

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification
Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics

Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.

Smart Site Selection - The development is located on, or is a(n):

Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)

Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)

Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

Enterprise Green Communities - 2020

LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) - Silver

LEED v4 BD+C Multifamily Midrise - Silver OR

LEED v4 BD+C New Construction & Major Renovation - Silver (4 stories or more)

ICC 700-2020 National Green Building Standard - Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 208

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The preservation development will achieve certification under one of the green building standards indicated below:

Enterprise Green Communities - 2020 Moderate Rehab

LEED v4 OM - Multifamily - Certified

ICC 700-2020 National Green Building Standard Under Section 305.2 - Whole Building Rating - Bronze

ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional Areas Rating - Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawing/specification package.

New Construction

For 100% electric dwellings/buildings: HERS Index of 60 or less (without solar PV)

For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.pshus.org or www.passive.de/en for additional guidance.)

To qualify for these points, the applicant must contract with a qualified Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WUFI) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WUFI to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/roof/door construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a third-party who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. **Passive House certification is required.**

*Qualified is defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a qualified consultant.

Substantial Rehab: For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)

For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Preservation (Moderate Rehab): For 100% electric dwellings/buildings: HERS Index of 80 or less (without solar PV)

For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

Energy Efficiency Goals (Only one of the following may be selected)

Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program as verification for these points but must follow the MFRH program to achieve the Energy Star® label.

All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic planes shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and ext signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballasts, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

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TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 209

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

New Construction

For 100% electric dwellings/buildings: HERS Index of 60 or less (without solar PV)

For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehab: For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)

For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Preservation (Moderate Rehab): For 100% electric dwellings/buildings: HERS Index of 80 or less (without solar PV)

For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

Energy Efficiency Goals (Only one of the following may be selected)

Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMRate HERS rating program as verification for these points but must follow the MFRH program to achieve the Energy Star® label.

All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic planes shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and ext signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballasts, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

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TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I certify that:

To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.

The Fair Housing Act of 1988 & Fair Housing Design Manual

ANSI A117.1-2009 (or edition currently adopted by the PA IJC)

Pennsylvania Uniform Construction Code

Uniform Federal Accessibility Standards (UFAS)

Section 504 of the Rehabilitation Act of 1973

2010 ADA Standards for Accessible Design

Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)

NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

Accessibility

For New Construction and Substantial Rehabilitation Developments:

As the design architect, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

Number of accessible units required under local mandate: 0

Number of accessible units required under state mandate: 0

Number of accessible units required under federal mandate: 0

Number of fully accessible units provided: 0

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

Number of existing fully accessible units (by current standards): 0

Number of fully accessible units provided: 0

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

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TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 211

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Large Family Units

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:

*High rise developments and senior housing cannot qualify for this category.

>15 - 20% of all units

>20 - 25% of all units

>25% of all units

>15-10% of all units (suburban/rural developments only)

DESIGN ARCHITECT

Signed: [Signature] Date: 5/19/2021

Print: Fuku Architects, Pc

Firm: Fuku Architects, Pc

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____

Print: _____

Signed: _____ Date: _____

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 212

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification
Of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply.) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specified threshold criteria.

Development Amenities

As the DESIGN ARCHITECT, I certify that:

An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, as to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)

Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.

All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation)

An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)

Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments.)

Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)

Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.

Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

Visibility

As the DESIGN ARCHITECT, I certify that:

All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be Visible. (In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be Visible. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet Visibility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide Visible units where feasible.)

All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be Visible. (In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be Visible. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet Visibility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor

MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1327 COLUMBUS AVENUE PITTSBURGH PENNSYLVANIA 15233 3 BEDROOM UNIT

Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PRLIM SET	
MANCHESTER SCATTERED SITES MAP	
CODE AND CONTACT INFO	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
HISTORIC BRICK WALL SECTION	
SIDING WALL SECTION	
FINISH SCHEDULE	
DOOR SCHEDULE (WITH EXISTING)	
WINDOW SCHEDULE	
INTERIOR STAIR DETAIL	
DOOR TYPES	
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	
ENERGY NOTES	
GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF	
SITE PLAN	
ROOF AND SITE PLAN LEGEND	
ROOF PLAN NOTES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
DEMOLITION PLAN LEGEND	
GENERAL DEMOLITION NOTES	
SMALL UNIT KEYNOTES	
GRAPHIC SCALES	
THIRD FLOOR / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
BASEMENT / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
A6 FLOOR/FINISH/MECH/PLUMB. PLAN	
FLOOR PLAN LEGEND	
SMALL UNIT KEYNOTES	
THIRD FLOOR/FINISH/MECH/PLUMB. PLAN	
FIRST FLOOR/FINISH/MECH/PLUMB. PLAN	
BASEMENT/FINISH/MECH/PLUMB. PLAN	
SECOND FLOOR/FINISH/MECH/PLUMB. PLAN	
GRAPHIC SCALES	
A7 REFLECTED CEILING / POWER / DATA PLANS	
LIGHTING SCHEDULE	
SMALL UNIT KEYNOTES	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
BSMT. REFL. CLG. / POWER / DATA PLAN	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
GRAPHIC SCALES	
RCP LEGEND	
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN	
A8 NORTH / SOUTH ELEVATION	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
HISTORIC KEYNOTES	
SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION01	
KITCHEN ELEVATION02	
A10 DETAILS	
WOOD FENCE DETAIL	
DECK SECTION DETAIL	
DECK ENLARGED DETAILS	
WINDOW INSTALLATION UNDER VINYL SIDING	
EXTERIOR DOOR THRESHOLD	

Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13

General Building / Project Information	
Classification of Work	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,230 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	7

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgf@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



1 MANCHESTER SCATTERED SITES MAP
NOT TO SCALE

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1327 COLUMBUS AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

MANCHESTER SCATTERED SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO

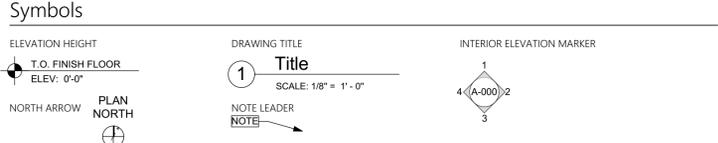
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date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	

Materials Legend
 NOT ALL MATERIALS USED

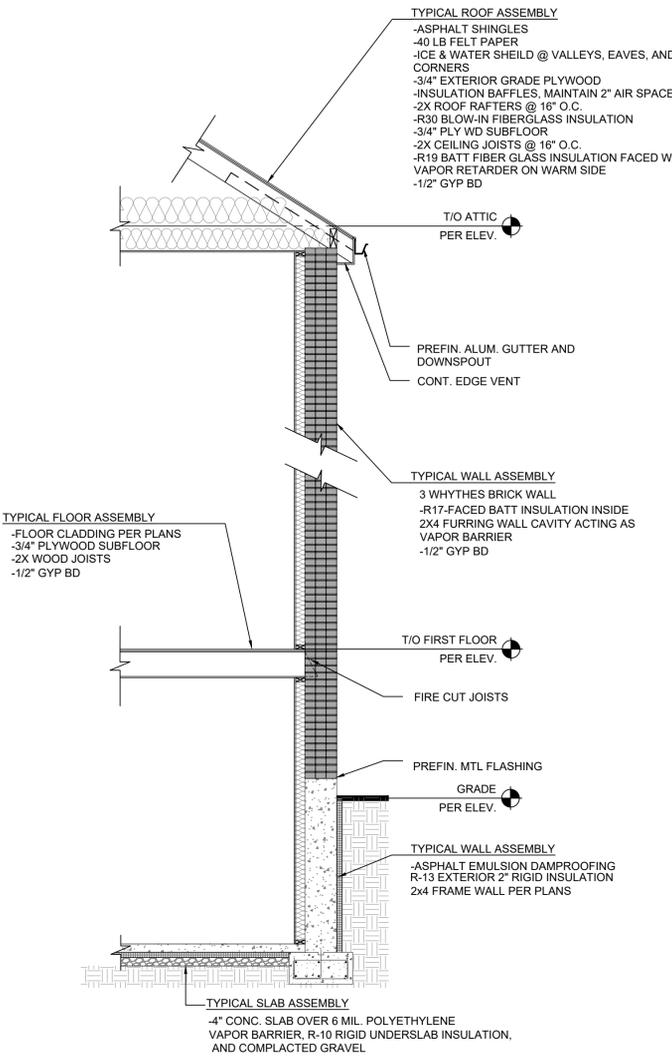
[Symbol]	EARTH
[Symbol]	COMPACTED STONE FILL
[Symbol]	CONCRETE
[Symbol]	STEEL
[Symbol]	RIGID INSULATION
[Symbol]	BLOCKING
[Symbol]	BATT INSULATION
[Symbol]	GYPSUM WALL BOARD
[Symbol]	WOOD
[Symbol]	PLYWOOD SHEATHING
[Symbol]	SPRAY FOAM INSULATION

Abbreviations

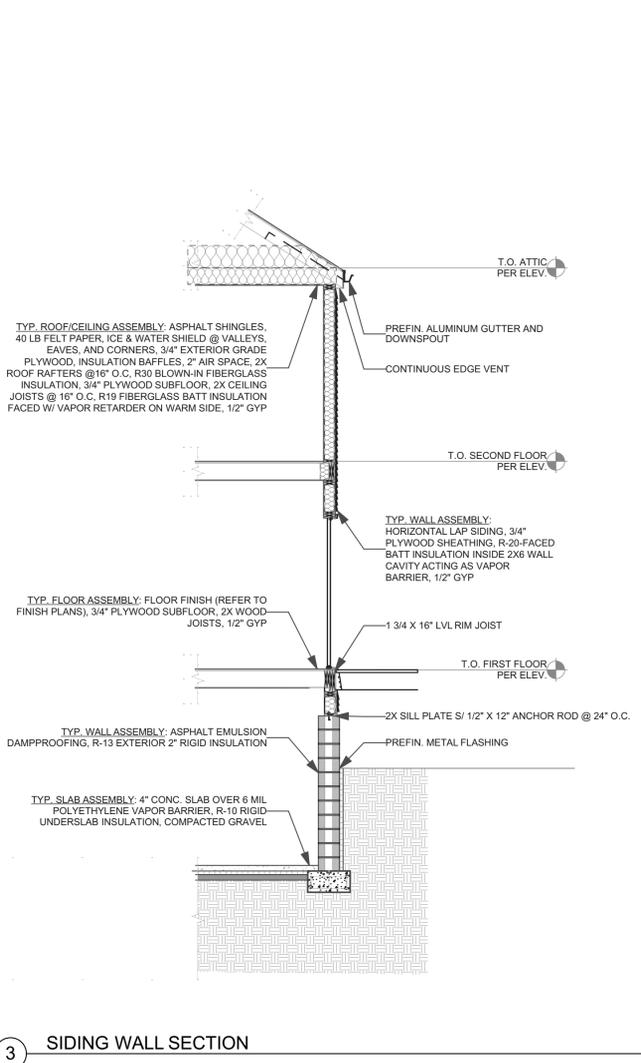
A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADJUST.	Adjustable	EXP.	Expansion	OPP.	Opposite
A/C	Air Conditioning	EJ	Expansion Joint	O.H.	Overhead
ALT.	Alteration	ESH	Exterior Sheathing	PR.	Pair
ALTN.	Alternate	EXIST.	Existing	PLAS.	Plaster
ALUM.	Aluminum	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
A.O.R.	Area of Refuge	EXT.	Exterior	P.C.	Plumbing Contractor
APPROX.	Approximate	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
ARCH.	Architectural	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
AS	Adjustable Shelving	F.F.	Finish Floor	P.V.C.	Polyvinyl Chloride
ASB.	Asbestos	FIN.FLR.	Finish Floor	PRE-FAB.	Prefabricated
ASPH.	Asphalt	F.A.C.P.	Fire Alarm Control Panel	RE.	Refer To
AUTO.	Automatic	F.E.	Fire Extinguisher	REF.	Refrigerator
AVG.	Average	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
BLK.	Block	F.D.	Floor Drain	REINF.	Reinforcement
BD.	Board	FTG.	Footing	RD.	Roof Drain
BOT.	Bottom	GA.	Gauge	RM.	Room
BLDG.	Building	G.C.	General Contractor	S.A.T.	Suspended Acoustical Tile
C.I.P.	Cast In Place	G.F.I.	Ground Fault Interrupter	SCHED.	Schedule
C.B.	Catch Basin	GYP.	Gypsum	SHT.	Sheet
CEM.	Cement	G.Y.W.B.	Gypsum Wall Board	SIM.	Similar
CER.	Ceramic	GSH.	Gypsum Sheathing	S.C.	Solid Core
CG	Corner Guard	H/C	Handicap	S.P.E.C.S.	Specifications
C.M.T.	Ceramic Mosaic Tile	H.V.A.C.	Heating, Ventilation & Air Conditioning	SQ.	Square
C.W.T.	Ceramic Wall Tile	HT	Height	S.F.	Square Foot
C.O.	Cleanout	H.C.	Hollow Core	S.S.	Stainless Steel
CL	Center Line	H.M.	Hollow Metal	STL.	Steel
CLO.	Closet	HORIZ.	Horizontal	STOR.	Storage
C.W.	Cold Water	HR.	Hour	STRUCT.	Structural
CLG.	Celling	H.W.	Hot Water	TEL.	Telephone
CLR.	Clearance	IN.	Inch	THK.	Thick
COL.	Column	IM.	Insulated Metal	T.B.D.	To Be Determined
CONC.	Concrete	INSUL.	Insulation or Insulated	T&G	Tongue & Groove
C.M.U.	Concrete Masonry Unit	INT.	Interior	T.O.	Top Of
CONT.	Continuous	INV.	Invert	T.G.	Top Of Grade
CORR.	Corridor	ISO.	Isolation	T.O.S.	Top Of Steel
C.M.P.	Corrugated Metal Pipe	JAN.	Janitor's Closet	TYP.	Typical
C.R.S.	Courses	J.T.	Joint	UNFIN.	Unfinished
DIA.	Diameter	L.A.M.	Laminate	U.N.O.	Unless Noted Otherwise
DET	Detail	LAV.	Lavatory	V.B.	Vapor Barrier
DGL	Dens Glass Gold	LNG.	Long	VERT.	Vertical
DR.	Door	M.D.H.	Medium Density Fiberboard	VEST.	Vestibule
DN.	Down	MAG.	Magnetic Door Holder	V.C.T.	Vinyl Composition Tile
D.S.	Downspout	M.D.H.	Magnetic Door Holder	V.I.F.	Verify In Field
DWG.	Drawing	M.H.	Manhole	W.H.	Water Heater
DWR	Drawer	MFR.	Manufacturer	W.R.B.	Water Resistant Barrier
D.F.	Drinking Fountain	MAX.	Maximum	W.W.F.	Welded Wire Fabric
D.I.P.	Ductile Iron Pipe	MECH.	Mechanical	WIN.	Window
EA.	Each	MET.	Metal	W/	With
E.W.	Each Way	MIN.	Minimum	WO	Without
ELEC.	Electrical			WD.	Wood
E.C.	Electrical Contractor				
E.L.	Elevation				



