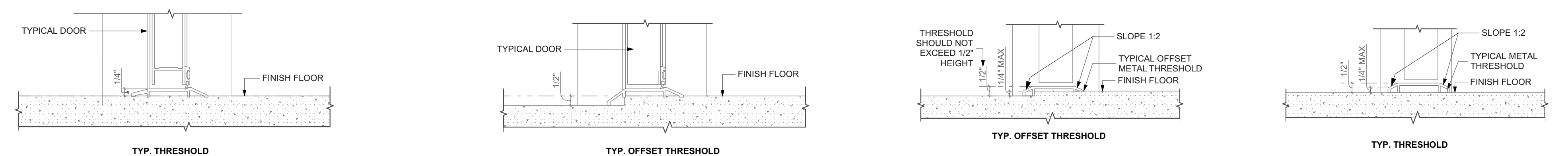
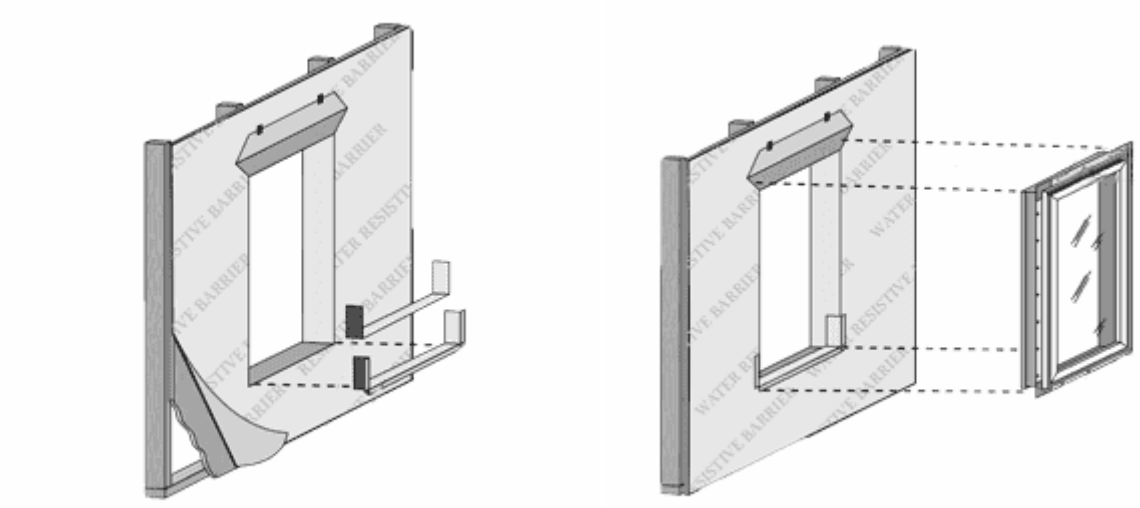
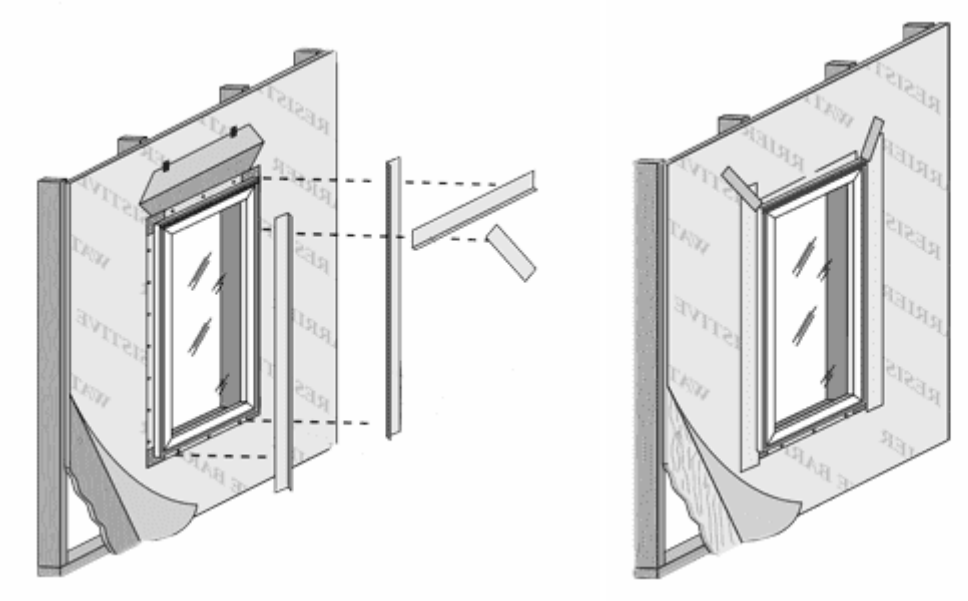
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"

