PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Design Architect's/Applicant's Certification

Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the

referenced development to include the following energy conservation and sustainability measures. Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercia buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into _____ residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- _____ Enterprise Green Communities 2020
- _____ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) Silver _____ LEED v4 BD+C Multifamily Midrise – Silver OR
- _____ LEED v4 BD+C New Construction & Major Renovation Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification <u>Of Threshold Criteria</u>

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application. Development: _____Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

As the **DESIGN ARCHITECT**, I certify that:

Development Amenities

- An on-site community room will be provided (not applicable to scattered site N/A properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) (A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments. with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and _____ similar spaces) will be air conditioned. (Includes Preservat An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- N/A Broadband Infrastructure – The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 31181 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

preservation developments)

PENNSYLVANIA F	HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)
Smoke Free Develo	pment
As the <u>APPLICANT</u> ,	I certify that:
X	At construction completion, a policy prohibiting the use of tobacco products i all dwelling units, common areas, other buildings that are a part of th development and within 25 feet of all buildings in the development will b implemented.
Energy Rebate Ana	lysis (ERA)
estimated rebate am be considered a sou of Subsidies at Tab	explanation of all energy rebates that may be available for the project with ounts must be submitted with the application. The estimated rebate amounts wi rec and used to size tax credit awards, and must be included on the Certification 20. <u>The energy rebate is not basis eligible and will be removed from basis on i</u> ent. Prior to closing the developer will be required to submit an updated ER/

- a) A list of eligible utility, local, regional, state, or federal rebate programs;
- b) Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- c) Calculations, energy models, or other technical data to support recommendations; d) Letters, program data information, or other documentation from utility providers to support noted programs, and

e) If renewable energy strategies are proposed, a cost/benefit analysis.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Print:

DESIGN ARCHITECT		
Signed: Print: Febre G. Fulcui Firm Fulcui Areculinets, Pc	Date:	5,19,2021
Acknowledged and Accepted by the APPLICANT(S)		
Signed:	Date:	
Print:		
Signed:	Date:	

PENNSYLVANIA HOUSING FINANCE AGENCY (20 This preservation development will achieve certification u

- indicated below: X Enterprise Green Communities – 2020 Modera
- _____ LEED v4 O+M Multifamily Certified _____ ICC 700-2020 National Green Building Standa
- Rating Bronze ICC 700-2015 National Green Building Stan Areas Rating - Compliant with Chapter 12 (mu

Note: For developments certifying under a Natio Project registration/Pre-Build Certification will Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be

The development will meet Passive House _____ internationally) for energy efficiency as dewww.passiv.de/en for additional guidance.)

> To qualify for these points, the applicant must House Consultant who will certify the proposa certification shall be based on a completed Pa WUFI Passive (WP) energy model showing co (PHI) or the Passive House Institute U.S. (schematic drawings and specifications, discu agreed to by the development team (develope rater, Passive House consultant). Submission certifying agency is not required at the time energy model shall be included in the application the assumptions made (wall/floor/roof co systems, windows, renewable energy system shall provide a copy of their Passive House ce in Passive House projects, including contact

> awards of PennHOMES funds and/or tax applicants will be required to get a pre-certification time frame and procedures, and forward Development drawing & specification submiss of the certifying Passive House agency shall b involved in the building design. At construct

commissioning required by the certifying Pass the rater/verifier. After each site visit by the r Passive House certification is required.

*Qualified is defined as having completed a buildings or an inexperienced certified const qualified consultant.

TAB 08 02 CERTIFICATION OF SELECTION CRITERIA

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Unit Amenities

As the **DESIGN ARCHITECT**, I certify that:

Waive

	, i oon	ing thicke	
<u>e Tab 2</u> 9 er Requests	measured from the i all rooms, corridor Rehabilitation develo	dwelling units must fall interior finish surface of s, interior walls, sto opments may vary from y vary from the maxim clearances.	the unit pe rage area n the maxi
	SRO EFF	FLATS 90 to 200 s.f. 400 to 600 s.f.	<u>MU</u>
	1 BR	550 to 850 s.f.	650
	2 BR	700 to 1,100 s.f.	850
	3 BR	950 to 1,350 s.f.	1,0
	4 BR	1,100 to 1,550 s.f.	1,2
	5 BR	1,300 to 1,750 s.f.	1,40
x	Air conditioning will	be supplied to the livi	ng areas a

(Individual window units will not be considered as meeting this criterion except in preservation developments.)

- Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.
- Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

VisitAbility

As the **DESIGN ARCHITECT**, I certify that: N/A All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be VisitAble. In rehab developments, a minimum of twenty-five (25) percent of the units in townhouse developments, elevator buildings and walk-up apartments must be VisitAble. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet VisitAbility design features: the building and units must have at least one zero-step entrance with a 36 inch wide door; all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet

on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide VisitAble units where feasible.)

TAB 08 04 CERTIFICATION OF THRESHOLD CRITERIA

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: Design Architect (Signature): Date: 10/18/2021 1. Number of Buildings: 56 2. Building Height (Stories): 3 to 4 stories 3. Building Code: IBC IRC Construction Type: III-B or V-A 4. Structural System: Wood Joists to 2x4 framing or masonry 5. Exterior Finish: Brick or vinyl 6. Gross Building Area*: 148,586 7. Gross Commercial Area (SF): 0 _ Percentage of Gross Building Area: _____0%____ 8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only 9. Required Variances: N/A 10. Applicable Accessibility Regulations: Section 504 UFAS 🖉 PAUCC 🗆 FHAA 🗆 ADA Accessible Units No. of Unit/Room Type Units SRO EFF 1 BR 2 BR 13 3 BR 25 4 BR Community Room 2244 4116 Circulation.(hallways 1753 2917 stairs & etc.) Other Unit Total 86 Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

GUIDE FOR ARCHITECTS, 2021 EDITION

(2021 UNDERWRITING APPLICATION)	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) The development will increase energy efficiency by achieving certification under the U.S.	PENNSYLVANIA HOUSING FINANCE AGENCY (2021 U
on under one of the green building standards	Department of Energy's Zero Energy Ready Home Program.	Accessible Housing
derate Rehab	Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.	As the DESIGN ARCHITECT, I certify that: X To the best of my knowledge and belief I certify development in conformance with the following ru
ndard Under Section 305.2 – Whole Building Standard Under Section 305.4 – Functional (must include kitchens and bathrooms) ational Green Building Program, proof of be required with the Development y be selected) use certification requirements (nationally or described below. (See <u>www.phius.org</u> or	 The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item. Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion. <u>New Construction</u>: For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV) 	X The Fair Housing Act of 1988 & Fair Housing Desig X ANSI A117.1-2009 (or edition currently adopted by X Pennsylvania Uniform Construction Code X Uniform Federal Accessibility Standards (UFAS) X Section 504 of the Rehabilitation Act of 1973 X 2010 ADA Standards for Accessible Design X Any Other State or Local Code or regulation pert housing accessibility features (Include name of requirements.) NOTE: Where multiple accessibility standards ap accessibility shall be used.
ust contract with a qualified* Certified Passive osal at the time of application to PHFA. This Passive House Planning Package (PHPP) or g compliance with the Passive House Institute . (PHIUS) standard and shall be based on iscussions, assumptions and cost estimates idoper, architect, engineer, contractor, energy sion of the PHPP or WP to a Passive House me of application submission to PHFA. The ication accompanied by a brief description of construction, insulation levels, mechanical stems, etc.). The Passive House consultant ecertification and a list of previous experience tact persons and contact information. After	 For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV) <u>Preservation (Moderate Rehab)</u> *: For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV) *Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation. 	Accessible Units For New Construction and Substantial Rehabilitation Developm As the design architect, I hereby certify that I either have of development to include twice the mandated number of ful or federal mandate, whichever is greater. These units shall Number of accessible units required under local mandate: Number of accessible units required under state mandate: Number of accessible units required under federal mandate Number of fully accessible units provided: For Preservation Developments:
ax credits have been made, all successful ification from PHIUS or PHI under the normal and this to PHFA as part of the Design insistion. During construction all requirements II be inspected by a rater/verifier who was not ruction completion all tests, verifications and assive House agency shall be performed by the rater, a report shall be submitted to PHFA.	 NOTE: Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the MFHR program to achieve the Energy Star® label. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion. 	As the DESIGN ARCHITECT, I hereby certify that I eith referenced development to include the following number standards. Number of existing fully accessible units (by current standards). Number of fully accessible units provided: 5 Applicant also certifies that during initial lease up, these un first thirty days for occupancy by persons needing the provide for certain lease provisions designed to allow the extent feasible, by persons who need the accessible feature
209	TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210	Tab_08_02 Certification of Selection Criteria

e limits listed below. (Net area is perimeter walls, and shall include eas, and mechanical spaces.) ximums and minimums by 10%. equired to provide an accessible

ULTI-FLOOR UNITS

0 to 950 s.f. 50 to 1,300 s.f 000 to 1,550 s.f. 200 to 1,750 s.f. .400 to 2.000 s.f.

and all bedrooms of each unit.

conformance with the Fair Housing Act Design Standards Guide, as applicable. The subject development is substantial rehabilitation but is seeking a waiver as existing N/A conditions prohibit 100% compliance with the Fair Housing Act Design Standards Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009. Energy Conservation & Green Building Criteria As the **DESIGN ARCHITECT**, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures

New construction and substantial rehabilitation developments are designed in

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

______ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion All substantially rehabilitated multifamily buildings shall comply with the requirements of _X____ the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be uploaded to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

> In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed vation Code Chapter 5 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (Including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for airsource equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast; and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

Fair Housing

N/A

As the **DESIGN ARCHITECT**, I certify that:

1 UNDERWRITING APPLICATION)

As the DE	SIGN ARCHITECT, I certify that:
_X	To the best of my knowledge and belief I certify that I have designed the referenced
	development in conformance with the following rules and regulations as they apply to
	this development and as amended by Federal, State and local authorities.
	this development and as amended by rederal, orace and local admontes.

- esign Manual by the PA UCC)
- pertaining to design or inclusion of rental of locality and citation for applicable apply, the standard that affords greater
- ve designed or will design the referenced fully accessible units under local, state, hall meet current accessibility standards.

either have designed or will design the ber of units to meet current accessibility ndards): ____0

e units will be exclusively reserved for the he accessible units and thereafter will the units to be occupied to the greatest atures of the units.

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

- All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.
- In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning condensing units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA

As the APPLICANT, I certify that:

- __X___ When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists. As the **DESIGN ARCHITECT**, I certify that for new construction and substantial rehab developments:
- ____X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria, (Not applicable if seeking certification under a National Green Building program in Selection Criteria) plus the following:

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design ____X the referenced development to include the following green building features:

- 1. No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- 2. All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- 3. Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) Large Family Units As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:	205 Ross Street Pittsburgh, Pennsylvania 1521 ph 412.281.6001 fx 412.281.6002
*High rise developments and senior housing cannot qualify for this category. 71 Total units >15 - 20% of all units 43 Total number of affordable 3 or more-bedroom units >20 - 25% of all units >10-15% of all units (suburban/rural developments only) X >25% of all units DESIGN ARCHITECT X >25% of all units Signed: Date: \$19,202 Print: High rise developments only) Date: Signed: Date: Date: Print: Date: Date: Print: Date: Date: Print: Date: Date:	©2022 Fukui Architects, Pc
TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 212 NSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION) DESIGN ARCHITECT, I certify that for preservation developments:	 general notes Any conflicts in the drawings or between new ar existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existin conditions in the field and shall advise Fukui Architect
X The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)	Pc of any discrepancies between, additions to, deletio from, or alterations to any and all conditions prior proceeding with any phase of work. Do not sca
Enterprise Green Communities Criteria for Preservation Developments Preservation developments are not required to follow the mandatory 2020 Enterprise Green	
Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the Dilowing mandatory 2015 Green Communities criteria, as amended: 1 Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) 2 Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) 3 Ecosystem Services/Landscaping (applicable only to new landscaping)	 All work shall be installed in accordance with applicate codes and regulations. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, as ceiling surfaces as required to receive scheduled finishe All items shown on drawings are finished construction
 Preservation developments are not required to follow the mandatory 2020 Enterprise Green communities criteria for "moderate rehab" projects. Instead, they shall comply with only the oblowing mandatory 2015 Green Communities criteria, as amended: Invironmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Eighting (Applicable only to new lighting fixtures) Lighting (Applicable only to new lighting fixtures) Bath, Kitchen Laundry surfaces Managing Moisture: Foundations (Applicable to new addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing) 	 All work shall be installed in accordance with applicab codes and regulations. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, ar ceiling surfaces as required to receive scheduled finisher. All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies. All reports, plans, specifications, computer files, fiel data, notices, and other documents and instrumen prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reserver rights, including the copyright thereto.
 Preservation developments are not required to follow the mandatory 2020 Enterprise Green communities criteria for "moderate rehab" projects. Instead, they shall comply with only the pollowing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Energy Star Appliances (Applicable only to new appliances) Lighting (Applicable only to new lighting fixtures) Healthier Material Selection (Applicable only to new paints, coatings and primers) Bath, Kitchen Laundry surfaces Managing Moisture: Foundations (Applicable to new addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing) Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only) Integrated Pest Management (Applicable only if identified as a problem in the PCNA) Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements) 	 All work shall be installed in accordance with applicable codes and regulations. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishets. All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies. All reports, plans, specifications, computer files, fieldata, notices, and other documents and instrument prepared by the Architect as instruments of service share remain the property of the Architect. The Architect share retain all common law statutory, and other reserver rights, including the copyright thereto.
 Preservation developments are not required to follow the mandatory 2020 Enterprise Green communities criteria for "moderate rehab" projects. Instead, they shall comply with only the pollowing mandatory 2015 Green Communities criteria, as amended: Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements) Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures) Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Energy Star Appliances (Applicable only to new appliances) Lighting (Applicable only to new lighting fixtures) Healthier Material Selection (Applicable only to new addition foundations) Bath, Kitchen Laundry surfaces Managing Moisture: Foundations (Applicable to new addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing) Combustion equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only) Integrated Pest Management (Applicable only if identified as a problem in the PCNA) Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements) Cownership DESIGN ARCHITECT, I certify that: The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hookups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided. 	 All work shall be installed in accordance with applicable codes and regulations. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies. All reports, plans, specifications, computer files, fiel data, notices, and other documents and instrumen prepared by the Architect as instruments of service sharemain the property of the Architect. The Architect sharetain all common law statutory, and other reserver rights, including the copyright thereto.
Preservation developments are not required to follow the mandatory 2020 Enterprise Green communities criteria for "moderate rehab" projects. Instead, they shall comply with only the pllowing mandatory 2015 Green Communities criteria, as amended: Interpretation of Disturbance during staging and construction. (Applicable only to new ground disturbance) Ecosystem Services/Landscaping (applicable only to new landscaping) Water-Conserving Fixtures (Applicable only to new fixtures) Sign of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment) Energy Star Appliances (Applicable only to new appliances) Elipting (Applicable only to new ighting fixtures) Heatthier Material Selection (Applicable only to new appliances) Bath, Kitchen Laundry surfaces Managing Moisture: Foundations (Applicable to new addition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new audition foundations) Managing Moisture: Roofing and Wall Systems (Applicable to new combustion equipment only) Integrated Pest Management (Applicable only if identified as a problem in the PCNA) Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements) Ownership DESIGN ARCHITECT , I certify that: The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hookups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided. IDESION ARCHITECT . Indescape architect or civil engineer] 1, the undersigned, hereby certify have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal approximate for homeownership by tenants as determined by the Agency). Utility hookups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided.	 All work shall be installed in accordance with applicat codes and regulations. Contractor shall be responsible for the patchin repairing, and preparations of all existing floor, wall, as ceiling surfaces as required to receive scheduled finishe All items shown on drawings are finished construction assemblies. Contractor shall provide and install a material required for finished assemblies. All reports, plans, specifications, computer files, fie data, notices, and other documents and instrumen prepared by the Architect as instruments of service shar remain the property of the Architect. The Architect shar retain all common law statutory, and other reserver rights, including the copyright thereto. ISSUED FOR PERMIT: 05.06.2022
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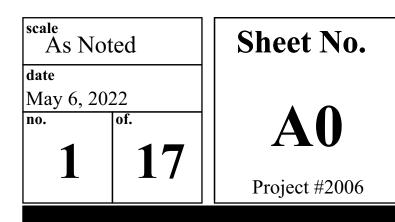
Project Location:

MANCHESTER SCATTERED SITES 1130 Sheffield Street PITTSBURGH, PENNSYLVANIA 15233

drawing title

SELECTION CRITERIA, THRESHOLD CRITERIA, **TABULAR SCHEDULE**

TABULAR AREA UNIT SCHEDULE		
UNIT	GROSS AREA (SF)	NET AREA (SF)
UNIT 1	1,745	1,631
UNIT 2	1,059	953
UNIT 3	1,113	1,003
COMMON	477	212



MANCHESTER SCATTERED SITES

HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1130 Sheffield Street PITTSBURGH PENNSYLVANIA 15233 UNIT 1 -3 BEDROOM : UNIT 2 - 3 BEDROOM : UNIT 3 - 2 BEDROOM

Drawing Index

A0 PHFA DOCUMENTS

SELECTION CRITERIA

THRESHOLD CRITERIA TABULAR SCHEDULE

A1 COVER SHEET	
	ARCH PRLIM

AI COVER SHEET	Gross Area:
ARCH PRLIM SET	Construction Type: Sprinklers:
MANCHESTER SCATTERED SITES MAP	Smoke detector:
CODE & CONTACT INFO	
ARCH PRLIM SET	
A2 ABBREVIATIONS AND MATERIALS	
DOOR SCHEDULE (WITH EXISTING)	
WINDOW SCHEDULE	
FINISH SCHEDULE	
ABBREVIATIONS AND MATERIALS	
DOOR TYPES	Contact S
HISTORIC BRICK WALL SECTION	Contact 5
BRICK WALL SECTION	Note: Any questions concernin
INTERIOR STAIR DETAIL	forward questions as appropriat
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	Building Owner:
GENERAL NOTES	Housing Authority
ENERGY NOTES	of the City of Pittsburgh
A4 SITE PLAN AND ROOF PLAN	ph: 412.715.7501 mackenzie.pleskovic@hacp.org
	contact: Mackenzie Pleskovic
ROOF PLAN	
SITE PLAN	
ROOF AND SITE PLAN LEGEND	
ROOF PLAN NOTES	
GRAPHIC SCALES	
GRAPHIC SCALES	Comonal
SMALL UNIT KEYNOTES	General
A5 FLOOR / DEMO PLANS	
SMALL UNIT KEYNOTES	1. It is intended that the s
GRAPHIC SCALES	Notes on Sheet A-3. 2. For Scope of Work iter Architectural Scope N
BASEMENT / DEMO PLAN	3. After Bid Award and r
FIRST FLOOR / DEMO PLAN	
DEMOLITION PLAN LEGEND	
GENERAL DEMOLITION NOTES	General
A6 FLOOR / DEMO PLANS	
SMALL UNIT KEYNOTES	Shown ii
GRAPHIC SCALES	Showh h
	1. Quantities shown in th
SECOND FLOOR / DEMO PLAN	with HACP. They are
THIRD FLOOR / DEMO PLAN	2. All contractor's and m offs.
DEMOLITION PLAN LEGEND	0115.
GENERAL DEMOLITION NOTES	
A7 FLOOR/FINISH/MECH./PLUMB. PLAN	A11 NORTH / SOUTH ELEVATION
FLOOR PLAN LEGEND	NORTH ELEVATIO
GRAPHIC SCALES	SOUTH ELEVATIO
	GRAPHIC SCALES
BASEMENT/FINISH/MECH./PLUMB. PLAN	GRAPHIC SCALES
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN	HISTORIC KEYNC
FIRST FLOOR/FIRISH/MECH./I LOMD. I LAN	SMALL UNIT KEY
SMALL UNIT KEYNOTES	A12 EAST ELEVATION
A8 FLOOR/FINISH/MECH./PLUMB. PLAN	HISTORIC KEYNC
SMALL UNIT KEYNOTES	SMALL UNIT KEY
	GRAPHIC SCALES
FLOOR PLAN LEGEND	EAST ELEVATION
GRAPHIC SCALES	A13 KITCHEN ENLARGED PLANS AN
	UNIT 1 KITCHEN I

Code Conformance Information

Applicable Codes	
General:	2015 Inte
Accessibility:	2009 ICC
Energy:	2015 Inte
Electrical:	2014 NE
Fire:	2015 Inte
Fuel Gas:	2015 Inte
Mechanical:	2015 Inte
Plumbing:	2017 Alle
Fire Alarm:	2013 NFI
Sprinkler:	2013 NFI

General Building / Project Information Classification of Work: Occupancy Group: Stories: Gross Area: Construction Type Sprinklers: Smoke detector:

"R-2" 3,235 sqft None 12

Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers. **Building Owner:**

General Description of Work

It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3. For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

General Note Related to Quantities Shown in Documentation

- offs.

