

Fukui Architects Pc

205 Ross Street

Pittsburgh, Pennsylvania 15219

ph 412.281.6001 fx 412.281.6002

© 2022 Fukui Architects, Pc

scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

drawing title

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

SELECTION CRITERIA,  
THRESHOLD CRITERIA,  
TABULAR SCHEDULE

scale  
As Noted

date  
May 6, 2022

no. of.

1 16

Sheet No.

A0

Project #2006

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification  
Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

Development Characteristics

Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.

Smart Site Selection - The development is located on, or is a(n):

- Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

Certification under a National Green Building Program

- Enterprise Green Communities - 2020
- LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) - Silver
- LEED v4 BD+C Multifamily Midrise - Silver OR
- LEED v4 BD+C New Construction & Major Renovation - Silver (4 stories or more)
- ICC 700-2020 National Green Building Standard - Silver

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 208

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

This preservation development will achieve certification under one of the green building standards indicated below:

- Enterprise Green Communities - 2020 Moderate Rehab
- LEED v4 OM - Multifamily - Certified
- ICC 700-2020 National Green Building Standard Under Section 305.2 - Whole Building Rating - Bronze
- ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional Areas Rating - Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawings/specification package.

Energy Efficiency Goals (Only one of the following may be selected)

- The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See www.pchus.org or www.passive.de/en for additional guidance.)
- To qualify for these points, the applicant must contract with a qualified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WPI) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, calculations and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WPI to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/roof/door construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. Passive House certification is required.
- \*Qualified is defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a qualified consultant.

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 209

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

New Construction

- For 100% electric dwellings/buildings\*: HERS Index of 60 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

Substantial Rehab:

- For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

Preservation (Moderate Rehab) \*:

- For 100% electric dwellings/buildings\*: HERS Index of 80 or less (without solar PV)
- For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

\*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

NOTE:

- Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the NHERF program to achieve the Energy Star® label.
- All HERS indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 210

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Accessible Housing

As the DESIGN ARCHITECT, I certify that:

To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.

- The Fair Housing Act of 1988 & Fair Housing Design Manual
- ANSI A117.1-2009 (or edition currently adopted by the PA AUC)
- Pennsylvania Uniform Construction Code
- Uniform Federal Accessibility Standards (UFAS)
- Section 504 of the Rehabilitation Act of 1973
- 2010 ADA Standards for Accessible Design

Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)

NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

Accessible Units

For New Construction and Substantial Rehabilitation Developments:

As the design architect, I hereby certify that I either have designed or will design the referenced development to include twice the mandated number of fully accessible units under local, state, or federal mandate, whichever is greater. These units shall meet current accessibility standards.

Number of accessible units required under local mandate: \_\_\_\_\_  
Number of accessible units required under state mandate: \_\_\_\_\_  
Number of accessible units required under federal mandate: \_\_\_\_\_  
Number of fully accessible units provided: \_\_\_\_\_

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

Number of existing fully accessible units (by current standards): 0  
Number of fully accessible units provided: 5  
Applicant also certifies that during initial lease up, these units will be exclusively reserved for the first thirty days for occupancy by persons needing the accessible units and thereafter will provide for certain lease provisions designed to allow the units to be occupied to the greatest extent feasible, by persons who need the accessible features of the units.

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 211

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Large Family Units

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:

\*High rise developments and senior housing cannot qualify for this category.

71 Total units >15 - 20% of all units  
43 Total number of affordable 3 or more-bedroom units >20 - 25% of all units  
115-10% of all units (suburban/rural developments only) >25% of all units

DESIGN ARCHITECT

Signed: \_\_\_\_\_ Date: 5/9/2021  
Firm: Fukui Architects, Pc

Acknowledged and Accepted by the APPLICANT(S)

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Print: \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Print: \_\_\_\_\_

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 212

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Design Architect's/Applicant's Certification  
Of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply.) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

Development Amenities

As the DESIGN ARCHITECT, I certify that:

- On-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and will be provided in accessible units containing a washer and dryer in the unit. If the development is designed for home ownership and common laundry facilities are provided, hook-ups for washers and dryers must be provided in each unit. All washing machines must be Energy Star® labeled.
- All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation)
- An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)
- Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 3161 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments)

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 215

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Unit Amenities

As the DESIGN ARCHITECT, I certify that:

See Tab 29 Waiver Requests

The net area of all dwelling units must fall within the limits listed below. (Net area is measured from the interior finish surface of the unit perimeter walls, and shall include all rooms, corridors, interior walls, storage areas, and mechanical spaces.) Rehabilitation developments may vary from the maximums and minimums by 10%. Accessible units may vary from the maximums as required to provide an accessible route and accessible clearances.

	FLATS	MULTI-FLOOR UNITS
SRO	200 to 800 s.f.	
EFF	400 to 800 s.f.	
1 BR	550 to 850 s.f.	
2 BR	700 to 1,100 s.f.	
3 BR	950 to 1,350 s.f.	
4 BR	1,100 to 1,550 s.f.	
5 BR	1,300 to 1,750 s.f.	

Air conditioning will be supplied to the living areas and all bedrooms of each unit. (Individual window units will not be considered as meeting this criterion except in preservation developments.)

Refrigerators, ranges and ovens will be provided in all units except for developments containing SRO units provided such properties have common cooking facilities containing these appliances.

Window treatments will be provided in all residential units. Window treatments include horizontal blinds, vertical blinds, or other opaque blinds. (Roller shades will not be considered as meeting this criterion.)

Visibility

As the DESIGN ARCHITECT, I certify that:

All newly constructed single family houses, townhouses, units in elevator buildings and all ground floor units in walk-up apartment buildings shall be Visible. In rehab developments, a minimum of twenty-five (25) percent of the units in low-rise developments, elevator buildings and walk-up apartments must be Visible. (Properties unable to meet these requirements due to physical constraints or building type may apply for a waiver of these requirements.) To meet Visibility design features, the building and units must have at least one zero-step entrance with a 36 inch wide door, all doorways and passages on the entry level floor must have a width of 36 inches; there must be a clear pathway to a bathroom or powder room; such bathroom or powder room must include a minimum 24 inch grab bar beside the toilet on a reinforced wall, which can also serve as a towel bar; and there must be a clear pathway to the living room and dining area of the unit. The powder room and bathroom must meet the Fair Housing Act maneuverability clearances. (Preservation developments are exempt from this requirement, but are encouraged to provide Visible units where feasible.)

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 216

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Fair Housing

As the DESIGN ARCHITECT, I certify that:

New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable.

The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards Guide.

Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2009.

Energy Conservation & Green Building Criteria

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures.

All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 btuh, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 217

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning conditioning units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

For ALL new construction, rehabilitation and preservation applications:

As the APPLICANT, I certify that:

When existing equipment and appliances are replaced, they will be replaced with Energy Star® labeled equipment, when such equipment exists.

As the DESIGN ARCHITECT, I certify that for new construction and substantial rehab developments:

The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures outlined in the 2020 Enterprise Green Communities Criteria. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)

PHFA Green Building Criteria for new construction and substantial rehabilitation developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following green building features:

- No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)
- All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)
- Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 218

PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

Smoke Free Development

As the APPLICANT, I certify that:

At construction completion, a policy prohibiting the use of tobacco products in all dwelling units, common areas, other buildings that are a part of the development and within 25 feet of all buildings in the development will be implemented.

Energy Rebate Analysis (ERA)

A preliminary/draft explanation of all energy rebates that may be available for the project with estimated rebate amounts must be submitted with the application. The estimated rebate amounts will be considered a source and used to size tax credit awards, and must be included on the Certification of Subsidies at Tab 20. The energy rebates are not basis eligible and will be removed from basis on a tax credit development. Prior to closing the developer will be required to submit an updated ERA which includes:

- A list of eligible utility, local, regional, state, or federal rebate programs;
- Recommendations of applicable rebates to be included with estimated rebate amounts or estimated tax credit amounts;
- Calculations, energy models, or other technical data to support recommendations;
- Letters, program data information, or other documentation from utility providers to support noted programs; and
- If renewable energy strategies are proposed, a cost/benefit analysis.

DESIGN ARCHITECT

Signed: \_\_\_\_\_ Date: 5/9/2021  
Print: \_\_\_\_\_  
Firm: Fukui Architects, Pc

Acknowledged and Accepted by the APPLICANT(S)

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Print: \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Print: \_\_\_\_\_

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 220

2.03 DEVELOPMENT TABULAR SCHEDULE

Development Name: Manchester Scattered Sites PHFA No.:

Design Architect (Signature): \_\_\_\_\_ Date: 10/18/2021

- Number of Buildings: 56
- Building Height (Stories): 3 to 4 stories
- Building Code: IBC IRC Construction Type: III-B or V-A
- Structural System: Wood Joists to 2x4 framing or masonry
- Exterior Finish: Brick or vinyl
- Gross Building Area\*: 148,586
- Gross Commercial Area (SF): 0 Percentage of Gross Building Area: 0%
- Number of On Site Parking Spaces: 5 spaces at 1100 Sheffield only
- Required Variances: N/A
- Applicable Accessibility Regulations: Section 504 UFAS PAUC FHAA ADA

Unit/Room Type	No. of Units	Accessible Units ADA	HV	Adaptable Units ADA	HV	Net SF**	Gross SF*
SRO	0						
EFF	0						
1 BR	35						
2 BR	13						
3 BR	25						
4 BR	13						
Community Room						2244	4116
Circulation (hallways, stairs & etc.)						1753	2917
Other							
Unit Total	86	5	2	0	0		

\*Gross Building Area (SF) is all improved areas including commercial space measured from the outside of the exterior wall. Mechanical Rooms, Electrical Rooms, Storage Rooms, and similar spaces that are conditioned to the same degree as a living space and are finished should be calculated at 100%. Basements, Garages and similar spaces that may be finished (or unfinished), but not conditioned to the same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of multi-story spaces shall be excluded from the square foot calculation; include only the lowest floor area. Porches, patios and balconies shall not be included in the Gross Building Area.

\*\* Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the average if there is more than one size in each type.

# MANCHESTER SCATTERED SITES

## HACP, Existing Duplex Unit Repairs and Level 2 Alterations 1134 SHEFFIELD STREET PITTSBURGH PENNSYLVANIA 15233 UNIT 1 - 4 BEDROOM : UNIT 2 - 3 BEDROOM

### Drawing Index

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA TABULAR SCHEDULE	
A1 COVER SHEET	ARCH PRLIM SET MANCHESTER SCATTERED SITES MAP CODE AND CONTECT INFO ARCH PRLIM SET
A2 ABBREVIATIONS AND MATERIALS	ABBREVIATIONS AND MATERIALS HISTORIC BRICK WALL SECTION DOOR TYPES DOOR SCHEDULE (WITH EXISTING) WINDOW SCHEDULE FINISH SCHEDULE BRICK WALL SECTION INTERIOR STAIR DETAIL
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	GENERAL NOTES ENERGY NOTES
A4 SITE PLAN AND ROOF PLAN	ROOF PLAN SITE PLAN ROOF AND SITE PLAN LEGEND ROOF PLAN NOTES GRAPHIC SCALES GRAPHIC SCALES SMALL UNIT KEYNOTES
A5 FLOOR / DEMO PLANS	BASEMENT / KEY PLAN FIRST FLOOR / KEY PLAN BASEMENT / DEMO PLAN FIRST FLOOR / DEMO PLAN SMALL UNIT KEYNOTES DEMOLITION PLAN LEGEND GENERAL DEMOLITION NOTES GRAPHIC SCALES
A6 FLOOR / DEMO PLANS	SECOND FLOOR / DEMO PLAN THIRD FLOOR / DEMO PLAN SECOND FLOOR / KEY PLAN THIRD FLOOR / KEY PLAN DEMOLITION PLAN LEGEND GENERAL DEMOLITION NOTES SMALL UNIT KEYNOTES GRAPHIC SCALES
A7 FLOOR/FINISH/MECH/PLUMB. PLAN	BASEMENT / KEY PLAN FIRST FLOOR / KEY PLAN BASEMENT/FINISH/MECH/PLUMB. PLAN FIRST FLOOR/FINISH/MECH/PLUMB. PLAN FLOOR PLAN LEGEND GRAPHIC SCALES SMALL UNIT KEYNOTES
A8 FLOOR/FINISH/MECH/PLUMB. PLAN	SMALL UNIT KEYNOTES SECOND FLOOR / KEY PLAN THIRD FLOOR / KEY PLAN SECOND FLOOR/FINISH/MECH/PLUMB. PLAN THIRD FLOOR/FINISH/MECH/PLUMB. PLAN FLOOR PLAN LEGEND GRAPHIC SCALES
A9 REFLECTED CEILING / POWER / DATA PLANS	BASEMENT / KEY PLAN FIRST FLOOR / KEY PLAN BSMT. REFL. CLG/ POWER / DATA PLAN FIRST FLOOR REFL. CLG. / POWER / DATA PLAN GRAPHIC SCALES RCP LEGEND LIGHTING SCHEDULE SMALL UNIT KEYNOTES
A10 REFLECTED CEILING / POWER / DATA PLANS	BASEMENT / KEY PLAN FIRST FLOOR / KEY PLAN SECOND FLOOR REFL. CLG. / POWER / DATA PLAN THIRD FLOOR REFL. CLG./ POWER / DATA PLAN SMALL UNIT KEYNOTES GRAPHIC SCALES RCP LEGEND LIGHTING SCHEDULE

### Code Conformance Information

Applicable Codes	2015 International Building Code
General:	2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	Level-2 alteration per the IEBC
Classification of Work:	"R-2"
Occupancy Group:	3 story with basement
Stories:	3,235 sqft
Gross Area:	V
Construction Type:	None
Sprinklers:	12
Smoke detector:	

### Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.

<b>Building Owner:</b>	<b>Architect:</b>	<b>Plan Review &amp; Inspection:</b>
Housing Authority of the City of Pittsburgh ph: 412.715.7501 mackenzie.pleskovic@hacp.org contact: Mackenzie Pleskovic	Fukui Architects, PC 205 Ross Street Pittsburgh, PA 15219 ph: 412.281.6001 fx: 412.281.6002 Fgl@farp.com contact: Felix G. Fukui, AIA	City of Pittsburgh Department of permits, Licenses and Inspections 200 Ross Street 3rd floor, room 320 Pittsburgh, PA 15205 ph: 412.255.2175

### General Description of Work

- It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
- For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
- After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

### General Note Related to Quantities Shown in Documentation

- Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
- All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take-offs.

A11 NORTH / SOUTH ELEVATION	NORTH ELEVATION SOUTH ELEVATION EAST ELEVATION GRAPHIC SCALES HISTORIC KEYNOTES SMALL UNIT KEYNOTES
A12 KITCHEN ENLARGED PLANS AND ELEVATIONS	UNIT 1 KITCHEN ENLARGED PLAN UNIT 1 KITCHEN ELEVATION 01 UNIT1 KITCHEN ELEVATION 02
A13 KITCHEN ENLARGED PLANS AND ELEVATIONS	UNIT 2 ELEVATION 01 UNIT 2 ELEVATION 02 UNIT 2 KITCHEN ENLARGED PLAN
A14 DETAILS	WOOD FENCE DETAIL WINDOW INSTALLATION UNDER VINYL SIDING EXTERIOR DOOR THRESHOLD



1 MANCHESTER SCATTERED SITES MAP  
NOT TO SCALE

### Fukui Architects Pc

205 Ross Street  
Pittsburgh, Pennsylvania 15219  
ph 412.281.6001 fx 412.281.6002

©2022 Fukui Architects, Pc

### scale

### general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

### revisions

ISSUED FOR PERMIT: 05.06.2022

### project title

#### Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

#### Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

### drawing title

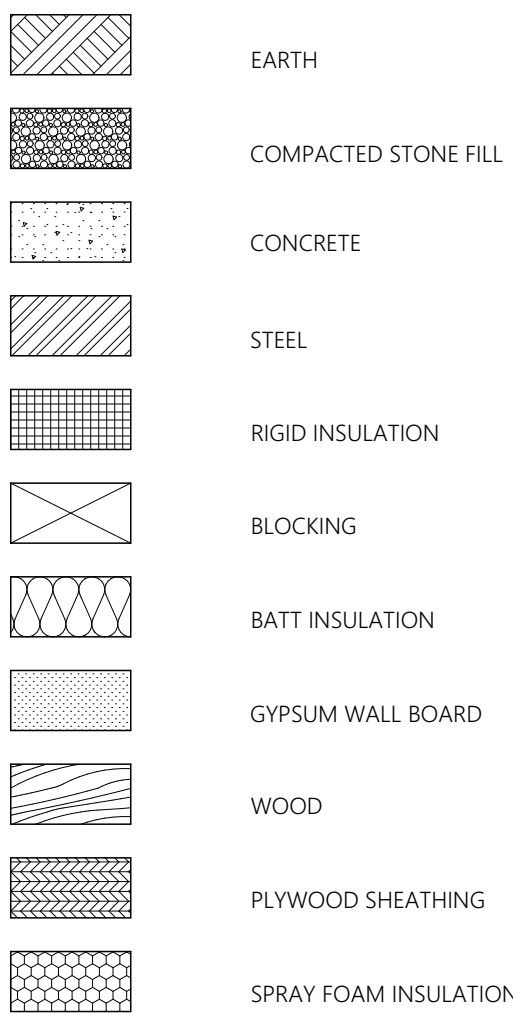
MANCHESTER SCATTERED SITES  
MAP, ARCH PRLIM SET, CODE  
AND CONTECT INFO

scale	As Noted	Sheet No.  <b>A1</b> Project #2006
date	May 6, 2022	
no.	2	
of.	16	



## Materials Legend

NOT ALL MATERIALS USED



## Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	EXHAUST FAN	Exhaust Fan	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXIST.	Existing	O.C.	On Center
ADH.	Adhesive	EXP.	Expansion	OPP.	Opposite
ADJUST.	Adjustable	E.J.	Expansion Joint	O.H.	Overhead
A/C	Air Conditioning	ESH	Exterior Sheathing	PR.	Pair
ALT.	Alteration	EXIST.	Existing	PLAS.	Plaster
ALTN.	Alternate	EXP.	Exposed	PLAS.LAM.	Plastic Laminate
ALUM.	Aluminum	EXT.	Exterior	P.C.	Plumbing Contractor
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	PLYWD.	Plywood
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	POLY.	Polyethylene
ARCH.	Architectural	F.F.	Finish Floor	P.V.C.	Polyvinyl Chloride
AS	Adjustable Shelving	FIN.FLR.	Finish Floor	PRE-FAB.	Prefabricated
ASB.	Asbestos	F.A.C.P.	Fire Alarm Control Panel	RE	Refer To
ASPH.	Asphalt	F.E.	Fire Extinguisher	REF.	Refrigerator
AUTO.	Automatic	FLR.	Floor	R.C.P.	Reinforced Concrete Pipe
AVG.	Average	F.D.	Floor Drain	REINF.	Reinforcement
BLK.	Block	FTG.	Footing	RD.	Roof Drain
BD.	Board	GA.	Gauge	RM.	Room
BOT.	Bottom	G.C.	General Contractor	S.A.T.	Suspended Acoustical Tile
BLDG.	Building	G.F.I.	Ground Fault Interrupter	SCHED.	Schedule
C.I.P.	Cast In Place	GYP.	Gypsum	SHT.	Sheet
C.B.	Catch Basin	G.W.B.	Gypsum Wall Board	SM.	Similar
CEM.	Cement	GSH.	Gypsum Sheathing	S.C.	Solid Core
CG.	Ceramic	H/C	Handicap	SPECS.	Specifications
C.M.T.	Ceramic Mosaic Tile	H.V.A.C.	Heating, Ventilation & Air Conditioning	SQ.	Square
C.W.T.	Ceramic Wall Tile	HT	Height	S.F.	Square Foot
C.O.	Cleanout	HC	Hollow Core	S.S.	Stainless Steel
CL	Center Line	H.M.	Hollow Metal	STL.	Steel
CLO.	Closet	HORIZ.	Horizontal	STOR.	Storage
C.W.	Cold Water	HR.	Hour	STRUCT.	Structural
CLG.	Ceiling	H.W.	Hot Water	TEL	Telephone
CLR.	Clearance	IN.	Inch	THK.	Thick
COL.	Column	I.M.	Insulated Metal	T.B.D.	To Be Determined
CONC.	Concrete	INSUL.	Insulation or Insulated	T&G	Tongue & Groove
C.M.U.	Concrete Masonry Unit	INT.	Interior	T.O.	Top Of
CONT.	Continuous	INV.	Invert	T.G.	Top Of Grade
CORR.	Corridor	ISO.	Isolation	T.O.S.	Top Of Steel
C.M.P.	Corrugated Metal Pipe	JAN.	Janitor's Closet	TYP.	Typical
CRS.	Courses	J.T.	Joint	UNFIN.	Unfinished
DIA.	Diameter			U.N.O.	Unless Noted Otherwise
DET	Detail	LAM.	Laminate	V.B.	Vapor Barrier
DGL	Dens Glass Gold	LAV.	Lavatory	VERT.	Vertical
DR.	Door	LG.	Long	VEST.	Vestibule
DN.	Down	M.D.F.	Medium Density Fiberboard	V.C.T.	Vinyl Composition Tile
D.S.	Downspout	M.D.H.	Magnetic Door Holder	V.I.F.	Verify In Field
DWG.	Drawing	M.H.	Mainhole	W.H.	Water Heater
DWR.	Drawer	MFR.	Manufacturer	W.R.B.	Water Resistant Barrier
D.F.	Drinking Fountain	MAX.	Maximum	W.W.F.	Welded Wire Fabric
D.I.P.	Ductile Iron Pipe	MECH.	Mechanical	WIN.	Window
EA.	Each	MET.	Metal	W/O	Without
E.W.	Each Way	MIN.	Minimum	WD.	Wood
ELEC.	Electrical				
E.C.	Electrical Contractor				
EL.	Elevation				