5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

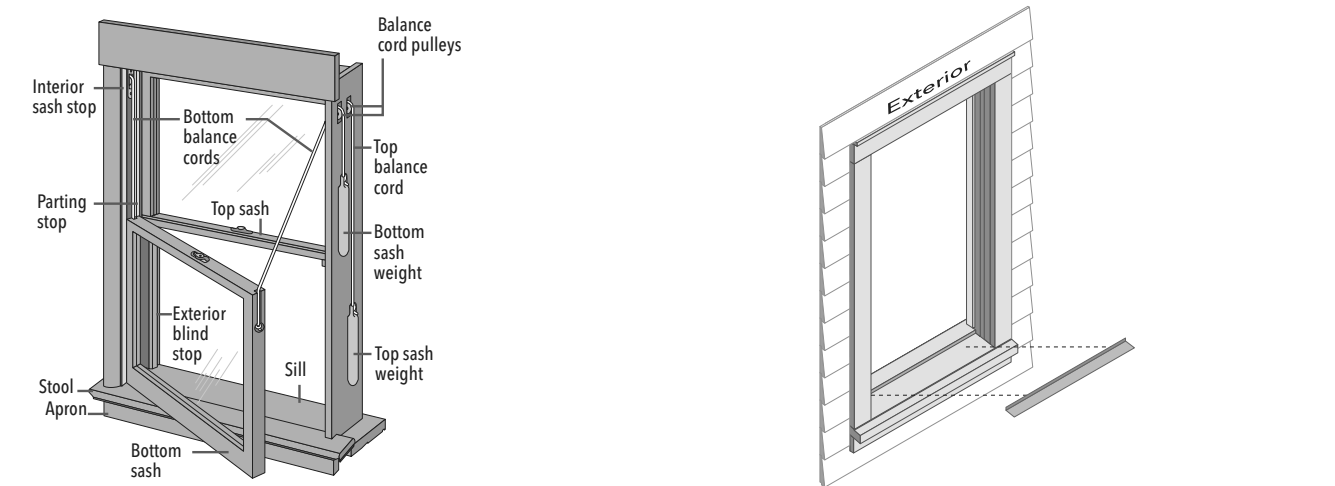
Project Location:
MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	11	A10
of.	12	
		Project #2006