A7 FLOOR/FINISH/MECH./PLUMB. PLAN	A11 NORTH / SOUTH ELEVATION	
FLOOR PLAN LEGEND	NORTH ELEVATION	
GRAPHIC SCALES	SOUTH ELEVATION	
	GRAPHIC SCALES	
BASEMENT/FINISH/MECH./PLUMB. PLAN	GRAPHIC SCALES	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN	HISTORIC KEYNOTES	
	SMALL UNIT KEYNOTES	
SMALL UNIT KEYNOTES	A12 EAST ELEVATION	
A8 FLOOR/FINISH/MECH./PLUMB. PLAN	HISTORIC KEYNOTES	
SMALL UNIT KEYNOTES	SMALL UNIT KEYNOTES	
	GRAPHIC SCALES	
FLOOR PLAN LEGEND	EAST ELEVATION	
GRAPHIC SCALES	A13 KITCHEN ENLARGED PLANS AND ELEVATIONS	
	UNIT 1 KITCHEN ENLARGED PLAN	
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	UNIT 1 KITCHEN ELEVATION 01	
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	A14 KITCHEN ENLARGED PLANS AND ELEVATIONS	
A9 REFLECTED CEILING / POWER / DATA PLANS	UNIT 2 KITCHEN ENLARGED PLAN	
SMALL UNIT KEYNOTES	UNIT 2 KITCHEN ELEVATION 01	
GRAPHIC SCALES	UNIT 3 KITCHEN ENLARGED PLAN	
	UNIT 3 KITCHEN ELEVATION 01	
BSMT. REFL. CLG/ POWER / DATA PLAN	A15 DETAILS	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	WINDOW INSTALLATION UNDER VINYL SI	
	EXTERIOR DOOR THRESHOLD	
RCP LEGEND	WOOD FENCE DETAIL	
LIGHTING SCHEDULE		
A10 REFLECTED CEILING / POWER / DATA PLANS		
SMALL UNIT KEYNOTES		

SMALL UNIT KEYNOTES GRAPHIC SCALES

SECOND FLOOR REFL. CLG. / POWER / DATA PLAN THIRD FLOOR REFL. CLG./ POWER / DATA PLAN

RCP LEGEND LIGHTING SCHEDULE

ternational Building Code C/ANSI A117.1 ternational Energy Conservation Code EC (NFPA 70) ternational Fire Code ternational Fuel Gas Code ternational Mechanical Code llegheny County Health department Plumbing Code FPA 72 FPA 13

Level-2 alteration per the IEBC 3 story with basement

> Architect: Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002

contact: Felix G. Fukui, AIA

Fgf@farpc.com

Plan Review & Inspection City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-

STREET
AVENUE
TEDMAN STREET
SHEFFIELD STREET
HAMLIN STREET
WEST NORTH AVENUE
WEST NORTH AVENUE WEST NORTH AV

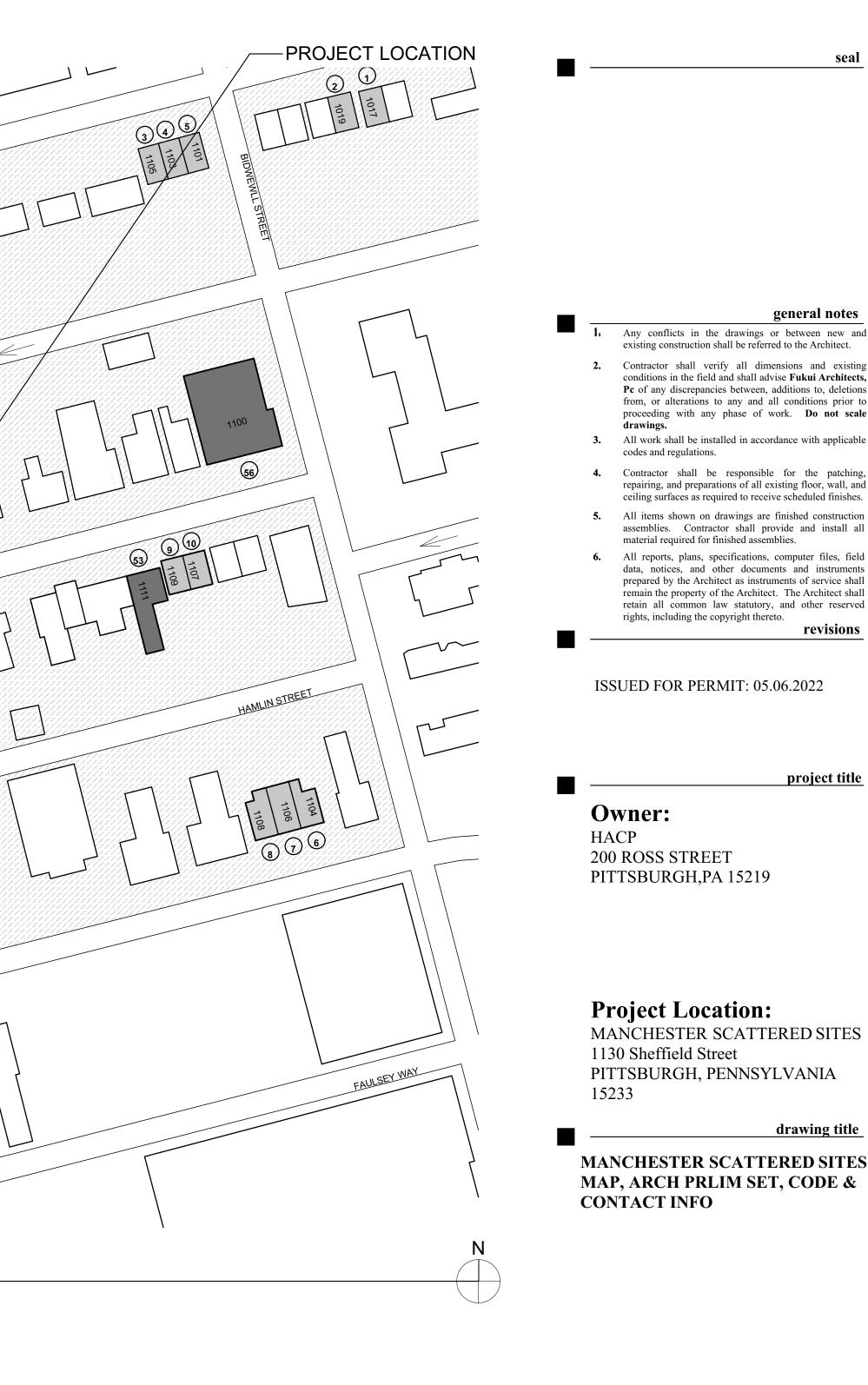
MANCHESTER SCATTERED SITES MAP NOT TO SCALE

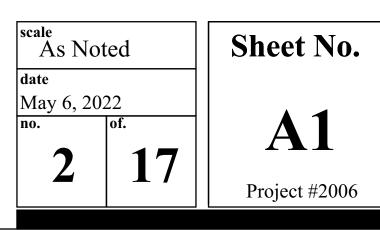
Fukui	Architects	Pc
I'UKUI	Alemieus	

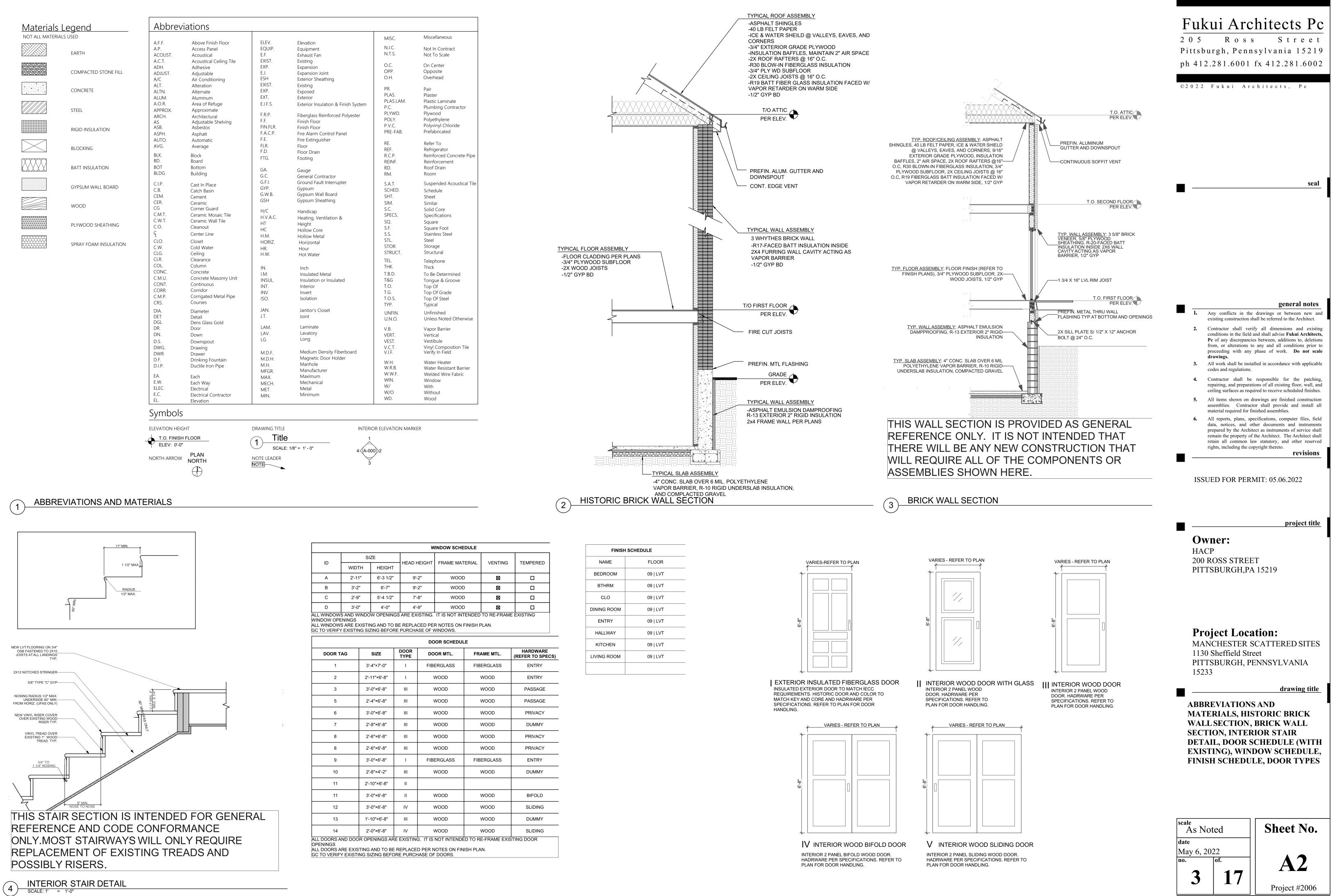
2 0 5 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002

seal

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W	WINDOW SCHEDULE				
ЭНТ	FRAME MATERIAL	VENTING	TEMPERED		
	WOOD	⊠			
	WOOD	⊠			
	WOOD	⊠			
	WOOD				
NG. IT IS NOT INTENDED TO RE-FRAME EXISTING					
) PER NOTES ON FINISH PLAN. OF WINDOWS.					

DOOR SCHEDULE			
DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)	
FIBERGLASS	FIBERGLASS	ENTRY	
WOOD	WOOD	ENTRY	
WOOD	WOOD	PASSAGE	
WOOD	WOOD	PASSAGE	
WOOD	WOOD	PRIVACY	
WOOD	WOOD	DUMMY	
WOOD	WOOD	PRIVACY	
WOOD	WOOD	PRIVACY	
FIBERGLASS	FIBERGLASS	ENTRY	
WOOD	WOOD	DUMMY	
WOOD	WOOD	BIFOLD	
WOOD	WOOD	SLIDING	
WOOD	WOOD	DUMMY	
WOOD	WOOD	SLIDING	
IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR			

IT IS NOT INTENDE	D TO RE-FRAME	EXIS	TING	DOOI
PER NOTES ON FIN	ISH PLAN.			

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIVING ROOM	09 LVT

GENERAL FLOOR PLAN NOTES

- 1 CONTRACTOR TO FIELD VERIEY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT
- 2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.
- 4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE. UNLESS NOTED OTHERWISE.
- 5. AT WALLS SCHEDULED FOR REFINISHINNG, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS
- 6. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW.
- 7. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS.
- 8. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS.
- 9. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY.
- 10. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES.
- 11. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED.
- 12. PROJECT IS MULTIPLE PRIMES. GENERAL. MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THEOWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THERESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 13. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 14. EACH PRIME CONTRACTOR IS TOOBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS
- 15. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & FOUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OF REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- 16. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN PREPARE EXISTING WALL. CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS
- 17. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS.
- 18. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS
- HAZARDOUS NOTES
- 1. BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY ATC AND INTERTEK PSI.
- 2. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION. WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT, AND CM FOR GUIDELINES ON TESTING AND MITIGATION.

GENERAL HISTORIC PRESERVATION NOTES

- HISTORIC PRESERVATION NOTES SHALL OVERRIDE KEYNOTES WHERE APPLICABLE.
- THE REPAIR OF EXISTING FEATURES WITH INAPPROPRIATE MATERIALS, SUCH AS ALUMINUM JAMB CASINGS AND BRACKET TINWORK, SHALL BE AVOIDED.
- REHABILITATION WORK SHALL NOT DESTROY THE DISTINGUISHING QUALITIES OR CHARACTER OF THE STRUCTURE AND ITS ENVIRONMENT. THE REMOVAL OR ALTERATION OF ANY HISTORIC MATERIAL OR ARCHITECTURAL FEATURES SHOULD BE HELD TO A MINIMUM.
- IN THE EVENT REPLACEMENT IS NECESSARY, THE NEW MATERIAL SHOULD MATCH THE MATERIAL BEING REPLACED IN THE COMPOSITION, DESIGN, COLOR, TEXTURE, AND OTHER VISUAL QUALITIES. REPAIR OR REPLACEMENT OF MISSING ARCHITECTURAL FEATURES SHOULD BE BASED ON ACCURATE DUPLICATIONS OF ORIGINAL FEATURES, SUBSTANTIATED BY PHYSICAL OR PICTORIAL EVIDENCE, RATHER THAN ON CONJECTURAL DESIGNS OR THE AVAILABILITY OF DIFFERENT ARCHITECTURAL FEATURES FROM OTHER BUILDINGS

ENVIRONMENTAL AND LIANDSCAPE HISTORIC PRESERVATION NOTES

- RETAIN LANDSCAPE FEATURES SUCH AS PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS THAT HAVE TRADITIONALLY LINKED BUILDINGS TO THEIR FNVIRONMENT
- USING NEW PLANT MATERIALS, FENCING, WALKWAYS STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR.
- FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED

ARCHITECTURAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER THE ARCHITECT AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.
- INTERIOR DOORS, HARDWARE, AND DOOR TRIM WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED. ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION.
- WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS, SEE SHEET A-11, "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT
- 4. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES.
- 5. ALL CLOSETS ROD & SHELVES
- 6. ALL ROOF SOFFITS
- GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4
- 8. ADDRESS NUMBERS
- 9. DRYWALL UP TO 200SF
- 10. METAL EXTERIOR RAILINGS AND GATES
- 11 INTERIOR WOOD HANDRAILS
- 12. HVAC SUPPLY AND RETURN GRILLES/VENT COVERS 13. DUCTWORK
- THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O:
- 14. COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE SINKS, AND COUNTERTOPS, BACKSPLASH. NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS.
- 15. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- 16. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS.
- 17. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY
- 18. REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COVE BASE PER SPECIFICATIONS.
- 19. ALL NEW DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOCKS, AND CORES REPLACED.
- 20. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS.
- 21. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4
- 22. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICAITONS.
- 23. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS.
- 24. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS.
- 25. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES. PER SPECIFICATIONS

THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET

- 1. PARKING PADS
- 2. CONCRETE STEPS AND SIDEWALKS
- INTERIOR STAIRS
- 4. BASEMENT SLAB AND WALL CRACKING
- 5. EMERGENCY LIGHTING
- 6. SPRINKLER SYSTEMS
- 7. FIRE ALARM SYSTEMS

MASONRY HISTORIC PRESERVATION NOTES

- RETAIN ORIGINAL MASONRY AND MORTAR WHENEVER POSSIBLE, WITHOUT THE APPLICATION OF ANY SURFACE TREATMENT. DUPLICATE OLD MORTAR IN COMPOSITION, COLOR
- TEXTURE, JOINT SIZE, METHOD OF APPLICATION, AND JOINT PROFILE. CLEANING MASONRY WILL BE APPROVED ONLY WHEN NECESSARY TO HALT DETERIORATION AND ALWAYS WITH
- THE GENTLEST METHOD POSSIBLE, SUCH AS LOW-PRESSURE WATER AND SOFT NATURAL BRUSHES. DETERIORATED MASONRY WORK SHALL BE REPAIRED TO BE INCONSPICUOUS AND COMPATIBLE WITH THE EXISTING. BRICKWORK SHALL NOT BE SANDBLASTED AND MAY BE CI FANED WITH HYDROFI UORIC ACID IN CONCENTRATION OF NOT MORE THAN 5% OR
- EQUIVALENT. WATERPROOFING DETAILS CANNOT ALTER THE EXTERIOR ON HISTORIC PROJECTS REPOINTING WITH A MORTAR OF HIGH PORTLAND CEMENT CONTENT CAN CREATE A BOND THAT IS OFTEN
- STRONGER THAN THE BUILDING MATERIAL. THIS CAN CAUSE DETERIORATION AS A RESULT OF THE DIFFERING COEFFICIENT OF EXPANSION AND THE DIFFERING POROSITY OF THE MATERIAL AND THE MORTAR. MASONRY SURFACES, WHICH HAVE BEEN PAINTED IN THE
- PAST, SHOULD, IN MOST CASES, BE REPAINTED. REPAIRING OR REPLACING. WHERE NECESSARY DETERIORATED MATERIAL WITH NEW MATERIAL SHOULD ATTEMPT TO DUPLICATE THE OLD AS CLOSELY AS POSSIBLE

PLUMBING SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED FLUE PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS SEE SPECIFICATIONS.
- P2. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK. FLOOR STAND DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR,8"DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSAT MODEL GC5OR APPROVED EQUAL GRILLE WITH 10X10 PLENUM AND 8" DIAMETER CONNECTOR, SEE SPECIFICATIONS.
- P3. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM.REMOVE EXISTING WAX RING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TOSERVE NEW FIXTURE.
- P4. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, ORWALL HUNG TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAINLINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE TO MATCHEXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P5. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUTSHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P6. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE
- P7. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWLTO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P8. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATERLINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLETO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P9. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW HOSE-BIBB, SEE SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE.
- P10.EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED.
- P11.INSPECTION REPORT INDICATES SEWER BACKUP REMEDIATION IS REQUIRED. EXISITNG SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED.
- P12.INSPECTION REPORT INDICATES POOR WATER FLOW AT EXISTING FIXTURE(S), TEST WATER PRESSURE AT ROUGH-INS WITH FIXTURES REMOVED, INVESTIGATE REASON FOR LOW WATER PRESSURE, AND REPAIR REPLACE WATER PIPING AS MAY BE REQUIRED.
- P13.INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE, NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED, REMOVE 12"OF EXISITNG FLOOR SLAB AROUND PERIMETER OF BASEMENT, PROVIDE NEW DRAIN THE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMPLOCATION AND PROVIDE NEW DUPLEX SUMP PUMP WITH BATTERY BACKUP, EXTEND SUMP DISCHARGE TO CONNECTION TO EXISITNG STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE.
- P14.ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWERVIDEO TO THE OWNER).

WOOD HISTORIC PRESERVATION NOTES

- REPAIR, RESTORE AND, IF NECESSARY, REPLACE SUCH AS WOOD PANELING. OR ALUMINUM OR VINYL SIDING IN APPROPRIATE SCALE AND FINISH. IS NOT PROHIBITED. WHERE THOSE MATERIALS ARE USED. APPROPRIATE TRIM DETAILS WILL BE RETAINED OR DUPLICATED. 2.
- DOORWAY PEDIMENTS IS PROHIBITED.

CLEAN WHEN NECESSARY WITH THE APPROPRIATE METHOD. CAST IRON AND STEEL ARE NORMALLY NOT

COLOR, TEXTURE, AND TONE OF THE METAL.

1.

METAL HISTORIC PRESERVATION NOTES

CLEAN WHEN NECESSARY WITH THE APPROPRIATE 1. METHOD. CAST IRON AND STEEL ARE NORMALLY NOT AFFECTED BY MECHANICAL CLEANING METHODS, WHILE PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS. WHICH ALTER THE

MECHANICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT

100% REPLACEMENT PER THE SPECIFICATIONS. AT THE

TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION

MANAGER THE ARCHITECT AND/OR ANY APPLICABLE

CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE

PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE

LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED

WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT

BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE,

DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED

HIGH EFFICIENCY GAS FURNACE. EVAPORATOR COIL.

REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING

CONTROLS, AND PRECAST CONCRETE EQUIPMENT

EXISTING GAS PIPING WITH ISOLATION VALVE. DIRT

LEG, AND UNION. EXTEND AND CONNECT NEW

AIR INTAKE AND EXHAUST FLUE PIPING TONEW

BASE. EXTEND AND CONNECT NEW GAS PIPING TO

CONDENSATE DRAIN LINE TO EXISTING CONDENSATE

CONCENTRIC VENT TERMINATION OUTDOORS, SEE

EXISTING WALLS / BULKHEADS AS REQUIRED TO

PERFORM THE WORK AND RESTORE ALL WALLS

/BULKHEADS UPON COMPLETION OF THE WORK.

FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN

ASSOCIATED REFRIGERANT PIPING, AND CONTROLS.

REGISTERS. ALL ASSOCIATED REFRIGERANT PIPING

CONTROLS AND PRECAST CONCRETE FOUIPMENT

BASE. EXTEND AND CONNECT NEW CONDENSATE

DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS

REQUIRED. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS

REQUIRED TO PERFORM THE WORK AND RESTORE ALL

WALLS / BULKHEADS UPONCOMPLETION OF THE WORK.

M3. DISCONNECT AND REMOVE EXISTING AIR-COOLED

PIPING, AND CONTROLS, PROVIDE NEW HIGH

PRECAST CONCRETE EQUIPMENT BASE, SEE

ASSOCIATED EXHAUST AIR DUCTWORK, AND

SHALL OPEN ALL EXISTING CEILINGS/ WALLS /

UPON COMPLETION OF THE WORK

UPON COMPLETION OF THEWORK.

SPECIFICATIONS

SPECIFICATIONS.

M6. DISCONNECT AND REMOVE EXISTING RADON

M5. DISCONNECT AND REMOVE EXISTING CEILING

M4. DISCONNECT AND REMOVE EXISTING CEILING

SPECIFICATIONS.

