



Development & Modernization
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March 15, 2021
412 Blvd of the Allies Office Build-Out
IFB #600-01-21

ADDENDUM NO.11

This addendum issued March 15, 2021 becomes in its entirety a part of the Invitation For Bid IFB #600-01-21 as is fully set forth herein:

Item 1: The bid due date and time is changed to March 23, 2021 at 10:00 A.M.

Item 2: The Housing Authority of the City of Pittsburgh will only be accepting physical proposals dropped off in person from 8:00 AM until the closing of 10:00 AM on March 23, 2021. Bids may still be submitted electronically at the following link: [IFB #600-01-21](#) and may still be mailed via USPS at which time they will be Time and Date Stamped at 100 Ross Street 2nd Floor, Suite 200, Pittsburgh, PA 15219. All bids must be received at the above address no later than March 23, 2021 at 10:00 A.M., regardless of selected delivery mechanism.

Item 3: Q: Please advise on the following Plumbing P-001R, General Note #12 "Existing PVC piping in plenum ceilings shall be insulated to meet plenum ratings. If found, notify the Architect." Please confirm that the plumbing contractor is not to include any means of insulating existing PVC in plenum spaces in our proposal, and that it will be handled on an as needed basis as a change order? If we are to include a cost for this, we need more information as to quantity or location. Or please provide an allowance for all plumbing contractors to carry in our proposal.

A: Confirmed – the intent of general note #12 is just to inform the architect that PVC piping has been found in a ceiling space that is designated to be a return air plenum. None is anticipated, but if any is found it will need to be addressed with a change order.

Item 4: Q: Please advise if Soundcore® Flaps Bezel will be approved for this project?
A: **Please see Addendum # 7, Item #12.**

Item 5: Q: Detail 2 on Drawing A401, Room 101. Are the 10” wide bulkheads next to the existing beam covers existing? I only see work at the two sections shown. Please review and advise.

A: The gypsum beam covers and gypsum ceiling, which sits above the ACP-04 panel, are all existing. The existing ceiling will have a patch and repair for the large pendants that are being removed per the demo RCP, the ACP-04 panels are then attached to the existing gypsum. The 10” numbers are the offsets/ starting locations for the ACP-04 panel, not annotations indicating bulkheads.

Item 6: Q: Will we have access to the elevators for material stocking?
A: **Please see Addendum #10, Item #1.**

Item 7: Q: On FP drawings Key notes 6 & 7 are not shown on the drawings. Are these general notes for the entire drawing? If so, it is not possible to predict the amount of work needed to meet the notes. Any rework of existing piping would need to be shown on the drawings to properly bid or completed later as a Change Order Request. The only other options would be to assume demo of all sprinkler piping and install as new.

A: **On floors 5, 6 and 7 - also review the note in the box (look between the column bubbles 3-4 and D-E) requiring that all branch lines between column line A to F and 2 to 5 be removed and replaced. That is over half of the floor plate. The existing cross-main loops each floor along the exterior walls and is scheduled to remain. And notes 3 and 4 indicate some sprinklers and piping may be reused if it works with the new tenant layout. FP contractor is responsible for the final piping layout, sizing and coordination with the other ceiling mounted disciplines to meet the contract requirements. Change orders will not be entertained unless there is a floor plan change by the design team.**

Item 8: Q: Is the GC responsible for the Emergency Exit Signs (Lights)?
A: **The EC is responsible for the Emergency Exit Signs and lights.**

Item 9: Q: Who is responsible for the Fire Protection?
A: **Please see Addendum #10, Item #1.**

Item 10: Q: Who is responsible for Telecommunications?
A: **Please see Addendum #10, Item #1.**

Item 11: Q: Is the GC responsible for the Paper Towel Dispensers and Soap Dispensers?
A: **The GC is responsible for the Paper Towel Dispensers and Soap Dispenser installations.**

Item 12: Q: Plans and Specs do not indicate the thickness for the Tectum Panels? Please Clarify.
A: **The Tectum Panels are 1” thick. Please refer to the Overall Reflected Ceiling plans for lengths x widths.**

Item 13: In regard to Addendum #7, Item #13, substitution request by CSI Wall Panels for the Soundcore® Plus Panels in lieu of the FeltWorks® Panel by Armstrong is hereby approved. More information including revised applicable drawings are provided in **Attachment 1** to this addendum.

END OF ADDENDUM NO. 11

Kim Detrick

Kim Detrick (Mar 15, 2021 10:38 EDT)

Mr. Kim Detrick
Procurement Director/Chief Contracting Officer

Mar 15, 2021

Date

Attachment 1



March 10th, 2021

RE: 412 Boulevard of the Allies – 1st, 5th, 6th, 7th Floors: Bidding Addendum #11

To All Bidders and Plan Holders,

Please be advised that the following change has been hereby made a part of the BID/PERMIT DOCUMENTS for the 412 Boulevard of the Allies – 1st, 5th, 6th, and 7th floors project, fully and completely as if the same were fully contained therein. All other terms, conditions, and specifications of the original BID/PERMIT DOCUMENTS remain unchanged.

