

# Fukui Architects Pc

205 Ross Street  
Pittsburgh, Pennsylvania 15219  
ph 412.281.6001 fx 412.281.6002

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scale

## general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

## revisions

ISSUED FOR PERMIT: 05.06.2022

## project title

### Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

## drawing title

### Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

### SELECTION CRITERIA, THRESHOLD CRITERIA, TABULAR SCHEDULE

scale  
As Noted

date  
May 6, 2022

no. of.

1 12

Sheet No.

A0

Project #2006

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

##### Design Architect's/Applicant's Certification Of Selection Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following physical characteristics, design amenities, and other provisions for ranking points consideration. (Initial all that apply.)

##### Development Characteristics

##### Energy Conservation/Green Building

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation and sustainability measures.

##### Smart Site Selection - The development is located on, or is a(n):

- ☐ Brownfield (A former industrial or commercial property on which redevelopment or reuse is complicated by the presence of a hazardous substance, pollutant or contaminant. The presence of lead based paint, asbestos or an underground storage tank does not constitute a Brownfield. The remediation of the environmental hazard must be within the scope of this project to qualify for these points.)
- ☐ Residential Infill (A vacant, but previously developed site or one containing a dilapidated structure that will be demolished, located in an existing developed residential neighborhood or a neighborhood consisting of mixed use residential/commercial properties, where infrastructure for the development is in place or in close proximity. The infill shall be consistent with the type and scale of the neighborhood buildings. If the infill structure is only part of the total project, it must represent at least 51% of the total square footage of the project to qualify for these points. Residential over commercial buildings may qualify for these points if this is consistent with the neighborhood buildings.)
- ☐ Adaptive Reuse (The rehabilitation of an existing vacant non-residential building into residential or residential/commercial space. The residential portion of the rehabilitated building must represent at least 51% of the total residential area of the development.)

##### Certification under a National Green Building Program

- ☐ Enterprise Green Communities - 2020
- ☐ LEED v4 BD+C Homes & Multifamily Low-rise (1-3 stories) - Silver
- ☐ LEED v4 BD+C Multifamily Midrise - Silver OR
- ☐ LEED v4 BD+C New Construction & Major Renovation - Silver (4 stories or more)
- ☐ ICC 700-2020 National Green Building Standard - Silver

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 208

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

This preservation development will achieve certification under one of the green building standards indicated below.

- ☒ Enterprise Green Communities - 2020 Moderate Rehab
- ☐ LEED v4 OM - Multifamily - Certified
- ☐ ICC 700-2020 National Green Building Standard Under Section 305.2 - Whole Building Rating - Bronze
- ☐ ICC 700-2015 National Green Building Standard Under Section 305.4 - Functional Areas Rating - Compliant with Chapter 12 (must include kitchens and bathrooms)

Note: For developments certifying under a National Green Building Program, proof of Project registration/Pre-Build Certification will be required with the Development Submission drawings/specification package.

##### Energy Efficiency Goals (Only one of the following may be selected)

- ☐ The development will meet Passive House certification requirements (nationally or internationally) for energy efficiency as described below. (See [www.phius.org](http://www.phius.org) or [www.assbv.de/en](http://www.assbv.de/en) for additional guidance.)
- ☐ To qualify for these points, the applicant must contract with a qualified Certified Passive House Consultant who will certify the proposal at the time of application to PHFA. This certification shall be based on a completed Passive House Planning Package (PHPP) or WUFI Passive (WPI) energy model showing compliance with the Passive House Institute (PHI) or the Passive House Institute U.S. (PHIUS) standard and shall be based on schematic drawings and specifications, discussions, assumptions and cost estimates agreed to by the development team (developer, architect, engineer, contractor, energy rater, Passive House consultant). Submission of the PHPP or WPI to a Passive House certifying agency is not required at the time of application submission to PHFA. The energy model shall be included in the application accompanied by a brief description of the assumptions made (wall/roof/ceiling construction, insulation levels, mechanical systems, windows, renewable energy systems, etc.). The Passive House consultant shall provide a copy of their Passive House certification and a list of previous experience in Passive House projects, including contact persons and contact information. After awards of PennHOMES funds and/or tax credits have been made, all successful applicants will be required to get a pre-certification from PHIUS or PHI under the normal time frame and procedures, and forward this to PHFA as part of the Design Development drawing & specification submission. During construction all requirements of the certifying Passive House agency shall be inspected by a rater/verifier who was not involved in the building design. At construction completion all tests, verifications and commissioning required by the certifying Passive House agency shall be performed by the rater/verifier. After each site visit by the rater, a report shall be submitted to PHFA. **Passive House certification is required.**

\*Qualified is defined as having completed a minimum of two similar Passive House buildings or an inexperienced certified consultant working under the supervision of a qualified consultant.

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 209

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

The development will increase energy efficiency by achieving certification under the U.S. Department of Energy's Zero Energy Ready Home Program.

Note: Successful Applicants in this category will be required to submit the applicable checklist(s)/Rater report with the Development Submission drawing/specification package.

The development will exceed the energy efficiency requirements of Energy Star Version 3.0, by achieving a reduced HERS index as indicated below. Check the appropriate item.

Successful applicants in this category will be required to submit a preliminary HERS report with the Design Development architectural submission, and a full HERS report certified by the HERS Rater at construction completion.

##### New Construction

- ☐ For 100% electric dwellings/buildings\*: HERS Index of 60 or less (without solar PV)
- ☐ For dwellings/buildings utilizing gas: HERS Index of 50 or less (without solar PV)

##### Substantial Rehab:

- ☐ For 100% electric dwellings/buildings: HERS Index of 70 or less (without solar PV)
- ☐ For dwellings/buildings utilizing gas: HERS Index of 60 or less (without solar PV)

##### Preservation (Moderate Rehab) \*:

- ☐ For 100% electric dwellings/buildings\*: HERS Index of 80 or less (without solar PV)
- ☐ For dwellings/buildings utilizing gas: HERS Index of 75 or less (without solar PV)

\*Preservation developments whose scope of work exceeds that of Moderate Rehab must meet the requirements for Substantial Rehabilitation.

##### NOTE:

- Buildings that fall under the Energy Star® Multi-Family High Rise program must use the REMrate HERS rating program as verification for these points but must follow the NHERF program to achieve the Energy Star® label.
- All HERS indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 210

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

##### Fair Housing

As the DESIGN ARCHITECT, I certify that:

- ☐ New construction and substantial rehabilitation developments are designed in conformance with the Fair Housing Act Design Standards Guide, as applicable.
- ☐ The subject development is substantial rehabilitation but is seeking a waiver as existing conditions prohibit 100% compliance with the Fair Housing Act Design Standards Guide.

☐ Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2008.

##### Energy Conservation & Green Building Criteria

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following energy conservation measures.

☐ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

☐ All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

☐ In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

☐ In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 Btu, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

☐ In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 Btu, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

☐ No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)

☐ All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)

☐ Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 217

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

##### Accessible Housing

As the DESIGN ARCHITECT, I certify that:

☒ To the best of my knowledge and belief I certify that I have designed the referenced development in conformance with the following rules and regulations as they apply to this development and as amended by Federal, State and local authorities.

- ☐ The Fair Housing Act of 1988 & Fair Housing Design Manual
- ☐ ANSI A117.1-2009 (or edition currently adopted by the PA AUC)
- ☐ Pennsylvania Uniform Construction Code
- ☐ Uniform Federal Accessibility Standards (UFAS)
- ☐ Section 504 of the Rehabilitation Act of 1973
- ☐ 2010 ADA Standards for Accessible Design

☐ Any Other State or Local Code or regulation pertaining to design or inclusion of rental housing accessibility features (include name of locality and citation for applicable requirements.)

NOTE: Where multiple accessibility standards apply, the standard that affords greater accessibility shall be used.

##### Accessible Units

For New Construction and Substantial Rehabilitation Developments:

As the design architect, I hereby certify that I either have designed or will design the referenced development to include twice the mandated number of fully accessible units under local, state, or federal mandate, whichever is greater. These units shall meet current accessibility standards.

Number of accessible units required under local mandate: \_\_\_\_\_

Number of accessible units required under state mandate: \_\_\_\_\_

Number of accessible units required under federal mandate: \_\_\_\_\_

Number of fully accessible units provided: \_\_\_\_\_

For Preservation Developments:

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced development to include the following number of units to meet current accessibility standards.

Number of existing fully accessible units (by current standards): \_\_\_\_\_

Number of fully accessible units provided: \_\_\_\_\_

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

☐ All developments utilizing central system refrigerant flow type equipment shall meet or exceed Energy Star criteria specification for light commercial HVAC or have the Energy Star Label.

☐ In preservation developments, existing refrigerators more than 15 years old will be replaced with Energy Star® labeled type. Existing heat pumps, air conditioning conditioning units, and through-wall air conditioners more than 20 years old will be replaced with Energy Star® labeled type, when such equipment exists. Existing furnaces and boilers more than 25 years old will be replaced with Energy Star® labeled type, when such equipment exists. (Programmable thermostats do not need to be provided.) In addition, existing community room, common area corridor and stair lighting more than 15 years old will be replaced with fluorescent fixtures with electronic ballasts or fixtures that utilize LED bulbs. Where windows are scheduled for replacement, they shall be Energy Star® qualified products, except in buildings over three stories in height, wherein window replacement may comply instead with ASHRAE Standard 189.1-2009.

☐ Blocking for future grab bars shall be continuous behind the bar location and sized to accommodate the grab bars required by ANSI A117.1-2008.

☐ All newly constructed multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1a. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

☐ All substantially rehabilitated multifamily buildings shall comply with the requirements of the 2020 Enterprise Green Communities program Criteria 5.1b. All HERS Indexes shall be updated to the RESNET Registry and the registry ID number shown on the HERS certificate provided at construction completion.

☐ In new construction and rehabilitation developments, the overall U-value of the exterior building envelope must exceed the requirements of the 2015 International Energy Conservation Code Chapter 4 by 10% for buildings three stories or less in height as verified by a REScheck certificate. Buildings four or more stories in height must exceed the requirements of the 2015 International Energy Conservation Code Chapter 5 by 3% as verified by a COMcheck certificate. Air sealing of the exterior building envelope and attic plane shall be included. Trade-offs available in the REScheck or COMcheck software for mechanical equipment will not be allowed. (Not applicable to preservation developments.)

☐ In new construction and rehabilitation developments, all appliances, HVAC equipment with a capacity less than 60,000 Btu, gas fired water heaters, windows, ceiling fans, exhaust fans, range hoods and exit signs, shall be Energy Star® labeled. (Exceptions: Programmable thermostats do not need to be provided and windows in buildings over three stories in height may comply instead with ASHRAE Standard 189.1-2009.) (Packaged Terminal Air Conditioners (PTACs) and Packaged Terminal Heat Pumps (PTHPs) (including vertical type configurations may only be used if it can be proven that they comply with the prescriptive requirements of Energy Star® version 3.0 for air-source equipment, as tested and certified by Air Conditioning, Heating and Refrigeration Institute (AHRI) only). In addition, 100% of the permanent room light fixtures in the dwelling units shall be equipped with LED bulbs or high efficiency fluorescent lamps with electronic ballast, and 100% of the community room and common area corridor and stair lighting shall be fluorescent with electronic ballasts or shall utilize LED bulbs.

☐ No piping shall be located outside of the interior finish of the insulated building envelope. (Not applicable to existing piping in preservation developments.)

☐ All domestic water pipes except for PEX piping shall be insulated. (Not applicable to existing concealed piping in preservation developments.)

☐ Termite shields or borate based wood treatment shall be provided with low VOC caulking at all floor joints and penetrations to prevent insect infestation. Borate treatment shall be applied to all wood framing and sheathing to a height of 24" above the "at grade" floor level. Chemical soil treatment or bait stations shall not be used. (Not applicable to existing buildings.)

☐ Outside any flood area \_\_\_\_\_ Outside of a flood way

☐ Inside a 500 year flood area \_\_\_\_\_ Inside a flood way

☐ Inside a 100 year flood area \_\_\_\_\_

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 218

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

##### Large Family Units

As the DESIGN ARCHITECT, I hereby certify that I either have designed or will design the referenced general occupancy development to include the following percentage of affordable units with three or more bedrooms:

\*High rise developments and senior housing cannot qualify for this category.

☐ Total units \_\_\_\_\_ >15 - 20% of all units

☐ Total number of affordable 3 or more-bedroom units \_\_\_\_\_ >20 - 25% of all units

☐ >15-10% of all units (suburban/rural developments only) \_\_\_\_\_ >25% of all units

DESIGN ARCHITECT: \_\_\_\_\_

Print: \_\_\_\_\_ Date: \_\_\_\_\_

Firm: \_\_\_\_\_

Print: \_\_\_\_\_ Date: \_\_\_\_\_

Print: \_\_\_\_\_ Date: \_\_\_\_\_

Acknowledged and Accepted by the APPLICANT(S)

Print: \_\_\_\_\_ Date: \_\_\_\_\_

Print: \_\_\_\_\_ Date: \_\_\_\_\_

Print: \_\_\_\_\_ Date: \_\_\_\_\_

TAB\_08\_02 CERTIFICATION OF SELECTION CRITERIA 212

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

As the DESIGN ARCHITECT, I certify that for preservation developments:

☐ The referenced development will promote energy efficiency and conservation, operational savings and sustainable building practices by meeting the mandatory measures of the 2020 Enterprise Green Communities Criteria, as amended below. (Not applicable if seeking certification under a National Green Building program in Selection Criteria)

**Enterprise Green Communities Criteria for Preservation Developments**

Preservation developments are not required to follow the mandatory 2020 Enterprise Green Communities criteria for "moderate rehab" projects. Instead, they shall comply with only the following mandatory 2015 Green Communities criteria, as amended:

3.1 Environmental Remediation (Follow Enterprise and PHFA Tab 17 & 34 requirements)

3.2 Minimization of Disturbance during staging and construction. (Applicable only to new ground disturbance)

3.3 Ecosystem Services/Landscaping (applicable only to new landscaping)

4.1 Water-Conserving Fixtures (Applicable only to new fixtures)

Sizing of Heating and Cooling Equipment (Applicable only to new heating and cooling equipment)

5.7 Energy Star Appliances (Applicable only to new appliances)

5.8 Lighting (Applicable only to new lighting fixtures)

6.4 Healthier Material Selection (Applicable only to new paints, coatings and primers)

6.6 Bath, Kitchen Laundry surfaces

6.8 Managing Moisture: Foundations (Applicable to new addition foundations)

6.9 Managing Moisture: Roofing and Wall Systems (Applicable to new walls, windows and roofing)

7.3 Combustion Equipment (Carbon monoxide alarm requirements apply to all projects with combustion equipment. Venting requirements are applicable to new combustion equipment only)

7.5 Integrated Pest Management (Applicable only if identified as a problem in the PCNA)

8.1 Building Operations & Maintenance Manual and Plan (Follow Enterprise requirements)

8.2 Emergency Management Manual (Follow Enterprise requirements)

**Home Ownership**

As the DESIGN ARCHITECT, I certify that:

☐ The units are townhouse or single family attached or detached structures (or otherwise appropriate for homeownership by tenants as determined by the Agency). Utility hook-ups for washers and dryers, including a dryer duct vented to a wall or roof cap, must be provided.

**Flood Plain Certification**

As the DESIGN ARCHITECT, landscape architect or civil engineer I, the undersigned, hereby certify that I have procured and reviewed the applicable Flood Insurance Rate Map published by the Federal Emergency Management Agency for this development's site and have determined that the site is: (Check all that apply.)

☐ Outside any flood area \_\_\_\_\_ Outside of a flood way

☐ Inside a 500 year flood area \_\_\_\_\_ Inside a flood way

☐ Inside a 100 year flood area \_\_\_\_\_

TAB\_08\_04 CERTIFICATION OF THRESHOLD CRITERIA 219

#### PENNSYLVANIA HOUSING FINANCE AGENCY (2021 UNDERWRITING APPLICATION)

##### Design Architect's/Applicant's Certification Of Threshold Criteria

The Agency has requested certain certifications from the architect and applicant in connection with the submission of an application.

Development: Manchester Scattered Sites

The development referenced above includes the following threshold criteria. (Initial all that apply.) The Applicant must request a waiver under Tab #29 for any threshold criteria that will not be provided. The waiver request must describe the mitigating factors responsible for the inability to meet the specific threshold criteria.

##### Development Amenities

As the DESIGN ARCHITECT, I certify that:

- ☐ An on-site community room will be provided (not applicable to scattered site properties). It shall be one room sized at 15 square feet per unit for developments with up to 50 units or at least 750 square feet for developments with more than 50 units. (Applications that are a continuation of a phased development will provide a room to meet the size requirements based on the aggregate of the number of units in all phases.) A kitchen or kitchenette with a full-sized range and full-sized refrigerator, is to be provided in or adjacent to this room in developments for the elderly. (The kitchen or kitchenette shall not be included in the required square footage.) A long-term agreement with an existing community facility within walking distance from the development may be considered, at the discretion of the Agency.)
- ☐ Common laundry facilities or the provision of washers and dryers in each dwelling unit will be provided. Common laundries will contain one washer and dryer for every 12 units in general occupancy developments or every 20 units in elderly developments, with a minimum of two washers and dryers required in each laundry facility. A minimum of one front load washer and dryer will be provided in each laundry facility and all washing machines must be Energy Star® labeled.

☐ All common areas (except for stair towers, mechanical rooms, storage rooms and similar spaces) will be air conditioned. (Includes Preservation)

☐ An on-site management office will be provided. (Not applicable to scattered site properties. Applications that are a continuation of a phased development will provide a management office in one of the phases.)

☐ Broadband Infrastructure - The installation of broadband infrastructure is required in all new construction and substantial rehab developments, in compliance with Federal Register Citation 81 FR 3161 "Narrowing the Digital Divide Through Installation of Broadband Infrastructure". (This provision is encouraged, but not required, in preservation developments)

☐ All

***HACP, Existing Duplex Unit Repairs and Level 2 Alterations  
1327 COLUMBUS AVENUE PITTSBURGH PENNSYLVANIA 15233  
3 BEDROOM UNIT***

A0 PHFA DOCUMENTS	
SELECTION CRITERIA	
THRESHOLD CRITERIA	
TABULAR SCHEDULE	
A1 COVER SHEET	
ARCH PLIM SET	
MANCHESTER SCATTERED SITES MAP	
CODE AND CONTACT INFO	
A2 ABBREVIATIONS AND MATERIALS	
ABBREVIATIONS AND MATERIALS	
HISTORIC BRICK WALL SECTION	
SIDING WALL SECTION	
FINISH SCHEDULE	
DOOR SCHEDULE (WITH EXISTING)	
WINDOW SCHEDULE	
INTERIOR STAIR DETAIL	
DOOR TYPES	
A3 SCOPE / GENERAL / GREEN COMMUNITIES NOTES	
ENERGY NOTES	
GENERAL NOTES	
A4 SITE PLAN AND ROOF PLAN	
ROOF	
SITE PLAN	
ROOF AND SITE PLAN LEGEND	
ROOF PLAN NOTES	
GRAPHIC SCALES	
GRAPHIC SCALES	
SMALL UNIT KEYNOTES	
A5 FLOOR / DEMO PLANS	
DEMOLITION PLAN LEGEND	
GENERAL DEMOLITION NOTES	
SMALL UNIT KEYNOTES	
GRAPHIC SCALES	
THIRD FLOOR / DEMO PLAN	
FIRST FLOOR / DEMO PLAN	
BASEMENT / DEMO PLAN	
SECOND FLOOR / DEMO PLAN	
A6 FLOOR/FINISH/MECH./PLUMB. PLAN	
FLOOR PLAN LEGEND	
SMALL UNIT KEYNOTES	
THIRD FLOOR/FINISH/MECH./PLUMB. PLAN	
FIRST FLOOR/FINISH/MECH./PLUMB. PLAN	
BASEMENT/FINISH/MECH./PLUMB. PLAN	
SECOND FLOOR/FINISH/MECH./PLUMB. PLAN	
GRAPHIC SCALES	
A7 REFLECTED CEILING / POWER / DATA PLANS	
LIGHTING SCHEDULE	
SMALL UNIT KEYNOTES	
FIRST FLOOR REFL. CLG. / POWER / DATA PLAN	
BSMT. REFL. CLG. / POWER / DATA PLAN	
SECOND FLOOR REFL. CLG. / POWER / DATA PLAN	
GRAPHIC SCALES	
RCP LEGEND	
THIRD FLOOR REFL. CLG. / POWER / DATA PLAN	
A8 NORTH / SOUTH ELEVATION	
NORTH ELEVATION	
SOUTH ELEVATION	
GRAPHIC SCALES	
GRAPHIC SCALES	
HISTORIC KEYNOTES	
SMALL UNIT KEYNOTES	
A9 KITCHEN ENLARGED PLANS AND ELEVATIONS	
FIRST FLOOR KITCHEN ENLARGED PLAN	
KITCHEN ELEVATION01	
KITCHEN ELEVATION02	
A10 DETAILS	
WOOD FENCE DETAIL	
DECK SECTION DETAIL	
DECK ENLARGED DETAILS	
WINDOW INSTALLATION UNDER VINYL SIDING	
EXTERIOR DOOR THRESHOLD	

Applicable Codes	
General:	2015 International Building Code 2015 International Building Code 2009 ICC/ANSI A117.1
Accessibility:	2015 International Energy Conservation Code
Energy:	2014 NEC (NFPA 70)
Electrical:	2015 International Fire Code
Fire:	2015 International Fuel Gas Code
Fuel Gas:	2015 International Mechanical Code
Mechanical:	2017 Allegheny County Health department Plumbing Code
Plumbing:	2013 NFPA 72
Fire Alarm:	2013 NFPA 13
Sprinkler:	
General Building / Project Information	
Classification of Work:	Level-2 alteration per the IEBC
Occupancy Group:	"R-2"
Stories:	3 story with basement
Gross Area:	2,230 sqft
Construction Type:	V
Sprinklers:	None
Smoke detector:	7

<p>Note: Any questions concerning the Construction Documents shall first be directed to the Architect. The Architect will forward questions as appropriate to the consulting engineers.</p>		
<p><b>Building Owner:</b></p> <p>Housing Authority of the City of Pittsburgh          ph: 412.751.7500          mackenzie.pleskovic@haep.org          contact: Mackenzie Pleskovic</p>	<p><b>Architect:</b></p> <p>Fukui Architects, PC          205 Ross Street          Pittsburgh, PA 15219          ph: 412.281.6001          fx: 412.281.6002          gaff@farp.com          contact: Felvy G. Fukui, AIA</p>	<p><b>Plan Review &amp; Inspection:</b></p> <p>City of Pittsburgh          Department of permits,          Licenses and Inspections          200 Ross Street          3rd floor, room 320          Pittsburgh, PA 15205          ph: 412.255.2175</p>

1. It is intended that the scope of work is a complete interior and partial to complete exterior renovation. See Scope Notes on Sheet A-3.
2. For Scope of Work items potentially removed from Project Scope see (second) 7 Items enumerated under Architectural Scope Notes.
3. After Bid Award and required project walkthroughs, additional Scope may be removed from contracted work.