## Symbols

ELEVATION HEIGHT  
T.O. FINISH FLOOR  
ELEV. 0'-0"

NORTH ARROW  
PLAN  
NORTH

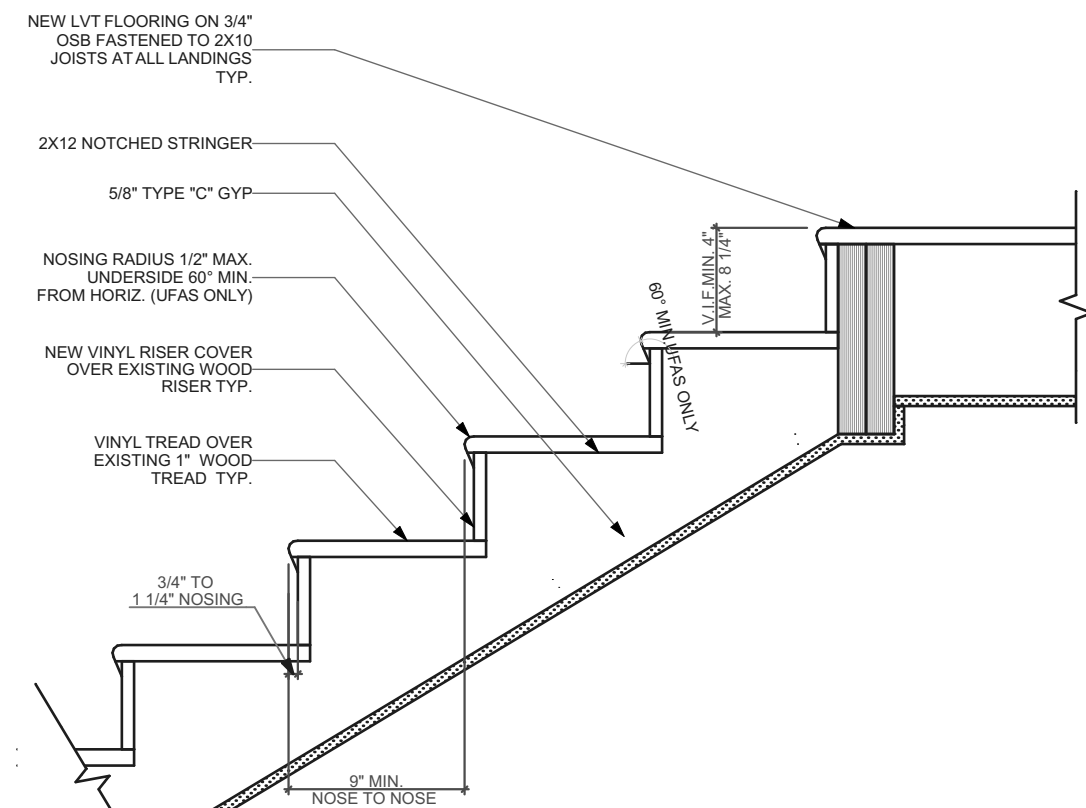
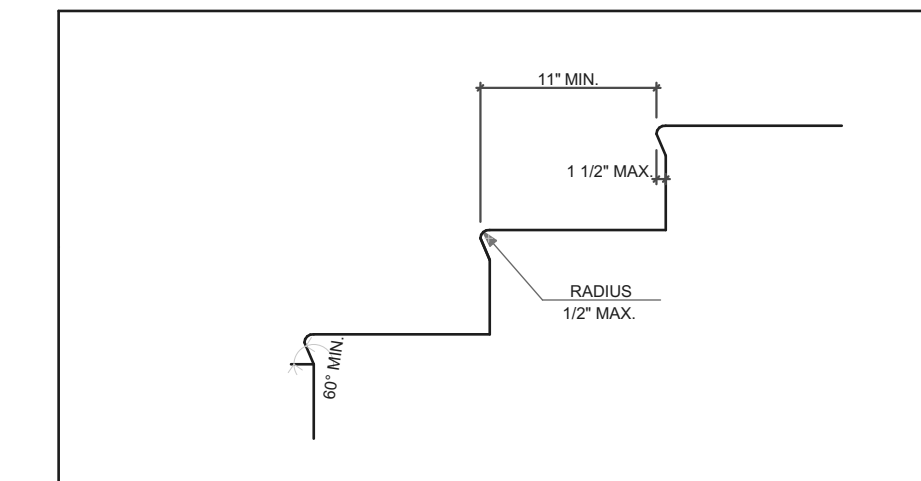
DRAWING TITLE  
Title

SCALE: 1/8" = 1'-0"

NOTE LEADER  
NOTE

INTERIOR ELEVATION MARKER

## ABBREVIATIONS AND MATERIALS

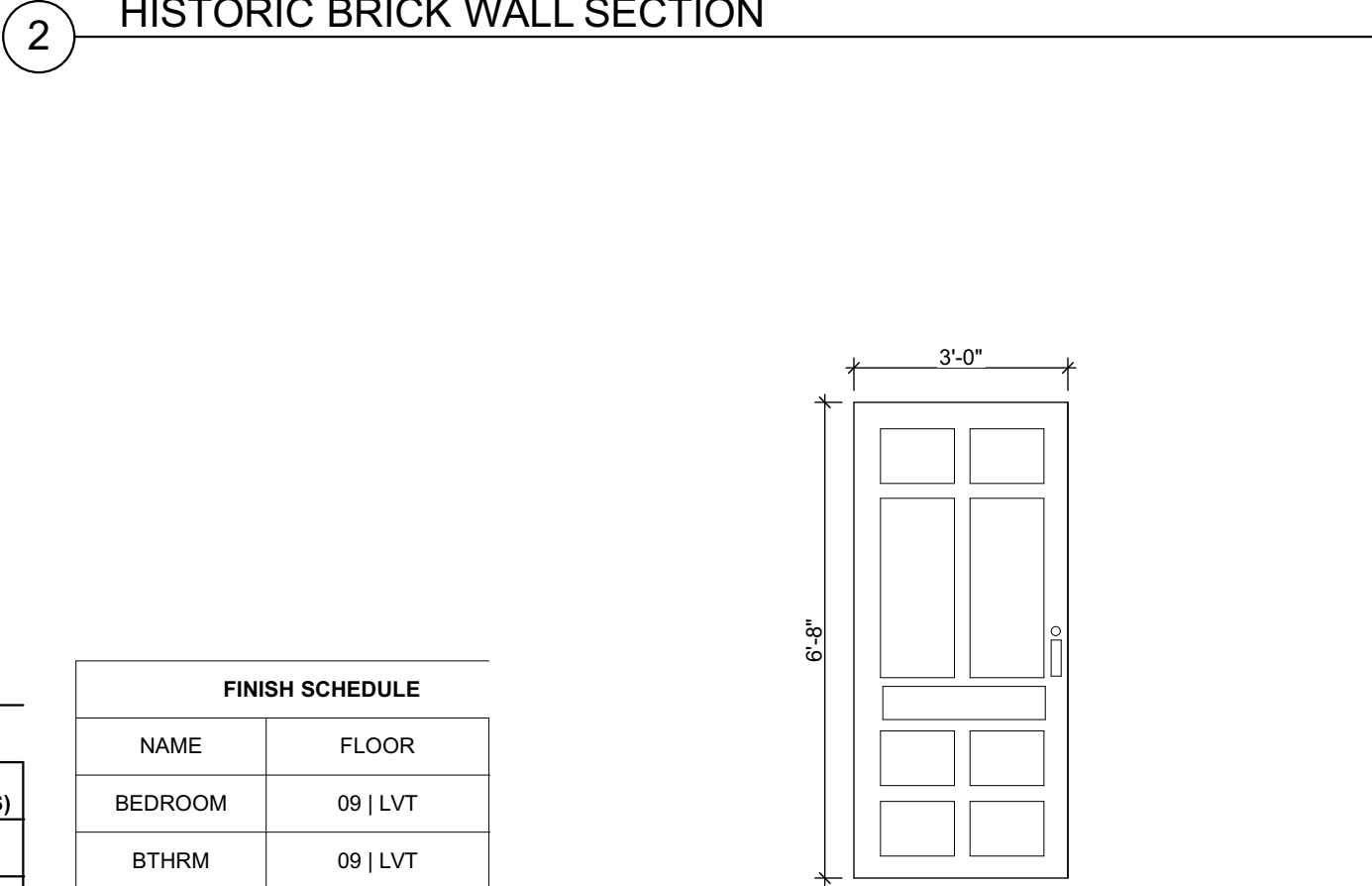


THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.

## INTERIOR STAIR DETAIL

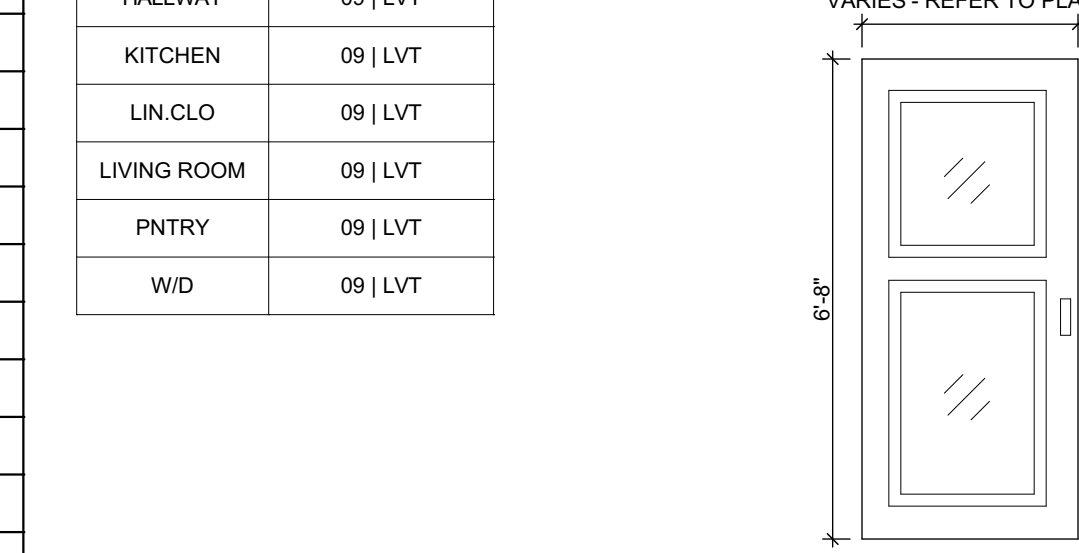
SCALE: 1" = 1'-0"

## HISTORIC BRICK WALL SECTION



## EXTERIOR INSULATED FIBERGLASS DOOR

INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. HISTORIC DOOR AND COLOR TO MATCH KEY AND CORE AND HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

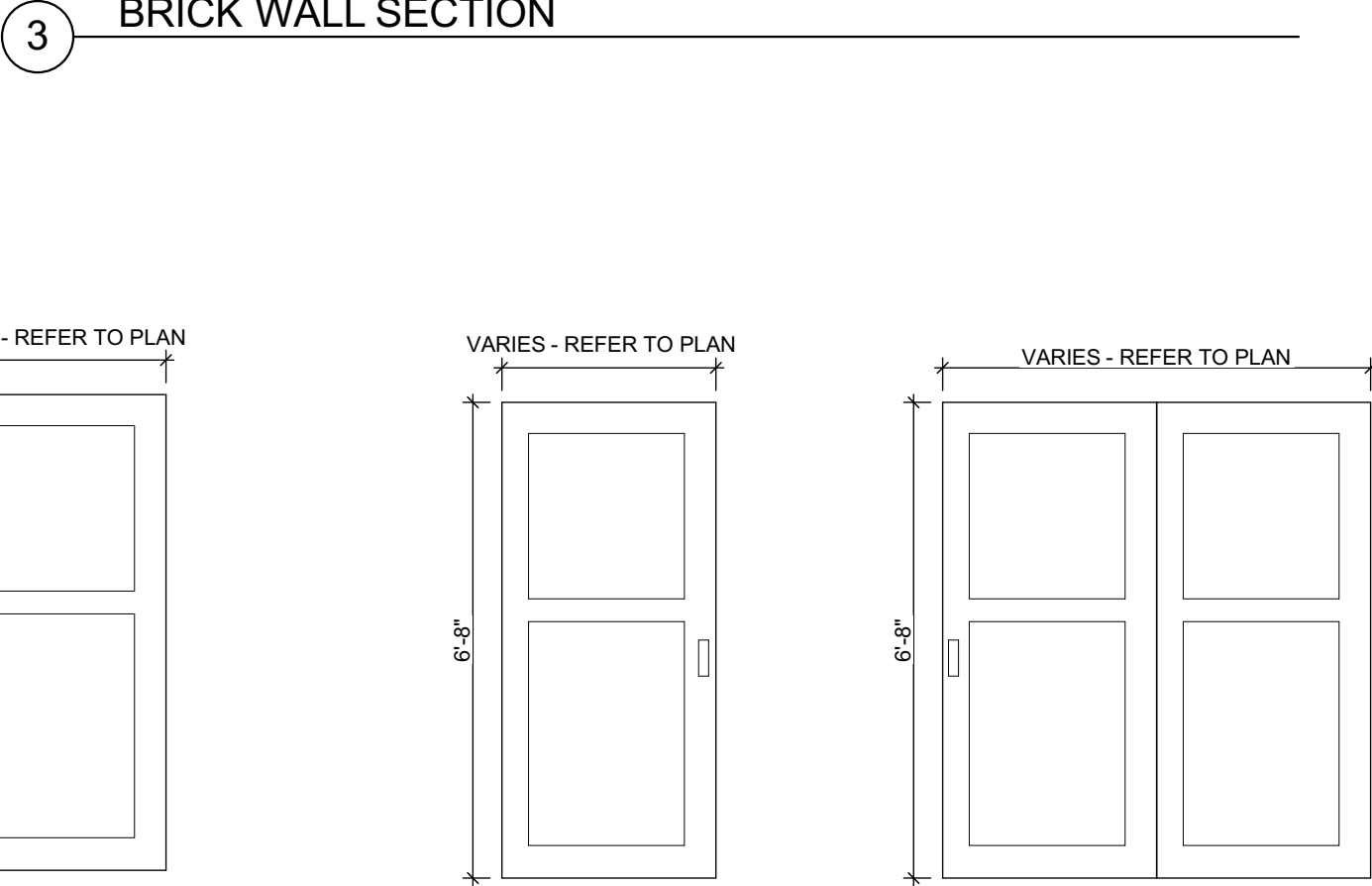


## INTERIOR WOOD DOOR WITH GLASS

INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

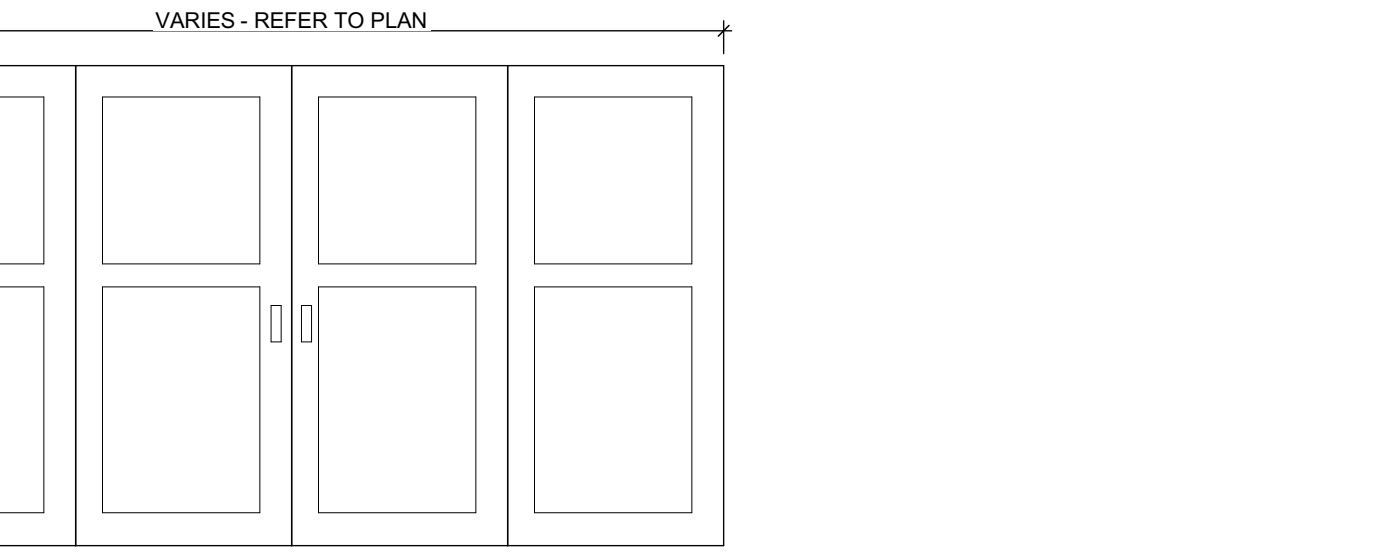


## BRICK WALL SECTION



## INTERIOR WOOD POCKET DOOR

INTERIOR 2 PANEL WOOD POCKET DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



## INTERIOR WOOD DOOR

INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



## INTERIOR WOOD BIFOLD

INTERIOR 2 PANEL SLIDING WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



## Fukui Architects Pc

205 Ross Street  
Pittsburgh, Pennsylvania 15219  
ph 412.281.6001 fx 412.281.6002

© 2022 Fukui Architects, Pc

## scale

## general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

## revisions

ISSUED FOR PERMIT: 05.06.2022

## project title

### Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

### Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

## drawing title

ABBREVIATIONS AND MATERIALS, HISTORIC BRICK WALL SECTION, BRICK WALL SECTION, INTERIOR STAIR DETAIL, DOOR TYPES, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE

scale  
As Noted

date  
May 6, 2022

no.  
3

of.  
16

## Sheet No.

A2

Project #2006







- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

ISSUED FOR PERMIT: 05.06.2022

## Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

## Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

SITE PLAN, ROOF PLAN, ROOF  
PLAN NOTES, ROOF AND SITE  
PLAN LEGEND, GRAPHIC  
SCALES, SMALL UNIT KEYNOTES

scale  
As Noted

date

May 6, 2022

no.

of.

5

16

Sheet No.