PELLA POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

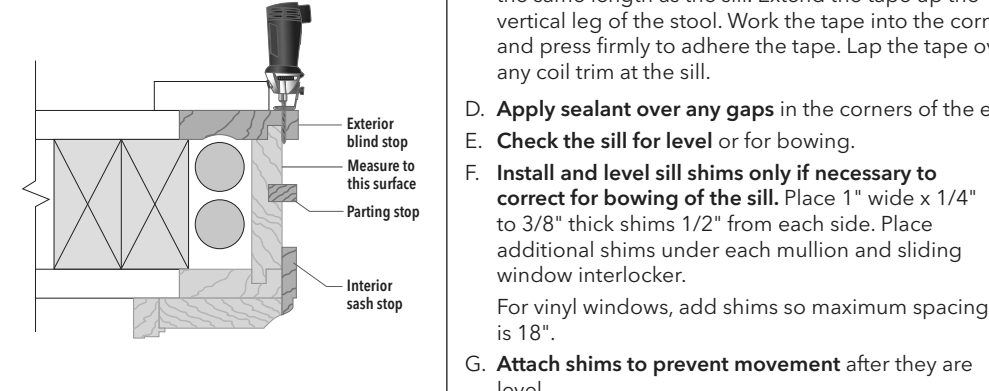


1 REMOVE THE EXISTING SASHES

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

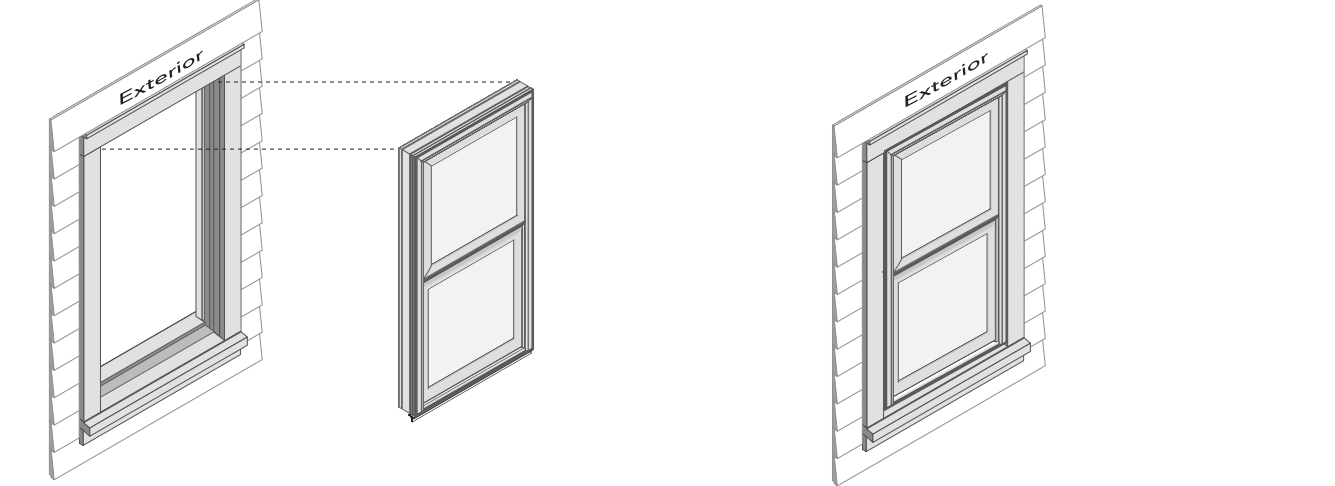
- Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.
- Remove the exterior stops at the head and jamba using a chisel, reciprocating saw, rotary tool or equivalent. Cut them flush with the side of the frame.
- Carefully remove the upper sash and dispose of it properly.



- Remove the head and jamba parting stops (if applicable) by pulling or prying them out of the frame.
- Remove any remaining jamb liner material (if applicable).
CAUTION: Some balances are spring-loaded.
- Insulate the weight chamber (if desired).

