

# HACP Task Order #47

## Roof Replacement at Northview Heights Community

### Pittsburgh, PA 15214

for

## Housing Authority of the City of Pittsburgh

### 100 Ross Street, Suite 201

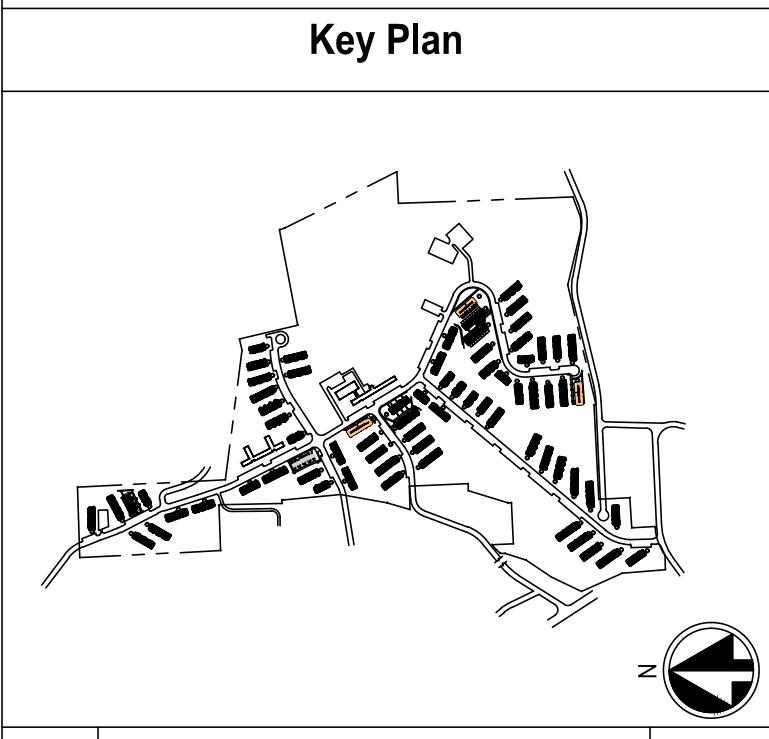
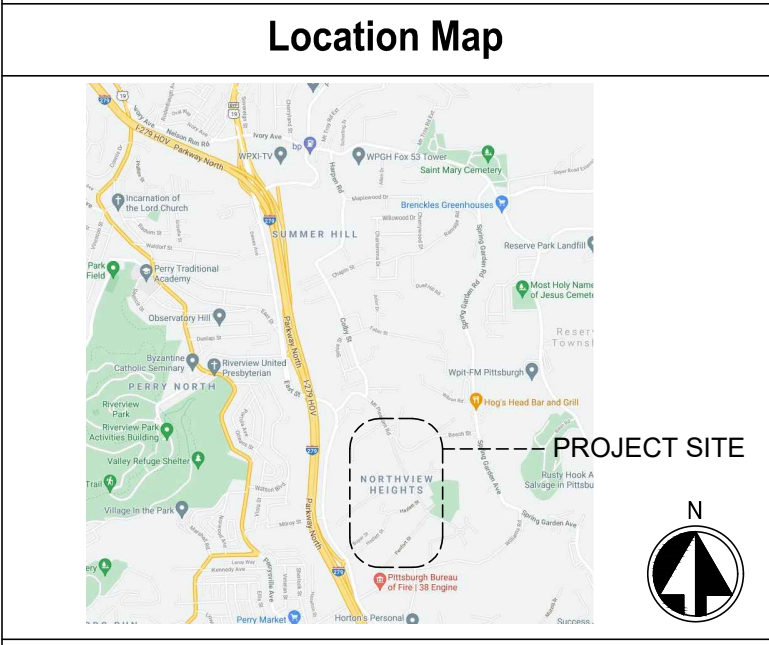
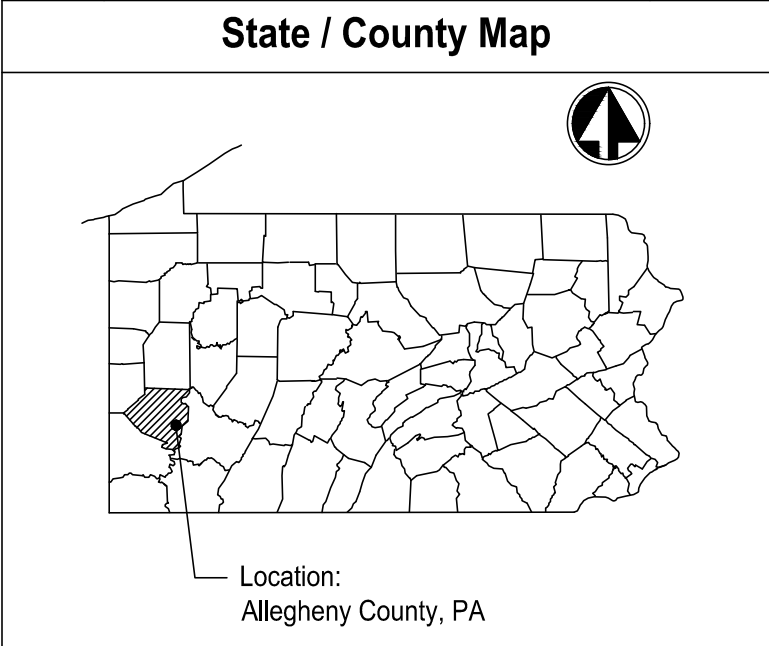
### Pittsburgh, PA 15219

**Architect**  
**ARCHITECTURAL INNOVATIONS, LLC**  
 1003 McKnight Park Drive  
 Pittsburgh, PA 15237  
 Phone: 412-364-4966  
 Contact: Matthew E. Johnson

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 A201 DETAILS

Code Approvals		
No.	Revision / Issue	Date
XX	AGENCY	xx-xx-xxxx



No.	Revision / Issue	Date



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**Housing Authority  
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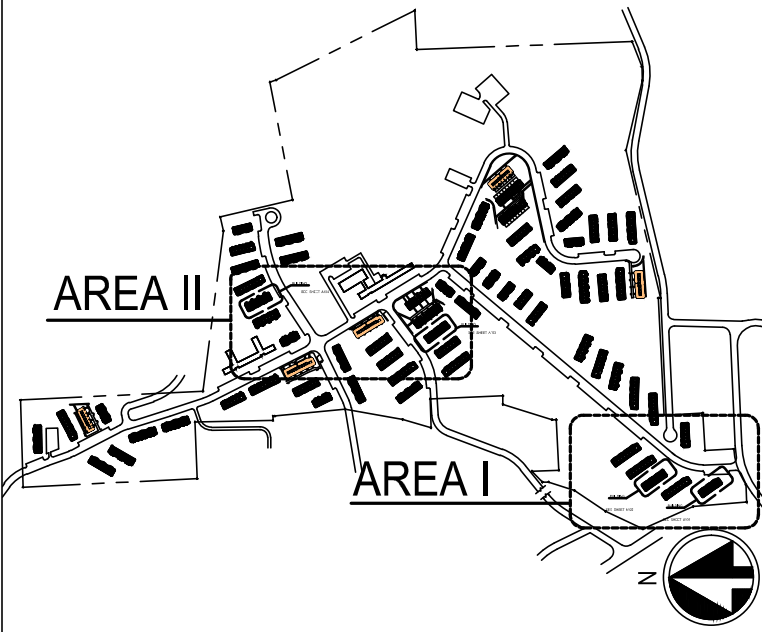
Roof Replacement at  
Northview Heights Community

**COVER SHEET**

Project : 21-620	Sheet No.: <b>G001</b>
Date : 06-01-2021	



Key Plan



No.	Revision / Issue	Date



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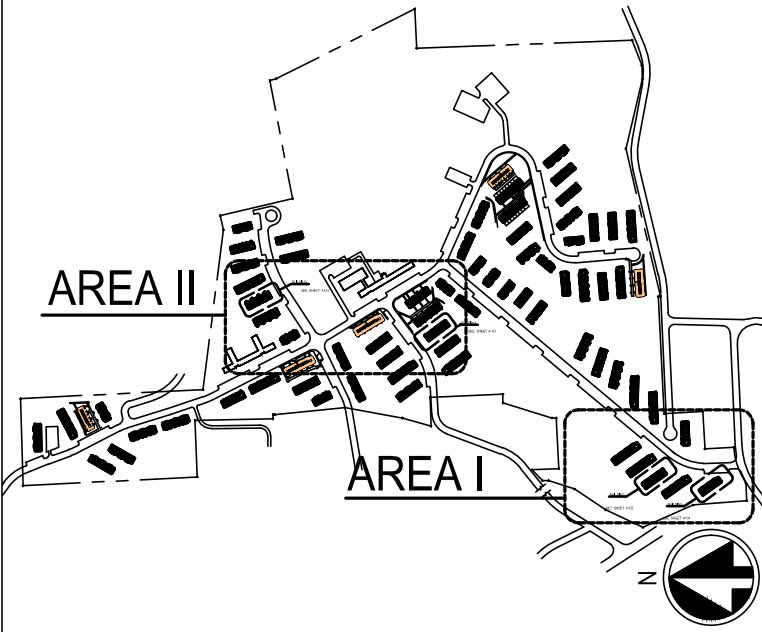
**Housing Authority  
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 Roof Replacement at  
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**SITE PLAN -  
 AREA I**