CONDENSING UNIT. ALL ASSOCIATED REFRIGERANT

FEFICIENCY CONDENSING UNIT / HEAT PUMP UNIT. ALL

ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND

MOUNTED BATHROOM EXHAUST FAN. ALL ASSOCIATED

NEW CEILING MOUNTED BATHROOM EXHAUST FAN, ALL

CONTROLS, SEE SPECIFICATIONS. THIS CONTRACTOR

BULKHEADS AS REQUIRED TO PERFORM THE WORK

AND RESTORE ALL CEILINGS / WALLS / BULKHEADS

MOUNTED KITCHENEXHAUST FAN. ALL ASSOCIATED

EXHAUST AIR DUCTWORK, ANDCONTROLS, PROVIDE

NEW CEILING MOUNTED KITCHEN EXHAUST FAN, ALL

CONTROLS, SEESPECIFICATIONS. THIS CONTRACTOR

BULKHEADS AS REQUIRED TO PERFORM THE WORK

ANDRESTORE ALL CEILINGS / WALLS / BULKHEADS

MITIGATION FAN. EXISTING RADON EXHAUST AIR

OPERATION. EXTEND AND CONNECT TO EXISTING

RADON EXHAUST AIR DUCTWORK AS REQUIRED, SEE

CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES

DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET,

PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN

MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO

DUCTWORK TO REMAIN. PROVIDE NEW RADON

METER FOR VISUAL INDICATION OF PROPER

M7. DISCONNECT, REMOVE, AND REPLACE EXISTING

WITH IN-LINE LINT TRAP ASSEMBLY, SEE

ASSOCIATED EXHAUST AIR DUCTWORK, AND

SHALL OPEN ALL EXISTING CEILINGS/ WALLS /

EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE

SUPPLY AND RETURN AIR DUCTWORK / GRILLES /

PROVIDE NEW ELECTRIC FURNACE. EVAPORATOR COIL.

M2. DISCONNECT AND REMOVE EXISTING ELECTRIC

AIR DUCTWORK / GRILLES / REGISTERS, ALL

DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION

SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL

SUPPLY AND RETURN AIR DUCTWORK / GRILLES /

REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW

EVAPORATOR COIL SUPPLY AND RETURN AIR

EXISTING WOOD SIDING WITH SIMILAR WOOD MATERIALS. HOWEVER, REPLACEMENT USING OTHER MATERIALS,

REMOVING ARCHITECTURAL FEATURES SUCH AS SIDING, CORNICES, BRACKETS, WINDOW ARCHITRAVES, AND

METAL HISTORIC PRESERVATION NOTES

AFFECTED BY MECHANICAL CLEANING METHODS. WHILE PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE

COLOR, TEXTURE, AND TONE OF THE METAL

ELECTRICAL SCOPE NOTES

THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT **100% REPLACEMENT PER THE SPECIFICATIONS. AT THE** TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:

- E1. CONTRACTOR SHALLREPLACE EXISTING ELECTRICAL PANELASREQUIRED WITH NEWPER SPECIFICATIONS. FIELD VERIFY CONDITIONAND SIZE OF EACHBRANCH CIRCUIT AND PROVIDE NEW CIRCUITBREAKERS AND/ORWIRING AS REQUIRED.ENSURE NEWELECTRICALPANEL IS INCOMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENTSPACECLEARANCES PRIOR TO FINAL INSTALLATION.
- E2. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS.
- E3. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF
- E4. ALL LIGHT FIXTURES THAT MAYBE MISSING INOPERABLE. OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACYLED LIGHT FIXTURES PER SPECIFICATIONS.
- E5. CONTRACTOR SHALL INSTALL NEWLEDLIGHT FIXTURES AND 3-WAYSWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSINGLIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THEINTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLE(E.C.) EVELSOVER EXISTING STAIRWAYSSHALL BE NO LESSTHANTHERECOMMENDEDF.C. LEVELS FROMNFPA 101, LIFE SAFETYCODE.
- E6. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED INACCORDANCE WITHTHE N.E.C.
- E7. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL **RECEPTACLES & SWITCHES' JUNCTION BOXES AND** BRANCH CIRCUIT WIRING, AND REPAIR/REPLACE AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 44" AFF U.N.O.
- E8. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM.
- E9. CONTRACTORFIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED INACCORDANCE WITH THEN.E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/ORSERVICE POWER FEED THAT MAY RESULT IN FLECTRICAL DEVICES LIKE RECEPTACIES, LIGHT SWITCHES, LUMINARIES, ETC., BEING INOPERABLE
- E10. FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARMPER SPECIFICATIONS.
- E.11ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWERAT EXISTINGGAS-FIRED FURNANCETO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR.
- E12.ELECTRICAL CONTRACTOR SHALL RECONNECT & **PROVID EPOWER TO NEW FURANCE FURNISHED &** INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION(MOP) PRIOR TO FINAL INSTALLATION.
- E13.ELECTRICAL CONTRACTOR SHALLDE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR

- E14.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW AIR-COOLED CONDENSING UNIT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW NEMA-3R, OUTDOOR DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUITAMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIORTO FINAL INSTALLATION.
- E.15ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORFANCE WITH THE N.E.C.
- E16.ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR.
- E17.ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.18ELECTRICAL CONTRACTOR SHALL DE-ENGERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR.
- E 19ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR, PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISITING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION.
- E.20ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICALCONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP SUMP PUMP ASSEMBLY, INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THEN F.C.
- E21.CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED.
- E22.NEW APPLICANCES SUCH ASBUILT-IN DISHWASHERS AND TRASHCOMPACTORS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECTEDWITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSEIN THE INSTALLATION INSTRUCTIONS OF THE APPLICANCE MANUFACTURER.
- E23.CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICALPANEL BOARDS.
- E24.CONTRACTOR SHALL DISCONNECT AND REMOVE EXISITNG BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALALTION SHALL BE IN ACCORDANCE WITH THE LB.C. AND N.E.C.
- E25.CONTRACTOR SHALL DISCONENCT AND REMOVE EXISITNG ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING.
- E26.CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED.

ROOF HISTORIC PRESERVATION NOTES

- PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING DORMERS AND CHIMNEYS SHALL BE RETAINED
- RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE. SHALL BE STANDING-SEAM METAL DARK SHINGLES, OR SLATE. ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE
- DOWNSPOUTS SHALL BE COPPER OR ALUMINUM (PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED **APPROPRIATELY**
- REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE
- PRESERVE AND REPLACE, WHERE NECESSARY, ALL ARCHITECTURAL FEATURES THAT GIVE THE ROOF ITS ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS, CUPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING AND WEATHERVANES.

DOOR & WINDOW HISTORIC PRESERVATION NOTES

- EXISTING WINDOW AND DOOR OPENINGS SHALL BE RETAINED, INCLUDING WINDOW SASH, GLASS, LINTELS SILLS, ARCHITRAVES, SHUTTERS, AND DOORS, PEDIMENTS, HOODS, ARCHITRAVES, STEPS, AND ALL
- HARDWARE. ALL WINDOW AND DOOR CASING, SASHES, AND MUNTINS ON THE FRONT FACADE SHALL BE PAINTED, STAINED OR VINYL CLAD WOOD. VINYL CLAD AND OTHERS MAY BE PERMITTED IF THE BASIC SHAPE OF THE ORIGINAL
- WINDOW IS NOT ALTERED INFILLING OF WINDOW AND DOOR OPENINGS TO ACCOMMODATE SMALLER OR STOCK WINDOW UNITS SHALL NOT BE PERMITTED ON THE FRONT FACADES WINDOW STYLES ON THE FRONT FACADE SHALL BE FITHER ONE OVER ONE OR TWO OVER TWO UNLESS STAINED. BEVELED OR FANCY GLASS EXISTS IN THE ORIGINAL OR IS USED IN THE REPLACEMENT.
- WINDOW SHUTTERS SHALL BE OPERABLE AND, IF INSTALLED. MUST BE INSTALLED ON ALL FLOORS OR THE FIRST FLOOR ONLY. WROUGHT IRON "BURGLAR BARS" SHALL BE ALLOWED TO COVER UP TO THE LOWER HALF OF WINDOW OPENINGS ON THE FRONT FACADE.

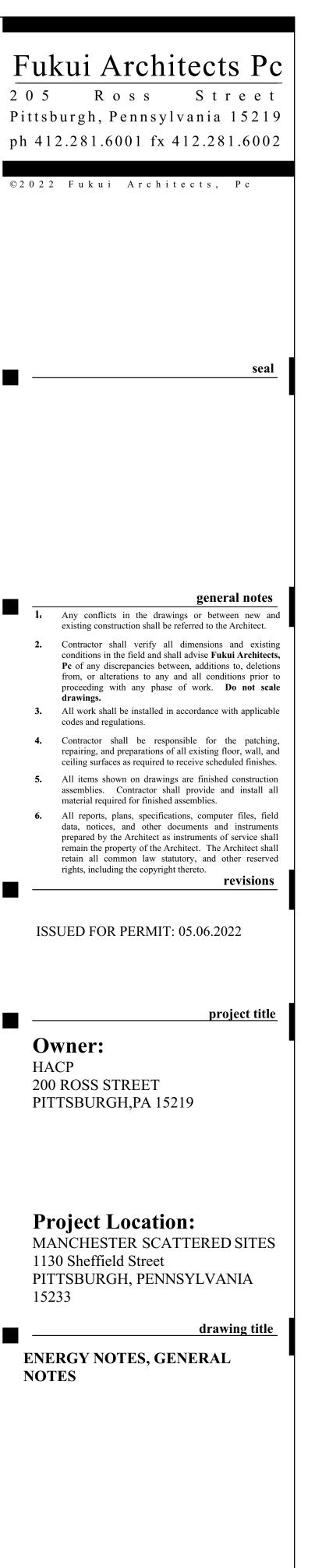
ENTRANCES, PORCHES, & STEPS HISTORIC PRESERVATION NOTES

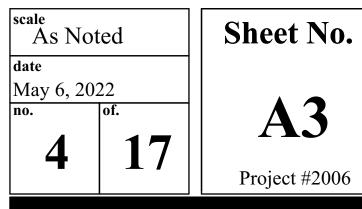
- RETAIN PORCHES AND STEPS, WHICH ARE APPROPRIATE TO THE BUILDING AND ITS DEVELOPMENT.
- SIDEWALK, STOOP, AND STEP MATERIALS SHALL BE STONE, BRICK, OR POURED CONCRETE, WROUGHT IRON RAILING SHALL BE PERMITTED.
- EXISTING TRANSOMS AND OTHER EMBELLISHMENTS CHARACTERISTIC OF THE STRUCTURE SHALL BE
- RETAINED, RESTORED OR DUPLICATED. APPROPRIATE EXTERIOR LIGHTING ABOVE OR FLANKING THE FRONT ENTRANCE SHALL BE ENCOURAGED DOORS ON THE FRONT FACADE SHALL BE A HISTORICALLY APPROPRIATE WOOD PANEL CONSTRUCTION.
- REPAIR OR REPLACE. WHERE NECESSARY DETERIORATED ARCHITECTURAL FEATURES OF WOOD IRON, CAST IRON, TERRA-COTTA, TILE, AND BRICK. STRIPPING PORCHES AND STEPS OF ORIGINAL MATERIAL AND ARCHITECTURAL FEATURES, SUCH AS HAND RAILS, BALUSTERS, COLUMNS, BRACKETS AND ROOF DECORATION OF WOOD, IRON, CAST IRON, TERRA-COTTA
- TILE AND BRICK. AND ENCLOSING PORCHES AND STEPS. DESTROY THEIR INTENDED APPEARANCE. WHERE REMOVAL OF PAINT ON BRICK IS REQUIRED TO RETAIN THE ORIGINAL DESIGN INTENT, REMOVAL TO BE
- DONE WITH CARE AS TO NOT DAMAGE THE BRICK. WHERE PAINTING IS NECESSARY, UTILIZE A GLOSS OR
- SEMI-GLOSS PAINT WHICH CAN BE EASILY CLEANED. KEEP MASONRY NATURAL AND CLEAN IT. INCLUDING SILLS AND HEADERS (IF MASONRY). SCRAPE DOWN THE TRIM AND OTHER PAINTED SURFACE TO FIND OUT WHAT THE ORIGINAL COLORS WERE FOR USE IN REPAINTING AS
- NECESSARY IT IS SUGGESTED THAT EXTERIOR BODY AND TRIM COLORS BE SELECTED FROM HISTORICAL SELECTIONS SUCH AS "PITTSBURGH PAINT HISTORIC COLORS" OR A SIMILAR SOURCE.

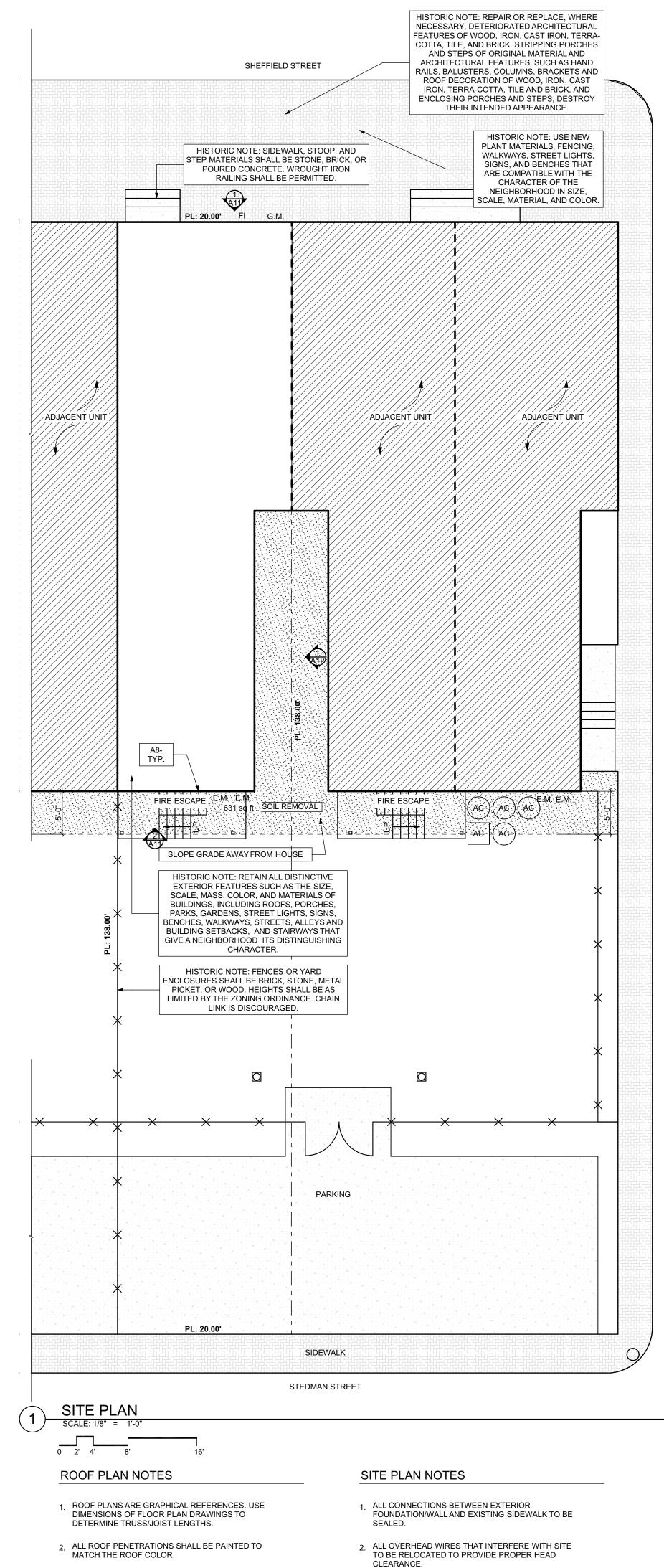
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GREEN COMMUNITIES NOTES

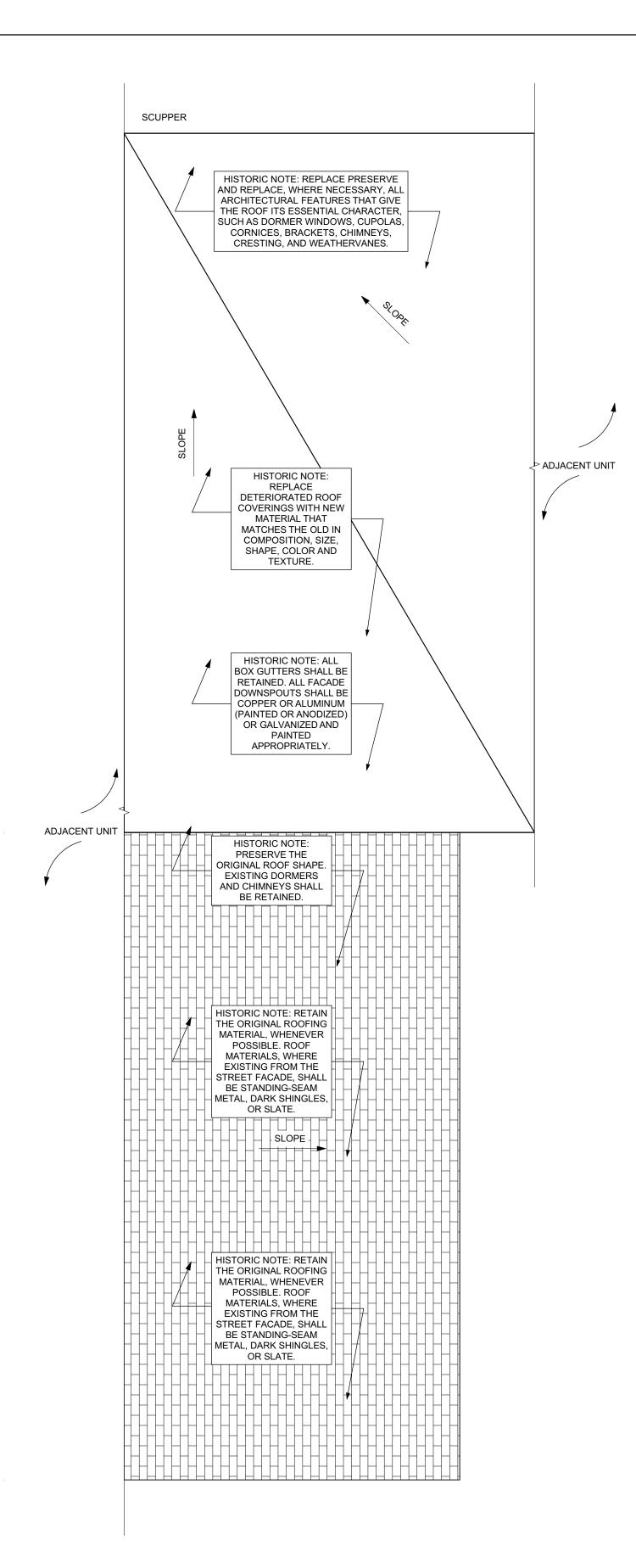
- 1. MITIGATE ALL CONTAMINANTS FOUND.
- IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBINX FIXTURES MUST BE WATERSENSE CERTIFIED, FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS. 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFIGERATORS TO BE ENERGY STAR
- RATED 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICACY PERMANENTLY INSTALLED
- LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS. LIGHTING POWER DENSITY. AND EXTERIOR LIGHTING. 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES.
- SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION
- 8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WICH ARE EXEMPT
- 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS.
- 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF.
- 11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION FOUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER-VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED.
- 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY.
- 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE LINSTALLATION PER ANSI/RESNET/ICC STD. 301, OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8.
- 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF
- 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION, FOR REUSE. CONTROL THE PATHAND VELOCITY OF RUNOFF WITH SILT FENCING OR COMPARABLE MEASURES. PROJTECT ERPZS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES, SILT FENCING, SILT SACKS, ROCK FILTERS, OR COMPARABLE MEASURES, PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT HIGH VALUE TREES DURING CONSTRUCTION (HEALTHY TREE WITH A DIAMTER AT BREAST HEIGHT GREATER THAN 6"). INSTALL TREE PROTECTION FENCING OUTSIDE THE CRITICAL ROOT ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH. TO KEEP SOIL STABILIZED
- 16. ALL PANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION, ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTRUBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED.
- 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY FPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438.
- 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION.
- 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES. INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOTCANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION
- 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR BARBIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT): EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER.
- 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC BI-LEVEL LIGHTING CONTROLS; EXEMPT IF 24-HOUR CONSISTENT LIGHT LEVELS ARE REQUIRED BY CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS.
- 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS. INTEGRATIVE PV CELLS. PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS.
- 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0.
- 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER
- 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES.
- 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF
- 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT
- 28. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER
- 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF.
- 30. AT WALL /ROOF INTERSECTIONS, MAINTAIN ≥2" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE
- 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN.
- 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED.
- 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS
- 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72.
- 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM.
- 36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, FLASTOMERIC SEALANTS) TO PREVENT PEST ENTRY, USE RODENT AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN 1/4-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.