This amendment must be acknowledged.

Changes to BID/PERMIT DOCUMENTS is as follows:

General

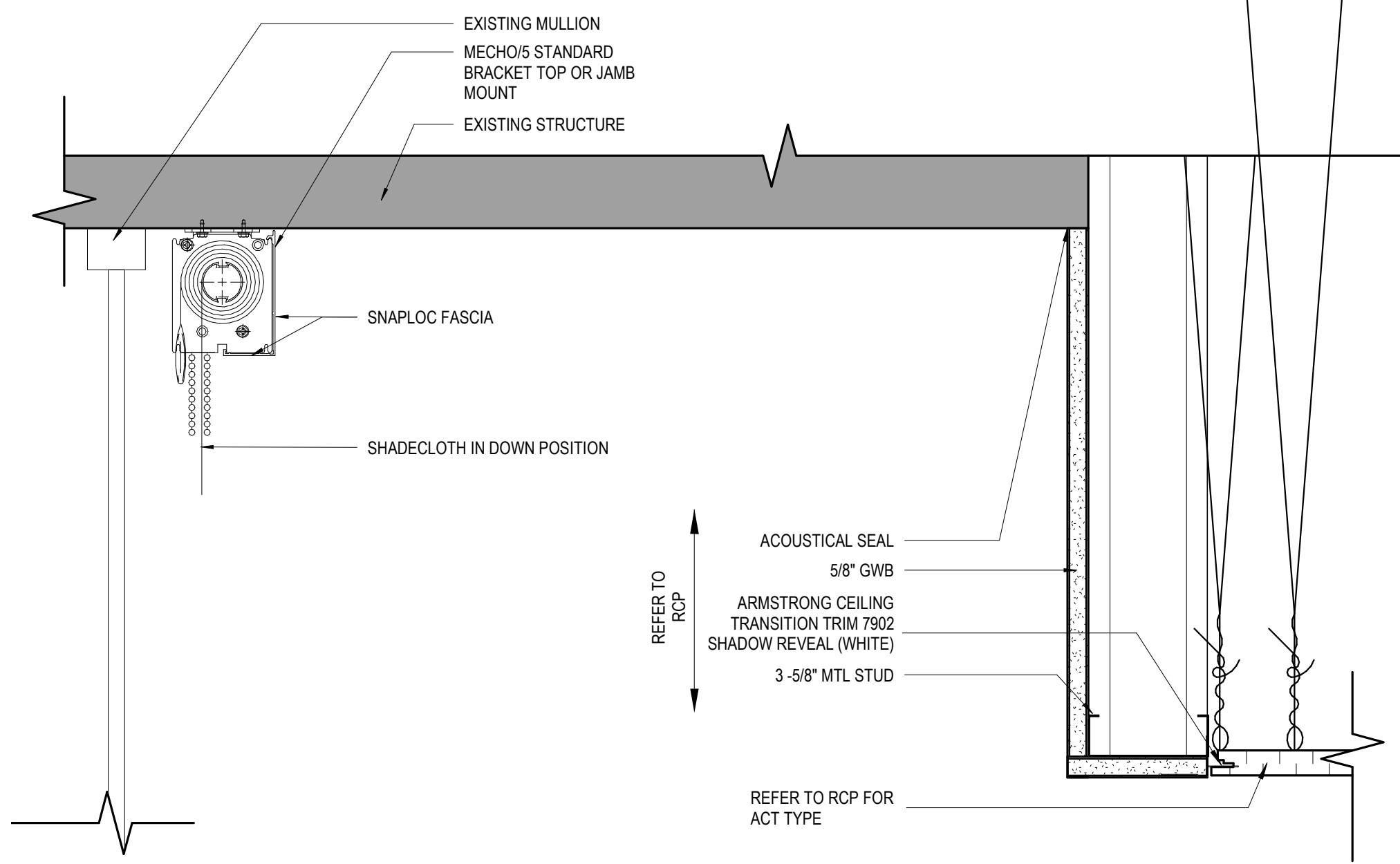
1. Sheet G000R – Cover Sheet
 - Clouded sheets revised for Addendum #11.