Project: 21-620	Sheet No.: G002
Date: 06-01-2021	



Key Plan



No.	Revision / Issue	Date

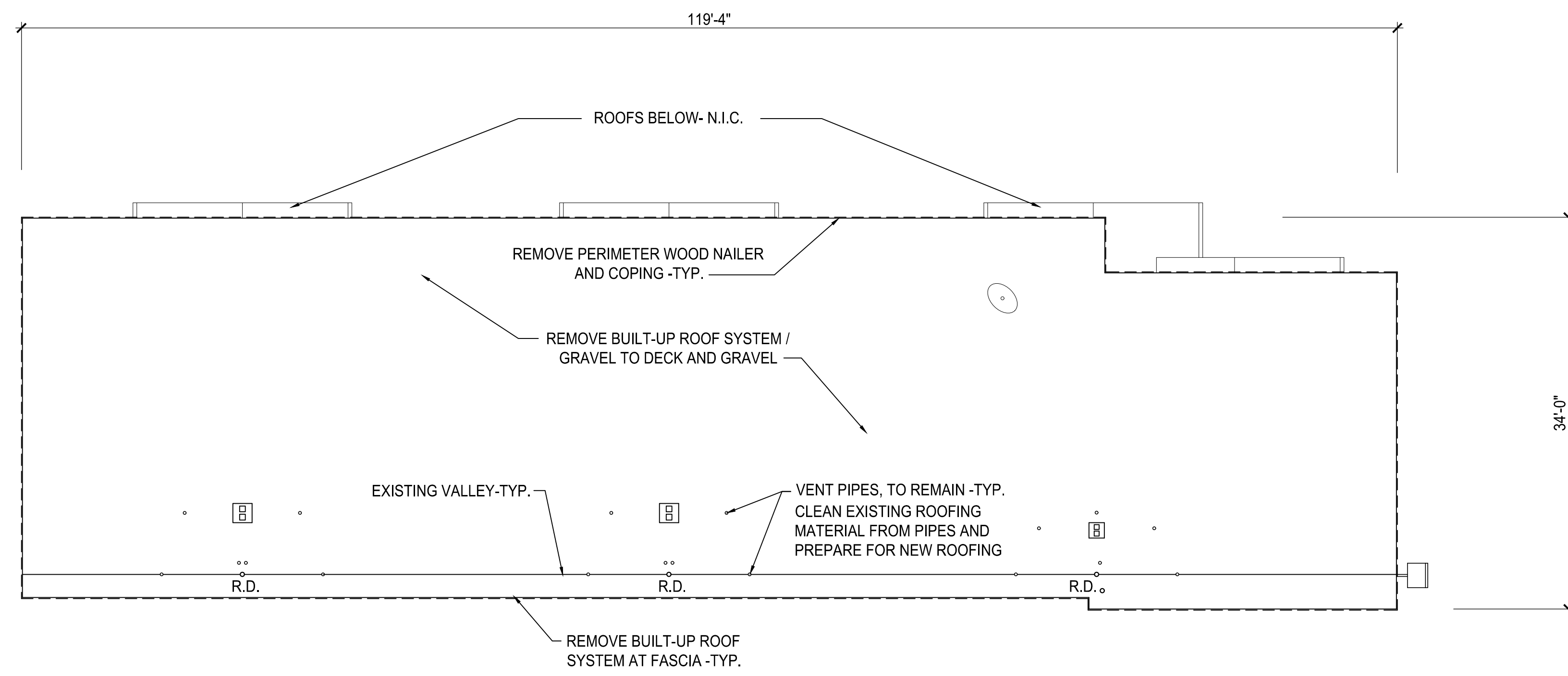


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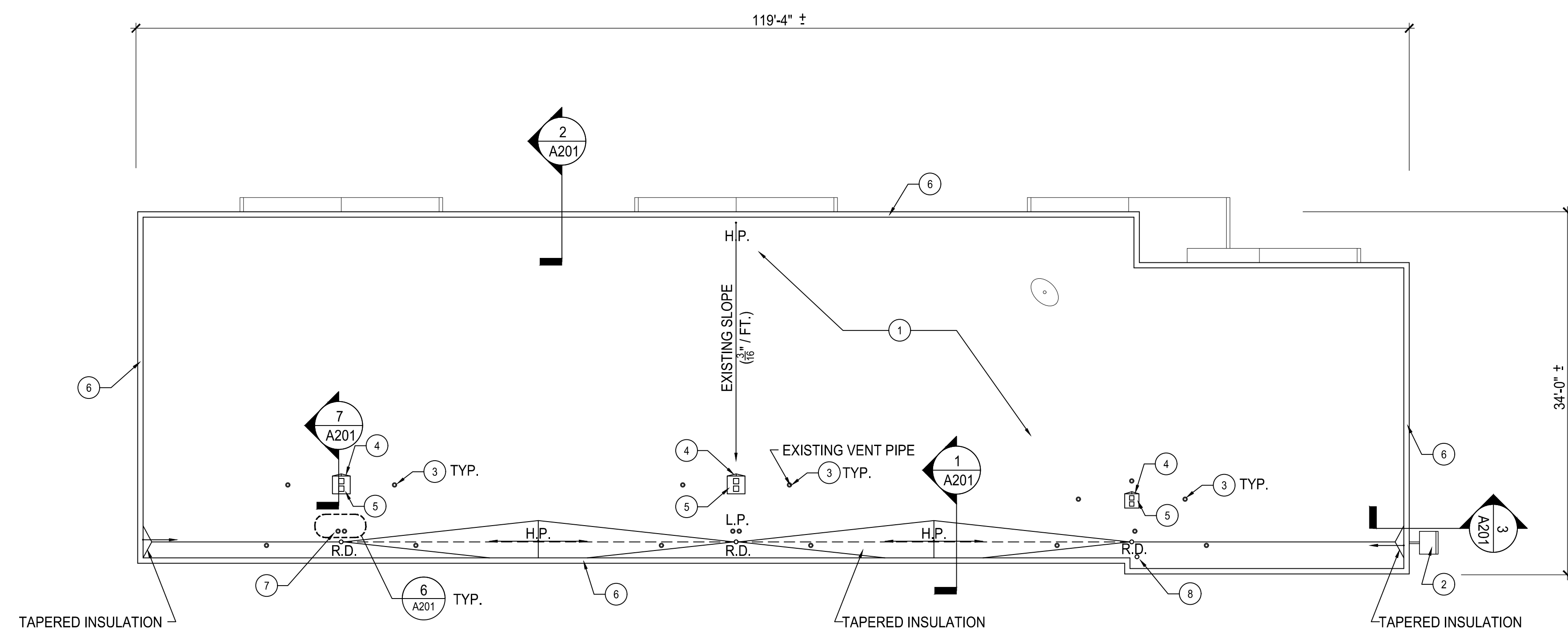
**Housing Authority  
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**SITE PLAN -  
 AREA II**

Project: 21-620 Sheet No.: **G003**  
 Date: 06-01-2021



1 Demolition Roof Plan - Building 39  
SCALE: 1/8" = 1'-0"



2 Roof Plan - Building 39  
SCALE: 1/8" = 1'-0"

**DEMOLITION NOTES:**

- ITEMS SHOWN IN LIGHT LINES ARE EXISTING TO REMAIN.
- ITEMS SHOWN IN DARK DASHED LINES ARE TO BE DEMOLISHED AND REMOVED UNLESS NOTED OTHERWISE.
- THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON THIS DRAWINGS FOR THE GENERAL CONTRACTOR'S INFORMATION. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED. COORDINATE WITH NEW WORK.
- GENERAL CONTRACTOR IS TO MAINTAIN SUPERVISORY PERSONNEL SKILLED IN DEMOLITION WORK ON SITE AT ALL TIMES DURING DEMOLITION WORK.
- AREAS, SURFACES AND FINISHES NOT AFFECTED BY THE WORK OF THIS CONTRACT SHALL BE PROTECTED PRIOR TO COMMENCEMENT AND UNTIL COMPLETION OF THE WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED AREAS DURING DEMOLITION AT HIS OWN EXPENSE, INCLUDING BUT NOT LIMITED TO LAWNS, PAVING, CURBS, RAMPS, HANDRAILS, ETC., IN ACCORDANCE WITH APPLICABLE CONSTRUCTION DETAILS.
- THE GENERAL CONTRACTOR SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF, IN THE COURSE OF DEMOLITION, THE GENERAL CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, HE SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK TO THE SATISFACTION OF THE ARCHITECT.
- ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBING ADJACENT WORK TO REMAIN. VERIFY WITH THE ARCHITECT PRIOR TO DOING ANY CUTTING WHICH MIGHT AFFECT STRUCTURAL INTEGRITY. IN ADDITION, CONTRACTOR SHALL VERIFY WITH THE ARCHITECT BEFORE ANY CONCRETE, BLOCK ARE TO BE REMOVED.
- GENERAL CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEMOLISHED MATERIALS / ITEMS, THAT ARE NOT TO BE REUSED OR TURNED OVER TO THE OWNER, TO AN OFFSITE LOCATION IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
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- REFER TO SPECIFICATION SECTION 02100 FOR REFERENCES TO THE ASBESTOS REMOVAL.
- GENERAL CONTRACTOR TO PROTECT EXISTING CHIMNEY FLUE TO PREVENT ANY DEBRIS FROM ENTERING FLUE.

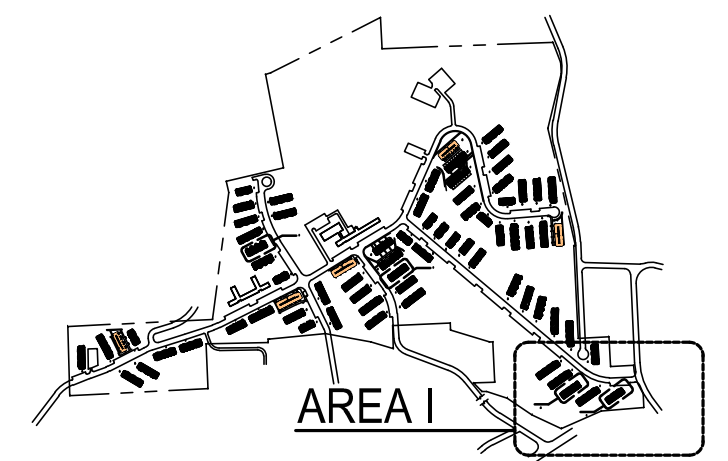
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- GENERAL CONTRACTOR SHALL INCLUDE IN THEIR PROPOSAL COSTS FOR THE FOLLOWING:  
BUILDING 39, 41, 51 AND 77  
- THE REPLACEMENT OF 250 SQUARE FEET OF DAMAGED ROOF DECK - EXISTING THICKNESS IS 7/8";  
- INSPECTION OF MORTAR JOINTS AND RE-POINT 100 LINEAL FEET OF MORTAR JOINTS PER BUILDING AS NEEDED.  
  