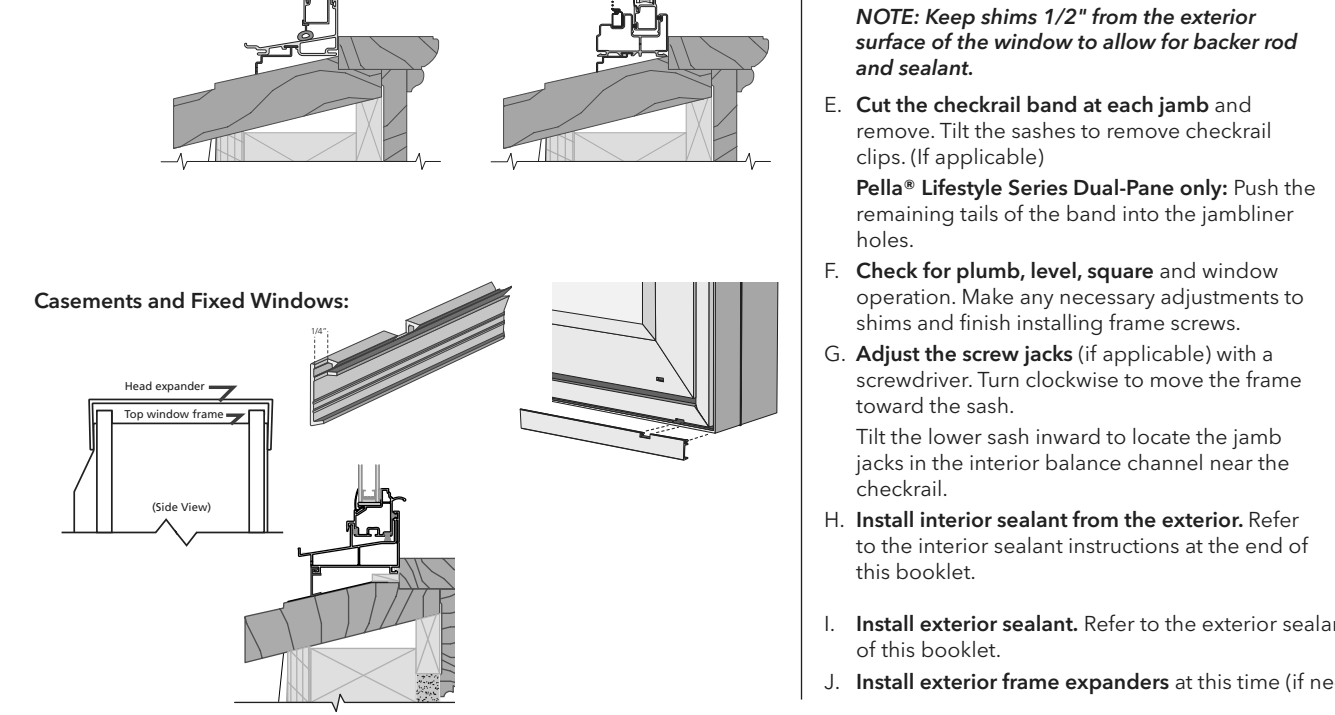
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PELLA POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



2 PREPARE THE WINDOW (Continued)

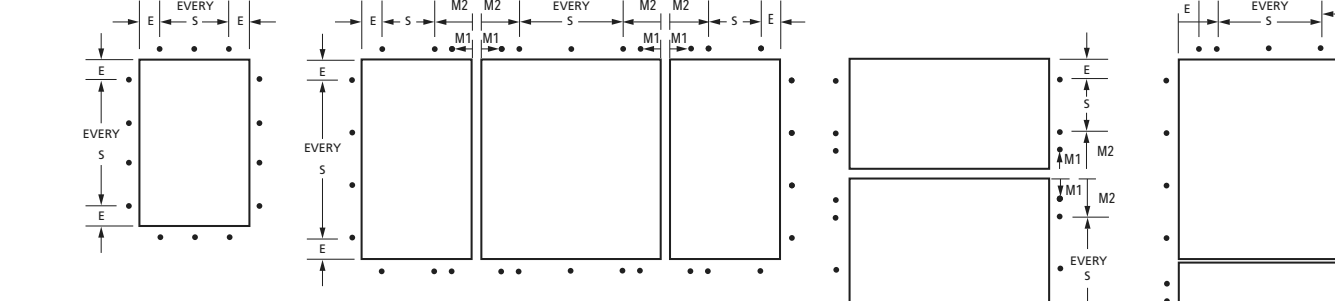
- Inspect the existing window frame. Repair or replace any deteriorated parts.
- Clean the opening of any dirt, debris or excess old paint.
Note: If using aluminum coil exterior trim, apply it now.
- Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.
- Apply sealant over any gaps in the corners of the existing frame.
- Check the sill for level or for bowing.
- Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.
For vinyl windows, add shims so maximum spacing is 18".
- Attach shims to prevent movement after they are level.
NOTE: Improper placement of shims may result in bowing the bottom of the window.



