

Fukui Architects Pc

205 Ross Street
Pittsburgh, Pennsylvania 15219
ph 412.281.6001 fx 412.281.6002

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA 15219

drawing title

Project Location:

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

SELECTION CRITERIA, THRESHOLD CRITERIA, TABULAR SCHEDULE

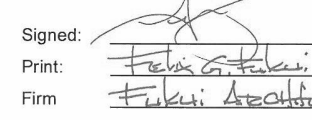
PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Large Family Units

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:

*High rise developments and senior housing cannot qualify for this category.		
71	Total units	>15 - 20% of all units
43	Total number of affordable 3 or more-bedroom units	>20 - 25% of all units
	>15-10% of all units (suburban/rural developments only)	>25% of all units

DESIGN ARCHITECT

Signed:  Date: 5/9/2021
Firm: Fukui Architects, Pc

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____
Print: _____
Signed: _____ Date: _____
Print: _____

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Accessible Housing

As the DESIGN ARCHITECT, I certify that:

To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.

- ☒ The Fair Housing Act of 1988 & Fair Housing Design Manual
- ☒ ANSI A117.1-2009 (or edition currently adopted by the PA AUC)
- ☒ Pennsylvania Uniform Construction Code
- ☒ Uniform Federal Accessibility Standards (UFAS)
- ☒ Section 504 of the Rehabilitation Act of 1973
- ☒ 2010 ADA Standards for Accessible Design
- ☒ Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)

NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

Accessible Units

For New Construction and Substantial Rehabilitation Developments:
As the design architect, I hereby certify that I either have designed or will design the referenced development to include twice the mandated number of fully accessible units under local, state, or federal mandate, whichever is greater. These units shall meet current accessibility standards.

Number of accessible units required under local mandate: _____
Number of accessible units required under state mandate: _____
Number of accessible units required under federal mandate: _____
Number of fully accessible units provided: _____

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards:
Number of existing fully accessible units (by current standards): 0
Number of fully accessible units provided: 5

Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 211

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

New Construction

☒ For 100% electric dwellings/buildings*: HERS Index of 60 or less (without solar PV)

☒ For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehab:

☒ For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)

☒ For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Preservation (Moderate Rehab) *:

☒ For 100% electric dwellings/buildings*: HERS Index of 80 or less (without solar PV)

☒ For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

NOTE:

- Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these units but must follow the NHERF program to achieve the Energy Star® label.
- All HERS indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 210

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Fair Housing

As the DESIGN ARCHITECT, I certify that:

The net area of all dwelling units must fall within the limits listed below. (Net area is measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.)

Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

☒ Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009.

Energy Conservation & Green Building Criteria

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures:

☒ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

☒ All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

☒ In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

☒ In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btu/h, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 217

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

This preservation development will achieve certification under one of the green building standards indicated below:

- ☒ Enterprise Green Communities – 2020 Moderate Rehab
- ☒ LEED v4 OM – Multifamily – Certified
- ☒ ICC 700-2020 National Green Building Standard Under Section 305.2 – Whole Building Rating – Bronze
- ☒ ICC 700-2015 National Green Building Standard Under Section 305.4 – Functional Areas Rating – Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawing/specification package.

Energy Efficiency Goals (Only one of the following may be selected)

☒ The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.phaus.org or www.assbv.de/en for additional guidance.)

To qualify for these points, the applicant must contract with a qualified Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WPI) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WPI to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/roof/ceiling construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. **Passive House certification is required.**

*Qualified is defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a qualified consultant.

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 209

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Unit Amenities

As the DESIGN ARCHITECT, I certify that:

See Tab 9
The net area of all dwelling units must fall within the limits listed below. (Net area is measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.)

Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

	FLATS	MULTI-FLOOR UNITS
SRO	200 to 800 s.f.	
EFF	850 to 950 s.f.	
1 BR	950 to 1,100 s.f.	850 to 1,300 s.f.
2 BR	1,100 to 1,550 s.f.	1,000 to 1,550 s.f.
3 BR	1,550 to 1,750 s.f.	1,200 to 1,750 s.f.
4 BR	1,750 to 2,000 s.f.	1,400 to 2,000 s.f.

☒ Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)

☒ Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.

☒ Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

Visibility

As the DESIGN ARCHITECT, I certify that:

☒ All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be Visible. In rehab developments, a minimum of twenty-five (25) percent of the units in low-rise developments, elevator buildings and walk-up apartments must be Visible. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet Visibility design features, the building and units must have at least one zero-step entrance with a 36 inch wide door, all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide Visible units where feasible.)

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 216

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.: _____

Design Architect (Signature):  Date: 10/18/2021

1. Number of Buildings: 56

2. Building Height (Stories): 3 to 4 stories

3. Building Code: IRC Construction Type: III-B or V-A

4. Structural System: Wood Joists to 2x4 framing or masonry

5. Exterior Finish: Brick or vinyl

6. Gross Building Area*: 148,586

7. Gross Commercial Area (SF): 0 Percentage of Gross Building Area: 0%

8. Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only

9. Required Variances: N/A

10. Applicable Accessibility Regulations:

Section 504 ☐ UFAS ☐ PAUCC ☐ FHAA ☐ ADA ☐

Unit/Room Type	No. of Units	Accessible Units ADA	HV	Adaptable Units ADA	HV	Net SF**	Gross SF*
SRO	0						
EFF	0						
1 BR	35						
2 BR	13						
3 BR	25						
4 BR	13						
Community Room						2244	4116
Circulation (hallways, stairs & etc.)						1753	2917
Other							
Unit Total	86	5	2	0	0		

*Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multi-story spaces shall be excluded from the square foot calculation; include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

SUBMISSION GUIDE FOR ARCHITECTS, 2021 EDITION Page 60

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics

Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures:

Smart Site Selection - The development is located on, or is a(n):

☒ Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)

☒ Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)

☒ Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

☒ Enterprise Green Communities – 2020

☒ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) – Silver

☒ LEED v4 BD+C Multifamily Midrise – Silver OR

☒ LEED v4 BD+C New Construction & Major Renovation – Silver (4 stories or more)

☒ ICC 700-2020 National Green Building Standard – Silver

TAB_08_02 CERTIFICATION OF SELECTION CRITERIA 208

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification Of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply.) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

Development Amenities

As the DESIGN ARCHITECT, I certify that:

☒ An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)

☒ Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and all washing machines must be Energy Star® labeled.

☒ All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation)

☒ An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)

☒ Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 3161 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments)

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 215

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Smoke Free Development

As the APPLICANT, I certify that:

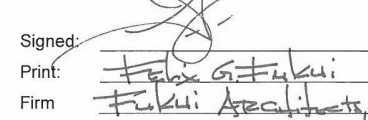
☒ At construction completion, a policy prohibiting the use of tobacco products in all dwelling units, common areas, other buildings that are a part of the development and within 25 feet of all buildings in the development will be implemented.

Energy Rebate Analysis (ERA)

A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts will be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. The energy rebates are not basis eligible and will be removed from basis on a tax credit development. Prior to closing the developer will be required to submit an updated ERA which includes:

- A list of eligible utility, local, regional, state, or federal rebate programs;
- Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- Calculations, energy models, or other technical data to support recommendations;
- Letters, program data information, or other documentation from utility providers to support noted programs; and
- If renewable energy strategies are proposed, a cost/benefit analysis.

DESIGN ARCHITECT

Signed:  Date: 5/9/2021
Print: Fukui Architects, Pc
Firm: Fukui Architects, Pc

Acknowledged and Accepted by the APPLICANT(S)

Signed: _____ Date: _____

Print: _____

Signed: _____ Date: _____

Print: _____

TAB_08_04 CERTIFICATION OF THRESHOLD CRITERIA 220

HACP, Existing Duplex Unit Repairs and Level 2 Alterations
1132 SHEFFIELD ST PITTSBURGH PENNSYLVANIA 15233
UNIT 1 - 3 BEDROOM : UNIT 2 - 3 BEDROOM : UNIT 3 - 2 BEDROOM

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
	ARCH PRLIM SET
	MANCHESTER SCATTERED SITES MAP
	CODE AND CONTACT INFO
	ARCH PRLIM SET
A2 ABBREVIATIONS AND MATERIALS	
	DOOR SCHEDULE (WITH EXISTING)
	WINDOW SCHEDULE
	FINISH SCHEDULE
	ABBREVIATIONS AND MATERIALS
	DOOR SCHEDULE
	HISTORIC BRICK WALL SECTION
	BRICK WALL SECTION
	INTERIOR STAIR DETAIL
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	
	ENERGY NOTES
	GENERAL NOTES
A4 SITE PLAN AND ROOF PLAN	
	ROOF
	SITE PLAN
	GRAPHIC SCALES
	GRAPHIC SCALES
	ROOF PLAN NOTES
	ROOF AND SITE PLAN LEGEND
	SMALL UNIT KEYNOTES
A5 FLOOR / DEMO PLANS	
	SMALL UNIT KEYNOTES
	GRAPHIC SCALES
	BASEMENT / DEMO PLAN
	FIRST FLOOR / DEMO PLAN
	DEMOLITION PLAN LEGEND
	GENERAL DEMOLITION NOTES
A6 FLOOR / DEMO PLANS	
	SMALL UNIT KEYNOTES
	GRAPHIC SCALES
	SECOND FLOOR / DEMO PLAN
	THIRD FLOOR / DEMO PLAN
	DEMOLITION PLAN LEGEND
	GENERAL DEMOLITION NOTES
A7 FLOOR/FINISH/MECH./PLUMB. PLAN	
	FLOOR PLAN LEGEND
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
	BASEMENT/FINISH/MECH./PLUMB. PLAN
	FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
A8 FLOOR/FINISH/MECH./PLUMB. PLAN	
	FLOOR PLAN LEGEND
	GRAPHIC SCALES
	SMALL UNIT KEYNOTES
	SECOND FLOOR/FINISH/MECH./PLUMB. PLAN
	THIRD FLOOR/FINISH/MECH./PLUMB. PLAN
A9 REFLECTED CEILING / POWER / DATA PLANS	
	GRAPHIC SCALES
	RCP LEGEND
	LIGHTING SCHEDULE
	SMALL UNIT KEYNOTES
	BSMT. REFL. CLG/ POWER / DATA PLAN
	FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
A10 REFLECTED CEILING / POWER / DATA PLANS	
	THIRD FLOOR REFL. CLG./ POWER / DATA PLAN
	GRAPHIC SCALES
	RCP LEGEND
	SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
	SMALL UNIT KEYNOTES
	LIGHTING SCHEDULE

Applicable Codes	
General:	2015 International Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2015 International Energy Conservation Code
Electrical:	2014 NEC (NFPA 70)
Fire:	2015 International Fire Code
Fuel Gas:	2015 International Fuel Gas Code
Mechanical:	2015 International Mechanical Code
Plumbing:	2017 Allegheny County Health department Plumbing Code
Fire Alarm:	2013 NFPA 72
Sprinkler:	2013 NFPA 13
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	3,235 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	15

<p>Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.</p>		
<p>Building Owner:</p> <p>Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@haep.org contact: Mackenzie Pleskovic</p>	<p>Architect:</p> <p>Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 gaff@farpac.com contact: Felix G. Fukui, AIA</p>	<p>Plan Review & Inspection</p> <p>City of Pittsburgh Department of permits, Licenses and Inspection 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175</p>

1. It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
2. For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
3. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

1. Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
2. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.



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1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pe** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law copyright, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 Ross Street
Pittsburgh, PA 15219

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

**MANCHESTER SCATTERD SITES
MAP, ARCH PRLIM SET, CODE
AND CONTACT INFO**

scale As Noted	
date May 6, 2022	
no. 2	of. 17

Sheet No.

A1

Project #2006

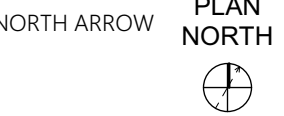
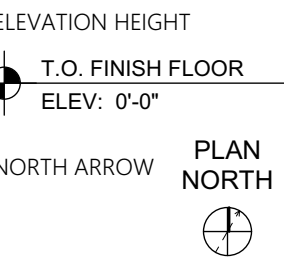
Materials Legend

NOT ALL MATERIALS USED	
	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

Abbreviations

A.F.F.		ELEV.		MISC.	
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Existing Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
ARCH.	Architectural	F.F.	Finish Floor	P.V.C.	Polyvinyl Chloride
AS	Adjustable Shelving	FIN.FLR.	Finish Floor	PRE-FAB.	Prefabricated
ASB.	Asbestos	F.A.C.P.	Fire Alarm Control Panel	RE.	Refer To
ASPH.	Asphalt	F.E.	Fire Extinguisher	REF.	Refrigerator
AUTO.	Automatic	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
AVG.	Average	F.D.	Floor Drain	REINF.	Reinforcement
BLK.	Block	FTG.	Footing	RD.	Roof Drain
BD.	Board			RM.	Room
BOT.	Bottom				
BLDG.	Building				
C.I.P.	Cast In Place	GA.	Gauge	S.A.T.	Suspended Acoustical Tile
C.B.	Catch Basin	G.C.	General Contractor	SCHED.	Schedule
CEM.	Cement	G.F.I.	Ground Fault Interrupter	SHT.	Sheet
CER.	Ceramic	GYP.	Gypsum	SIM.	Similar
CG	Corner Guard	G.W.B.	Gypsum Wall Board	S.C.	Solid Core
C.M.T.	Ceramic Mosaic Tile	GSH	Gypsum Sheathing	SPEC.S.	Specifications
C.W.T.	Ceramic Wall Tile			SQ.	Square
CLEANOUT	Cleanout	H/C	Handicap	S.F.	Square Foot
C.O.	Center Line	H.V.A.C.	Heating, Ventilation & Air Conditioning	S.S.	Stainless Steel
CLO.	Closet	HT	Height	STL.	Steel
C.W.	Cold Water	HC	Hollow Core	STOR.	Storage
CLG.	Ceiling	H.M.	Hollow Metal	STRUCT.	Structural
CLR.	Clearance	HORIZ.	Horizontal	TEL.	Telephone
COL.	Column	HR.	Hour	THK.	Thick
CONC.	Concrete	H.W.	Hot Water	T.B.D.	To Be Determined
C.M.U.	Concrete Masonry Unit			T&G	Tongue & Groove
CONT.	Continuous	IN.	Inch	T.O.	Top Of
CORR.	Corridor	I.M.	Insulated Metal	T.G.	Top Of Grade
C.M.P.	Corrugated Metal Pipe	INSUL.	Insulation or Insulated	T.O.S.	Top Of Steel
CRS.	Courses	INT.	Interior	TYP.	Typical
		INV.	Invert	UNFIN.	Unfinished
DIA.	Diameter	ISO.	Isolation	U.N.O.	Unless Noted Otherwise
DET.	Detail	JANL.	Janitor's Closet		
DGL.	Dens Glass Gold	J.T.	Joint		
DR.	Door	LAM.	Laminate	V.B.	Vapor Barrier
DN.	Down	LAV.	Lavatory	VERT.	Vertical
DWG.	Downspout	LG.	Long	VEST.	Vestibule
DWR.	Drawer			V.C.T.	Vinyl Composition Tile
D.F.	Drinking Fountain	M.D.F.	Medium Density Fiberboard	V.I.F.	Verify In Field
D.I.P.	Ductile Iron Pipe	M.H.	Manhole	W.H.	Water Heater
EA.	Each	MEGR.	Manufacturer Maximum	W.R.B.	Water Resistant Barrier
E.W.	Each Way	MAX.	Maximum	W.W.F.	Welded Wire Fabric
ELEC.	Electrical	MECH.	Mechanical	WIN.	Window
E.C.	Electrical Contractor	MET.	Metal	W/	With
EL.	Elevation	MIN.	Minimum	W/O	Without
				WD.	Wood

Symbols



DRAWING TITLE

1 Title

SCALE: 1/8" = 1'-0"

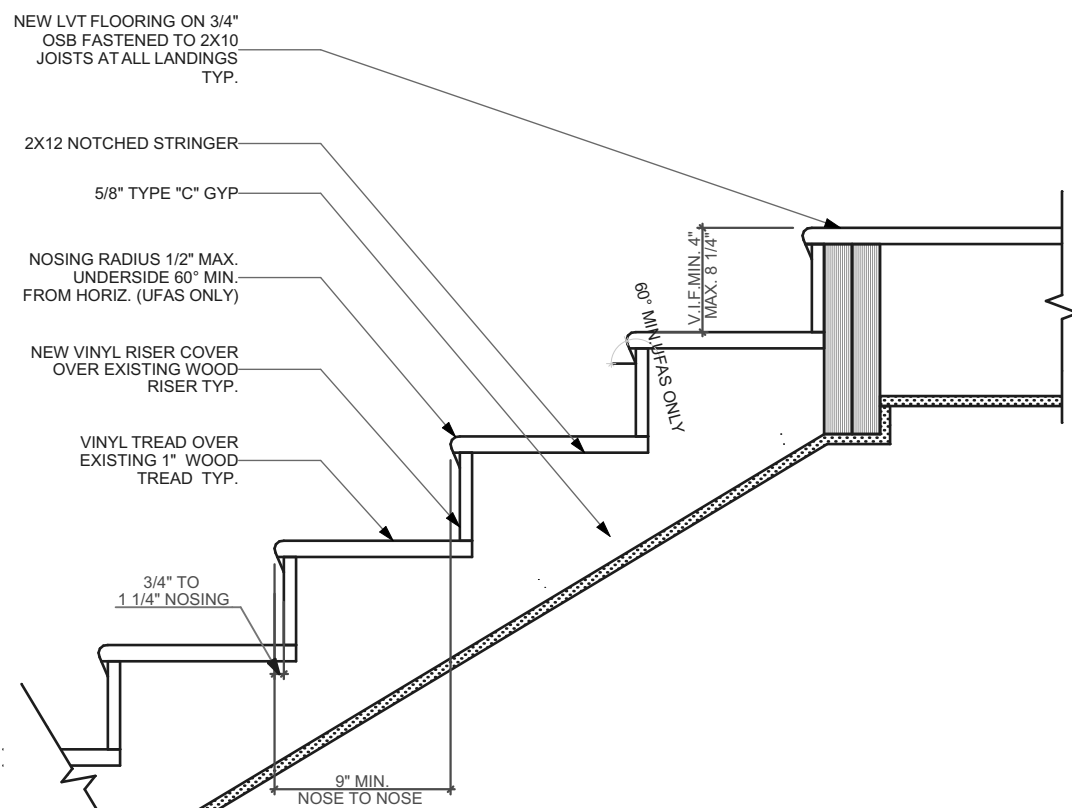
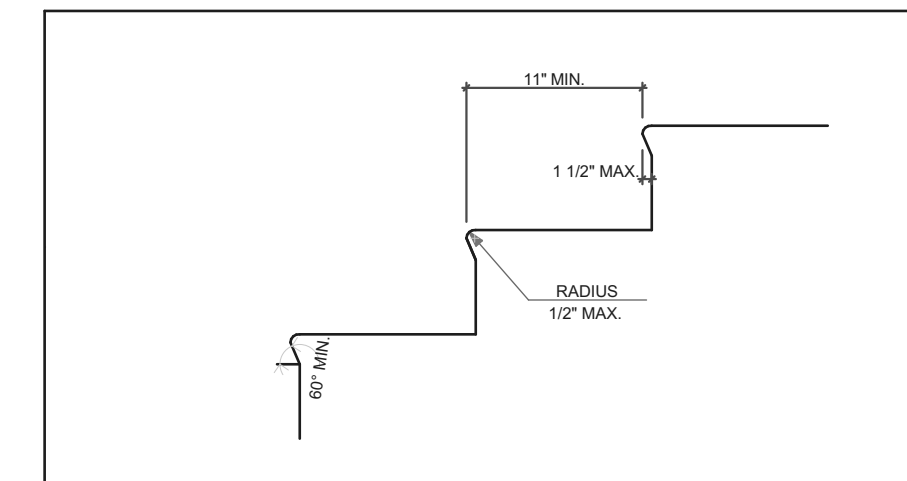
NOTE LEADER

