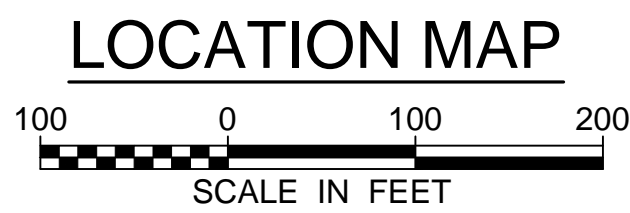
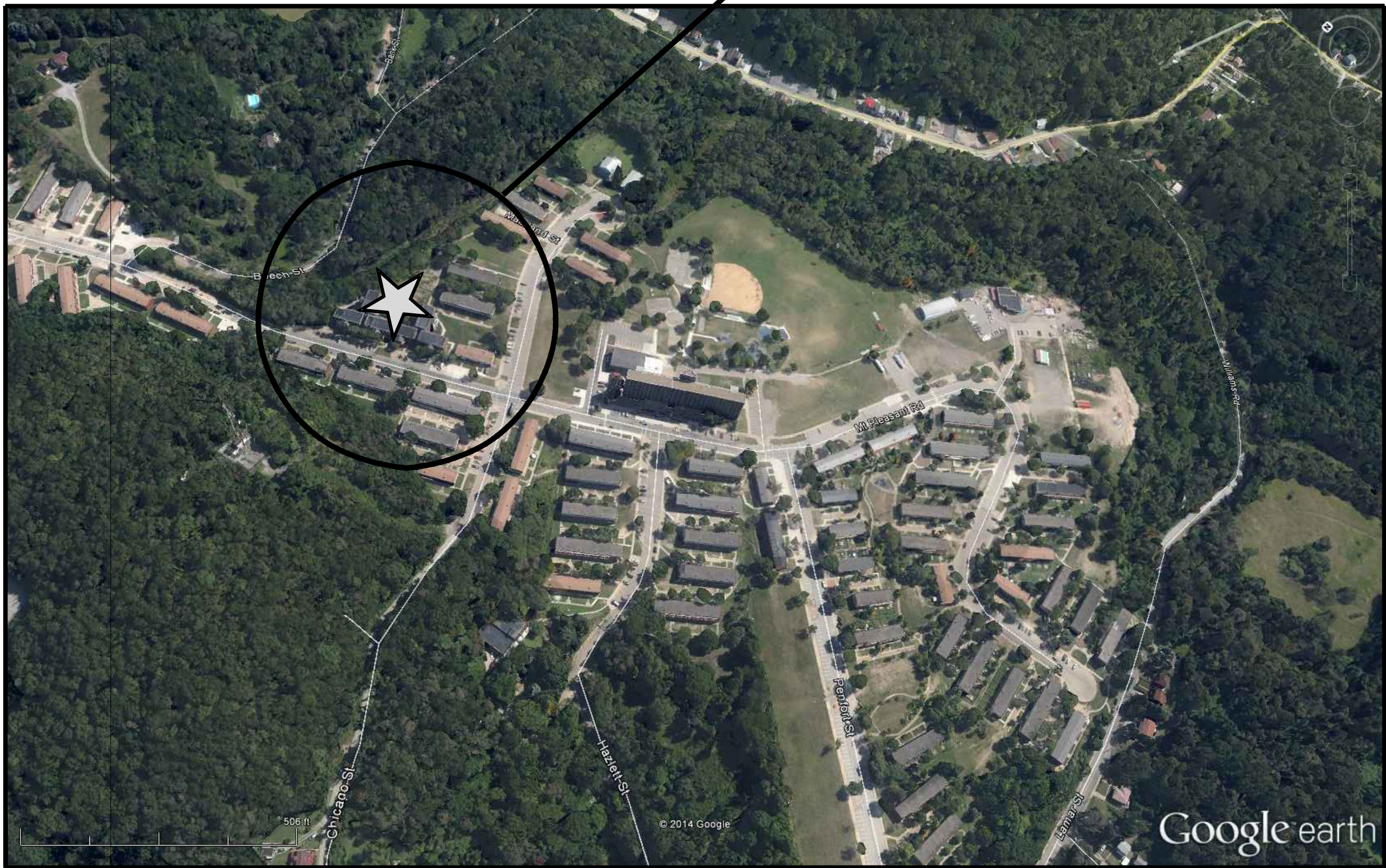


HOUSING AUTHORITY of the CITY of PITTSBURGH

DEVELOPMENT AND MODERNIZATION DEPARTMENT
100 ROSS STREET, 2ND FLOOR
PITTSBURGH, PENNSYLVANIA 15219

HACP MANAGEMENT # 7381
TASK ORDER #65
NORTHVIEW HEIGHTS
BUILDING #74
UPGRADES

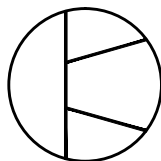
NOVEMBER 13, 2019



DRAWING INDEX

DRAWING NO.	DESCRIPTION
CS	COVER SHEET
G-01	ABBREVIATIONS, SYMBOLS AND GENERAL NOTES
G-02	BASEMANT AND FIRST FLOOR CODE SHEET
G-03	SECOND AND THIRD FLOOR CODE SHEET
D-1	BASEMENT DEMOLITION PLAN
D-2	TYPICAL ENLARGED DEMOLITION PLAN
A-1	BASEMENT LEVEL PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	THIRD FLOOR PLAN
A-5	ENLARGED TYPICAL NEW WORK PLANS, ELEVATIONS, DETAILS AND FINISH SCHEDULE
A-6	DOOR SCHEDULE, DOOR TYPES AND DETAILS
E001	GENERAL NOTES, LEGEND, ABBREVIATIONS AND DETAILS
E100	FIRE DETECTION PLAN - DEMOLITION AND NEW WORK BASEMENT FLOOR
E101	FIRE DETECTION PLAN - DOOR ENTRY DEMOLITION AND NEW WORK FIRST FLOOR
E102	FIRE DETECTION PLAN - DOOR ENTRY DEMOLITION AND NEW WORK SECOND FLOOR
E103	FIRE DETECTION PLAN - NEW WORK THIRD FLOOR
E104	FIRE DETECTION PLAN - NEW WORK ENLARGED PLAN AND VIDEO MONITORING INTERCONNECTION WIRING

PROJECT TEAM:

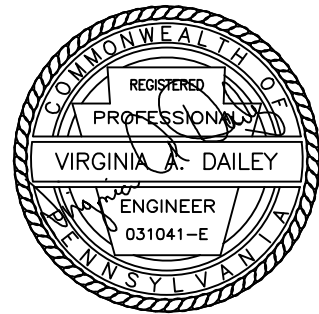


D & D ENGINEERING, INC.
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RIOS WILLIAMS
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200 Rosewood Court
Venetia, PA 15367
p: 724.255.7985

contact: Lizette Rios-Williams
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DRAWING NUMBER

CS

SHEET NUMBER
1 OF 18

LIFE SAFETY CODE INFORMATION

Governing Authorities

All work will be completed in accordance with the City of Pittsburgh Department of Planning and Zoning.

- A. City of Pittsburgh Planning License Inspection Department (PLI)
B. City of Pittsburgh Fire Bureau – Fire Zone District 1

Applicable Codes, Ordinances, Standards, and Edition

- BUILDING CODE: International Existing Building Code, 2009 Edition
- EXISTING CODE: International Existing Building Code, 2009 Edition.
- MECHANICAL CODE: International Mechanical Code, 2009 Edition
- PLUMBING CODE: International Plumbing Code, 2009 Edition
Allegheny County Plumbing Code
- ELECTRICAL CODE: National Electric Code (NEC) 2011, NFPA 70, 2008 Edition.
- FIRE CODE: International Fire Code, 2009 Edition.
- ENERGY CODE: International Energy Conservation Code, 2009 Edition.
- ACCESSIBILITY CODE: Accessible and Usable Buildings and Facilities, ICC / ANSI A117.1, 2012 Edition.
ADAAG, American's with Disabilities Act (ADA), Federal Register Accessibility Guidelines.
- OTHER STANDARDS: American National Standards Institute (ANSI), American Society of Mechanical Engineers (ASME), American Society for Testing and Materials (ASTM), American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASHRAE), National Fire Protection Association (NFPA), Underwriters Laboratories (UL), Occupational Safety and Health Administration (OSHA), and other agency standards as referenced by the IBC.

Occupancy Compliance Alternatives

Occupancy Application Permit No: 16-OCC-0086

- Basement 1-story: Certificate of Occupancy on file with PLI; re-certification not required
- Residential 3-story: Certification required:
 - Compliance Alternative Method – Performance Compliance method as outlined in the IBC 2009 Chapter 34, Section 3412

RESULTS

The evaluation process utilizes Table 3412.7 Summary Sheet-Building Code. The evaluation is divided into three categories, Fire Safety, Means of Egress and General Safety. Each category includes 19 parameters which reference other sections of the code. Each parameter has specific formulas or categories that need to be evaluated to determine the value that is then entered in the summary sheet. After the appropriate data is entered, each category is tallied separately. The final step of the process requires that the Mandatory Safety Score, per Table 3412.8, be subtracted from the building scores from each category in the summary sheet. Table 3412.7. Where the final score for any category is less than zero, the building is not in compliance with the requirements of this section. If the final score equals or is greater than zero, the building is in compliance.