A4

Project #2006

## SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 1'-0" REPAIR DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB. BRACKET POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE. JOINT WITH EXISTING JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WEED. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT OUT MASONRY AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN 12" BELOW WINDOW WELL. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE. DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

## ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

## ARCHITECTURAL

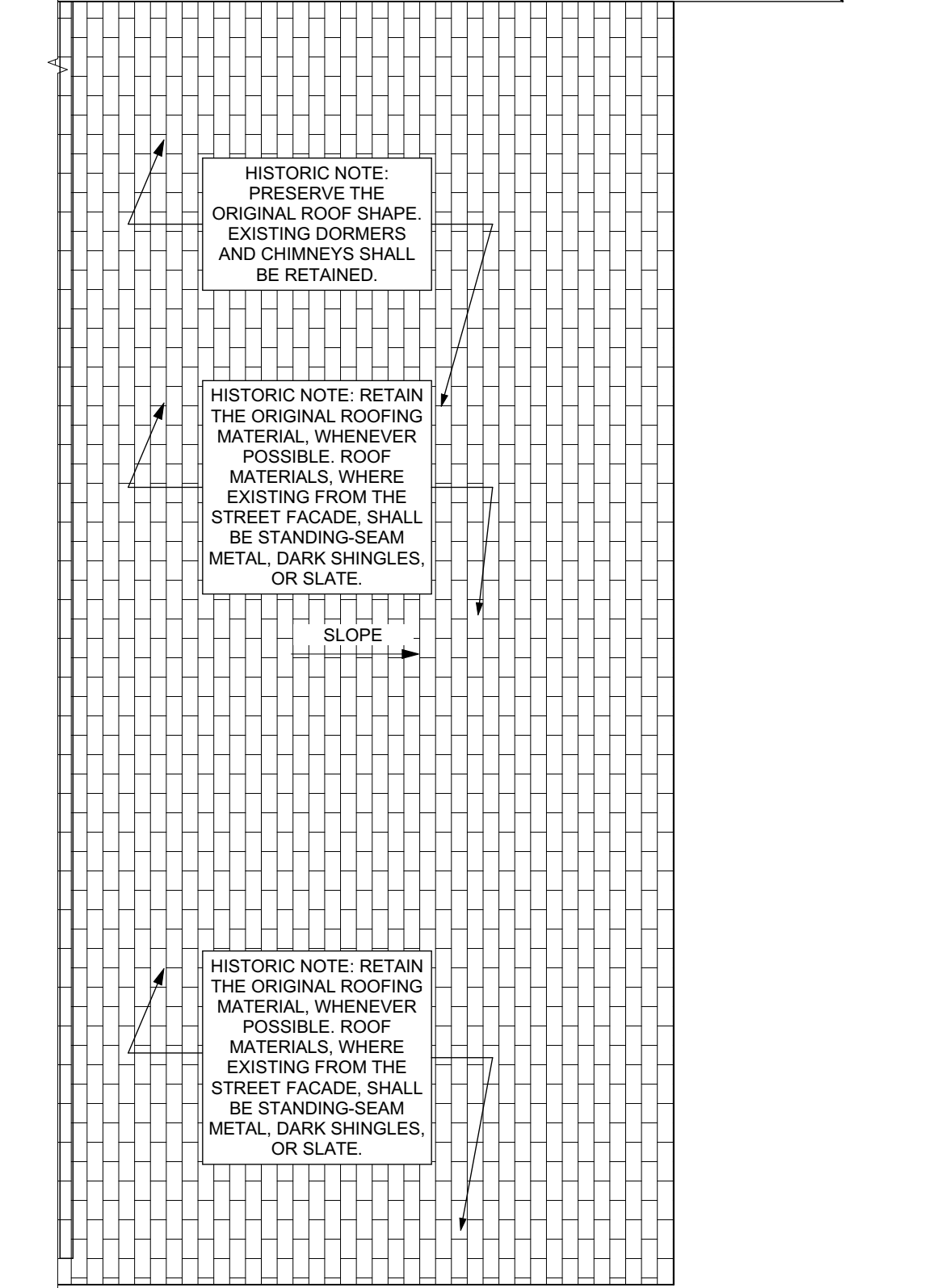
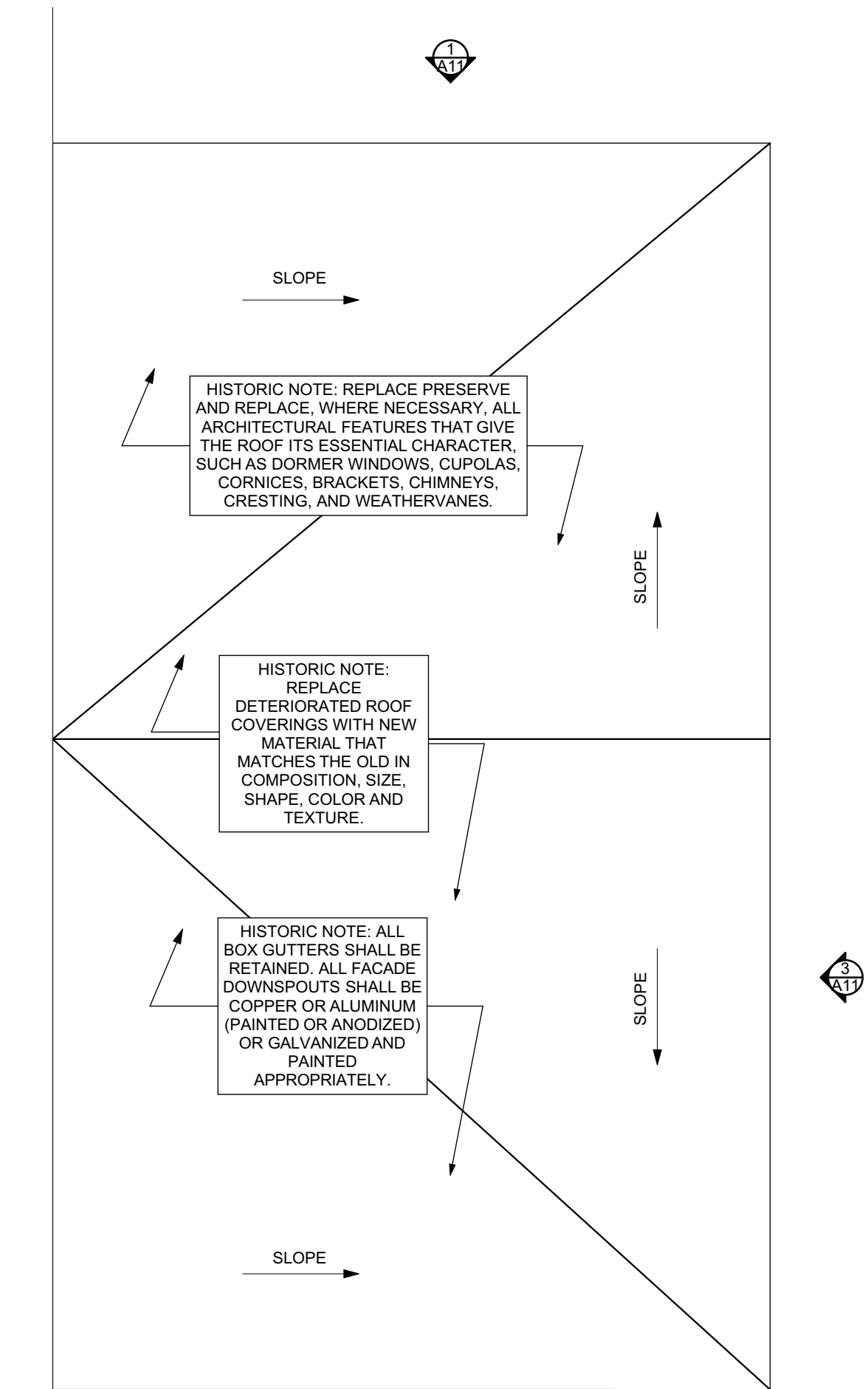
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. BRICK SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED FLOOR OF DOOR OR THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. LATH AND PLASTER AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE: REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS. KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDING JACK. SPRING FOOTING AND APPLICABLE CONNECTIONS. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

## PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE. PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

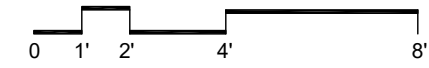
## MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO PROVIDE DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



## ROOF PLAN

SCALE: 1/4" = 1'-0"



## ROOF AND SITE PLAN LEGEND

	PROPERTY FENCE	G.M.	GAS METER
	PROPERTY LINE	F.I.	FRESH AIR INTAKE
	BUILDING OUTLINE	A.C.	AIR CONDITIONER CONDENSOR
	PARTY WALL	E.M.	ELECTIC METER
	GATE		
	STEPPING CONCRETE PADS		
	ICE WATER SHIELD		

## SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

PL: 20.00' SHEFFIELD STREET

HISTORIC NOTE: USE NEW PLANT MATERIALS, FENCING, WALKWAYS, STREET LIGHTS, SIGNS, AND BENCHES THAT ARE COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD IN SIZE, SCALE, MATERIAL, AND COLOR.

HISTORIC NOTE: SIDEWALK, STOOP, AND STEP MATERIALS SHALL BE STONE, BRICK, OR POURED CONCRETE. WROUGHT IRON RAILING SHALL BE PERMITTED.

HISTORIC NOTE: REPAIR OR REPLACE, WHERE NECESSARY, DETERIORATED ARCHITECTURAL FEATURES OF WOOD, IRON, CAST IRON, TERRA-COTTA, TILE, AND BRICK. STRIPPING PORCHES AND STEPS OF ORIGINAL MATERIAL AND ARCHITECTURAL FEATURES, SUCH AS HAND RAILS, BALUSTERS, COLUMNS, BRACKETS AND ROOF DECORATION OF WOOD, IRON, CAST IRON, TERRA-COTTA, TILE AND BRICK, AND ENCLOSING PORCHES AND STEPS. DESTROY THEIR INTENDED APPEARANCE.

HISTORIC NOTE: REPLACE DETERIORATED ROOF COVERINGS WITH NEW MATERIAL THAT MATCHES THE OLD IN COMPOSITION, SIZE, SHAPE, COLOR AND TEXTURE.

HISTORIC NOTE: ALL BOX GUTTERS SHALL BE RETAINED. ALL FACADE DOWNSPOUTS SHALL BE COPPER OR ALUMINUM (PAINTED OR ANODIZED) OR GALVANIZED AND PAINTED APPROPRIATELY.

SOIL REMOVAL 67 sq ft

A8-TYP.

PL: 138.00' FONTELLA STREET

HISTORIC NOTE: RETAIN ALL DISTINCTIVE EXTERIOR FEATURES SUCH AS THE SIZE, SCALE, MASS, COLOR, AND MATERIALS OF BUILDINGS, INCLUDING ROOFS, PORCHES, PARKS, GARDENS, STREET LIGHTS, SIGNS, BENCHES, WALKWAYS, STREETS, ALLEYS AND BUILDING SETBACKS, AND STAIRWAYS THAT GIVE A NEIGHBORHOOD ITS DISTINGUISHING CHARACTER.

SLOPE GRADE AWAY FROM HOUSE

HISTORIC NOTE: PRESERVE THE ORIGINAL ROOF SHAPE. EXISTING DORMERS AND CHIMNEYS SHALL BE RETAINED.

HISTORIC NOTE: RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.

HISTORIC NOTE: RETAIN THE ORIGINAL ROOFING MATERIAL, WHENEVER POSSIBLE. ROOF MATERIALS, WHERE EXISTING FROM THE STREET FACADE, SHALL BE STANDING-SEAM METAL, DARK SHINGLES, OR SLATE.

HISTORIC NOTE: FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.

HISTORIC NOTE: FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.

PL: 20.00'

HISTORIC NOTE: FENCES OR YARD ENCLOSURES SHALL BE BRICK, STONE, METAL PICKET, OR WOOD. HEIGHTS SHALL BE AS LIMITED BY THE ZONING ORDINANCE. CHAIN LINK IS DISCOURAGED.

## SITE PLAN NOTES

- ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
- ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

## SITE PLAN NOTES

- ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION WALL AND EXISTING SIDEWALK TO BE SEALED.
- ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

PLAN NORTH

PLAN NORTH

PLAN NORTH

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

**BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, BASEMENT / KEY PLAN, FIRST FLOOR / KEY PLAN, SMALL UNIT KEYNOTES, GENERAL DEMOLITION NOTES, DEMOLITION PLAN LEGEND, GRAPHIC SCALES**

scale  
As Noted

date  
May 6, 2022

no. 6 of 16

Sheet No.

A5

Project #2006

SITE	
S1	AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 4" OF TOPSOIL. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
S2	UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER. LEVELLING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
S3	TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
S4	EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S5	SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
S6	POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
S7	REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
S8	TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
S9	ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
S10	REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
S11	REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT AND REMOVE ALL DEBRIS. PROVIDE 2" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
S12	REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DROPT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
S13	REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
S14	REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF	
R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

#### ARCHITECTURAL

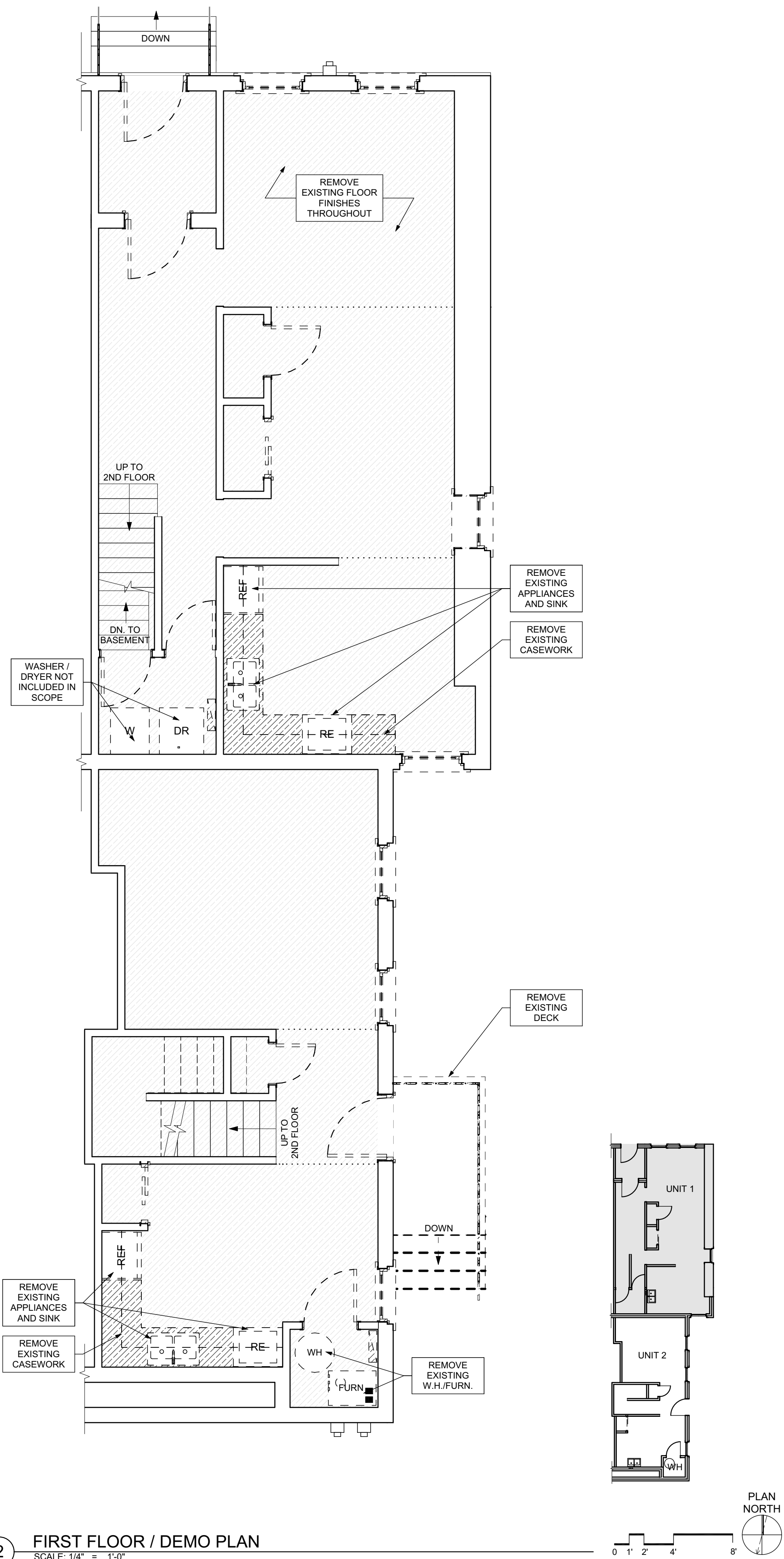
A1	REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
A2	IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
A3	BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
A4	RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A5	LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
A6	WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
A8	SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
A9	EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A11	ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRANDING. 2X4'S. SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
A14	UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB-FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
A15	ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
A16	SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
A18	NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

#### PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE AT EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

#### MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

M1	PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3	INSPECTION CONDUCTED. RECOMMENDS ADDING DUCTWORK IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO CONNECT TO DRILL OR FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. CONNECT TO DUCTWORK. FURNACE WITH CORRECT SIZING AS NECESSARY.



1 BASEMENT / DEMO PLAN  
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR / DEMO PLAN  
SCALE: 1/4" = 1'-0"

#### GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS, DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED. TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW. CREATE CLEAN BREAK FOR FUTURE PATCHING
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

#### DEMOLITION PLAN LEGEND

	DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
	DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
	FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

#### SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

#### GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING



- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

SECOND FLOOR / DEMO PLAN,  
THIRD FLOOR / DEMO PLAN,  
SECOND FLOOR / KEY PLAN,  
THIRD FLOOR / KEY PLAN,  
GENERAL DEMOLITION NOTES,  
DEMOLITION PLAN LEGEND,  
SMALL UNIT KEYNOTES,  
GRAPHIC SCALES

scale  
As Noted

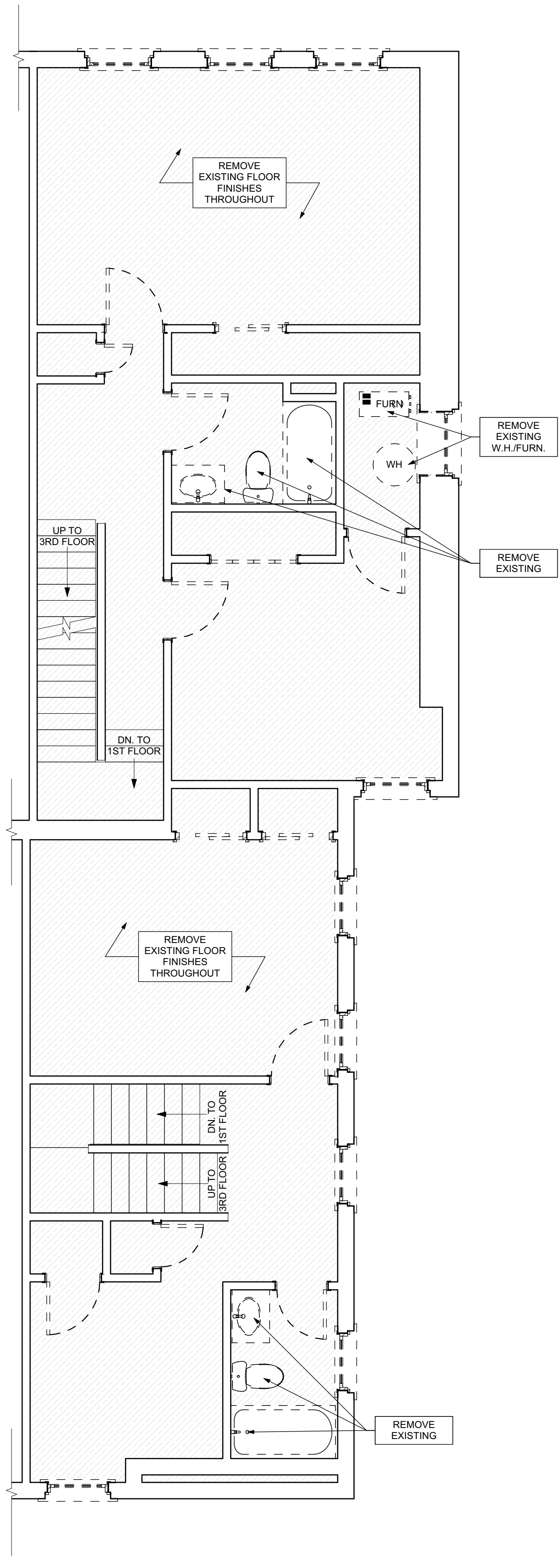
date  
May 6, 2022

no.  
7 of  
16

Sheet No.