1. Quantities shown in this set of documents are intended for Architect's use and convenience in scope discussions with HACP. They are not to be relied on by the Contractor's in preparing bids or executing the work.
2. All contractor's and material suppliers shall be responsible for performing and relying on their own quantity take offs.



1 MANCHESTER SCATTERED SITES MAP  
NOT TO SCALE

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seal

## general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

**Owner:**  
HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**  
MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

## MANCHESTER SCATTERED SITES MAP, ARCH PRLIM SET, CODE AND CONTACT INFO

scale As Noted	
date May 6, 2022	
no. <b>2</b>	of. <b>12</b>

<b>Sheet No.</b>  <b>A1</b>  Project #2006
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## Materials Legend

NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

## Abbreviations

A.F.F.	Above Finish Floor	ELEV.	Elevation	MISC.	Miscellaneous
A.P.	Access Panel	EQUIP.	Equipment	N.I.C.	Not In Contract
ACOUST.	Acoustical	E.F.	Existing	N.T.S.	Not To Scale
A.C.T.	Acoustical Ceiling Tile	EXP.	Expansion	O.C.	On Center
ADJUST.	Adjustable	E.J.	Expansion Joint	OPP.	Opposite
A/C	Air Conditioning	ESH	Exterior Sheathing	O.H.	Overhead
ALT.	Alteration	EXIST.	Existing	PR.	Pair
ALTN.	Alternate	EXP.	Exposed	PLAS.	Plaster
ALUM.	Aluminum	EXT.	Exterior	PLAS.LAM.	Plastic Laminate
A.O.R.	Area of Refuge	E.I.F.S.	Exterior Insulation & Finish System	P.C.	Plumbing Contractor
APPROX.	Approximate	F.R.P.	Fiberglass Reinforced Polyester	PLYWD.	Plywood
ARCH.	Architectural	F.F.	Finish Floor	POLY.	Polyethylene
AS	Adjustable Shelving	FIN.FLR.	Finish Floor	P.V.C.	Polyvinyl Chloride
ASB.	Asbestos	F.A.C.P.	Fire Alarm Control Panel	PRE-FAB.	Prefabricated
ASPH.	Asphalt	F.E.	Fire Extinguisher	RE.	Refer To
AUTO.	Automatic	FLR.	Floor	REF.	Refrigerator
AVG.	Average	F.D.	Floor Drain	R.C.P.	Reinforced Concrete Pipe
BLK.	Block	FTG.	Footing	REINF.	Reinforcement
BD.	Board	GA.	Gauge	RD.	Roof Drain
BOT.	Bottom	G.C.	General Contractor	RM.	Room
BLDG.	Building	G.F.I.	Ground Fault Interrupter	S.A.T.	Suspended Acoustical Tile
C.I.P.	Cast In Place	GYP.	Gypsum	SCHED.	Schedule
C.B.	Catch Basin	G.W.B.	Gypsum Wall Board	SHT.	Sheet
CEM.	Cement	GSH.	Gypsum Sheathing	SIM.	Similar
CER.	Ceramic	H/C	Handicap	S.C.	Solid Core
CG	Corner Guard	H.V.A.C.	Heating, Ventilation & Air Conditioning	SPECS.	Specifications
C.M.T.	Ceramic Mosaic Tile	HT	Height	SQ.	Square
C.W.T.	Ceramic Wall Tile	HC	Hollow Core	S.F.	Square Foot
C.O.	Cleanout	H.M.	Hollow Metal	S.S.	Stainless Steel
CL	Center Line	HORIZ.	Horizontal	STL.	Steel
CLO.	Closet	HR.	Hour	STOR.	Storage
C.W.	Cold Water	H.W.	Hot Water	STRUCT.	Structural
CLG.	Celling			TEL.	Telephone
CLR.	Clearance			THK.	Thick
COL.	Column	IN.	Inch	T.B.D.	To Be Determined
CONC.	Concrete	INSUL.	Insulated Metal	T&G	Tongue & Groove
C.M.U.	Concrete Masonry Unit	INT.	Insulation or Insulated	T.O.	Top Of
CONT.	Continuous	INV.	Invert	T.G.	Top Of Grade
CORR.	Corridor	ISO.	Isolation	T.O.S.	Top Of Steel
C.M.P.	Corrugated Metal Pipe			TYP.	Typical
C.S.	Courses	JANL.	Janitor's Closet	UNFIN.	Unfinished
DIA.	Diameter	J.T.	Joint	U.N.O.	Unless Noted Otherwise
DET.	Detail	LAM.	Laminate	V.B.	Vapor Barrier
DGL.	Dens Glass Gold	LAV.	Lavatory	VERT.	Vertical
DR.	Door	LG.	Long	VEST.	Vestibule
DN.	Down	M.D.F.	Medium Density Fiberboard	V.C.T.	Vinyl Composition Tile
D.S.	Downspout	MAX.	Magnetic Door Holder	V.I.F.	Verify In Field
DWG.	Drawing	M.H.	Manhole	W.H.	Water Heater
DWR.	Drawer	MEGR.	Manufacturer Maximum	W.R.B.	Water Resistant Barrier
D.F.	Drinking Fountain	MECH.	Mechanical	W.W.F.	Welded Wire Fabric
D.I.P.	Ductile Iron Pipe	MET.	Metal	WIN.	Window
EA.	Each	MIN.	Minimum	W/	With
E.W.	Each Way			WO.	Without
ELEC.	Electrical			WD.	Wood
E.C.	Electrical Contractor				
EL.	Elevation				

## Symbols

ELEVATION HEIGHT

T.O. FINISH FLOOR  
ELEV. 0'-0"

NORTH ARROW

PLAN  
NORTH

DRAWING TITLE

1 Title

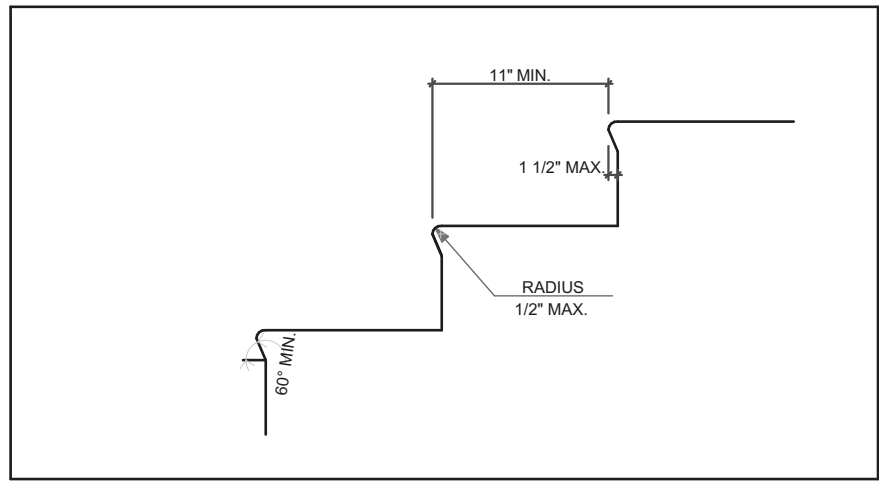
SCALE: 1/8" = 1'-0"

NOTE LEADER  
NOTE

INTERIOR ELEVATION MARKER

1  
4 (A-000) 2  
3

## 1 ABBREVIATIONS AND MATERIALS



## 2 HISTORIC BRICK WALL SECTION

WINDOW SCHEDULE						
ID	SIZE		HEAD HEIGHT	FRAME MATERIAL	VENTING	TEMPERED
	WIDTH	HEIGHT				
A	3'-0"	1'-6"	1'-2 1/4"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B	2'-8"	1'-6"	1'-2 1/4"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C	2'-9"	2'-0"	6'-0"	GLASS BLOCK	<input type="checkbox"/>	<input type="checkbox"/>
D	2'-5"	6'-1"	8'-7"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E	2'-6"	6'-0"	10'-7"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F	3'-0"	4'-2"	9'-8"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G	2'-4"	5'-5"	7'-6"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H	2'-6"	4'-3"	6'-11"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I	2'-11"	4'-9"	6'-11"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
J	2'-4"	4'-9"	7'-0 1/2"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>
K	2'-6"	4'-6"	7'-4"	WOOD	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ALL WINDOWS AND WINDOW OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING WINDOW OPENINGS.  
ALL WINDOWS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.  
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF WINDOWS.

DOOR SCHEDULE					
DOOR TAG	SIZE	DOOR TYPE	DOOR MTL.	FRAME MTL.	HARDWARE (REFER TO SPECS)
1	2'-10"x5'-10"	I	FIBERGLASS	FIBERGLASS	ENTRY
2	3'-0"x6'-8"	II	FIBERGLASS	FIBERGLASS	ENTRY
3	2'-8"x6'-8"	III	WOOD	WOOD	PRIVACY
4	2'-4"x6'-8"	III	WOOD	WOOD	PASSAGE
5	3'-0"x6'-8"	III	WOOD	WOOD	PASSAGE
6	4'-0"x6'-8"	IV	WOOD	WOOD	DUMMY
7	2'-4"x6'-4"	III	WOOD	WOOD	PRIVACY
8	2'-6"x5'-6"	III	WOOD	WOOD	PASSAGE

ALL DOORS AND DOOR OPENINGS ARE EXISTING. IT IS NOT INTENDED TO RE-FRAME EXISTING DOOR OPENINGS.  
ALL DOORS ARE EXISTING AND TO BE REPLACED PER NOTES ON FINISH PLAN.  
GC TO VERIFY EXISTING SIZING BEFORE PURCHASE OF DOORS.

FINISH SCHEDULE	
NAME	FLOOR
BEDROOM	09   LVT
BTHRM	09   LVT
CLO	09   LVT
DINING ROOM	09   LVT
ENTRY	09   LVT
HALLWAY	09   LVT
KITCHEN	09   LVT
LIN. CLO	09   LVT
LIVING ROOM	09   LVT

TYPICAL ROOF ASSEMBLY  
-ASPHALT SHINGLES  
-40 LB FELT PAPER  
-ICE & WATER SHIELD @ VALLEYS, EAVES, AND CORNERS  
-3/4" EXTERIOR GRADE PLYWOOD  
-INSULATION BAFFLES, MAINTAIN 2" AIR SPACE  
-2X ROOF RAFTERS @ 16" O.C.  
-R30 BLOW-IN FIBERGLASS INSULATION  
-3/4" PLY WD SUBFLOOR  
-2X CEILING JOISTS @ 16" O.C.  
-R19 BATT FIBER GLASS INSULATION FACED W/ VAPOR RETARDER ON WARM SIDE  
-1/2" GYP BD

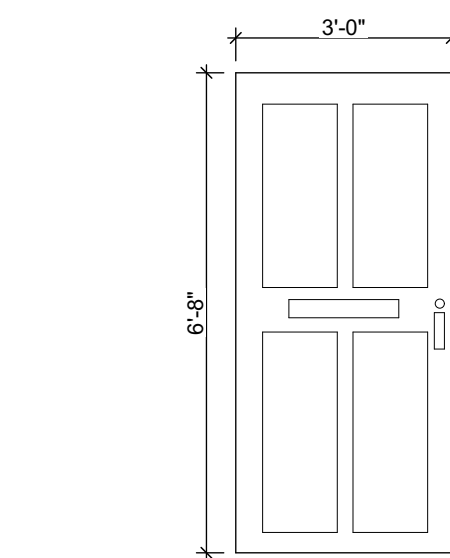
TYPICAL FLOOR ASSEMBLY  
-FLOOR CLADDING PER PLANS  
-3/4" PLYWOOD SUBFLOOR  
-2X WOOD JOISTS  
-1/2" GYP BD

TYPICAL WALL ASSEMBLY  
3 WHYTHES BRICK WALL  
-R17-FACED BATT INSULATION INSIDE  
2X4 FURRING WALL CAVITY ACTING AS VAPOR BARRIER  
-1/2" GYP BD

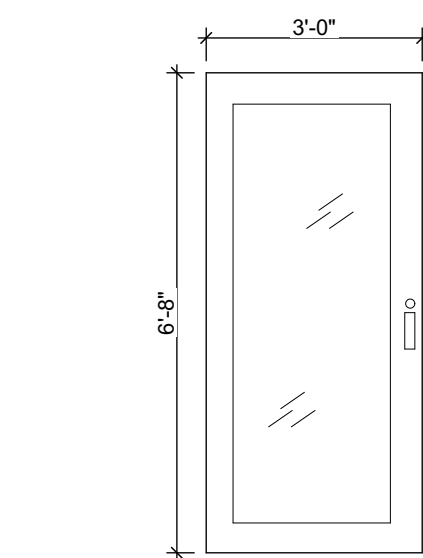
TYPICAL WALL ASSEMBLY  
-ASPHALT EMULSION DAMPROOFING  
R-13 EXTERIOR 2" RIGID INSULATION  
2x4 FRAME WALL PER PLANS

TYPICAL SLAB ASSEMBLY  
-4" CONC. SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER, R-10 RIGID UNDERSLAB INSULATION, AND COMPACTED GRAVEL

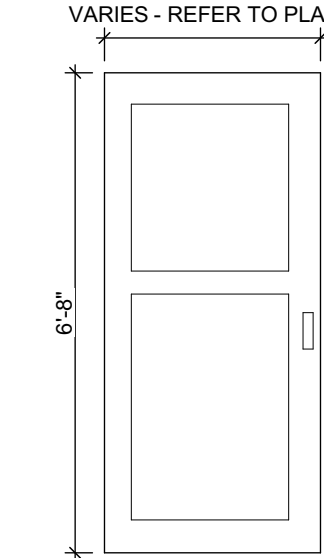
## 3 SIDING WALL SECTION



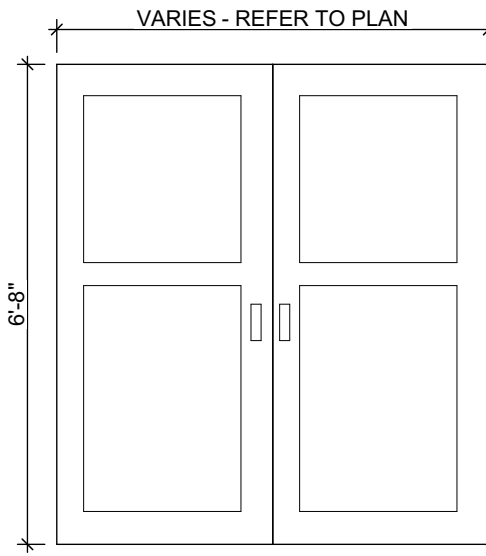
EXTERIOR INSULATED FIBERGLASS DOOR  
INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. 4 PANEL DOOR WITH MAILBOX SLOT AND ADDRESS NUMBERS PER SPECIFICATIONS. COLOR TO MATCH EXISTING. KEY AND CORE AND HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



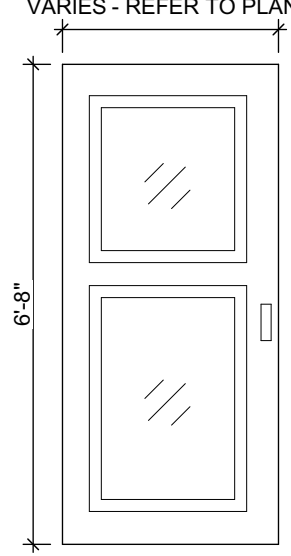
EXTERIOR INSULATED FIBERGLASS DOOR  
INSULATED EXTERIOR DOOR TO MATCH IECC REQUIREMENTS. GLAZED OPENING TO MATCH EXISTING. COLOR PER SPECIFICATIONS. KEY AND CORE. HARDWARE, AND SCREEN PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



INTERIOR WOOD DOOR  
INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



INTERIOR WOOD DOUBLE DOOR  
INTERIOR 2 PANEL DOUBLE WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.



INTERIOR WOOD DOOR WITH GLASS  
INTERIOR 2 PANEL WOOD DOOR. HARDWARE PER SPECIFICATIONS. REFER TO PLAN FOR DOOR HANDLING.

## Fukui Architects Pc

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seal

## general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereof.

## revisions

ISSUED FOR PERMIT: 05.06.2022

## project title

### Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

### Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
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15233

## drawing title

ABBREVIATIONS AND MATERIALS, HISTORIC BRICK WALL SECTION, SIDING WALL SECTION, INTERIOR STAIR DETAIL, DOOR SCHEDULE (WITH EXISTING), WINDOW SCHEDULE, FINISH SCHEDULE, DOOR TYPES

scale  
As Noted

date  
May 6, 2022

no.  
3

of.  
12

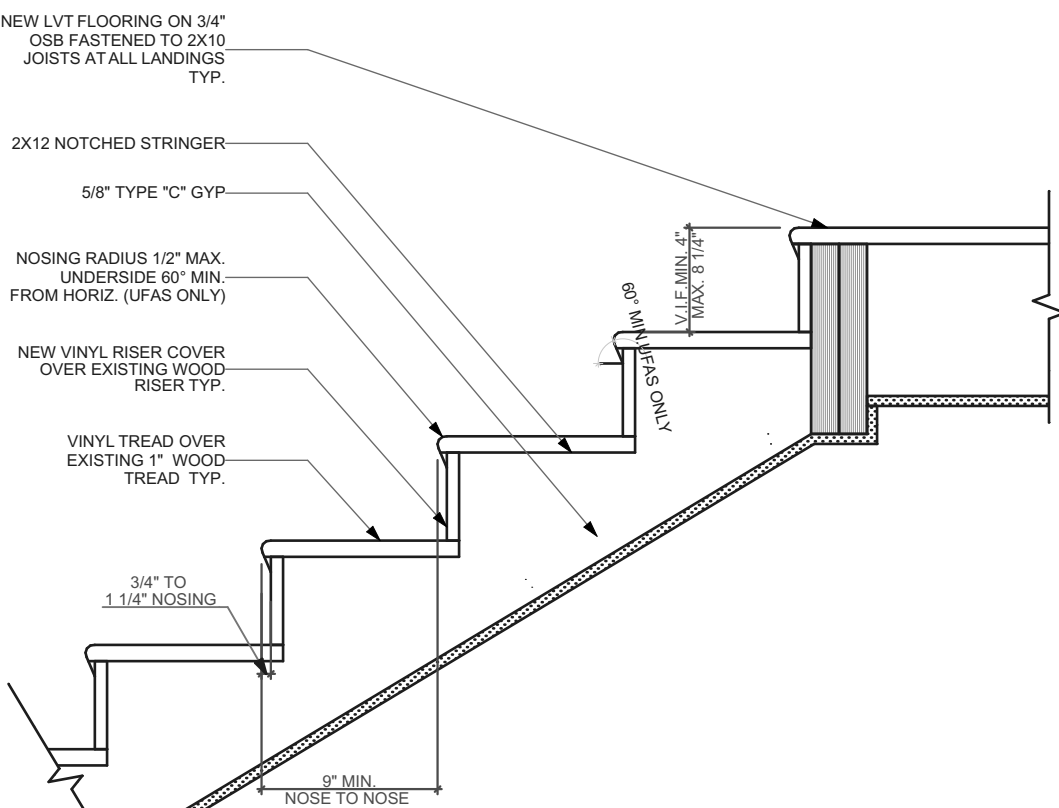
## Sheet No.

A2

Project #2006

## 4 INTERIOR STAIR DETAIL

SCALE: 1" = 1'-0"



THIS STAIR SECTION IS INTENDED FOR GENERAL REFERENCE AND CODE CONFORMANCE ONLY. MOST STAIRWAYS WILL ONLY REQUIRE REPLACEMENT OF EXISTING TREADS AND POSSIBLY RISERS.