For the 3-story Residential sections of this building to comply, the existing exit stair tower enclosures (all vertical enclosures) within the building must be separated from the occupied spaces by a 1-hour rated enclosures. To accomplish this the existing apartment entry doors and windows must be replaced with fire-rated system to maintain the required separation rating. This alteration would change the parameter value for 3412.6.6 Vertical Openings to 2 for all 3 safety categories bringing the tally to a positive number thus bringing the final scores greater than zero. Below is the Summary Sheet Table for reference:

SUMMARY SHEET – BUILDING CODE			
EXISTING OCCUPANCY:	PROPOSED OCCUPANCY:	R-2 (RESIDENTIAL)	
R-2 (RESIDENTIAL)	R-2 (RESIDENTIAL)		
Year building was constructed: 1959	Number of stories: 3	Height in feet: 30	
Type of construction: IIB	Area per floor: 11,052 SF		
Percentage of open perimeter increase: %			
Completely suppressed: Yes No X	Corridor wall rating: N/A		
Compartmentation: Yes X No	Required door closers: Yes X No		
Fire-resistance rating of vertical opening enclosures: 1 hr required			
Type of HVAC system: Individual unit - Geothermal	serving number of floors: 1		
Automatic fire detection: Yes No X	Type and location: Smoke detectors per unit		
Fire alarm system: Yes X No	Type: Individual unit		
Smoke control: Yes No X	Type: N/A		
Adequate exit routes: Yes X No	Dead ends: Yes No X		
Maximum exit access travel distance: 132 FT	Elevator controls: Yes No X		
Means of egress emergency lighting: Yes X No	Mixed occupancies: Yes X No		

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
3412.6.1 Building Height	1	1	1
3412.6.2 Building Area	10.8	10.8	10.8
3412.6.3 Compartmentation	18.9	18.9	18.9
3412.6.4 Tenant and Dwelling Unit Separations	0	0	0
3412.6.5 Corridor Walls	0	0	0
3412.6.6 Vertical Openings	2	2	2
3412.6.7 HVAC Systems	5	5	5
3412.6.8 Automatic Fire Detection	6	6	6
3412.6.9 Fire Alarm Systems	0	0	0
3412.6.10 Smoke Control	****	0	0
3412.6.11 Means of Egress Capacity	****	0	0
3412.6.12 Dead Ends	****	2	2
3412.6.13 Maximum Exit Access Travel Distance	****	6.8	6.8
3412.6.14 Elevator Control	-2	-2	-2
3412.6.15 Means of Egress Emergency Lighting	****	1	1
3412.6.16 Mixed Occupancies	0	****	0
3412.6.17 Automatic Sprinklers	-6	-6 + 2 = -3	-6
3412.6.18 Standpipes	0	0	0
3412.6.19 Incidental Accessory Occupancy	0	0	0
Building score – total value	35.7	48.5	45.5

*** No applicable value to be inserted.

Mandatory Safety Score for Occupancy R:

(MFS) 17	(MME) 34	(MGS) 34
FS-MFS =	ME-MME =	GS-MGS =
35.7 - 17 = 18.7	48.5 - 34 = 14.5	45.5 - 34 = 11.5

RESULTS: Score is GREATER than zero, therefore, this building is in compliance.

FS = FIRE SAFETY
ME = MEANS OF EGRESS
GS = GENERAL SAFETY

MFS = MANDATORY FIRE SAFETY
MME = MANDATORY MEANS OF EGRESS
MGS = MANDATORY GENERAL SAFETY

CITY OF PITTSBURGH PLI PERMIT NO.: 16-OCC-00806

GENERAL BUILDING DATA

BUILDING ADDRESS: 415 MOUNT PLEASANT ROAD

PARCEL ID: 0077-D-00046-0000-00

COUNTY: ALLEGHENY

ZONING DISTRICT: R1D-L SINGLE UNIT DETACHED RESIDENTIAL

POLITICAL SUBDIVISION: COUNCIL DISTRICT #1

MUNICIPALITY: 26TH WARD - PITTSBURGH

APPLICATION TYPE: RENOVATION

USE AND OCCUPANCY: R-2 RESIDENTIAL

CONSTRUCTION TYPE: IIB

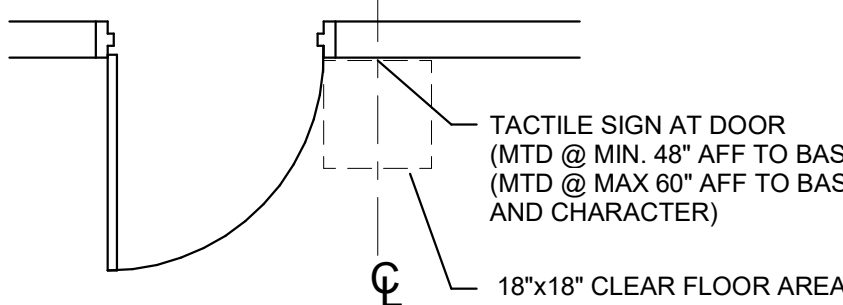
TOTAL BUILDING NSF: 44,356 SF
1ST, 2ND, 3RD FLR RESIDENTIAL = 33,156 SF
BASEMENT EDUCATIONAL = 11,200 SF

RENOVATION: REPLACEMENT OF STAIR TOWERS EXTERIOR AND INTERIOR DOORS AND FIRE ALARM UPGRADE

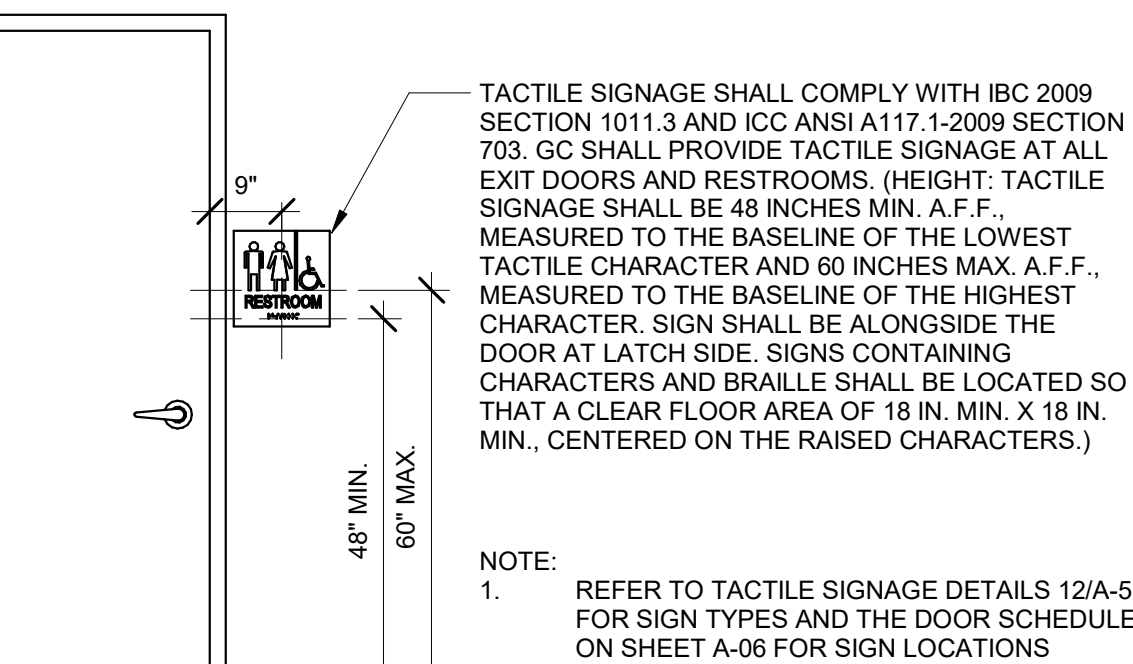
TOTAL PROJECT RENOVATION AREA: +/- 1,500 SF

TACTILE SIGNAGE LOCATION DIAGRAM

NOTE:
ALL SIGNAGE SHALL COMPLY WITH IBC 2009 AND 2009 ICC/ANSI A117.1 FOR TYPE, SIZE, AND LOCATION.



ADA TACTILE SIGN LOCATION PLAN
12" = 1'-0"



ADA TACTILE SIGN LOCATION ELEVATION
1/2" = 1'-0"

SYMBOL KEY:

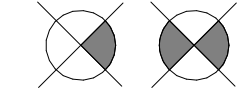
36"
MEANS OF EGRESS CAPACITY
- DOOR(S)/DOOR GROUPING/STAIRS
NUMBER OUTSIDE ARROW - TOTAL INCHES OF EGRESS WIDTH