NOTE

INTERIOR ELEVATION MARKER



1 ABBREVIATIONS AND MATERIALS



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

4 INTERIOR STAIR DETAIL

SCALE: 1" = 1'-0"

2 HISTORIC BRICK WALL SECTION

WINDOW SCHEDULE						
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	2'-11"	6'-3 1/2"	9'-2"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B	3'-2"	6'-7"	9'-2"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C	2'-9"	5'-4 1/2"	7'-8"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D	3'-0"	4'-0"	4'-9"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS.
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE					
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	3'-4"x7'-0"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	2'-11"x6'-8"	I	WOOD	WOOD	ENTRY
3	3'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
4	2'-8"x4'-2"	III	WOOD	WOOD	PASSAGE
5	3'-0"x6'-8"	III	WOOD	WOOD	DUMMY
6	2'-4"x6'-8"	III	WOOD	WOOD	PRIVACY
7	2'-8"x6'-8"	III	WOOD	WOOD	PRIVACY
8	2'-6"x6'-8"	III	WOOD	WOOD	PRIVACY
9	3'-0"x6'-8"	III	FIBERGLASS	FIBERGLASS	ENTRY
10	2'-11"x6'-8"	III	WOOD	WOOD	ENTRY
11	1'-4"x6'-8"	III	WOOD	WOOD	DUMMY
12	3'-0"x6'-8"	IV	WOOD	WOOD	BIFOLD
12	2'-4"x6'-8"	IV	WOOD	WOOD	BIFOLD
13	2'-8"x4'-2"	III	WOOD	WOOD	DUMMY
14	3'-0"x6'-8"	V	WOOD	WOOD	SLIDING
14	2'-7 1/4"x6'-8"	V	WOOD	WOOD	SLIDING
15	1'-10"x6'-8"	III	WOOD	WOOD	DUMMY
16	2'-0"x6'-8"	V	WOOD	WOOD	SLIDING
17	4'-0"x6'-8"	V	WOOD	WOOD	SLIDING
17	3'-7 1/2"x6'-8"	V	WOOD	WOOD	SLIDING

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS.
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

2 HISTORIC BRICK WALL SECTION

FINISH SCHEDULE	
NAME	FLOOR
	09 LVT
BEDROOM	09 LVT
BTHRM	09 LVT
CLO	09 LVT
DINING ROOM	09 LVT
DINING ROOM	09 LVT
ENTRY	09 LVT
HALLWAY	09 LVT
KITCHEN	09 LVT
LIN. CLO	09 LVT
LIVING ROOM	09 LVT
PNTRY	09 LVT

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PNTRY	09 LVT

2 HISTORIC BRICK WALL SECTION

FINISH SCHEDULE	
NAME	FLOOR

<div>GENERAL FLOOR PLAN NOTES</div> <ol style="list-style-type: none"> CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE. AT WALLS SCHEDULED FOR REFINISHING, SAND WALLS SMOOTH, REMOVE ALL ADHESIVE RESIDUE, AND/OR SKIM WITH JOINT COMPOUND AS NECESSARY TO PREP WALLS FOR NEW FINISHES. THE FLOOR SHOULD BE SCRAPED CLEAN OF ANY ADHESIVE RESIDUE, PATCHED AND LEVELLED OUT AS NECESSARY TO RECEIVE NEW FLOORING. SEE SPECIFICATIONS. AT WALLS EXISTING TO REMAIN, PATCH AND PAINT ANY HOLES OR DAMAGE TO APPEAR NEW. NEW DOORBELLS AND WIRED DOORBELL CHIME AT INTERIOR. REFER TO SPECIFICATIONS FOR DETAILS. PAINT INTERIOR WALLS AND CEILINGS PER SPECIFICATIONS. RE-SECURE ALL SHELVING TO WALLS AS NECESSARY. ALL EXISTING KEYS AND CORES TO BE RETURNED TO HACP. NEW KEYS AND CORES TO BE ADDED AT ALL PROPERTIES. EXISTING DUCTWORK TO BE CLEANED OF DUST AND DEBRIS AFTER CONSTRUCTION HAS FINISHED. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AT RAE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THIS CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO WHICH THEY WERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS. ADD BLOCKING FOR ALL UPPER CABINETS, GRAB BARS, AND ASSOCIATED ITEMS. FLASHING AND WATERPROOFING TO BE COMPLIANT WITH BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS. <div>HAZARDOUS NOTES</div> <ol style="list-style-type: none"> BUILDING PASSED INITIAL RADON INSPECTION OR RE-TEST ON OCTOBER 6TH 2020 CONDUCTED BY AT&CND INTERTEK PSI. NO ASBESTOS FOUND BY ACM DURING ORIGINAL INSPECTION, WHERE ASBESTOS IS UNCOVERED DURING CONSTRUCTION, GC TO CONTACT OWNER, ARCHITECT, AND CM FOR GUIDELINES ON TESTING AND MITIGATION. <div>GENERAL HISTORIC PRESERVATION NOTES</div> <ol style="list-style-type: none"> HISTORIC PRESERVATION NOTES SHALL OVERRIDE KEYNOTES WHERE APPLICABLE. THE REPAIR OF EXISTING FEATURES WITH INAPPROPRIATE MATERIALS, SUCH AS ALUMINUM JAMB CASINGS AND BRACKET TIEBACKS THAT HAVE BEEN REPAIRED, SHALL NOT DESTROY THE DISTINGUISHING QUALITIES OR CHARACTER OF THE STRUCTURE AND ITS ENVIRONMENT. THE REMOVAL OR ALTERATION OF ANY HISTORIC MATERIAL OR ARCHITECTURAL FEATURES SHOULD BE HELD TO A MINIMUM. IN THE EVENT REPLACEMENT IS NECESSARY, THE NEW MATERIAL SHOULD MATCH THE MATERIAL BEING REPLACED IN THE COMPOSITION, DESIGN, COLOR, TEXTURE, AND OTHER VISUAL DETAILS. REPAIR OR REPLACEMENT OF MISSING ARCHITECTURAL FEATURES SHOULD BE BASED ON ACCURATE DUPLICATIONS OF ORIGINAL FEATURES BY PHYSICAL OR PICTORIAL EVIDENCE, RATHER THAN ON CONJECTURAL DESIGNS OR THE AVAILABILITY OF DIFFERENT ARCHITECTURAL FEATURES FROM OTHER BUILDINGS. <div>ENVIRONMENTAL AND LANDSCAPE HISTORIC PRESERVATION NOTES</div> <ol style="list-style-type: none"> RETAIN LANDSCAPE FEATURES SUCH AS PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS THAT HAVE TRADITIONALLY LINKED BUILDINGS TO THEIR ENVIRONMENT. USING NEW PLANT MATERIALS, FENCING, WALKWAYS, STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR. FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED. 	<div>ARCHITECTURAL SCOPE NOTES</div> <p>THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:</p> <ol style="list-style-type: none"> BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS. INTERIOR DOORS, HARDWARE, AND DOOR TRIM. WHERE ONE DAMAGED INTERIOR DOOR IS TO BE REPLACED, ALL INTERIOR DOORS ARE TO BE REPLACED TO MATCH NEW DOORS PER SPECIFICATIONS. REFER TO DETAIL SCHEDULE FOR MORE INFORMATION. WINDOWS AND ASSOCIATED WINDOW TRIM, SILLS, AND LOCKING MECHANISMS. SEE SHEET A-11. "PELLA" IS BASIS OF DESIGN. GC TO PROVIDE PELLA OR EQUIVALENT. SEALING AND CAULKING AROUND ALL BATHTUBS AND VANITIES. ALL CLOSETS ROD & SHELVES ALL ROOF SOFFITS GUTTERS AND ASSOCIATED DOWNSPOUTS, HEAT TAPE, SPLASH BLOCKS, OR CAST IRON BOOTS OR DRAIN LEADERS. SEE ROOF PLAN SHEET A-4 ADDRESS NUMBERS DRYWALL UP TO 200SF METAL EXTERIOR RAILINGS AND GATES INTERIOR WOOD HANDRAILS HVAC SUPPLY AND RETURN GRILLES/VENT COVERS DUCTWORK <p>THE FOLLOWING LIST OF ITEMS ARE TO BE BID AT AND REPLACED AT 100% PER THE SPECIFICATIONS U.N.O.:</p> <ol style="list-style-type: none"> COMPLETELY REMOVE (U.N.O.) AND REPLACE ALL EXISTING KITCHEN CABINETS, CABINET HARDWARE, SINKS, AND COUNTERTOPS, BACKSPLASH, NEW CABINET AND COUNTER LAYOUT PER PLANS WITH FINISHES PER THE SPECIFICATIONS. ALL WINDOW SCREENS TO BE REPLACED WITH CHILDPROOF SCREENS. REFER TO SPECIFICATIONS FOR MORE DETAILS. ALL WINDOW BLINDS TO BE REPLACED. REFER TO SPECIFICATIONS FOR DETAILS. COMPLETELY REPLACE EXISTING FLOORING WITH NEW WATERPROOF LVT FLOORING (U.N.O.) AT ALL RESIDENTIAL LIVING, DINING, KITCHEN, BEDROOM, HALLWAYS AND BATHROOMS. REFER TO SPECIFICATIONS FOR MORE DETAILS. LEVEL AND PREP SUBFLOOR TO RECEIVE NEW FLOORING AS NECESSARY REPLACE ALL INTERIOR WALL BASE WITH PAINTED WOOD BASE PER SPECIFICATIONS IN ALL SPACES BUT BATHROOMS. BATHROOM WALL BASE TO BE REPLACED WITH VINYL COLE BASE PER SPECIFICATIONS. ALL NEW DOOR DOORS OR REPLACEMENT DOORS TO HAVE NEW HARDWARE PER SPECIFICATIONS. ALL NEW ENTRY DOORS TO HAVE MAILBOX SLOT AND ADDRESS MARKERS PER SPECIFICATIONS. ALL EXTERIOR DOORS TO HAVE KEYS, LOOKS, AND CORES REPLACED. ALL WALLS AND CEILINGS TO BE PAINTED PER SPECIFICATIONS. ALL ROOF CLADDING, SUBROOFING, AND ASSOCIATED ROOFING TO BE REMOVED DOWN TO FRAMING. NEW ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS. SEE ROOF PLAN SHEET A-4. ALL WOOD FENCES AND POSTS TO BE REMOVED. NEW WOOD FENCE AND POST TO BE INSTALLED PER SPECIFICATIONS. ALL BUILDINGS FOUNDATION WALL AND SIDEWALK TO BE SEALED PER SPECIFICATIONS. ALL HOUSES TO HAVE NEW WATERPROOFING INSTALLED AT BASEMENT PER SPECIFICATIONS. ALL WATERPROOFING AND VINYL SIDING, EXTERIOR TRIM AND WEATHER PROOF BARRIER TO NON HISTORIC PROPERTIES. PER SPECIFICATIONS <p>THE FOLLOWING LIST OF ITEMS ARE TO ONLY BE REPAIRED AS INDICATED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SHEETS. ITEMS ARE TO BE BID ON A CASE BY CASE BASIS AS INDICATED ON THE CONSTRUCTION SET:</p> <ol style="list-style-type: none"> PARKING PADS CONCRETE STEPS AND SIDEWALKS INTERIOR STAIRS BASEMENT SLAB AND WALL CRACKING EMERGENCY LIGHTING SPRINKLER SYSTEMS FIRE ALARM SYSTEMS <div>MASONRY HISTORIC PRESERVATION NOTES</div> <ol style="list-style-type: none"> RETAIN ORIGINAL MASONRY AND MORTAR WHENEVER POSSIBLE, WITHOUT THE APPLICATION OF ANY SURFACE TREATMENT. DUPPLICATE OLD MORTAR IN COMPOSITION, COLOR TEXTURE, JOINT SIZE, METHOD OF APPLICATION, AND JOINT PROFILE. CLEANING MASONRY WILL BE APPROVED ONLY WHEN NECESSARY TO HALT DETERIORATION AND ALWAYS WITH THE GENTLEST METHOD POSSIBLE, SUCH AS LOW-PRESSURE WATER AND SOFT NATURAL BRUSHES. DETERIORATED MASONRY WORK SHALL BE REPAIRED TO BE INCONSPICUOUS AND COMPATIBLE WITH THE EXISTING. BRICKWORK SHALL NOT BE SANDBLASTED AND MAY BE CLEANED WITH HYDROFLUORIC ACID IN CONCENTRATION OF NOT MORE THAN 5% OR EQUIVALENT. WATERPROOFING DETAILS CANNOT ALTER THE EXTERIOR OR HISTORIC PROJECTS. REPORTING WITH A MATERIAL OF HIGH PORTLAND CEMENT CONTENT CAN CREATE A BOND THAT IS OFTEN STRONGER THAN THE BUILDING MATERIAL. THIS CAN CAUSE DETERIORATION AS A RESULT OF THE DIFFERING COEFFICIENT OF EXPANSION AND THE DIFFERING POROSITY OF THE MATERIAL AND THE MORTAR. MASONRY SURFACES, WHICH HAVE BEEN PAINTED IN THE PAST, SHOULD, IN MOST CASES, BE REPAIRED OR REPLACED, WHERE NECESSARY. DETERIORATED MATERIAL WITH NEW MATERIAL SHOULD ATTEMPT TO DUPLICATE THE OLD AS CLOSELY AS POSSIBLE. 	<div>PLUMBING SCOPE NOTES</div> <p>THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:</p> <ol style="list-style-type: none"> DISCONNECT AND REMOVE EXISTING GAS WATER HEATER AND ALL ASSOCIATED WATER PIPING. PROVIDE NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXISTING NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. PROVIDE NEW HYBRID ELECTRIC HEAT PUMP WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING HOT AND COLD-WATER PIPING TO REMAIN. IF UNIT IS LOCATED IN A CLOSET, PROVIDE AN INLET DUCT ADAPTOR, 8" DIAMETER INSULATED FLEXIBLE DUCT SECTION AND 10X10 ANEMOSTAT MODEL GLESOR APPROVED EQUAL GRILLE WITH 10X10 PLenum AND 8" DIAMETER CONNECTOR. SEE SPECIFICATIONS. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED TRIM. REMOVE EXISTING WAX KING. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW TOILET AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING LAVATORY (VANITY, PEDESTAL, OR WALK-IN TYPE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAVATORY (VANITY, PEDESTAL, OR WALL HUNG TYPE) TO MATCH EXISTING AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING BATHTUB (WITH OR WITHOUT SHOWER) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW BATHTUB (WITH OR WITHOUT SHOWER TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING SHOWER AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW SHOWER AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING KITCHEN SINK (SINGLE OR DOUBLE BOWL) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW KITCHEN SINK (SINGLE OR DOUBLE BOWL TO MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING LAUNDRY TRAY (SINGLE OR DOUBLE) AND ALL ASSOCIATED TRIM. CLEAN EXISTING DRAIN LINE AND FLUSH EXISTING HOT AND COLD-WATER LINES. PROVIDE NEW LAUNDRY TRAY (SINGLE OR DOUBLET MATCH EXISTING) AND ALL ASSOCIATED TRIM PER SPECIFICATIONS. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING HOSE-BIBB AND FLUSH EXISTING COLD-WATER LINE. PROVIDE NEW HOSE-BIBB, SEE SPECIFICATION. UTILIZE EXISTING ROUGH-IN TO SERVE NEW FIXTURE. DISCONNECT AND REMOVE EXISTING FLOOR DRAIN AND TRAP ASSEMBLY TO REMAIN. REMOVE EXISTING STRAINER AND CLEAN EXISTING DRAIN LINE. PROVIDE NEW STRAINER AS REQUIRED. INSPECTION REPORT INDICATES SEWER BACKUP. REMEDIATION IS REQUIRED. EXISTING SEWER SHALL BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). REPAIR EXISTING SEWER AS MAY BE REQUIRED. INSPECTION REPORT INDICATES EXCESSIVE WATER INFILTRATION TO POINT OF POTENTIAL APPLIANCE DAMAGE. NEW INTERIOR FOUNDATION DRAIN AND SUMP INSTALLATION REQUIRED. REMOVE EXISTING EXISTING FLOOR SLAB AROUND PERIMETER OF BASEMENT. PROVIDE NEW DRAIN TILE IN GRAVEL BED (NO FINES). EXTEND NEW DRAIN TILE TO NEW SUMP/LOCATION AND PROVIDE NEW DUCT SUMP PUMP WITH BATTERY BACKUP. EXTEND SUMP DISCHARGE TO CONNECTION TO EXISTING STORM SEWER SYSTEM OR SUITABLE LOCATION IDENTIFIED BY OWNER'S REPRESENTATIVE. ALL EXISTING UNDERGROUND SEWER PIPING TO BE HYDRO-JET CLEANED AND SCOPED WITH A VIDEO CAMERA (PROVIDE COPY OF CLEAN SEWER VIDEO TO THE OWNER). <div>WOOD HISTORIC PRESERVATION NOTES</div> <ol style="list-style-type: none"> REPAIR, RESTORE AND, IF NECESSARY, REPLACE EXISTING WOOD SIDING AND TRIM WITH SIMILAR MATERIALS. HOWEVER, REPLACEMENT USING OTHER MATERIALS, SUCH AS WOOD PANELING, OR ALUMINUM OR VINYL SIDING, IS PROHIBITED. WHERE THOSE MATERIALS ARE USED, APPROPRIATE TRIM DETAILS WILL BE RETAINED OR DUPLICATED. REMOVING ARCHITECTURAL FEATURES SUCH AS SIDING, CORNICES, BRACKETS, WINDOW ARCHITRAVES, AND DOORWAY PEDIMENTS IS PROHIBITED. <div>METAL HISTORIC PRESERVATION NOTES</div> <ol style="list-style-type: none"> CLEAN WHEN NECESSARY WITH THE APPROPRIATE METHOD. CAST IRON AND STEEL ARE NORMALLY NOT AFFECTED BY MECHANICAL CLEANING METHODS, WHILE PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED BY THE GENTLEST METHOD POSSIBLE. IF USE OF CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. <div>METAL HISTORIC PRESERVATION NOTES</div> <ol style="list-style-type: none"> CLEAN WHEN NECESSARY WITH THE APPROPRIATE METHOD. CAST IRON AND STEEL ARE NORMALLY NOT AFFECTED BY MECHANICAL CLEANING METHODS, WHILE PRESSED TIN, ZINC, AND ALUMINUM SHOULD BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. 	<div>MECHANICAL SCOPE NOTES</div> <p>THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:</p> <ol style="list-style-type: none"> DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK. DISCONNECT AND REMOVE EXISTING ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW ELECTRIC FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED BATHROOM EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED BATHROOM EXHAUST FAN/ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THE WORK. DISCONNECT AND REMOVE EXISTING CEILING MOUNTED KITCHEN EXHAUST FAN, ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. PROVIDE NEW CEILING MOUNTED KITCHEN EXHAUST FAN/ALL ASSOCIATED EXHAUST AIR DUCTWORK, AND CONTROLS. SEESPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING CEILINGS / WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL CEILINGS / WALLS / BULKHEADS UPON COMPLETION OF THEWORK. DISCONNECT AND REMOVE EXISTING RADON MITIGATION FAN, EXISTING RADON EXHAUST AIR DUCTWORK TO REMAIN. PROVIDE NEW RADON MITIGATION FAN AND EXHAUST DUCT MOUNTED MANO METER FOR VISUAL INDICATION OF PROPER OPERATION. EXTEND AND CONNECT TO EXISTING RADON EXHAUST AIR DUCTWORK AS REQUIRED. SEE SPECIFICATIONS. DISCONNECT, REMOVE, AND REPLACE EXISTING CLOTHES DRYER EXHAUST AIR DUCT. IF NEW CLOTHES DRYER EXHAUST AIR DUCT LENGTH EXCEEDS 25 FEET, PROVIDE NEW DUCT MOUNTED DRYER BOOSTER FAN AND INSULATING LINING IN THE TRAP ASSEMBLY. SEE SPECIFICATIONS. 	<div>ELECTRICAL SCOPE NOTES</div> <p>THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:</p> <ol style="list-style-type: none"> CONTRACTOR SHALL REPLACE EXISTING ELECTRICAL PANELS AND/OR COIL SUPPLY AND RETURN AIR DUCTWORK. FIELD VERIFY CONDITION AND SIZE OF EACH BRANCH CIRCUIT AND PROVIDE NEW CIRCUIT BREAKERS AND/OR WIRING AS REQUIRED. ENSURE NEW ELECTRICAL PANEL IS IN COMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENT SPACE CLEARANCES PRIOR TO FINAL INSTALLATION. ALL DISTRIBUTION EXISTING PANEL COVERS SHALL BE FASTENED BY MANUFACTURER'S APPROVED BLUNT-TIPPED SCREWS. CONTRACTOR SHALL REPLACE EXISTING CORRODED SERVICE ENTRANCE EQUIPMENT AND GROUNDING ELECTRODE CONDUCTOR. FIELD VERIFY EXISTING CONDITION OF BONDING/NEUTRAL CONDUCTORS FOR CORROSION AND REPLACE AS REQUIRED. NEW GROUNDING SHALL BE EQUAL TO OR LESS THAN 25 OHMS. PROVIDE SUPPLEMENTAL ELECTRODE CONNECTIONS AS REQUIRED. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF N.E.C. ALL LIGHT FIXTURES THAT MAYBE MISSING, INOPERABLE, OR OBSOLETE SHALL BE REPLACED WITH NEW HIGH EFFICACY LED LIGHT FIXTURES PER SPECIFICATIONS. CONTRACTOR SHALL INSTALL NEW LED LIGHT FIXTURES AND 3-WAY SWITCHES FOR EXISTING STAIRWAYS WITH INADEQUATE OR MISSING LIGHTING. LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) & THE N.E.C. LIGHTING FOOT-CANDLE(F) C LEVELS OVER EXISTING STAIRWAYS SHALL BE NO LESS THAN HERE COMENDEF C LEVELS FROM NFPA 101, LIFE SAFETY CODE. ALL DEVICE COVERS FOR ELECTRICAL & CABLE COMPONENTS THAT INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, LIGHT SWITCHES, ETC., THAT MAY BE DAMAGED, MISSING OR OBSOLETE SHALL BE REPLACED WITH NEW PER SPECIFICATIONS AND INSTALLED IN ACCORDANCE WITH THE N.E.C. CONTRACTOR SHALL REPLACE EXISTING RECEPTACLE & SWITCHES WITH NEW PER SPECIFICATIONS. IN ADDITION, FIELD VERIFY EXISTING CONDITIONS OF ALL RECEPTACLES & SWITCHES. JUNCTION BOXES AND BRANCH CIRCUIT WIRING, AND REPAIRING WORK AS REQUIRED. ALL GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE AND INSTALLED IN THE LOCATIONS SPECIFIED IN ARTICLE 210 OF N.E.C. PROVIDE WEATHER-PROOF COVERS FOR OUTDOOR RECEPTACLES. HEIGHT OF RECEPTACLES ABOVE COUNTERTOPS SHALL BE 4" AFF U.N.O. CONTRACTOR SHALL REPLACE EXISTING SMOKE OR CARBON MONOXIDE DEVICE FOR NEW COMBINATION SMOKE/CO ALARM. CONTRACTOR FIELD VERIFY ALL EXISTING BRANCH CIRCUITS AND FEEDERS FROM NEW ELECTRICAL PANEL ARE INSTALLED IN ACCORDANCE WITH THEN E.C. TROUBLESHOOT AND REPAIR ANY EXISTING CIRCUITRY AND/OR OBSOLETE DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C. FURNISH EACH BEDROOM WITH NEW SMOKE DETECTOR ALARM PER SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING GAS-FIRED FURNACE TO PERMIT THE REMOVAL OF EXISTING FURNACE BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE EPOWER TO NEW FURNACE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. REMOVE EXISTING EXTERIOR DISCONNECT SWITCH AS REQUIRED TO PERMIT THE REMOVAL OF THE EXISTING AIR-COOLED CONDENSING UNIT BY THE MECHANICAL CONTRACTOR. 	<div>GREEN COMMUNITIES NOTES</div> <ol style="list-style-type: none"> MITIGATE ALL CONTAMINANTS FOUND. IMPLEMENT EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES DISCHARGE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT. INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. IN NEW PLUMBING FIXTURES MUST BE WATERSEAL CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS. NEW CLOTHES WASHERS, DISHWASHERS, AND REFRIGERATORS TO BE ENERGY STAR RATED. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICIACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #0 8320 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WHICH ARE EXEMPT. INSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER-VENTED OR DIRECT-VENTED AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTXIC SEALING METHODS TO PREVENT PEST ENTRY. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE II CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION ≥ R-5 IN CLIMATE ZONES 5 TO 8. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC SYSTEMS TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE AT TIME OF PERMIT. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION. FOR REUSE, CONTROL THE PATH AND LOCATION OF RUNOFF WITH SILT FENCING OR COMPARABLE MEASURES. PROTECT ERPS, ON-SITE STORM SEWER INLETS, WATERCOURSES AND WATER BODIES WITH STRAW BALES, SILT FENCING, SILT SACKS, ROCK FILLS, OR COMPARABLE MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT, HIGH VALUE TREES DURING CONSTRUCTION. HEALTHY TREE WITH A DIAMETER AT BREAST HEIGHT GREATER THAN 6 INCHES SHALL BE INSTALLED TO PROTECT THE CRITICAL ROOT ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED. ALL PAINTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTURBED AREAS SHOULD BE PLANTED, SEEDED OR RESEEDING. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF INSTALLATION. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ABANDON LINOLEUM PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING. CONTRACTOR SHALL PREAIR / SECURE ALL LOOSE CABLE WIRING AS REQUIRED. EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-LOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE, DARK SKY-APPROVED "FRIENDLY FIXTURE" CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENT LIGHT REFLECTING FROM FLOOR HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0. FIXTURE SHALL HAVE NO SAG OR DROP LENSES, SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #0 8320 OR ASTM #0 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT. FLASHINGS AT ROOF /WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHERRESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF. AT WALL /ROOF INTERSECTIONS, MAINTAIN 32" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS, INSTALL FLASHING ALONG THE INTERSECTION, AND USE KICK-OUT FLASHING AS NOTED ABOVE. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DEVELOPING WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES FOR VENTED APPLIANCES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TEST SYSTEM. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTXIC SEALING METHODS (WINDOW SCREENS, DOWR SWEEPS, ESCUTOCHRON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE ROADING- AND CORROSION-PROOFED STAINLESS STEEL MESH OR RIGID METAL CLOTH FOR OPENINGS GREATER THAN 1/4-INCH. ALSO PAY CLOSE ATTENTION TO SEALING OFF ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS. PROVIDE "SMOKING PROHIBITED WITHIN 25' OF BUILDING" AT ALL ENTRANCES OF MULTI-FAMILY BUILDINGS. 	<div>Fukui Architects Pc</div> <div>205 Ross Street</div> <div>Pittsburgh, Pennsylvania 15219</div> <div>ph 412.281.6001 fx 412.281.6002</div> <div>© 2022 Fukui Architects, Pc</div> <div>general notes</div> <ol style="list-style-type: none"> Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, PC of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings. All work shall be installed in accordance with applicable codes and regulations. Contractor shall be responsible for the patching, painting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto. <div>revisions</div> <div>ISSUED FOR PERMIT: 05.06.2022</div> <div>project title</div> <div>Owner:</div> <div>HACP</div> <div>200 Ross Street</div> <div>Pittsburgh, PA 15219</div> <div>Project Location:</div> <div>Manchester Scattered Sites</div> <div>1132 SHEFFIELD ST</div> <div>PITTSBURGH, PENNSYLVANIA</div> <div>15233</div> <div>drawing title</div> <div>ENERGY NOTES, GENERAL NOTES</div> <div>scale</div> <div>As Noted</div> <div>date</div> <div>May 6, 2022</div> <div>no.</div> <div>of.</div> <div>417</div> <div>A3</div> <div>Project #2006</div>
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- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
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Manchester Scattered Sites
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15233

