Allies & Ross
Management and Development Corporation
200 Ross Street
Pittsburgh, PA 15219

412-456-5000

April 27, 2022

Allies & Ross Management and Development Corporation
IFB#2022-37 –G-E-P-M

New Construction of Northview Midrise

ADDENDUM NO. 2

This addendum issued April 27, 2022 becomes in its entirety a part of the Invitation for Bid IFB#2022-37 as is fully set forth herein:

Item 1: **Please see Attachment A, "Project Architect (Fukui Architects, PC) Additions, Deletions and Clarifications to Original Drawings, Dated March 30, 2022". This additional document is being provided as a supplement to the originally issue drawings.**

Item 2: **Please see Attachment B, "Project Construction Manager (PDDM Construction Group) Responsibilities Matrix". This additional document is being provided as a supplement to the originally issue drawings.**

Item 3: **Q:** Can a specifications section be provided for the tele-data?

A: **Please see Attachment C, "Section 271513 – Communications Copper Horizontal Cabling"**

Item 4: **Q**: Is the EC responsible for tele-data cabling and devices?

A: **EC to provide wiring and boxes to common spaces and Apt Box, including devices throughout apartments. Verizon or Comcast (TBD) to provide wiring to Apt Box and TTB/CATV board.**

Item 5: **Q:** Is the EC responsible for any access control/security wiring or devices?

A: **EC to provide pathways.**

Item 6: **Q:** Will the owner be furnishing and installing the WAP's?

A: **Wireless Access Points to be furnished and installed under separate contract. Wiring to be completed under this contract**.

Item 7: **Q:** Are temporary phone and internet services required for the jobsite and if so, who is responsible for it?

A: Temporary internet services are the responsibility of the GC. Personal smart phones are acceptable for temporary telephone service.

Item 8: **Q:** Who do we make the bid bond out to, "Allies & Ross Management and Development Corporation" or "Housing Authority of the City of Pittsburgh"? The drawings indicate the owner is HACP but the Form of Bid states ARMDC.

A: **Allies & Ross Management and Development Corporation.**

Item 9: **Q:** The specs call for the generator to be 175kw at 480v and the drawing calls for it to be 80kw at 208v. What is the correct size for the generator?

A: **The drawings are correct.**

Item 10: **Q:** What are the requirements for the fire alarm devices in the apartment units with the rough-in (RI) designation? Should they have wire installed to them with a blank cover? Installing empty conduit to an accessible ceiling will be quite far for some of these.

A: **RI - Denotes Rough In. Provide conduit, wiring with a blank cover plate for future device.**

Item 11: The Allies & Ross Management and Development Corporation will **only be accepting physical bids dropped off in person from 8:00 AM until the closing time of 10:00 AM on May 12, 2022** in the lobby of 100 Ross St. Pittsburgh, PA 15219. Bids may still be submitted electronically: **https://www.dropbox.com/request/E2YYRSmjyTVWbEglUo8r** and may still be mailed via USPS at which time they will be Time and Date Stamped at 100 Ross Street 2nd Floor, Suite 200, Pittsburgh, PA 15219. All bids must be received at the above address no later than May 12, 2022 at 10:00 a.m., regardless of the selected delivery mechanism.

END OF ADDENDUM NO. #2

Kim Detrick
Kim Detrick (Apr 27, 2022 16:16 EDT)

Mr. Kim Detrick
Agent

Apr 27, 2022
Date

Attachment A – Project Architect (Fukui Architect, PC) Additions, Deletions and Clarifications to Original Drawings, Dated March 30, 2022

Allies & Ross Management and Development Corporation
IFB#2022-37 –G-E-P-M
New Construction of Northview Midrise

F U K U I ARCHITECTS

PHONE:: 412 281 6001 FAX:: 412 281 6002
www.farpc.com 205 Ross street, pittsburgh, pennsylvania 15222

Date: April 22nd, 2022

Bidding Addenda #2
Northview Midrise
FAR Project Nº: 2040

The following are additions, deletions, and clarifications to the original drawings and shall become a part of the Bid Documents. They are intended to supersede and supplement the Bid Documents originally dated March 30th, 2022. All Bidders and suppliers shall read all Revision items and their relation to each portion of the work.

1 **Unit Roll-In Showers** – Drawings TS01, TS02, A103, A104, A108, A109, A112, A113, A410, A414, A416, A417, A423, A424, A425, A426 P202, P203, M301, E202, E203, E204, E205, FA200.

a) Type A accessible units now have roll-in showers instead of transfer-type showers. The bathroom floor plan layouts have been modified as well the related M.E.P. and FA. Unit "1G S A" (a dwelling unit with a shower) has been changed to "1G T A" (a dwelling unit with a bathtub).

b) The relocated access panel to the shower controls for Units "1E S A" are now required to be lockable and 1-hour fire rated.

2 **Unit Bathtub and Shower Dimensions and Drywall details** – Drawings A401 through A420, A504, SD1.1, SD1.2, SD1.3

a) Rough framing dimensions have been updated on the Unit Floor Plans and Bathroom Elevations.

b) A Shower and Bathtub Enclosure to Wall Detail has been added to A504.

c) Dwelling Unit Shower and Bathtub Dimensions and Positions for all Grab Bars, Valves, Shower Heads have been revised. Refer to SD1.1.

3 **Two Bedroom Type-A Unit Second Bedroom Framing Dimensions** – Drawings A416, 4417, A425, A426

a) The Second Bedroom for Two Bedroom Type-A Units has been updated to accommodate a queen size bed. Dimensions of adjacent walls and accessibility clearances have been updated.

4 **Enlarged Plan and Interior Elevation Tags** – Drawings A102, A105, A117

a) Tags on A102 have been revised as follows:

i. Community Room Kitchenette elevations are on A705 corrected to A513

ii. North Stair Tower enlarged plan is 2/A117 corrected to 4/A117

iii. South Stair Tower enlarged plan is 2/A117 corrected to 5/A117

b) Enlarged plan tag on A105 for the Laundry Room is 3/117 corrected to 6/117

c) Interior elevation tags on A117 for the Laundry Room are on A117 corrected to A513

5 **Floor Finishes** – Drawings A111, A112, A113, A114, A401 through A420, A504, A602, Specification Section 09 65 19

a) Specifications Section "09 65 19 Resilient Tile Flooring" has been updated to Section "09 65 19 Solid Polymer Core Tile Flooring".

b) "LVT" has been renamed to "SPC" (Solid Polymer Core). See updated Specifications Section 09 65 19.

i. "SPC-4" has been added for "12 MIL Floating Floor for Bathrooms".

c) "CP" has been renamed to "CPT".

d) "T-4" has been added for "Interior Threshold 20 MIL to 12 MIL SPC".

i. "20 MIL SPC to 12 MIL SPC Transition" detail has been added to A504.

6 **Snow Guards** – Drawing A106

a) Notes have been added to the Roof Plan for Snow Guards.

7 **Tempered Windows** – Drawings A102, A103, A104, A105, A601

a) Notes have been added for the Stair Tower windows to have tempered glazing.

8 **Unit Door Hardware** – Drawings A401 through A420, Specification Section 08 71 00

a) Hinges, Stops, Kickplates, have been updated to the Accessories column of each Unit Door Schedule.

b) Specifications Section 08 71 00 Door Hardware has been updated as follows:

i. 1.1 - Summary notes the building door schedule as shown on A601 of the Drawing Set has attached to the end of the section.

ii. 2.2 Hinges and 2.3 Self-Closing Hinges and Pivots: have added notes on product specifics.

iii. 2.13 Keying: has an added note on the use of a FOB system.

iv. 2.20 Door Sweeps: has been added to the specification Section.

9 **Hollow-Metal Doors and Frames** – Specifications Section 08 11 13

a) 2.3 Heavy-Duty Doors and Frames: it has been noted that all interior steel doors and frames shall be Heavy-Duty.

b) 2.4 Extra-Heavy-Duty Doors and Frames: it has been noted that all exterior steel doors and frames shall be Extra-Heavy-Duty.

10 **Door Types and Colors** – Drawing A601

a) Typical Door Stile, Rail, and Frame dimensions have been revised.

b) Frame and Leaf Paint Colors have been revised.

11 **Section Detail Call Outs** – Drawings A305, A507

a) Storefront Window Head and Sill detail call-outs have been corrected on 1/A305.

b) Canopy detail call-outs have been clarified on 1/A305 and 3/A305.

c) A call-out to refer to a threshold detail has been added on A507.

12 **Geotech Report** – Specifications Section 00 31 32

a) An updated Geotech Report has been completed. The new report is now included in the Specifications.

13 **Toilet Bath and Laundry Accessories** – Specifications Section 10 28 00

a) 1.5 – The warranty period has been clarified to "2 years".

b) 2.2, 2.3, 2.4, 2.5 – "Basis of Design" has been changed to "Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following".

14 **Fire Extinguishers** – Specifications Section 10 44 16

a) 2.2.B.1 – The specific type of fire extinguisher for each dwelling unit has been noted as "Rated Class 1-A:10 B:C" to match the Drawing Set.

15 **Demolition** – Specification Section 02 41 00

a) 1.1 – Description has been clarified to be more specific.

b) 1.4C – has been added regarding abandoned utilities not shown.

c) Original and As-Built Site Plans and Sewer Plans have been attached to this Addenda #2

16 **Gypsum Board** – Specification Section 09 29 00

a) 2.3.A.1 – "Manufacturers: Subject to compliance with requirements, provide products by one of the following" has been replaced with " Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following".

b) 2.3.B.2 – Thickness has been changed from 1/2" to 5/8".

The following Drawings and Specification Sheets are those referenced above:

Northview Heights Midrise

New Building with Apartments and Ammenities
246 Penfort Street,
Pittsburgh, PA 15214

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect.
The Architect will forward questions as appropriate to the consulting engineers.

Owner:
Allies & Ross Management
and Development, Corp.
200 Ross Street,
Floor 9
Pittsburgh, PA 15219
ph: 412.456.5000
contact: Jerome Frank

Architect:
Fukui Architects, PC
205 Ross Street
Floor 2
Pittsburgh, PA 15219
ph: 412.281.6001
fx: 412.281.6002
kento@farpc.com
contact: Kento Ohmori, AIA

Geotechincal Engineer:
Sci-Tek Consultants, Inc.
655 Rodi Road
Suite 303
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ph: 412.371.4460
contact: Jason Baguet

Civil Engineer:
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Penn Office Building
4314 Old William Penn Hwy,
Suite 101
Monreville, PA 15146
ph: 724.325.1215
matthew.smith@redswinggroup.com
contact: Matthew E. Smith, P.E.

Landscape Architect:
UpStudio Landscapes, LLC.
606 Liberty Ave
Suite 226
Pittsburgh, PA 15222
ph: 412.203.3524
contact: Elizabeth A. Dugan, PLA

HACP
200 Ross Street,
Pittsburgh, PA 15219
contact: Jerome Frank
jerome.frank@hacp.org

MEP Engineer:
Iams Consulting, LLC
807 James Street
Suite 301
Pittsburgh, PA 15212
ph: 412.697.3590
jiams@iamsconsulting.com
contact: Jonathan C. Iams, P.E

Structural Engineer:
Providence Engineering, Corp.
4955 Steubenville Pike,
Suite 219
Pittsburgh, PA 15205
ph: 412.407.2250
nateb@proveng.com
contact: Nate Babyak, P.E.

Engergy Performance Engineer:
Building Performance Architecture, LLC.
2121 Noblestown Road,
Suite 222
Pittsburgh, PA 15205
ph: 412.441.1075
rhosken@buildingperformarch.com
contact: Rob Hosken, AIA, C.E.M.

Plan Review & Inspection:
City of Pittsburgh
Department of permits,
Licenses and Inspections
200 Ross Street
3rd floor, room 320
Pittsburgh, PA 15205
ph: 412.255.2175

Contractor:
PDDM Solutions, LLC.
125 Technology Drive
Suite 101
Canonsburgh, PA 15317
ph: 724.788.4040
contact: Steve Twiss

Signatures

Owner: _____ **date:** _____

Contractor: _____ **date:** _____

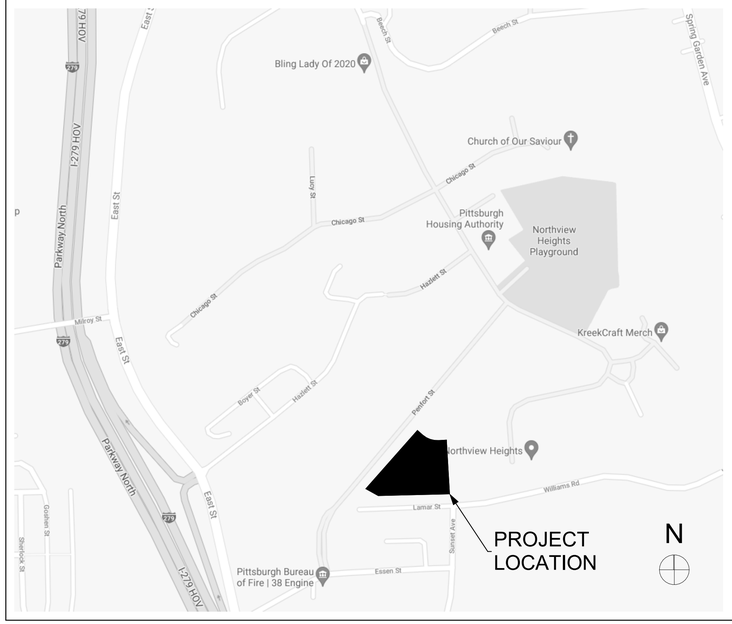
Architect: _____ **date:** _____

PHFA: _____ **date:** _____

PHFA Project No. 2021-156 2

Project Location

PITTSBURGH, PENNSYLVANIA
NOT TO SCALE



Code Conformance Information

Applicable Codes	
General:	2015 International Building Code
Accessibility:	2009 ANSI A117.1
	2018 IBC Chapter 11 and related provisions in other chapters
	Section 504 of the Federal Rehabilitation Act of 1973
	The Fair Housing Act of 1988 7 Fair Housing Design Manual
	Uniform Federal Accessibility Standards (UFAS)
	PFHA Visitablity (per Submission Guide Section 1.08)
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health Department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13

Project Summary

General Building / Project Information

Classification of Work:	New Construction
Occupancy Group:	A-3, R-2, S-1, M, B
Stories:	4 Stories
Gross Area:	44,950 G.S.F.
Construction Type:	V-A
Sprinklers:	Yes
Fire Alarm:	Yes

Unit Count & Gross Square Footage

G.S.F.	Unit Type	Ansi Type B	Ansi Type A	Hearing / Vision Impaired
644	1 Bedroom / 1 Bath	31	4	1
902	2 Bedroom / 1 Bath	4	2	1
	Total: 43 Units	**35**	**6 (Twice 5%)**	**2 (Twice 2%)**

Abbreviations

A.F.F.	Above Finish Floor
A.P.	Access Panel
ACOUST.	Acoustical
A.C.T.	Acoustical Ceiling Tile
ADH.	Adhesive
ADJUST.	Adjustable
A/C	Air Conditioning
ALT.	Alteration
ALTN.	Alternate
ALUM.	Aluminum
A.O.R.	Area of Refuge
APPROX.	Approximate
ARCH.	Architectural
ASB.	Asbestos
ASPH.	Asphalt
AUTO.	Automatic
AVG.	Average
BLK.	Block
BD.	Board
BOT	Bottom
BLDG	Building
C.I.P.	Cast In Place
C.B.	Catch Basin
CEM.	Cement
CER.	Ceramic
CG	Corner Guard
C.M.T.	Ceramic Mosaic Tile
C.W.T.	Ceramic Wall Tile
C.O.	Cleanout
℄	Center Line
CLO.	Closet
C.W.	Cold Water
CLG.	Ceiling
COL.	Column
CONC.	Concrete
C.M.U.	Concrete Masonry Unit
CONT.	Continuous
CORR.	Corridor
C.M.P.	Corrigated Metal Pipe
CRS.	Courses
DIA.	Diameter
DET	Detail
DGL	Dens Glass Gold
DR.	Door
DN.	Down
D.S.	Downspout
DWG.	Drawing
D.F.	Drinking Fountain
D.I.P.	Ductile Iron Pipe
EA.	Each
E.W.	Each Way
ELEC.	Electrical
E.C.	Electrical Contractor
EL.	Elevation
ELEV.	Elevation
EQUIP.	Equipment
E.F.	Exhaust Fan
EXIST.	Existing
EXP.	Expansion
E.J.	Expansion Joint
ESH	Exterior Sheathing
EXIST.	Existing
EXP.	Exposed
EXT.	Exterior
E.I.F.S.	Exterior Insulation & Finish System
F.R.P.	Fiberglass Reinforced Polyester
F.F.	Finish Floor
FIN	Finish
FIN.FLR.	Finish Floor
F.A.C.P.	Fire Alarm Control Panel
F.E.	Fire Extinguisher
FLR.	Floor
F.D.	Floor Drain
FTG.	Footing
GA.	Gauge
G.C.	General Contractor
G.F.I.	Ground Fault Interrupter
GYP.	Gypsum
G.W.B.	Gypsum Wall Board
GSH	Gypsum Sheathing
H/C	Handicap
H.V.A.C.	Heating, Ventilation &
HT	Height
HC	Hollow Core
H.M.	Hollow Metal
HORIZ.	Horizontal
HR.	Hour
H.W.	Hot Water
IN.	Inch
I.M.	Insulated Metal
INSUL.	Insulation or Insulated
INT.	Interior
INV.	Invert
ISO.	Isolation
JAN.	Janitor's Closet
J.T.	Joint
LAM.	Laminate
LAV.	Lavatory
LG.	Long
M.D.F.	Medium Density Fiberboard
M.D.H.	Magnetic Door Holder
M.H.	Manhole
MFGR.	Manufacturer
MAX.	Maximum
MECH.	Mechanical
MET.	Metal
MIN.	Minimum
MISC.	Miscellaneous
N.I.C.	Not In Contract
N.T.S.	Not To Scale
O.C.	On Center
OPP.	Opposite
O.H.	Overhead
PR.	Pair
PLAS.	Plaster
PLAS.LAM.	Plastic Laminate
P.C.	Plumbing Contractor
PLYWD.	Plywood
POLY.	Polyethylene
P.V.C.	Polyvinyl Chloride
PRE-FAB.	Prefabricated
RE.	Refer To
REF.	Refrigerator
R.C.P.	Reinforced Concrete Pipe
REINF.	Reinforcement
RD.	Roof Drain
RM.	Room
S.A.T.	Suspended Acoustical Tile
SCHED.	Schedule
SHT.	Sheet
SIM.	Similar
S.C.	Solid Core
SPECS.	Specifications
SQ.	Square
S.F.	Square Foot
S.S.	Stainless Steel
STL.	Steel
STOR.	Storage
STRUCT.	Structural
TEL.	Telephone
THK.	Thick
T.B.D.	To Be Determined
T&G	Tongue & Groove
T.O.	Top Of
T.G.	Top Of Grade
T.O.S.	Top Of Steel
TYP.	Typical
UNFIN.	Unfinished
U.N.O.	Unless Noted Otherwise
V.B.	Vapor Barrier
VFY	Verify
V.I.F.	Verify In Field
VERT.	Vertical
VEST.	Vestibule
V.C.T.	Vinyl Composition Tile
W.H.	Water Heater
W.W.F.	Welded Wire Fabric
WIN.	Window
W/	With
W/O	Without
WD.	Wood

BUILDING SQUARE FOOTAGE MATRIX

Space #	Space Name	Space Type	Gross S.F.	Net S.F.	50% Gross S.F	50% Net S.F
					For less conditioned spaces	
1st Floor:			**12,099**	**11,197**		
100	Vestiblue	Circulation	100	88		
101	Lobby & Mail Area	Residential Common	475	447		
101a	Hallway	Circulation	895	840		
102 & 102a	Community Room & Kitchenette	Residential Common	1,125	982		
103	Social Services	Residential Common	151	144		
104	Multi-Purpose Room	Residential Common	460	424		
105	Administration Office	Residential Common	170	154		
106	Development Facilities and Maintenance	Residential Common	280	261		
106a	Trash Room	Residential Common	210	196		
107	Bike Parking Room	Residential Common	100	88		
108	Computer Rooom	Residential Common	180	167		
109	Trash Chute Room	Residential Common	55	46		
109a	Mechanical Closet	Residential Common	32	27		
110a	Staff Restroom	Residential Common	55	49		
110b	Womens Restroom	Residential Common	55	49		
110c	Mens Restroom	Residential Common	55	49		
111	Utilities	Residential Common	360	336	180	168
117	North Stair Tower	Circulation	175	145		
118	South Stair Tower	Circulation	165	135		
120	Water Utility Room	Residential Common	175	116	88	58
150	Commerical Space	Residential Common	4,500	4,288		
Unit 1A T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1B S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 2A S	2 Bedroom, Type B	Residential Unit	See Unit Plan			
2nd Floor:			**12,420**	**11,950**		
200	Hallway	Residential Common	1,470	1,335		
210	Trash Chute Room	Residential Common	60	48		
210a	Mechanical Closet	Residentia Common	32	24		
217	North Stair Tower	Circulation	175	145		
218	South Stair Tower	Circulation	165	135		
Unit 1C S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T A	1 Bedroom, Type A	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1C T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1D T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 2C S	2 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1C S A	1 Bedroom, Type A	Residential Unit	See Unit Plan			
Unit 2B S A	2 Bedroom, Type A	Residential Unit	See Unit Plan			
3rd Floor:			**12,420**	**11,950**		
300	Hallway	Residential Common	1,470	1,335		
310	Trash Chute Room	Residential Common	60	48		
310a	Mechanical Closet	Residentia Common	32	24		
317	North Stair Tower	Circulation	175	145		
318	South Stair Tower	Circulation	165	135		
Unit 1C S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T H/V	1 Bedroom, Type B, Hearing/Vision	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1C T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1D T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 2C S	2 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1C S A	1 Bedroom, Type A	Residential Unit	See Unit Plan			
Unit 2B T A	2 Bedroom, Type A	Residential Unit	See Unit Plan			
4th Floor:			**11,450**	**11,000**		
400	Hallway	Residential Common	1,470	1,335		
402	Communal Room	Residential Common	410	381		
410	Trash Chute Room	Residential Common	60	48		
410a	Mechanical Closet	Residential Common	32	24		
415	Laundry Room	Residential Common	290	264		
417	North Stair Tower	Circulation	175	145		
418	South Stair Tower	Circulation	165	135		
Unit 1F S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 2E T	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G S	1 Bedroom, Type B	Residential Unit	See Unit Plan			
Unit 1G T A	1 Bedroom, Type A	Residential Unit	See Unit Plan			
Unit 2D S H/V	2 Bedroom, Type B, Hearing/Vision	Residential Unit	See Unit Plan			

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and
Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

COVER SHEET

scale	Sheet No.
As Noted	TS01
date: December 10, 2021	Project #2040
no. 1 of. 231	

Drawing Index

TITLE SHEETS

CIVIL

LANDSCAPE

ARCHITECTURAL

ARCHITECTURAL (CONT.)

STRUCTURAL

PLUMBING

MECHANICAL

ELECTRICAL

FIRE PROTECTION

FIRE ALARM

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

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revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

DRAWING INDEX

scale: As Noted
date: December 10, 2021
no. 2 of. 231

Sheet No.
TS02
Project #2040

FLOOR PLAN LEGEND

XXXXXX
000 — ROOM NAME AND NUMBER

DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE

WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE

X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. PROVIDE 2X BLOCKING @ EXTERIOR WALLS FOR SHEATHING OR GYP WALL BOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
2. THE FINSH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
3. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
5. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
6. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
7. GENERAL CONTRACTOR TO VERIFY VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
8. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
9. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
10. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
11. RADON STACK - PASSIVE RADON MIGITAGATION SYSTEM. REFER TO PLUMBING DRAWINGS FOR TYPICAL VENTING DETAIL. SYSTEM TO BE ACTIVATED IF NECESSARY.
12. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
13. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
14. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
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16. ALL FIRST FLOOR ENTRANCES SHAL HAVE ZERO-STEP ENTRY.
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18. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
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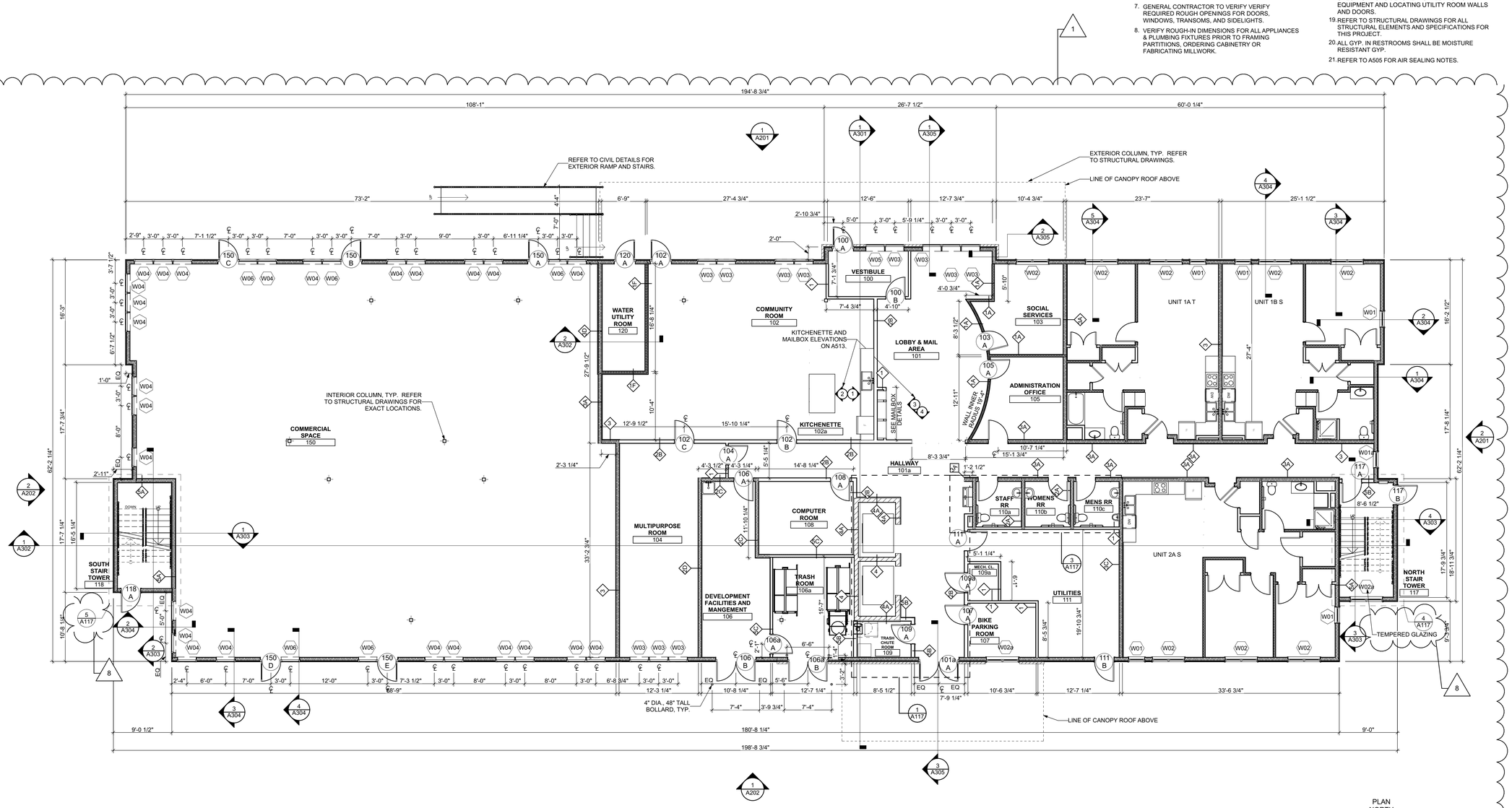
21. REFER TO A505 FOR AIR SEALING NOTES.



1 1ST FLOOR
SCALE: 1/8" = 1'-0"

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

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Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FIRST FLOOR PLAN

scale: As Noted
date: December 10, 2021
no. 69 of. 231

Sheet No.
A102
Project #2040

FLOOR PLAN LEGEND

XXXXXX / 000 — ROOM NAME AND NUMBER

DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE

WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE

X — WALL TYPE, REFER TO WALL TYPES SHEET

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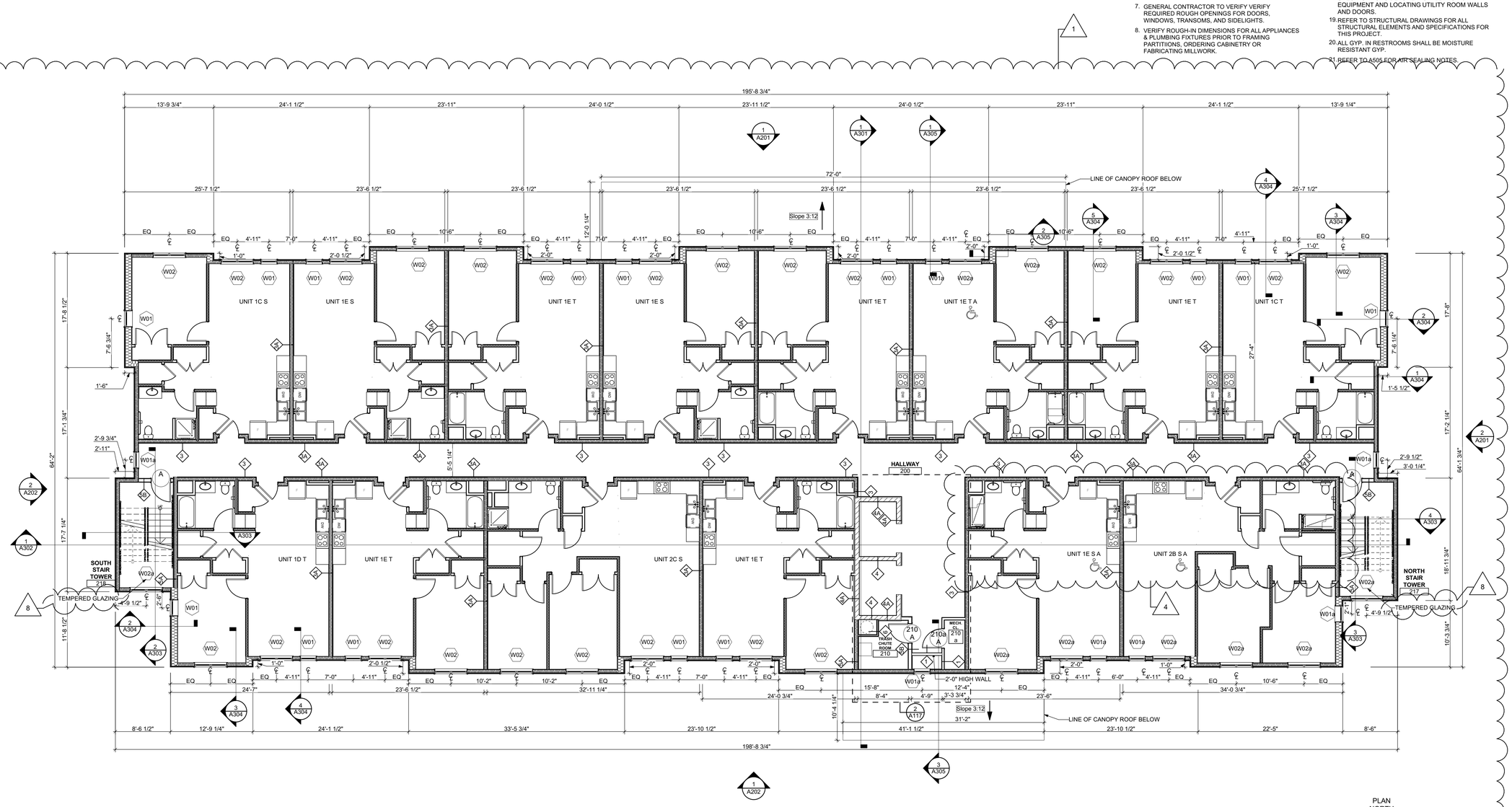

1 2ND FLOOR
SCALE: 1/8" = 1'-0"

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SECOND FLOOR PLAN

scale: As Noted
date: December 10, 2021
no. 70 of. 231

Sheet No.
A103
Project #2040

FLOOR PLAN LEGEND

XXXXXX
000 — ROOM NAME AND NUMBER

DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE

WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE

X — WALL TYPE, REFER TO WALL TYPES SHEET

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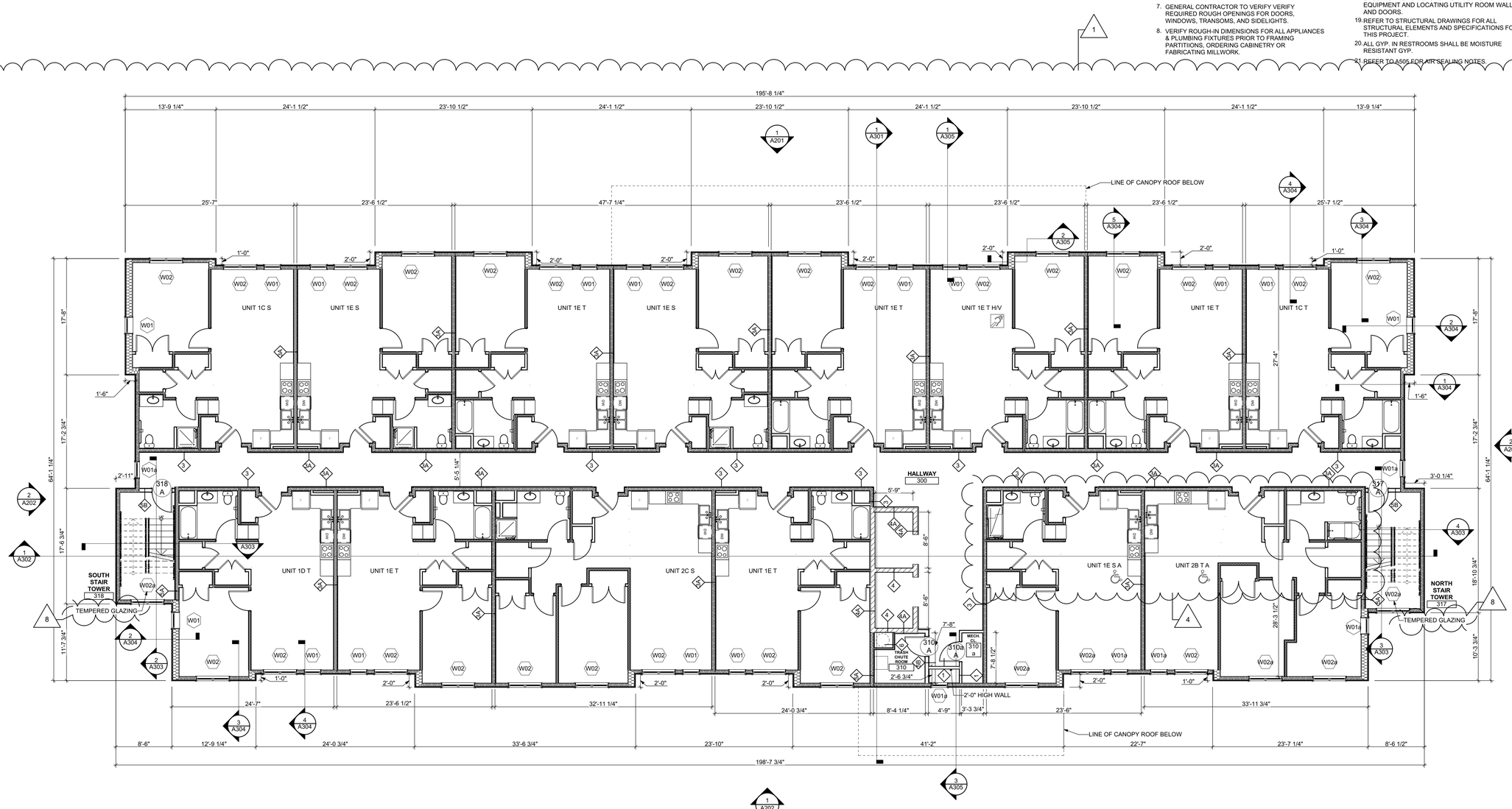

1 3RD FLOOR
SCALE: 1/8" = 1'-0"

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

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project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

THIRD FLOOR PLAN

scale	Sheet No.
As Noted	A104
date: December 10, 2021	
no. 71 / of. 231	Project #2040

FLOOR PLAN LEGEND

XXXXXX
000 — ROOM NAME AND NUMBER

DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE

WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE

X — WALL TYPE, REFER TO WALL TYPES SHEET

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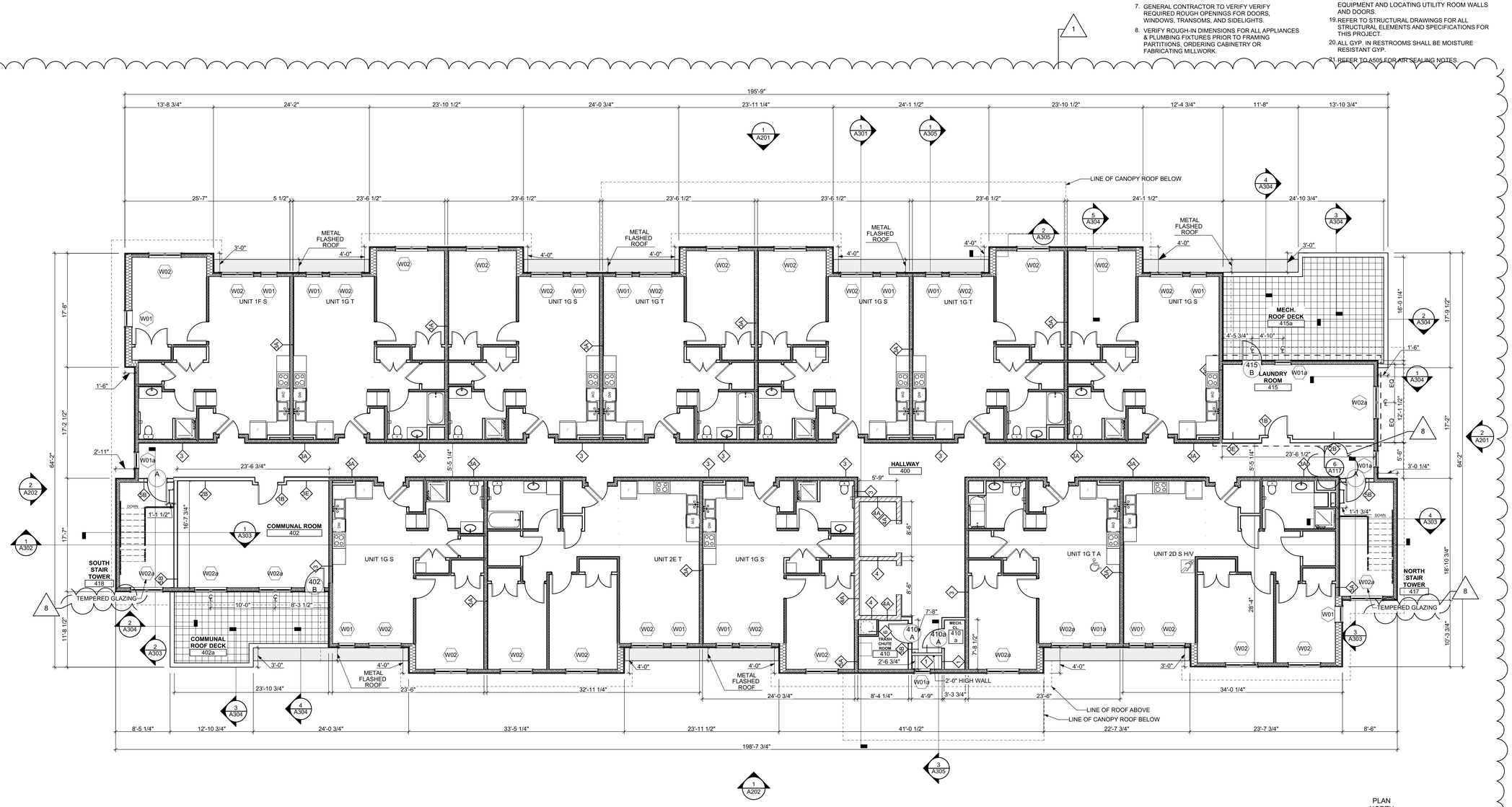

1 4TH FLOOR
SCALE: 1/8" = 1'-0"

PLAN NORTH

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Pittsburgh, PA 15214

drawing title

FOURTH FLOOR PLAN

scale: As Noted
date: December 10, 2021
no. 72 of. 231

Sheet No.
A105
Project #2040

VENTILATION CALCULATIONS

TOTAL ATTIC AREA:	12,450 SQ. FT. 12,450 * 1/300 = 41.5 SQ. FT. = REQUIRED VENTED AREA. 41.5 * 0.4 = 16.6 SQ. FT. 41.5 * 0.5 = 20.75 SQ. FT.
RIDGE VENTS:	20+125+10+5 = 160 LIN. FT. @ 18 SQ. IN./LF = 20 SQ. FT.
EAVE VENTS:	6+24+20+40+20+34+10+26+12+20+20+20+20+20+20+20+20 = 352 LIN. FT. @ 9 SQ. IN./LF = 22 SQ. FT.
TOTAL VENTILATION:	20+22 = 42 SQ. FT.

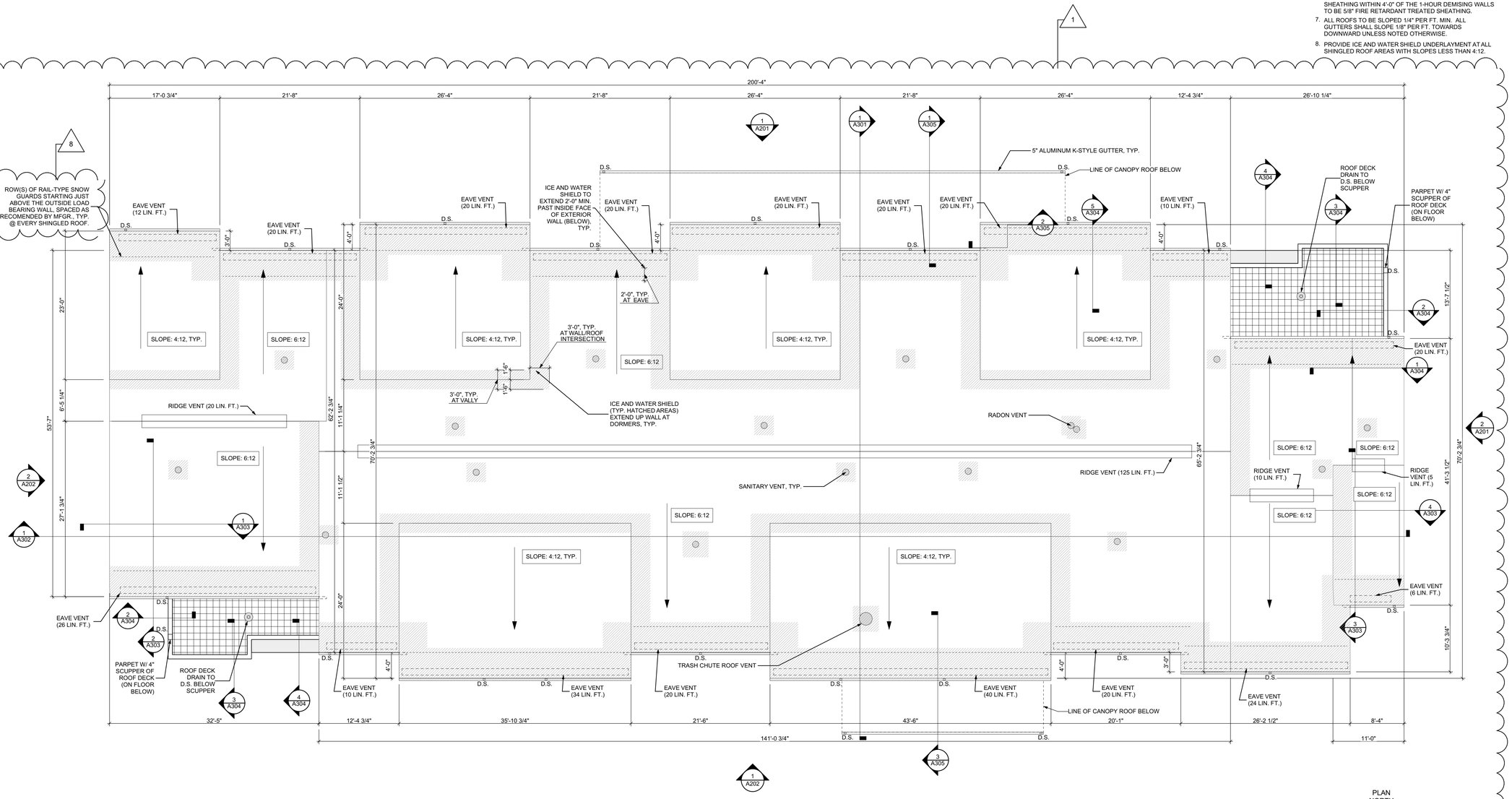
RIDGE VENTS PROVIDE AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTING AREA. RIDGE VENTS ARE LOCATED NOT MORE THAN 3 FEET BELOW TO RIDGE OR HIGHEST POINT IN THE ATTIC SPACE.

ROOF PLAN LEGDEND

- ICE AND WATER SHIELD UNDERLAYMENT
- ASPHALT SHINGLE ROOF, REFER TO SPECIFICATIONS
- 12" X 12" BLOCK PATIO PAVERS, REFER TO SPECIFICATIONS

GENERAL ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERANCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS. DIMENSIONS SHOWN ARE DRAWN FROM FINISHED FACE TO FINISHED FACE.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.
3. D.S. - 3X4 DOWNSPOUT. REFER TO PLUMBING AND CIVIL DRAWINGS FOR DOWNSPOUT TERMINATION (SPLASH BLOCK OR STORMWATER TIE-IN).
4. EXACT ROOF TRUSS/JOIST LAYOUT AND DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND FRAMING SUBCONTRACTOR. TRUSS/JOIST LAYOUT SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL, PLUMBING CONTRACTORS PRIOR TO SUBMISSION OF TRUSS SHOP DRAWINGS. FABRICATION AND INSTALLATION TO ENSURE THE PROPSOED LAYOUT PROVIDES NECESSARY CLEARANCES FOR THE MECHANICAL, ELECTRICAL, AND PLUMBING TRADE ELEMENTS, FIXTURES, DUCTING, AND PIPING.
5. NO ROOF PENETRATIONS OR OR OPENINGS ARE PERMITTED WITHIN 4'-0" OF THE 1-HOUR DEMISING WALLS.
6. ROOF SHEATHING TO BE 5/8" OSB SHEATHING EXCEPT FOR AREAS WITHIN 4'-0" OF THE 1-HOUR DEMISING WALLS. SHEATHING WITHIN 4'-0" OF THE 1-HOUR DEMISING WALLS TO BE 5/8" FIRE RETARDANT TREATED SHEATHING.
7. ALL ROOFS TO BE SLOPED 1/4" PER FT. MIN. ALL GUTTERS SHALL SLOPE 1/8" PER FT. TOWARDS DOWNWARD UNLESS NOTED OTHERWISE.
8. PROVIDE ICE AND WATER SHIELD UNDERLAYMENT AT ALL SHINGLED ROOF AREAS WITH SLOPES LESS THAN 4:12.



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

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3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

ROOF PLAN

scale	As Noted
date	December 10, 2021
no.	73
of.	231

Sheet No.

A106

Project #2040

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

X | 0'-0" — CEILING MATERIAL AND HEIGHT

CEILING SOFFIT.

24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

EF — BATHROOM VENT FAN

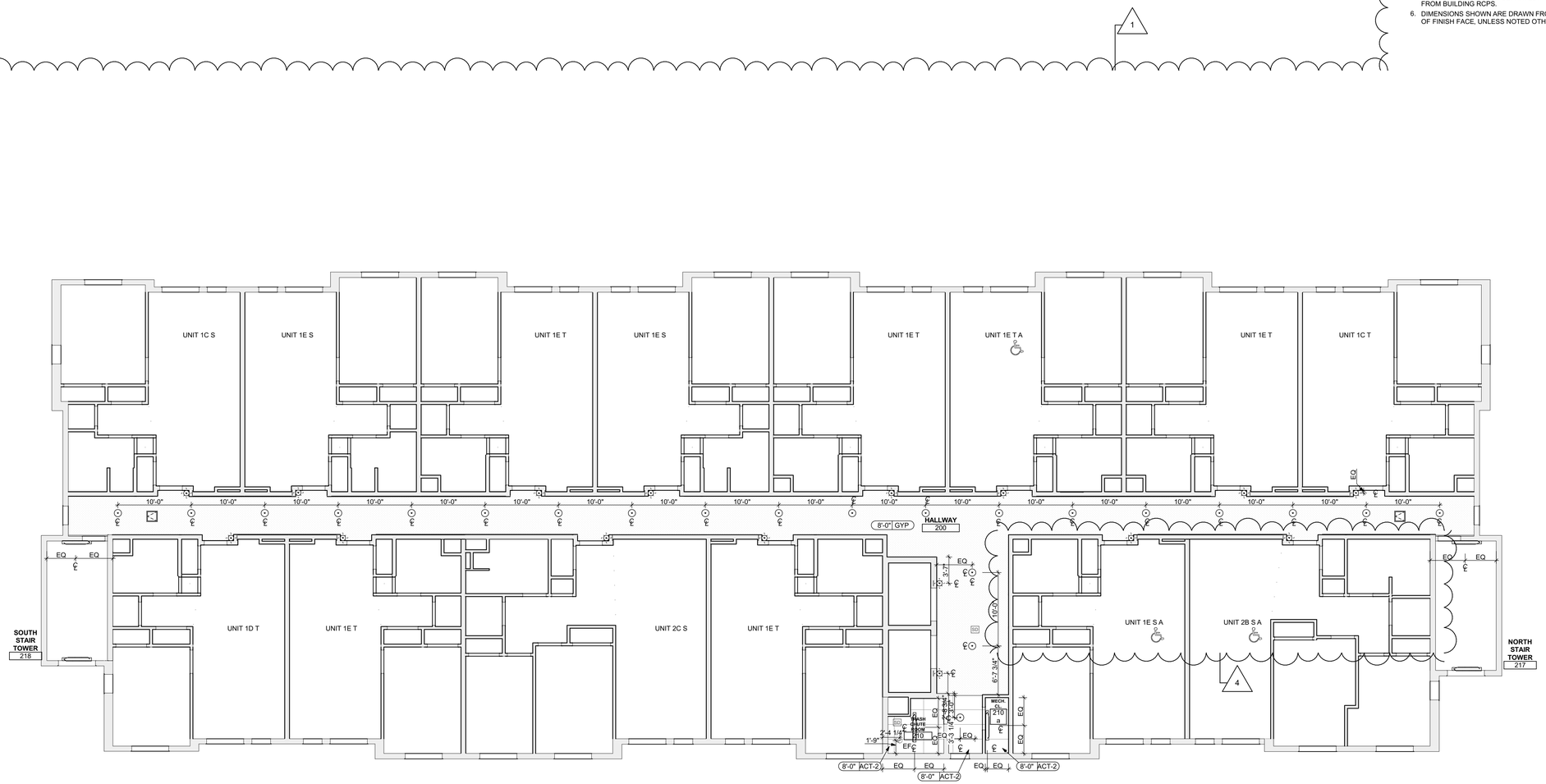
CEILING ACCESS HATCH

SAD — SUPPLY AIR DIFFUSER

SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



1 2ND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

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project title

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200 Ross Street
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Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SECOND FLOOR REFLECTED CEILING PLAN

1

scale	Sheet No.
As Noted	A108
date: December 10, 2021	
no. 75 / of. 231	Project #2040

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

X | 0'-0" — CEILING MATERIAL AND HEIGHT

CEILING SOFFIT.