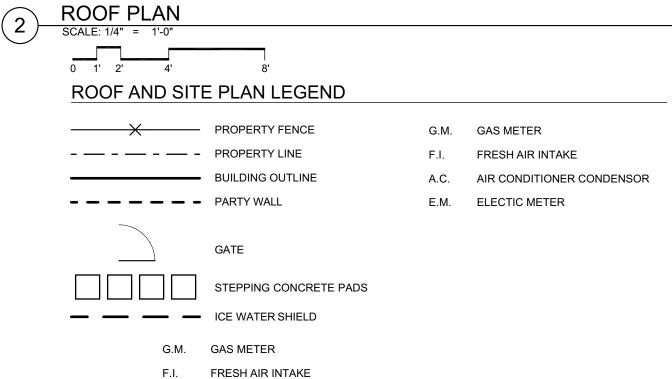






PLAN NORTH

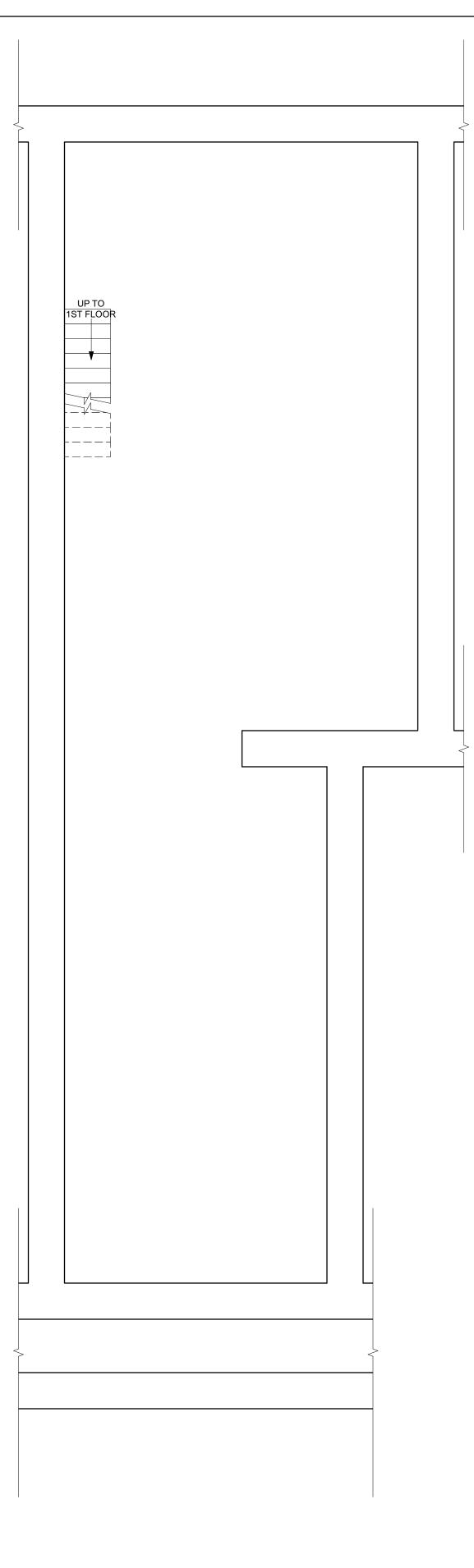




SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

SITE		
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	Fukui Architects Pc 205 Ross Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Pennsylvania 15219
S3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIECATIONS	ph 412.281.6001 fx 412.281.6002
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	©2022 fukul Aleniteets, ie
S5	ADDITIONAL GRAVEL AS NECESSART TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.	
S11	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND	
511	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4°, PROVIDE 3° GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER	
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
^{S14}	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	 Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects,
ARCHI	SPECIFICATIONS FOR DETAILS.	Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO	proceeding with any phase of work. Do not scale drawings.3. All work shall be installed in accordance with applicable
A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	codes and regulations.4. Contractor shall be responsible for the patching,
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved
	REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the copyright thereto. revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SLAE OR SIDE WALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	project title Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE	Project Location:
A14 A15	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR	MANCHESTER SCATTERED SITES 1130 Sheffield Street
A16	WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	PITTSBURGH, PENNSYLVANIA 15233
A16 A17	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
A18	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title
PLUME	SING - REF. ONLY. REFER TO PLUMB. DWG'S.	SITE PLAN, ROOF PLAN, ROOF PLAN NOTES, ROOF AND SITE
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES
P2 MECH	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING	
	DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted Sheet No.
		May 6, 2022 no. of. A4 5 17
		J I I Project #2006



BASEMENT / DEMO PLAN

GENERAL DEMOLITION NOTES

SCALE: 1/4" = 1'-0"

1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A 4. WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO

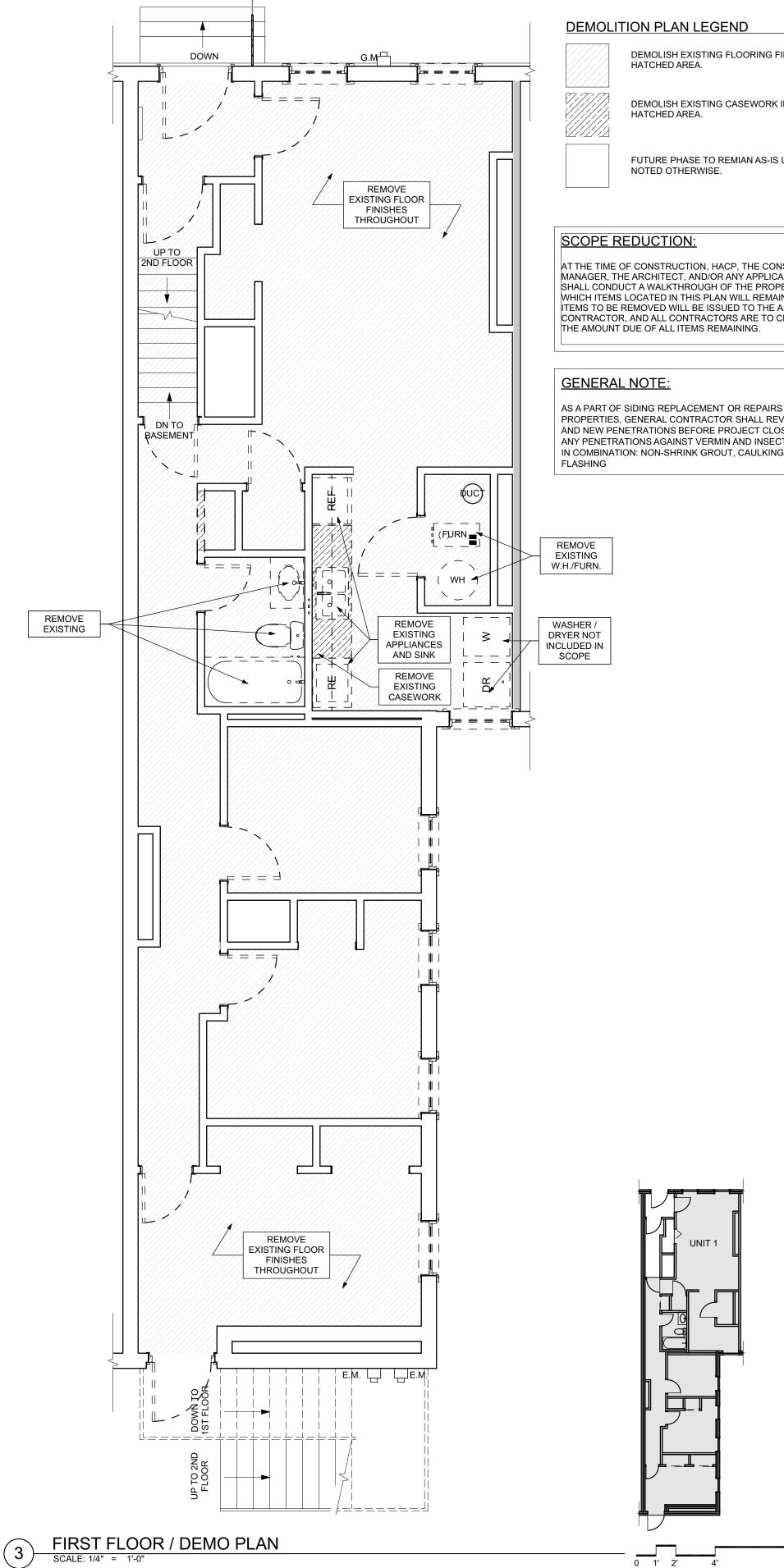
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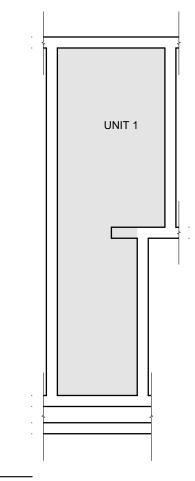
- PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER. 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY
- DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY. 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE
- WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE
- POSSIBLE. ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.

DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.

OVER TO THE OWNER.

- ITEMS FROM DAMAGE.
- BEFORE DEMOLITION.





REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED

10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE

11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION. 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT

		SITE
GEND	E	S1
ING FLOORING FINISH IN		
ING CASEWORK IN	E	S2
		S3
TO REMIAN AS-IS UNLESS ISE.	C	S4
		S5
I, HACP, THE CONSTRUCTION O/OR ANY APPLICABLE CONSULTANTS GH OF THE PROPERTY TO DETERMINE PLAN WILL REMAIN. A FINAL LIST OF ISSUED TO THE ASSOCIATED COTORS ARE TO CREDIT BACK HACP	C	S6
REMAINING.		S7
	, [S8
		S9
IENT OR REPAIRS TO HISTORIC CTOR SHALL REVIEW ALL EXISTING RE PROJECT CLOSE-OUT AND SEAL		S10
ERMIN AND INSECTS USING SINGLY OR GROUT, CAULKING OR ALUMINUM	E	S11

A2

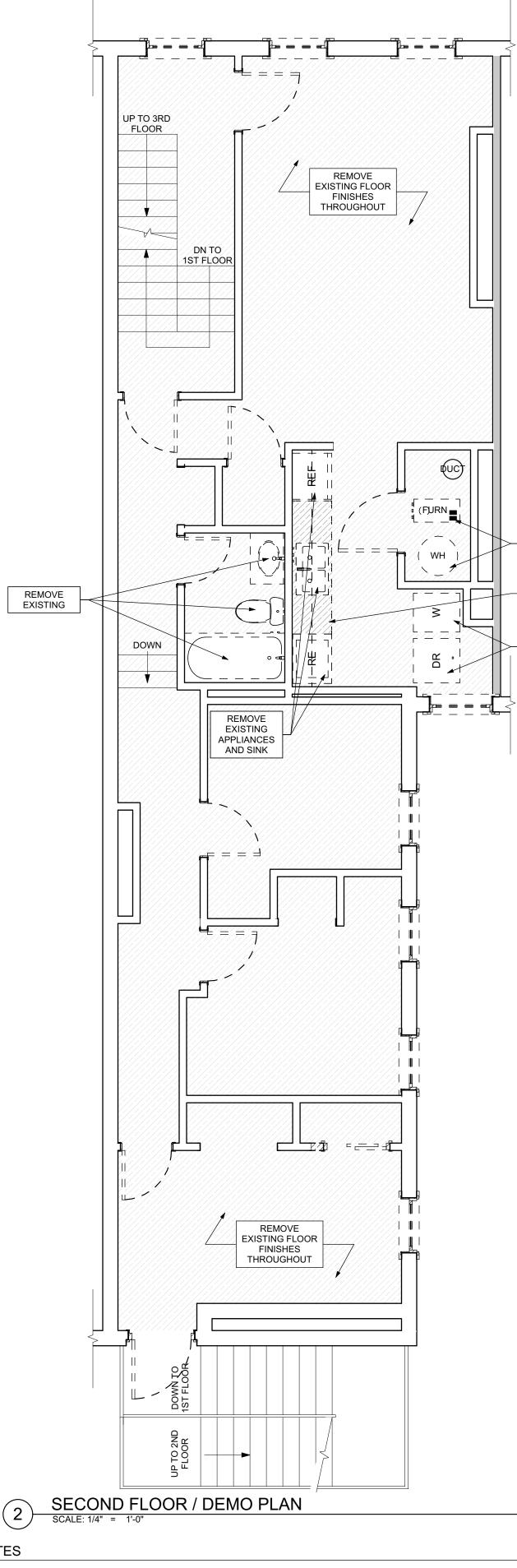
A4

A5

PLAN

NORTH

SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN OPPER TO OPERATE DOCTIVE SLOPE MAY EDOM	Fukui Architects Pc
S2	ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY DEOVIDE CONC	205 Ross Street Pittsburgh, Pennsylvania 15219
 	BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	ph 412.281.6001 fx 412.281.6002
	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Architects, Pc
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	
S6	ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.	seal
S9 S10	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT GROUT COLOR TO MATCH GROUT AT ADJACENT	
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE	
S12	NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN.	
S13	CLEAR HEIGHT OF 12-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COL OR AND PROPERIY I APPED WEATHER	general notes
ROOF	AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
ARCHIT	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not coale
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	 proceeding with any phase of work. Do not scale drawings. 3. All work shall be installed in accordance with applicable
A2	MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	codes and regulations.Contractor shall be responsible for the patching, repairing and preparations of all existing floor wall and
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.5. All items shown on drawings are finished construction
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	assemblies. Contractor shall provide and install all material required for finished assemblies.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1130 Sheffield Street PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.	drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	SMALL UNIT KEYNOTES, BASEMENT / DEMO PLAN, FIRST
PLUMBI	NG - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR / DEMO PLAN, GRAPHIC
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	SCALES, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK OR OTHER FEATURE AT LOCATION	
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.	
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		StateSheet No.date
		May 6, 2022
		6 17 Project #2006



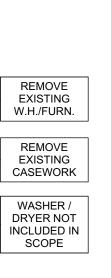
- GENERAL DEMOLITION NOTES
- 1. CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS; DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE
- ANY NECESSARY SHUT DOWNS WITH OWNER. 2. DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- 3. AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND 7. REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND
- CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN 9. CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- 6. REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.

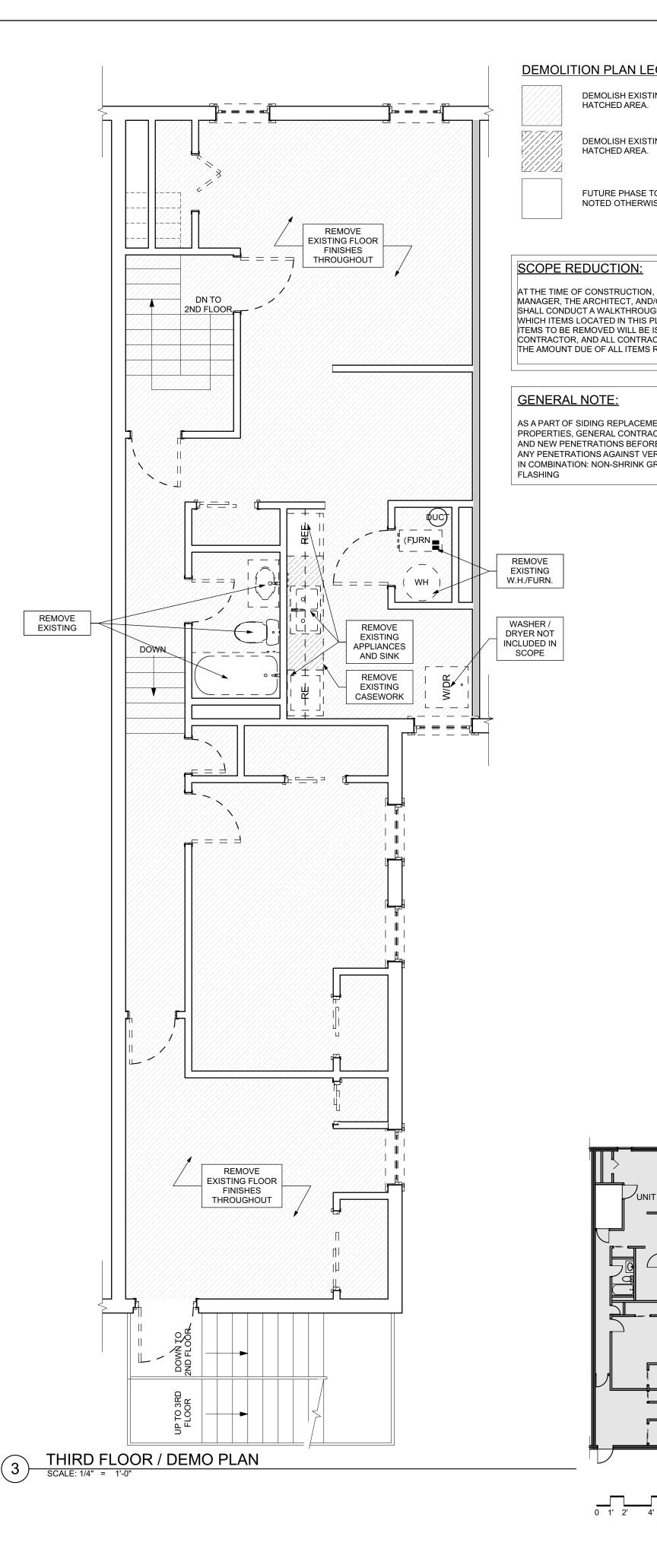
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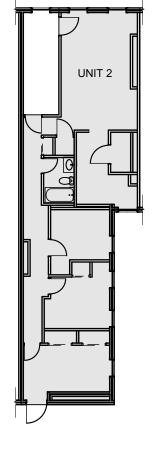
- DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- 8. COORDINATE MEPFP REMOVALS WITH MEPFP DRAWINGS.

OVER TO THE OWNER.

- BEFORE DEMOLITION.







REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED

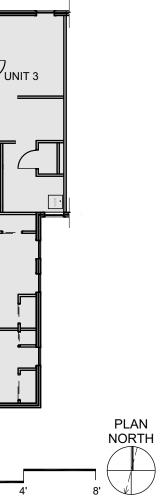
10. ITEMS NOT LABLED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.

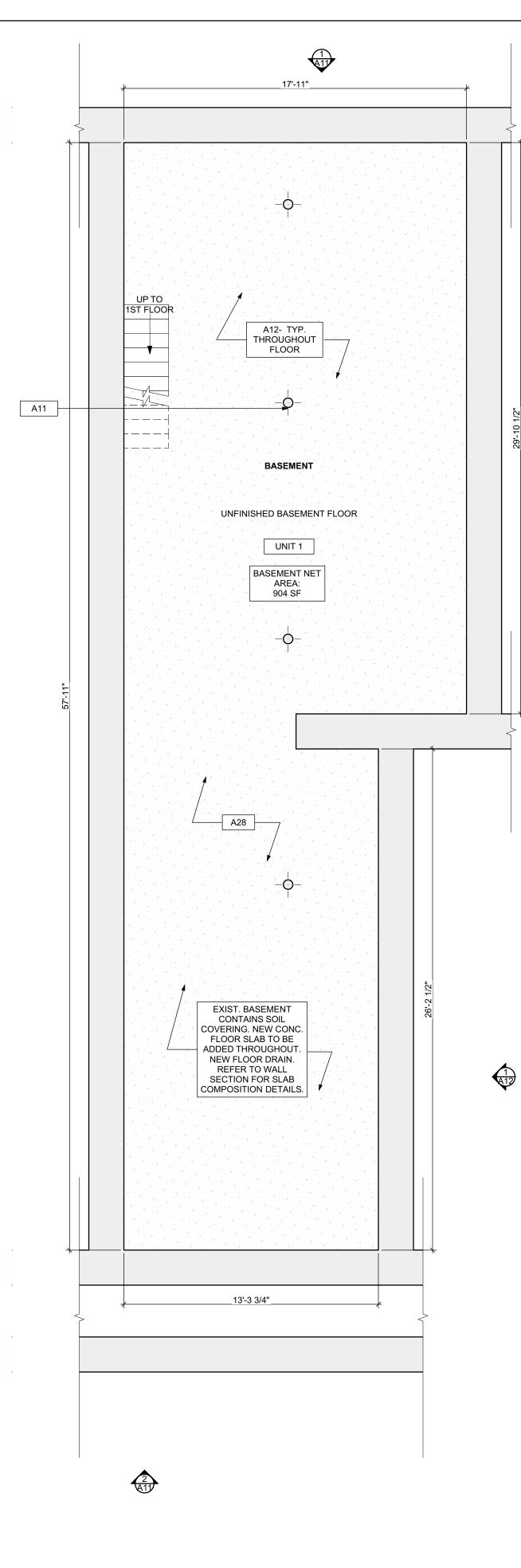
11. PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION. 12. COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT

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TO REMIAN AS-IS UNLESS ISE.		S4
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REMAINING.		S7
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		S9
IENT OR REPAIRS TO HISTORIC CTOR SHALL REVIEW ALL EXISTING RE PROJECT CLOSE-OUT AND SEAL		S10
ERMIN AND INSECTS USING SINGLY OR BROUT, CAULKING OR ALUMINUM		S11

A5

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A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR.	oroject title
A11 ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2/X1 SPREAD FOOTING	
AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION. A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY	
SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE	
DRYWALL CORNER BEAD. A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REFOLUED DIRECTIONS TO	
FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. MANCHESTER SCATTERI MANCHESTER SCATTERI 1130 Sheffield Street ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING, PROVIDE INTERIOR WATERPROOFING, BARRIER AT BASEMENT WALLS 1130 Sheffield Street DITTSRUBCH DITTSRUBCH PENINISVI V	
PER SPECIFICATIONS. SEAL TRANSITION OF WALL. PITTSBURGH, PENINSTLV. A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO 15233	AINIA
MATCH EXISTING COLOR. A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. dra	awing title
A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS. SMALL UNIT KEYNOTES,	SECOND
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S. FLOOR / DEMO PLAN, TH P1 NON-FUNCTIONING OR MISSING PLUMBING COVER FLOOR / DEMO PLAN, GR	APHIC
P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL. SCALES, GENERAL DEMIC NOTES, DEMOLITION PLA LEGEND	
MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M1 PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON AD LACENT DUICT OR FURNACE	
BASED ON ADJACENT DUCT OR FURNACE. M3 INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
SPECIFICATIONS FOR MORE DETAILS. M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE, REPLACE AND SECURE ALL DUCTWORK, RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	
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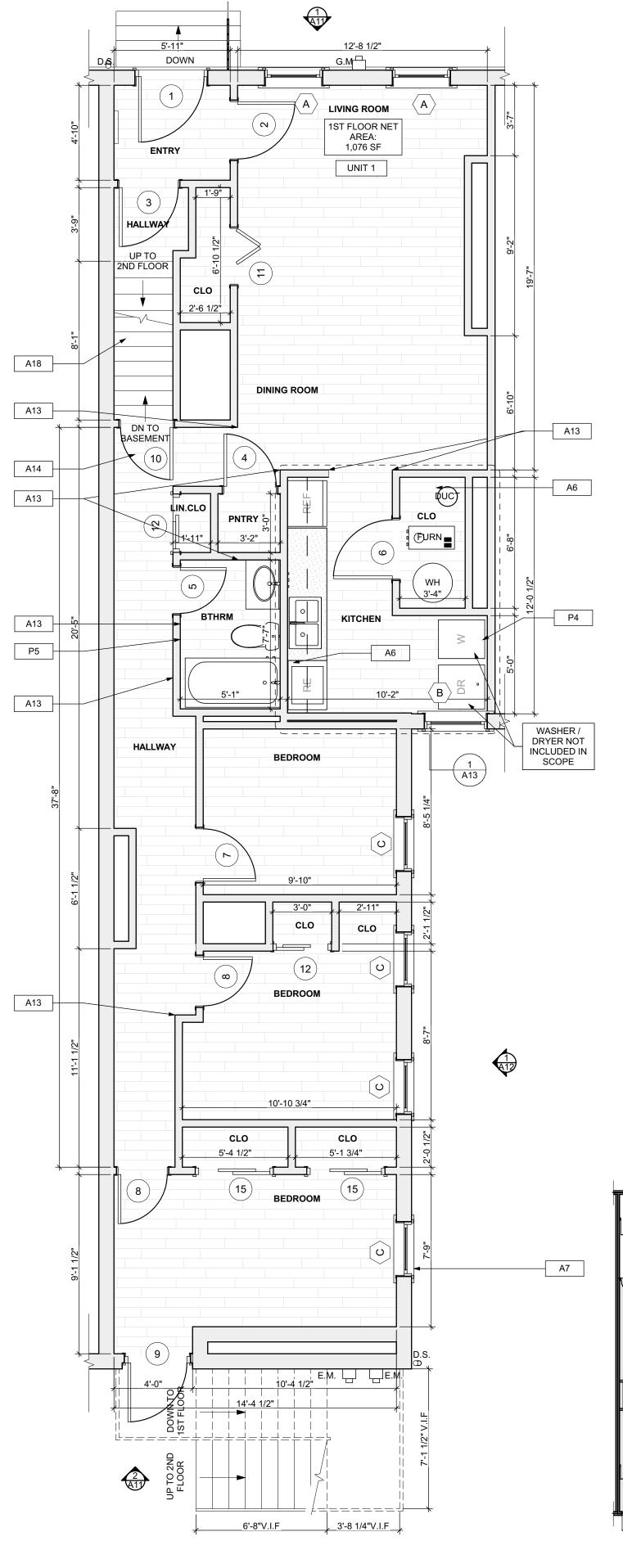