A6

Project #2006

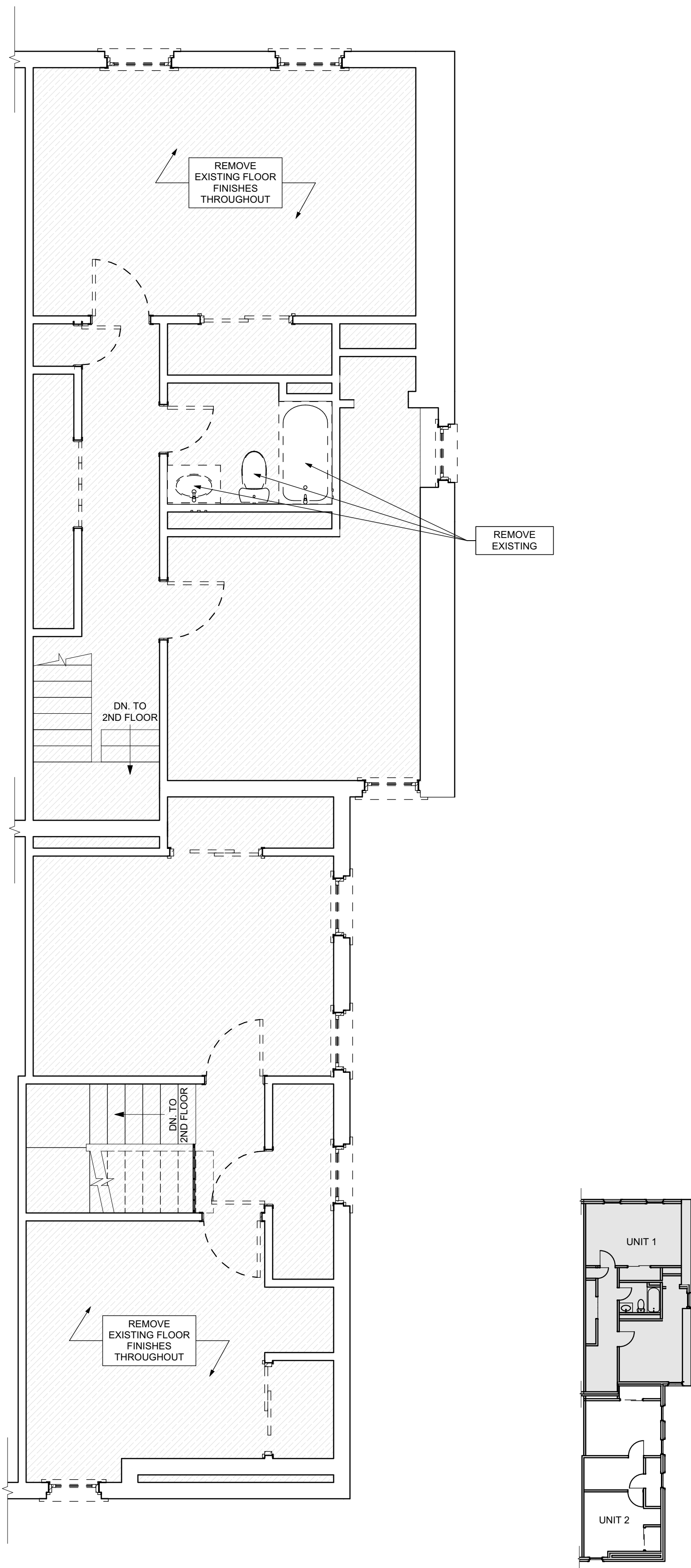


1 SECOND FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA. TAKE CARE TO PROTECT FROM DUST, DIRT, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS, DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED, TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW. CREATE CLEAN BREAK FOR FUTURE PATCHING
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.



2 THIRD FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

- DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REPLACE DISPERSED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBSTRUCTED CLOSURE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRANDING. 2X4" SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST. REFER TO SPECIFICATIONS FOR DETAILS.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE AT EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO CONNECT TO DRILL OR FURNACE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK TO NETWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** if any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

**BASEMENT/FINISH/MECH./PLUMB.  
B. PLAN, FIRST  
FLOOR/FINISH/MECH./PLUMB.  
PLAN, BASEMENT / KEY PLAN,  
FIRST FLOOR / KEY PLAN, FLOOR  
PLAN LEGEND, GRAPHIC  
SCALES, SMALL UNIT KEYNOTES**

scale  
As Noted

date  
May 6, 2022

no.

8

of.

16

Sheet No.

A7

Project #2006

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 12" REPAIR DISTURBED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALKS AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

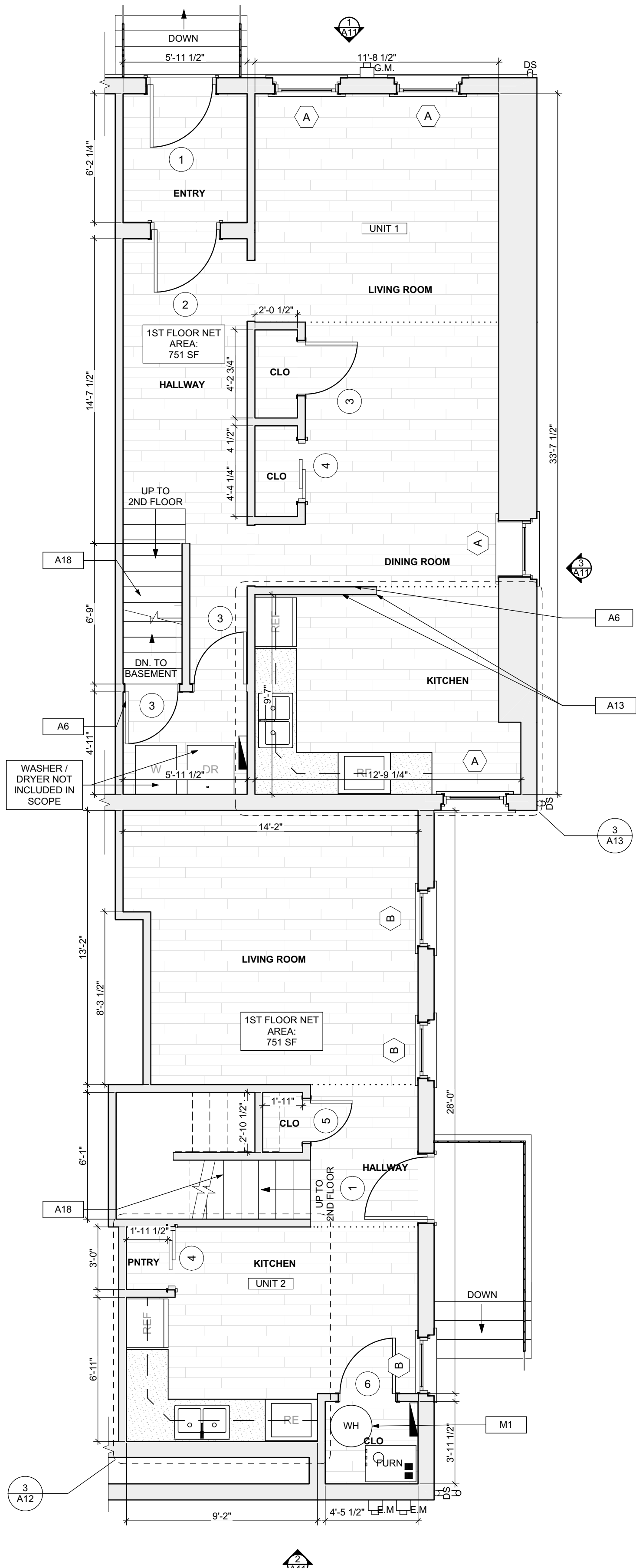
- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNINTERRUPTED CLOSURE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW 6"X12"X22" SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO MEASURE. ADDITIONAL DEHUMIDIFIERS ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



2 FIRST FLOOR/FINISH/MECH./PLUMB. PLAN  
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

1 BASEMENT/FINISH/MECH./PLUMB. PLAN  
SCALE: 1/4" = 1'-0"



- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, SMALL UNIT KEYNOTES, SECOND FLOOR / KEY PLAN, THIRD FLOOR / KEY PLAN, FLOOR PLAN LEGEND, GRAPHIC SCALES

scale  
As Noted

date  
May 6, 2022

no.

9

of.

16

Sheet No.

A8

Project #2006

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING 12" OF SLOPE. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 12" REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2" WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

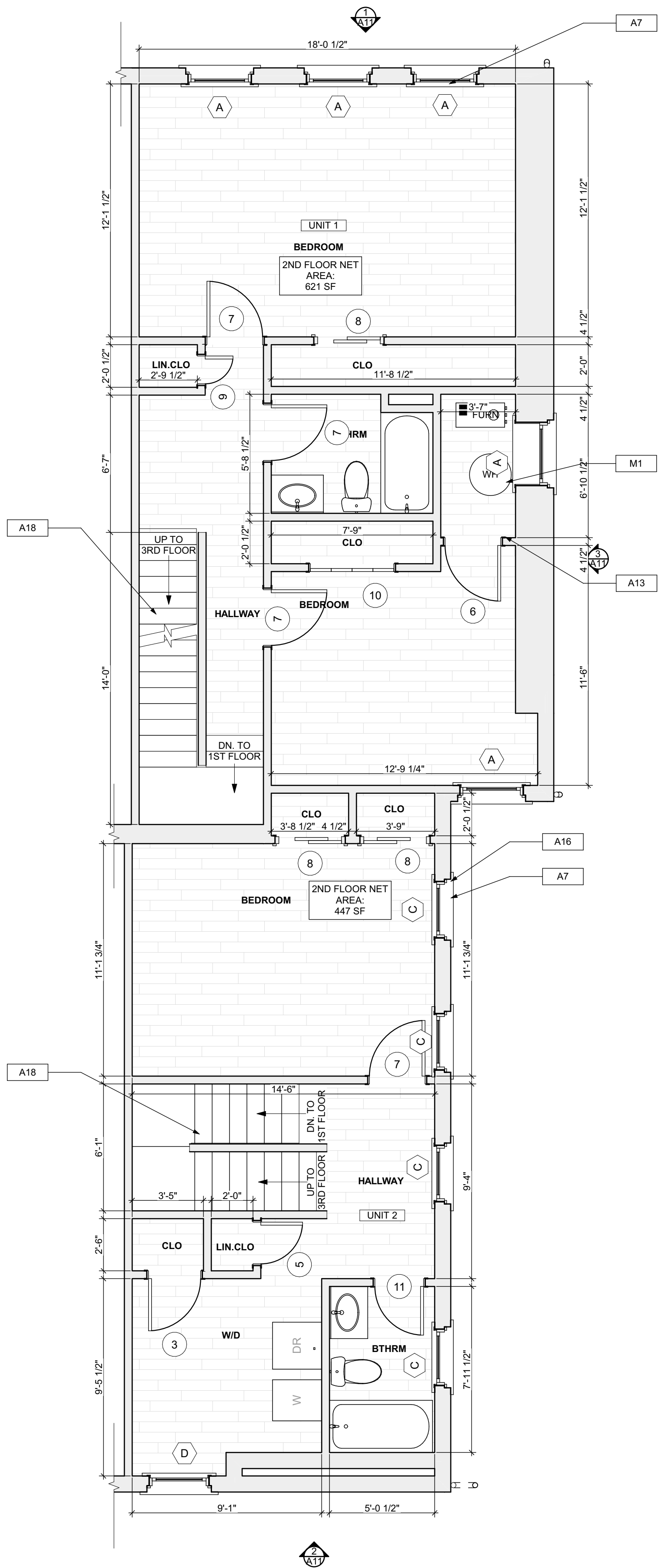
- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBTSTRUCTED CLOSURE OF DOOR. REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW 8"X12"X24" SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

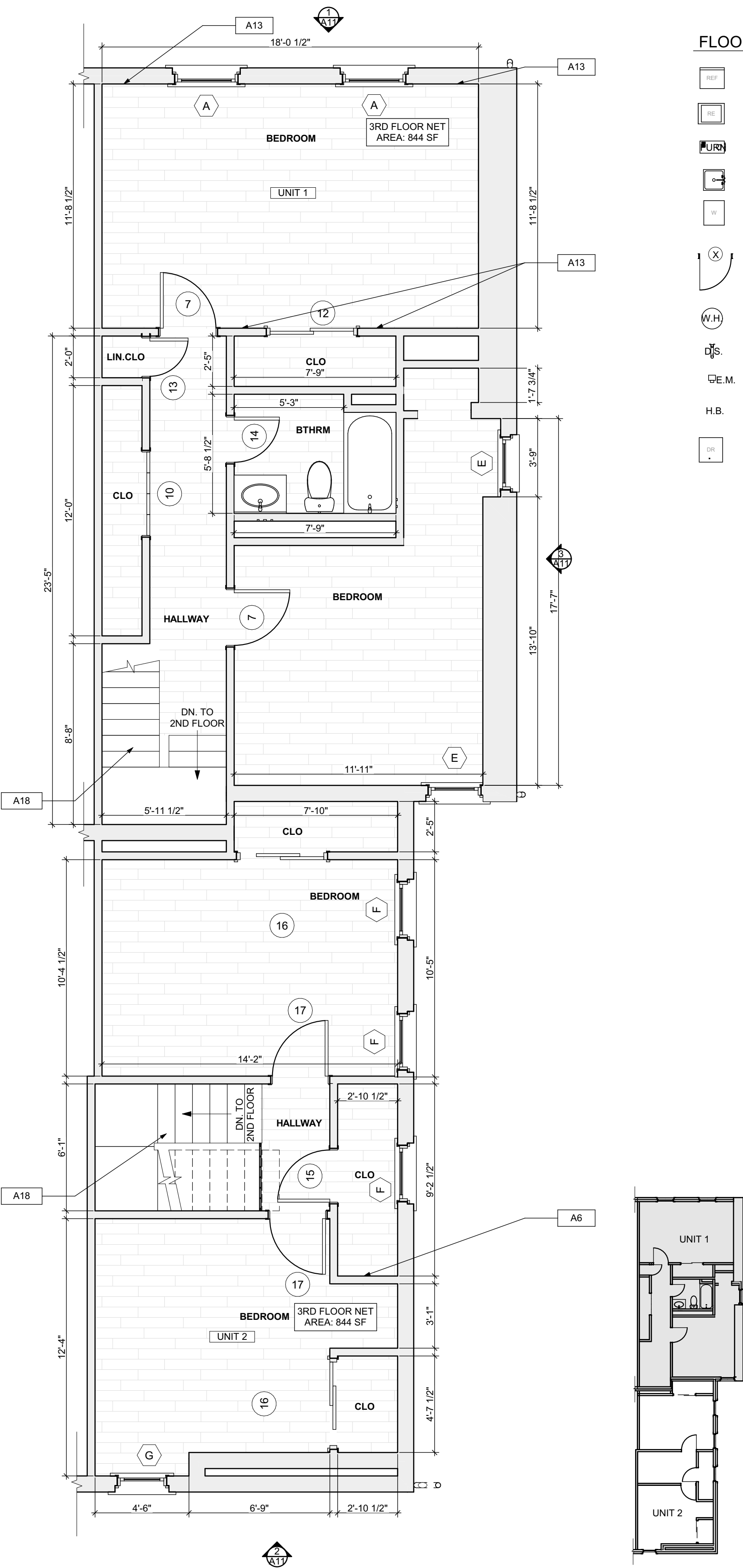
- NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- INSPECTION CONDUCTED. RECOMMENDS ADDING DEMOLITION SPACE TO MITIGATE MOISTURE. CONTRACTOR TO REMOVE MOISTURE. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



1 SECOND FLOOR/FINISH/MECH./PLUMB. PLAN  
SCALE: 1/4" = 1'-0"



2 THIRD FLOOR/FINISH/MECH./PLUMB. PLAN  
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

BSMT. REFL. CLG/ POWER / DATA  
PLAN, FIRST FLOOR REFL. CLG. /  
POWER / DATA PLAN, BASEMENT  
/ KEY PLAN, FIRST FLOOR / KEY  
PLAN, GRAPHIC SCALES, RCP  
LEGEND, LIGHTING SCHEDULE,  
SMALL UNIT KEYNOTES

scale  
As Noted

date  
May 6, 2022

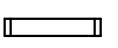

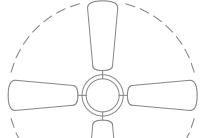
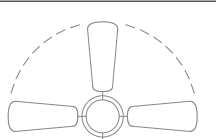
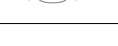
no.  
10

of.  
16

Sheet No.

A9

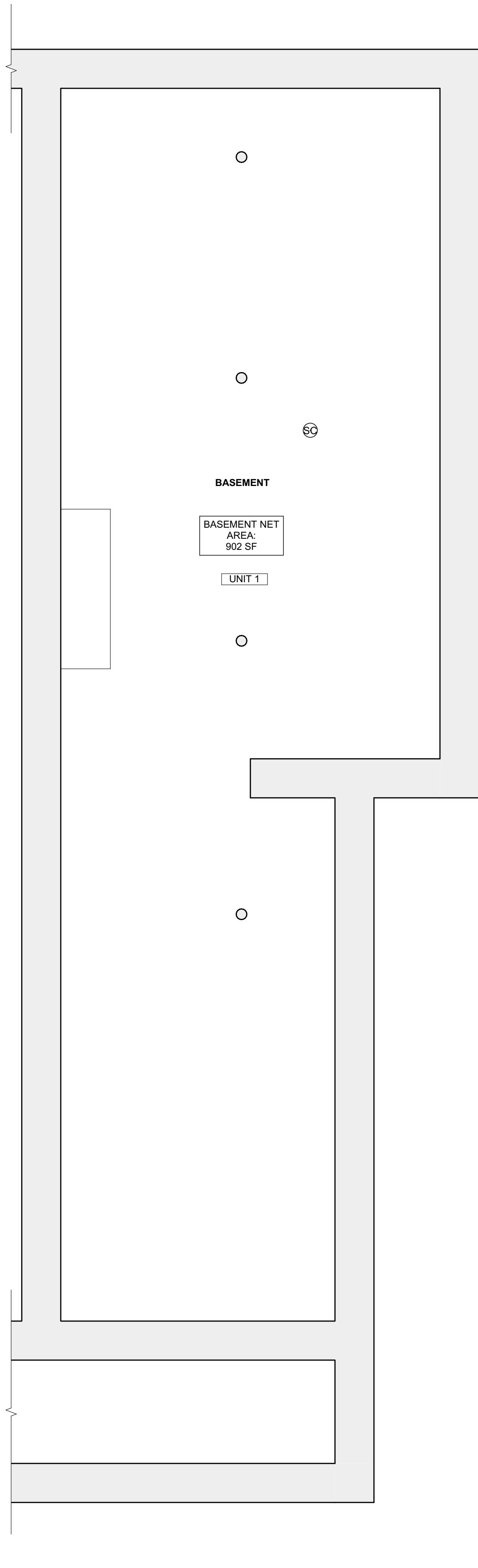
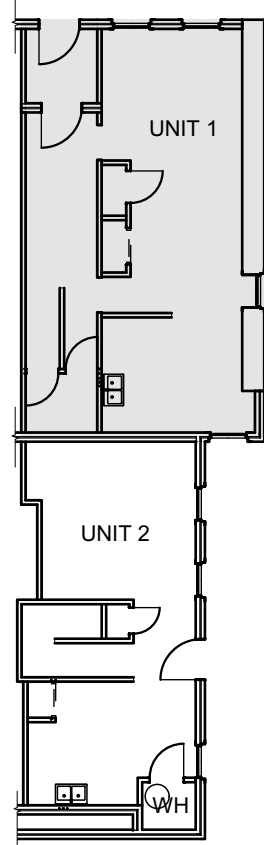
Project #2006