RATED PARTITION LEGEND

EXTERIOR WALLS -
0 RATING PER TABLE 601 & 602 AND SECTION 704.8

FIRE BARRIERS (SECTION 706) -
2-HOUR RESISTANCE RATING-

1-HOUR FIRE RESISTANCE RATING-



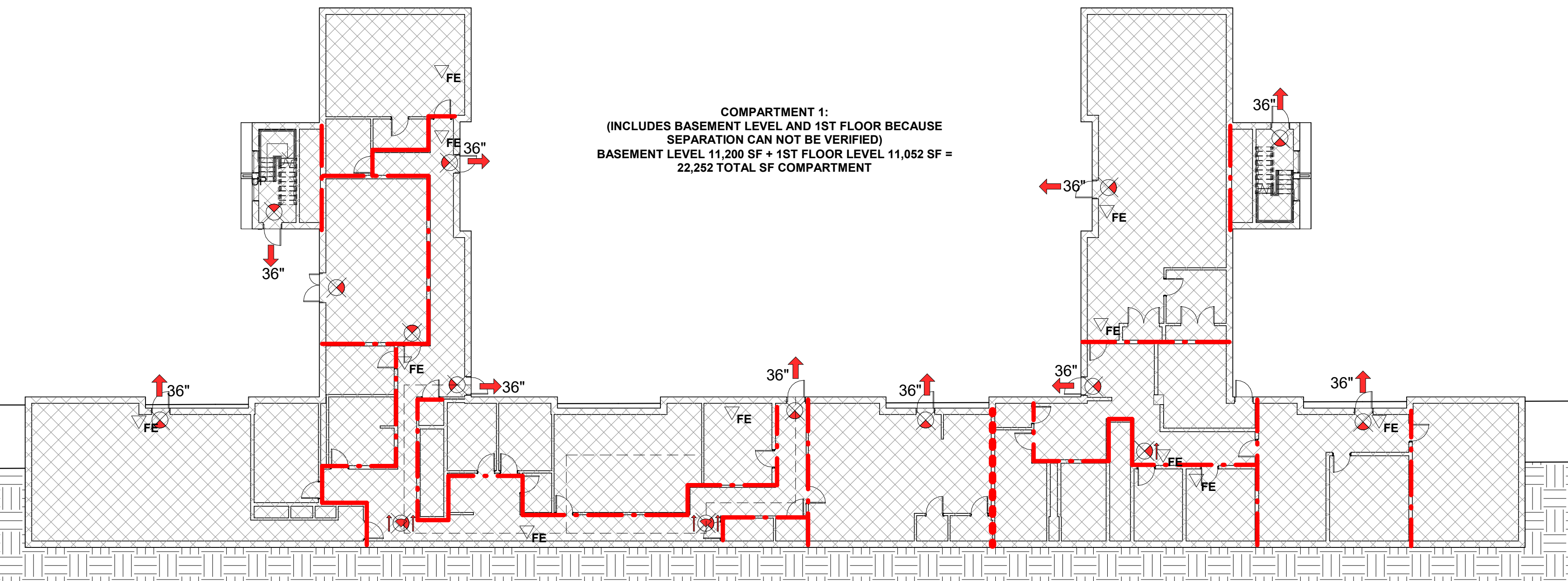
EXIT SIGNS



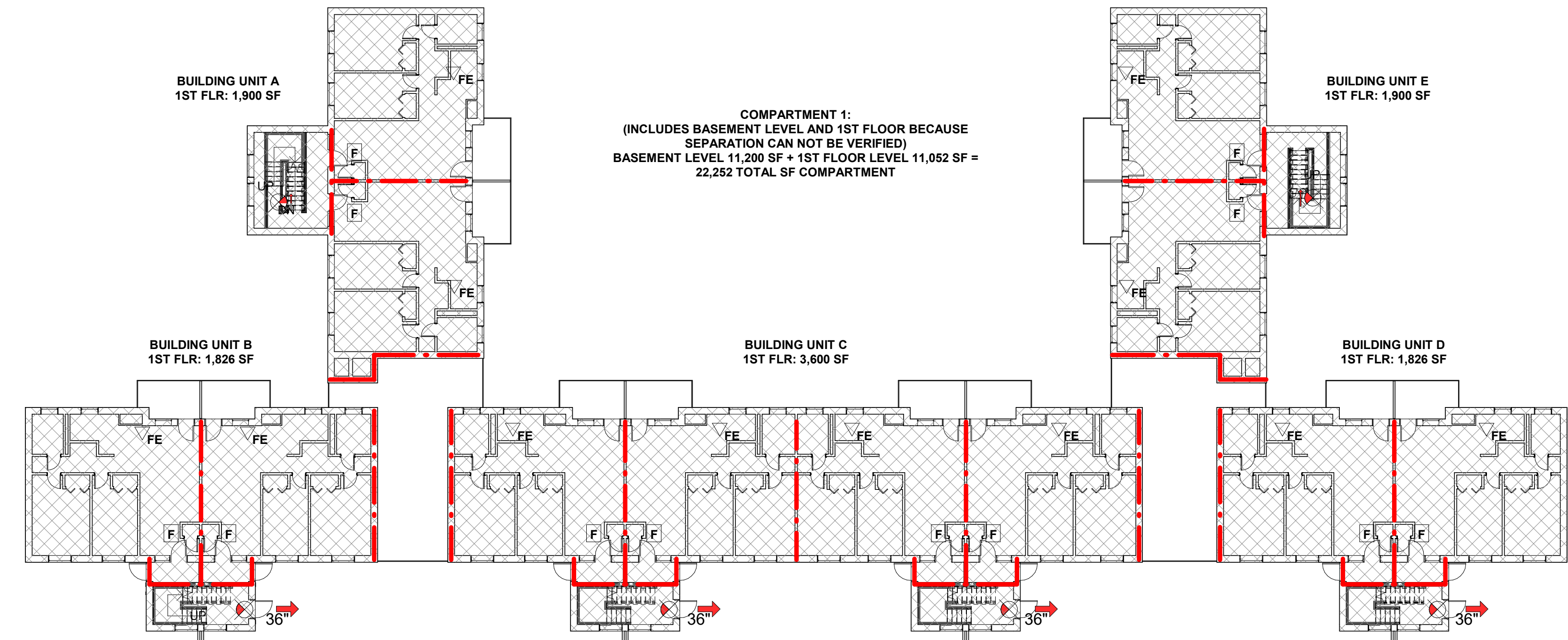
FIRE ALARM PULL STATION



FIRE EXTINGUISHER



BASEMENT CODE
1/16" = 1'-0"



1ST FLOOR LEVEL CODE
1/16" = 1'-0"

OWNER

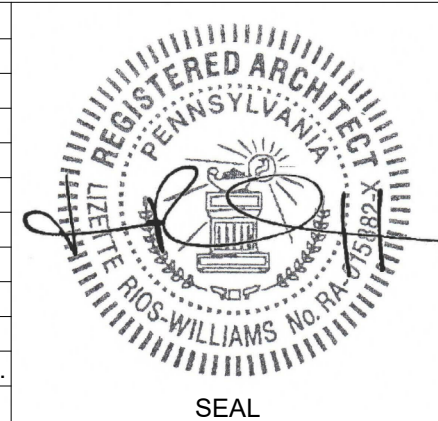
HOUSING AUTHORITY OF
THE CITY OF PITTSBURGH
DEVELOP & MODERNIZATION DEPT.
100 ROSS STREET
PITTSBURGH, PA 15219
PHONE: 412-456-5020

PROJECT TEAM

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PHONE: 724-255-7985
Contact: Lizette Rios-Williams
lizette@rioswilliamsarchitects.com

D&D ENGINEERING, INC.
35 WILSON STREET
ETNA TECHNICAL CENTER, SUITE 102
PITTSBURGH, PA 15223
PHONE: 412-784-1560

NO.	DESCRIPTION	DATE	BY
1			
2			
3			
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CONSTRUCTION DRAWINGS

NORTHVIEW HEIGHTS BUILDING #74 UPGRADES
415 Mount Pleasant Road, Pittsburgh, PA 15214

D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS

DRAWING TITLE:
BASEMENT AND FIRST FLOOR CODE SHEET

PROJECT NO.

17001

DATE

11-13-2019

SCALE

As indicated

DRAWN BY

LRW

CHECKED BY

LRW

DRAWING NUMBER:

G-02

SHEET NUMBER:

3 OF 18

DEMOLITION KEYNOTES

- 1

REMOVE EXISTING PARTITION. PATCH AND REPAIR ADJACENT SURFACES TO LIKE NEW CONDITIONS.
- 2

REMOVE EXISTING DOOR, FRAME AND HARDWARE. REPAIR AND PREP OPENING TO RECIEVE NEW. SALVAGE EXISTING MORTISE LOCKSETS AND CORES. LABEL WITH ITS ORIGINAL LOCATION FOR COORDINATION AND RETURN TO OWNER.
- 3

PATCH REPAIR EXISTING PLASTER/WALL SURFACE AS REQUIRED TO RECEIVE NEW WINDOW/DOOR AND PAINT FINISH.
- 4

REMOVE EXISTING WOOD BLOCKING AROUND EXISTING OPENING.
- 5

REMOVE EXISTING INTERCOM SYSTEM. REPAIR AND PREP TO RECIEVE NEW MASORY INFILL TO MATCH EXISTING.
- 6

REMOVE EXISTING MASONRY AS REQUIRED FOR NEW INTERCOM SYSTEM PANEL. COORDINATE NEW OPENING SIZE PER MANUFACTURER'S REQUIREMENTS.
- 7

REMOVE EXISTING DOORBELL.
- 8

REMOVE AND SALVAGE EXISTING APT SIGNAGE FOR POTENTIAL REUSE.
- 9

REMOVE EXISTING WINDOW. REPAIR, PATCH AND PREP OPENING TO RECIEVE NEW.
- 10

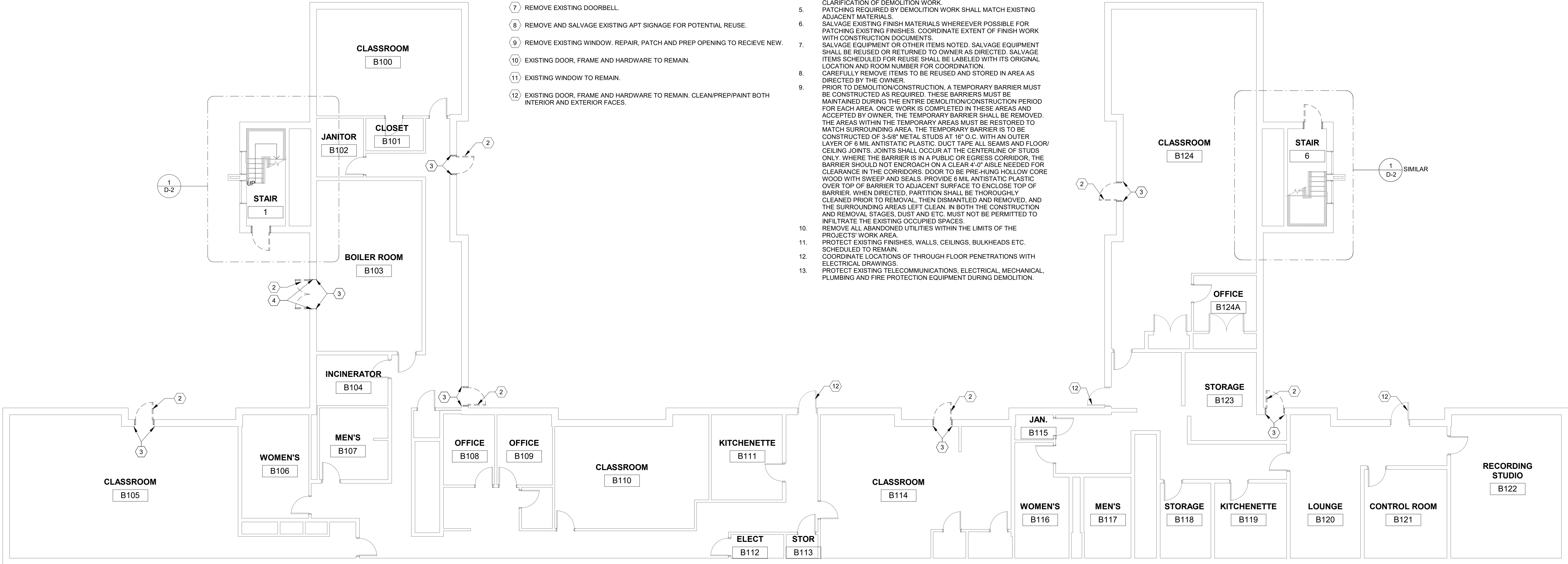
EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- 11

EXISTING WINDOW TO REMAIN.
- 12

EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. CLEAN/PREP/PAINT BOTH INTERIOR AND EXTERIOR FACES.