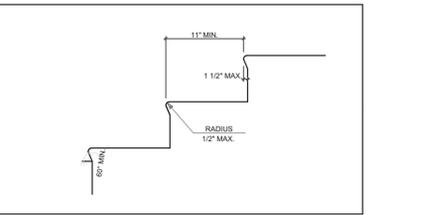
1 ABBREVIATIONS AND MATERIALS



2 HISTORIC BRICK WALL SECTION



3 SIDING WALL SECTION



WINDOW SCHEDULE

ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	3'-0"	1'-6"	1'-2 1/4"	WOOD	☒	☐
B	2'-8"	1'-6"	1'-2 1/4"	WOOD	☒	☐
C	2'-9"	2'-0"	6'-0"	GLASS BLOCK	☐	☐
D	2'-5"	6'-1"	8'-7"	WOOD	☒	☐
E	2'-6"	6'-0"	10'-7"	WOOD	☒	☐
F	3'-0"	4'-2"	9'-8"	WOOD	☒	☐
G	2'-4"	5'-5"	7'-6"	WOOD	☒	☐
H	2'-6"	4'-3"	6'-11"	WOOD	☒	☐
I	2'-11"	4'-9"	6'-11"	WOOD	☒	☐
J	2'-4"	4'-9"	7'-0 1/2"	WOOD	☒	☐
K	2'-6"	4'-6"	7'-4"	WOOD	☒	☐

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS
 ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
 GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

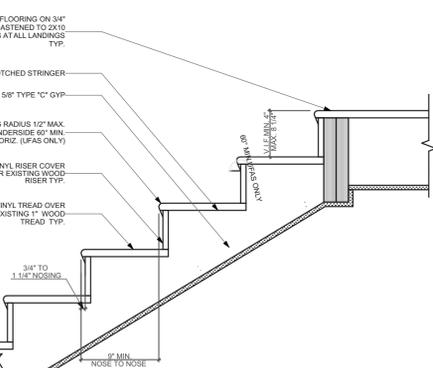
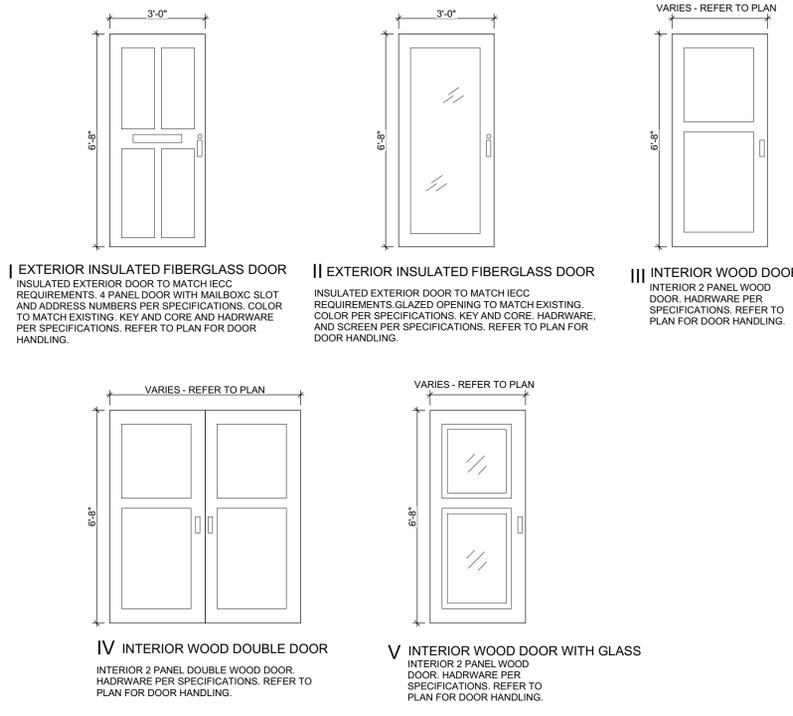
DOOR SCHEDULE

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	2'-10"x5'-10"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	3'-0"x6'-8"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"x6'-8"	III	WOOD	WOOD	PRIVACY
4	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE
5	3'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
6	4'-0"x6'-8"	IV	WOOD	WOOD	DUMMY
7	2'-4"x6'-4"	III	WOOD	WOOD	PRIVACY
8	2'-6"x5'-6"	III	WOOD	WOOD	PASSAGE

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS
 ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
 GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

FINISH SCHEDULE

NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL

- general notes**
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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ISSUED FOR PERMIT: 05.06.2022

Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1327 COLUMBUS AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

ABBREVIATIONS AND MATERIALS, HISTORIC BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE, DOOR TYPES

GENERAL FLOOR PLAN NOTES

- 1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
5. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELLED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS.
6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO OWNER. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES.
11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
12. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL TRADE CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
14. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE FINISHES HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO THE MAXIMUM WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS.
18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURERS' RECOMMENDATIONS.

HAZARDOUS NOTES

- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT, AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

GENERAL HISTORIC PRESERVATION NOTES

- 1. HISTORIC PRESERVATION NOTES SHALL OVERRIDE KEYNOTES WHERE APPLICABLE.
2. THE REPAIR OF EXISTING FEATURES WITH INAPPROPRIATE MATERIALS, SUCH AS ALUMINUM JAMB CASINGS AND BRACKETS, SHALL BE AVOIDED. REHABILITATION WORK SHALL NOT DESTROY THE DISTINGUISHING QUALITIES OR CHARACTER OF THE STRUCTURE AND ITS ENVIRONMENT. THE REMOVAL OR ALTERATION OF ANY HISTORIC MATERIAL OR ARCHITECTURAL FEATURES SHOULD BE HELD TO A MINIMUM.
3. IN THE EVENT REPAIRMENT IS NECESSARY, THE NEW MATERIAL SHOULD MATCH THE MATERIAL BEING REPLACED IN THE COMPOSITION, DESIGN, COLOR, TEXTURE, AND OTHER FEATURES. REPAIR OR REPLACEMENT OF MISSING ARCHITECTURAL FEATURES SHOULD BE BASED ON ACCURATE DUPLICATIONS OF ORIGINAL FEATURES SURVIVED BY PHYSICAL OR PICTORIAL EVIDENCE, RATHER THAN ON CONJECTURAL DESIGNS OR THE AVAILABILITY OF DIFFERENT ARCHITECTURAL FEATURES FROM OTHER BUILDINGS.

ENVIRONMENTAL AND LANDSCAPE HISTORIC PRESERVATION NOTES

- 1. RETAIN LANDSCAPE FEATURES SUCH AS PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS THAT HAVE TRADITIONALLY LINKED BUILDINGS TO THEIR ENVIRONMENT.
2. USING NEW PLANT MATERIALS, FENCING, WALKWAYS, STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR. FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.

ARCHITECTURAL SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:
1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
2. INTERIOR DOORS, HARDWARE, AND DOOR TRIM, WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
3. WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11, "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT.
4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
5. ALL CLOSETS ROD & SHELVES
6. ALL ROOF SOFFITS
7. GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
8. ADDRESS NUMBERS
9. DRYWALL UP TO 2005F
10. METAL EXTERIOR RAILINGS AND GATES
11. INTERIOR WOOD HANDRAILS
12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS
13. DUCTWORK

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O.:
14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE, SINKS, AND COUNTERTOPS, BACKSPLASH, NEW CABINETS AND COUNTER TOP PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY.
18. REPLACE ALL INTERIOR WALL BASE WITH SPACED WOOD BASE PER SPECIFICATIONS IN ALL PAINTED BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVER BASE PER SPECIFICATIONS.
19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS AND NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOOKS, AND CORES REPLACED.
20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING, NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4.
22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICATIONS.
23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON-HISTORIC PROPERTIES, PER SPECIFICATIONS.

- THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:
1. PARKING PADS
2. CONCRETE STEPS AND SIDEWALKS
3. INTERIOR STAIRS
4. BASEMENT SLAB AND WALL CRACKING
5. EMERGENCY LIGHTING
6. SPRINKLER SYSTEMS
7. FIRE ALARM SYSTEMS

MASONRY HISTORIC PRESERVATION NOTES

- 1. RETAIN ORIGINAL MASONRY AND MORTAR WHENEVER POSSIBLE, WITHOUT THE APPLICATION OF ANY SURFACE TREATMENT.
2. DUPLICATE OLD MORTAR IN COMPOSITION, COLOR, TEXTURE, JOINT SIZE, METHOD OF APPLICATION, AND JOINT PROFILE.
3. CLEANING MASONRY WILL BE APPROVED ONLY WHEN NECESSARY TO HALT DETERIORATION AND ALWAYS WITH THE GENTLEST METHOD POSSIBLE, SUCH AS LOW-PRESSURE WATER AND SOFT NATURAL BRUSHES. DETERIORATED MASONRY WORK SHALL BE REPAIRED TO BE INCONSPICUOUS AND COMPATIBLE WITH THE EXISTING. BRICKWORK SHALL NOT BE SANDBLASTED AND MAY BE CLEANED WITH HYDROFLUORIC ACID IN CONCENTRATION OF NOT MORE THAN 5% OR EQUIVALENT.
4. REPAIRING OR REPLACING DETAILS CANNOT ALTER THE EXTERIOR OR HISTORIC PROJECTS.
5. REPOINTING WITH A MORTAR OF HIGH PORTLAND CEMENT CONTENT CAN CREATE A WEAR SURFACE STRONGER THAN THE BUILDING MATERIAL. THIS CAN CAUSE DETERIORATION AS A RESULT OF THE DIFFERING COEFFICIENT OF EXPANSION AND THE DIFFERING POROSITY OF THE MATERIAL AND THE MORTAR.
6. MASONRY SURFACES, WHICH HAVE BEEN PAINTED IN THE PAST, SHOULD, IN MOST CASES, BE REPAINTED.
7. REPAIRING OR REPLACING, WHERE NECESSARY, DETERIORATED MATERIAL WITH NEW MATERIAL SHOULD ATTEMPT TO DUPLICATE THE OLD AS CLOSELY AS POSSIBLE.