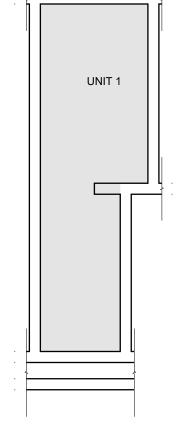


BASEMENT/FINISH/MECH./PLUMB. PLAN (1

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

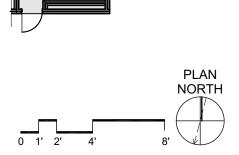


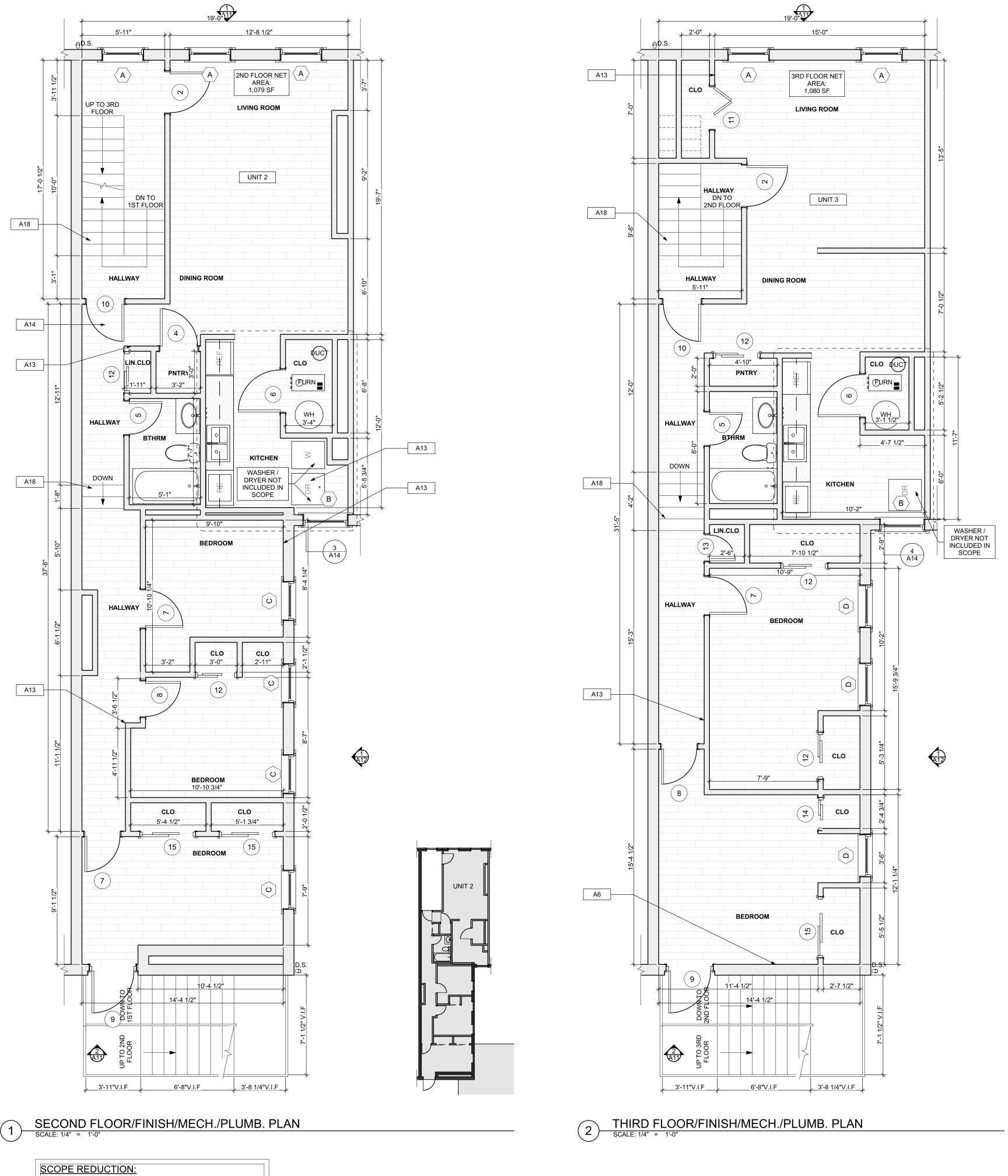


2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN SCALE: 1/4" = 1'-0"

FLOO	R PLAN LEGEND
REF	FRIDGE
RE	RANGE
FURN	GAS FURNANCE
	UTILITY SINK
\vee	WASHER
×	NEW DOOR AND DOOR NUMBER
(W.H)	WATER HEATER
D <mark>i</mark> S.	DOWN SPOUT
₽E.M.	ELECTRIC METER
H.B.	HOSE BIBB
DR •	DRYER

SITE		Eulani Anabitata Da
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	Fukui Architects Pc 205 Ross Street Pittsburgh, Pennsylvania 15219
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001 fx 412.281.6002
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	©2022 Fukui Architects, Pc
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	©2022 fukul Aleniteets, ie
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT	
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL_DIG DOWN BELOW WINDOW SILL 4", DROVIDE 3"	
S12	GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12-0° FROM	
S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY	
S14	CRACKS AS NECESSARY. REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	general notes
ROOF	RESISTIVE BARRIER PER SPECIFICATIONS.	 Any conflicts in the drawings or between new an existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existing
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	conditions in the field and shall advise Fukui Architect Pc of any discrepancies between, additions to, deletion from or alterations to any and all conditions prior to
ARCHIT	REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior t proceeding with any phase of work. Do not scal drawings.
A2 1	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	3. All work shall be installed in accordance with applicabl codes and regulations.
A2 A3	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	4. Contractor shall be responsible for the patching repairing, and preparations of all existing floor, wall, an
A3 A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	ceiling surfaces as required to receive scheduled finishes5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	 material required for finished assemblies. 6. All reports, plans, specifications, computer files, fieldata, notices, and other documents and instrument prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT	remain the property of the Architect. The Architect shal retain all common law statutory, and other reserved rights, including the copyright thereto.
A7	WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS. REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS	ISSUED FOR PERMIT: 05.06.2022
A8	FOR DETAILS. SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.	
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT	
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE	Project Location: MANCHESTER SCATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL. SCRAPE SURFACE OF CHIPPING PAINT AS	1130 Sheffield Street PITTSBURGH, PENNSYLVANIA 15233
A10	REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	BASEMENT/FINISH/MECH./PLUM
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	B. PLAN, FIRST
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND,
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	GRAPHIC SCALES, SMALL UNIT KEYNOTES
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MUTIGATE MOISTURE	
M4	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL	
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	As Noted Sheet No.
		date May 6, 2022
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		O I / Project #2006



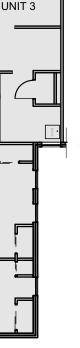


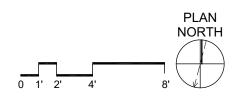
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

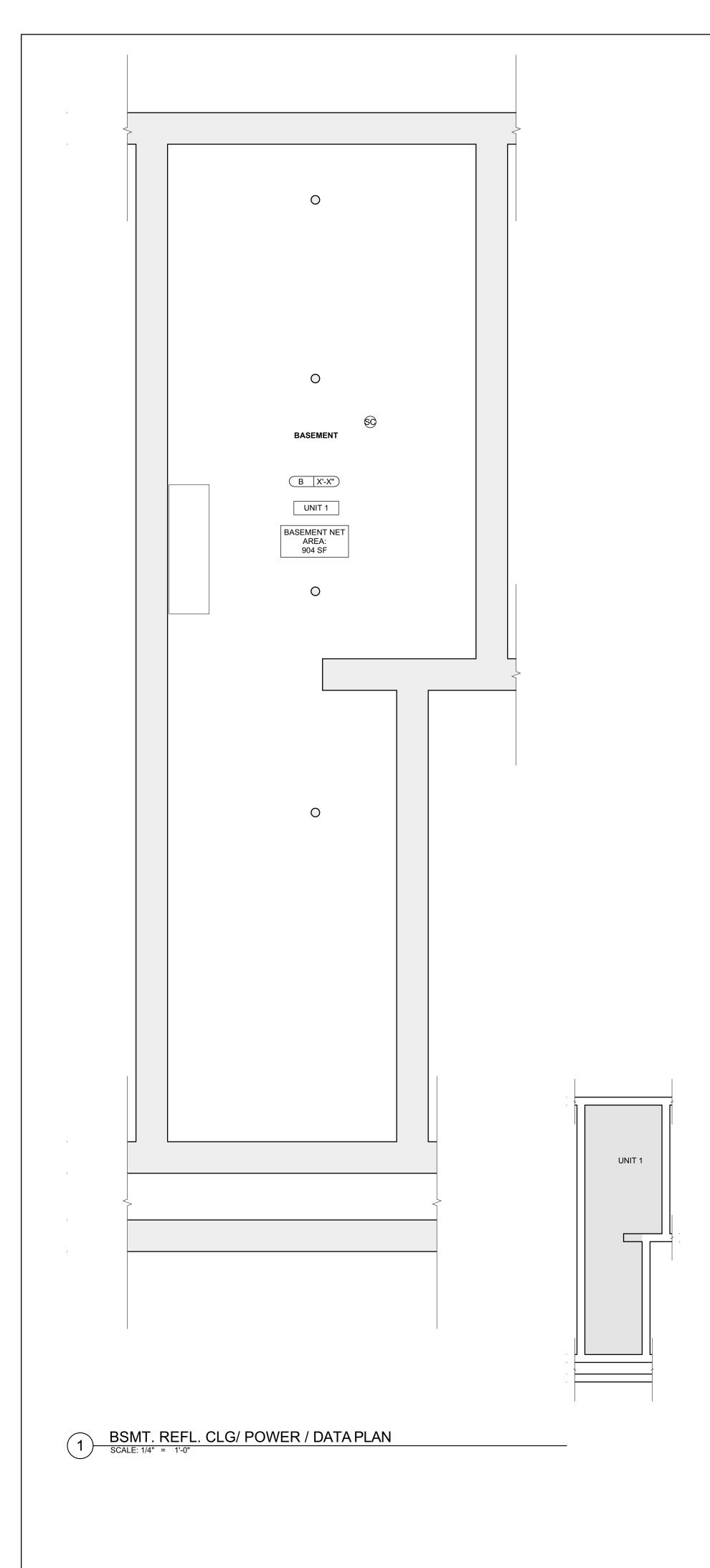
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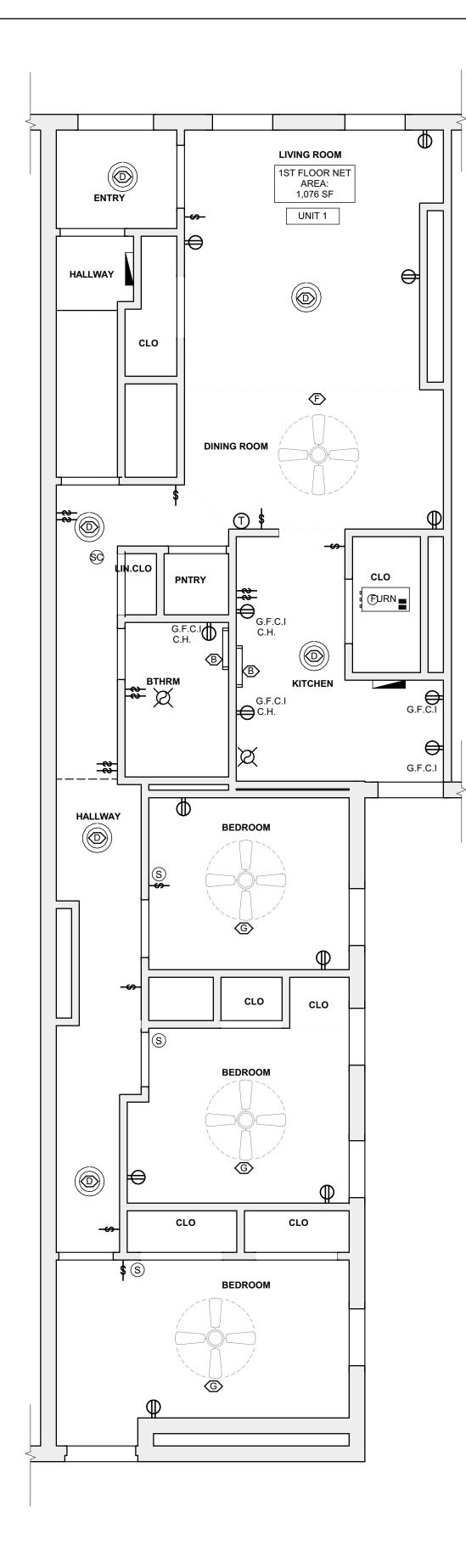
FLOO	FLOOR PLAN LEGEND				
REF	FRIDGE				
RE	RANGE				
PURN	GAS FURNANCE				
	UTILITY SINK				
W	WASHER				
$\sum_{i=1}^{\infty}$	NEW DOOR AND DOOR NUMBER				
W.H.	WATER HEATER				
D <mark>¦</mark> S.	DOWN SPOUT				
₽E.M.	ELECTRIC METER				
H.B.	HOSE BIBB				
DR •	DRYER				

SITE			1 · / D
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.	Fukui Arc 205 Ross Pittsburgh, Penn	Street
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.	ph 412.281.6001	
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	•	
<u>S4</u>	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	©2022 Fukui Arc	chitects, Pc
85	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE		
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	—	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH	—	
S10	TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY.		
510	GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.		
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.		
S12 S13	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0' FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0' MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD		
	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.		
S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.		general notes drawings or between new and all be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	2. Contractor shall verify conditions in the field a	fy all dimensions and existing and shall advise Fukui Architects , as between, additions to, deletions
		from, or alterations to proceeding with any	any and all conditions prior to phase of work. Do not scale
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.	drawings. 3. All work shall be instal codes and regulations.	lled in accordance with applicable
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.	4. Contractor shall be	responsible for the patching, ons of all existing floor, wall, and
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	ceiling surfaces as requ	ired to receive scheduled finishes.
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.		or shall provide and install all
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS	data, notices, and ot	ecifications, computer files, field her documents and instruments
A6	NECESSARY. WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED	remain the property of	ect as instruments of service shall the Architect. The Architect shall w statutory, and other reserved
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the co	
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERM	MIT: 05.06.2022
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS.		
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.		
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS, RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE	Owner:	project title
A11	INFORMATION. ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO	HACP 200 ROSS STREE PITTSBURGH,PA	
A12	DETAIL DRAWINGS FOR MORE INFORMATION. EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY		
A13	SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.		
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Loca Manchester S	tion: CATTERED SITES
A15	BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	MANCHESTER S 1130 Sheffield Stre PITTSBURGH, PE	eet
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233	
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.		drawing title
PLUMB	BING - REF. ONLY. REFER TO PLUMB. DWG'S.	SECOND FLOOR/FINISH/M	IECH./PLUMB.
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.	PLAN, THIRD FLOOR/FINISH/M	IFCH /DI UM/D
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	FLOOR/FINISH/M PLAN, FLOOR PL GRAPHIC SCALE	AN LEGEND,
M1	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.	KEYNOTES	
M2 M3	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE. INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL ALL RASEMENTS WITH MOISTURE		
M4	CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL		
	DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted	Sheet No.
		date May 6, 2022 no. of.	A8
		9 17	
			Project #2006









LIGHTING SCHEDULE					
SYMBOL ELEMENT ID		TYPE MANUFACTURER OR EQUIVALENT		MODEL NUMBER	QUANTITY
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	4
\bigcirc	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	13
	F	Dining room Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	3
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	8

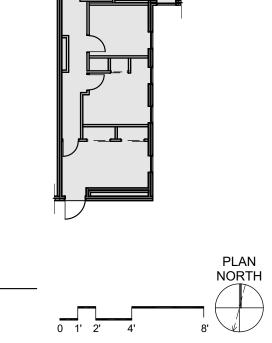
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP I of Des	LEGEND - (See Specifications for basis sign)
S	SMOKE ALARM, PROVIDE NEW WHERE SHOWN
SC	SMOKE/ CARBON MONOXIDECOMBO DETECTOR
	ELECTRICAL METER
Ō	THERMOSTAT
V	DATARECEPTICAL, 18" A.F.F. U.O.N.
Φ	ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
€ CH	ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
₩ GFCI	GROUND FAULT CIRCUIT INTERRUPTER
€ GFCI CH	GROUND FAULT CIRCUIT INTERRUPTER
\$	LIGHT SWITCH
Ø	EXHAUST FAN
D	DOORBELL
A X'-X"	GWB CEILING / CEILING HEIGHT
B X'-X"	UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:	
AT THE TIME OF CONSTRUCTION, H MANAGER, THE ARCHITECT, AND/C SHALL CONDUCT A WALKTHROUGH WHICH ITEMS LOCATED IN THIS PL ITEMS TO BE REMOVED WILL BE IS CONTRACTOR, AND ALL CONTRAC THE AMOUNT DUE OF ALL ITEMS R	DF H (Al SS T(

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER
THE LOCATIONS SHOWN ARE INTEND
OCATIONS: MEANING NO NEW WIRI
JNIT PRICING FOR EACH FIXTURE / D
FROM THE QUANTITIES SHOWN HER



UNIT 1

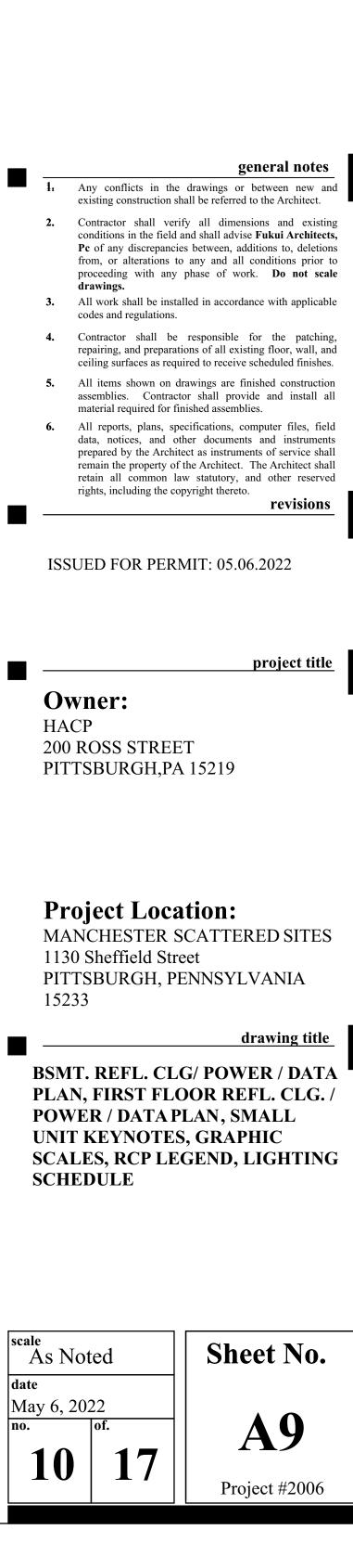


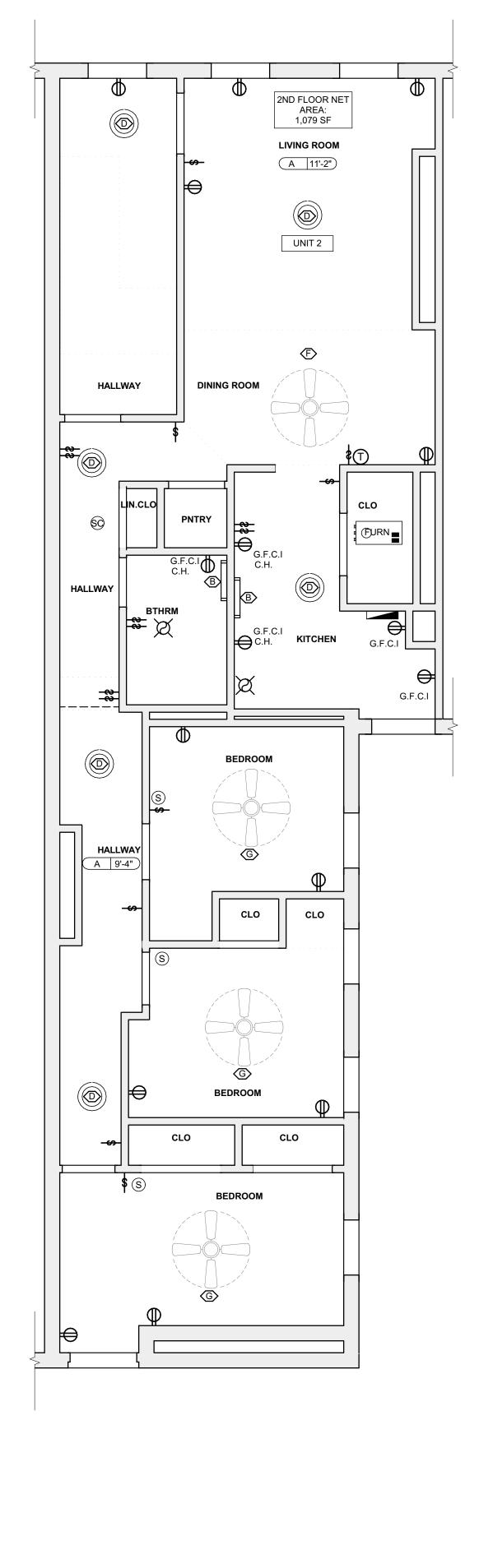
SITE S1

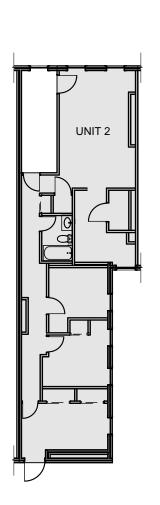
, HACP, THE CONSTRUCTION //OR ANY APPLICABLE CONSULTANTS GH OF THE PROPERTY TO DETERMINE PLAN WILL REMAIN. A FINAL LIST OF ISSUED TO THE ASSOCIATED CTORS ARE TO CREDIT BACK HACP REMAINING.