Architectural

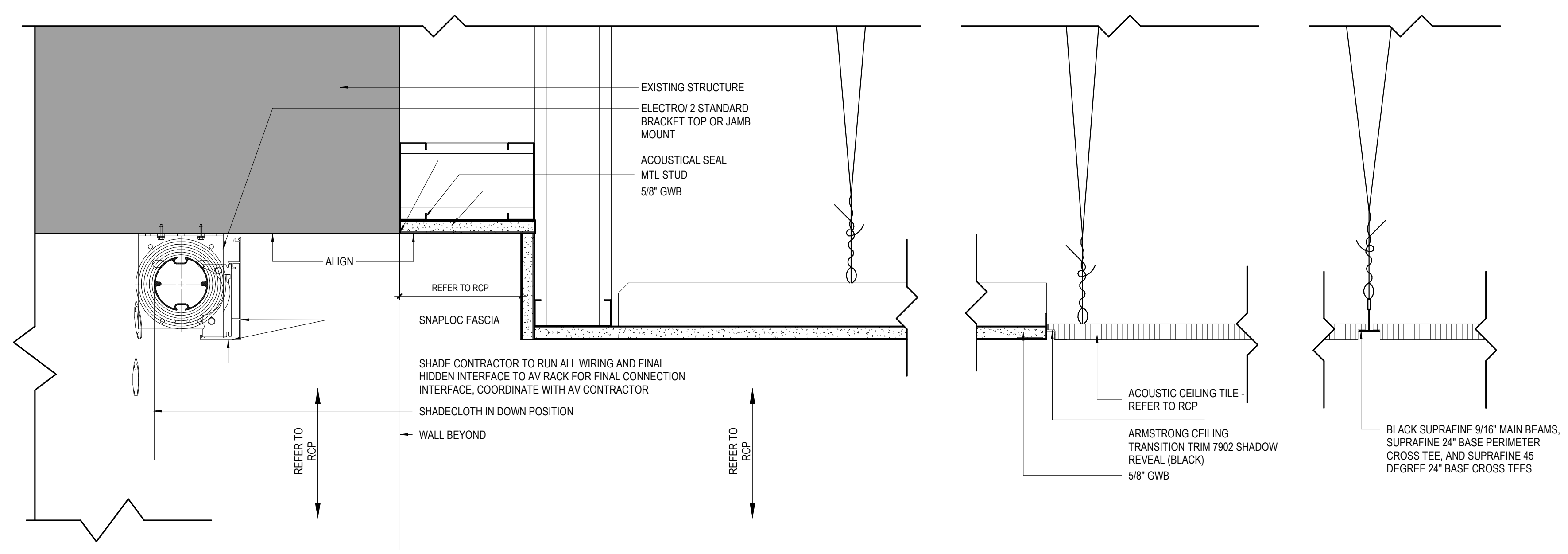
1. Sheet A560R – Ceiling Details
 - Updated ceiling detail to include CSI Wall Panel install as an approved substitution.
2. Sheet A641R – Interior Finish Schedules
 - Updated finish schedule to include CSI Wall Panels as an approved substitution.

Regards,

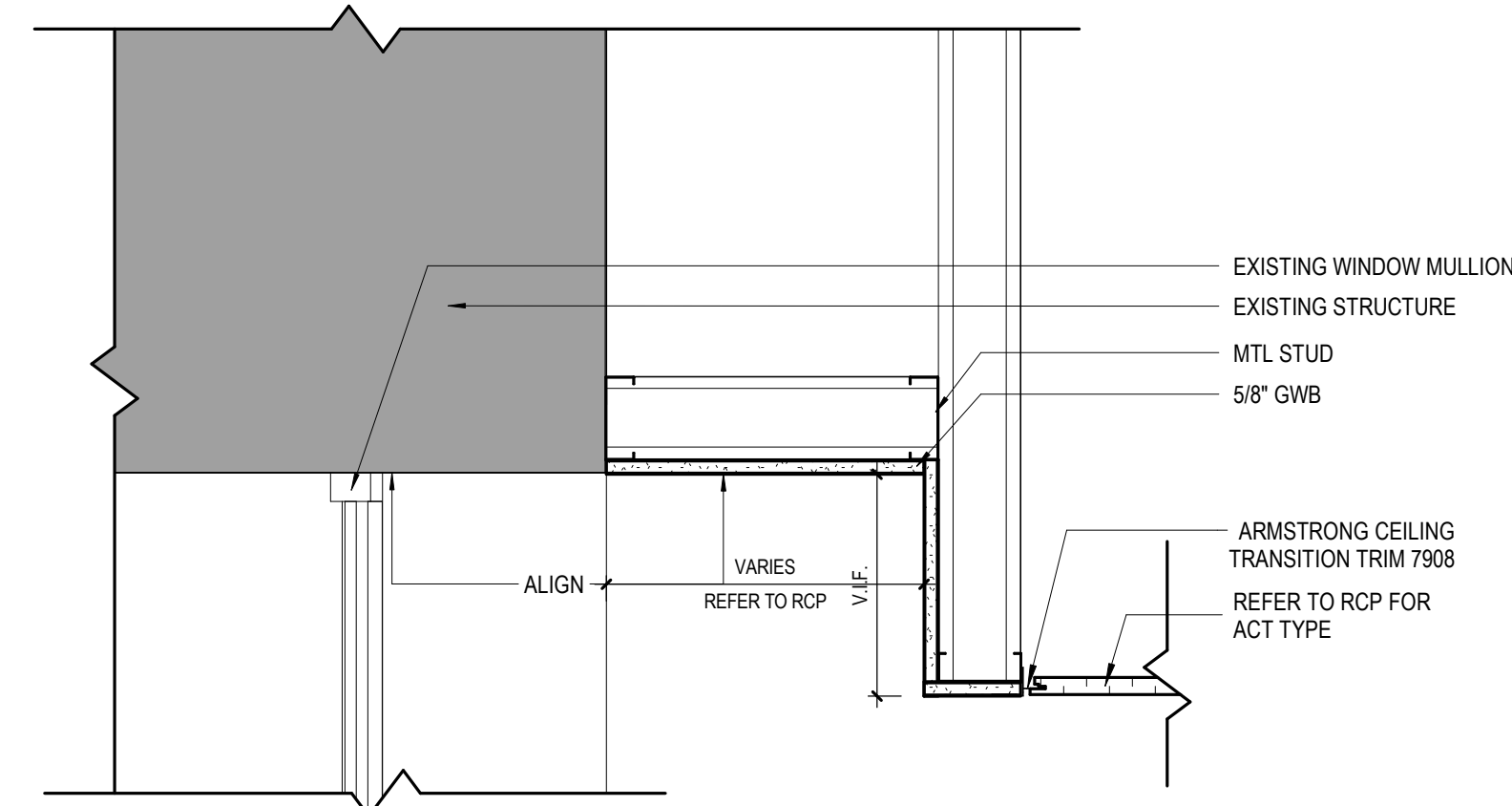
Roberto Vega Peralta
Project Manager
AE7