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- GENERAL CONTRACTOR SHALL PAINT ALL EXPOSED SURFACE MOUNTED ELECTRICAL CONDUIT ON EACH BUILDING TO MATCH THE TRIM COLOR. THE EXTENT OF EXPOSED CONDUIT TO BE PAINTED SHALL BE VERIFIED PRIOR TO SUBMITTING BID PROPOSAL.
- UNLESS NOTED OTHERWISE, SHEET METAL FABRICATION FINISH SHALL MATCH OR COMPLEMENT THE PAINT COLOR OF THE TRIM. FINAL COLOR SELECTION OF ALL MATERIALS SHALL BE DETERMINED BY THE ARCHITECT.
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- THE LOCATION(S) OF THE DUMPSTER SHALL BE COORDINATED WITH OWNER'S AGENT AND SHALL NOT BLOCK ANY ENTRANCES TO THE BUILDING.
- TEMPORARY STRUCTURES FOR PROTECTION OF THE ENTRANCES SHALL BE PROVIDED.

**KEYNOTES:**

- EPDM ROOFING SYSTEM OVER PROTECTION BOARD, OVER EXISTING ROOF DECK
- EXISTING LIGHT FIXTURE
- FLASHING BOOT/PIPE SEAL - SEE DETAILS SHEET A201
- SADDLE
- MASONRY FLUE UNIT
- CANTED EDGE (GRAVEL STOP)
- PRESSURE - SENSITIVE POURABLE SEALER POCKET (ALTERNATE)
- INVESTIGATE DRAIN AND PIPING FOR FUNCTION, IF DEAD, REMOVE DRAIN AND INFILL WITH MATCHING ADJACENT MATERIAL, FLUSH WITH EXISTING DECK

**Key Plan**



No.	Revision / Issue	Date

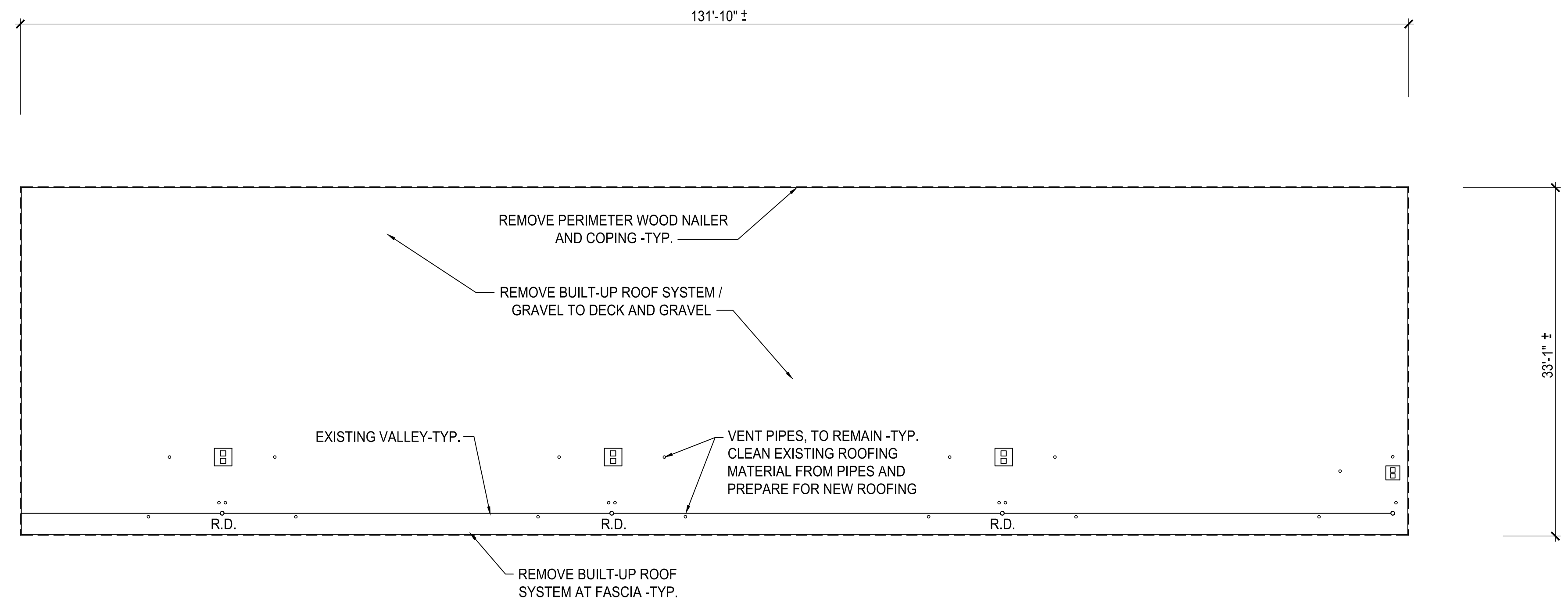


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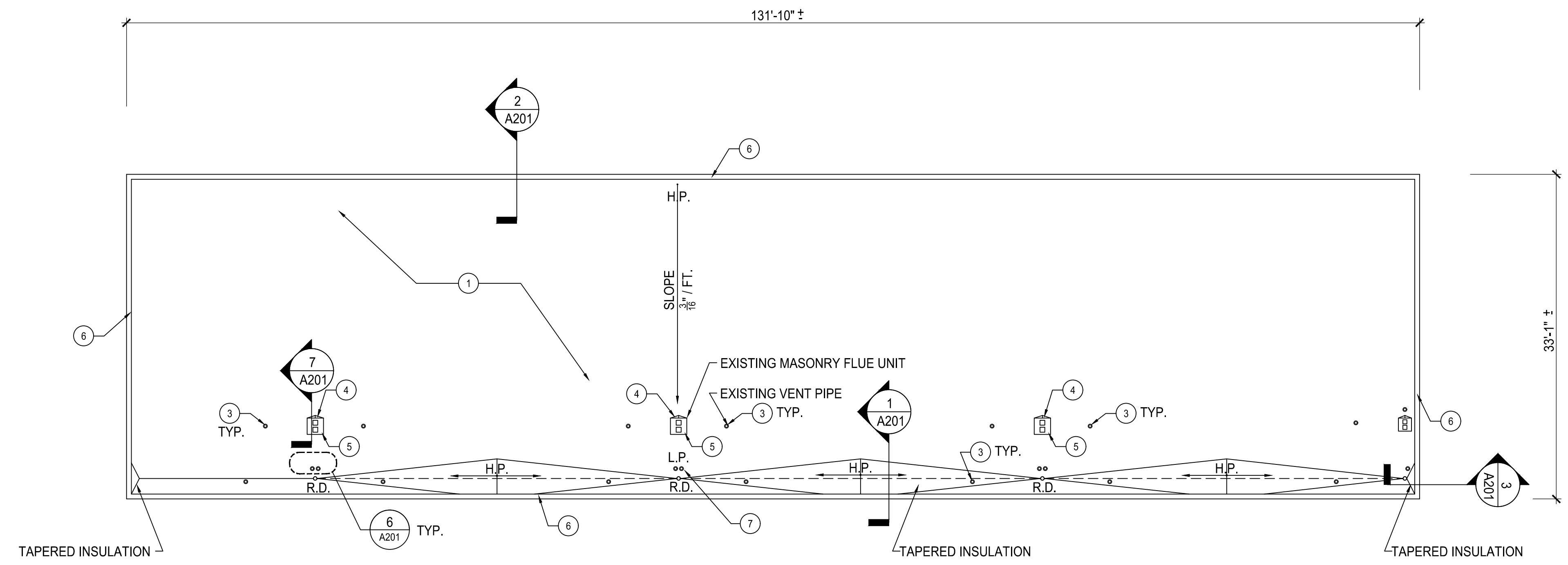
**Housing Authority of the City of Pittsburgh**  
Roof Replacement at Northview Heights Community

**ROOF PLANS - BUILDING 39**

Project: 21-620	Sheet No.: A101
Date: 06-01-2021	



1 Demolition Roof Plan - Building 41  
SCALE: 1/8" = 1'-0"



2 Roof Plan - Building 41  
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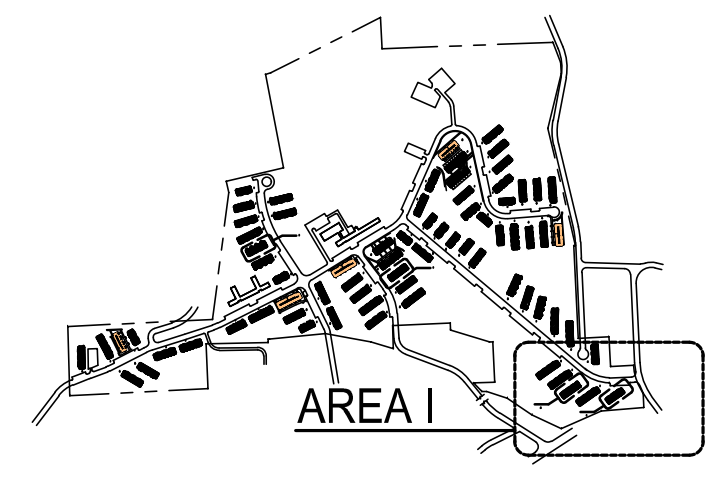
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**KEYNOTES:**