SITE PLAN, ROOF, GRAPHIC
SCALES, ROOF PLAN NOTES,
ROOF AND SITE PLAN LEGEND,
SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

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Project #2006

SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL. ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 4" SLOPE. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT WINDOW WELL. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

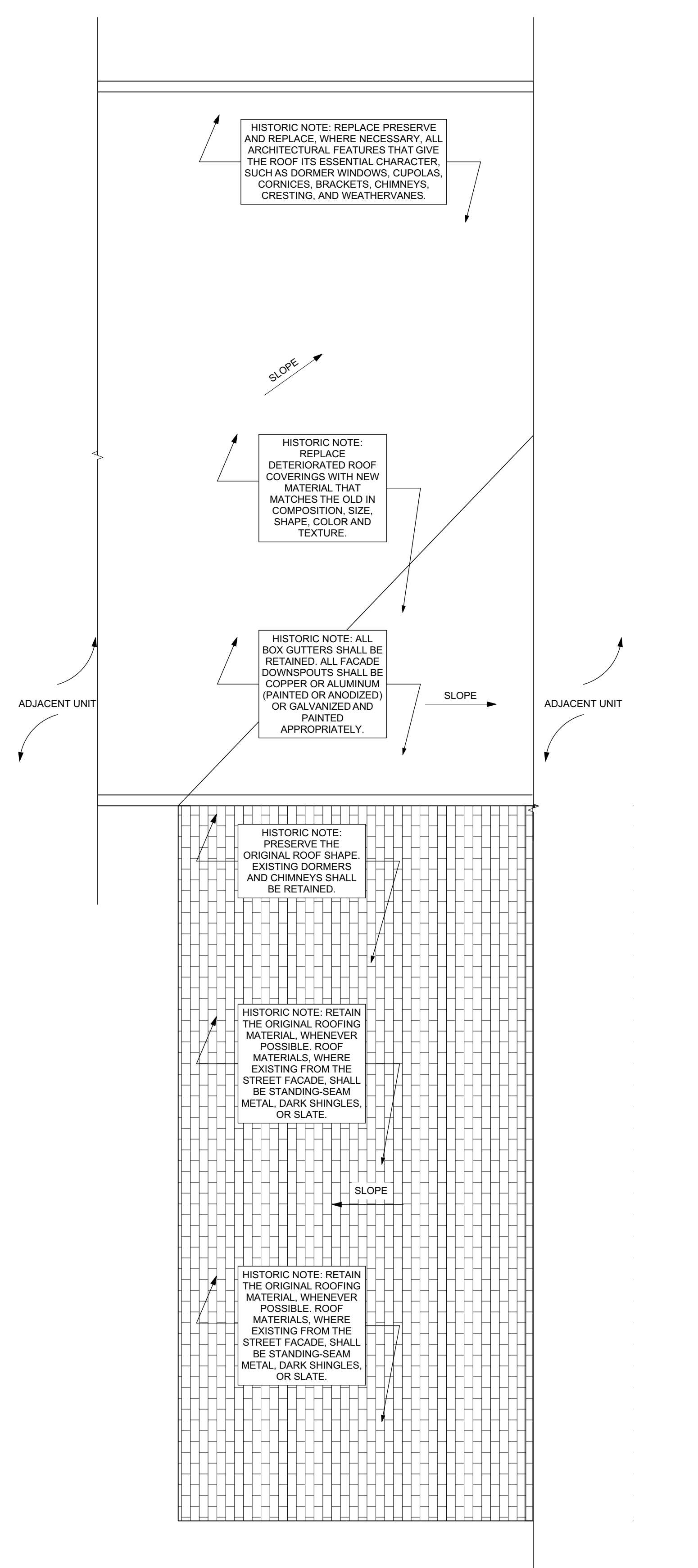
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, NOSEBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDING JOIST. SPRINKLE FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY WATER BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTROLLER. DEHUMIDIFIER. DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



2 ROOF
SCALE: 1/4" = 1'-0"

0 1' 2' 4' 8'

ROOF AND SITE PLAN LEGEND

- X — PROPERTY FENCE
- - - - - PROPERTY LINE
— — — — — BUILDING OUTLINE
- - - - - PARTY WALL
- GATE
- □ □ □ STEPPING CONCRETE PADS
- - - - - ICE WATER SHIELD
- G.M. GAS METER
F.I. FRESH AIR INTAKE
A.C. AIR CONDITIONER CONDENSOR
E.M. ELECTRIC METER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

SHEFFIELD STREET

HISTORIC NOTE: REPAIR OR REPLACE, WHERE NECESSARY, DETERIORATED ARCHITECTURAL FEATURES OF WOOD, IRON, CAST IRON, TERRA-COTTA, TILE, AND BRICK. STRIPPING PORCHES AND STEPS OF ORIGINAL MATERIAL AND ARCHITECTURAL FEATURES, SUCH AS HAND RAILS, BALUSTERS, COLUMNS, BRACKETS AND ROOF DECORATION OF WOOD, IRON, CAST IRON, TERRA-COTTA, TILE AND BRICK, AND ENCLOSING PORCHES AND STEPS, DESTROY THEIR INTENDED APPEARANCE.

HISTORIC NOTE: SIDEWALK, STOOP, AND STEP MATERIALS SHALL BE STONE, BRICK, OR POURED CONCRETE. WROUGHT IRON RAILING SHALL BE PERMITTED.

HISTORIC NOTE: USE NEW PLANT MATERIALS, FENCING, WALKWAYS, STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR.

HISTORIC NOTE: REPLACE PRESERVE AND REPLACE, WHERE NECESSARY, ALL ARCHITECTURAL FEATURES THAT GIVE THE ROOF ITS ESSENTIAL CHARACTER, SUCH AS DORMER WINDOWS, CUPOLAS, CORNICES, BRACKETS, CHIMNEYS, CRESTING, AND WEATHERVANES.

HISTORIC NOTE: REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE.

HISTORIC NOTE: ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE DOWNSPOUTS SHALL BE COPPER OR ALUMINUM (PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED APPROPRIATELY.

HISTORIC NOTE: PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING DORMERS AND CHIMNEYS SHALL BE RETAINED.

HISTORIC NOTE: RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.

HISTORIC NOTE: RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.

HISTORIC NOTE: RETAIN ALL DISTINCTIVE EXTERIOR FEATURES SUCH AS THE SIZE, SCALE, MASS, COLOR, AND MATERIALS OF BUILDINGS, INCLUDING ROOFS, PORCHES, PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS, AND STAIRWAYS THAT GIVE A NEIGHBORHOOD ITS DISTINGUISHING CHARACTER.

HISTORIC NOTE: FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL, PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.

1 SITE PLAN

SCALE: 1/8" = 1'-0"

0 2' 4' 8' 16'

ROOF PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

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**SMALL UNIT KEYNOTES,
BASEMENT / DEMO PLAN, FIRST
FLOOR / DEMO PLAN, GRAPHIC
SCALES, GENERAL DEMOLITION
NOTES, DEMOLITION PLAN
LEGEND**

scale
As Noted

date
May 6, 2022

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of.
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Project #2006

DEMOLITION PLAN LEGEND

- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 10' REPAIRS. DISPERSED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER. LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/WE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/WE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN TO EXISTING SLAB. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRANDING. 2X4X12. SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB-FLOORING OR DRYWALL. UNEVEN AREAS, IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTROLLER. ADD DEHUMIDIFIER. ADD DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

2 BASEMENT / DEMO PLAN

SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS, DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

3 FIRST FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

SECOND FLOOR / DEMO PLAN,
THIRD FLOOR / DEMO PLAN,
SMALL UNIT KEYNOTES,
GRAPHIC SCALES, GENERAL
DEMOLITION NOTES,
DEMOLITION PLAN LEGEND

scale
As Noted

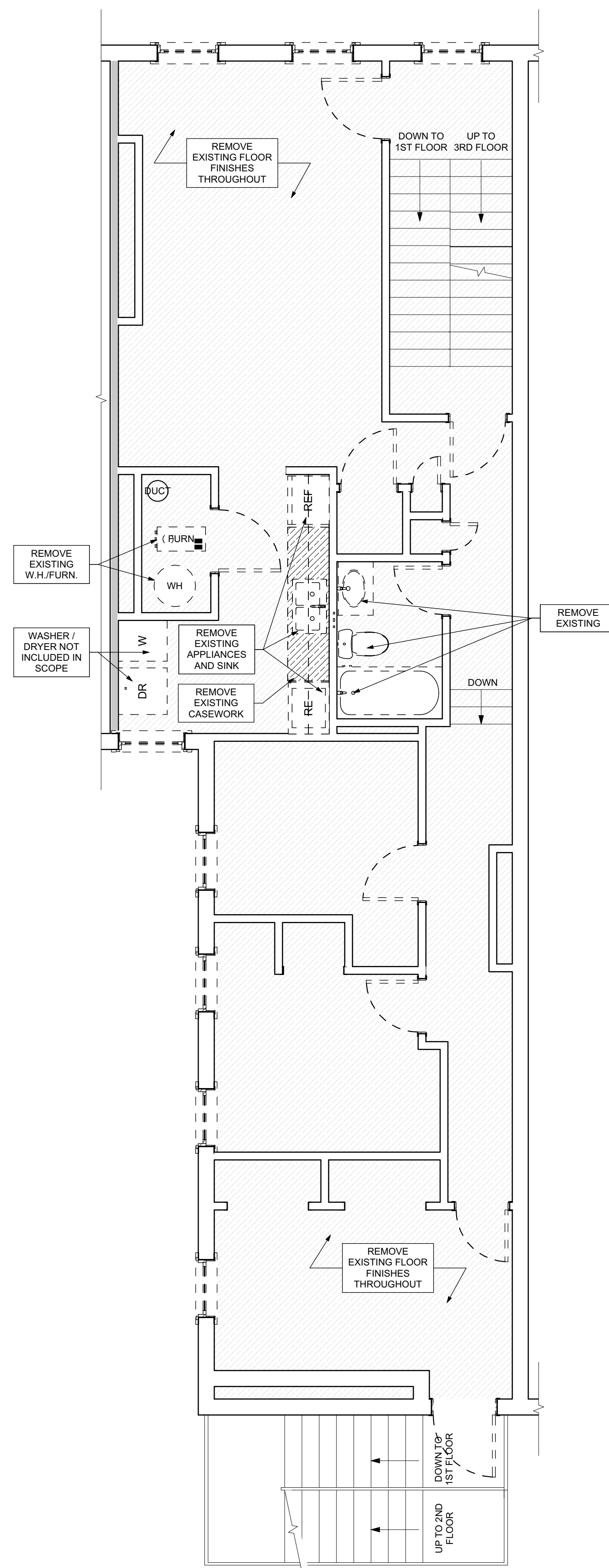
date
May 6, 2022

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Sheet No.