24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

EF — BATHROOM VENT FAN

CEILING ACCESS HATCH

SAD — SUPPLY AIR DIFFUSER

SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

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3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
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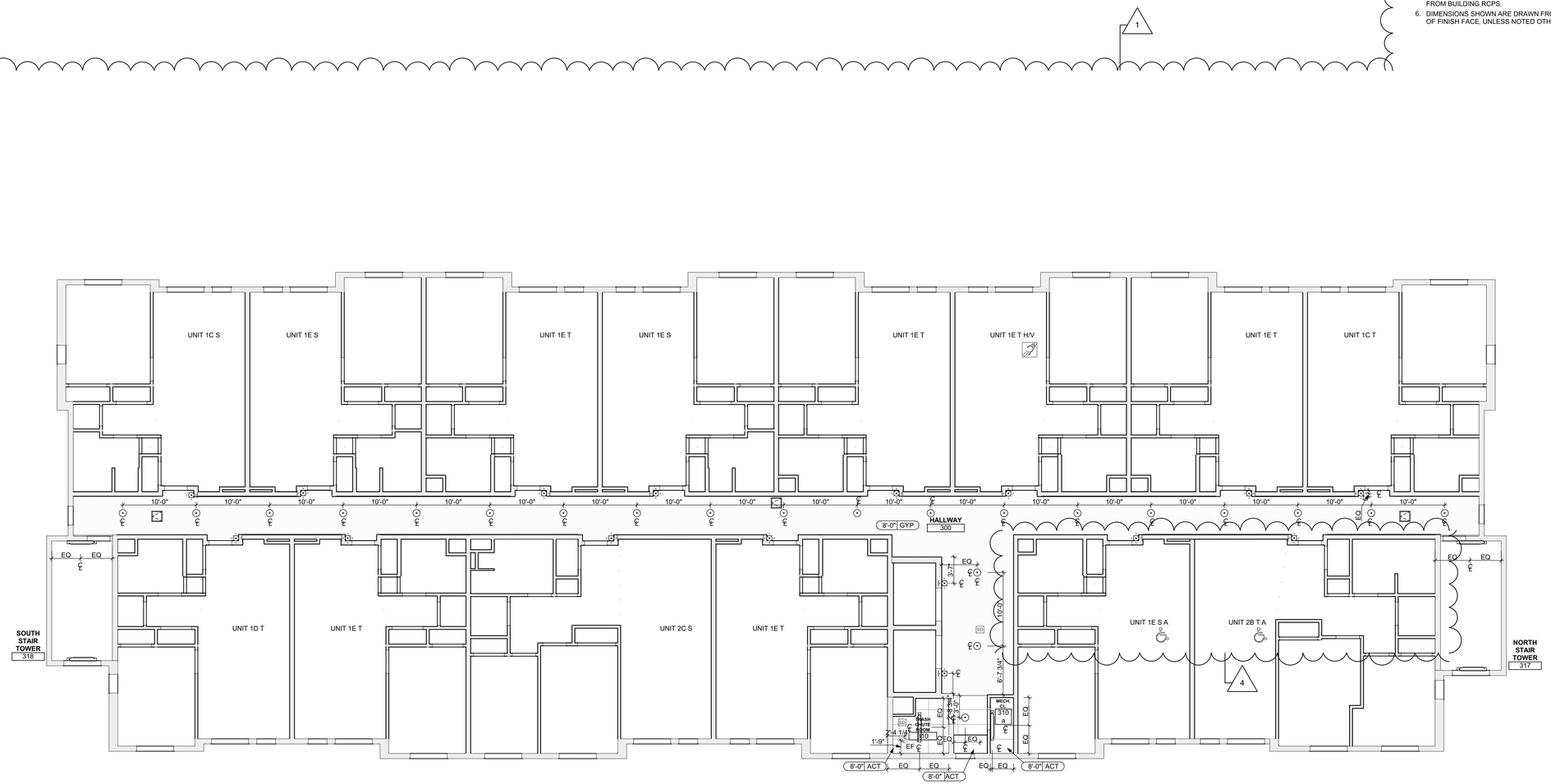

1 3RD FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

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Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

THIRD FLOOR REFLECTED CEILING PLAN

1

scale	Sheet No.
As Noted	A109
date: December 10, 2021	
no. 76 / of. 231	Project #2040

MATERIAL FINISHES

ID	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
COLOR, NUMBER	
PAINT	
P-1	STANDARD FINISH
P-2	STANDARD FINISH
P-3	SEMI-GLOSS
P-4	STANDARD FINISH (1ST FLOOR HALLWAY)
P-5	STANDARD FINISH (2ND FLOOR HALLWAY)
P-6	STANDARD FINISH (3RD FLOOR HALLWAY)
P-7	STANDARD FINISH (4TH FLOOR HALLWAY)
SOLID POLYMER CORE FLOOR TILE	
SPC-1	20 MIL FLOATING FLOOR
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS
SPC-3	12 MIL FLOATING FLOOR
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS
CARPET	
CPT-1	STAPLE DOWN CARPET W/ CARPET PAD
CPT-2	GLUE DOWN CARPET W/O CARPET PAD
ACOUSTIC CEILING TILE	
ACT-1	24" X 48" SUSPENDED, STANDARD CEILING TILES W/ GRID
ACT-2	24" X 48" SUSPENDED, VINYL FACED GYPSUM CORE CEILING TILES W/ GRID
PATIO TILE	
PT-1	12" X 12" SQUARE PATIO PAVERS
VINYL BASE	
B-1	4" STANDARD COVER BASE
B-2	6" STANDARD COVER BASE
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS
LAMINATE	
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED
CORNER GUARDS	
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER
FLOOR MAT	
FM-1	ENTRANCE FLOOR MAT. REFER TO SPECIFICATIONS

MATERIAL FINISH LEGEND

HATCH	ID
	EXPOXY-ALT SEALTED CONC.
	SPC-1
	SPC-2
	SPC-3
	CPT-1
	CPT-2
	FM-1
	COMMERCIAL SPACE FLOOR SLAB IS NOT PART OF THE SCOPE OF WORK.
	EXTERIOR THRESHOLD - ZERO STEP THRESHOLD. REFER TO 11/A511 AND 12/A511.
T-1	INTERIOR - 20 MIL SPC TO CONC. TRANSITION STRIP. REFER TO 6/A504.
T-2	INTERIOR - 12 MIL SPC TO CARPET W/ CARPET PAD TRANSITION STRIP. REFER TO 7/A504.
T-3	INTERIOR - 12 MIL SPC TO CARPET W/O CARPET PAD TRANSITION STRIP. REFER TO 8/A504
T-4	INTERIOR THRESHOLD - 20 MIL SPC TO 12 MIL SPC THRESHOLD. REFER TO 11/A511 AND 12/

1 2ND FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

SECOND FLOOR FINISH PLAN

scale	Sheet No.
As Noted	A112
date: December 10, 2021	Project #2040
no. 79 / of. 231	

MATERIAL FINISHES

ID	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
COLOR, NUMBER	
PAINT	
P-1	STANDARD FINISH
P-2	STANDARD FINISH
P-3	SEMI-GLOSS
P-4	STANDARD FINISH (1ST FLOOR HALLWAY)
P-5	STANDARD FINISH (2ND FLOOR HALLWAY)
P-6	STANDARD FINISH (3RD FLOOR HALLWAY)
P-7	STANDARD FINISH (4TH FLOOR HALLWAY)
SOLID POLYMER CORE FLOOR TILE	
SPC-1	20 MIL FLOATING FLOOR
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ACT-2	24" X 48" SUSPENDED, VINYL FACED GYPSUM CORE CEILING TILES W/ GRID
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LAMINATE	
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED
CORNER GUARDS	
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER
FLOOR MAT	
FM-1	ENTRANCE FLOOR MAT. REFER TO SPECIFICATIONS

MATERIAL FINISH LEGEND

HATCH	ID
	EXPOXY-ALT SEALTED CONC.
	SPC-1
	SPC-2
	SPC-3
	CPT-1
	CPT-2
	FM-1
	COMMERCIAL SPACE FLOOR SLAB IS NOT PART OF THE SCOPE OF WORK.
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T-1	INTERIOR - 20 MIL SPC TO CONC. TRANSITION STRIP. REFER TO 6/A504.
T-2	INTERIOR - 12 MIL SPC TO CARPET W/ CARPET PAD TRANSITION STRIP. REFER TO 7/A504.
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T-4	INTERIOR THRESHOLD - 20 MIL SPC TO 12 MIL SPC THRESHOLD. REFER TO 11/A511 AND 12/

1 3RD FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

Fukui Architects Pc
205 Ross Street
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ph 412.281.6001 fx 412.281.6002

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Project Location:
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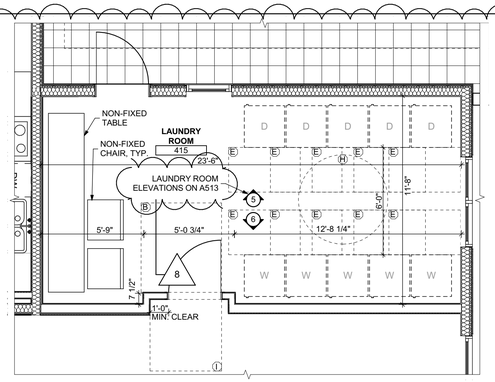
246 Penfort Street
Pittsburgh, PA 15214

drawing title

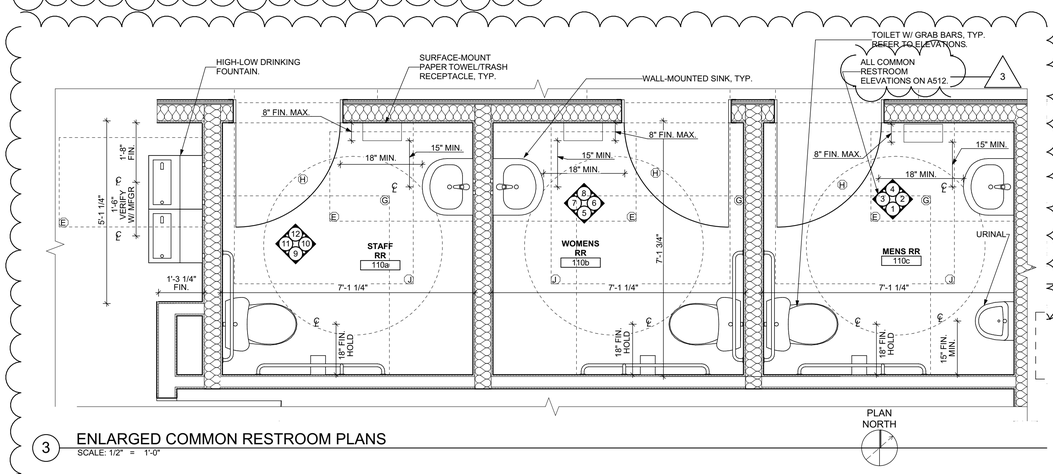
THIRD FLOOR FINISH PLAN

scale	Sheet No.
As Noted	A113
date: December 10, 2021	Project #2040
no. 80 / of. 231	



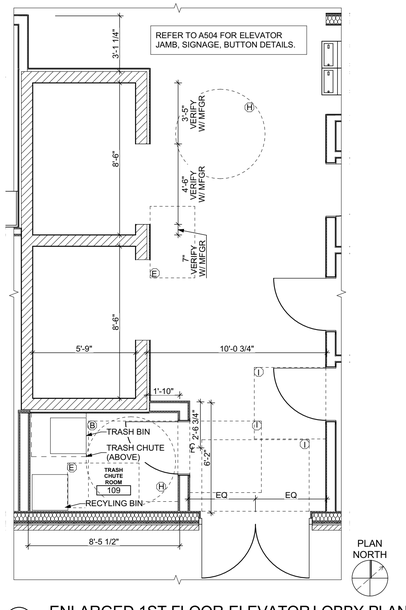
6 ENLARGED LAUNDRY ROOM

SCALE: 1/4" = 1'-0"



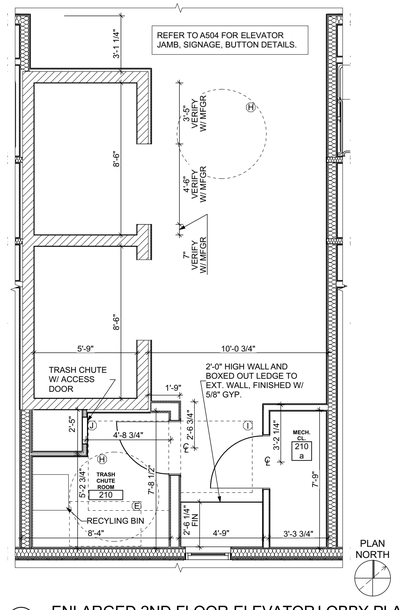
3 ENLARGED COMMON RESTROOM PLANS

SCALE: 1/2" = 1'-0"



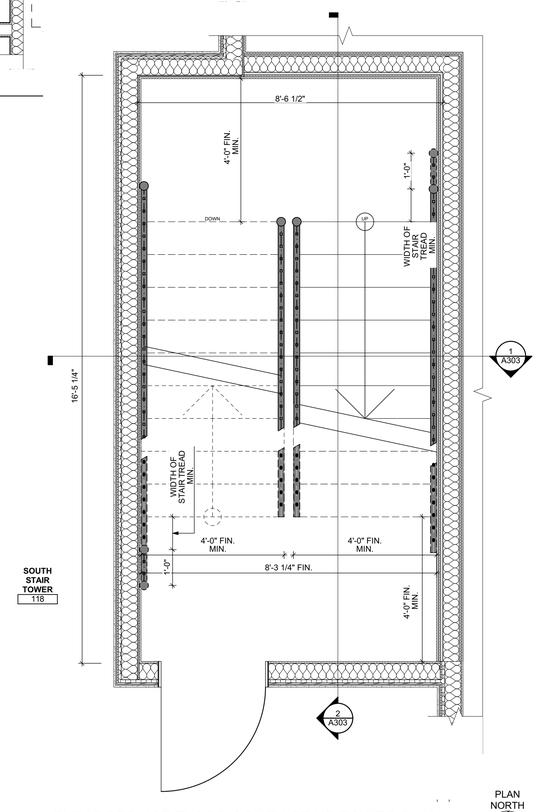
1 ENLARGED 1ST FLOOR ELEVATOR LOBBY PLAN

SCALE: 1/4" = 1'-0"



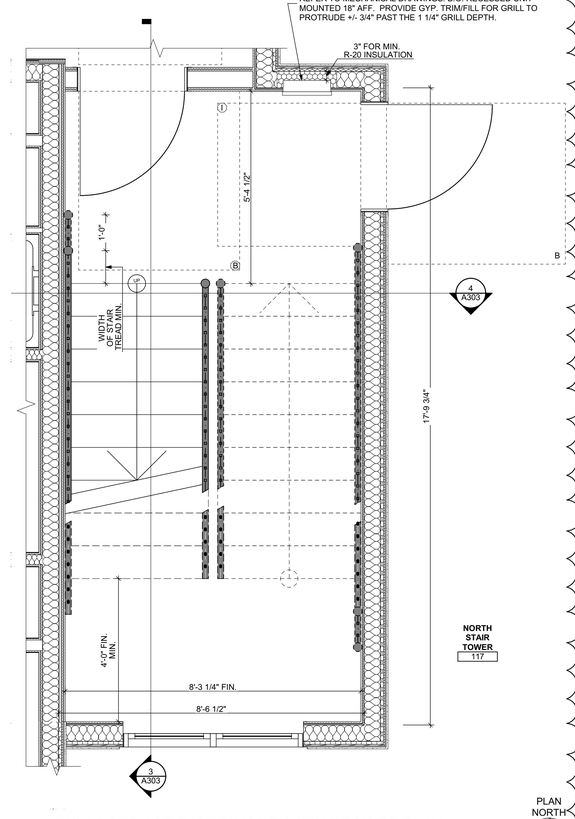
2 ENLARGED 2ND FLOOR ELEVATOR LOBBY PLAN

SCALE: 1/4" = 1'-0"



5 ENLARGED 1ST FLOOR SOUTH STAIR TOWER PLAN

SCALE: 1/2" = 1'-0"



4 ENLARGED 1ST FLOOR NORTH STAIR TOWER PLAN

SCALE: 1/2" = 1'-0"

ENLARGED PLAN LEGEND

XXXXXX
000 ROOM NAME AND NUMBER

GENERAL ENLARGED PLAN NOTES

1. ALL GENERAL FLOOR PLAN NOTES ALSO APPLY.

ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
- (C) DOOR WIDTH+24" LATCH SIDE X 48"
- (D) 60" X 66" (TYPE A W.C. W/ LAV. OVERLAP EXCEPTION)
- (E) 30" X 48" CLEAR FLOOR SPACE
- (F) 30" X FULL LENGTH OF BATHTUB (60" MIM) BATHTUB CLEARANCE
- (G) 60" X 56" (W.C.)
- (H) 60" DIA. TURNING SPACE
- (I) DOOR WIDTH+12" LATCH SIDE X 48"
- (J) DOOR WIDTH+24" LATCH SIDE X 54"
- (K) 36" X 48" SHOWER CLEARANCE
- (L) 60" X 60" T-SHAPED TURNING SPACE
- (M) 36" X FULL LENGTH OF ROLL-IN SHOWER
- 36" WIDE UN-OBSTRUCTED PATH OF EGRESS
- 30" CLEARANCE (AROUND BED)
- REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING

Fukui Architects Pc

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seal

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Project Location:

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246 Penfort Street
Pittsburgh, PA 15214

drawing title

ENLARGED PLANS

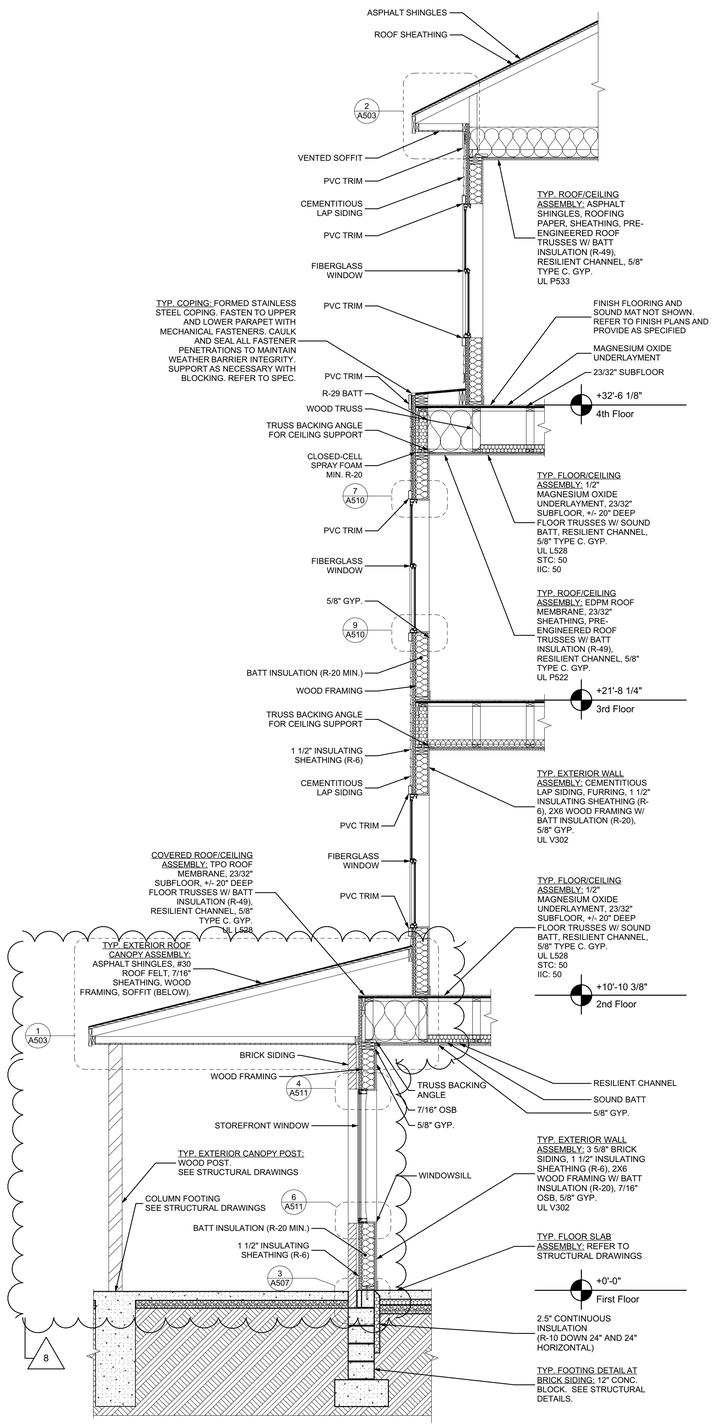
scale	Sheet No.
As Noted	A117
date: December 10, 2021	Project #2040
no. 84 of. 231	

1

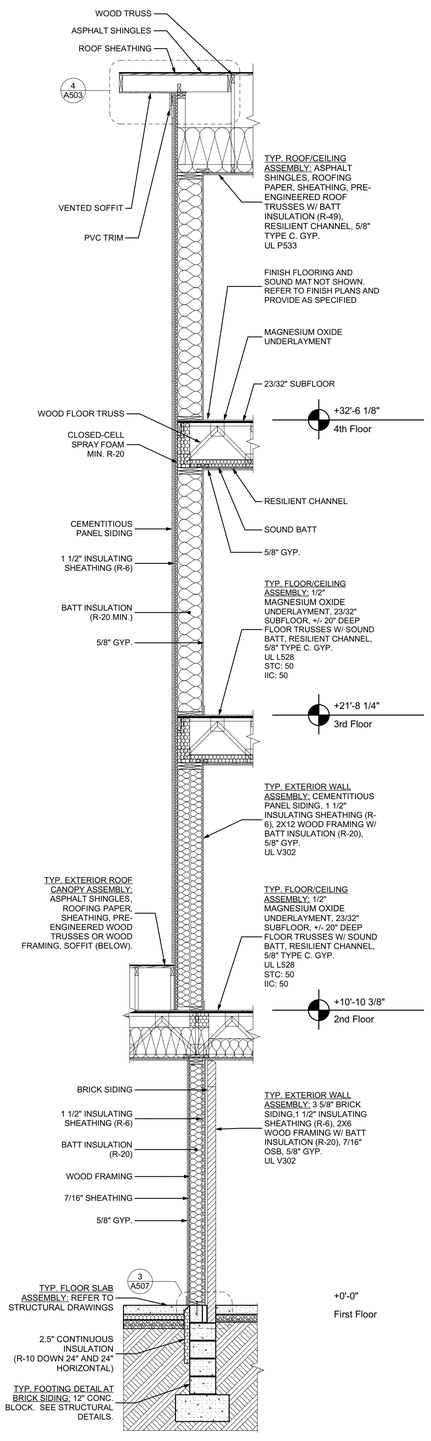
2

BUILDING SECTION NOTES

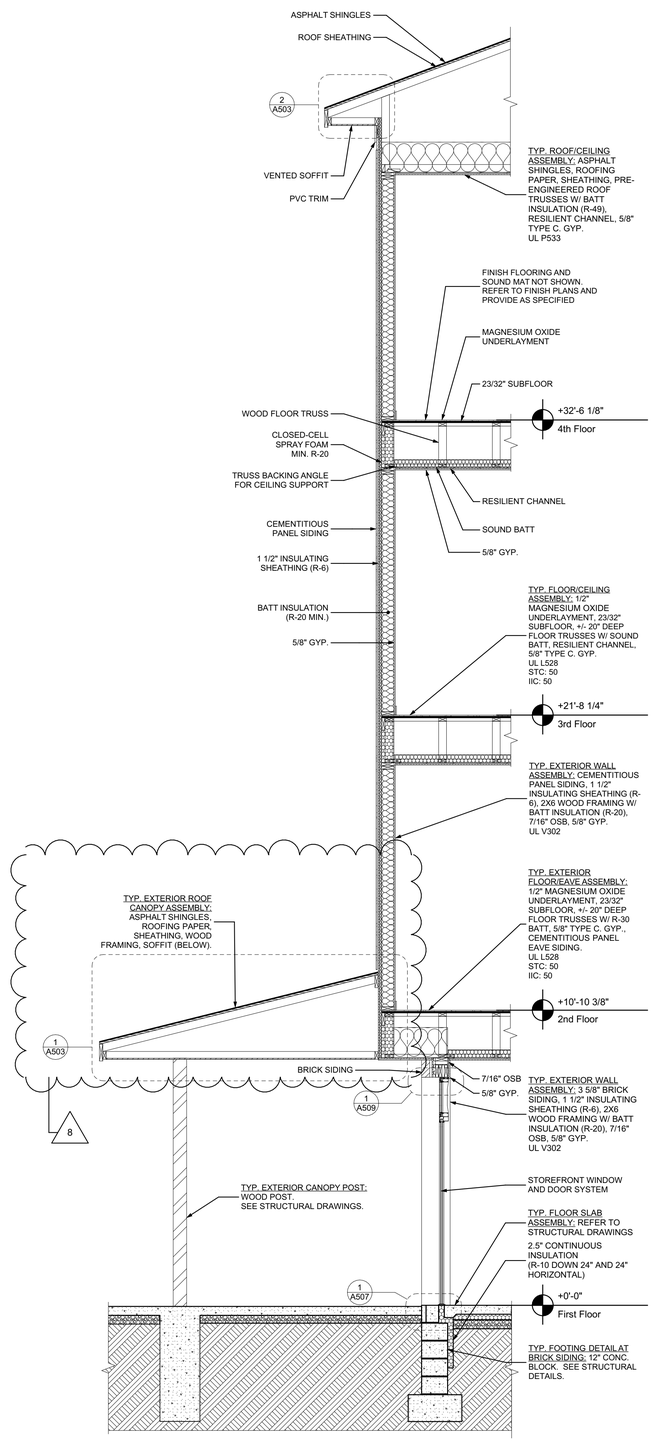
1. REFER TO A505 FOR AIR SEALING NOTES.



1 WALL SECTION F
SCALE: 3/8" = 1'-0"



2 WALL SECTION G
SCALE: 3/8" = 1'-0"



3 WALL SECTION H
SCALE: 3/8" = 1'-0"

Fukui Architects Pc

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ph 412.281.6001 fx 412.281.6002

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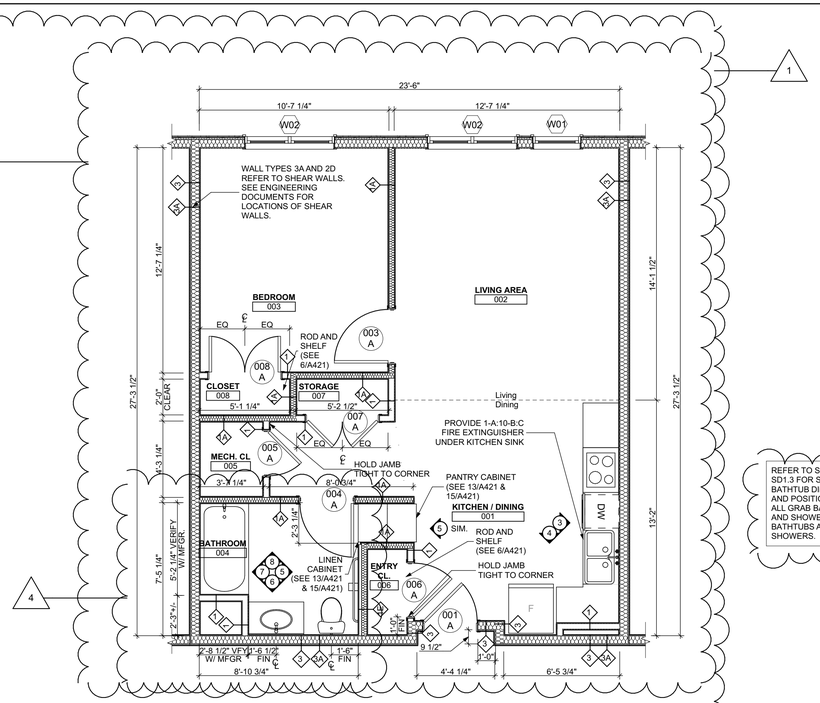
Pittsburgh, PA 15214

drawing title

WALL SECTIONS F-H

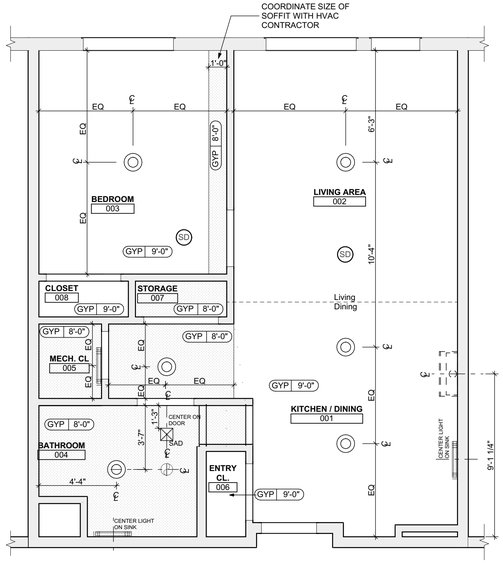
scale: As Noted
date: December 10, 2021
no. 91 of. 231

Sheet No.
A305
Project #2040



1 UNIT 1A T: 1 BEDROOM (TYPE B) W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.



2 UNIT 1A T: 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION REFER TO M.E.P FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

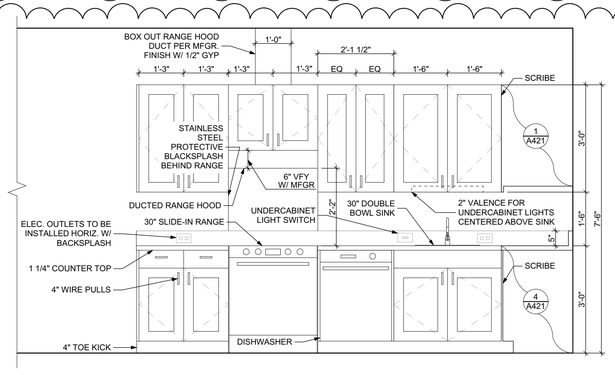
- X | 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

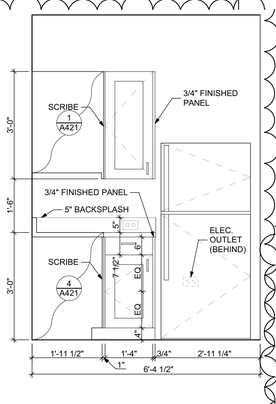
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR; (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE: UNIT 1A T

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	GYP	P-3	

DOOR SCHEDULE: UNIT 1A T

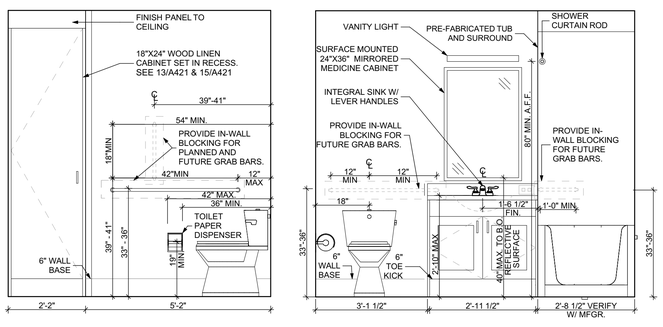
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	2'-6"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

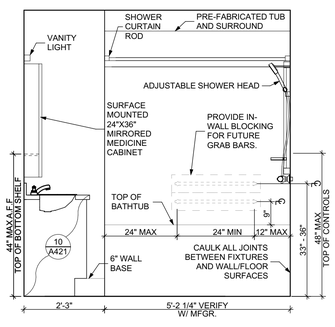
SQUARE FOOT MATRIX - UNIT 1A T

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	673	632
KITCHEN & DINING		152
LIVING		176
BEDROOM		131
BATHROOM		63

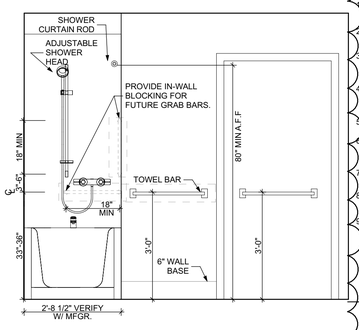


5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"

6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of' any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

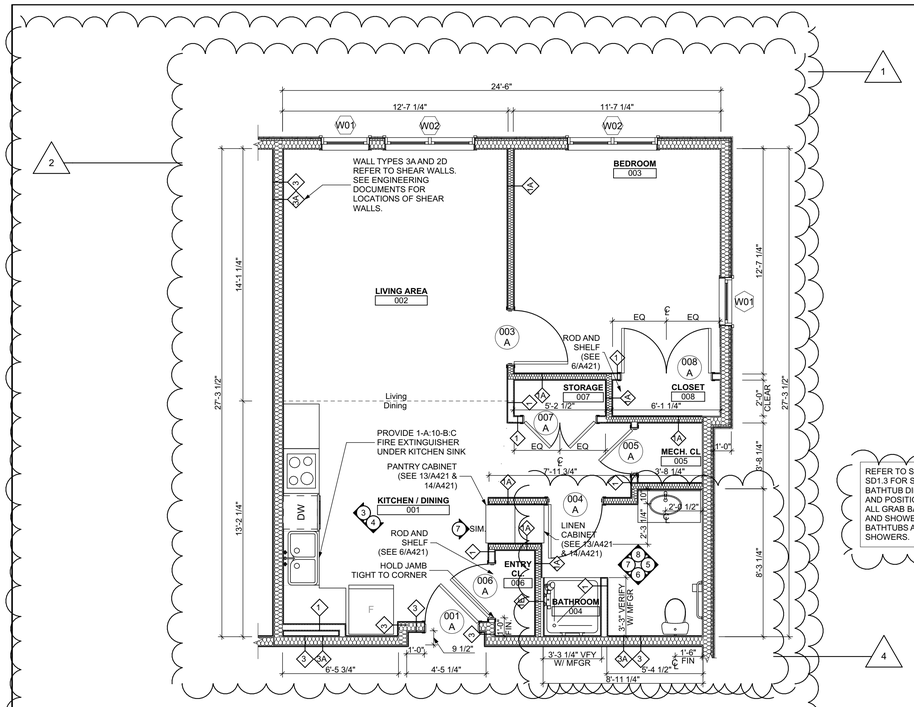
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

UNIT 1A T: 1 BEDROOM W/ BATHTUB (TYPE B)

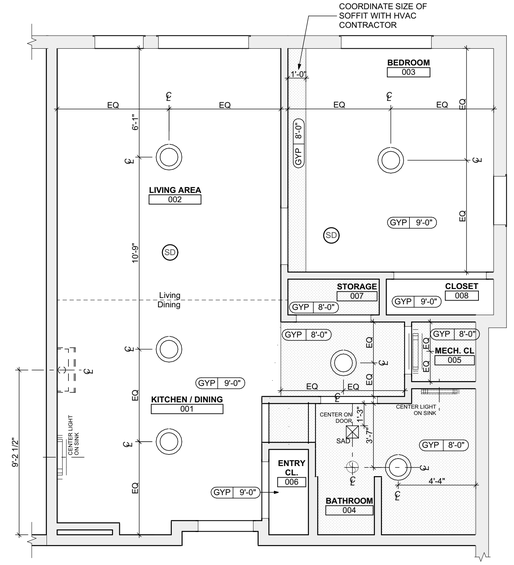
scale: As Noted
date: December 10, 2021
no. 93 of. 231

Sheet No.
A401
Project #2040



1 UNIT 1B S: 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.



2 UNIT 1B S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

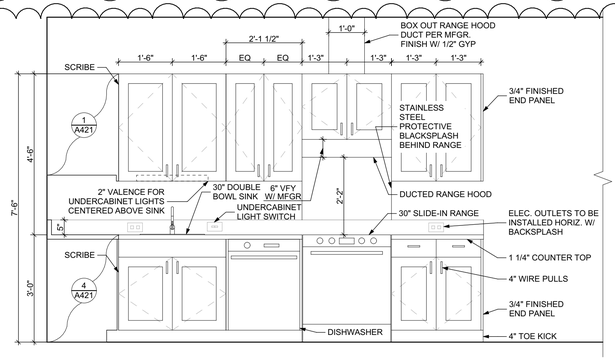
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

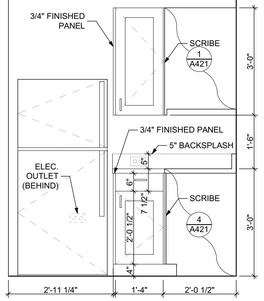
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1B S

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST					
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

BATHROOM ACCESSORIES SCHEDULE - UNITS

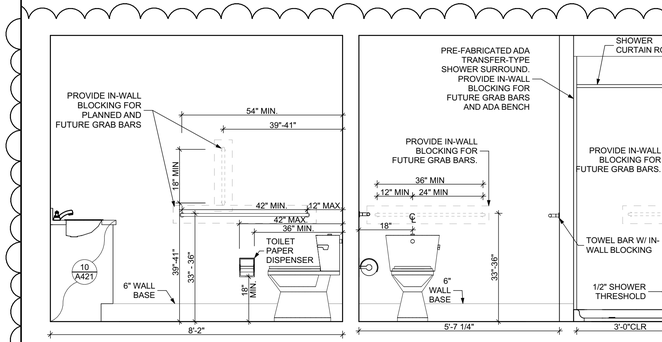
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1B S

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	2'-6"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	5'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

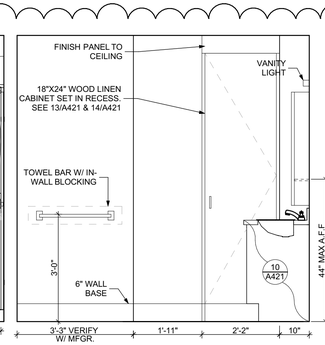
SQUARE FOOT MATRIX - UNIT 1B S

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	710	647
KITCHEN & DINING		152
LIVING		176
BEDROOM		144
BATHROOM		70



5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"

6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
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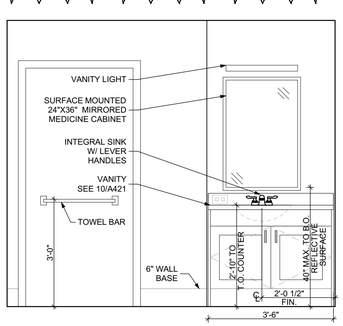

8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

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5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
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8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

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2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1. REVISED 2022/02/09
2. REVISED 2022/03/04
3. REVISED 2022/03/30
4. REVISED 2022/04/14
8. REVISED 2022/04/22. Addenda #2

project title

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200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

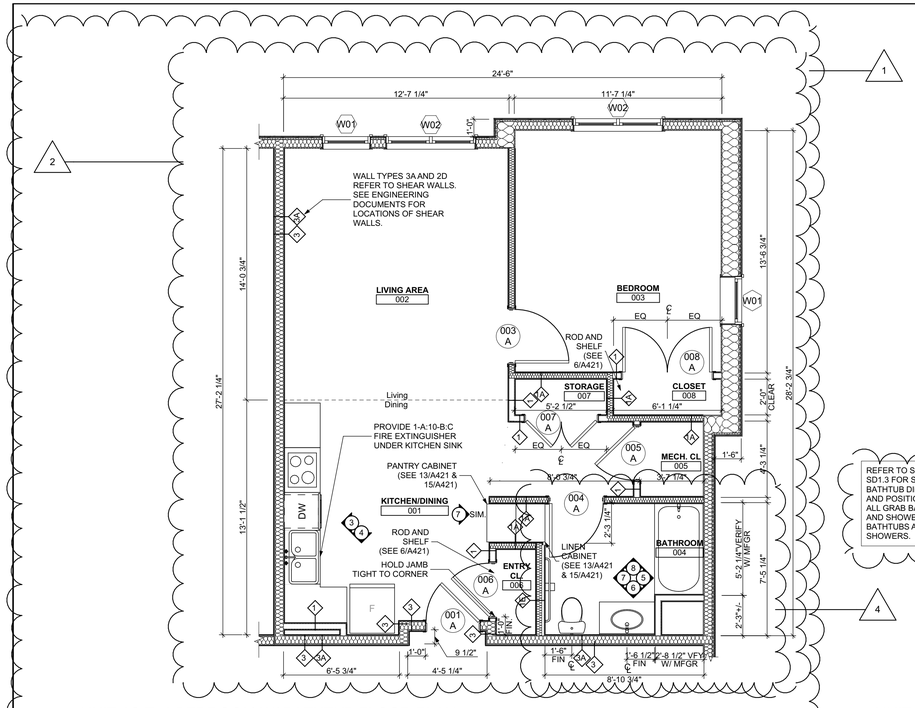
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

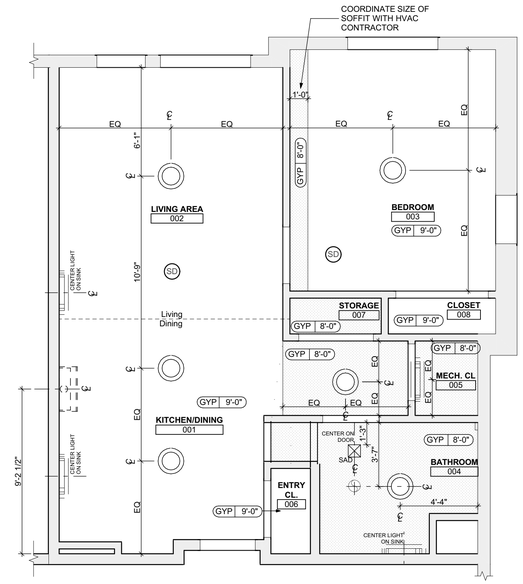
UNIT 1B S: 1 BEDROOM W/ SHOWER (TYPE B)

scale: As Noted
date: December 10, 2021
no. 94 of. 231

Sheet No.
A402
Project #2040



1 UNIT 1C T: 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1C T: 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

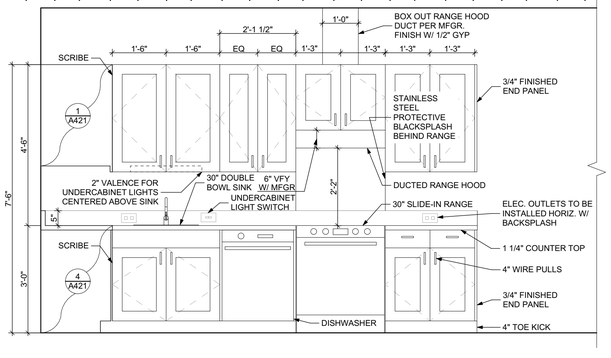
- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

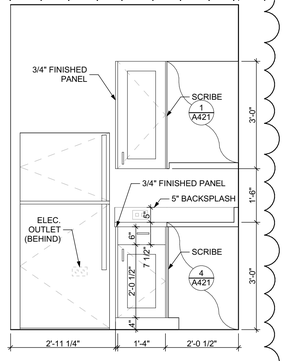
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

FINISH SCHEDULE - UNIT 1C T

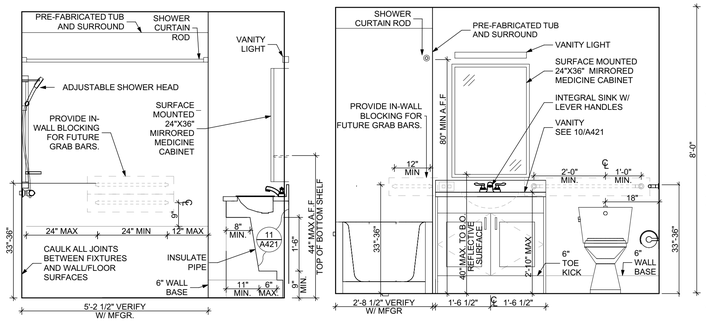
ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	KITCHEN/DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

DOOR SCHEDULE: UNIT 1C T

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN/DINING	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/8"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/8"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/8"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/8"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	5'-0"x6'-8"	10	NONE	SCW	P-1	1 3/8"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 1C T

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	722	658
KITCHEN & DINING		152
LIVING		176
BEDROOM		155
BATHROOM		63



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SCALE: 1/2" = 1'-0"

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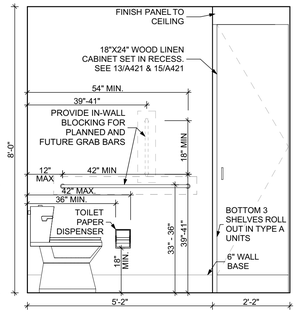
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
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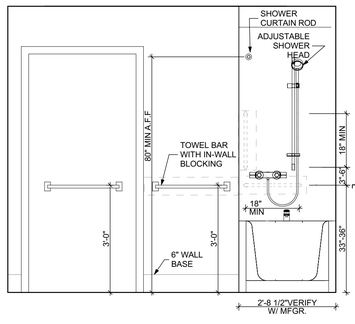

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P-1	STANDARD FINISH	TBD
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P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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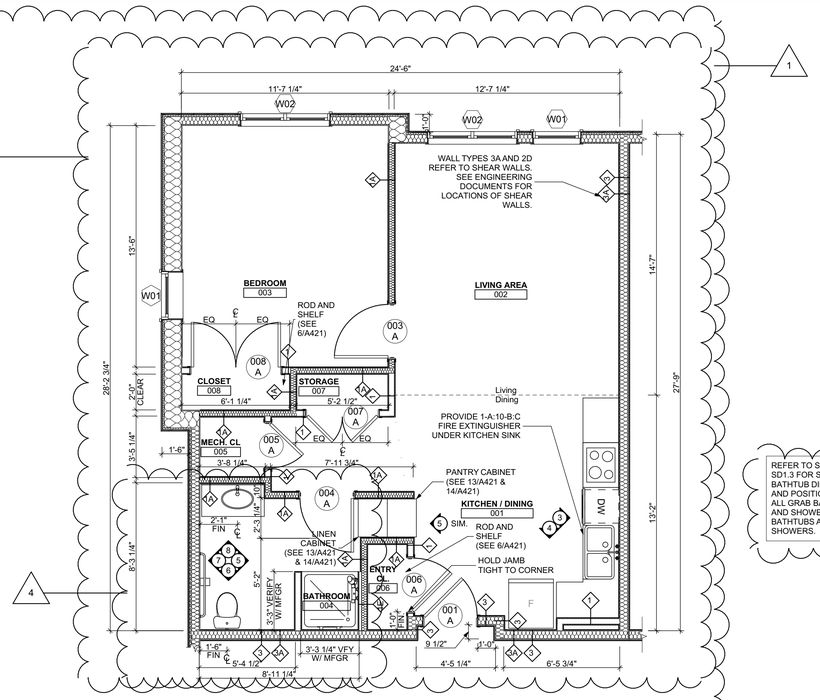
drawing title

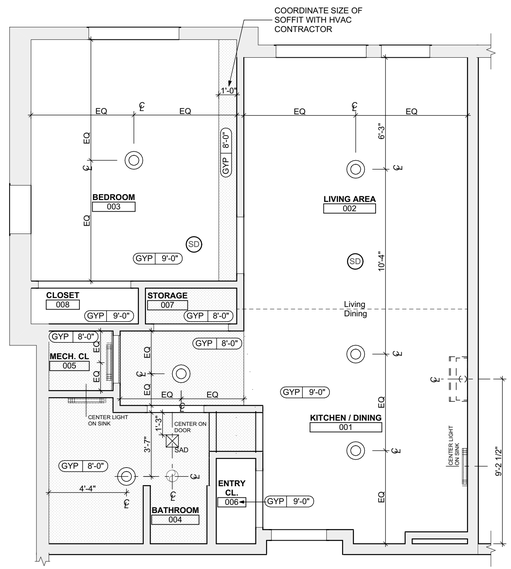
UNIT 1C T: 1 BEDROOM W/ BATHTUB (TYPE B)

scale: As Noted
date: December 10, 2021
no. 95 of. 231

Sheet No.
A403
Project #2040



1 UNIT 1C S: 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1C S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

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9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

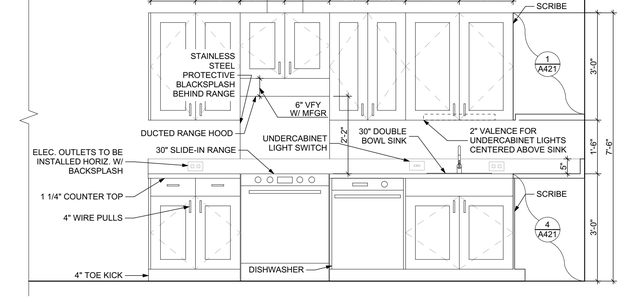
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

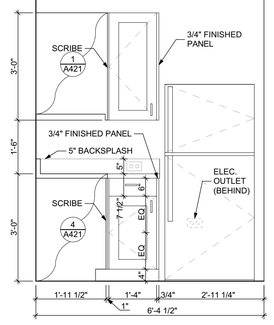
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1C S

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	LSPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

BATHROOM ACCESSORIES SCHEDULE - UNITS

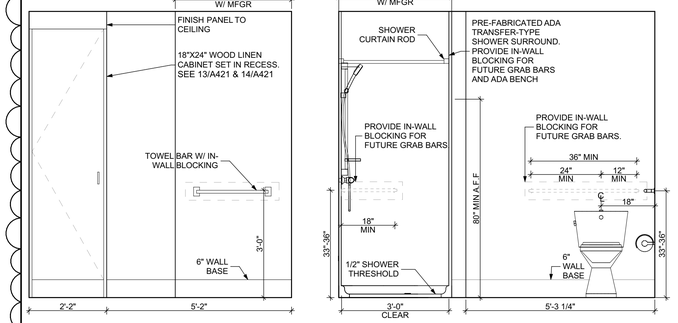
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1C S

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	2'-6"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	5'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

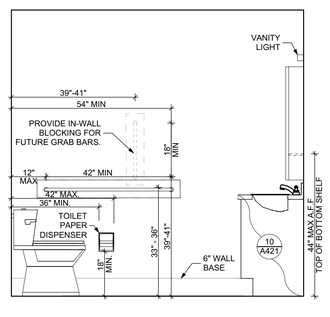
SQUARE FOOT MATRIX - UNIT 1C S

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	722	658
KITCHEN & DINING		152
LIVING		176
BEDROOM		155
BATHROOM		70

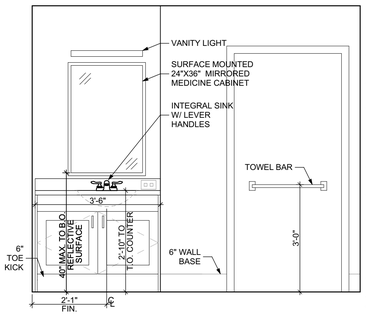


5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"

6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

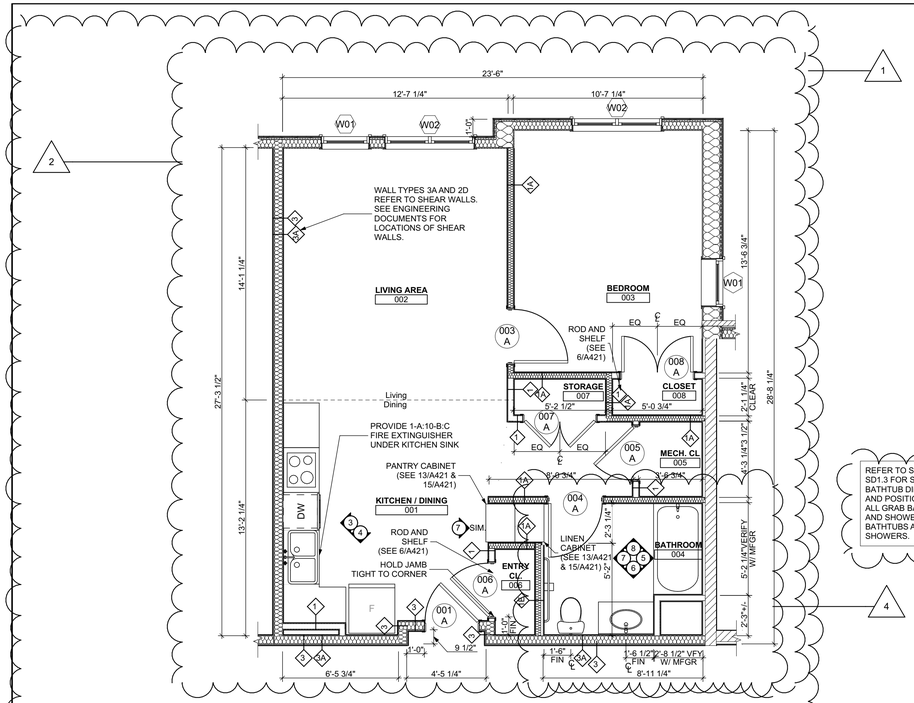
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

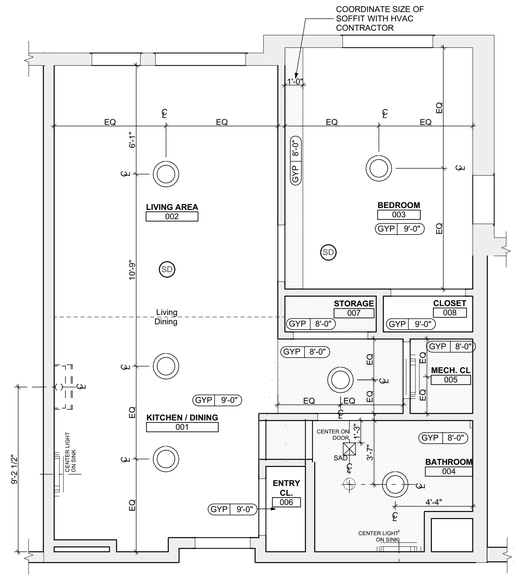
UNIT 1C S: 1 BEDROOM W/ SHOWER (TYPE B)

scale: As Noted
date: December 10, 2021
no. 96 of. 231

Sheet No.
A404
Project #2040



1 UNIT 1D T: 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1D T: 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

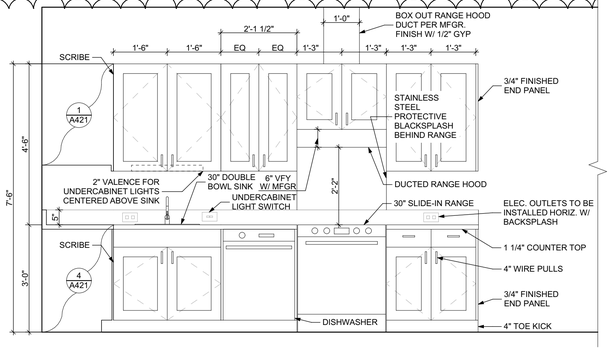
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

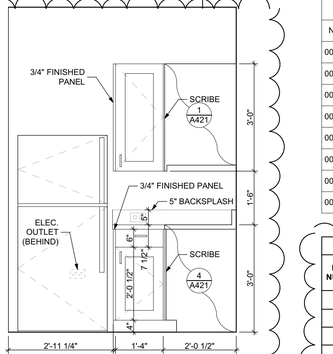
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1D T

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST					
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1D T

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	KITCHEN / DINING	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STORERROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 1D T

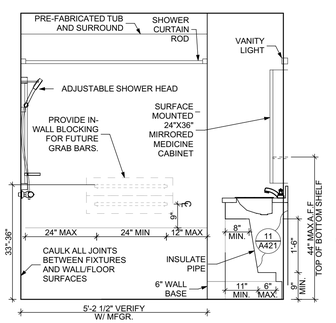
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	696	642
KITCHEN & DINING		152
LIVING		176
BEDROOM		142
BATHROOM		63

DOOR NOTES

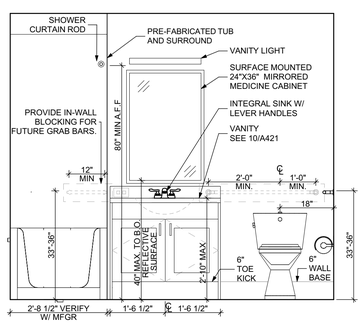
1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD



5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
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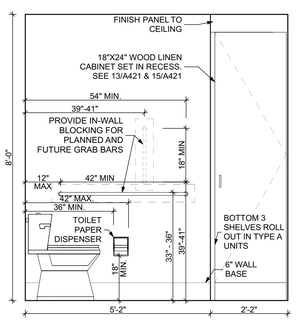

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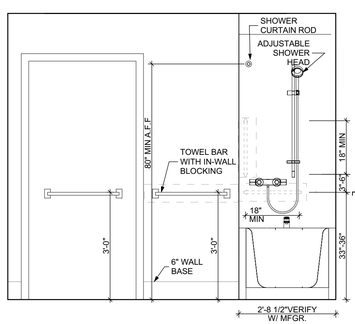

8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

Fukui Architects Pc
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seal

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2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

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Pittsburgh, PA 15219

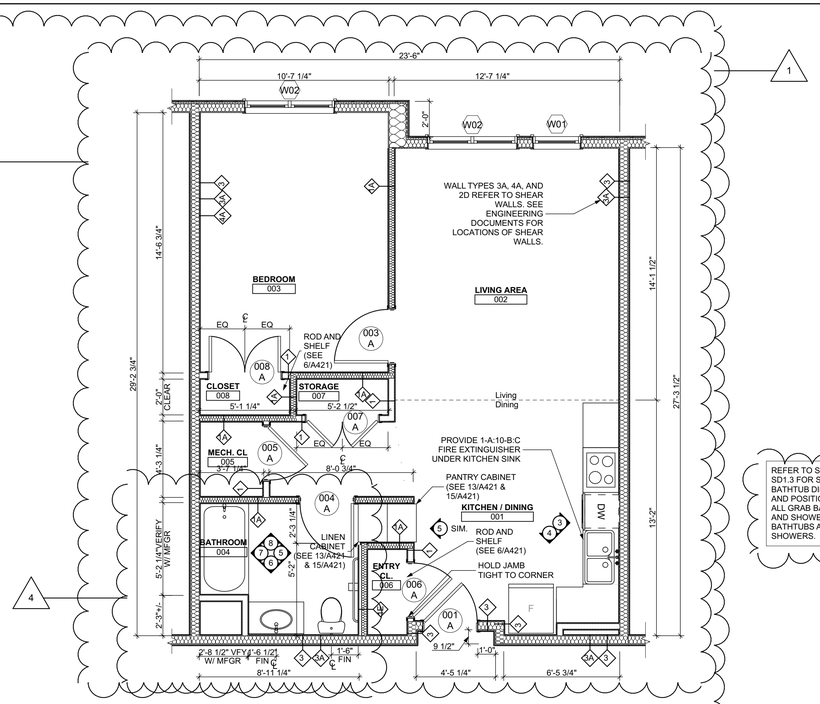
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

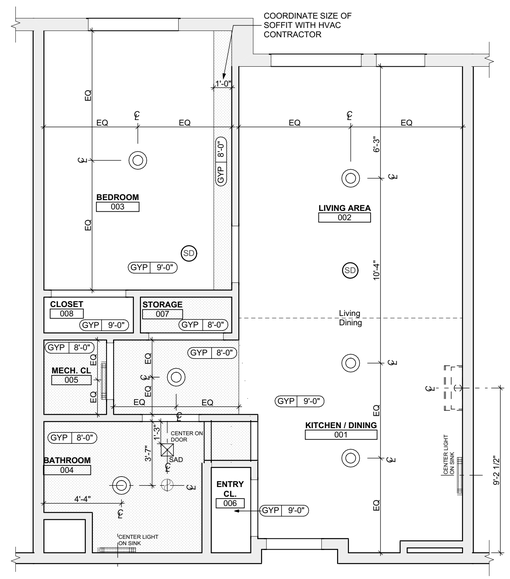
UNIT 1D T: 1 BEDROOM W/ BATHTUB (TYPE B)

scale: As Noted
date: December 10, 2021
no. 97 of. 231

Sheet No.
A405
Project #2040



1 UNIT 1E T: 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1E T: 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

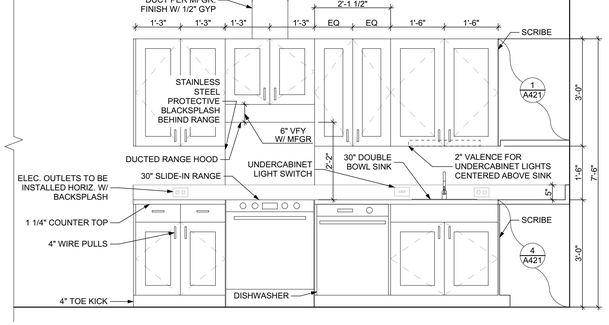
- X | 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

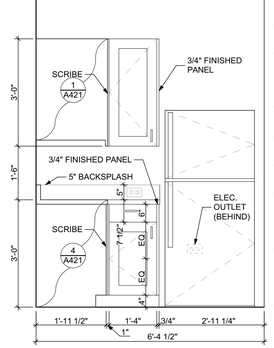
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1E T

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

BATHROOM ACCESSORIES SCHEDULE - UNITS

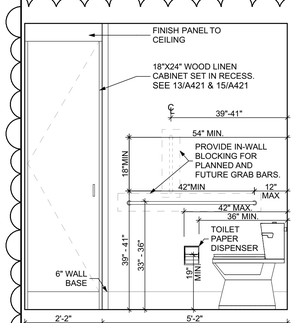
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1E T

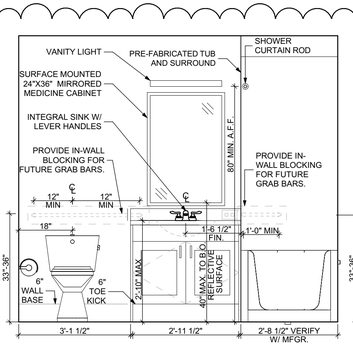
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 1E T

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	697	653
KITCHEN & DINING		152
LIVING		176
BEDROOM		152
BATHROOM		63



5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
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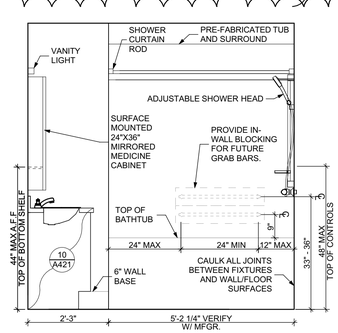

7 ELEVATION: BATHROOM WEST
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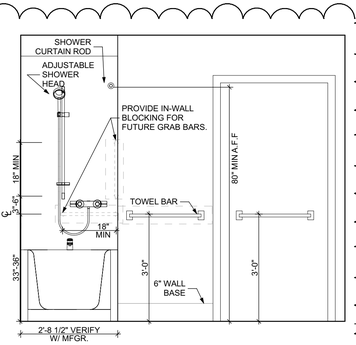

8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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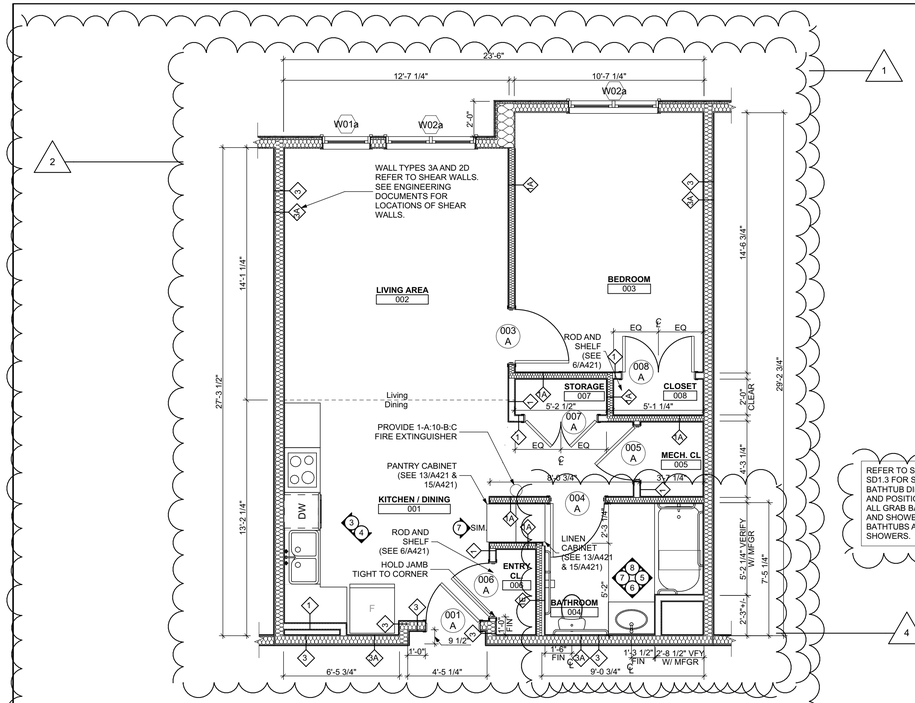
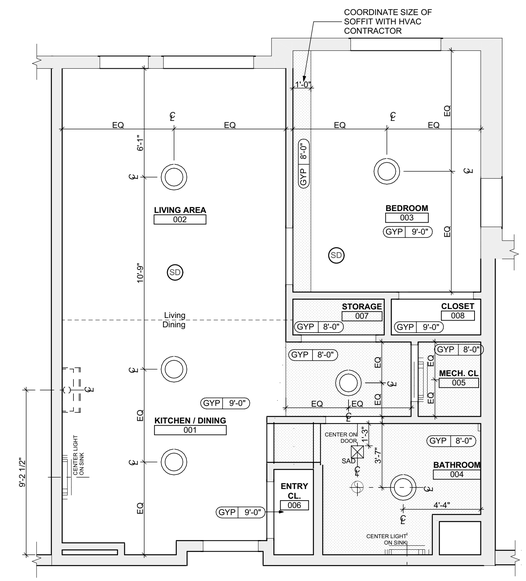
UNIT 1E T: 1 BEDROOM W/ BATHTUB (TYPE B)

scale: As Noted
date: December 10, 2021
no. 98 of. 231

Sheet No.
A406
Project #2040



1 UNIT 1E T (TYPE A): 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1E T (TYPE A): 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X | 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

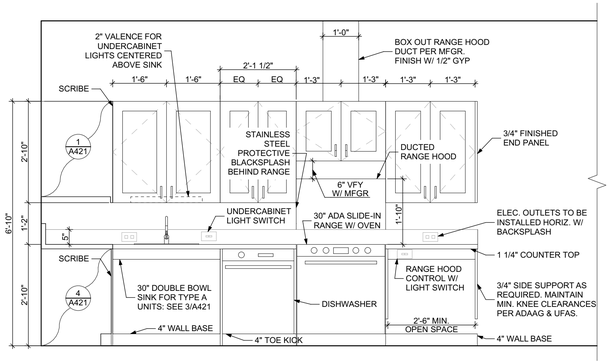
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

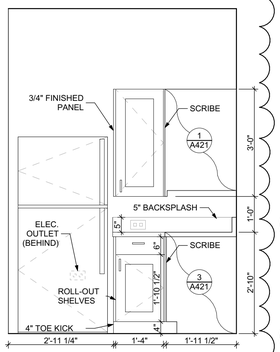
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1E T A

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST						
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	CG-1	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	CG-1	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	CLOSET	P-1	P-1	P-1	P-1	CPT-2	B-1	GYP	P-3		

BATHROOM ACCESSORIES SCHEDULE - UNITS

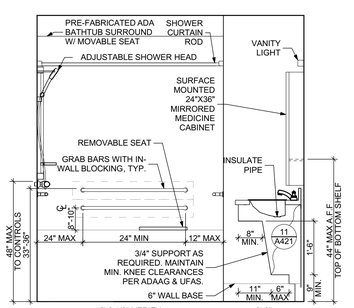
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1E T (A)

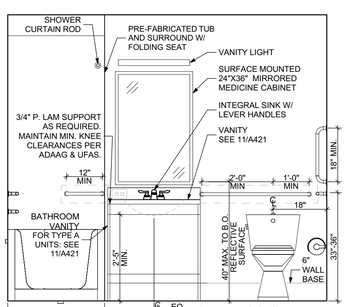
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
008 A	CLOSET	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR

SQUARE FOOT MATRIX - UNIT 1E T A

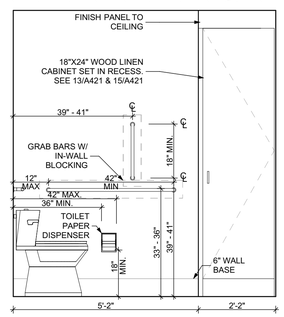
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	697	653
KITCHEN & DINING		152
LIVING		176
BEDROOM		152
BATHROOM		63



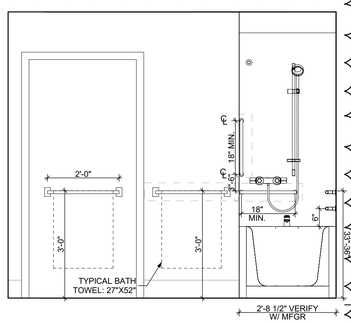
5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

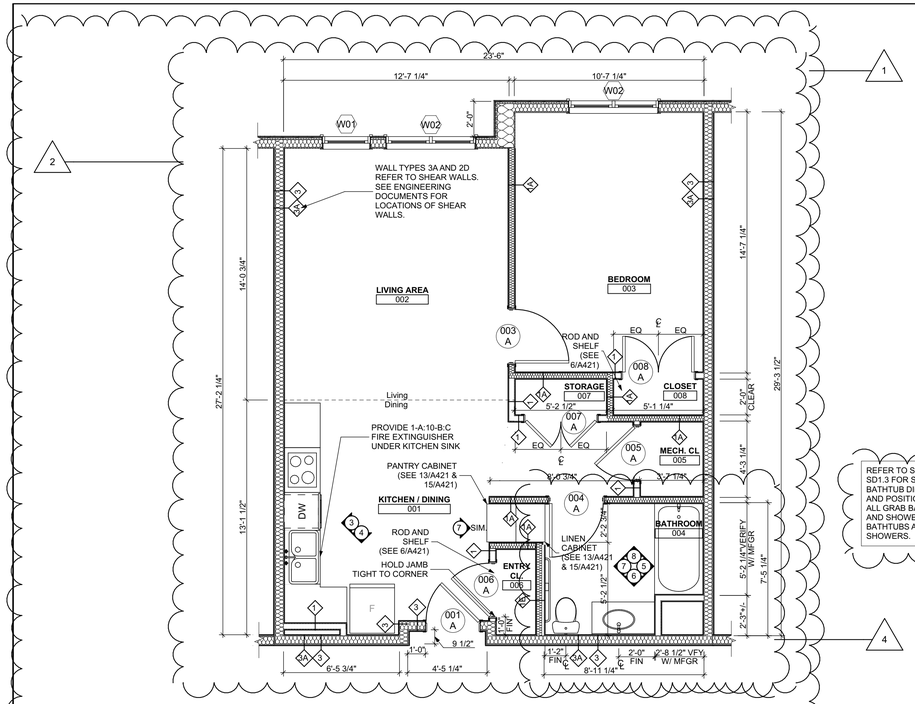
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

UNIT 1E T A: 1 BEDROOM W/ BATHTUB (TYPE A)

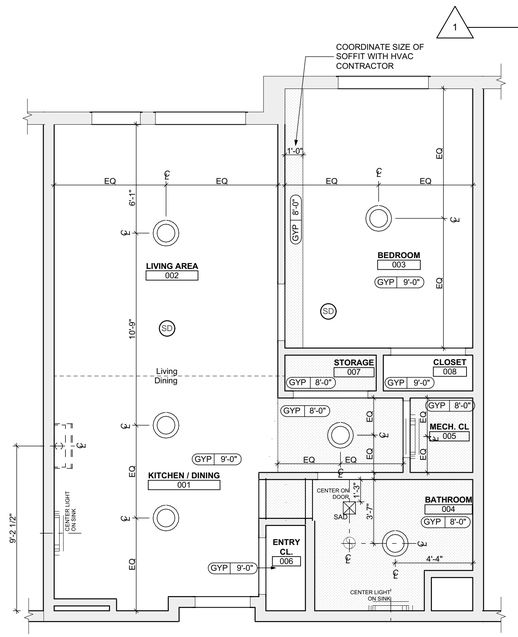
scale: As Noted
date: December 10, 2021
no. 99 of. 231

Sheet No.
A407
Project #2040



1 UNIT 1E T(HV): 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.



2 UNIT 1E T(HV): 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

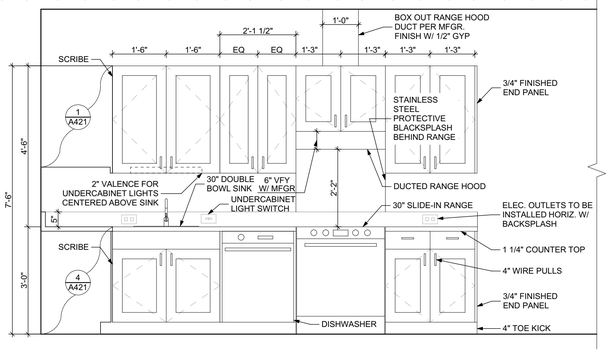
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

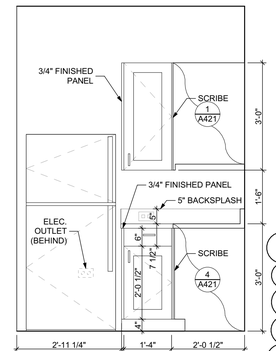
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR; (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1E T HV

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	CG-1	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	CG-1	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	CLOSET	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		

BATHROOM ACCESSORIES SCHEDULE - UNITS

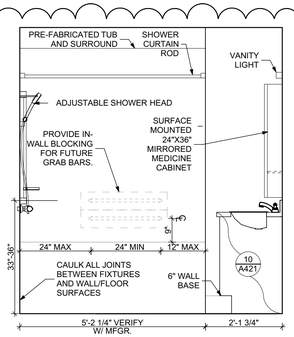
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1E T (HV)

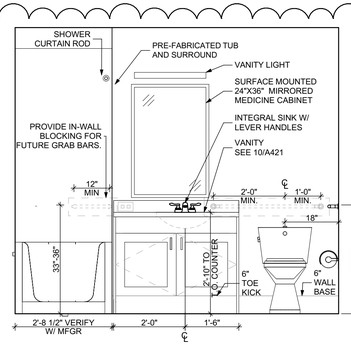
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 1E T HV

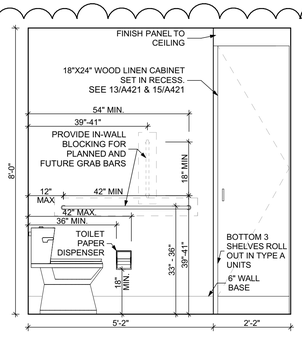
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	697	653
KITCHEN & DINING		152
LIVING		176
BEDROOM		152
BATHROOM		63



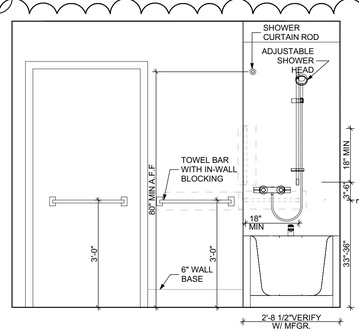
5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP.	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
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seal

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2. REVISED 2022/03/04
3. REVISED 2022/03/30
4. REVISED 2022/04/14
8. REVISED 2022/04/22. Addenda #2

project title

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200 Ross Street
Pittsburgh, PA 15219

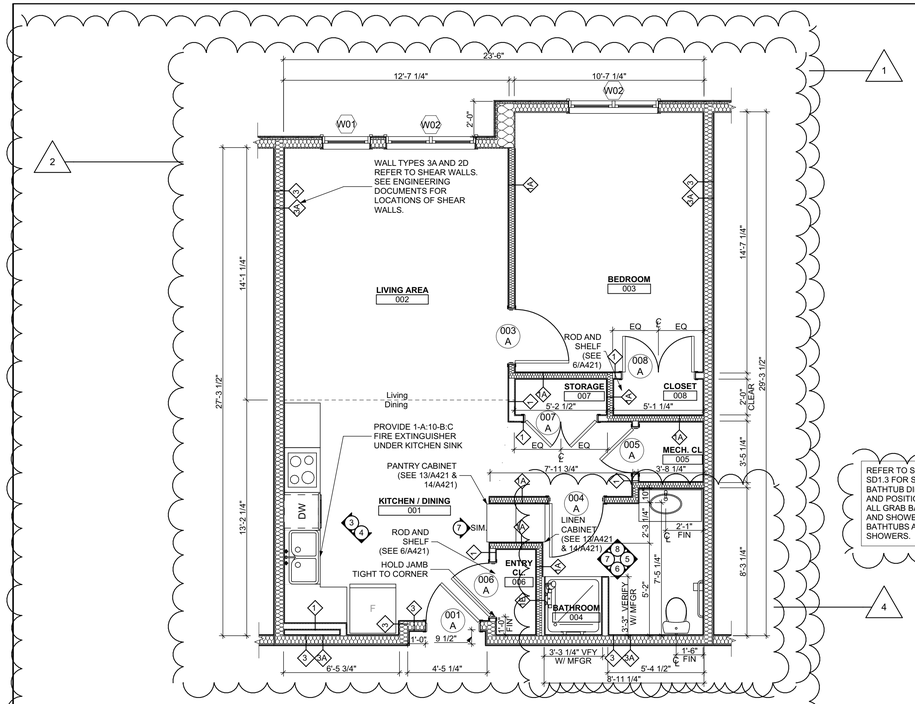
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

UNIT 1E T HV: 1 BEDROOM W/ BATHTUB (TYPE B) (HEARING/VISION)

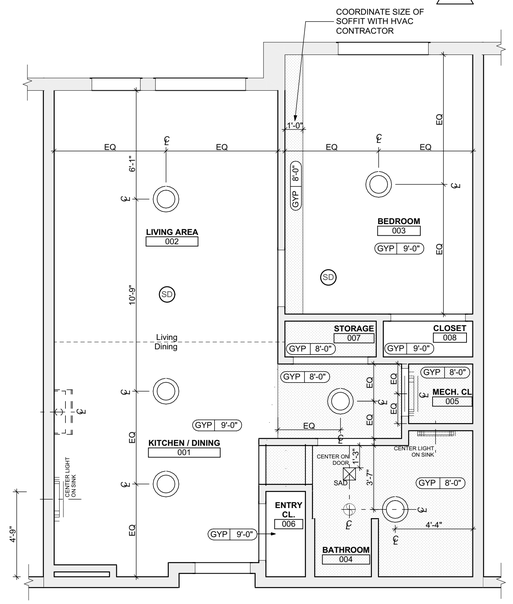
scale: As Noted
date: December 10, 2021
no. 100 of. 231

Sheet No.
A408
Project #2040



1 UNIT 1E S: 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.



2 UNIT 1E S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

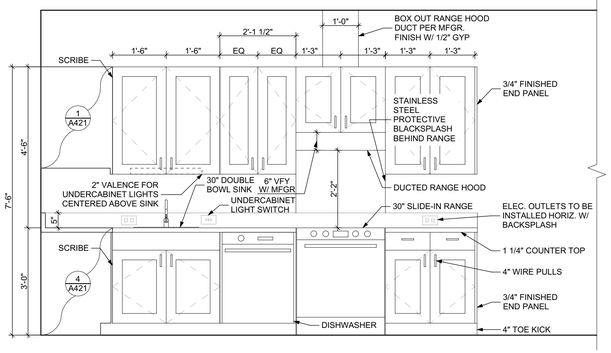
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

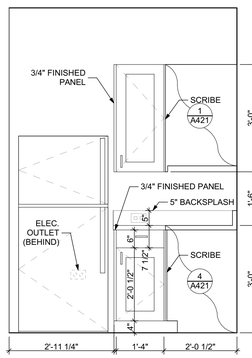
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1E S

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST					
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

DOOR SCHEDULE: UNIT 1E S

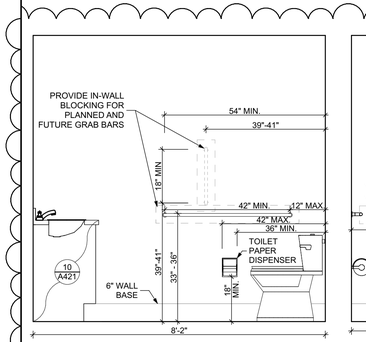
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	2'-6"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

BATHROOM ACCESSORIES SCHEDULE - UNITS

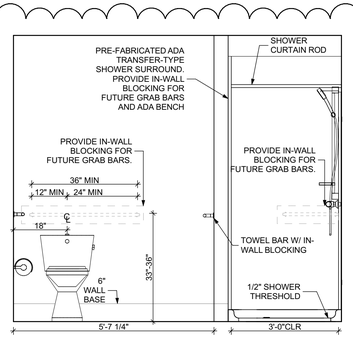
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 1E S

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	697	653
KITCHEN & DINING		152
LIVING		173
BEDROOM		152
BATHROOM		70



5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
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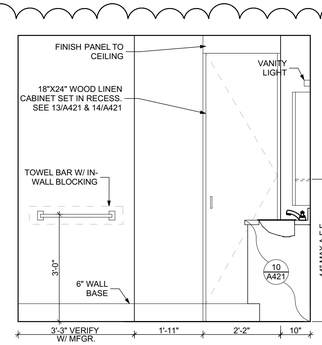

7 ELEVATION: BATHROOM WEST
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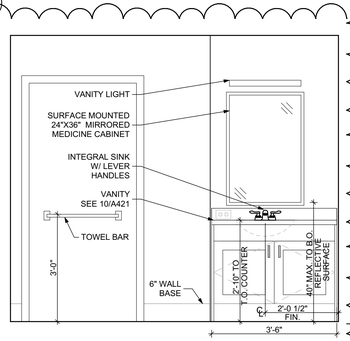

8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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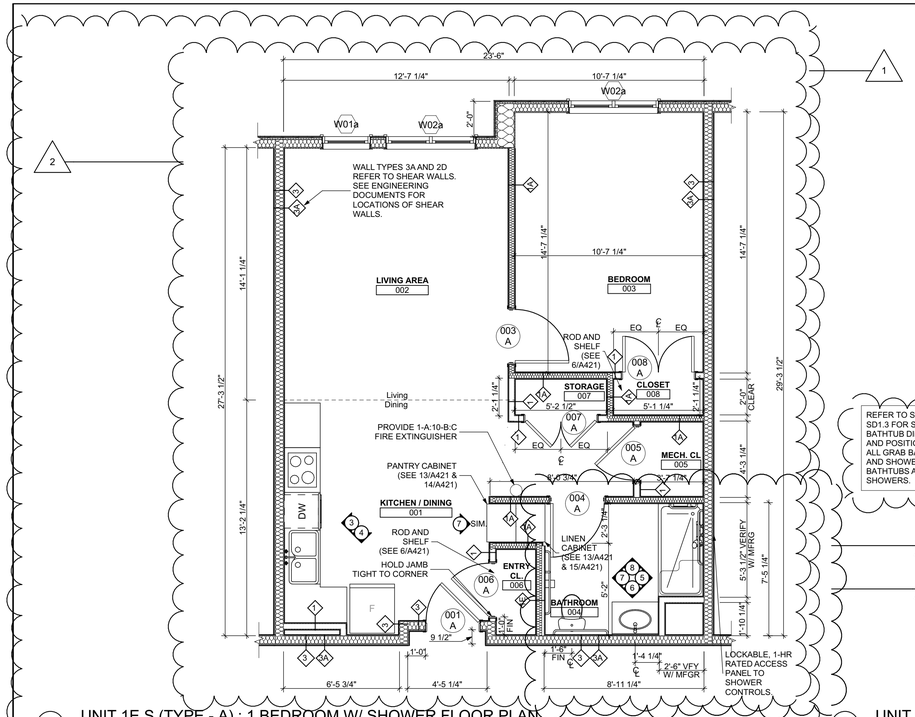
drawing title

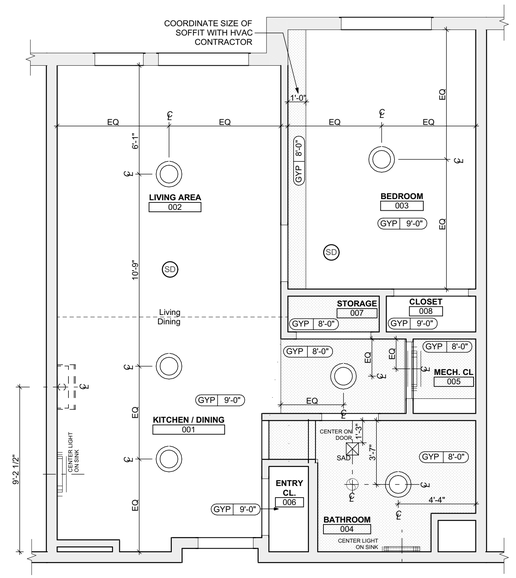
UNIT 1E S: 1 BEDROOM W/ SHOWER (TYPE B)

scale: As Noted
date: December 10, 2021
no. 101 of. 231

Sheet No.
A409
Project #2040



1 UNIT 1E S (TYPE - A) : 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1E S (TYPE - A) : 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

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4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
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9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
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REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
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GENERAL RCP NOTES

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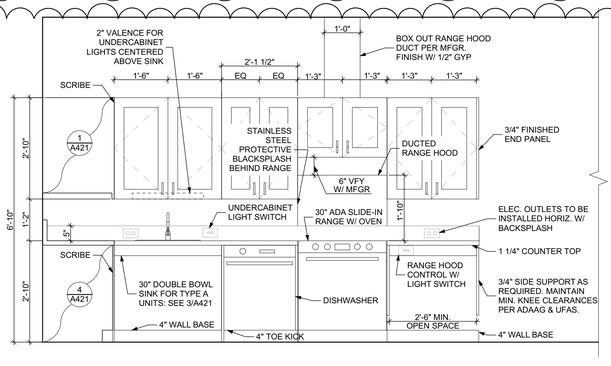
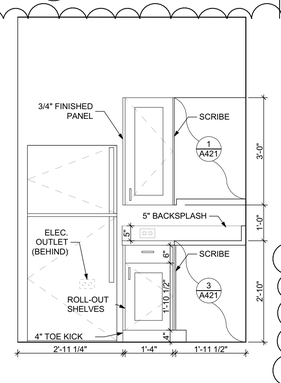
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1E S A

ROOM		WALLS									
NUMBER	NAME	NORTH	EAST	SOUTH	WEST	FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	CG-1	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	CG-1	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	CLOSET	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		

BATHROOM ACCESSORIES SCHEDULE - UNITS

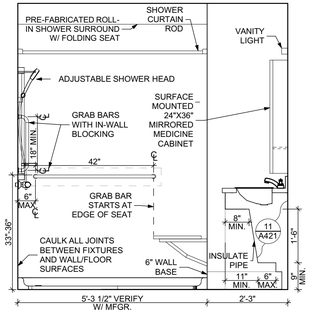
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 1E S A

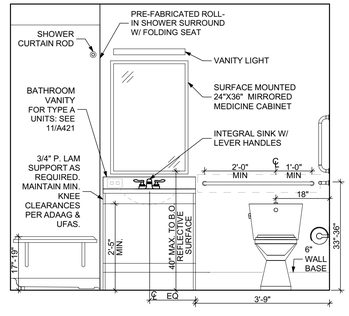
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP, KICKPLATE, THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/8"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/8"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
008 A	CLOSET	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/8"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR

SQUARE FOOT MATRIX - UNIT 1E S A

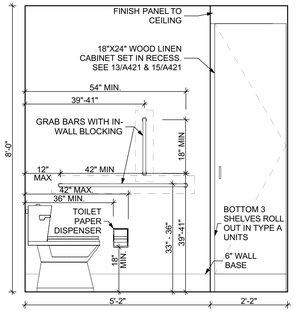
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	697	653
KITCHEN & DINING		152
LIVING		176
BEDROOM		152
BATHROOM		70



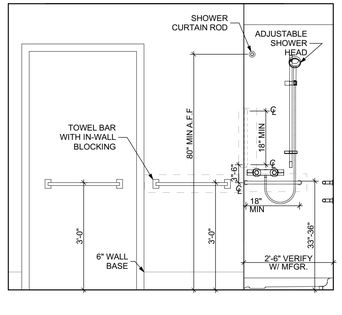
5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
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seal

general notes

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

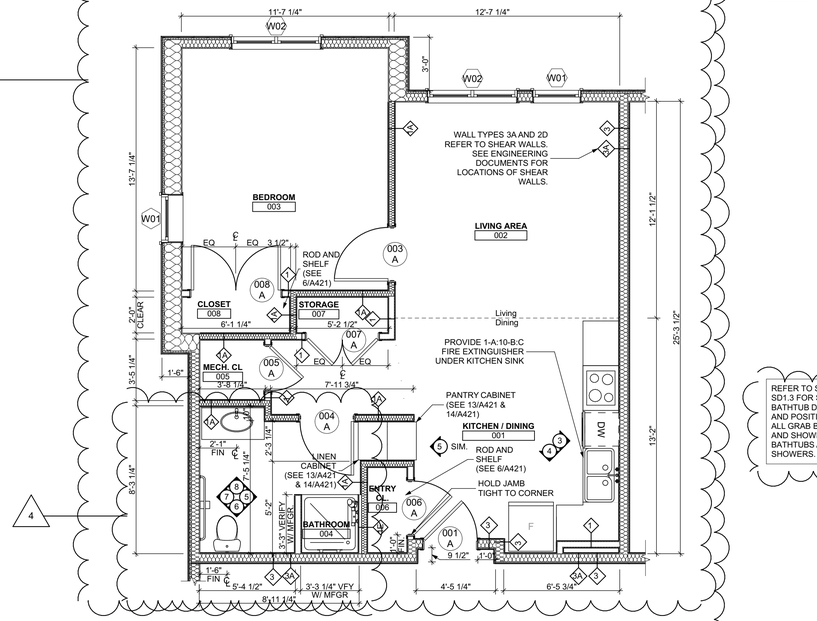
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

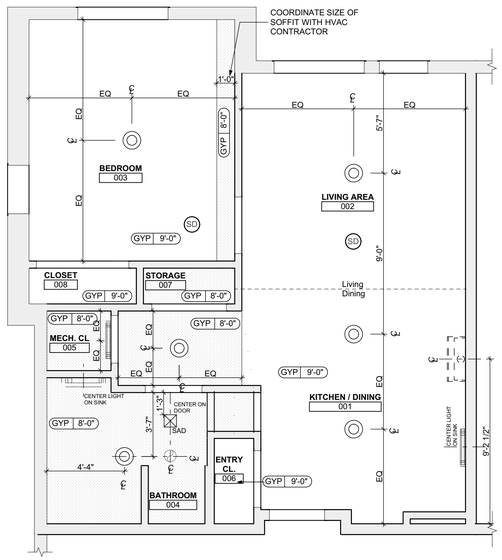
UNIT 1E S A: 1 BEDROOM W/ SHOWER (TYPE A)

scale: As Noted
date: December 10, 2021
no. 102 of. 231

Sheet No.
A410
Project #2040



1 UNIT 1F S: 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1F S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

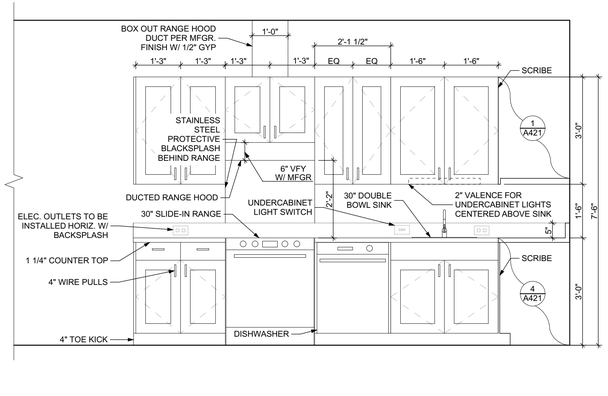
- X | 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

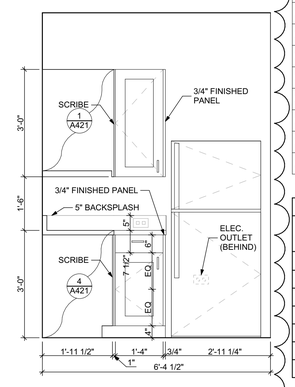
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1F S

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

BATHROOM ACCESSORIES SCHEDULE - UNITS

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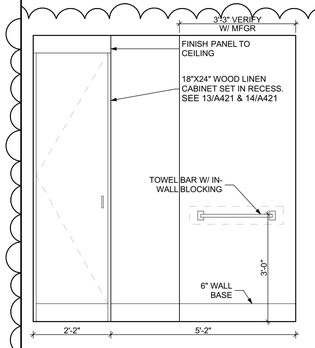
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 1F S

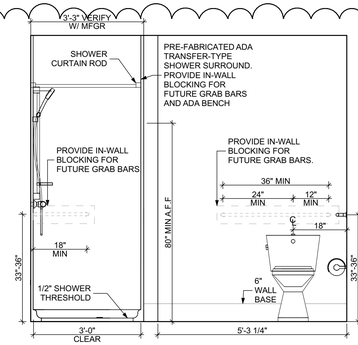
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	698	632
KITCHEN & DINING		152
LIVING		151
BEDROOM		155
BATHROOM		70

DOOR SCHEDULE: UNIT 1F S

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	2'-6"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	5'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	



5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
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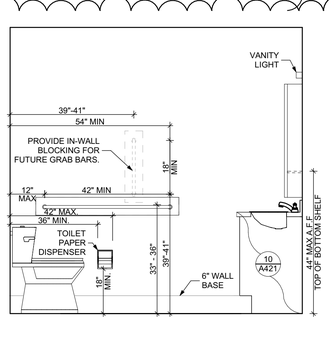

7 ELEVATION: BATHROOM WEST
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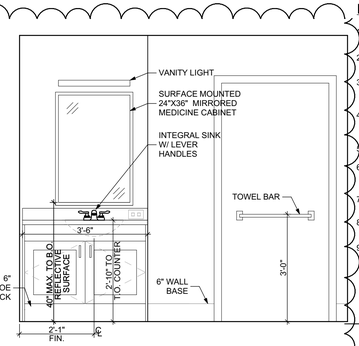

8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

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P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

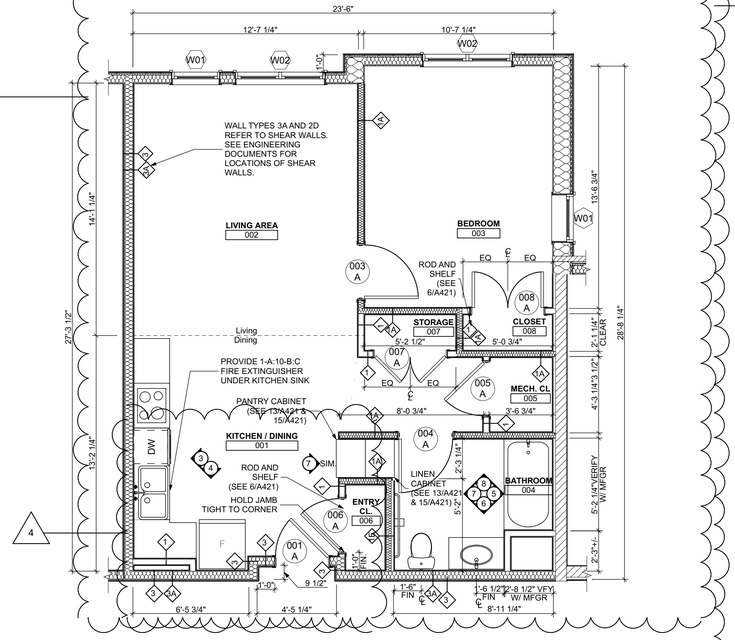
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

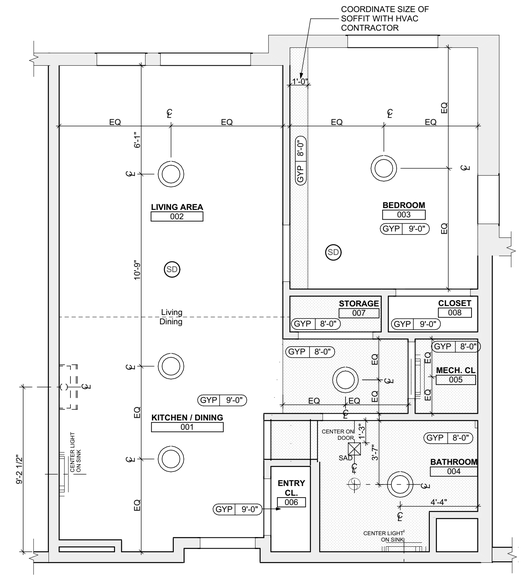
UNIT 1F S: 1 BEDROOM W/ SHOWER (TYPE B)

scale: As Noted
date: December 10, 2021
no. 103 of. 231

Sheet No.
A411
Project #2040



1 UNIT 1G T: 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1G T: 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS. UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

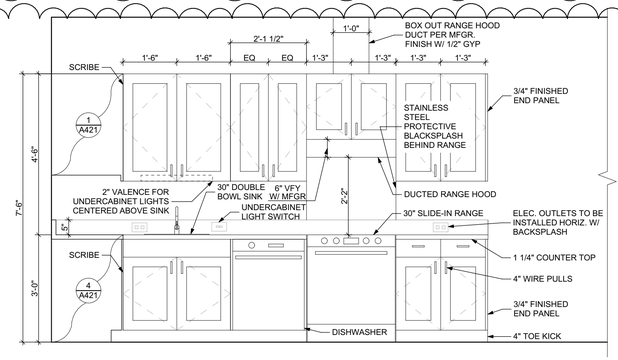
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

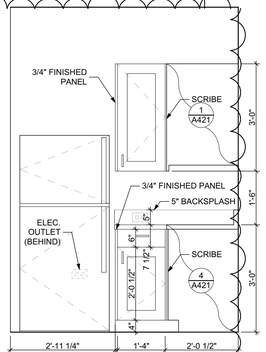
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1G T										
ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST					
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

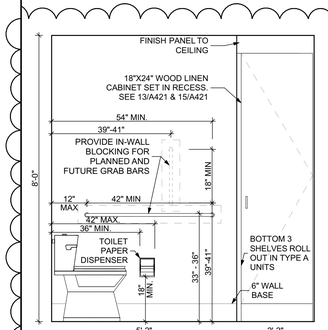
BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1" SPACE BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 40" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

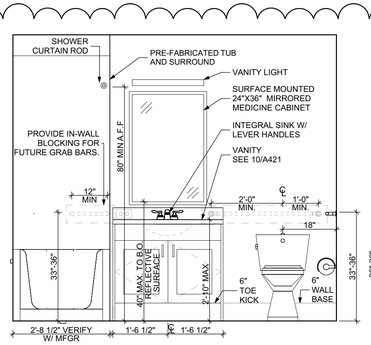
DOOR SCHEDULE: UNIT 1G T											
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE	NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET / ACCESSORIES	
001 A	KITCHEN / DINING	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109) / SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76) / HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76) / HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86) / HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY / HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY / HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY / HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 1G T

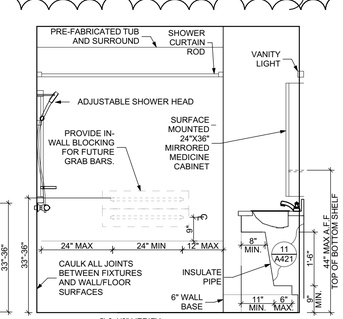
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	673	627
KITCHEN & DINING		152
LIVING		151
BEDROOM		152
BATHROOM		63



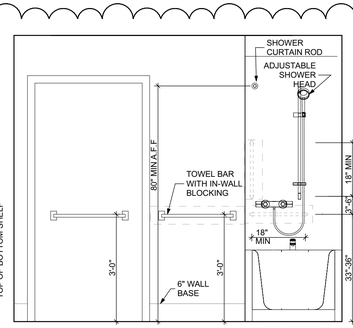
5 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

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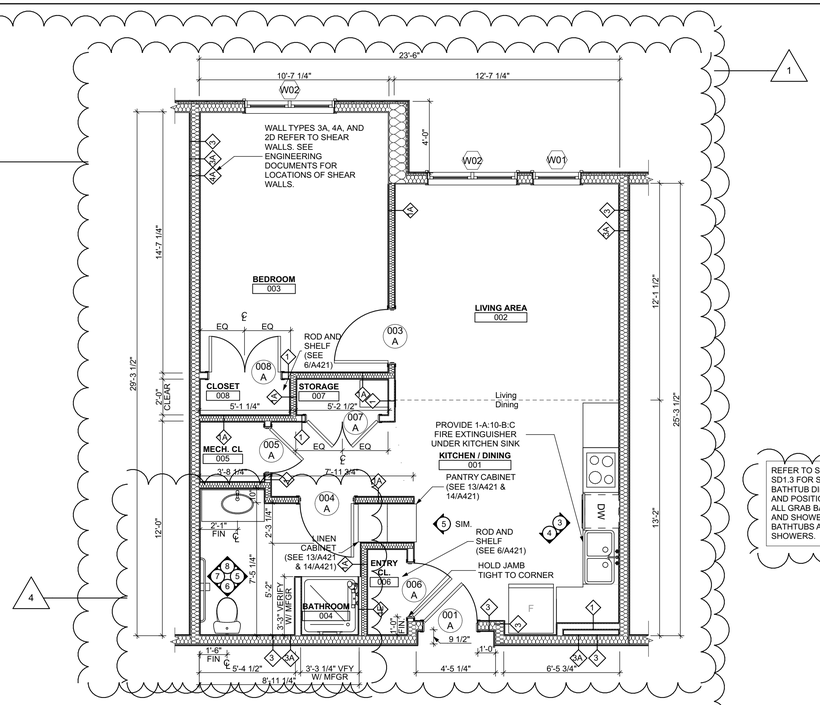
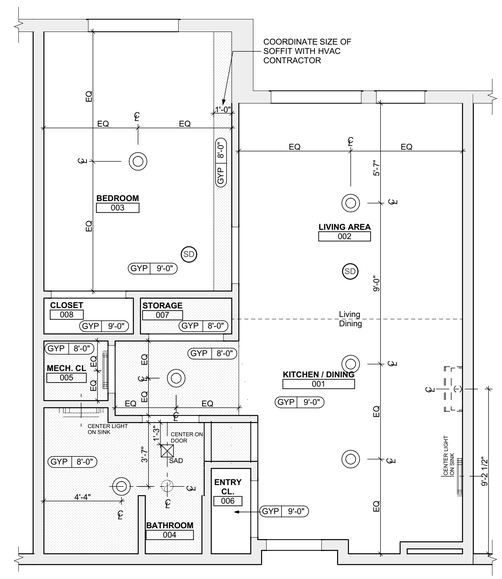


1 UNIT 1G S: 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1G S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
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6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
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16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X | 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

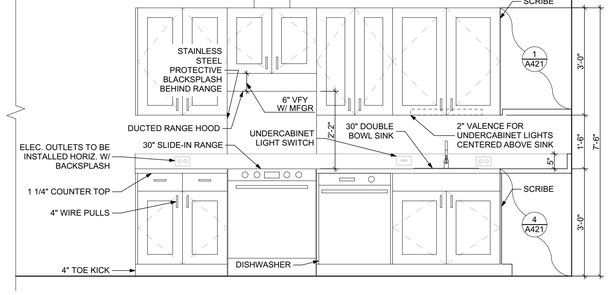
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

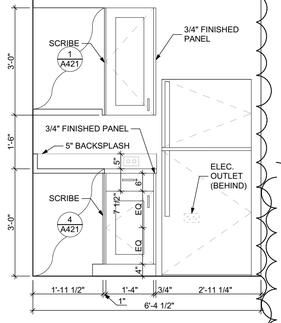
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) AT MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

FINISH SCHEDULE - UNIT 1G S

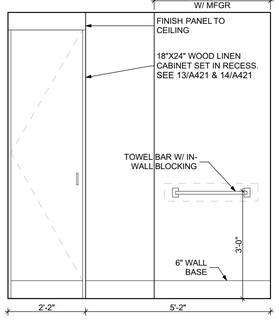
ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	CLOSET	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

DOOR SCHEDULE: UNIT 1G S

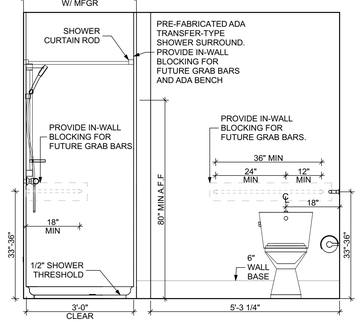
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
004 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	2'-6"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
007 A	STORAGE	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	CLOSET	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 1G S

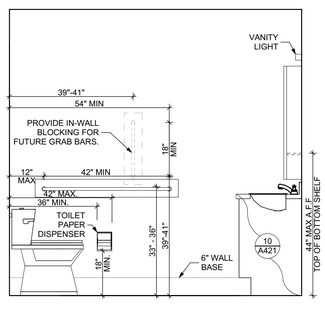
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	673	627
KITCHEN & DINING		152
LIVING		151
BEDROOM		152
BATHROOM		70



5 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM WEST
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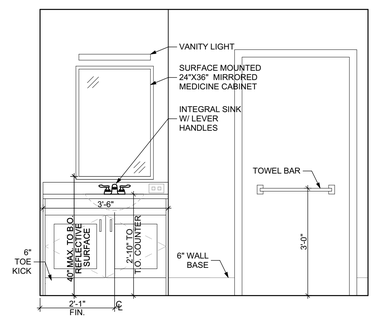

8 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
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3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
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seal

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3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

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200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

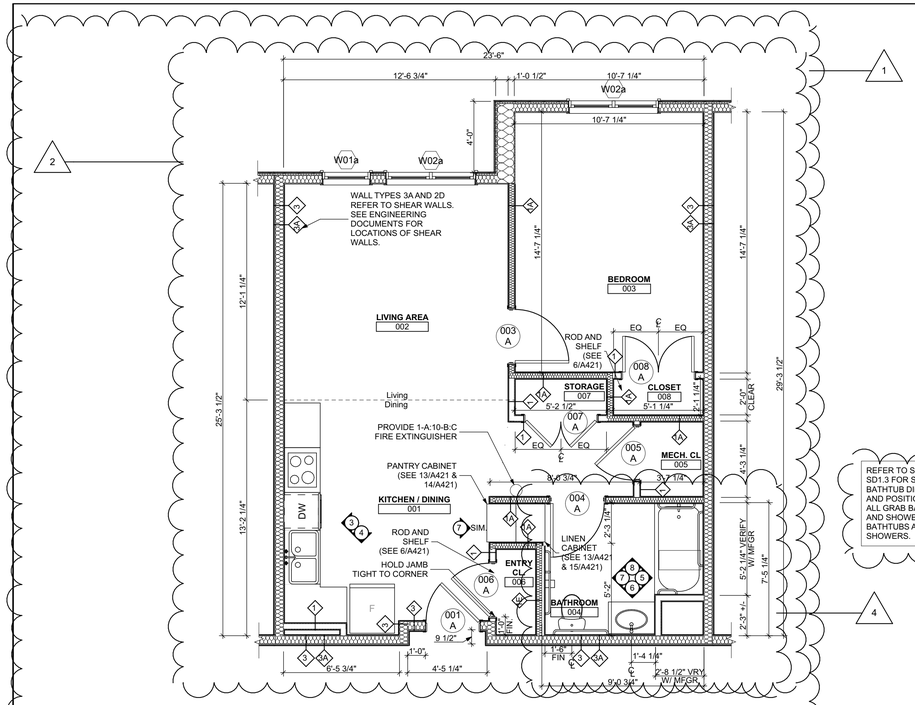
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

UNIT 1G S: 1 BEDROOM W/ SHOWER (TYPE B)

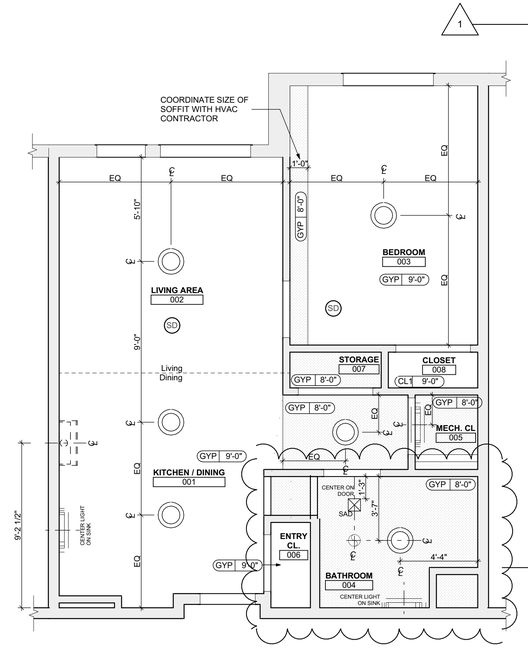
scale: As Noted
date: December 10, 2021
no. 105 of. 231

Sheet No.
A413
Project #2040



1 UNIT 1G T (TYPE - A) : 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.



2 UNIT 1G T (TYPE - A) : 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

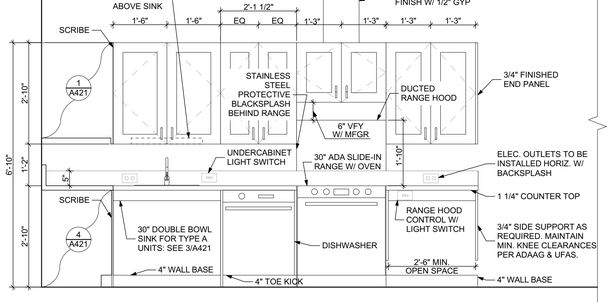
- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

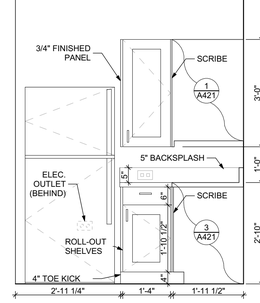
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR: (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 1G T A

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
001	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
002	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
003	BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	CG-1	
004	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	CG-1	
005	MECH. CL	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
006	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	CLOSET	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		

DOOR SCHEDULE: UNIT 1G T A

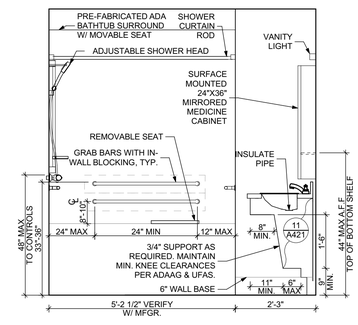
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	KITCHEN / DINING	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
003 A	BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
004 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	MECH. CL	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
006 A	ENTRY CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
007 A	STORAGE	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
008 A	CLOSET	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 1G T A

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	673	627
KITCHEN & DINING		152
LIVING		151
BEDROOM		152
BATHROOM		70



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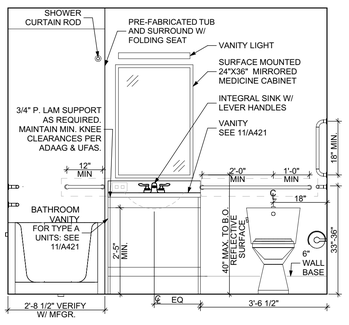

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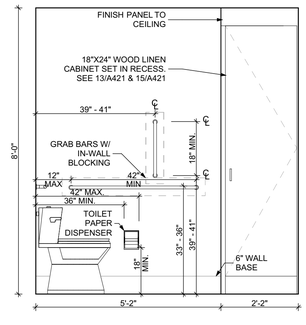

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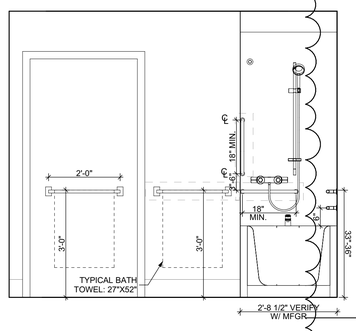

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SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
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CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
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PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
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EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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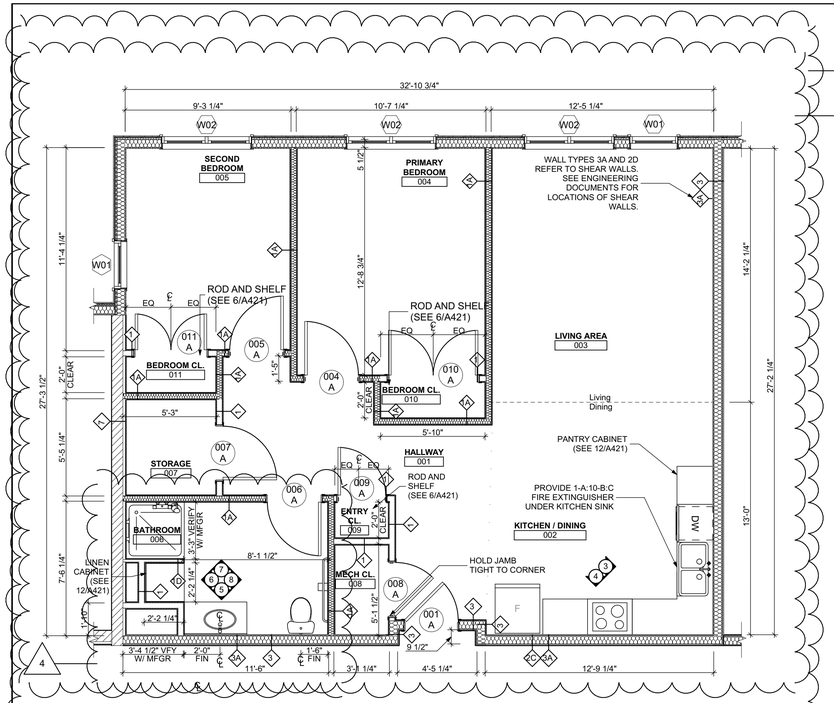
drawing title

UNIT 1G T A: 1 BEDROOM W/ BATHTUB (TYPE A)

scale: As Noted
date: December 10, 2021
no. 106 of. 231

Sheet No.
A414
Project #2040



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SCALE: 1/4" = 1'-0"

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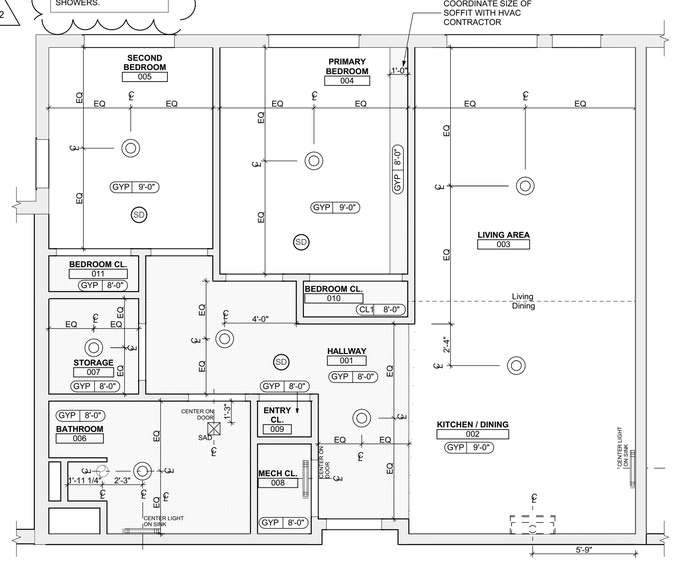


2 UNIT 2A S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

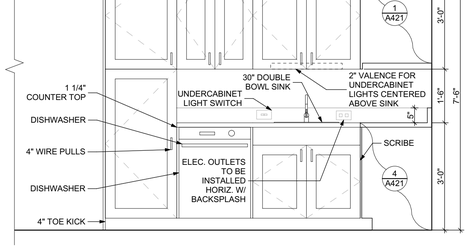
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

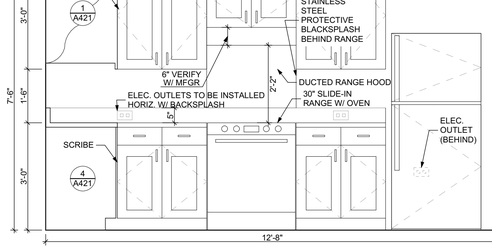
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR; (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 2A S

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	REMARKS
001	HALLWAY	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
004	PRIMARY BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
005	SECOND BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
006	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	MECH CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
009	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
010	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
011	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	

DOOR SCHEDULE: UNIT 2A S

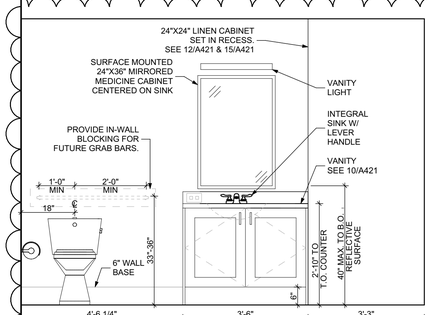
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	HALLWAY	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
004 A	PRIMARY BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
005 A	SECOND BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
006 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
007 A	STORAGE	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	MECH CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
009 A	ENTRY CL.	2'-8"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
010 A	BEDROOM CL.	5'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
011 A	BEDROOM CL.	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

BATHROOM ACCESSORIES SCHEDULE - UNITS

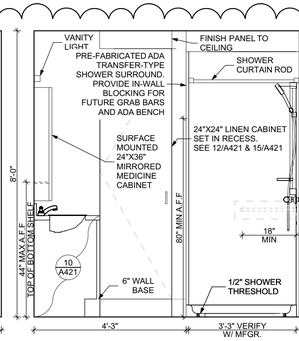
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 2A S

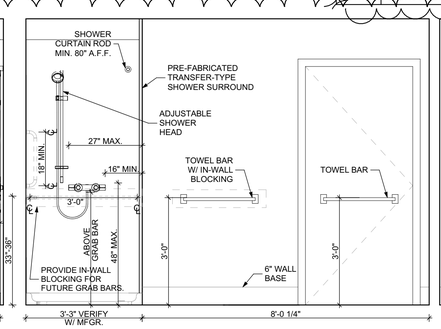
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	943	887
KITCHEN & DINING		163
LIVING		175
PRIMARY BEDROOM		133
SECOND BEDROOM		103
BATHROOM		74



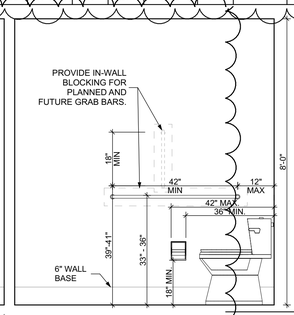
5 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

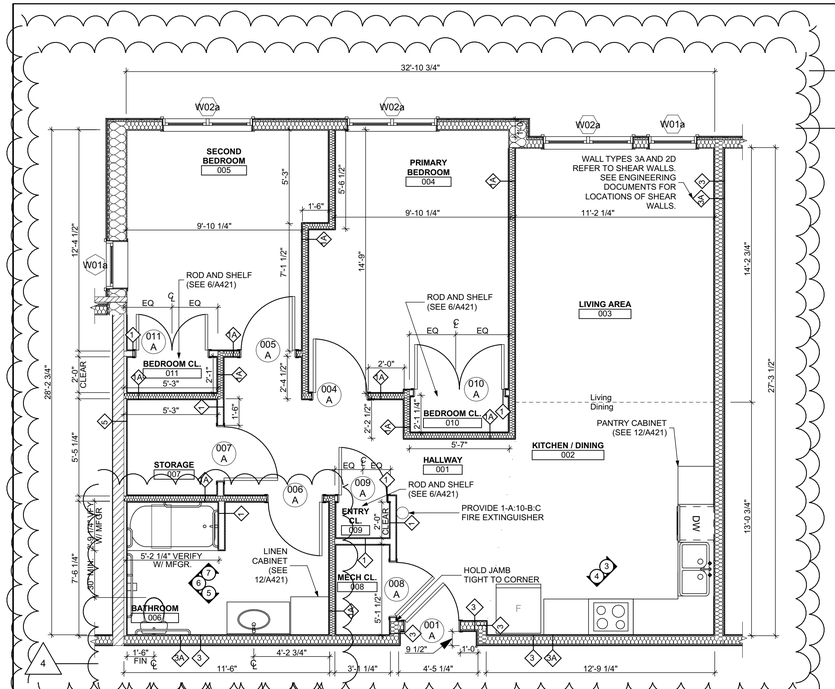
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

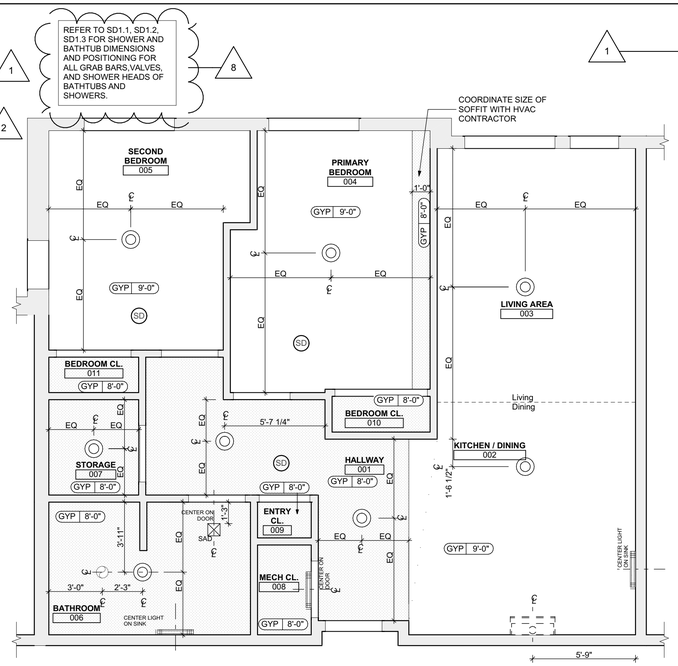
UNIT 2A S: 2 BEDROOM W/ SHOWER (TYPE B)

scale: As Noted
date: December 10, 2021
no. 107 of. 231

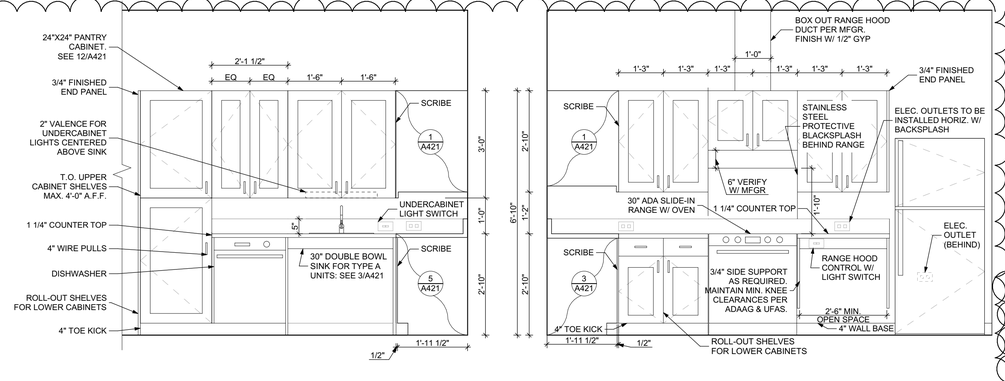
Sheet No.
A415
Project #2040



1 UNIT 2B T(TYPE - A): 1 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"

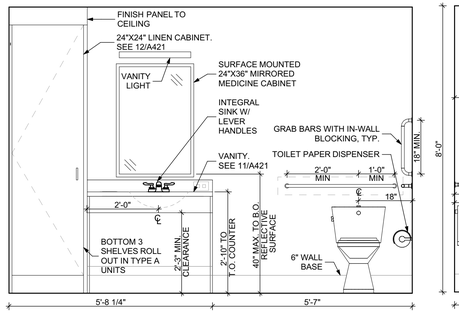


2 UNIT 2B T(TYPE - A): 1 BEDROOM W/ BATHTUB REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

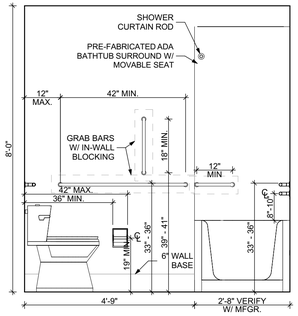


3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"

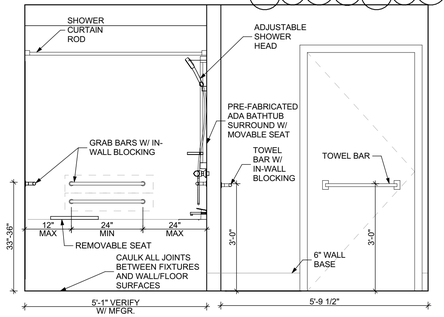
4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



5 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 2B T A

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST						
001	HALLWAY	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
002	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
003	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
004	PRIMARY BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	CG-1	
005	SECOND BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	CG-1	
006	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	CG-1	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	MECH CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
009	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
010	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		
011	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		

DOOR SCHEDULE: UNIT 2B T A

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
004 A	PRIMARY BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	SECOND BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
006 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
007 A	STORAGE	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
008 A	MECH CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
009 A	ENTRY CL.	2'-8"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
010 A	BEDROOM CL.	5'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
011 A	BEDROOM CL.	5'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWER 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 2B T A

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	970	909
KITCHEN & DINING		153
LIVING		157
PRIMARY BEDROOM		154
SECOND BEDROOM		127
BATHROOM		88

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE, GLUE DOWN	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
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12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
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- X 0'-0" — CEILING MATERIAL AND HEIGHT
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- 24" x 48" ACOUSTIC CEILING TILES

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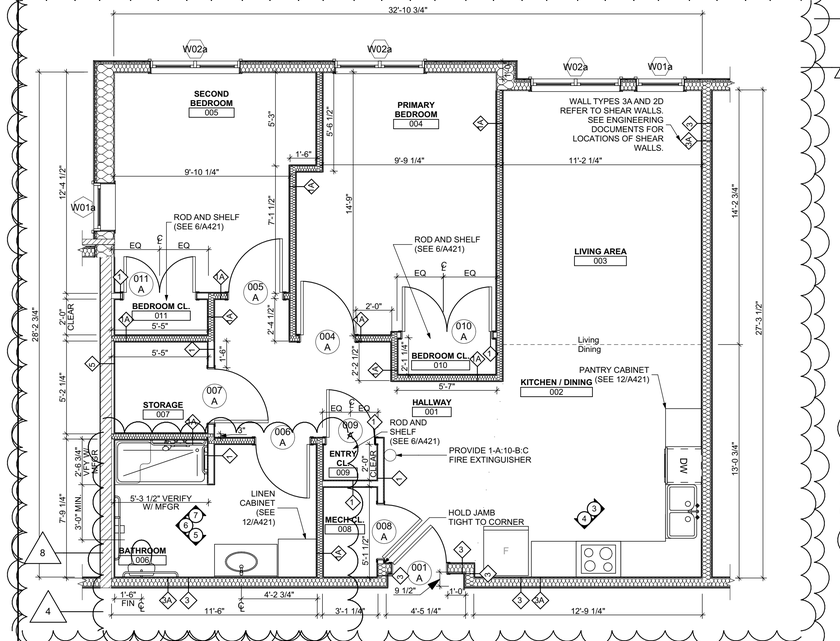
drawing title