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**Key Plan**



No.	Revision / Issue	Date

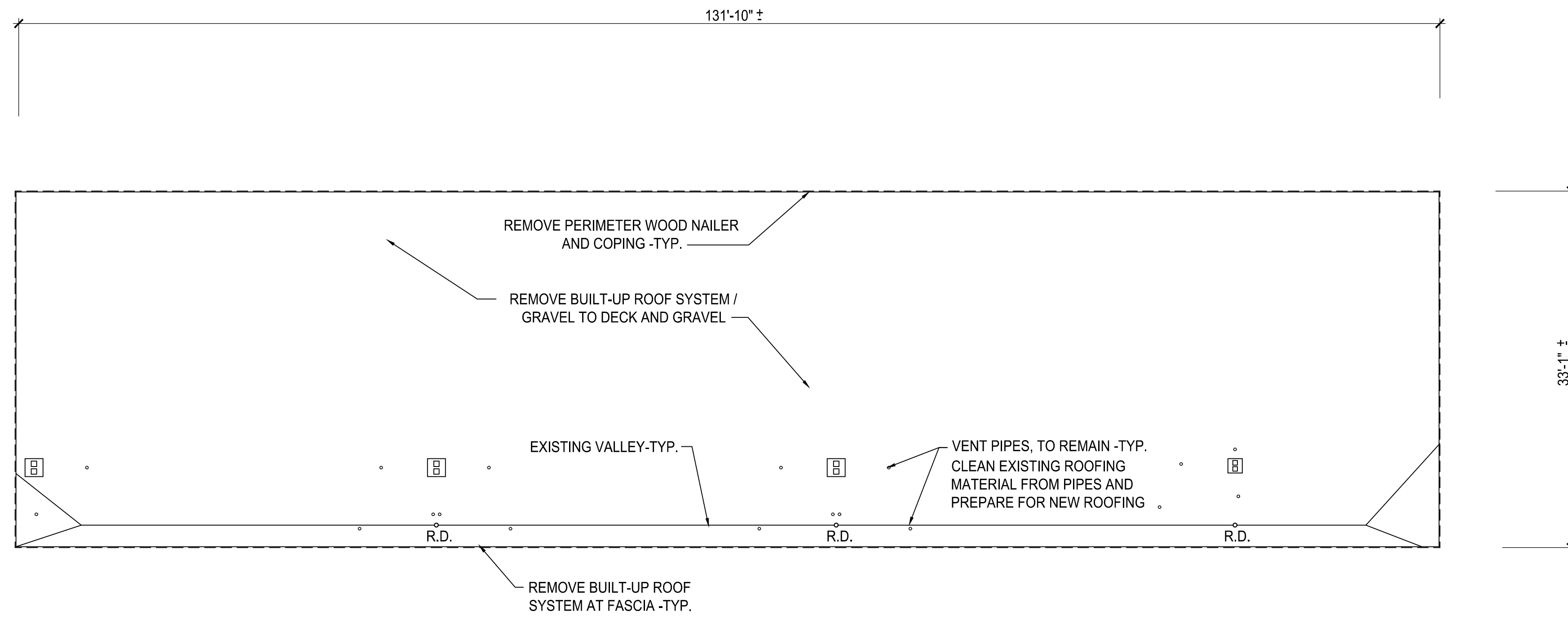


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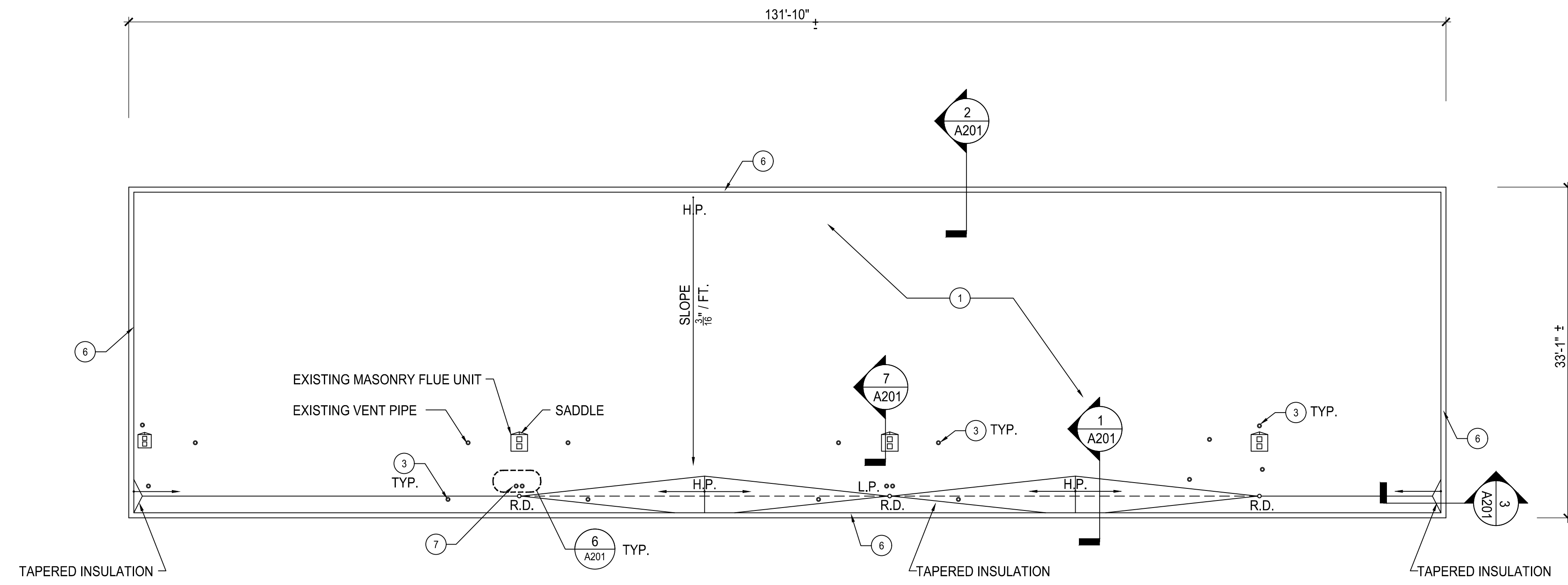
**Housing Authority  
of the City of Pittsburgh**  
Roof Replacement at  
Northview Heights Community

**ROOF PLANS -  
BUILDING 41**

Project: 21-620	Sheet No.: A102
Date: 06-01-2021	



1 Demolition Roof Plan - Building 51  
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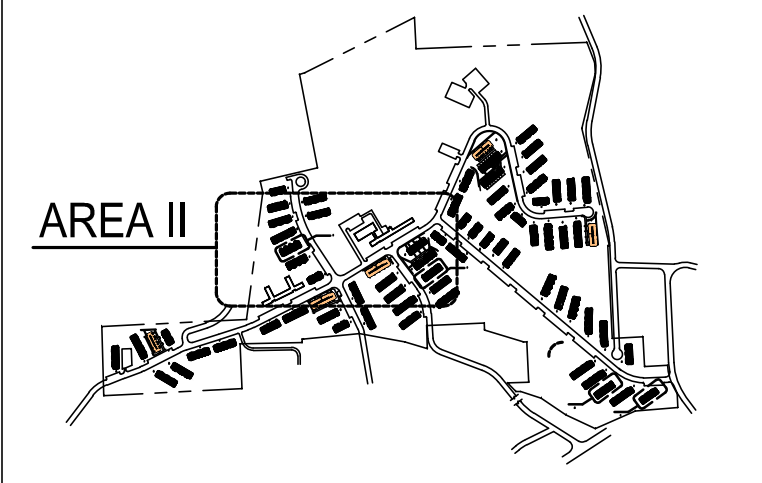
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**Key Plan**



No.	Revision / Issue	Date

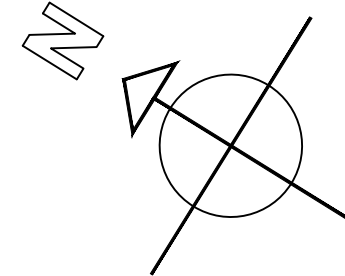


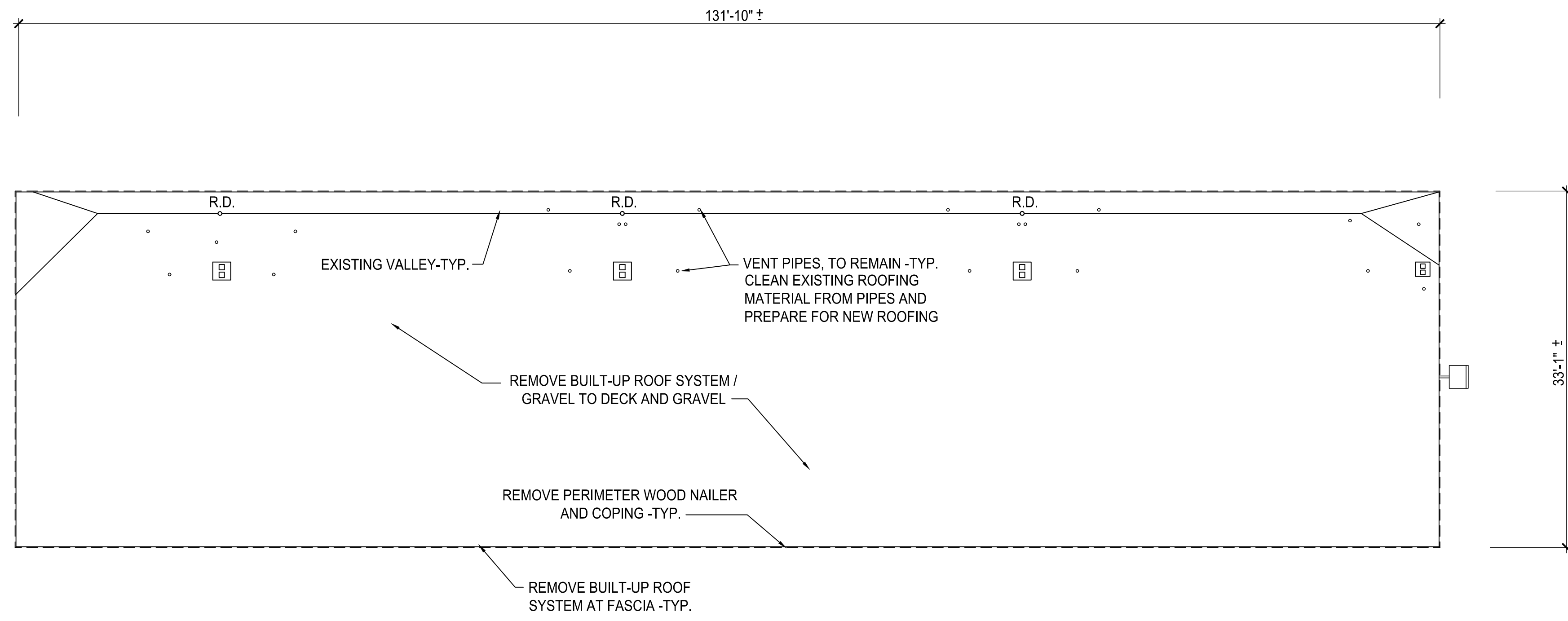
**Architectural Innovations**  
1003 McKnight Park Drive  
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**Housing Authority  
of the City of Pittsburgh**  
Roof Replacement at  
Northview Heights Community

