



# MANCHESTER SCATTERED SITES

## HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1333 NORTH FRANKLIN STREET PITTSBURGH PENNSYLVANIA 15233 4 BEDROOM UNIT

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### Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with Basement
Gross Area:	2,126 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	8

### Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

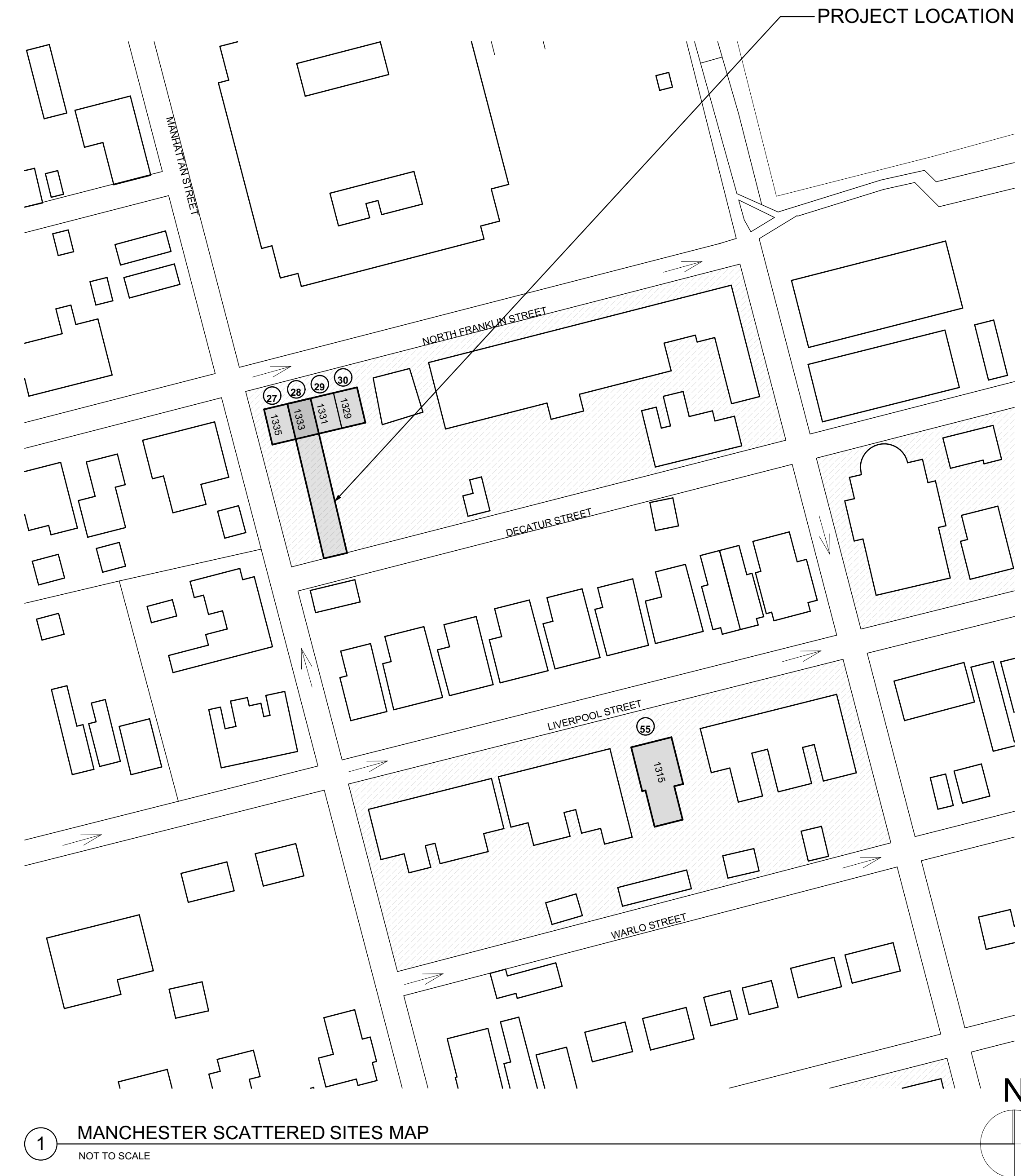
Building Owner:	Architect:	Plan Review & Inspection:
Housing Authority of the City of Pittsburgh 412.215.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fg@farpc.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

### General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

### General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



Fukui Architects Pc

205 Ross Street  
Pittsburgh, Pennsylvania 15219  
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

**Owner:**  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

MANCHESTER SCATTERED SITES  
MAP, ARCH PRLIM SET, CODE  
AND CONTACT INFO

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	2	A1 Project #2006
of.	12	



Materials Legend

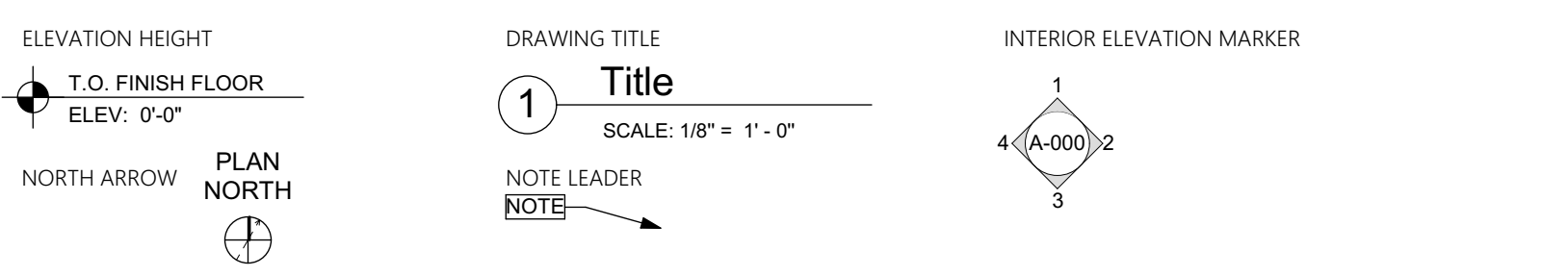
NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

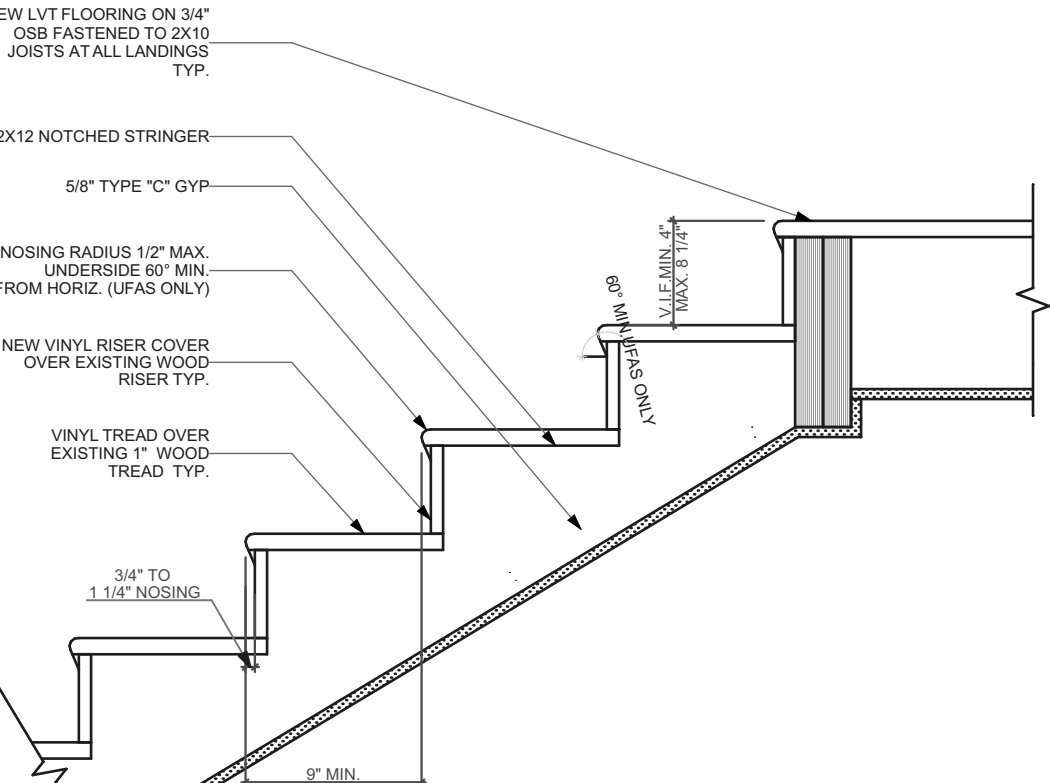
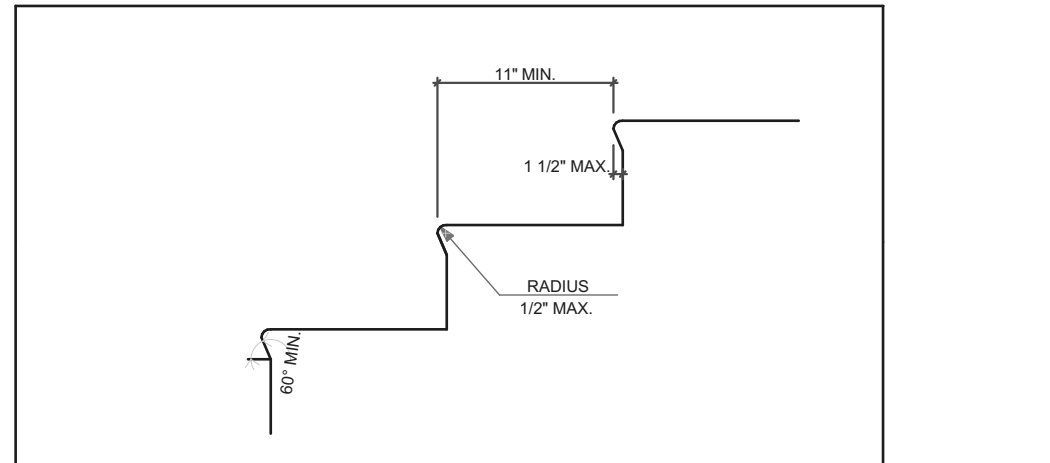
Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
APPROX.	Approximate	F.F.	Finish Floor	POLY.	Polyethylene
ARCH.	Architectural	FIN.FLR.	Finish Floor	P.V.C.	Polyvinyl Chloride
AS	Adjustable Shelving	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	Prefabricated
ASB.	Asbestos	F.E.	Fire Extinguisher	RE.	Refer To
ASPH.	Asphalt	FLR.	Floor	REF.	Refrigerator
AUTO.	Automatic	F.D.	Floor Drain	R.C.P.	Reinforced Concrete Pipe
AVG.	Average	FTG.	Footing	REINF.	Reinforcement
BLOCKING	Block	GA.	Gauge	R.D.	Roof Drain
BD.	Board	G.C.	General Contractor	R.M.	Room
BATT INSULATION	Bottom	G.F.I.	Ground Fault Interrupter	S.A.T.	Suspended Acoustical Tile
BLK.	Block	GYP.	Gypsum	SCHED.	Schedule
BD.	Board	G.W.B.	Gypsum Wall Board	SHT.	Sheet
BOT	Bottom	GSH.	Gypsum Sheathing	SIM.	Similar
BLDG	Building	H/C	Handicap	S.C.	Solid Core
CL.P.	Cast In Place	H.V.A.C.	Heating, Ventilation & Air Conditioning	SPECS.	Specifications
C.B.	Catch Basin	HT	Height	SQ.	Square
C.M.	Cement	HC	Hollow Core	S.F.	Square Foot
CER.	Ceramic	H.M.	Hollow Metal	S.S.	Stainless Steel
CG	Corner Guard	HORIZ.	Horizontal	STL.	Steel
C.M.T.	Ceramic Mosaic Tile	HR.	Hour	STOR.	Storage
C.W.T.	Ceramic Wall Tile	H.W.	Hot Water	STRUCT.	Structural
C.O.	Cleanout	IN.	Inch	TEL.	Telephone
CL	Center Line	IM.	Insulated Metal	THK.	Thick
CLO.	Closet	INSUL.	Insulation	T.B.D.	To Be Determined
C.W.	Cold Water	INT.	Interior	T&G	Tongue & Groove
CLG.	Celling	INV.	Invert	T.O.	Top Of
CLR.	Clearance	ISO.	Isolation	T.G.	Top Of Grade
COL.	Column	JAN.	Janitor's Closet	T.O.S.	Top Of Steel
CONC.	Concrete	J.T.	Joint	TYP.	Typical
C.M.U.	Concrete Masonry Unit	LAM.	Laminate	UNFIN.	Unfinished
CONT.	Continuous	LAV.	Lavatory	U.N.O.	Unless Noted Otherwise
CORR.	Corridor	L.G.	Long	V.B.	Vapor Barrier
C.M.P.	Corrugated Metal Pipe	M.D.F.	Medium Density Fiberboard	VERT.	Vertical
C.R.S.	Courses	MAX.	Maximum	VEST.	Vestibule
DIA.	Diameter	M.D.H.	Magnetic Door Holder	V.C.T.	Vinyl Composition Tile
DET	Detail	M.H.	Manhole	V.I.F.	Verify In Field
DGL	Dens Glass Gold	MFR.	Manufacturer	W.H.	Water Heater
DR.	Door	MFR.	Manufacturer	W.R.B.	Water Resistant Barrier
DN.	Down	MFR.	Manufacturer	W.W.F.	Welded Wire Fabric
D.S.	Downspout	MECH.	Mechanical	WIN.	Window
DWG.	Drawing	MET.	Metal	W/	With
DWR.	Drawer	MIN.	Minimum	W/O	Without
D.F.	Drinking Fountain			WD.	Wood
D.I.P.	Ductile Iron Pipe				
EA.	Each				
E.W.	Each Way				
ELEC.	Electrical				
E.C.	Electrical Contractor				
EL.	Elevation				

Symbols



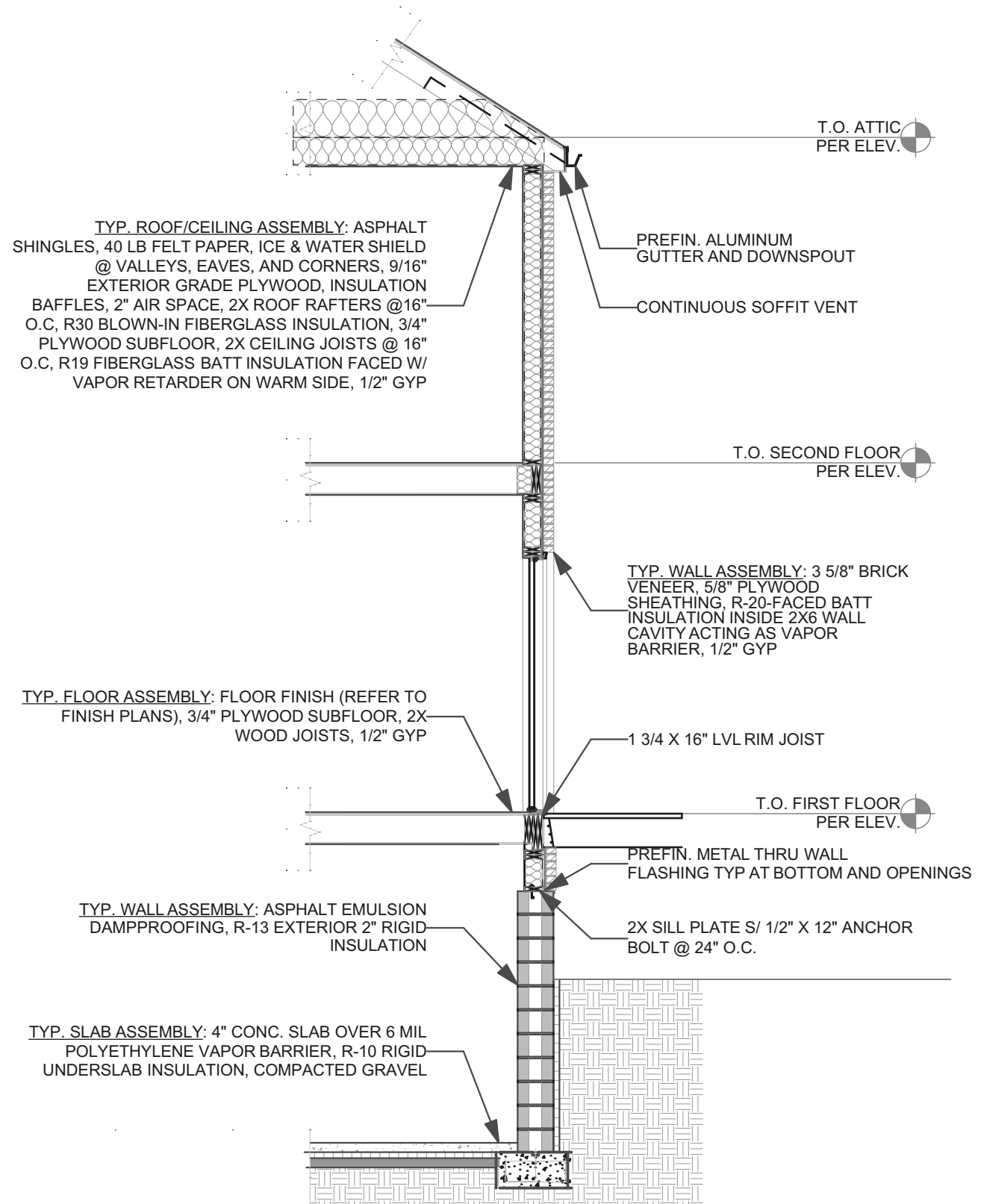
1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

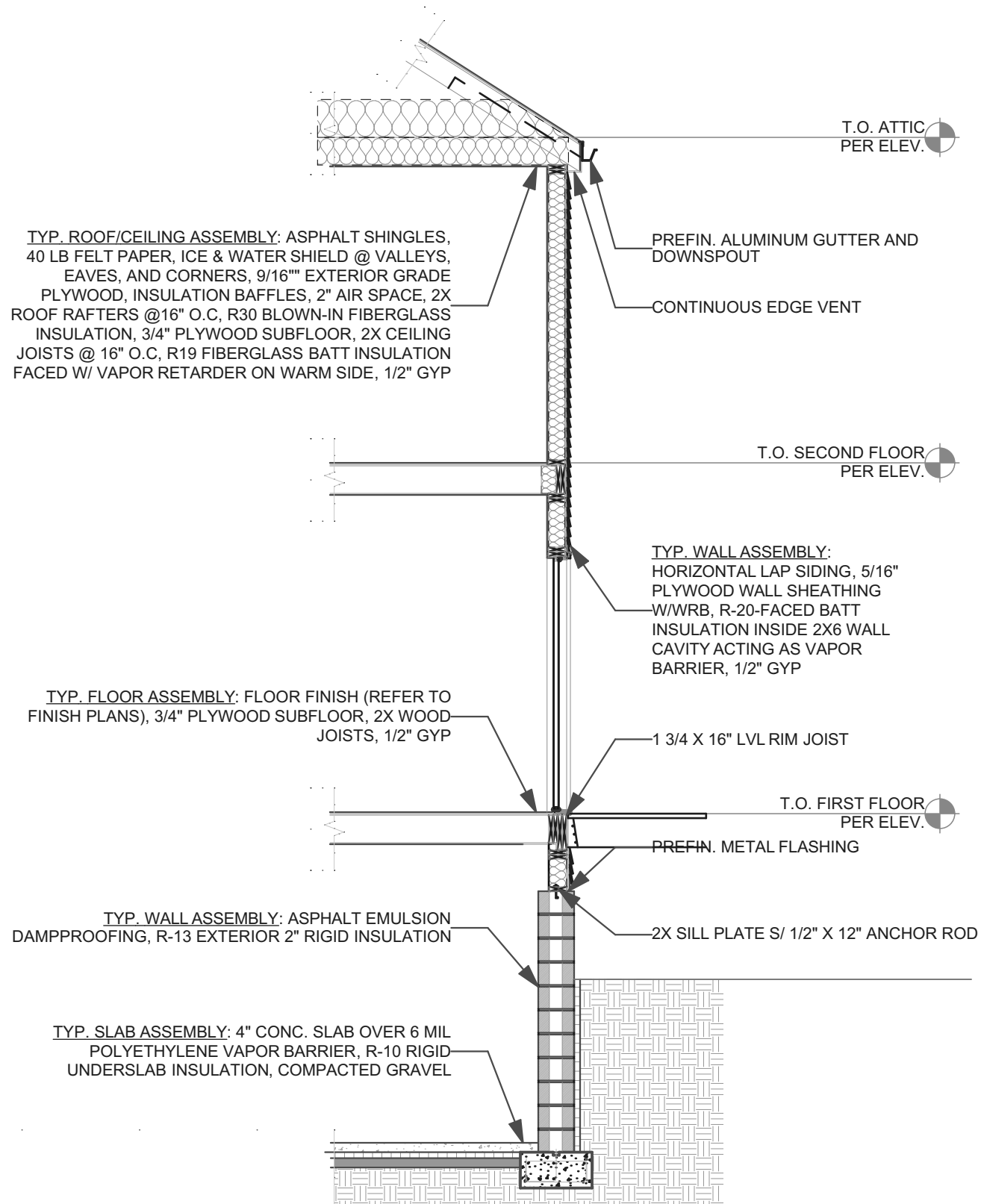
4 INTERIOR STAIR DETAIL

SCALE: 1\"/>



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

2 BRICK WALL SECTION



THIS WALL SECTION IS PROVIDED AS GENERAL REFERENCE ONLY. IT IS NOT INTENDED THAT THERE WILL BE ANY NEW CONSTRUCTION THAT WILL REQUIRE ALL OF THE COMPONENTS OR ASSEMBLIES SHOWN HERE.