PLUMBING SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:
P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD WATER. PROVIDE NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS.
P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR 8" DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X16 ANODECAT MODEL OCSOR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS.
P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM REMOVE EXISTING WAX RING, CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P4. DISCONNECT AND REMOVE EXISTING LAUNDRY (VANITY, PEDestal, OR WALL) AND ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL) WITH OR WITHOUT SHOWER TO MATCH EXISTING(S) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUT SHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB WITH OR WITHOUT SHOWER TO MATCH EXISTING(S) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWL) TO MATCH EXISTING(S) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND HOSE-BIBB. SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
P10. EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
P11. INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISTING SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
P12. INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S). TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED. INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR / REPLACE WATER PIPING AS MAY BE REQUIRED.
P13. INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLICABLE NEW DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE 12" OF EXISTING FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NEW LINE) EXTEND NEW DRAIN TO SUMP. PROVIDE NEW SUMP/LUMP/LOAD AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISTING STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
P14. ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER).

WOOD HISTORIC PRESERVATION NOTES

- 1. REPAIR, RESTORE AND, IF NECESSARY, REPLACE EXISTING WOOD SIDING OR TRIM MATERIALS. HOWEVER, REPLACEMENT USING OTHER MATERIALS, SUCH AS WOOD PANELING, OR ALUMINUM OR VINYL, IS PROHIBITED, WHERE THOSE MATERIALS ARE USED. APPROPRIATE TRIM DETAILS WILL BE RETAINED OR DUPLICATED.
2. PRESERVE ARCHITECTURAL FEATURES SUCH AS SIDING, CORNICES, BRACKETS, WINDOW ARCHITRAVES, AND DOORWAY PEDIMENTS IS PROHIBITED.

METAL HISTORIC PRESERVATION NOTES

- 1. CLEAN WHEN NECESSARY WITH THE APPROPRIATE METHOD. CAST IRON AND STEEL ARE NORMALLY NOT AFFECTED BY MECHANICAL CLEANING METHODS, WHILE PRESSESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED BY THE GENTLEST METHOD POSSIBLE.
2. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL.

METAL HISTORIC PRESERVATION NOTES

- 1. CLEAN WHEN NECESSARY WITH THE APPROPRIATE METHOD. CAST IRON AND STEEL ARE NORMALLY NOT AFFECTED BY MECHANICAL CLEANING METHODS, WHILE PRESSESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED BY THE GENTLEST METHOD POSSIBLE.
2. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL.

MECHANICAL SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:
M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EXHAUST AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
M2. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED CONDENSING UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, PROVIDE NEW HIGH EFFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. SEE SPECIFICATIONS.
M4. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILING(S) / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILING(S) / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
M5. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILING(S) / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILING(S) / WALLS / BULKHEADS UPON COMPLETION OF THE WORK.
M6. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPER OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED. SEE SPECIFICATIONS.
M7. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET, PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN WITH IN-LINE LINT TRAP ASSEMBLY. SEE SPECIFICATIONS.

ROOF HISTORIC PRESERVATION NOTES

- 1. PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING ROOFING SHALL BE MAINTAINED AND PAINTED APPROPRIATELY.
2. RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.
3. ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE DOWNSPOUTS SHALL BE COPPER OR ALUMINUM (PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED APPROPRIATELY.
4. REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE.
5. PRESERVE AND REPLACE, WHERE NECESSARY, ALL ARCHITECTURAL FEATURES THAT GIVE THE ROOF'S ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS, CUPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING, AND WEATHERVANES.

DOOR & WINDOW HISTORIC PRESERVATION NOTES

- 1. EXISTING WINDOW AND DOOR OPENINGS SHALL BE RETAINED, INCLUDING WINDOW SASH, GLASS, LINTELS, SILLS, ARCHITRAVES, SHUTTERS, AND DOORS.
2. ALL WINDOW AND DOOR CASING, SASHES, AND MUNTINS ON THE FRONT FACADE SHALL BE PAINTED, STAINED OR VINYL CLAD WOOD. VINYL CLAD AND OTHERS MAY BE PERMITTED IF THE BASIC SHAPE OF THE ORIGINAL WINDOW IS NOT ALTERED.
3. INFILLING OF WINDOW AND DOOR OPENINGS TO ACCOMMODATE SMALLER OR STOCK WINDOW UNITS SHALL NOT BE PERMITTED ON THE FRONT FACADES.
4. WINDOW STYLES ON THE FRONT FACADE SHALL BE EITHER ONE OVER ONE OR TWO OVER TWO UNLESS BY THE GENTLEST METHOD POSSIBLE.
5. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.

ELECTRICAL SCOPE NOTES

- THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:
E1. CONTRACTOR SHALL REPLACE EXISTING ELECTRICAL PANELS AS REQUIRED WITH NEW ELECTRICAL PANELS. FIELD VERIFY CONDITION AND SIZE OF EACH BRANCH CIRCUIT AND PROVIDE NEW CIRCUIT BREAKERS AND/OR WIRING AS REQUIRED ENSURE NEWELECTRICAL PANEL IS IN COMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENT SPACE CLEARANCES PRIOR TO FINAL INSTALLATION.
E1E. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.
E1E6. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
E1E7. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E1E8. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
E1E9. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING TERMINALS AND CONDUITS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C.
E4. ALL LIGHT FIXTURES THAT MAYBE MISSING, INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACY LED LIGHT FIXTURES PER SPECIFICATIONS.
E5. CONTRACTOR SHALL INSTALL NEW LED LIGHT FIXTURES AND 3-WAY SWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSING LIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLE (FC) LEVELS OVER EXISTING STAIRWAYS SHALL BE NO LESS THAN RECOMMENDED C. LEVELS FROM NFPA 101, LIFE SAFETY CODE.
E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC. THAT MAYBE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED IN ACCORDANCE WITH THE N.E.C.
E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES. JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
E9. CONTRACTOR FIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED IN ACCORDANCE WITH THE N.E.C. DETECTOR AND REPAIR ANY EXISTING CIRCUITRY AND/OR SERVICE POWER FEED THAT MAY RESULT IN ELECTRICAL DEVICES LIKE RECEPTACLES, LIGHT SWITCHES, LUMINAIRES, ETC., BEING INOPERABLE.
E10. FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARM PER SPECIFICATIONS.
E11. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING GAS-FIRED FURNACE TO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
E12. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW FURNACE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E13. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

ROOF HISTORIC PRESERVATION NOTES

- 1. PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING ROOFING SHALL BE MAINTAINED AND PAINTED APPROPRIATELY.
2. RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.
3. ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE DOWNSPOUTS SHALL BE COPPER OR ALUMINUM (PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED APPROPRIATELY.
4. REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE.
5. PRESERVE AND REPLACE, WHERE NECESSARY, ALL ARCHITECTURAL FEATURES THAT GIVE THE ROOF'S ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS, CUPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING, AND WEATHERVANES.

DOOR & WINDOW HISTORIC PRESERVATION NOTES

- 1. EXISTING WINDOW AND DOOR OPENINGS SHALL BE RETAINED, INCLUDING WINDOW SASH, GLASS, LINTELS, SILLS, ARCHITRAVES, SHUTTERS, AND DOORS.
2. ALL WINDOW AND DOOR CASING, SASHES, AND MUNTINS ON THE FRONT FACADE SHALL BE PAINTED, STAINED OR VINYL CLAD WOOD. VINYL CLAD AND OTHERS MAY BE PERMITTED IF THE BASIC SHAPE OF THE ORIGINAL WINDOW IS NOT ALTERED.
3. INFILLING OF WINDOW AND DOOR OPENINGS TO ACCOMMODATE SMALLER OR STOCK WINDOW UNITS SHALL NOT BE PERMITTED ON THE FRONT FACADES.
4. WINDOW STYLES ON THE FRONT FACADE SHALL BE EITHER ONE OVER ONE OR TWO OVER TWO UNLESS BY THE GENTLEST METHOD POSSIBLE.
5. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.

ELECTRICAL SCOPE NOTES

- E14. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW NEMA-3R, OUTDOOR, DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E15. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.
E16. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
E17. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E18. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
E19. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E20. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.
E21. CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
E22. NEW APPLIANCES SUCH AS BUILT-IN DISHWASHERS AND TRASH COMPACTORS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECTED WITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSE OF THE MANUFACTURER'S INSTRUCTIONS OF THE APPLIANCE MANUFACTURER.
E23. CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICAL PANEL BOARDS.
E24. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C.
E25. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ABANDON LINDEN LINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
E26. CONTRACTOR SHALL REPAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.
E27. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING GAS-FIRED FURNACE TO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
E28. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW FURNACE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
E29. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR.

ENTRANCES, PORCHES, & STEPS HISTORIC PRESERVATION NOTES

- 1. RETAIN PORCHES AND STEPS, WHICH ARE APPROPRIATE TO THE BUILDING AND ITS DEVELOPMENT.
2. SIDEWALK, STOOP, AND STEP MATERIALS SHALL BE STONE, BRICK, OR POURED CONCRETE. WROUGHT IRON RAILING SHALL BE PERMITTED.
3. EXISTING TRANSOMS AND STEPS OF ORIGINAL MATERIAL AND ARCHITECTURAL FEATURES, SUCH AS HAND RAILS, BALLUSTERS, COLUMNS, BRACKETS AND ROOF DECORATION OF WOOD, IRON, CAST IRON, TERRA-COTTA TILE AND BRICK, AND ENCLOSING PORCHES AND STEPS, DESTROY THEIR INTENDED APPEARANCE.
4. WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE DONE WITH CARE AS TO NOT DAMAGE THE BRICK.
5. WHEN PAINTING IS NECESSARY, UTILIZE A GLOSS OR SEMI-GLOSS PAINT WHICH CAN BE EASILY CLEANED.
6. KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS AND HEADERS (IF MASONRY); SCRAPER DOWN THE TRIM AND REPAIR. BEVELLED OR FANCY GLASS EXISTS IN THE ORIGINAL OR IS USED IN THE REPLACEMENT.
7. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.
8. WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE DONE WITH CARE AS TO NOT DAMAGE THE BRICK.
9. WHEN PAINTING IS NECESSARY, UTILIZE A GLOSS OR SEMI-GLOSS PAINT WHICH CAN BE EASILY CLEANED.
10. KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS AND HEADERS (IF MASONRY); SCRAPER DOWN THE TRIM AND REPAIR. BEVELLED OR FANCY GLASS EXISTS IN THE ORIGINAL OR IS USED IN THE REPLACEMENT.
11. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.
12. WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE DONE WITH CARE AS TO NOT DAMAGE THE BRICK.
13. WHEN PAINTING IS NECESSARY, UTILIZE A GLOSS OR SEMI-GLOSS PAINT WHICH CAN BE EASILY CLEANED.
14. KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS AND HEADERS (IF MASONRY); SCRAPER DOWN THE TRIM AND REPAIR. BEVELLED OR FANCY GLASS EXISTS IN THE ORIGINAL OR IS USED IN THE REPLACEMENT.
15. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.
16. WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE DONE WITH CARE AS TO NOT DAMAGE THE BRICK.
17. WHEN PAINTING IS NECESSARY, UTILIZE A GLOSS OR SEMI-GLOSS PAINT WHICH CAN BE EASILY CLEANED.
18. KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS AND HEADERS (IF MASONRY); SCRAPER DOWN THE TRIM AND REPAIR. BEVELLED OR FANCY GLASS EXISTS IN THE ORIGINAL OR IS USED IN THE REPLACEMENT.
19. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.
20. WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE DONE WITH CARE AS TO NOT DAMAGE THE BRICK.
21. WHEN PAINTING IS NECESSARY, UTILIZE A GLOSS OR SEMI-GLOSS PAINT WHICH CAN BE EASILY CLEANED.
22. KEEP MASONRY NATURAL AND CLEAN IT, INCLUDING SILLS AND HEADERS (IF MASONRY); SCRAPER DOWN THE TRIM AND REPAIR. BEVELLED OR FANCY GLASS EXISTS IN THE ORIGINAL OR IS USED IN THE REPLACEMENT.
23. WINDOW SHUTTERS SHALL BE OPERABLE AND, IF FIRST FLOOR ONLY, WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.