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Light Vanity Light Nickel	Model # 45922NLL18	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model # 8112VH	7
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	7
	I	Hung Pendant Light	KICHLER 42141CHCLR - Everly - 1-Light Medium Pendant with Transitional Style 15.25 inches Tall by 10.5 inches Wide	Item # 42141CH CLR	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

#### RCP LEGEND - (See Specifications for basis of Design)

- Ⓢ SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- Ⓢ SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- Ⓢ ELECTRICAL METER
- Ⓢ THERMOSTAT
- Ⓢ DATA RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- Ⓢ ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- Ⓢ GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ GROUND FAULT CIRCUIT INTERRUPTER
- Ⓢ LIGHT SWITCH
- Ⓢ EXHAUST FAN
- Ⓢ DOORBELL
- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST



1 BSMT. REFL. CLG/ POWER / DATA PLAN  
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN  
SCALE: 1/4" = 1'-0"

#### SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

#### GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.



- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

SECOND FLOOR REFL. CLG. /  
POWER / DATA PLAN, THIRD  
FLOOR REFL. CLG. / POWER /  
DATA PLAN, BASEMENT / KEY  
PLAN, FIRST FLOOR / KEY PLAN,  
GRAPHIC SCALES, SMALL UNIT  
KEYNOTES, RCP LEGEND,  
LIGHTING SCHEDULE

scale  
As Noted

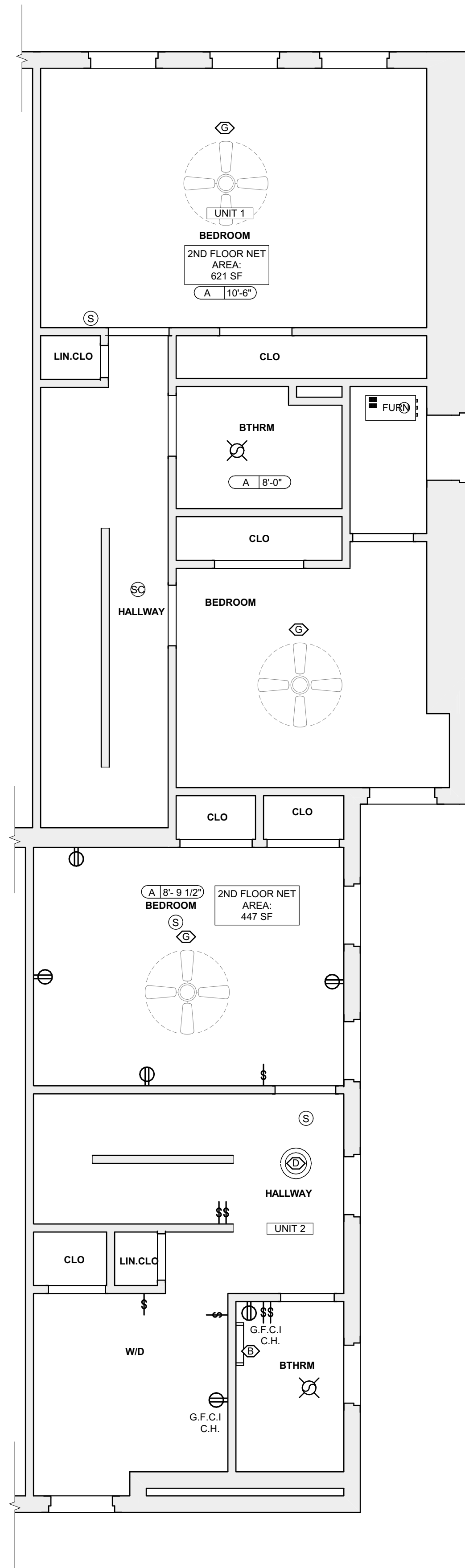
date  
May 6, 2022

no. 11 of. 16

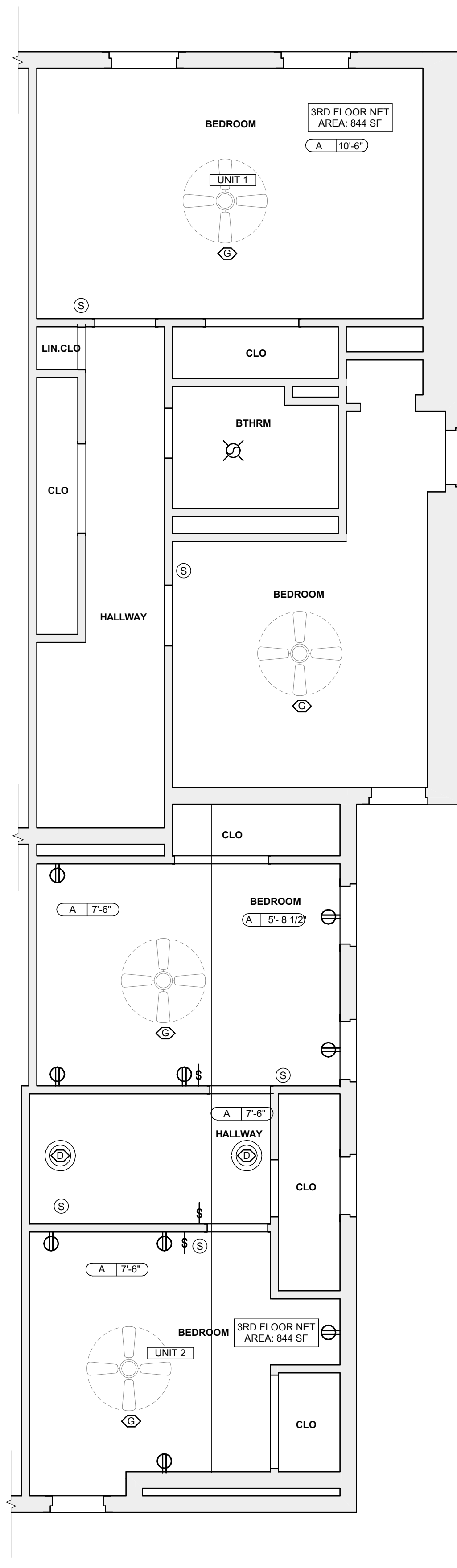
Sheet No.

A10

Project #2006



1 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN  
SCALE: 1/4" = 1'-0"



2 THIRD FLOOR REFL. CLG. / POWER / DATA PLAN  
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

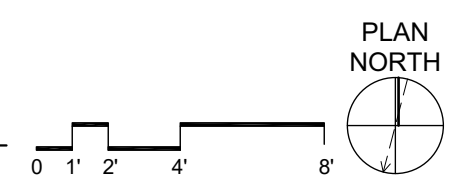
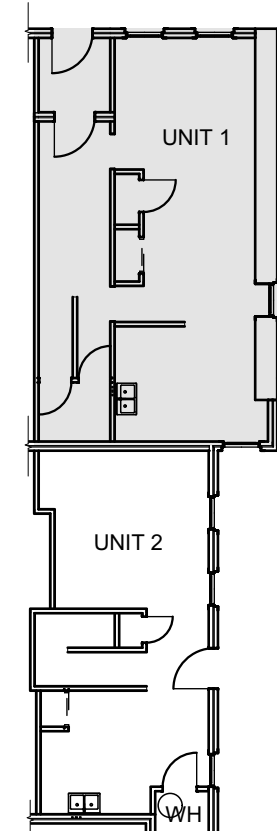
ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS. MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	B	Short Bathroom Light Bar - Replacement: Vanity Light	KICHLER Joelson 2 Nickel	Model # 45922NIL 18	1
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model # 8112VH	7
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	7
	I	Hung Pendant Light	KICHLER 42141CHCLR - Everly - 1-Light Medium Pendant with Transitional Style 15.25 inches Tall by 10.5 inches Wide	Item # 42141CH CLR	2

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

RCP LEGEND - (See Specifications for basis of Design)

- S SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- SC SMOKE/ CARBON MONOXIDE COMBO DETECTOR
- EM ELECTRICAL METER
- T THERMOSTAT
- DR DATA RECEPTICAL, 18" A.F.F. U.O.N.
- ER ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- EG ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- GF GROUND FAULT CIRCUIT INTERRUPTER
- GF GROUND FAULT CIRCUIT INTERRUPTER
- LS LIGHT SWITCH
- EF EXHAUST FAN
- DB DOORBELL
- A X'-X" GWB CEILING / CEILING HEIGHT
- B X'-X" UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST



SITE

- S1 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALKWAY. POUR CONCRETE TO TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 10' REPAIR DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG OUT EXISTING WINDOW SILL. PROVIDE 9" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE. DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- S13 REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPROPRIATE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NEEDED. REFER TO SPECIFICATIONS FOR DETAILS.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDISTURBED CLOSURE OF DOOR. REPAIR DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDING JACK. SPRING FOOTING AND APRIL SCALE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DUCTWORK IN SPACE TO MITIGATE MOISTURE. CONTAMINANTS WITHIN MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

NORTH ELEVATION, SOUTH  
ELEVATION, EAST ELEVATION,  
GRAPHIC SCALES, HISTORIC  
KEYNOTES, SMALL UNIT  
KEYNOTES

scale  
As Noted

date  
May 6, 2022

no. 12 of. 16

Sheet No.

A11

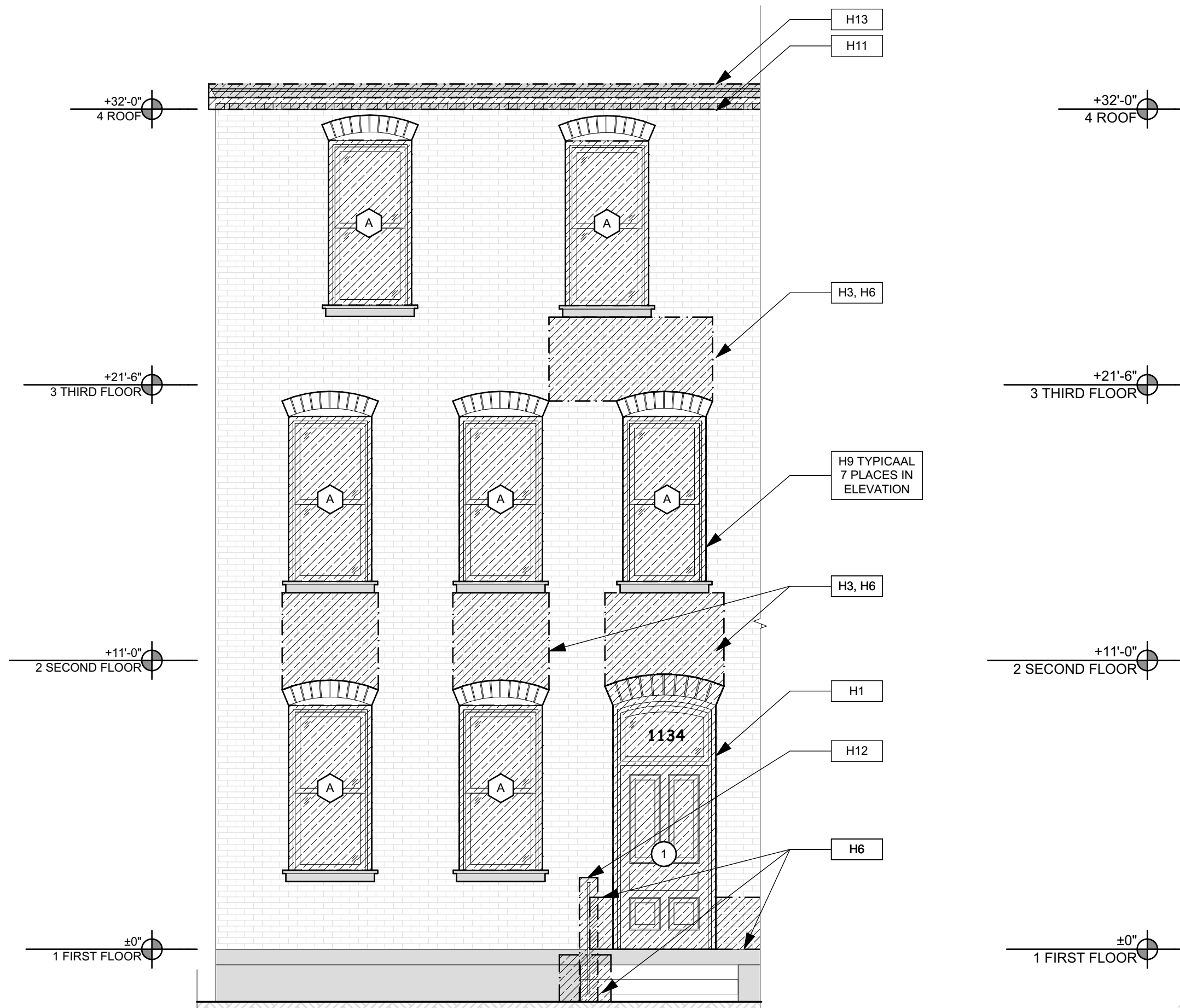
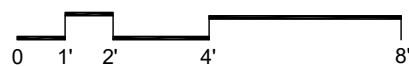
Project #2006

HISTORIC

- [H1] MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10.
- [H2] ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIFICATIONS. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTION WATER AWAY FROM THE WALL MATERIALS.
- [H3] IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- [H4] INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- [H5] CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW UNITS. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE UNITS WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- [H6] RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TONING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- [H7] REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- [H8] REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS. RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- [H9 - TYP. X] ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND FRAME ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND UNITS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS)
- [H10 - TYP. X] IN THESE LOCATIONS PRESERVE EXISTING WINDOW WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS)
- [H11] IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL, SCAPE, TREAT AND RE-PAINT REPAIRING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- [H12] IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAIR METAL FEATURES PER PAINT SPECIFICATIONS.
- [H13] AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- [H14] AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- [H15] AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP. SLOPED TO DRAIN. (SEE SPECIFICATIONS)

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

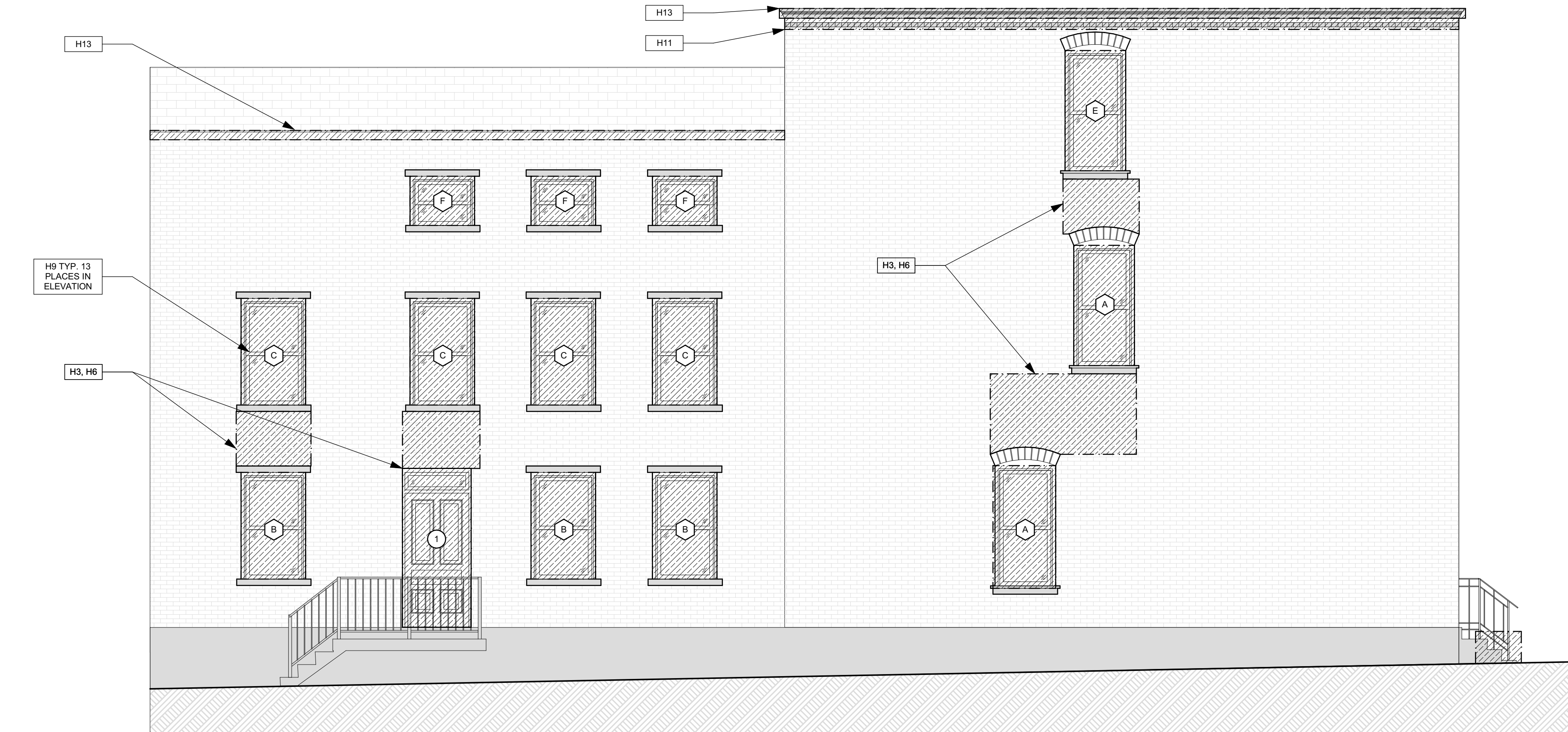


1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



3 EAST ELEVATION

SCALE: 1/4" = 1'-0"



seal

## general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

## revisions

ISSUED FOR PERMIT: 05.06.2022

## project title

## Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

## Project Location:

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

## drawing title

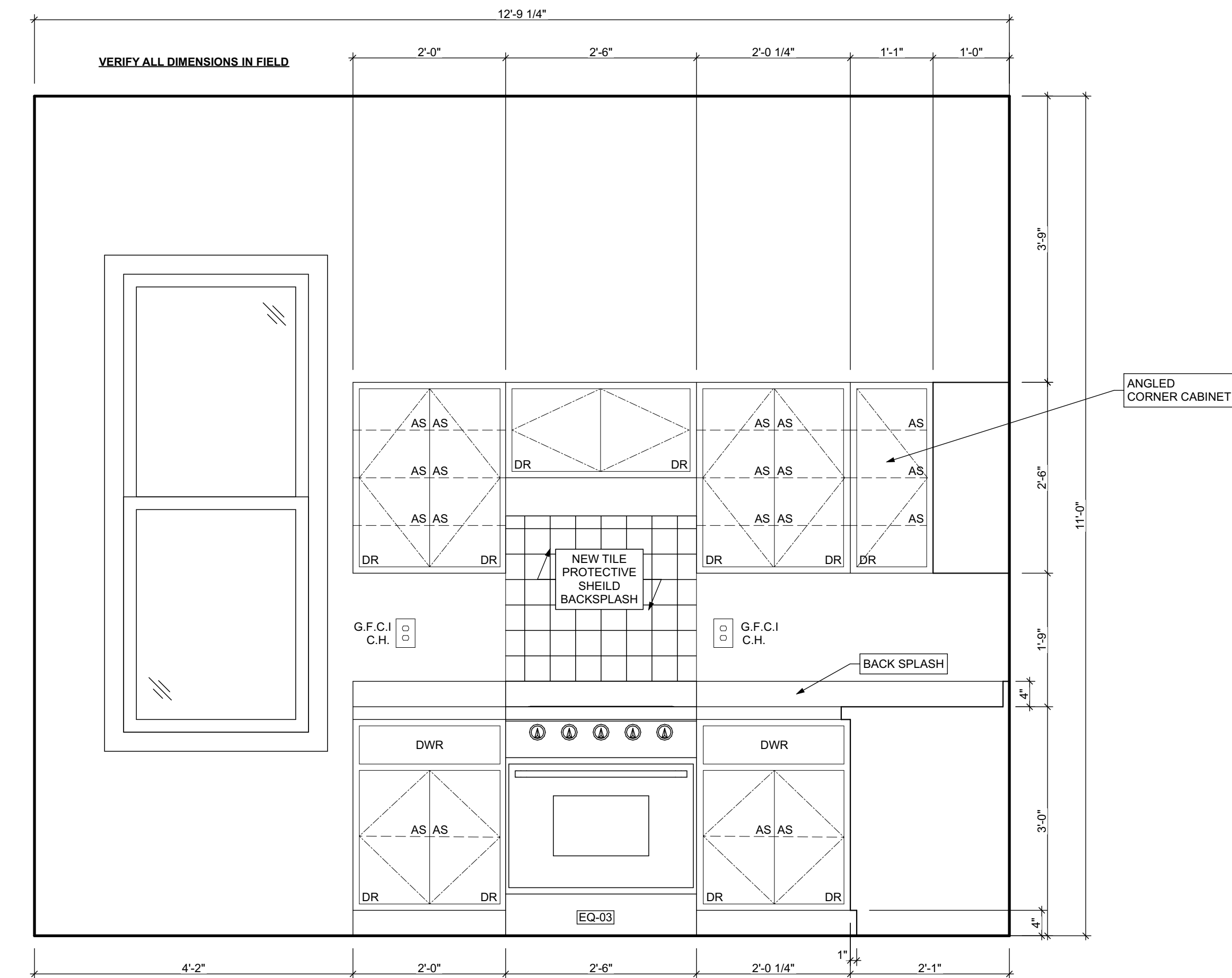
UNIT 1 KITCHEN ELEVATION 01,  
UNIT1 KITCHEN ELEVATION 02,  
UNIT 1 KITCHEN ENLARGED  
PLANscale  
As Noteddate  
May 6, 2022