GENERAL FLOOR PLAN NOTES	ARCHITECTURAL SCOPE NOTES	PLUMBING SCOPE NOTES	MECHANICAL SCOPE NOTES	ELECTRICAL SCOPE NOTES	GREEN COMMUNITIES NOTES	Fukui Architects Pc 205 Ross Street Pittsburgh, Pennsylvania 15219 ph 412.281.6001 fx 412.281.6002 © 2022 Fukui Architects, Pc
1. CONTRACTOR TO FIELD VERIFY ANY AND ALL CONDITIONS & DIMENSIONS OF WORK AREAS BEFORE BEGINNING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.	THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING:	THE FOLLOWING LIST OF ITEMS ARE TO BE BID OUT AT 100% REPLACEMENT PER THE SPECIFICATIONS. AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THE LIST WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED. 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IMPLEMENT EPAS NATIONAL POLLUTANT DISCHARGE ELIMINATION FOR SYSTEM STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES GUIDANCE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT. 3. TOTAL INDOOR WATER CONSUMPTION TO BE REDUCED BY AT LEAST 20% COMPARED TO BASELINE INDOOR WATER CONSUMPTION CHART. ALL NEW PLUMBING FIXTURES MUST BE WATERSENE CERTIFIED. FOR ALL SINGLE-FAMILY HOMES AND ALL DWELLING UNITS IN BUILDINGS 3 STORIES OR FEWER, THE SUPPLY PRESSURE MAY NOT EXCEED 60 PSI. 4. ALL HEATING AND COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ASCA MANUALS J AND S OR IN ACCORDANCE WITH THE ASHRAE HANDBOOK OF FUNDAMENTALS. 5. ALL NEW CLOTHES WASHERS, DISHWASHERS, AND REFRIGERATORS TO BE ENERGY STAR RATED. 6. ALL NEW LIGHTING TO FOLLOW THE GUIDANCE FOR HIGH-EFFICIACY PERMANENTLY INSTALLED LIGHTING AND OTHER CHARACTERISTICS FOR RECESSED LIGHT FIXTURES, LIGHTING CONTROLS, LIGHTING POWER DENSITY, AND EXTERIOR LIGHTING. 7. ALL INTERIOR PAINTS, COATINGS, PRIMERS, AND WALLPAPER, INTERIOR ADHESIVES, SEALANTS, FLOORING, INSULATION, AND COMPOSITE WOOD TO BE A HEALTHIER MATERIAL SELECTION. 8. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY. USE MOISTURE-RESISTANT BACKING MATERIALS PER ASTM #D 6329 OR 3273 BEHIND TUB/SHOWER ENCLOSURES APART FROM ONE-PIECE FIBERGLASS ENCLOSURES WHICH ARE EXEMPT. 9. INTSTALL CAPILLARY BREAKS AND VAPOR RETARDERS AT ALL BASEMENTS. 10. PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS, AND ROOF. 11. SPECIFY POWER-VENTED OR DIRECT VENT EQUIPMENT WHEN INSTALLING ANY NEW COMBUSTION APPLIANCE LOCATED WITHIN THE CONDITIONED SPACE. IF THERE IS ANY COMBUSTION EQUIPMENT LOCATED WITHIN THE CONDITIONED SPACE THAT IS NOT POWER-VENTED OR DIRECT-VENT AND IS NOT SCHEDULED FOR REPLACEMENT, CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. REMEDIATE AS INDICATED. 12. SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS TO PREVENT PEST ENTRY. 13. ANY INSULATION INSTALLED AS PART OF THE REHAP ACHIEVES GRADE I INSTALLATION PER ANSI/RESNET/ICC STD. 301. OR, GRADE I CAVITY INSULATION IS PERMITTED TO BE USED FOR ASSEMBLIES THAT DO NOT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION 2-R-5 IN CLIMATE ZONES 5 TO 8. 14. FOR HVAC SYSTEMS REPAIRED OR INSTALLED DURING REHAB, COMPLETE TESTING VIA THE NATIONAL HVAC INSTITUTE FUNCTIONAL TESTING CHECKLIST. ENERGY STAR MULTIFAMILY NEW CONSTRUCTION VERSION 1.1 (OR MOST RECENT CHECKLIST VERSION AVAILABLE) AT TIME OF PERMIT. 15. STOCKPILE AND PROTECT HIGH-QUALITY TOPSOIL FROM EROSION. FOR REUSE. CONTROL THE PATH AND VELOCITY OF RUNOFF WITH SILT FENCING OR COMPARABLE MEASURES. PROJECT EROSION, ON-SITE STORM SEWER, AND OTHER EROSION CONTROL MEASURES. PROVIDE SWALES TO DIVERT SURFACE WATER FROM HILLSIDES. IDENTIFY AND PROTECT SIGNIFICANT, HIGH-VALUE TREES DURING CONSTRUCTION (HEALTHY TREES WITH A DIAMETER AT BREAST HEIGHT GREATER THAN 6 INCHES). PREPARE EROSION CONTROL MEASURES OUTSIDE THE CRITICAL ROOT ZONE. IF SOIL IN A SLOPED AREA IS DISTURBED DURING CONSTRUCTION, USE TIERS, EROSION BLANKETS (GEOTEXTILE MATS) COMPOST BLANKETS, FILTER SOCKS AND BERMS, OR SOME COMPARABLE APPROACH, TO KEEP SOIL STABILIZED. 16. ALL PLANTINGS (TREES, SHRUBS, GROUNDCOVER, INCLUDING GRASSES) SHOULD BE NATIVE OR CLIMATE-APPROPRIATE (ADAPTED) TO THE REGION. ALL NEW PLANTINGS MUST BE APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE. DO NOT INTRODUCE INVASIVE PLANT SPECIES. ALL DISTURBED AREAS SHOULD BE PLANTED, SEEDED OR XERISCAPED. 17. TREAT OR RETAIN, ON-SITE, THE PRECIPITATION VOLUME FROM THE 60TH PERCENTILE PRECIPITATION EVENT AS DEFINED BY EPA IN THE TECHNICAL GUIDANCE ON IMPLEMENTING STORMWATER RUNOFF REQUIREMENTS FOR FEDERAL PROJECTS UNDER SECTION 438. 18. SIZE AND SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S OR IN ACCORDANCE WITH THE MOST RECENT ASHRAE HANDBOOK OF FUNDAMENTALS AVAILABLE AT THE TIME OF SPECIFICATION. 19. FOR PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES, INSTALL HIGH-EFFICIENCY LIGHTING THAT IS CAPABLE OF MEETING RECOMMENDED LIGHT LEVELS (WEIGHTED AVERAGE FOOT-CANDLE) IN THE ILLUMINATING ENGINEERING SOCIETY LIGHTING HANDBOOK, 10TH EDITION. 20. RECESSED LIGHT FIXTURES INSTALLED AS PART OF A BUILDING OR DWELLING UNIT AIR BARRIER SHALL BE INSULATION CONTACT AIR-TIGHT (ICAT); EXEMPT IF INSTALLED ENTIRELY INSIDE OF OR OUTSIDE OF AN AIR BARRIER. 21. LIGHTING INSIDE THE BUILDING, BUT NOT IN A DWELLING UNIT, SHALL BE CONTROLLED BY OCCUPANCY SENSORS OR AUTOMATIC 24-HOUR LIGHTING CONTROL. EXEMPT IF 24-HOUR LIGHTING LEVELS ARE SUFFICIENT TO CODE. LIGHTING POWER DENSITY IN DWELLING UNITS, MEASURED IN WATTS/SQUARE FOOT, IS 1.1 OR LESS. 22. ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING SPECIFICATIONS AND HAVE EITHER MOTION SENSOR CONTROLS, INTEGRATIVE PV CELLS, PHOTOSENSORS, OR ASTRONOMIC TIME-CLOCK OPERATION TO LIMIT LIGHTING WHEN THERE IS ADEQUATE DAYLIGHT. NOTE: DARK SKY-APPROVED "FRIENDLY" FIXTURE "CERTIFICATION AUTOMATICALLY MEETS THE FOLLOWING SPECIFICATIONS." 23. LUMINAIRES SHALL BE FULLY SHIELDED EMITTING NO LIGHT ABOVE 90 DEGREES (WITH THE EXCLUSION OF INCIDENTAL LIGHT REFLECTING FROM FIXTURE HOUSING, MOUNTS, AND POLE). THE LUMINAIRE'S MOUNTING HARDWARE SHALL NOT PERMIT MOUNTING IN ANY CONFIGURATION OTHER THAN THOSE MAINTAINING FULL SHIELDING. NON-RESIDENTIAL LUMINAIRES SHALL HAVE AN UPLIGHT RATING OF U0. 24. FIXTURE SHALL HAVE NO SAG OR DROP LENSES. SIDE LIGHT PANELS OR UPLIGHT PANELS. FIXTURE SHALL EMPLOY WARM-TONED (3000K AND LOWER) WHITE LIGHT SOURCES OR MAY EMPLOY AMBER. 25. LIGHT SOURCES OR FILTERED LED LIGHT SOURCES. 26. USE MATERIALS THAT HAVE DURABLE, CLEANABLE SURFACES THROUGHOUT BATHROOMS, KITCHENS, AND LAUNDRY ROOMS. MATERIALS INSTALLED IN THESE ROOMS SHOULD NOT BE PRONE TO DETERIORATION DUE TO MOISTURE INTRUSION OR ENCOURAGE THE GROWTH OF MOLD. 27. USE MOISTURE-RESISTANT BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, OR EQUIVALENT PER ASTM #D 6329 OR ASTM #D 3273 BEHIND TUB/SHOWER ENCLOSURES. PROJECTS USING A ONE-PIECE FIBERGLASS TUB/SHOWER ENCLOSURE ARE EXEMPT FROM THIS REQUIREMENT. 28. FLASHINGS AT ROOF WALL INTERSECTIONS AND WALL PENETRATIONS (I.E., PLUMBING, ELECTRICAL, VENTS, HVAC REFRIGERANT LINES AND THE LIKE IN ADDITION TO WINDOWS AND DOORS) MUST BE INTEGRATED WITH THE WEATHER-RESISTIVE BARRIER AND DRAINAGE PLANE PRIOR TO ANY EXTERIOR FINISH BEING INSTALLED TO PREVENT BULK WATER FROM ENTERING THE EXTERIOR WALL ASSEMBLY. THIS INCLUDES KICK-OUT FLASHING WHERE A SLOPED ROOF EAVE TERMINATES IN A WALL WITH SIDING, STUCCO, OR OTHER APPLIED FINISH APART FROM BRICK VENEER. 29. INSTALL DRIP EDGE AT ENTIRE PERIMETER OF ROOF. 30. AT WALL/ROOF INTERSECTIONS, MAINTAIN 32" CLEARANCE (OR OTHERS RECOMMENDED BY MANUFACTURER) BETWEEN WALL CLADDING AND ROOFING MATERIALS. INSTALL FLASHING ALONG THE INTERSECTION AND USE KICK-OUT FLASHING AS NOTED ABOVE. 31. 75% OF THE CONSTRUCTION WASTE TO BE DIVERTED FROM THE LANDFILL. COORDINATE WITH CM AND ARCHITECT FOR DETAILS ON WASTE MANAGEMENT PLAN. 32. ALL CARDBOARD AND DRYWALL FROM PROJECT TO BE RECYCLED. 33. PROVIDE SEPARATE BINS FOR THE COLLECTION OF TRASH AND RECYCLING FOR EACH DWELLING UNIT AND ALL SHARED COMMUNITY ROOMS. 34. INSTALL ONE HARD-WIRED CARBON MONOXIDE (CO) ALARM WITH BATTERY BACKUP FUNCTION FOR EACH SLEEPING ZONE, PLACED PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72. 35. CONDUCT COMBUSTION SAFETY TESTING PRIOR TO AND AFTER THE RETROFIT. CONDUCT THE COMBUSTION SAFETY TESTING FOR CENTRAL SYSTEMS AND FOR 10% OF THESE INDIVIDUAL DWELLING UNIT SYSTEMS PER RESNET GUIDELINES FOR COMBUSTION SAFETY AND DETECTION WORK ORDERS OR BPI COMBUSTION SAFETY TEST PROCEDURES. REPORT ANY DEFICIENCIES IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE IN ANY FAILED TESTED SYSTEM. 36. SEAL ALL WALL, FLOOR AND JOINT PENETRATIONS WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NONTOXIC SEALING METHODS (WINDOW SCREENS, DOOR SWEEPS, ECTOCHUEON PLATES, ELASTOMERIC SEALANTS) TO PREVENT PEST ENTRY. USE ROOFING AND CORROSION-PROOF SCREENS (E.G., COPPER OR STAINLESS STEEL MESH OR RIGID METAL CLOTH) FOR OPENINGS GREATER THAN 1/4-INCH. ALSO PAY CLOSE ATTENTION TO SEALING ENTRY POINTS UNDER KITCHEN AND BATHROOM SINKS.	
2. THE FINISH FLOOR OF THIS PROJECT IS IDENTIFIED AT 0'-0" IN THIS SET OF DRAWINGS.						seal
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. NOTIFY ARCHITECT IN WRITING OF ANY INCONSISTENT OR MISSING DIMENSIONS.						
4. DIMENSIONS SHOWN INDICATE FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.	1. BATHROOM ACCESSORIES INCLUDING MIRRORS, MEDICINE CABINETS, TOWEL RACKS, AND TOILET PAPER HOLDERS.	P1. DISCONNECT AND REMOVE EXISTING GAS WATER HEATER WITH NEW HIGH EFFICIENCY GAS WATER HEATER WITH EXPANSION TANK, FLOOR STAND, DRAIN PAN, DRAIN PIPING, AND CONNECTIONS TO EXISTING GAS, HOT, AND COLD-WATER PIPING TO REMAIN. EXISTING HOT COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS.	M1. DISCONNECT AND REMOVE EXISTING GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, AND CONTROLS. PROVIDE NEW HIGH EFFICIENCY GAS FURNACE, EVAPORATOR COIL, SUPPLY AND RETURN AIR DUCTWORK / GRILLES / REGISTERS, ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS, AND PRECAST CONCRETE EQUIPMENT BASE. EXTEND AND CONNECT NEW GAS PIPING TO EXISTING GAS PIPING WITH ISOLATION VALVE, DIRT LEG, AND UNION. EXTEND AND CONNECT NEW CONDENSATE DRAIN LINE TO EXISTING CONDENSATE DRAIN LINE AS REQUIRED. EXTEND NEW COMBUSTION AIR INTAKE AND EXHAUST FLUE PIPING TO NEW CONCENTRIC VENT TERMINATION OUTDOORS. SEE SPECIFICATIONS. THIS CONTRACTOR SHALL OPEN ALL EXISTING WALLS / BULKHEADS AS REQUIRED TO PERFORM THE WORK AND RESTORE ALL WALLS / BULKHEADS UPON COMPLETION OF THE WORK.	E1. CONTRACTOR SHALL REPLACE EXISTING ELECTRICAL PANELS AND/OR SWITCHES WITH NEW ELECTRICAL PANELS AND/OR SWITCHES IN COMPLIANCE WITH ARTICLE 110 WORK AND EQUIPMENT SPACE CLEARANCES PRIOR TO FINAL INSTALLATION.	E15. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW DUPLEX RECEPTACLE AT GAS-FIRED WATER HEATER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C. E16. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING WATER HEATER LOCATION TO PERMIT THE REMOVAL OF EXISTING WATER HEATER BY PLUMBING CONTRACTOR. E17. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW HYBRID ELECTRIC HEAT PUMP FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION. E18. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING CEILING MOUNTED EXHAUST FAN LOCATION TO PERMIT THE REMOVAL OF EXISTING EXHAUST FAN BY MECHANICAL CONTRACTOR. E19. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW CEILING MOUNTED EXHAUST FAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION. E20. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR TO PROVIDE A NEW DUPLEX RECEPTACLE FOR BATTERY BACKED UP PUMP ASSEMBLY. INSTALLATION OF NEW DUPLEX RECEPTACLE SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C. E21. CONTRACTOR SHALL REPLACE EXISTING INOPERABLE, OR OBSOLETE INTERCOM SYSTEM WITH NEW PER SPECIFICATIONS. PROVIDE NEW LOW-VOLTAGE WIRING AS REQUIRED. E22. NEW APPLIANCES (SUCH AS BUILT-IN DISHWASHERS AND TRASH COMPACTORS) SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECTED WITH FLEXIBLE CORD IDENTIFIED SUITABLE FOR THE PURPOSES OF THE MANUFACTURER'S INSTRUCTIONS OF THE APPLIANCE MANUFACTURER. E23. CONTRACTOR SHALL UPDATE CIRCUIT DIRECTORIES IN ALL ELECTRICAL PANEL BOARDS. E24. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING BATHROOM LIGHT FIXTURE(S) AND PROVIDE NEW LED FIXTURE(S) PER LIGHTING SCHEDULE ON THE ARCHITECTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE I.B.C. AND N.E.C. E25. CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ABANDON LANDLINE PANEL(S) AND ALL ASSOCIATED ACCESSIBLE WIRING. E26. CONTRACTOR SHALL PREPARE / SECURE ALL LOOSE CABLE WIRING AS REQUIRED. E27. ELECTRICAL CONTRACTOR SHALL RECONNECT & PROVIDE POWER TO NEW FURNACE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE NEW DISCONNECT SWITCH AND/OR FUSES AS REQUIRED. FIELD VERIFY EXISTING CONDUCTORS AND CIRCUIT BREAKER ARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MINIMUM CIRCUIT AMPACITY (MCA) & MAXIMUM OVER CURRENT PROTECTION (MOP) PRIOR TO FINAL INSTALLATION. E28. ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE & DISCONNECT POWER AT EXISTING AIR-COOLED CONDENSING UNIT LOCATION. 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- 1.** Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.

2. Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.

4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.

6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

15233

## SITE PLAN, ROOF, ROOF PLAN NOTES, ROOF AND SITE PLAN LEGEND, GRAPHIC SCALES, SMALL UNIT KEYNOTES

no.	of
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5

12

# A4

Project #2006

**ROOF**

R1	DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE. TO INCLUDE, FLASHING, VENTS, CRICKETS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.
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## ARCHITECTURAL

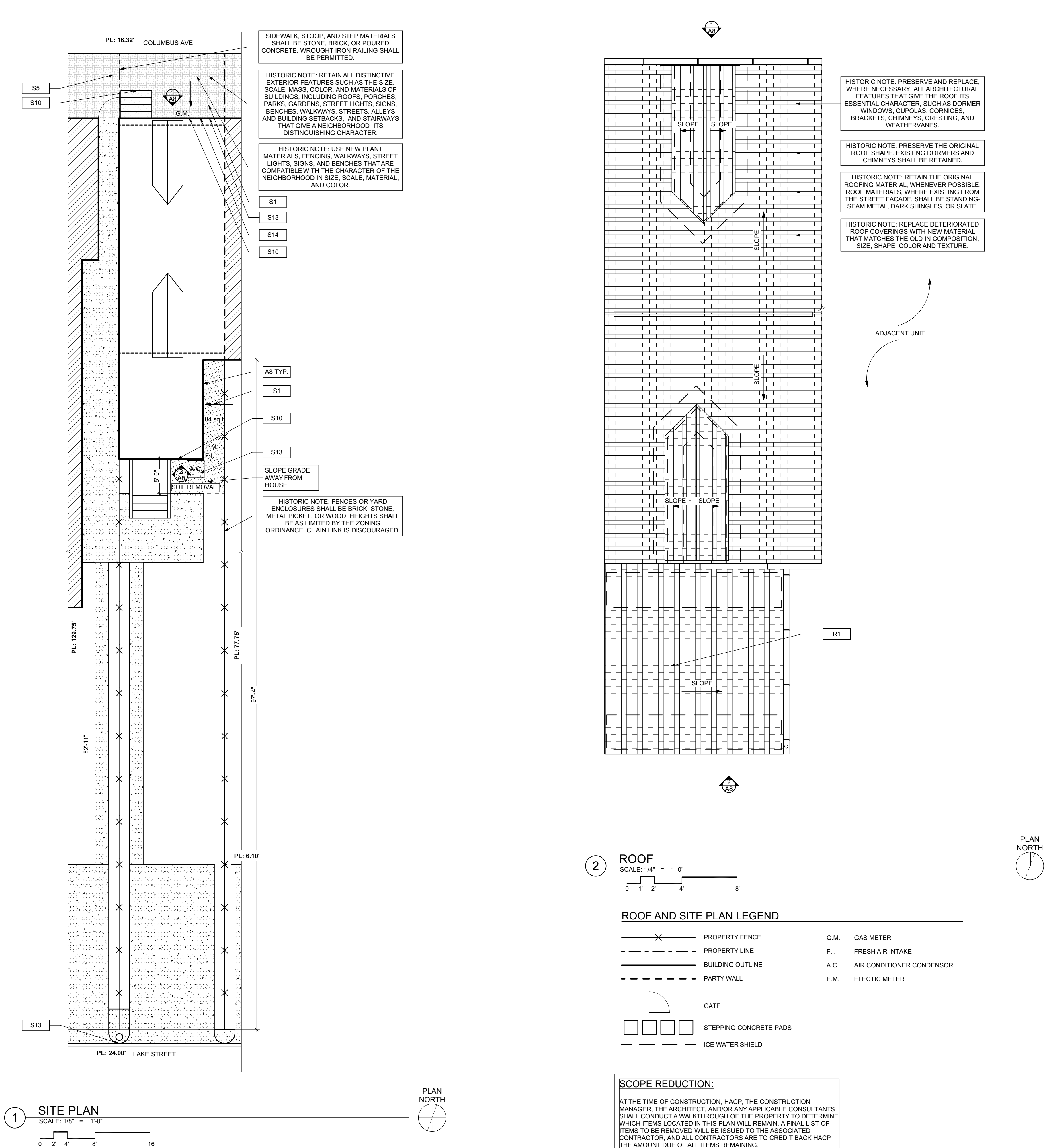
A1	REPAIR DETACHING BRICK CLADDING AT MATCH SPOTS AND REPAIR CRACKS IN BRICK AND TERRAZZO WITH NEW MORTAR AND BRICK TO MATCH EXISTING
A2	IN THE AREA, REMOVE TO REMOVE PANT FROM FACE OF CMU WALL. PREP AND PANT PER SPECIFICATIONS
A3	BOWING EXTERIOR WALL OR RETAINING WALL, BRICK AND TERRAZZO AS NECESSARY TO PLUMB WALL
A4	RUSTED STRUCTURAL BEAM, COLUMN, OR CORRELATION PLATE, BRACK AND SHORE TO REPAIR OR REPLACE AS REQUIRED PER SPECIFICATIONS FOR CORROSION
A5	LEAKAGE EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNSTRUCTURED CLOSURE OF DOOR, REPAIR DOOR OR REPLACE THRESHOLD AS NECESSARY
A6	WATER DAMAGE AT EXISTING WALL OR CEILING, REMOVE AND REPAIR EXISTING WALL OR STRUCTURE, WOOD LATH OR STUDS AS NECESSARY, REPAIR ALL CRACKS AND LEAKS AS NECESSARY AT REPAIRS. REMEDIATE LEAKS TO MATCH EXISTING WALL WITH WATER RESISTANT DRYWALL, AND ALL TILE WITH WATER-RESISTANT GROUT. REPAIR WALL WITH WALL CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS
A7	REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PANTED PLANT STOCK WOOD SILL, CHECK FOR DAMAGE IN NEW SILL, REPAIR CRACKS AND SEAL IF NECESSARY, REFER TO SPECIFICATIONS FOR DETAILS
A8	SEAL INTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH WATER-RESISTANT SEALANT PER SPECIFICATIONS
A9	EXPOSED INSULATION AT THIS LOCATION, REMOVE WALL DAMAGED INSULATION PATCHED WITH DRYWALL, OR TO MATCH EXISTING WALL ADJACENT WALL OR CEILING
A10	DETERIORATING INTERIOR STAIR BEYOND REPAIR, REMOVE EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, RAILINGS, TREADS, AND NOSING TO MATCH EXISTING STAIR TO MATCH DETAIL DESCRIBED STAIR, REFER TO DETAIL DRAWINGS FOR MORE INFORMATION
A11	ADJACENT TO STEEL COLUMN, BRACK AND SHORE FLOORING AT CANTILEVERED PORTION FOR NEW CONCRETE, BRACK AND SHORE FLOORING FOR NEW STANDARD 2'X24" SPREAD FOOTING TO MATCH EXISTING CONCRETE, REFER TO DETAIL DRAWINGS FOR MORE INFORMATION
A12	EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE, REMOVE AND CLEAN WITH WATER TO REMOVE, INSPECT EXISTING MASONRY TOWNS AS APPLICABLE TO DETERMINING GROUT LINE'S NECESSARY MORTAR JOINTS (BETWEEN BLOCKS) TO SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE
A13	CRACK, HOLE, OR DAMAGE TO WALL OR CEILING, PANT AND REPAIR DRYWALL TO MATCH EXISTING, REPAIR DRYWALL AS REQUIRED FOR LARGE CRACKS, ALL CORNERS TO RECEIVE WATER-RESISTANT DRYWALL, ALL CORNERS TO RECEIVE WATER-RESISTANT GROUT
A14	UNIFORM FLOORING, WALL, OR CEILING, REPLACE SUBFLOORING OR DRYWALL AT UNIFORM AREAS IF FLOORING LEVELING IS REQUIRED TO MATCH EXISTING TO BE PROVIDED BY ARCHITECT
A15	TERMINATING AT EXISTING TERRAZZO, REMOVE AND REMOVE ANY EXISTING PANT OR CRACKS, REPAIR OR REPLACE TERRAZZO WITH TERRAZZO, PROVIDE WATER-RESISTANT BARRIER AT BASEMENT WALLS PER SPECIFICATIONS, SEAL TRANSITION OF WALL
A16	SCAFFOLD SURFACE IF CHIPPING PAINT TO REMOVE, PRIMER AND PAINT, NEW PAINT TO MATCH EXISTING COLOR
A17	CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS, REMOVE DIRT AND RUST
A18	NEW TREADS AND RISERS AT EXISTING STAIR, REFER TO DETAIL DRAWINGS FOR MORE INFORMATION

**PLUMBING** - REF. ONLY. REFER TO PLUMB. DWG'S.

P1	NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
P2	EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

**MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.**

M1	PROPERLY SUPPORT DUCTWORK, EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
M2	REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
M3	INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE CONTROL. ALL BASEMENTS WITH MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
M4	EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILLE OR FURNACE WITH CORRECT SIZING AS NECESSARY.