GENERAL DEMOLITION NOTES

1. DO NOT SCALE DRAWINGS. CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. EXISTING DIMENSIONS NOTED ON DRAWING ARE FROM OWNER PROVIDED DOCUMENTS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANY CONFLICTS OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD 'AS-BUILT' CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WITH WORK.
3. DEMOLITION DRAWINGS ARE INTENDED TO INDICATE SCOPE AND GENERAL INTENT OF THE GENERAL DEMOLITION WORK REQUIRED, BUT NOT LIMITED TO THE DEMOLITION ITEMS SHOWN. DEMOLITION WORK INCLUDES REMOVAL OF ALL ITEMS THAT WOULD INTERFERE WITH THE CONSTRUCTION AND PATCHING AS REQUIRED AT ALL DISTURBED AREAS WITHOUT LIMITATION.
4. REFER TO ELECTRICAL DRAWINGS PREPARED BY OTHERS FOR FURTHER CLARIFICATION OF DEMOLITION WORK.
5. PATCHING REQUIRED BY DEMOLITION WORK SHALL MATCH EXISTING ADJACENT MATERIALS.
6. SALVAGE EXISTING FINISH MATERIALS WHEREEVER POSSIBLE FOR PATCHING EXISTING FINISHES. COORDINATE EXTENT OF FINISH WORK WITH CONSTRUCTION DOCUMENTS.
7. SALVAGE EQUIPMENT OR OTHER ITEMS NOTED. SALVAGE EQUIPMENT SHALL BE REUSED OR RETURNED TO OWNER AS DIRECTED. SALVAGE ITEMS SCHEDULED FOR REUSE SHALL BE LABELED WITH ITS ORIGINAL LOCATION AND ROOM NUMBER FOR COORDINATION.
8. CAREFULLY REMOVE ITEMS TO BE REUSED AND STORED IN AREA AS DIRECTED BY THE OWNER.
9. PRIOR TO DEMOLITION/CONSTRUCTION, A TEMPORARY BARRIER MUST BE CONSTRUCTED AS REQUIRED. THESE BARRIERS MUST BE MAINTAINED DURING THE ENTIRE DEMOLITION/CONSTRUCTION PERIOD FOR EACH AREA. ONCE WORK IS COMPLETED IN THESE AREAS AND ACCEPTED BY OWNER, THE TEMPORARY BARRIER SHALL BE REMOVED. THE AREAS WITHIN THE TEMPORARY AREAS MUST BE RESTORED TO MATCH SURROUNDING AREA. THE TEMPORARY BARRIER IS TO BE CONSTRUCTED OF 3-5/8" METAL STUDS AT 16" O.C. WITH AN OUTER LAYER OF 6 MIL ANTISTATIC PLASTIC. DUCT TAPE ALL SEAMS AND FLOOR/CEILING JOINTS. JOINTS SHALL OCCUR AT THE CENTERLINE OF STUDS ONLY. WHERE THE BARRIER IS IN A PUBLIC OR EGRESS CORRIDOR, THE BARRIER SHOULD NOT ENCROACH ON A CLEAR 4'-0" AISLE NEEDED FOR CLEARANCE IN THE CORRIDORS. DOOR TO BE PRE-HUNG HOLLOW CORE WOOD WITH SWEEP AND SEALS. PROVIDE 6 MIL ANTISTATIC PLASTIC OVER TOP OF BARRIER TO ADJACENT SURFACE TO ENCLOSE TOP OF BARRIER. WHEN DIRECTED, PARTITION SHALL BE THOROUGHLY CLEANED PRIOR TO REMOVAL, THEN DISMANTLED AND REMOVED, AND THE SURROUNDING AREAS LEFT CLEAN. IN BOTH THE CONSTRUCTION AND REMOVAL STAGES, DUST AND ETC. MUST NOT BE PERMITTED TO INFILTRATE THE EXISTING OCCUPIED SPACES.
10. REMOVE ALL ABANDONED UTILITIES WITHIN THE LIMITS OF THE PROJECTS' WORK AREA.
11. PROTECT EXISTING FINISHES, WALLS, CEILINGS, BULKHEADS ETC. SCHEDULED TO REMAIN.
12. COORDINATE LOCATIONS OF THROUGH FLOOR PENETRATIONS WITH ELECTRICAL DRAWINGS.
13. PROTECT EXISTING TELECOMMUNICATIONS, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT DURING DEMOLITION.



1 BASEMENT DEMO
1/8" = 1'-0"

DEMOLITION PLAN LEGEND	
	DEMOLITION / REMOVE
	EXISTING TO REMAIN

OWNER		PROJECT TEAM		<div><div>10</div><div>9</div><div>8</div><div>7</div><div>6</div><div>5</div><div>4</div><div>3</div><div>2</div><div>1</div></div> <div>BY DATE DESCRIPTION NO.</div> <div>REVISIONS</div>	<div><div>REGISTERED ARCHITECT</div><div>PENNSYLVANIA</div><div>SEAL</div></div>	NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 415 Mount Pleasant Road, Pittsburgh, PA 15214		PROJECT NO. 17001	DRAWING NUMBER: <div>D-1</div>
HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT. 100 ROSS STREET PITTSBURGH, PA 15219 PHONE: 412-456-5020		RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985 Contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com						D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS	DATE 11-13-2019
						DRAWING TITLE: BASEMENT DEMOLITION PLAN		SCALE As indicated	SHEET NUMBER: 5 OF 18
								DRAWN BY LRW	
						CHECKED BY LRW			





 DEMOLITION / REMOVE
 EXISTING TO REMAIN

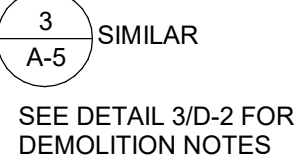
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- 3 PATCH REPAIR EXISTING PLASTER/WALL SURFACE AS REQUIRED TO RECEIVE NEW WINDOW/DOOR AND PAINT FINISH.
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- 5 REMOVE EXISTING INTERCOM SYSTEM. REPAIR AND PREP TO RECEIVE NEW MASONRY INFILL TO MATCH EXISTING.
- 6 REMOVE EXISTING MASONRY AS REQUIRED FOR NEW INTERCOM SYSTEM PANEL. COORDINATE NEW OPENING SIZE PER MANUFACTURER'S REQUIREMENTS.
- 7 REMOVE EXISTING DOORBELL.
- 8 REMOVE AND SALVAGE EXISTING APT SIGNAGE FOR POTENTIAL REUSE.
- 9 REMOVE EXISTING WINDOW. REPAIR, PATCH AND PREP OPENING TO RECEIVE NEW.
- 10 EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- 11 EXISTING WINDOW TO REMAIN.
- 12 EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. CLEAN/PREP/PAINT BOTH INTERIOR AND EXTERIOR FACES.

1. DO NOT SCALE DRAWINGS. CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. EXISTING DIMENSIONS NOTED ON DRAWING ARE FROM OWNER PROVIDED DOCUMENTS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANY CONFLICTS OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD "AS-BUILT" CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WORK.
3. DEMOLITION DRAWINGS ARE INTENDED TO INDICATE SCOPE AND GENERAL INTENT OF THE GENERAL DEMOLITION WORK REQUIRED, BUT NOT LIMITED TO THE DEMOLITION ITEMS SHOWN. DEMOLITION WORK INCLUDES REMOVAL OF ALL ITEMS THAT WOULD INTERFERE WITH THE CONSTRUCTION AND PATCHING AS REQUIRED AT ALL DISTURBED AREAS WITH MINOR LIMITATION.
4. REFER TO ELECTRICAL DRAWINGS PREPARED BY OTHERS FOR FURTHER CLARIFICATION OF DEMOLITION WORK.
5. PATCHING REQUIRED BY DEMOLITION WORK SHALL MATCH EXISTING ADJACENT MATERIALS.
6. SALVAGE EXISTING FINISH MATERIALS WHEREVER POSSIBLE FOR PATCHING EXISTING FINISHES. COORDINATE EXTENT OF FINISH WORK WITH CONSTRUCTION DOCUMENTS.
7. SALVAGE EQUIPMENT OR OTHER ITEMS NOTED. SALVAGE EQUIPMENT SHALL BE REUSED OR RETURNED TO OWNER AS DIRECTED. SALVAGE ITEMS SCHEDULED FOR REUSE SHALL BE LABELED WITH ITS ORIGINAL LOCATION AND ROOM NUMBER FOR CORRELATION.
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10. REMOVE ALL ABANDONED UTILITIES WITHIN THE LIMITS OF THE PROJECTS' WORK AREA.
11. PROTECT EXISTING FINISHES, WALLS, CEILINGS, BULKHEADS ETC. SCHEDULED TO REMAIN.
12. COORDINATE LOCATION OF THROUGH FLOOR PENETRATIONS WITH ELECTRICAL DRAWINGS.
13. PROTECT EXISTING TELECOMMUNICATIONS, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT DURING DEMOLITION.

DRAWING TITLE:

TYPICAL ENLARGED DEMOLITION PLANS

OWNER		PROJECT TEAM				NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 415 Mount Pleasant Road, Pittsburgh, PA 15214		PROJECT NO. 17001		DRAWING NUMBER:	
HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT. 100 ROSS STREET PITTSBURGH, PA 15219 PHONE: 412-456-5020		RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985 Contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com		D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560		 D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS		DATE 11-13-2019		<div style="font-size: 48pt; font-weight: bold;">D-2</div>	
						SCALE As indicated					
						DRAWN BY LRW					
								CHECKED BY LRW		SHEET NUMBER: 6 OF 18	



GENERAL NOTES

1. EXISTING CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED. IF DISCREPANCIES OCCUR, REPORT SUCH DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR DECISIONS PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
2. ALL MATERIALS SHALL BE NEW UNLESS DESIGNATED SALVAGE FOR REUSE.
3. ANY DAMAGE CAUSED BY SELECTIVE DEMOLITION THAT AFFECTS AREAS OUTSIDE OF THE WORK AREA SHALL BE REPAIRED PRIOR TO START OF NEW CONSTRUCTION.
4. GC RESPONSIBLE FOR THE PATCH, REPAIR OR REPLACEMENT OF ANY WALL DISMANTLING FOR ACCESS OF ANY MEP SYSTEMS RELATED TO THIS PROJECT WITHIN OR OUTSIDE OF THE WORK AREA.
5. GC RESPONSIBLE TO SEAL GAPS OF ALL WALL AND FLOOR PENETRATIONS PER REQUIRED RATING.
6. GC TO PROVIDE BLOCKING FOR ALL WALL SUPPORTED ITEMS.
7. ALL EXISTING MASONRY DOOR JAMBS SCHEDULED TO RECEIVE NEW DOOR/FRAME SHALL BE PAINTED TO MATCH EXISTING WALL COLOR.
8. NEW WALL BASE TO MATCH EXISTING SHALL BE PROVIDED IF DAMAGED DURING REMOVAL/INSTALLATION OF NEW DOOR/FRAME. REPLACE FULL LENGTH TO AN EXISTING SEAM.