no. 13 of. 16

## Sheet No.

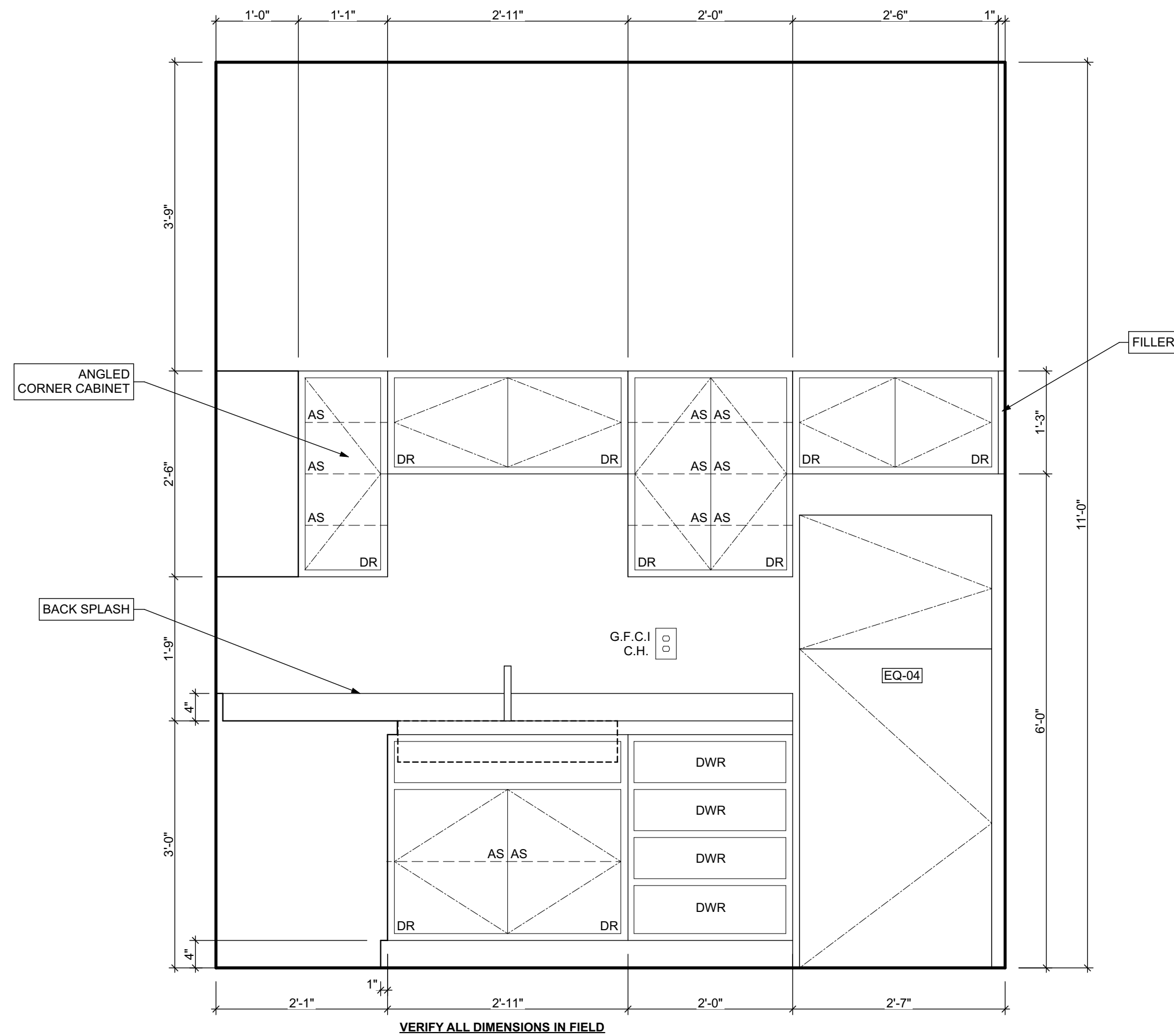
A12

Project #2006



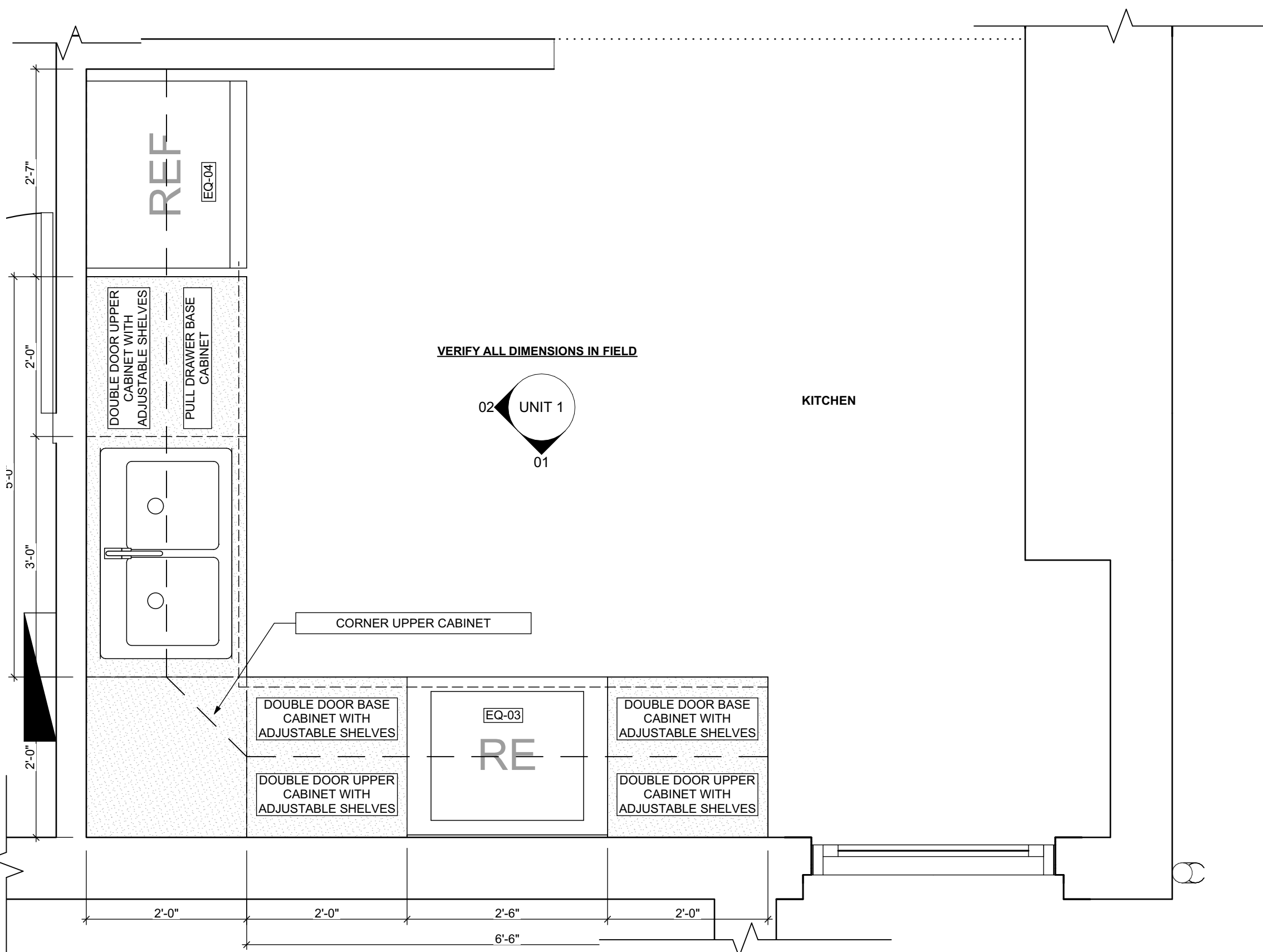
UNIT 1 KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"



UNIT1 KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"



UNIT 1 KITCHEN ENLARGED PLAN

SCALE: 3/4" = 1'-0"

BATHROOM ACCESSORY SCHEDULE				
ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES	
MIRROR	3	Eviva Steek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location	
MEDICINE CABINET	0	Kohler Maxstow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location	
TOWEL BAR	3	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary	
TOILET PAPER HOLDER	3	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary	
TOWEL RING	3	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary	
WALL MOUNTED SOAP HOLDER	3	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary	

MECHANICAL EQUIPMENT SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	-	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VFC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® XE power direct vent	Refer to plumbing specifications for sizing

MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

APPLIANCE SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

PLUMBING SCHEDULE					
ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	2	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	2	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
(WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	3	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	3	KOHLER	K-31621-0	Cimaron white elongated comfort height 2-piece watersense toilet. 12" rough-in size (ADA Compliant)
SHOWER	-	0	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	3	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	3	MOEN	T268E3P / T8342EP15	Voss Chrome 1-Handle Handle(s) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	0	E. L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E. L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/8" * 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	0	KOHLER	KPF-2252CH	Forté Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome
NSF QUALIFIED KITCHEN FAUCET	-	0	KOHLER	K-10433-CP	Forté Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.  
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

## general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, P.C.** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law copyright, and other reserved rights, including the copyright, thereto.

## revisions

ISSUED FOR PERMIT: 05.06.2022

**project title**

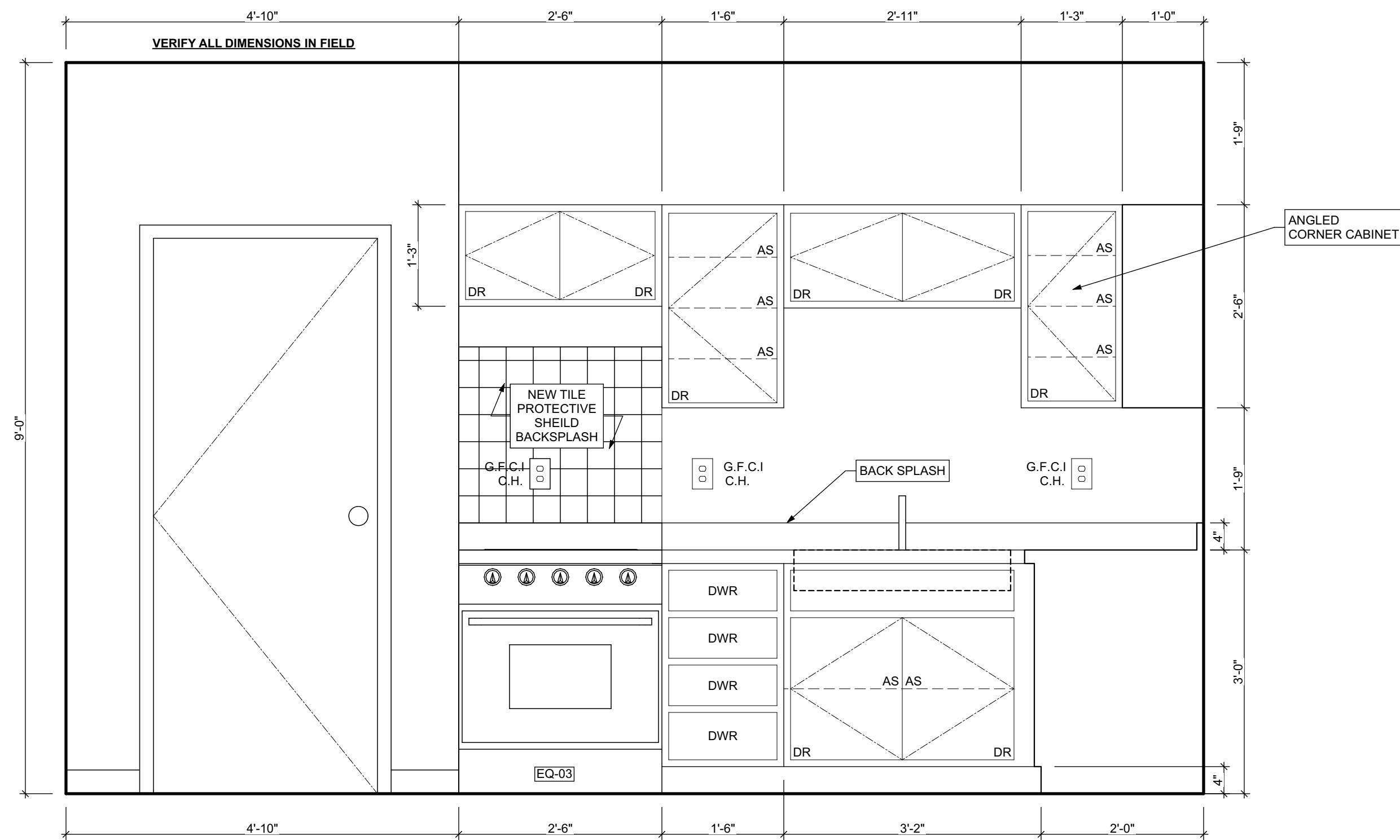
**Owner:**  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**  
MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

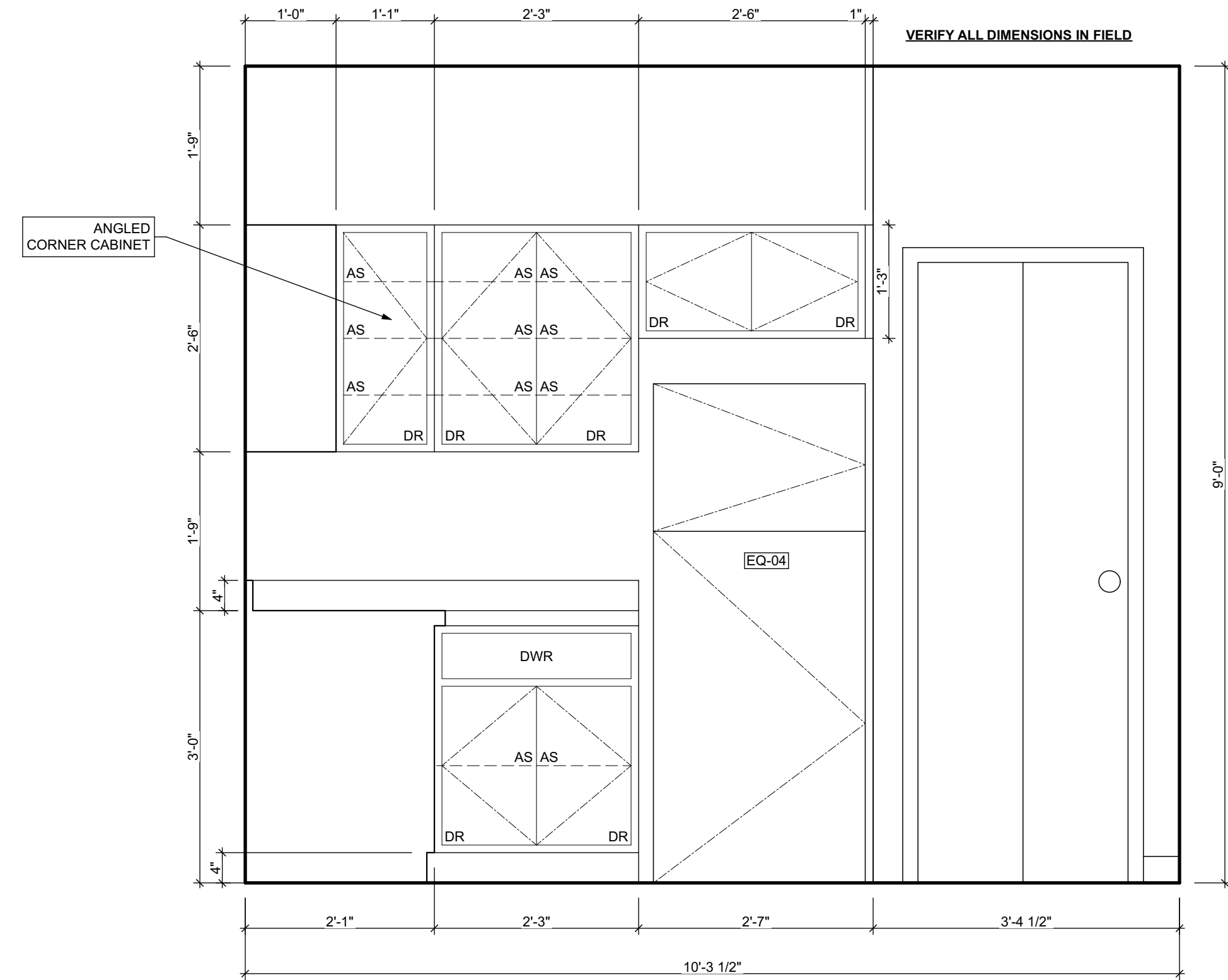
**drawing title**

**UNIT 2 ELEVATION 01, UNIT 2  
ELEVATION 02, UNIT 2 KITCHEN  
ENLARGED PLAN**

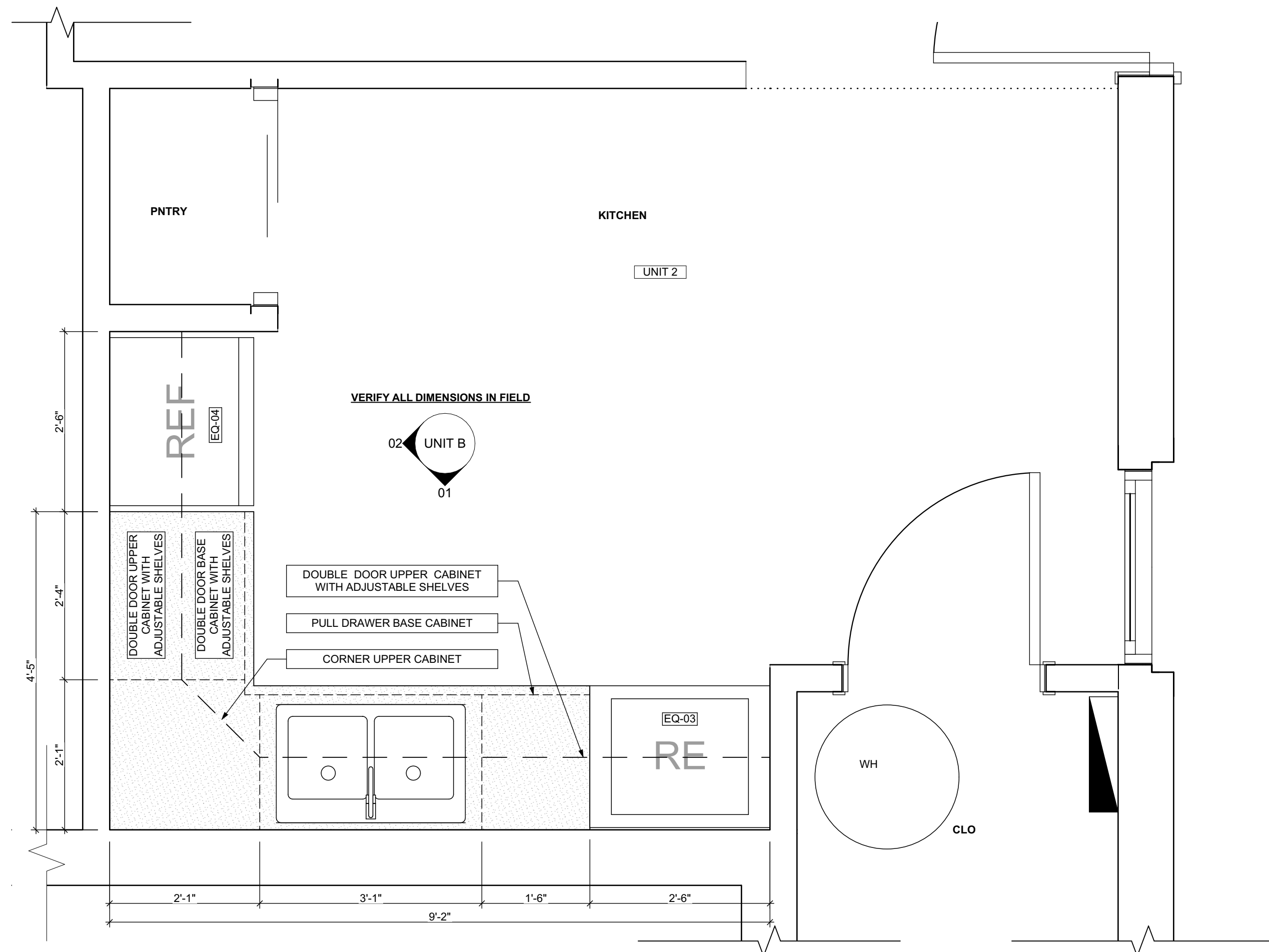
scale As Noted		<b>Sheet No.</b>  <b>A13</b>  Project #2006
date May 6, 2022		
no. <b>14</b>	of. <b>16</b>	