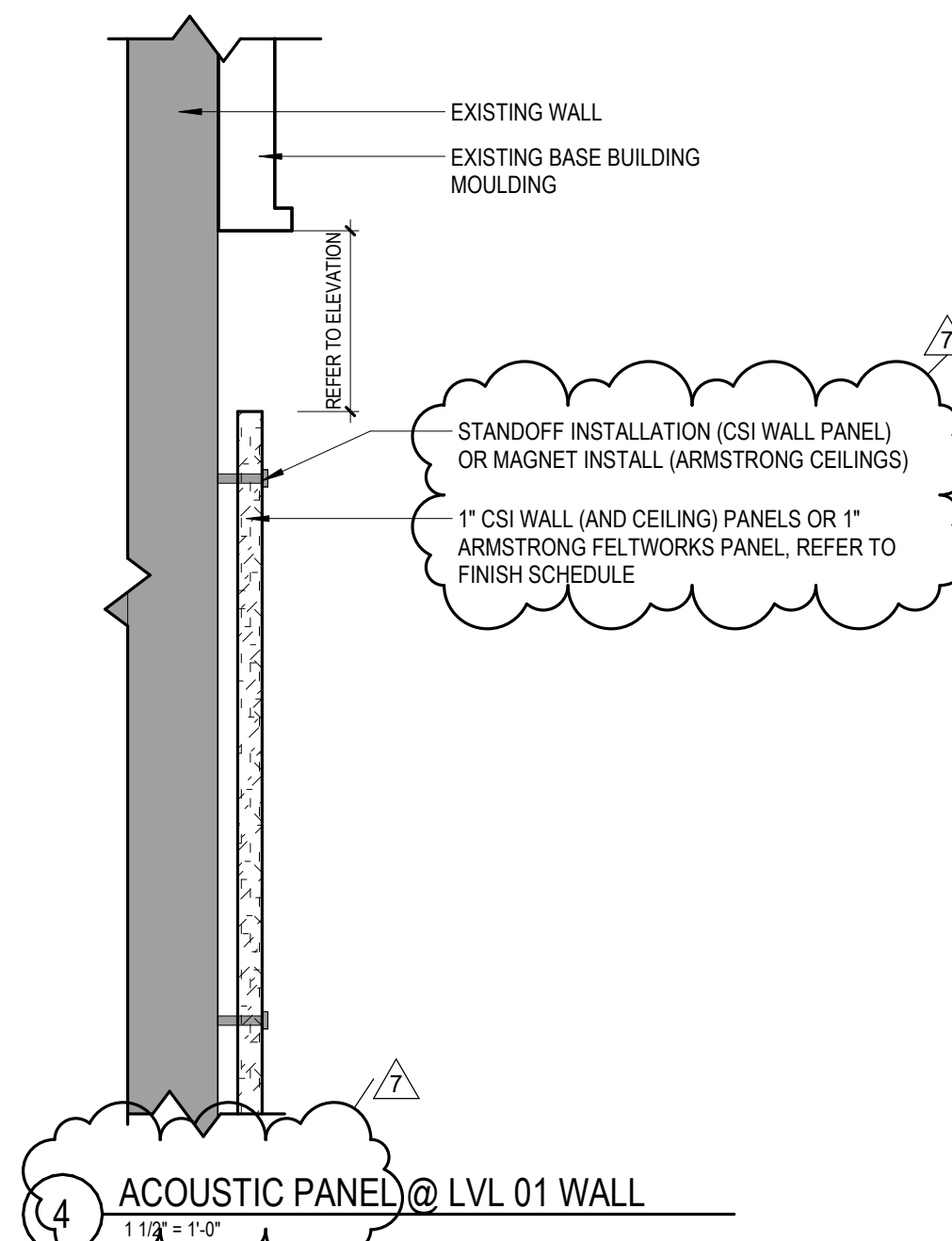
2 MANUAL ROLLER SHADE DETAIL - RS-01, RS-03, RS-04
3/4" = 1'-0"