UNIT 2B T A: 2 BEDROOM W/ BATHTUB (TYPE A)

scale: As Noted
date: December 10, 2021
no. 108 of. 231

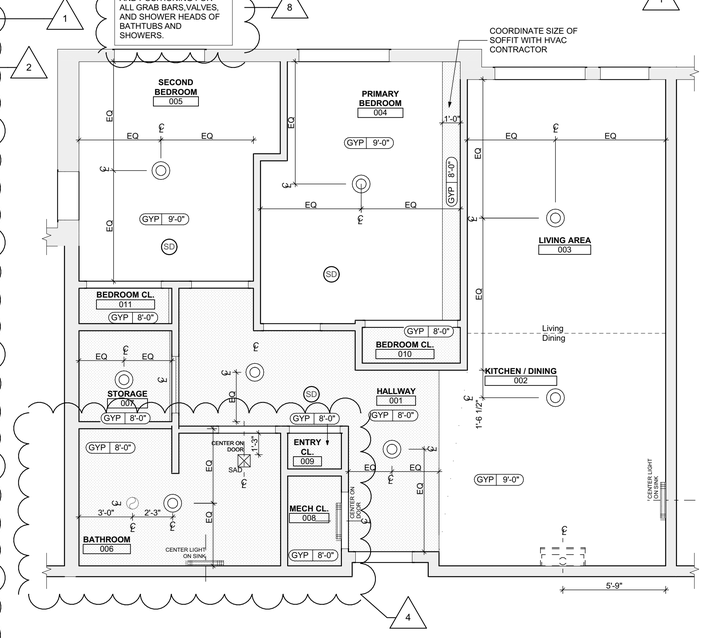
Sheet No.
A416
Project #2040



1 UNIT 2B T(TYPE - A): 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

COORDINATE SIZE OF SOFFIT WITH HVAC CONTRACTOR



2 UNIT 2B T(TYPE - A): 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
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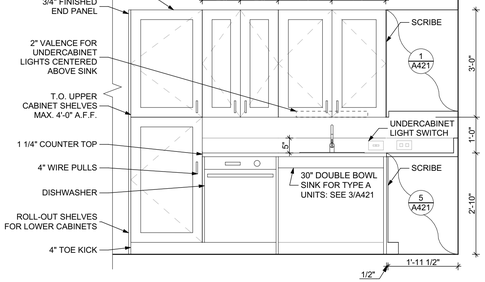
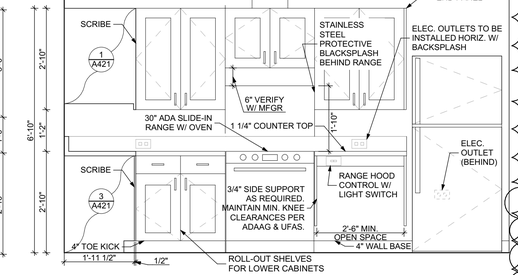


3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 2B S A

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
001	HALLWAY	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
002	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
003	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	CG-1	
004	PRIMARY BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	CG-1	
005	SECOND BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	CG-1	
006	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	CG-1	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	MECH CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
009	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
010	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		
011	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3		

DOOR SCHEDULE: UNIT 2B S A

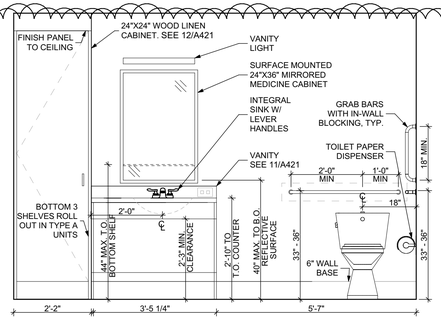
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	HALLWAY	3'-0"x6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
004 A	PRIMARY BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	SECOND BEDROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
006 A	BATHROOM	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
007 A	STORAGE	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
008 A	MECH CL.	3'-0"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STORE ROOM (F86)	HINGE 1 1/2 PAIR; STOP	
009 A	ENTRY CL.	2'-8"x6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
010 A	BEDROOM CL.	5'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
011 A	BEDROOM CL.	4'-0"x6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR

BATHROOM ACCESSORIES SCHEDULE - UNITS

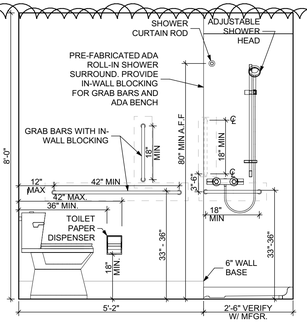
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 2B S A

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	970	909
KITCHEN & DINING		153
LIVING		157
PRIMARY BEDROOM		154
SECOND BEDROOM		127
BATHROOM		83



5 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM WEST
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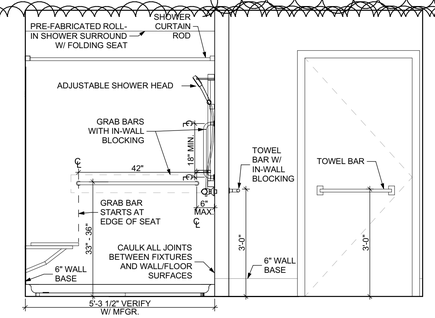

7 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
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GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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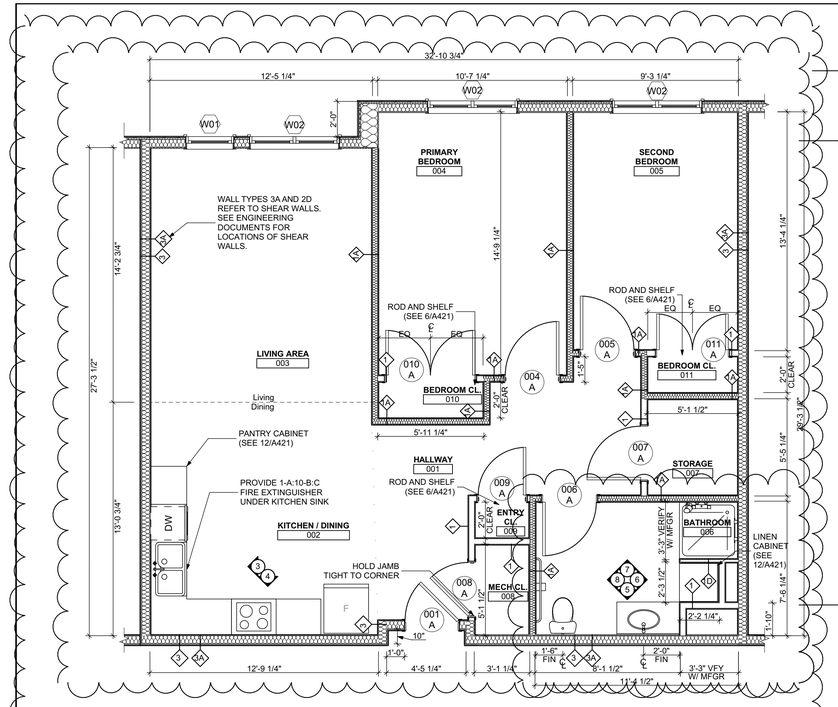

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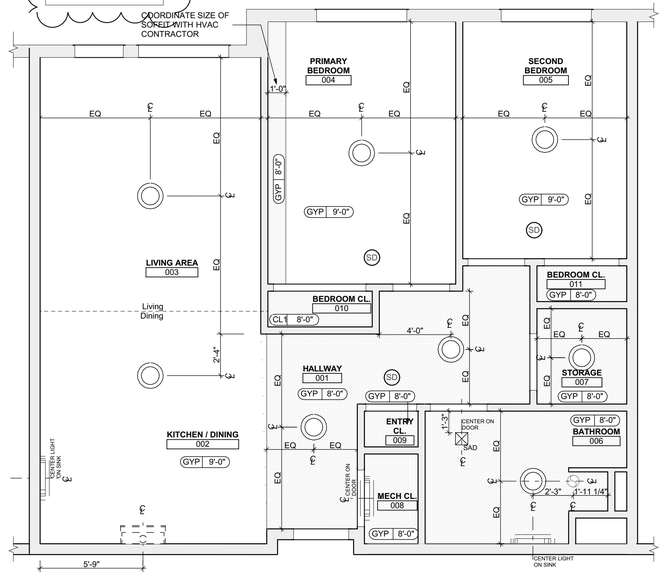
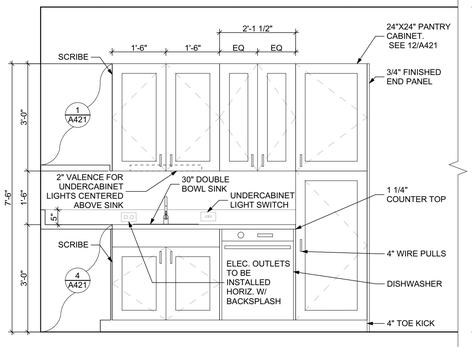
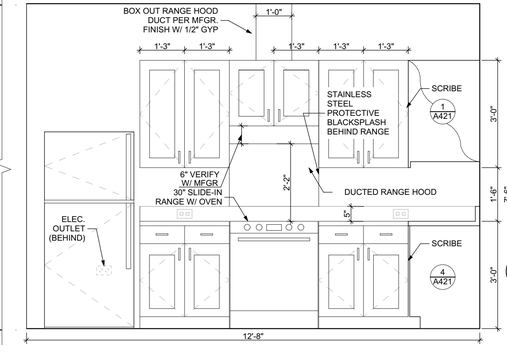


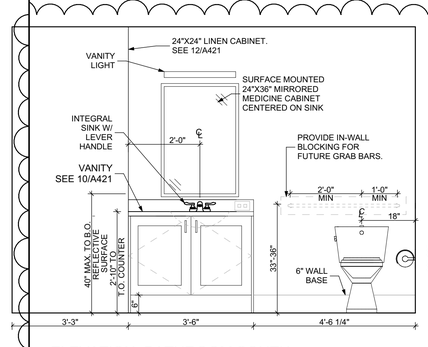
2 UNIT 2C S: 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



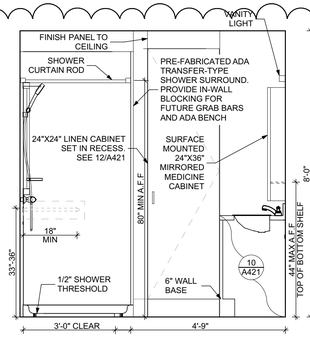
3 ELEVATION: KITCHEN WEST
SCALE: 1/2" = 1'-0"



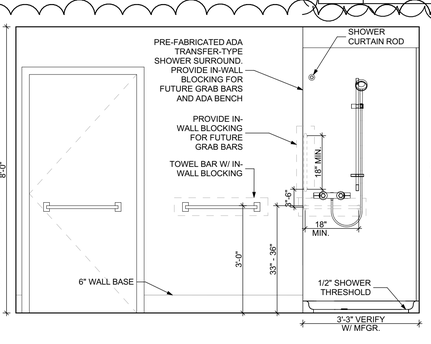
4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



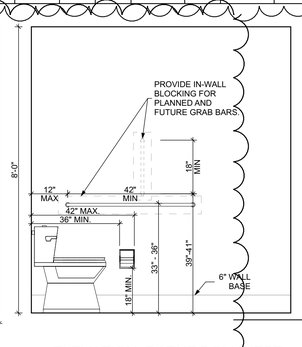
5 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 2C S

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST					
001	HALLWAY	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
004	PRIMARY BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	
005	SECOND BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3	
006	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	MECH CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
009	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
010	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	
011	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	

DOOR SCHEDULE: UNIT 2C S

DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
004 A	PRIMARY BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
005 A	SECOND BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
006 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
007 A	STORAGE	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
008 A	MECH CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
009 A	ENTRY CL.	2'-8"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
010 A	BEDROOM CL.	5'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR
011 A	BEDROOM CL.	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP; KICKPLATE	KICKPLATE ON EXTERIOR

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS. UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR; (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.

BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1-1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 60" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

SQUARE FOOT MATRIX - UNIT 2C S

AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	980	927
KITCHEN & DINING		162
LIVING		175
PRIMARY BEDROOM		154
SECOND BEDROOM		121
BATHROOM		75

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUM
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

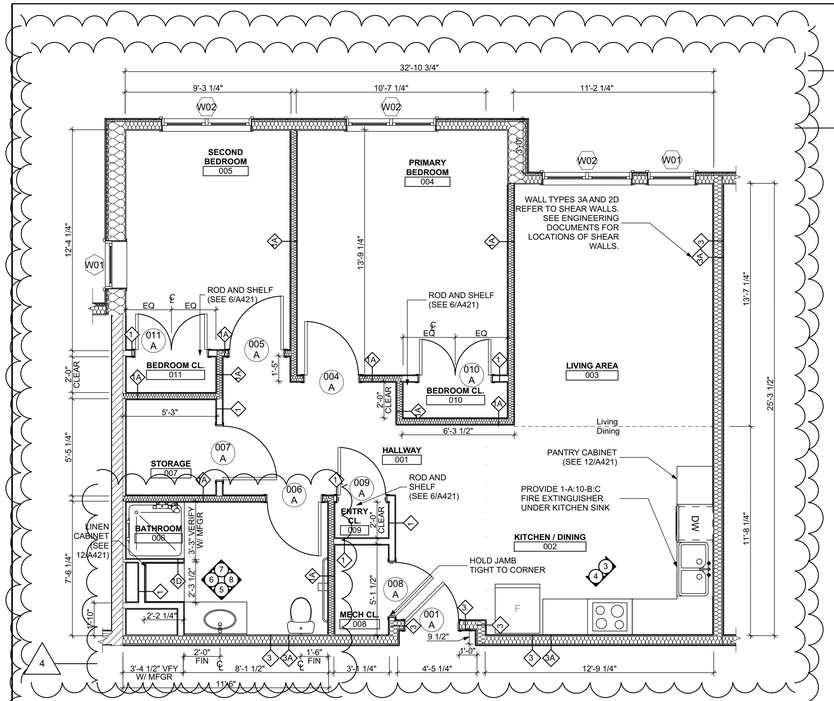
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

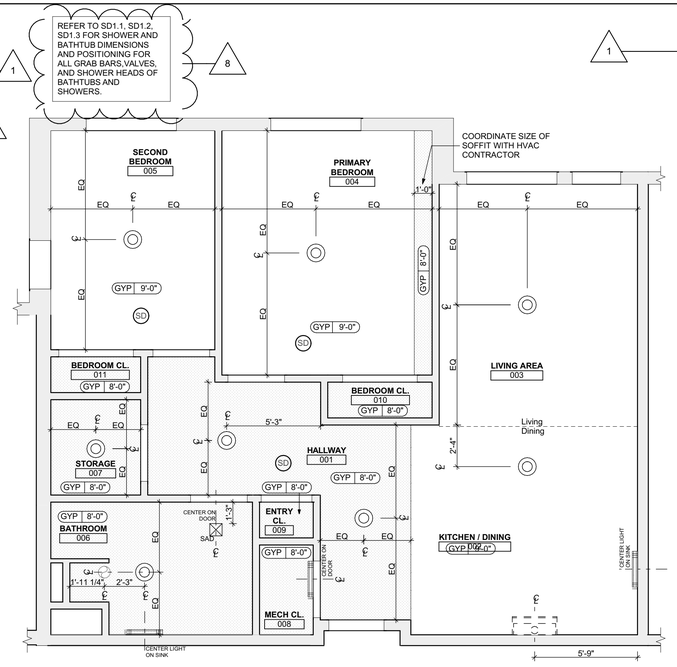
UNIT 2C S: 2 BEDROOM W/ SHOWER (TYPE B)

scale: As Noted
date: December 10, 2021
no. 110 of. 231

Sheet No.
A418
Project #2040



1 UNIT 2D S (HV): 1 BEDROOM W/ SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 2D S (HV): 1 BEDROOM W/ SHOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

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- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
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REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

LIGHTING TYPES AND EQUIPMENT

- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.
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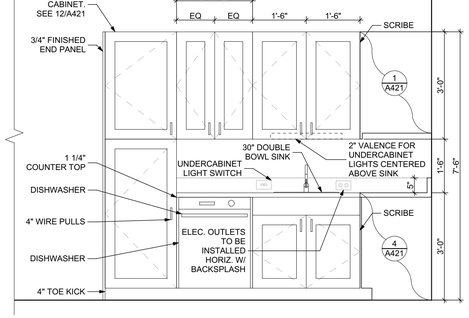
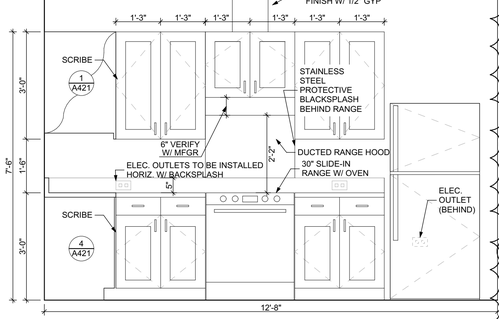


3 ELEVATION: KITCHEN EAST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 2D S HV

ROOM NUMBER	ROOM NAME	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	FLOOR	BASE	CEILING	TRIM	CORNER GUARDS	REMARKS
001	HALLWAY	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
002	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
003	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
004	PRIMARY BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3		
005	SECOND BEDROOM	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3		
006	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3		
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
008	MECH CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
009	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3		
010	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3		
011	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-1	B-1	P-2	P-3		

BATHROOM ACCESSORIES SCHEDULE - UNITS

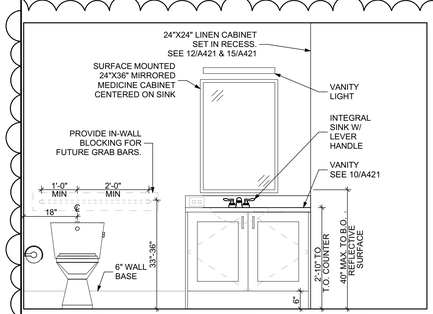
DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

DOOR SCHEDULE: UNIT 2D S HV

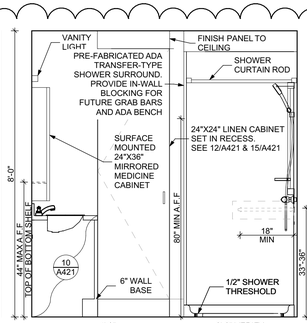
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF MATERIAL	LEAF COLOR	LEAF THICKNESS	FRAME MATERIAL	FRAME COLOR	HARDWARE LOCKSET	HARDWARE ACCESSORIES	NOTES
001 A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
004 A	PRIMARY BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
005 A	SECOND BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
006 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
007 A	STORAGE	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	MECH CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
009 A	ENTRY CL.	2'-8"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
010 A	BEDROOM CL.	5'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
011 A	BEDROOM CL.	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	

SQUARE FOOT MATRIX - UNIT 2D S HV

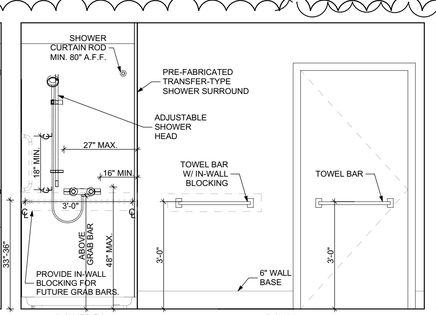
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	949	885
KITCHEN & DINING		148
LIVING		150
PRIMARY BEDROOM		161
SECOND BEDROOM		112
BATHROOM		75



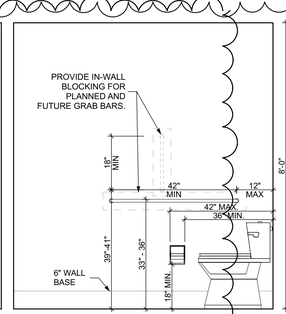
5 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM WEST
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"



8 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
6. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
7. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
8. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
9. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY

MATERIAL FINISH LEGEND

ID	PRODUCT, MFGR.	COLOR, NUMBER
PAINT		
P-1	STANDARD FINISH	TBD
P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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seal

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8 REVISED 2022/04/22. Addenda #2

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200 Ross Street
Pittsburgh,PA,15219

Client:
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200 Ross Street
Pittsburgh, PA 15219

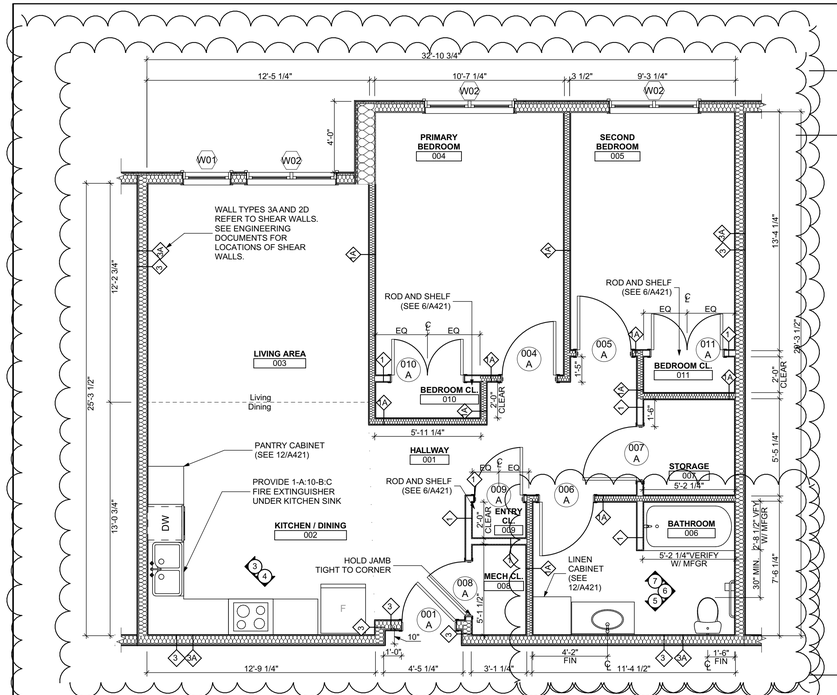
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

UNIT 2D S HV: 2 BEDROOM W/ SHOWER (TYPE B) (HEARING/VISION)

scale: As Noted
date: December 10, 2021
no. 111 of. 231

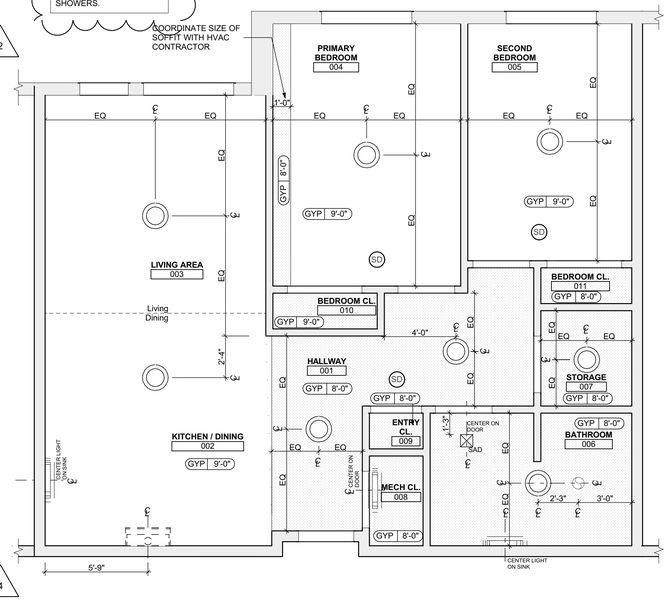
Sheet No.
A419
Project #2040



1 UNIT 2E T: 2 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFER TO SD1.1, SD1.2, SD1.3 FOR SHOWER AND BATHTUB DIMENSIONS AND POSITIONING FOR ALL GRAB BARS,VALVES, AND SHOWER HEADS OF BATHTUBS AND SHOWERS.

COORDINATE SIZE OF SOFFIT WITH HVAC CONTRACTOR



2 UNIT 2E T: 2 BEDROOM W/ BATHTUB FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- XXXXXX / 000 — ROOM NAME AND NUMBER
- DOOR AND DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW AND WINOW NUMBER, REFER TO WINDOW SCHEDULE
- X — WALL TYPE, REFER TO WALL TYPES SHEET

GENERAL FLOOR PLAN NOTES

1. ALL BUILDING ENVELOPE PENETRATIONS INCLUDING CEILINGS, WALLS, FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
3. DIMENSIONS SHOWN ARE DRAWN FROM FACE OF STUD / CONC. BLOCK FOR INTERIOR WALLS AND FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL DOOR FRAMES TO BE LOCATED 4" FROM PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO VERIFY REQUIRED ROUGH OPENINGS FOR DOORS, WINDOWS, TRANSOMS, AND SIDELIGHTS.
6. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
7. REFER TO ELEVATIONS AND SCHEDULE FOR WINDOW TYPES AND SIZES.
8. REFER TO PLUBMING AND CIVIL PLANS FOR ALL DRAIN AND CLEAN-OUT LOCATIONS.
9. PROVIDE A SHELF AND CONTINUOUS ROD IN ALL BEDROOM CLOSETS AND UNIT ENTRY CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN AND PANTRY CLOSETS.
10. PROVIDE WALL CORNER GUARDS (TEXTURED, VINYL 2" X 2" MIN.) AT ALL OUTSIDE CORNERS IN ALL COMMON AREAS AND IN ALL ACCESSIBLE UNITS. REFER TO FINISH SCHEDULE.
11. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH AND KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS, TOWEL BARS, BLINDS, CURTAIN RODS, MEDICINE CABINETS, SIGNAGE, AND OTHER MISC. ITEMS SUPPORTED AND ATTACHED TO WALLS.
12. FINISH ALL WALLS AND SIDES AROUND REMOVEABLE BASE CABINETS.
13. ALL UNIT WINDOWS MUST BE EQUIPPED WITH A CURTAIN ROD AND HORIZONTAL BLINDS, VERTICAL BLINDS, OR OTHER OPAQUE BLINDS. REFER TO SPECIFICATIONS.
14. ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION CONTRACTORS TO COORDIATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION EQUIPMENT PRIOR TO INSTALLATION. REFER TO M.E.P.FP DRAWINGS. VERIFY REQUIRED ADEQUATE CLEARANCES FOR MECHANICAL AND PLUMBING EQUIPMENT WITH SUPPLIERS SPECIFICATIONS BEFORE INSTALLATION OF EQUIPMENT AND LOCATING UTILITY ROOM WALLS AND DOORS.
15. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL GYP. IN BATHROOMS SHALL BE MOISTURE RESISTANT GYP.
17. DWELLING UNIT COMPARTMENTALLIZATION OF LESS THAN 0.30 CFM50/sq. ft. OF DWELLING AREA IS REQUIRED. AIR SEAL ALL APARTMENT BOUNDARY SURFACES TO ACHIEVE REQUIRED COMPARTMENTALIZATION. SEE DWELLING UNIT COMPARTMENTALIZATION DETAILS FOR AIR SEALING A309.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES

- X 0'-0" — CEILING MATERIAL AND HEIGHT
- CEILING SOFFIT.
- 24" x 48" ACOUSTIC CEILING TILES

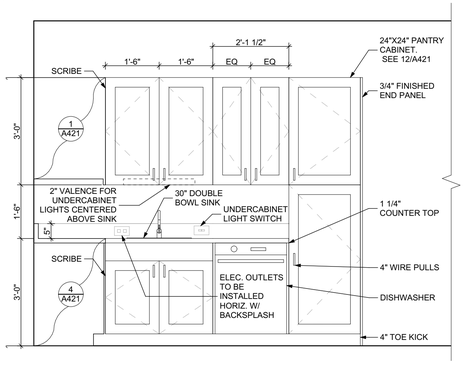
LIGHTING TYPES AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND ALL INFORMATION.

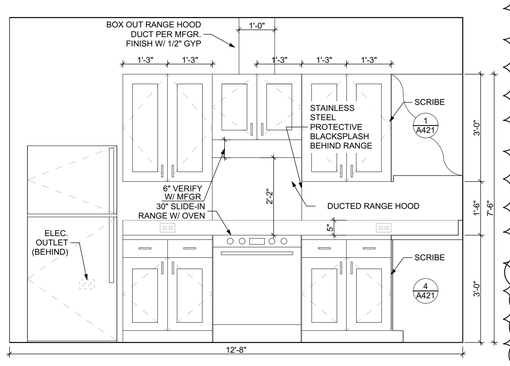
- EF — BATHROOM VENT FAN
- SAD — SUPPLY AIR DIFFUSER
- SD — SMOKE DETECTOR; (CONFIRM LOCATIONS W/ ELECT. DWGS.)

GENERAL RCP NOTES

1. CEILING HEIGHTS ARE NOTED FROM TOP OF FINISHED FLOORS TO BOTTOM OF FINISHED CEILINGS.
2. COORDINATE REFLECTED CEILING PLAN WITH MECHANICAL ELECTRICAL, AND FIRE PROTECTION PLANS.
3. SEE ELECTRICAL PLANS FOR SWITCH LOCATIONS.
4. COORDINATE CEILING ACCESS HATCH SIZES AND LOCATIONS WITH MEP DRAWINGS.
5. UNIT RCPS ARE DRAWN SEPARTELY FROM BUILDING RCPS.
6. DIMENSIONS SHOWN ARE DRAWN FROM FINISH FACE OF FINISH FACE, UNLESS NOTED OTHERWISE.



3 ELEVATION: KITCHEN WEST
SCALE: 1/2" = 1'-0"



4 ELEVATION: KITCHEN SOUTH
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE - UNIT 2E T										
ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST					
001	HALLWAY	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
002	KITCHEN / DINING	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
003	LIVING AREA	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
004	PRIMARY BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	
005	SECOND BEDROOM	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	
006	BATHROOM	P-1	P-1	P-1	P-1	SPC-4	B-2	P-2	P-3	
007	STORAGE	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
008	MECH CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
009	ENTRY CL.	P-1	P-1	P-1	P-1	SPC-3	B-1	P-2	P-3	
010	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	
011	BEDROOM CL.	P-1	P-1	P-1	P-1	CPT-2	B-1	P-2	P-3	

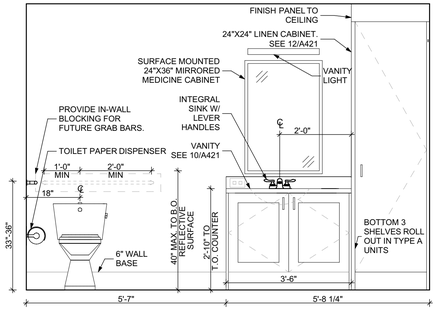
BATHROOM ACCESSORIES SCHEDULE - UNITS

DESCRIPTION	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
GRAB BARS	STAINLESS, 1 1/4" - 1 1/2" DIAMETER 1 1/2" BETWEEN BAR AND WALL
SHOWER CURTAIN ROD	36" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR TRANSFER-TYPE SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR ROLL-IN SHOWERS 60" LONG (VERIFY W/ MFGR) 80" MIN. A.F.F. FOR BATHTUBS
TOILET PAPER DISPENSER	SURFACE MOUNTED ROLL-IN-RESERVE
MEDICINE CABINET	24" WIDE X 36" TALL SURACE MOUNTED W/ MIRRORED DOOR FACE
TOWEL BARS	(2) 24" TOWEL BARS

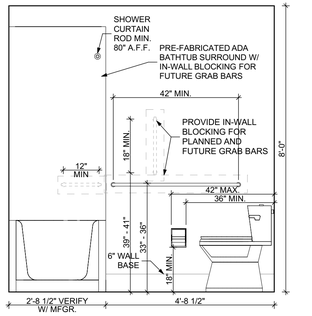
DOOR SCHEDULE: UNIT 2E T												
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF			FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
001 A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P-1	1 3/4"	WOOD	P-1	ENTRANCE (F109)	SELF-CLOSING HINGE 1 1/2 PAIR ; STOP; SWEEP; KICKPLATE; THRESHOLD	PROVIDE WEATHER STRIPPING
004 A	PRIMARY BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
005 A	SECOND BEDROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP	
006 A	BATHROOM	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	PRIVACY (F76)	HINGE 1 1/2 PAIR; STOP; KICKPLATE	
007 A	STORAGE	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
008 A	MECH CL.	3'-0"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	STOREROOM (F86)	HINGE 1 1/2 PAIR; STOP	
009 A	ENTRY CL.	2'-8"×6'-8"	7	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	
010 A	BEDROOM CL.	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	KICKPLATE ON EXTERIOR
011 A	BEDROOM CL.	4'-0"×6'-8"	10	NONE	SCW	P-1	1 3/4"	WOOD	P-1	DUMMY	HINGE 1 1/2 PAIR; STOP	KICKPLATE ON EXTERIOR

SQUARE FOOT MATRIX - UNIT 2E T

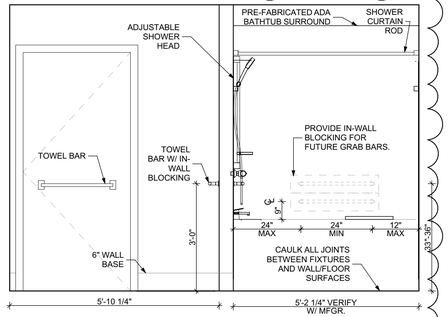
AREA	GROSS S.F.	NET S.F.
TOTAL UNIT	956	902
KITCHEN & DINING		163
LIVING		150
PRIMARY BEDROOM		154
SECOND BEDROOM		121
BATHROOM		83



5 ELEVATION: BATHROOM SOUTH
SCALE: 1/2" = 1'-0"



6 ELEVATION: BATHROOM EAST
SCALE: 1/2" = 1'-0"



7 ELEVATION: BATHROOM NORTH
SCALE: 1/2" = 1'-0"

DOOR NOTES

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P-2	STANDARD FINISH	TBD
P-3	SEMI-GLOSS	TBD
SOLID POLYMER CORE TILE FLOORING		
SPC-1	20 MIL FLOATING FLOOR	TBD
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS	TBD
SPC-3	12 MIL FLOATING FLOOR	TBD
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS	TBD
CARPET		
CPT-1	100% POLYESTER, TWIST TEXTURE	TBD
CPT-2	100% POLYESTER, TWIST TEXTURE (GLUE DOWN)	TBD
PATIO TILE		
PT-1	12" X 12" SQUARE PATIO PAVERS	TBD
VINYL BASE		
B-1	4" STANDARD COVE BASE	TBD
B-2	6" COVE BASE	TBD
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS	
LAMINATE		
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED	TBD
CORNER GUARDS		
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER	TBD
CEILINGS		
GYP	5/8" (MIN) GYPSUM BOARD SOFFIT OR CEILING (PROVIDE MOISTURE RESISTANT GYPSUM BOARD ABOVE BATHROOMS)	TBD

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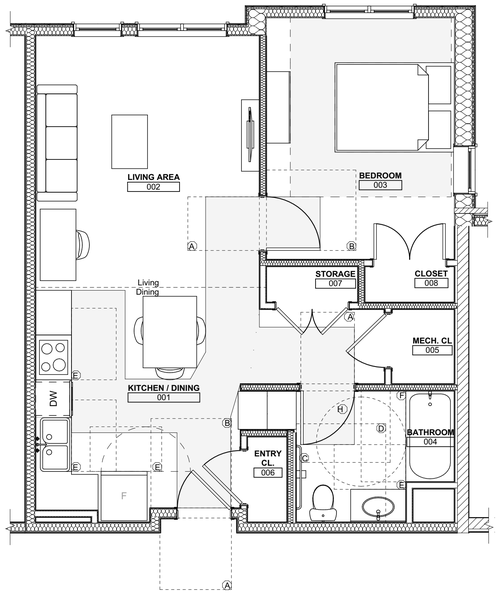
drawing title

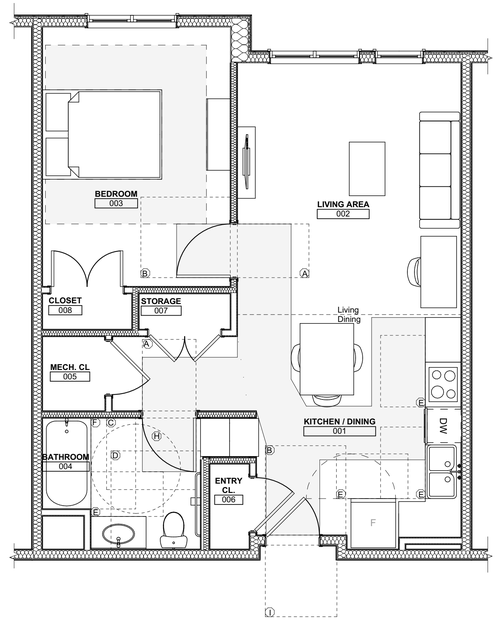
UNIT 2E T: 2 BEDROOM W/ BATHTUB (TYPE B)

scale: As Noted
date: December 10, 2021
no. 112 of. 231

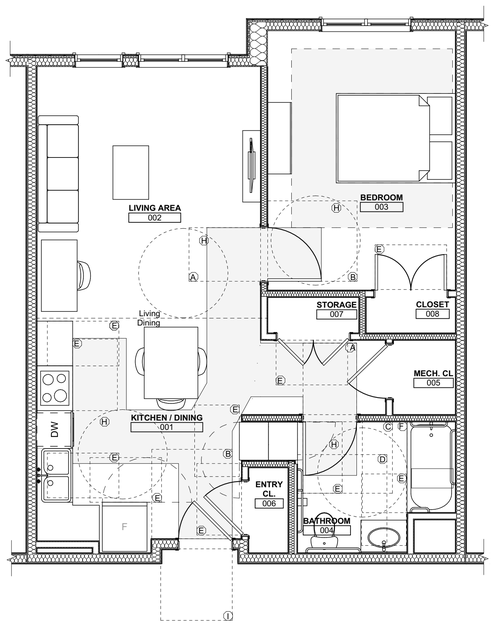
Sheet No.
A420
Project #2040



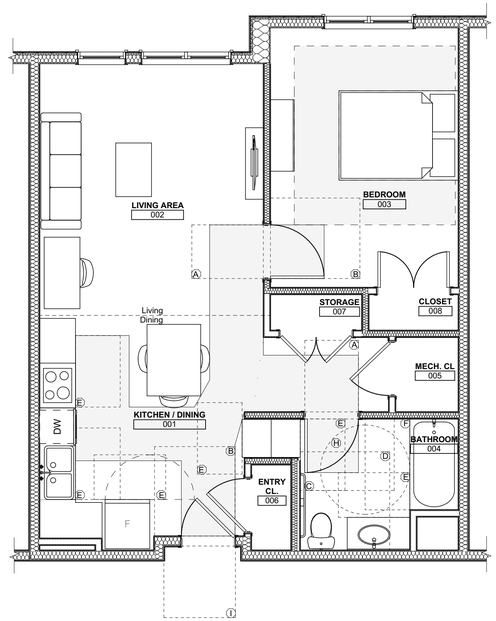
1 UNIT 1D T: 1 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1E T: 1 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



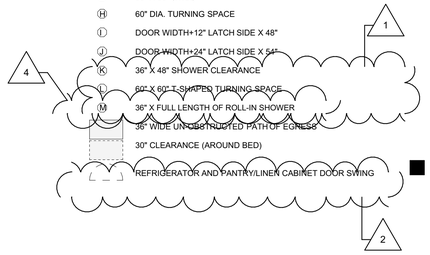
3 UNIT 1E T A: 1 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



4 UNIT 1E T HV: 1 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"

ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
- (C) DOOR WIDTH+24" LATCH SIDE X 48"
- (D) 60" X 66" (TYPE A W.C. W/ LAV. OVERLAP EXCEPTION)
- (E) 30" X 48" CLEAR FLOOR SPACE
- (F) 30" X FULL LENGTH OF BATHTUB (60" MIM) BATHTUB CLEARANCE
- (G) 60" X 56" (W.C.)
- (H) 60" DIA. TURNING SPACE
- (I) DOOR WIDTH+12" LATCH SIDE X 48"
- (J) DOOR WIDTH+24" LATCH SIDE X 54"
- (K) 36" X 48" SHOWER CLEARANCE
- (L) 60" X 60" T-SHAPED TURNING SPACE
- (M) 36" X FULL LENGTH OF ROLL-IN SHOWER
- 36" WIDE UNOBSTRUCTED PATH OF EGRESS
- 30" CLEARANCE (AROUND BED)
- REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING



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seal

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revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

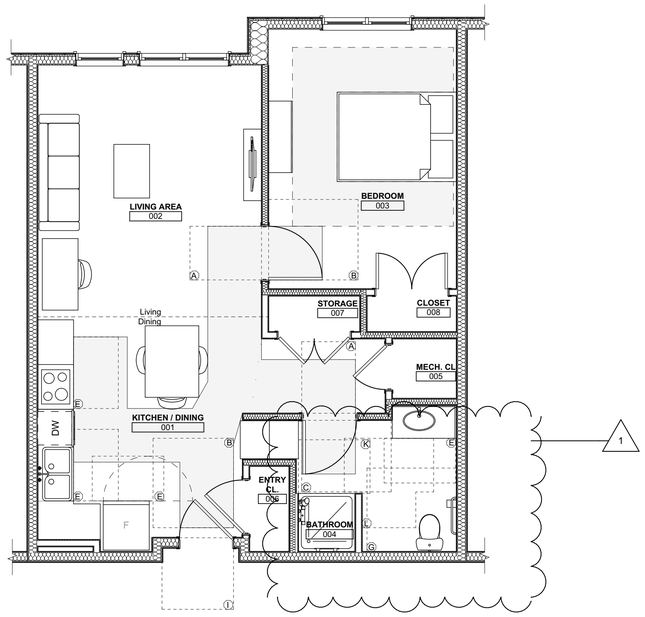
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

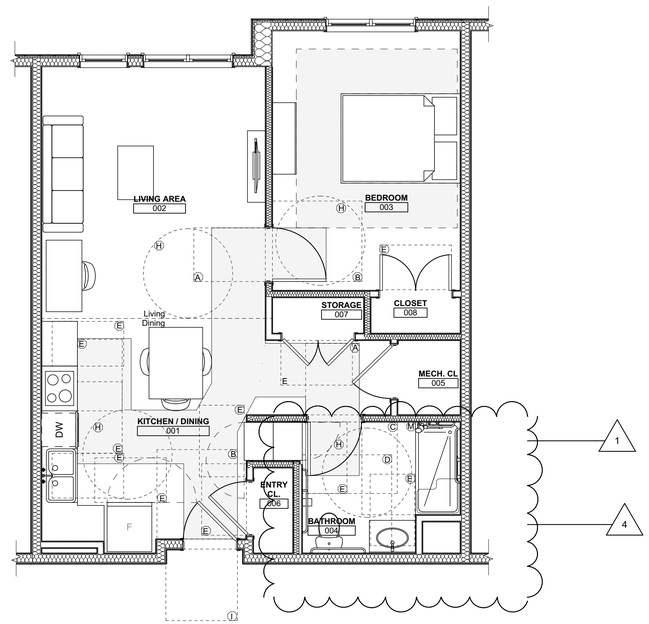
UNIT ACCESSIBLITY AND FURNITURE PLANS

scale: As Noted
date: December 10, 2021
no. 115 of. 231

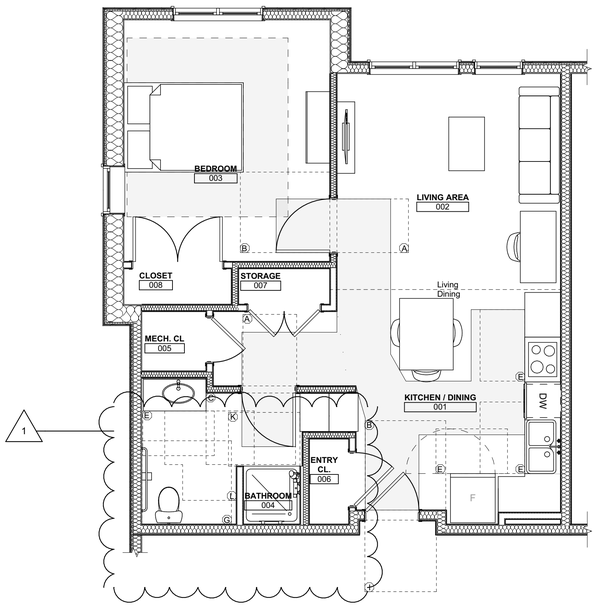
Sheet No.
A423
Project #2040



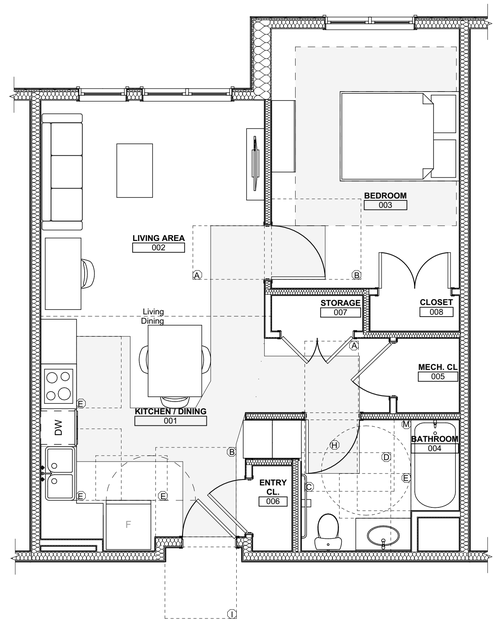
1 UNIT 1E S: 1 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1E S (TYPE - A) : 1 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



3 UNIT 1F S: 1 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



4 UNIT 1G T: 1 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"

ACCESSIBILITY CLEARANCES LEGEND

- (A) DOOR WIDTH X 48"
- (B) DOOR WIDTH+18" LATCH SIDE X 60"
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- (F) 30" X FULL LENGTH OF BATHTUB (60" MIM) BATHTUB CLEARANCE
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- (M) 36" X FULL LENGTH OF ROLL-IN SHOWER
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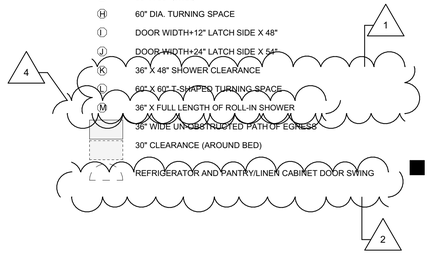
- 30" CLEARANCE (AROUND BED)
- REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING



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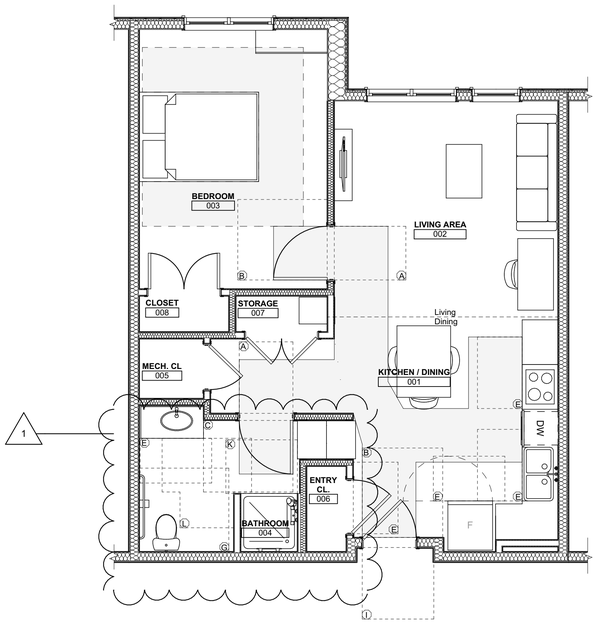
drawing title

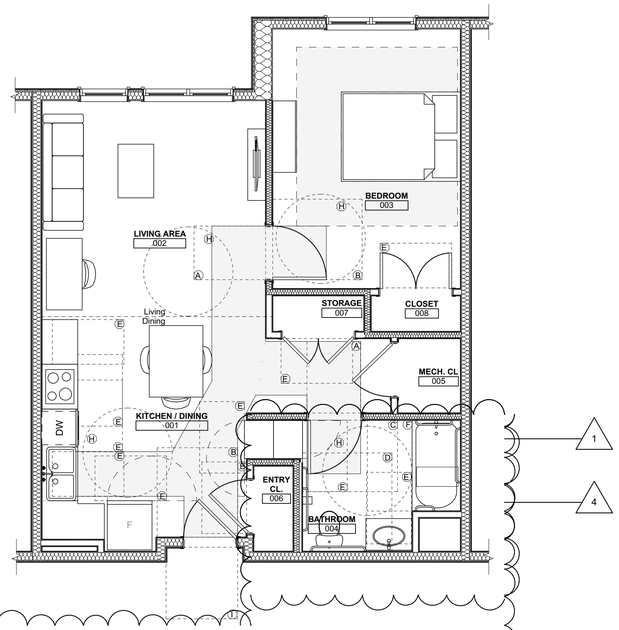
UNIT ACCESSIBLITY AND FURNITURE PLANS

scale: As Noted
date: December 10, 2021
no. 116 of. 231

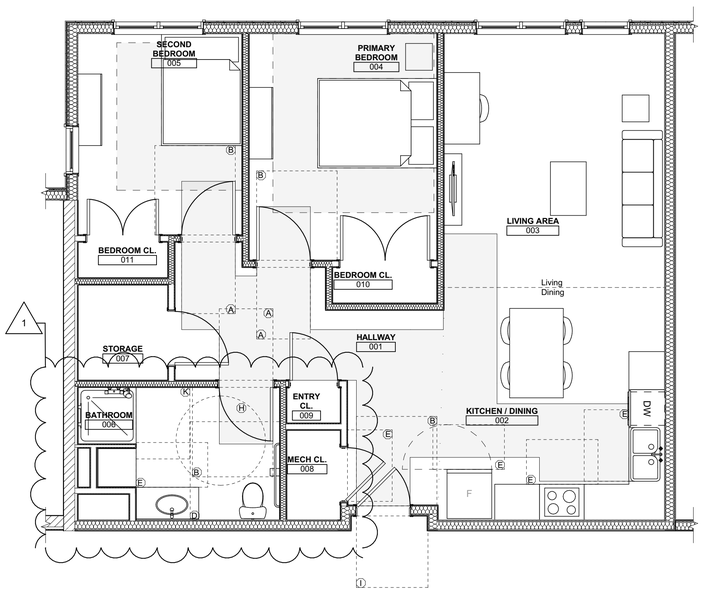
Sheet No.
A424
Project #2040



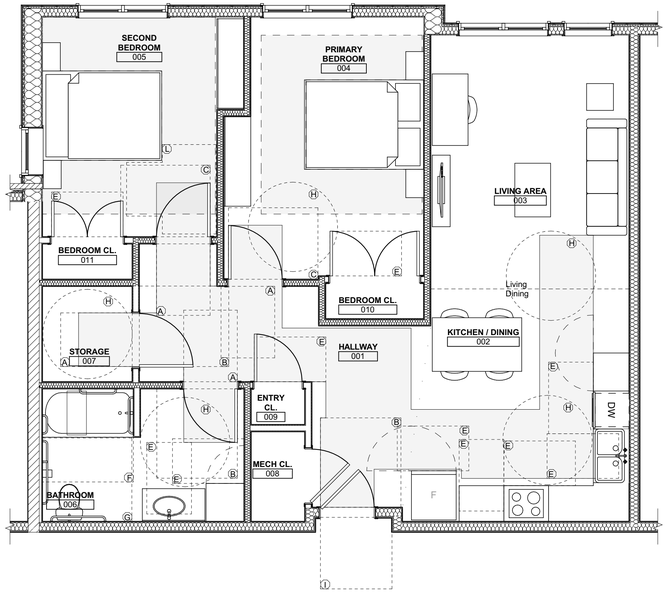
1 UNIT 1G S : 1 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 1G T (TYPE-A): 1 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



3 UNIT 2A S : 2 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



4 UNIT 2B T(TYPE-A): 2 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"

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- (A) DOOR WIDTH X 48"
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- (C) DOOR WIDTH+24" LATCH SIDE X 48"
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30" CLEARANCE (AROUND BED)

REFRIGERATOR AND PANTRY/LINEN CABINET DOOR SWING

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seal

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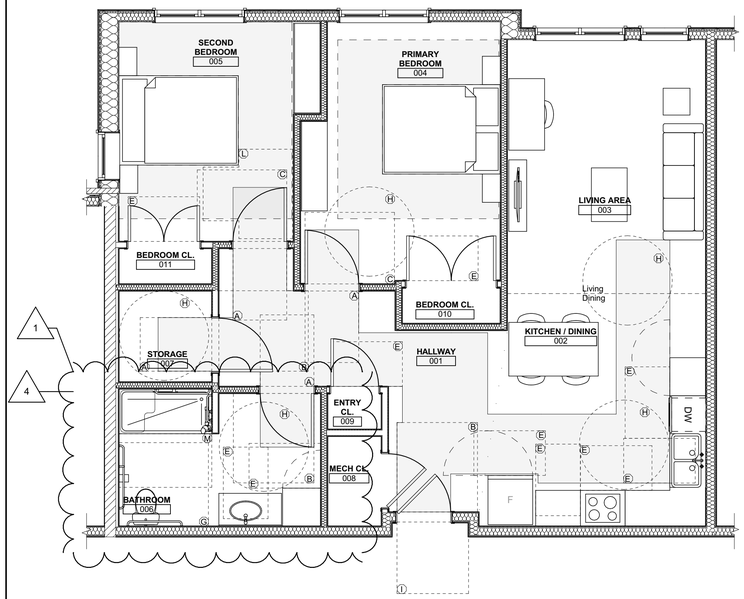
drawing title

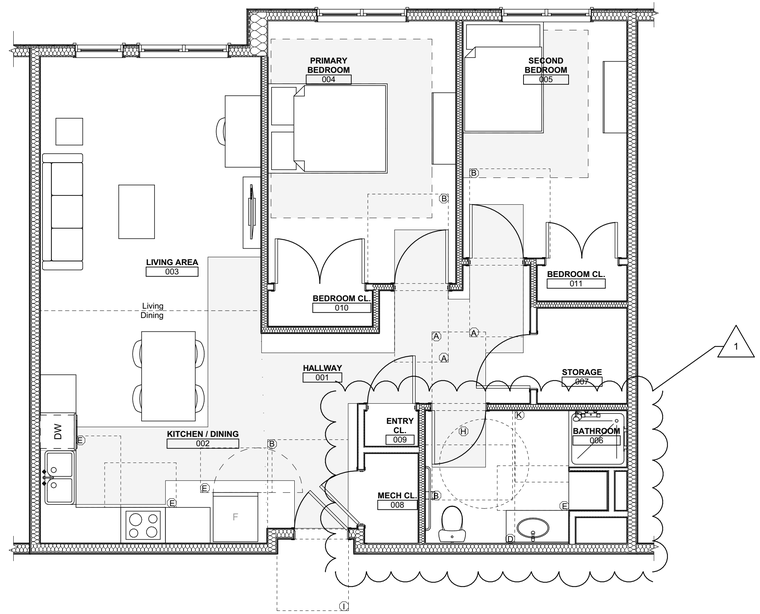
UNIT ACCESSIBLITY AND FURNITURE PLANS

scale: As Noted
date: December 10, 2021
no. 117 of. 231

Sheet No.
A425
Project #2040

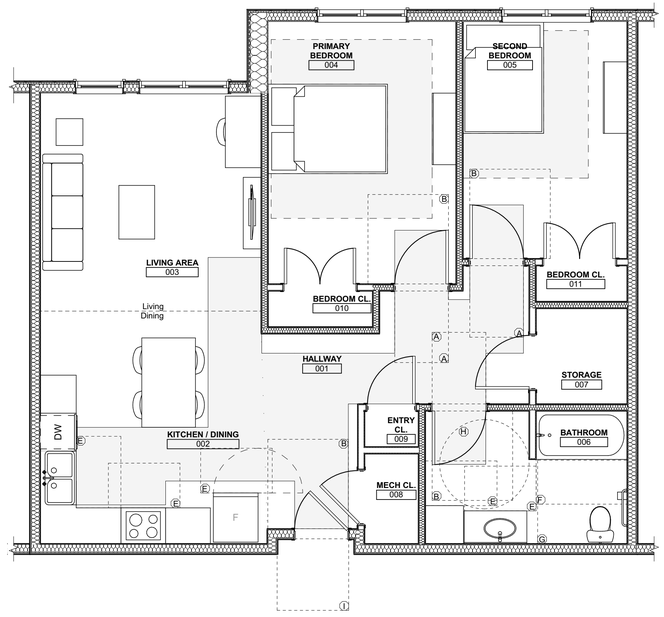


1 UNIT 2B S (TYPE-A): 2 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 2C S : 2 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"

3 UNIT 2D S HV: 2 BEDROOM W/ SHOWER ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"



4 UNIT 2E T : 2 BEDROOM W/ BATHTUB ACCESSIBILITY AND FURNITURE PLAN
SCALE: 1/4" = 1'-0"

ACCESSIBILITY CLEARANCES LEGEND

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Project Location:
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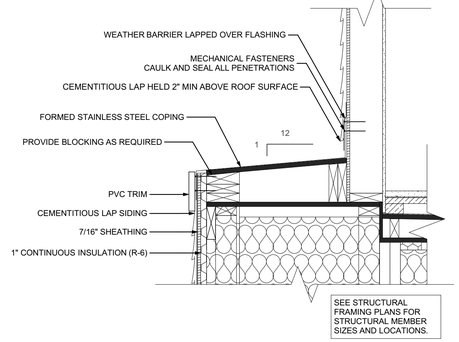
Pittsburgh, PA 15214

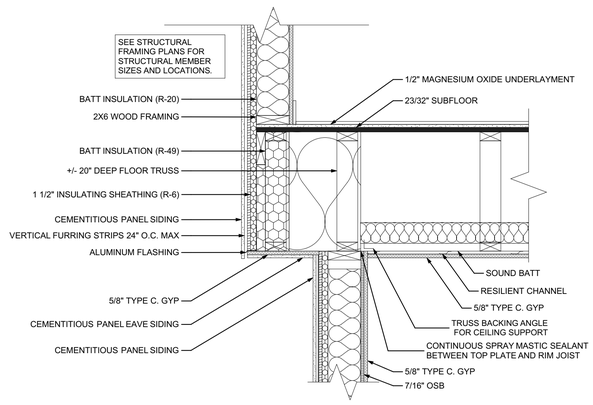
drawing title

UNIT ACCESSIBLITY AND FURNITURE PLANS

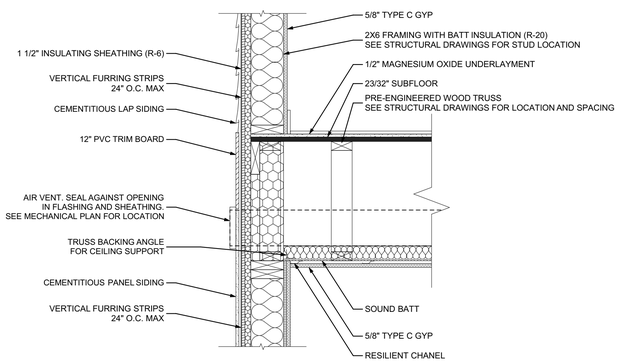
scale: As Noted	Sheet No. A426
date: December 10, 2021	
no. 118 / of. 231	Project #2040



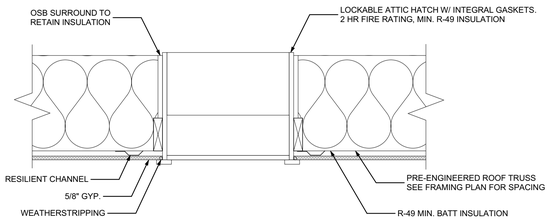
1 3RD - 4TH FLOOR EXTERIOR DETAIL
SCALE: 1" = 1'-0"



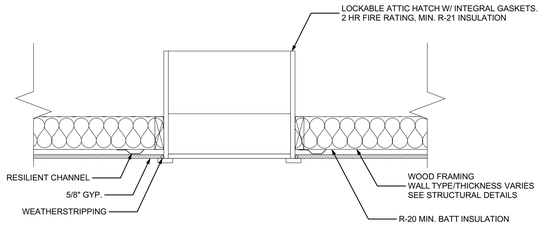
2 1ST-2ND FLOOR EAVE DETAIL
SCALE: 1" = 1'-0"



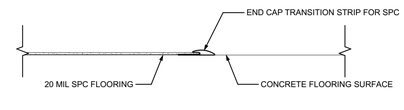
3 LAP TO PANEL SIDING TRANSITION
SCALE: 1" = 1'-0"



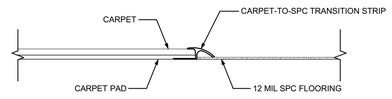
4 CEILING ATTIC HATCH DETAIL
SCALE: 1" = 1'-0"