3 SIDING WALL SECTION

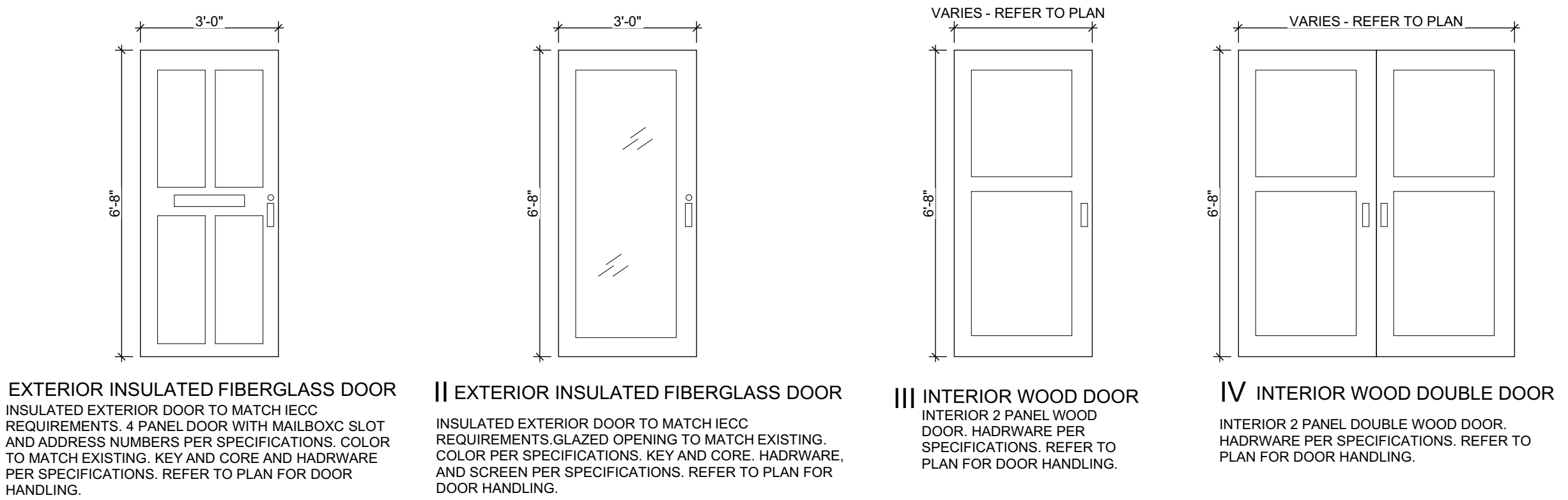
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-6"	1'-6"	8'-0"	VINYL CLAD WOOD	☒	☐
B	2'-9"	2'-0"	8'-8 1/4"	GLASS BLOCK	☐	☐
C	2'-9"	5'-1"	7'-10 1/2"	VINYL CLAD WOOD	☒	☐
D	2'-8"	6'-9 1/2"	6'-9 1/2"	FIBERGLASS	☐	☒
E	2'-5"	4'-1"	7'-11"	VINYL CLAD WOOD	☒	☐
F	2'-9"	5'-1"	6'-11 3/4"	VINYL CLAD WOOD	☒	☐
G	4'-10"	4'-5"	6'-9"	VINYL CLAD WOOD	☒	☐
H	2'-0"	3'-1"	6'-9"	VINYL CLAD WOOD	☒	☐
I	2'-4"	4'-1"	7'-2"	VINYL CLAD WOOD	☒	☐
J	2'-0"	4'-1"	7'-5"	VINYL CLAD WOOD	☒	☐

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS. ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
2	2'-8" x 7'-0"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8" x 6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
5	2'-0" x 6'-8"	III	WOOD	WOOD	PASSAGE
6	3'-0" x 6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-4" x 6'-8"	III	WOOD	WOOD	PASSAGE
8	2'-6" x 6'-8"	IV	WOOD	WOOD	DUMMY
9	4'-0" x 6'-8"	IV	WOOD	WOOD	DUMMY
10	2'-4" x 6'-8"	III	WOOD	WOOD	PRIVACY
11	2'-6" x 6'-8"	III	WOOD	WOOD	PRIVACY

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS. ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN. GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

NAME	FLOOR
BEDROOM	09   LVT
BTHRM	09   LVT
CLO	09   LVT
DINING ROOM	09   LVT
ENTRY	09   LVT
HALLWAY	09   LVT
KITCHEN	09   LVT
LIN. CLO	09   LVT
LIVING ROOM	09   LVT
PNTRY	09   LVT
PWDR	09   LVT



Owner:  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

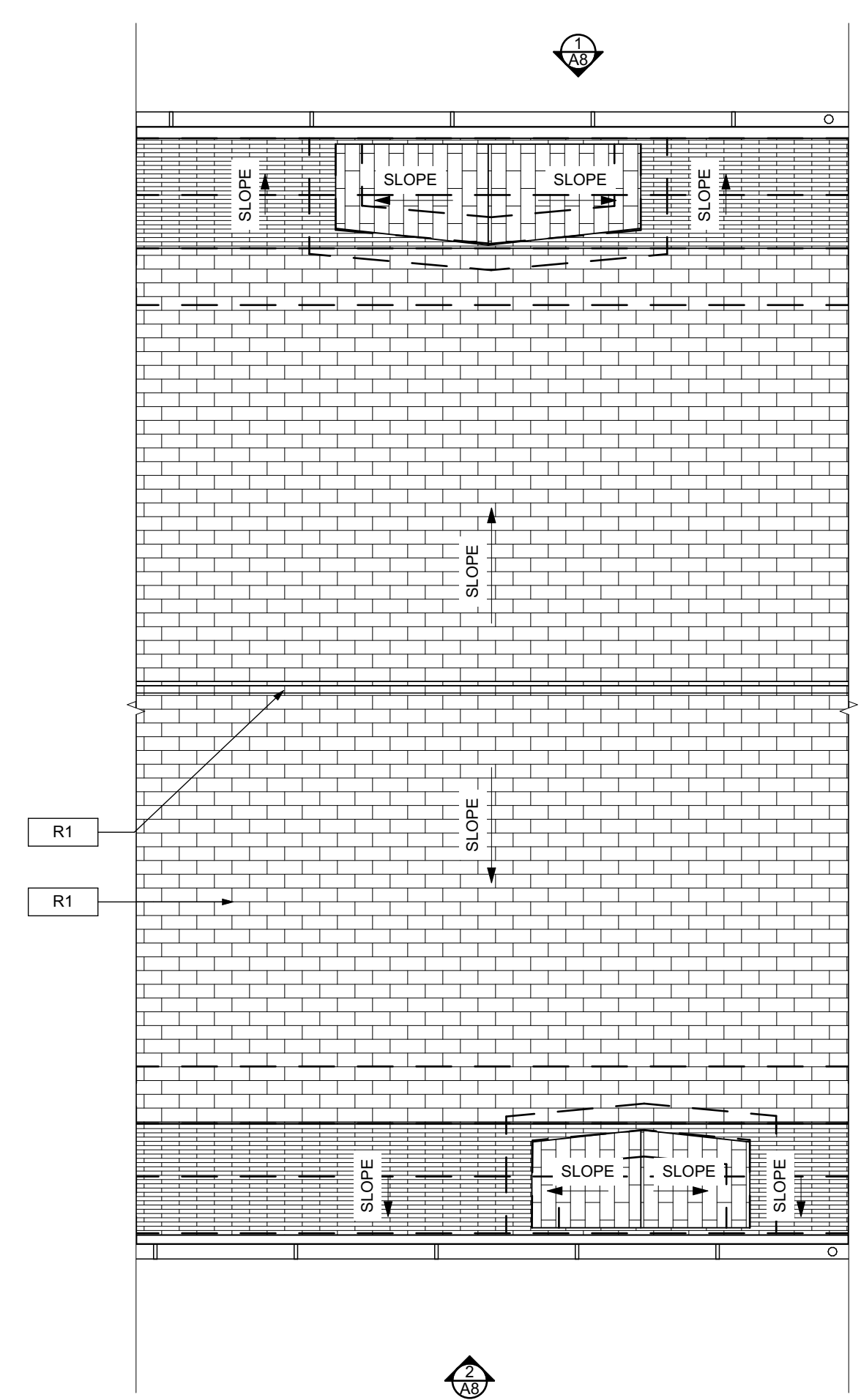
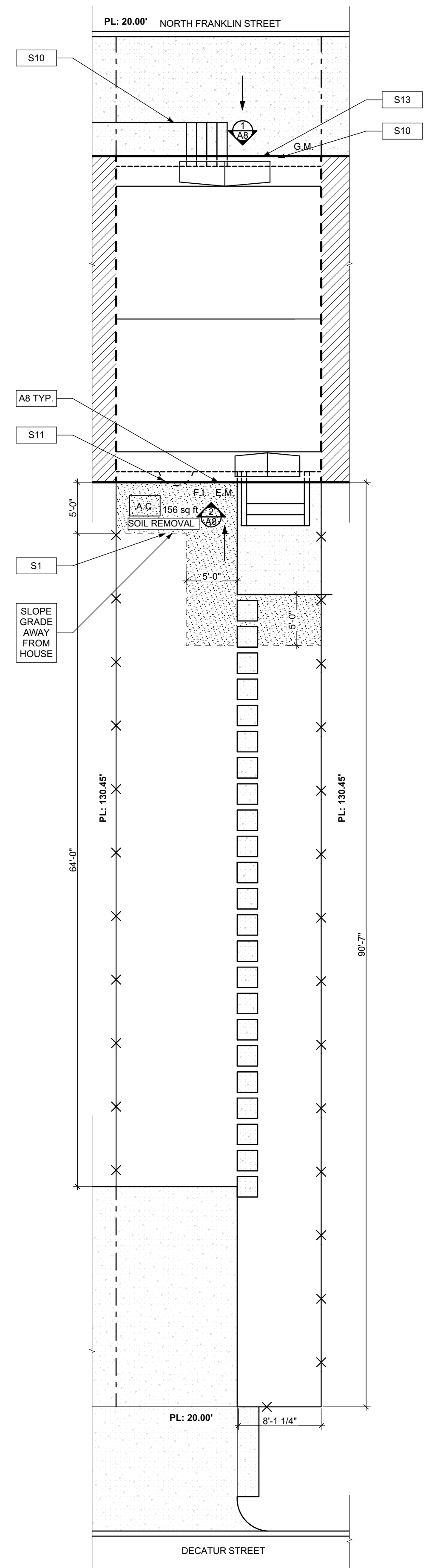
Project Location:  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

ABBREVIATIONS AND MATERIALS, BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, DOOR TYPES, FINISH SCHEDULE

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	3	A2
of.	12	
Project #2006		







2 ROOF PLAN  
SCALE: 1/4" = 1'-0"

ROOF AND SITE PLAN LEGEND

- |           |                        |      |                           |
|-----------|------------------------|------|---------------------------|
| — X —     | PROPERTY FENCE         | G.M. | GAS METER                 |
| - - - - - | PROPERTY LINE          | F.I. | FRESH AIR INTAKE          |
| — — — — — | BUILDING OUTLINE       | A.C. | AIR CONDITIONER CONDENSOR |
| - - - - - | PARTY WALL             | E.M. | ELECTIC METER             |
| —         | GATE                   |      |                           |
| □ □ □ □   | STEPPING CONCRETE PADS |      |                           |
| —         | ICE WATER SHIELD       |      |                           |

ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

**SCOPE REDUCTION:**  
AT THE TIME OF CONSTRUCTION, HACPC, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACPC THE AMOUNT DUE OF ALL ITEMS REMAINING.

1 SITE PLAN  
SCALE: 1/8" = 1'-0"

SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL TO MEET SLOPE REQUIREMENTS. TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNLEVEL LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SUEBS SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED LAYERS OF FLOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOODS. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERIMETER COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS FOR TIE. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL NET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNLEVEL FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNLEVEL AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG.'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINER IN SPACE TO MITIGATE MOISTURE CONTRIBUTION. TIGHTEN AND SEAL ALL EXISTING ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

**Owner:**  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

**SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	5	A4 Project #2006
of.	12	

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

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HACP  
200 ROSS STREET  
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**Project Location:**  
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PITTSBURGH, PENNSYLVANIA  
15233

**BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	6	of. <b>A5</b> Project #2006
	12	

- SITE**
- S11 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL. PROVIDE CLAY AND REG. GRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. REINFORCE CONCRETE IS PRESENT MINIMUM 3 OVER 4" OF REINFORCE DISTRIBUTED VEGETATION PER SPECIFICATIONS.
  - S12 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
  - S13 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SITE. PROVIDE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
  - S14 EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 2" SPAN. JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
  - S15 SAWCUT AND REMOVE OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH 2" SPAN. JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL. PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
  - S16 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
  - S17 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
  - S18 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
  - S19 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
  - S20 REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
  - S21 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
  - S22 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVEL, RELOCATE, SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
  - S23 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
  - S24 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
  - A12 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
  - A13 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
  - A14 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
  - A15 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORM FLOORING. REMOVE DOOR OR REPLACE THRESHOLD AS NECESSARY.
  - A16 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. HOIST AND BRACE AS NECESSARY. REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMOVE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPAIR TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
  - A17 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
  - A18 SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
  - A19 EXPOSED INSULATION AT THIS LOCATION. REMOVE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
  - A20 DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
  - A21 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING FLOOR FOR NEW STANDARD 2X4X12 SPREAD FOOTING AND BRACE. CALL CONTRACTOR FOR REFERENCE TO DETAIL DRAWINGS FOR MORE INFORMATION.
  - A22 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
  - A23 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
  - A24 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
  - A25 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
  - A26 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
  - A27 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
  - A28 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

**PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**

- P11 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FUTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P22 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.


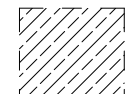

**MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**

- M11 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M22 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON CALCULATED DUCT OR FURNACE.
- M33 INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER IN SPACE TO MITIGATE MOISTURE CONTROL. ADD DELIMITER TO EXISTING ISSUE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M44 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

**GENERAL DEMOLITION NOTES**

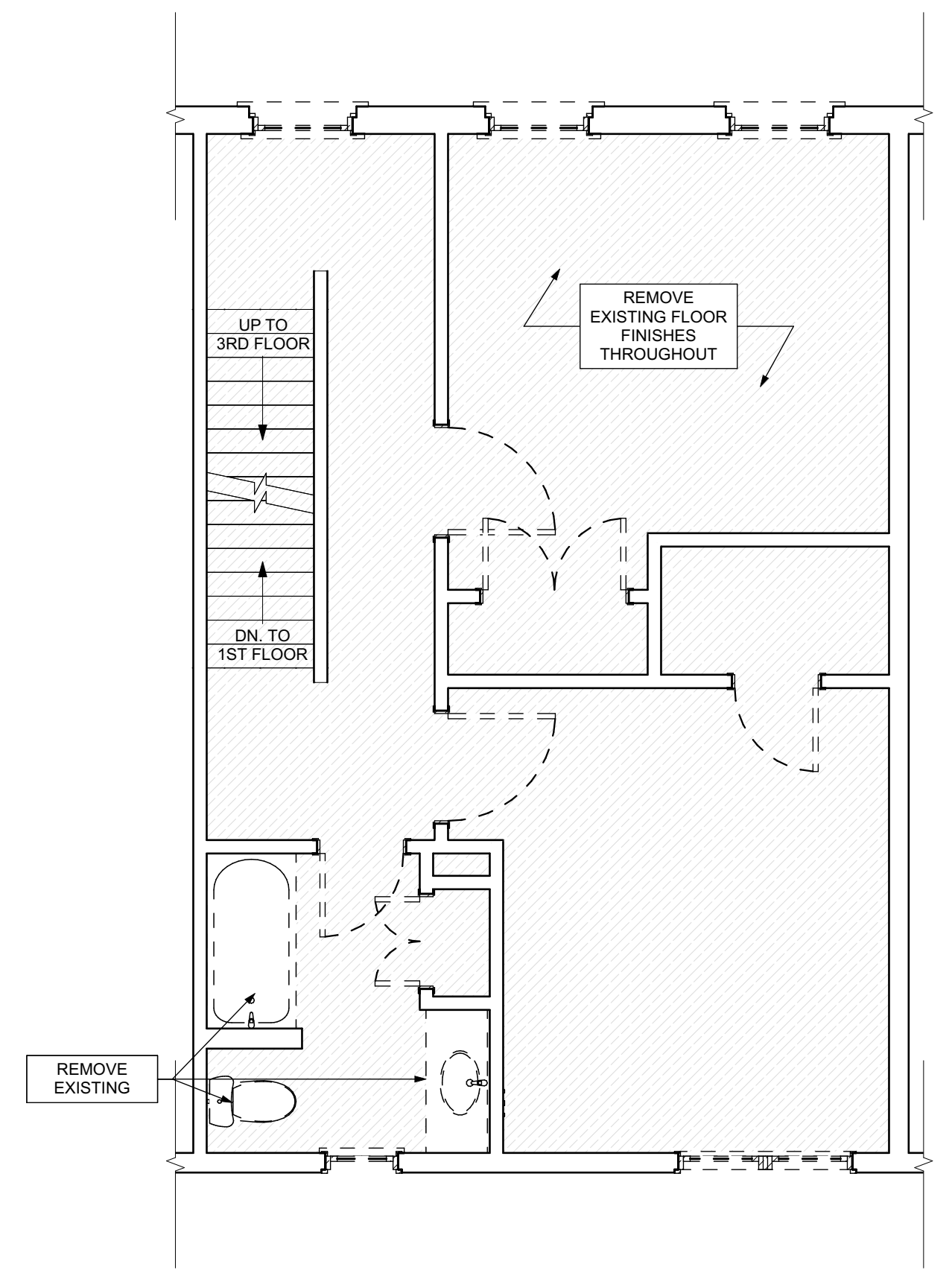
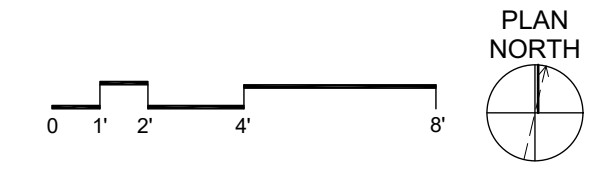
- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED. TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL/DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