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PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



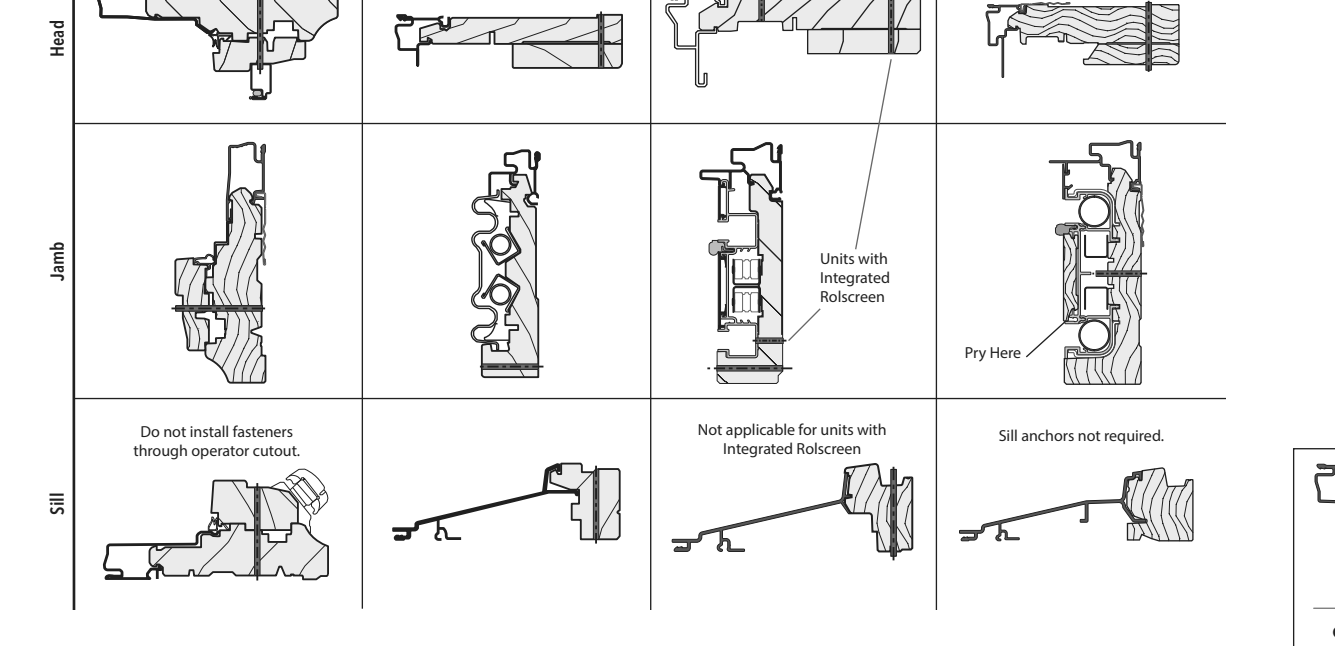
PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x2" Finish Screw	
Double- or Single-Hung	6"	16"	3"	6"	#8x2" Finish Screw	For windows with integrated RollScreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid RollScreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x2" Finish Screw	
Monumental DH > 54" x 96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sash and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame for secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.

* M1 anchor required if design pressure exceeds 20 psf.
** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