### ROOF PLAN NOTES

1. ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS.
2. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR.

## SITE PLAN NOTES

1. ALL CONNECTIONS BETWEEN EXTERIOR FOUNDATION/WALL AND EXISTING SIDEWALK TO BE SEALED.
2. ALL OVERHEAD WIRES THAT INTERFERE WITH SITE TO BE RELOCATED TO PROVIDE PROPER HEAD CLEARANCE.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

**BASEMENT / DEMO PLAN, FIRST FLOOR / DEMO PLAN, SECOND FLOOR / DEMO PLAN, THIRD FLOOR / DEMO PLAN, GENERAL DEMOLITION PLAN, DEMOLITION PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES**

scale  
As Noted

date  
May 6, 2022

no.

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of.

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Sheet No.

A5

Project #2006

SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS. MINIMUM 3" OVER CONCRETE IS PRESENT. MINIMUM 3" OVER 12" REPAIRS. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CALKING AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH DRAINAGE JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WWF, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE (DROP) TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNIMPACTED FLOOR OF DOOR OR DOOR THRESHOLD OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURAL WOOD. REPAIR AND FINISH AS NECESSARY. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REPAIR LEAK SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL. REPLACE TILE AT WALLS WITH CEMENT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW STANDING JOIST. SPRING FOOTING AND APPLICABLE CONCRETE PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTION TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRIBUTE TO REDUCED MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

1 BASEMENT / DEMO PLAN

SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION. FOR ALL AREAS TO REMAIN OUTSIDE OF WORK AREA: TAKE CARE TO PROTECT FROM DUST, DRY, AND DAMAGE. PROVIDE CARPET COVERINGS AND WALK OFF MATS. DO NOT DISTURB ELECTRICAL, PLUMBING, AND HVAC SERVING THESE AREAS UNLESS REQUIRED TO PERFORM CONTRACTED WORK. THE GC IS TO COORDINATE ANY NECESSARY SHUT DOWNS WITH OWNER.
- DEMOLITION WASTE TO BE REMOVED FROM SITE BY DEMOLITION CONTRACTOR AND DISPOSED OF PROPERLY.
- AT INTERSECTION BETWEEN EXISTING WALLS TO REMAIN AND WALLS TO BE REMOVED: TAKE CARE TO CUT CLEAN AND CREATE CLEAN BREAK FOR FUTURE PATCHING.
- REMOVE ALL ELECTRICAL OUTLETS AND LIGHTING CIRCUITS IN WALLS MARKED FOR DEMOLITION BACK TO NEAREST JUNCTION BOX OR MAIN PANEL IF THERE IS NO JUNCTION BOX. AT CONTRACTORS OPTION REUSE CIRCUITS WHERE POSSIBLE.
- ALL PLUMBING/ MECHANICAL RUNS THAT ARE ABANDONED ARE TO BE CUT BACK AND CAPPED SECURELY BEHIND OR BELOW FINISHED SURFACES.
- REMOVE AND REPLACE CONCRETE SLAB AS REQUIRED.
- REPAIR OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION TO APPEAR AS NEW.
- COORDINATE MEPPF REMOVALS WITH MEPPF DRAWINGS.
- CONTRACTOR TO SET ASIDE SALVAGED ITEMS FOR REINSTALLATION AND PROTECT FROM DAMAGE. SEE FLOOR PLANS FOR REINSTALLATION LOCATIONS. ANY SALVAGED MATERIALS NOT IDENTIFIED FOR REUSE SHALL BE TURNED OVER TO THE OWNER.
- ITEMS NOT LABELED OR KEYED FOR REMOVAL / DEMOLITION ARE EXISTING AND INTENDED TO REMAIN. PROTECT THESE ITEMS FROM DAMAGE.
- PROTECT EXISTING HVAC UNITS AND DUCTWORK FROM DUST DURING CONSTRUCTION.
- COORDINATE WITH OWNER ON EXACT DEMOLITION INTENT BEFORE DEMOLITION.

2 FIRST FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

- [Hatched Area] DEMOLISH EXISTING FLOORING FINISH IN HATCHED AREA.
- [Hatched Area] DEMOLISH EXISTING CASEWORK IN HATCHED AREA.
- [Blank Area] FUTURE PHASE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

AS A PART OF SIDING REPLACEMENT OR REPAIRS TO HISTORIC PROPERTIES, GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING AND NEW PENETRATIONS BEFORE PROJECT CLOSE-OUT AND SEAL ANY PENETRATIONS AGAINST VERMIN AND INSECTS USING SINGLY OR IN COMBINATION: NON-SHRINK GROUT, CAULKING OR ALUMINUM FLASHING

3 SECOND FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"

4 THIRD FLOOR / DEMO PLAN

SCALE: 1/4" = 1'-0"

0 1' 2' 4' 8'





- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

**BASEMENT/FINISH/MECH./PLUMB. PLAN, FIRST FLOOR/FINISH/MECH./PLUMB. PLAN, SECOND FLOOR/FINISH/MECH./PLUMB. PLAN, THIRD FLOOR/FINISH/MECH./PLUMB. PLAN, FLOOR PLAN LEGEND, SMALL UNIT KEYNOTES, GRAPHIC SCALES**

scale  
As Noted

date  
May 6, 2022

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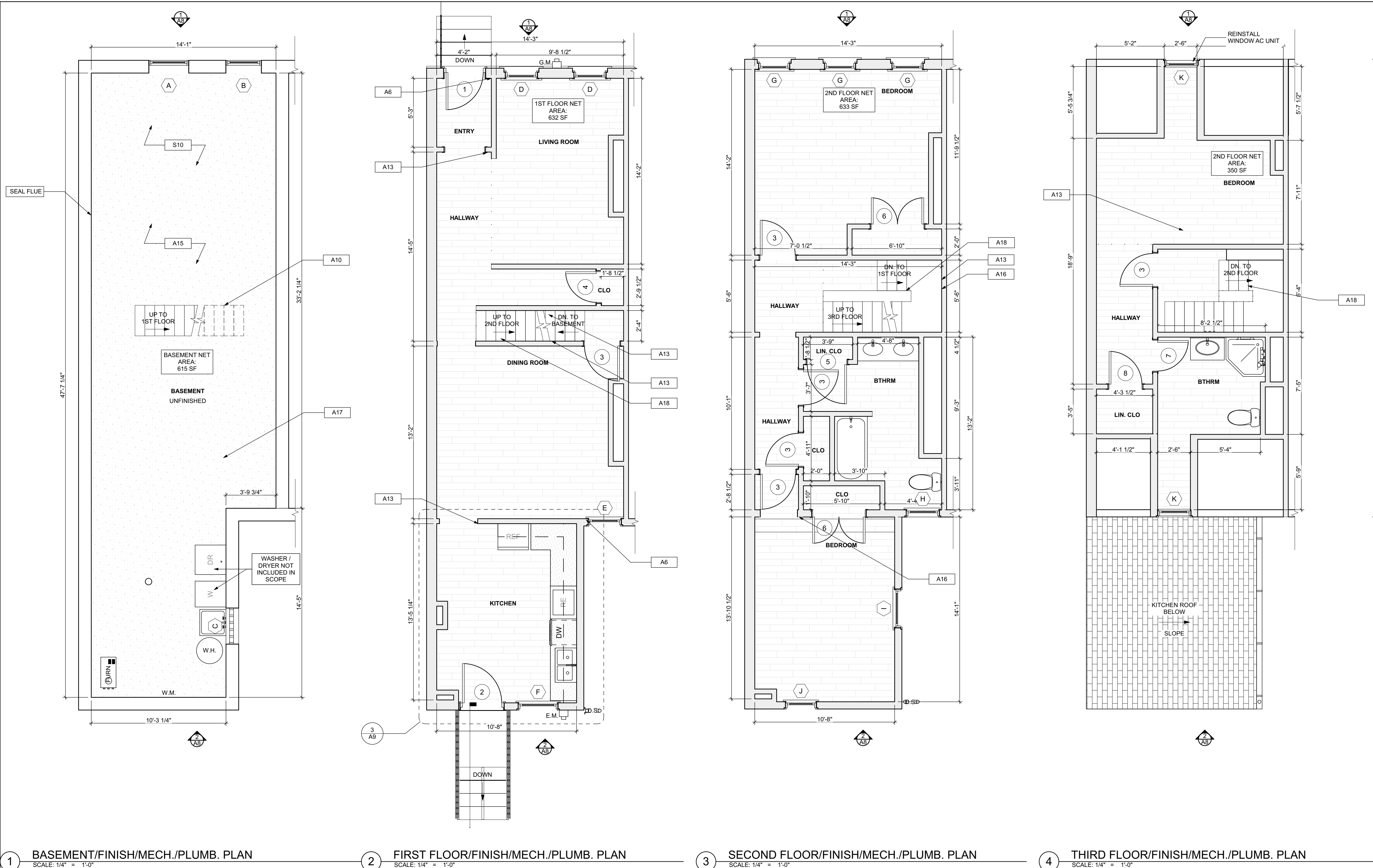
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12

Sheet No.

A6

Project #2006



SITE

- AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL BY ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TO TOP OF FINISH FLOOR TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1" OF REINFORCED CONCRETE IS REQUIRED TO MEET SLOPE REQUIREMENTS.
- UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF LINE SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TIE CABLES AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE PAD TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CALK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER.
- REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REPAIR TO SPECIFICATIONS FOR DETAILS.
- REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRADE, RELOCATE SERVICE (DROP) TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- REMOVE OVERGROWTH VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.

ROOF

- DAMAGED ROOF ELEMENT REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

- REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. BRICK SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- FOR UNDISTURBED COLORED OF DOOR TO ALLOW LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW REFINISH DOOR OR REPLACE THRESHOLD AS NECESSARY.
- WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD STUDS OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE. REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
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- SEA ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
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- ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW BRACING. 2X4'S. SPRING FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- EFFECT OF EFFLUENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLUENCE.
- CRACK, HOLE OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- UNEVEN FLOORING, WALL OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF EXTERIOR WALL IS INVOLVED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
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- CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
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- REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
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- EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.

FLOOR PLAN LEGEND

- FRIDGE
- RANGE
- GAS FURNANCE
- UTILITY SINK
- WASHER
- NEW DOOR AND DOOR NUMBER
- WATER HEATER
- DOWN SPOUT
- ELECTRIC METER
- HOSE BIBB
- DRYER

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
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ISSUED FOR PERMIT: 05.06.2022

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

BSMT. REFL. CLG./ POWER / DATA PLAN,  
PLAN, FIRST FLOOR REFL. CLG. /  
POWER / DATA PLAN, SECOND  
FLOOR REFL. CLG. / POWER /  
DATA PLAN, THIRD FLOOR REFL.  
CLG./ POWER / DATA PLAN,  
GRAPHIC SCALES, RCP LEGEND,  
LIGHTING SCHEDULE, SMALL  
UNIT KEYNOTES

scale  
As Noted

date  
May 6, 2022

no. 8

of. 12

Sheet No.

A7

Project #2006

SITE

- [S1] AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXTERIOR WALL OF HOUSE. POUR CONCRETE TOPPING TO MEET SLOPE REQUIREMENTS WHERE CONCRETE IS PRESENT. MINIMUM 3" OVER 12" REPAIR DISTURBED VEGETATION PER SPECIFICATIONS.
- [S2] UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- [S3] TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- [S4] EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S5] SAWCUT AND REMOVE, OR REMOVE ON JOINT LINES AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE WWF. COMPACT SOIL AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- [S6] POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- [S7] REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- [S8] TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- [S9] ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- [S10] REGROUT AND POINT MASONRY AS NECESSARY. GROUT TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARGETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- [S11] REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- [S12] REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE (DUP) TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- [S13] REMOVE OVERGROWN VEGETATION. BEE OR BIRD NEST. CLEAN AND REPAIR SURFACE. RESEAL ANY CRACKS AS NECESSARY.
- [S14] REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- [R1] DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPLICABLE TO INCLUDE: FLASHING, VENTS, CRACKS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

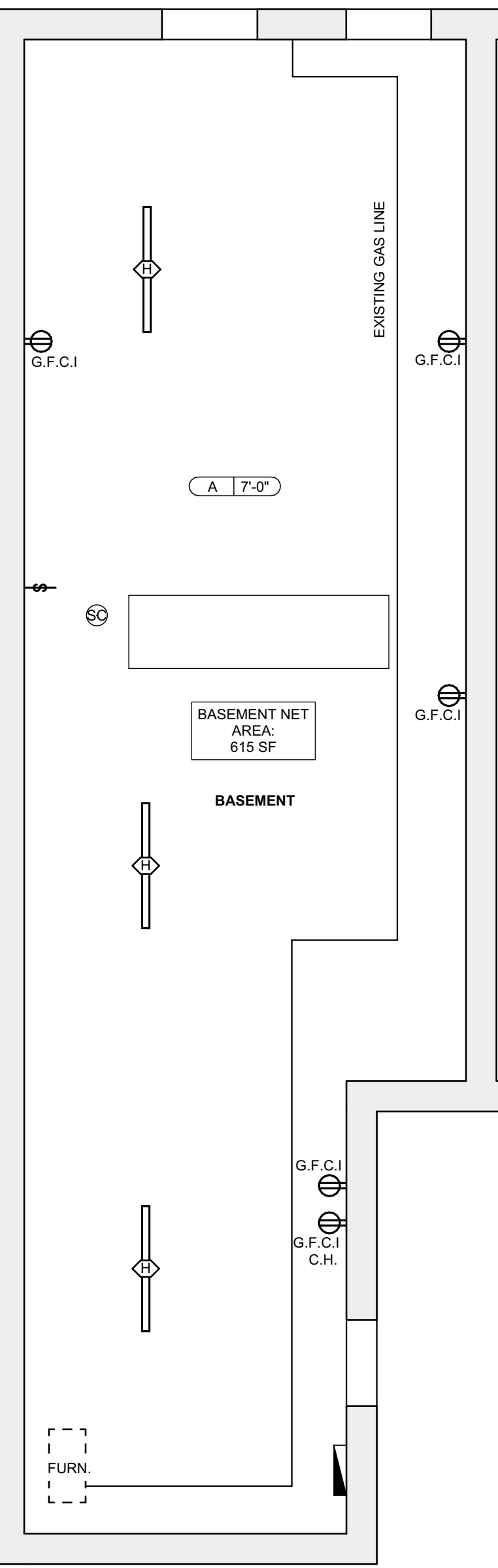
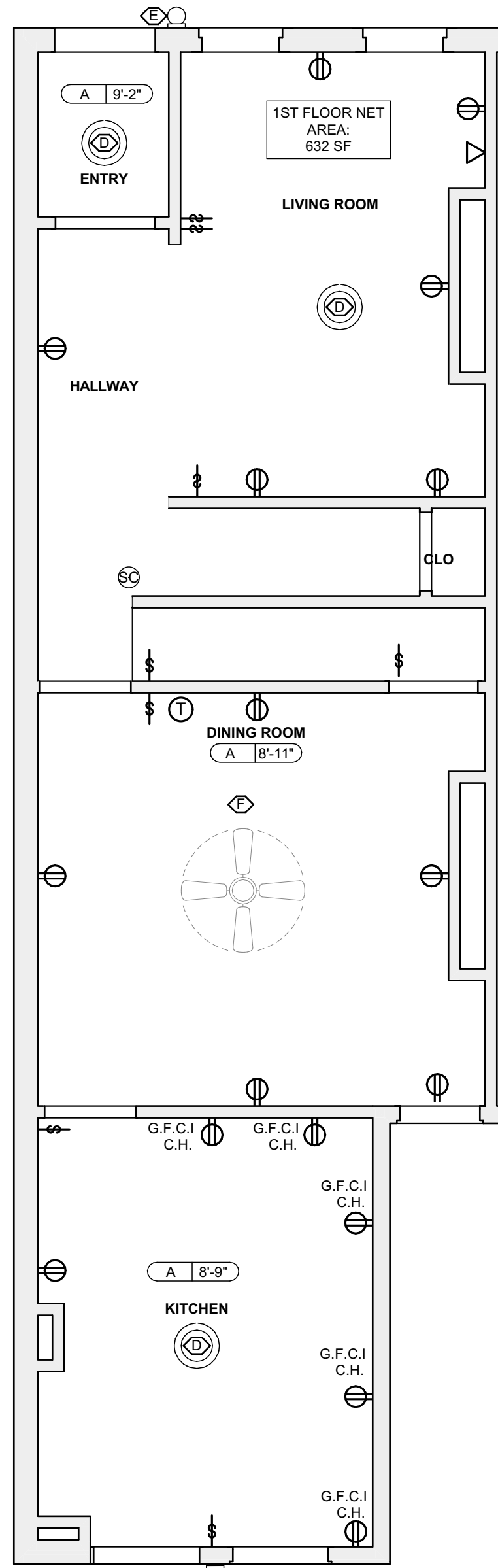
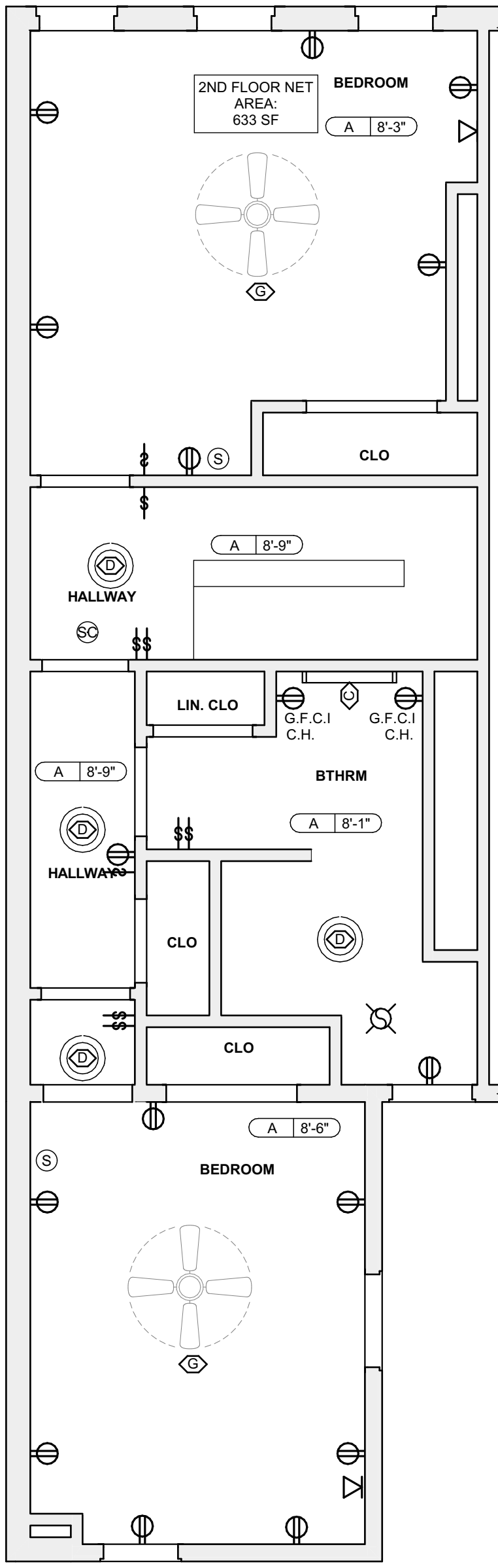
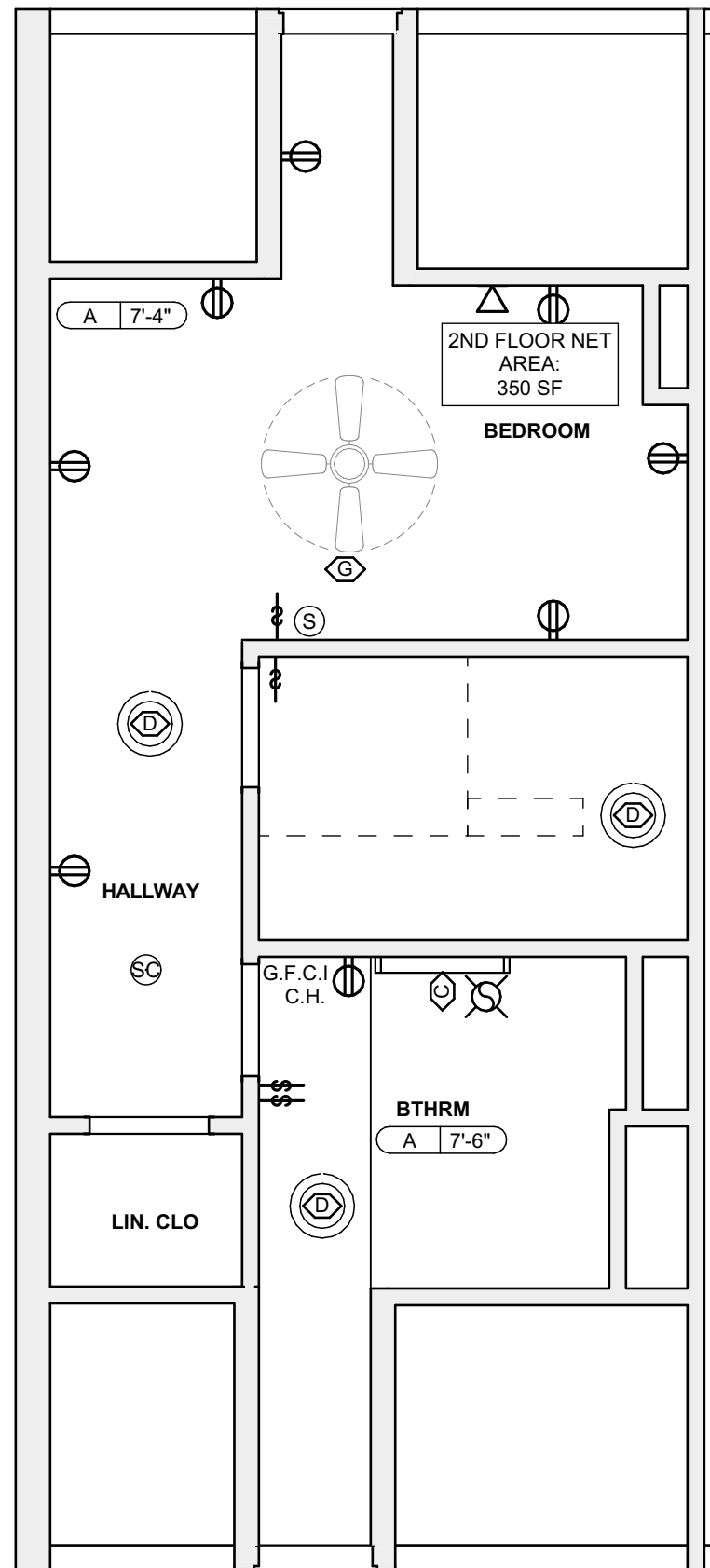
- [A1] REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- [A2] IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- [A3] BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- [A4] RUSTED STRUCTURAL BEAM, COLUMNS, OR CONNECTION PLATE. BRACE AND SHORE TO REPAIR OR REPLACE AS NEEDED. REFER TO SPECIFICATIONS FOR DETAILS.
- [A5] FOR UNDESIRABLE COLORED DOOR TO ALLOW LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNDESIRABLE COLORED DOOR. REHINGE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- [A6] WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. REMEDIATE LEAK. SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT DRYWALL AND ALL TILE WALLS WITH CEMENT BOARD. REPLACE TILE AT WALL TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- [A7] REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD SILL. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- [A8] SEAL EXTERIOR PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- [A9] EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- [A10] DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARDS, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A11] ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW (8"X12"X24"). SPREAD FOOTING AND APPLICABLE CONNECTION PLATES. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- [A12] EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- [A13] CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- [A14] UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER REPAIR IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- [A15] ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- [A16] SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- [A17] CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- [A18] NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- [P1] NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- [P2] EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- [M1] PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- [M2] REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- [M3] INSPECTION CONDUCTED. RECOMMENDS ADDING DEHUMIDIFIER IN SPACE TO MITIGATE MOISTURE. CONTRACTOR TO PROVIDE DEHUMIDIFIER. ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- [M4] EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO DRIILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