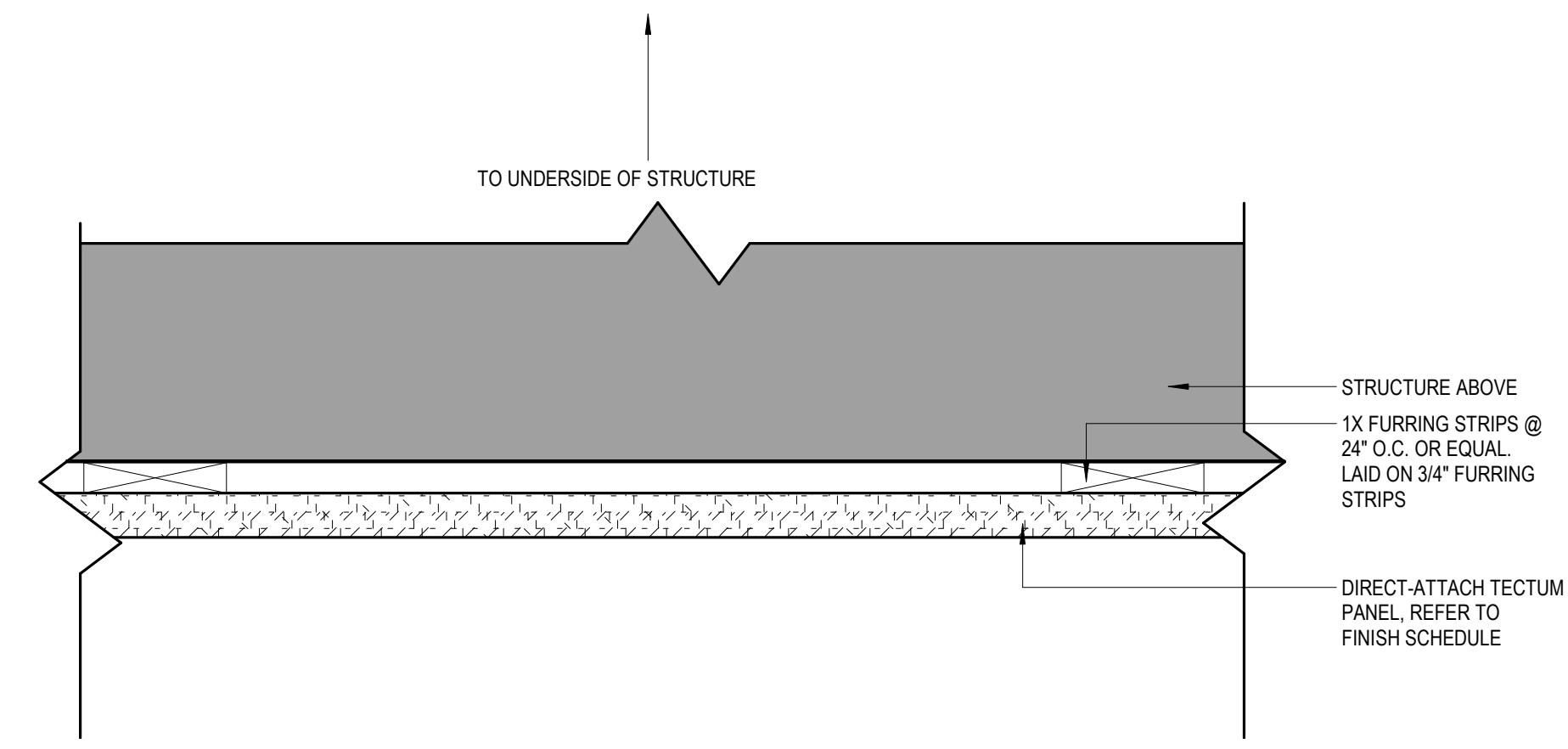
1 BOARD ROOM / TRAINING ROOM ROLLER SHADE AND POCKET DETAIL - RS-02
3/4" = 1'-0"