**DEMOLITION PLAN LEGEND**

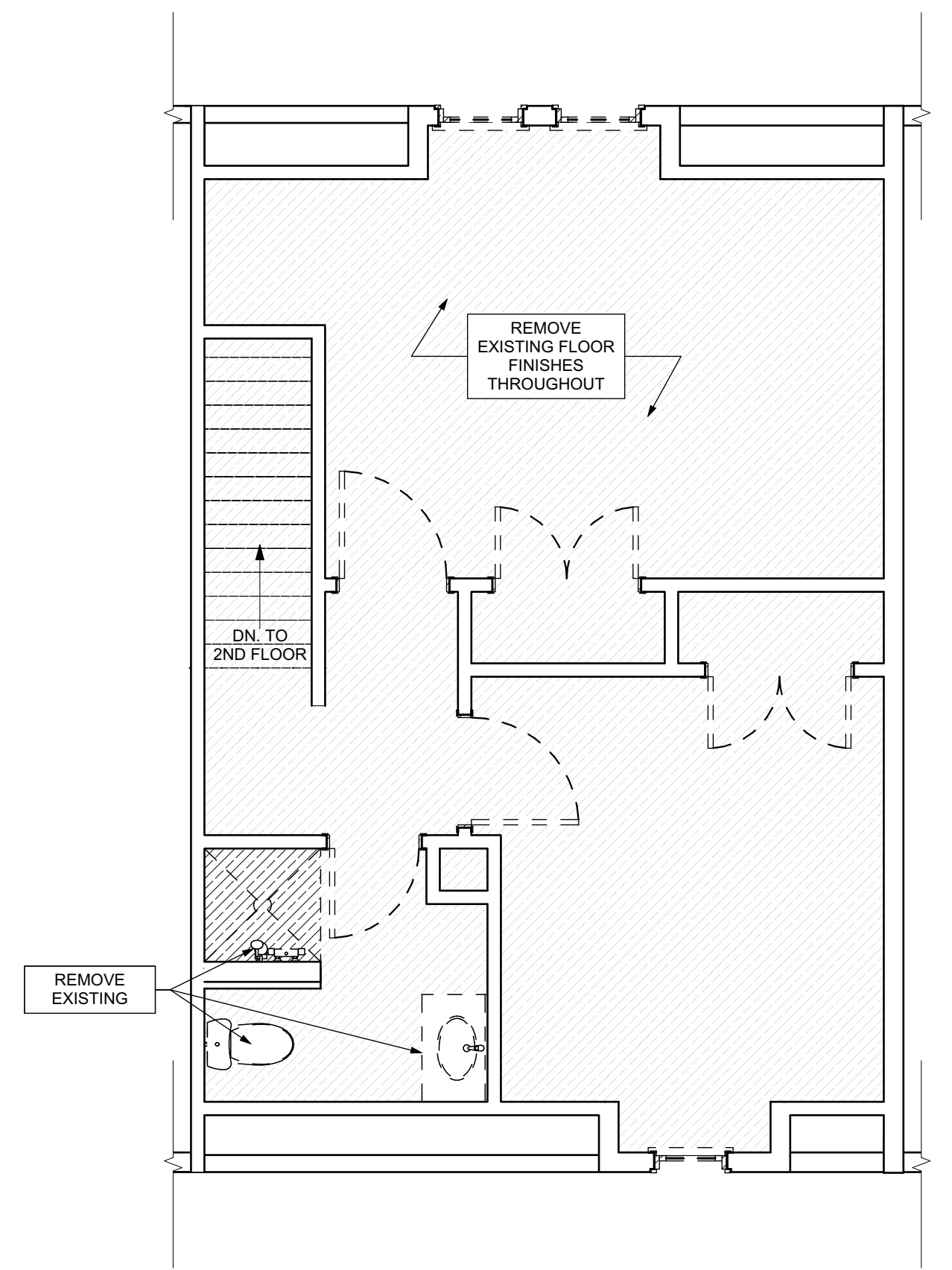
-  DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
-  DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
-  FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

**SCOPE REDUCTION:**  
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

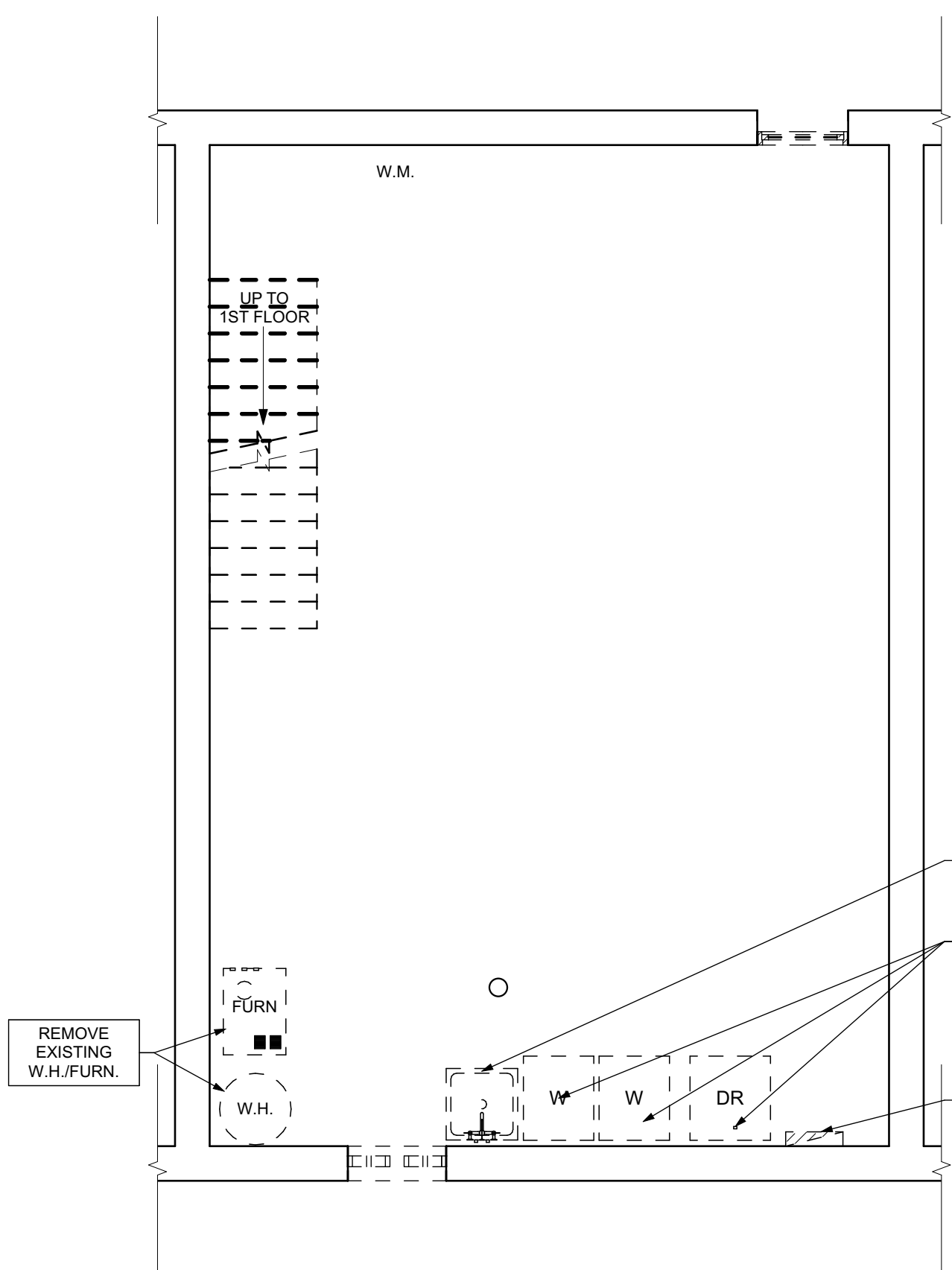
**GENERAL NOTE:**  
AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



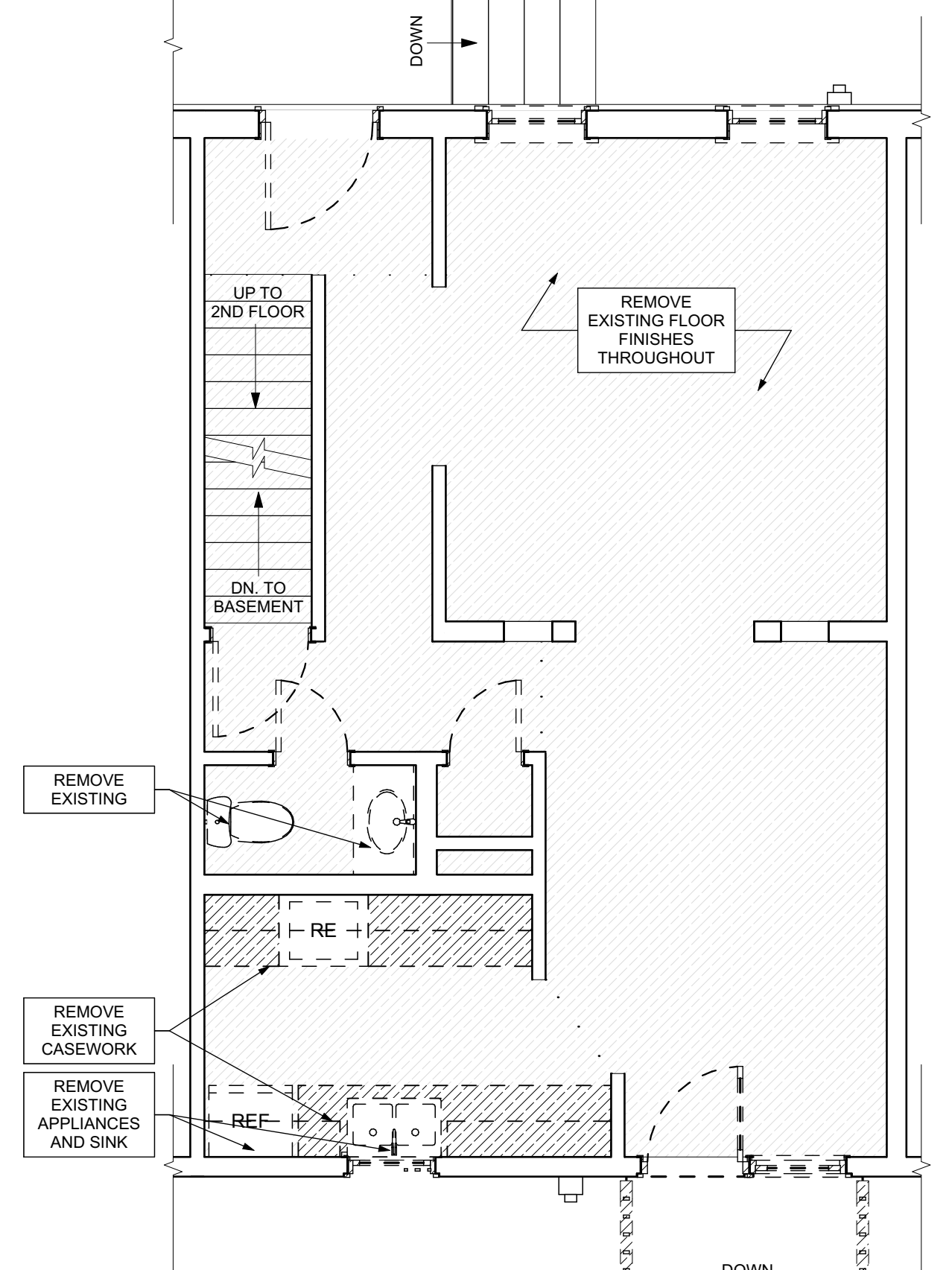
**3 SECOND FLOOR / DEMO PLAN**  
SCALE: 1/4" = 1'-0"