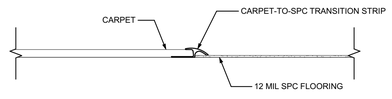
5 WALL ATTIC HATCH DETAIL
SCALE: 1" = 1'-0"



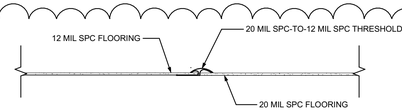
6 20 MIL SPC TO CONCRETE SLAB TRANSITION
SCALE: 3" = 1'-0"



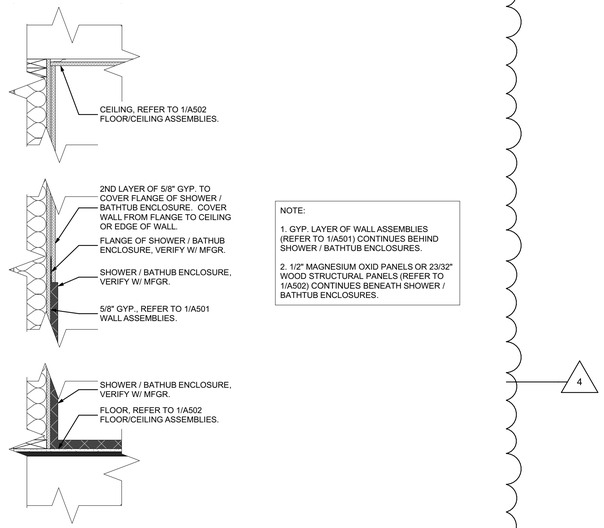
7 12 MIL SPC TO CARPET WITH PAD TRANSITION
SCALE: 3" = 1'-0"



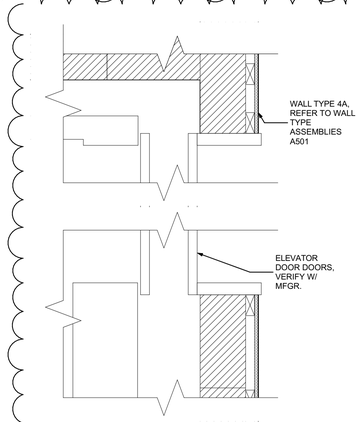
8 12 MIL SPC TO CARPET WITHOUT PAD TRANSITION
SCALE: 3" = 1'-0"



9 20 MIL SPC TO 12 MIL SPC TRANSITION
SCALE: 3" = 1'-0"

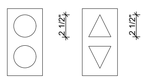


10 SHOWER & TUB ENCLOSURE TO WALL DETAIL
SCALE: 1" = 1'-0"

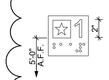


11 ELEVATOR JAMB DETAIL
SCALE: 1" = 1'-0"

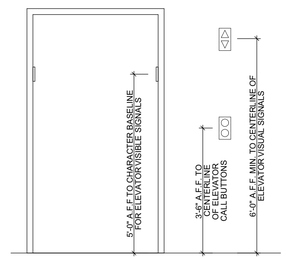
12 CALL BUTTON DETAIL
SCALE: 1 1/2"= 1'-0"



13 VISUAL SIGNAL DETAILS
SCALE: 1 1/2"= 1'-0"



14 TACTILE SIGNALS DETAIL
SCALE: 1 1/2"= 1'-0"



15 ELEVATOR ACCESSORY MOUNTING LOCATIONS
SCALE: 1/2" = 1'-0"

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

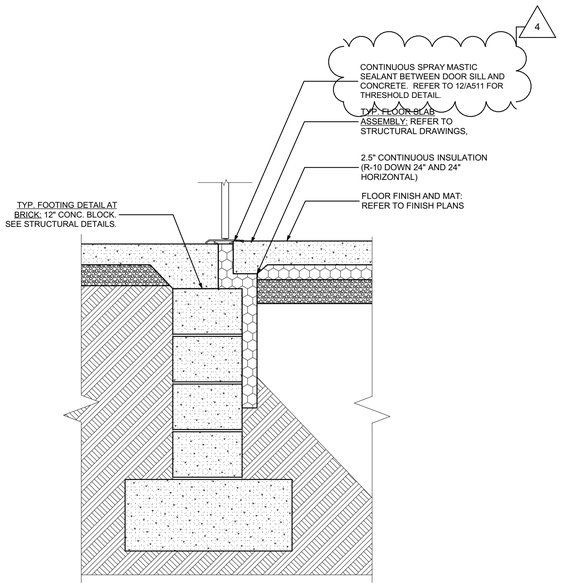
Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

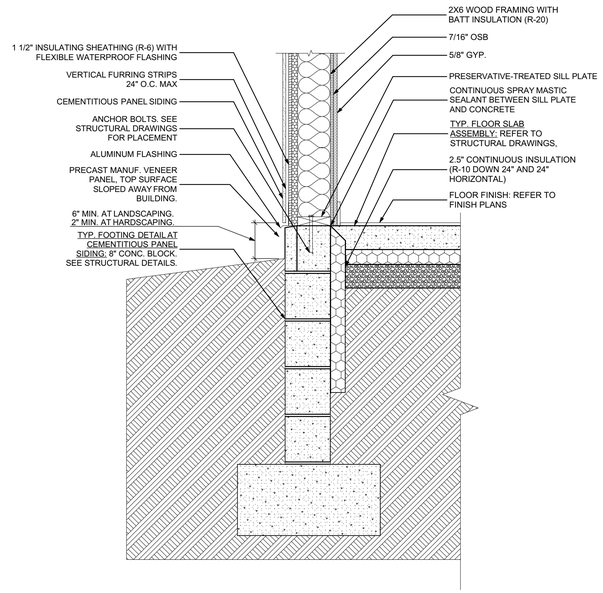
drawing title

BUILDING AND ELEVATOR DETAILS

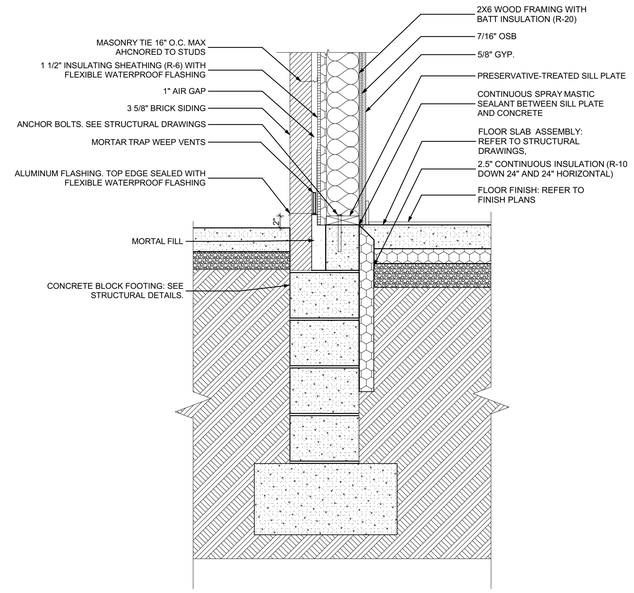
scale	Sheet No.
As Noted	A504
date: December 10, 2021	Project #2040
no. 122 of. 231	



1 ENTRANCE DOOR THRESHOLD DETAIL
SCALE: 1" = 1'-0"



2 WALL TO FOOTING DETAILS
SCALE: 1" = 1'-0"



3 WALL TO FOOTING DETAILS
SCALE: 1" = 1'-0"

2

1

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

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revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
4 REVISED 2022/04/14
8 REVISED 2022/04/22. Addenda #2

project title

Owner:
HACP
200 Ross Street
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Client:
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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

FOOTING DETAILS

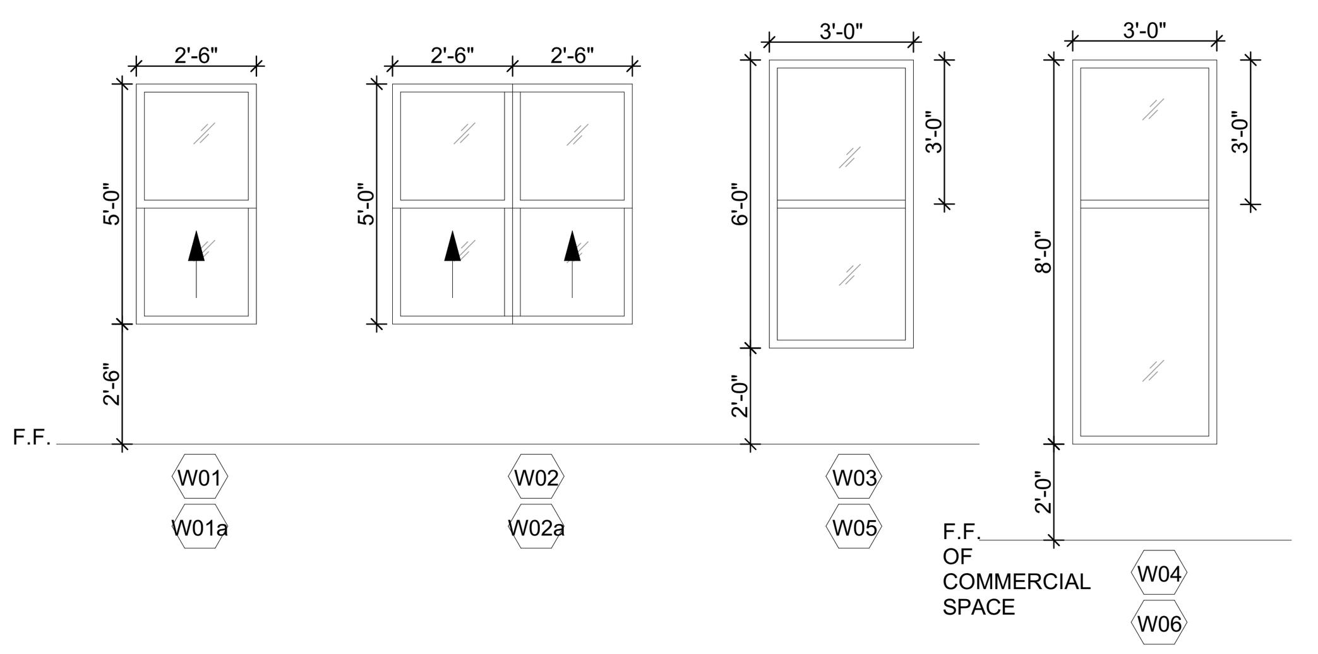
scale: As Noted	Sheet No. A507
date: December 10, 2021	
no. 125 / of. 231	Project #2040

DOOR SCHEDULE - BUILDING													
DOOR NUMBER	ROOM	SIZE	DOOR TYPE	LABEL	LEAF				FRAME		HARDWARE		NOTES
					MATERIAL	COLOR	THICKNESS	GLAZING	MATERIAL	COLOR	LOCKSET	ACCESSORIES	
100 A	VESTIBULE	3'-0"×6'-8"	5	S	AL/GL	P1	1 3/4"	TEMP. INS.	HM-INSULATED	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
100 B	VESTIBULE	3'-0"×6'-8"	9	S	AL/GL	P1	1 3/4"	TEMP. INS.	HM-INSULATED	P3	ENTRANCE (F109)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; FOB SYSTEM W/ ELEC. STRIKE; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	See Door Types for Transom.
101a A	HALLWAY	6'-0"×6'-8"	3	S	AL/GL	P1	1 3/4"	TEMP. INS.	HM-INSULATED	P3	ENTRANCE (F109)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; FOB SYSTEM W/ ELEC. STRIKE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
101a A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	PRIVACY (F76)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
101a A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	PRIVACY (F76)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
101a A	HALLWAY	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	PRIVACY (F76)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
102 A	COMMUNITY ROOM	3'-0"×6'-8"	5	S	AL/GL	P1	1 3/4"	TEMP. INS.	HM-INSULATED	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames. See Door Types for Transom.
102 B	COMMUNITY ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"		WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
102 C	COMMUNITY ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"		WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
103 A	SOCIAL SERVICES	3'-0"×6'-8"	7	NONE	SCW	P1	1 3/4"		WOOD	P3	OFFICE (F82)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR	
104 A	MULTIPURPOSE ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"		WOOD	P3	OFFICE (F82)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
105 A	ADMINISTRATION OFFICE	3'-0"×6'-8"	7	NONE	SCW	P1	1 3/4"		WOOD	P3	OFFICE (F82)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
105 B	ADMINISTRATION OFFICE	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	OFFICE (F82)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
106 A	DEVELOPMENT FACILITIES AND MANGEMENT	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
106 B	DEVELOPMENT FACILITIES AND MANGEMENT	6'-0"×6'-8"	2	S	FIBERGL.	P1	1 3/4"		HM	P3	ENTRANCE (F109)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; FOB SYSTEM W/ ELEC. STRIKE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
106a A	TRASH ROOM	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR	
106a B	TRASH ROOM	6'-0"×6'-8"	2	S	FIBERGL.	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; FOB SYSTEM W/ ELEC. STRIKE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
107 A	BIKE PARKING ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"	TEMP.	WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
108 A	COMPUTER ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"		WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
109 A	TRASH CHUTE ROOM	3'-0"×6'-8"	7	B; S	SCW	P1	1 3/4"		WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	Self-closing upon the detection of smoke.
109a A	MECH. CL.	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; HINGE 1 1/2 PAIR; SMOKE GASKET	
111 A	UTILITIES	3'-0"×6'-8"	7	C; S	HM	P1	1 3/4"		HM	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
111 B	UTILITIES	3'-0"×6'-8"	1	S	FIBERGL.	P1	1 3/4"		HM-INSULATED	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
117 A	NORTH STAIR TOWER	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
117 B	NORTH STAIR TOWER	3'-0"×6'-8"	1	S	FIBERGL.	P1	1 3/4"		HM-INSULATED	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
118 A	SOUTH STAIR TOWER	3'-0"×6'-8"	1	S	FIBERGL.	P1	1 3/4"		HM-INSULATED	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames.
120 A	WATER UTILITY ROOM	3'-0"×6'-8"	4	S	FIBERGL.; GLASS	P1	1 3/4"		HM-INSULATED	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; CONTINUOUS HINGE; THRESHOLD; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames. See Door Types for Transom.
150 A	COMMERCIAL SPACE	3'-0"×6'-8"	6	S	AL/GL	P1	1 3/4"		AL	P3	ENTRANCE (F109)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	See Door Types for Transom.
150 B	COMMERCIAL SPACE	3'-0"×6'-8"	6	S	AL/GL	P1	1 3/4"		AL	P3	ENTRANCE (F109)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	See Door Types for Transom.
150 C	COMMERCIAL SPACE	3'-0"×6'-8"	6	S	AL/GL	P1	1 3/4"		AL	P3	ENTRANCE (F109)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	See Door Types for Transom.
150 D	COMMERCIAL SPACE	3'-0"×6'-8"	6	S	AL/GL	P1	1 3/4"		AL	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	See Door Types for Transom.
150 E	COMMERCIAL SPACE	3'-0"×6'-8"	6	S	AL/GL	P1	1 3/4"		AL	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	See Door Types for Transom.
200 A	HALLWAY	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
200 A	HALLWAY	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
210 A	TRASH CHUTE ROOM	3'-0"×6'-8"	7	B; S	SCW	P1	1 3/4"		WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	Self-closing upon the detection of smoke.
210a A	MECH. CL.	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; HINGE 3 PAIR; SMOKE GASKET	
310 A	TRASH CHUTE ROOM	3'-0"×6'-8"	7	B; S	SCW	P1	1 3/4"		WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	Self-closing upon the detection of smoke.
310a A	MECH. CL.	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; HINGE 3 PAIR; SMOKE GASKET	
317 A	NORTH STAIR TOWER	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
318 A	SOUTH STAIR TOWER	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
400 A	HALLWAY	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
400 A	HALLWAY	3'-0"×6'-8"	7	B; S	HM	P1	1 3/4"		HM	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; PANIC HARDWARE; SMOKE GASKET	
402 A	COMMUNAL ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"	TEMP. INS.	WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; PANIC HARDWARE; SMOKE GASKET	
402 B	COMMUNAL ROOM	3'-0"×6'-8"	5	S	FIBERGL.; GLASS	P1	1 3/4"	TEMP. INS.	HM-INSULATED	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; FOB SYSTEM W/ ELEC. STRIKE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames. See Door Types for Transom.
410 A	TRASH CHUTE ROOM	3'-0"×6'-8"	7	B; S	SCW	P1	1 3/4"		HM	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	Self-closing upon the detection of smoke.
410a A	MECH. CL.	3'-0"×6'-8"	7	C; S	SCW	P1	1 3/4"		WOOD	P3	STOREROOM (F86)	CLOSER; STOP; HOLD; HINGE 1 1/2 PAIR; SMOKE GASKET	
415 A	LAUNDRY ROOM	3'-0"×6'-8"	8	C; S	SCW	P1	1 3/4"	TEMP. INS.	WOOD	P3	PASSAGE (F75)	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; HINGE 1 1/2 PAIR; SMOKE GASKET	
415 B	LAUNDRY ROOM	3'-0"×6'-8"	4	S	FIBERGL.; GLASS	P1	1 3/4"		HM-INSULATED	P3	EXIT	CLOSER; STOP; HOLD; KICKPLATES BOTH SIDES; CONTINUOUS HINGE; FOB SYSTEM W/ ELEC. STRIKE; THRESHOLD; PANIC HARDWARE; DOOR SWEEP; WEATHER STRIPPING	Use thermally broken door frames. See Door Types for Transom.

ANSI MORTISE	ANSI BORED	COMMON NAME(S)	OPERATING OUTSIDE TRIM	TURNING OUTSIDE KEY	TURNING INSIDE KEY	TURNING INSIDE THUMBTURN / PUSH BUTTON
F09	F88	EXIT	OPENS IF UNLOCKED	UNLOCKS	LOCKS	N/A
F22	F76	PRIVACY LOCK	OPENS IF UNLOCKED	N/A	N/A	LOCKS
F05	F84	CLASSROOM	OPENS IF UNLOCKED	UNLOCKS / LOCKS	N/A	N/A
F13	F90	DORMITORY	OPENS IF UNLOCKED	UNLOCKS / LOCKS	N/A	LOCKS
F08/F10	F81	ENTRANCE	OPENS IF UNLOCKED	UNLOCKS / LOCKS	N/A	UNLOCKS / LOCKS
F15	F93	HOTEL	NO EFFECT	UNLOCKS IF THUMBTURN NOT SET	N/A	UNLOCKS / LOCKS DEADBOLT
F04	F82	OFFICE	OPENS IF UNLOCKED	UNLOCKS / LOCKS	N/A	UNLOCKS / LOCKS
F01	F75	PASSAGE	OPENS AT ALL TIMES	N/A	N/A	N/A
F14	F91	UTILITY ROOM	OPENS IF UNLOCKED	UNLOCKS / LOCKS	UNLOCKS / LOCKS	N/A
F07	F86	STOREROOM	NO EFFECT	OPENS	N/A	N/A
		DOUBLE CYLINDER DEADBOLT	N/A	UNLOCKS / LOCKS	UNLOCKS / LOCKS	N/A
		SINGLE CYLINDER DEADBOLT	N/A	UNLOCKS / LOCKS	N/A	UNLOCKS / LOCKS

ABBREVIATIONS:
CW: ALUMINUM CLAD WOOD
HM: HOLLOW METAL
SCW-SG: SOLID CORE STAIN GRADE WOOD VENEER
SCW-PG: SOLID CORE WOOD - PAINT GRADE
GL: GLASS
IM: INSULATED METAL
AL/GC: ALUMINUM & GLASS
PLAM: PLASTIC LAMINATE

WINDOW SCHEDULE									
ID	SIZE		SILL HEIGHT A.F.F.	TYPE	FRAME MATERIAL	LINTEL	VENTING	TEMPERED	NOTES
	WIDTH	HEIGHT							
W01	2'-6"	5'-0"	2'-6"	SINGLE HUNG	FIBERGLASS		☒	☐	Only tempered glazing in
W01a	2'-6"	5'-0"	2'-6"	SINGLE HUNG	FIBERGLASS		☒	☐	
W01a	2'-6"	5'-0"	2'-6"	SINGLE HUNG	FIBERGLASS		☒	☐	Located in Type A Units: Provide accessible opening hardware.
W02	5'-0"	5'-0"	2'-6"	SINGLE HUNG	FIBERGLASS		☒	☐	
W02a	5'-0"	5'-0"	2'-6"	SINGLE HUNG	FIBERGLASS		☒	☐	Located in Type A Units: Provide accessible opening hardware.
W02a	5'-0"	5'-0"	2'-6"	SINGLE HUNG	FIBERGLASS		☒	☒	Only tempered glazing in Stair Tower locations as noted on the General Floor Plans.
W03	3'-0"	6'-0"	2'-0"	FIXED	THERMALLY BROKEN ALUMINUM		☐	☐	
W04	3'-0"	8'-0"	2'-0"	FIXED	THERMALLY BROKEN ALUMINUM		☐	☐	
W05	3'-0"	6'-0"	2'-0"	FIXED	THERMALLY BROKEN ALUMINUM		☐	☒	
W06	3'-0"	8'-0"	2'-0"	FIXED	THERMALLY BROKEN ALUMINUM		☐	☒	

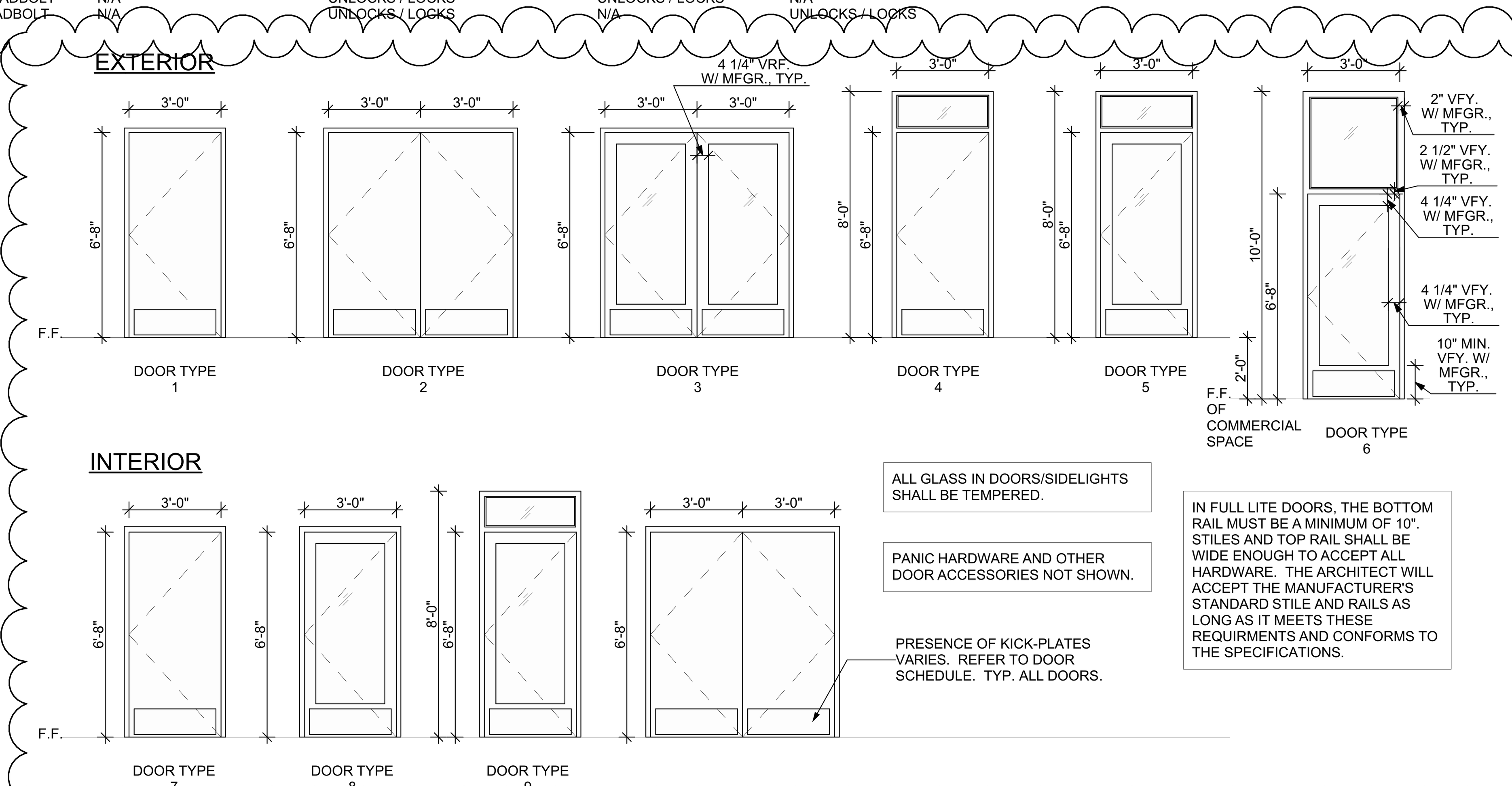


1 WINDOW TYPES
SCALE: 1/4" = 1'-0"

FENESTRATION PERFORMANCE:

DWELLING UNIT WINDOWS: U-VALUE 0.27, SHGC 0.40

COMMON SPACE FIXED WINDOWS: U-VALUE 0.36, SHGC 0.40
COMMON SPACE OEPRABLE WINDOWS: U-VALUE 0.43, SHGC 0.40
COMMON SPACE GLAZED ENTRANCE DOORS: U-VALUE .73, SHGC 0.40



2 DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR NOTES

1. ALL HARDWARE SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. REFER TO SPECIFICATIONS FOR DETAILED HARDWARE SETS.
3. DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING.
4. ALL EGRESS DOORS TO BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE PER STATE AND LOCAL CODES.
5. ALL BUILDING EGRESS DOORS SHALL BE EQUIPPED W/ APPPROVED PANIC HARDWARE AND CLOSERS. SUCH HARDWARE SHALL CAUSE THE DOOR TO RELEASE AND THE LEAF TO OPEN WHEN A FORCE OF 5 POUNDS IS APPLIED IN THE DIRECTION OF EGRESS, PER STATE AND LOCAL CODES.
6. CLOSERS MUST BE EQUIPPED W/ COORDINATORS AS REQUIRED.
7. HINGES SHALL BE MORTISE UNLESS NOTED OTHERWISE.
8. TEMPERED SAFETY GLAZING REQUIRED AT DOORS, DOOR TRANSOMS, AND SIDELIGHTS.
9. TEMPERED SAFETY GLAZING REQUIRED AT DOORS, DOOR TRANSOMS, AND SIDELIGHTS.
10. DOOR KICK-DOWNS ARE TO BE USED ONLY FOR DOORS REQUIRING HOLD OPEN FUNCTION. CLOSERS W/ A HOLD OPEN ARE NOT PERMITTED.
11. HARDWARE SHOP DRAWINGS TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
12. COORDINATE THE REQUIRED ROUGH OPENINGS OF ALL THE DOORS AND WINDOWS.
13. A KNOX BOX IS TO BE FLUSH MOUNTED NEAR THE ENTRY DOORS. CONFIRM FINAL LOCATION W/ FIRE MARSHAL AND OWNER.
14. ALL UTILITY ROOM DOORS ARE TO BE KEYED ALIKE AND TURNED OVER TO MANAGEMENT.
15. COORDINATE ALL CORES/KEYING PRIOR TO TURNOVER TO OWNER.
16. LOCKSET SHALL BE OPERATED FROM THE INTERIOR SIDE WITHOUT ANY SPECIAL KNOWLEDGE EFFORT OR KEY
17. DOORS WITH AN "S" LABLE: SHALL BE SELF-CLOSING OR AUTOMATIC-CLOSING UPLON THE DETECTION OF SMOKE.

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project title

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Client:
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200 Ross Street
Pittsburgh, PA 15219

Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

DOOR AND WINDOW SCHEDULES

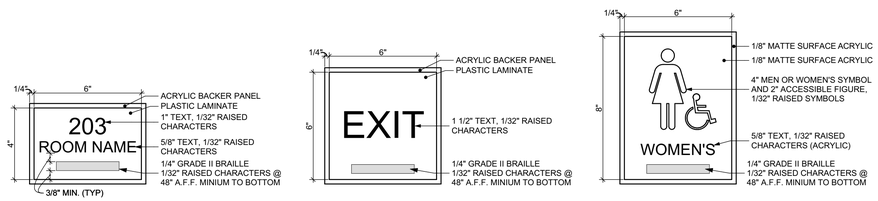
scale	Sheet No.
As Noted	A601
date December 10, 2021	
no. 133 of. 231	Project #2040

FINISH SCHEDULE - COMMON AREAS

ROOM		WALLS				FLOOR	BASE	CEILING	TRIM	LAMINATE	CORNER GUARDS	REMARKS
NUMBER	NAME	NORTH	EAST	SOUTH	WEST							
100	VESTIBULE	P-1	P-1	P-1	P-1	FM-1	B-1	P-2	P-3		CG-1	See specifications for Floor Mat
101	LOBBY & MAIL AREA	P-1	P-1	P-1	P-1	SPC-1 & FM-1	B-1	P-2 & ACT-1	P-3		CG-1	See specifications for Floor Mat
101a	HALLWAY	P-1	P-1	P-1	P-1	SPC-1 & FM-1	B-1	P-4	P-3		CG-1	See specifications for Floor Mat
102	COMMUNITY ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	
102a	KITCHENETTE	P-1	P-1	P-1	P-1	SPC-1	B-1	PT-2	P-3		CG-1	
103	SOCIAL SERVICES	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-1	P-3		CG-1	
104	MULTIPURPOSE ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	
105	ADMINISTRATION OFFICE	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-1	P-3		CG-1	
106	DEVELOPMENT FACILITIES AND MANGEMENT	P-1/FRP	P-1/FRP	P-1/FRP	P-1/FRP	EPOXY-ALT SEALED	B-1	P-2	P-3	FRP TO 48" AFF.	CG-1	Provide Abuse Resistance GYP. on all walls. Provide 16 gauge painted steel, 18" tall and full length of each wall, screwed along all walls. Height shall be centered 36" A.F.F.
106a	TRASH ROOM	P-1/FRP	P-1/FRP	P-1/FRP	P-1/FRP	EPOXY-ALT SEALED	B-1	P-2	P-3	FRP TO 48" AFF.	CG-1	
107	BIKE PARKING ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	
108	COMPUTER ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3		CG-1	
109	TRASH CHUTE ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	
109a	MECH. CL.	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-1	P-3			
110a	STAFF RR	P-1/FRP	P-1/FRP	P-1/FRP	P-1/FRP	SPC-2	B-2	P-2	P-3	FRP TO 48" AFF.	CG-1	MFGR. documentation must indicate LVT product is permmited in bathrooms.
110b	WOMENS RR	P-1/FRP	P-1/FRP	P-1/FRP	P-1/FRP	SPC-2	B-2	P-2	P-3	FRP TO 48" AFF.	CG-1	MFGR. documentation must indicate LVT product is permmited in bathrooms.
110c	MENS RR	P-1/FRP	P-1/FRP	P-1/FRP	P-1/FRP	SPC-2	B-2	P-2	P-3	FRP TO 48" AFF.	CG-1	MFGR. documentation must indicate LVT product is permmited in bathrooms.
111	UTILITIES	P-1	P-1	P-1	P-1	EPOXY-ALT SEALED	B-1	P-2	P-3			
117	NORTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
118	SOUTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
120	WATER UTILITY ROOM	P-1	P-1	P-1	P-1	EPOXY-ALT SEALED	B-1	P-2	P-3			
150	COMMERCIAL SPACE											Walls and Ceiling are unfinished drywall. Floor is non existant.
200	HALLWAY	P-1	P-1	P-1	P-1	SPC-1	B-1	P-5 & ACT-2	P-3		CG-1	
210	TRASH CHUTE ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3		CG-1	
210a	MECH. CL.	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3			
217	NORTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
218	SOUTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
300	HALLWAY	P-1	P-1	P-1	P-1	SPC-1	B-1	P-6 & ACT-2	P-3		CG-1	
310	TRASH CHUTE ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3		CG-1	
310a	MECH. CL.	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3			
317	NORTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
318	SOUTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
400	HALLWAY	P-1	P-1	P-1	P-1	SPC-1	B-1	P-7 & ACT-2	P-3		CG-1	
402	COMMUNAL ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	
402a	COMMUNAL ROOF DECK					PT-1						Outdoor space
410	TRASH CHUTE ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3		CG-1	
410a	MECH. CL.	P-1	P-1	P-1	P-1	SPC-1	B-1	ACT-2	P-3			
415	LAUNDRY ROOM	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3	PLAM-1	CG-1	
415a	MECH. ROOF DECK					PT-1						Outdoor space
417	NORTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.
418	SOUTH STAIR TOWER	P-1	P-1	P-1	P-1	SPC-1	B-1	P-2	P-3		CG-1	See specifications for stair treads and nosings.

MATERIAL FINISHES

ID	PRODUCT, MFGR. - REFER TO SPECIFICATIONS
COLOR, NUMBER	
PAINT	
P-1	STANDARD FINISH
P-2	STANDARD FINISH
P-3	SEMI-GLOSS
P-4	STANDARD FINISH (1ST FLOOR HALLWAY)
P-5	STANDARD FINISH (2ND FLOOR HALLWAY)
P-6	STANDARD FINISH (3RD FLOOR HALLWAY)
P-7	STANDARD FINISH (4TH FLOOR HALLWAY)
SOLID POLYMER CORE FLOOR TILE	
SPC-1	20 MIL FLOATING FLOOR
SPC-2	20 MIL FLOATING FLOOR FOR BATHROOMS
SPC-3	12 MIL FLOATING FLOOR
SPC-4	12 MIL FLOATING FLOOR FOR BATHROOMS
CARPET	
CPT-1	STAPLE DOWN CARPET W/ CARPET PAD
CPT-2	GLUE DOWN CARPET W/O CARPET PAD
ACOUSTIC CEILING TILE	
ACT-1	24" X 48" SUSPENDED, STANDARD CEILING TILES W/ GRID
ACT-2	24" X 48" SUSPENDED, VINYL FACED GYPSUM CORE CEILING TILES W/ GRID
PATIO TILE	
PT-1	12" X 12" SQUARE PATIO PAVERS
VINYL BASE	
B-1	4" STANDARD COVER BASE
B-2	6" STANDARD COVER BASE
EPOXY-ALT SEALED CONC.	REFER TO SPECIFICATIONS
LAMINATE	
FRP	FIBER GLASS REINFORCED PANELS, EMBOSSED
CORNER GUARDS	
CG-1	2" X 2" TEXTURED VINYL, ALUMINUM RETAINER
FLOOR MAT	
FM-1	ENTRANCE FLOOR MAT. REFER TO SPECIFICATIONS



(S-1) GENERAL SIGNAGE

PROVIDE ON WALL SURFACE ON HANDLE SIDE ONLY, TYPICAL

(S-2) EXIT SIGNAGE

PROVIDE AT ALL EXIT DOORS ON INTERIOR SIDE.

(S-3) TOILET ROOM SIGNAGE

PROVIDE AT MEN'S ROOM AND WOMEN'S ROOM.

SIGNAGE NOTE:

1.) SIGNAGE LOCATIONS AND CHARACTERS TO COMPLY WITH REQUIREMENTS SIGNAGE PER ICC/ANSI A117.1-2009, CHAPTER 7.
2.) TYPICAL ATTACHMENT METHOD IS TO BE CONCEAL MOUNTING.
3.) REFER TO DOOR SCHEDULE FOR DOOR SIGNAGE TYPE REQUIREMENTS.

1 INTERIOR SIGNAGE

SCALE: 3" = 1'-0"

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drawing title

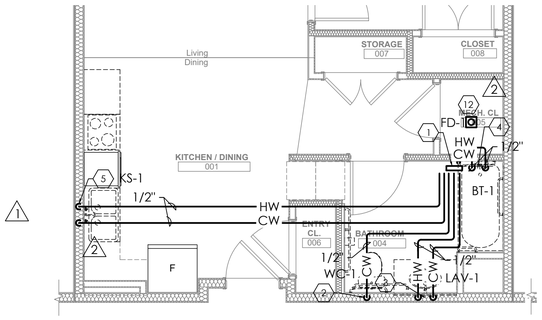
FINISH SCHEDULE

scale As Noted
date December 10, 2021
no. 134 **of.** 231

Sheet No. A602
Project #2040

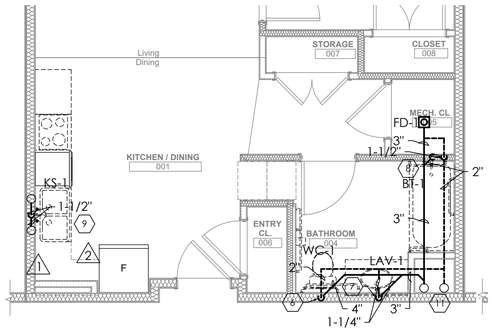
KEYED NOTES:

1. PEX MANIFOLD CONNECTION FOR CW AND HW.
2. 1/2" CW DOWN TO TOILET.
3. 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
4. 1/2" CW AND 1/2" HW DOWN TO BATH TUB.
5. 1/2" CW AND 1/2" HW DOWN TO KITCHEN SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
6. 2" VENT AND 3" SANITARY FROM TOILET.
7. 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
8. 1-1/2" VENT AND 1-1/2" SANITARY FROM BATH TUB/SHOWER.
9. 1-1/2" VENT AND 1-1/2" SANITARY FROM KITCHEN SINK, INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
10. 1/2" CW AND 1/2" HW DOWN TO WASHER.
11. 4" VENT 4" SANITARY STACK.
12. PROVIDE PRECISION PLUMBING PRODUCTS SINGLE TRAP PRIMER AT FLOOR DRAIN FROM LAV.



1 P202 UNIT 1E T WATER PLUMBING PLAN

1/4"=1'-0"



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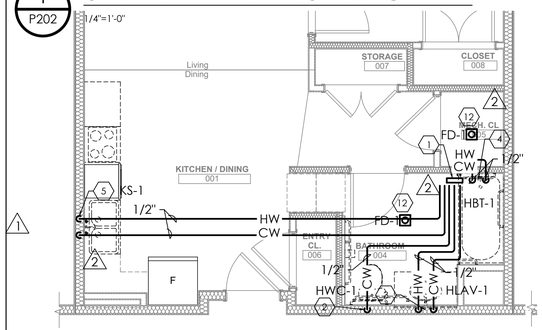

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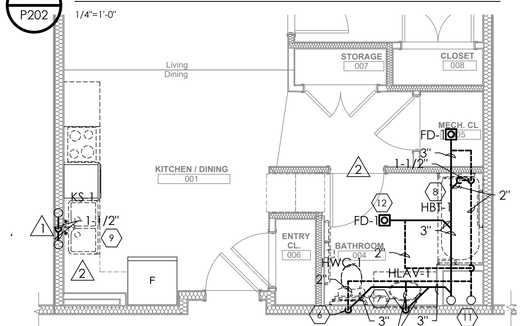

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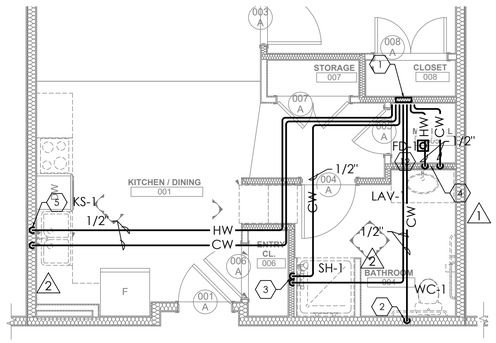

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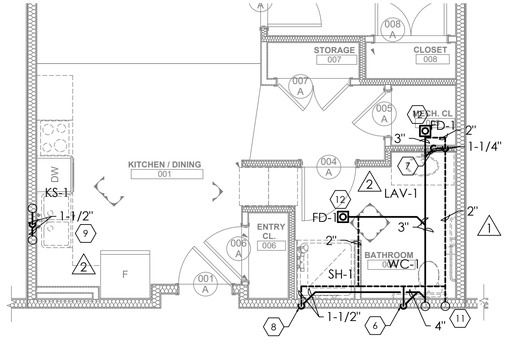

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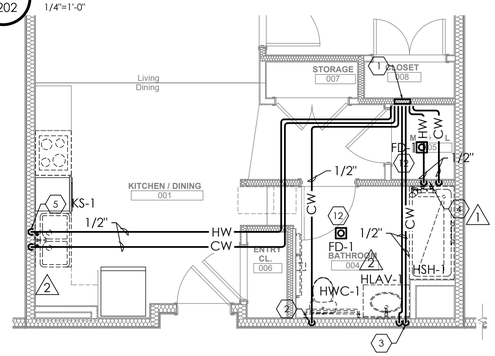

7 P202 UNIT 1E S A WATER PLUMBING PLAN

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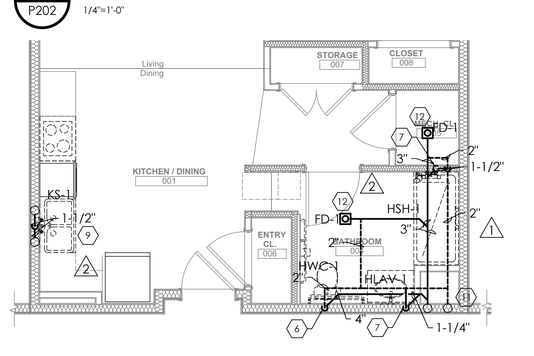

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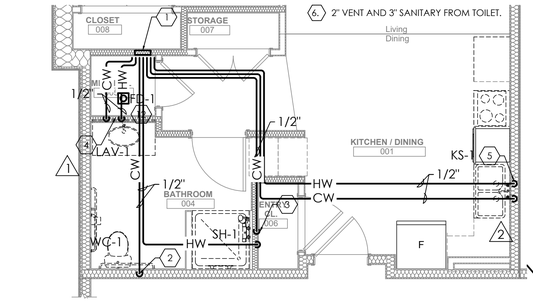

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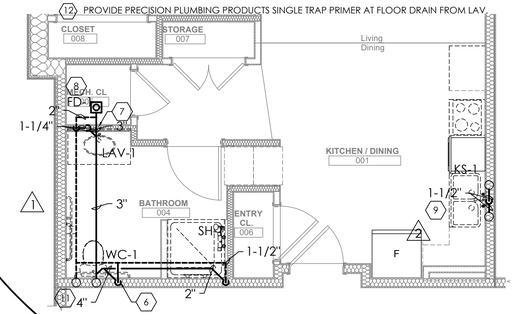

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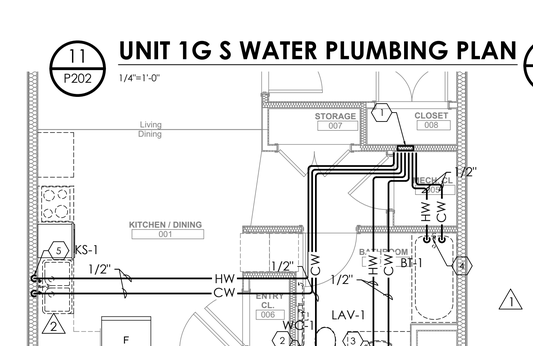

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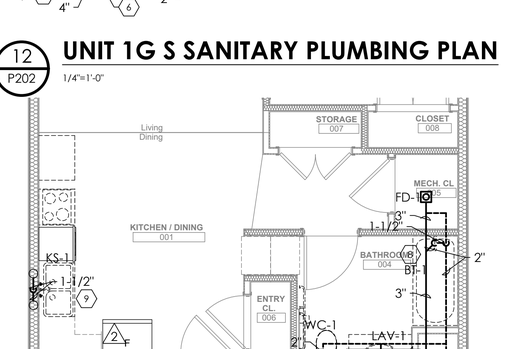

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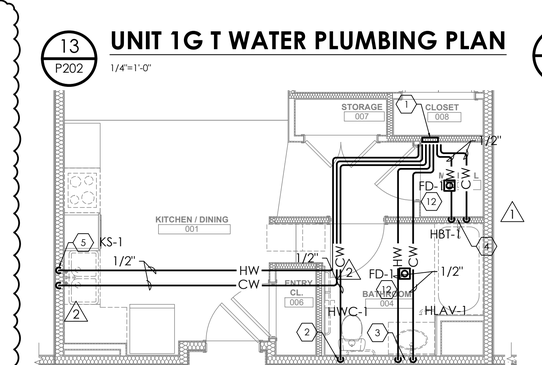

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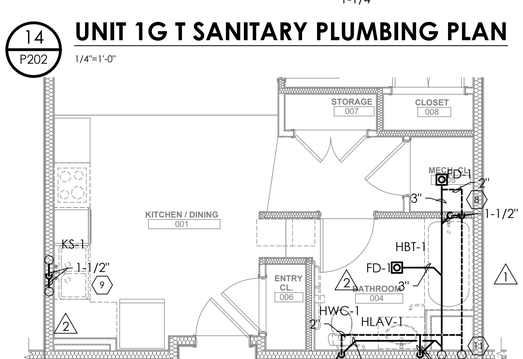

14 P202 UNIT 1G T SANITARY PLUMBING PLAN

1/4"=1'-0"

15 P202 UNIT 1G T A WATER PLUMBING PLAN

1/4"=1'-0"

14 P202 UNIT 1G T A SANITARY PLUMBING PLAN

1/4"=1'-0"

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REGISTERED PROFESSIONAL
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general notes

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
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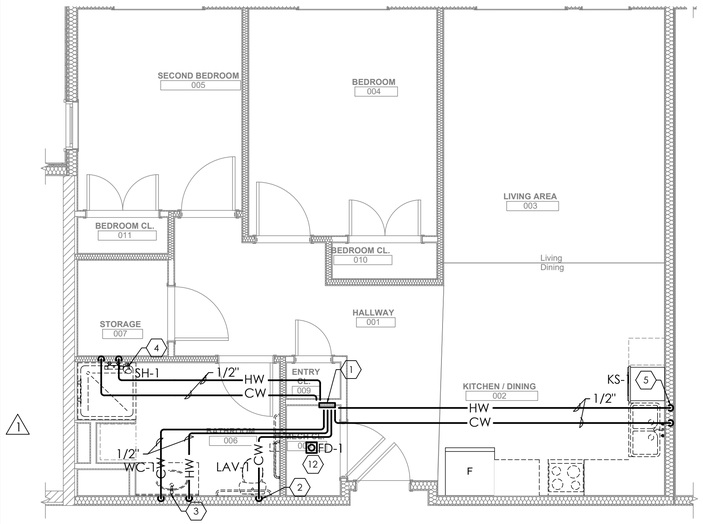
drawing title
ENLARGED PLUMBING PLAN

scale	
As Noted	
date	
December 10, 2021	
no.	of.
169	231

Sheet No.
P202
Project #2040



1 P203 **UNIT 2A S WATER PLUMBING PLAN**

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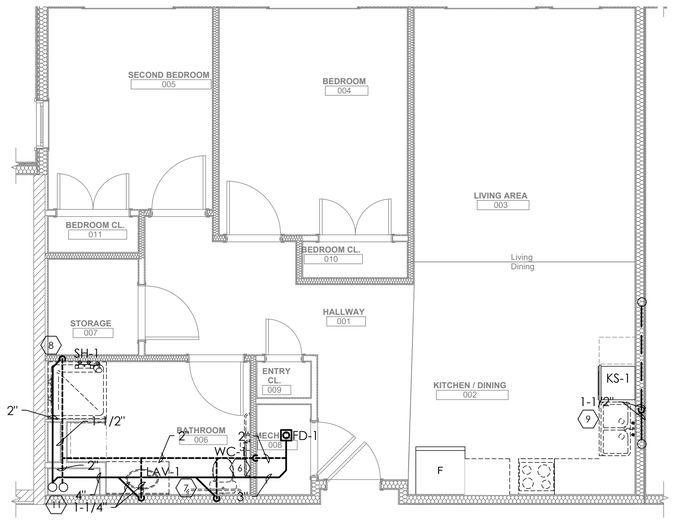

2 P203 **UNIT 2A S SANITARY PLUMBING PLAN**

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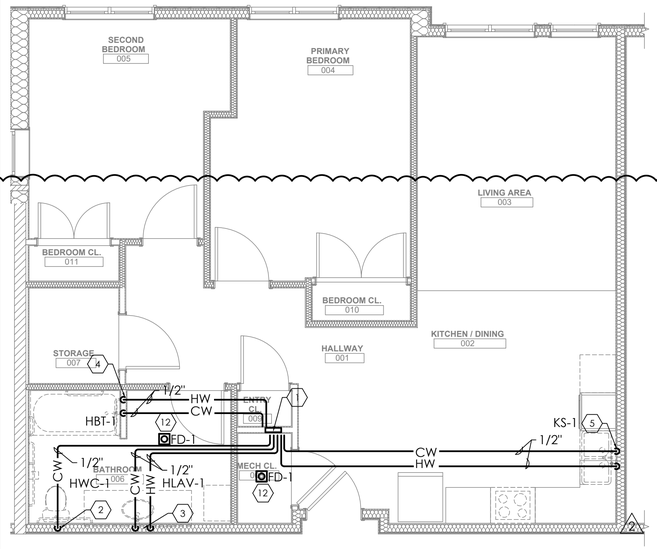

3 P203 **UNIT 2B T A WATER PLUMBING PLAN**

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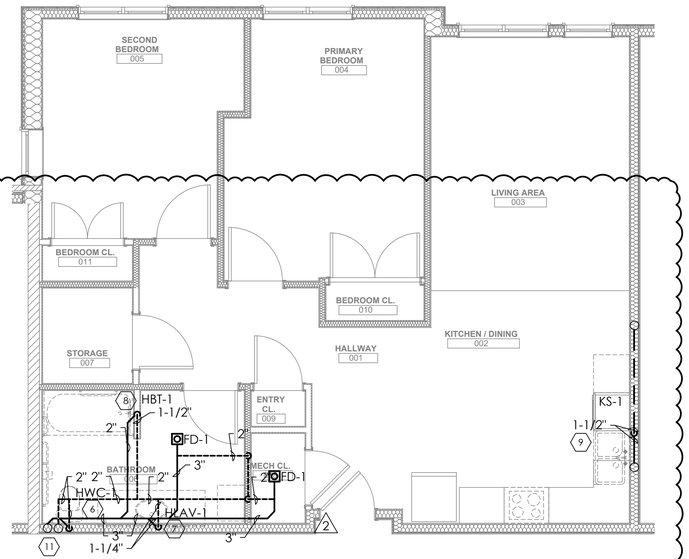
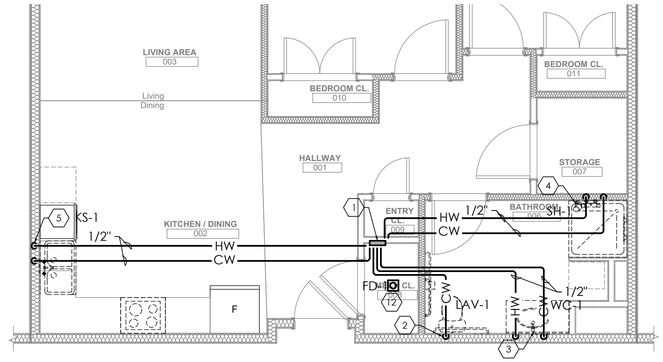


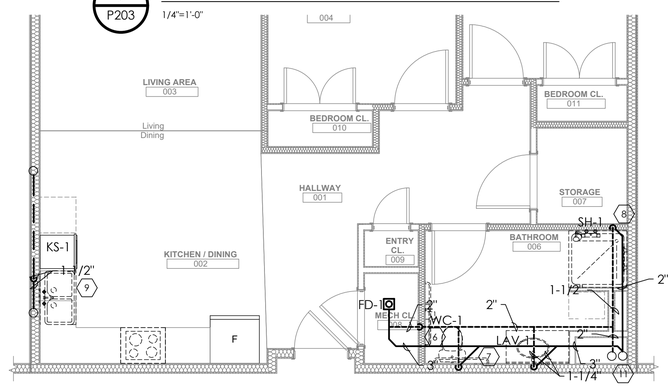
4 P203 **UNIT 2B T A SANITARY PLUMBING PLAN**

1/4"=1'-0"



5 P203 **UNIT 2C S WATER PLUMBING PLAN**

1/4"=1'-0"



6 P203 **UNIT 2C S SANITARY PLUMBING PLAN**

1/4"=1'-0"

KEYED NOTES:

1. PEX MANIFOLD CONNECTION FOR CW AND HW.
2. 1/2" CW DOWN TO TOILET.
3. 1/2" CW AND 1/2" HW DOWN TO LAVATORY.
4. 1/2" CW AND 1/2" HW DOWN TO BATH TUB.
5. 1/2" CW AND 1/2" HW DOWN TO KITCHEN SINK. CONNECT DISHWASHER HOT WATER TO HOT WATER SERVING KITCHEN SINK.
6. 2" VENT AND 3" SANITARY FROM TOILET.
7. 1-1/4" VENT AND 1-1/4" SANITARY FROM LAVATORY.
8. 1-1/2" VENT AND SANITARY TO BATH TUB/SHOWER.
9. 1-1/2" VENT AND 1-1/2" SANITARY FROM KITCHEN SINK. INDIRECTLY CONNECT DISHWASHER DRAIN TO DRAIN SERVING KITCHEN SINK.
10. 1/2" CW AND 1/2" HW DOWN TO WASHER.
11. 4" VENT AND 4" SANITARY STACK.
12. PROVIDE PRECISION PLUMBING PRODUCTS SINGLE TRAP PRIMER AT FLOOR DRAIN FROM LAV.

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general notes

revisions

1 REVISED 2022/02/09
2 REVISED 2022/03/04
3 REVISED 2022/03/30
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project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219

Client:
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250 Penfort Street
Pittsburgh, PA 15214

drawing title
ENLARGED PLUMBING PLAN

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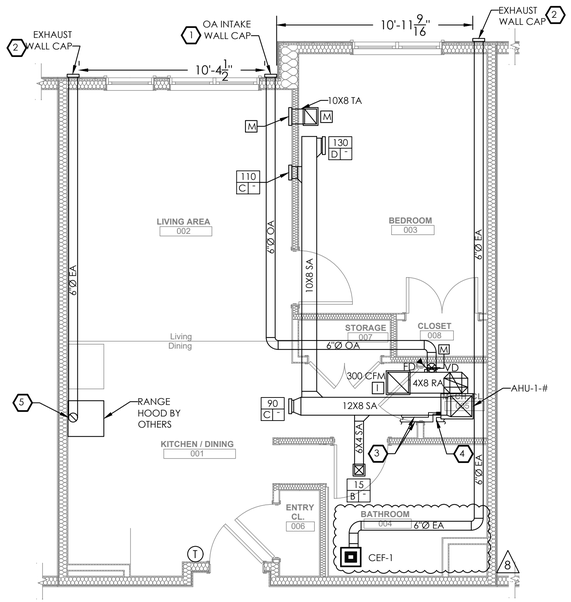
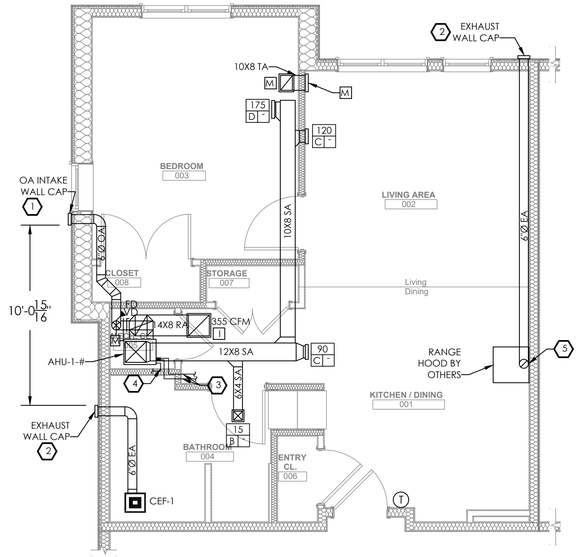


1 M301

MECHANICAL ENLARGED UNIT 1E PLAN

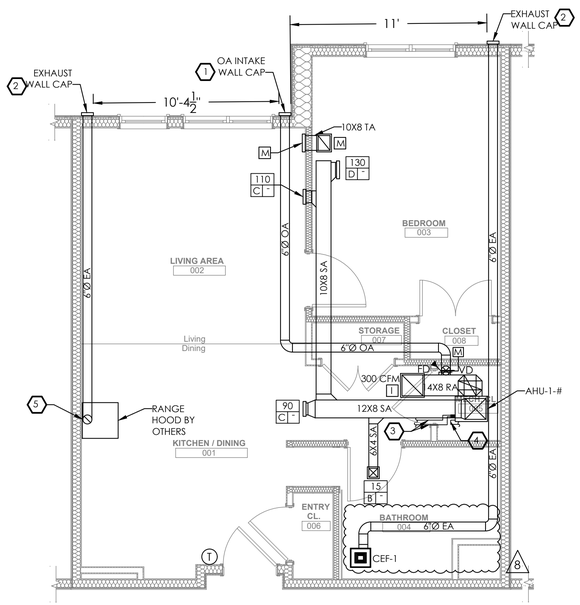
1/4" = 1' 0"



2 M301

MECHANICAL ENLARGED UNIT 1F PLAN

1/4" = 1' 0"



3 M301

MECHANICAL ENLARGED UNIT 1G PLAN

1/4" = 1' 0"

GENERAL NOTES

1. INSTALL AIR HANDLING UNIT AND MAINTAIN ALL REQUIRED CLEARANCES PER MANUFACTURER'S REQUIREMENTS.
2. PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT. MOUNT THERMOSTAT 44" ABOVE FINISHED FLOOR. COORDINATE FINAL LOCATION WITH OWNER.
3. COORDINATE ALL DUCTWORK, EQUIPMENT AND REFRIGERANT PIPING WITH STRUCTURAL.
4. PROVIDE VOLUME CONTROL DAMPERS AND MOTORIZED DAMPERS ON ALL OUTDOOR AIR BRANCH DUCTS CONNECTED TO INDOOR AIR HANDLING UNITS. DAMPERS SHALL BE ACCESSIBLE IN THE MECHANICAL CLOSET.
5. ALL SUPPLY AND RETURN DUCTWORK SHALL BE INSTALLED BELOW STRUCTURE. ALL EXHAUST AND OUTDOOR AIR DUCTWORK SHALL BE ROUTED THROUGH STRUCTURE.
6. COORDINATE ALL EXTERIOR TERMINATIONS WITH ARCHITECTURAL DRAWINGS.

DRAWING NOTES

1. TRANSITION DUCT AS REQUIRED TO CONNECT TO OUTDOOR AIR INTAKE. INTAKE MUST BE A MINIMUM OF 10 FT FROM ALL MECHANICAL EXHAUST TERMINATIONS.
2. TRANSITION DUCT AS REQUIRED TO CONNECT TO EXHAUST TERMINATION. EXHAUST TERMINATION MUST BE A MINIMUM OF 3 FT FROM OPERABLE OPENINGS INTO THE BUILDING AND 10 FT FROM INTAKES.
3. REFRIGERANT PIPING FROM ASSOCIATED BC CONTROLLER. COORDINATE ROUTING IN FIELD. VERIFY PIPING QUANTITIES AND SIZES WITH MANUFACTURER.
4. CONDENSATE PIPING TO INDIRECT CONNECTION AT FLOOR DRAIN. VERIFY PIPING QUANTITIES AND SIZES WITH MANUFACTURER.
5. TRANSITION EXHAUST DUCT AS REQUIRED TO CONNECT TO RANGE HOOD.