1 UNIT 2 ELEVATION 01  
SCALE: 3/4" = 1'-0"



2 UNIT 2 ELEVATION 02  
SCALE: 3/4" = 1'-0"



3 UNIT 2 KITCHEN ENLARGED PLAN  
SCALE: 3/4" = 1'-0"



seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

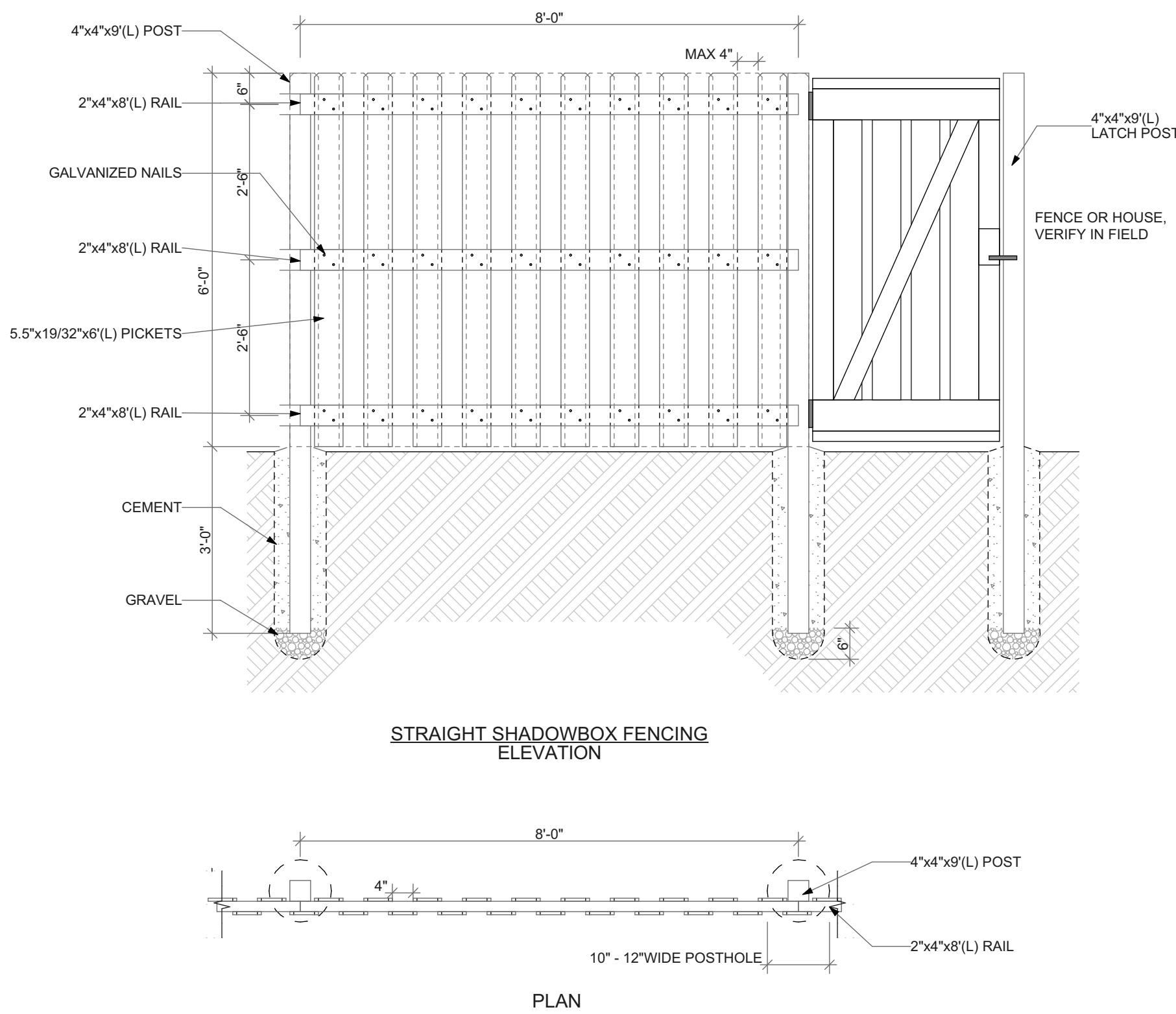
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

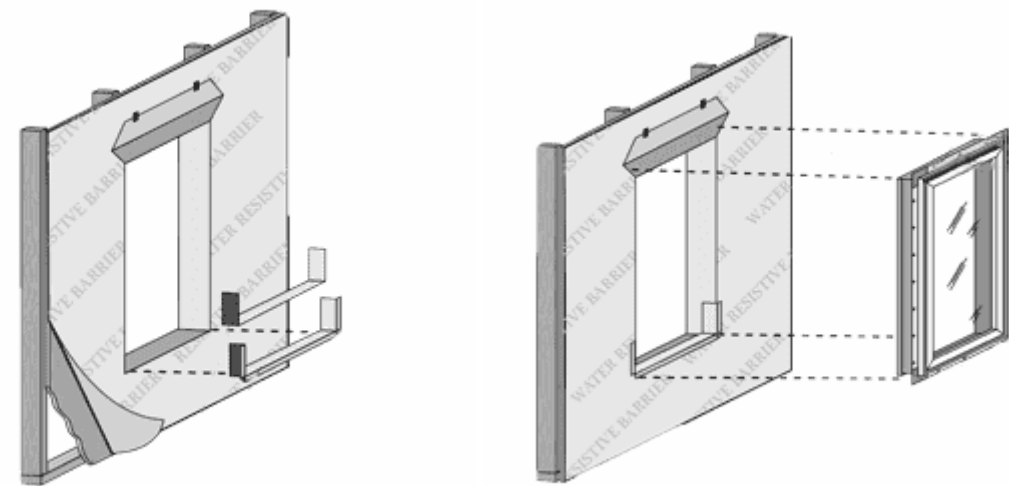
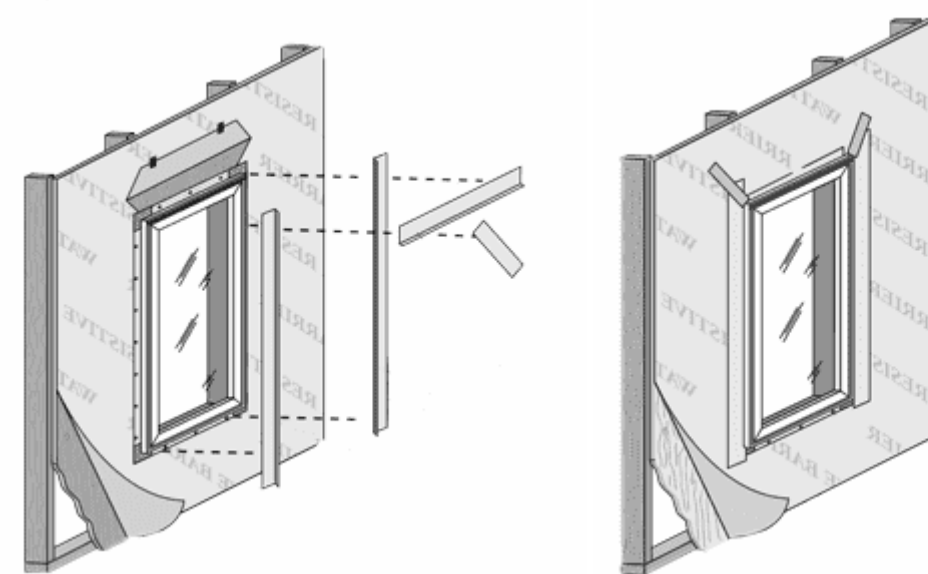
MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

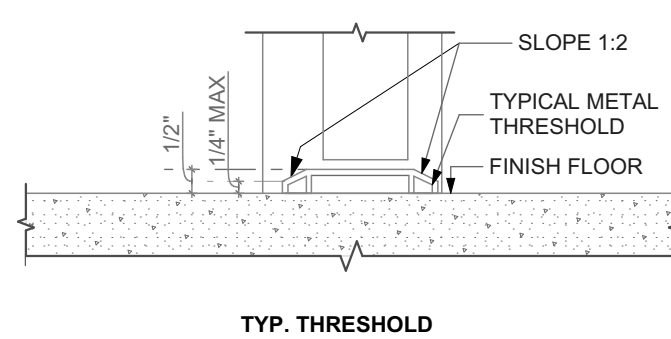
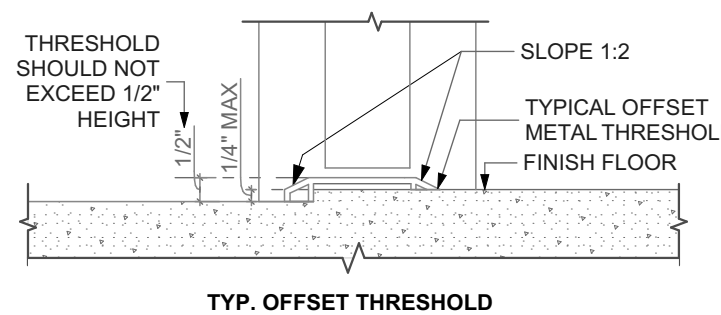
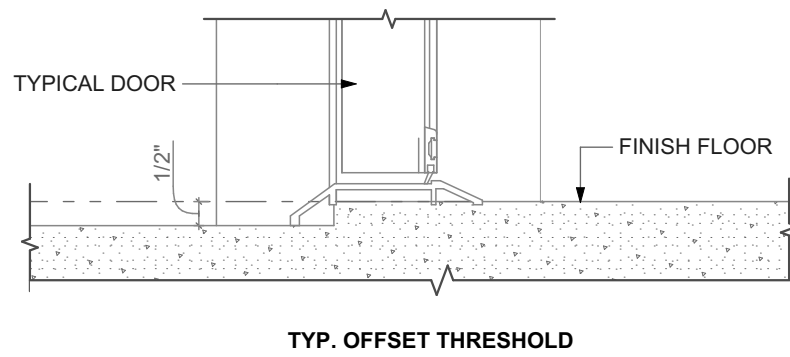
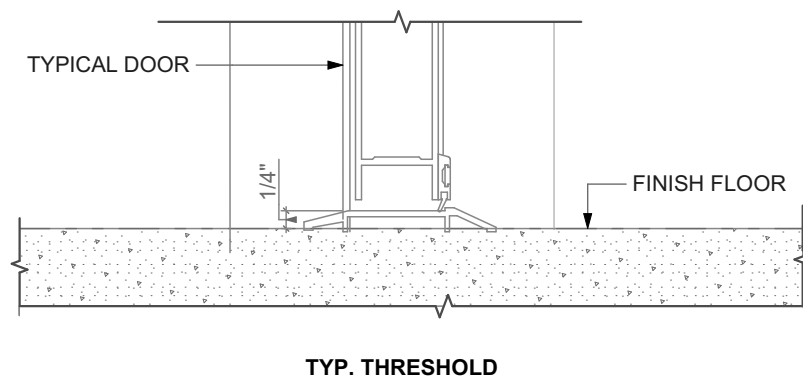
WOOD FENCE DETAIL,  
EXTERIOR DOOR THRESHOLD,  
WINDOW INSTALLATION UNDER  
VINYL SIDING



1 WOOD FENCE DETAIL  
SCALE: 1/2" = 1'-0"



3 WINDOW INSTALLATION UNDER VINYL SIDING  
NOT TO SCALE



2 EXTERIOR DOOR THRESHOLD  
SCALE: 3" = 1'-0"

scale  
As Noted

date

May 6, 2022

no.

15

of.

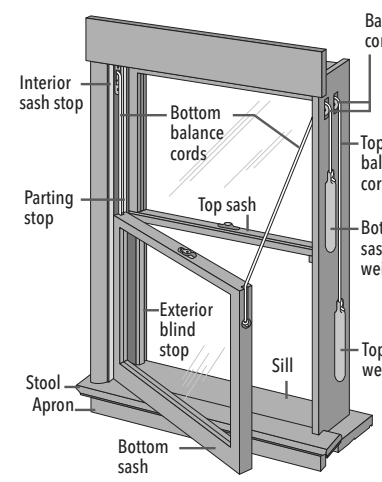
16

Sheet No.

A14

Project #2006

**POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS**  
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

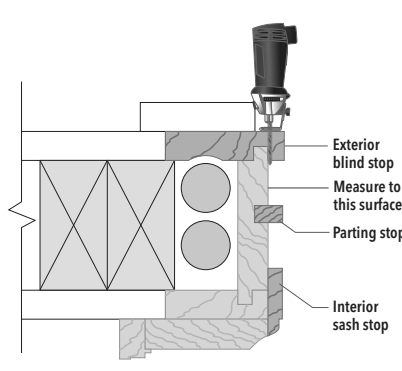


**1 REMOVE THE EXISTING SASHES**

**CAUTION:** Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

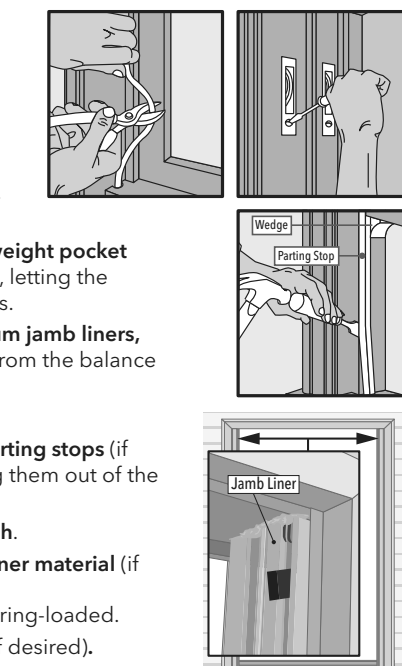
- A. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- B. Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.



- C. Remove the exterior stops at the head and jambs using a chisel, reciprocating saw, roto-tool or equivalent. Cut them flush with the side of the frame.
- D. Carefully remove the upper sash and dispose of it properly.

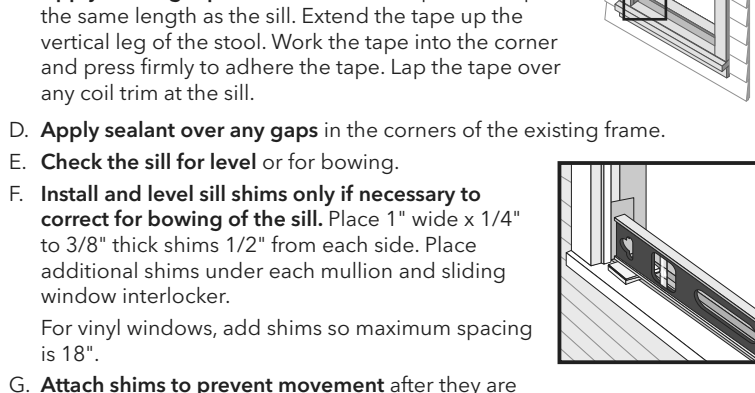
For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.

- E. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
- F. Carefully remove the lower sash.
- G. Remove any remaining jamb liner material (if applicable). Caution: Some balances are spring-loaded.
- H. Insulate the weight chamber (if desired).



**2 PREPARE THE OPENING**

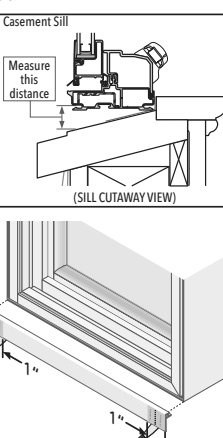
- A. Inspect the existing window frame. Repair or replace any deteriorated parts.
- B. Clean the opening of any dirt, debris or excess old paint. Note: If using aluminum coil exterior trim, apply it now.



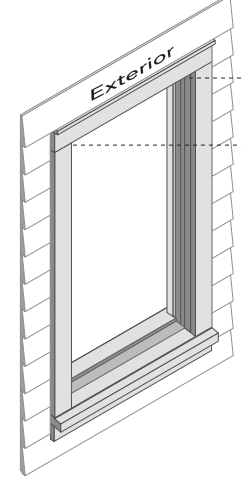
- D. Apply sealant over any gaps in the corners of the existing frame.
- E. Check the sill for level or for bowing.
- F. Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker. For vinyl windows, add shims so maximum spacing is 18".
- G. Attach shims to prevent movement after they are level.

**3 PREPARE THE WINDOW**

- See next page for Sill Adapter illustrations.
- A. Drill pilot holes (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
- B. Dry fit the window in the opening.
- C. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
- D. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
- E. Install the sill adapter. Cut it to length and notch it (if necessary).
- F. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
- G. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.