**4 THIRD FLOOR / DEMO PLAN**  
SCALE: 1/4" = 1'-0"

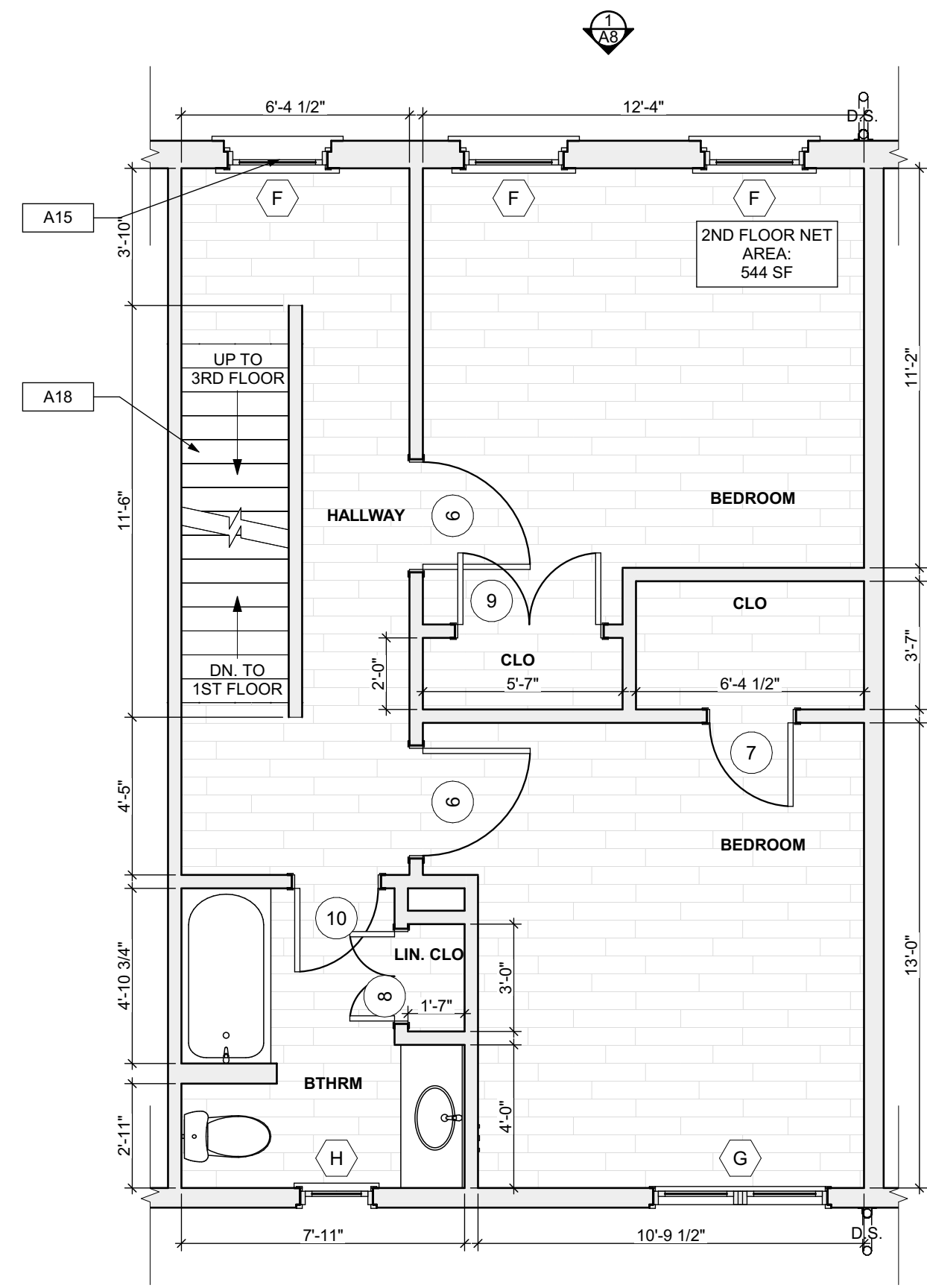


**1 BASEMENT / DEMO PLAN**  
SCALE: 1/4" = 1'-0"

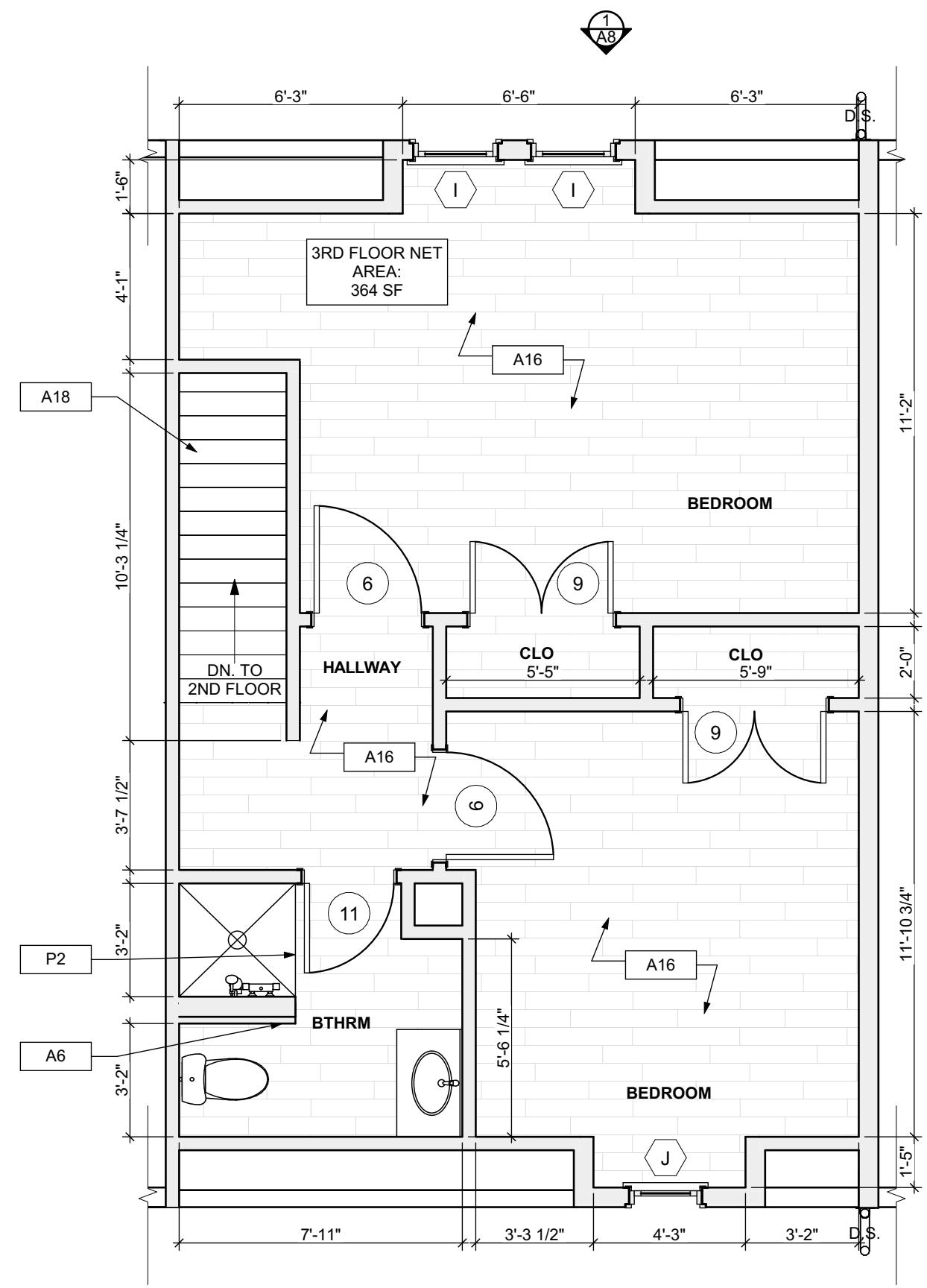


**2 FIRST FLOOR / DEMO PLAN**  
SCALE: 1/4" = 1'-0"

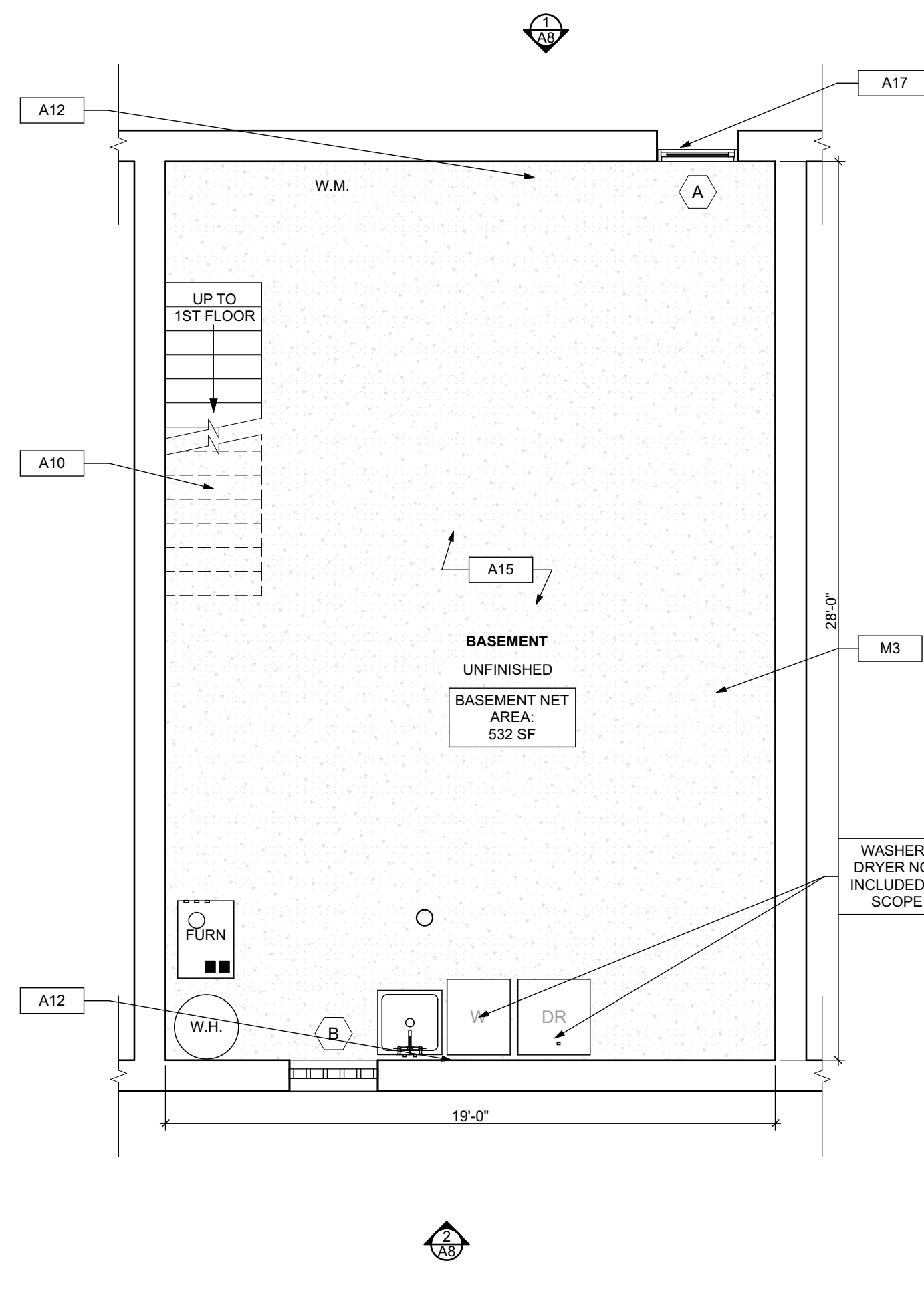




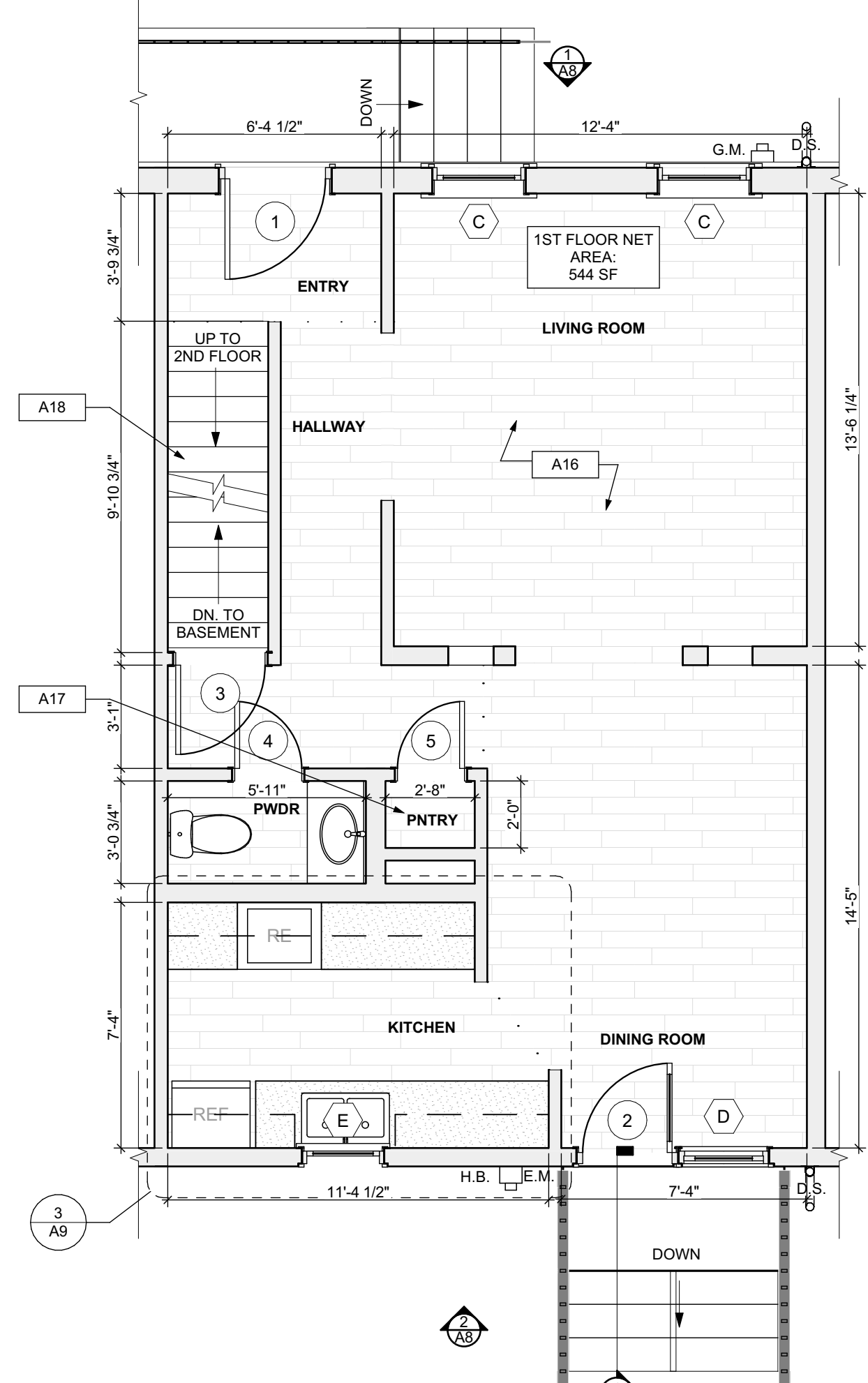
**3 SECOND FLOOR /FINISH/MECH./PLUMB. PLAN**  
 SCALE: 1/4" = 1'-0"



**4 THIRD FLOOR /FINISH/MECH./PLUMB. PLAN**  
 SCALE: 1/4" = 1'-0"



**1 BASEMENT /FINISH/MECH./PLUMB. PLAN**  
 SCALE: 1/4" = 1'-0"



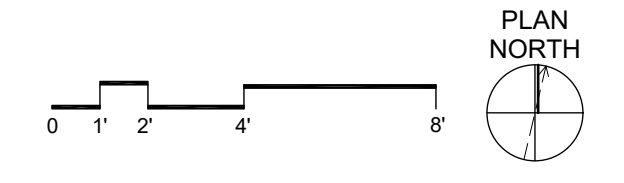
**2 FIRST FLOOR /FINISH/MECH./PLUMB. PLAN**  
 SCALE: 1/4" = 1'-0"

**FLOOR PLAN LEGEND**

- FRIDGE
- RANGE
- GAS FURNACE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

**SCOPE REDUCTION:**

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



**SITE**

- S17 AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. REINFORCE CONCRETE BY PRESENT MINIMUM 3 OVER 12" REINFORCE DISTRIBUTED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S19 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT. REINFORCE EXISTING FOUNDATION. PROVIDE NEW PRESSURE TREATED POST WITH NEW 5X5X6" TIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S20 EXISTING PARKING PAD TO BE DEMOLISHED AND REINFORCED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S21 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S22 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
- S23 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S24 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S25 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S26 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR SPECIFICATIONS FOR DETAILS.
- S27 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S28 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROOP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S29 REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

**ROOF**

- R11 DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CHIMNEYS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

**ARCHITECTURAL**

- A11 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A12 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CHU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A13 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A14 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A15 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNWEIGHTED LOADS OF FLOOR. REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A16 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. HOIST STUDS OR BRACES AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A17 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A18 SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A19 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A20 DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/CHIP EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A21 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'1" SPREAD FOOTING AND BRACE. CHECK FOR PLUMB. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A22 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A23 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A24 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A25 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A26 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A27 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- A28 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

**PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.**

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

**MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTRIBUTING TO MOLD. ADD DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

**seal**

**general notes**

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
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6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

**revisions**

ISSUED FOR PERMIT: 05.06.2022

**project title**

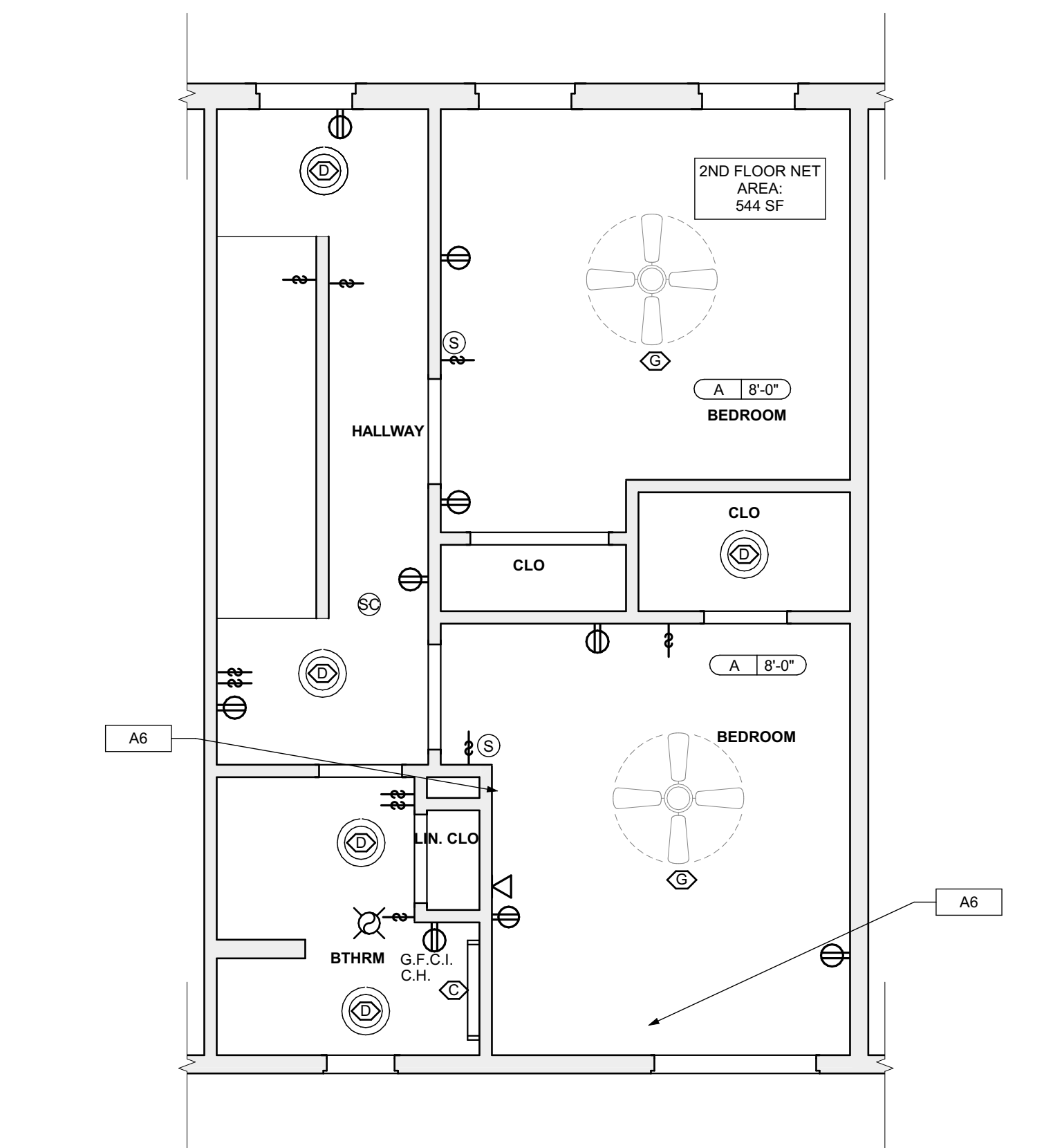
**Owner:**  
 HACP  
 200 ROSS STREET  
 PITTSBURGH, PA 15219

**Project Location:**  
 MANCHESTER SCATTERED SITES  
 1333 NORTH FRANKLIN STREET  
 PITTSBURGH, PENNSYLVANIA  
 15233

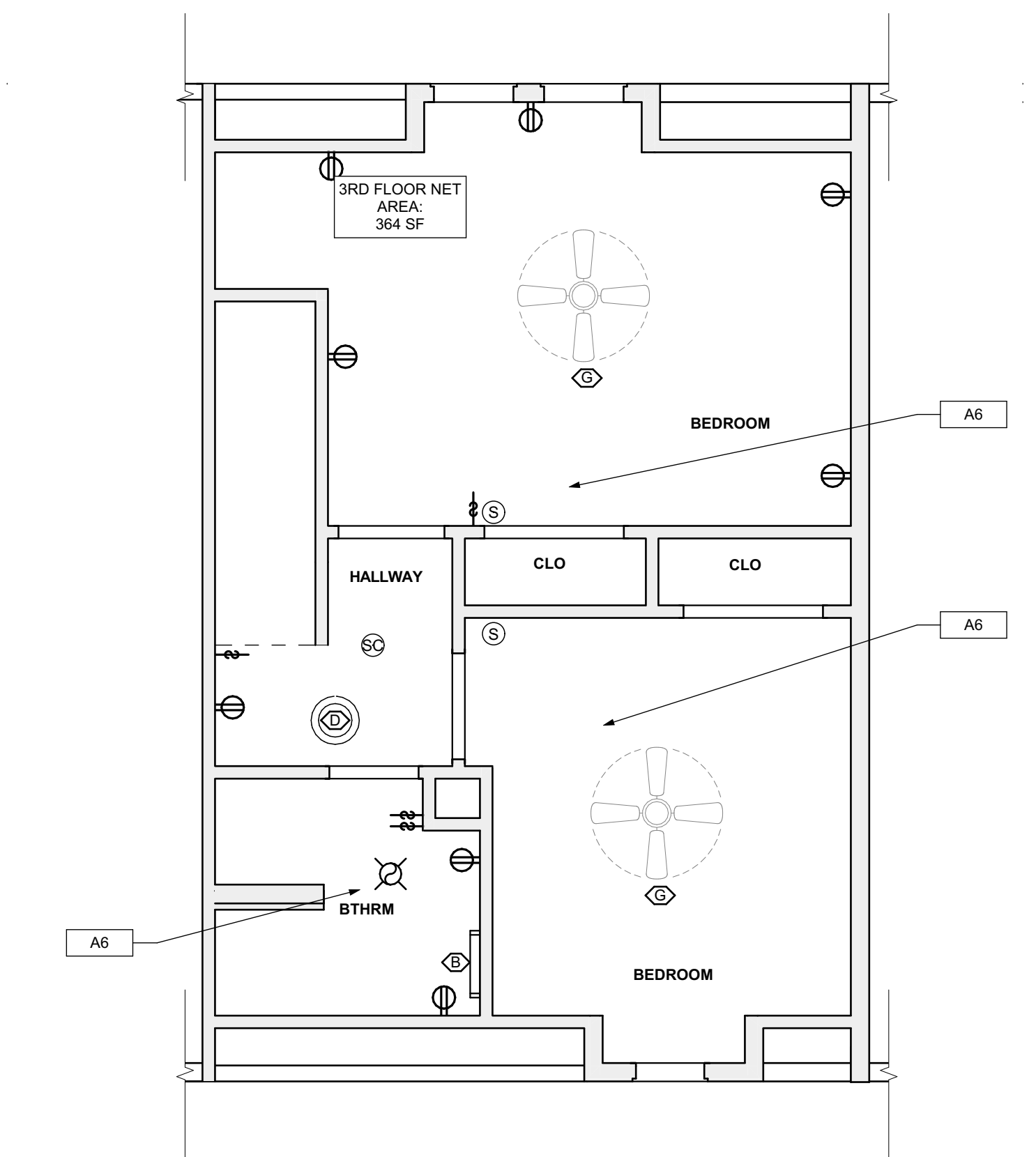
**drawing title**

**BASEMENT /FINISH/MECH./PLUMB. PLAN, FIRST FLOOR /FINISH/MECH./PLUMB. PLAN, SECOND FLOOR /FINISH/MECH./PLUMB. PLAN, THIRD FLOOR /FINISH/MECH./PLUMB. PLAN, GRAPHIC SCALES, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES**