THE PROPOSED PHASING LISTED BELOW IS INTENDED TO REDUCE THE CONSTRUCTION INTERRUPTION OF THE OCCUPANTS. CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF THE CONSTRUCTION AND SHALL ASSESS THE FEASIBILITY OF THE SUGGESTED OUTLINE BELOW. CONTRACTOR MAY OFFER OTHER SEQUENCING RECOMMENDATIONS TO BE CONSIDERED BY THE OWNER AND ARCHITECT.

ALL MATERIALS SHALL BE ON HAND PRIOR TO COMMENCEMENT OF WORK. EACH DOOR OPENING SHALL BE REMOVAL AND REINSTALLED WITHIN 8-HOUR WORK DAY.

1. RESIDENTIAL PHASE

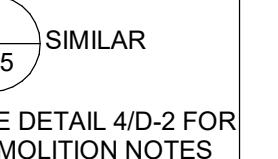
A. PHASE 1: COMPLETE THE REMOVAL AND INSTALLATION OF ALL EXTERIOR STAIR TOWER DOORS.

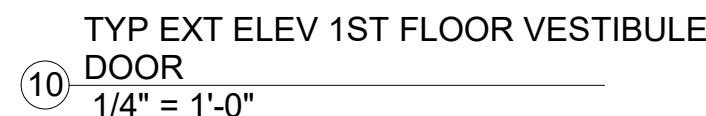
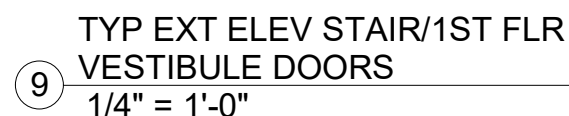
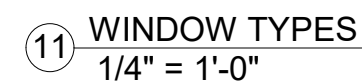
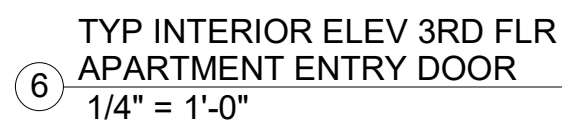
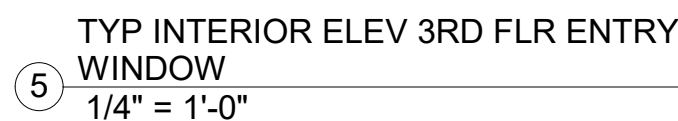
B. PHASE 2: COMPLETE THE REMOVAL AND INSTALLATION OF THE APARTMENT ENTRY DOORS ONE STAIR TOWER AT A TIME AND ONE FLOOR LEVEL AT A TIME.

2. BASEMENT PHASE

A. PHASE 3: BASEMENT SCOPE OF WORK

SHEET NUMBER:
9 OF 18





CONSTRUCTION DRAWINGS

SEAL

 **D&D ENGINEERING, INC.** CONSULTING ELECTRICAL ENGINEERS

DRAWING TITLE:

**ENLARGED TYPICAL NEW WORK PLANS, ELEVATIONS, DETAILS AND
FINISH SCHEDULE**

PROJECT NO. 17001	DRAWING NUMBER: A-5
DATE 11-13-2019	
SCALE As indicated	
DRAWN BY LRW	
CHECKED BY LRW	SHEET NUMBER: 11 OF 18

DOOR SCHEDULE																					
Mark	DOOR									FRAME					Fire Rating	Hardware Set	Head Detail	Jamb Detail	SIGNAGE TYPE	Notes	
	Width	Double Door Sizes		Height	Thickness	Type	Material	Finish	Glass	Frame Type	Frame Finish	Frame Material	Frame Depth	Glazing							
		Large Leaf	Small Leaf																		
74A	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PNT	--	A	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1 & ST4		
74B	5' - 0"	3' - 0"	2' - 0"	6' - 8"	0' - 1 3/4"	F_DB	HM	PTD	--	A	PNT 2	HM	0' - 6"		-	5	H1	J1	ST1	NOTE 5	
74C	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	A	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1		
74D	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	A	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1		
74E	3' - 0"			6' - 8"	0' - 1 3/4"	F	EXIST	PTD	--	EXIST	PNT 2	EXIST	0' - 0"		-	6	-	-	ST1	NOTE 2 AND 3	
74F	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	A	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1	NOTE 4	
74G	3' - 0"			6' - 8"	0' - 1 3/4"	F	EXIST	PTD	--	EXIST	PNT 2	EXIST	0' - 0"		-	6	-	-	ST1	NOTE 2 AND 3	
74H	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	A	PNT 2	HM	0' - 6"		-	3	H1	J1	ST1	NOTE 4	
74I	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	A	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1		
74J	3' - 0"			6' - 8"	0' - 1 3/4"	F	EXIST	PTD	--	EXIST	PNT 2	EXIST	0' - 0"		-	6	-	-	ST3 & ST5 & ST6	NOTE 2 AND 3	
872	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
873	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
874	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
875	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
876	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
877	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
878E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
879E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
880	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
881	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
882	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
883	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
884E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
885E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
886	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
887	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
888	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
889	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
890E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
891E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
892	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
893	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
894	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
895	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
896E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
897E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD	--	B	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6	
898	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
899	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
900	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
901	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
902	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
903	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
904	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
905	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD	--	C	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1		
906	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
907	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1	
S1	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	B	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7	
S2	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	B	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7	
S3	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	B	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7	
S4	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	B	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7	
S5	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	B	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7	
S6	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	B	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7	

GENERAL DOOR SCHEDULE AND HARDWARE SET NOTES:

- FIELD VERIFY ALL DIMENSIONS OF EXISTING WALL OPENINGS SCHEDULED TO RECIEVE NEW DOOR FRAMES AND DOORS.
- COORDINATE DOOR / FRAME PREP AND INSTALLATION WITH ELECTRICAL DEVICES AND ELECTRICAL CONTRACTOR. REFER TO ELECTRCIAL DRAWINGS FOR SPECIFICATIONS AND DETAILS.
- PROVIDE UL LISTED FIRE RATED HARDWARE AND GLAZING FOR ALL FIRE RATED DOORS.
- PROVIDE SIKAFLEX POLYURETHANE SEALANT AROUND THE INSIDE AND OUTSIDE PERIMETER OF ALL HM DOOR/WINDOW FRAMES.

HARDWARE SETS

SET #1: SINGLE TENANT ENTRY DOOR

1-1/2 PAIR BUTT HINGES
1 MORTISE ENTRY LOCKSET
1 CORE
1 CLOSURE
1 THRESHOLD
1 SWEEP
1 GASKETING
1 DOOR VIEWER

SET #2: SINGLE EXTERIOR ENTRY DOOR

1 CONTINOUS HINGE
1 EXIT DEVICE
1 CORE
1 ADA ANTI-VANDAL PULL
1 CLOSURE
1 KICKPLATE
1 THRESHOLD
1 SWEEP
1 GASKETING

SET #3: SINGLE EXTERIOR ENTRY DOOR

1 CONTINOUS HINGE
1 EXIT DEVICE
1 CORE
1 ADA ANTI-VANDAL PULL
1 CLOSURE
1 KICKPLATE
1 THRESHOLD
1 SWEEP
1 GASKETING
1 DOOR VIEWER

SET #4: SINGLE EXTERIOR ENTRY STAIR/VESTIBULE DOOR

1 CONTINOUS HINGE
1 EXIT DEVICE
1 CORE
1 ELECTRIC STRIKE
1 ADA ANTI-VANDAL PULL
1 CLOSURE
1 KICKPLATE
1 THRESHOLD
1 SWEEP
1 GASKETING
1 DOOR VIEWER

1 INTERCOM SYSTEM BY ELECTRICAL CONTRACTOR

SET #5: DOUBLE EXTERIOR DOOR

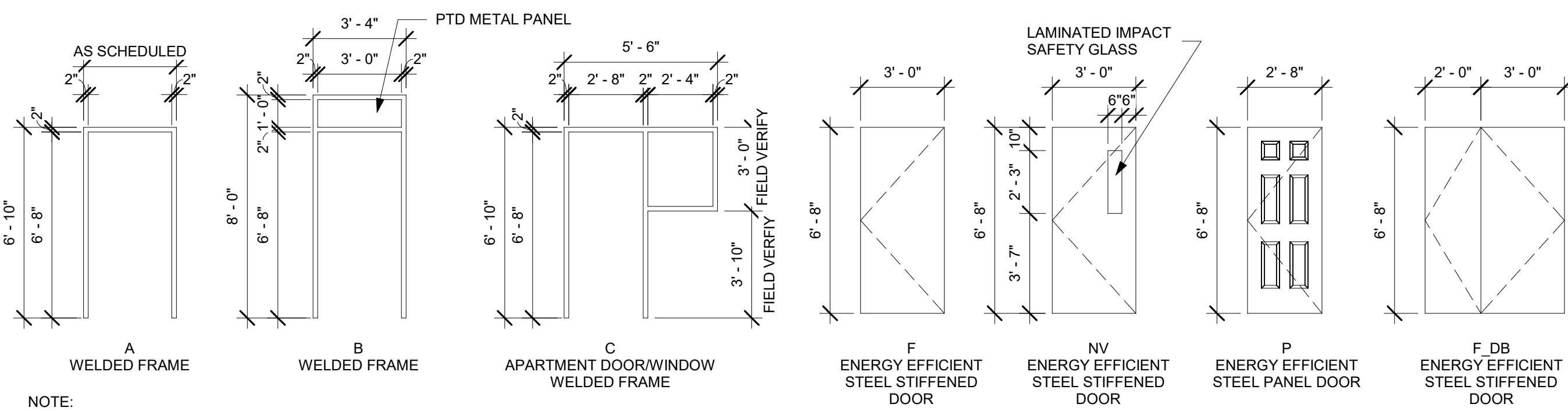
2 CONTINOUS HINGES
1 EXIT DEVICE
1 CORE
1 ADA ANTI-VANDAL PULL
2 CLOSURES
2 KICKPLATE
1 THRESHOLD
2 SWEEPS
1 ASTRAGAL
1 GASKETING
2 FLUSH BOLTS
1 DUST PROOF STRIKE

SET #6: EXISTING DOORS TO REMAIN

1 PUSH PLATE

DOOR SCHEDULE NOTES:

- FIELD VERIFY EXISTING 3RD FLOOR PARTITION WIDTH TO DETERMINE REQUIRED FRAME JAMB DEPTH
- EXISTING HM DOOR/FRAME AND HARDWARE TO REMAIN.
- CLEAN/PREP/PAINT EXISTING DOOR AND FRAME ON BOTH INTERIOR AND EXTERIOR FACES, AND STEEL LINTELS.
- REINSTALL EXISTING DOOR ALARM CONTACT PER MANUFACTURER'S RECOMMENDATION
- HOLLOW METAL FRAME SIZE SHALL BE CUSTOM ORDERED TO FIT EXISTING MASONRY OPENING WITHOUT THE USE OF WOOD BLOCKING AS CURRENTLY INSTALLED. FIELD VERIFY EXISTING OPENING.
- PREP DOOR AND FRAME AS REQUIRED TO RECIEVE ELECTRIC STRIKE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PREP DOOR AND FRAME AS REQUIRED TO RECIEVE KEY FOB ENTRY SYSTEM. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.