VER DEVICES ARE TO BE REPLACED. ENDED TO BE THE EXISTING IRING IS CONTEMPLATED. PROVIDE : / DEVICE ADDED OR REMOVED RE.

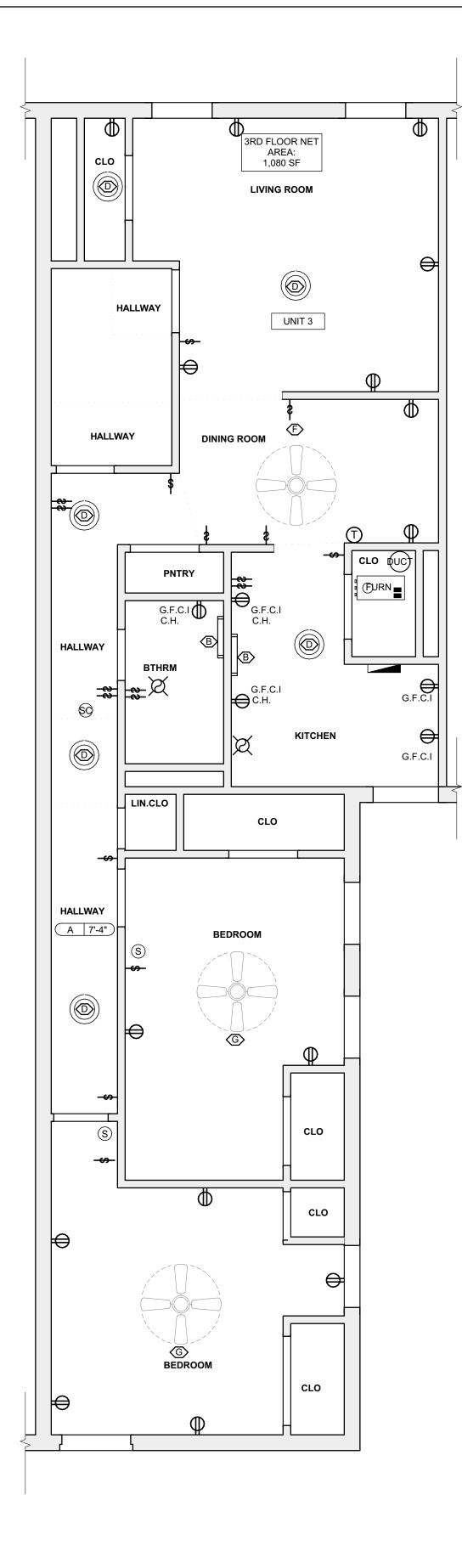
 2.0.5 Ross Stroet t 3.1. Hereinsteinen einen ein		PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN	Fukui Arc	hitects Pc
 The second sec		EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER		
	S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	- .	-
 a. and an and a set of the set of	S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO	*	
 Without and the second s	<u>S4</u>	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE	©2022 Fukul Arc	nitects, Pc
	S5	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION		
Image: State Stat	S6	PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVELAS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF		
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 Important and the property of the pro		REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND		
Image: A set of the set	S10	SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT		
 Hand Description of the second second	S11	REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER		
 Setting opportunity of the set of the set	\$12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A		
 Best and a set of the set of th	S13	NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.		
 Beneficial of the second second		RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER	J	drawings or between new and
ARCHITECTURAL form, or allocations for any and all coalitions prior to solve selve and publication. Image: Architectural and the instantical in accuracy of the public of the comparison of the coalition of the coa	R1	AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO	2. Contractor shall verify conditions in the field a	y all dimensions and existing nd shall advise Fukui Architects,
 All week what has been strained with a generation of the regime with a generation		REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to proceeding with any proceeding with any proceeding between the second s	any and all conditions prior to
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 I. M. C. SENSOR INC. CONTRACT CONTR	A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO	assemblies. Contracto	or shall provide and install all
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	_ 1V ¹⁺⁴	INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE		Sheet No.







SECOND FLOOR REFL. CLG. / POWER / DATA PLAN (1)



LIGHTING SCHEDULE					
SYMBOL ELEMENT ID		TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	В	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model #45922NIL18	4
\bigcirc	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	13
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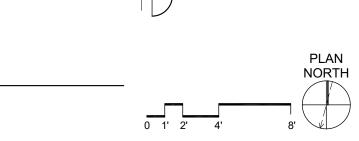
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	RCP LEGEND - (See Specif		
of De	sign)		
S	SMOKE ALARM, PROVIDE NEW		
SC	SMOKE/ CARBON MONOXIDEC		
	ELECTRICAL METER		
O	THERMOSTAT		
V	DATA RECEPTICAL, 18" A.F.F. U		
Φ	ELECTRICAL RECEPTICAL, 18"		
ю СН	ELECTRICAL RECEPTICAL, 44"		
He GFCI	GROUND FAULT CIRCUIT INTE		
Heger CH	GROUND FAULT CIRCUIT INTE		
сн †	LIGHT SWITCH		
ø	EXHAUST FAN		
D	DOORBELL		
A X'-X"	GWB CEILING / CEILING HEIGH		
B X'-X"	UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST		

SCOPE REDUCTION:
COOLE MEDOCHON.
AT THE TIME OF CONSTRUCTION, HACP, THE (
MANAGER, THE ARCHITECT, AND/OR ANY APP
SHALL CONDUCT A WALKTHROUGH OF THE PF
WHICH ITEMS LOCATED IN THIS PLAN WILL RE
ITEMS TO BE REMOVED WILL BE ISSUED TO TH
CONTRACTOR. AND ALL CONTRACTORS ARE 1
THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER
THE LOCATIONS SHOWN ARE INTEND
OCATIONS: MEANING NO NEW WIRIN
JNIT PRICING FOR EACH FIXTURE / D
FROM THE QUANTITIES SHOWN HER



UNIT 3

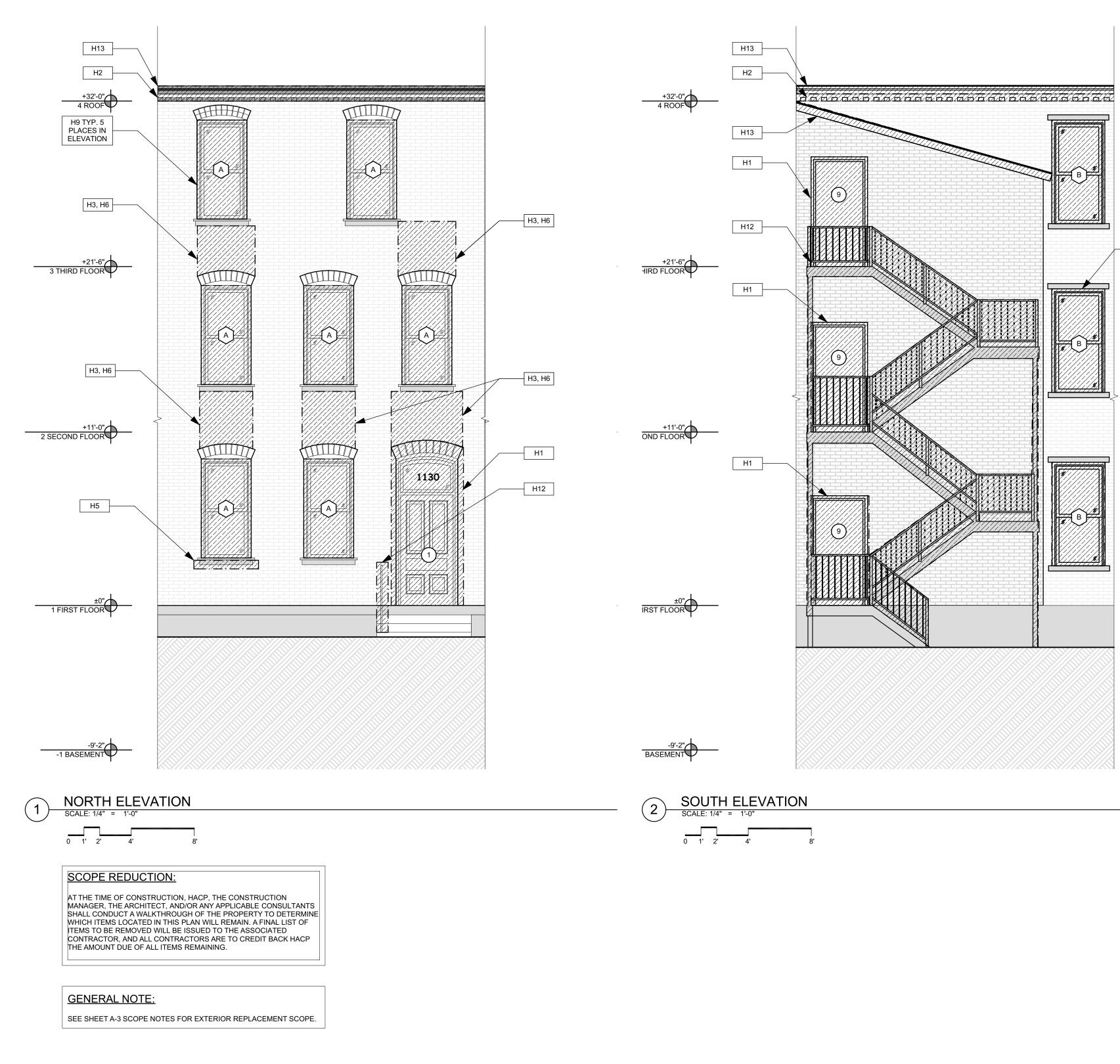


SITE S1

		REFER TO SPECIF
	S11	REMOVE EXISTIN DEBRIS FROM EX DOWN BELOW WI GRAVEL BASE OV NEW WINDOW WE SPECIFICATIONS.
	<u>S12</u>	REPAIR AND ORG, THIS LOCATION P ELECTRICAL WIRE GRADE, RELOCAT CLEAR HEIGHT OF
	S13	REMOVE OVERGR NEST. CLEAN AND CRACKS AS NECE
	<u> S14</u>	REMOVE DAMAGE RESISTIVE BARRI NEW VINYL SIDIN AND COLOR AND RESISTIVE BARRI
	ROOF	
	R1	DAMAGED ROOF AND SEAL AS APP FLASHING, VENTS SPECIFICATIONS
	ARCHIT	ECTURAL
	A1	REPAIR DETERIO EXTERIOR WALL. AND REPLACE WI MATCH ADJACEN
	A2	IN THIS AREA, WIF FROM FACE OF C SPECIFICATIONS.
	A3	BOWING EXTERIC BRACE AND TIEBA WALL.
	A4	RUSTED STRUCT CONNECTION PLA REPAIR OR REPLA SPECIFICATIONS
	A5	LEVEL EXISTING F FOR UNOBSTRUC REHINGE DOOR C NECESSARY.
	A6	WATER DAMAGE / REMOVE DRYWAL STRUCTURER. WO REQUIRED. REPLA AS NECESSARY A SOURCE. REPLAC WITH WATER RES WALLS WITH CEM WALL TO CEILING SPECIFICATIONS.
ee Specifications for basis	A7	REPLACE EXISTIN 1X PAINTED FLAT WATER DAMAGE \ SEAL IF NECESSA FOR DETAILS.
	A8	SEAL ENTIRE PER SLAB OR SIDEWAI ELASTOMETRIC S
MONOXIDECOMBO DETECTOR ER	EA _	EXPOSED INSULA REPLACE ANY DA REPAIR DRYWALL ADJACENT WALL
_, 18" A.F.F. U.O.N. EPTICAL, 18" A.F.F. U.O.N.	[A10]	DETERIORATING DEMOLISH EXIST NEW WOOD STAIL KICKBOARDS, TR TREAD HEIGHT TO REFER TO DETAIL INFORMATION.
EPTICAL, 44" A.F.F. U.O.N. CIRCUIT INTERRUPTER CIRCUIT INTERRUPTER	[A11]	ADJUSTABLE STE FLOORING AT CO PERMANENT COL FOR NEW STAND, AND APPLICABLE DETAIL DRAWING
	A12	EFFLORESCENCI MASONRY OR CC WITH WATER TO I MORTAR JOINTS / DETERIORATING AND APPLY VAPO SEALER OVER EX FURTHER EFFLOI
ILING HEIGHT	A13	CRACK, HOLE, OF PATCH AND REPA REPLACE DRYWA HOLES. ALL WET RESISTANT DRYV
NG / CEILING RUSS/JOIST	A14	DRYWALL CORNE UNEVEN FLOORIN SUBFLOORING O FURTHER LEVELI
	A15	BE PROVIDED BY ADD WATERPROO AND REMOVE AN WATERPROOFING WATERPROOFING DEP SPECIECATI
HACP, THE CONSTRUCTION OR ANY APPLICABLE CONSULTANTS	A16	PER SPECIFICATI SCRAPE SURFAC REQUIRED. PRIM
H OF THE PROPERTY TO DETERMINE AN WILL REMAIN. A FINAL LIST OF	A17	MATCH EXISTING
SSUED TO THE ASSOCIATED TORS ARE TO CREDIT BACK HACP REMAINING.	[A18]	CLEANING MATER NEW TREADS ANI REFER TO SPECI

YER DEVICES ARE TO BE REPLACED. INDED TO BE THE EXISTING RING IS CONTEMPLATED. PROVIDE / DEVICE ADDED OR REMOVED RE.

SITE			
S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER	Fukui Arc 2 0 5 Ross	Street
S2	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY	Pittsburgh, Penn	
S 3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE	ph 412.281.6001	
S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	© 2022 Tukur Art	
<u>S5</u>	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE		
S6	ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.		
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	—	seal
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.		
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.		
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.		
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.		
S12	SPECIFICATIONS. REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'0" FROM		
S13	GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.		
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.		general notes
ROOF	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE,	-	all be referred to the Architect. fy all dimensions and existing
	FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	Pc of any discrepancie	and shall advise Fukui Architects , is between, additions to, deletions
ARCHI	TECTURAL REPAIR DETERIORATING BRICK CLADDING AT		any and all conditions prior to phase of work. Do not scale
A2	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	codes and regulations.	lled in accordance with applicable
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL.	repairing, and preparati	responsible for the patching, ons of all existing floor, wall, and ired to receive scheduled finishes.
A4	BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO	5. All items shown on d	rawings are finished construction
A5	REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	material required for fin6. All reports, plans, spedata, notices, and ot	ecifications, computer files, field her documents and instruments
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED	remain the property of	ect as instruments of service shall the Architect. The Architect shall w statutory, and other reserved
	STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CELING OF TUBS AND SHOWERS PER SPECIFICATIONS.	rights, including the co	
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERM	MIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND		
	REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.		project title
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner:	
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	HACP 200 ROSS STREE PITTSBURGH,PA	
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT		
A13	FURTHER EFFLORESCENCE. CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE		
A14	DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Loca	tion: CATTERED SITES
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1130 Sheffield Stre PITTSBURGH, PI	eet
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233	
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR.		drawing title
	REFER TO SPECIFICATIONS FOR DETAILS.	SECOND FLOOR	
	BING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER	POWER / DATA P FLOOR REFL. CI	
P2	OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	DATA PLAN, SMA	
	LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	KEYNOTES, GRA RCP LEGEND, LI	
MECH	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION	SCHEDULE	
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.		
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.		
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale	
		As Noted date	Sheet No.
		May 6, 2022 no. of.	A10
		11 17	Project #2006
			L



H2

H3

H4

H5

H9 TYP. 3 PLACES IN ELEVATION H11 H12

HISTORI	C	SITE	
H1	MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD, STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10	S1	AT LOCAT PROVIDE ORDER T EXTERIO TOPPING CONCRE REPLACE
H2	ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND	S2	UNEVEN BETWEEI TOPPER
	REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING	S3	PER SPE TEMPOR/ REMOVE NEW PRE SYNTHET MATCH E
	INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.	S4	SPECIFIC EXISTING RE-POUR SPECIFIC AWAY FRI JOINT AN PROVIDE ADDITION
НЗ	IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.	S5	PROPER SAWCUT LINES AR PAVERS, SPECIFIC AWAY FR JOINT AN PROVIDE ADDITION PROPER
H4	INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHUR MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS.	S6	POTENTI, GAS LINE REPAIR M PITTSBUF
	REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).	S7	POUR NE TO MATC
H5	CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS	S8 S9	TRIM EXI REQ'D. ROTTING
H6	PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). RESOLVE WATER INFILTRATION ISSUES FROM ABOVE		TRIM OR REPLACE SPECIFIC
	THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A	S10	REGROU GROUT C BLOCK. P REFER TO
	COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK . (SEE SPECIFICATIONS)	S11	REMOVE DEBRIS F DOWN BE GRAVEL I NEW WIN SPECIFIC
H7	REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)	S12	REPAIR A THIS LOC ELECTRIC GRADE, F CLEAR H
H8	REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING	S13	REMOVE NEST. CL CRACKS
H9 - TYP. X	DORMERS, CHIMNEYS AND OTHER ELEMENTS. ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW	S14	REMOVE RESISTIV NEW VIN AND COL RESISTIV
	UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE <u>NOT</u> ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND	ROOF	DAMAGE AND SEA FLASHIN SPECIFIC
H10 - TYP. X	REPAIRS)		REPAIR D
 [H11]	WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS). IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE		EXTERIO AND REP MATCH A
	EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE- PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT	A2 A3	IN THIS A FROM FA SPECIFIC BOWING BRACE A
	DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.	A4	RUSTED CONNEC REPAIR (
H12	IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL	A5	SPECIFIC LEVEL EX FOR UNC REHINGE NECESSA
H13	FEATURES PER PAINT SPECIFICATIONS). AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY	A6	WATER D REMOVE STRUCTU REQUIRE AS NECE
H14	FROM BUILDING. (SEE SPECIFICATIONS) AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN DRICK DEFAULD RAMAGED IS EXIDENT FROM FALLEN		SOURCE WITH WA WALLS W WALL TO SPECIFIC
H15	BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE. AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE	A7	REPLACE 1X PAINT WATER D SEAL IF N
	SPECIFICATIONS)	A8	FOR DET. SEAL ENT SLAB OR
		A9	ELASTON EXPOSED REPLACE REPAIR D
			ADJACEN DETERIC
		A10	DEMOLIS NEW WC KICKBOA TREAD H REFER T INFORM
		A11	ADJUSTA FLOORIN PERMAN FOR NEV AND APF DETAIL D

P1

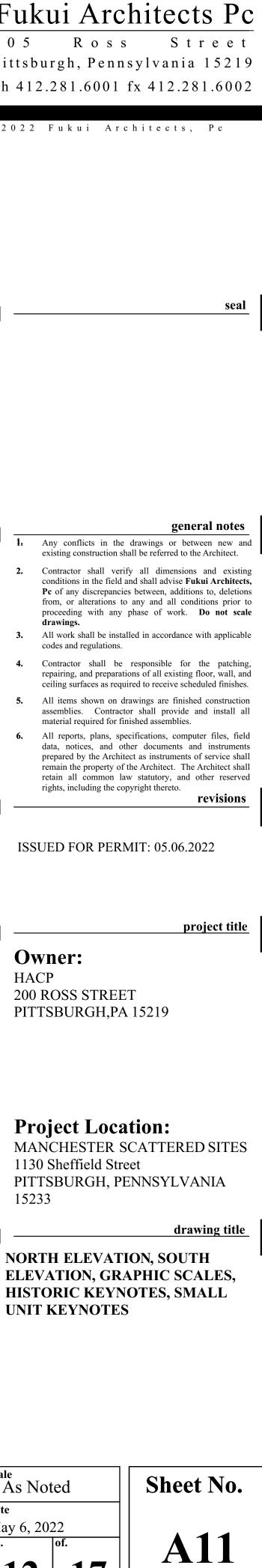
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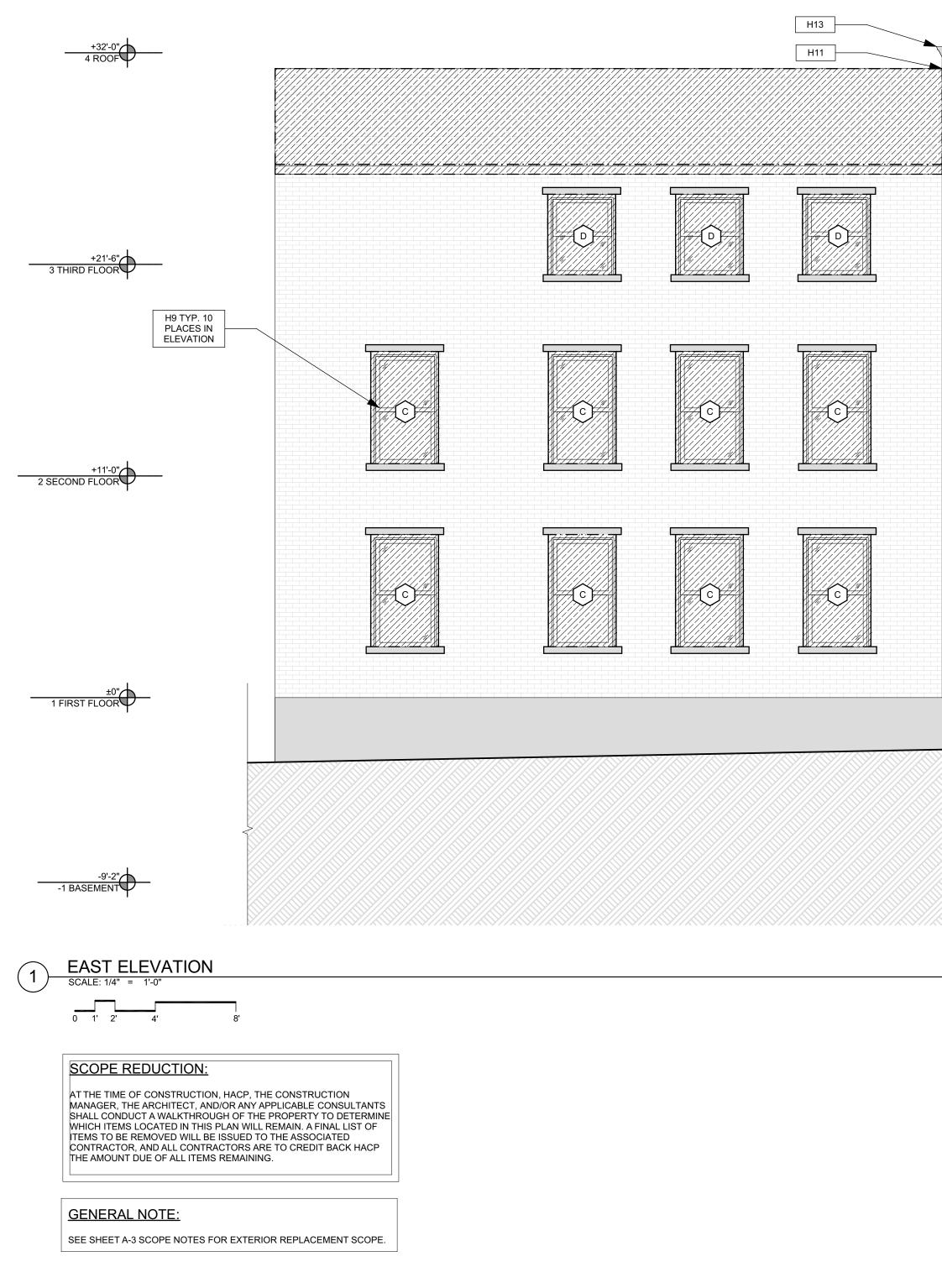
M2