A6

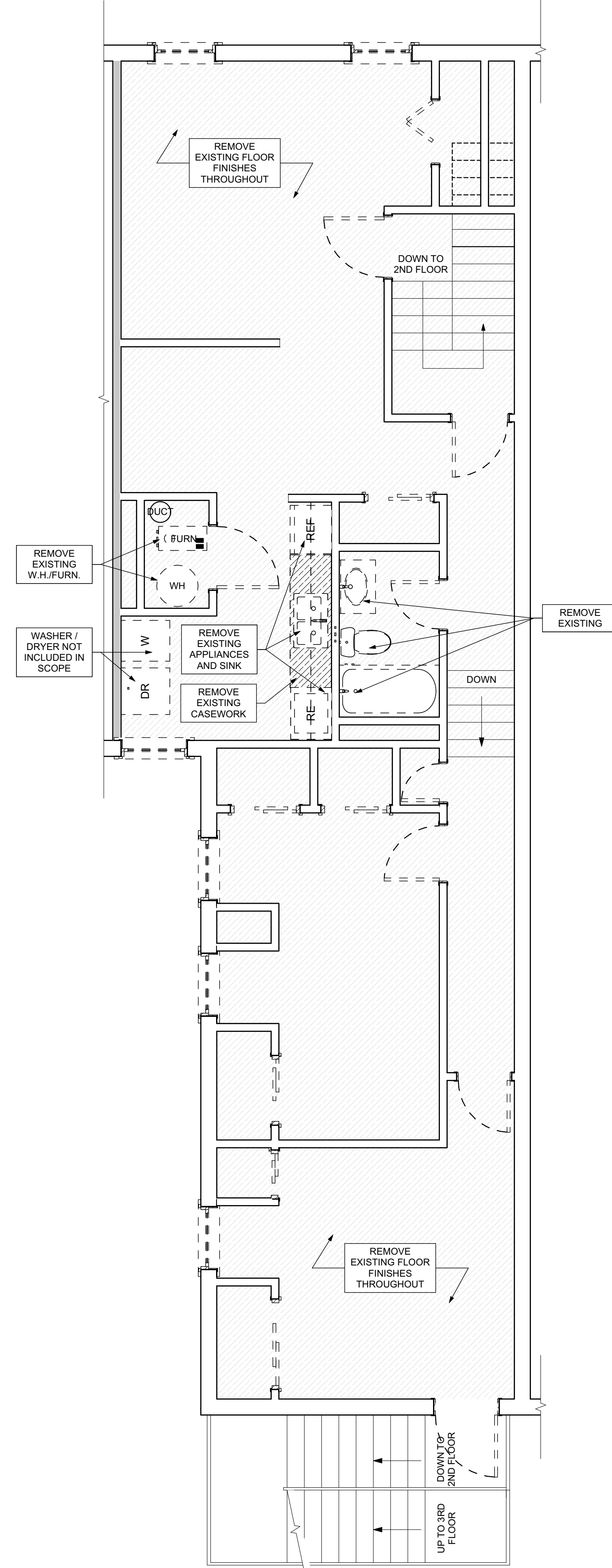
Project #2006



1 SECOND FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA, TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS, DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.



2 THIRD FLOOR / DEMO PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

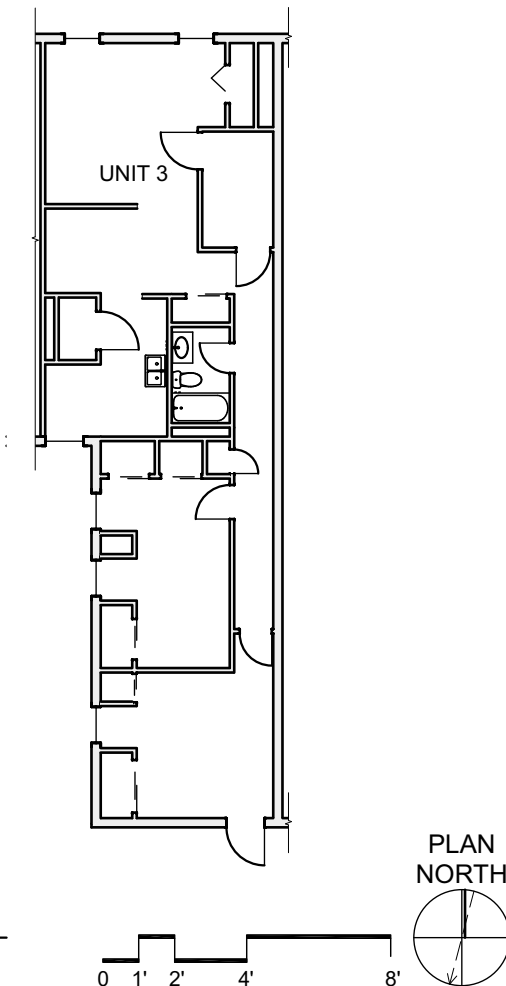
- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 1'-0" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/WE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/WE. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN MIN. 12" BELOW FINISH GRADE. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TREK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRANDING. 2X4" SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO PROVIDE DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRIILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

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- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

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Pittsburgh, PA 15219

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Manchester Scattered Sites
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PITTSBURGH, PENNSYLVANIA
15233

**BASEMENT/FINISH/MECH./PLUMB.
B. PLAN, FIRST
FLOOR/FINISH/MECH./PLUMB.
PLAN, FLOOR PLAN LEGEND,
GRAPHIC SCALES, SMALL UNIT
KEYNOTES**

scale
As Noted

date
May 6, 2022

no. 8 of. 17

Sheet No.

A7

Project #2006

SITE	
S1	AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1:2 SLOPE. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER.
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
S13	REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF	
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
A4	RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
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A8	SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A11	ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRACING. 2X4's. SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

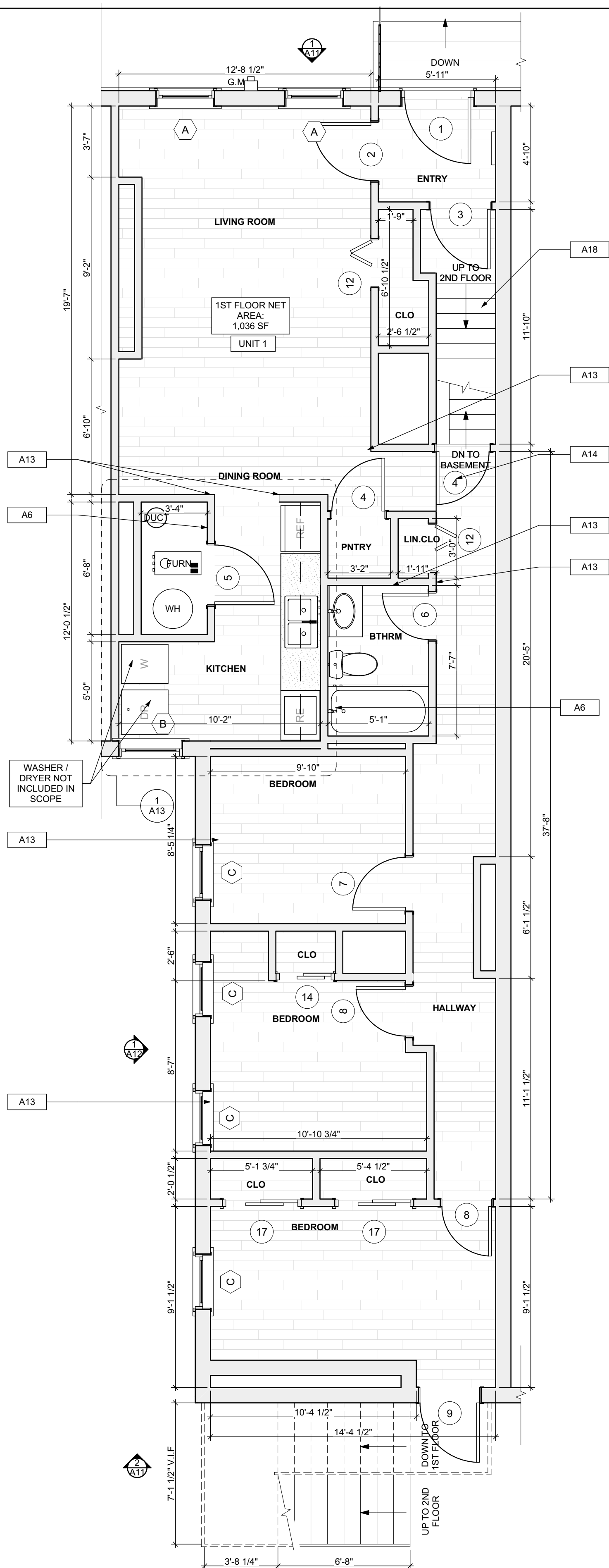
P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

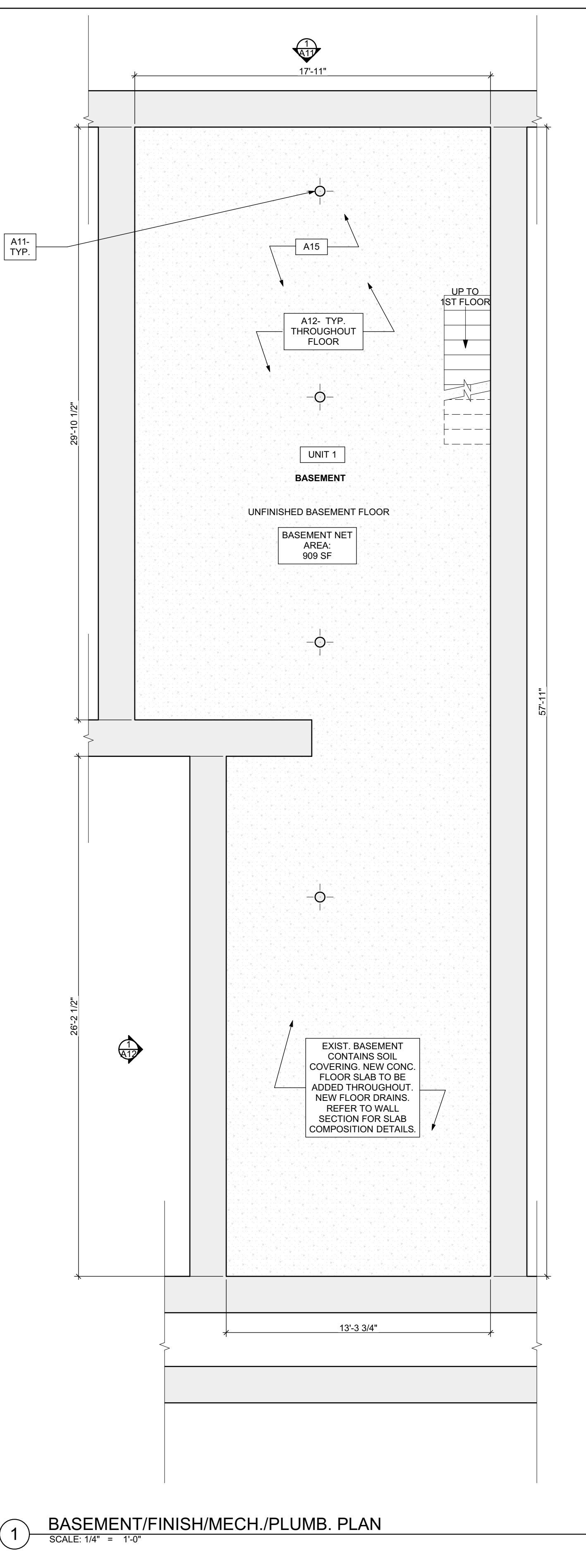
M1	PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3	INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRACTOR'S RESPONSIBILITY TO ADDRESS. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

FLOOR PLAN LEGEND

	FRIDGE
	RANGE
	GAS FURNACE
	UTILITY SINK
	WASHER
	NEW DOOR AND DOOR NUMBER
	WATER HEATER
	DOWN SPOUT
	ELECTRIC METER
	HOSE BIBB
	DRYER



2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT/FINISH/MECH./PLUMB. PLAN
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** if any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:
HACP
200 Ross Street
Pittsburgh, PA 15219

Project Location:
Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

scale
As Noted

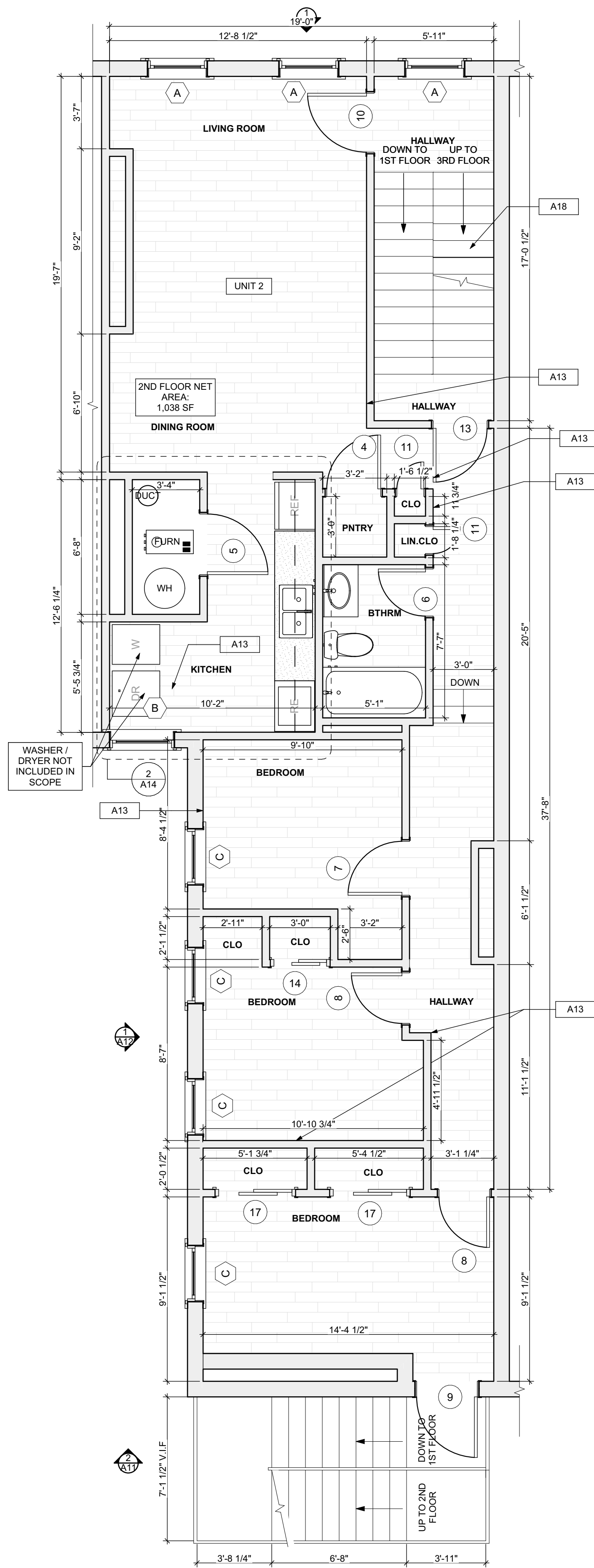
date
May 6, 2022

no. 9 of. 17

Sheet No.

A8

Project #2006

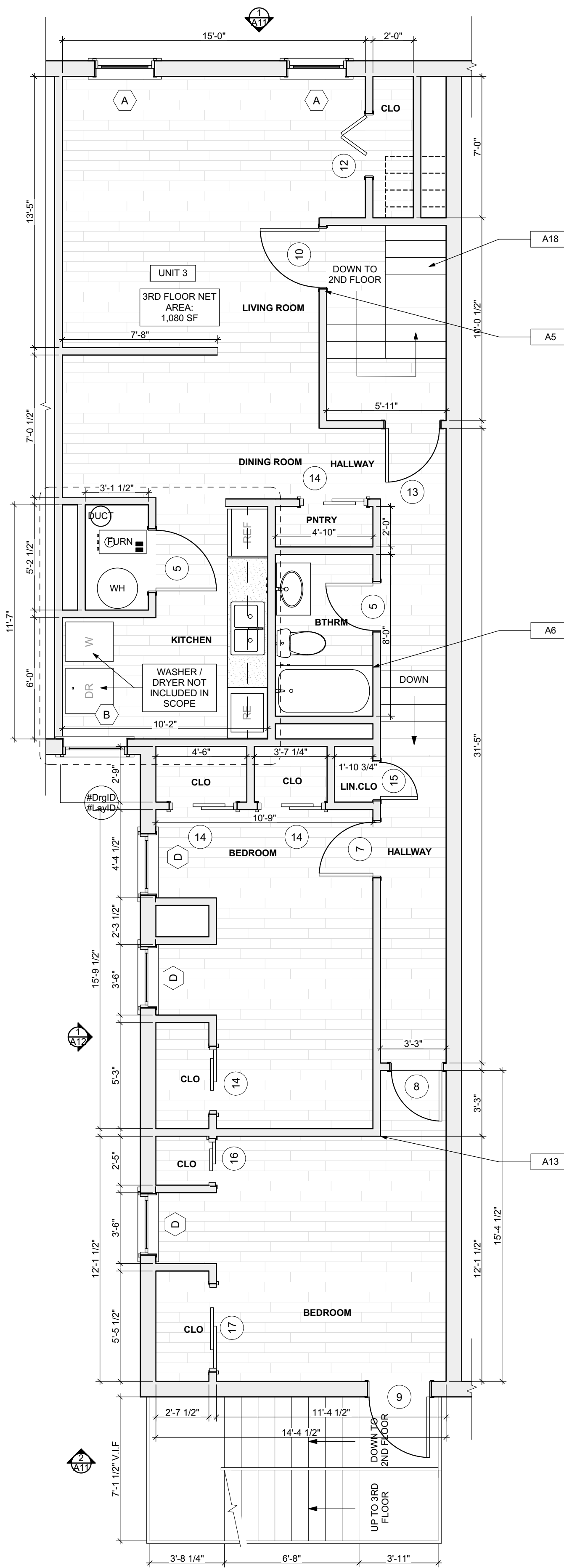


1 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN

SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



2 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- REF FRIDGE
- RE RANGE
- FURN GAS FURNACE
- US UTILITY SINK
- W WASHER
- NEW DOOR AND DOOR NUMBER
- W.H. WATER HEATER
- DS DOWN SPOUT
- E.M. ELECTRIC METER
- H.B. HOSE BIBB
- DR DRYER

SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRESE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 1'-0" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETTING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED COLOUR OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDING JACK. SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFECT OF EFFLUENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLUENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
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- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
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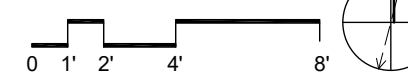
PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

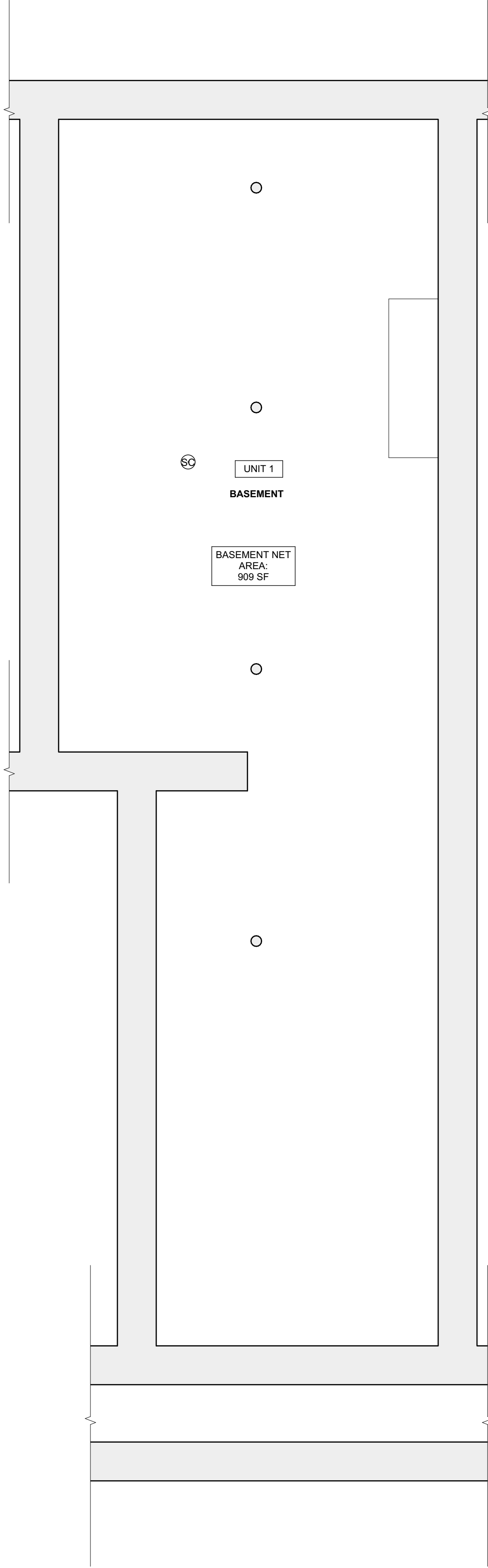
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MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED. RECOMMENDS ADDING DEMOLITION IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO REMOVE EXISTING MOISTURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