GENERAL NOTES:

1. ALL WORK EXECUTED AND MATERIALS USED SHALL BE IN STRICT CONFORMANCE TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:
- A. NATIONAL ELECTRICAL CODE
 - B. NATIONAL BUREAU OF STANDARDS HANDBOOK H-30
 - C. STATE CODES, LOCAL CODES, AND ALL OTHER JURISDICTIONS HAVING AUTHORITY
 - D. UNDERWRITER'S LABORATORIES, INC.
 - E. AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
 - F. INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS
 - G. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
 - H. NATIONAL BOARD OF FIRE UNDERWRITERS
 - I. INSULATED POWER CABLE ENGINEERS ASSOCIATED SPECIFICATIONS
 - J. AMERICAN SOCIETY FOR TESTING MATERIALS AND SPECIFICATIONS
 - K. FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AS CONTAINED IN THE FEDERAL REGISTER VOLUME 36, NUMBER 105, DATED MAY 29, 1971 OR THE LATEST REVISION THEREOF.
- IF THE ELECTRICAL CONTRACTOR PERFORMS ANY WORK CONTRARY TO ANY OF THE ABOVE CODES AND REGULATIONS, THE CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR SUCH VIOLATIONS, AND SHALL ASSUME ANY AND ALL COSTS ASSOCIATED IN CORRECTING THE VIOLATIONS.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO LEARN OF ALL EXISTING CONDITIONS, WHICH IN ANY WAY WILL AFFECT THE EXECUTION OF THIS WORK AND THE REQUIREMENTS OF THIS CONTRACT AS SHOWN OR REASONABLY INFERRED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
3. ELECTRICAL CONTRACTOR SHALL DOCUMENT ANY REQUEST OR DEVIATION FROM THE CONTRACT DOCUMENTS ON ANY ITEM THAT MAY HAVE BEEN DISCUSSED IN THE FIELD, OR DIRECTED BY OTHERS, REGARDING MATERIALS OR INSTALLATION METHODS.
4. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK (AS DESCRIBED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS) WITH ALL OTHER TRADES AND SUBCONTRACTORS ON THE PROJECT. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROVIDING COMPLETE DRAWINGS AND SPECIFICATIONS TO GENERAL TRADES TO ENSURE COORDINATION WITH ALL TRADES AND CONSTRUCTION INSPECTORS.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY WIRING AS NECESSARY, TO ENSURE THAT NO DISRUPTION IN SERVICE OCCURS. TEMPORARY WIRING SHALL BE OF SIMILAR TYPE AND INSULATION WITH EXISTING WIRING.
6. PROVIDE TYPE OF CONDUIT FOR THE FOLLOWING:
- A. BUILDING EXTERIOR - RGS
 - B. BUILDING INTERIOR - EMT
7. ANY CUTTING, ROUGH AND FINISHED PATCHING, AS WELL AS ALL PAINTING FOR ALL WORK IS TO BE PERFORMED BY THE ELECTRICAL CONTRACTOR.
8. LINKSEAL ALL CONDUIT PENETRATIONS OF EXTERIOR WALLS ABOVE AND BELOW GRADE.
9. ALL MATERIALS SHALL BEAR THE LABEL OF UNDERWRITER'S LABORATORIES AND MEET THE CURRENT U.L. STANDARD FOR THAT TYPE OF MATERIAL.
10. ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, AND INSPECTIONS, INCLUDING BUT NOT LIMITED TO, THE CERTIFICATE OF FINAL INSPECTION AND APPROVAL FROM THE LOCAL INSPECTION AUTHORITIES. FEES SHALL BE INCLUSIVE FOR ALL WORK TO BE PERFORMED WHETHER ONE OR MORE THAN ONE PERMIT/LICENSE IS REQUIRED.
11. ALL DEVICES LOCATED IN COMMON AREAS OR UFAS UNITS MUST BE INSTALLED AT UFAS COMPLIANT MOUNTING HEIGHTS.
12. ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION. CONDUCTORS (#10 AND SMALLER) SHALL BE SOLID. CONDUCTORS (#8 AND LARGER) SHALL BE STRANDED. THE MINIMUM CONDUCTOR SIZE FOR POWER CONDUCTORS SHALL BE #12.
13. ALL GROUND CONDUCTORS SHALL BE FULLY INSULATED WITH GREEN INSULATION.
14. THE WIRING METHODS FOR THIS PROJECT SHALL BE WIRE IN CONDUIT IN EXPOSED AREAS AND TYPE "MC" CABLE IN CONCEALED AREAS. THE CONDUIT SHALL BE ELECTRIC METALLIC TUBING (EMT) AND THE MINIMUM SIZE SHALL BE 3/4". CONDUIT PLACED BELOW GRADE AND/OR CONCRETE ENCASED SHALL BE SCHEDULE 40 PVC AND A MINIMUM SIZE SHALL BE 1". WIRING SHALL BE INSTALLED CONCEALED WHEREVER POSSIBLE. ALL EXPOSED WIRING CONDITIONS SHALL BE INSTALLED IN CONDUIT IN UNFINISHED SPACES, STEEL SURFACE METAL RACEWAY WIREMOLD TYPE V700 IN INTERIOR FINISHED SPACES, AND RGS IN EXTERIOR FINISHED SPACES (UNLESS NOTED OTHERWISE) AND MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.

15. ELECTRICAL CONTRACTOR SHALL PROVIDE ADEQUATELY SIZED WIREWAYS, JUNCTION BOXES, AND OUTLET BOXES FOR RESPECTIVE APPLICATIONS. THESE ITEMS SHALL BE SIZED IN ACCORDANCE WITH THE LATEST EDITION OF THE 2008 NATIONAL ELECTRICAL CODE AND BE READILY ACCESSIBLE. THESE ITEMS SHALL BE OF GALVANIZED STEEL CONSTRUCTION UNLESS SPECIFIED OTHERWISE.
16. CONDUCTORS, EQUIPMENT AND/OR DEVICES OF DIFFERENT VOLTAGES SHALL NOT BE INSTALLED IN THE SAME OUTLET OR JUNCTION BOX. EACH CIRCUIT SHALL HAVE ITS OWN NEUTRAL CONDUCTOR. DO NOT SHARE NEUTRALS. COVER PLATES SHALL BE PROVIDED ON ALL BLANK OUTLET BOXES FOR FUTURE USE. PROVIDE ADDITIONAL INSULATION BEHIND EACH JUNCTION OR OUTLET BOX LOCATED ON EXTERIOR WALLS.
17. LOCATION OF ITEMS AND DIMENSIONS SHOWN ON DRAWINGS ARE APPROXIMATE. MOUNTING HEIGHTS OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE COORDINATED WITH THE EQUIPMENT REQUIREMENTS, FIELD CONDITIONS AND APPROVED BY THE OWNER/ENGINEER.
18. EXACT LOCATIONS OF ELECTRICAL DEVICES AND EQUIPMENT SHALL BE VERIFIED.
19. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.
20. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OR INSTRUCTIONS FOR CONSTRUCTION SAFETY. THE ELECTRICAL ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY WORKER'S OR TRANSIENTS SAFETY, OR FOR THE ADEQUACY OF EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDS, FORMS, OR OTHER WORK AID, OR ANY NECESSITY TO WORK ON "LIVE" ELECTRICAL COMPONENTS. FURTHER, NO SUPERINTENDENCE IS INCLUDED OR INTENDED.
21. THE ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO PROTECT ALL OPEN EXCAVATIONS DURING ANY DEMOLITION AND/OR CONSTRUCTION.
22. DEVIATION FROM MANUFACTURER'S NAMES, CATALOG/MODEL/PARTS NUMBERS SHOWN ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS SHALL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND/OR ENGINEER.
23. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND/OR PATCHING REQUIRED BY ELECTRICAL WORK RESULTING FROM THE FAILURE TO INSTALL EMBEDDED OR BUILT-IN ITEMS AS AND WHEN REQUIRED.
24. ELECTRICAL CONTRACTOR SHALL VERIFY THAT THE WORK IS FEASIBLE AS SHOWN ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION OF ELECTRICAL ITEMS IN RELATION TO ARCHITECTURAL AND STRUCTURAL ITEMS AS REQUIRED. ELECTRICAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