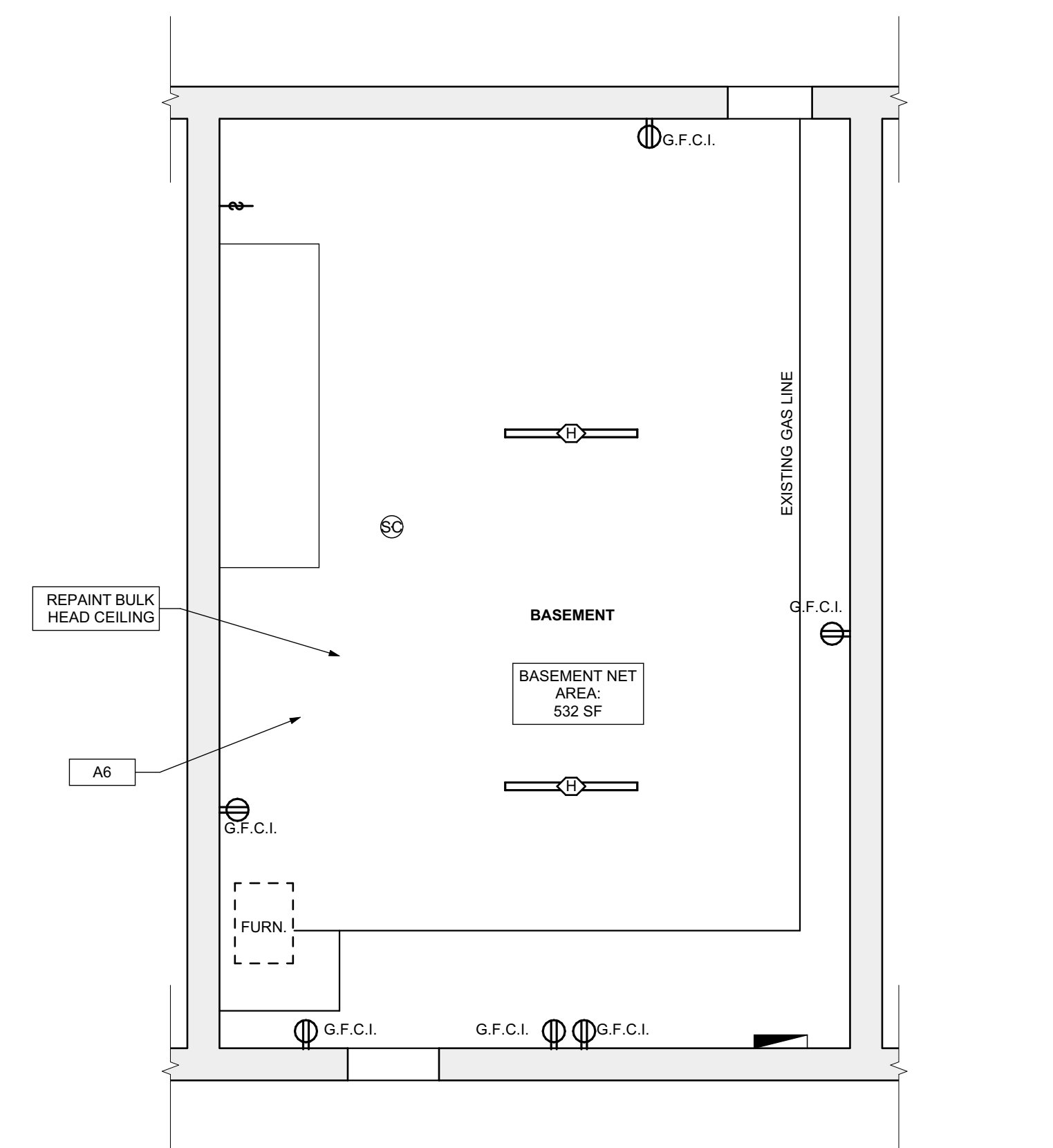
scale	As Noted	Sheet No.
date	May 6, 2022	
no.	7	of. 12
		<b>A6</b>
		Project #2006



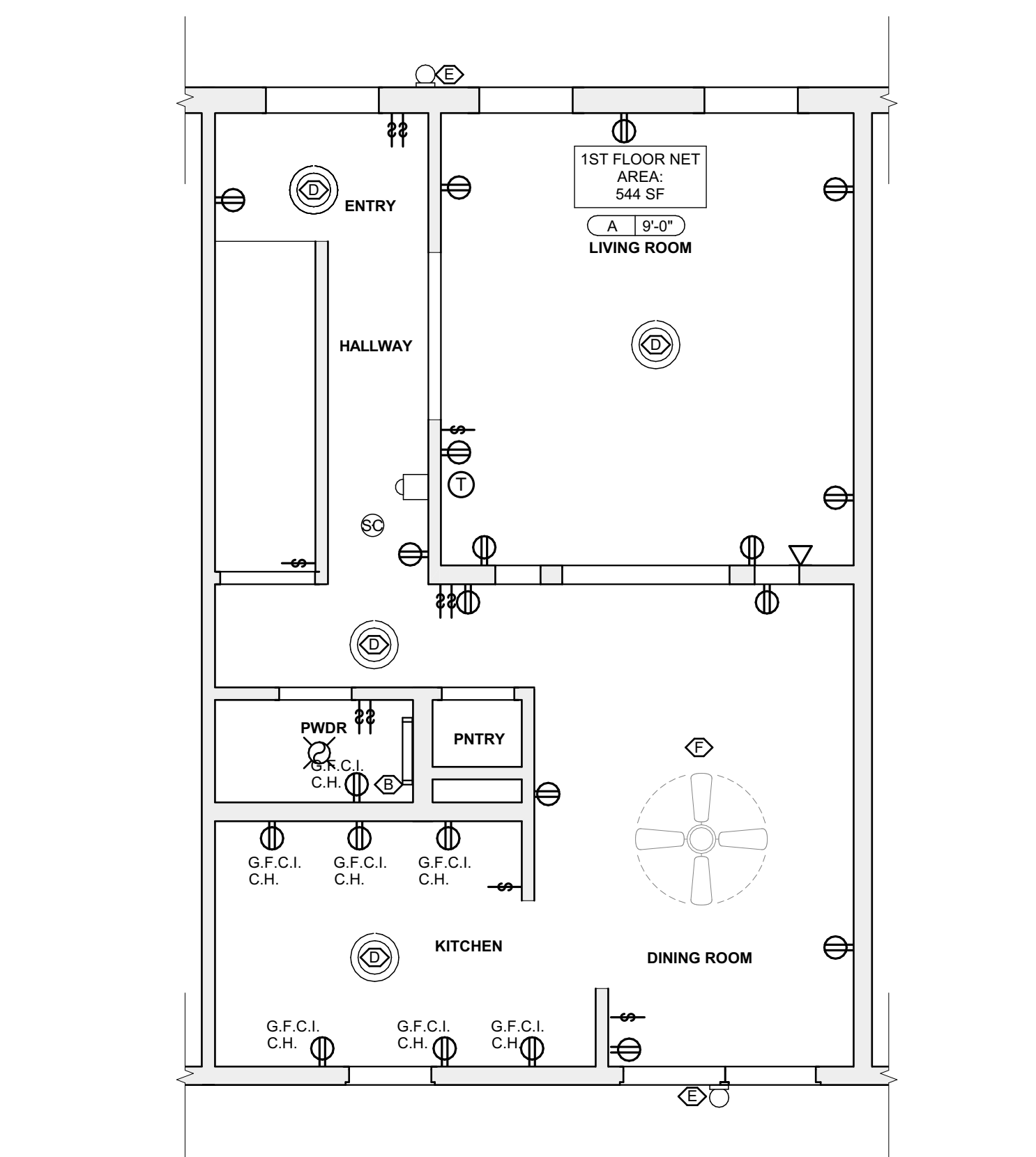
**3 SECOND FLOOR REFL. CLG./ POWER/ DATA PLAN**  
 SCALE: 1/4" = 1'-0"



**4 THIRD FLOOR REFL. CLG./ POWER/ DATA PLAN**  
 SCALE: 1/4" = 1'-0"



**1 BASEMENT REFL. CLG./ POWER/ DATA PLAN**  
 SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR REFL. CLG./ POWER/ DATA PLAN**  
 SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
[Symbol]	B	Short Bathroom Light Bar - Replacement Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922N1L18	2
[Symbol]	C	Long Bathroom Light Bar - Replacement Long Vanity	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	1
[Symbol]	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
[Symbol]	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
[Symbol]	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
[Symbol]	G	Bedroom Ceiling Fan	DEMPESEY Low Profile with Light 44 inch	Model # 59445	4
[Symbol]	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	2

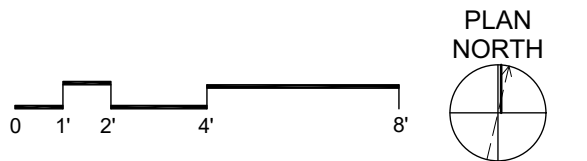
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

**RCP LEGEND - (See Specifications for basis of Design)**

- Ⓢ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- Ⓢ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- Ⓢ ELECTRICAL METER
- Ⓢ THERMOSTAT
- Ⓢ DATA RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- Ⓢ GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ LIGHT SWITCH
- Ⓢ EXHAUST FAN
- Ⓢ DOORBELL
- A X-X GWB CEILING / CEILING HEIGHT
- B X-X UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

**SCOPE REDUCTION:**  
 AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

**GENERAL NOTE:**  
 ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



- SITE**
- [S1] AT LOCATION SHOWN, REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 2" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
  - [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
  - [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF SLOPE. PROVIDE NEW PRESURE TREATED POST WITH NEW SYNTHETIC TRIM CAULK AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
  - [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND REPAIRED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH 2" SPAN. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
  - [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE. MIN. 2% WITH 2" SPAN. JOINT AND CAULK BELOW NEW SLAB SECTION. PROVIDE W.W. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
  - [S6] POTENTIAL GAS VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METERS AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METERS.
  - [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
  - [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
  - [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WORK. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
  - [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
  - [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
  - [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, REGRADE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
  - [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
  - [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAID WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

- ROOF**
- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

- ARCHITECTURAL**
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAWCUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
  - [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
  - [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
  - [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
  - [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIFORMITY OF FLOOR FINISHES. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
  - [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR BRACE AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. RESEAL LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
  - [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
  - [A8] SEA EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
  - [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
  - [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
  - [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING LAB FOR NEW STANDARD 2"x4" SPREAD FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
  - [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
  - [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
  - [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTION TO BE PROVIDED BY ARCHITECT.
  - [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
  - [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
  - [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
  - [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

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- MECHANICAL - REF. ONLY. REFER TO MECH. DWG.'S.**
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  - [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DELIMITER BIR IN SPACE TO MITIGATE MOISTURE. CHECK FOR LEAKS AT ALL FITTINGS. CHECK FOR ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
  - [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

**seal**

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**revisions**

ISSUED FOR PERMIT: 05.06.2022

**project title**

**Owner:**  
 HACP  
 200 ROSS STREET  
 PITTSBURGH, PA 15219

**Project Location:**  
 MANCHESTER SCATTERED SITES  
 1333 NORTH FRANKLIN STREET  
 PITTSBURGH, PENNSYLVANIA  
 15233

**drawing title**

**BASEMENT REFL. CLG./ POWER/ DATA PLAN, FIRST FLOOR REFL. CLG./ POWER/ DATA PLAN, SECOND FLOOR REFL. CLG./ POWER/ DATA PLAN, THIRD FLOOR REFL. CLG./ POWER/ DATA PLAN, SMALL UNIT KEYNOTES, RCP LEGEND, GRAPHIC SCALES**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	8	A7
of.	12	
		Project #2006



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ISSUED FOR PERMIT: 05.06.2022

Owner:  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

NORTH ELEVATION, SOUTH  
ELEVATION, GRAPHIC SCALES,  
SMALL UNIT KEYNOTES

scale  
As Noted

date  
May 6, 2022

no. 9 of 12

Sheet No.

A8

Project #2006

SITE

- S17 AT LOCATION SHOWN REMOVE 2" OF TOPSOIL, PROVIDE CLAY CAP AND REGRADE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT MINIMUM 3" OVER 70% REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- S18 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
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- S30 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

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ARCHITECTURAL

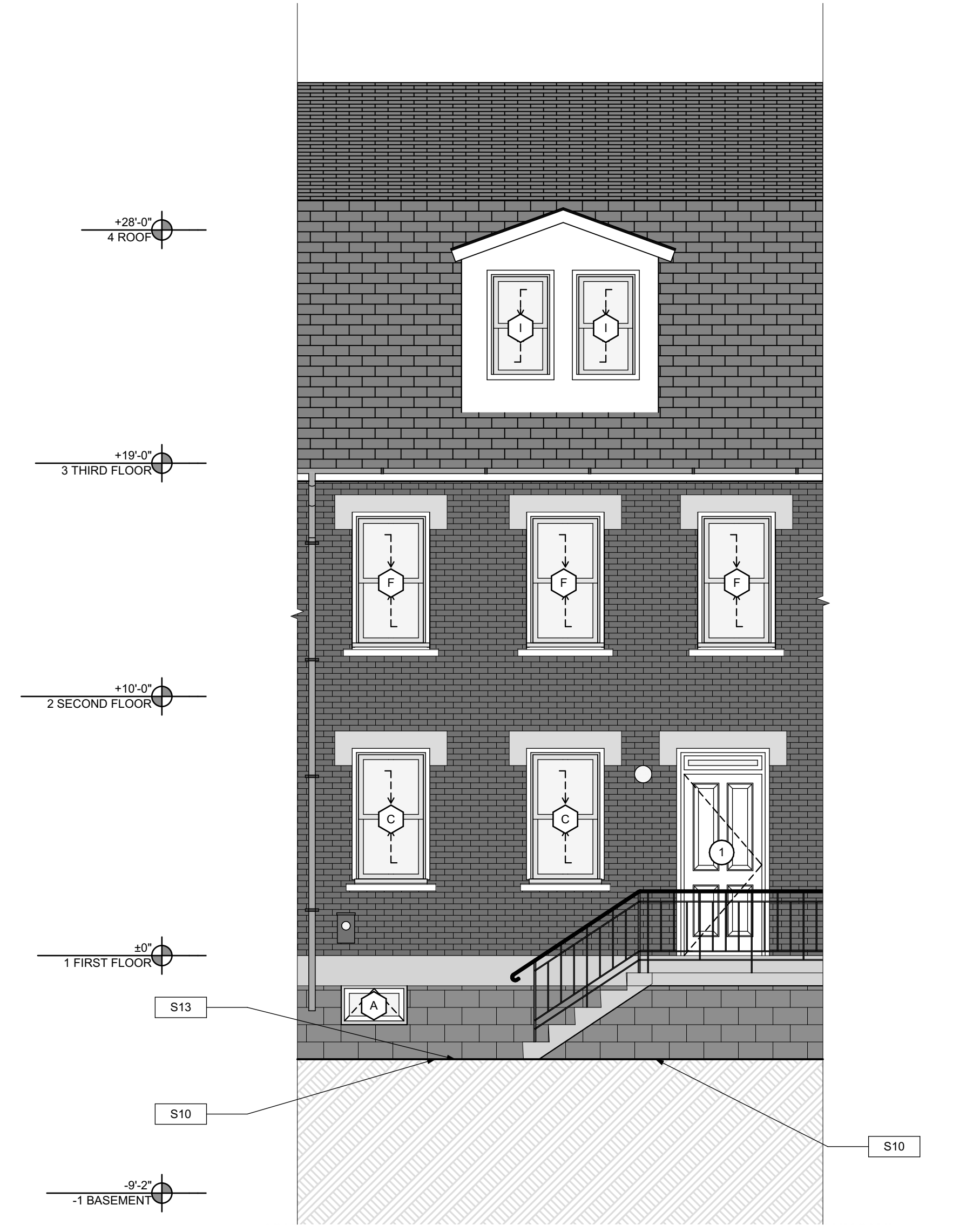
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- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1x PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAW CUT EXISTING SLAB FOR NEW STANDARD 2"X2" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL OR CEILING. REPLACE SUBFLOORING OR GYPSUM WALL AT UNEVEN AREAS IF FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

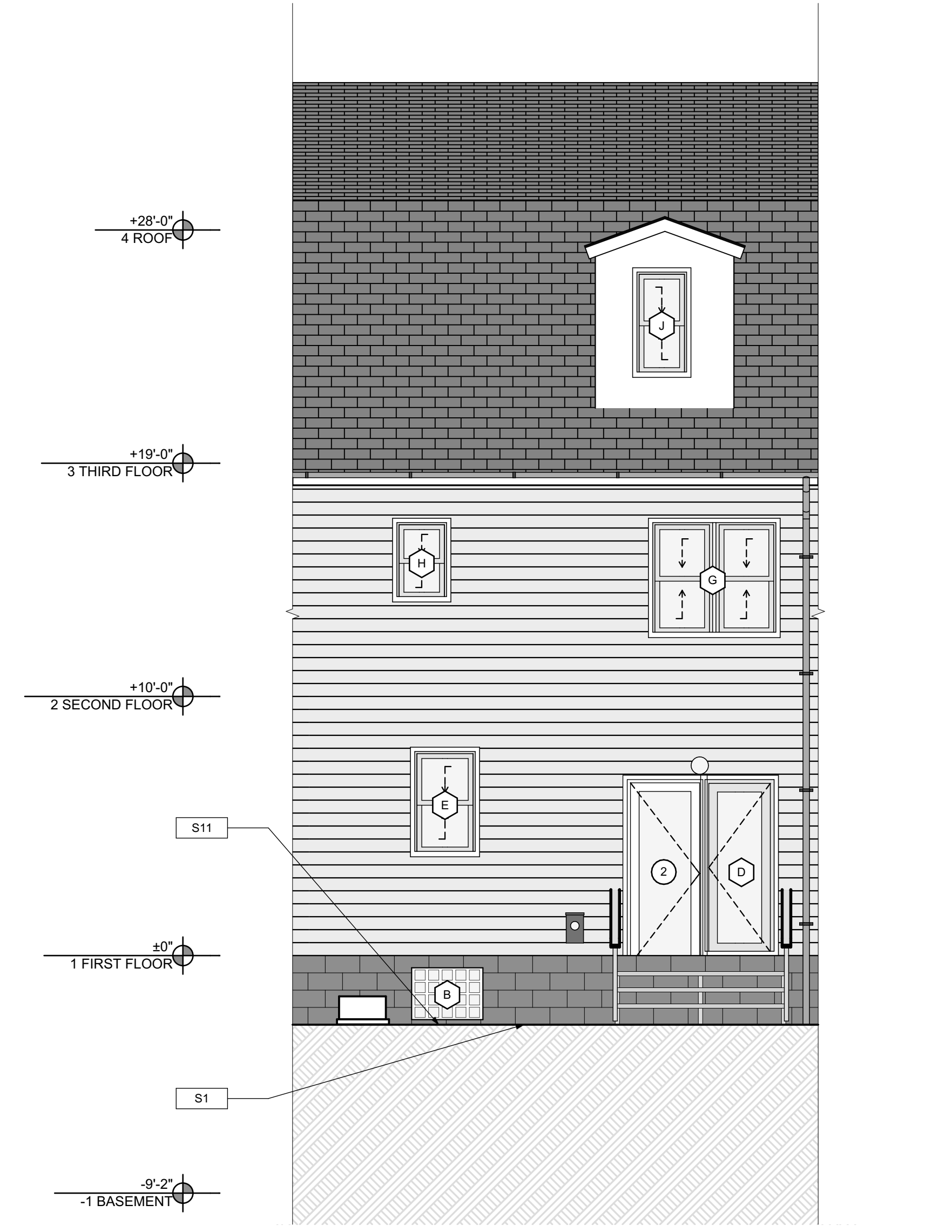
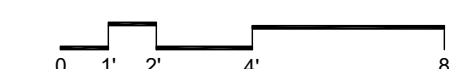
- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