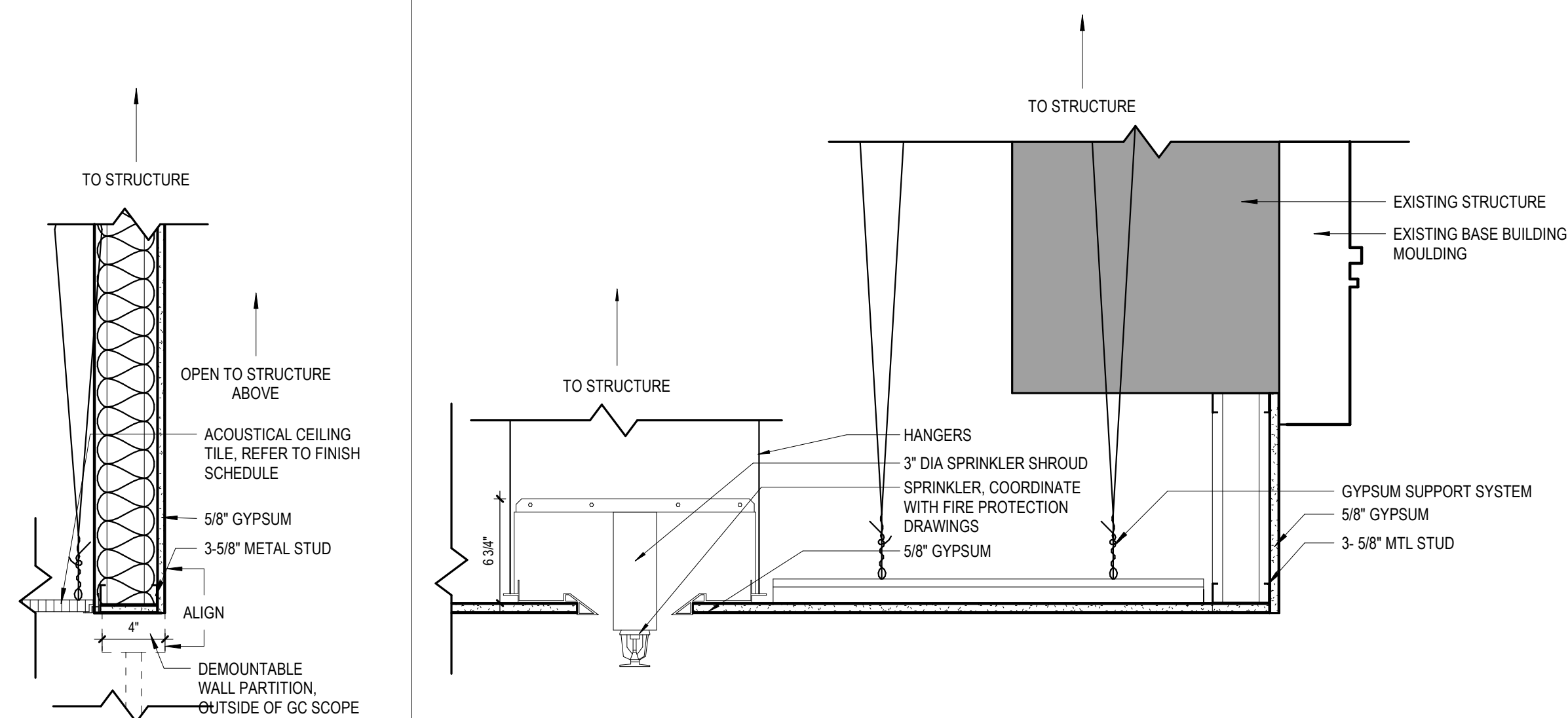
5 GYPSUM POCKET @ LVL 01 WINDOWS
1 1/2" = 1'-0"



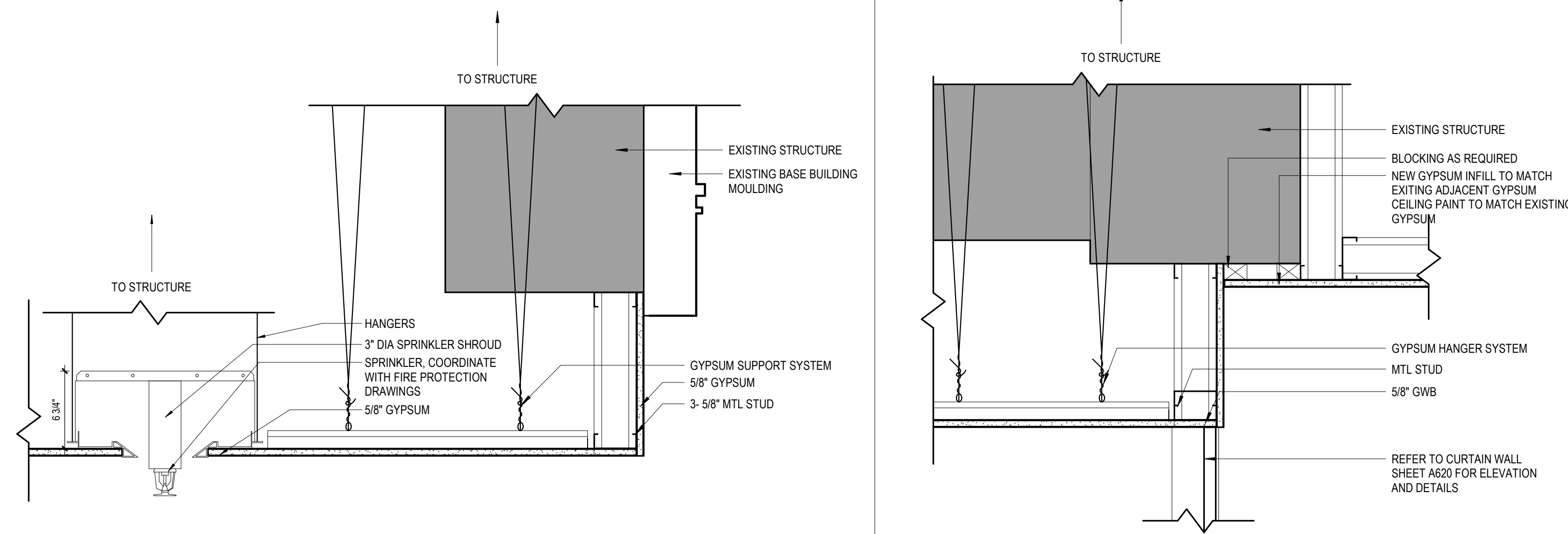
4 ACOUSTIC PANEL @ LVL 01 WALL
1 1/2" = 1'-0"