GREEN COMMUNITIES NOTES

- 1. MITIGATE ALL CONTAMINANTS FOUND.
2. IMPLEMENT EPAS NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBING FIXTURES MUST BE WATERSENE CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACSI MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS.
5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFRIGERATORS TO BE ENERGY STAR RATED.
6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING.
7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION.
8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM # 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WHICH ARE EXEMPT.
9. INSTALL CAPILLARY BREAKS AND VAPOR BARRIERS AT ALL BASEMENTS.
10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT WITHIN THE CONDITIONED SPACE THAT IS NOT POWER-VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMB

- SITE**
- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. WFO CONCRETE IS PRESENT MINIMUM 3" OVER 2" OF REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OLD FLOORING. PROVIDE 2" CONC. PROVIDE NEW PRESSURE TREATED FOOT WITH NEW SYNTHETIC TFC CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPOURED WITH NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WFO COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WFO COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- A1 REPAIR DETERIORATING BRICK GLAZING AT EXTERIOR WINDOW. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COLOUR OF FLOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND SHEATHING AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"X4" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
 - A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
 - A15 ADD WATERPROOFING AT BASEMENT. SCRAPPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16 SCRAPPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
 - A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR BIKER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. REPAIR EXISTING MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILLER OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

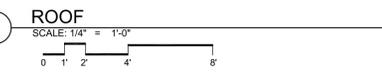
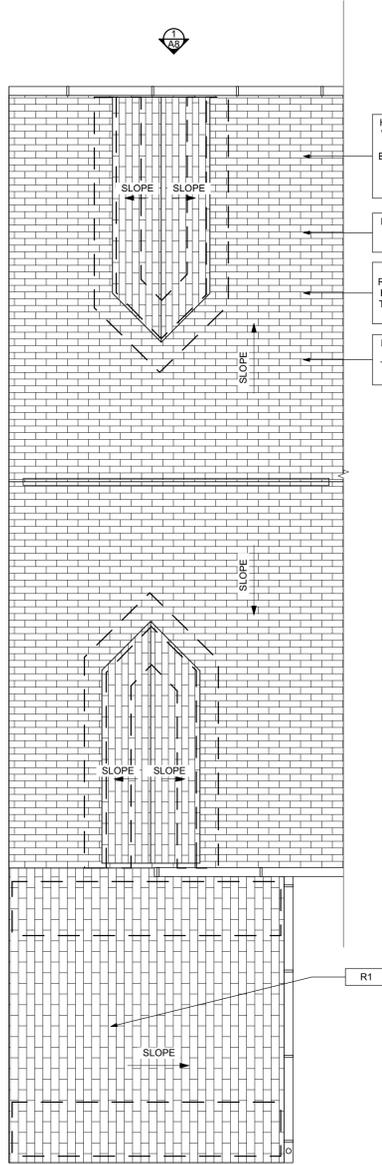
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 HACP
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 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1327 COLUMBUS AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

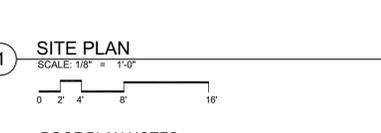
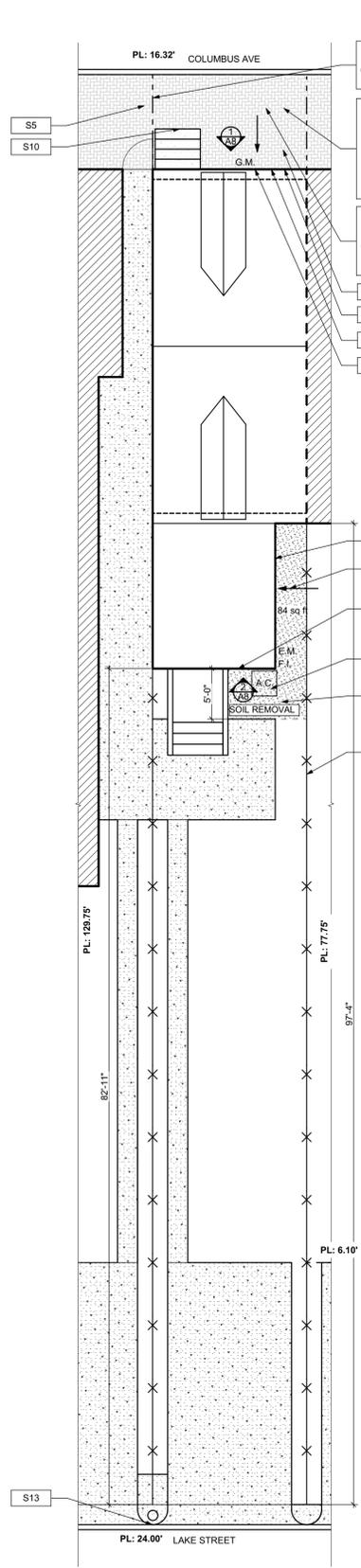
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ROOF AND SITE PLAN LEGEND

	PROPERTY FENCE	G.M.	GAS METER
	PROPERTY LINE	F.I.	FRESH AIR INTAKE
	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSER
	PARTY WALL	E.M.	ELECTIC METER
	GATE		
	STEPPING CONCRETE PADS		
	ICE WATER SHIELD		

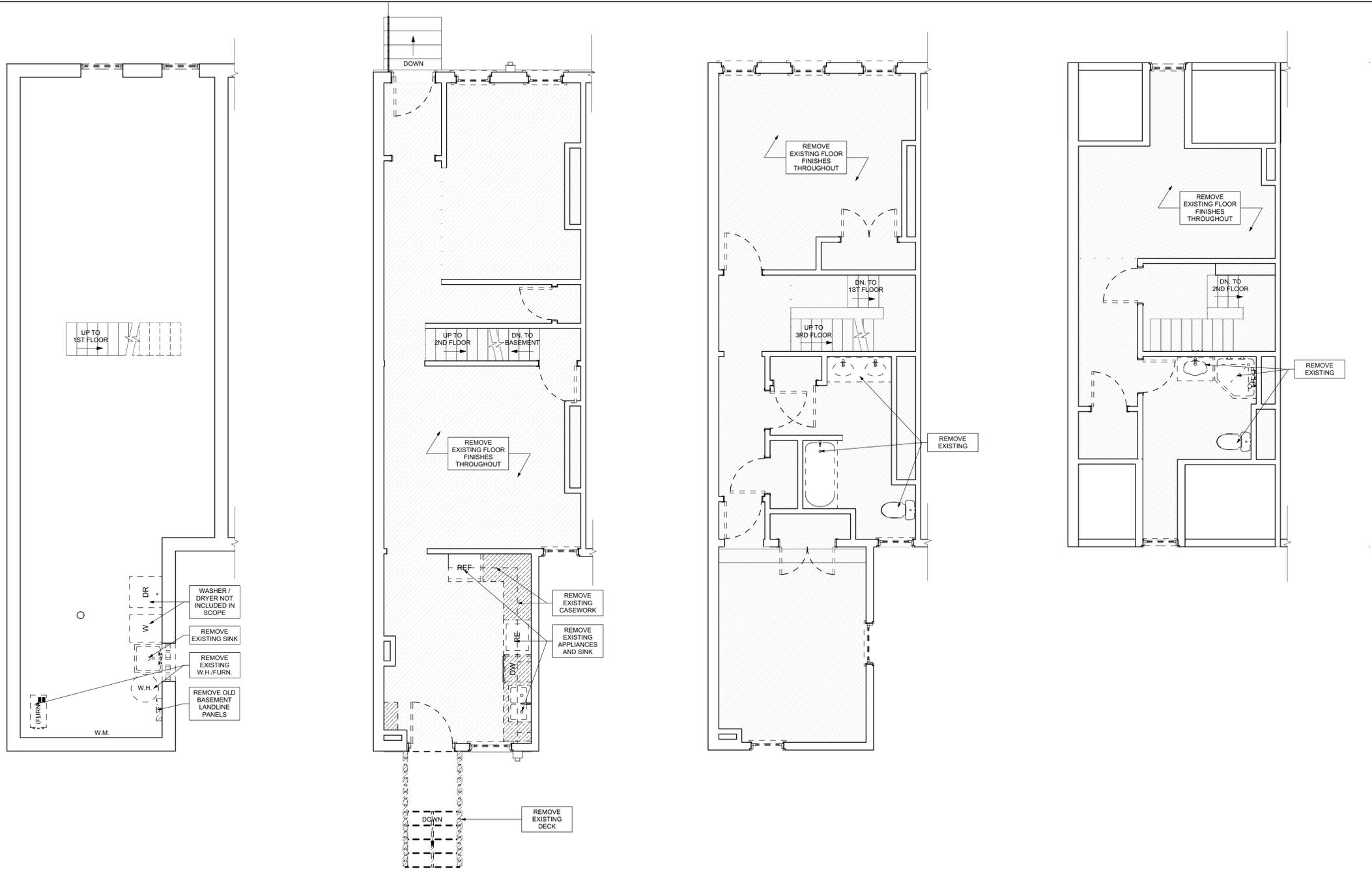
SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



- ROOF PLAN NOTES**
1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
 2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

- SITE PLAN NOTES**
1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
 2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

- SIDEWALK, STOOP, AND STEP MATERIALS** SHALL BE STONE, BRICK, OR POURED CONCRETE. WROUGHT IRON RAILING SHALL BE PERMITTED.
- HISTORIC NOTE:** RETAIN ALL DISTINCTIVE EXTERIOR FEATURES SUCH AS THE SIZE, SCALE, MASS, COLOR, AND MATERIALS OF BUILDINGS, INCLUDING ROOFS, PORCHES, PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS, AND STAIRWAYS THAT GIVE A NEIGHBORHOOD ITS DISTINGUISHING CHARACTER.
- HISTORIC NOTE:** USE NEW PLANT MATERIALS, FENCING, WALKWAYS, STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR.
- HISTORIC NOTE:** PRESERVE AND REPLACE, WHERE NECESSARY, ALL ARCHITECTURAL FEATURES THAT GIVE THE ROOF ITS ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS, CLIPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING, AND WEATHERVANES.
- HISTORIC NOTE:** PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING DORMERS AND CHIMNEYS SHALL BE RETAINED.
- HISTORIC NOTE:** RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.
- HISTORIC NOTE:** REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE.
- HISTORIC NOTE:** FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.



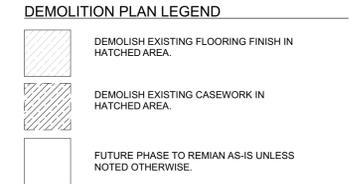
1 BASEMENT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

2 FIRST FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

3 SECOND FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

4 THIRD FLOOR / DEMO PLAN
 SCALE: 1/4" = 1'-0"

- GENERAL DEMOLITION NOTES**
- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
 - DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
 - AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
 - REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
 - ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
 - REMOVE AND REPLACE CONCRETE SLABS AS REQUIRED.
 - REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
 - COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
 - CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
 - ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
 - PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
 - COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.



SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACF, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACF THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLEY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

- SITE**
- S1** AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. RE-SEED CONCRETE IS PRESENT MINIMUM 3" OVER 70% RE-PLANT DISTURBED VEGETATION PER SPECIFICATIONS.
 - S2** UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - S3** TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE. BRACKET POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - S4** EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S5** SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 1/4" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - S6** POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
 - S7** REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
 - S8** TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
 - S9** ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
 - S10** REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
 - S11** REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
 - S12** REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
 - S13** REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
 - S14** REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R1** DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CROCKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- A1** REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
 - A2** IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
 - A3** BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
 - A4** RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A5** LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM DRAINAGE OF WATER. REPAIR OR REPLACE DOOR OR REPLACE THRESHOLD AS NECESSARY.
 - A6** WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AND JOISTS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
 - A7** REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
 - A8** SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
 - A9** EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
 - A10** DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRUMBLE/SHED STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A11** ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD ZXX1 SPREAD FOOTING AND APPLICABLE CORNERS OR FLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
 - A12** EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
 - A13** CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
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 - A15** ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
 - A16** SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
 - A17** CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
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- P1** NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
 - P2** EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.
- MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**
- M1** PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
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 - M3** INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITOR IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. ADD DELIMITOR TO ALL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - M4** EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

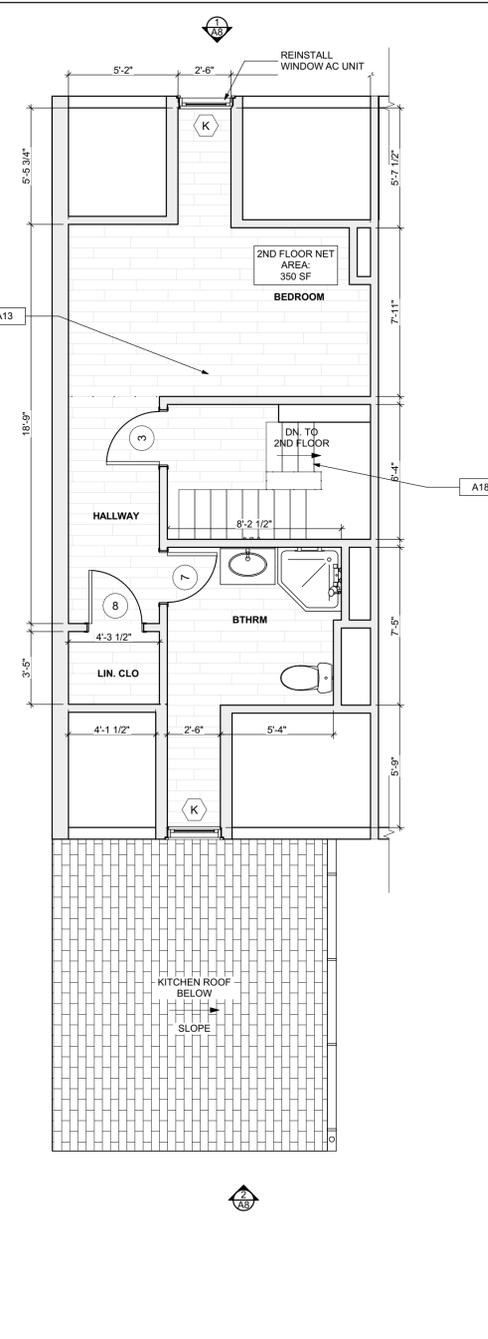
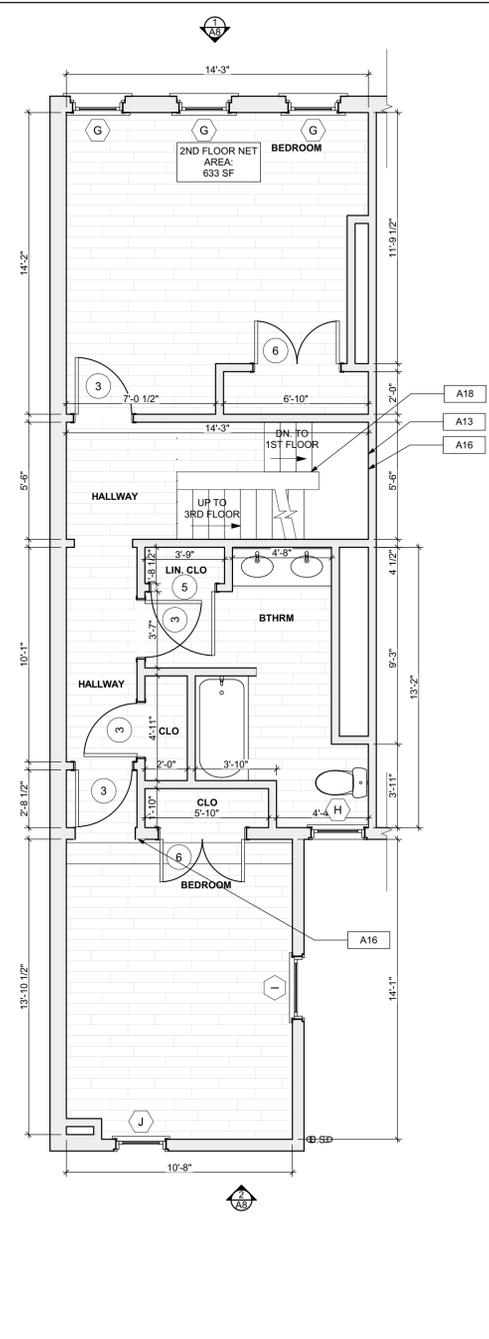
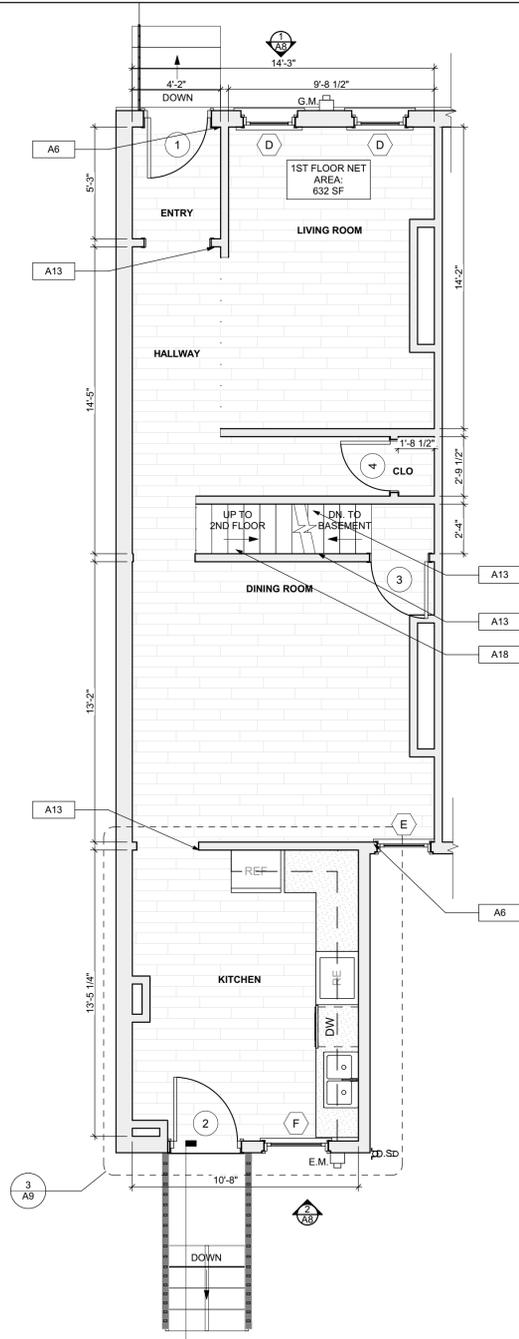
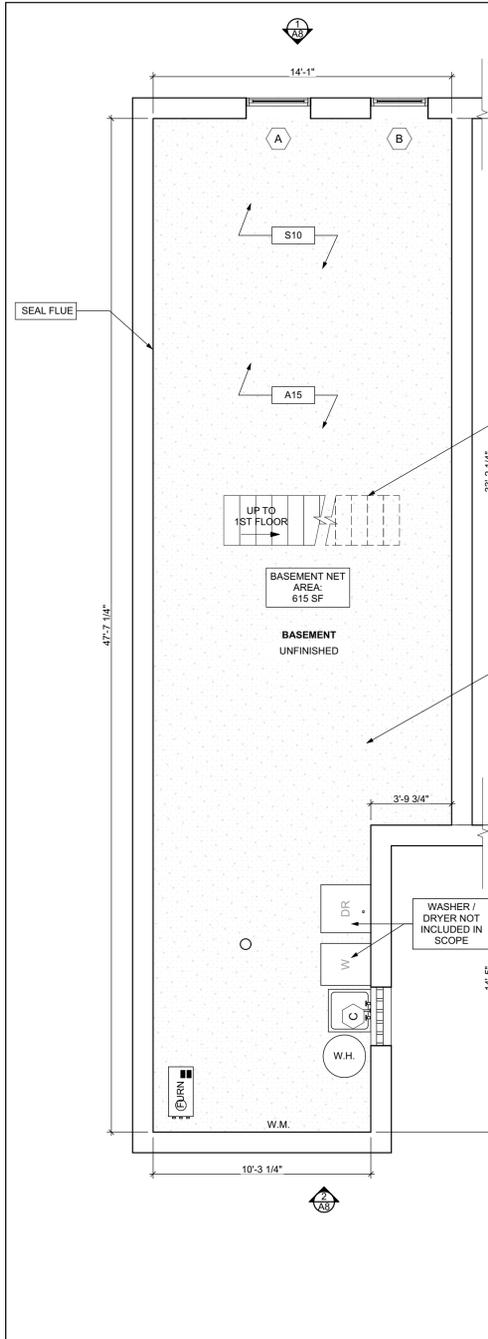
Owner:
 HACF
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1327 COLUMBUS AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

drawing title

BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	6	of. A5 Project #2006
	12	



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

3 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

4 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- SITE**
- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. REINFORCE CONCRETE WITH MINIMUM 3 OVER 12" REBAR. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
 - [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
 - [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT. PROVIDE BRACKET POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
 - [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REHABILITATED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
 - [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DEPRESSION. JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WVE. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
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 - [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROOP TO PROVIDE CLEAR HEIGHT OF 12" MIN.
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- ROOF**
- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
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seal

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1327 COLUMBUS AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BASEMENT/FINISH/MECH./PLUMB. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	A6 Project #2006
of.	12	

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 - [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
 - [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONDENSATION. ADD DELIMITER TO EXISTING ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
 - [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