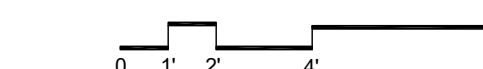
- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AVAILABLE DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED RECOMMENDS ADDING DELUMINESCER IN SPACE TO MITIGATE MOISTURE CONTRIBUTED BY EXISTING FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

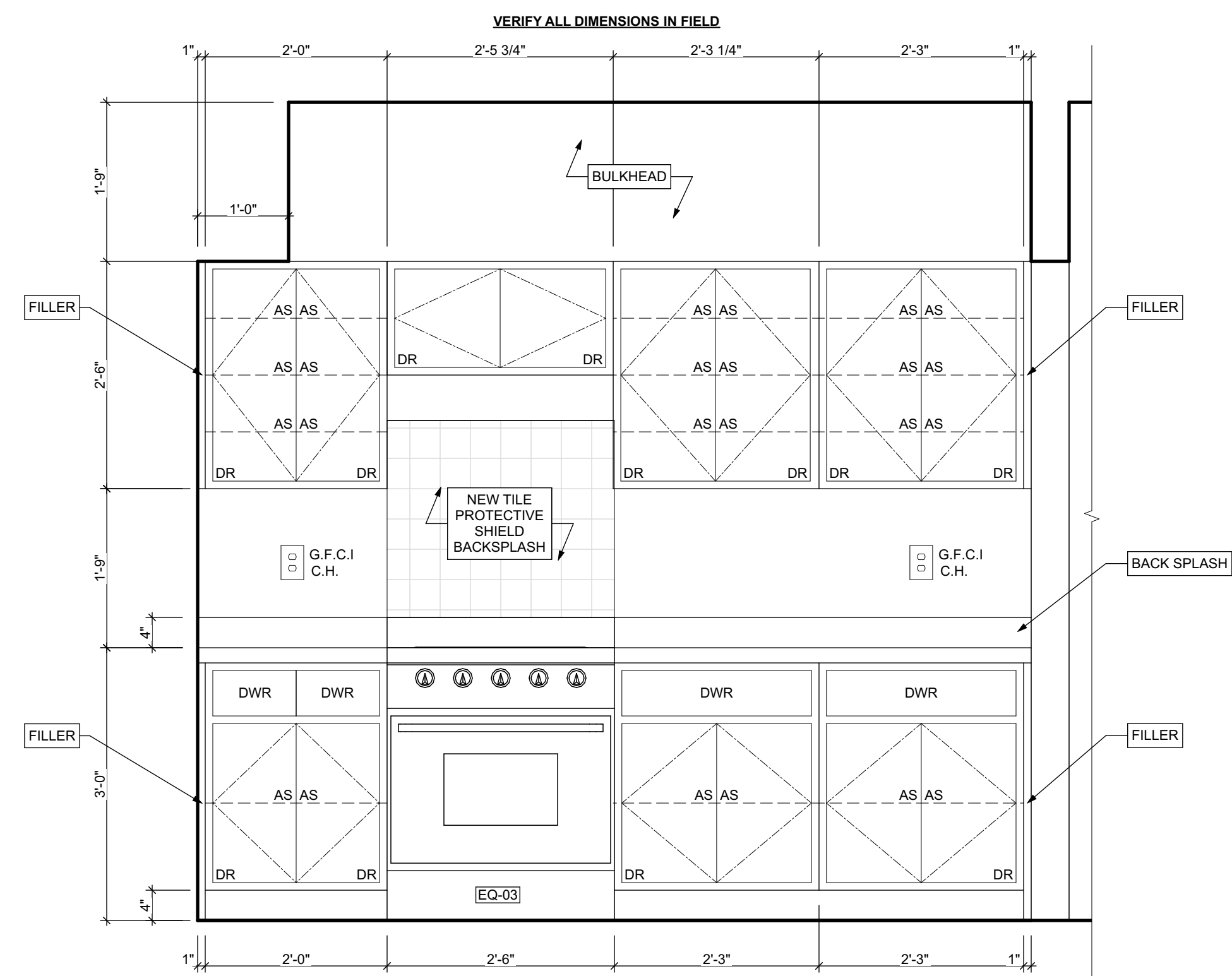


2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

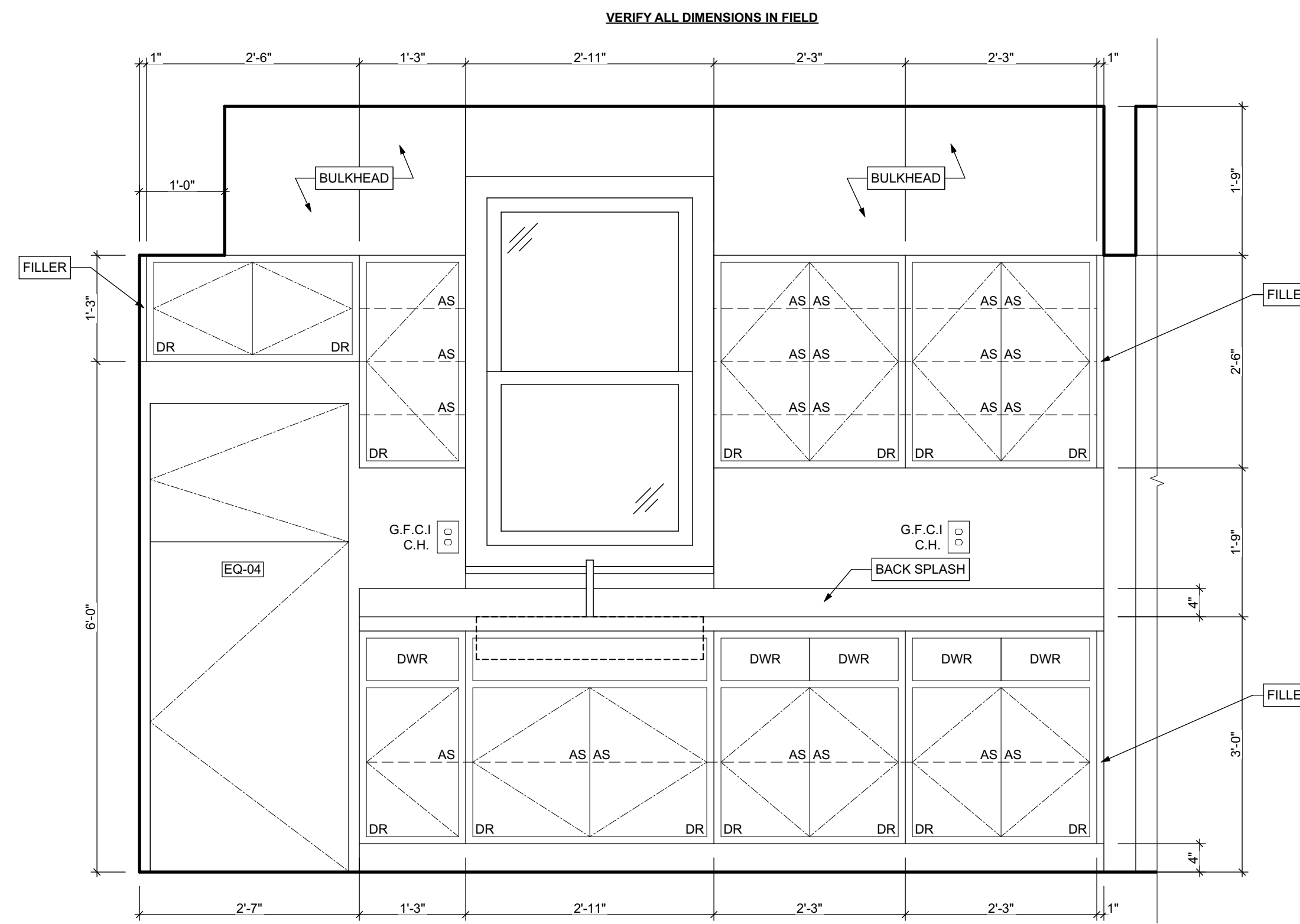


**GENERAL NOTE:**  
SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

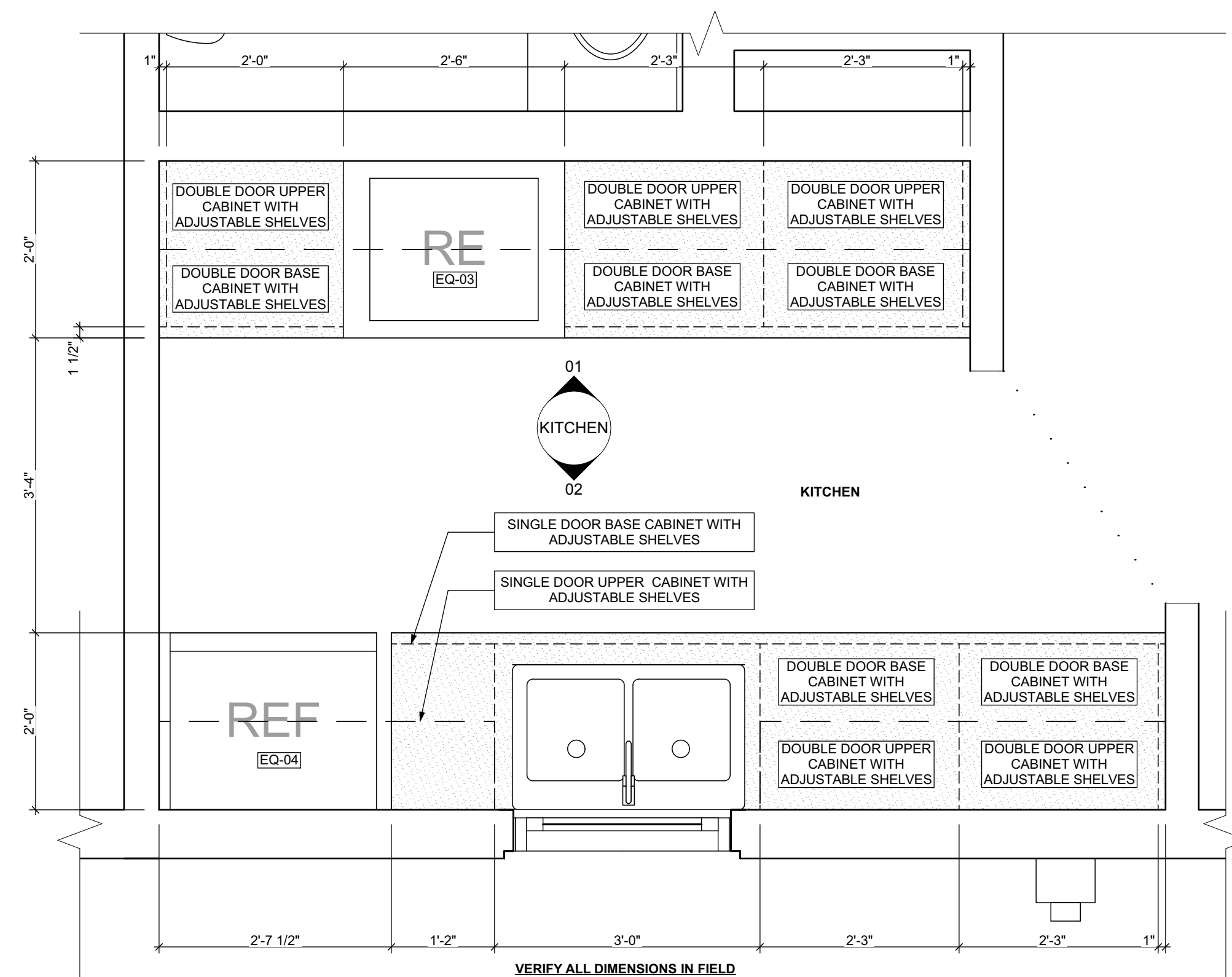
**SCOPE REDUCTION:**  
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



1 KITCHEN ELEVATION 01  
SCALE: 3/4" = 1'-0"



2 KITCHEN ELEVATION 02  
SCALE: 3/4" = 1'-0"



3 FIRST FLOOR KITCHEN ENLARGED PLAN  
SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	MODEL	DIMENSIONING NOTES
MIRROR	3	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent		Remove existing and place new mirror in same location
MEDICINE CABINET	-	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent		Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome		Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome		Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome		Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome		Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC66	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8FZDB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/60 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	3	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cinnamon white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 30" W x 60" L	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handles(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/4" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.  
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

GENERAL NOTE:  
MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

KITCHEN ELEVATION 01,  
KITCHEN ELEVATION 02, FIRST  
FLOOR KITCHEN ENLARGED  
PLAN

scale  
As Noted

date  
May 6, 2022

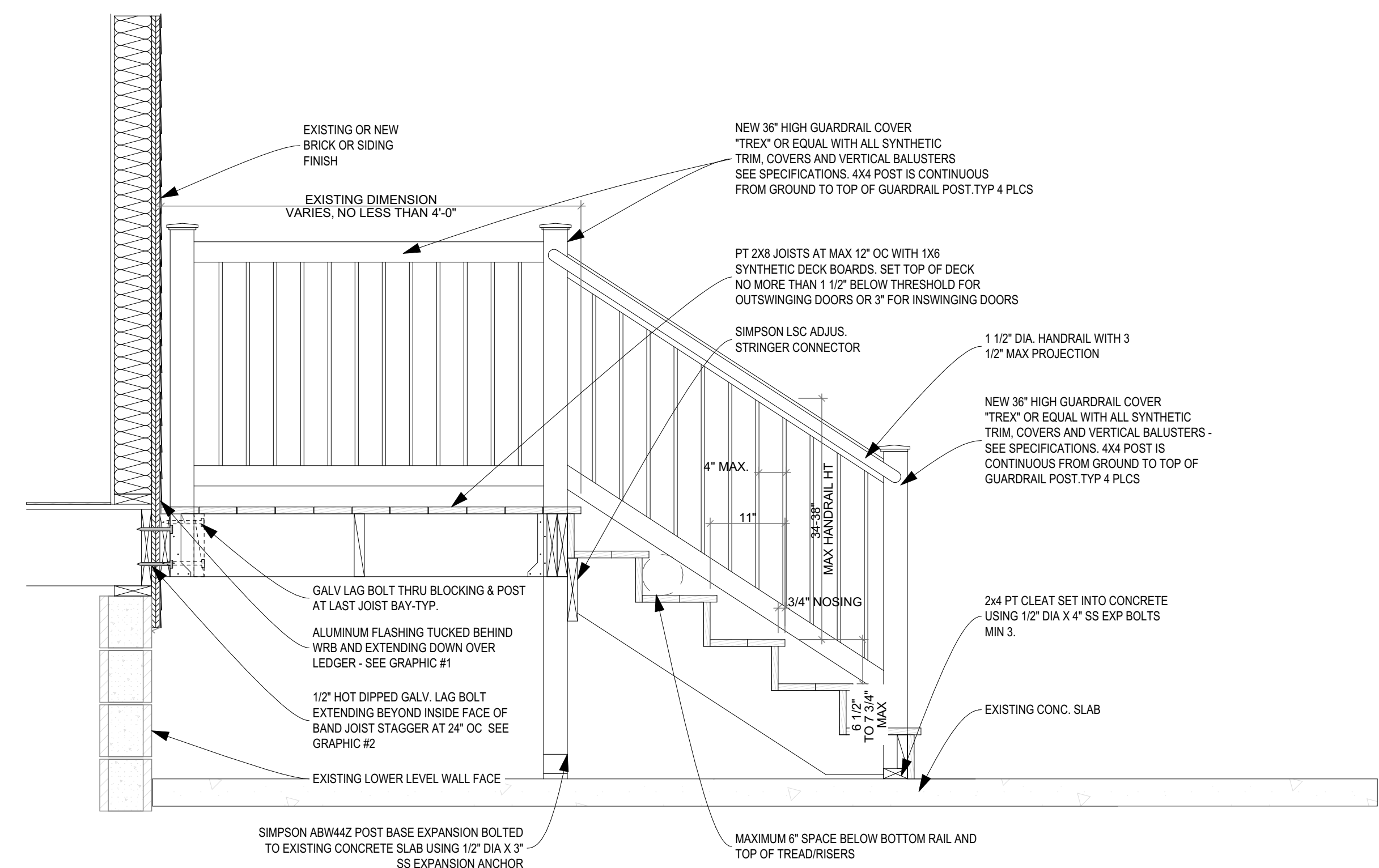
no. 10 of 12

Sheet No.