PLAN NORTH





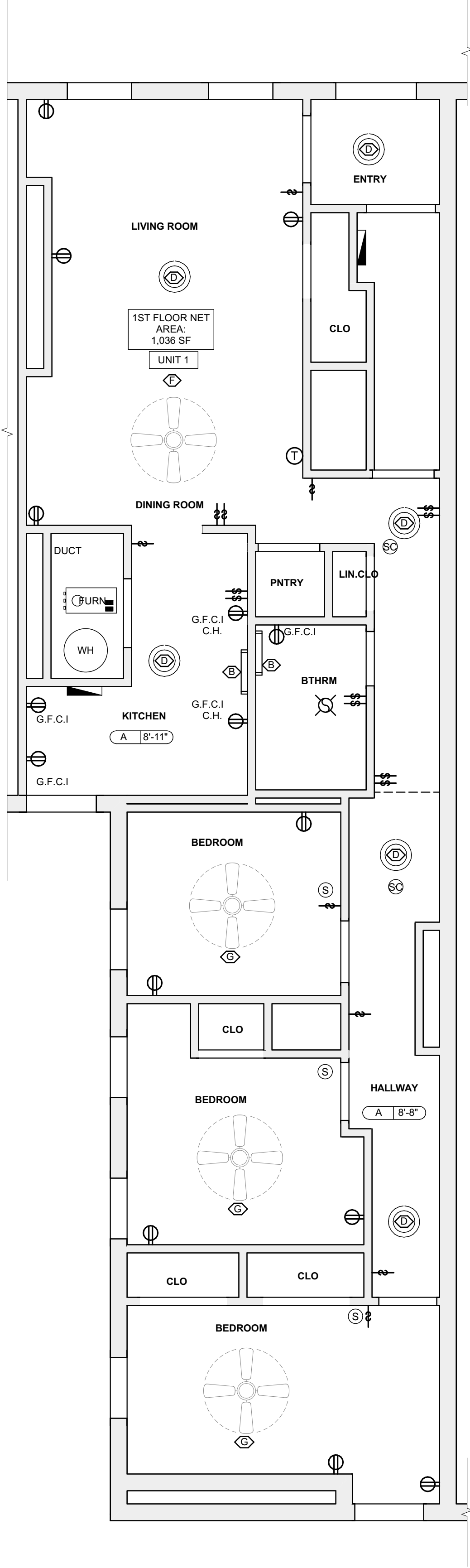
1 BSMT. REFL. CLG/ POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

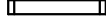

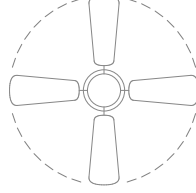
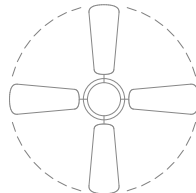
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GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



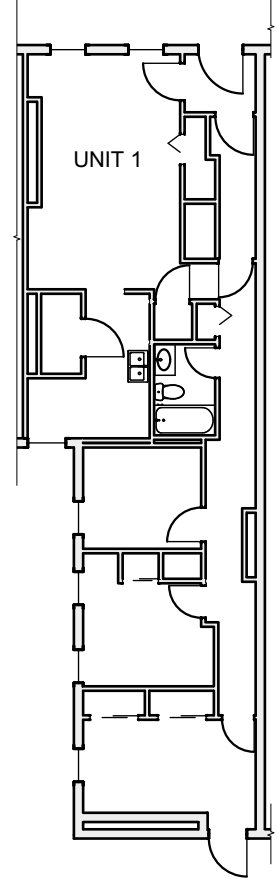
2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	B	Short Bathroom Light Bar - Replacement Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model # 45922NIL 18	6
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model # 8112WH	18
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	3
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	8

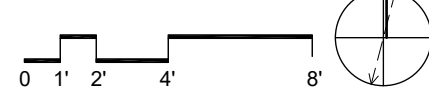
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

- SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- ELECTRICAL METER
- THERMOSTAT
- DATA RECEPTAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTAL, 18" A.F.F. U.O.N.
- ELECTRICAL RECEPTAL, 44" A.F.F. U.O.N.
- GROUND FAULT CIRCUIT INTERRUPTER
- GROUND FAULT CIRCUIT INTERRUPTER
- LIGHT SWITCH
- EXHAUST FAN
- DOORBELL
- GWB CEILING / CEILING HEIGHT
- UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST



PLAN NORTH



- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 1'-0" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
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- REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
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- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NEEDED. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATHE OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
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- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRACING. 2X4X4". SPRING FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTROLS. ASSESSMENTS AND MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRIILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

drawing title

BSMT. REFL. CLG/ POWER / DATA
PLAN, FIRST FLOOR REFL. CLG. /
POWER / DATA PLAN, GRAPHIC
SCALES, RCP LEGEND, LIGHTING
SCHEDULE, SMALL UNIT
KEYNOTES

scale
As Noted

date
May 6, 2022

no.
10

of.
17

Sheet No.

A9

Project #2006

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SECOND FLOOR REFL. CLG. /
POWER / DATA PLAN, THIRD
FLOOR REFL. CLG. / POWER /
DATA PLAN, GRAPHIC SCALES,
RCP LEGEND, SMALL UNIT
KEYNOTES, LIGHTING
SCHEDULE

scale
As Noted

date
May 6, 2022

no. 11 of 17

Sheet No.

A10

Project #2006

SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 1'-0" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12'-0" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

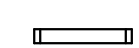

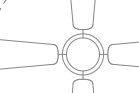

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. CRACK/SPALL EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW 8"X12"X24" SPRING FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
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- [A14] UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

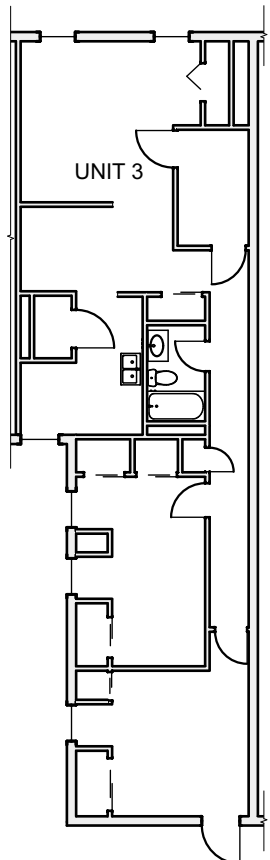
- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTROLS, PRESSURE, AND TEMPERATURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRIILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	B	Short Bathroom Light Bar - Replacement : Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model # 45922NIL 18	6
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model # 8112WH	18
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	3
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	8

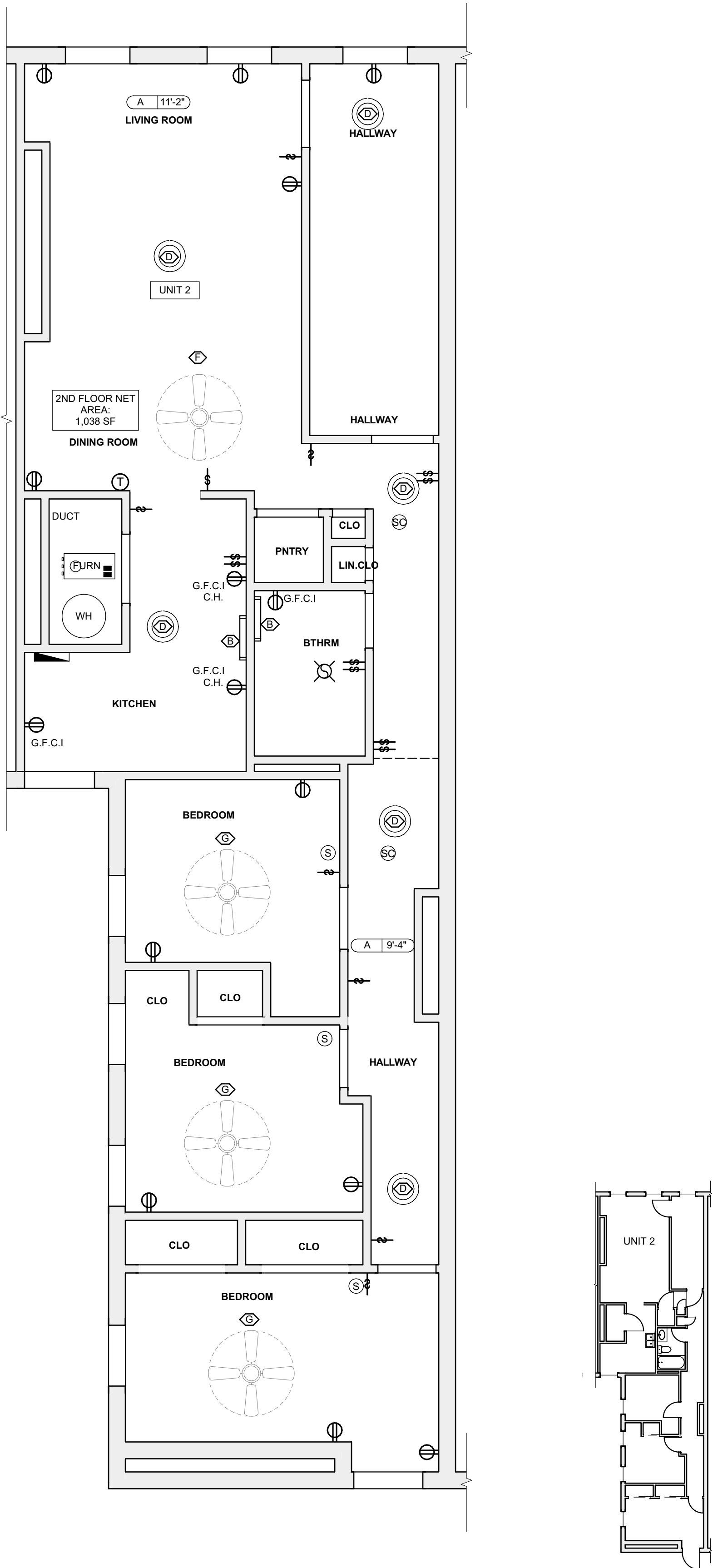
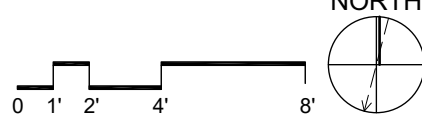
QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

of Design)

- [S] SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- [SC] SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- [E] ELECTRICAL METER
- [T] THERMOSTAT
- [Z] DATA RECEPTICAL, 18" A.F.F. U.O.N.
- [R] ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- [CH] ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- [GFCI] GROUND FAULT CIRCUIT INTERRUPTER
- [GFCI] GROUND FAULT CIRCUIT INTERRUPTER
- [L] LIGHT SWITCH
- [X] EXHAUST FAN
- [D] DOORBELL
- [A] 10'-2" GWB CEILING / CEILING HEIGHT
- [B] 9'-4" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST



PLAN NORTH



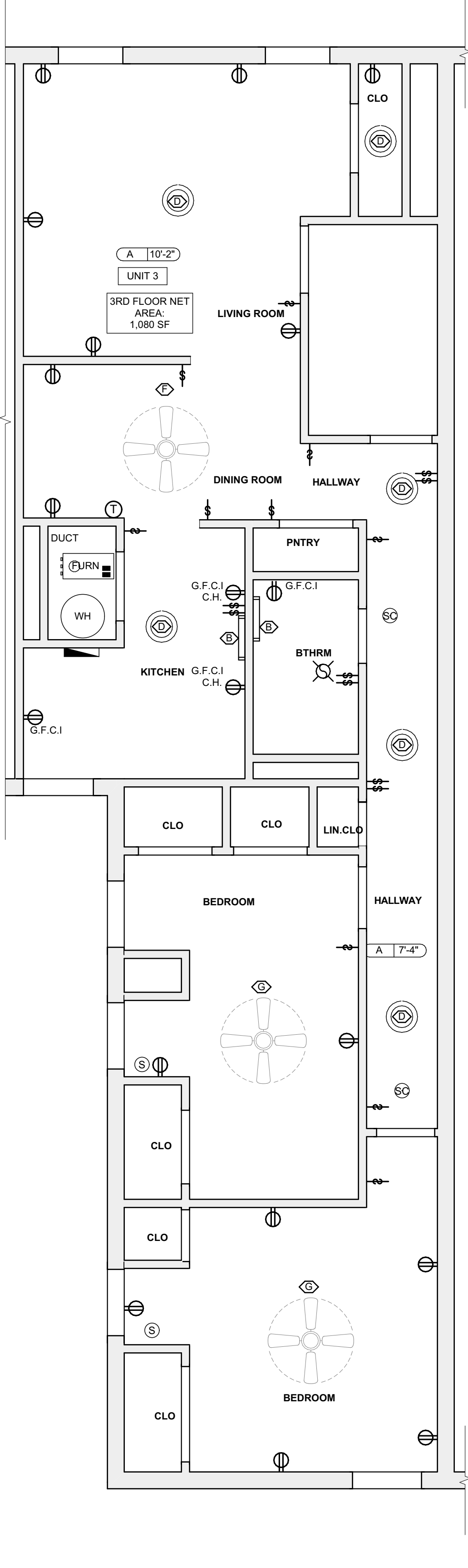
1 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



2 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN
SCALE: 1/4" = 1'-0"

Fukui Architects Pc

205 Ross Street

Pittsburgh, Pennsylvania 15219

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seal

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drawing title

NORTH ELEVATION, SOUTH
ELEVATION, GRAPHIC SCALES,
HISTORIC KEYNOTES, SMALL
UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

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of. 17

Sheet No.

A11

Project #2006

HISTORIC

- [H1] MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OR WOOD STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS NATIONAL PARK SERVICE PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- [H2] ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10. (SEE SPECIFICATIONS) FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, O.C. MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. (SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIALS).
- [H3] IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- [H4] INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CALK TO CONFORM TO NPS PRESERVATION BRIEF 10. (SEE PAINT SPECIFICATION).
- [H5] CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- [H6] RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPORT LOST OR WICK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAIL IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- [H7] REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- [H8] REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- [H9 - TYP. X] ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED, INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FINISHES AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY WALLS AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- [H10 - TYP. X] IN THESE LOCATIONS PRESERVE EXISTING WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
- [H11] IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL, SCRAPES, TRIM AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- [H12] IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING: PRESSURIZED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS.
- [H13] AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- [H14] AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- [H15] AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENT. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 10" DEPTH. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE, AREA OF DAMAGED CONCRETE PAD, PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE AND TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARQUETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- [S13] REMOVE OVERGROWN VEGETATION, BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, OR OTHERS. ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SHOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS REQUIRED TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBTSTRUCTED CLOSURE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED MATERIAL. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW 6"X6"X8" 2X4" SPRING FOOTING AND NEW 6"X6"X8" 2X4" SPRING FOOTING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOUR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

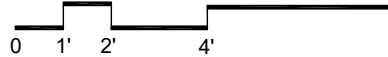
- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED. RECOMMENDS ADDING DELUMINOPIPER IN SPACE TO MITIGATE MOISTURE. CONDENSATION. PROVIDE INTERIOR. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SCOPE REDUCTION:

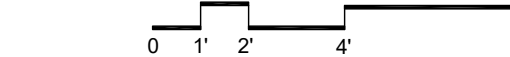
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the finishing, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

drawing title

WEST ELEVATION, GRAPHIC
SCALES, HISTORIC KEYNOTES,
SMALL UNIT KEYNOTES

scale
As Noted

date
May 6, 2022

no.
13

of.
17

Sheet No.

A12

Project #2006

HISTORIC

- [H1] MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OR WOOD STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS NATIONAL PARK SERVICE PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- [H2] ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10. (SEE SPECIFICATIONS) FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, O.C. MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. (SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIALS).
- [H3] IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- [H4] INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS PRESERVATION BRIEF 10. (SEE PAINT SPECIFICATION).
- [H5] CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- [H6] RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPORT LOST OR WORK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DE TAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS).
- [H7] REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS).
- [H8] REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIALS TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.

- [H9 - TYP. X] ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING PENETRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED ROOF OR MASONRY WALL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS).
- [H10 - TYP. X] IN THESE LOCATIONS PRESERVE EXISTING WINDOW WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).

- [H11] IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE, TRIM AND RE-PAIN. PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- [H12] IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING: PRESSURIZED TN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS.

- [H13] AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS).
- [H14] AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE IDENTIFIED ABOVE.
- [H15] AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP. SLOPED TO DRAIN. (SEE SPECIFICATIONS).

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SHOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.

- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. PROVIDE REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.

- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.

- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.

- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X4" SPRUNG FOOTING AND NEW 3X6X6" CONCRETE PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.

- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.

- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL. IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE, POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENT WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 12" REPAIR DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB BRICK POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE, AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE AND TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. REGROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VINYL, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

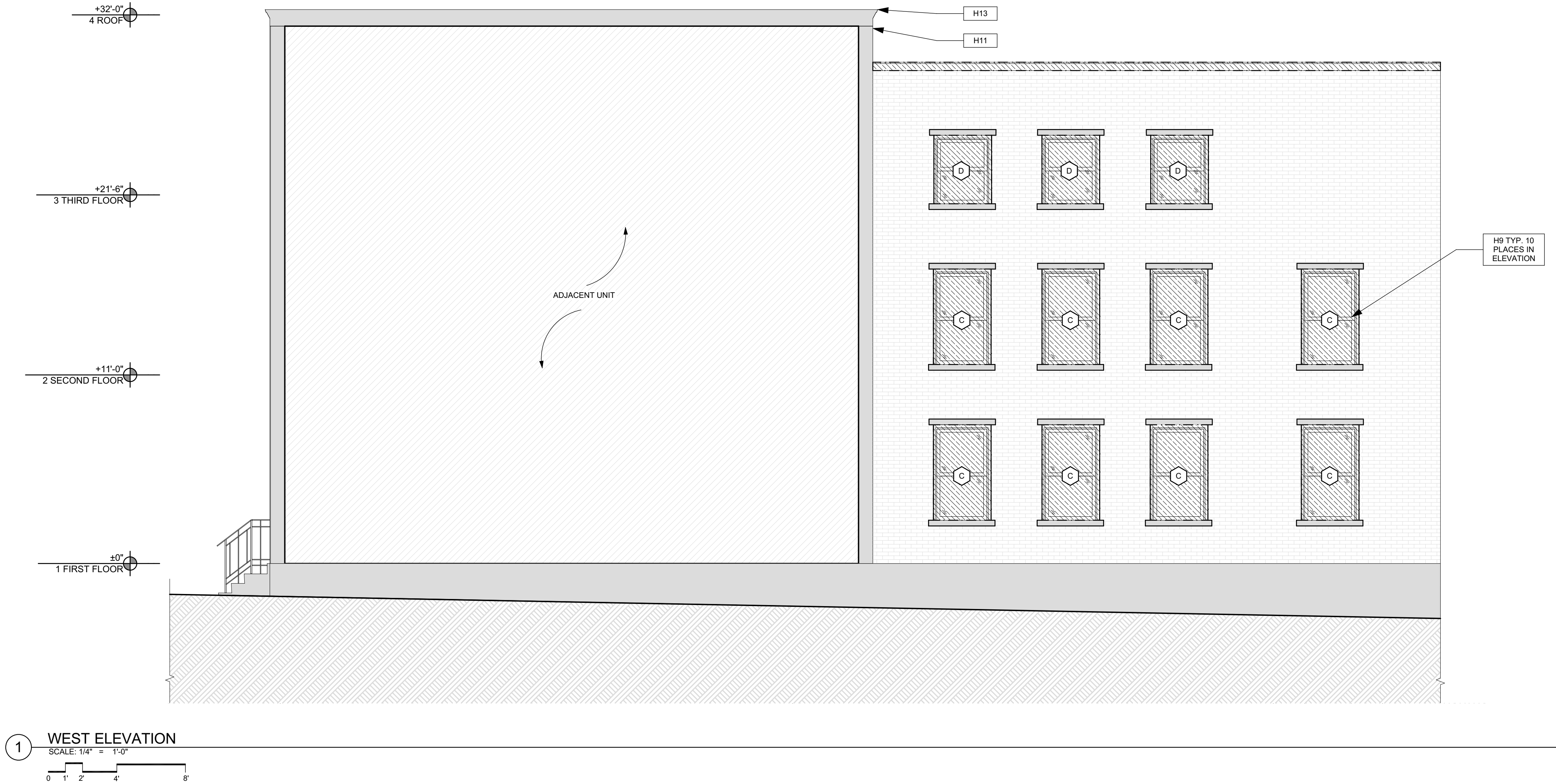
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SHOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. PROVIDE REINFORCE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH GEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDARD 2X2X4" SPRUNG FOOTING AND NEW 3X6X6" CONCRETE PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUBFLOORING OR DRYWALL AT UNEVEN AREAS. FURTHER LEVELING IS REQUIRED. DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED. RECOMMENDS ADDING DEMOLITIONER IN SPACE TO MITIGATE MOISTURE. MECHANICAL CONTRACTOR TO VERIFY. MECHANICAL ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