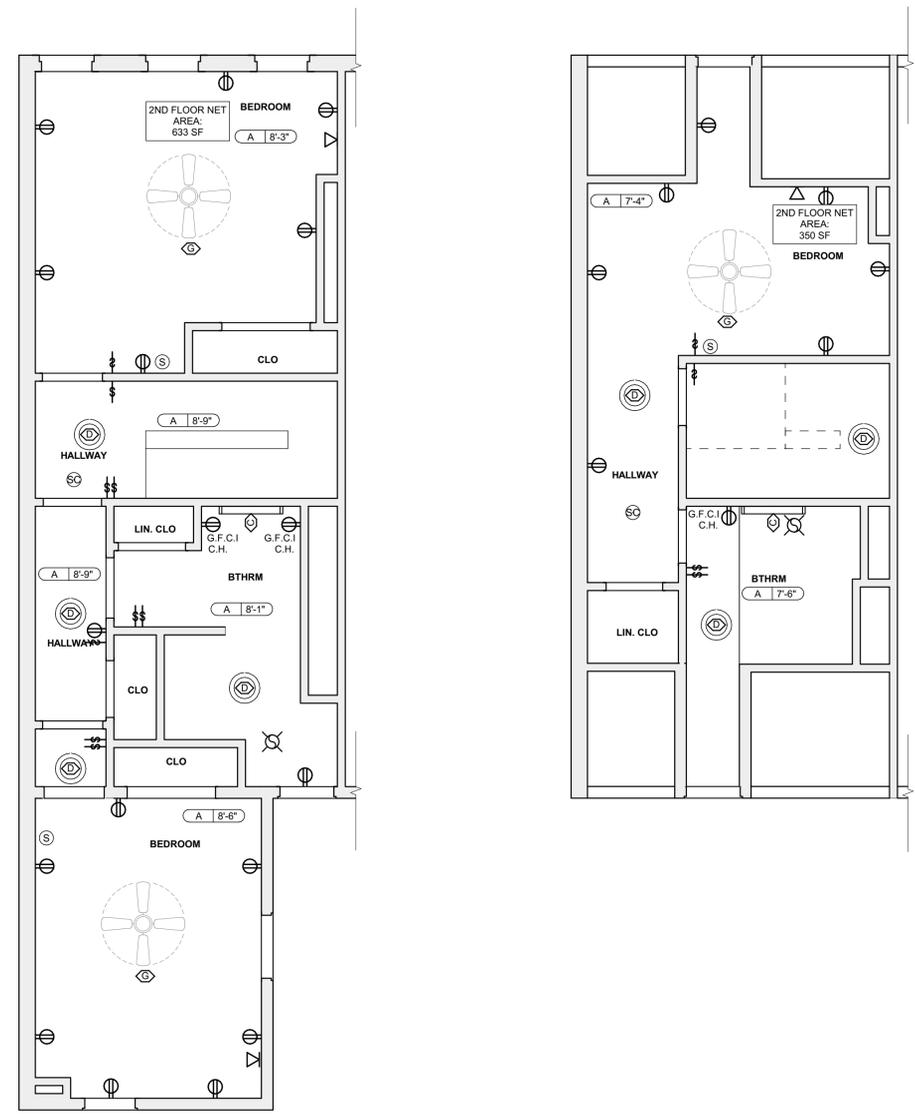
Owner:
 HACP
 200 ROSS STREET
 PITTSBURGH, PA 15219

Project Location:
 MANCHESTER SCATTERED SITES
 1327 COLUMBUS AVENUE
 PITTSBURGH, PENNSYLVANIA
 15233

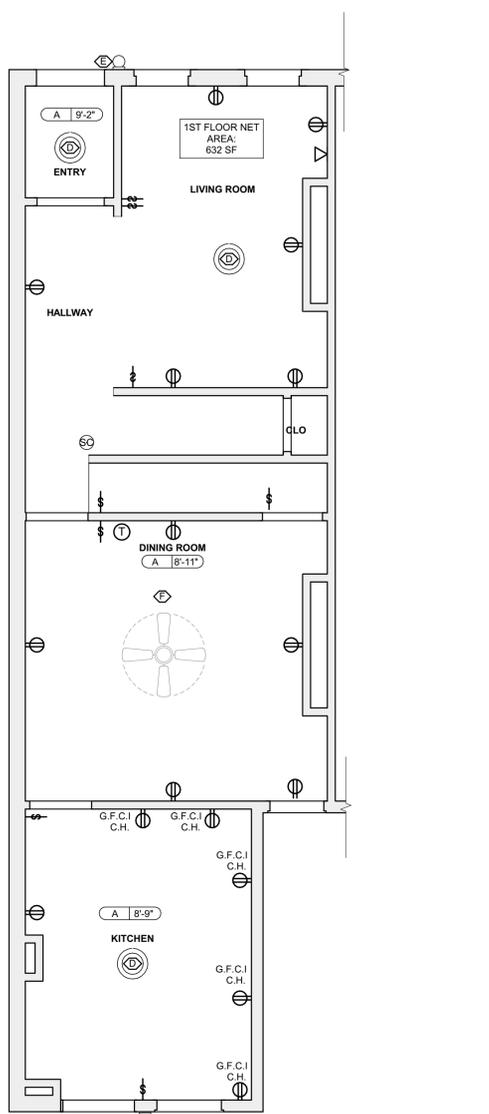
drawing title

BSMT. REFL. CLG/ POWER / DATA PLAN, FIRST FLOOR REFL. CLG. / POWER / DATA PLAN, SECOND FLOOR REFL. CLG. / POWER / DATA PLAN, THIRD FLOOR REFL. CLG. / POWER / DATA PLAN, GRAPHIC SCALES, RCP LEGEND, LIGHTING SCHEDULE, SMALL UNIT KEYNOTES

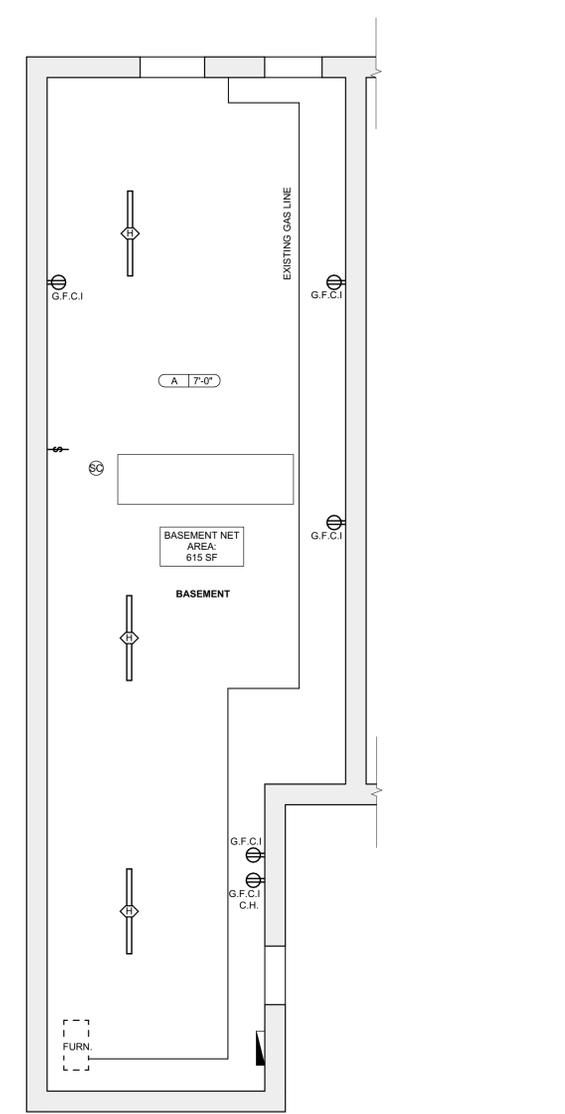
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	8	A7
of.	12	
		Project #2006



4 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

1 BSMT. REFL. CLG/ POWER / DATA PLAN
 SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	C	Long Bathroom Light Bar - Replacement, Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	2
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	3
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	3

RCP LEGEND - (See Specifications for basis of Design)

- SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT
- DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- GROUND FAULT CIRCUIT INTERRUPTER
- GROUND FAULT CIRCUIT INTERRUPTER
- LIGHT SWITCH
- EXHAUST FAN
- DOORBELL
- GWB CEILING / CEILING HEIGHT
- UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:
 ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

HISTORIC

- H1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED, TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 19.
- H2 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL GRADE WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS) FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR. USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD. RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, O.C. MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H3 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H4 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H5 CRACK PATTERNS INDICATE SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H6 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOG OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TESTING IS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING APPROPRIATE METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H7 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- H8 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H9-TYP X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPAIR THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND PANEL ARRANGEMENT. NOTE: WINDOW OPENING INFL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- H10-TYP X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS)
- H11 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND REPAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 11. REPAIR OR REPLACE FRONT DORMER AND EXPOSURE TO WEATHER. REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H12 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS.
- H13 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H14 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H15 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- S1 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROTECT CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR TO MEET SLOPE REQUIREMENTS. TO TOPSOIL TO MEET SLOPE REQUIREMENTS. POUR CONCRETE IS PRESENT, MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF THE SUPPORT POINT. PROVIDE NEW PRESSURE TREATED POST WITH NEW SPECIFIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE FINISH TO BE SLOPED AWAY FROM HOUSE. PROVIDE NEW JOINT AND CAULK BELOW NEW SLAB SECTION TO PROVIDE WATER TIGHTNESS. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. BRICKS OR STAIR PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE FINISH TO BE SLOPED AWAY FROM HOUSE. PROVIDE NEW JOINT AND CAULK BELOW NEW SLAB SECTION TO PROVIDE WATER TIGHTNESS. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POOR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CULDS TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR AND POINTING FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, REGRADE SERVICE DROOP TO PROVIDE CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWN VEGETATION. SEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SHAVE DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH EXISTING.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHAU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FINISH. REPAIR OR REPLACE WATER DRAIN DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE TO EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR STRIPS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. FINISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW FOOTING AND 2X4X12 SPREAD FOOTING AND APPLY EPOXY CONCRETE TO JOINTS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE (SUB) FLOORING OR DRYWALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTION TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE. CHECK FOR CONDENSATION. IDENTIFY MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
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6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

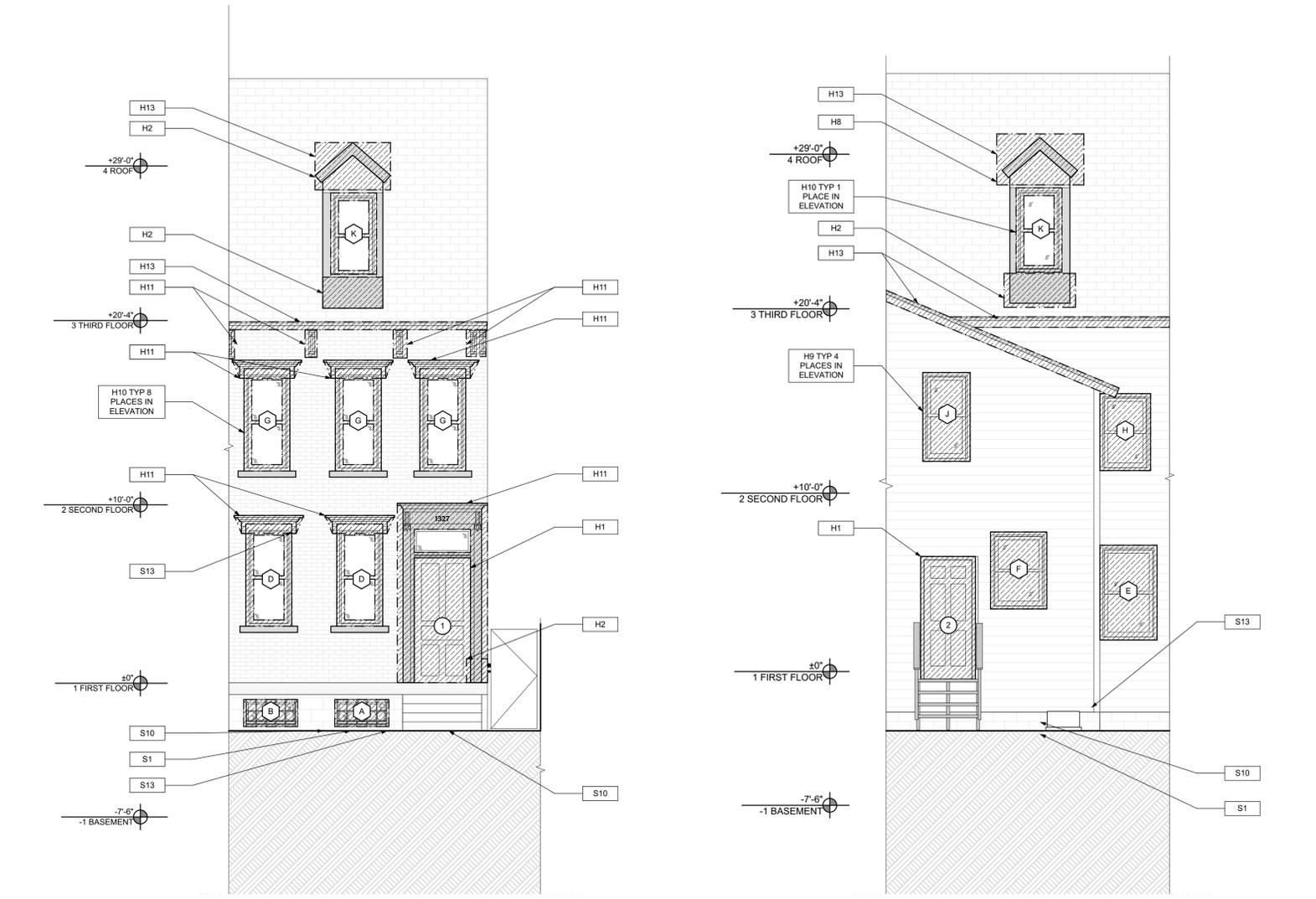
Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1327 COLUMBUS AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