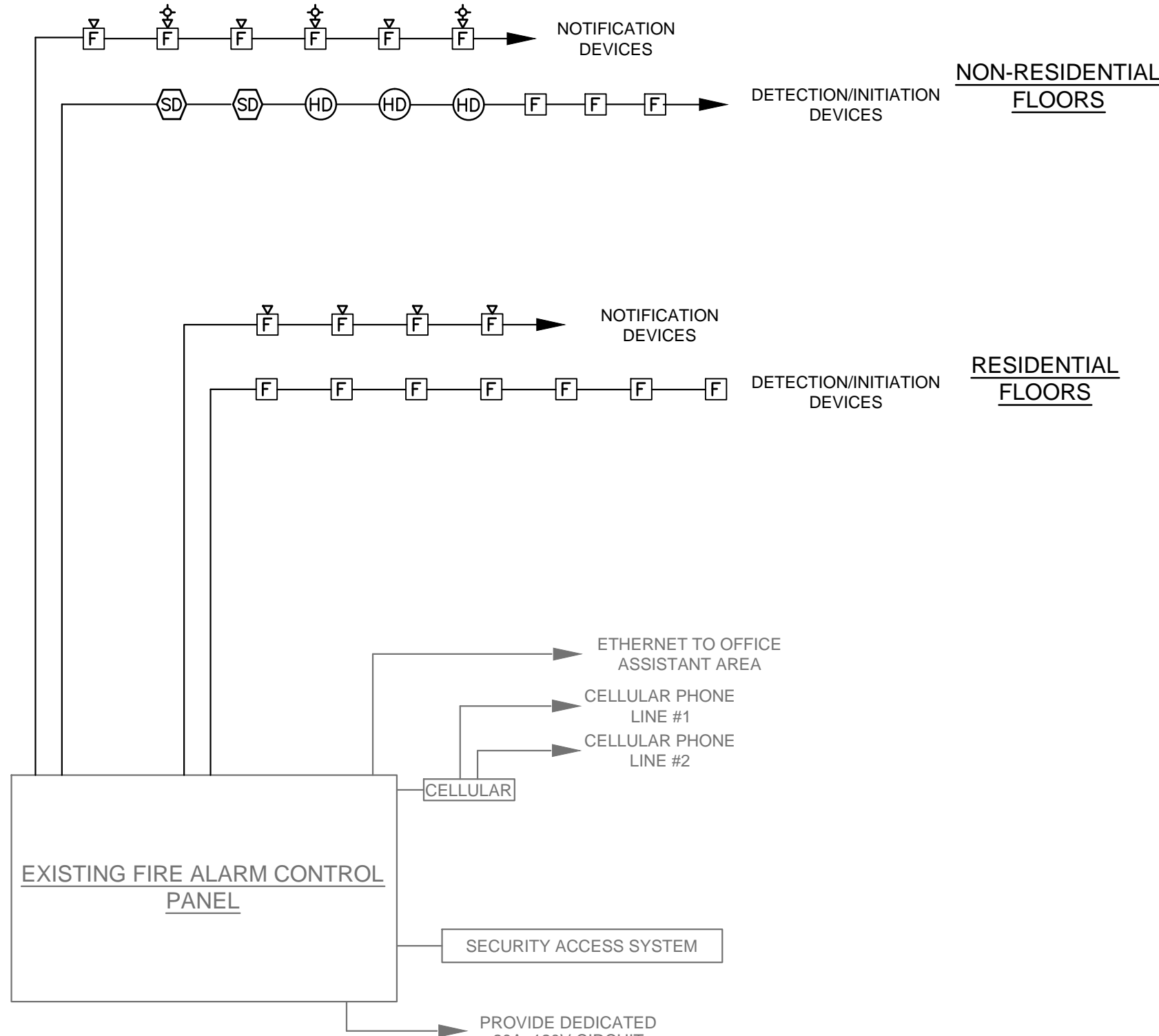
25. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF A WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 203 - WORK ZONE TRAFFIC CONTROL FOR WORK IN ALL AREAS IN OR ADJACENT TO VEHICULAR TRAFFIC AREAS.
26. ELECTRICAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL JUNCTION BOXES AND/OR HANDHOLES, NOT SHOWN ON THE PLANS, BUT REQUIRED TO COMPLETE CONSTRUCTION. THESE ITEMS SHALL BE IN STRICT CONFORMANCE TO THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. LOCATIONS OF ADDITIONAL HANDHOLES SHALL REQUIRE APPROVAL BY THE ENGINEER BEFORE INSTALLATION. ELECTRICAL CONTRACTOR MAY BE REQUIRED TO REMOVE OR RELOCATE ANY INSTALLATION OF ADDITIONAL HANDHOLES THAT ARE NOT APPROVED, AND AT NO ADDITIONAL COST TO THE OWNER.
27. EXISTING WIRING TO REMAIN CONTINUOUSLY OPERATIONAL DURING ALL CONSTRUCTION. TEMPORARY WIRING SHALL BE INSTALLED AS NEEDED. ALL CABLE SHALL BE OF SIMILAR TYPE AND INSULATION.
28. POWER AND CONTROL CABLES ARE TO BE SEPARATED AT ALL TIMES. SOME JUNCTIN BOXES MAY REQUIRE A MECHANICAL BARRIER TO MAINTAIN SEPARATION OF POWER FROM CONTROL.
29. ALL WORK ON THE FIRE ALARM SYSTEM TO BE COMPLETED DAILY AND THE FIRE ALARM SYSTEM RETURNED TO SERVICE AT THE END OF EACH WORK DAY. IF FIRE ALARM SYSTEM CANNOT BE RETURNED TO SERVICE AT THE END OF EACH WORK DAY, E.C. SHALL PROVIDE PERSONNEL TO PERFORM FIRE WATCH DUTIES UNTIL THE START OF THE NEXT WORK DAY PER SPECIFICATION SECTION 16720.
30. CONNECT ALL UNIT SMOKE DETECTORS WITHIN EACH RESPECTIVE UNIT TO A 20-A CIRCUIT SERVING WALL OUTLETS. UNIT SMOKE DETECTORS SHALL NOT BE TIED INTO THE FIRE ALARM SYSTEM.

ABBREVIATIONS

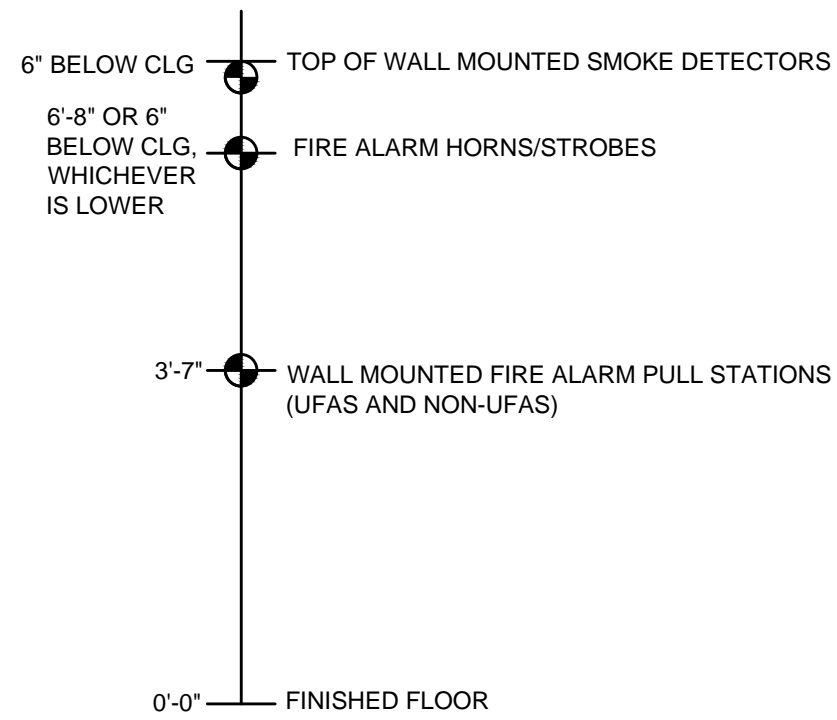
A	AMPERES
A/C	AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR
C	CONDUIT
CB	CIRCUIT BREAKER
CKT	CIRCUIT
E	EMERGENCY
EC	ELECTRICAL CONTRACTOR
ER	EXISTING TO BE REMOVED AND RELOCATED
FH	FIRE HOSE
FU	FUSE(S)
G OR GND	GROUND
GFI	GROUND FAULT INTERRUPTING
HP	HORSEPOWER
L	LAMP
MCB	MAIN CIRCUIT BREAKER
MLO	MAIN LUG ONLY
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRIC CODE
NE	NORMAL/EMERGENCY
NF	NON FUSED
NO	NORMALLY OPEN
P	PUMP OR POLE
PNL	PANEL
PP	POWER PANEL
RE	REMOVED AND RELOCATED EQUIPMENT
SM	IN NEW LOCATION
SW	SURFACE MOUNT
V	SWITCH
W	VOLTS
W	WATTS OR WIRE
WI	WITH
WG	WIRE GUARD
WP	WEATHERPROOF

ELECTRICAL

①	JUNCTION BOX
▨	DISTRIBUTION PANELBOARD
—○	CONDUIT ELLED UP
—⊗	CONDUIT ELLED DOWN
⤿	HOMERUN TO PANEL
—●—	GROUNDING WIRE
□—●—■	GROUNDING CONNECTION
▢ PB	PULL BOX
—	EXISTING FACILITIES/EQUIPMENT
—	NEW FACILITIES/EQUIPMENT
▨	EQUIPMENT DEMOLITION
◇	DEMOLITION KEYED NOTE
⬆	NEW WORK KEYED NOTE
#	"# " INDICATES PHOTO NUMBER ON DRAWING.
↖	ARROW INDICATES DIRECTION OF VIEW.
EM/EX	EXIST /EMERGENCY FIXTURE; LTHONIA; LHQM LED R



1 FIRE ALARM RISER DIAGRAM
N.T.S.



2 DETAIL - MOUNTING HEIGHT SCHEDULE
N.T.S.

CONSTRUCTION DOCUMENTS

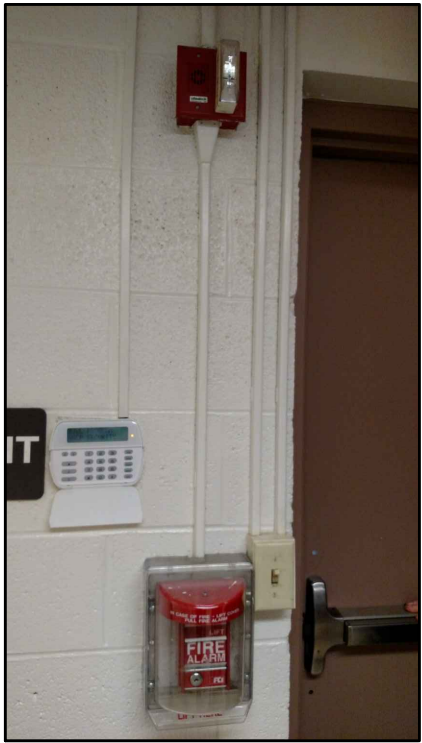
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FIRE ALARM DEVICE LEGEND

SD	ADDRESSABLE SMOKE DETECTOR
DD	DUCT DETECTOR
HD	ADDRESSABLE HEAT DETECTOR
IAM	INDIVIDUAL ADDRESSABLE MODULE
RIAM	INDIVIDUAL ADDRESSABLE MODULE RELAY
F	PULL STATION
F	MULTI CANDELA WALL MOUNTED HORN/STROBE ONLY UNIT
F	CEILING MOUNTED HORN/STROBE ONLY
F	WEATHER PROOF WALL MOUNTED HORN/STROBE
FACP	FIRE ALARM CONTROL PANEL

DOOR ACCESS SYSTEM

M	TENANT ENTRANCE STATION
V	TENANT VIDEO MONITOR



BASEMENT FLOOR - EXISTING SECURITY SYSTEM ITEMS TO REMAIN PICTURE#1

- GENERAL NOTES:
- BASEMENT FLOOR HAS EXISTING DOOR SECURITY/MONITORING SYSTEM. AS OLD DOORS ARE REMOVED AND NEW DOORS INSTALLED AS INDICATED ON DOOR SCHEDULE, DRAWING A-6, EXISTING DEVICES SHALL BE REMOVED/RETAINED TO BE RECONNECTED TO NEW DOORS/FRAMES AS REQUIRED TO PROVIDE SECURITY TO BUILDING ENTRY. ALL WORK ASSOCIATED WITH THIS SHALL BE PROVIDED. SEE PICTURE#1 ON THIS DRAWING
 - CIRCUITING FOR NEW EMERGENCY/EXIT FIXTURES SHALL BE FROM EXISTING LIGHTING CIRCUIT, BUT A HEAD OF ANY SWITCHING.