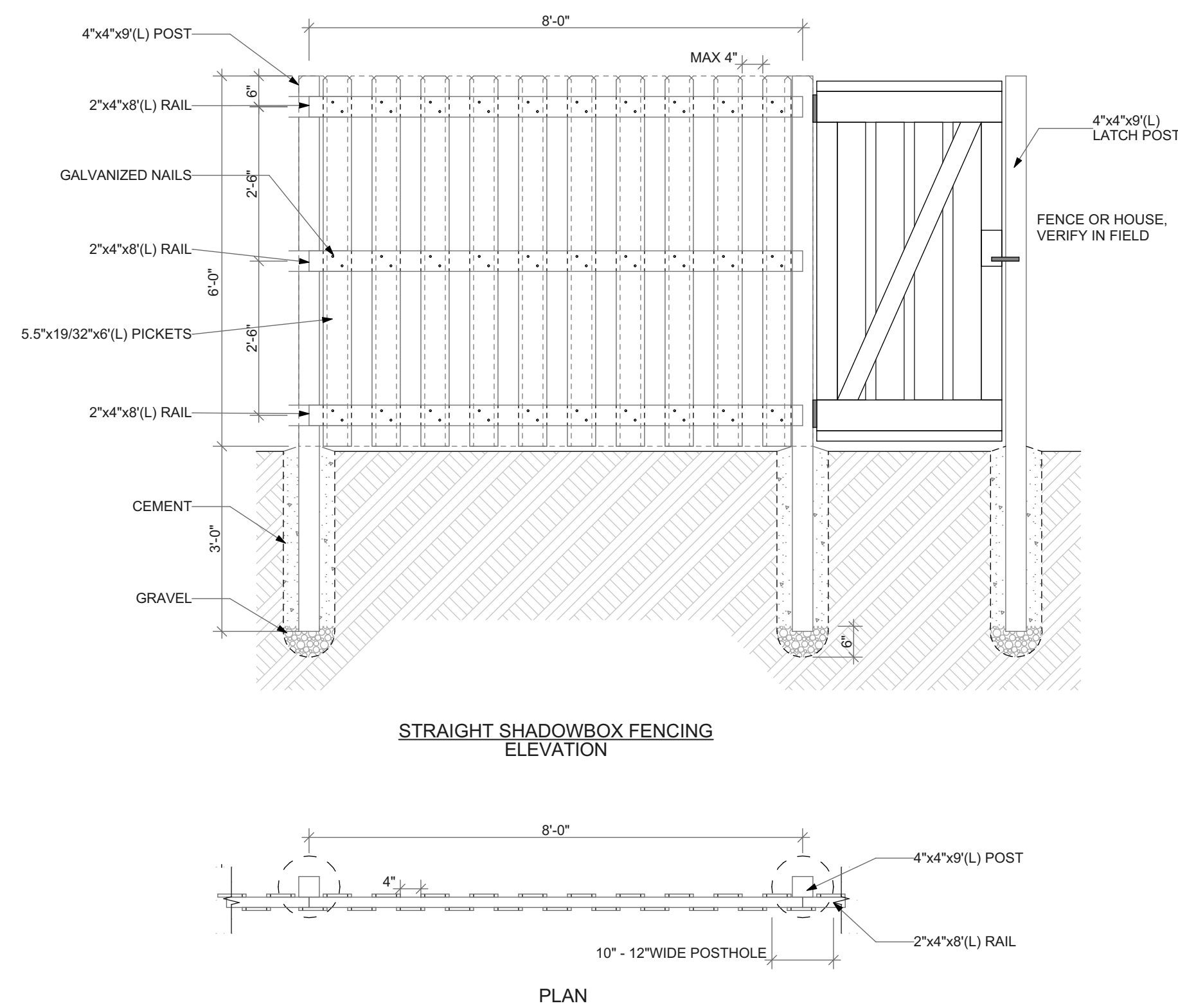
A9

Project #2006

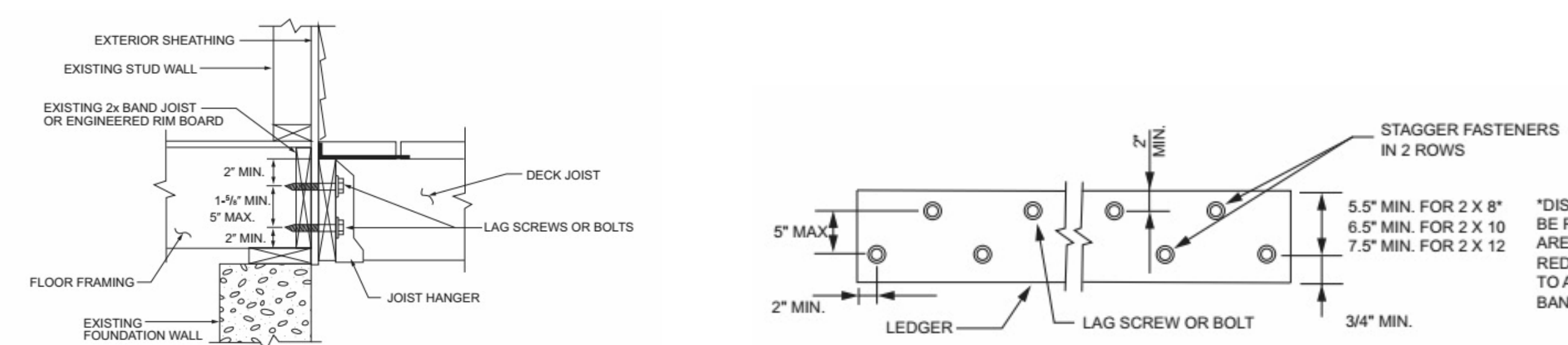




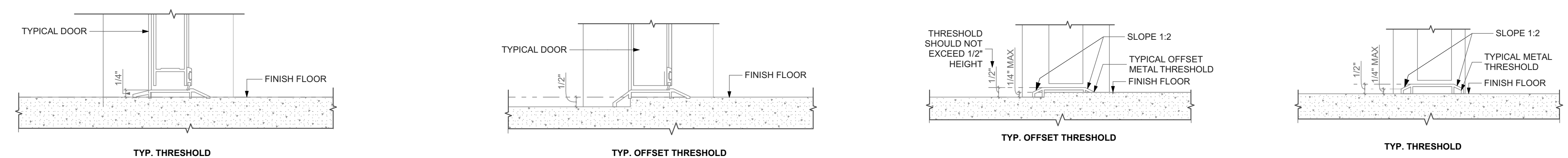
1 DECK SECTION DETAIL  
SCALE: 3/4" = 1'-0"



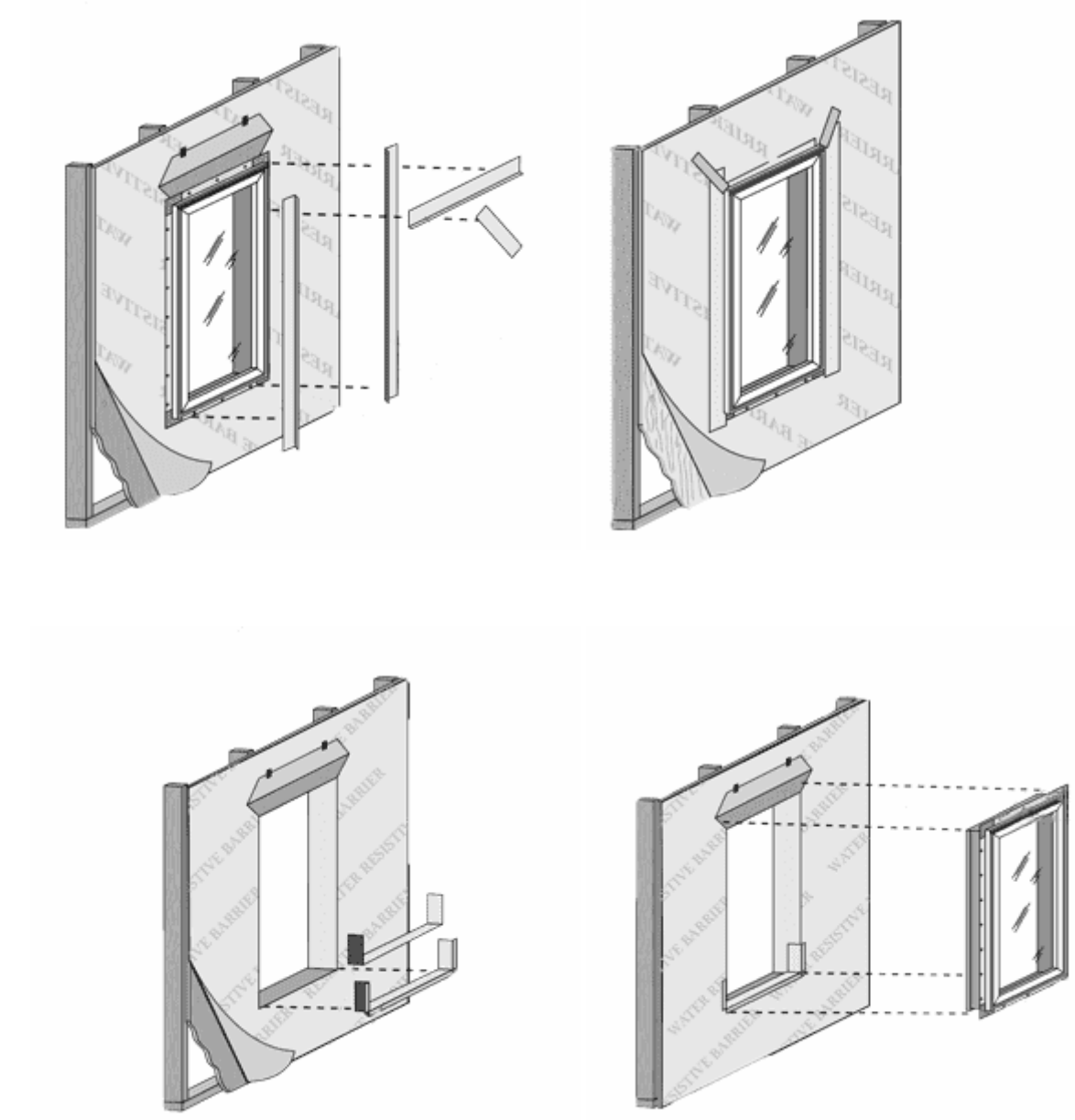
2 WOOD FENCE DETAIL  
SCALE: 1/2" = 1'-0"



3 DECK ENLARGED DETAILS



4 EXTERIOR DOOR THRESHOLD  
SCALE: 3\"/>



5 WINDOW INSTALLATION UNDER VINYL SIDING  
NOT TO SCALE

scale

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

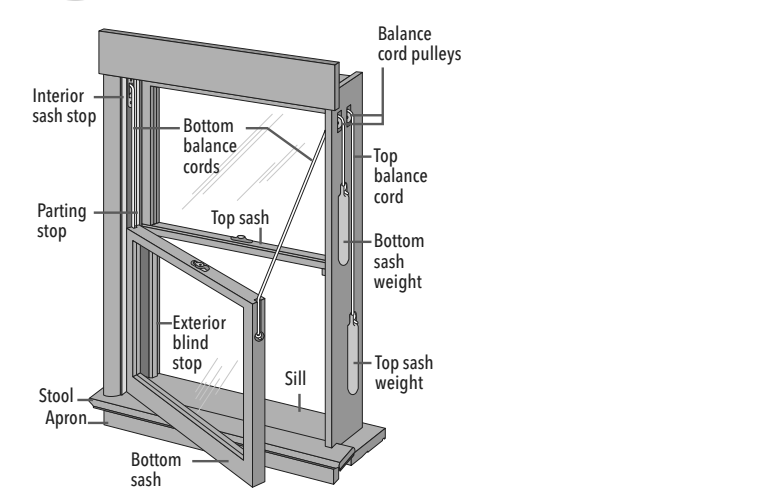
drawing title

DECK SECTION DETAIL, WOOD FENCE DETAIL, DECK ENLARGED DETAILS, EXTERIOR DOOR THRESHOLD, WINDOW INSTALLATION UNDER VINYL SIDING

scale	As Noted
date	May 6, 2022
no.	11
of.	12

Sheet No.	A10
Project #	#2006

**PELLA** POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS  
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

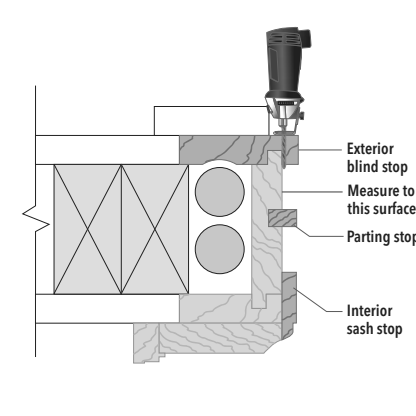


**1 REMOVE THE EXISTING SASHES**

**CAUTION:** Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

**REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.**

- Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.



- Remove the exterior stops at the head and jamb using a chisel, reciprocating saw, rotary tool or equivalent. Cut them flush with the side of the frame.
- Remove the upper sash and dispose of it properly.
- Remove the exterior stops at the head and jamb using a chisel, reciprocating saw, rotary tool or equivalent. Cut them flush with the side of the frame.
- Remove any remaining jamb liner material (if applicable).  
**CAUTION:** Some balances are spring-loaded.
- Insulate the weight chamber (if desired).

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**2 PREPARE THE OPENING**

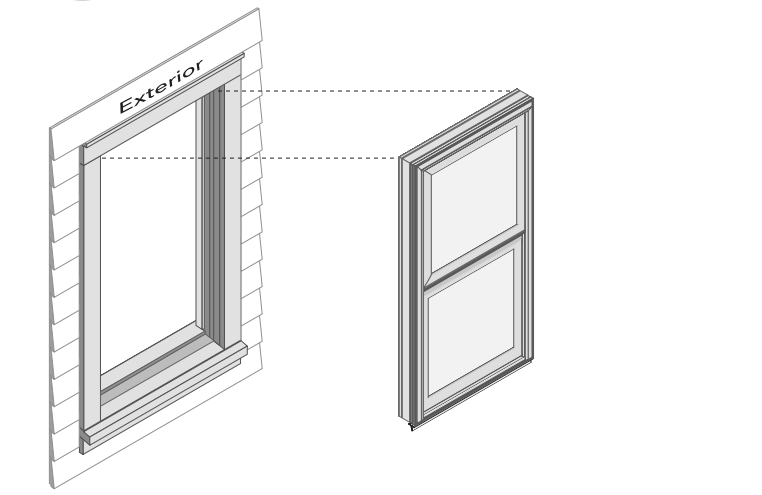
- Inspect the existing window frame. Repair or replace any deteriorated parts.
- Clean the opening of any dirt, debris or excess old paint.  
**Note:** If using aluminum coil exterior trim, apply it now.
- Apply flashing tape to the sill. Cut one piece of tape the same length as the sill. Extend the tape up the vertical leg of the stool. Work the tape into the corner and press firmly to adhere the tape. Lap the tape over any coil trim at the sill.
- Apply sealant over any gaps in the corners of the existing frame.
- Check the sill for level or for bowing.
- Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.  
For vinyl windows, add shims so maximum spacing is 18".
- Attach shims to prevent movement after they are level.  
**NOTE:** Improper placement of shims may result in bowing the bottom of the window.

**3 PREPARE THE WINDOW**

- See next page for Sill Adapter illustrations.
- Drill pilot holes (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
- Dry fit the window in the opening.
- Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
- Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
- Install the sill adapter. Cut it to length and notch it (if necessary).
- Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
- Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.

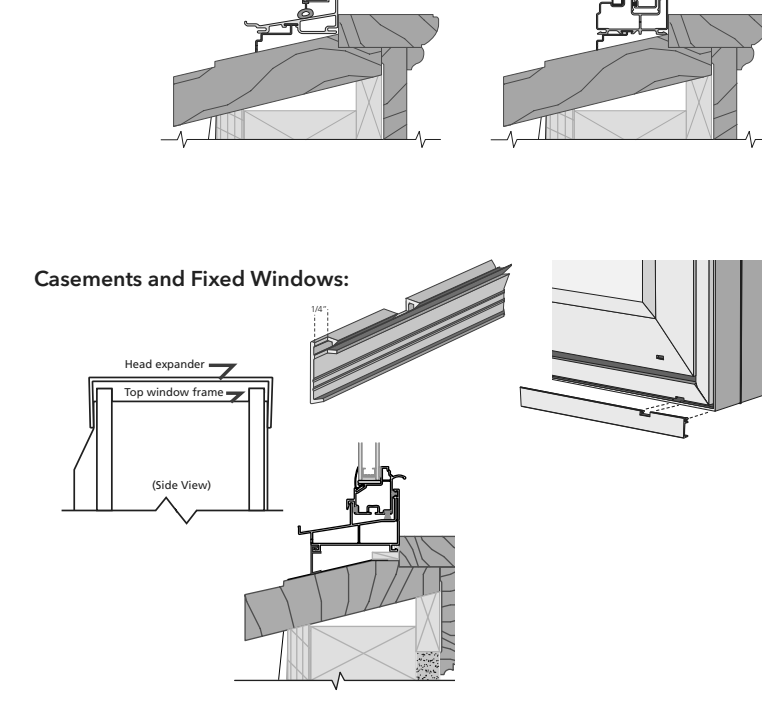
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**PELLA** POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS  
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



**3 PREPARE THE WINDOW (Continued)**

- Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes.  
**Refer to the anchoring instructions at the end of this booklet.**  
Ensure the window frame remains fully embedded in sealant.



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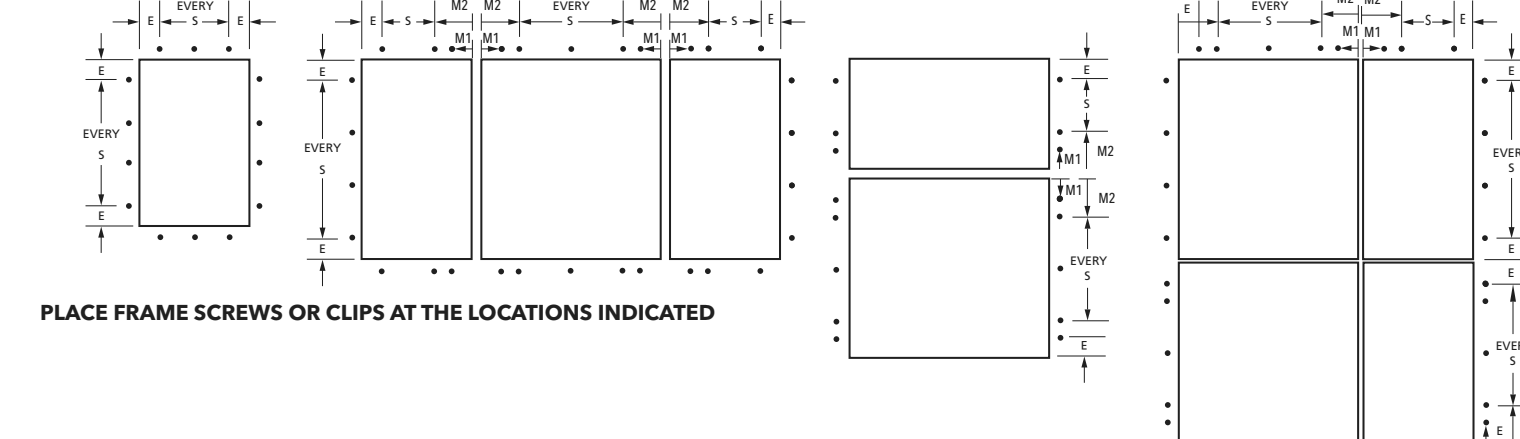
**4 SET AND FASTEN THE WINDOW**

- Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes.  
**Refer to the anchoring instructions at the end of this booklet.**  
Ensure the window frame remains fully embedded in sealant.
- NOTE: Keep shims 1/2" from the exterior surface of the window to allow for backer rod and sealant.
- Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).
- Push the remaining tabs of the band into the jambliner holes.
- Check for plumb, level, square and window operation. Make any necessary adjustments to shims and finish installing frame screws.
- Adjust the screw jacks (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash.
- Tilt the lower sash inward to locate the jamb jacks in the interior balance channel near the checkrail.
- Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.
- Install exterior sealant. Refer to the exterior sealant instructions at the end of this booklet.
- Install exterior frame expanders at this time (if necessary).