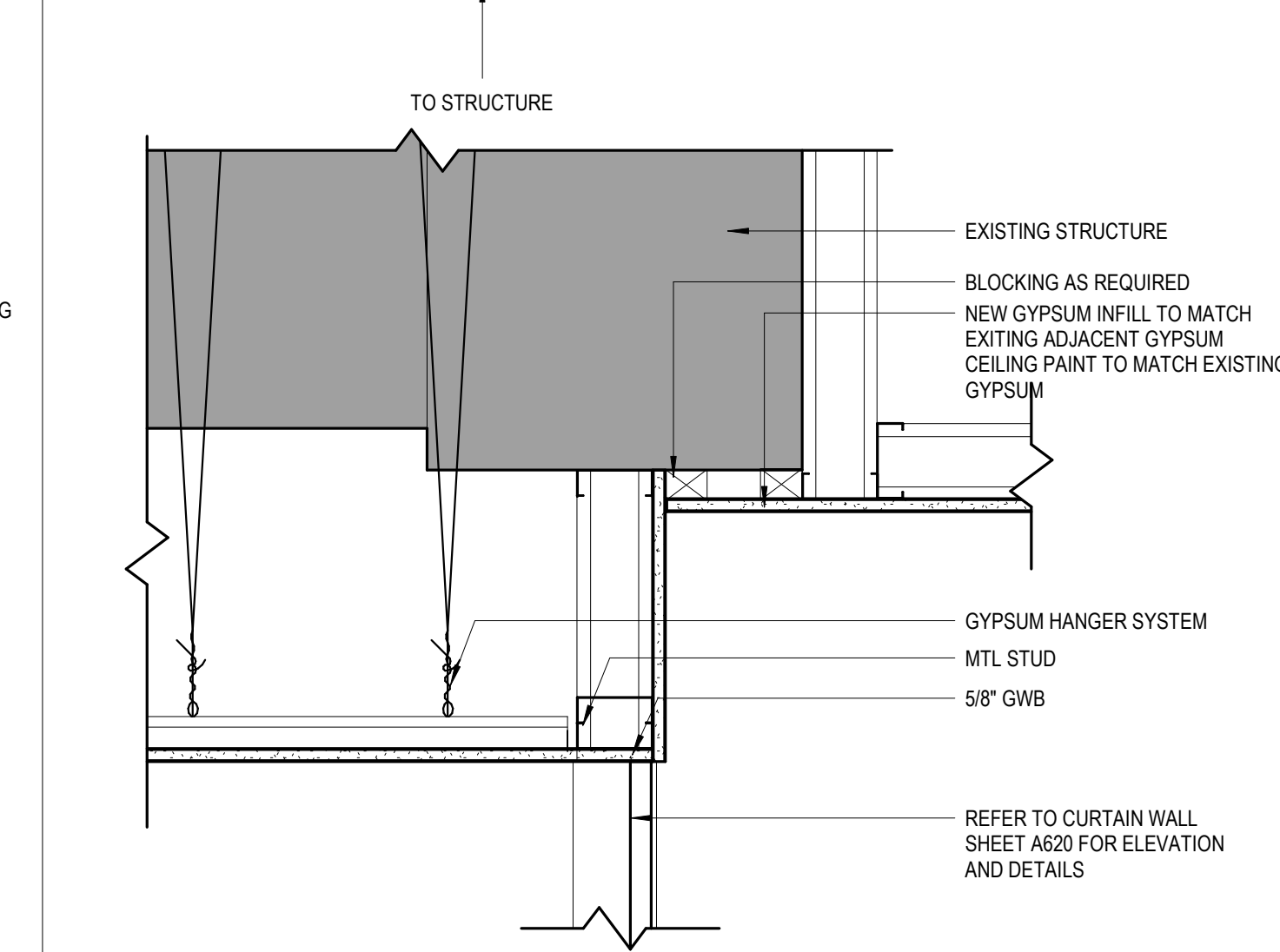
3 DETAIL @ CEILING TECTUM PANEL
3/4" = 1'-0"