1 BSMT. REFL. CLG/ POWER / DATA PLAN

SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					
SYMBOL	ELEMENT ID	TYPE	MANUFACTURER OR EQUIVALENT	MODEL NUMBER	QUANTITY
	C	Long Bathroom Light Bar - Replacement - Long Vanity Light	KICHLER Joelson 3 Swing Arm bath Vanity Light Nickel	Model #45923	2
	D	Bowl-Shade Light Fixture	KICHLER 2 light Flush Mount White	Model #8112WH	10
	E	Exterior Wall Mounted	KICHLER Madison 1 Light Outdoor Wall Bracket	Model #9654TZ	2
	F	Diningroom Ceiling Fan With Lights	CRESTFIELD 3 LED Lights 52 inch	Model # 54204	1
	G	Bedroom Ceiling Fan	DEMPSEY Low Profile with Light 44 inch	Model # 59445	3
	H	LED Ceiling Hung Long Light	COMMERCIAL ELECTRIC 4 ft. 64-Watt Equivalent Integrated LED White Shop Light Linkable 3200 Lumens 4000K Bright White 5 ft. Cord Included	Model #54103161	3

QUANTITIES SHOWN ABOVE ARE FOR CONVENIENCE ONLY. EC IS RESPONSIBLE FOR OWN TAKE-OFF

2 FIRST FLOOR REFL. CLG. / POWER / DATA PLAN

SCALE: 1/4" = 1'-0"

RCP LEGEND - (See Specifications for basis of Design)

- [S] SMOKE ALARM, PROVIDE NEW WHERE SHOWN
- [SC] SMOKE/ CARBON MONOXIDE/COMBO DETECTOR
- [E] ELECTRICAL METER
- [T] THERMOSTAT
- [D] DATA RECEPTICAL, 18" A.F.F. U.O.N.
- [R] ELECTRICAL RECEPTICAL, 18" A.F.F. U.O.N.
- [RCH] ELECTRICAL RECEPTICAL, 44" A.F.F. U.O.N.
- [GFCI] GROUND FAULT CIRCUIT INTERRUPTER
- [GFCICH] GROUND FAULT CIRCUIT INTERRUPTER
- [L] LIGHT SWITCH
- [X] EXHAUST FAN
- [D] DOORBELL

A | X'-X" | GWB CEILING / CEILING HEIGHT

B | X'-X" | UNFINISHED CEILING / CEILING HEIGHT TO B.O. TRUSS/JOIST

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

3 SECOND FLOOR REFL. CLG. / POWER / DATA PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTE:

ALL LIGHTING FIXTURES AND POWER DEVICES ARE TO BE REPLACED. THE LOCATIONS SHOWN ARE INTENDED TO BE THE EXISTING LOCATIONS: MEANING NO NEW WIRING IS CONTEMPLATED. PROVIDE UNIT PRICING FOR EACH FIXTURE / DEVICE ADDED OR REMOVED FROM THE QUANTITIES SHOWN HERE.

4 THIRD FLOOR REFL. CLG./ POWER / DATA PLAN

SCALE: 1/4" = 1'-0"



Fukui Architects Pc

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scale

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repainting, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

NORTH ELEVATION, SOUTH  
ELEVATION, GRAPHIC SCALES,  
HISTORIC KEYNOTES, SMALL  
UNIT KEYNOTES

scale  
As Noted

date  
May 6, 2022

no. 9 of 12

Sheet No.

A8

Project #2006

HISTORIC

- H1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORK SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS NATIONAL PARK SERVICE PRESERVATION BRIEF. SEE SPECIFICATIONS 19.
- H2 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD. RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, OC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH OR THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL.
- H3 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H4 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EXPECTED, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H5 CRACK INTERVIEW INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H6 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONSULT WITH ARCHITECT REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS).
- H7 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS).
- H8 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H9 - TYP X ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING FENESTRATION AND PANE ARRANGEMENT. NOTE: WINDOW OPENING INFILL TO ACCOMMODATE SMALLER WINDOWS AS WELL AS REFLECTIVE OR TINTED GLASS ARE NOT ACCEPTABLE. THE DETERIORATED WOOD OR MASONRY SILL AND LINTELS IN THIS LOCATION SHOULD BE REPAIRED AND PAINTED FOLLOWING NPS GUIDELINES. (SEE SPECIFICATIONS FOR ACCEPTABLE WINDOW UNITS AND REPAIRS).

- H10 - TYP X IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
- H11 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL, SCRAPE, TRIM AND RE-PAINT PEELING OR BLISTERED WOOD ACCORDING TO NPS PRESERVATION BRIEF 19. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT DORMER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION.
- H12 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING, PRESSED TIN, ZINC, AND ALUMINUM SHALL BE CLEANED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS, WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS).
- H13 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS).
- H14 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LOOSE BRICK FROM ADJACENT BUILDING. ALERT ARCHITECT IF ANY DAMAGE IS EVIDENT FROM FALLEN BRICK. REPAIR DAMAGED FEATURE USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H15 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS).

SITE

- S17 AT LOCATION SHOWN, REMOVE 4" OF TOPSOIL, PROVIDE CLAY CAP AND REPLACE TOPSOIL IN ORDER TO CREATE POSITIVE SLOPE AWAY FROM EXISTING WALK. IF REQUIRED, POUR CONCRETE, TOPPING TO MEET SLOPE REQUIREMENTS. WHERE CONCRETE IS PRESENT, MINIMUM 3" OVER 1:2" SLOPE. REPAINT DISTURBED VEGETATION PER SPECIFICATIONS.
- S2 UNEVEN LEVELS OF CONC. AT STEPS OR BETWEEN STEPS AND WALKWAY. PROVIDE CONC. TOPPER LEVELING AT SIDEWALK AS NECESSARY PER SPECIFICATIONS.
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH NEW SYNTHETIC TRIM CAULKED AND PAINTED TO MATCH EXISTING POST DETAIL AND COLOR. SEE SPECIFICATIONS.
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/WE, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S5 SAWCUT AND REMOVE, OR REMOVE ON JOINT LINE AREA OF DAMAGED CONCRETE PAD. PAVERS, OR STAIR, PROVIDE NEW CONCRETE PER SPECIFICATIONS. CONCRETE TO BE SLOPED AWAY FROM HOUSE MIN. 2% WITH EXPANSION JOINT AND CAULK. BELOW NEW SLAB SECTION PROVIDE W/WE, COMPACT SOIL, AND PROVIDE ADDITIONAL GRAVEL AS NECESSARY TO CREATE PROPER SLOPE. SEE SPECIFICATIONS.
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST GAS LEAKAGE AND TIGHTEN AND REPAIR METER AS NECESSARY WITH CITY OF PITTSBURGH APPROVED GAS METER.
- S7 REPAIR EXISTING DAMAGED EXTERIOR STEP. POUR NEW CONCRETE WHERE STEP IS CHIPPED TO MATCH EXISTING CONCRETE STEP.
- S8 TRIM EXISTING TREE AWAY FROM BUILDING AS REQ'D.
- S9 ROTTING OR DETERIORATING ROOF OR PORCH TRIM OR ORNAMENTAL WOOD. REMOVE AND REPLACE TO MATCH EXISTING PER SPECIFICATIONS.
- S10 REGROUT AND POINT MASONRY AS NECESSARY. GROUT CAULK TO MATCH GROUT AT ADJACENT BLOCK. PROVIDE NEW PARQUETING AT EXT. CONC. REFER TO SPECIFICATIONS FOR DETAILS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DEEPER TO EXISTING GRAVEL. PROVIDE GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER PER SPECIFICATIONS.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS. WHERE ELECTRICAL WIRES ARE LESS THAN 12" FROM GRAVE, RELOCATE SERVICE DUCT TO PROVIDE A CLEAR HEIGHT OF 12" MIN.
- S13 REMOVE OVERGROWTH VEGETATION, BEE OR BIRD NEST, CLEAN AND REPAIR SURFACE, RESEAL ANY CRACKS AS NECESSARY.
- S14 REMOVE DAMAGED VINYL SIDING AND WEATHER RESISTIVE BARRIER FROM THIS AREA. PROVIDE NEW VINYL SIDING TO MATCH EXISTING STYLE AND COLOR AND PROPERLY LAPPED WEATHER RESISTIVE BARRIER PER SPECIFICATIONS.

ROOF

- R1 DAMAGED ROOF ELEMENT. REMOVE, REPLACE, AND SEAL AS APPROPRIATE TO INCLUDE: FLASHING, VENTS, ETC. REFER TO SPECIFICATIONS FOR DETAILS.

ARCHITECTURAL

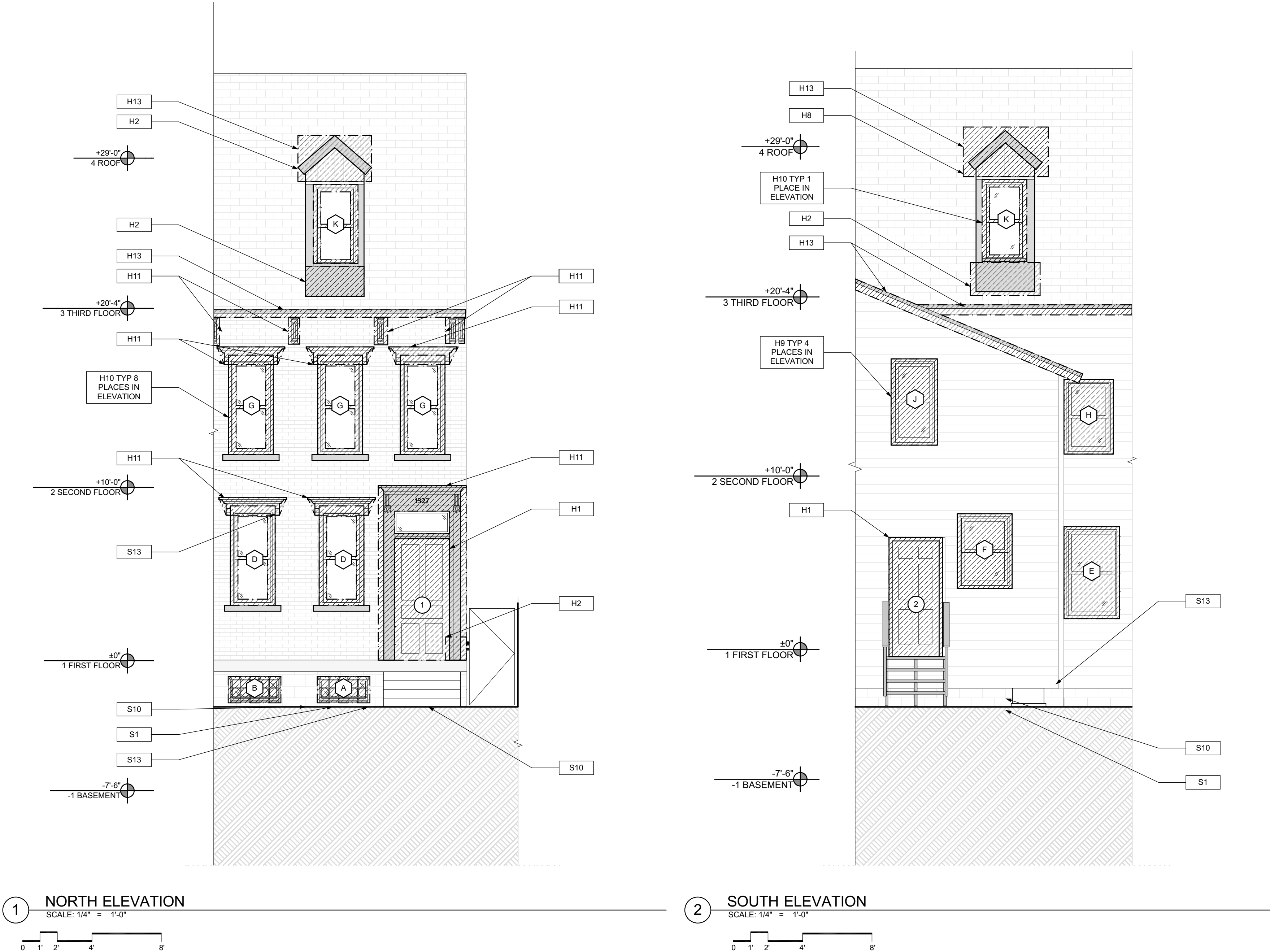
- A1 REPAIR DETERIORATING BRICK CLADDING AT EXTERIOR WALL. SPOT SAW CUT DAMAGED BRICK AND REPLACE WITH NEW MORTAR AND BRICK TO MATCH ADJACENT.
- A2 IN THIS AREA, WIRE BRUSH TO REMOVE PAINT FROM FACE OF CMU WALL. PREP AND PAINT PER SPECIFICATIONS.
- A3 BOWING EXTERIOR WALL OR RETAINING WALL. BRACE AND TIEBACK AS NECESSARY TO PLUMB WALL.
- A4 RUSTED STRUCTURAL BEAM COLUMN, OR CONNECTION PLATE, BRACE AND SHORE TO REPAIR OR REPLACE AS NECESSARY. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A5 LEVEL EXISTING FLOOR AND/OR DOOR TO ALLOW FOR UNOBTAINED FLOOR FINISH. REPAIR OR REPLACE DOOR OR REPLACE THRESHOLD AS NECESSARY.
- A6 WATER DAMAGE AT EXISTING WALL OR CEILING. REMOVE DRYWALL AND REPAIR DAMAGED STRUCTURE. WOOD LATH OR STUDS AS REQUIRED. REPLACE ANY FLASHING OR HEADERS AS NECESSARY AT WINDOWS. IDENTIFY SOURCE, REPLACE ALL WET LOCATION DRYWALL WITH WATER RESISTANT BOARD. REPLACE TILE AT WALLS TO CEILING OF TUBS AND SHOWERS PER SPECIFICATIONS.
- A7 REPLACE EXISTING INTERIOR WINDOW SILL WITH 1X PAINTED FLAT STOCK WOOD. CHECK FOR WATER DAMAGE WHEN REPLACING. REPAIR AND SEAL, IF NECESSARY. REFER TO SPECIFICATIONS FOR DETAILS.
- A8 SEAL ENTIRE PERIMETER TRANSITION BETWEEN SLAB OR SIDEWALK AND FOUNDATION WALL WITH ELASTOMERIC SEALANT PER SPECIFICATIONS.
- A9 EXPOSED INSULATION AT THIS LOCATION. REPLACE ANY DAMAGED INSULATION. PATCH AND REPAIR DRYWALL OR PLASTER. PAINT TO MATCH ADJACENT WALL OR CEILING.
- A10 DETERIORATING INTERIOR STAIR BEYOND REPAIR. DEMOLISH EXISTING STAIR AND REPLACE WITH NEW WOOD STAIR WITH WOOD STRINGERS, KICKBOARD, TREADS, AND RISERS. RISER AND TREAD HEIGHT TO MATCH DEMOLISHED STAIR. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- A11 ADJUSTABLE STEEL COLUMN, BRACE AND SHORE FLOORING AT COLUMN LOCATION FOR NEW PERMANENT COLUMN. SAWCUT EXISTING SLAB FOR NEW SPANNING L2X12" SPRINKLE FOOTING AND ANCHORAGE. CONSULT DETAIL DRAWINGS FOR DETAIL DRAWINGS FOR MORE INFORMATION.
- A12 EFFLORESCENCE LOCATED AT EXISTING MASONRY OR CONCRETE. DRY BRUSH AND CLEAN WITH WATER TO REMOVE. INSPECT EXTERIOR MORTAR JOINTS AS APPLICABLE. POINT DETERIORATING GROUT LINES AS NECESSARY AND APPLY VAPOR BREATHABLE MASONRY SEALER OVER EXTERIOR BLOCK TO PREVENT FURTHER EFFLORESCENCE.
- A13 CRACK, HOLE, OR DAMAGE TO WALL OR CEILING. PATCH AND REPAIR DRYWALL OR PLASTER. REPLACE DRYWALL AS REQUIRED FOR LARGE HOLES. ALL WET LOCATIONS TO RECEIVE WATER RESISTANT DRYWALL. ALL CORNERS TO RECEIVE DRYWALL CORNER BEAD.
- A14 UNEVEN FLOORING, WALL, OR CEILING. REPLACE SUB FLOORING OR DRYWALL AT UNEVEN AREAS. IF FURTHER LEVELING IS REQUIRED, DIRECTIONS TO BE PROVIDED BY ARCHITECT.
- A15 ADD WATERPROOFING AT BASEMENT. SCRAPE AND REMOVE ANY EXISTING PAINT OR WATERPROOFING. PROVIDE INTERIOR WATERPROOFING BARRIER AT BASEMENT WALLS PER SPECIFICATIONS. SEAL TRANSITION OF WALL.
- A16 SCRAPE SURFACE OF CHIPPING PAINT AS REQUIRED. PRIMER AND PAINT. NEW PAINT TO MATCH EXISTING COLOR.
- A17 CLEAN EXISTING AREA WITH NON-HAZARDOUS CLEANING MATERIALS. REMOVE DIRT AND RUST.
- A18 NEW TREADS AND RISERS AT EXISTING STAIR. REFER TO SPECIFICATIONS FOR DETAILS.

PLUMBING - REF. ONLY. REFER TO PLUMB. DWG'S.

- P1 NON-FUNCTIONING OR MISSING PLUMBING COVER OR FIXTURE PART. REPLACE PARTS AS NECESSARY PER SPECIFICATIONS.
- P2 EXISTING FIXTURE OR PIPING LOOSE AND LEAKING. TIGHTEN AND SEAL ALL ELEMENTS OR REPAIR AS NECESSARY. INSULATE ALL EXTERIOR PIPING OR PIPING LOCATED AT EXTERIOR WALL.

MECHANICAL - REF. ONLY. REFER TO MECH. DWG'S.

- M1 PROPERLY SUPPORT DUCTWORK. EXPANSION TANK, OR OTHER FEATURE AT LOCATION.
- M2 REPLACE DUCTWORK WITH CORRECT SIZING BASED ON ADJACENT DUCT OR FURNACE.
- M3 INSPECTION CONDUCTED. RECOMMENDS ADDING DELUMINOPIPER IN SPACE TO MITIGATE MOISTURE ISSUES ALSO TO GET WATERPROOFED. REFER TO SPECIFICATIONS FOR MORE DETAILS.
- M4 EXISTING DUCT LOOSE, DISCONNECTED, OR INCORRECT SIZE. REPLACE AND SECURE ALL DUCTWORK. RECONNECT TO GRILL OR FURNACE WITH CORRECT SIZING AS NECESSARY.



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

SCOPE REDUCTION:

AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.