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drawing title

MECHANICAL ENLARGED ONE BEDROOM UNIT PLANS

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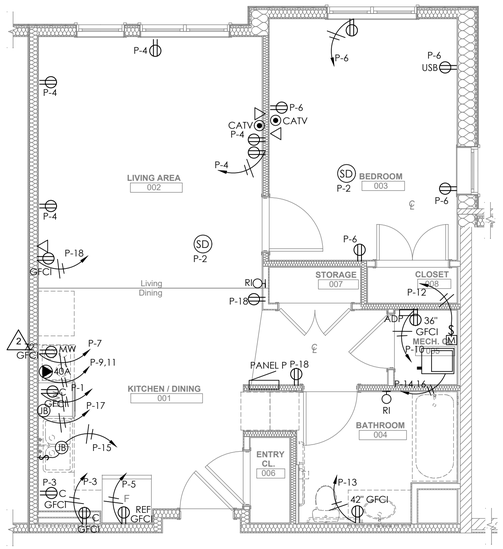
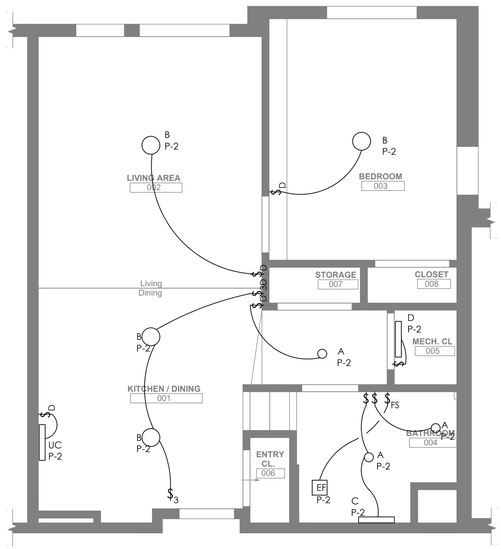
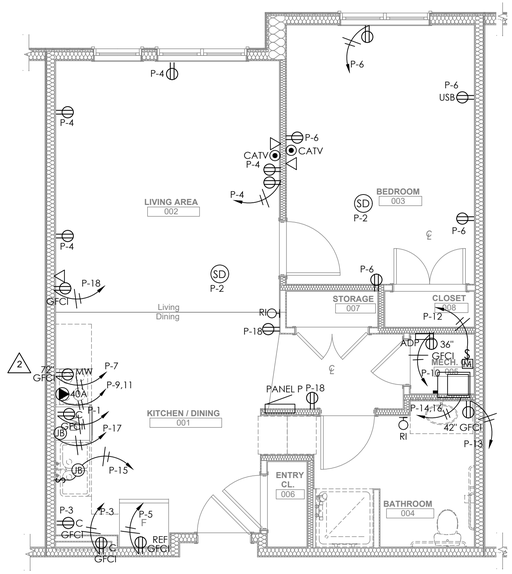
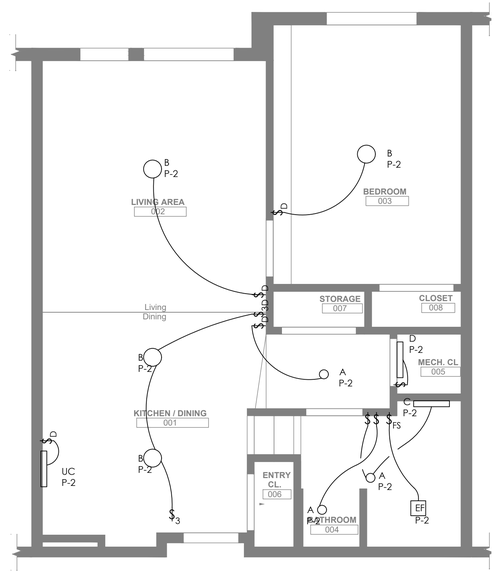




1 E202 ENLARGED UNIT PLAN - TYPE 1D

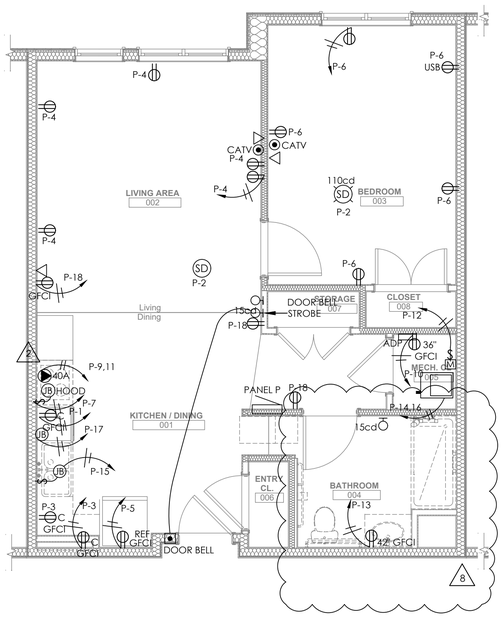
1/4" = 1' 0"

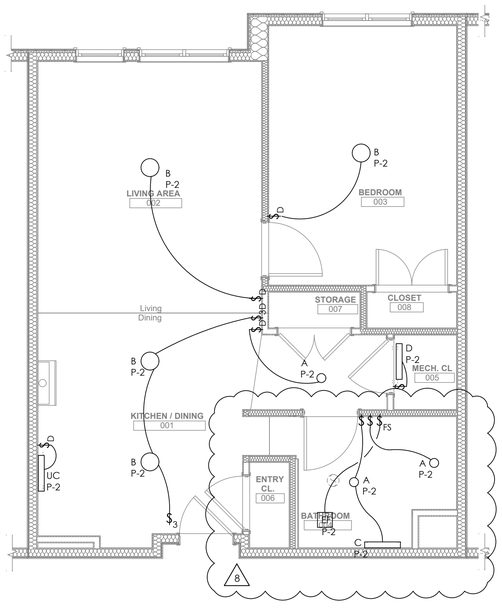




2 E202 ENLARGED UNIT PLAN - TYPE 1ES

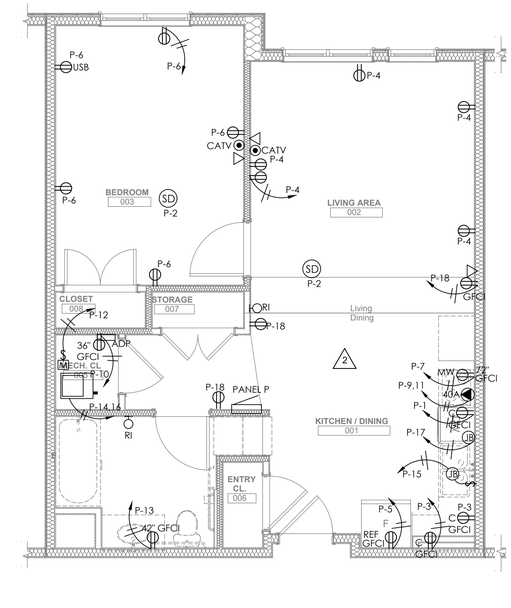
1/4" = 1' 0"

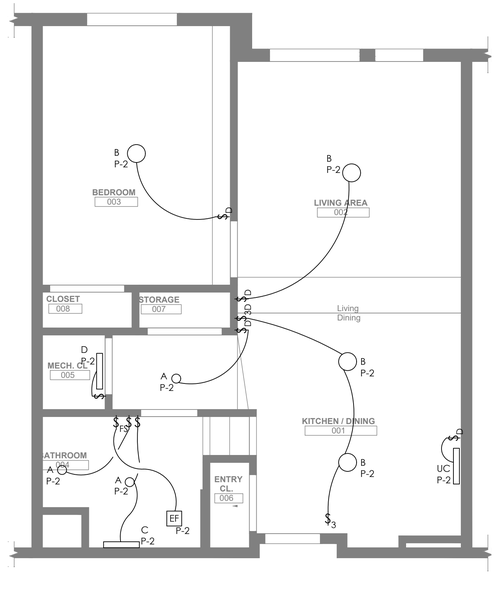




3 E202 ENLARGED UNIT PLAN - TYPE 1ESA

1/4" = 1' 0"





4 E202 ENLARGED UNIT PLAN - TYPE 1ET

1/4" = 1' 0"

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drawing title

Electrical
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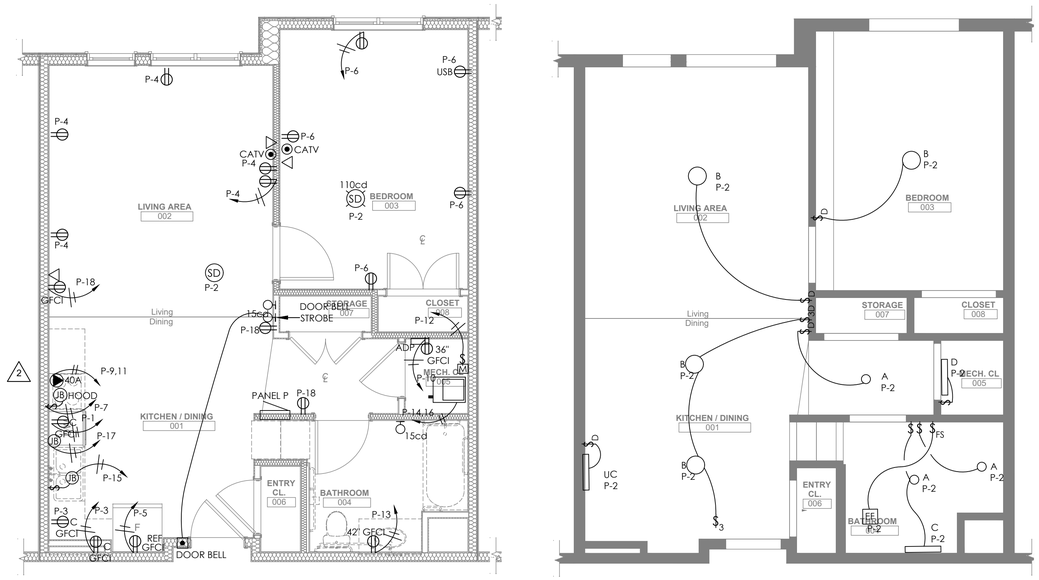
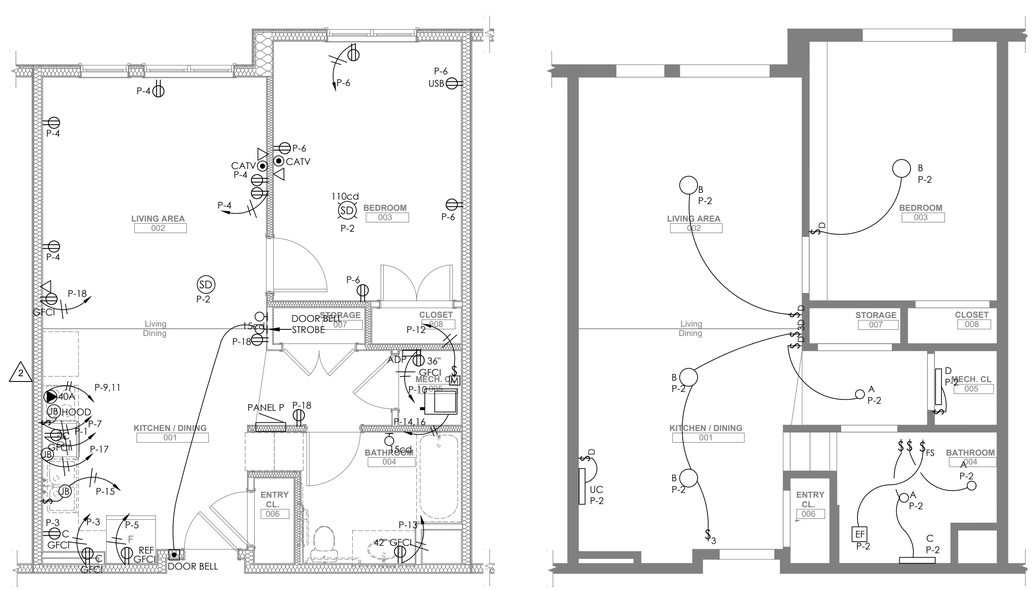


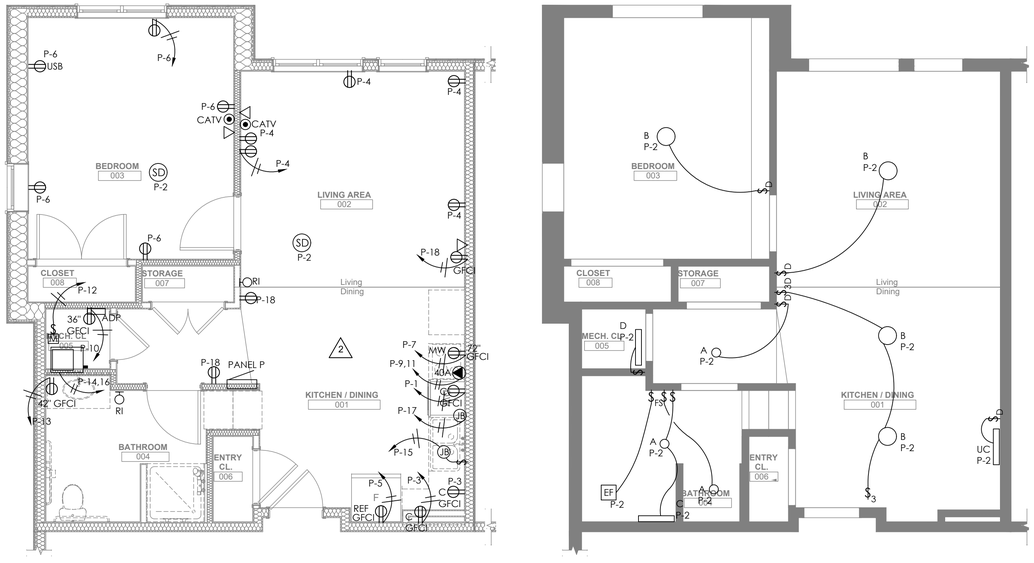
1 E203 **ENLARGED UNIT PLAN - TYPE 1ETA**

1/4" = 1' 0"



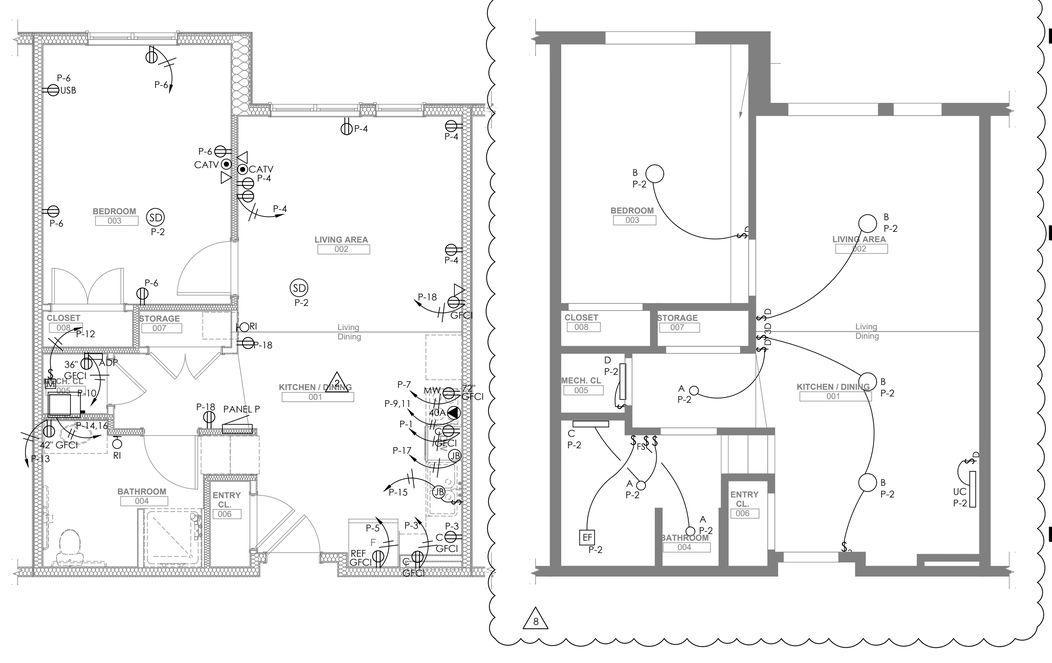
2 E203 **ENLARGED UNIT PLAN - TYPE 1ETHV**

1/4" = 1' 0"



3 E203 **ENLARGED UNIT PLAN - TYPE 1F**

1/4" = 1' 0"



4 E203 **ENLARGED UNIT PLAN - TYPE 1GS**

1/4" = 1' 0"

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Electrical
Enlarged Unit Plans

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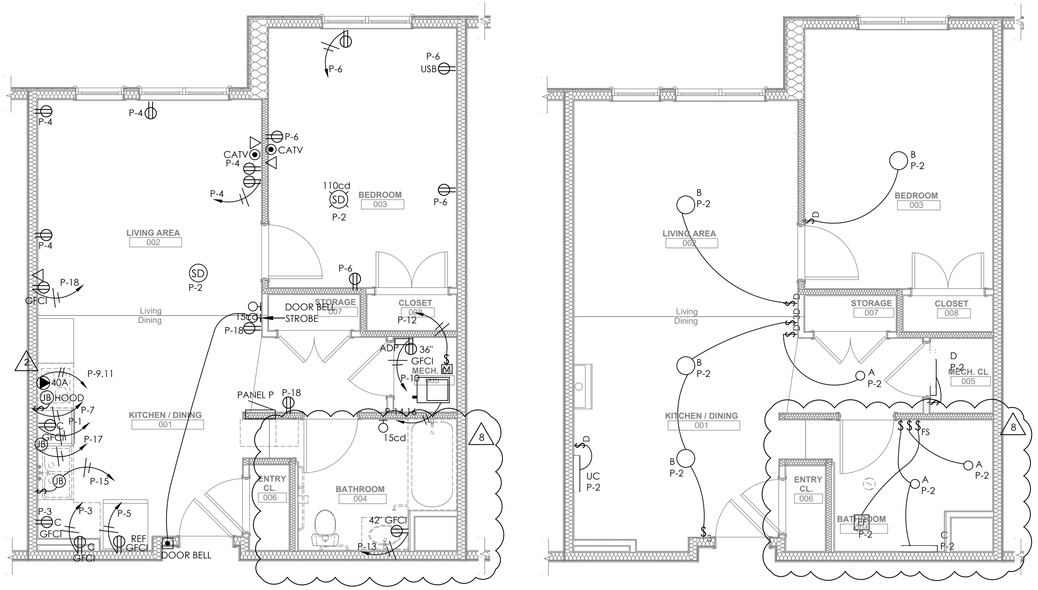
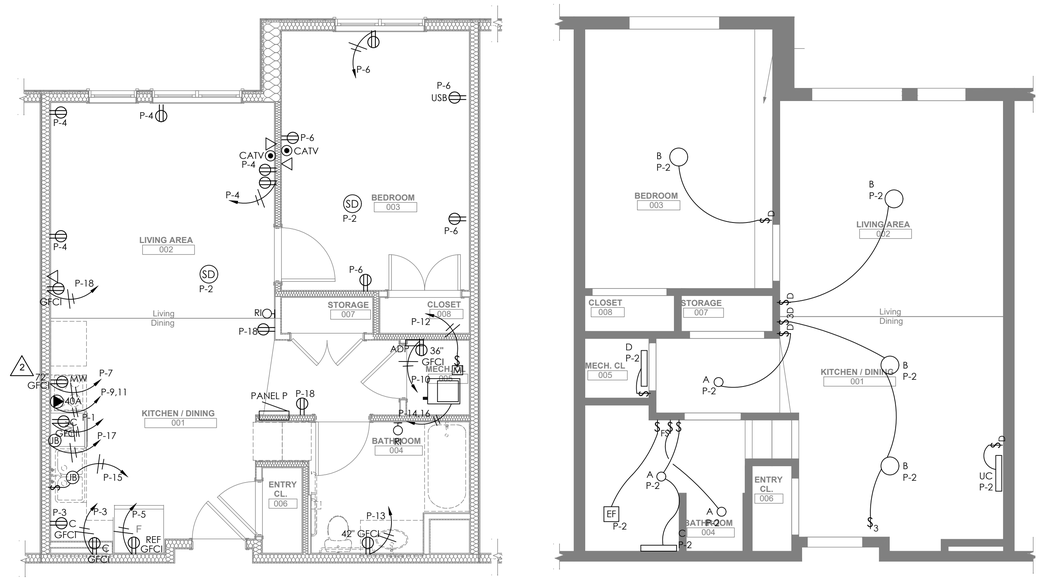


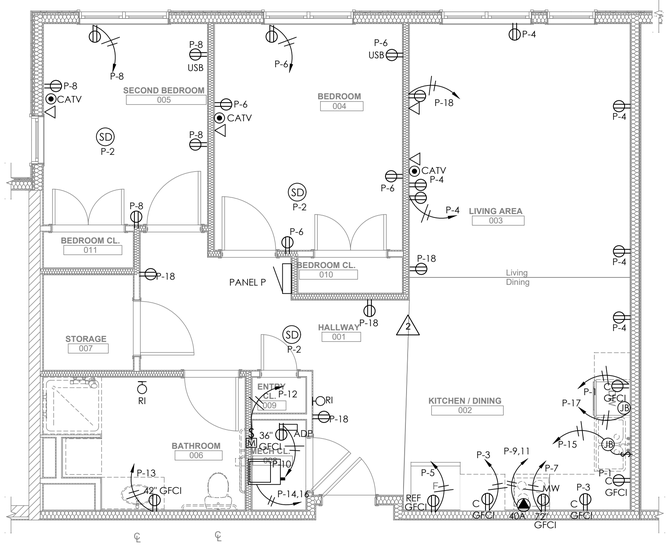
1 E204 **ENLARGED UNIT PLAN - TYPE 1GTA**

1/4" = 1' 0"



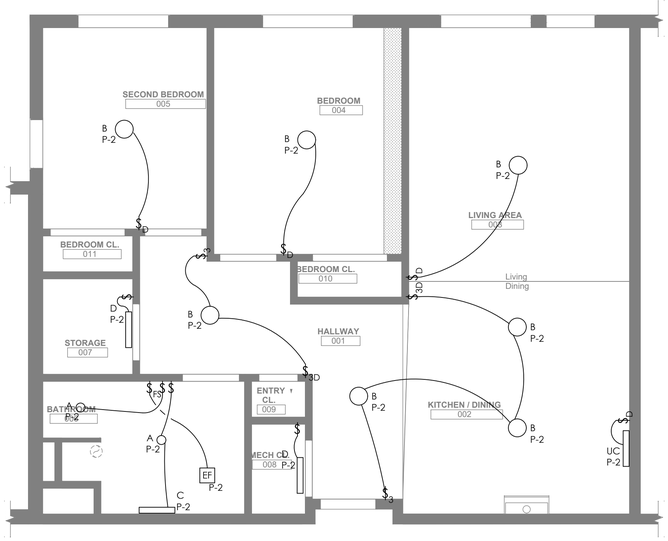
2 E204 **ENLARGED UNIT PLAN - TYPE 1GT**

1/4" = 1' 0"



3 E204 **ENLARGED UNIT PLAN - TYPE 2AS**

1/4" = 1' 0"



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drawing title

Electrical
Enlarged Unit Plans

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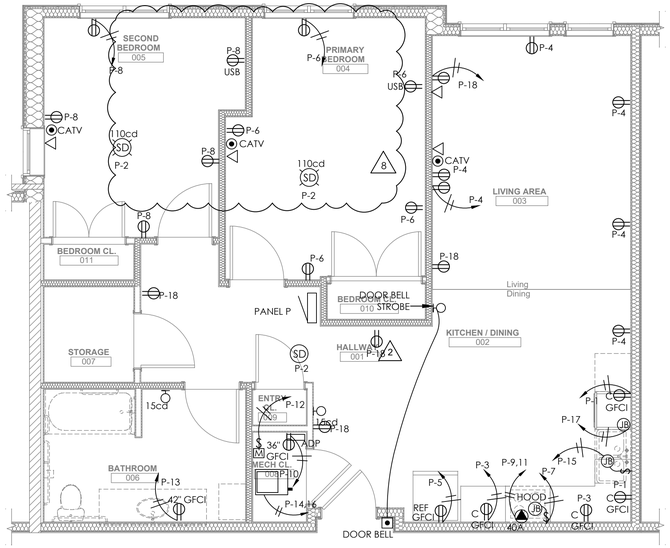
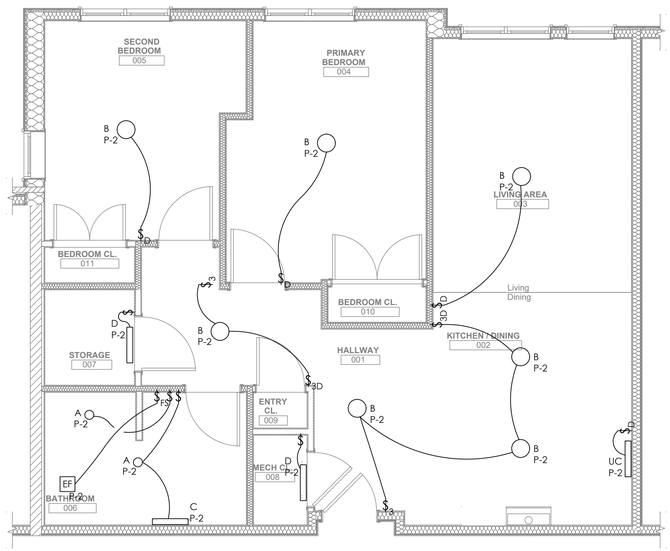
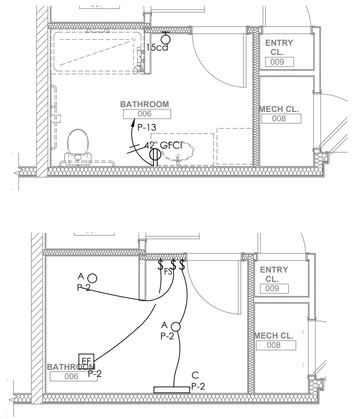


1 E205

ENLARGED UNIT PLAN - TYPE 2BTA

1/4" = 1' 0"

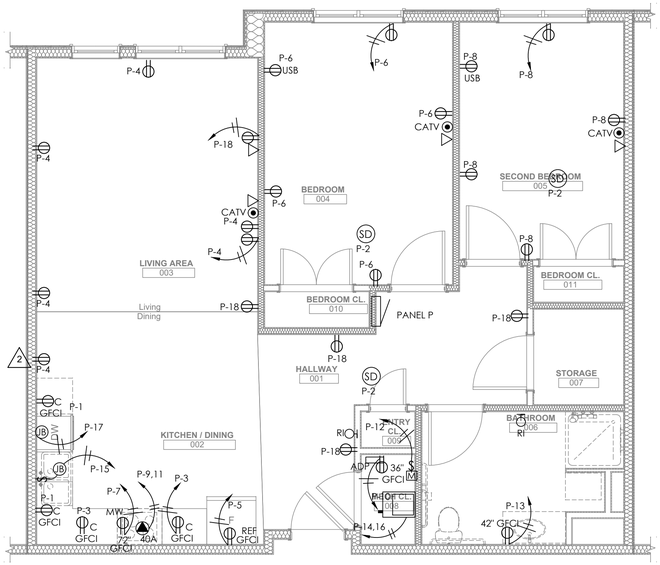




3 E205

PARTIAL UNIT PLAN - TYPE 2B SHOWER TYPE

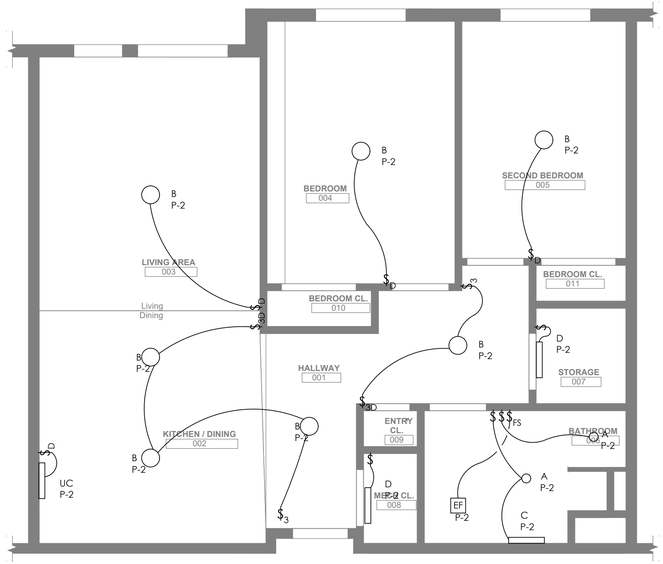
1/4" = 1' 0"



2 E205

ENLARGED UNIT PLAN - TYPE 2CS

1/4" = 1' 0"



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Electrical
Enlarged Unit Plans

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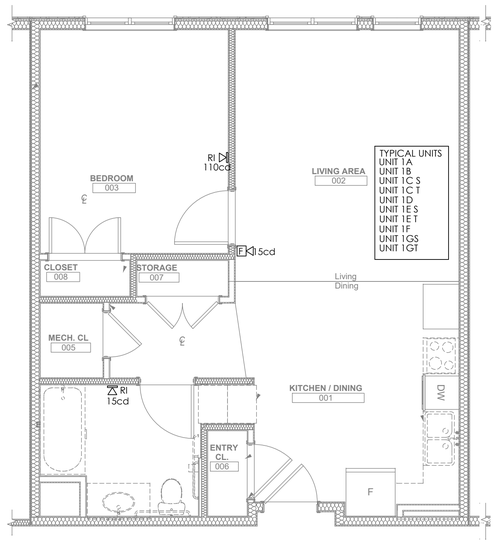
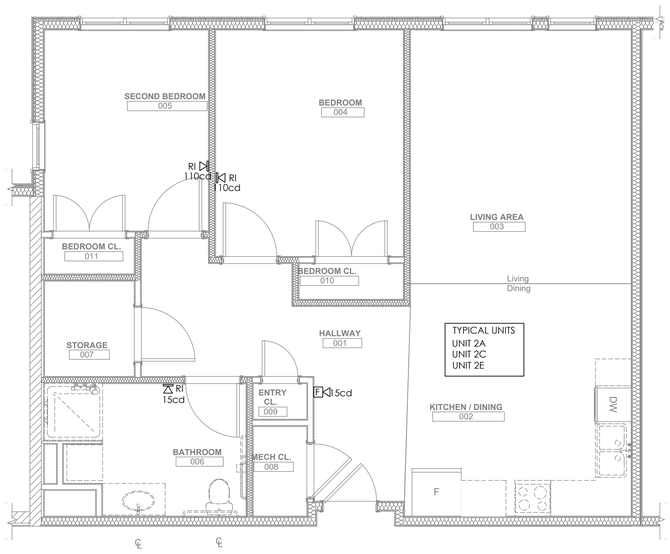


1 FA200

ENLARGED TYPICAL UNIT PLAN - TYPE 1

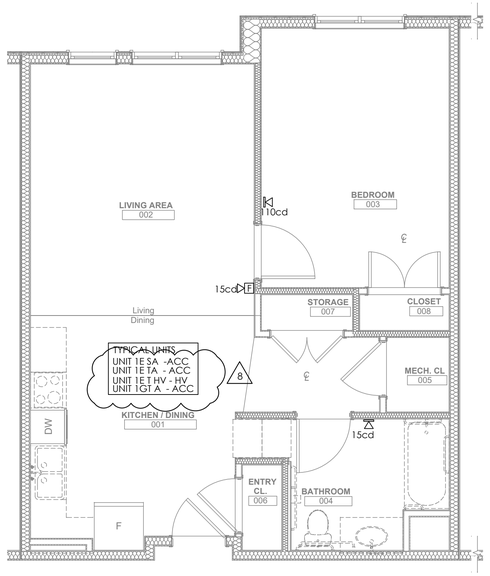
1/4" = 1' 0"



3 FA200

ENLARGED TYPICAL UNIT PLAN - TYPE 2

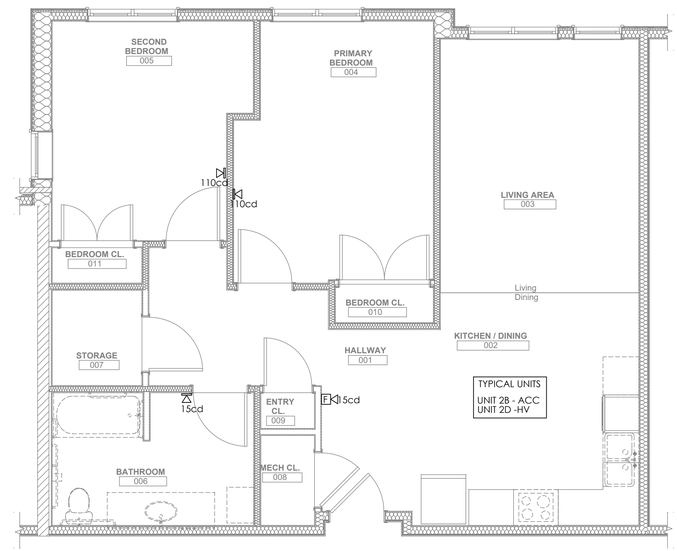
1/4" = 1' 0"



2 FA200

ENLARGED TYPICAL UNIT PLAN - TYPE 1 ACC/HV

1/4" = 1' 0"



4 FA200

ENLARGED TYPICAL UNIT PLAN - TYPE 2 ACC/HV

1/4" = 1' 0"

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drawing title

Fire Alarm
Enlarged Unit Plans

scale	As Noted
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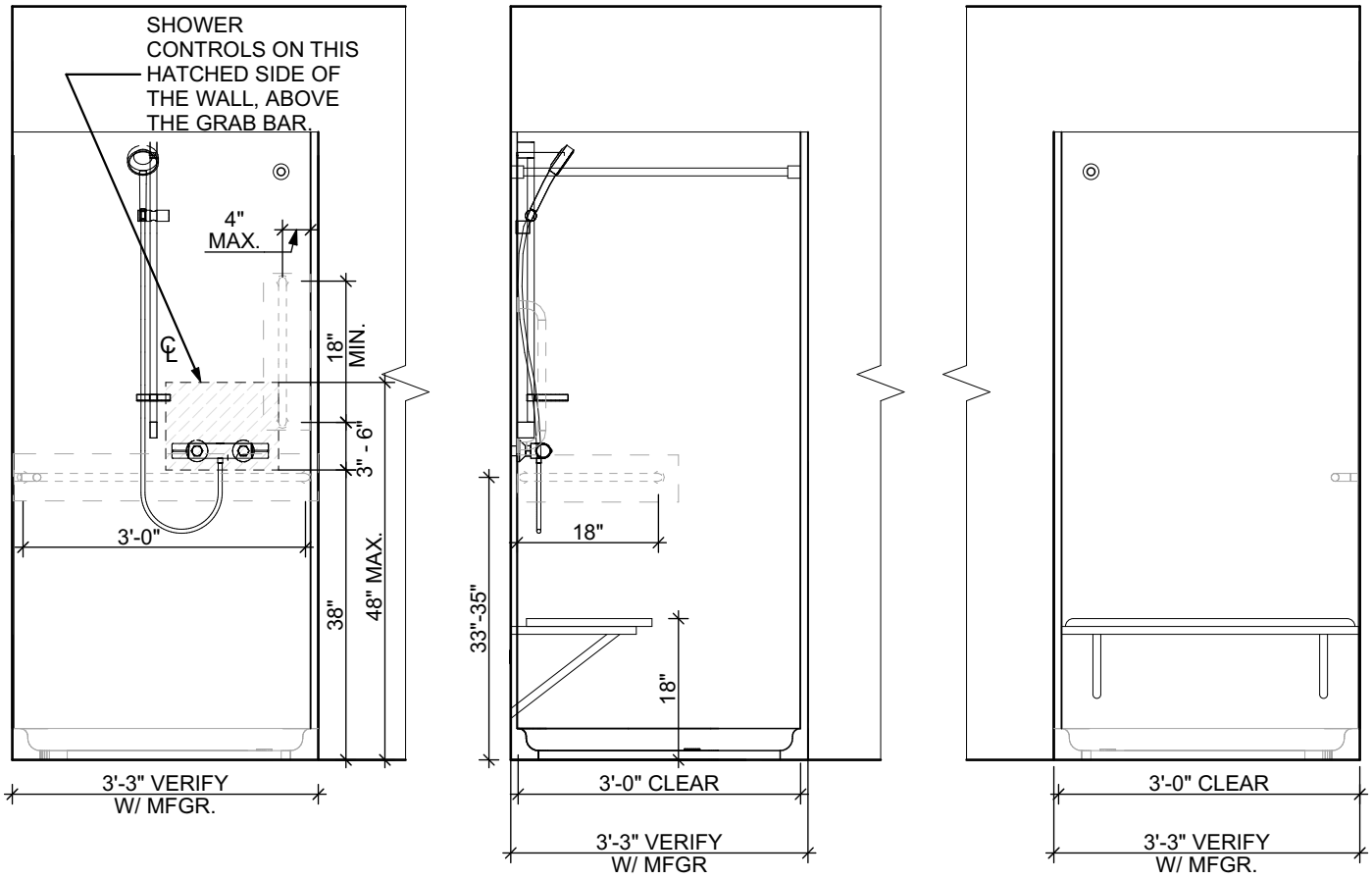
FA200

Project #2040

ALL DIMENSIONS ARE FINISH DIMENSIONS.
DIMENSIONS ARE TAKEN FROM CENTERLINE OF GRAB BARS.

FOR TYPE-A UNITS: PROVIDE GRAB BARS WITH IN-WALL BLOCKING.

FOR TYPE-B UNITS: PROVIDE IN-WALL BLOCKING FOR FUTURE GRAB BARS.



1 TRANSFER-TYPE SHOWER ELEVATIONS

SCALE: 1/2" = 1'-0"

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

ADDENDA #2

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219
Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

TRANSFER-TYPE SHOWER ELEVATIONS

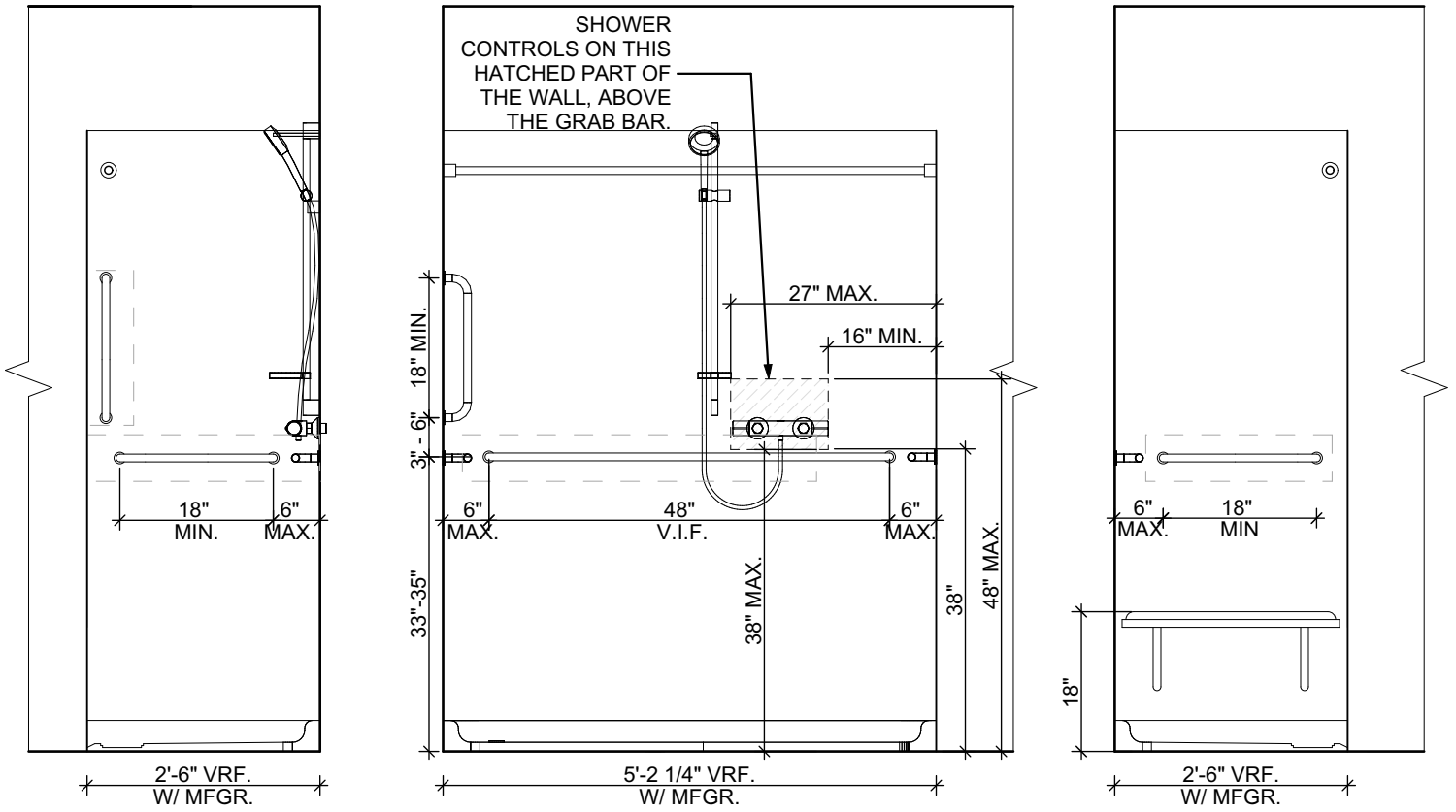
scale	Sheet No.
As Noted	SD1.1
date: April 22, 2022	
no. 1 / of. 3	

Project #2040

ALL DIMENSIONS ARE FINISH DIMENSIONS.
DIMENSIONS ARE TAKEN FROM CENTERLINE OF GRAB BARS.

FOR TYPE-A UNITS: PROVIDE GRAB BARS WITH IN-WALL BLOCKING.

FOR TYPE-B UNITS: PROVIDE IN-WALL BLOCKING FOR FUTURE GRAB BARS.



1 ROLL-IN SHOWER ELEVATIONS

SCALE: 1/2" = 1'-0"

Fukui Architects Pc
205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

seal

ADDENDA #2

general notes

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revisions

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200 Ross Street
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Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

ROLL-IN SHOWER ELEVATIONS

scale	Sheet No.
As Noted	SD1.2
date: April 22, 2022	
no. 2 / of. 3	

Project #2040

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205 Ross Street
Pittsburgh, Pennsylvania 15219
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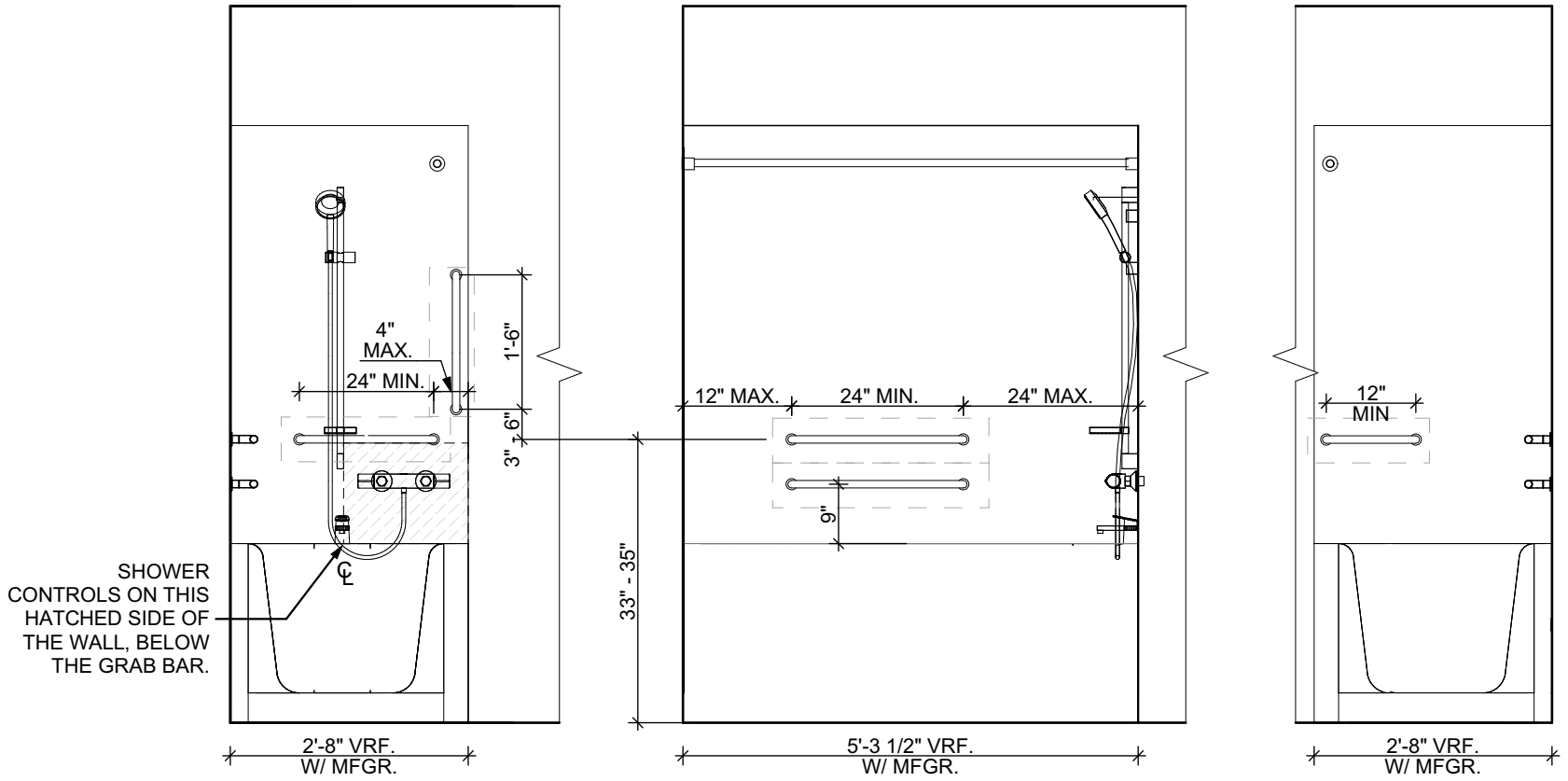
ALL DIMENSIONS ARE FINISH DIMENSIONS.
DIMENSIONS ARE TAKEN FROM CENTERLINE OF GRAB BARS.

FOR TYPE-A UNITS: PROVIDE GRAB BARS WITH IN-WALL BLOCKING.

FOR TYPE-B UNITS: PROVIDE IN-WALL BLOCKING FOR FUTURE GRAB BARS.



1 BATHTUB ELEVATIONS

SCALE: 1/2" = 1'-0"

seal

ADDENDA #2

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
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revisions

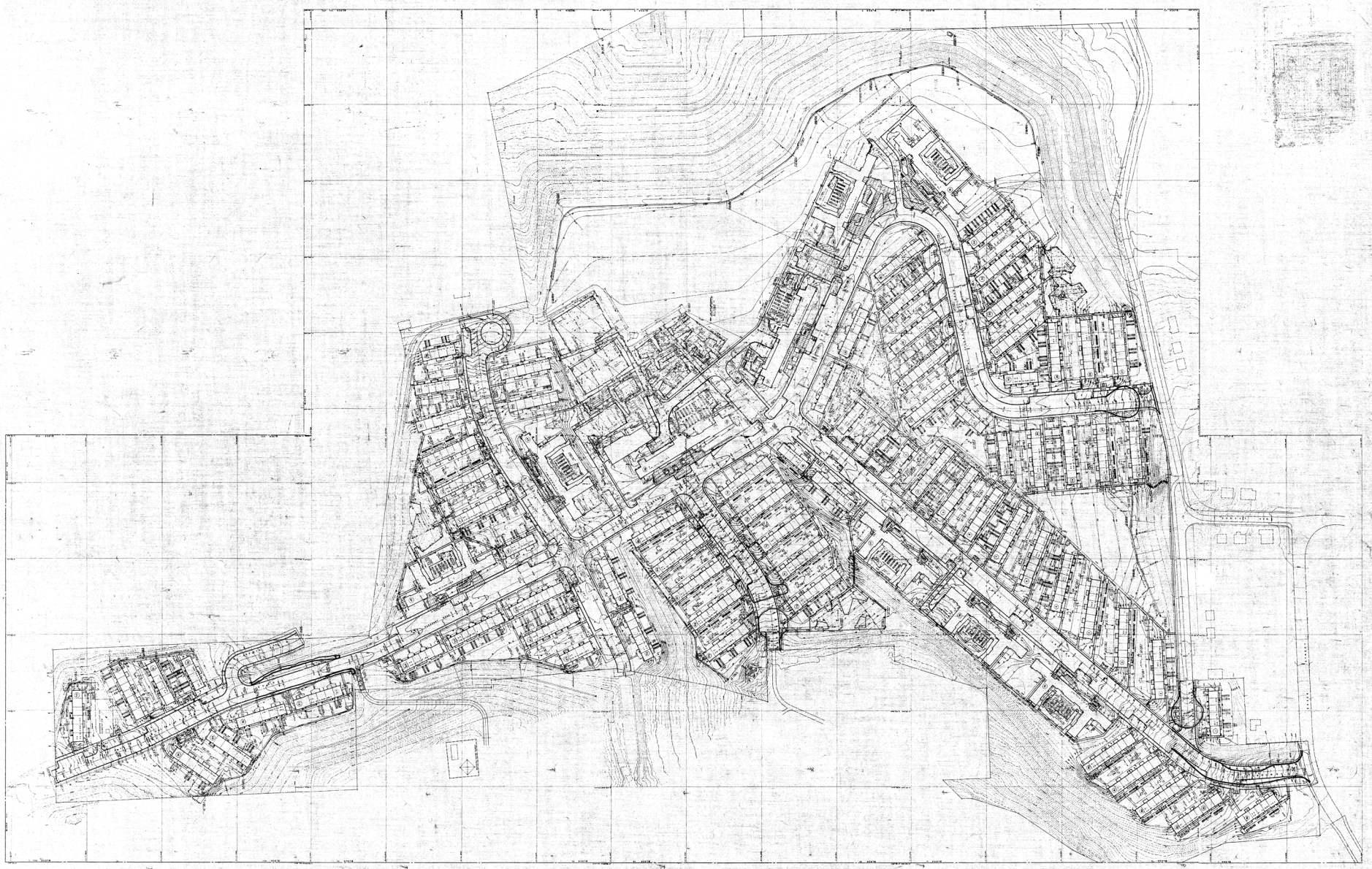
project title

Owner:
HACP
200 Ross Street
Pittsburgh,PA,15219
Client:
Allies & Ross Management and Development Corporation (ARMDC)
200 Ross Street
Pittsburgh, PA 15219
Project Location:
Northview Heights Midrise
246 Penfort Street
Pittsburgh, PA 15214

drawing title

BATHTUB ELEVATIONS

scale: As Noted	Sheet No. SD1.3
date: April 22, 2022	
no. 3 / of. 3	Project #2040



HOUSING AUTHORITY OF THE CITY OF PITTSBURGH

HAROLD F. BURNWORTH, Ch. ALFRED L. TRONZO, Admin.
WILLIAM SCHLENKE, Tech. Dir.

NORTH VIEW HEIGHTS • PROJECT • PA 1-9

DATE
REVISIONS

MITCHELL, RITCHEY AND DOUDEN
ARCHITECTS
JOHN SIMONDS
LANDSCAPE ARCHITECT

DRAWING TITLE AND SCALE

MASTER DEVELOPED SITE PLAN
SCALE 1" = 100'-0

SHEET NO.
1-105

HOUSING AUTHORITY OF THE CITY OF PITTSBURGH

HAROLD F. BURNWORTH, Ch. ALFRED L. TRONZO, Admin.
WILLIAM SCHLENKE, Tech. Dir.

NORTH VIEW HEIGHTS • PROJECT • PA 1-9

DATE
REVISIONS

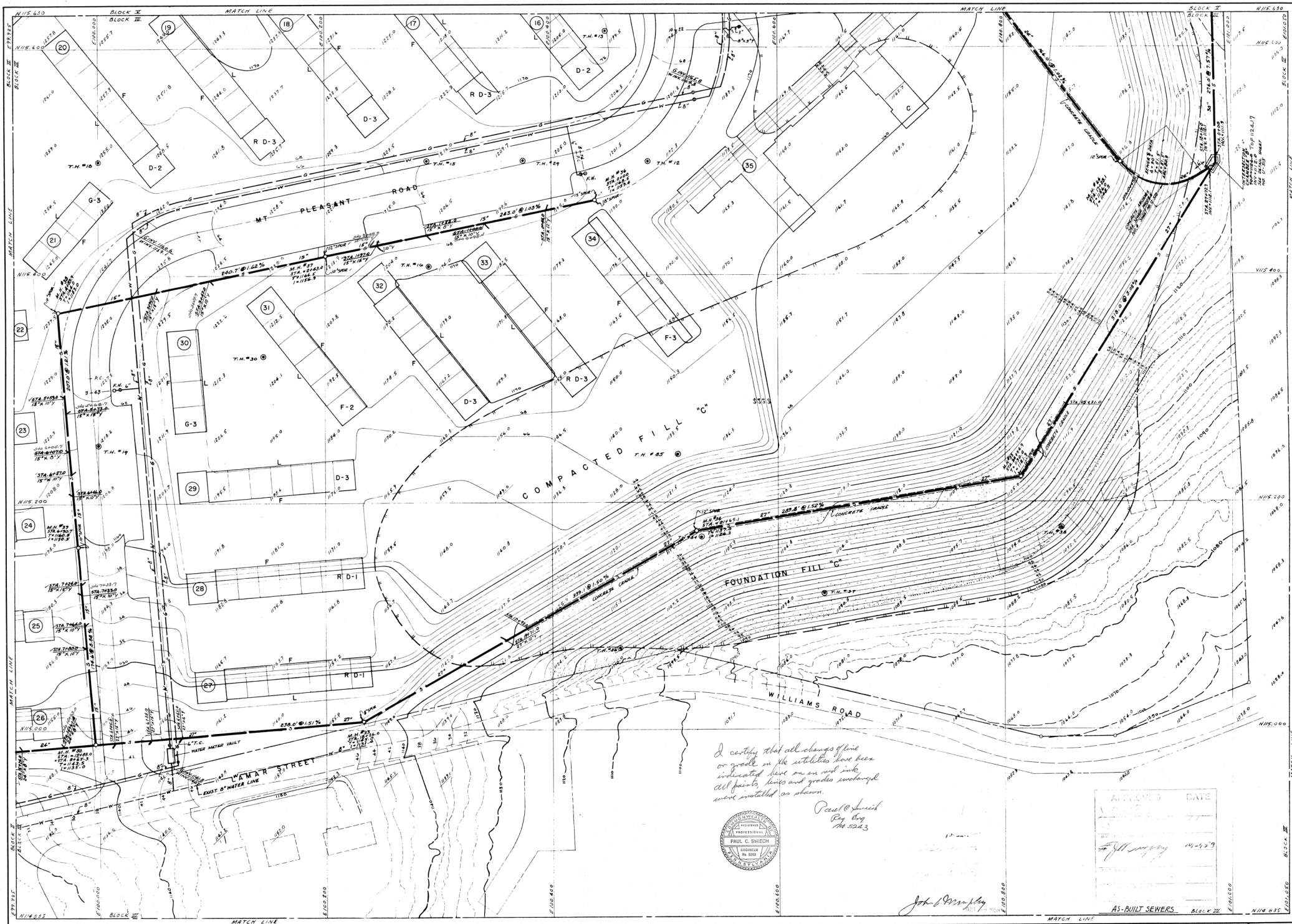
MITCHELL, RITCHEY AND DOUDEN
ARCHITECTS

JOHN SIMONDS
LANDSCAPE ARCHITECT

DRAWING TITLE AND SCALE

DEVELOPED BLOCK PLAN II
SCALE: 1" = 30'-0"

SHEET NO.
1-107



I certify that all changes of line or grade in the utilities have been indicated hereon in red ink. All points, lines and grades unchanged were installed as shown.

Paul C. Swiech
Reg. Eng.
No. 5243

REGISTERED PROFESSIONAL ENGINEER
PAUL C. SWIECH
No. 5243

John L. Murphy

APPROVED	DATE
	12-4-59

HOUSING AUTHORITY OF THE CITY OF PITTSBURGH

HAROLD F. BURNWORTH, Ch. ALFRED L. TRONZO, Admin.
WILLIAM SCHLENKE, Tech. Dir.

NORTH VIEW HEIGHTS • PROJECT • PA 1-9

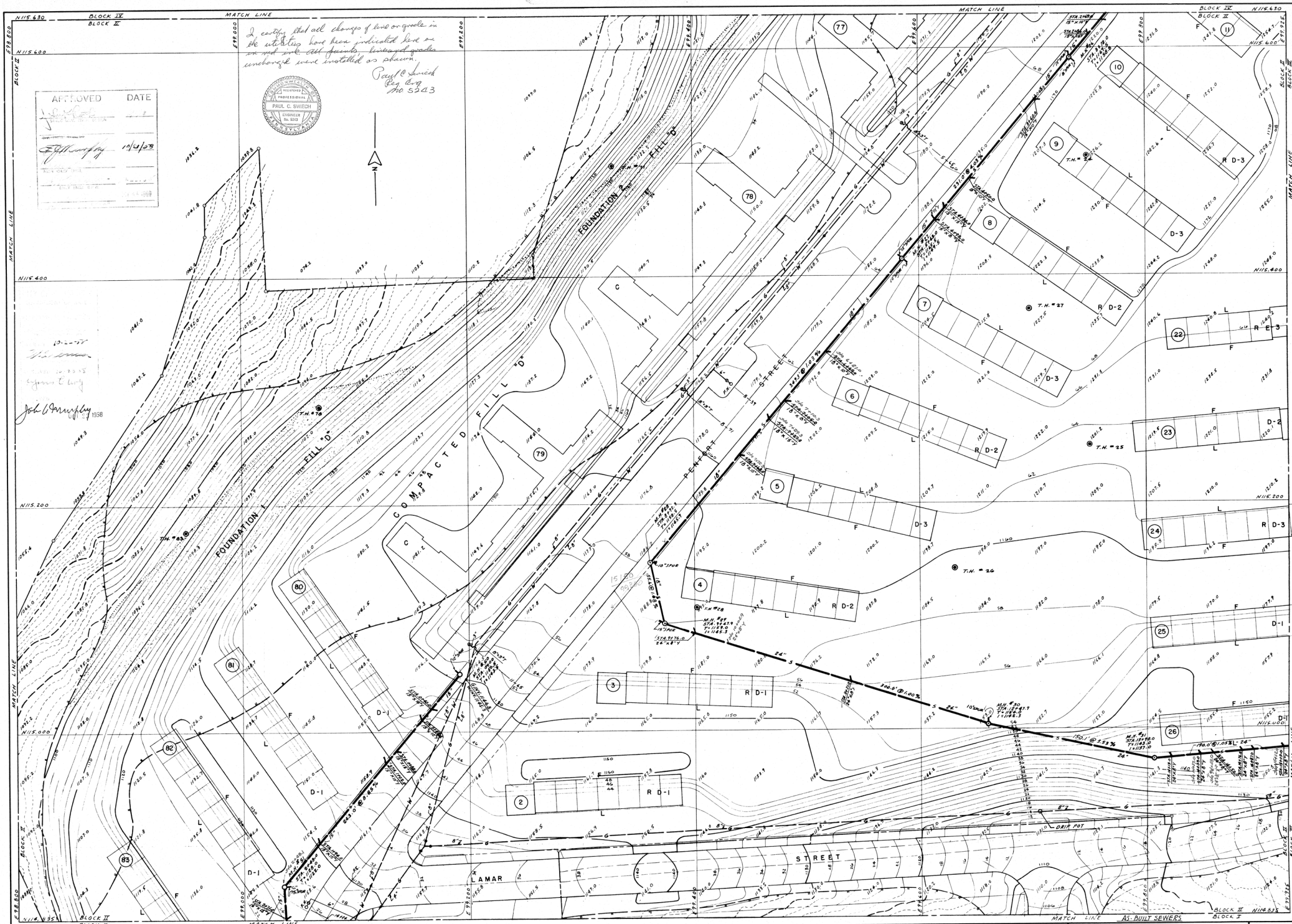
DATE REVISIONS

MITCHELL, RITCHEY AND DOUDEN
ARCHITECTS
JOHN SIMONDS
LANDSCAPE ARCHITECT

DRAWING TITLE AND SCALE
SEWER, GAS & WATER
SITE BLOCK III
SCALE: 1" = 30'

SHEET NO. U-505

DATE: DEC. 30, 19



HOUSING AUTHORITY OF THE CITY OF PITTSBURGH HAROLD F. BURNWORTH, Ch. ALFRED L. TRONZO, Admin. WILLIAM SCHLENKE, Tech. Dir.	NORTH VIEW HEIGHTS • PROJECT • PA 1-9	DATE REVISIONS	MITCHELL, RITCHEY AND DOUDEN ARCHITECTS JOHN SIMONDS LANDSCAPE ARCHITECT	DRAWING TITLE AND SCALE SEWER, GAS & WATER SITE BLOCK II SCALE: 1" = 30'

SHEET NO. U-504

DATE: DEC. 30, 19

DOCUMENT 00 31 32 - GEOTECHNICAL DATA

1.1 GEOTECHNICAL DATA

A. This Document with its referenced attachments is part of the Procurement and Contracting Requirements for Project. They provide Owner's information for Bidders' convenience and are intended to supplement rather than serve in lieu of Bidders' own investigations. They are made available for Bidders' convenience and information. This Document and its attachments are not part of the Contract Documents.