WEST ELEVATION

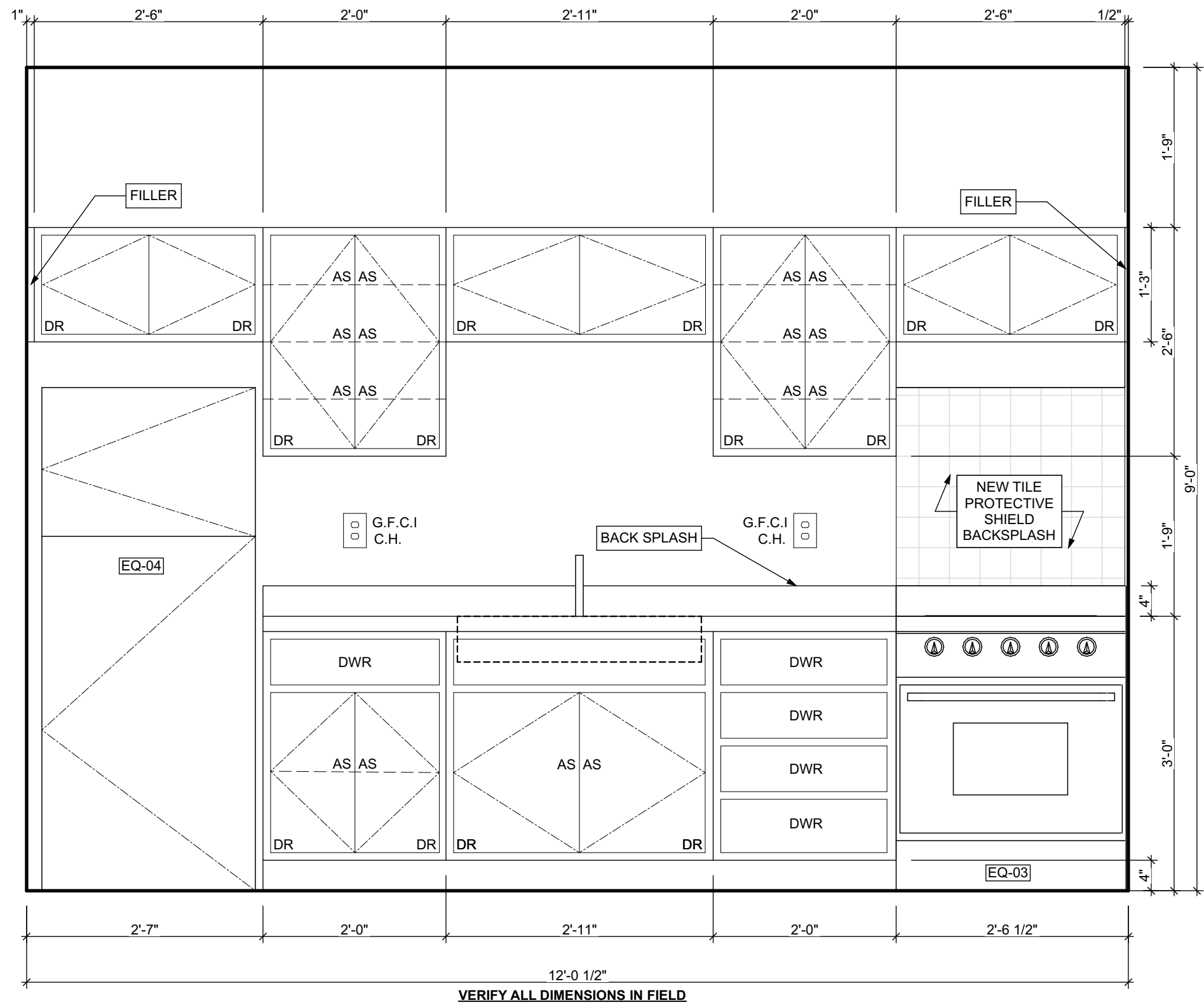
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

SCOPE REDUCTION:

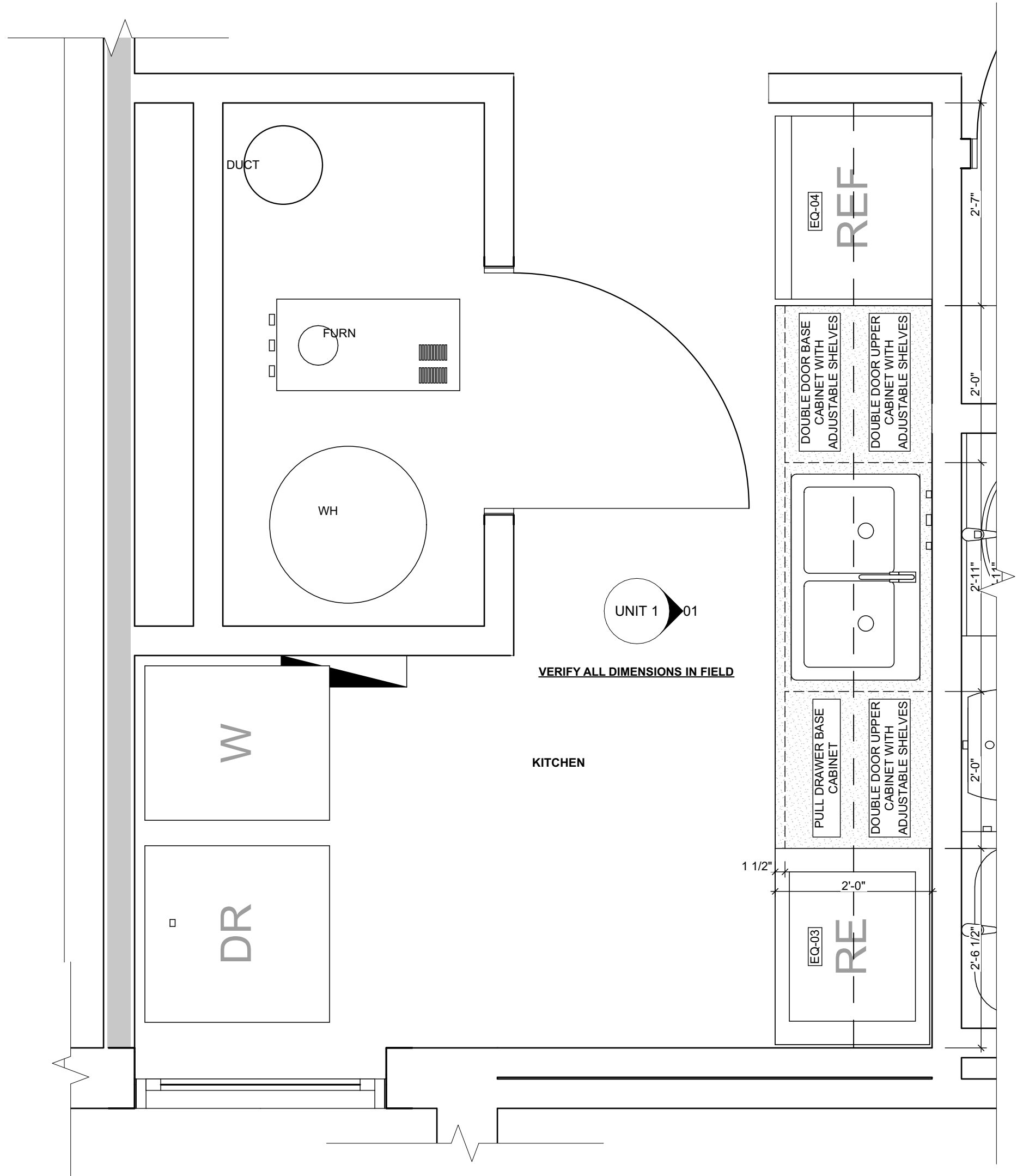
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.



2 UNIT 1 KITCHEN ELEVATION 01
SCALE: 3/4\" = 1'-0\"



1 UNIT 1 KITCHEN ENLARGED PLAN
SCALE: 3/4\" = 1'-0\"

BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	3	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	0	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	3	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper Fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID	Electric heat pump
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE	power direct vent Refer to plumbing specifications for sizing

APPLIANCE SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2D800	black 18", type 18MSTA

PLUMBING SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	3	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	3	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	3	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	3	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular righ drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	3	MOEN	T269E3P / T8342EP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/4" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	0	KOHLER	KPF-2252CH	Forte Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forte Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP
200 Ross Street
Pittsburgh,PA 15219

Project Location:

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

drawing title

UNIT 1 KITCHEN ENLARGED
PLAN, UNIT 1 KITCHEN
ELEVATION 01

scale
As Noted

date
May 6, 2022

no. 14

of. 17

Sheet No.

A13

Project #2006

general notes

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PITTSBURGH, PENNSYLVANIA
15233

drawing title

UNIT 2 KITCHEN ELEVATION 01,
UNIT 2 KITCHEN ENLARGED
PLAN, UNIT 3 KITCHEN
ENLARGED PLAN, UNIT 3
KITCHEN ELEVATION 01

scale
As Noted

date
May 6, 2022

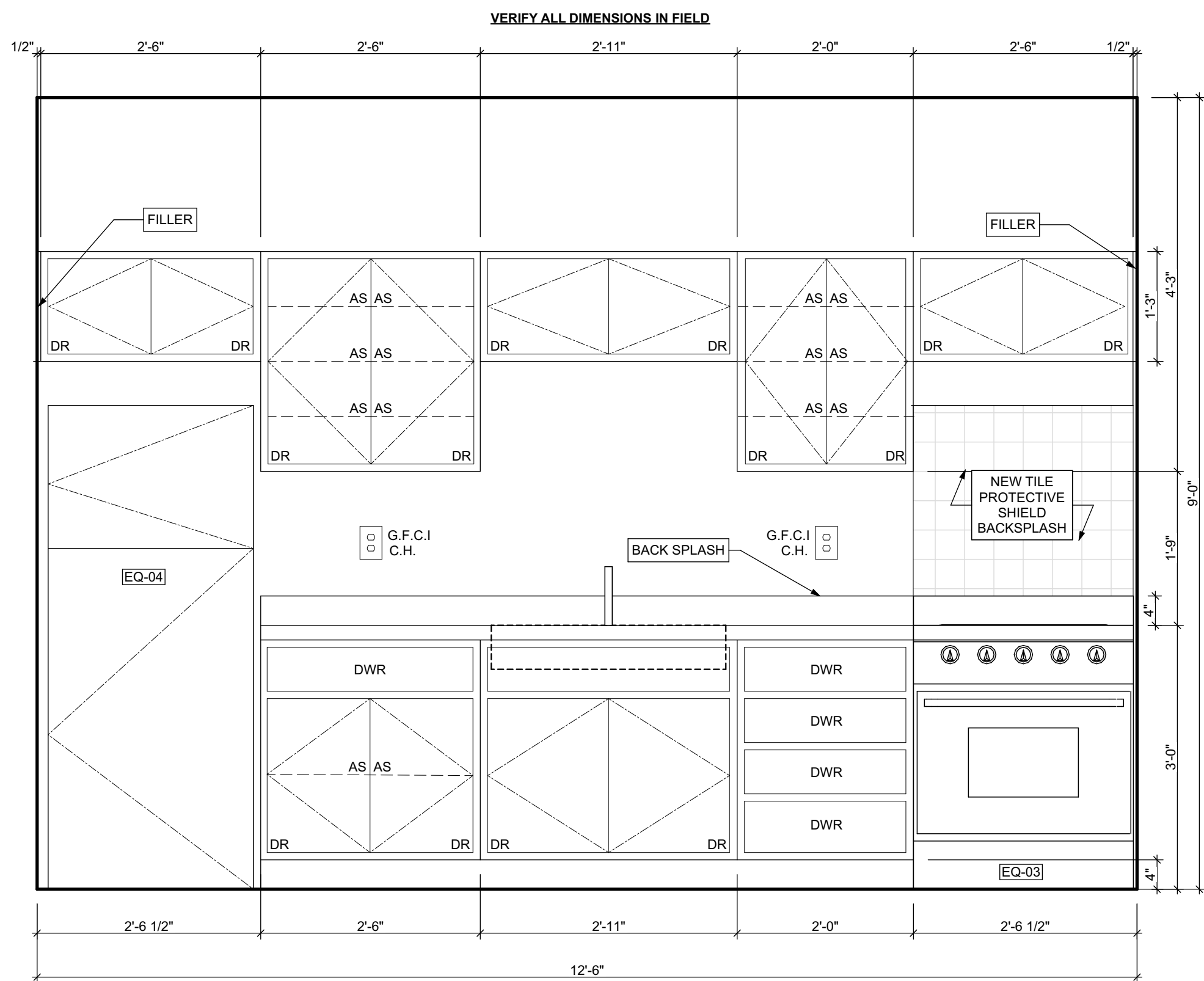
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of. 17

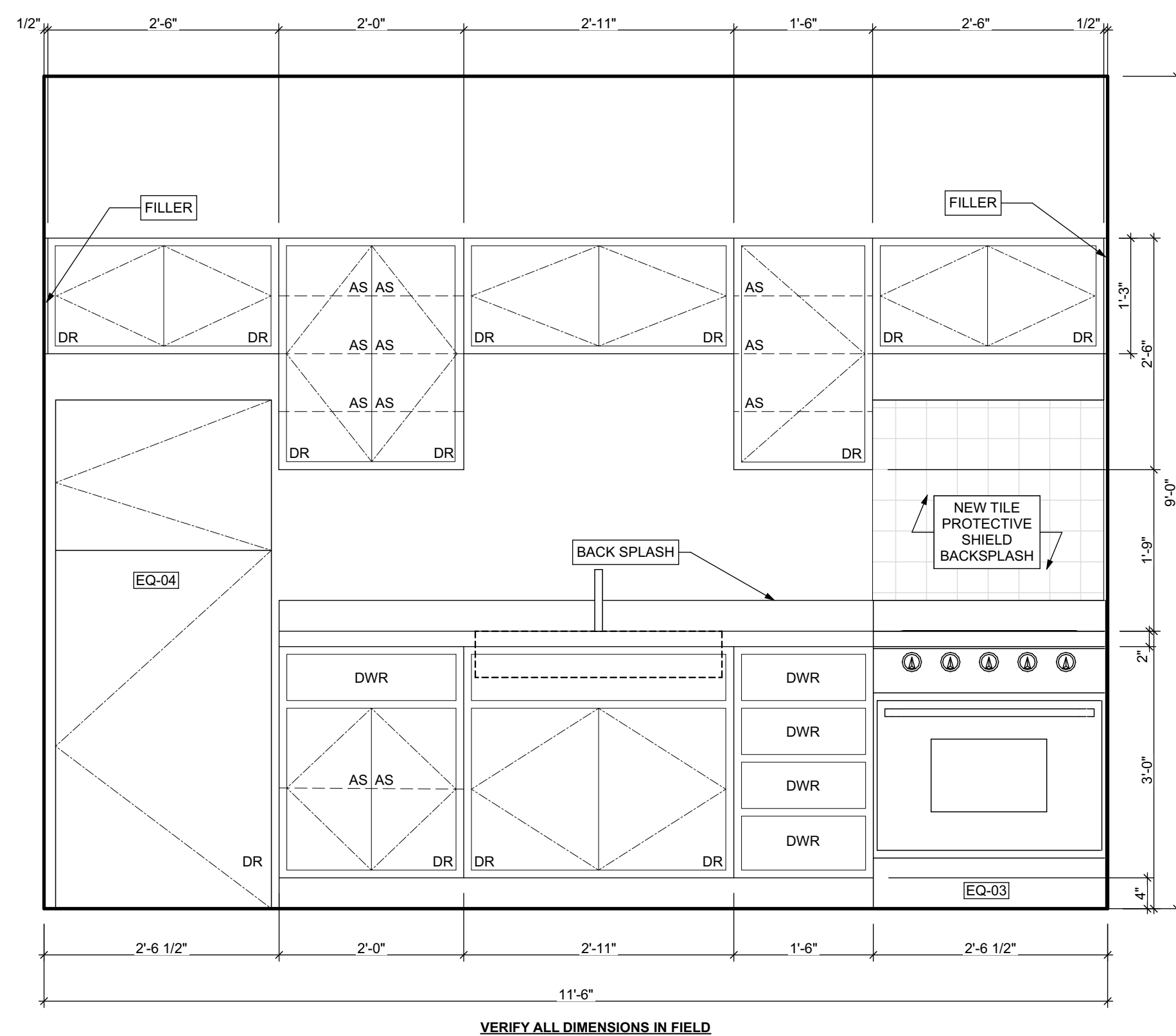
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A14