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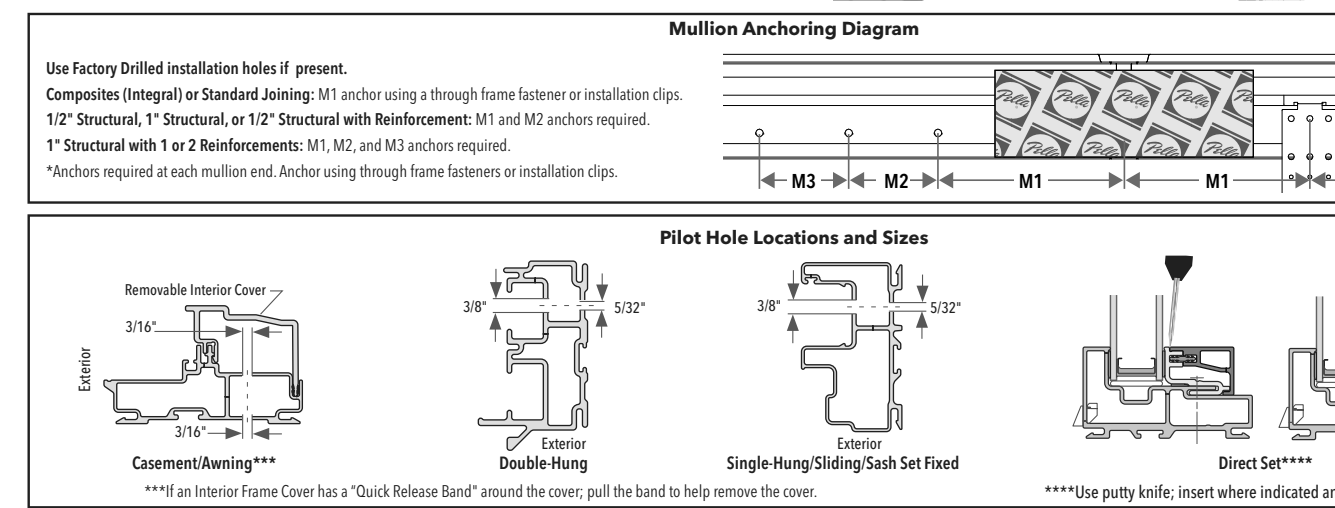
PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed						Installation clips required for anchoring at the sill.
Single Hung	6"	16"	6"	3"	#8 x 2-1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	6"	3"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning - Vent and Fixed	6"	16"	6"	3"	#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).
Direct Set	6"	16"	6"	3"	#10 x 3" Pan Head (provided)	

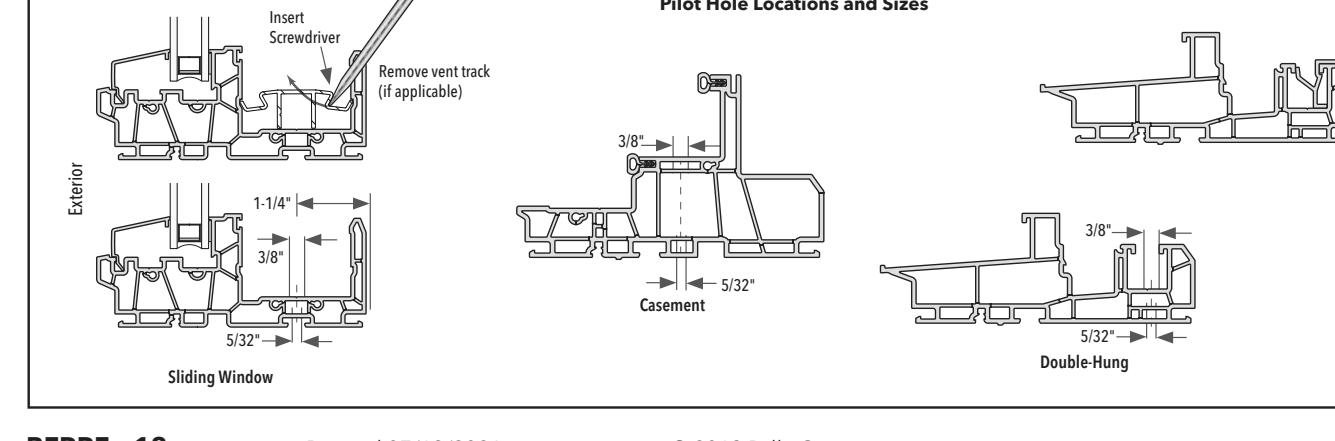
Clip Anchor Method Only
Slide clips into the frame groove and locate per the anchoring instructions. Use a small piece of flashing tape to hold the clips in place.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