NORTH ELEVATION, SOUTH ELEVATION, GRAPHIC SCALES, HISTORIC KEYNOTES, SMALL UNIT KEYNOTES

scale As Noted date May 6, 2022 no. 9	Sheet No. A8 Project #2006
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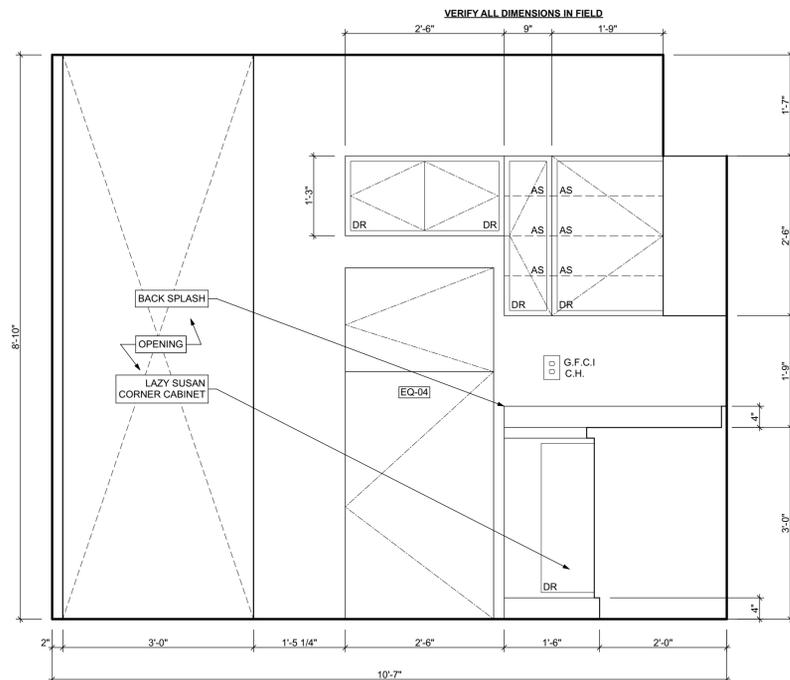


1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

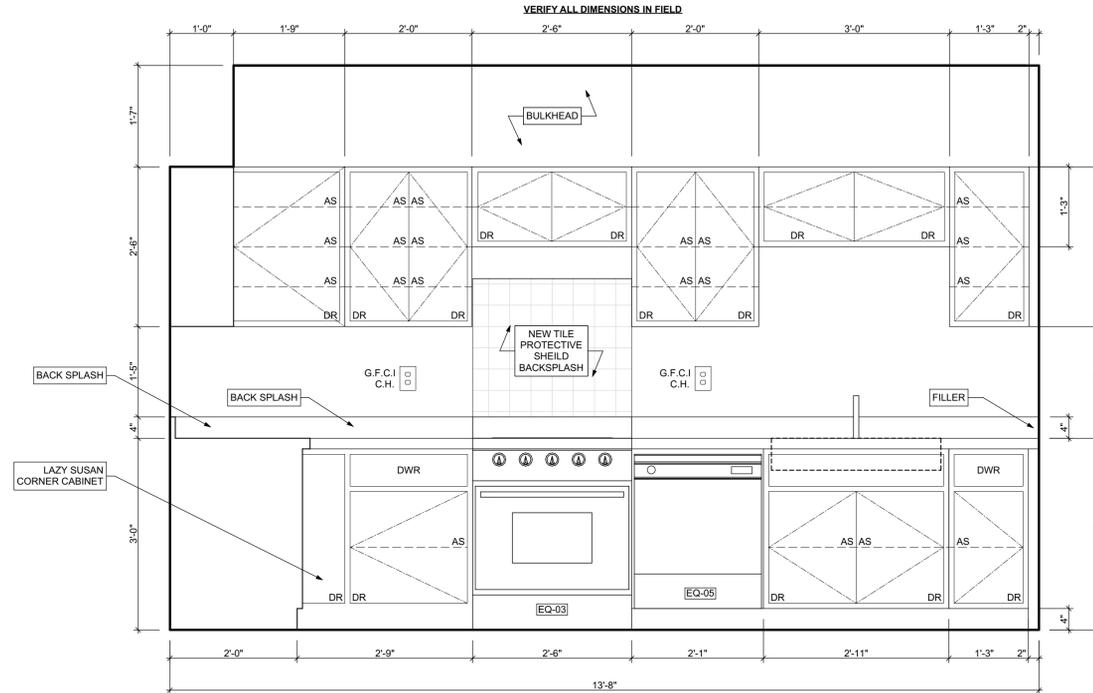
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

SCOPE REDUCTION:
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

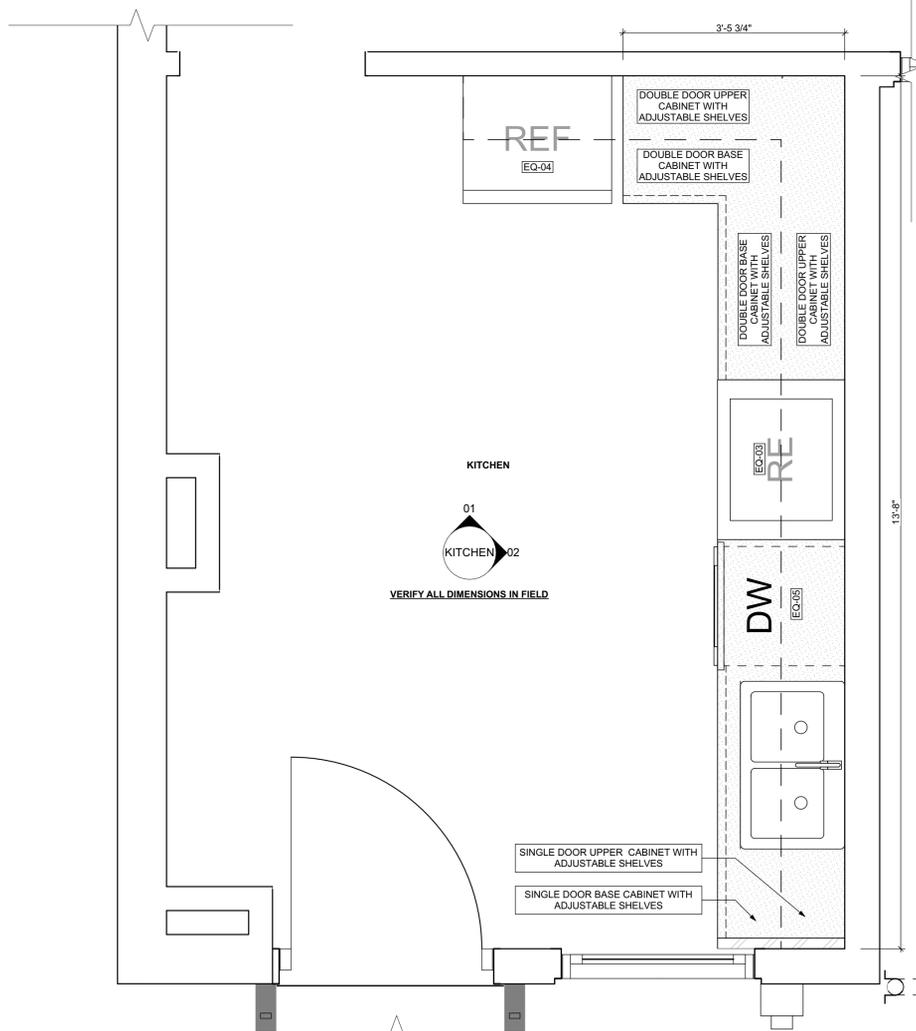
GENERAL NOTE:
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.



1 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 18	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 16	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE [®] VE	Refer to plumbing specifications for sizing

MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2D80	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 60/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T269E3P / T834ZEP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/2" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	1	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP 1 2020 BY ATC GROUP SERVICE L.L.C. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:
HACP
200 ROSS STREET
PITTSBURGH, PA 15219

Project Location:
MANCHESTER SCATTERED SITES
1327 COLUMBUS AVENUE
PITTSBURGH, PENNSYLVANIA
15233

drawing title

KITCHEN ELEVATION 02, FIRST FLOOR KITCHEN ENLARGED PLAN

scale
As Noted

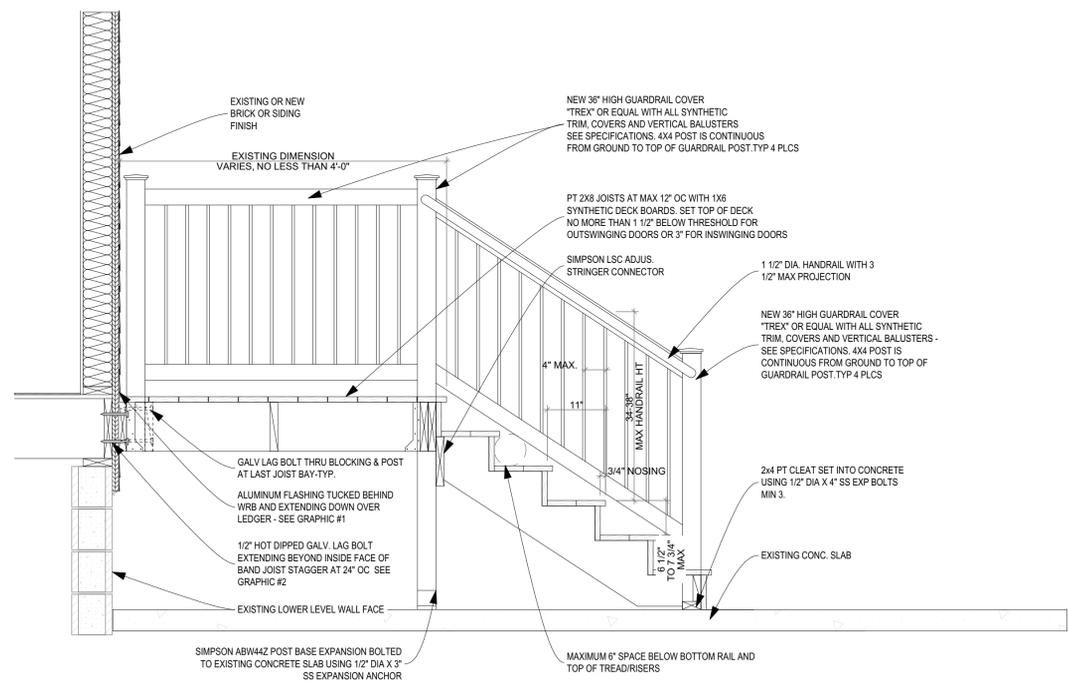
date
May 6, 2022

no. of
10 12

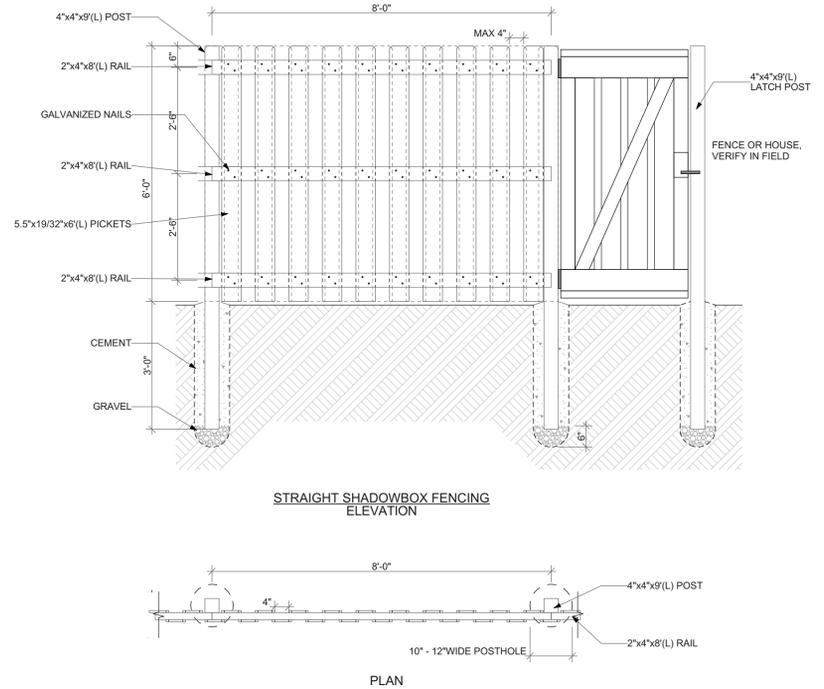
Sheet No.