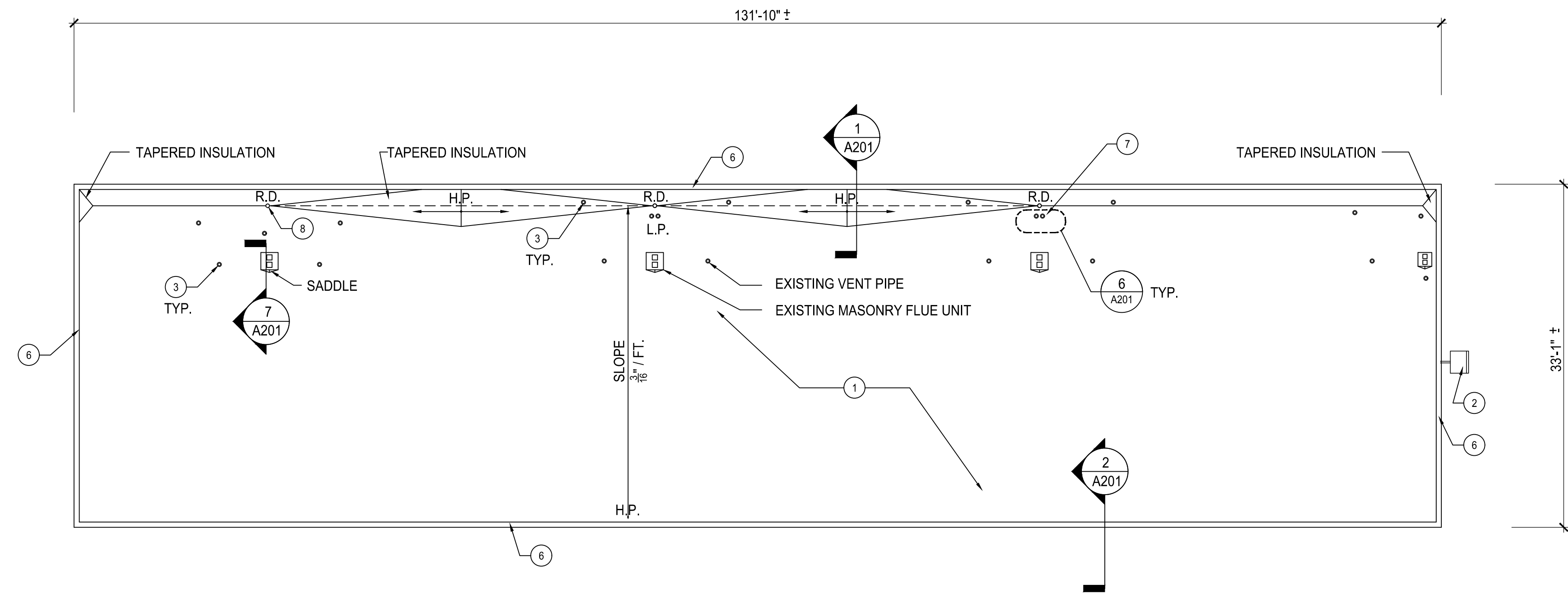
**ROOF PLANS -  
BUILDING 51**

Project: 21-620	Sheet No.: A103
Date: 06-01-2021	





1 Demolition Roof Plan - Building 77  
SCALE: 1/8" = 1'-0"



2 Roof Plan - Building 77  
SCALE: 1/8" = 1'-0"

**DEMOLITION NOTES:**

- ITEMS SHOWN IN LIGHT LINES ARE EXISTING TO REMAIN.
- ITEMS SHOWN IN DARK DASHED LINES ARE TO BE DEMOLISHED AND REMOVED UNLESS NOTED OTHERWISE.
- THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON THIS DRAWINGS FOR THE GENERAL CONTRACTOR'S INFORMATION. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED. COORDINATE WITH NEW WORK.
- GENERAL CONTRACTOR IS TO MAINTAIN SUPERVISORY PERSONNEL SKILLED IN DEMOLITION WORK ON SITE AT ALL TIMES DURING DEMOLITION WORK.
- AREAS, SURFACES AND FINISHES NOT AFFECTED BY THE WORK OF THIS CONTRACT SHALL BE PROTECTED PRIOR TO COMMENCEMENT AND UNTIL COMPLETION OF THE WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED AREAS DURING DEMOLITION AT HIS OWN EXPENSE, INCLUDING BUT NOT LIMITED TO LAWNS, PAVING, CURBS, RAMPS, HANDRAILS, ETC., IN ACCORDANCE WITH APPLICABLE CONSTRUCTION DETAILS.
- THE GENERAL CONTRACTOR SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF, IN THE COURSE OF DEMOLITION, THE GENERAL CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, HE SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK TO THE SATISFACTION OF THE ARCHITECT.
- ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBING ADJACENT WORK TO REMAIN. VERIFY WITH THE ARCHITECT PRIOR TO DOING ANY CUTTING WHICH MIGHT AFFECT STRUCTURAL INTEGRITY. IN ADDITION, CONTRACTOR SHALL VERIFY WITH THE ARCHITECT BEFORE ANY CONCRETE, BLOCK ARE TO BE REMOVED.
- GENERAL CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEMOLISHED MATERIALS / ITEMS, THAT ARE NOT TO BE REUSED OR TURNED OVER TO THE OWNER, TO AN OFFSITE LOCATION IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
- GENERAL CONTRACTOR SHALL NOT BLOCK ANY REQUIRED EXIST PATHS OR FIRE LANES WITHOUT PERMISSION OF STATE AND / OR LOCAL FIRE INSPECTORS.
- GENERAL CONTRACTOR SHALL PROVIDE NOTIFICATION OF DELIVERIES OR PROVIDE A DELIVERY SCHEDULE TO THE OWNER DURING DEMOLITION, FOR PURPOSES OF PARKING COORDINATION.
- GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY FENCES AND BARRICADES TO RESTRICT ACCESS TO THE WORK SITE BY CONSTRUCTION WORKERS AND AUTHORIZED PERSONNEL ONLY. MAINTAIN SAFE ACCESS TO BUILDINGS WHICH ARE OCCUPIED DURING CONSTRUCTION.
- REFER TO SPECIFICATION SECTION 02100 FOR REFERENCES TO THE ASBESTOS REMOVAL.
- GENERAL CONTRACTOR TO PROTECT EXISTING CHIMNEY FLUE TO PREVENT ANY DEBRIS FROM ENTERING FLUE.

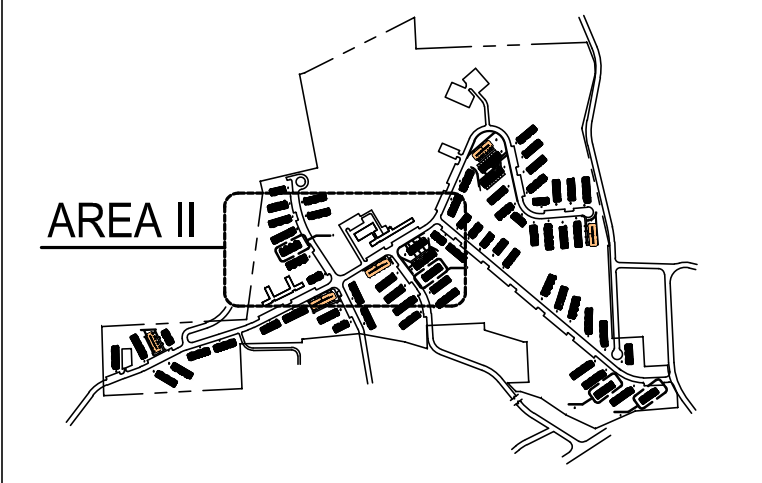
**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ARE APPROXIMATE- FIELD VERIFY.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.
- DIMENSIONS OF, AND FROM, EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND / OR FIELD MEASUREMENTS. THE CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS PERTAINING TO EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE DRAWINGS.
- DIMENSIONS SHOWN ARE FROM FINISH SURFACES UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR SHALL PATCH ALL OPENINGS CREATED BY REMOVAL AND / OR INSTALLATION OF GENERAL CONSTRUCTION RELATED EQUIPMENT OR MATERIAL. PATCH ALL OPENINGS WITH MATERIALS MATCHING THE SIZE, TEXTURE AND COLOR OF THE EXISTING ADJACENT CONSTRUCTION. PATCHING METHOD OF STRUCTURAL OPENINGS FOR FLOORS, WALLS AND ROOF SHALL BE VERIFIED WITH THE ARCHITECT. PAINTING OF PATCHED SURFACES SHALL BE BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL INCLUDE IN THEIR PROPOSAL COSTS FOR THE FOLLOWING:  
BUILDING 39, 41, 51 AND 77  
- THE REPLACEMENT OF 250 SQUARE FEET OF DAMAGED ROOF DECK - EXISTING THICKNESS IS 3/4".  
- INSPECTION OF MORTAR JOINTS AND RE-POINT 100 LINEAL FEET OF MORTAR JOINTS PER BUILDING AS NEEDED.  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING BACK OVER-HANGING TREE LIMBS AND BRANCHES AS NECESSARY TO AVOID INTERFERENCE WITH CONSTRUCTION OF THE NEW ROOFS. GENERAL CONTRACTOR SHALL EMPLOY A CERTIFIED ARBORIST TO PERFORM THIS WORK. ANY CUTTING OF TREES THAT ARE NEAR A ROAD, SIDEWALK, ETC. SHALL BE PERFORMED BETWEEN 10 A.M. AND 2 P.M. AND HAVE A RESPONSIBLE PERSONNEL ON SITE TO DIRECT AND CONTROL TRAFFIC.
- GENERAL CONTRACTOR SHALL PAINT ALL EXPOSED SURFACE MOUNTED ELECTRICAL CONDUIT ON EACH BUILDING TO MATCH THE TRIM COLOR. THE EXTENT OF EXPOSED CONDUIT TO BE PAINTED SHALL BE VERIFIED PRIOR TO SUBMITTING BID PROPOSAL.
- UNLESS NOTED OTHERWISE, SHEET METAL FABRICATION FINISH SHALL MATCH OR COMPLEMENT THE PAINT COLOR OF THE TRIM. FINAL COLOR SELECTION OF ALL MATERIALS SHALL BE DETERMINED BY THE ARCHITECT.
- REFER TO SPECIFICATION SECTION 02200 FOR LEAD CONTAINING COATINGS.
- PLUMBING CONTRACTOR SHALL INCLUDE IN THEIR PROPOSAL COSTS FOR THE FOLLOWING:  
BUILDING 39, 41, 51 AND 77  
- ANY CONNECTION TO EXISTING SANITARY / NEW LINES SHALL HAVE A CAMERA / SCOPE TO RUN THROUGH EXISTING LINE TO THE MAIN LINE TO MEET THE REQUIREMENT OF THE ALLEGHENY COUNTY HEALTH DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING/RECONNECTING LIGHT FIXTURES AND OTHER DEVICES THAT MAY INTERFERE WITH INSTALLATION OF NEW ROOF EDGE/GRAVEL STOP.
- THE LOCATION(S) OF THE DUMPSTER SHALL BE COORDINATED WITH OWNER'S AGENT AND SHALL NOT BLOCK ANY ENTRANCES TO THE BUILDING.
- TEMPORARY STRUCTURES FOR PROTECTION OF THE ENTRANCES SHALL BE PROVIDED.