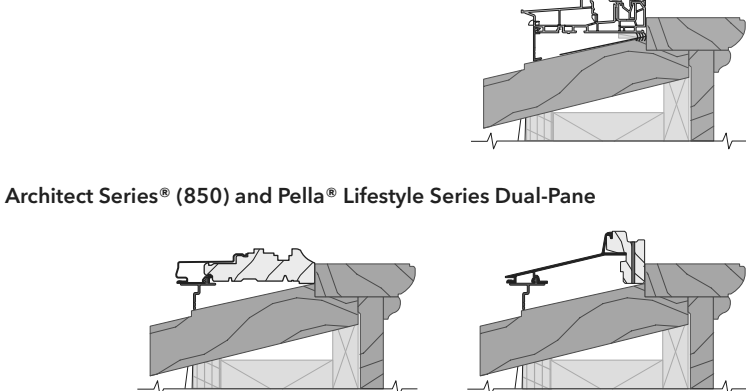


**POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS**  
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

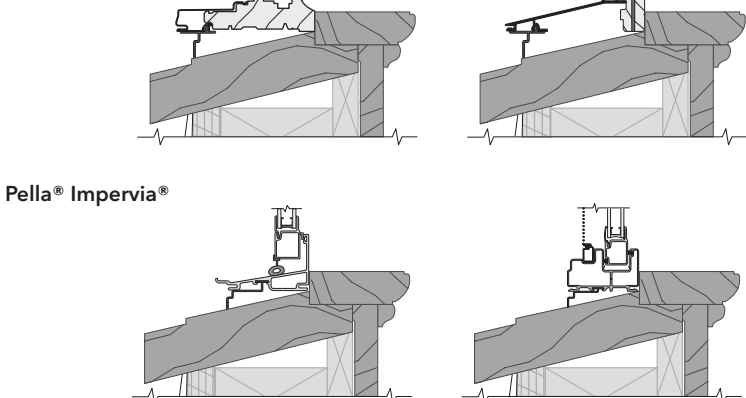


**3 PREPARE THE WINDOW (Continued)**

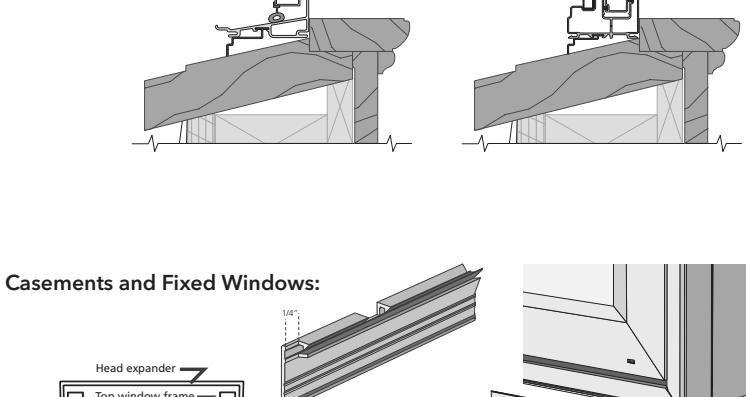
Pella® 350 Series



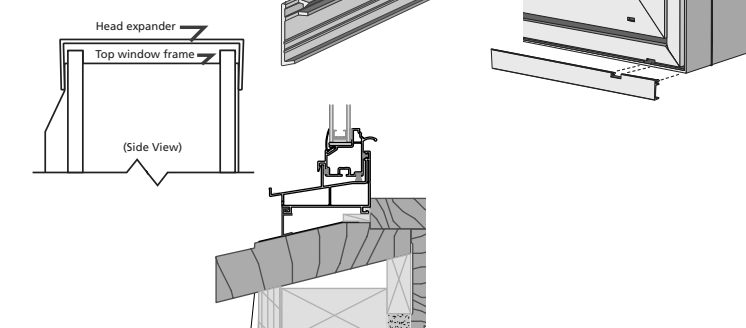
Architect Series® (850) and Pella® Lifestyle Series Dual-Pane



Pella® Impervia®



Casements and Fixed Windows:

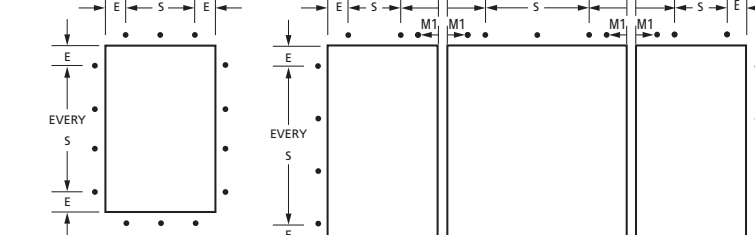


**4 SET AND FASTEN THE WINDOW**

- A. Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- B. Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- C. Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- D. Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes. Refer to the anchoring instructions at the end of this booklet. Ensure the window frame remains fully embedded in sealant.
- E. Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).
- F. Check for plumb, level, square and adjustment. Make any necessary adjustments to shims and finish installing frame screws.
- G. Adjust the screw jacks (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash. Tilt the lower sash inward to locate the jamb jacks in the interior balance channel near the checkrail.
- H. Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.
- I. Install exterior sealant. Refer to the exterior sealant instructions at the end of this booklet.
- J. Install exterior frame expanders at this time (if necessary).

**BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS**

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

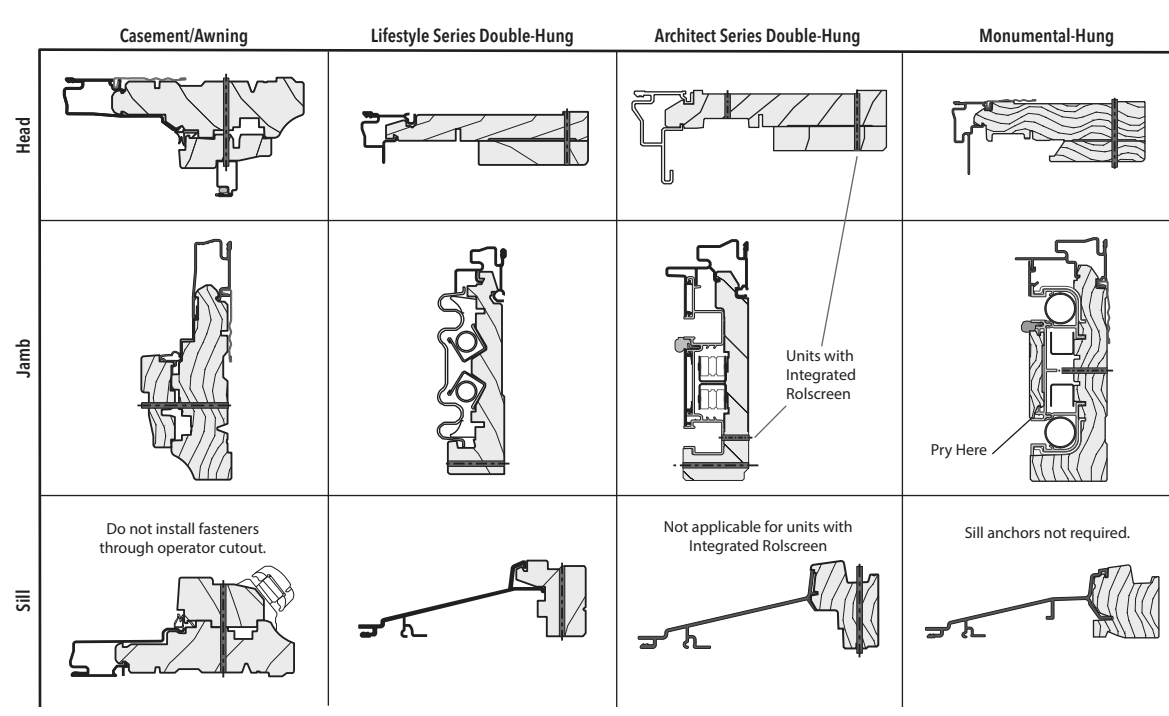
**ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS**

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x2" Finish Screw	
Double- or Single- Hung	6"	16"	3"	6"	#8x2" Finish Screw	For windows with integrated RolcScreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid RolcScreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x2" Finish Screw	
Monumental DH > 54" x 96"	6" (Head)	16" (Head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame for secure clips 3" above and below the checkrail on each jamb. Drive additional screws through the frame for secure clips centered between each jamb liner support clip.

\* M1 anchor required if design pressure exceeds 20 psf.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

**1/8" Pilot Hole Locations**



BFRPF - 17 Revised 07/13/2021 © 2019 Pella Corporation

**BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS**

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

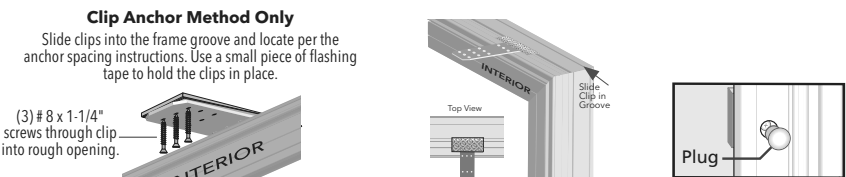
**PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS**

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed Single-Hung	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Installation clips required for anchoring at the sill. Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning - Vent and Fixed	6"	15"			#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).

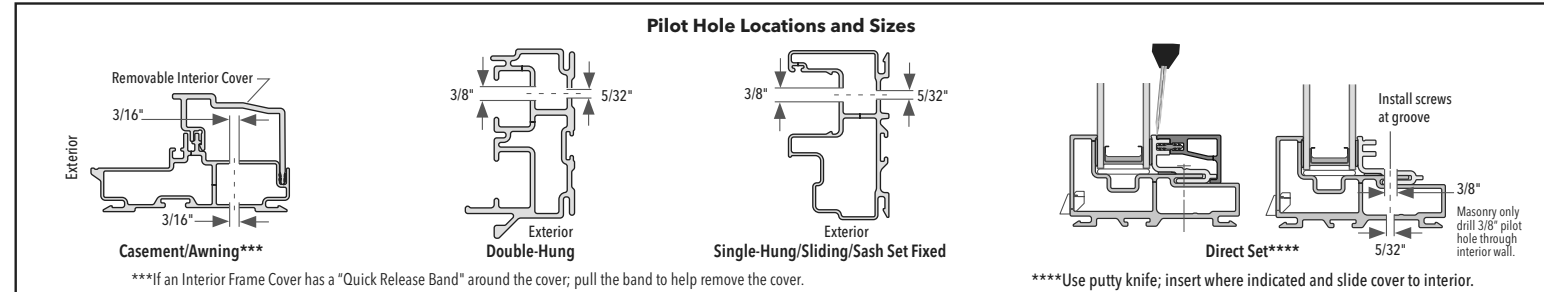
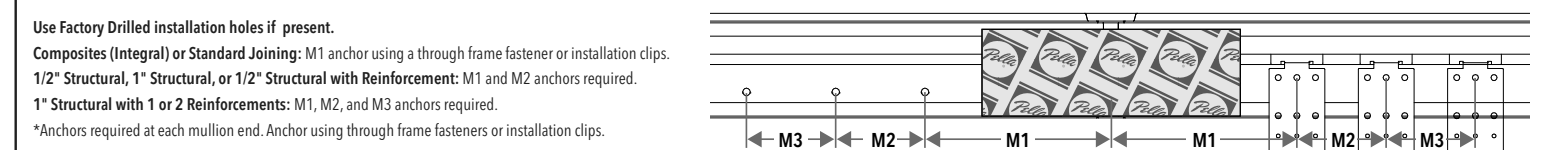
Use Factory Drilled Installation Holes if present.

Install hole stop after driving screws (see CHS and Direct Set).

\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



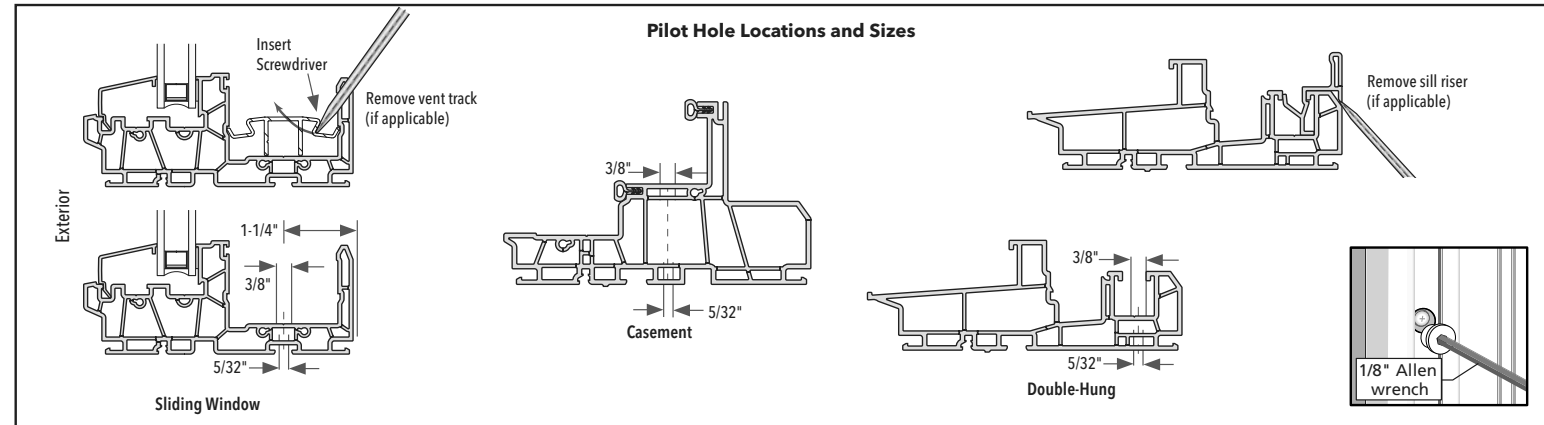
**Mullion Anchoring Diagram**



Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double- and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

\* Use Factory Drilled Installation Holes if present.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



BFRPF - 18 Revised 07/13/2021 © 2019 Pella Corporation

**BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS**

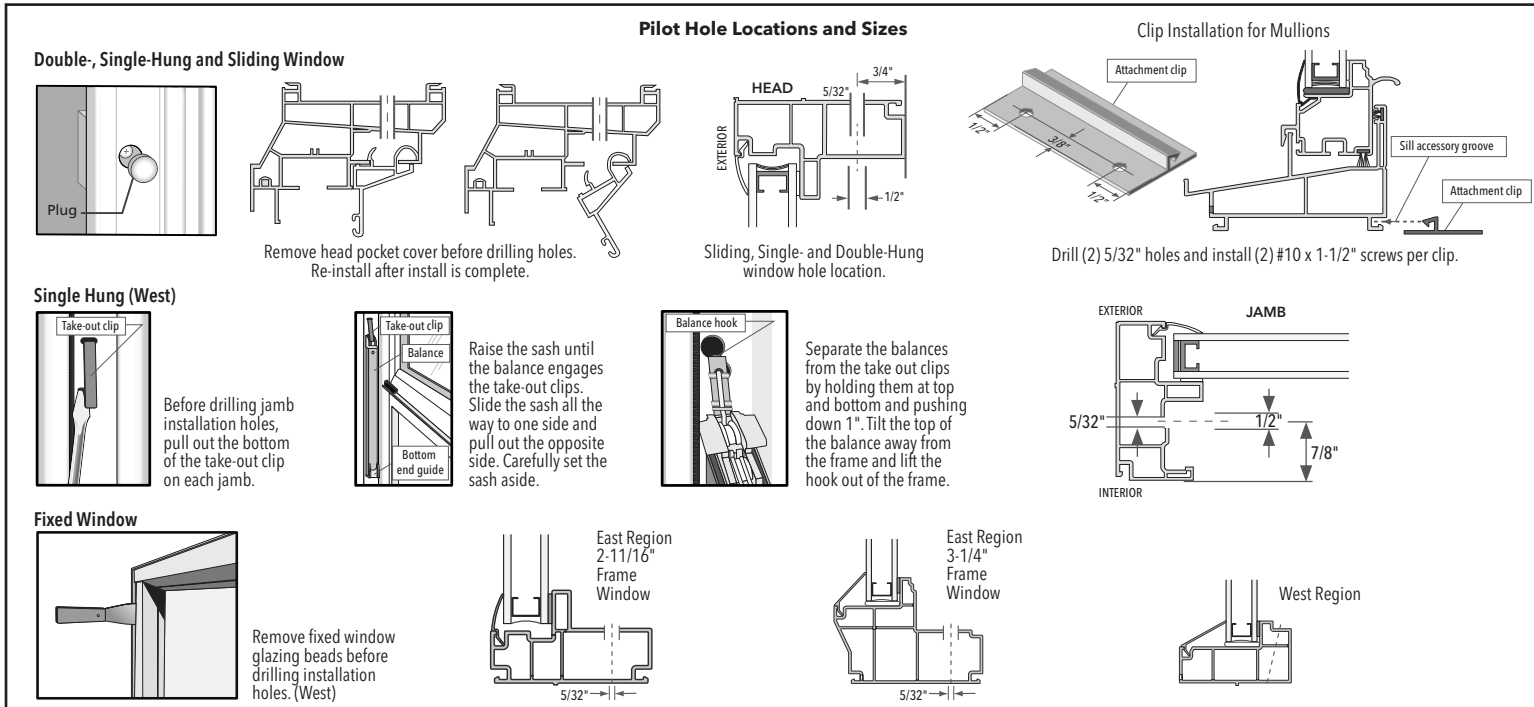
NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

**ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS**

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood***	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single- and Double-Hung (East)	4"	8"	4"	8"	#10 x 2" Pan Head (provided)	High Performance DH (D) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (H) #8 x 2" screws at head mullion ends and 4 clips at sill mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PG50 Performance installs.
Fixed Window	4"	16"	4"	None	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

All venting products: Head and sill anchors are required on composites only.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



**PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS**

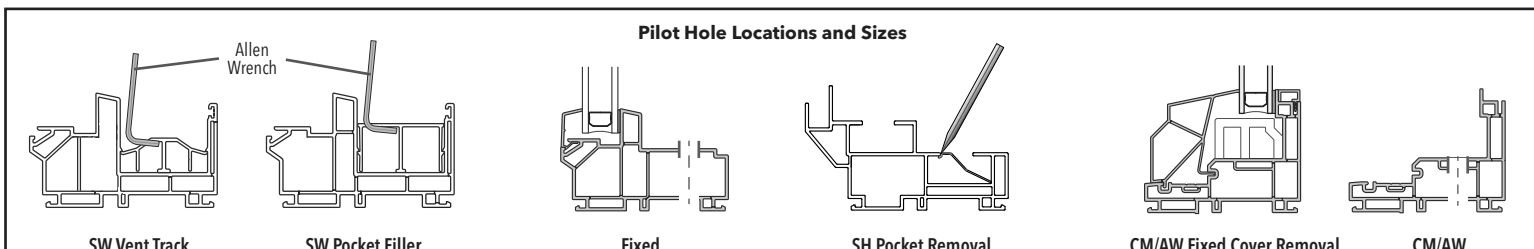
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood***	Special Notes
DH/SW (single units)	Factory Pre-Drilled**				#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes (for a PG50 Performance installs).
DH / SH / FX	4"	16" **	3"	6"	#10 x 2" Pan Head (provided)	
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW & PG50	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW	4"	12"	4"	8"	#10 x 2" Pan Head (provided)	
FX CM/AW	4"	12"	4"	8"	#10 x 2" Pan Head (provided)	

All venting products: Head and sill anchors are required on composites only.

\* Use Factory Drilled Installation Holes if present.

\*\* For DH & SH units > 62" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.

\*\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



BFRPF - 19 Revised 07/13/2021 © 2019 Pella Corporation

**INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS**

**Interior Sealant Instructions**

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

- A. Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- B. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity. NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening.
- C. To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal. Backer rod (if necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.

**For windows set against drywall return or wood interior stops:**

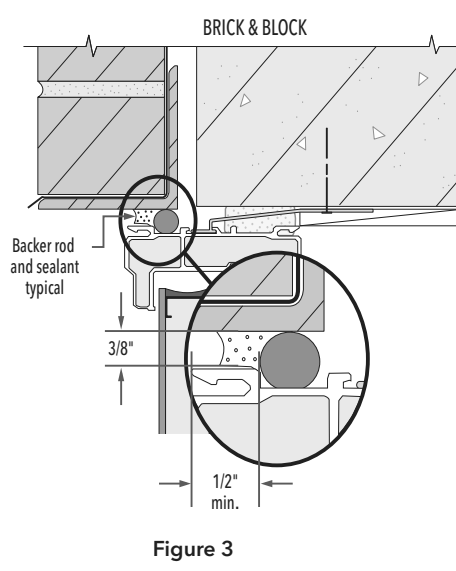
- D. Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam. Note: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.

- E. Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

**Exterior Sealant Instructions**

CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

- A. If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
- B. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- C. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant. NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the interior seal. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).



BFRPF - 20 Revised 07/13/2021 © 2019 Pella Corporation

**Fukui Architects Pc**

205 Ross Street  
Pittsburgh, Pennsylvania 15219  
ph 412.281.6001 fx 412.281.6002

© 2022 Fukui Architects, Pc

**scale**

**general notes**

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

**revisions**

ISSUED FOR PERMIT: 05.06.2022

**project title**

**Owner:**

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**

MANCHESTER SCATTERED SITES  
1134 SHEFFIELD STREET  
PITTSBURGH, PENNSYLVANIA  
15233

**drawing title**

**WINDOW  
REMOVAL/REPLACEMENT  
(PELLA)**

scale  
As Noted  
date  
May 6, 2022  
no.

16 16

**Sheet No.**

A15

Project #2006