* Use Factory Drilled installation holes if present.
** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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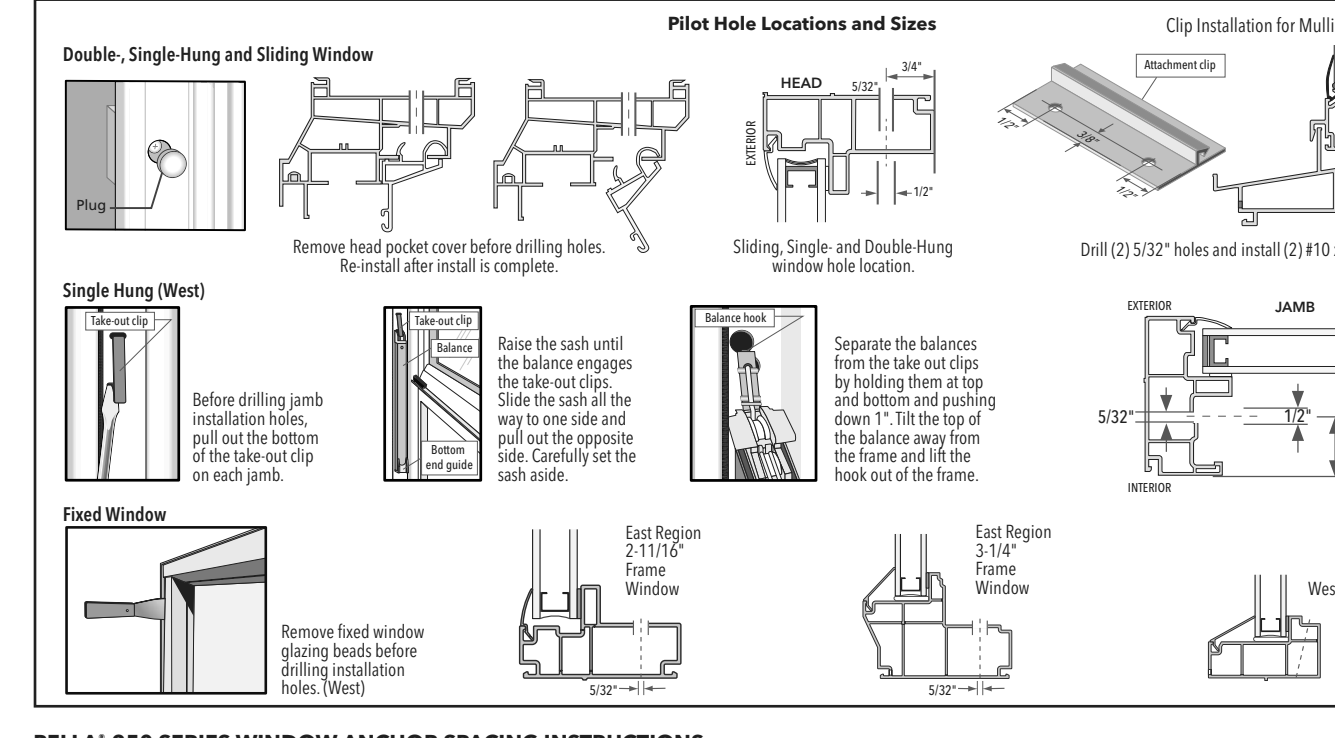
PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood***	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double-Hung (East)	6"	16"	4"	8"	#10 x 2" Pan Head (provided)	High Performance DH (3) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (4) #8 x 2" screws at head mullion ends and (4) clips at sill mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PG50 Performance install.
Fixed Window	6"	16"	4"	8"	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

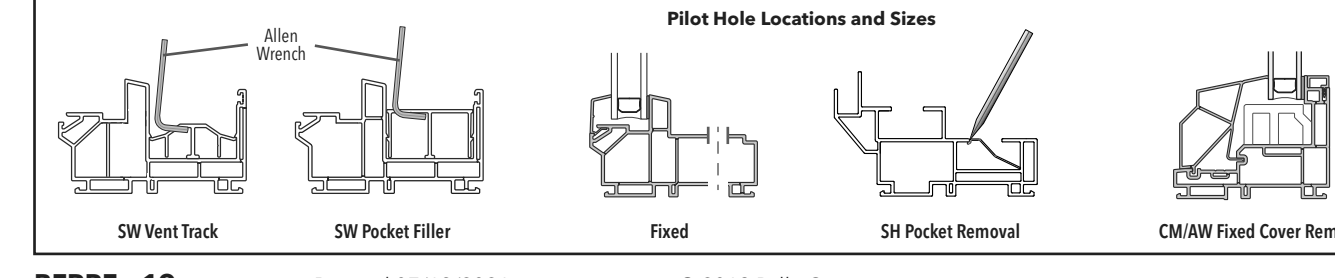
All venting products: Head and sill anchors are required on composite only.
*** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood***	Special Notes
CM/SH (single units)						Use self-adhesive spacer at all installation holes for a PG50 Performance install.
DH / SH / FX	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW & PG50	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
FX CM/AW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	