A9

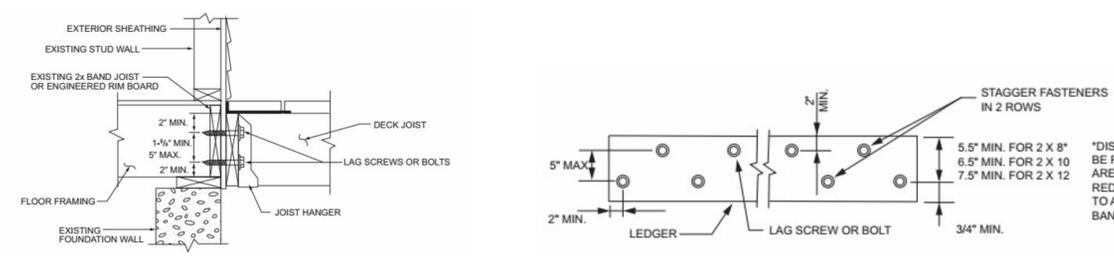
Project #2006



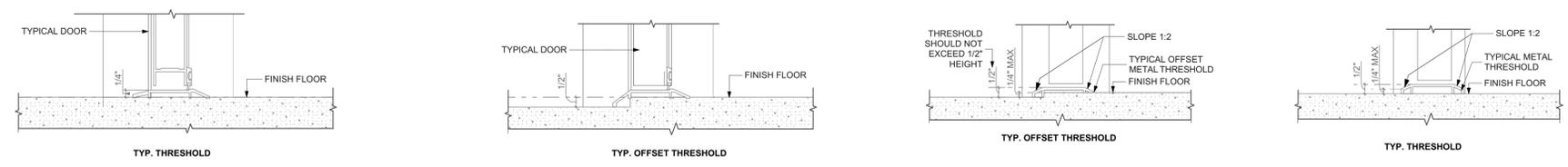
1 DECK SECTION DETAIL
SCALE: 3/4" = 1'-0"



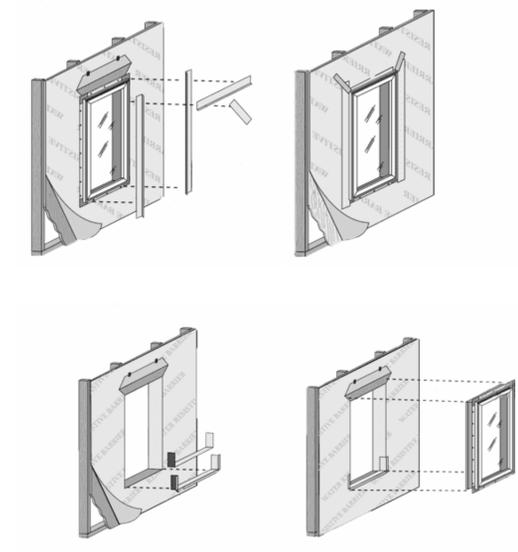
2 WOOD FENCE DETAIL
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING
NOT TO SCALE

scale

general notes

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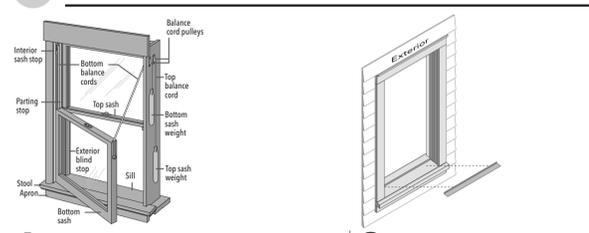
drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

PELLA POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

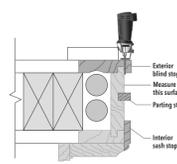


1 REMOVE THE EXISTING SASHES

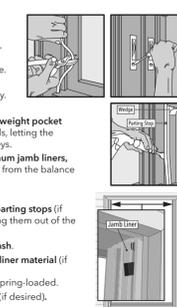
CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

- Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.

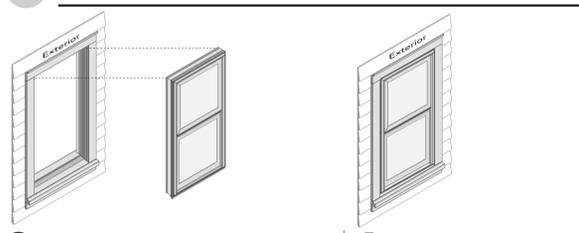


- Remove the exterior stops at the head and jamba using a chisel, reciprocating saw, rotary tool or equivalent. Cut them flush with the side of the frame.
- Remove the upper sash and dispose of it properly.
- For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.
- Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
- Carefully remove the lower sash.
- Carefully remove any remaining jamb liner material (if applicable).
- Caution: Some balances are spring-loaded.
- Insulate the weight chamber (if desired).



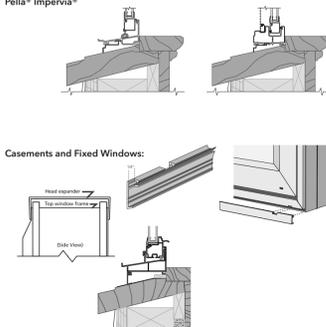
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PELLA POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



2 PREPARE THE WINDOW (Continued)

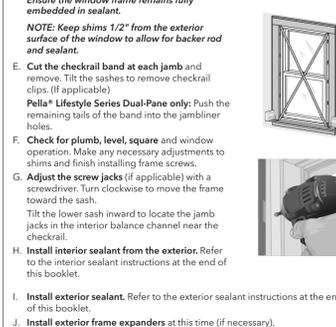
- Inspect the existing window frame. Repair or replace any deteriorated parts.
- Clean the opening of any dirt, debris or excess old paint.
- Note: If using aluminum coil exterior trim, apply it now.*
- Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.
- Apply sealant over any gaps in the corners of the existing frame.
- Check the sill for level or for bowing.
- Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.
- For vinyl windows, add shims so maximum spacing is 18".
- Attach shims to prevent movement after they are level.



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3 PREPARE THE WINDOW

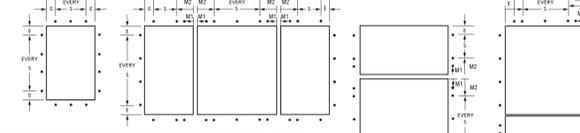
- Drill pilot holes (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
- Dry fit the window in the opening.
- Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
- Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
- Install the sill adapter. Cut it to length and notch it (if necessary).
- Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
- Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.



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PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



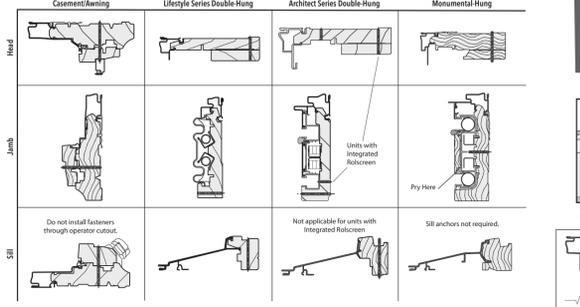
PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x2" Finish Screw	
Double- or Single-Hung	6"	16"	3"	6"	#8x2" Finish Screw	For windows with integrated RollScreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid RollScreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x2" Finish Screw	
Monumental DH > 54" x 96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame for secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame for secure clips centered between each jamb liner support clip.

* M1 anchor required if design pressure exceeds 20 psf. ** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



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PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed						Installation clips required for anchoring at the sill.
Single Hung	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning - Vent and Fixed	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).
Direct Set	6"	15"			#10 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

Use Factory Drilled Installation Holes if present. Install hole plugs after driving screws (lower CM/SH and Direct Set). ** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



Mullion Anchoring Diagram



Pilot Hole Locations and Sizes

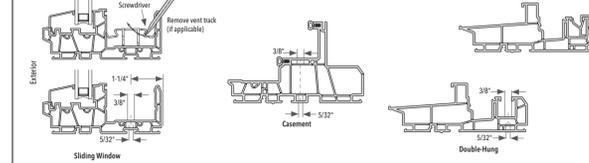


PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double- and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

* Use Factory Drilled Installation Holes if present. Install hole plugs after driving screws. ** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

Pilot Hole Locations and Sizes



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PELLA BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

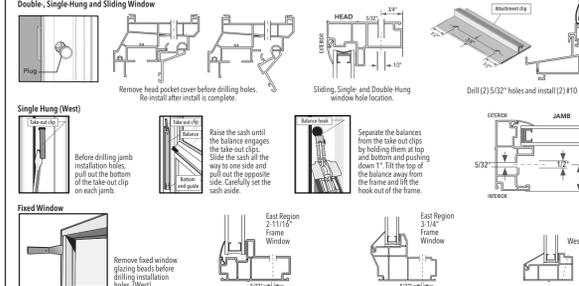
Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double-Hung (East)	6"	16"	4"	6"	#10 x 2" Pan Head (provided)	High Performance DH (3) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (4) #8 x 2" screws at head mullion ends and (4) clips at sill mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a P650 Performance install.
Fixed Window	4"	16"	4"	6"	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

All venting products: Head and sill anchors are required on composite only. *** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

Pilot Hole Locations and Sizes

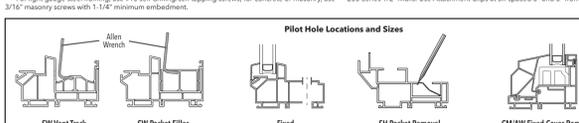


PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener	Special Notes
CM/SH (single units)						Use self-adhesive spacer at all installation holes for a P650 Performance install.
DH / SH / FX	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW & PG50	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW						
FX CM/AW						

All venting products: Head and sill anchors are required on composite only. * Use Factory Drilled Installation Holes if present. ** For DH & SH units > 42" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes. *** For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

Pilot Hole Locations and Sizes



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PELLA INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

Interior Sealant Instructions

- Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity. *Note: Apply foam between the frame and rough opening. NOT between jamb extensions and the rough opening.*
- To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal. Backer rods (as necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.

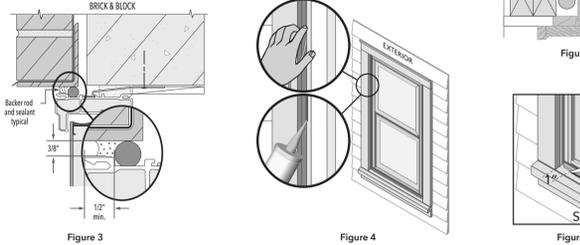
For windows set against drywall return or wood interior stops:

- Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam. *Note: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.*
- Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

Exterior Sealant Instructions

CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

- If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
- Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant. *Note: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the exterior sealant. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).*



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seal

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project title

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15233

drawing title

WINDOW REMOVAL/REPLACEMENT (PELLA)

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	12	A11
of.	12	
		Project #2006