GENERAL NOTE:

SEE SHEET A-3 SCOPE NOTES FOR EXTERIOR REPLACEMENT SCOPE.

seal

## general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

## revisions

ISSUED FOR PERMIT: 05.06.2022

## project title

## Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

## Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

## drawing title

KITCHEN ELEVATION 01,  
KITCHEN ELEVATION 02, FIRST  
FLOOR KITCHEN ENLARGED  
PLANscale  
As Noteddate  
May 6, 2022no.  
10of.  
12

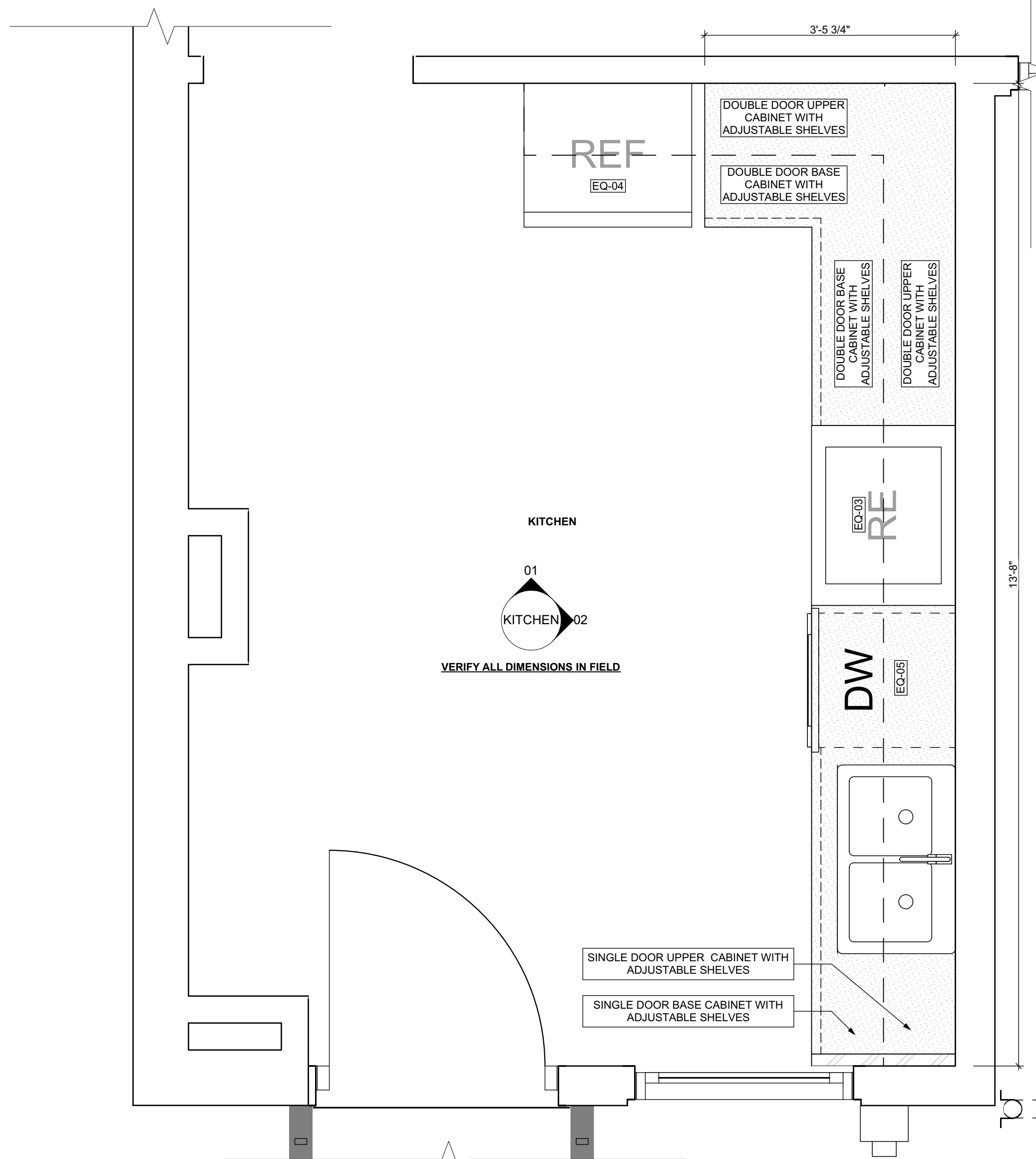
## Sheet No.

A9

Project #2006

## 1 KITCHEN ELEVATION 01

SCALE: 3/4" = 1'-0"

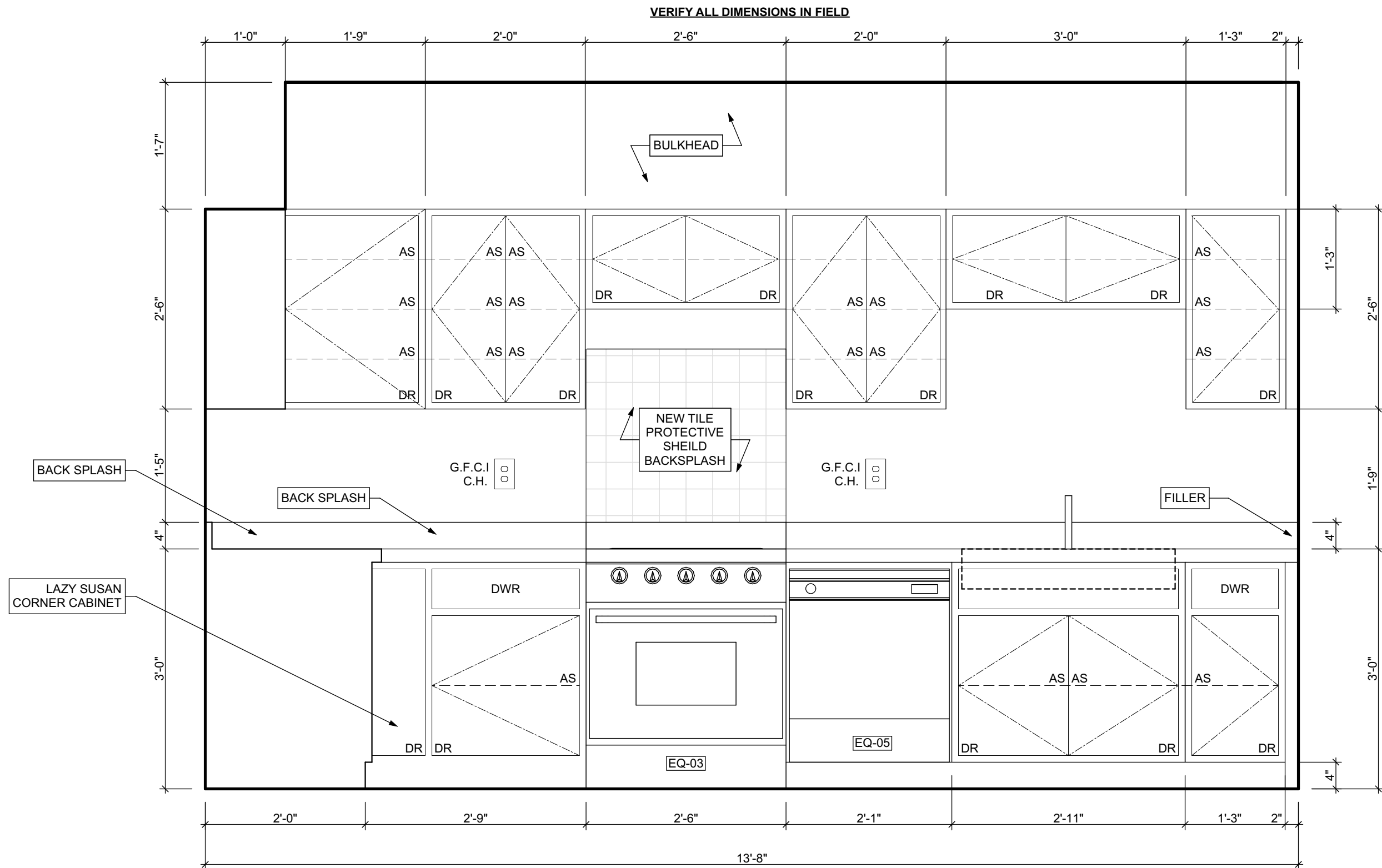


## 3 FIRST FLOOR KITCHEN ENLARGED PLAN

SCALE: 3/4" = 1'-0"

## 2 KITCHEN ELEVATION 02

SCALE: 3/4" = 1'-0"



## BATHROOM ACCESSORY SCHEDULE

ITEM	QUANTITY	MANUFACTURER	DIMENSIONING NOTES
MIRROR	1	Eviva Sleek Frameless Rectangular Bathroom Vanity Mirror, or equivalent	Remove existing and place new mirror in same location
MEDICINE CABINET	1	Kohler Maxtow 20in. x 24in. Aluminum Frameless Surface-Mount Soft Close Medicine Cabinet with Mirror, or equivalent	Remove existing and place new medicine cabinet in same location
TOWEL BAR	2	MOEN Contemporary 24 in. Towel Bar in Chrome	Remove existing and place towel bar in same location, provide blocking if necessary
TOILET PAPER HOLDER	2	MOEN Contemporary Toilet Paper Holder in Chrome	Remove existing and place toilet paper holder in same location, provide blocking if necessary
TOWEL RING	2	MOEN Contemporary Towel Ring in Chrome	Remove existing and place towel ring in same location, provide blocking if necessary
WALL MOUNTED SOAP HOLDER	2	MOEN Contemporary Wall mounted soap holder in Chrome	Remove existing and place wall mounted soap holder in same location, provide blocking if necessary

## MECHANICAL EQUIPMENT SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
ELECTRIC FURNACE	-	0	AMANA	AVPEC	See specifications for Sizing requirements, related equipment and accessories
NATURAL GAS FURNACE	FURN	1	AMANA	AMEC96	See specifications for Sizing requirements, related equipment and accessories
AIR-COOLED HEAT PUMP UNITS	-	0	AMANA	ASZ - 16	See specifications for Sizing requirements, related equipment and accessories
AIR COOLED CONDENSING UNITS	AC	1	AMANA	ASX - 18	See specifications for Sizing requirements, related equipment and accessories
EXHAUST FAN (CEILING MTD)	-	0	PANASONIC	FV - 0511VC1	Whisper fit DC-50-80-110 CFM with Condensation Sensor
ELECTRIC BASE BOARD RADIATION	-	0	QMARK	QMKCA	Electric Baseboard Radition, Size, Wattage and Voltage to match existing unit being removed
ELECTRIC WALL HEATER	-	0	QMARK	CWH	Electric Wall Heater, Size, Wattage and Voltage to match existing unit being removed
DIFFUSERS, REGISTERS, GRILLES	-	0	HART & COOLEY	SERIES 600	Double deflection supply air register Single deflection return air register
ELECTRIC WATER HEATER	-	0	A.O. SMITH	VOLTEX HYBRID Electric heat pump	Refer to plumbing specifications for sizing
NATURAL GAS WATER HEATER	WH	1	A.O. SMITH	PROLINE® VE	Refer to plumbing specifications for sizing

MANUFACTURERS PRODUCTS NOTED ON THESE SCHEDULES ARE "BASIS OF DESIGN ONLY" AND MAY BE SUBSTITUTED WITH EQUIVALENT SPECIFICATION

## APPLIANCE SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
STOVE	RE/EQ-03	1	WHIRLPOOL	W11245179A	black 30"
REF.	REF/EQ-04	1	WHIRLPOOL	WRT1E8F2DB00	black 18", type 18MSTA

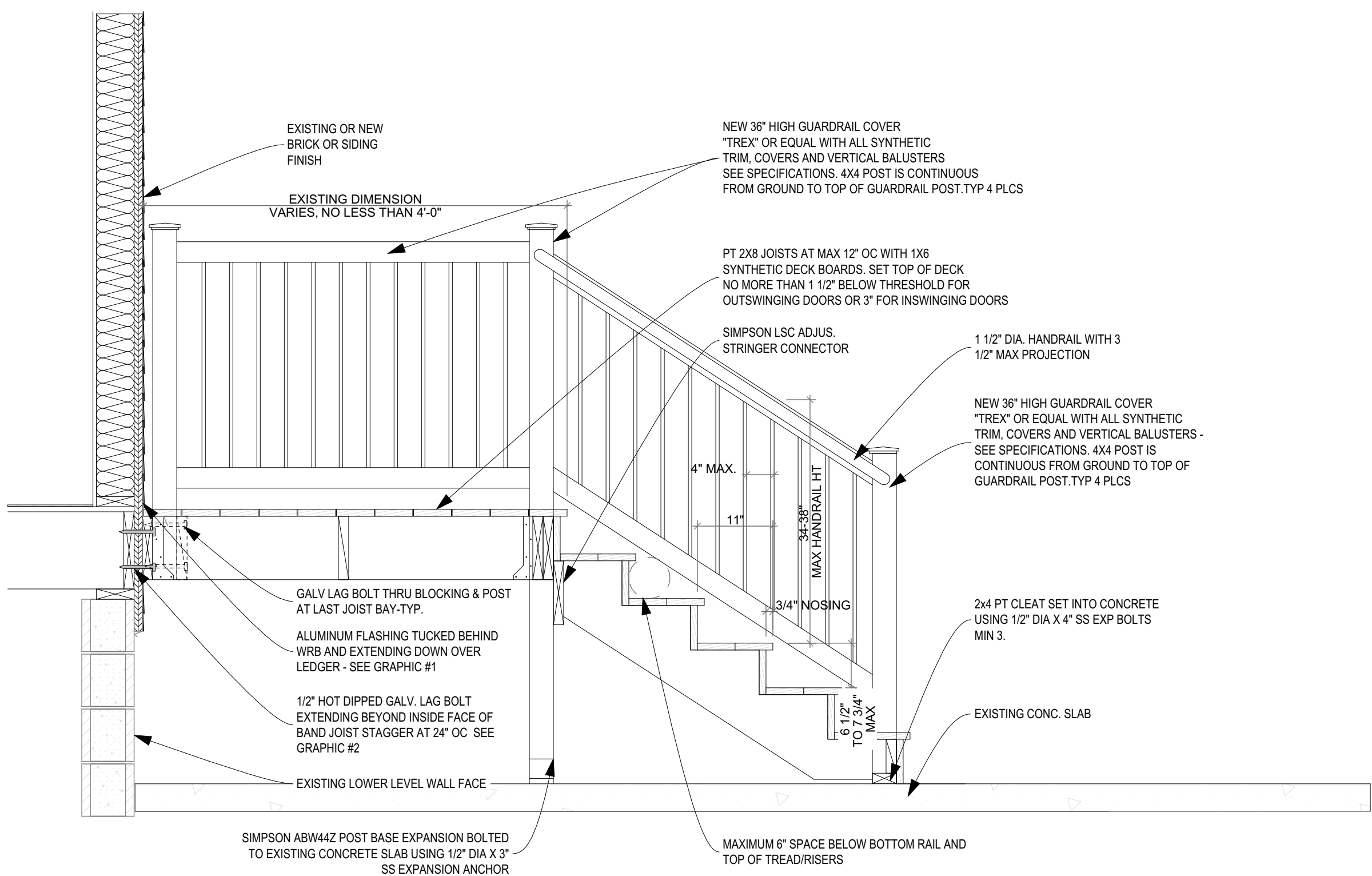
## PLUMBING SCHEDULE

ITEM	TAG	QUANTITY	MANUFACTURER	MODEL	NOTES
KITCHEN SINK (DOUBLE BOWL)	-	1	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 30" 50/50 Double Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK (SINGLE BOWL)	-	0	ELKAY	AVENUE	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
KITCHEN SINK FAUCET	-	1	MOEN	7425	Kitchen, 8" Chateau with covers for unused sink holes.
VANITY LAVATORY	-	3	GLACIER BAY	W11245179A	24" W x 36" H x 19" D Bath Vanity in White with Vanity Top in White and White Basin
PEDESTAL LAVATORY	-	0	KOHLER	K-2362-4-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY (WALL HUNG)	-	0	KOHLER	KINGSTON K-2005-0	Drop-in/Undermount Stainless Steel 25" X 22" X 9" 3 Hole Single Bowl Kitchen Sink with Bottom Grid
LAVATORY FAUCET	-	2	MOEN	L64620	4" Chateau with covers for unused sink holes
WATER CLOSET	-	2	KOHLER	K-31621-0	Cimarron white elongated comfort height 2-piece watersense toilet, 12" rough-in size (ADA Compliant)
SHOWER	-	1	DREAMLINE	PRISM DL-6030-04	Fit to existing conditions. Frameless pivot shower enclosure in brushed nickel and corner drain white base
BATHTUB	-	1	AMERICAN STANDARD	PRINCETON 2391.S.020	Princeton 30"W x 60" L White porcelain enameled steel rectangular right drain alcove soaking bathtub
BATHTUB / SHOWER FAUCETS	-	2	MOEN	T269E3P / T834ZEP15	Voss Chrome 1-Handle Handle(S) Included WaterSense Tub and Shower with Single Function Showerhead Model/Commercial Chrome 1-Handle WaterSense Shower Faucet with Multi-Head Showerhead
WASHER BOX	-	0	GUY GRAY	RECESSED WALL BOX	Combination valved fitting or separate Hot & Cold water valved fittings & drain standpipe
LAUNDRY TRAY (SINGLE)	-	1	E.L. MUSTEE & SONS, INC.	UTILITUB 19F	Freestanding Single Laundry tray with steel legs
LAUNDRY TRAY (DOUBLE)	-	0	E.L. MUSTEE & SONS, INC.	UTILAWIN 27F	Freestanding Double Laundry tray with steel legs
LAUNDRY TRAY FAUCET	-	1	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
COUNTERTOP SINK (SINGLE BOWL)	-	0	ELKAY	LUSTERTONE	Drop-in Stainless Steel 25" X 22" X 8 1/8" 2 Hole Single Bowl Countertop Sink
COUNTERTOP SINK FAUCET	-	0	MOEN	40812	4" Centerset Laundry Faucet with 9" spout reach
NSF QUALIFIED LAVATORY FAUCET	-	1	KOHLER	K-10433-CP	Forté Single-Handle Pull-Out Sprayer Kitchen Faucet With MasterClean Spray Face in Polished Chrome
NSF QUALIFIED LAVATORY FAUCET	-	2	KOHLER	KPF-2252CH	Forté Single Hole Single-Handle Low-Arc Water-Saving Bathroom Faucet in Polished Chrome

1. ALL DRYER POWER TYPE IS AN ESTIMATION. GC TO INFORM ARCHITECT IF EXISTING DRYER IS GAS WHERE ELECTRIC IS SPECIFIED AND VICE VERSA.  
2. SCHEDULES SHOWN FOR INFORMATION ONLY. REFER TO SPECIFICATIONS FOR FINAL FF&E SELECTIONS.

EXISTING LEAD QUANTITY IN FAUCET EXCEEDS ENTERPRISE GREEN COMMUNITITES CRITERIA PER LEAD DRINKING WATER REPORT DATED SEP 1 2020 BY ATC GROUP SERVICE LLC. RESULTS INDICATE 10 PARTS PER BILLION AND REQUIRE AN NSF/ANSI 58 OR NSF/ANSI 53 FILTER AND ALL FIXTURES TO BE REPLACED WITH NSF 61 CERTIFIED FIXTURES

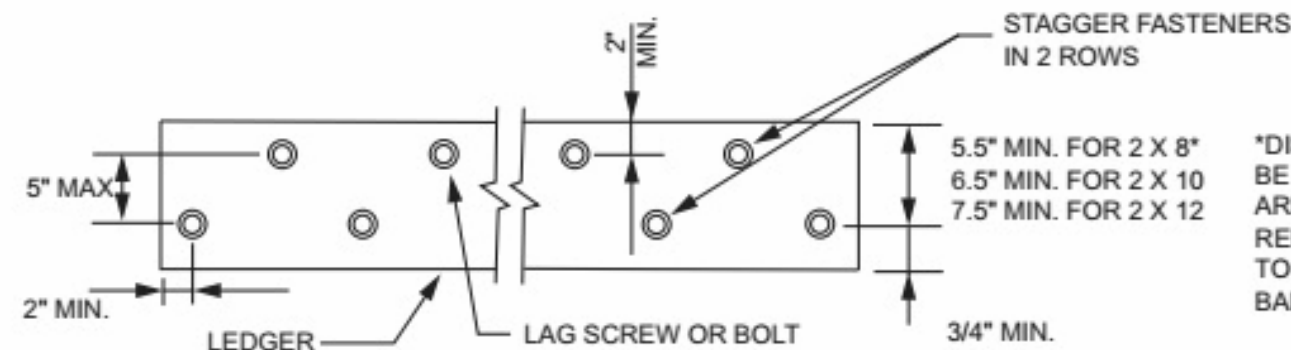
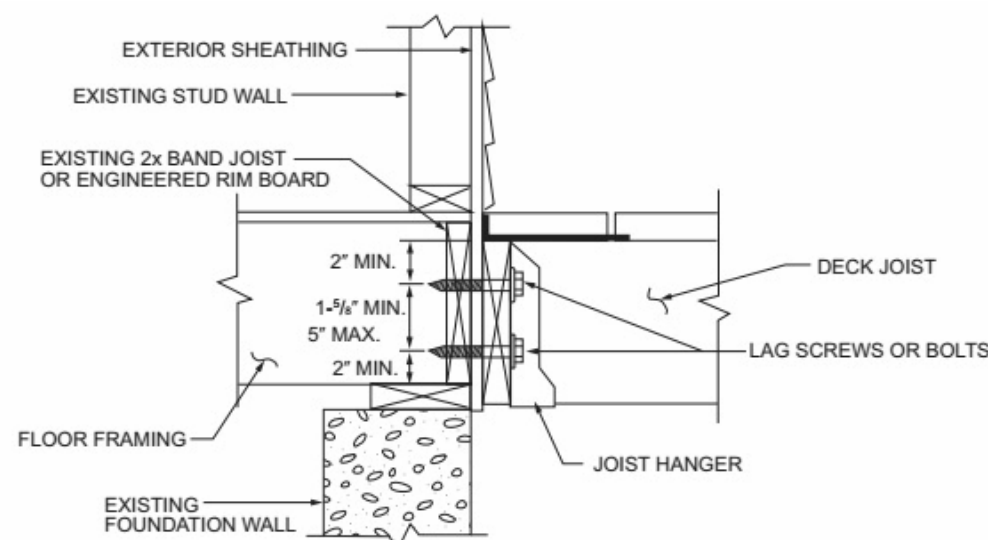