M3

M4

RITE		
SITE S1	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5'-0". REPLACE DISTURBED VEGETATION PER	Fukui Archi
S2 S3	SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND	Pittsburgh, Pennsyl ph 412.281.6001 fx 4
	REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.	©2022 Fukui Archit
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.	
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7 S8	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP. TRIM EXISTING TREE AWAY FROM BUILDING AS	
S9	REQD. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.	
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawit existing construction shall be
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all conditions in the field and sha Pc of any discrepancies betw
ARCHI	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK	from, or alterations to any a proceeding with any phase drawings.
A2	AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER	 All work shall be installed in codes and regulations. Contractor shall be responsed.
A3	SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.	repairing, and preparations of ceiling surfaces as required to
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	 All items shown on drawing assemblies. Contractor sha material required for finished
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	6. All reports, plans, specificat data, notices, and other do prepared by the Architect as in the first of the first sector of the first sector.
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	remain the property of the Ard retain all common law stat rights, including the copyright
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT:
A8	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION.	
A9	REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	-
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 152
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.	D • 4 I 4•
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.	Project Locatio MANCHESTER SCAT
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1130 Sheffield Street PITTSBURGH, PENN
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.	15233
A17 A18	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	NORTH ELEVATION
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S.	ELEVATION, GRAPH
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND	HISTORIC KEYNOT UNIT KEYNOTES
P2	LEAKING, TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECHA	ANICAL - REF. ONLY. REFER TO MECH. DWG'S. PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO	
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale
		As Noted date
		May 6, 2022
		12 17







H2

H3

H4

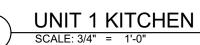
H5

H6

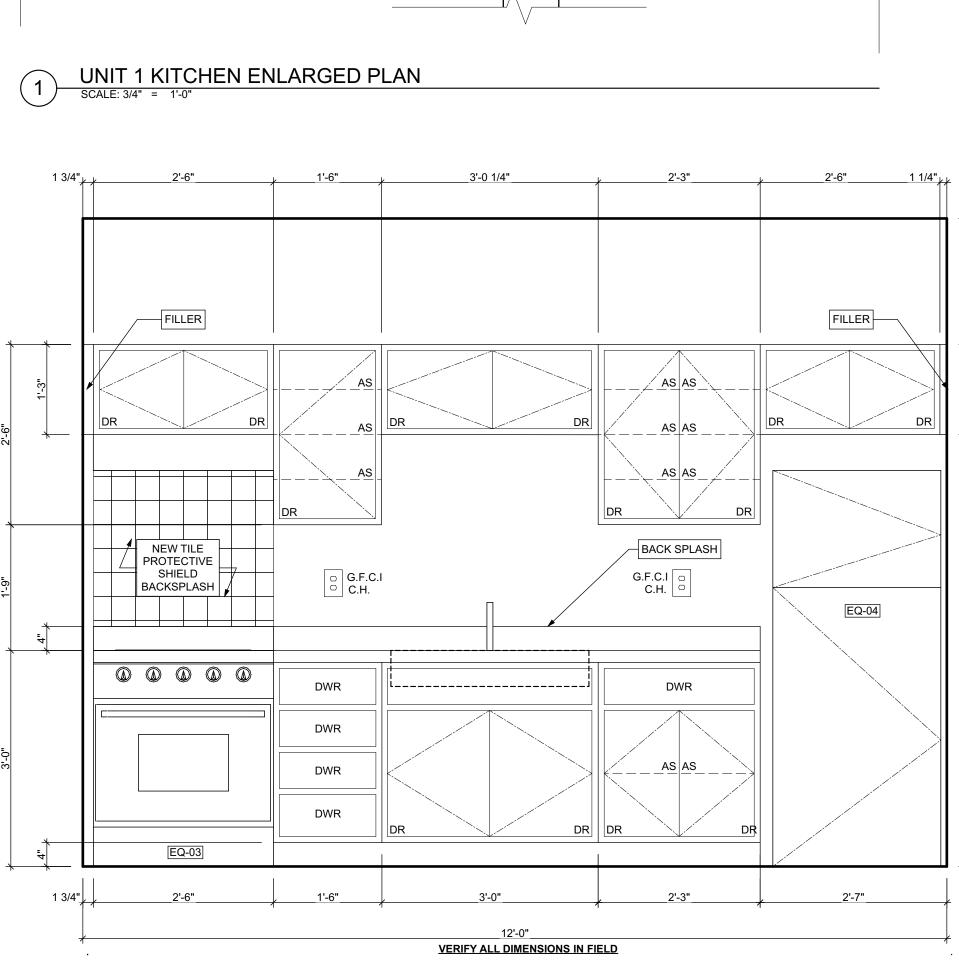
H7 H8 H9 - TYP. X H10 - TYP. X H11 H12 ADJACENT UNIT H13 H14 H15

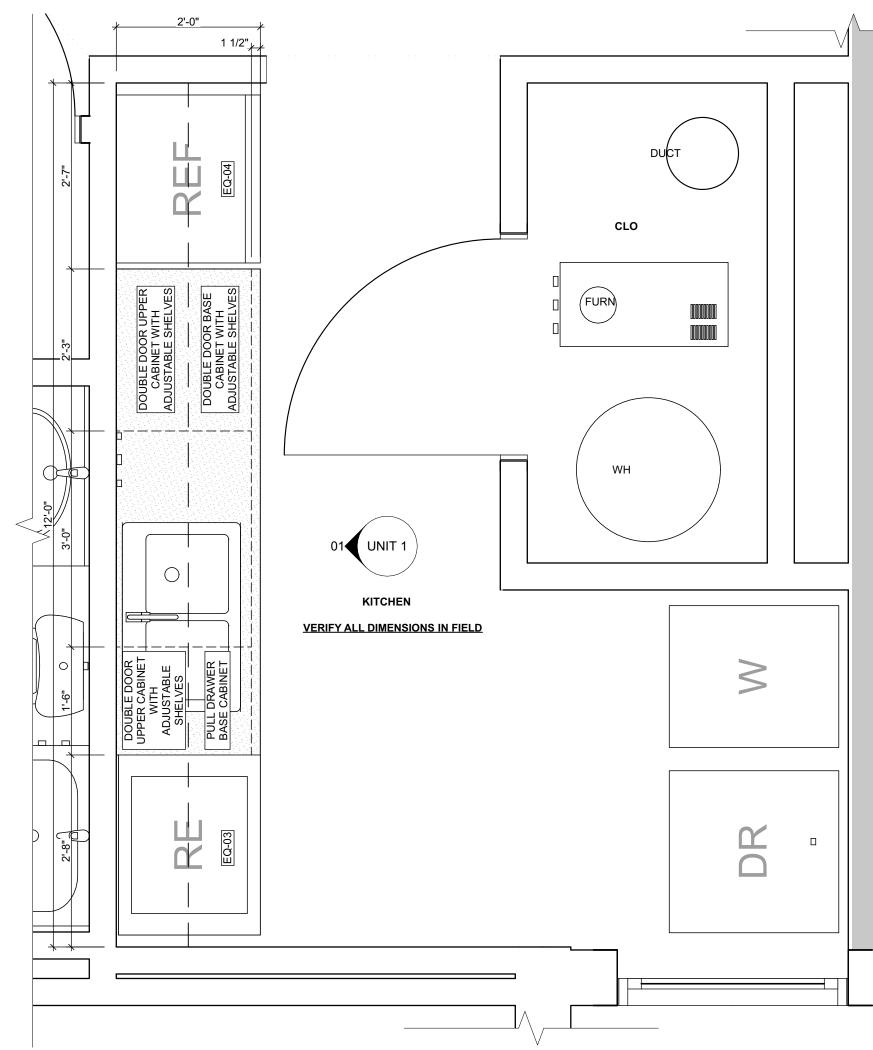
RIC	SITE	
MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10	S1	AT LOCATION SHOWN, REMOVE 4"+ OF PROVIDE CLAY CAP, AND REPLACE TO ORDER TO CREATE POSITIVE SLOPE A EXTERIOR WALL OF HOUSE. POUR CO TOPPING TO MEET SLOPE REQUIREME CONCRETE IS PRESENT, MINIMUM 3" C
ENSURE ROOF DRAINAGE IS FUNCTIONAL: REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND	S2	REPLACE DISTURBED VEGETATION PE SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS (BETWEEN STEPS AND WALKWAY. PRO' TOPPER LEVELING AT SIDEWALK AS NE
REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PELLING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING	S 3	PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORC REMOVE OUT OF PLUMB SUPPORT PO NEW PRESSURE TREATED POST WITH SYNTHETIC TRIM CAULKED AND PAINT MATCH EXISTING POST DETAIL AND CC
INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.	S4	SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLI RE-POURED. PROVIDE NEW CONCRET SPECIFICATIONS. CONCRETE PAD TO E AWAY FROM HOUSE MIN 2% WITH EXP. JOINT AND CAULK. BELOW NEW SLAB S PROVIDE WWF, COMPACT SOIL, AND PI ADDITIONAL GRAVEL AS NECESSARY T
IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.	<u>\$5</u>	PROPER SLOPE. SEE SPECIFICATIONS SAWCUT AND REMOVE, OR REMOVE O LINES AREA OF DAMAGED CONCRETE PAVERS, OR STAIR. PROVIDE NEW CON SPECIFICATIONS. CONCRETE PAD TO I AWAY FROM HOUSE MIN 2% WITH EXP. JOINT AND CAULK. BELOW NEW SLAB PROVIDE WWF, COMPACT SOIL, AND P ADDITIONAL GRAVEL AS NECESSARY T PROPER SLOPE. SEE SPECIFICATIONS
INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHUR MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE	S6	POTENTIAL LOOSE VALVES ON GAS ME GAS LINE. TEST GAS LEAKAGE AND TIC REPAIR METER AS NECESSARY WITH O PITTSBURGH APPROVED GAS METER.
ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).	S7	REPAIR EXISTING DAMAGED EXTERIO POUR NEW CONCRETE WHERE STEP I TO MATCH EXISTING CONCRETE STEP
CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE	S8	TRIM EXISTING TREE AWAY FROM BUIL REQ'D.
MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).	S9	ROTTING OR DETERIORATING ROOF C TRIM OR ORNAMENTAL WOOD. REMOV REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A	S10	REGROUT AND POINT MASONRY AS NE GROUT COLOR TO MATCH GROUT AT A BLOCK. PROVIDE NEW PARGETING AT REFER TO SPECIFICATIONS FOR DETA
COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)	S11	REMOVE EXISTING VEGETATIVE GROV DEBRIS FROM EXISTING WINDOW WEL DOWN BELOW WINDOW SILL 4", PROVI GRAVEL BASE OVER WEED BARRIER. NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)	S12	REPAIR AND ORGANIZE ELECTRICAL W THIS LOCATION PER SPECIFICATIONS. ELECTRICAL WIRES ARE LESS THAN 12 GRADE, RELOCATE SERVICE DROP TO CLEAR HEIGHT OF 12°0° MIN.
REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING	S13	REMOVE OVERGROWN VEGETATION, E NEST. CLEAN AND REPAIR SURFACE. R CRACKS AS NECESSARY.
DORMERS, CHIMNEYS AND OTHER ELEMENTS. ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW	S14	REMOVE DAMAGED VINYL SIDING AND RESISTIVE BARRIER. FROM THIS AREA NEW VINYL SIDING TO MATCH EXISTIN AND COLOR AND PROPERLY LAPPED V RESISTIVE BARRIER PER SPECIFICATI
UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE <u>NOT</u> ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE	ROOF	DAMAGED ROOF ELEMENT. REMOVE, I AND SEAL AS APPLICABLE. TO INCLUD FLASHING, VENTS, CRICKETS, ETC. RE SPECIFICATIONS FOR DETAILS.
SPECIFICATIONS FOR ACCEPTABLE WINDOW UINTS AND REPAIRS)	ARCHI	TECTURAL
 IN THESE LOCATIONS PRESERVE EXISITING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS). 	A1	REPAIR DETERIORATING BRICK CLADE EXTERIOR WALL. SPOT SAW CUT DAM. AND REPLACE WITH NEW MORTAR ANI MATCH ADJACENT.
IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TREAT AND RE- PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE	A2	IN THIS AREA, WIRE BRUSH TO REMOV FROM FACE OF CMU WALL. PREP AND SPECIFICATIONS.
DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR	A3	BOWING EXTERIOR WALL OR RETAININ BRACE AND TIEBACK AS NECESSARY 1 WALL.
RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION. IN THIS AREA CLEAN AND PREP THE EXISTING METAL	A4	RUSTED STRUCTURAL BEAM, COLUMN CONNECTION PLATE. BRACE AND SHO REPAIR OR REPLACE AS NECESSARY.
FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR,	A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOF FOR UNOBSTRUCTED CLOSURE OF DO REHINGE DOOR OR REPLACE THRESH NECESSARY.
TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS). AT THIS LOCATION, REPAIR WOOD TRIM, PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)	A6	WATER DAMAGE AT EXISTING WALL OF REMOVE DRYWALL AND REPAIR DAMA STRUCTURE, WOOD LATHE OR STUDS REQUIRED. REPLACE ANY FLASHING C AS NECESSARY AT WINDOWS. REMEDI
AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES		SOURCE. REPLACE ALL WET LOCATION WITH WATER RESISTANT DRYWALL, AN WALLS WITH CEMENT BOARD. REPLAC WALL TO CEILING OF TUBS AND SHOW SPECIFICATIONS.
FOR MATERIAL OR FEATURE INDICATED ABOVE. AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)	A7	REPLACE EXISTING INTERIOR WINDOV 1X PAINTED FLAT STOCK WOOD SILL (WATER DAMAGE WHEN REPLACING, R SEAL IF NECESSARY, REFER TO SPECI FOR DETAILS.
	A8	SEAL ENTIRE PERIMETER TRANSITION SLAB OR SIDEWALK AND FOUNDATION ELASTOMETRIC SEALANT PER SPECIF
	A9	EXPOSED INSULATION AT THIS LOCATI REPLACE ANY DAMAGED INSULATION, REPAIR DRYWALL OR PLASTER. PAINT ADJACENT WALL OR CEILING.
	A10	DETERIORATING INTERIOR STAIR BEY DEMOLISH EXISTING STAIR AND REPL NEW WOOD STAIR WITH WOOD STRIN KICKBOARDS, TREADS, AND RISERS. F TREAD HEIGHT TO MATCH DEMOLISH REFER TO DETAIL DRAWINGS FOR MO INFORMATION.
	A11	ADJUSTABLE STEEL COLUMN. BRACE FLOORING AT COLUMN LOCATION FOR PERMANENT COLUMN. SAWCUT EXIST FOR NEW STANDARD 272271 SPREAD AND APPLICABLE CONNECTION PLATE

SITE		
<u>S1</u> <u>S2</u>	AT LOCATION SHOWN, REMOVE 4"+ OF TOPSOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 5-0". REPLACE DISTURBED VEGETATION PER SPECIFICATIONS. UNEVEN LEVELS OF CONC. AT STEPS OR	Fukui Architects Pc 205 Ross Street Pittsburgh, Pennsylvania 15219
\$3	BETWEEN STEPS AND WALKWAY, PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS. TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO	ph 412.281.6001 fx 412.281.6002
S4	MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS. EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WUF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVELAS NECESSARY TO CREATE	©2022 Fukui Architects, Pc
<u>\$5</u>	PROPER SLOPE. SEE SPECIFICATIONS. SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE	
S6	PROPER SLOPE. SEE SPECIFICATIONS. POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.	
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.	seal
S8 S9	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D. ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND	_
S10	REPLACE TO MATCH EXISTING PER SPECIFICATIONS. REGROUT AND POINT MASONRY AS NECESSARY. GROUT COLOR TO MATCH GROUT AT ADJACENT	
S11	BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS. REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG	
	DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4", PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.	
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRADE, RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.	
S13	CLEAR HEIGHT OF 12-0 MIN. REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.	
S14 ROOF	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER. FROM THIS AREA PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.	1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions
ARCHIT	ECTURAL REPAIR DETERIORATING BRICK CLADDING AT	from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
 A2	EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT. IN THIS AREA, WIRE BRUSH TO REMOVE PAINT	3. All work shall be installed in accordance with applicable codes and regulations.
A3	FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS. BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB	4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
A4	WALL. RUSTED STRUCTURAL BEAM, COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY, REFER TO	5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all
A5	SPECIFICATIONS FOR DETAILS. LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.	 material required for finished assemblies. 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE, WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.	remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. revisions
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.	ISSUED FOR PERMIT: 05.06.2022
A8 A9	SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMETRIC SEALANT PER SPECIFICATIONS. EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION, PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.	
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	■ project title Owner: HACP
A11	ADJUSTABLE STEEL COLUMN. BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2'X2'X1' SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.	200 ROSS STREET PITTSBURGH,PA 15219
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.	
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD. UNEVEN FLOORING, WALL, OR CEILING. REPLACE	Project Location:
A14	SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT. ADD WATERPROOFING AT BASEMENT. SCRAPE	MANCHESTER SCATTERED SITES
	AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.	1130 Sheffield Street PITTSBURGH, PENNSYLVANIA
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR. CLEAN EXISTING AREA WITH NON-HAZARDOUS	15233
A18	CLEANING MATERIALS. REMOVE DIRT AND RUST. NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.	drawing title EAST ELEVATION, HISTORIC
PLUMB	ING - REF. ONLY. REFER TO PLUMB. DWG'S. NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS	KEYNOTES, SMALL UNIT KEYNOTES, GRAPHIC SCALES
P2	NECESSARY PER SPECIFICATIONS. EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.	
MECHA	NICAL - REF. ONLY. REFER TO MECH. DWG'S.	
M2	TANK, OR OTHER FEATURE AT LOCATION. REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.	
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIECATIONS FOR MODE DETAIL	
M4	SPECIFICATIONS FOR MORE DETAILS. EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.	scale As Noted Sheet No.
		date May 6, 2022
		no. of. A12
		Project #2006



2 UNIT 1 KITCHEN ELEVATION 01 SCALE: 3/4" = 1'-0"





BATHROOM ACCESSORY SCHEDULE

ITEM	ITEM QUANTITY MANUFACTURER		DIMENSION
MIRROR	3	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and pla same location
MEDICINE CABINET	0	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and pla cabinet in same locatior
TOWEL BAR	3	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and pla location, provide blockin
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and pla same location, provide b
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and pla location, provide blockin
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and plating in same location, provid

MECHANICAL EQUIPMENT SCHEDUL

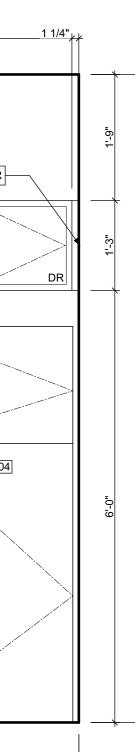
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 C
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition match existing unit being rer
ELECTRIC WALL HEATER	-	0	QMARK	СМН	Electric Wall Heater, Size, W existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air Single deflection return air re
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specificat
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specificat

	APPLIANCE SCHEDULE				
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	3	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	3	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

			PLUM	BING SCHE	DULE
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	3	ELKAY	AVENUE	Drop-in/Undermount Stainle Kitchen Sink with Bottom Gr
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainle Single Bowl Kitchen Sink wi
KITCHEN SINK FAUCET	-	3	MOEN	7425	Kitchen, 8" Chateau with co
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainle Single Bowl Kitchen Sink wit
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainle Single Bowl Kitchen Sink wit
LAVATORY FAUCET	-	3	MOEN	L64620	4" Chateau with covers for
WATER CLOSET	-	3	KOHLER	K-31621-0	Cimarron white elongated co toilet. 12" rough-in size (ADA
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Fra brushed nickel and corner d
BATHTUB	-	3	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L Whit rectangular righ drain alcove
BATHTUB / SHOWER FAUCETS	-	3	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Hand Shower with Single Function Chrome 1-Handle WaterSens Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting of fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laund
LAUNDRY TRAY FAUCET	-	0	MOEN	40812	4" Centerset Laundry Fauce
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" 2 Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Fauce
NSF QUALIFIED LAVATORY FAUCET	-	0	KOHLER	KPF-2252CH	Forte Single Hole Single-Ha Bathroom Faucet in Polishe
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-O MasterClean Spray Face ir

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA. 2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