B. Because subsurface conditions indicated by the soil borings are a sampling in relation to the entire construction area, and for other reasons, the Owner, the Architect, the Architect's consultants, and the firm reporting the subsurface conditions do not warranty the conditions below the depths of the borings or that the strata logged from the borings are necessarily typical of the entire site. Any party using the information described in the soil borings and geotechnical report shall accept full responsibility for its use.

C. Soil-boring data for Project, obtained by Construction Engineering Consultants, Inc. , dated March 31, 2022 , is available for viewing as appended to this Document.

D. A geotechnical investigation report for Project, prepared by Construction Engineering Consultants, Inc. , dated March 31, 2022 , is available for viewing as appended to this Document.

1. The opinions expressed in this report are those of a geotechnical engineer and represent interpretations of subsoil conditions, tests, and results of analyses conducted by a geotechnical engineer. Owner is not responsible for interpretations or conclusions drawn from the data.
2. Any party using information described in the geotechnical report shall make additional test borings and conduct other exploratory operations that may be required to determine the character of subsurface materials that may be encountered.

E. Related Requirements:

1. Document 002113 "Instructions to Bidders" for the Bidder's responsibilities for examination of Project site and existing conditions.
2. Document 003119 "Existing Condition Information" for information about existing conditions that is made available to bidders.

END OF DOCUMENT 00 31 32

ARTUSO
CONSTRUCTION
ENGINEERING
CONSULTANTS

SUBSURFACE INVESTIGATION REPORT

PROPOSED NORTHVIEW HEIGHTS MIDRISE
PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA

Prepared For:

Housing Authority of the City of Pittsburgh
c/o Fukui Architects
205 Ross Street – Floor 2
Pittsburgh, PA 15219

J-16633

CEC 174 558

March 31, 2022

2018 WAVERLY STREET
PITTSBURGH, PA 15218-2402
(412) 351-6465
CECTesting.com
EMAIL: lab@cectesting.com

INTRODUCTION

Authorization

This investigation and subsequent report has been performed in accordance with the cost estimate submitted to Mr. Kento Ohmori of Fukui Architects on December 23, 2021. The approval of this cost estimate and the authority to proceed was given by The Housing Authority of the City of Pittsburgh.

Purpose and Scope of Work

The purpose of this investigation was to determine the stratigraphy and pertinent physical properties of the soils, rock and groundwater conditions which underlie the proposed new Northview Heights Midrise Apartment building in the City of Pittsburgh, Pennsylvania. This information was used to provide recommendations for the foundation design as well as site development.

The scope of the work included visual site inspection, subsurface exploration, laboratory soils testing and engineering analysis. The subsurface exploration was comprised of drilling four (4) test borings. Samples obtained during the drilling of the test borings were used in laboratory tests in order to estimate soil parameters such as shear strength, compressibility and permeability. The information gathered from the field and laboratory tests was used to perform bearing capacity and settlement analysis under the proposed foundation system. Four (4) infiltration test borings were also drilled at proposed stormwater facilities.

Project Description

The proposed development of the site includes the construction of a new four-story structure. The new building has a footprint of 12,106 square feet. Also, included in the project are new paved parking lots and access ways and new stormwater facilities. The site is located at 246 Penfort Street in the Northview Height section of the City of Pittsburgh, Allegheny County, Pennsylvania.

SUBSURFACE INVESTIGATION

Four (4) test borings and four (4) infiltration borings were drilled at the site on March 14, 2022. These locations were staked by Red Swing Group and are shown on the drawing of the site included in Appendix A. They are designated as B-1 through B-8. Test borings B-1 through B-4 were the infiltration borings, and borings B-5 through B-8 were the geotechnical test borings.

The drilling and sampling was done as described below in accordance with test method ASTM D-1586. The test borings were driven through the overburden using continuous helical augers on a track mounted drilling rig. Soil samples were obtained for laboratory testing at three (3) foot center-to-center intervals using a two (2) inch OD split spoon sampler in accordance with ASTM D-1586. The split spoon sampler was first seated for six (6) inches to penetrate any loose soil and then was driven an additional twelve (12) inches with blows from a 140 pound hammer falling thirty (30) inches.

The number of blows required to drive the sampler through each six inch increment was recorded. The number of blows required to penetrate through the final twelve (12) inches is designated as the "Standard Penetration Resistance" or "N value" of the soil strata. The blow counts are included on the drilling logs in Appendix B. When more than fifty (50) blows are required to penetrate six (6) inches, this is termed split spoon sampler "Refusal". All samples obtained using the split spoon sampler were visually classified at the site. The samples were then sealed in glass jars and identified by test boring number and depth of sample in accordance with ASTM D-420.

In borings B-5 and B-7, ten (10) feet of rock was cored after auger refusal was encountered. An NQ-sized, double-tube, rigid type core barrel equipped with a diamond bit was used to cut the rock. A two (2) inch diameter, continuous rock core sample is yielded. The amount of rock core recovery and the Rock Quality Designation (RQD) Value for each core run was recorded and is noted on the Test Boring Logs in Appendix B. The RQD for a cored section of rock is defined as the sum of the lengths of individual rock core pieces four (4) inches or longer divided by the total length of the core run. This ratio is expressed as a percentage.

The groundwater level was measured and recorded in each test boring if it was initially encountered and at the completion of the drilling. This information is also noted on the boring logs in Appendix B.

LABORATORY SOIL TESTING

The laboratory testing program for this project included the following tests on selected samples obtained from the test borings:

1. Natural Moisture Content Determination (ASTM D-2216)

2. Soil Classification (ASTM D-2487)

3. Unconfined Compressive Strength of Rock (ASTM D-2938)

The objective for the testing program was to use the information from the tests to relate to the compressibility and shear strength of the soil. A brief description of the tests that were performed is given below:

Moisture Content Tests

Natural moisture content tests were performed on twelve (12) soil samples selected from the various jar samples in order to evaluate the water content of the in-situ soil. This condition is dependent on the amount of precipitation and will vary during the year. The data from these tests are included in Appendix C.

Classification Tests

Gradation and Atterberg Limits tests were performed on two (2) samples. Theses tests are used to classify the soils according to the Unified Soil Classification System. The results are used in empirical formulas to estimate compressibility, permeability and other structural characteristics of the soil. The resulting classification is listed on the classification curves in Appendix C.

Compressive Strength Tests

Five (5) of the intact rock cores were loaded uniaxially in compression until failure occurred. The results from this test may be used to estimate the competency of the rock where a deep foundation is required, or to estimate the difficulty of excavation when rock is encountered close to the surface. The results from this test are included in Appendix C.

ANALYSIS AND DISCUSSION

The site generally slopes downward in a southwestern direction. Site grades vary across the building footprint from about 1154 feet to 1163 feet. Due to previous grading and demolition of former structures, most of the site is grass covered with some remaining trees.

Test borings B-5 through B-8 were drilled within the footprint of the proposed building. Also, several test borings were drilled across the site for a previous investigation completed by SciTek in 2017. All the borings were initiated on the existing vegetated surface where three (3) to four (4) inches of topsoil was encountered. All vegetation, topsoil, and any other unsuitable materials should be removed from the surface. Stripping operations should assume an average of four (4) inches of surface stripping across the site.

All of the test borings encountered fill soils below the surface materials. The fill soils appear to have been placed during original development of the site and/or from backfilling of former structures. The fill soils vary in depth from about two (2) feet at boring B-2 to about twelve (12) feet at boring B-5. The fill is composed of a brown to brownish gray silty clay with varying amounts of various rock fragments. Some former building materials such as brick and concrete were also encountered. At boring B-3, it appears that an intact concrete slab or footing was encountered at the bottom of the fill at a depth of eight (8) feet. The fill has a soft to medium stiff consistency. This is based on a range for cohesive soils of very soft, soft, medium stiff, stiff, very stiff, and hard. The fill was visually observed to be moist at the time of drilling. This is based on a moisture range of dry, damp, moist, wet, sand saturated. Laboratory moisture tests taken within the fill soils ranged from about twelve (12) to thirty-five (35) percent of the total sample weight. The average for the fill samples tested was about twenty-two (22) percent. **Significant drying of the existing fill soils will be required for its use in structural fill materials. Also, any unsuitable materials such as oversized building materials and concrete will have to be removed.**

Residual materials consisting of stiff clay, clayshale, shale, and broken limestone bedrock were encountered below the fill materials. At borings B-1, B-2, and B-6, residual olive gray silty shale was encountered. Split-spoon refusal was encountered in the shale layers at a depth of five (5) feet at B-1 and B-2 and nine and one-half (9.5) feet at B-6. This shale bedrock is considered a limiting zone for infiltration testing purposes. Therefore, at B-1 and B-2 no infiltration testing was performed due to the shallow bedrock layer. These borings were terminated in the shale layer after refusal was encountered. The shale layer was also observed at the surface in the building area just west of boring B-8. This is likely an area that was between the previous structures. The shale layer was damp at the time of drilling. One laboratory moisture test taken at B-1 indicated an in-situ moisture of about ten (10) percent.

At boring B-8, the fill transitions to a residual clayshale that has some interbedded clay layers that extend to a depth of about thirteen (13) feet. The clayshale and clay layers have a stiff to very stiff consistency. They were damp to moist at the time of drilling.

Underlying the clayshale and clay at B-8 and the fill soils at borings B-3, B-4, B-5, and B-7 is a hard layer of broken limestone bedrock. When sampled as soil, the limestone layer has a hard consistency. It produces split-spoon refusal immediately upon penetration into it. Refusal depths in the limestone layer ranged from seven (7) to thirteen (13) feet. All the remaining borings except B-5 and B-7 were terminated in the limestone layer.

In borings B-5 and B-7, ten (10) feet of bedrock was cored after refusal was encountered. The cored sections revealed the limestone to be broken with interbedded clayey seams that were washed away during the coring process. Recovery rates in the limestone layer ranged from fifty-three (53) to eighty-three (83) percent. The limestone layer is underlain by a light to medium gray claystone. The claystone extended to the bottom of both borings. RQD values ranged from zero (0) to sixty (60) percent. Portions of the claystone were blocky, but compressive strength tests revealed the claystone to be a soft bedrock layer. Compressive strengths tests taken on individual claystone cores ranged from 240 to 790 pounds per square inch (psi). One (1) limestone rock core had a compressive strength of 11,710 psi. The limestone bedrock should be considered hard. However, due to its broken nature it will likely excavate as large boulders. Excavations through the limestone layer will be difficult and more intact portions will require special rock removal methods such as hoe rams and rock seams. Excavations into the limestone bedrock are only anticipated for deeper utility line excavations.

No groundwater was encountered during or immediately upon completion of the drilling operations. The water levels recorded at borings B-5 and B-7 were induced during rock coring operations. However, it is possible that zones of trapped water could be encountered in loose, soft zones within the site fill. This is especially possible where the former structures were backfilled.

The finish floor elevation for the new four (4) story structure varies from 1161.1 feet on the southwest end to 1163.0 feet on the northeast end. To obtain these grades, new fill of up to about five (5) feet is required on the southwest end. Only minor fills are anticipated across the center and northeast end of the building. Typical shallow spread and strip footings would then lie in a combination of newly placed fill, previously placed fill, or possibly weathered to intact shale in portions where no former structures were encountered. The existing fill does not appear to have been placed as structural fill due to its soft condition. Therefore, foundations that lie in the soft fill will produce larger than acceptable total and differential settlements. Also, additional settlements would be likely in areas where new fill is placed over the previous fill as would occur in the area at boring B-7. In order to prevent these excessive settlements, the existing fill soils will have to be removed from within the new building footprint as well as five (5) feet beyond the perimeter of the building footprint. The undercut should extend to the underlying stiff clay, clayshale, shale or limestone layers. The undercut areas should then be backfilled with properly compacted fill as outlined in the "SITE WORK AND FILL" section of this report. **The undercut fill materials can be utilized provided they can be dried to acceptable moisture ranges and any unsuitable materials such as large concrete or masonry pieces are removed.** It is likely that a borrow fill source will be needed to complete backfilling operations due to the condition of the existing fill soils. Any borrow fill material should be inspected for its suitability prior to its use onsite. Once the soft fill is removed and backfilled with properly compacted fill, the remining fill to the new subgrade elevation can be placed. The soft fill soils were encountered in all four (4) borings (B-5 through B-8) that were drilled within the building footprint. The soft fill extended to depths of six (6) to twelve (12) feet below the existing surface grade.

Once the undercut and new fill placement is complete; shallow foundations will lie mostly in newly compacted fill or possibly weathered shale in small areas across the building. Footings can then be designed for a maximum soil bearing pressure of three thousand (3000) pounds per square foot (PSF).

It is our opinion that undercutting and recompacting the in-place fill, and using shallow foundations would be the most economical option for the construction of the new building. This scheme would maintain both the total and differential settlements within tolerable limits (1-inch total, ½-inch differential maximum). However, a deep foundation extending to the site bedrock could also be used.

Cast-in-place concrete piers (caissons) could be drilled to earth auger refusal or socketed a minimum of three (3) feet into the claystone bedrock layer. The caissons could be designed for an end bearing pressure of ten (10) tons per square foot (TSF). Wall loads should be supported by grade beams which span the caissons. Caisson bottoms should be clean and relatively dry prior to concrete placement. Also, the top five (5) feet of caisson concrete should be consolidated with a vibrator. **Although this foundation system would eliminate the need for extensive foundation undercuts, some undercutting and stabilization of the existing subgrades will still be required in order to allow for new fill placement and slab-on-grade construction.**

It is likely that soft subgrades will be present across the site. Soft subgrades should be undercut to stiff materials or up to a maximum of two (2) feet. If the subgrade is still yielding at the maximum undercut depth of two (2) feet, a thin layer of AASHTO #1-sized stone should be punched into the soft area until the area stabilizes. It may take several thin lifts of stone to stabilize the area. The backfill to grade may then be made with suitable fill compacted in lifts to the required elevation. Stabilization of soft subgrades is possible in new fill areas as well as cut to grade areas due to the soft fill at the site.

Infiltration testing was to be performed at borings B-1 through B-4. Tests were performed with a double ring infiltrometer according to the PA DEP Manual. Test borings B-1 and B-2 were drilled in area of the proposed tank. The proposed infiltration depth was nine (9) feet at both locations. Limiting zones of shale bedrock were encountered at both locations prior to this depth. At B-1, the bedrock was encountered at a depth of four and one-half (4.5) feet and bedrock was at three and one-half (3.5) feet at boring B-2. Due to the shallow depth of the bedrock, no testing was performed in this area. Infiltration for a tank in this area will likely not be possible due to the shallow bedrock.

Infiltration tests were performed for borings B-3 and B-4 and limiting zones of bedrock were also encountered at these locations. At B-3, bedrock was encountered at a depth of ten (10) feet and what appears to be and intact concrete foundation was encountered at a depth of eight (8) feet. The planned infiltration depth at this location was nine (9) feet. The infiltration test was performed in the fill above the concrete at a depth of seven (7) feet. A stabilized infiltration rate of 1.0 inches per hour was recorded at this depth. The bottom elevation will have to be adjusted in this area in order to utilize this rate. At boring B-4, bedrock was encountered at a depth of seven (7) feet. Therefore, infiltration testing was performed at a depth of five (5) feet. The planned infiltration depth at this location was six (6) feet. Again, the infiltration depth will have to be adjusted due to the bedrock. A stabilized rate of 6.0 inches per hour was achieved at this location. The test was performed in the clay with building debris fill. The amount of interbedded building debris likely influenced the test.

The PADEP manual recommends a safety factor of between 2 and 10 for infiltration rates so this should be considered in the design. The results given above are the actual test results with no factor of safety applied. The infiltration data and web soil survey results are included in Appendix F.

In order to complete grading operations at the site, a fil slope is required in the south end of the site. The fill slope should maintain a slope profile of two (2) horizontal to one (1) vertical. The slope should include a typical keyway bench and drain at the toe of slope and for every ten (10) feet of elevation change. See a typical keyway bench and drain detail in Appendix E. The bench should extend to stiff residual materials or bedrock and any soft fill should be removed from the toe excavation.

A report was obtained from the Pennsylvania Department of Environmental Protection concerning the status of coal mines under the site. A copy of that report is attached in Appendix D. The report indicates the site lies at or near an outcrop of a mined out portion of the Pittsburgh Coal Seam. The test boring data indicates that the coal seam does not exist below the new structure. Therefore, it is likely the building lies beyond the outcrop. Since no mining has occurred below the building, the risk of damage due to mine subsidence is considered non-existent.

RECOMMENDATIONS

SITE WORK AND FILL

1. All proposed construction areas should be stripped of all existing topsoil, vegetation and any other unsuitable materials. Surface stripping should average four (4) inches across the site.

2. **Remove and re-compact all loose fill and soft clay within the building footprint and five (5) feet beyond the perimeter of the structure. Proofroll the undercut with a compactor or loaded tri-axle dump truck. Any yielding areas should be undercut further and recompacted.**

3. Any materials to be used as fill must be approved before placement. **Some of the existing site materials including old building concrete will not be suitable for use as structural fill.** If the subgrade is still yielding at the maximum undercut depth of two (2) feet, a thin layer of AASHTO #1-sized stone should be punched into the soft area until the area stabilizes. It may take several thin lifts of stone to stabilize the area.

4. For filling areas to grade or replacing undercut areas of unsuitable material, each lift thickness should be a maximum of eight (8) inches in the loose state and placed within plus or minus three (3) percent of the optimum moisture content as determined by the Modified Proctor (ASTM D-1557) for cohesive soils.

5. All fill placed using cohesive soils should be compacted to at least 95% of the maximum dry density as determined by the Modified Proctor (ASTM D-1557) or at least 70 percent of the relative density as determined by ASTM D-4253 and D-4254 for cohesionless soils.

6. Adequate site drainage should be maintained during all site work. Any areas where water ponds due to poor drainage must be drained and undercut to stable soil before further fill placement proceeds.

7. Utilize underground drains for any groundwater encountered during the excavation.

8. There is a high amount of moisture in the silt and clay portions of the existing site soils. **Substantial drying time will be required in some of these soils in order to achieve compaction.** Contractors should be aware of the difficulties of placing fill with high moistures. If the site materials cannot be adequately dried, a suitable import material may be needed.

9. Any import fill should be inspected for its suitability prior to its use on site.

BUILDING FOUNDATIONS AND SLABS ON GRADE

1. Support all proposed structures on spread footings for column loads and strip footings for load bearing walls. **See additional comments concerning an alternate deep foundation in the "ANALYSIS AND DISCUSSION" section of this report.**

2. All exterior shallow foundations should be placed forty-two (42) inches below the outside grade for frost protection.

3. Spread and strip footings should be designed with an allowable soil bearing pressure of three thousand (3000) pounds per square foot (PSF) and should bear on stiff silty clay or compacted fill. **All the loose fill and soft clay should be removed from beneath the building footprint and five (5) feet beyond the perimeter of the building. Compacted soil should then be used to replace the undercut.**

4. All footings should contain continuous runs of a single layer of reinforcing in order to act as rigid a manner as possible so that differential settlement stresses are resisted. The maximum slope for stepping any footings should be 1:1 (horizontal:vertical).

5. All bearing surfaces should be free of water prior to the placement of concrete. Foundations should be placed as soon after excavation as possible and no concrete should be placed on frozen soil.

6. Support floor slabs on grade using a minimum of four (4) inches of compacted granular fill under slab. Isolation joints should be placed between the slab and walls to minimize differential settlement stresses. The floor slab should be designed using a modulus of subgrade reaction (k) of 100 pounds per cubic inch provided the subgrade passes a proofroll.

7. The granular fill under the floor slab should have a Penn DOT 2A or 2B grading. Compaction to 95% of the minimum dry density as determined by ASTM D 1557 should be achieved prior to slab placement.

8. The following lateral earth pressure coefficients should be used in the design of below grade or retaining walls:

At Rest (wall restrained at top):	0.53
Active (normal retaining wall):	0.36

GROUNDWATER

1. The groundwater level will fluctuate depending upon the area of the site and time of year. Any water encountered during excavation should be removed prior to filling operations. It does not appear that the groundwater table will be encountered during the planned sitework.

2. Some zones of "perched" water may be encountered in loose portions of the existing site fill. This water must be removed prior to sitework of concrete placement.

INSPECTION

1. During site preparation, a qualified soil inspector under the direction of one of our registered geotechnical engineers should be present at all times in order to identify unsuitable materials, monitor fill placement and inspect foundation bearings. It is highly recommended that our firm perform these inspections since we have the visual experience with existing soil types and would be able to discern any variations accurately. It is only with our inspection that we can assure that our recommendations are followed.

2. All fill densities should be tested using a nuclear densometer or other approved method at the rate of one test for every 3000 square feet of material placed on each lift.

SEISMIC SITE CLASS

1. The building should be designed for a Seismic Site Class **'C'** as defined in section 1613 of the 2015 International Building Code. See additional Seismic Parameters in Appendix G.

EXCAVATIONS

1. The limestone bedrock should be considered hard. However, due to its broken nature it will likely excavate as large boulders. Excavations through the limestone layer will be difficult and more intact portions will require special rock removal methods such as hoe rams and rock seams. Excavations into the limestone bedrock are only anticipated for deeper utility line excavations.

SLOPES

1. All cut or fill slopes should be constructed at a maximum slope angle of 2 horizontal to 1 vertical.

2. Keyway benches for toes of fill slopes should have a minimum width of ten (10) feet and should extend to competent, residual materials or bedrock. Keyway benching details are included in Appendix E. These should be installed for every ten (10) feet of vertical fill from original grade.

3. Excavate all soil strata at a maximum angle of two horizontal to one vertical (2H:1V). Vegetate all soil slopes as soon as possible after construction to avoid erosion.

LIMITATIONS

1. The recommendations listed above are based on the information currently available about the proposed structures and site development and are applicable only to the client for which it was performed. Misinterpretation may occur by anyone other than whom the report was prepared. The report should only be presented in its entirety. Changes in the planned construction including size elevation, location or configuration of structures and site improvements may result in the recommendations becoming invalid.

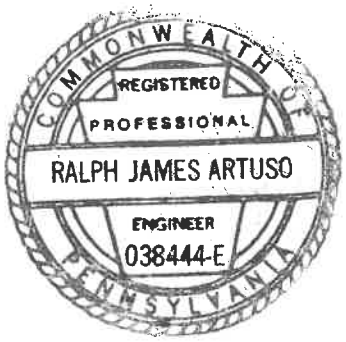
2. This report assumes that the actual subsurface conditions do not differ significantly from the conditions observed during the test borings. Actual subsurface conditions can only be fully discerned once earthwork has begun. If during construction, it is determined that there are significant variations from the test borings, the recommendations listed above may have to be changed.

3. All of the above listed recommendations, specifications and comments contained in this report have been prepared in accordance with the generally accepted professional engineering practice of soil mechanics and foundation engineering. The geotechnical information included in this report are professional judgements based upon extrapolated data from specific locations on the site. Actual conditions between these locations may change more gradually or abruptly than the report indicates or could contain conditions not found at the test locations. No other warranties are expressed or implied. Additionally, no environmental aspects of the site were within the scope of this investigation.

Respectfully Submitted,

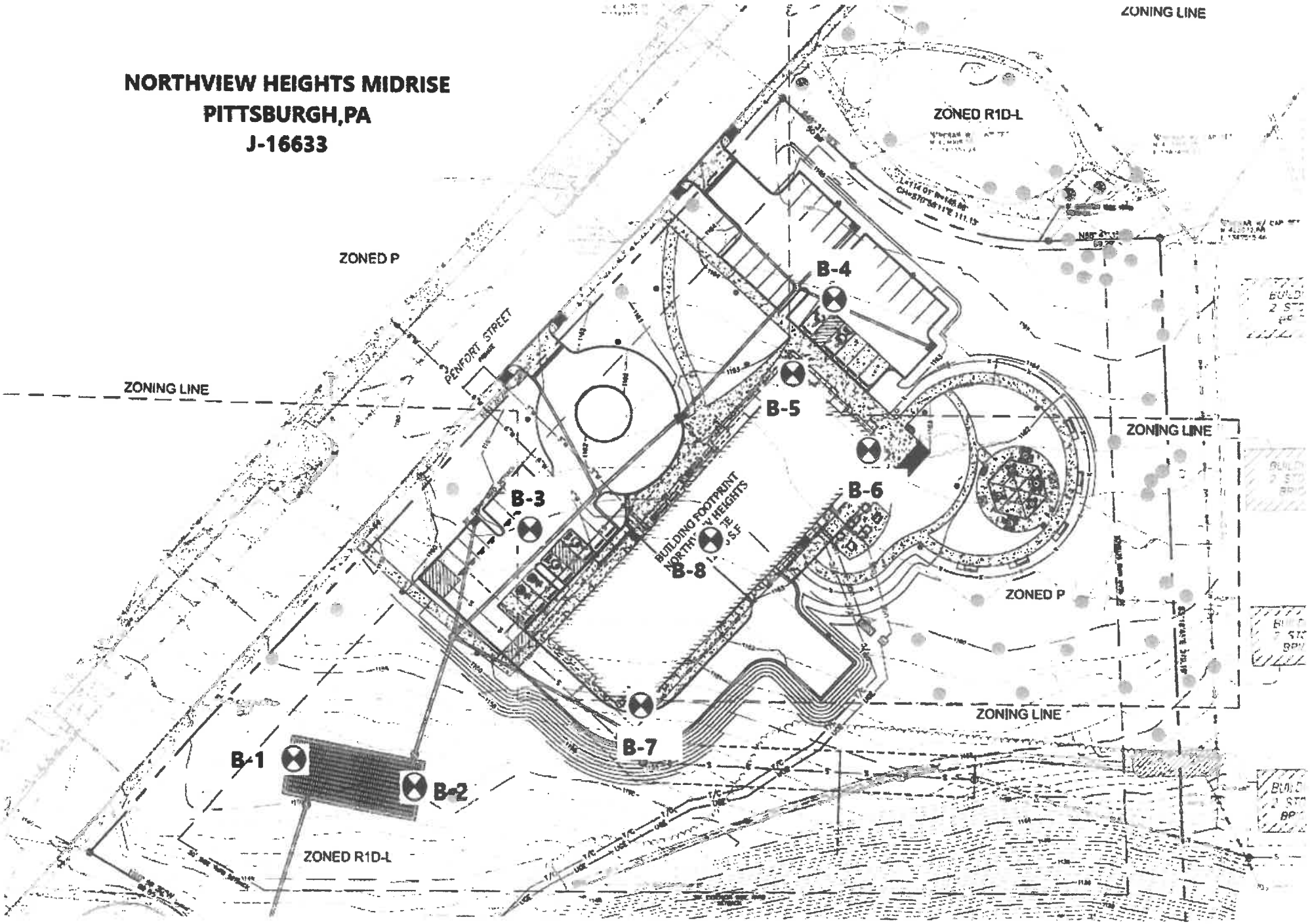
Construction Engineering Consultants, Inc.

Ralph Artuso, P.E.
President



APPENDIX A

SITE DRAWING SHOWING LOCATION OF THE TEST BORINGS


NORTHVIEW HEIGHTS MIDRISE
PITTSBURGH,PA
J-16633
ZONING LINE
ZONED R1D-L
ZONED P
PENFORT STREET
ZONING LINE
B-4
B-5
B-6
B-3
B-8
BUILDING FOOTPRINT
NORTHVIEW HEIGHTS
ZONED P
ZONING LINE
ZONING LINE
B-7
B-1
B-2
ZONED R1D-L

APPENDIX B

TEST BORING LOGS

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 Waverly Street
Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-1

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1150.3
WATER LEVELS:
AT COMPLETION: DRY
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.
SHEET 1 OF 1

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1150.3'	0.0'			TOPSOIL						
1150.2'	0.1'			FILL: Brown silty clay with shale; medium stiff, damp						
					7	S-1	4-4-6	0.0'-1.5'		
		1								
		2			0	S-2	5-5-6	1.5'-3.0'		
		3								
					67	S-3	5-4-16	3.0'-4.5'		
1146.3'	4.0'	4		SILTY SHALE: Olive brown to grey, weathered, stiff to hard, damp						-Limiting Zone @ 4.5'
					100	S-4	31-50/0.2	4.5'-5.2'		
		5								
1145.1'	5.2'									Bottom of Boring @ 5.2'
		6								

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 Waverly Street
Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-2

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1150.1
WATER LEVELS:
AT COMPLETION: DRY
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.
SHEET 1 OF 1

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1150.1'	0.0'			TOPSOIL						
1149.8'	0.3'			FILL: Brown silty clay with shale; medium stiff, moist	40	S-1	4-8-6	0.0'-1.5'		
1148.1'	2.0'			SILTY CLAY: Light brown, stiff, moist	67	S-2	4-8-10	1.5'-3.0'		
1146.6'	3.5'			SILTY SHALE: Brown to grey, weathered, stiff to hard, damp	73	S-3	3-20-31	3.0'-4.5'		-Limiting Zone @ 3.5'
					63	S-4	42-50/0.3	4.5'-5.3'		
1144.8'	5.3'									Bottom of Boring @ 5.3'

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
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Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-3

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1159.5
WATER LEVELS:
AT COMPLETION: DRY
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1159.5'	0.0'			TOPSOIL						
1159.2'	0.3'			FILL: Brown clay with shale, brick and concrete; loose to dense, moist	67	S-1	2-2-9	0.0'-1.5'		
		1.75			67	S-2	10-20-10	1.5'-3.0'		
		3.5			67	S-3	10-9-5	3.0'-4.5'		
		5.25			80	S-4	5-3-2	4.5'-6.0'		
		7			67	S-5	3-2-4	6.0'-7.5'		-Infiltration Test @ 7.0'
					57	S-6	13-50/0.2	7.5'-8.2'		
1151.5'	8.0'			CONCRETE SLAB / FOOTING						
		8.75								
1150.5'	9.0'			LIMESTONE: Grey with interbedded clay seams; soft to hard, moist	100	S-7	5-2-50/0.4	9.0'-10.4'		
1149.1'	10.4'	10.5								Bottom of Boring @ 10.4'

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 Waverly Street
Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-4

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1164.0
WATER LEVELS:
AT COMPLETION: DRY
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1164.0'	0.0'			TOPSOIL						
1163.7'	0.3'			FILL: Brown silty clay w/ shale, brick; trace concrete; soft to medium stiff, moist	100	S-1	3-4-6	0.0'-1.5'		
	1.25				100	S-2	3-5-6	1.5'-3.0'		
	2.5									
	3.75				100	S-3	8-4-3	3.0'-4.5'		
	5				100	S-4	3-3-3	4.5'-6.0'		-Infiltration Test @ 5.0'
	6.25									
1157.5'	6.5'			LIMESTONE: Grey, hard, dry	14	S-5	2-20-50/ 0.4	6.0'-7.4'		
1156.6'	7.4'									Bottom of Boring @ 7.4'
	7.5									

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 Waverly Street
Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-5

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1162.6
WATER LEVELS:
AT COMPLETION: 12.2
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.
SHEET 1 OF 1

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1162.6'	0.0'			TOPSOIL						
1162.3'	0.3'			FILL: Brown silty clay w/ shale and brick, soft, moist	53	S-1	2-2-5	0.0'-1.5'		
		4			13	S-2	2-2-2	3.0'-4.5'		
					20	S-3	2-3-2	6.0'-7.5'		
		8			67	S-4	2-3-2	9.0'-10.5'		
		12								
1150.6	12.0'			LIMESTONE: Brown some clay, stiff to hard, damp	100	S-5	20-14-50/ 0.3	12.0'-13.3'		
1149.3'	13.3'			LIMESTONE: Grey w/ thinly bedded clay seams, blocky, hard	53	R-1		13.3'-16.3'	37	-Begin Rock Coring @ 13.3'
		16								
1145.1'	17.5'			CLAYSTONE: Light to medium grey, broken, soft	100	R-2		16.3'-21.3'	42	
		20			100	R-3		21.3'-23.3'	60	
1139.3'	23.3'									Bottom of Boring @ 23.3'
		24								

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2018 Waverly Street
Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-6

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1161.9
WATER LEVELS:
AT COMPLETION: DRY
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.
SHEET 1 OF 1

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1161.9'	0.0'			TOPSOIL						
1161.6'	0.3'			FILL: Brown clay with shale, trace brick and concrete; soft, moist	100	S-1	2-2-4	0.0'-1.5'		
	1.5									
	3				1000	S-2	3-2-9	3.0'-4.5'		
	4.5									
	6				67	S-3	5-6-6	6.0'-7.5'		
	7.5									
	9									
1152.9'	9.0'			SILTY SHALE: Light grey, weathered, very stiff to hard, damp	98	S-4	15-50/0.3	9.0'-9.8'		
1152.1'	9.8'									Bottom of Boring @ 9.8'

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Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-7

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1153.9
WATER LEVELS:
AT COMPLETION: 9.9
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1153.9'	0.0'			TOPSOIL						
1153.4'	0.5'			FILL: Brown silty clay with shale, soft to medium stiff, moist	100	S-1	2-2-4	0.0'-1.5'		
		3			67	S-2	10-7-6	3.0'-4.5'		
		6			67	S-3	2-2-6	6.0'-7.5'		
		9								
1144.9'	9.0'			LIMESTONE: Grey with trace clay; hard, dry	100	S-4	50/0.3	9.0'-9.3'		-Begin Rock Coring @ 9.3'
1144.6'	9.3'			LIMESTONE: Grey, broken, hard						
1143.9	10.0'			CLAYSTONE: Light to dark grey, broken, soft to medium hard	83	R-1		9.3'-12.3'	33	
		12								
		15			100	R-2		12.3'-17.3'	20.0	
		18			100	R-3		17.3'-19.3'	0	
1134.6'	19.3'									Bottom of Boring @ 19.3'

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 Waverly Street
Pittsburgh, PA 15218
(412) 351-6465

TEST BORING LOG

BORING NO.: B-8

PROJECT: NORTHVIEW HEIGHTS MIDRISE
LOCATION: PITTSBURGH, PA
DATE STARTED: 3/14/2022
DRILLER: TODD ZILKA
SURFACE ELEVATION: 1159.1
WATER LEVELS:
AT COMPLETION: DRY
AFTER 24 HRS.: BACKFILLED

CLIENT: HOUSING AUTHORITY OF PITTSBURGH
PROJECT NO.: J-16633
DATE COMPLETED: 3/14/2022
LOGGED BY: SEB
LOG TYPE: ENGINEERS
SPOON SIZE: 2" O.D.
HLW. STEM AGR.: 6" O.D.
SHEET 1 OF 1

ELEVATION	DEPTH	LEGEND	SYMBOL	DESCRIPTION OF MATERIAL	RECOVERY (%)	SAMPLE NO.	SPOON BLOWS/6in.	THICKNESS OF SAMPLES	RQD, %	REMARKS
1159.1'	0.0'			TOPSOIL						
1158.8'	0.3'			FILL: Brown silty clay, trace shale and brick; soft, moist to wet	100	S-1	1-2-2	0.0'-1.5'		
		2.5			27	S-2	2-1-1	3.0'-4.5'		
		5								
1153.1'	6.0'			CLAYSHALE: Light brown, silty, weathered, very stiff, damp	100	S-3	18-43-28	6.0'-7.5'		
		7.5								
1151.1'	8.0'			SILTY CLAY: Light brown, trace limestone, medium stiff to stiff, damp to moist	67	S-4	5-9-3	9.0'-10.5'		
		10								
		12.5			100	S-5	6-16-50/ 0.1	12.0'-13.1'		
1146.1'	13.0'			LIMESTONE: Grey, hard, dry						
		15			100	S-6	50/0.3	15.0'-15.3'		
1143.8'	15.3'									Bottom of Boring @ 15.3'

APPENDIX C

LABORATORY TEST RESULTS

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 WAVERLY STREET
PITTSBURGH, PA 15218

REPORT OF: Moisture Content of Soils – ASTM D 2216

CLIENT: Pittsburgh Housing Authority

PROJECT: Northview Heights Midrise **JOB NUMBER:** J-16633

MATERIAL: Soil Borings

TEST RESULTS

SAMPLE NUMBER	SAMPLE LOCATION	DESCRIPTION	SAMPLE CONTENT %
SW-83770	B-1, S-3 3 – 4.5'	Orange to gray brown silty clay with gray shale	10.3
SW-83771	B-2, S-2 1.5 – 2.0	Gray to medium brown silty clay	21.6
SW-83772	B-3, S-3 3 – 4.5'	Olive brown clay with topsoil	35.0
SW-8377	B-4, S-2 1.5 – 3.0'	Gray brown silty clay with orange brown shale and asphalt fragments	11.5
SW-83774	B-5, S-1 0 – 1.5'	Medium brown to brownish gray silty clay with brick and shale fragments	12.0
SW-83775	B-5, S-3 6 – 7.5'	Light to medium brown silty clay	23.2

James Kaclik
Reviewer

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
2018 WAVERLY STREET
PITTSBURGH, PA 15218

REPORT OF: Moisture Content of Soils – ASTM D 2216

CLIENT: Pittsburgh Housing Authority

PROJECT: Northview Heights Midrise **JOB NUMBER:** J-16633

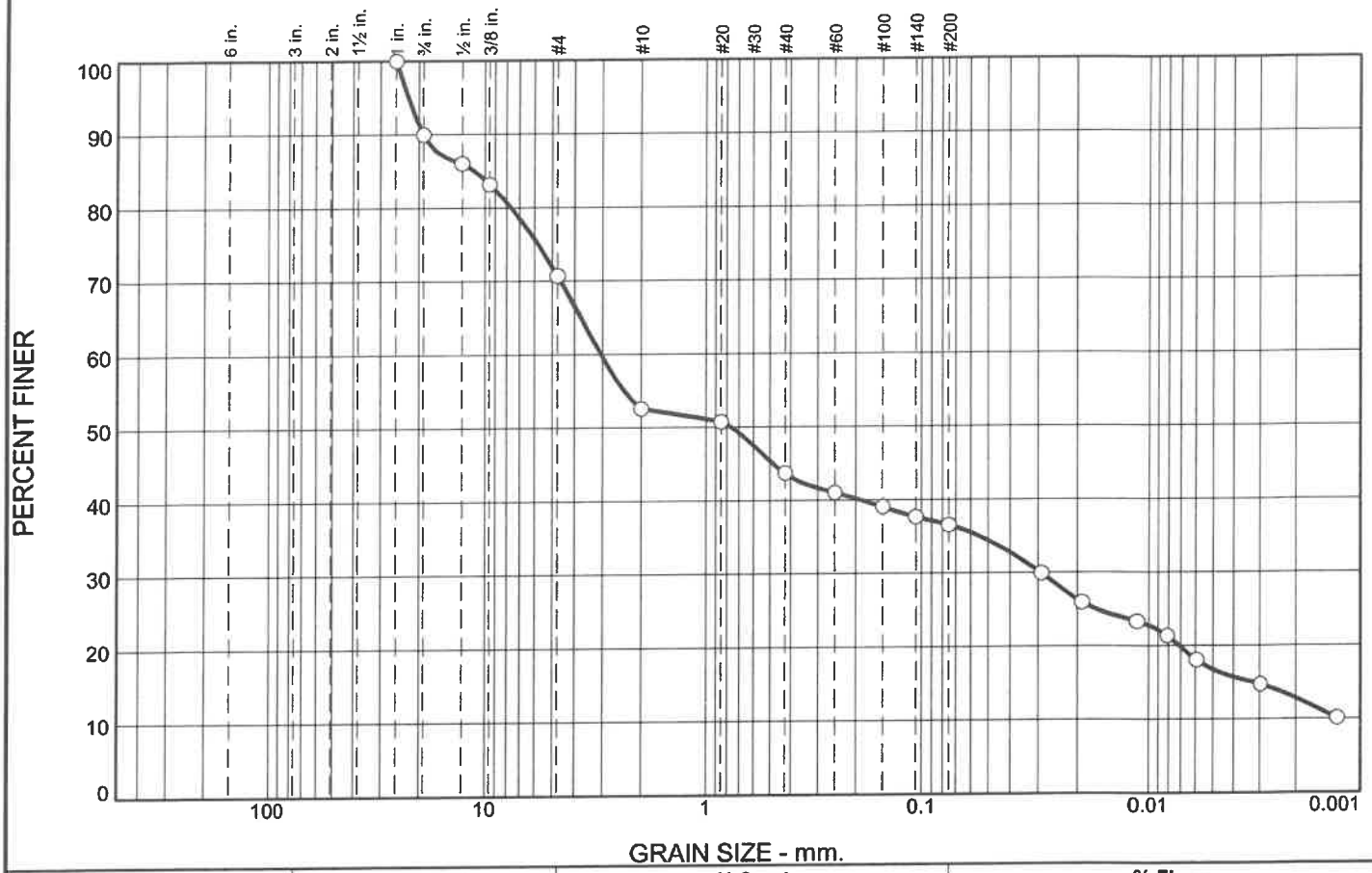
MATERIAL: Soil Borings

TEST RESULTS

SAMPLE NUMBER	SAMPLE LOCATION	DESCRIPTION	SAMPLE CONTENT %
SW-83776	B-6, S-1 0 – 1.5'	Medium to dark brown sandy clay with shale and concrete fragments	15.1
SW-83777	B-6, S-2 3 – 4.5'	Dark brown silty clay with slag	14.3
SW-83778	B-7, S-1 0 – 1.5'	Dark brown silty sandy clay	21.6
SW-83779	B-7, S-3 6 – 7.5'	Dark brown silty clay with organics and trace red brick	33.2
SW-83780	B-8, S-2 3 – 4.5'	Dark brown silty clay with organics and trace stone	30.2
SW-83781	B-8, S-3 6 – 7.5'	Decomposed light gray shale	9.7

James Kaclik
Reviewer

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	10.0	19.3	18.1	8.9	7.2	19.7	16.8

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
1.0	100.0		
0.75	90.0		
0.5	86.0		
0.375	83.2		
#4	70.7		
#10	52.6		
#20	50.8		
#40	43.7		
#60	41.0		
#100	39.1		
#140	37.7		
#200	36.5		

* (no specification provided)

Material Description

BROWNISH-GREY SILTY CLAY W/ SHALE & TRACE COAL

Atterberg Limits

PL= 25 LL= 38 PI= 13

Coefficients

D_{90}= 19.0553 D_{85}= 11.1640 D_{60}= 3.0485
D_{50}= 0.7592 D_{30}= 0.0292 D_{15}= 0.0032
D_{10}= C_u= C_c=

Classification

USCS= SC AASHTO= A-6(1)

Remarks

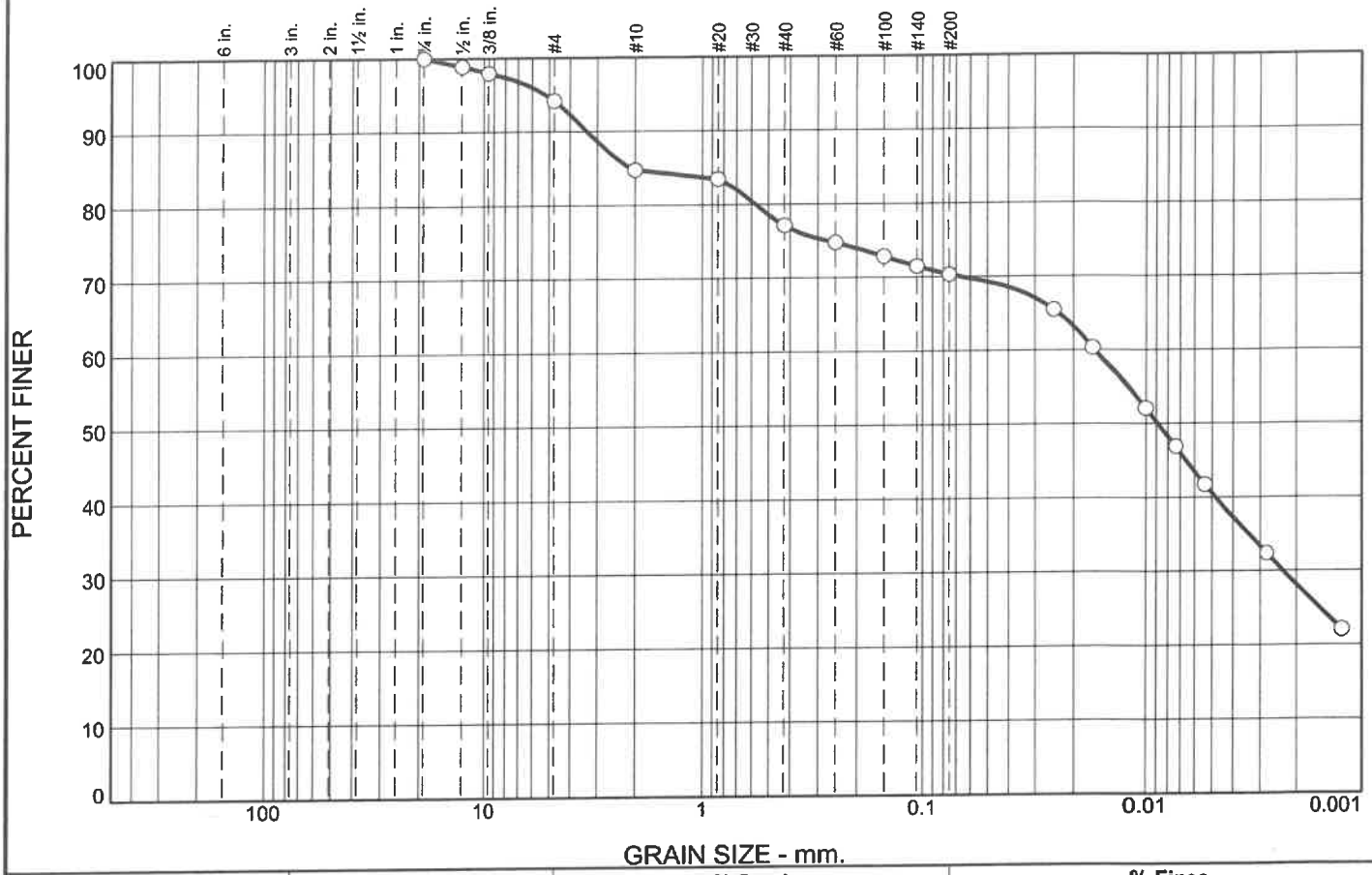
SW-83782

Source of Sample: BORING B-4 **Depth:** 3.0 - 6.0'
Sample Number: S - 3 + 4 **Date:** 3/29/2022

Construction Engineering Consultants, Inc.

Client: HOUSING AUTHORITY OF PITTSBURGH
Project: NORTHVIEW HEIGHTS MIDRISE
Project No: J-16633 **Figure** 01

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	5.8	9.4	7.7	6.7	29.8	40.6

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
0.75	100.0		
0.5	98.9		
0.375	98.0		
#4	94.2		
#10	84.8		
#20	83.5		
#40	77.1		
#60	74.8		
#100	72.9		
#140	71.5		
#200	70.4		

* (no specification provided)

Material Description

LIGHT BROWN SILTY CLAY AND GREY CLAYSHALE W/ TRACE LIMESTONE

Atterberg Limits

PL= 27 LL= 46 PI= 19

Coefficients

D_{90}= 3.3202 D_{85}= 2.0775 D_{60}= 0.0160
D_{50}= 0.0089 D_{30}= 0.0023 D_{15}=
D_{10}= C_u= C_c=

Classification

USCS= CL AASHTO= A-7-6(13)

Remarks

SW-83783

Source of Sample: BORING B-8 **Depth:** 9.0 - 13.1'
Sample Number: S- 4 + 5

Date: 3/29/2022

Construction Engineering Consultants, Inc.

Client: HOUSING AUTHORITY OF PITTSBURGH
Project: NORTHVIEW HEIGHTS MIDRISE

Project No: J-16633 **Figure** 02

CONSTRUCTION ENGINEERING CONSULTANTS, INC.

REPORT OF TESTS OF ROCK CORES

CLIENT: Pittsburgh Housing Authority
PROJECT: Northview Heights Midrise
CORES OBTAINED FROM: TBS
CORES OBTAINED AND IDENTIFIED BY: TBS
DATE CORED: March, 2022

JOB NUMBER: J-16633
DESCRIPTION: 2" Rock Cores
TECHNICIAN: Whisel/Miller
REVIEWER:
DATE TESTED: March 17, 2022

TEST RESULTS

SPEC. ID	LOCATION	SPEC. LGTH. (IN) BEFORE CAP	SPEC. LGTH. (IN) AFTER CAP	SPEC. DIA. (IN)	AREA (IN ^{2})	ORIENTATION OF BORING TO HORIZ. PLANE	L/D	TOTAL LOAD	PSI	CORR. PSI*	TYPE FRACTURE
SW-83784	B-5 @ 13.5'	3.61	3.99	1.98	3.08	Perpendicular	2.00	35695	11710	11710	Columnar
SW-83785	B-5 @ 17.5'	2.63	3.02	1.98	3.08	Perpendicular	1.53	775	255	250	Columnar
SW-83786	B-5 @ 22.5'	2.75	3.12	1.98	3.08	Perpendicular	1.58	1555	510	490	Columnar
SW-83787	B-7 @ 10.1'	2.40	2.82	1.98	3.08	Perpendicular	1.43	760	250	240	Columnar
SW-83788	B-7 @ 16.3'	3.68	4.00	1.98	3.08	Perpendicular	2.00	2405	790	790	Columnar

NOTES: (1) Moisture Condition at time of test: As Received - Air Dry

(2) Test Device I.D. Numbers: Forney L13-322

REMARKS: * PSI Corrected for L/D: As per ASTM D-2938-86

APPENDIX D

COAL MINE STATUS REPORT

DEPARTMENT OF ENVIRONMENTAL PROTECTION
DISTRICT MINING OPERATIONS
25 Technology Drive, California Technology Park, Coal Center, PA 15423
(724) 769-1100 www.dep.pa.gov/mining

COAL STATUS REPORT – BITUMINOUS COAL REGION

NAME: Jacob Artuso

ADDRESS: Construction Engineering Consultants, Inc.
2018 Waverly Street
Pittsburgh, PA 15218

SITE ADDRESS / LOCATION:
Northview Heights

Latitude:40° 28' 29.2"N Longitude:80° 0' 5.3"W

MUNICIPALITY: Pittsburgh
COUNTY: Allegheny
USGS QUADRANGLE: Pittsburgh West

PURPOSE OF REPORT:
☐ MSI ☐ O & G ☒ OTHER

COAL SEAM RESEARCHED: Pittsburgh
MINE NAME: Unknown
OPERATOR: Unknown
LAST MINING DATE: Prior to 1936

SURFACE ELEVATION: 1,160 FEET +/-
COAL SEAM ELEVATION: 1,160 FEET +/-
COVER* (OVERBURDEN): 0 FEET +/-

MINING UNDER OR NEAR THIS SITE: ☒ Yes ☐ No ☐ Future Possibility ☐ Unknown ☐ Coal Seam Non-Existent

REMARKS:

The site is located on or near the outcrop of a mined out section of the Pittsburgh coal seam.

See coal resources.

REFERENCE SOURCES CHECKED

☒ WPA MAPPING
☒ CDO MINE MAP INDEX
☐ DETAILED MINE MAP
☒ COAL RESOURCES OF Allegheny County
☐ OTHER

☐ OSM MICROFILM
☐ BITUMINOUS COAL FIELDS OF PA PART II (SISLER)
☐ US GEOLOGICAL SURVEY FOLIOS
☐ MINERAL RESOURCE REPORT 68 – Coal Distribution & Thickness

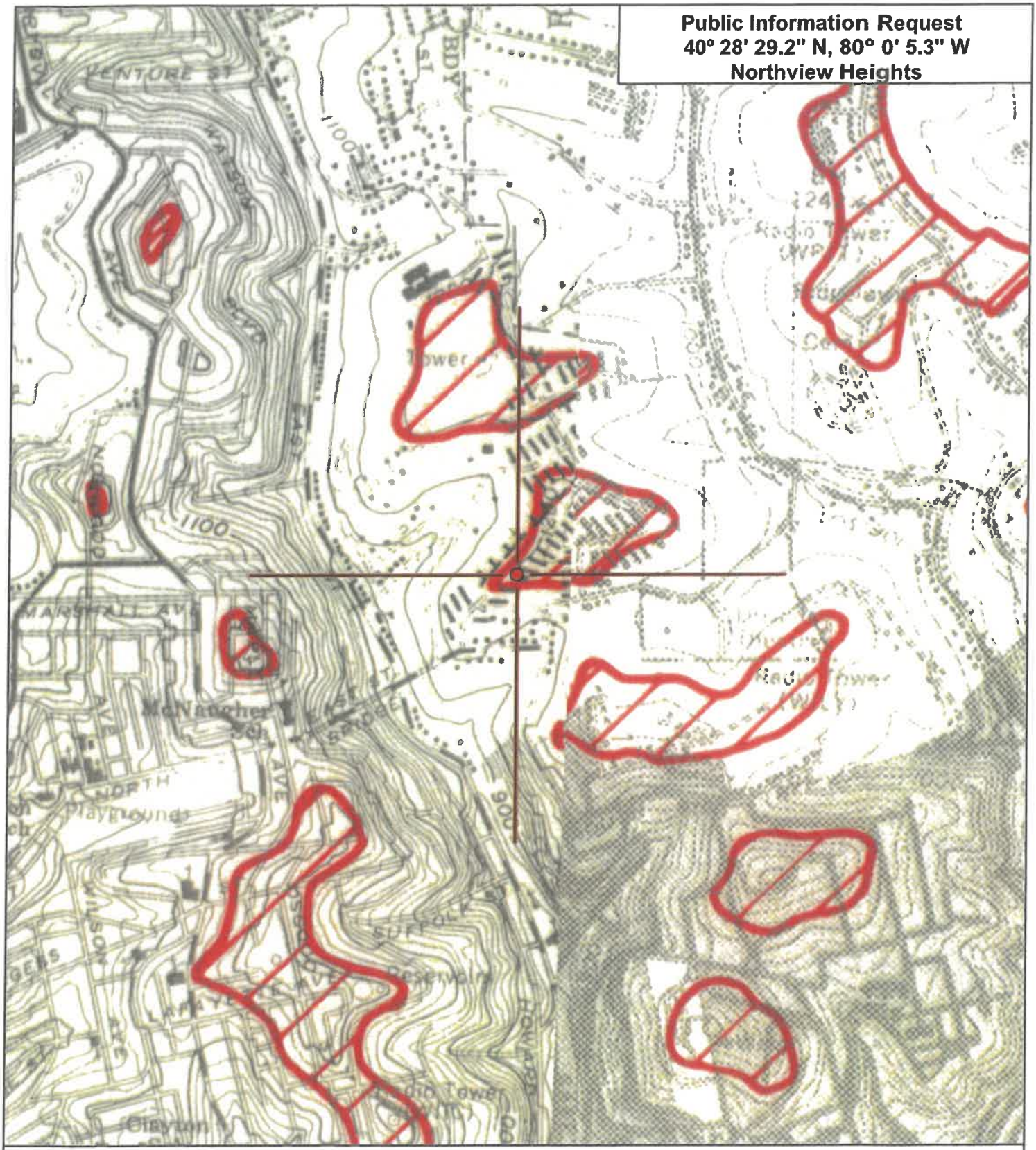
REPORT INFORMATION OBTAINED FROM: Coal Resources and WPA Mapping(WPA_Carnegie_Sht_3_PGH)

BY: Joseph Stepusin **DATE:** 3/23/2022

*COVER = Vertical distance between the ground surface and the coal seam.

Please note: This report is for informational purposes only and should not be considered an evaluation or assessment of environmental risks, liabilities, and/or concerns at the site. The information in this Coal Status Report is for the indicated point location only. Coal Status Reports are for underground coal mining information only. Information pertaining to surface coal mines and/or industrial mineral (non-coal) surface and underground mines is available from the applicable DEP District Mining Office for your site. Please visit www.dep.pa.gov/Business/Land/Mining/BureauofDistrictMining for further information.

Public Information Request
40° 28' 29.2" N, 80° 0' 5.3" W
Northview Heights



pennsylvania
DEPARTMENT OF ENVIRONMENTAL PROTECTION

This map was prepared using information considered to be the best historic data available. The Department cannot verify the accuracy or completeness of this information or alignment of images.