STANDARD DETAIL, VERIFY QUANTITY OF STAIRS IN FIELD

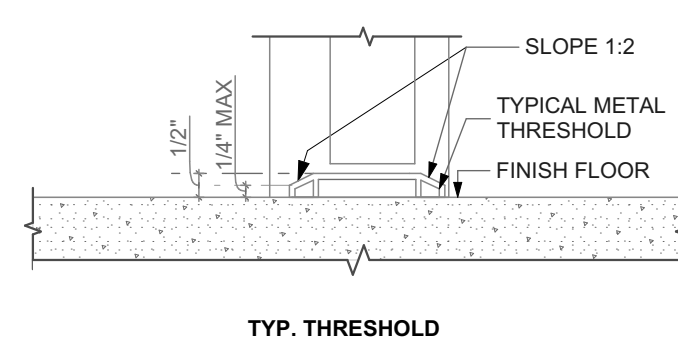
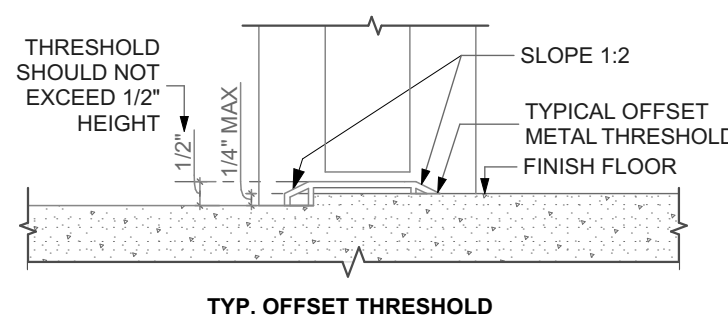
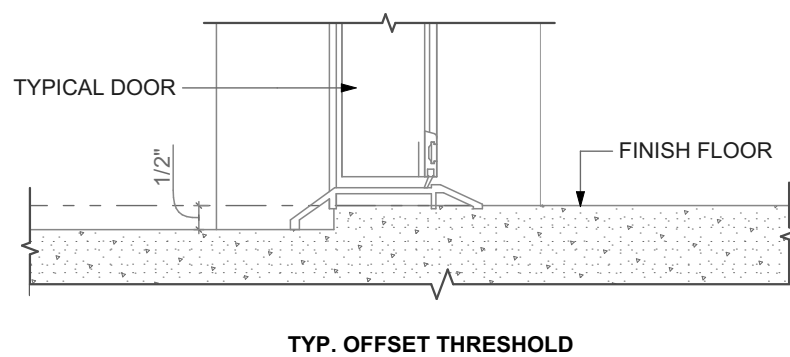
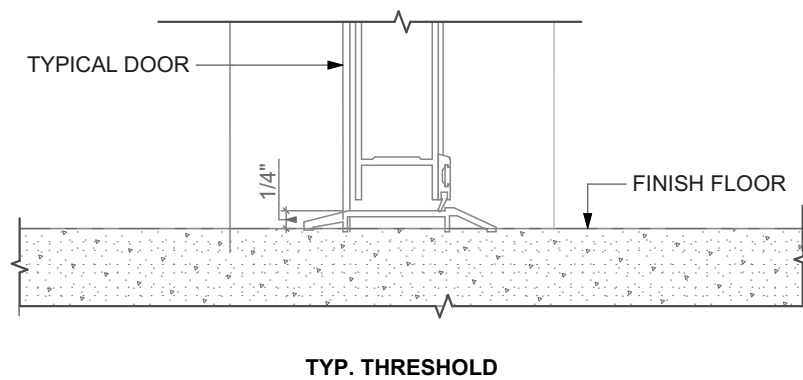
1 DECK SECTION DETAIL

SCALE: 3/4\" = 1'-0"



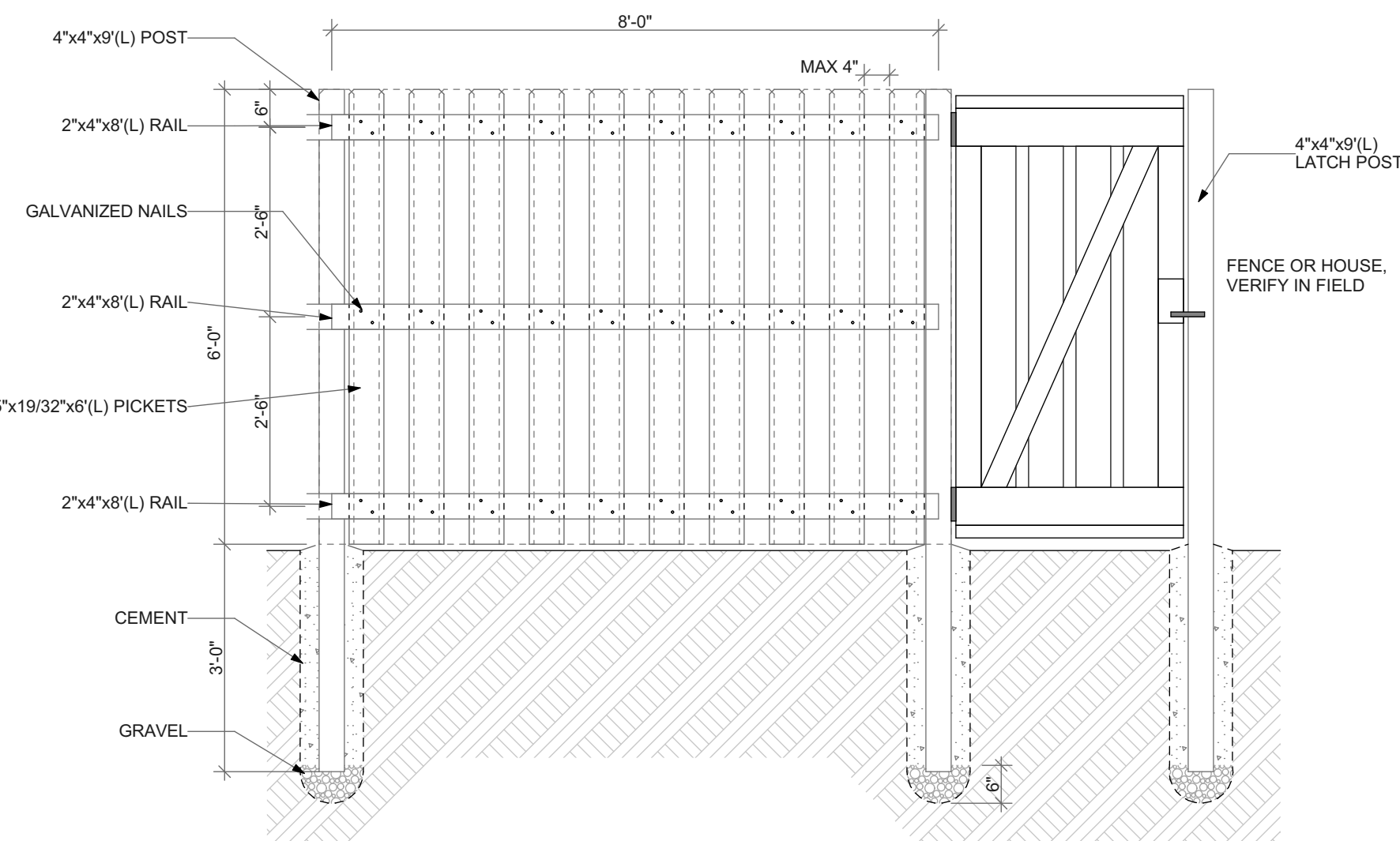
\*DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4.5" IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2 X 8 LEDGERS TO 2 X 8 BAND JOISTS.

3 DECK ENLARGED DETAILS

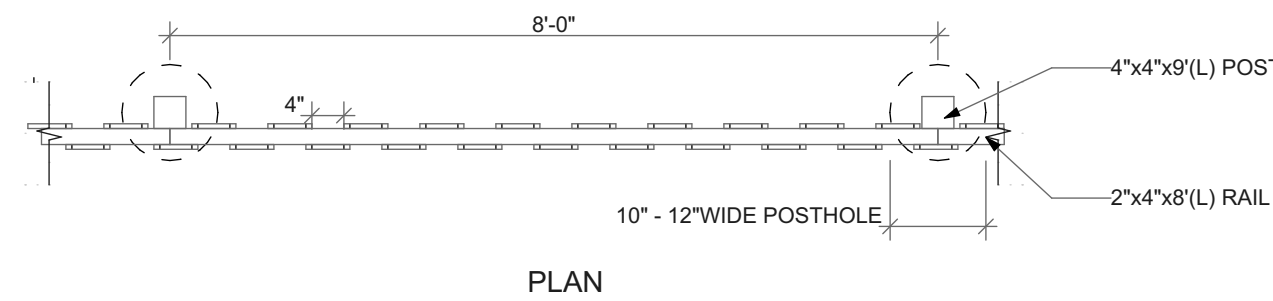


4 EXTERIOR DOOR THRESHOLD

SCALE: 3\" = 1'-0"



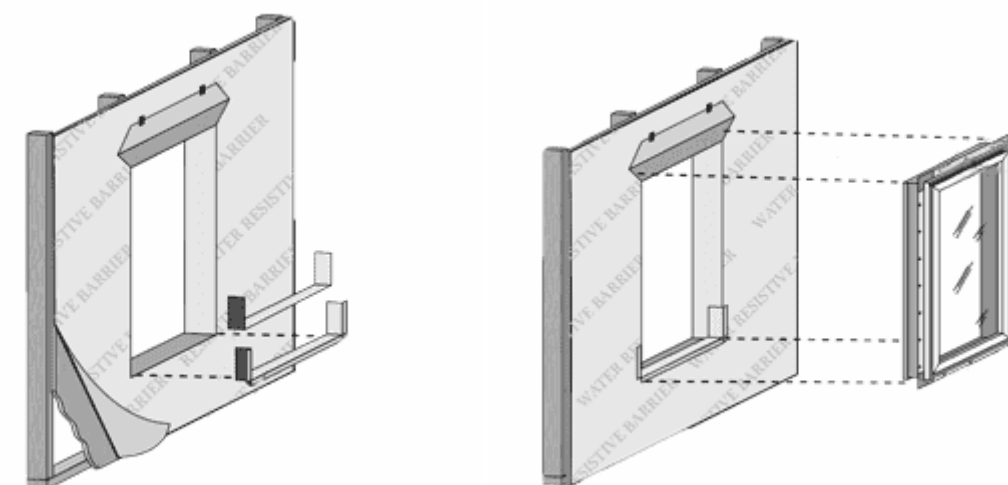
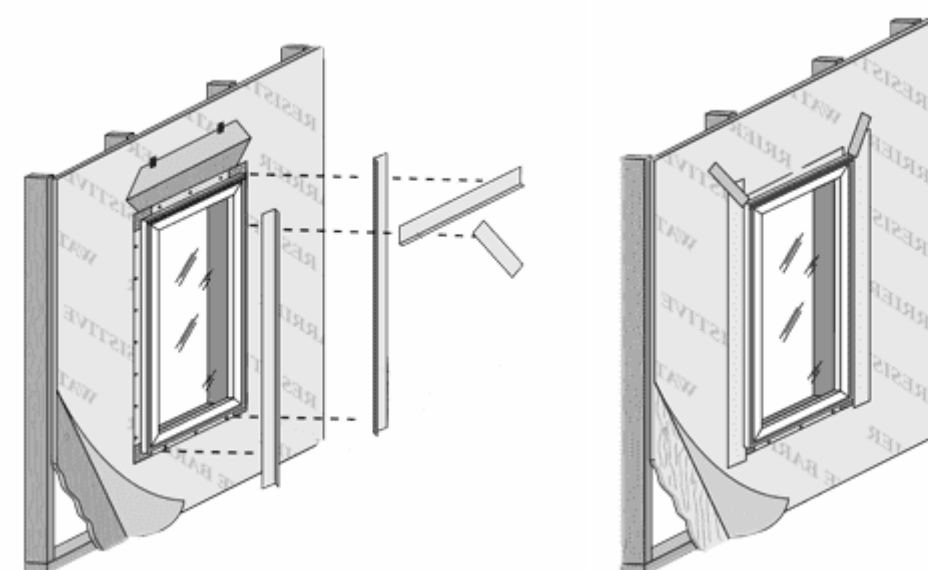
STRAIGHT SHADOWBOX FENCING  
ELEVATION



PLAN

2 WOOD FENCE DETAIL

SCALE: 1/2\" = 1'-0"



5 WINDOW INSTALLATION UNDER VINYL SIDING

NOT TO SCALE

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise **Fukui Architects, Pc** of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

ISSUED FOR PERMIT: 05.06.2022

project title

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

drawing title

DECK SECTION DETAIL, WOOD  
FENCE DETAIL, DECK ENLARGED  
DETAILS, EXTERIOR DOOR  
THRESHOLD, WINDOW  
INSTALLATION UNDER VINYL  
SIDING

scale  
As Noted

date  
May 6, 2022

no.

11

of.

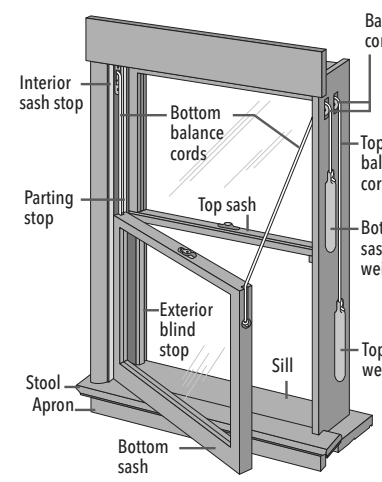
12

Sheet No.

A10

Project #2006

**POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS**  
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS

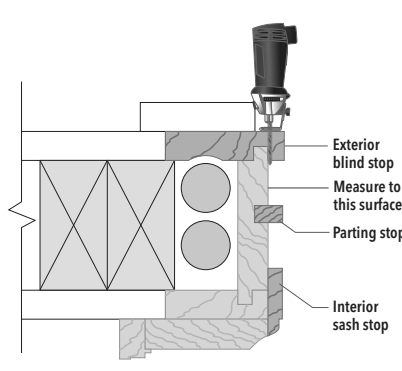


**1 REMOVE THE EXISTING SASHES**

**CAUTION:** Many windows in older homes are painted with lead-based paint. Removal of old windows may disturb this paint. Proper precautions must be taken to minimize exposure to dust and debris. Consult state or local authorities for more information.

REMEMBER TO USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT.

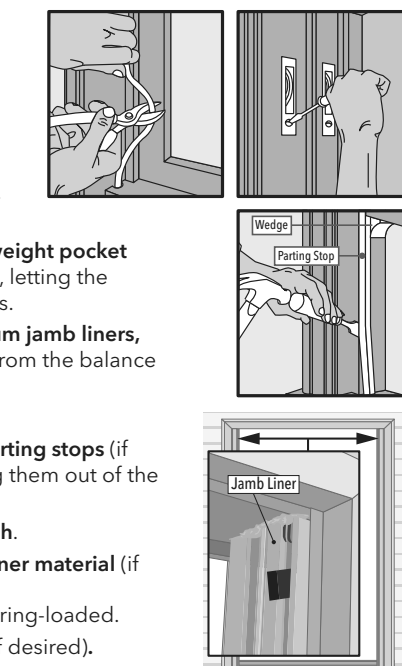
- A. Measure the width and height of the pocket opening. The new window must be 1/2" to 3/4" smaller than this measurement.
- B. Unlock the window. If the sashes are painted shut, use a high-speed oscillating tool or a utility knife to cut the joint between the sashes and frame stops until the sashes are free.



- C. Remove the exterior stops at the head and jambs using a chisel, reciprocating saw, roto-tool or equivalent. Cut them flush with the side of the frame.
- D. Carefully remove the upper sash and dispose of it properly.

For older existing windows with weight pocket and pulley balances, cut the cords, letting the weights fall and remove the pulleys. For windows with vinyl or aluminum jamb liners, tilt or twist the sash and release it from the balance assembly.

- E. Remove the head and jamb parting stops (if applicable) by pulling or prying them out of the frame.
- F. Carefully remove the lower sash.
- G. Remove any remaining jamb liner material (if applicable).
- H. Insulate the weight chamber (if desired).



**2 PREPARE THE OPENING**

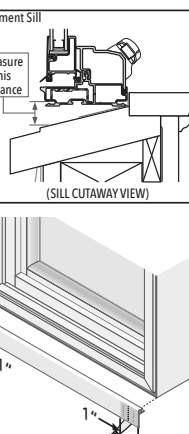
- A. Inspect the existing window frame. Repair or replace any deteriorated parts.
- B. Clean the opening of any dirt, debris or excess old paint.
- Note: If using aluminum coil exterior trim, apply it now.

- D. Apply sealant over any gaps in the corners of the existing frame.
- E. Check the sill for level or for bowing.
- F. Install and level sill shims only if necessary to correct for bowing of the sill. Place 1" wide x 1/4" to 3/8" thick shims 1/2" from each side. Place additional shims under each mullion and sliding window interlocker.
- G. Attach shims to prevent movement after they are level.

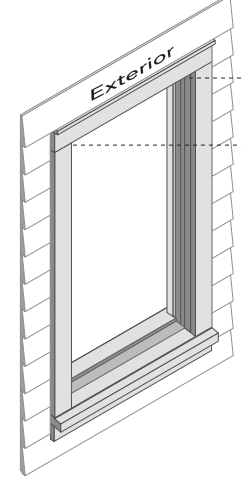
**NOTE:** Improper placement of shims may result in bowing the bottom of the window.

**3 PREPARE THE WINDOW**

- A. Drill pilot holes (if necessary) in the new window frame. See anchoring instructions at the end of this booklet.
- B. Dry fit the window in the opening.
- C. Measure the distance from the bottom of the window to the existing sill. Remove the window from the opening.
- D. Trim the sill adapter to the correct height (if applicable). Use a sharp utility knife to score the sill adapter along the groove. Bend and break off the excess sill adapter material.
- E. Install the sill adapter. Cut it to length and notch it (if necessary).
- F. Dry fit the window a second time to ensure a proper fit. Remove the window from the opening.
- G. Create 1/4" weep holes (Vinyl products only). Drill or notch a weep hole 1" from each end of the sill adapter.



**POCKET REPLACEMENT FROM THE EXTERIOR FOR BLOCK FRAME WINDOWS**  
INSTALLING NEW BLOCK FRAME WINDOWS IN EXISTING WOOD DOUBLE-HUNG OR SINGLE-HUNG WINDOWS



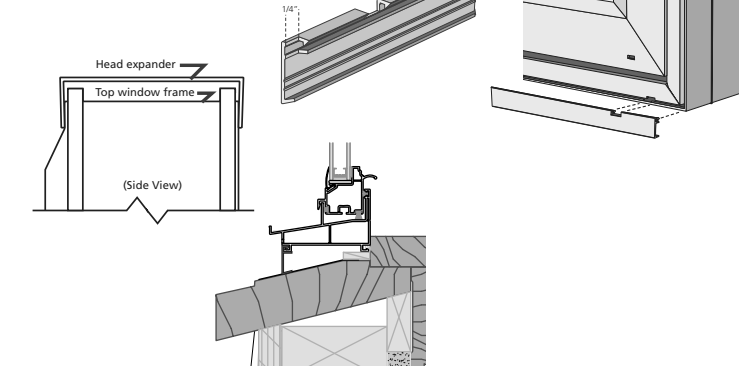
**3 PREPARE THE WINDOW (Continued)**

Pella® 350 Series

Architect Series® (850) and Pella® Lifestyle Series Dual-Pane

Pella® Impervia®

Casements and Fixed Windows:

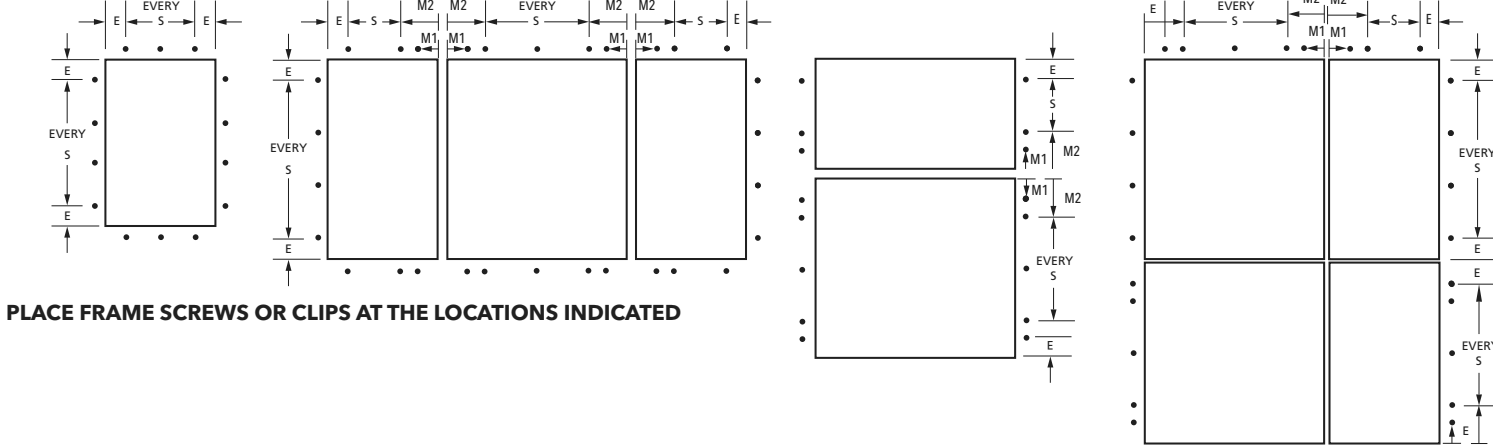


**4 SET AND FASTEN THE WINDOW**

- A. Apply a 3/8" bead of sealant where the existing stool meets the existing window sill. Additionally, place sealant at the ends of the flashing tape, making sure to connect with the stool sealant.
- B. Apply a 3/8" bead of sealant at the exterior surface of the interior head and jamb stops. Connect this bead of sealant to the sealant line on the stool.
- C. Insert the window in the opening. Check to make sure the window rests against the interior stops and is making contact with the sealant.
- D. Place shims and begin driving screws at each predrilled hole in the window frame. Add additional shims at the ends of meeting rails and as necessary to ensure even reveal between the frame and sashes.
- E. Cut the checkrail band at each jamb and remove. Tilt the sashes to remove checkrail clips (if applicable).
- F. Check for plumb, level, square and window operation. Make any necessary adjustments to shims and finish installing frame screws.
- G. Adjust the screw jacks (if applicable) with a screwdriver. Turn clockwise to move the frame toward the sash.
- H. Install interior sealant from the exterior. Refer to the interior sealant instructions at the end of this booklet.
- I. Install exterior sealant. Refer to the exterior sealant instructions at the end of this booklet.
- J. Install exterior frame expanders at this time (if necessary).

**BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS**

Note: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.