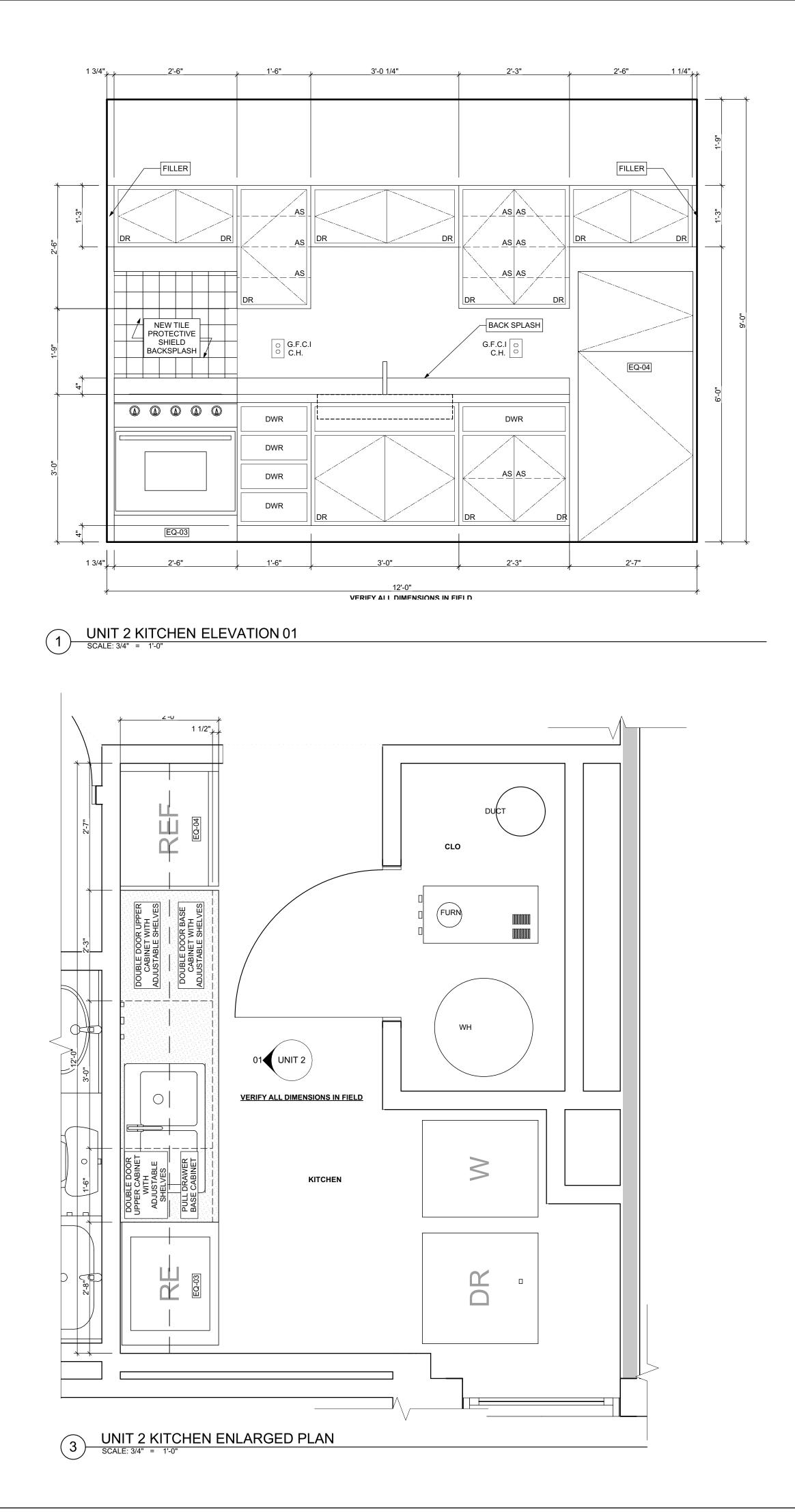
GENERAL NOTE: MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY " AND MAY BE SUBS SPECIFICATION

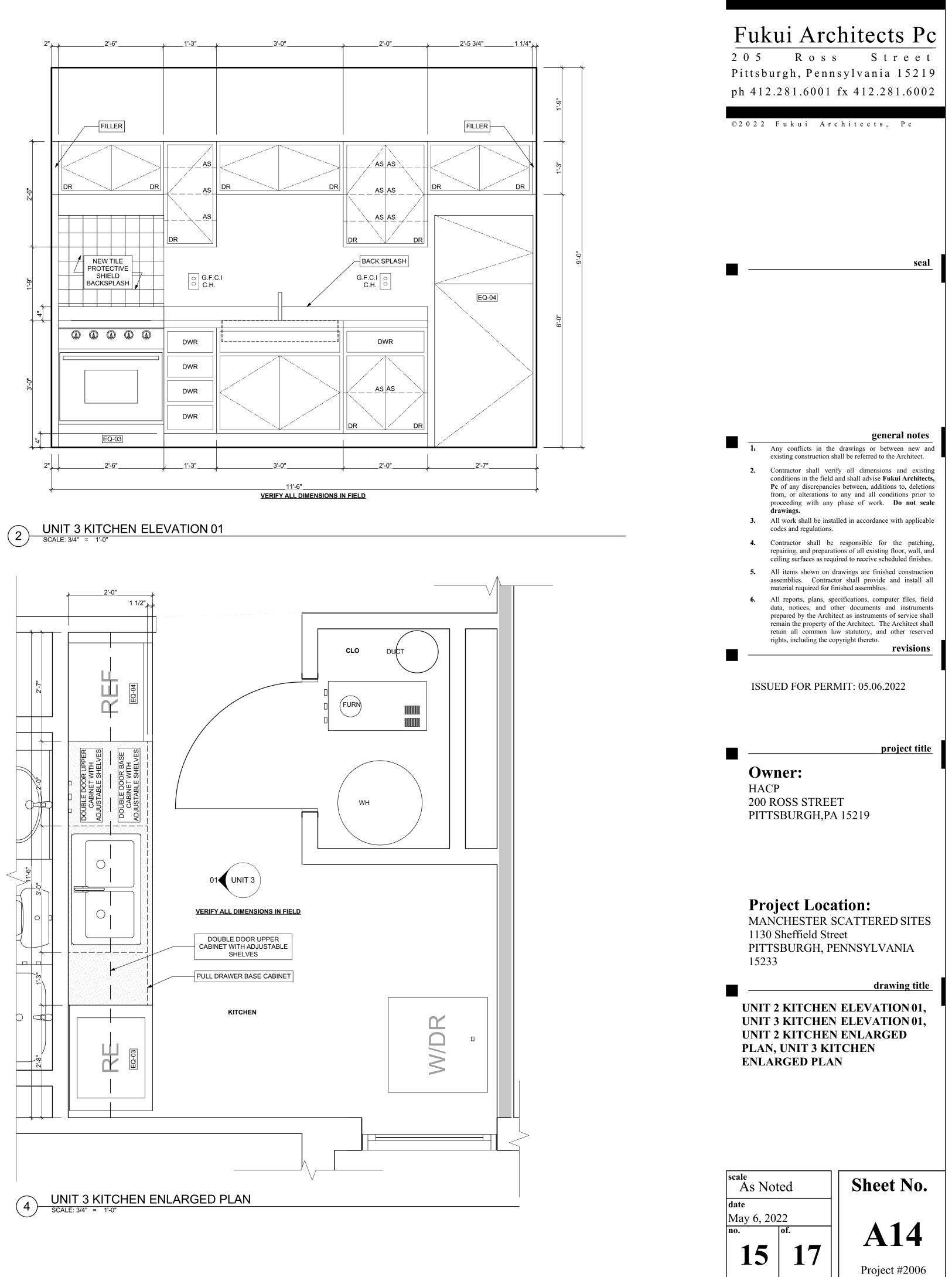


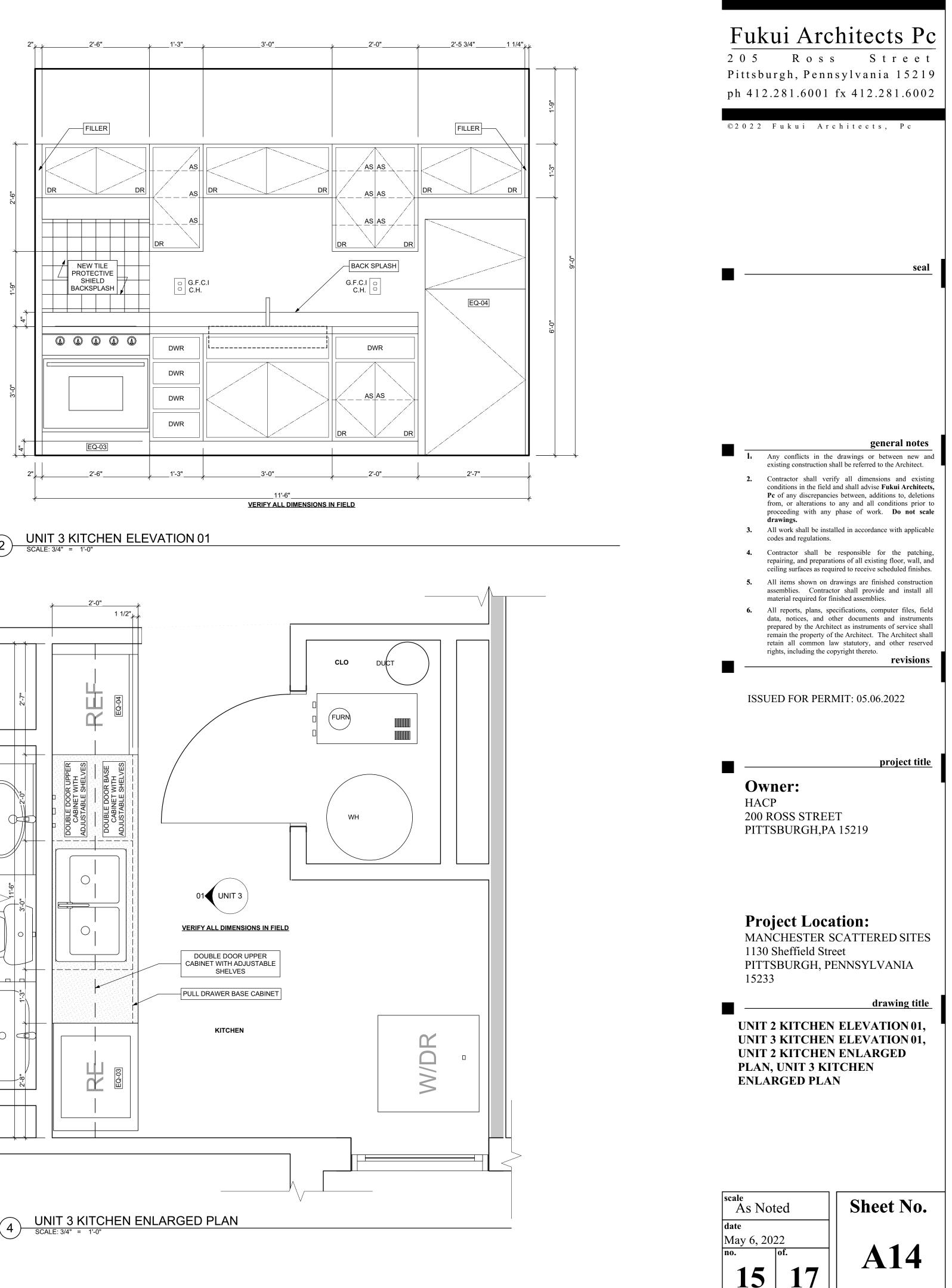
	Fukui Architects Pc 205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002
	©2022 Fukui Architects, Pc
SCHEDULE DIMENSIONING NOTES Remove existing and place new mirror in same location Remove existing and place new medicince cabinet in same location Remove existing and place towel bar in same location, provide blocking if necessary Remove existing and place toilet paper holder in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary Remove existing and place towel ring in same location, provide blocking if necessary	seal seal
in same location, provide blocking if necessary	I. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
ee specifications for Sizing requirements, related equipment ad accessories ee specifications for Sizing requirements, related equipment ad accessories ee specifications for Sizing requirements, related equipment ad accessories Vhisper fit DC-50-80-110 CFM with Condensation Sensor lectric Baseboard Radition, Size, Wattage and Voltage to latch existing unit being removed lectric Wall Heater, Size, Wattage and Voltage to match xisting unit being removed ouble deflection supply air register ingle deflection return air register tefer to plumbing specifications for sizing tefer to plumbing specifications for sizing	 Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings. All work shall be installed in accordance with applicable codes and regulations. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
NOTES Dlack 30" lack 18", type 18MSTA	 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.
NOTES	
rop-in/Undermount Stainless Steel 30" 50/50 Double Bowl tchen Sink with Bottom Grid rop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole ngle Bowl Kitchen Sink with Bottom Grid tchen, 8" Chateau with covers for unused sink holes. 4" W x 36" H x 19" D Bath Vanity in White with Vanity Top in //hite and White Basin rop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole ngle Bowl Kitchen Sink with Bottom Grid rop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole ngle Bowl Kitchen Sink with Bottom Grid rop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole ngle Bowl Kitchen Sink with Bottom Grid Chateau with covers for unused sink holes marron white elongated comfort height 2-piece watersense let. 12" rough-in size (ADA Compliant) t to existing conditions. Frameless pivot shower enclosure in ushed nickel and corner drain white base inceton 30"W x 60" L White porcelain enameled steel	■ Owner: HACP 200 ROSS STREET PITTSBURGH,PA 15219
ctangular righ drain alcove soaking bathtub ass Chrome 1-Handle Handle(S) Included WaterSense Tub and iower with Single Function Showerhead Model/Commercial irrome 1-Handle WaterSense Shower Faucet with Multi-Head iowerhead ombination valved fitting or seperate Hot & Cold water valved ings & drain standpipe eestanding Single Laundry tray with steel legs eestanding Double Laundry tray with steel legs Centerset Laundry Faucet with 9" spout reach	Project Location: MANCHESTER SCATTERED SITES 1130 Sheffield Street PITTSBURGH, PENNSYLVANIA 15233 drawing title
op-in Stainless Steel 25" X 22" X 8 ¹ / ₈ " 2 Hole Single Bowl buntertop Sink Centerset Laundry Faucet with 9" spout reach orte Single Hole Single-Handle Low-Arc Water-Saving athroom Faucet in Polished Chrome orte Single-Handle Pull-Out Sprayer Kitchen Faucet With asterClean Spray Face in Polished Chrome	UNIT 1 KITCHEN ENLARGED PLAN, UNIT 1 KITCHEN ELEVATION 01
ER IS GAS WHERE &E SELECTIONS.	
LY " AND MAY BE SUBSTITUTED WITH EQUIVALENT	

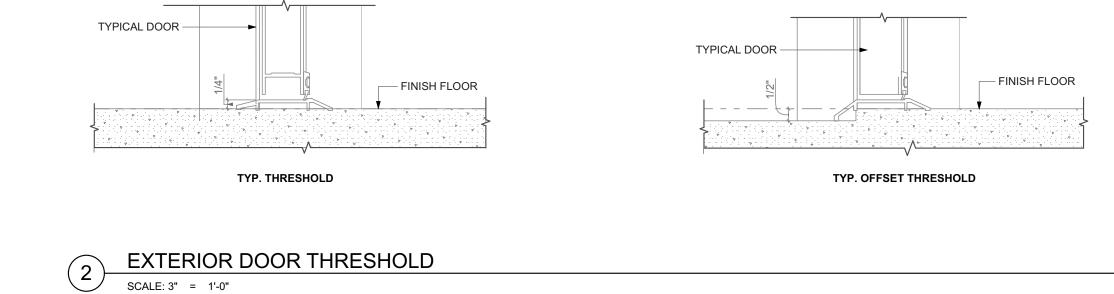
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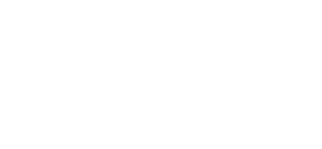
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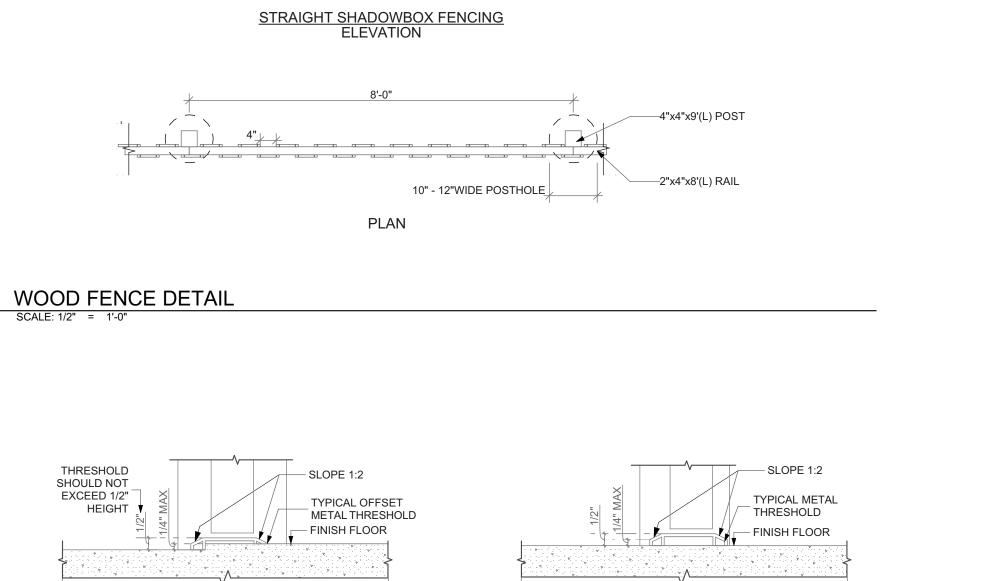






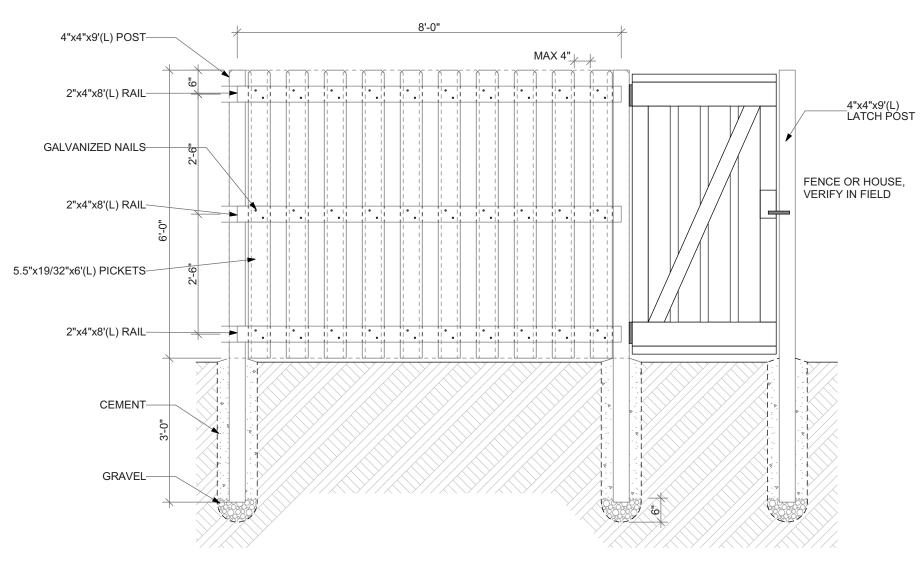




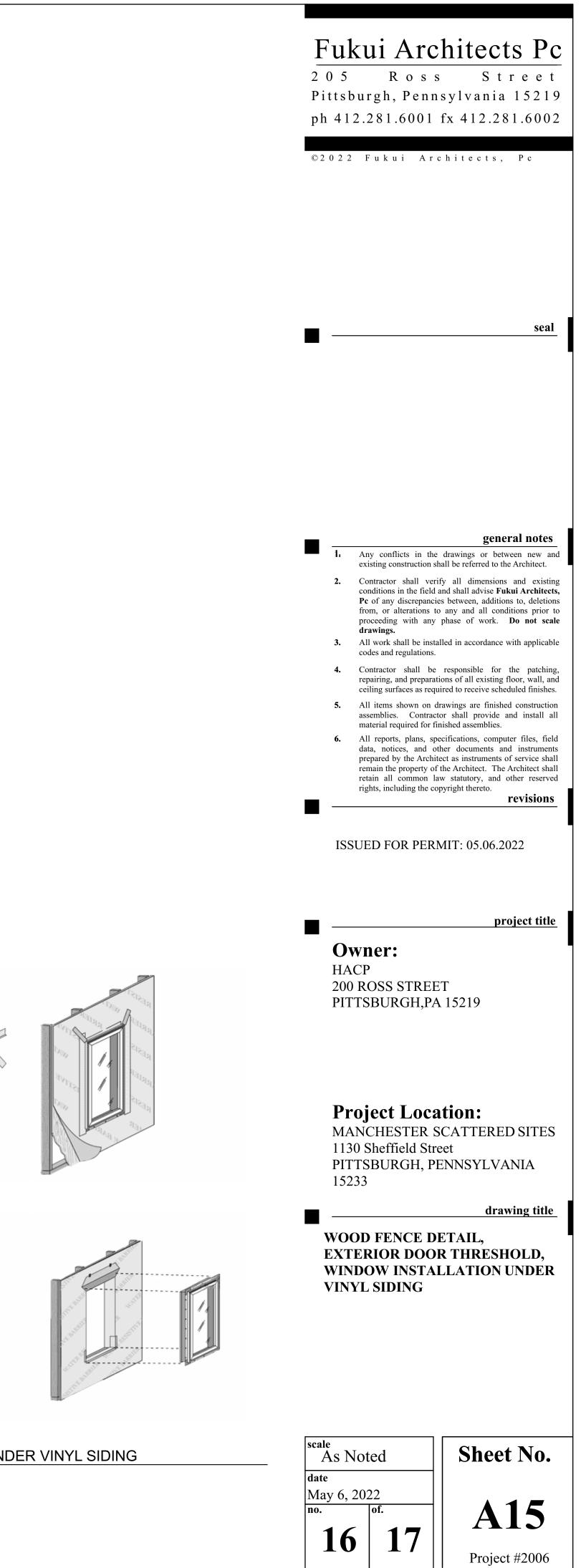


TYP. THRESHOLD

TYP. OFFSET THRESHOLD







WINDOW INSTALLATION UNDER VINYL SIDING