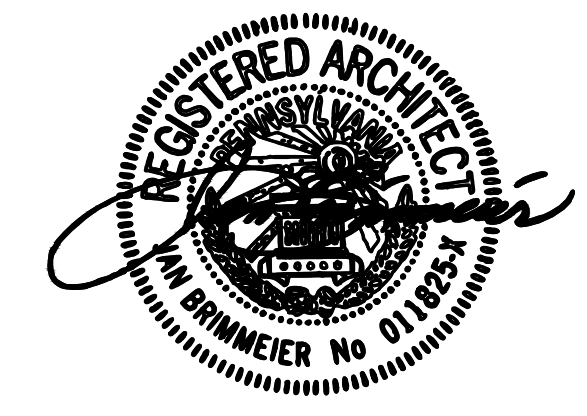
**KEYNOTES:**

- EPDM ROOFING SYSTEM OVER PROTECTION BOARD, OVER EXISTING ROOF DECK
- EXISTING LIGHT FIXTURE
- FLASHING BOOT/PIPE SEAL - SEE DETAILS SHEET A201
- SADDLE
- MASONRY FLUE UNIT
- CANTED EDGE (GRAVEL STOP)
- PRESSURE - SENSITIVE POURABLE SEALER POCKET (ALTERNATE)
- INVESTIGATE DRAIN AND PIPING FOR FUNCTION, IF DEAD, REMOVE DRAIN AND INFILL WITH MATCHING ADJACENT

**Key Plan**



No.	Revision / Issue	Date

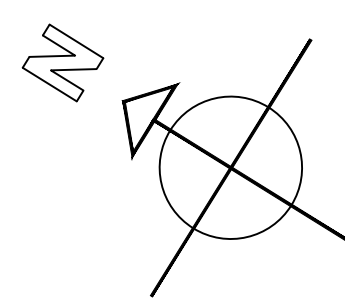


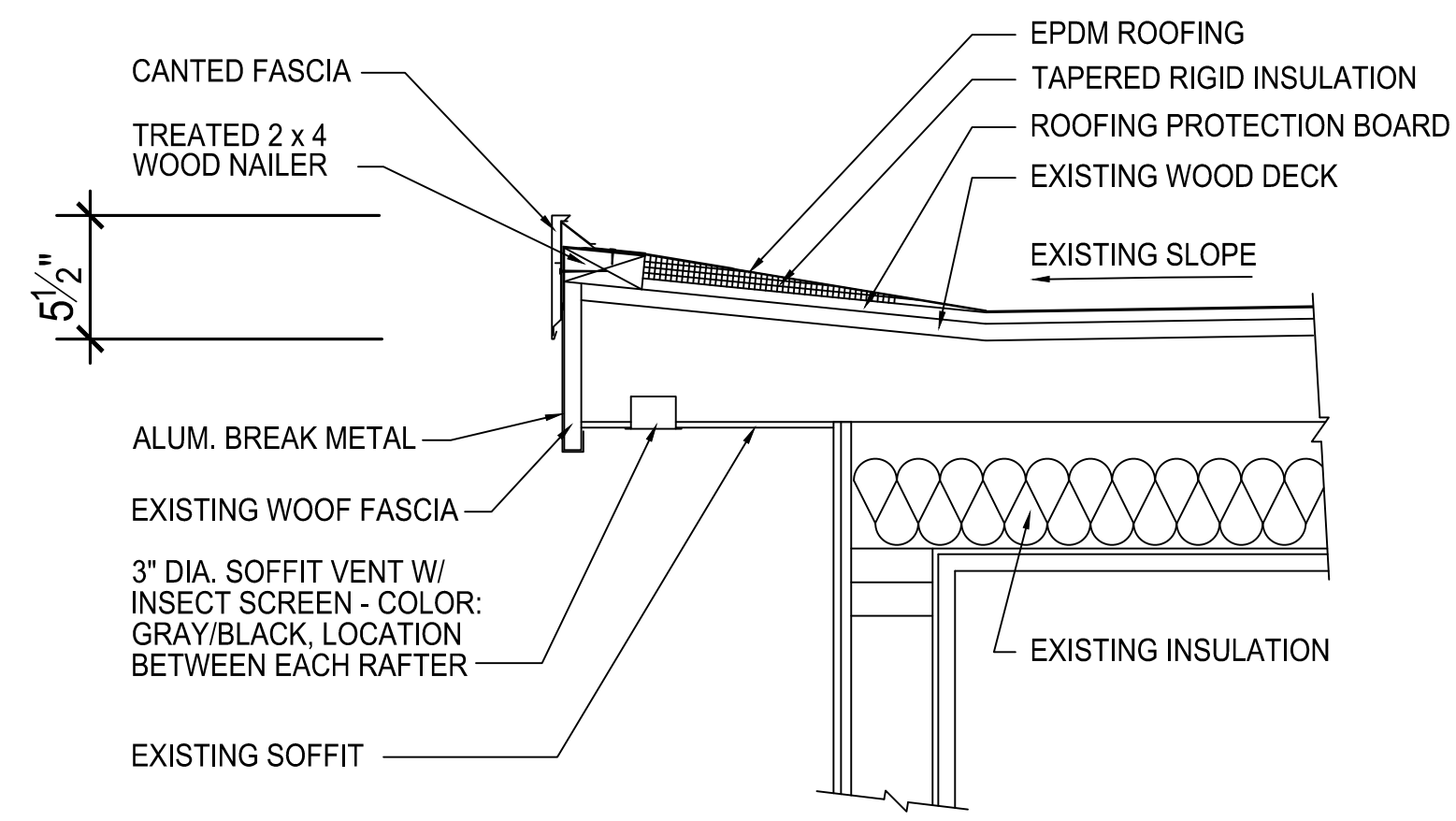
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**ROOF PLANS - BUILDING 77**

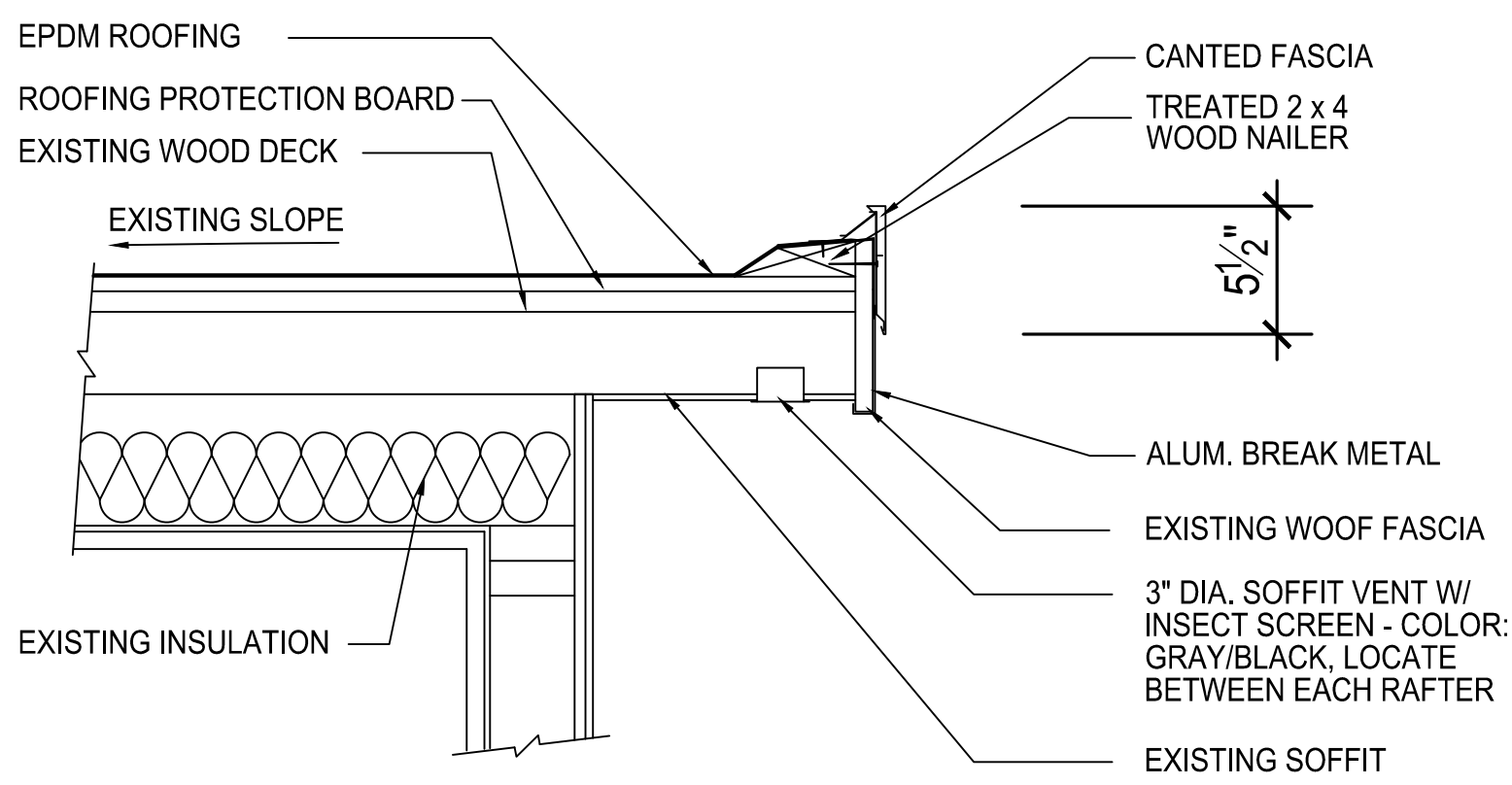
Project: 21-620	Sheet No.: A104
Date: 06-01-2021	