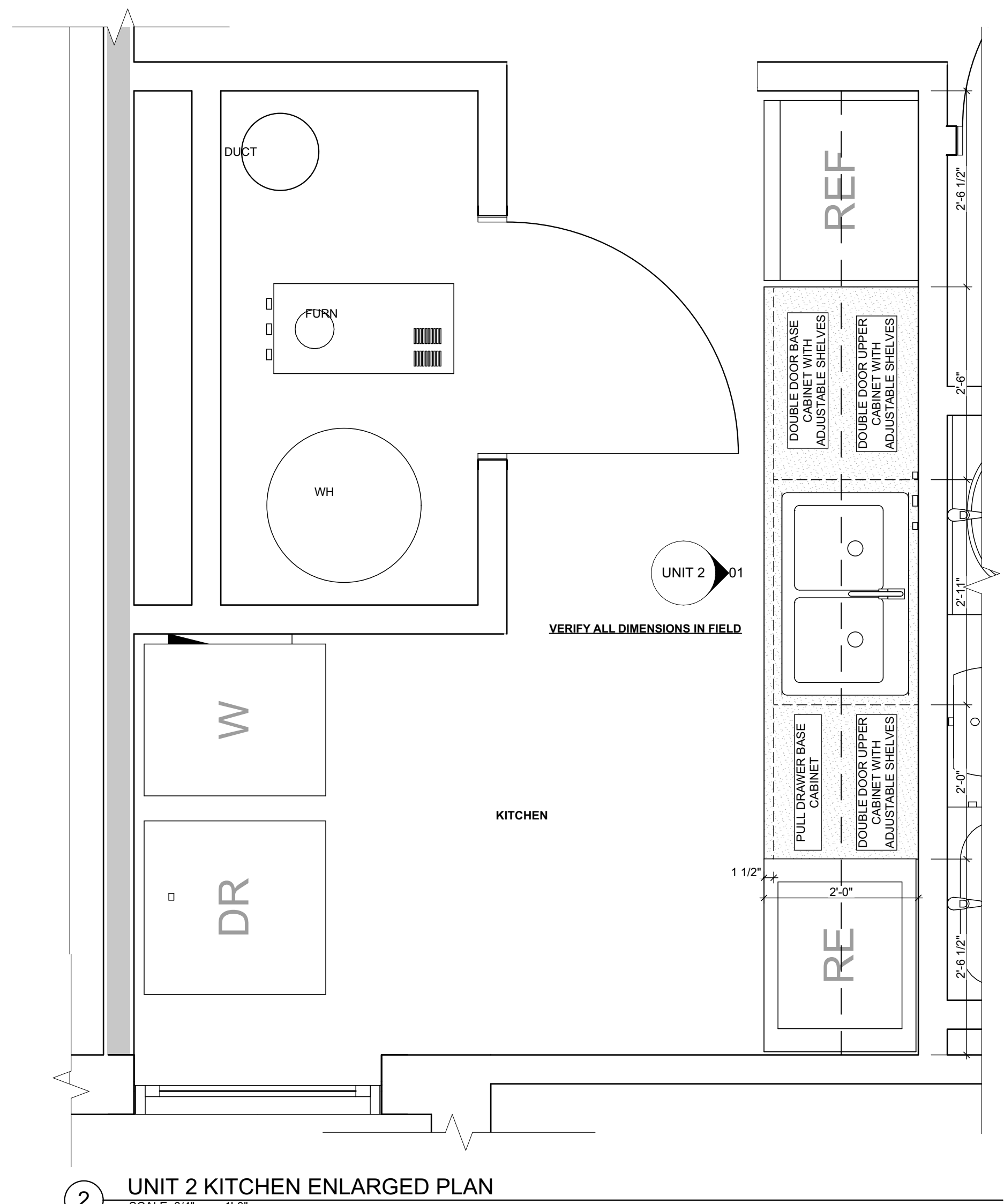
Project #2006



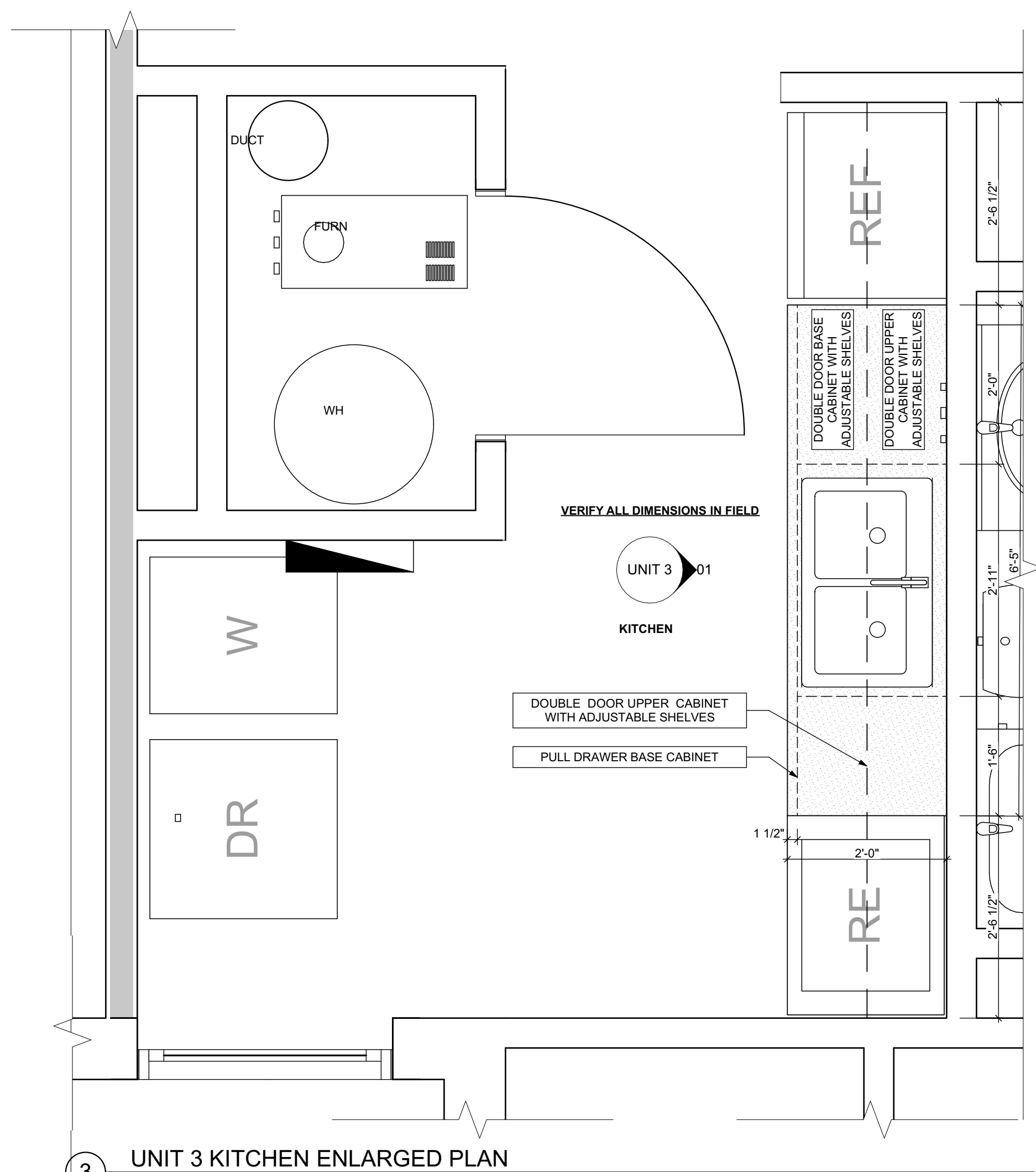
1 UNIT 2 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



4 UNIT 3 KITCHEN ELEVATION 01
SCALE: 3/4" = 1'-0"



2 UNIT 2 KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"



3 UNIT 3 KITCHEN ENLARGED PLAN
SCALE: 3/4" = 1'-0"

seal

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revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

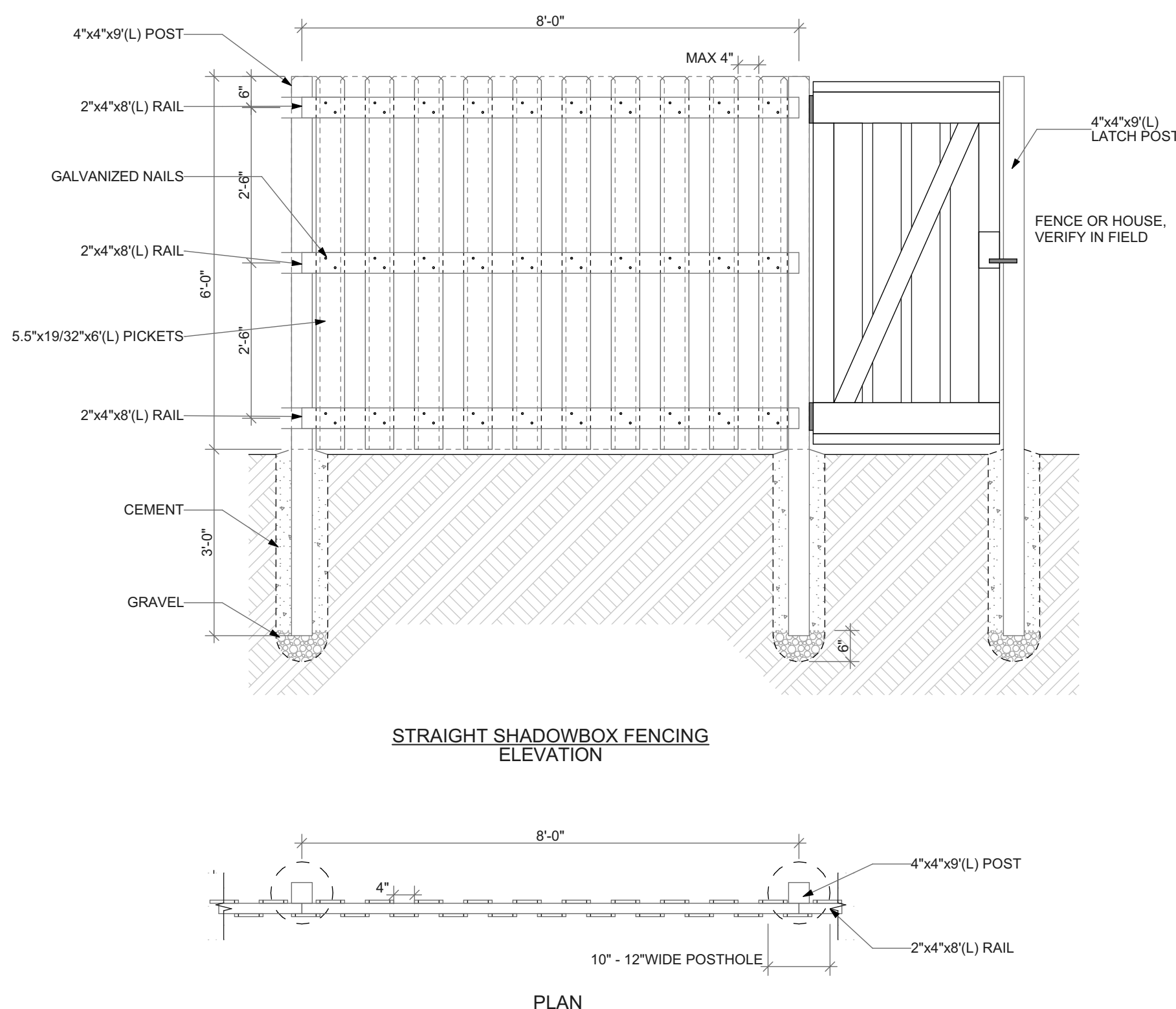
HACP
200 Ross Street
Pittsburgh, PA 15219

Project Location:

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1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
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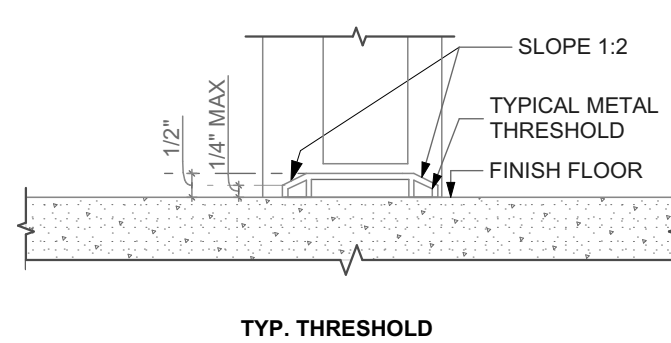
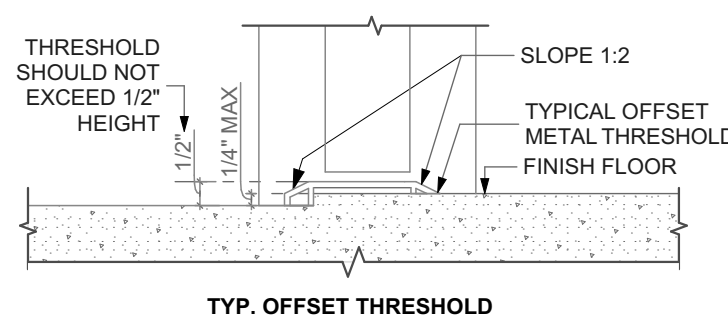
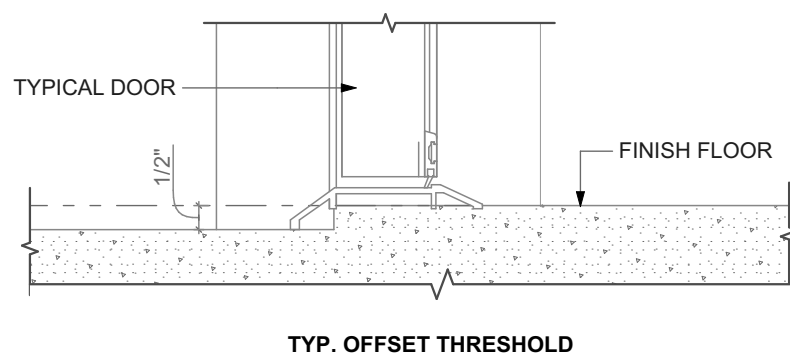
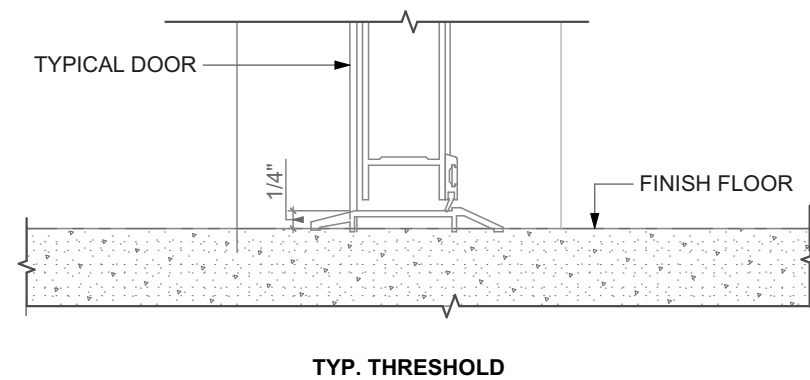
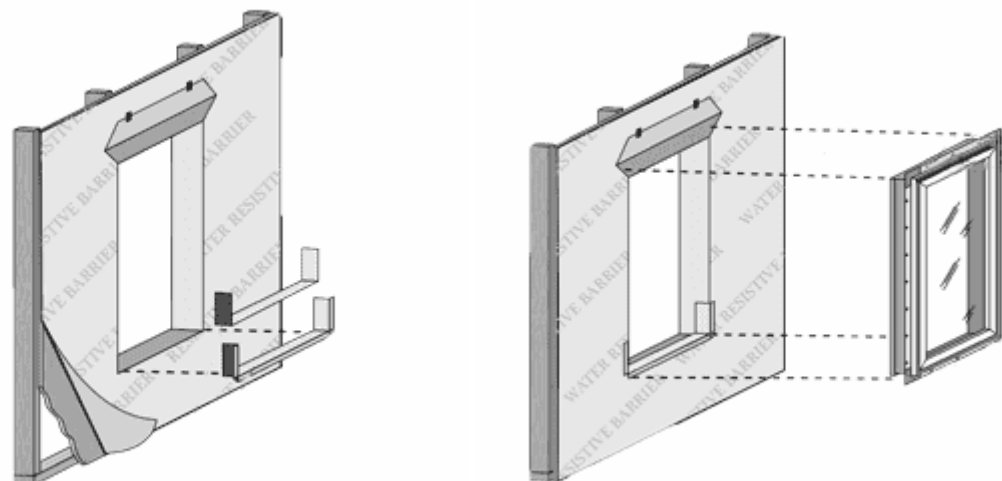
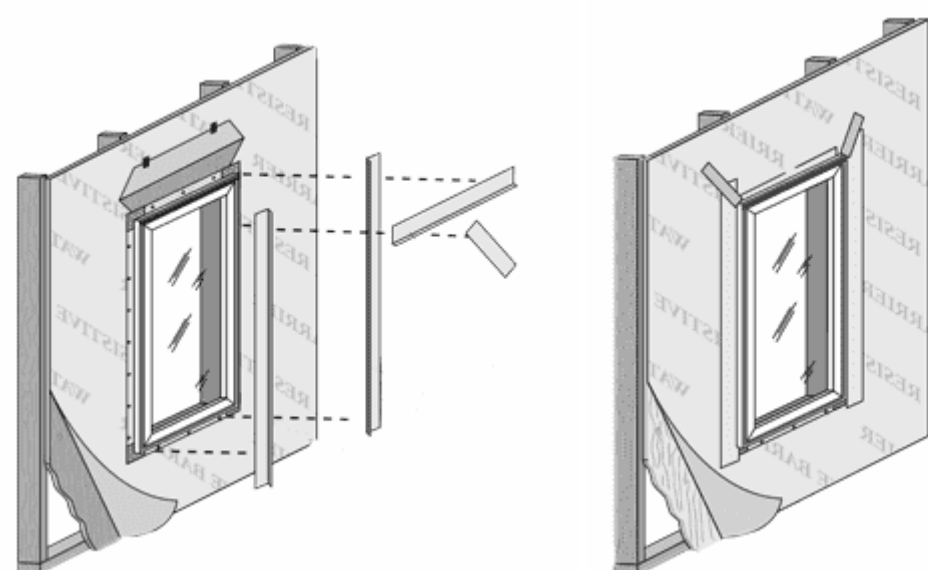
drawing title

WOOD FENCE DETAIL,
EXTERIOR DOOR THRESHOLD,
WINDOW INSTALLATION UNDER
VINYL SIDING



1 WOOD FENCE DETAIL

SCALE: 1/2" = 1'-0"



2 EXTERIOR DOOR THRESHOLD

SCALE: 3" = 1'-0"

3 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

scale
As Noted

date
May 6, 2022

no.
16

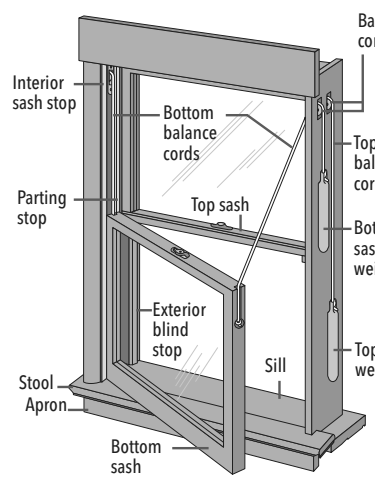
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17

Sheet No.

A15

Project #2006

POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

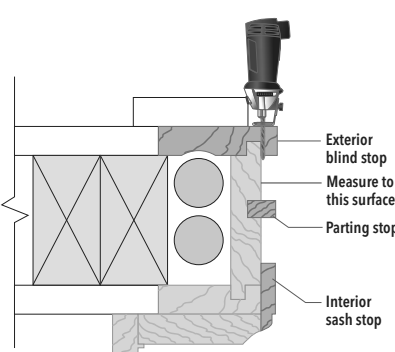


1 REMOVE THE EXISTING SASHES

CAUTION: Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

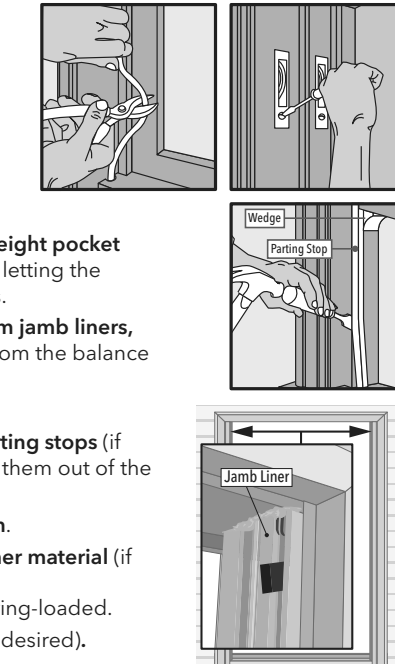
- A. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- B. Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.



- C. Remove the exterior stops at the head and jambs using a chisel, reciprocating saw, roto-tool or equivalent. Cut them flush with the side of the frame.
- D. Carefully remove the upper sash and dispose of it properly.

For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.

- E. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
- F. Carefully remove the lower sash.
- G. Remove any remaining jamb liner material (if applicable).
- H. Insulate the weight chamber (if desired).



2 PREPARE THE OPENING

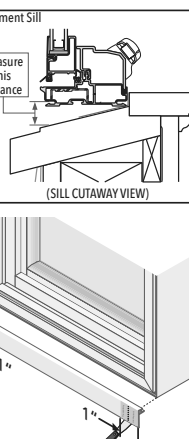
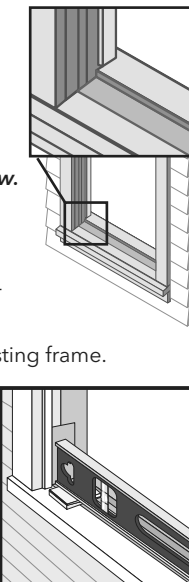
- A. Inspect the existing window frame. Repair or replace any deteriorated parts.
- B. Clean the opening of any dirt, debris or excess old paint.
- Note: If using aluminum coil exterior trim, apply it now.