All venting products: Head and sill anchors are required on composite only.
*** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.
*** For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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PELLA INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

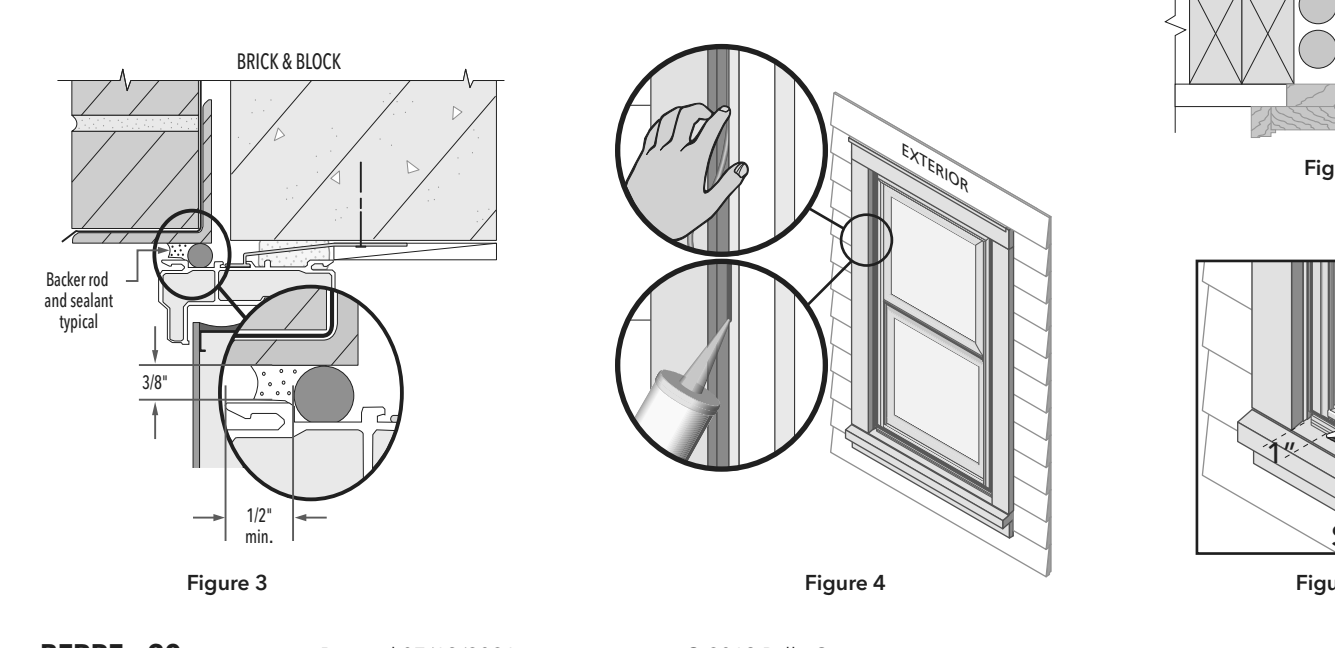
- Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.
NOTE: Apply foam between the frame and rough opening. NOT between jamb extensions and the rough opening.
- To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal.
Backer rod (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.

For windows set against drywall return or wood interior stops:

- Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam.
Note: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.

Exterior Sealant Instructions

- Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.
- Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant.
NOTE: Do not leave gaps or weeps in the brick or siding, where the wall is designed to manage water do not fill gaps or weeps in the brick or siding. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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- All work shall be installed in accordance with applicable codes and regulations.
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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1429 NIXON STREET
PITTSBURGH, PENNSYLVANIA
15233

drawing title

WINDOW REMOVAL / REPLACEMENT (PELLA)

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	12	A11 Project #2006
of.	12	