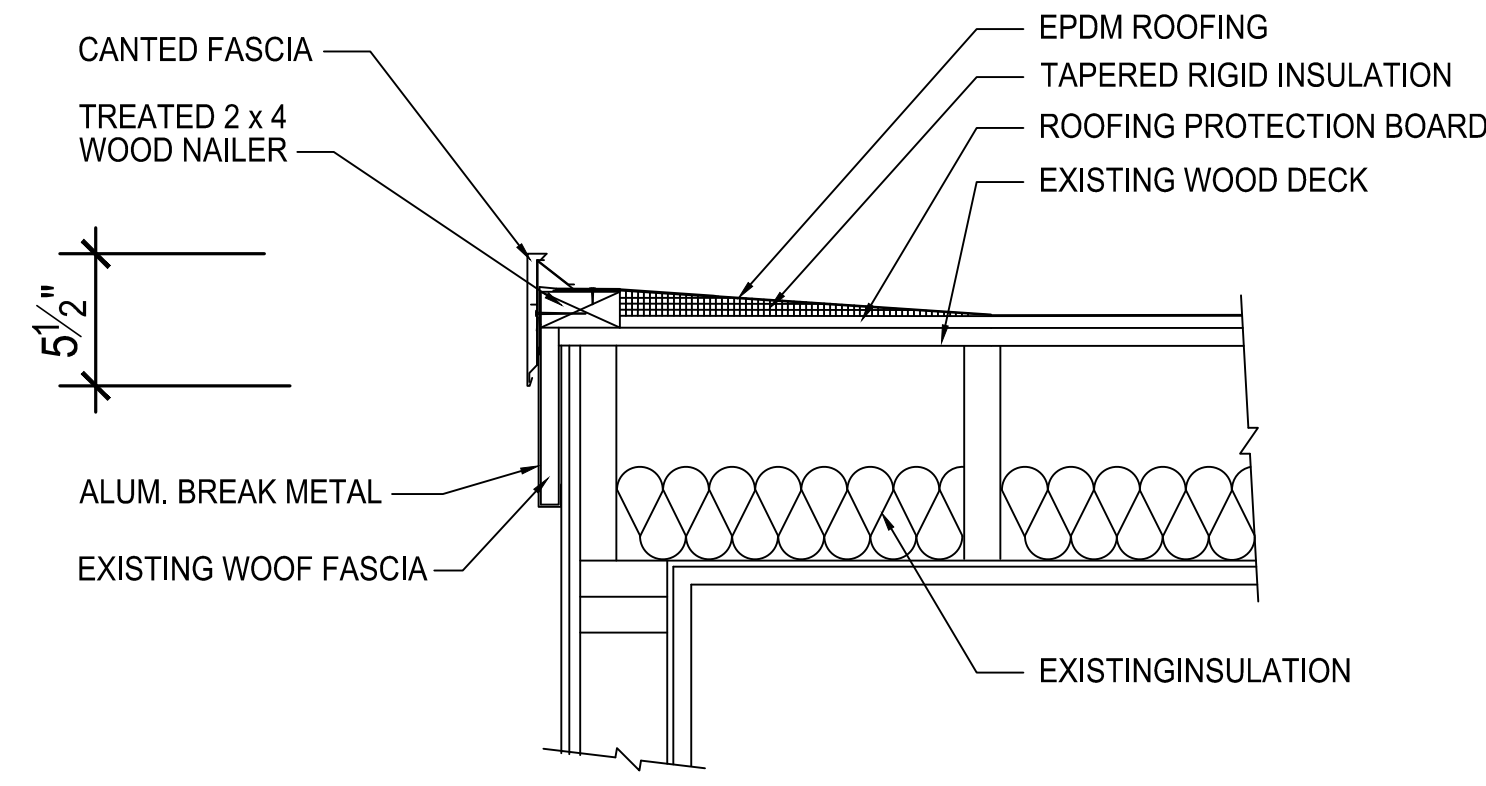
NOTE: CONTRACTOR TO NEATLY DRILL HOLES FOR NEW SOFFIT VENTS. ANY DAMAGE / SPLINTERING OF EXISTING SOFFIT TO BE REPAIRED AND REPAINTED TO MATCH EXISTING.

1 EAVE DETAIL - AT REAR  
Scale: 1 1/2" = 1'-0"

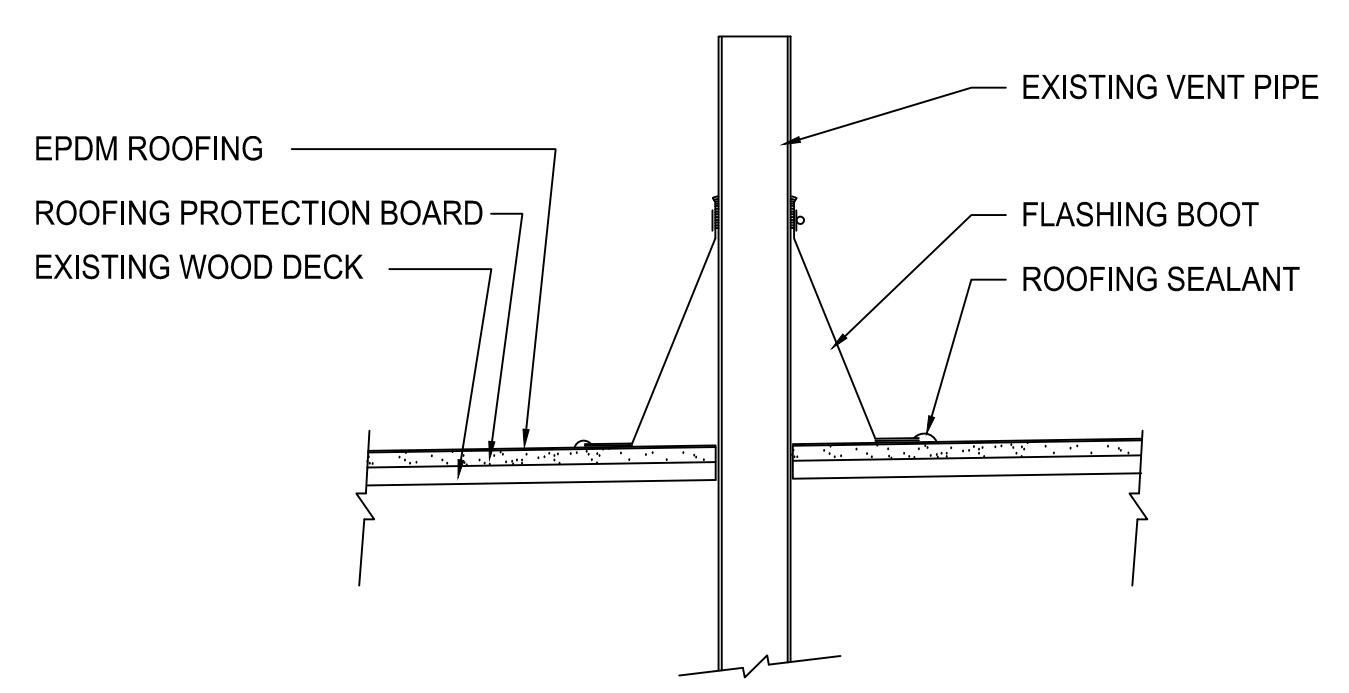


NOTE: CONTRACTOR TO NEATLY DRILL HOLES FOR NEW SOFFIT VENTS. ANY DAMAGE / SPLINTERING OF EXISTING SOFFIT TO BE REPAIRED AND REPAINTED TO MATCH EXISTING.