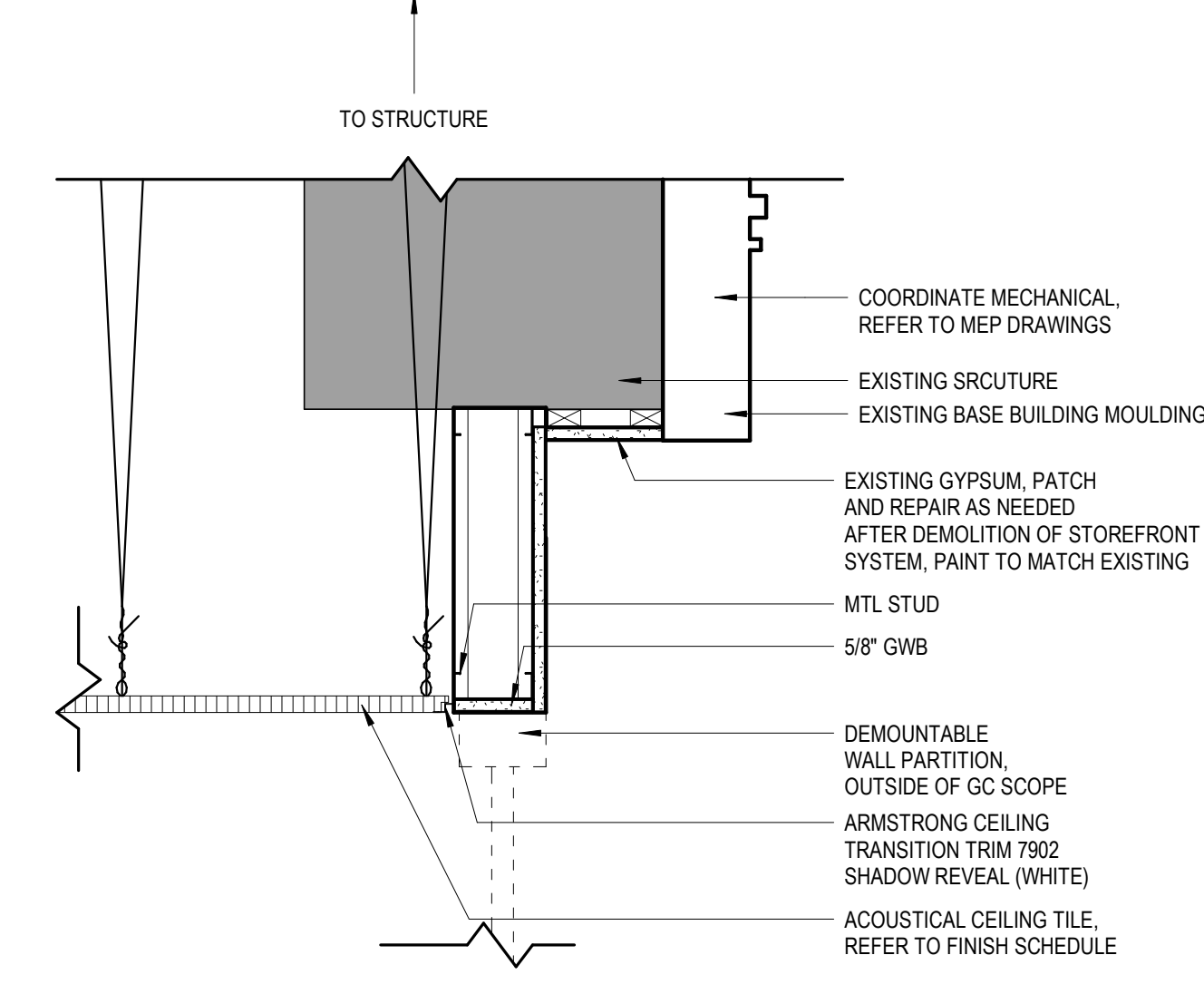
9 BULKHEAD @ LVL 01 CONSULT ROOMS
1 1/2" = 1'-0"



8 SERVICE INTEGRATION CEILING DETAIL @ LVL 01 APPLICATION
1 1/2" = 1'-0"



7 CEILING @ BULKHEAD/STOREFRONT
1 1/2" = 1'-0"



6 CEILING DETAIL @ LVL 01 LARGE CONSULT
1 1/2" = 1'-0"

NO.	DESCRIPTION	DATE
7	ADDENDUM #11	03/10/2021
5	100% CONSTRUCTION DOCUMENTS REVISION #3	09/03/2020
4	100% CONSTRUCTION DOCUMENTS REVISION #2	07/30/2020
3	100% CONSTRUCTION DOCUMENTS REVISION #1	07/09/2020
2	100% CONSTRUCTION DOCUMENTS	05/22/2020
#	DESCRIPTION	DATE