- D. Apply sealant over any gaps in the corners of the existing frame.
- E. Check the sill for level or for bowing.
- F. Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.
- G. Attach shims to prevent movement after they are level.

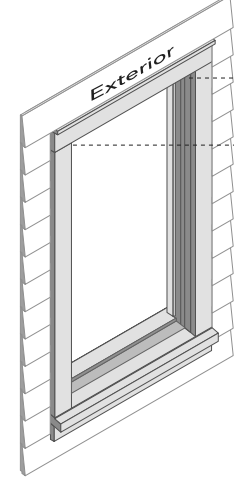
NOTE: Improper placement of shims may result in bowing the bottom of the window.

3 PREPARE THE WINDOW

- A. Drill pilot holes (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
- B. Dry fit the window in the opening.
- C. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
- D. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
- E. Install the sill adapter. Cut it to length and notch it (if necessary).
- F. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
- G. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.



POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



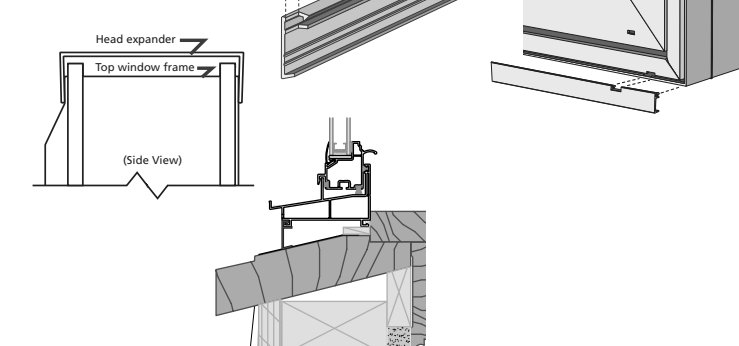
3 PREPARE THE WINDOW (Continued)

Pella® 350 Series

Architect Series® (850) and Pella® Lifestyle Series Dual-Pane

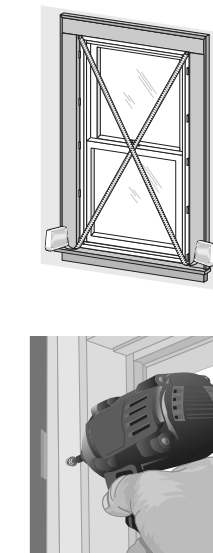
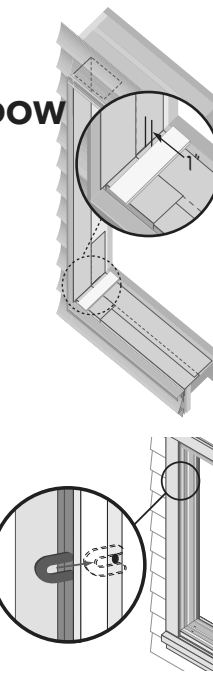
Pella® Impervia®

Casements and Fixed Windows:



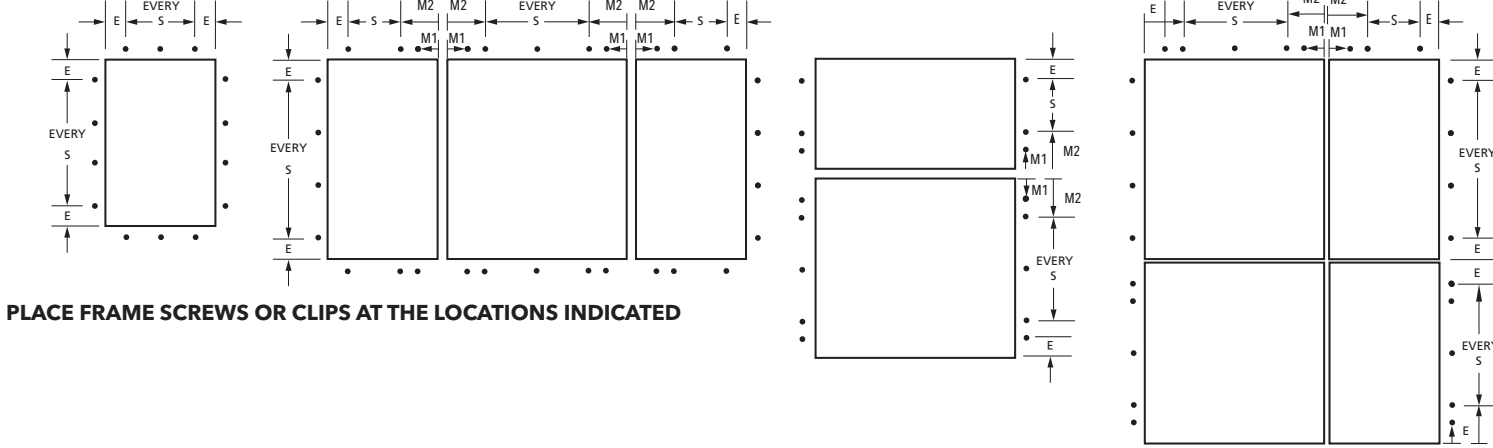
4 SET AND FASTEN THE WINDOW

- A. Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- B. Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- C. Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- D. Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes.
- E. Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).
- F. Check for plumb, level, square and adjustment. Make any necessary adjustments to shims and finish installing frame screws.
- G. Adjust the screw jacks (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash.
- H. Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.
- I. Install exterior sealant. Refer to the exterior sealant instructions at the end of this booklet.
- J. Install exterior frame expanders at this time (if necessary).



BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



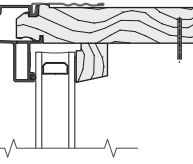
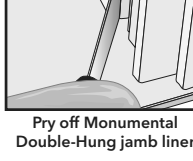
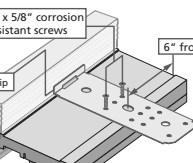
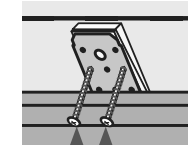
PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x2" Finish Screw	
Double- or Single- Hung	6"	16"	3"	6"	#8x2" Finish Screw	For windows with integrated Rolocreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid Rolocreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x2" Finish Screw	
Monumental DH > 54" x 96"	6" (Head)	16" (head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame for secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.

* M1 anchor required if design pressure exceeds 20 psf.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

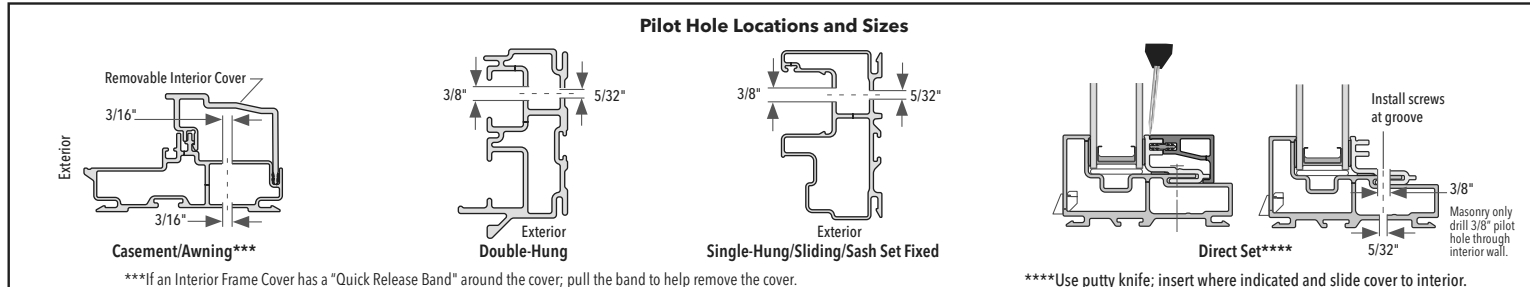
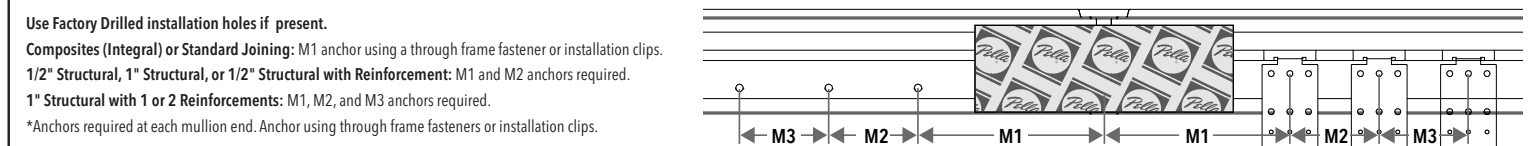
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed						Installation clips required for anchoring at the sill.
Single-Hung	6"	16"	3"	6"	#8 x 1-1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning - Vent and Fixed	6"	15"			#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).
Direct Set	6"	15"			#10 x 3" Pan Head (provided)	

Use Factory Drilled Installation Holes if present.

Install hole stop after driving screws (see BFRPF 01 and Direct Set).

* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

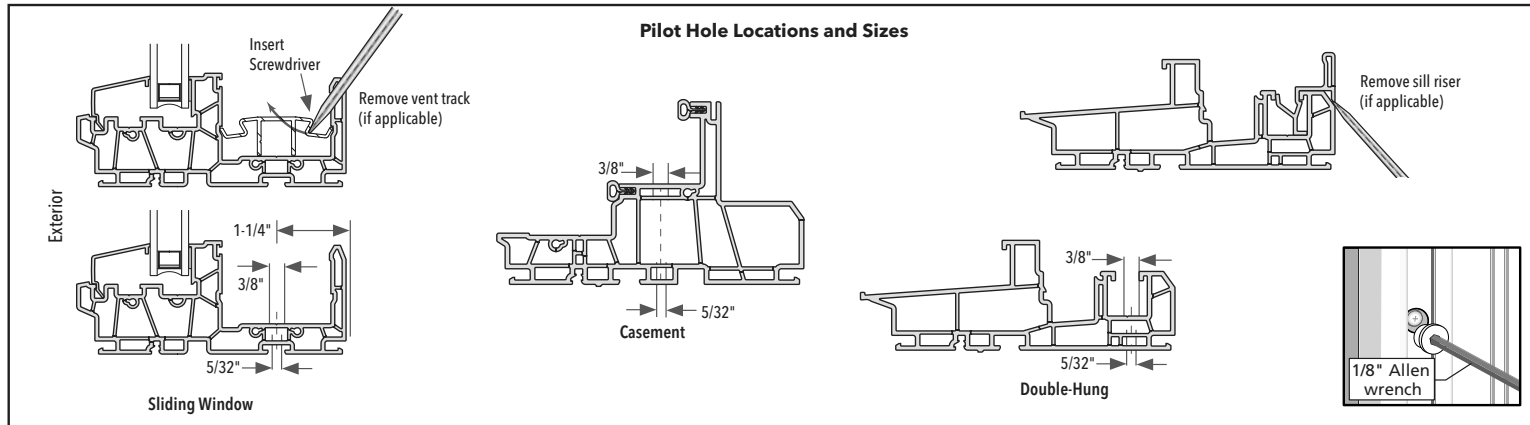
Mullion Anchoring Diagram



Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double- and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

* Use Factory Drilled Installation Holes if present.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

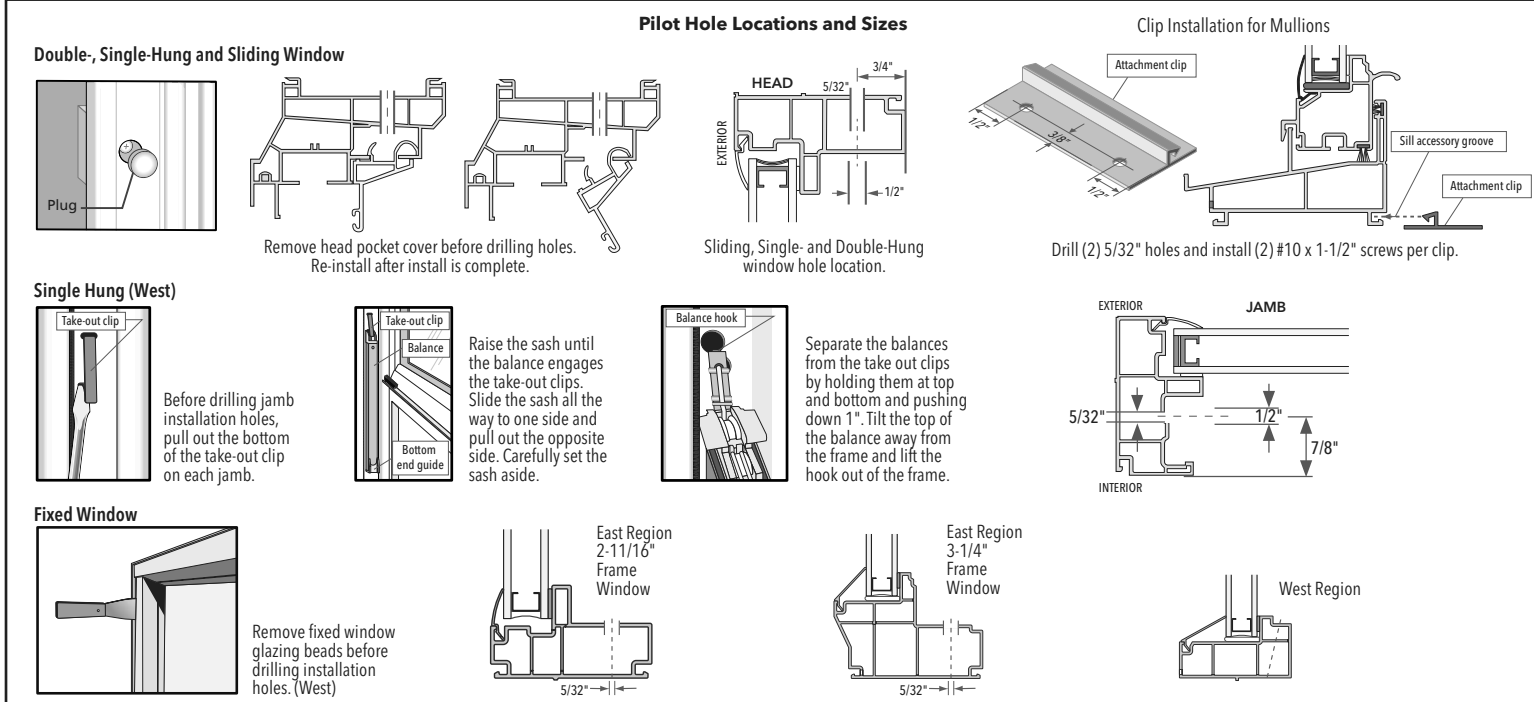
ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® / 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single- and Double-Hung (East)	4"	8"	4"	8"	#10 x 2" Pan Head (provided)	High Performance DH (D) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (H) #8 x 2" screws at head mullion ends and 4 clips at sill mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PG50 Performance installs.
Fixed Window	4"	16"	4"	None	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

All venting products: Head and sill anchors are required on composites only.

* Use Factory Drilled Installation Holes if present.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

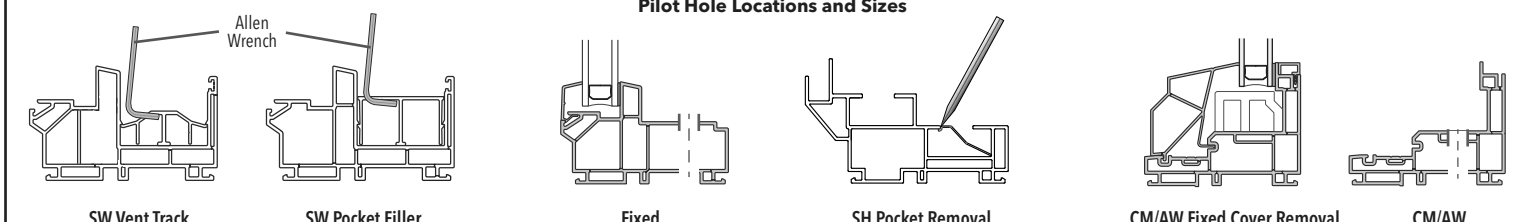
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
DH/SW (single units)						
DH / SH / FX	4"	16" **	3"	6"	#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes (for a PG50 Performance installs).
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW & PG50	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW	4"	12"	4"	8"	#10 x 2" Pan Head (provided)	
FX CM/AW	4"	12"	4"	8"	#10 x 2" Pan Head (provided)	

All venting products: Head and sill anchors are required on composites only.

* Use Factory Drilled Installation Holes if present.

** For DH & SH units > 62" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.

** For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS

Interior Sealant Instructions

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

- A. Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- B. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.
- NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening.
- C. To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal.
- Backer rod (if necessary) and sealant can be used in place of the low expansion foam if similar insulation is not recommended as it can absorb water and does not act as an air seal.

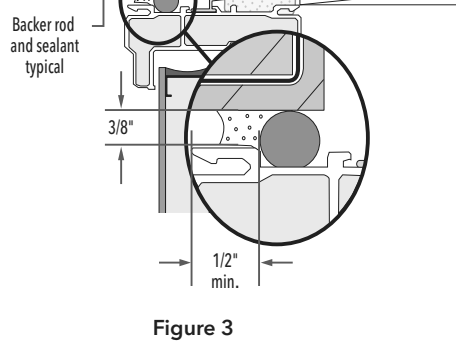
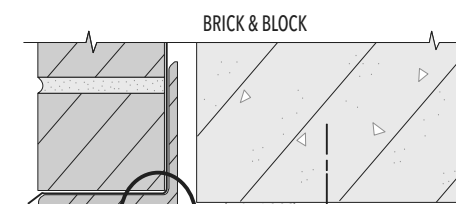
For windows set against drywall return or wood interior stops:

- D. Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam.
- NOTE: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.
- E. Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

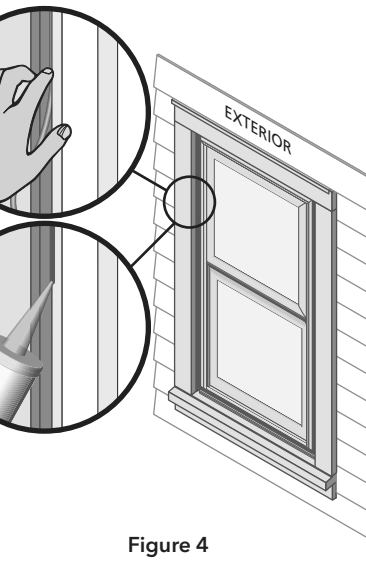
Exterior Sealant Instructions

CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

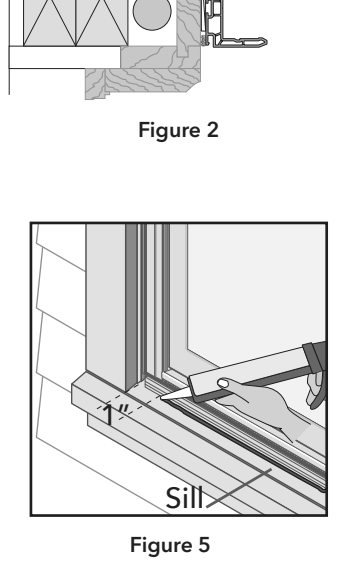
- A. If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
- B. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- C. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant.
- NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the interior seal. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP
200 Ross Street
Pittsburgh, PA 15219

Project Location:

Manchester Scattered Sites
1132 SHEFFIELD ST
PITTSBURGH, PENNSYLVANIA
15233

drawing title

**WINDOW
REMOVAL/REPLACEMENT
(PELLA)**

scale
As Noted

date
May 6, 2022

no.

17

of.

17

Sheet No.

A16

Project #2006