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**PELLA** BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

**Note:** Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



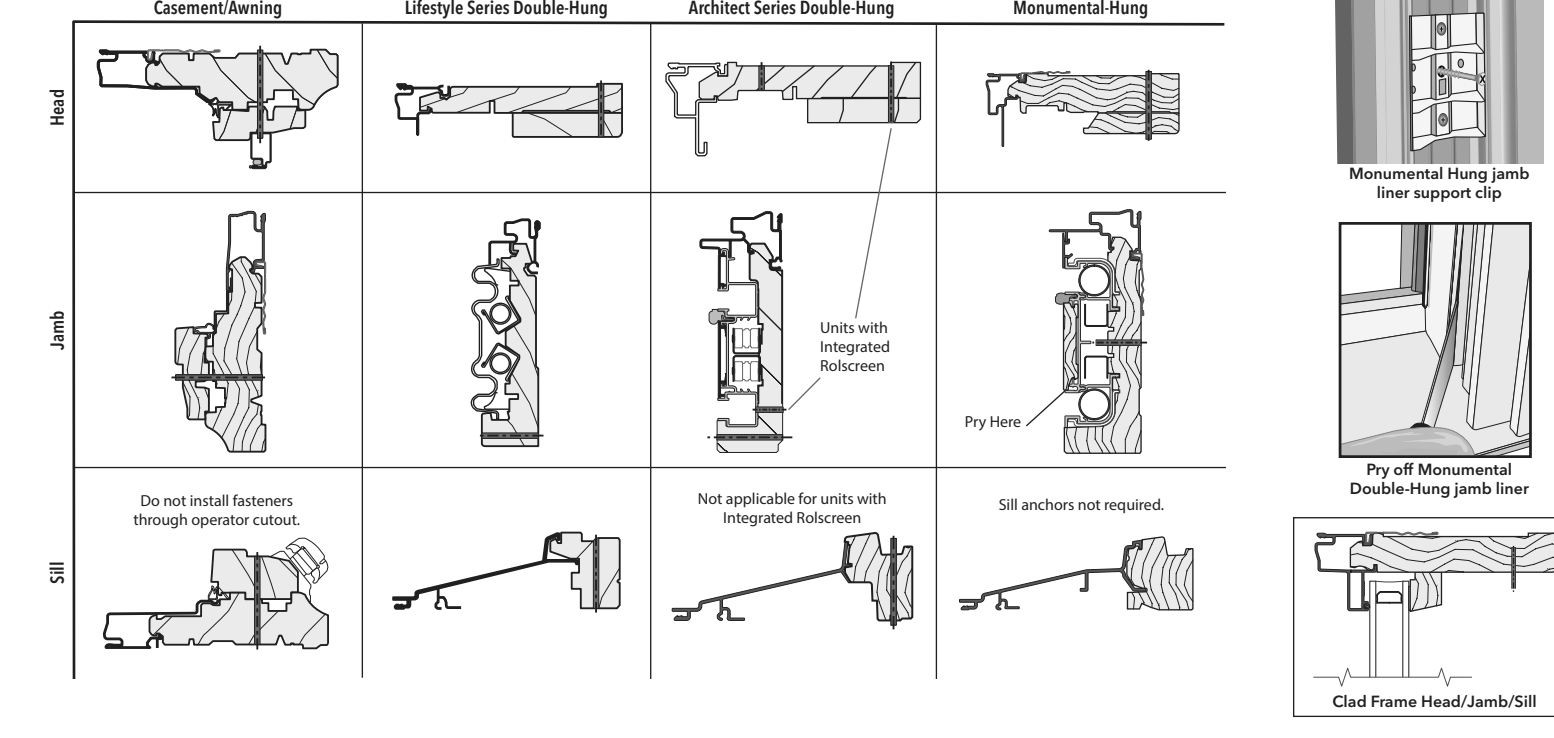
PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x2" Finish Screw	
Double- or Single-Hung	6"	16"	3"	6"	#8x2" Finish Screw	For windows with integrated RolocScreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid RolocScreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x2" Finish Screw	
Monumental HD > 54" x 96"	6" (head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame for secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.

\* M1 anchor required if design pressure exceeds 20 psf.  
\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws. For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



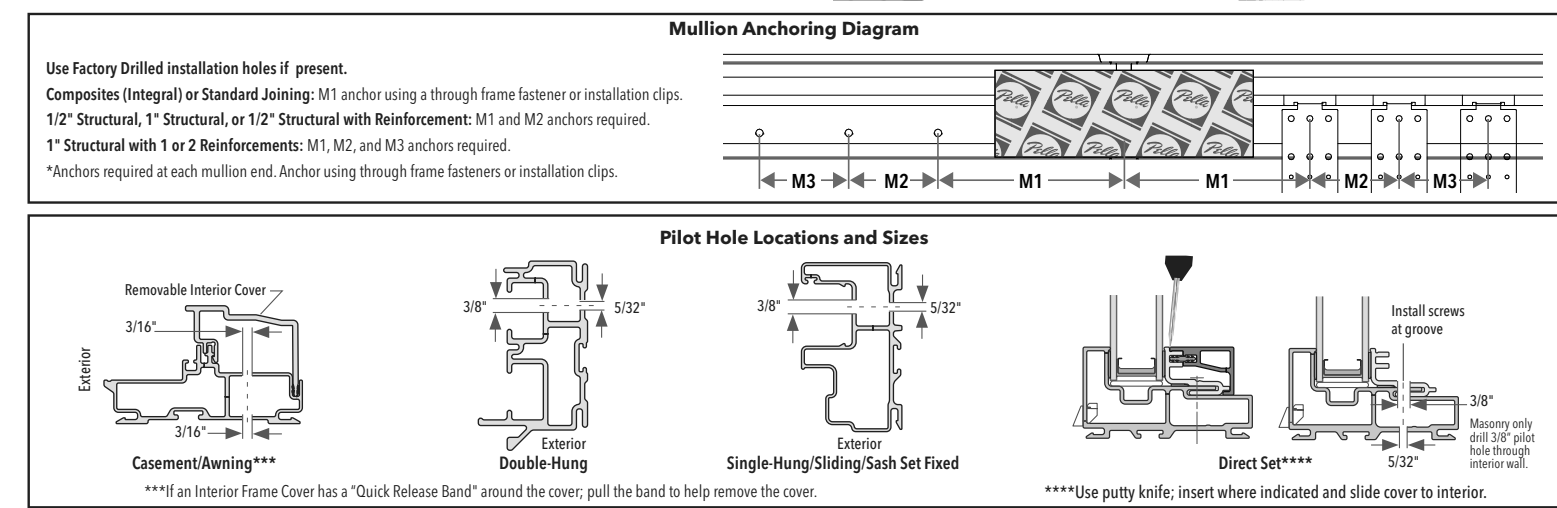
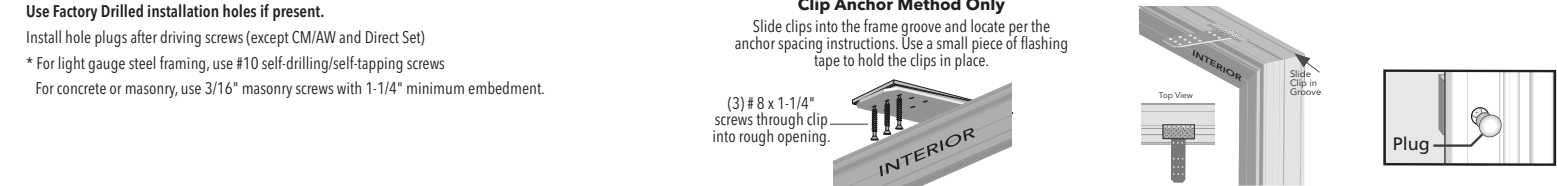
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**PELLA** BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

**NOTE:** Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

**PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS**

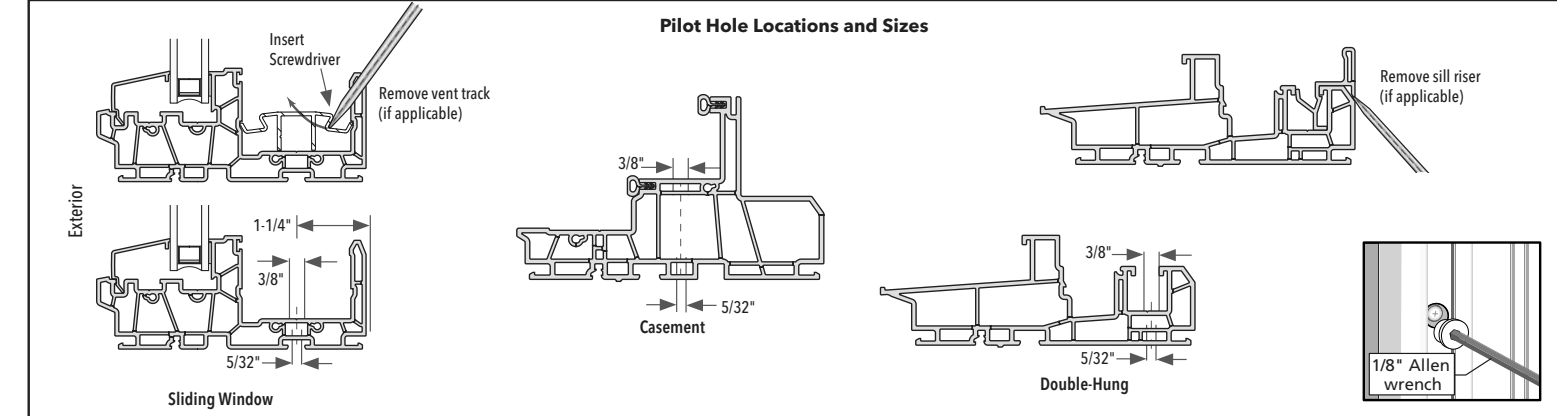
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed						Installation clips required for anchoring at the sill.
Single Hung	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Sill anchors not required for single-unit units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single-unit units with frame widths less than 42".
Casement/Awning - Vent and Fixed	6"	16"	3"	6"	#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).
Direct Set	6"	15"			#10 x 3" Pan Head (provided)	



**PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS**

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double- and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

\* Use Factory Drilled installation holes if present.  
\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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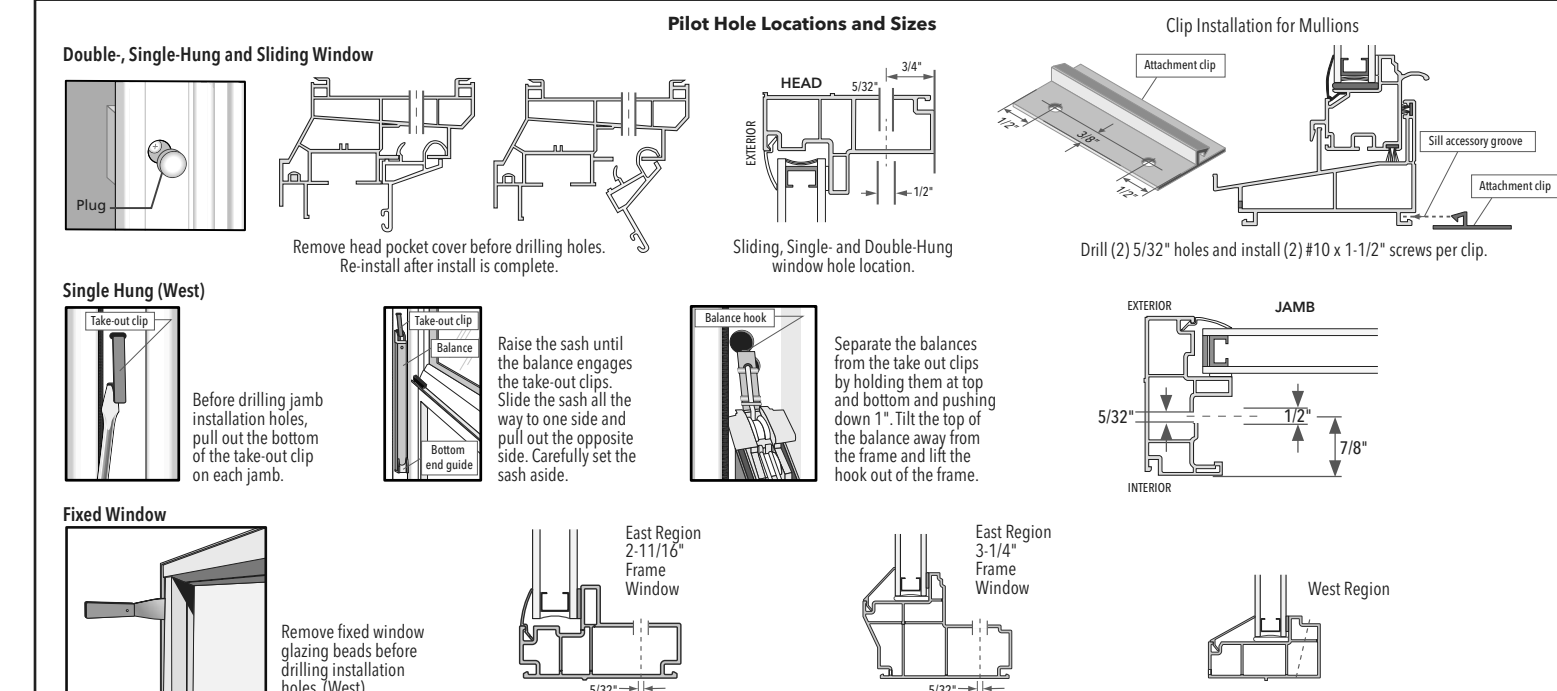
**PELLA** BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

**NOTE:** Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

**ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS**

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood***	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single and Double-Hung (East)	6"	16"	4"	6"	#10 x 2" Pan Head (provided)	High Performance DH (3) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (4) #8 x 2" screws at head mullion ends and (4) clips at sill mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a P500 Performance install.
Fixed Window	6"	16"	4"	6"	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

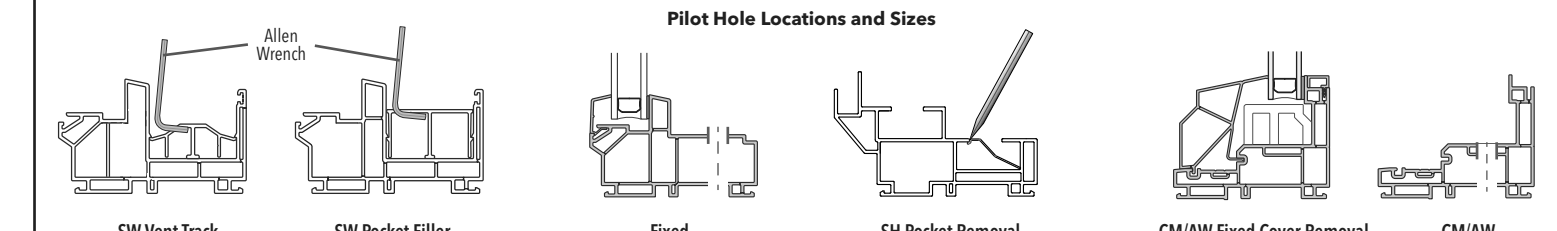
All venting products: Head and sill anchors are required on composite only.  
\*\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



**PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS**

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood***	Special Notes
CM/SH (single units)						Use self-adhesive spacer at all installation holes for a P500 Performance install.
DH / SH / FX	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SH	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SH & PG50	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW			4"	8"		
FX CM/AW			4"	8"		

All venting products: Head and sill anchors are required on composite only.  
\*\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; for concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

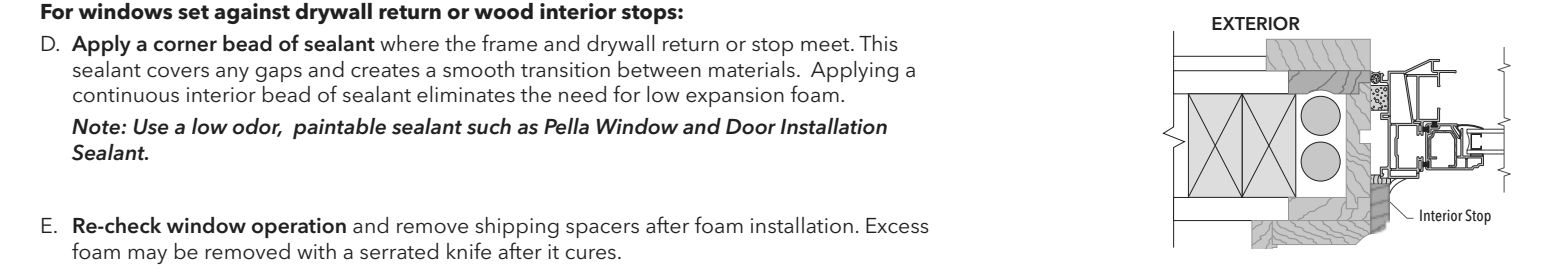


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**PELLA** INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

**CAUTION:** Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

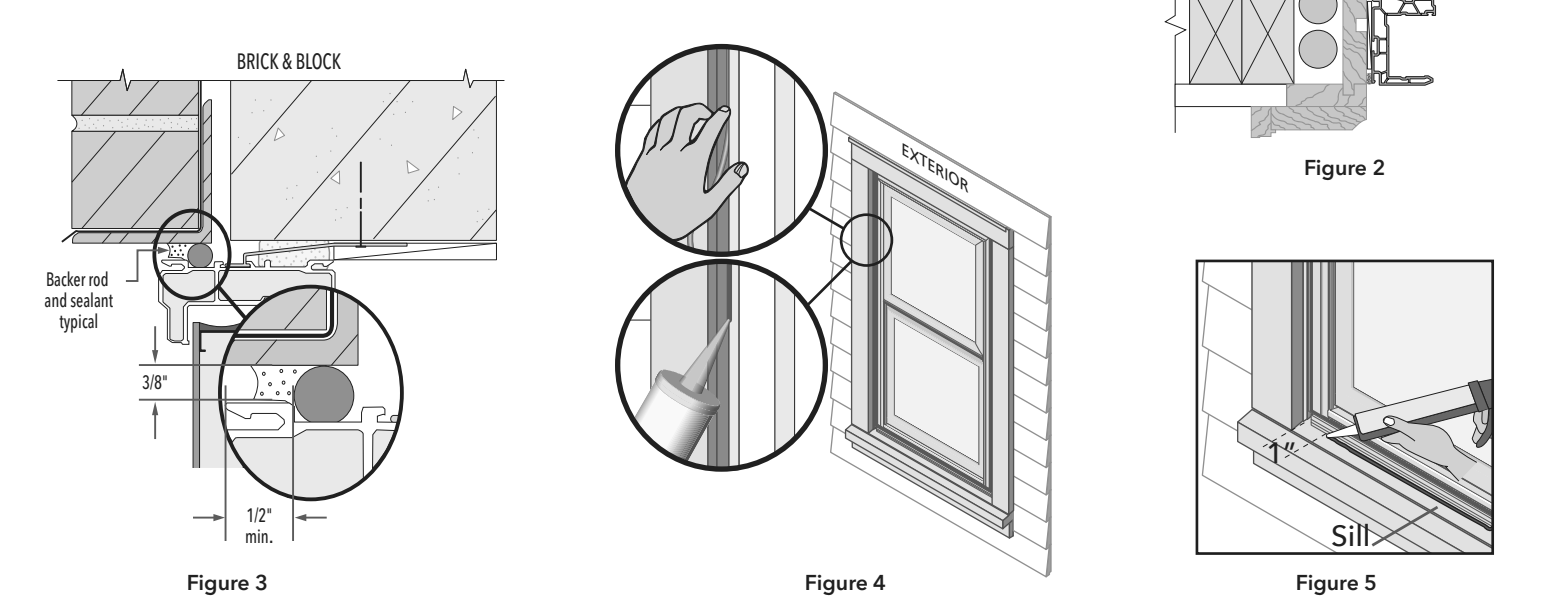
- Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.  
**NOTE:** Apply foam between the frame and rough opening. NOT between jamb extensions and the rough opening.
- To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal.  
**Backer rod (as necessary)** and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.



**Exterior Sealant Instructions**

**CAUTION:** Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

- If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
- Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant.  
**NOTE:** Do not leave gaps or weeps in the brick or siding. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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**seal**

- Any conflicts in the drawings or general notes and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

**revisions**

ISSUED FOR PERMIT: 05.06.2022

**project title**

**Owner:**  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**  
MANCHESTER SCATTERED SITES  
1333 NORTH FRANKLIN STREET  
PITTSBURGH, PENNSYLVANIA  
15233

**drawing title**

**WINDOW REMOVAL / REPLACEMENT (PELLA)**

scale	As Noted	Sheet No.
date	May 6, 2022	
no.	12	A11
of.	12	
		Project #2006