PLACE FRAME SCREWS OR CLIPS AT THE LOCATIONS INDICATED

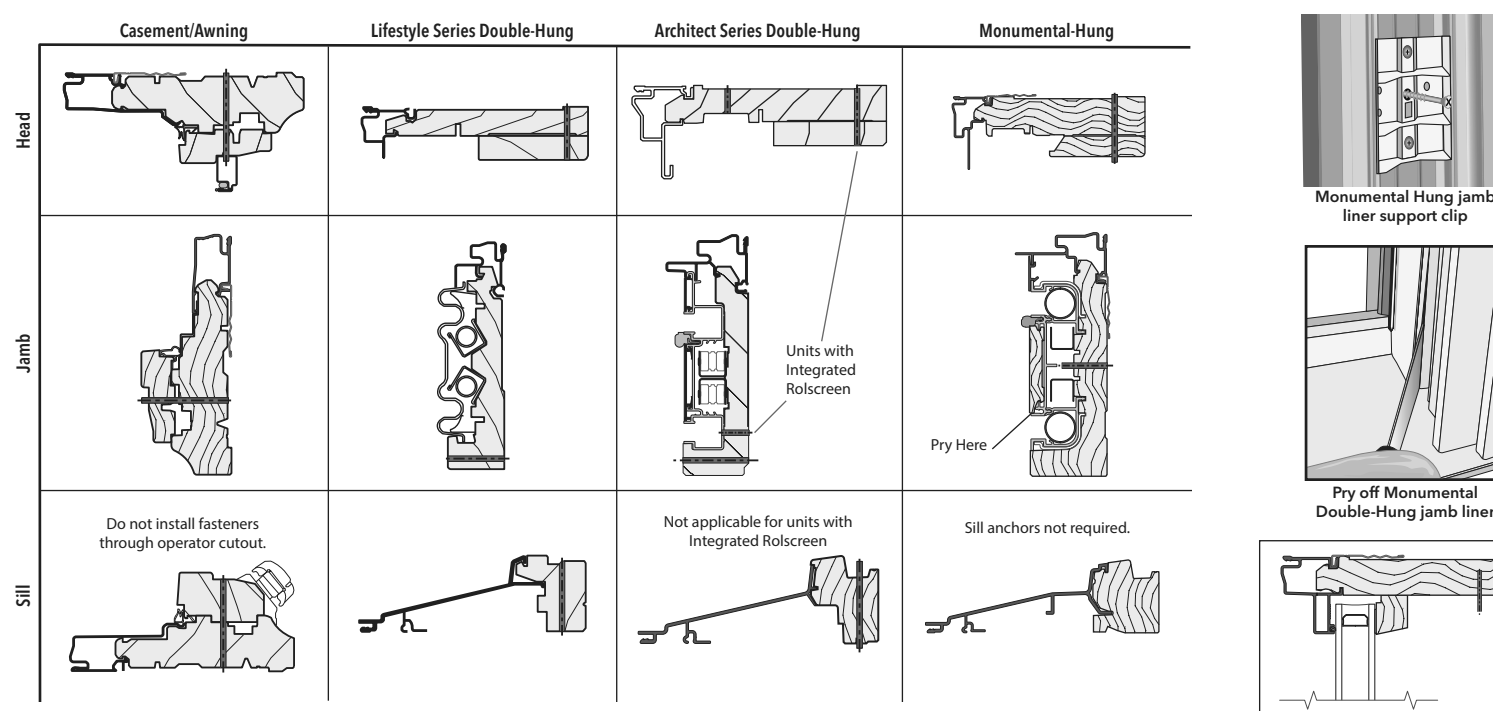
ARCHITECT SERIES® (850) AND PELLA® LIFESTYLE SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	3"	6"	#8x2" Finish Screw	
Double- or Single- Hung	6"	16"	3"	6"	#8x2" Finish Screw	For windows with integrated Rolocreen® retractable screen, drive jamb screws at each factory pre-punched hole in the jamb liner. Add fasteners as necessary, driving the head part flush of the jamb liner. Avoid Rolocreen components in the head and sill.
Fixed Frame	6"	16"	3"	6"	#8x2" Finish Screw	
Monumental DH > 54" x 96"	6" (Head)	16" (Head)	3"	6"	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame (or secure clips) 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.

\* M1 anchor required if design pressure exceeds 20 psf.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.

1/8" Pilot Hole Locations



WINDOW REMOVAL/REPLACEMENT (PELLA®) Jamb/Sill

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Revised 07/13/2021

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**BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS ANCHOR INSTRUCTIONS**

NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact resistant products or to comply with local building code requirements.

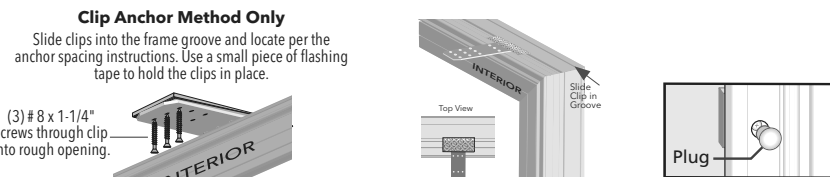
PELLA® IMPERVIA® WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fasteners*	Special Notes
Sliding and Sash Set Fixed						Installation clips required for anchoring at the sill.
Single-Hung	6"	16"	3"	6"	#8 x 1-1/2" Pan Head (provided)	Sill anchors not required for single wide units. Installation clips required for mullion anchoring.
Double-Hung	6"	16"	3"	6"	#8 x 2" Pan Head (provided)	Head and Sill anchors not required when single wide unit with frame width less than 42".
Casement/Awning - Vent and Fixed	6"	15"			#10 x 3" Pan Head (provided)	Install screws at pre-marked locations after removing interior frame covers (see below).
Direct Set	6"	15"			#10 x 3" Pan Head (provided)	

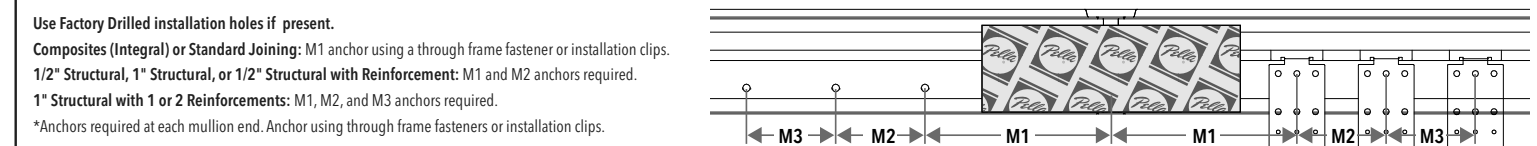
\* Use Factory Drilled Installation holes if present.

Install hole stop after driving screws (see BFRPF 17 and Direct Set).

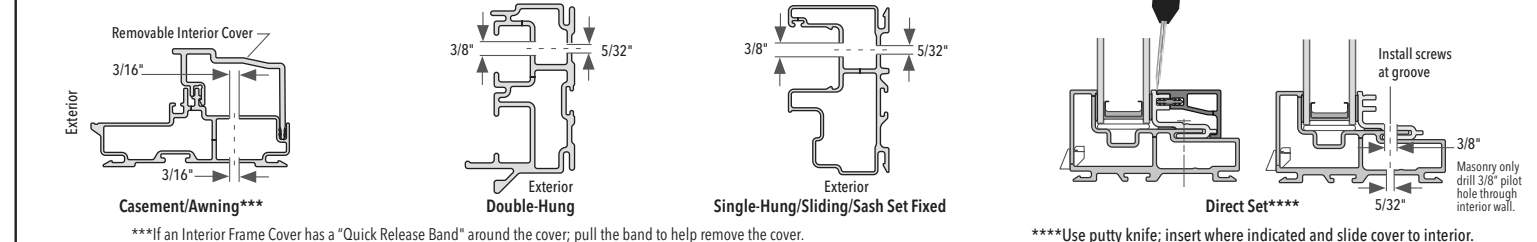
\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



Mullion Anchoring Diagram



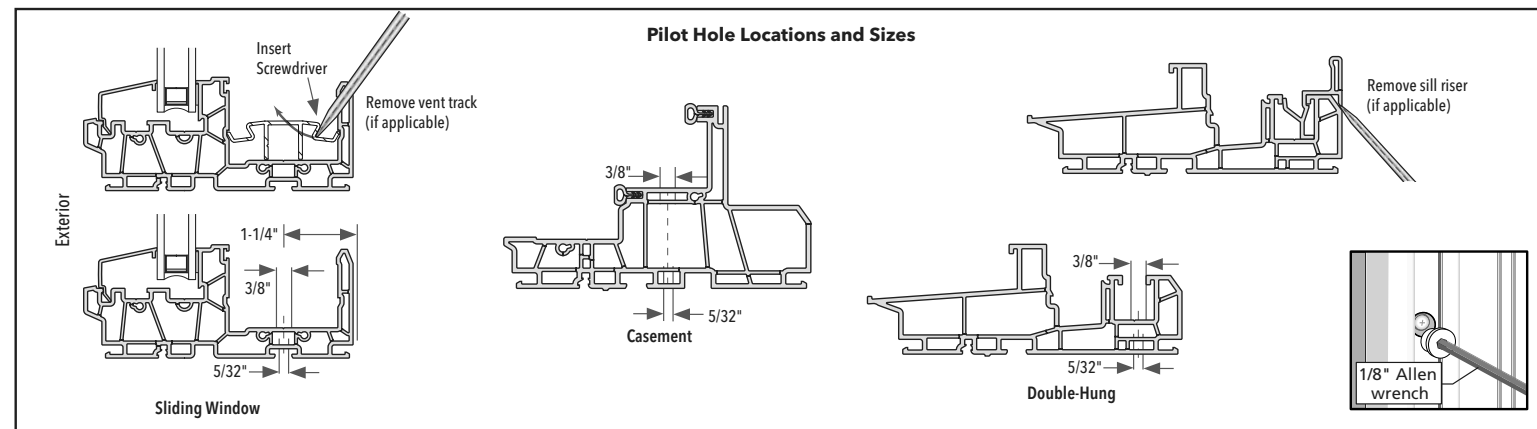
Pilot Hole Locations and Sizes



Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Casement/Awning	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	
Sliding and Fixed Window	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	Place 2 screws 4" from the center of the meeting rail at the head and sill of sliding windows.
Double- and Single-Hung	6"	16"	None	6"	#10x2-1/2" Pan Head (provided)	

\* Use Factory Drilled Installation holes if present.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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**BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOW ANCHOR INSTRUCTIONS**

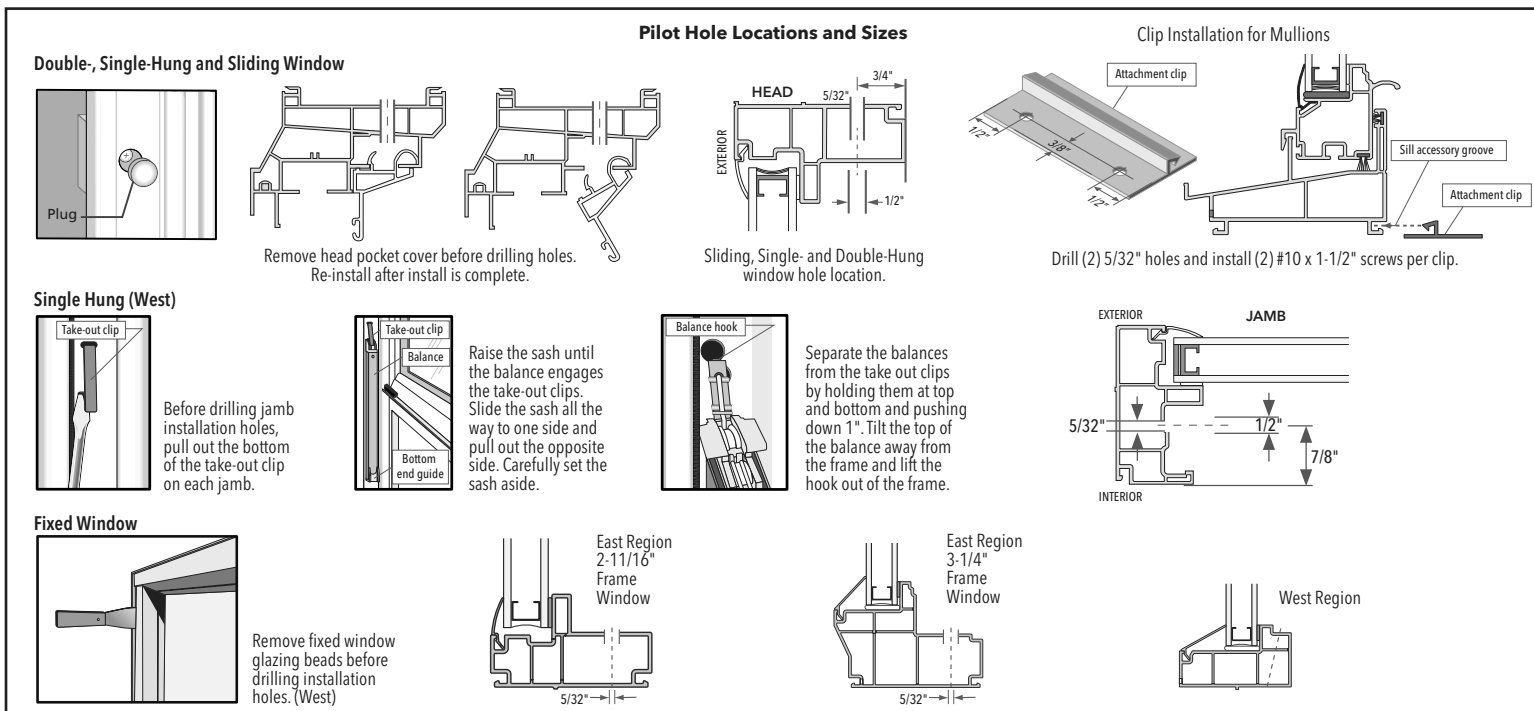
NOTE: Standard performance only. Additional anchoring may be required for performance upgrade, impact-resistant products or to comply with local building code requirements.

ENCOMPASS BY PELLA® / THERMASTAR BY PELLA® 150 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
Sliding Window (East and West)	6"	16"	3"	6"	#8 x 1-1/4" Pan Head (provided)	Use M1 and M2 spacing for screws at head of meeting rail. Center 1 clip below the meeting rail.
Single-Hung (West)	6"	16"	3"	6"	#8 x 2-1/2" Pan Head (provided)	Use M1 and M2 spacing for screws at the head only with mullions.
Single- and Double-Hung (East)	6"	16"	3"	6"	#10 x 2" Pan Head (provided)	High Performance DH (D) #8 x 2" jamb frame screws, 4" apart at checkrails. Use (H) #8 x 2" screws at head mullion ends and 4 clips at all mullion ends, 3" and 6" from mullion. Use self-adhesive spacer at all installation holes for a PG50 Performance install.
Fixed Window	4"	16"	4"	none	#8 x 3" Pan Head (provided)	Use clips at the sill at mullions and centered under fixed casements in 3-wide combinations.

All venting products: Head and sill anchors are required on composites only.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



PELLA® 250 SERIES WINDOW ANCHOR SPACING INSTRUCTIONS

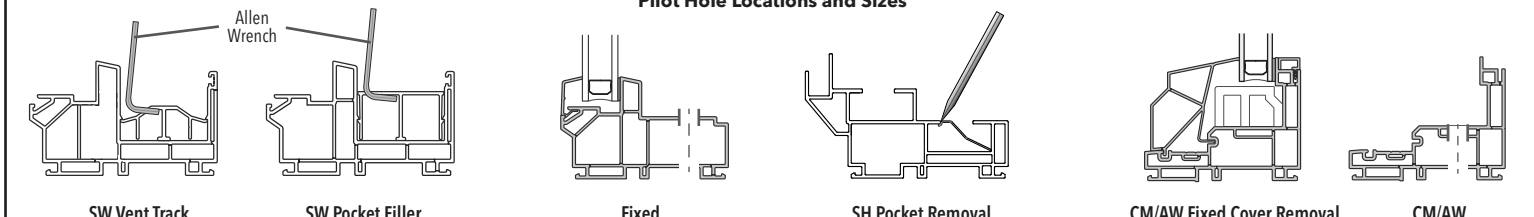
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	First Mullion Anchor (M1)	Second Mullion Anchor (M2)	Fastener Wood**	Special Notes
DH/SW (single units)						
DH / SH / FX	4"	16" **	3"	6"	#10 x 2" Pan Head (provided)	Use self-adhesive spacer at all installation holes (for a PG50 Performance install).
SW	4"	16"	3"	6"	#10 x 2" Pan Head (provided)	
SW & PG50	4"	12"	3"	6"	#10 x 2" Pan Head (provided)	Use M1 and M2 spacing for screws at head and clips at sill with mullions only.
CM/AW	4"	12"	4"	8"	#10 x 2" Pan Head (provided)	
FX CM/AW	4"	12"	4"	8"	#10 x 2" Pan Head (provided)	

All venting products: Head and sill anchors are required on composites only.

\* Use Factory Drilled Installation holes if present.

\*\* For DH & SH units > 62" tall add 2 screws per jamb, midway between top and bottom pre-drilled holes.

\*\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" minimum embedment.



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**INTERIOR AND EXTERIOR SEALANT FOR BLOCK FRAME AND RENOVATION® / PRECISION FIT® WINDOWS**

**Interior Sealant Instructions**

CAUTION: Use low pressure polyurethane window and door insulating foams. Follow the directions on the can. Do not use high pressure or latex foams.

- A. Insert the nozzle or straw between the rough opening and window frame. This can be done from the interior or exterior.
- B. Place a 1" deep bead of foam approx. 1" from the interior of the frame to allow for expansion. Do not fill the entire depth of the rough opening cavity.
- NOTE: Apply foam between the frame and rough opening, NOT between jamb extensions and the rough opening.
- C. To ensure a continuous interior seal, apply sealant over the interior surface of any shims or clips that interrupt the foam seal.
- Backer rod (if necessary) and sealant can be used in place of the low expansion foam to create the interior seal. However, foam has greater insulating properties. Fiberglass batt or similar insulation is not recommended as it can absorb water and does not act as an air seal.

For windows set against drywall return or wood interior stops:

- D. Apply a corner bead of sealant where the frame and drywall return or stop meet. This sealant covers any gaps and creates a smooth transition between materials. Applying a continuous interior bead of sealant eliminates the need for low expansion foam.
- NOTE: Use a low odor, paintable sealant such as Pella Window and Door Installation Sealant.
- E. Re-check window operation and remove shipping spacers after foam installation. Excess foam may be removed with a serrated knife after it cures.

**Exterior Sealant Instructions**

CAUTION: Use a high quality, multi-purpose exterior sealant such as Pella Window and Door Installation Sealant. Follow the directions on the cartridge.

- A. If the space between the new window frame and the opening is greater than 1/4", go to step (B). If less than 1/4" or if the frame does not project past an exterior stop (Figure 1), skip to step (C).
- B. Insert backer rod 3/8" deep in the space around the window. Backer rod adds shape and controls the depth of the sealant line.
- C. Apply a continuous bead of sealant where the new frame contacts the exterior stop (Figure 1) or between the frame and the opening (Figures 2, 3 and 4). Continue the seal across the bottom of the sill adapter (if applicable). Do not block weep holes or weep hoods with sealant.
- NOTE: For full frame replacement in brick or siding, where the wall is designed to manage water do not leave gaps or weeps in the interior seal. For pocket replacement, if weep holes are not present in the sill adapter and the existing sill slopes to the exterior, leave weep gaps in the sealant (Figure 5).

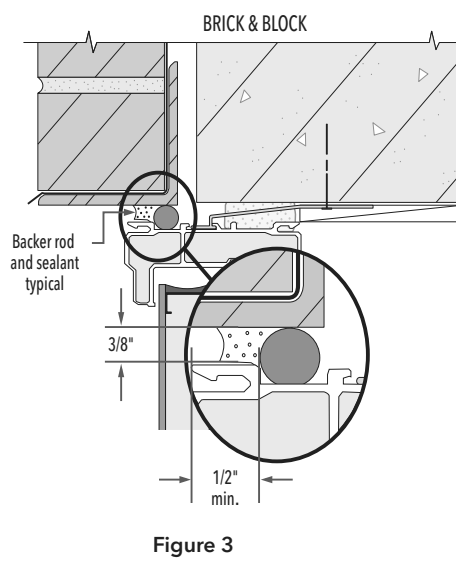


Figure 3

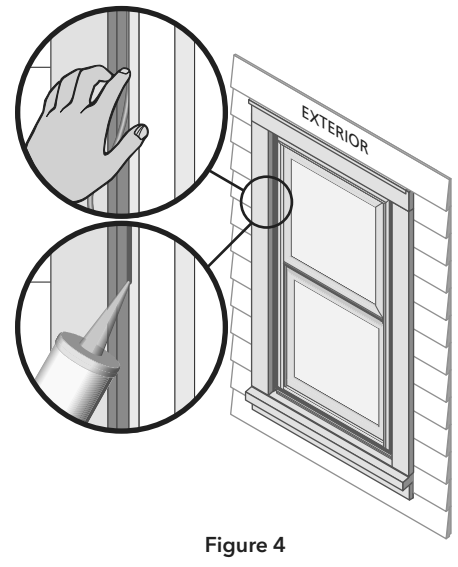


Figure 4

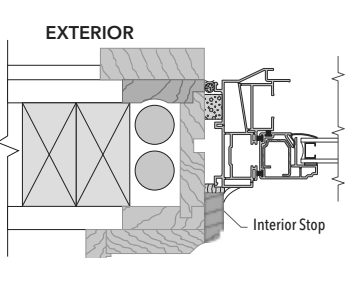


Figure 1

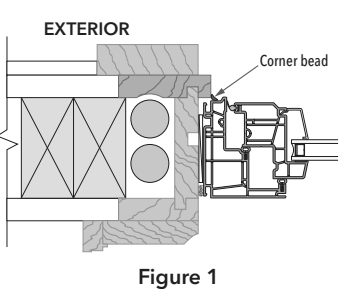


Figure 2

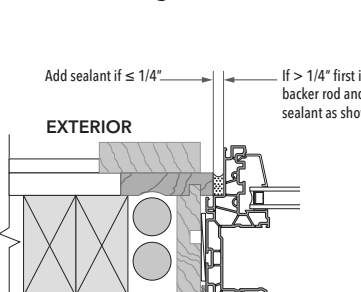


Figure 5

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**scale**

**general notes**

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

**revisions**

ISSUED FOR PERMIT: 05.06.2022

**project title**

**Owner:**

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

**Project Location:**

MANCHESTER SCATTERED SITES  
1327 COLUMBUS AVENUE  
PITTSBURGH, PENNSYLVANIA  
15233

**drawing title**

**WINDOW  
REMOVAL/REPLACEMENT  
(PELLA®)**

scale  
As Noted

date  
May 6, 2022

no.

12

of.

12

**Sheet No.**

A11

Project #2006