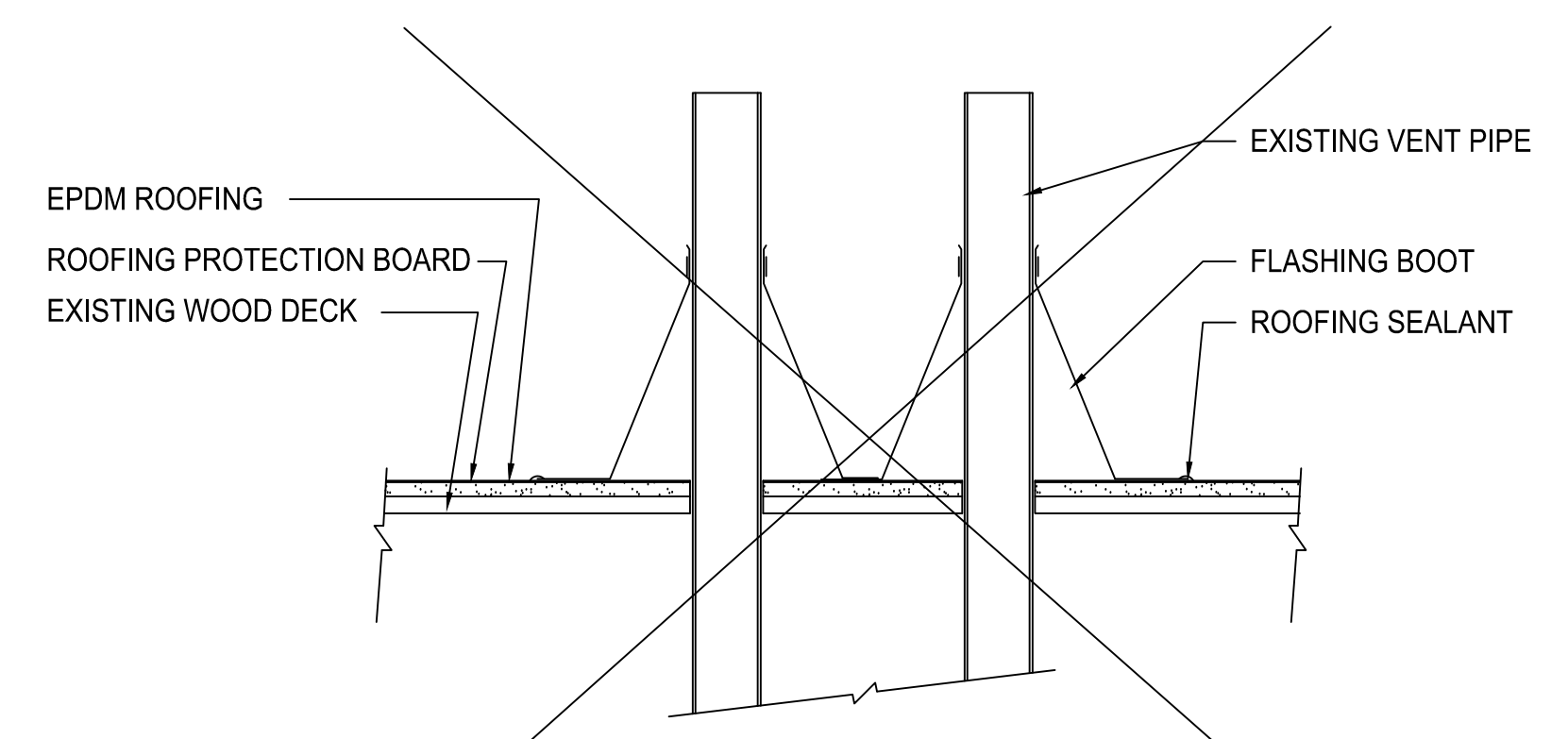
2 EAVE DETAIL - AT FRONT  
Scale: 1 1/2" = 1'-0"



3 FASCIA - AT SIDE  
Scale: 1 1/2" = 1'-0"

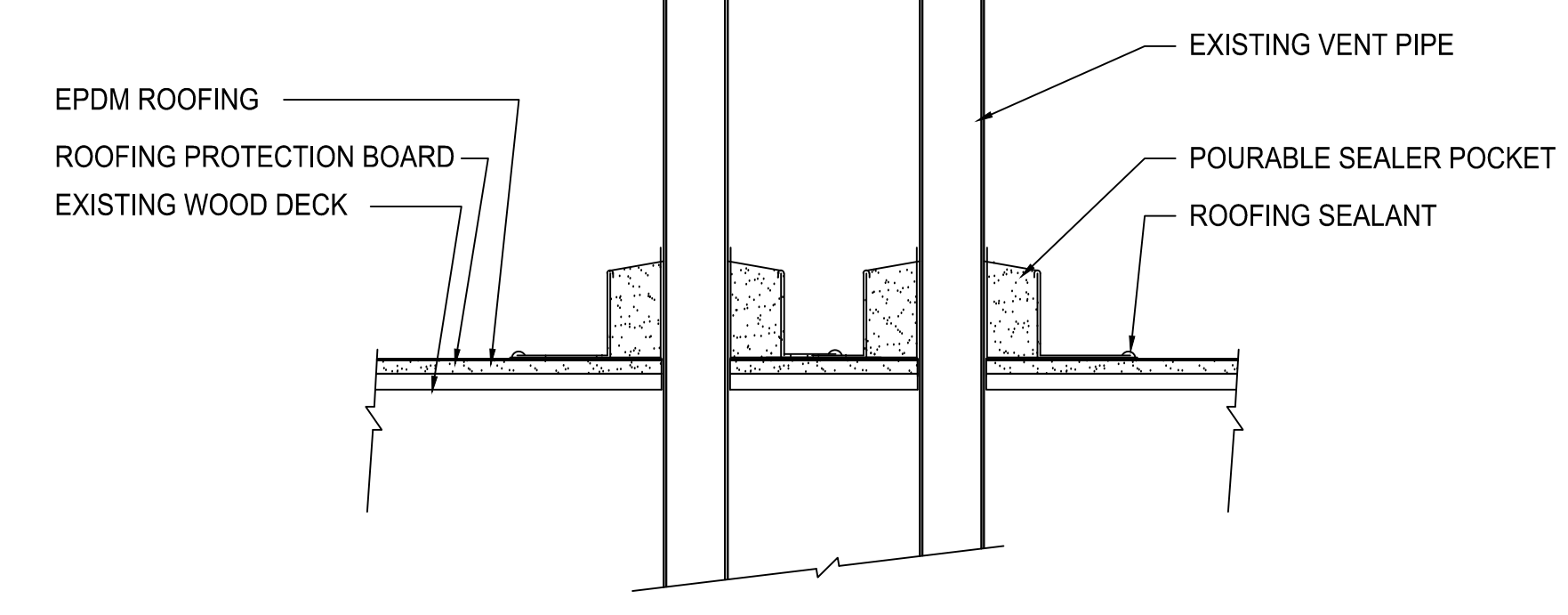


4 VENT PIPE DETAIL  
Scale: 1 1/2" = 1'-0"

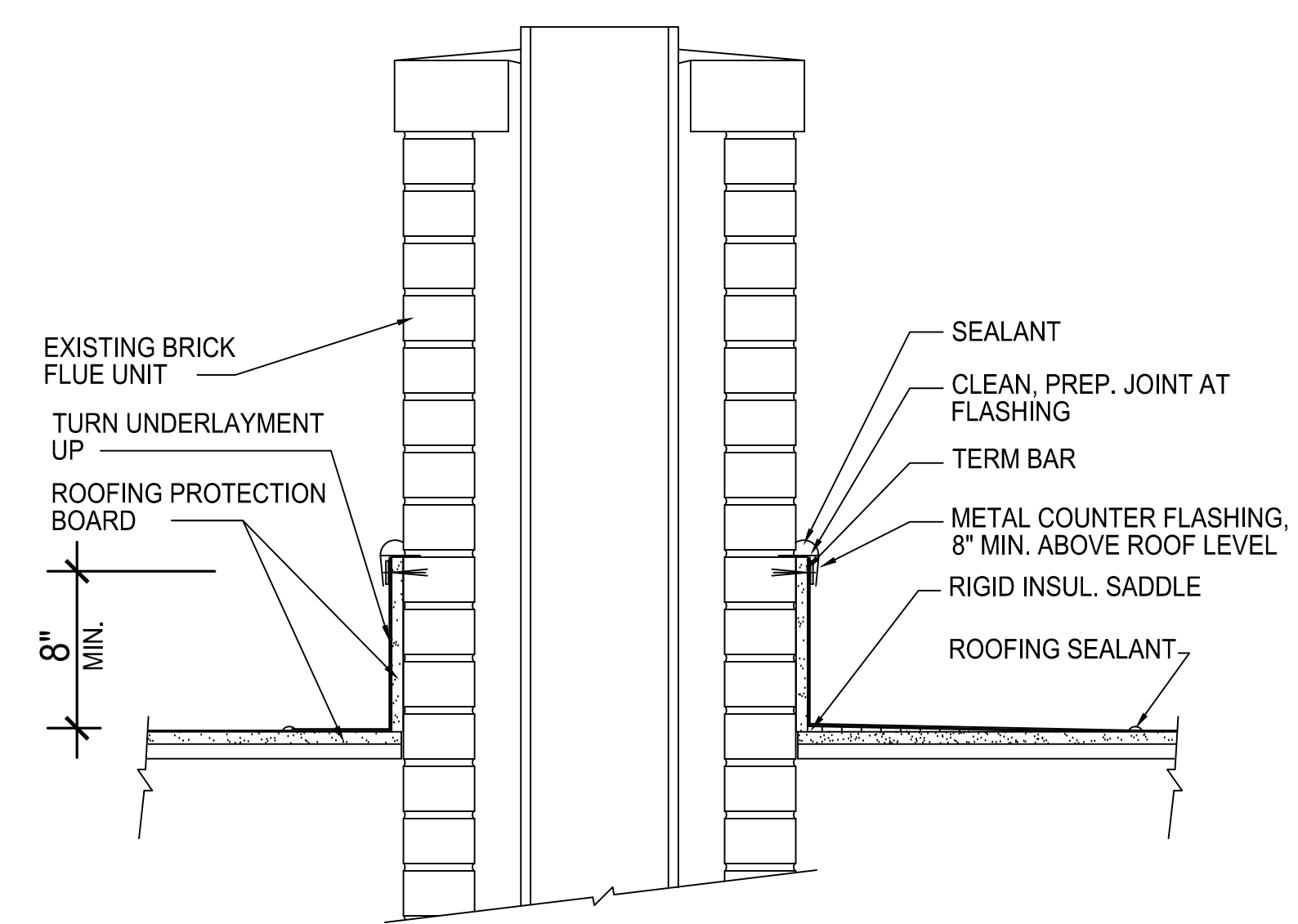


5 VENT PIPE DETAIL  
Scale: 1 1/2" = 1'-0"

NOT USED

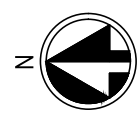


6 VENT PIPE DETAIL  
Scale: 1 1/2" = 1'-0"



7 MASONRY FLUE UNIT DETAIL  
Scale: 1 1/2" = 1'-0"

Key Plan



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ROOF DETAILS

Project: 21-620	Sheet No.: A201
Date: 06-01-2021	