Scale: 1 inch = 1,000 feet

N

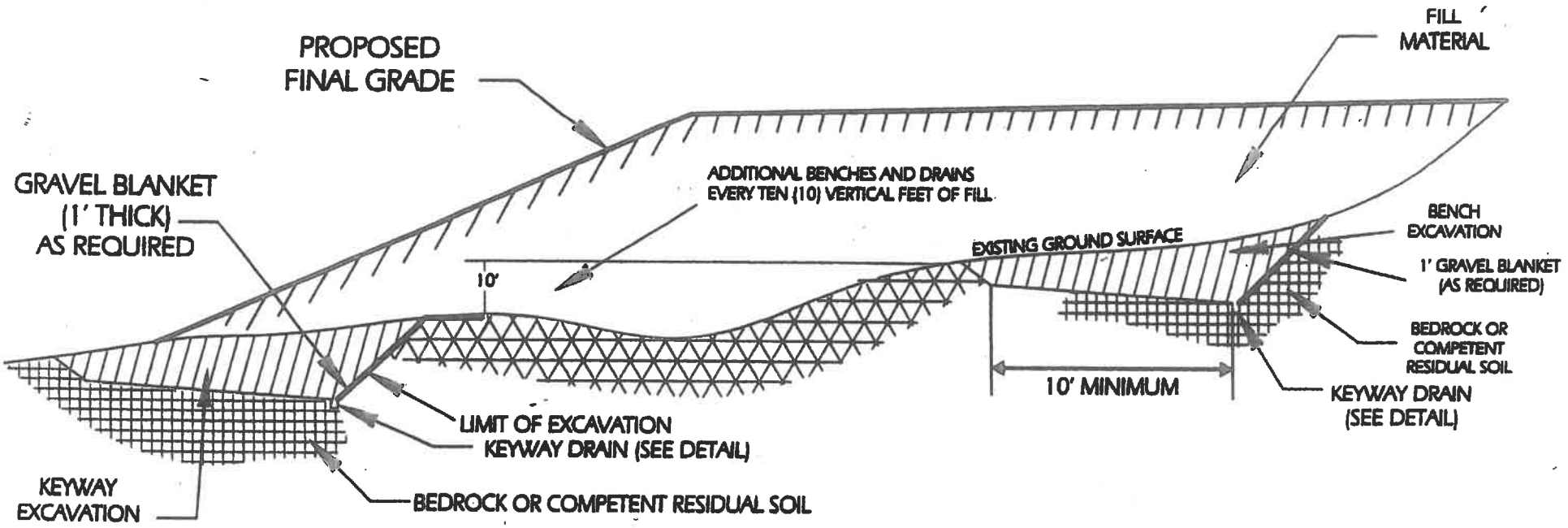
Coal Resources Map
Mineral Resource Report 89
1985

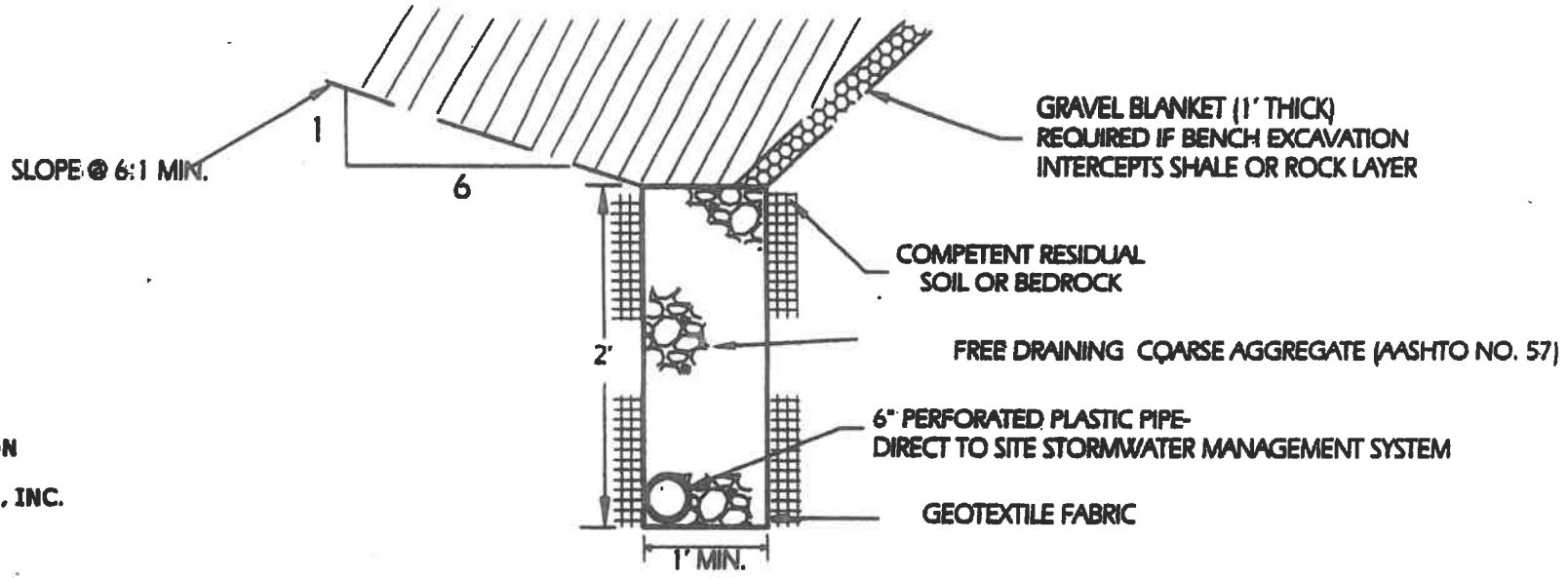
Mined Out Area
Pittsburgh Coal Seam

APPENDIX E

SITE DETAILS

BENCH AND KEYWAY DETAIL





CONSTRUCTION
ENGINEERING
CONSULTANTS, INC.

APPENDIX F

INFILTRATION TEST RESULTS/ WEB SOIL SURVEY

Infiltration Test Summary

This section provides a sketch, graphical soil logs, infiltration test summary, and Web Soil Survey of the planned infiltration area. These sections are defined below.

1.) The sketch of the infiltration locations indicates the general location on the site of the test areas. Infiltration test locations may also be seen on the test boring log sheet.

2.) The graphical soil logs provide a vertical section of the soils encountered along the excavation to the depth of the test location. Information regarding limiting zones of groundwater or bedrock will also be shown on the logs.

3.) The infiltration test summary reflects the actual test readings and summary of the stabilized rate. The interval test period and pre-soak readings are indicated on the summary sheet. Infiltration interval test periods are typically 30 minutes unless the pre-soak indicates that a shorter interval is needed.

4.) The Web Soil Survey is an on-line tool which generally indicates the soil types present at the site and the suitability of these soils to perform under the proposed infiltration system. Descriptions of the soil complexes present within the planned area of interest are included in this section. Overlays of the suitability and anticipated limitations of the system are also included. Areas of interest which are shown in red typically are limited in their ability to perform for the designed task. These limitations are given numerical ratings which are detailed in the Web Soil Survey section.

CONSTRUCTION
ENGINEERING
CONSULTANTS, INC.

2018 WAVERLY STREET
PITTSBURGH, PA 15218
PHONE: (412)-351-6465
FAX: (412)-351-6401

INFILTRATION INSPECTION REPORT

CLIENT: Housing Authority of Pittsburgh	**REPORT NO.:**
PROJECT: Northview Heights Midrise	**JOB NUMBER: J-16633**
LOCATION: Pittsburgh, PA	**INSPECTOR: ZANE WHISEL**
INSPECTION TYPE: Infiltration Test	**DATE: 3-14-2022**

Interval Time	:30	:30	:30	:30				
TEST LOCATION	WATER LEVEL READING (in.)							INFILTRATION RATE (in/hr.)
B-3 at 7' Pre-Soak: ½"	½"	½"	½"	½"				**1.0"/hr.**

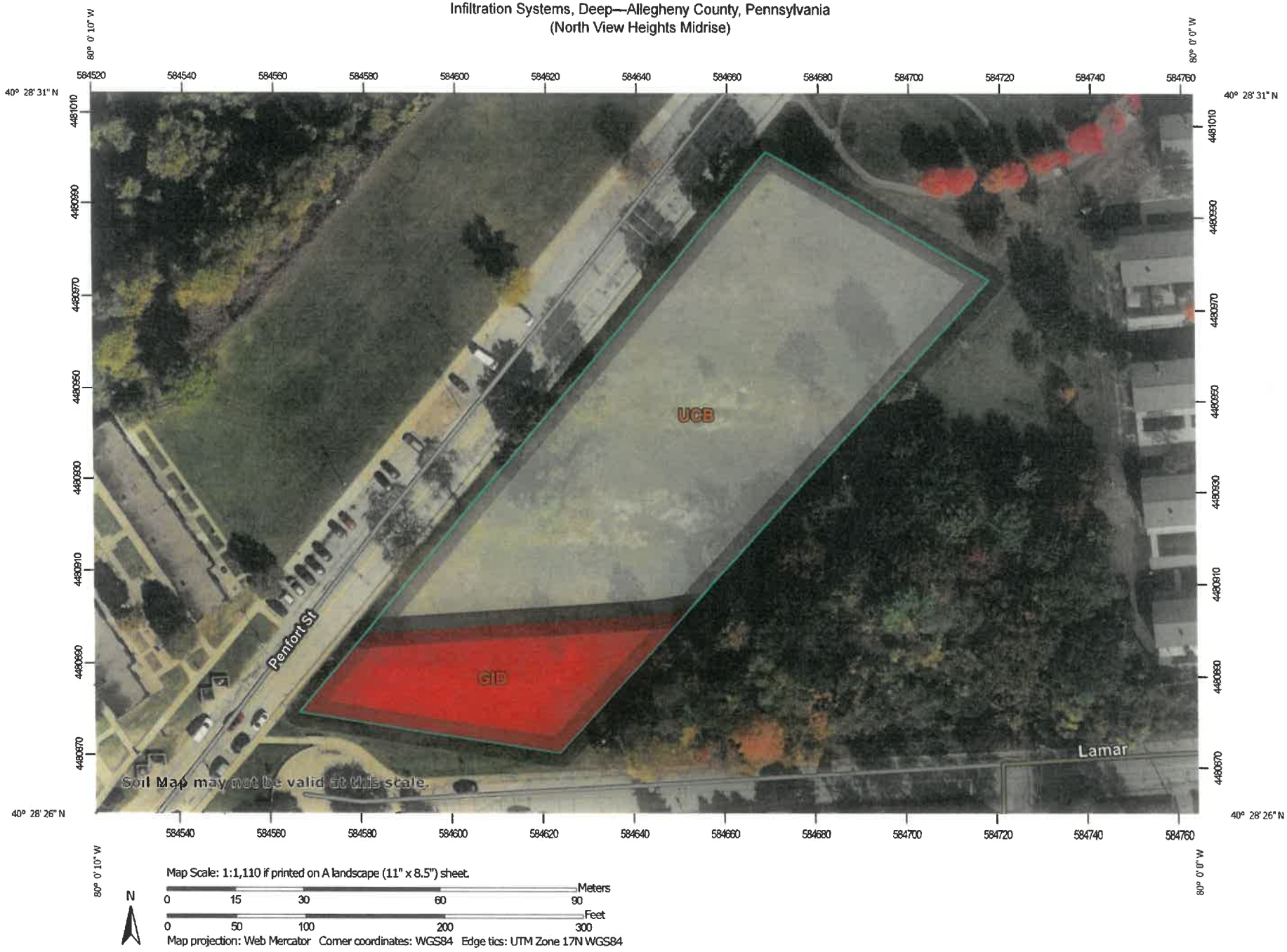
Interval Time	:10	:10	:10	:10	:10			
TEST LOCATION	WATER LEVEL READING (in.)							INFILTRATION RATE (in/hr.)
B-4 at 5' Pre-Soak: 3½"	1¼"	1"	1"	1"	1"			**6.0"/hr.**

A limiting zone of Shale bedrock was encountered at test locations B-1 and B-2 at a depth of 4.5' and 3.5', respectively. No testing was performed at these locations due to shallowness of the limiting zone.

Test at B-3 was performed at 7' due to a limiting zone of limestone bedrock and a concrete footing obstruction. The test was performed in the site fill of silty clay with shale and various building debris material.

Test at B-4 was performed at 5' due to a limiting zone of limestone bedrock at 7'. The test was performed in the site fill of clay with building debris.

Infiltration Systems, Deep—Allegheny County, Pennsylvania
(North View Heights Midrise)



Map Scale: 1:1,110 if printed on A landscape (11" x 8.5") sheet.

N

Meters
0 15 30 60 90

Feet
0 50 100 200 300

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

Area of Interest (AOI)
- Area of Interest (AOI)

Soils

Soil Rating Polygons
- Severely limited
- Somewhat limited
- Not limited
- Not rated or not available

Soil Rating Lines
- Severely limited
- Somewhat limited
- Not limited
- Not rated or not available

Soil Rating Points
- Severely limited
- Somewhat limited
- Not limited
- Not rated or not available

Water Features
- Streams and Canals

Transportation
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

Background
- Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Allegheny County, Pennsylvania
Survey Area Data: Version 17, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 25, 2020—Nov 8, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Infiltration Systems, Deep

Map unit symbol	Map unit name	Rating	Component name (percent)	Rating reasons (numeric values)	Acres in AOI	Percent of AOI
GID	Gilpin silt loam, 15 to 25 percent slopes	Severely limited	Gilpin (85%)	Slope (1.00)	0.4	20.2%
				Soft bedrock (0.50)		
				Adsorptive capacity (0.25)		
				Vegetation establishment (0.15)		
			Berks (5%)	Hard bedrock (1.00)		
				Slope (1.00)		
				Adsorptive capacity (0.25)		
				Vegetation establishment (0.10)		
			Coolville (5%)	Water movement (1.00)		
				Wetness (1.00)		
				Slope (1.00)		
				Soft bedrock (0.43)		
				Adsorptive capacity (0.25)		
			Coshocton (5%)	Wetness (1.00)		
				Water movement (1.00)		
				Slope (1.00)		
				Hard bedrock (0.55)		
				Adsorptive capacity (0.25)		
UCB	Urban land-Culleoka complex, gently sloping	Not rated	Urban land (60%)		1.5	79.8%
Totals for Area of Interest					**1.9**	**100.0%**

Rating	Acres in AOI	Percent of AOI
Severely limited	0.4	20.2%

Rating	Acres in AOI	Percent of AOI
Null or Not Rated	1.5	79.8%
Totals for Area of Interest	**1.9**	**100.0%**

Description

Deep infiltration systems are stormwater management practices that are placed 3 to 5 feet in the ground, depending on the application. These systems include rain gardens, bioretention basins, and infiltration basins. They slow the movement of stormwater to surface waters and also filter a significant portion of pollutants from the stormwater. The fundamental function of these systems is to hold the runoff generated from the first 1 inch of rainfall during a 24-hour storm preceded by 48 hours of no measurable precipitation. There should be little or no ponding at the surface. The water should infiltrate into the surrounding soil in 24 to 48 hours. Only that part of the soil between depths of 24 and 80 inches is evaluated.

The ratings are based on the soil properties that affect infiltration of the stormwater, construction and maintenance of the system, and public safety and health. Saturated hydraulic conductivity (Ksat), depth to a water table, ponding, depth to bedrock or a cemented pan, and flooding affect the transmission of rainwater. Stones and boulders, ice, and bedrock or a cemented pan interfere with installation. Subsidence interferes with installation and maintenance. Excessive slope may cause lateral seepage and surfacing of the water in downslope areas. Some slopes may become unstable and move upon addition of water.

Some soils are underlain by loose sand and gravel or fractured bedrock at a depth of less than 4 feet below the bottom of the system. In these soils the deep infiltration system may not adequately filter the stormwater, particularly if the adsorptive capacity of the soil below the system is low. As a result, the ground water may become contaminated. In areas underlain by limestone, solution channels and subsequent subsidence may damage adjacent infrastructure. Also, areas underlain by limestone may be subject to ground-water contamination.

The ratings are both verbal and numerical. Rating class terms indicate the extent to which the soils are limited by all of the soil features that affect the specified infiltration system. "Not limited" indicates that the soil has features that are very favorable for the specified system. Good performance and very low maintenance can be expected. "Somewhat limited" indicates that the soil has features that are moderately favorable for the specified system.

The limitations can be overcome or minimized by special planning, design, or installation. Fair performance and moderate maintenance can be expected. "Very limited" indicates that the soil has one or more features that are unfavorable for the specified system. The limitations generally cannot be overcome without major soil reclamation, special design, or expensive installation procedures. Poor performance and high maintenance can be expected.

Numerical ratings indicate the severity of individual limitations. The ratings are shown as decimal fractions ranging from 0.01 to 1.00. They indicate gradations between the point at which a soil feature has the greatest negative impact on the specified system (1.00) and the point at which the soil feature is not a limitation (0.00).

The accompanying Summary by Map Unit table in Web Soil Survey or the Aggregation Report in Soil Data Viewer lists the map unit components. These

components are determined by the aggregation method chosen. An aggregated rating class is shown for each map unit. The components listed for each map unit are only those that have the same rating class as the one indicated for the map unit. The percent composition of each component in a particular map unit is shown to help the user better understand the percentage of each map unit that has the rating indicated. Other components with different ratings may occur in each map unit. The complete ratings list for all components, regardless of the map unit aggregated rating, can be viewed by generating the equivalent report from the Soil Reports tab in Web Soil Survey or from the Soil Data Mart site. Onsite investigation may be needed to validate these interpretations and to confirm the identity of the soil on a given site.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

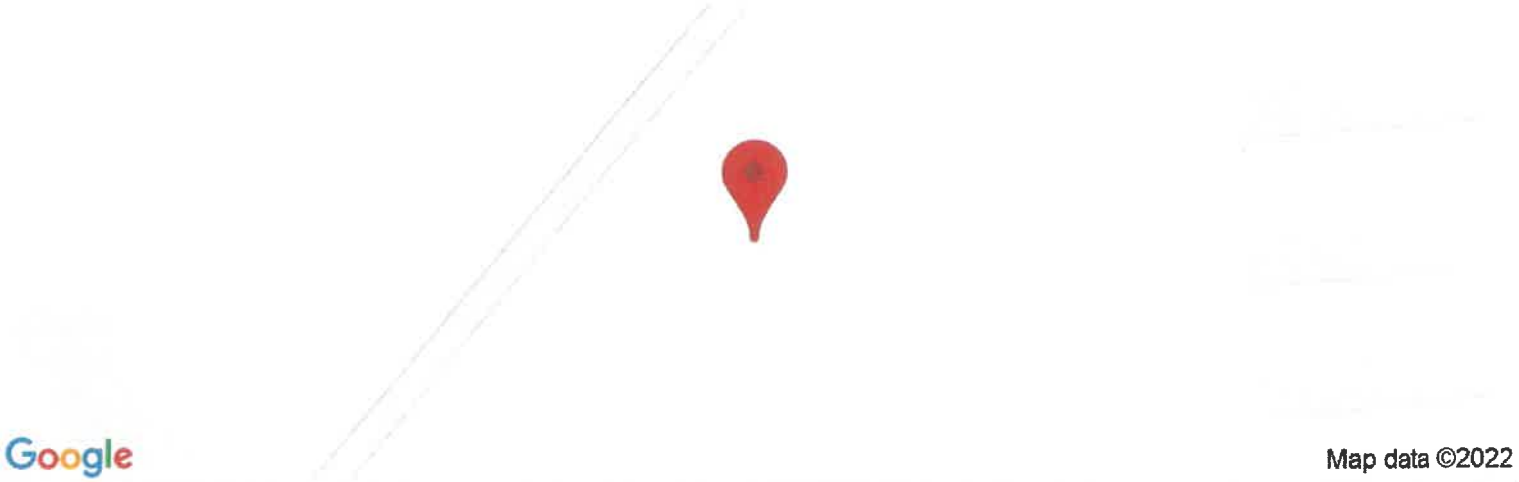
Tie-break Rule: Higher

APPENDIX G

SEISMIC SITE CLASS

North View Heights Mid Rise

Latitude, Longitude: 40.47495492, -80.00127628



Date	3/29/2022, 9:40:40 AM
Design Code Reference Document	IBC-2015
Risk Category	II
Site Class	C - Very Dense Soil and Soft Rock

Type	Value	Description
S_S	0.111	MCE_R ground motion. (for 0.2 second period)
S_1	0.053	MCE_R ground motion. (for 1.0s period)
S_{MS}	0.133	Site-modified spectral acceleration value
S_{M1}	0.089	Site-modified spectral acceleration value
S_{DS}	0.089	Numeric seismic design value at 0.2 second SA
S_{D1}	0.06	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	A	Seismic design category
F_a	1.2	Site amplification factor at 0.2 second
F_v	1.7	Site amplification factor at 1.0 second
PGA	0.051	MCE_G peak ground acceleration
F_{PGA}	1.2	Site amplification factor at PGA
PGA_M	0.062	Site modified peak ground acceleration
T_L	12	Long-period transition period in seconds
SsRT	0.111	Probabilistic risk-targeted ground motion. (0.2 second)
SsUH	0.122	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
SsD	1.5	Factored deterministic acceleration value. (0.2 second)
S1RT	0.053	Probabilistic risk-targeted ground motion. (1.0 second)
S1UH	0.057	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
S1D	0.6	Factored deterministic acceleration value. (1.0 second)
PGAd	0.6	Factored deterministic acceleration value. (Peak Ground Acceleration)
C_{RS}	0.911	Mapped value of the risk coefficient at short periods
C_{R1}	0.923	Mapped value of the risk coefficient at a period of 1 s

DISCLAIMER

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SECTION 02 41 00 - DEMOLITION

PART 1 - GENERAL

1.1 DESCRIPTION:

This section specifies demolition and removal of portions of buildings, utilities, other structures and debris shown on current plans or previous demolition plans noted as abandoned in place.

1.2 RELATED WORK:

A. Excavation of roads, walks, curbs, and on-grade slabs outside buildings to be demolished: Section 31 23 16 - EXCAVATION
B. Safety Requirements: Section 01 35 26 Safety Requirements Article, ACCIDENT PREVENTION PLAN (APP).
C. Disconnecting utility services prior to demolition: Section 01 00 00, GENERAL REQUIREMENTS.
D. Reserved items that are to remain the property of the Owner: Section 01 00 00, GENERAL REQUIREMENTS.
E. Asbestos Removal: Section 02 82 11, TRADITIONAL ASBESTOS ABATEMENT.
F. Lead Paint: Section 02 83 33.13, LEAD-BASED PAINT REMOVAL AND DISPOSAL.
G. Environmental Protection: Section 01 57 19, TEMPORARY ENVIRONMENTAL CONTROLS.
H. Construction Waste Management: Section 01 74 19 CONSTRUCTION WASTE MANAGEMENT.
I. Infectious Control: Section 01 35 26, SAFETY REQUIREMENTS.

1.3 PROTECTION:

A. Perform demolition in such manner as to eliminate hazards to persons and property; to minimize interference with use of adjacent areas, utilities and structures or interruption of use of such utilities; and to provide free passage to and from such adjacent areas of structures. Comply with requirements of GENERAL CONDITIONS Article, ACCIDENT PREVENTION.
B. Provide safeguards, including warning signs, barricades, temporary fences, warning lights, and other similar items that are required for protection of all personnel during demolition and removal operations. Comply with requirements of Section 01 00 00, GENERAL REQUIREMENTS, Article PROTECTION OF EXISTING VEGETATION, STRUCTURES, EQUIPMENT, UTILITIES AND IMPROVEMENTS.
C. Maintain fences, barricades, lights, and other similar items around exposed excavations until such excavations have been completely filled.

D. Provide enclosed dust chutes with control gates from each floor to carry debris to truck beds and govern flow of material into truck. Provide overhead bridges of tight board or prefabricated metal construction at dust chutes to protect persons and property from falling debris.
E. Prevent spread of flying particles and dust. Sprinkle rubbish and debris with water to keep dust to a minimum. Do not use water if it results in hazardous or objectionable condition such as, but not limited to; ice, flooding, or pollution. Vacuum and dust the work area daily.
F. In addition to previously listed fire and safety rules to be observed in performance of work, include following:
    1. No wall or part of wall shall be permitted to fall outwardly from structures.
    2. Wherever a cutting torch or other equipment that might cause a fire is used, provide and maintain fire extinguishers nearby ready for immediate use. Instruct all possible users in use of fire extinguishers.
    3. Keep hydrants clear and accessible at all times. Prohibit debris from accumulating within a radius of 4500 mm (15 feet) of fire hydrants.
G. Before beginning any demolition work, the Contractor shall survey the site and examine the drawings and specifications to determine the extent of the work. The contractor shall take necessary precautions to avoid damages to existing items to remain in place, to be reused, or to remain the property of the Owner; any damaged items shall be repaired or replaced as approved by the Owner's Representative. The Contractor shall coordinate the work of this section with all other work and shall construct and maintain shoring, bracing, and supports as required. The Contractor shall ensure that structural elements are not overloaded and shall be responsible for increasing structural supports or adding new supports as may be required as a result of any cutting, removal, or demolition work performed under this contract. Do not overload structural elements. Provide new supports and reinforcement for existing construction weakened by demolition or removal works. Repairs, reinforcement, or structural replacement must have Owner's Representative's approval.
H. The work shall comply with the requirements of Section 01 57 19, TEMPORARY ENVIRONMENTAL CONTROLS.
I. The work shall comply with the requirements of Section 01 00 00, GENERAL REQUIREMENTS and Section 01 35 26, SAFETY REQUIREMENTS.

1.4 UTILITY SERVICES:

A. Demolish and remove site utility service lines shown to be removed.
B. Remove abandoned site utility lines that would interfere with installation of new utility lines and new construction.

C. Abandoned utilities from previously demolished buildings not shown on current plans but indicated as capped and left in place or otherwise abandoned onsite on former plans shall be removed.

PART 2 - PRODUCTS (NOT USED)

PART 3 – EXECUTION

3.1 DEMOLITION:

A. Completely demolish and remove buildings and structures, including all appurtenances related or connected thereto, as noted below:
   1. As required for installation of new utility service lines.
   2. To full depth within an area defined by hypothetical lines located 1500 mm (5 feet) outside building lines of new structures and site features.
   3. As required for installation of underground stormwater systems.

B. Debris, including brick, concrete, stone, metals and similar materials shall become property of Contractor and shall be disposed of by him off-site at frequency necessary to avoid accumulation at the demolition site. Materials that cannot be removed daily shall be stored in areas specified by the Owner's Representative. Break up concrete slabs below grade that do not require removal from present location into pieces not exceeding 600 mm (24 inches) square to permit drainage. Contractor shall dispose debris in compliance with applicable federal, state or local permits, rules and/or regulations.

C. In removing buildings and structures of more than two stories, demolish work story by story starting at highest level and progressing down to third floor level. Demolition of first and second stories may proceed simultaneously.

D. Remove and legally dispose of all materials, other than earth to remain as part of project work, from any trash accumulation/storage areas on site. Materials removed shall become property of contractor and shall be disposed of in compliance with applicable federal, state or local permits, rules and/or regulations. All materials in the trash accumulation/storage areas, including above surrounding grade and extending to a depth of 1500mm (5feet) below surrounding grade, shall be included as part of the lump sum compensation for the work of this section. Materials that are located beneath the surface of the surrounding ground more than 1500 mm (5 feet), or materials that are discovered to be hazardous, shall be handled as unforeseen. The removal of hazardous material shall be referred to Hazardous Materials specifications.

E. Remove existing utilities as indicated or uncovered by work and terminate in a manner conforming to the nationally recognized code covering the specific utility and approved by the Owner's Representative. When Utility lines are encountered that are not indicated on the

1. Ceco Door; AADG, Inc.; ASSA ABLOY.
2. DCI Hollow Metal on Demand.
3. Gensteel Doors.
4. HMF Express.
5. JR Metal Frames, Inc.
6. MPI Group, LLC (The).
7. Republic Doors and Frames; a Allegion brand.
8. Steelcraft; Allegion plc.

2.2 PERFORMANCE REQUIREMENTS

A. Fire-Rated Door Assemblies: Assemblies complying with NFPA 80 that are listed and labeled by a qualified testing agency acceptable to authorities having jurisdiction for fire-protection ratings indicated on Drawings, based on testing at positive pressure in accordance with NFPA 252 or UL 10C.

1. Smoke- and Draft-Control Door Assemblies: Listed and labeled for smoke and draft control by a qualified testing agency acceptable to authorities having jurisdiction, based on testing in accordance with UL 1784 and installed in compliance with NFPA 105.

B. Fire-Rated, Borrowed-Lite Assemblies: Assemblies complying with NFPA 80 and listed and labeled by a qualified testing agency acceptable to authorities having jurisdiction, for fire-protection ratings indicated, based on testing in accordance with NFPA 257 or UL 9.

C. Thermally Rated Door Assemblies: Provide door assemblies with U-factor of not more than 0.50 deg Btu/F x h x sq. ft. when tested in accordance with ASTM C518.

2.3 INTERIOR STANDARD STEEL DOORS AND FRAMES

A. Construct hollow-metal doors and frames to comply with standards indicated for materials, fabrication, hardware locations, hardware reinforcement, tolerances, and clearances, and as specified.

B. Heavy-Duty Doors and Frames: ANSI/SDI A250.8, Level 2; ANSI/SDI A250.4, Level B. All interior locations where steel doors are specified .

1. Doors:
   a. Type: As indicated in the Door and Frame Schedule.
   b. Thickness: 1-3/4 inches.
   c. Face: Uncoated steel sheet, minimum thickness of 0.042 inch.
   d. Edge Construction: Model 1, Full Flush .
   e. Fire-Rated Core: Manufacturer's standard vertical steel stiffener core for fire-rated doors.
2. Frames:
   a. Materials: Uncoated steel sheet, minimum thickness of 0.053 inch.
   b. Construction: Full profile welded.

2.4 EXTERIOR STANDARD STEEL DOORS AND FRAMES

A. Construct hollow-metal doors and frames to comply with standards indicated for materials, fabrication, hardware locations, hardware reinforcement, tolerances, and clearances, and as specified.

B. Extra-Heavy-Duty Doors and Frames: ANSI/SDI A250.8, Level 3; ANSI/SDI A250.4, Level A. All exterior locations where steel doors are specified.

1. Doors:
   a. Type: As indicated in the Door and Frame Schedule..
   b. Thickness: 1-3/4 inches.
   c. Face: Metallic-coated steel sheet, minimum thickness of 0.053 inch, with minimum A60 coating.
   d. Edge Construction: Model 2, Seamless .
   e. Top Edge Closures: Close top edges of doors with flush closures of same material as face sheets. Seal joints against water penetration.
   f. Bottom Edges: Close bottom edges of doors with end closures or channels of same material as face sheets. Provide weep-hole openings in bottoms of exterior doors to permit moisture to escape.
   g. Core: Manufacturer's standard .
2. Frames:
   a. Materials: Metallic-coated steel sheet, minimum thickness of 0.053 inch, with minimum A60 coating.
   b. Construction: Full profile welded.

C. Maximum-Duty Doors and Frames: ANSI/SDI A250.8, Level 4; ANSI/SDI A250.4, Level A. At locations indicated in the Door and Frame Schedule .

1. Doors:
   a. Type: As indicated in the Door and Frame Schedule.
   b. Thickness: 1-3/4 inches.
   c. Face: Metallic-coated steel sheet, minimum thickness of 0.067 inch, with minimum A60 coating.
   d. Edge Construction: Model 2, Seamless.
   e. Top Edge Closures: Close top edges of doors with flush closures of same material as face sheets. Seal joints against water penetration.
   f. Bottom Edges: Close bottom edges of doors with end closures or channels of same material as face sheets. Provide weep-hole openings in bottoms of exterior doors to permit moisture to escape.
   g. Core: Manufacturer's standard .
2. Frames:
   a. Materials: Metallic-coated steel sheet, minimum thickness of 0.067 inch, with minimum A60 coating.
   b. Construction: Full profile welded.

2.5 FRAME ANCHORS

A. Jamb Anchors:

SECTION 08 71 00 - DOOR HARDWARE

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Mechanical door hardware for the following:
   a. Swinging doors.
2. Cylinders for door hardware specified in other Sections.
3. Electrified door hardware.
4. Door schedule including the hardware as shown on A601 of the Drawing Set is attached to the end of this Section.

1.2 PREINSTALLATION MEETINGS

A. Preinstallation Conference: Conduct conference at Project site .

B. Keying Conference: Conduct conference at Project site .

1.3 ACTION SUBMITTALS

A. Product Data: For each type of product.

B. Shop Drawings: For electrified door hardware.

1. Include diagrams for power, signal, and control wiring.
2. Include details of interface of electrified door hardware and building safety and security systems.

C. Keying schedule.

1.4 INFORMATIONAL SUBMITTALS

A. Sample warranty.

1.5 CLOSEOUT SUBMITTALS

A. Maintenance data.

1.6 QUALITY ASSURANCE

A. Architectural Hardware Consultant Qualifications: A person who is experienced in providing consulting services for door hardware installations that are comparable in material, design, and extent to that indicated for this Project and who is currently certified by DHI as an Architectural Hardware Consultant (AHC) and an Electrified Hardware Consultant (EHC) .

1.7 WARRANTY

A. Special Warranty: Manufacturer agrees to repair or replace components of door hardware that fail in materials or workmanship within specified warranty period.

1. Warranty Period: Three years from date of Substantial Completion unless otherwise indicated below:
   a. Electromagnetic Locks: Five years from date of Substantial Completion.
   b. Exit Devices: Two years from date of Substantial Completion.
   c. Manual Closers: 10 years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

A. Fire-Rated Door Assemblies: Where fire-rated doors are indicated, provide door hardware complying with NFPA 80 that is listed and labeled by a qualified testing agency, for fire-protection ratings indicated, based on testing at positive pressure in accordance with NFPA 252 or UL 10C.

B. Electrified Door Hardware: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.

C. Means of Egress Doors: Latches do not require more than 15 lbf to release the latch. Locks do not require use of a key, tool, or special knowledge for operation.

D. Accessibility Requirements: For door hardware on doors in an accessible route, comply with the USDOJ's "2010 ADA Standards for Accessible Design" ICC A117.1 HUD's "Fair Housing Accessibility Guidelines" and UFAS .

2.2 HINGES

A. Hinges: BHMA A156.1. Provide template-produced hinges for hinges installed on hollow-metal doors and hollow-metal frames.

B. Standard Duty, 4 ½” x 4 ½” flat tipped, stainless steel pins and 2 ball bearing (ball bearing hinges on hollow metal frames only), non-rising pin type, satin finish, inner-leaf beveled.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Allegion plc.
   b. Baldwin; part of the Spectrum Brands Hardware and Home Improvement Group (HHI).
   c. Hager Companies.
   d. INOX; Unison Hardware, Inc.
   e. Lawrence Hardware Inc.
   f. McKinney Products Company; ASSA ABLOY Accessories and Door Controls Group, Inc.; ASSA ABLOY.
   g. PBB, Inc.
   h. STANLEY; dormakaba USA, Inc.

2.3 SELF-CLOSING HINGES AND PIVOTS

A. Self-Closing Hinges and Pivots: BHMA A156.17.

B. Standard Duty, 4 ½" x 4 ½" flat tipped, stainless steel pins and 2 ball bearing (ball bearing hinges on hollow metal frames only), non-rising pin type, satin finish, inner-leaf beveled.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Allegion plc.
   b. Hager Companies.
   c. McKinney Products Company; ASSA ABLOY Accessories and Door Controls Group, Inc.; ASSA ABLOY.
   d. PBB, Inc.
   e. STANLEY; dormakaba USA, Inc.

2.4 CONTINUOUS HINGES

A. Continuous Hinges: BHMA A156.26; minimum 0.120-inch- thick, hinge leaves with minimum overall width of 4 inches; fabricated to full height of door and frame and to template screw locations; with components finished after milling and drilling are complete.

B. Continuous, Gear-Type Hinges: Extruded-aluminum, pinless, geared hinge leaves joined by a continuous extruded-aluminum channel cap; with concealed, self-lubricating thrust bearings.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Allegion plc.
   b. Architectural Builders Hardware Mfg., Inc.
   c. Hager Companies.
   d. McKinney Products Company; ASSA ABLOY Accessories and Door Controls Group, Inc.; ASSA ABLOY.
   e. PBB, Inc.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Adams Rite Manufacturing Company, an ASSA ABLOY Group company.
   b. Allegion plc.
   c. Arrow USA; an ASSA ABLOY Group company.
   d. C.R. Laurence Co., Inc.; CRH Americas, Inc.
   e. Corbin Russwin, Inc.; an ASSA ABLOY Group company.
   f. Door Controls International.
   g. dormakaba USA Inc.
   h. Hager Companies.
   i. INOX; Unison Hardware, Inc.
   j. Lawrence Hardware Inc.
   k. Precision Hardware, Inc.; dormakaba Group.
   l. SARGENT Manufacturing Company; ASSA ABLOY.
   m. STANLEY; dormakaba USA, Inc.
   n. Yale Security Inc; ASSA ABLOY.

2.12 LOCK CYLINDERS

A. Lock Cylinders: Tumbler type, constructed from brass or bronze, stainless steel, or nickel silver. Provide cylinder from same manufacturer of locking devices.

B. High-Security Lock Cylinders: BHMA A156.30; Grade 1 permanent cores that are removable; face finished to match lockset.

   1. Type: M, mechanical .

C. Construction Cores: Provide construction cores that are replaceable by permanent cores. Provide 10 construction master keys.

2.13 KEYING

A. Keying System: Factory registered, complying with guidelines in BHMA A156.28, appendix. Provide one extra key blank for each lock. Incorporate decisions made in keying conference.

   1. Master keying shall be with Owner’s FOB system.
      a. All public and Unit Entry doors shall be on FOB system.
      b. Key side of all locks shall be on the public side.
   2. Keyed Alike: Key all cylinders to same change key.

B. Keys: Brass.

   1. Stamping: Permanently inscribe each key with a visual key control number and include the following notation:
      a. Notation: "DO NOT DUPLICATE."

B. Provide gasketing on all doors except doors internal to residential units.

C. Maximum Air Leakage: When tested in accordance with ASTM E283 with tested pressure differential of 0.3-inch wg, as follows:

1. Smoke-Rated Gasketing: 0.3 cfm/sq. ft. of door opening.
2. Gasketing on Single Doors: 0.3 cfm/sq. ft. of door opening.
3. Gasketing on Double Doors: 0.50 cfm per ft. of door opening.

2.20 DOOR SWEEPS

A. Fire Rated Door Sweep: BHMA A156.22; Neoprene Single Fin, Anodized Aluminum 1 inch Flange height, 3 foot long.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Hager Companies.
   b. National Guard Products, Inc.
   c. Pemko Manufacturing Company Inc.; ASSA ABLOY Accessories and Door Controls Group, Inc.; ASSA ABLOY.
   d. Zero International; Allegion plc.
2.

2.21 THRESHOLDS

A. Thresholds: BHMA A156.21; fabricated to full width of opening indicated.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Hager Companies.
   b. National Guard Products, Inc.
   c. Pemko Manufacturing Company Inc.; ASSA ABLOY Accessories and Door Controls Group, Inc.; ASSA ABLOY.
   d. Zero International; Allegion plc.

2.22 METAL PROTECTIVE TRIM UNITS

A. Metal Protective Trim Units: BHMA A156.6; fabricated from 0.050-inch- thick stainless steel; with manufacturer's standard machine or self-tapping screw fasteners.

B. Kickplates: 10” high, 2” less than width of single doors, 1” less than double door leafs.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Allegion plc.

2.3 INTERIOR GYPSUM BOARD

A. Gypsum Board, Type X: ASTM C1396/C1396M.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. American Gypsum.
   b. Certainteed; SAINT-GOBAIN.
   c. National Gypsum Company.
   d. USG Corporation.
2. Thickness: 5/8 inch.
3. Long Edges: Tapered .

B. Gypsum Ceiling Board: ASTM C1396/C1396M.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. American Gypsum.
   b. Certainteed; SAINT-GOBAIN.
   c. National Gypsum Company.
2. Thickness: 5/8 inch.
3. Long Edges: Tapered.

C. Mold-Resistant Gypsum Board: ASTM C1396/C1396M. With moisture- and mold-resistant core and paper surfaces.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. Certainteed; SAINT-GOBAIN.
   b. National Gypsum Company.
   c. USG Corporation.
2. Core: 5/8 inch , Type X.
3. Long Edges: Tapered.
4. Mold Resistance: ASTM D3273, score of 10 as rated according to ASTM D3274.

2.4 TILE BACKING PANELS

A. Glass-Mat, Water-Resistant Backing Board: ASTM C1178/C1178M, with manufacturer's standard edges.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. Certainteed; SAINT-GOBAIN.
   b. National Gypsum Company.
   c. USG Corporation.
2. Core: 5/8 inch , Type X.

SECTION 10 28 00 - TOILET, BATH, AND LAUNDRY ACCESSORIES

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Public-use washroom accessories.
2. Private-use bathroom accessories.
3. Hand dryers.
4. Underlavatory guards.

1.2 ACTION SUBMITTALS

A. Product Data: For each type of product.

1.3 INFORMATIONAL SUBMITTALS

A. Sample warranties.

1.4 CLOSEOUT SUBMITTALS

A. Maintenance data.

1.5 WARRANTY

A. Manufacturer's Special Warranty for Mirrors: Manufacturer agrees to repair or replace mirrors that fail in materials or workmanship within specified warranty period.

1. Warranty Period: 2 years from date of Substantial Completion.

B. Manufacturer's Special Warranty for Hand Dryers: Manufacturer agrees to repair or replace hand dryers that fail in materials or workmanship within specified warranty period.

1. Warranty Period: Two years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

A. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.

B. Structural Performance: Design accessories and fasteners to comply with the following requirements:

1. Grab Bars: Installed units are able to resist 250 lbf concentrated load applied in any direction and at any point.
2. Shower Seats: Installed units are able to resist 250 lbf applied in any direction and at any point.

2.2 PUBLIC-USE WASHROOM ACCESSORIES

A. Toilet Tissue (Roll) Dispenser :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: Roll-in-reserve dispenser with hinged front secured with tumbler lockset .
3. Mounting: Surface mounted.
4. Operation: Noncontrol delivery with standard spindle .
5. Capacity: Designed for 4-1/2- or 5-inch- diameter tissue rolls.
6. Material and Finish: Chrome-plated zinc alloy (zamac) or steel .

B. Waste Receptacle :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Mounting: Open top, recessed .
3. Minimum Capacity: 2 gallons.
4. Material and Finish: .
5. Liner: Reusable vinyl liner .
6. Lockset: Tumbler type for waste receptacle.

C. Automatic Soap Dispenser :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: Automatic dispenser with infrared sensor to detect presence of hands; battery powered; designed for dispensing soap in liquid or lotion form.
3. Mounting: Surface mounted.
4. Capacity: 1.0 Liter.

5. Refill Indicator: LED indicator.
6. Low-Battery Indicator: LED indicator.

D. Grab Bar :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Mounting: Flanges with concealed fasteners.
3. Material: Stainless steel, 0.05 inch thick.
   a. Finish: Smooth, ASTM A480/A480M No. 4 finish (satin).
4. Outside Diameter: 1-1/2 inches.
5. Configuration and Length: As indicated on Drawings . Straight Lengths include, but are not limited to, the following: 42", 36", 30", 24". 18", 12". .

E. Seat-Cover Dispenser :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Mounting: Surface mounted .
3. Minimum Capacity: 250 seat covers.
4. Exposed Material and Finish: ABS plastic, gray .
5. Lockset: Tumbler type.

F. Mirror Unit :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Frame: Stainless steel angle, 0.05 inch thick .
   a. Corners: Manufacturer's standard .
3. Size: As indicated on Drawings .
4. Shelf:
   a. Type: Integral, welded .
   b. Depth: 5 inches .
5. Hangers: Manufacturer's standard rigid, tamper and theft resistant .

G. Hook :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: Combination hat and coat hook .
3. Mounting: Concealed .
4. Material and Finish: Polished chrome-plated zinc alloy (zamac) .

2.3 PRIVATE-USE BATHROOM ACCESSORIES

A. Private-Use Toilet Tissue Dispenser :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: Single -roll dispenser with the following features:
   a. Hood.
   b. .
3. Mounting: Recessed .
4. Capacity: Designed for 4-1/2- or 5-inch- diameter tissue rolls.
5. Material and Finish: Polished chrome-plated zinc alloy (zamac) .

B. Private-Use Shower Curtain Rod :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: 1-inch- outside diameter, straight rod.
3. Configuration:
4. Mounting Flanges: Designed for concealed fastening, in in material and finish matching rod .
5. Rod Material and Finish: Stainless steel, ASTM A480/A480M No. 4 finish (satin) .
6. Features: Integral chrome-plated brass glide hooks.

C. Private-Use Folding Shower Seat :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.

2. Configuration: As provided by shower manufacturer .
3. Seat: As provided by shower manufacturer .
4. Mounting Mechanism: .
5. Dimensions: As provided by shower manufacturer .

D. Private-Use Medicine Cabinet :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Mounting: Surface mounted.
3. Size: As noted on Drawings .
4. Door: Framed mirror door concealing storage cabinet equipped with continuous hinge and spring-buffered, rod-type stop and magnetic door catch .
5. Shelves: .
6. Material and Finish:
   a. Cabinet: Steel with corrosion-resistant finish.
   b. Mirror Frame: Stainless steel or baked enamel .
   c. Door: Rust-resistant, Baked-Enamel Interior .
   d. Hinge: Steel piano hinge reversible .
   e. Shelves: Painted steel or polystyrene .

E. Private-Use Towel Bar :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: 3/4-inch- round tube with circular end brackets .
3. Mounting: Flanges with concealed fasteners.
4. Length: 24 inches .
5. Material and Finish: Stainless steel, ASTM A480/A480M No. 4 finish (satin) Polished aluminum .

2.4 HAND DRYERS

A. Warm-Air Dryer :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. AJW Architectural Products.
   b. ASI-American Specialties, Inc.
   c. Bradley Corporation.
2. Description: Standard-speed, warm-air hand dryer.

3. Mounting: Recessed Semirecessed Surface mounted.
   a. Protrusion Limit: Installed unit protrudes maximum 4 inches from wall surface.
4. Operation: Touch-button activated with timed power cut-off switch.
   a. Automatic Shutoff: At 40 seconds.
5. Maximum Sound Level: 67 dB.
6. Cover Material and Finish: Molded plastic, gray .
7. Electrical Requirements: 115 V, 13 A, 1500 W.

2.5 UNDERLAVATORY GUARDS

A. Underlavatory Guard :

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
   a. Buckaroos, Inc.
   b. Plumberex Specialty Products, Inc.
   c. Truebro; IPS Corporation.
2. Description: Insulating pipe covering for supply and drain piping assemblies that prevents direct contact with and burns from piping; allow service access without removing coverings.
3. Material and Finish: Antimicrobial, molded plastic, white.

2.6 FABRICATION

A. Keys: Provide universal keys for internal access to accessories for servicing and resupplying. Provide minimum of six keys to Owner's representative.

PART 3 - EXECUTION

3.1 INSTALLATION

A. Install accessories according to manufacturers' written instructions, using fasteners appropriate to substrate indicated and recommended by unit manufacturer. Install units level, plumb, and firmly anchored in locations and at heights indicated.

1. Remove temporary labels and protective coatings.

B. Grab Bars: Install to comply with specified structural-performance requirements.

C. Shower Seats: Install to comply with specified structural-performance requirements.

END OF SECTION 10 28 00

B. Fire Extinguishers: Listed and labeled for type, rating, and classification by an independent testing agency acceptable to authorities having jurisdiction.

2.2 PORTABLE, HAND-CARRIED FIRE EXTINGUISHERS

A. Fire Extinguishers: Type, size, and capacity for each fire-protection cabinet and mounting bracket indicated.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following
   a. Ansul; brand of Johnson Controls International plc, Building Solutions North America.
   b. Babcock-Davis.
   c. Buckeye Fire Equipment Company.
   d. Guardian Fire Equipment, Inc.
   e. J. L. Industries, Inc.; Activar Construction Products Group, Inc.
   f. Kidde; Carrier Global Corporation.
   g. Larsen's Manufacturing Company.
2. Instruction Labels: Include pictorial marking system complying with NFPA 10, Appendix B.

B. Multipurpose Dry-Chemical Type: UL-rated, with monoammonium phosphate-based dry chemical in manufacturer's standard enameled container.

1. One 2.5 lb capacity "Rated Class 1-A:10 B:C" unit on a hook in each dwelling unit.
2. 10 lb capacity in a cabinet where specified for all non-residential unit areas.

2.3 MOUNTING BRACKETS

A. Mounting Brackets: Manufacturer's standard galvanized steel, designed to secure fire extinguisher to wall or structure, of sizes required for types and capacities of fire extinguishers indicated, with plated or red baked-enamel finish.

PART 3 - EXECUTION

3.1 INSTALLATION

A. Examine fire extinguishers for proper charging and tagging.

1. Remove and replace damaged, defective, or undercharged fire extinguishers.

B. Install fire extinguishers and mounting brackets in locations indicated and in compliance with requirements of authorities having jurisdiction.

1. Mounting Brackets: Top of fire extinguisher to be at 42 inches maximum above finished floor. Confirm mounting heights and locations in field with Architect.

Attachment B – Project Construction Manager (PDDM Construction Group)
Responsibilities Matrix

Allies & Ross Management and Development Corporation
IFB#2022-37 –G-E-P-M
New Construction of Northview Midrise

Responsibilites Matrix

PDDM
CM GROUP
- CONSTRUCTION AND PROJECT MANAGEMENT -

SPECIFICATIONS GROUP		General Contractor	Mechanical Contractor	Electrical Contractor	Plumbing Contractor
GENERAL REQUIREMENTS SUBGROUP					
Division 1	General Requirements	X	X	X	X
FACILITY CONSTRUCTION SUBGROUP					
Division 2	Existing Conditions	X			
Division 3	Concrete	X			
Division 4	Masonry	X			
Division 5	Metals	X			
Division 6	Wood, Plastics and Composites	X			
Division 7	Thermal and Moisture Protection	X			
Division 8	Openings	X			
Division 9	Finishes	X			
Division 10	Specialties	X			
Division 11	Equipment	X			
Division 12	Furnishings	X			
Division 13	Special Construction	X			
Division 14	Conveying Equipment	X			
FACILITY SERVICES SUBGROUP					
Division 21	Fire Suppression	X			
Division 22	Plumbing				X
Division 23	Heating, Ventilation and Air Conditioning		X		
Division 25	Integrated Automation	X			
Division 26	Electrical			X	
Division 27	Communications	X			
Division 28	Electronic Safety and Security	X			
SITE AND INFRASTRUCTURE SUBGROUP					
Division 31	Earthwork	X			
Division 32	Exterior Improvements	X			
Division 33	Utilities	X			
33 05 00	Common Materials and Methods	X		X	X
33 10 11	Water Utilities	X			X

Responsibilites Matrix

33 30 00	Sanitary Sewerage Utilities	**x**			**x**
33 40 00	Storm Drainage Utilities	**x**			**x**
33 70 00	Electrical Power Generation	**x**		**x**	
Division 34	Transportation	**x**			
Division 35	Waterway and Marine Construction	**n/a**			

All work beyond 5-feet from the building shall be the responsibility of the General contractor with the following exceptions:

1. The physical taps into the water main and all pipe including the takeoff for the fire suppression line shall be the responsibility of the plumbing contractor. The plumbing contractor shall coordinate with the GC and the fire suppression contractor for the requirements related to the fire suppression service.
2. The plumbing contractor is responsible for all rain leaders and the underground rain conductors along the building and around the perimeter (parallel to the building facades) of the building whether they are shown within 5-feet or not. The G.C. shall be responsible for the connection between the rain conductor that runs around the perimeter of the building and the site storm system. The site storm system is the responsibility of the G.C.
3. The fire service entrance is the responsibility of the G.C. Any work regulated by the County Plumbing division such as the required valving and backflow must be installed by a County licensed plumber employed or subcontracted by the G.C.
4. The wire and conduit from the generator and from the utility connection to the building switchgear shall be the responsibility of the EC. This includes both the primary and secondary building service wire.
5. The E.C. is responsible for any new/relocated utility poles.
6. The E.C. is responsible for furnishing and installing the low voltage conduit for the internet, television, and telephone.

The G.C. is responsible for the following:

1. All storm facilities and rain conductors 5'-fee outside of the building including connections to existing facilities.
2. Any demolition of abandoned in-ground utilities.
3. All trenching and backfilling for the work listed above. See clarifications for Division 33 below.

Clarifications Referring to Division 33 - Utilities:

1. All excavation, bedding, backfill and compaction will be the GC's responsibility.
2. The GC will be responsible for coordinating and scheduling the MEP Contractors.
3. MEP Contractors will be responsible for marking locations where excavation will be required and to provide depth/slope/dimensions of the work to be performed.
4. It is the responsibility of the MEP Contractors to coordinate all inspections/tests/commissioning in reference to their scope of work to be performed.
5. MEP Contractors will be responsible for communicating and coordinating with Utility Service Providers, Fire Marshall, Fire Department and local authorities for the field connections within the SOW.

Attachment C – Section 271513 – Communications Copper Horizontal Cabling

Allies & Ross Management and Development Corporation
IFB#2022-37 –G-E-P-M
New Construction of Northview Midrise

SECTION 271513 - COMMUNICATIONS COPPER HORIZONTAL CABLING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:
1. Category 6 twisted pair cable.
2. Cabling identification products.
3. Grounding provisions for twisted pair cable.

1.3 DEFINITIONS

A. Cross-Connect: A facility enabling the termination of cable elements and their interconnection or cross-connection.

B. EMI: Electromagnetic interference.

C. FTP: Shielded twisted pair.

D. F/FTP: Overall foil screened cable with foil screened twisted pair.

E. F/UTP: Overall foil screened cable with unscreened twisted pair.

F. IDC: Insulation displacement connector.

G. LAN: Local area network.

H. Jack: Also commonly called an "outlet," it is the fixed, female connector.

I. Plug: Also commonly called a "connector," it is the removable, male telecommunications connector.

J. Screen: A metallic layer, either a foil or braid, placed around a pair or group of conductors.

K. Shield: A metallic layer, either a foil or braid, placed around a pair or group of conductors.

L. S/FTP: Overall braid screened cable with foil screened twisted pair.

M. S/UTP: Overall braid screened cable with unscreened twisted pairs.

N. UTP: Unscreened (unshielded) twisted pair.

1.4 COPPER HORIZONTAL CABLING DESCRIPTION

A. Horizontal cable cabling system shall provide interconnections between Distributor A, Distributor B, or Distributor C, and the equipment outlet, otherwise known as "Cabling Subsystem 1," in the telecommunications cabling system structure. Cabling system consists of horizontal cables, intermediate and main cross-connects, mechanical terminations, and patch cords or jumpers used for horizontal-to-horizontal cross-connection.

1. TIA-568-C.1 requires that a minimum of two equipment outlets be installed for each work area.
2. Horizontal cabling shall contain no more than one transition point or consolidation point between the horizontal cross-connect and the telecommunications equipment outlet.
3. Bridged taps and splices shall not be installed in the horizontal cabling.

B. A work area is approximately 100 sq. ft. and includes the components that extend from the equipment outlets to the station equipment.

C. The maximum allowable horizontal cable length is 295 feet This maximum allowable length does not include an allowance for the length of 16 feet to the workstation equipment or in the horizontal cross-connect.

1.5 SUBMITTALS

A. Product Data: For each type of product.

1.6 QUALITY ASSURANCE

A. Installer Qualifications: Cabling Installer must have personnel certified by BICSI on staff.

B. Testing Agency Qualifications: Testing agency must have personnel certified by BICSI on staff.

1. Testing Agency's Field Supervisor: Currently certified by BICSI as an RCDD.

1.7 DELIVERY, STORAGE, AND HANDLING

A. Test cables upon receipt at Project site.

1. Test each pair of twisted pair cable for open and short circuits.

1.8 PROJECT CONDITIONS

A. Environmental Limitations: Do not deliver or install cables and connecting materials until wet work in spaces is complete and dry, and temporary HVAC system is operating and maintaining

ambient temperature and humidity conditions at occupancy levels during the remainder of the construction period.

1.9 COORDINATION

A. Coordinate layout and installation of telecommunications pathways and cabling with Owner's telecommunications and LAN equipment and service suppliers.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

A. General Performance: Horizontal cabling system shall comply with transmission standards in TIA-568-C.1, when tested according to test procedures of this standard.

B. Telecommunications Pathways and Spaces: Comply with TIA-569-D.

C. Grounding: Comply with TIA-607-B.

2.2 GENERAL CABLE CHARACTERISTICS

A. Listed and labeled by an NRTL acceptable to authorities having jurisdiction as complying with the applicable standard and NFPA70 for the following types:

1. Communications, Plenum Rated: Type CMP complying with UL 1685
2. Communications, Non-plenum: Type CMR complying with UL 1666

B. RoHS compliant.

2.3 CATEGORY 6 TWISTED PAIR CABLE

A. Description: Four-pair, balanced-twisted pair cable, with internal spline, certified to meet transmission characteristics of Category 6 cable at frequencies up to 250MHz.

B. Standard: Comply with NEMA WC 66/ICEA S-116-732 and TIA-568-C.2 for Category 6 cables.

C. Conductors: 100-ohm, 23 AWG solid copper.

D. Shielding/Screening: Unshielded twisted pairs (UTP).

E. Cable Rating: Plenum.

F. Jacket: White,(telephone), Blue (Data) thermoplastic.

2.4 TWISTED PAIR CABLE HARDWARE

A. Description: Hardware designed to connect, splice, and terminate twisted pair copper communications cable.

B. General Requirements for Twisted Pair Cable Hardware:

1. Comply with the performance requirements of Category 6.
2. Comply with TIA-568-C.2, IDC type, with modules designed for punch-down caps or tools.
3. Cables shall be terminated with connecting hardware of same category or higher.

C. Source Limitations: Obtain twisted pair cable hardware from same manufacturer as twisted pair cable, from single source.

D. Jacks and Jack Assemblies:

1. Female; eight position; modular; fixed telecommunications connector designed for termination of a single four-pair, 100-ohm, unshielded or shielded twisted pair cable.
2. Designed to snap-in to a patch panel or faceplate.
3. Standard: Comply with TIA-568-C.2.

E. Faceplate:

1. One, or Two port, vertical single gang faceplates designed to mount to single gang wall boxes.
2. Plastic Faceplate: High-impact plastic. Coordinate color with Section "Wiring Devices."
3. For use with snap-in jacks accommodating any combination of twisted pair, optical fiber, and coaxial work area cords.

a. Flush mounting jacks, positioning the cord at a 45-degree angle.

F. Legend:

1. Machine printed, in the field, using adhesive-tape label.
2. Snap-in, clear-label covers and machine-printed paper inserts.

2.5 IDENTIFICATION PRODUCTS

A. Comply with TIA-606-B and UL969 for a system of labeling materials, including label stocks, laminating adhesives, and inks used by label printers.

2.6 GROUNDING

A. Comply with TIA-607-B.

PART 3 - EXECUTION

3.1 WIRING METHODS

A. Wiring Method: Conceal conductors and cables in accessible ceilings, walls, and floors where possible.

B. Wiring within Enclosures: Bundle, lace, and train cables within enclosures. Connect to terminal points with no excess and without exceeding manufacturer's limitations on bending radii. Provide and use lacing bars and distribution spools. Install conductors parallel with or at right angles to sides and back of enclosure.

3.2 INSTALLATION OF TWISTED-PAIR HORIZONTAL CABLES

A. Comply with NECA 1 and NECA/BICSI568.

B. General Requirements for Cabling:
1. Do not untwist twisted pair cables more than 1/2 inch from the point of termination to maintain cable geometry.
2. Terminate all conductors; no cable shall contain unterminated elements. Make terminations only at indicated outlets, terminals, cross-connects, and patch panels. Cables may not be spliced.
3. Do not install bruised, kinked, scored, deformed, or abraded cable. Do not splice cable between termination, tap, or junction points. Remove and discard cable if damaged during installation, and replace it with new cable.
4. Cold-Weather Installation: Bring cable to room temperature before dereeling. Heat lamps shall not be used for heating.
5. In the communications equipment room, install a 10-foot long service loop on each end of cable.

C. Open-Cable Installation:

1. Install cabling with horizontal and vertical cable guides in telecommunications spaces with terminating hardware and interconnection equipment.
2. Suspend twisted pair cabling, not in a wireway or pathway, a minimum of 8 inches above ceilings by cable supports not more than 60 inches apart.
3. Cable shall not be run through structural members or in contact with pipes, ducts, or other potentially damaging items.

D. Separation from EMI Sources:

1. Comply with recommendations from BICSI's "Telecommunications Distribution Methods Manual" and TIA-569-D for separating unshielded copper communication cable from potential EMI sources, including electrical power lines and equipment.
2. Separation between open communications cables or cables in nonmetallic raceways and unshielded power conductors and electrical equipment shall be as follows:

a. Electrical Equipment Rating Less Than 2 kVA: A minimum of 5 inches
b. Electrical Equipment Rating between 2 and 5 kVA: A minimum of 12 inches

c. Electrical Equipment Rating More Than 5 kVA: A minimum of 24 inches

3. Separation between communications cables in grounded metallic raceways and unshielded power lines or electrical equipment shall be as follows:

a. Electrical Equipment Rating Less Than 2 kVA: A minimum of 2-1/2 inches
b. Electrical Equipment Rating between 2 and 5 kVA: A minimum of 6 inches Electrical Equipment Rating More Than 5 kVA: A minimum of 12 inches

3.3 FIRESTOPPING

A. Comply with requirements in Section "Penetration Firestopping."

B. Comply with TIA-569-D, Annex A, "Firestopping."

C. Comply with "Firestopping Systems" Article in BISCI's "Telecommunications Distribution Methods Manual."

3.4 GROUNDING

A. Install grounding according to the "Grounding, Bonding, and Electrical Protection" chapter in BICSI's "Telecommunications Distribution Methods Manual."

B. Comply with TIA-607-B and NECA/BICSI-607.

C. Locate grounding bus bar to minimize the length of bonding conductors. Fasten to wall, allowing at least a 2-inch)clearance behind the grounding bus bar. Connect grounding bus bar to suitable electrical building ground, using a minimum No. 4 AWG grounding electrode conductor.

D. Bond metallic equipment to the grounding bus bar, using not smaller than a No. 6 AWG equipment grounding conductor.

END OF SECTION 271513