- DEMOLITION GENERAL NOTES:
- SEE SPECIFICATION SECTION 02050 FOR DESCRIPTION OF DEMOLITION.
- DEMOLITION KEYED NOTES:
- REMOVE EXISTING FIRE ALARM CONTROL PANEL AND REPLACE WITH NEW FIRE ALARM CONTROL PANEL. SEE RISER DIAGRAM ON DRAWING E001
 - REMOVE EXISTING FIRE ALARM NOTIFICATION AND INITIATION DEVICES. REMOVE EXISTING DEVICE BACK BOX.
 - REMOVE EXISTING FIRE DETECTION DEVICE IN THIS LOCATION.
 - ALL REMOVED DEVICES, AND FACP'S SHALL BECOME THE PROPERTY OF THE OWNER UNTIL IDENTIFIED OTHERWISE.
 - REMOVE BUZZER AT COMMON DOOR ENTRY. LEAVE CONDUIT OR WIRING PATH FROM COMMON DOOR ENTRY TO EACH UNIT. SEE PICTURE ON DRAWING E104.

- NEW KEYED NOTES:
- PROVIDE NEW FIRE ALARM CONTROL PANEL. FIELD VERIFY QUANTITY AND LOCATION OF ALL INITIATION, DETECTION AND NOTIFICATION DEVICES. SEE SPECIFICATION SECTION 16720.
 - PROVIDE NEW FIRE ALARM NOTIFICATION AND INITIATION DEVICES IN EXISTING DEVICES LOCATION. PROVIDE NEW DEVICE BACK BOXES.
 - PROVIDE NEW FIRE DETECTION DEVICE IN EXISTING DEVICE LOCATION.
 - PROVIDE NEW FIRE DETECTION DEVICE OR FIRE ALARM NOTIFICATION AND INITIATION DEVICE IN THIS LOCATION.
 - NEW TENANT ENTRANCE STATION TO BE LOCATED IN THE SAME LOCATION AS EXISTING BUZZER LOCATION, SOME MODIFICATION TO MASONRY WILL BE REQUIRED.
 - COORDINATE ELECTRICAL WORK FOR NEW DOOR ENTRY. SEE DOORS SCHEDULE ON DRAWING A-6 FOR DOORS, AND HARDWARE SET INFORMATION. SEE SPECIFICATION 16701 AND 16702 FOR DOOR ACCESS/VIDEO MONITORING SYSTEM.
 - SEE SPECIFICATION SECTION 16702 - TENANT DOOR ENTRY KEYING SYSTEM - FOR DETAILS CONCERNING THE FOB (KEYLESS ENTRY DEVICES) AND ALL ITEMS RELATED TO THE DOOR ENTRY SYSTEM REQUIREMENTS. THIS SYSTEM SHALL BE COMPATIBLE WITH THE PRESENT HARDWARE THAT THE HACP PROVIDES.

1 BASEMENT FLOOR PLAN - DEMOLITION & NEW WORK
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

OWNER HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT. 100 ROSS STREET PITTSBURGH, PA 15219 Phone: (412) 456-5020	PROJECT TEAM RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985 Contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com	D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560	10 9 8 7 6 5 4 3 2 1 NO.	BY DATE DESCRIPTION REVISIONS	SEAL	NORTHVIEW HEIGHTS BUILDING #74 UPGRADES D & D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS DRAWING TITLE: FIRE DETECTION PLAN - DEMOLITION AND NEW WORK BASEMENT FLOOR	PROJECT NO. 17001.65	DRAWING NUMBER E100	
							DATE 11-13-2019		SCALE SEE PLAN
							CHECKED BY VAD		



FIRE ALARM DEVICE LEGEND

- EXISTING UNIT SMOKE DETECTOR-PRESENT-TO-REMAIN
- NEW UNIT SMOKE DETECTOR
- EXISTING CARBON MONOXIDE DETECTOR-PRESENT-TO-REMAIN
- EXISTING BUZZ, HARD-WIRED TO EXISTING BOTTOM AT COMMON DOOR ENTRY STAIRWELL.
- EXISTING PULL STATION
- EXISTING WALL MOUNTED HORN UNIT - TO REMAIN

DOOR ACCESS SYSTEM

- TENANT ENTRANCE STATION
- TENANT VIDEO MONITOR

GENERAL NOTES:

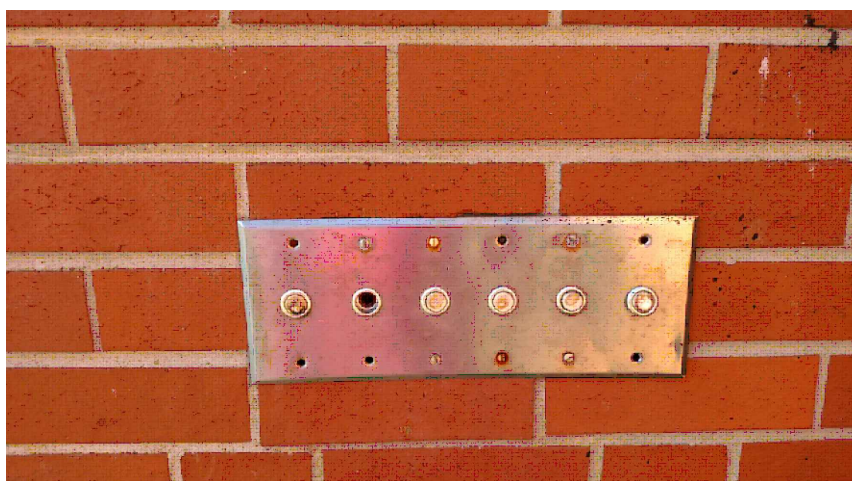
- EXISTING PULL STATIONS ARE TO BE REMOVED AND REPLACED WITH NEW PULL STATIONS. NEW PULL STATIONS ARE TO BE TIED IN TO NEW FACP. SEE DRAWING E100 FOR FACP LOCATION.
- EXISTING HORNS ARE TO BE PRESENT-TO-REMAIN AND ARE TO BE TIED INTO NEW FACP.
- ALL NEW WIRING FOR ALL DEVICES TO BE TIED INTO NEW FACP SHALL BE PROVIDED AND INSTALLED.
- SEE ARCHITECTURAL DRAWINGS A-5 AND A-6 FOR INFORMATION TO STAIR DOORWAYS.
- CIRCUITING FOR NEW EMERGENCY/EXIT FIXTURES SHALL BE FROM EXISTING LIGHTING CIRCUIT, BUT A HEAD OF ANY SWITCHING.

DEMOLITION KEYED NOTES:

- REMOVE EXISTING BUZZERS, PATCH AND PAINT TO MATCH EXISTING. TYPICAL ALL TENANT UNITS.
- REMOVE BUZZER AT COMMON DOOR ENTRY. LEAVE CONDUIT OR WIRING PATH FROM COMMON DOOR ENTRY TO EACH UNIT. SEE PICTURE ON DRAWING E104.
- REMOVE EXISTING PULL STATION AND REPLACE WITH NEW PULL STATION.
- REMOVE EXISTING STROBES AT TOP OF EACH STAIR TOWER EXTERIOR.
- REMOVE EXISTING BLUE BEACON FROM TOP OF THIS STAIR TOWER EXTERIOR. PROVIDE WATERPROOF COVER OVER HOLE LEFT BY REMOVAL.
- REMOVE EXISTING ANNUNCIATOR, PROTECTIVE CAGE AND ALL APPURTENANCES FROM EXTERIOR BUILDING WALL.

NEW WORK KEYED NOTES:

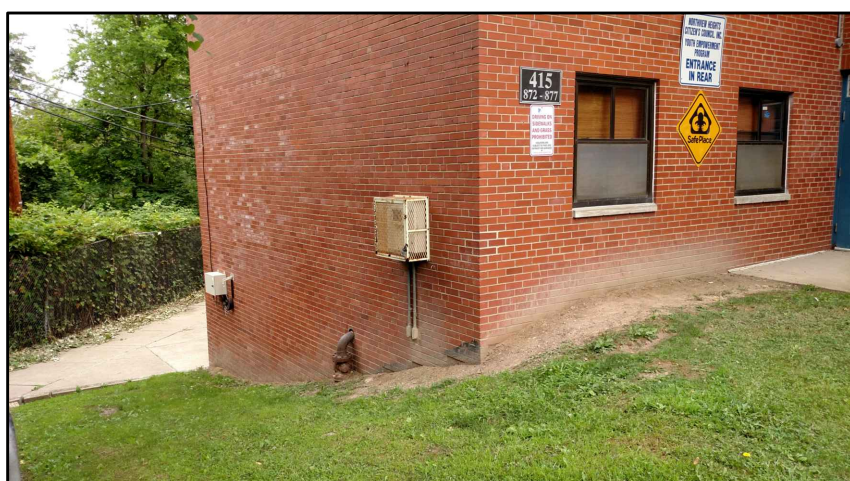
- NEW BATTERY POWERED SMOKE DETECTORS
- NEW TENANT MONITOR TO BE LOCATED IN THE VICINITY BUT BELOW EXISTING BUZZER UNIT BEING DEMOLISHED. CONNECT TO ELECTRONIC AT BOTTOM OF COMMON ENTRY. UTILIZE EXISTING RACEWAY WHERE POSSIBLE. BETWEEN COMMON DOOR ENTRY ENTRANCE STATION AND TENANT VIDEO MONITOR. TYPICAL ALL TENANT UNITS.
- PROVIDE NEW FIRE ALARM NOTIFICATION AND INITIATION DEVICES IN EXISTING DEVICE LOCATION. PROVIDE NEW DEVICE BACK BOXES.
- COORDINATE ELECTRICAL WORK FOR NEW DOOR ENTRY. SEE DOORS SCHEDULE ON DRAWING A-6 FOR DOORS, AND HARDWARE SET INFORMATION. SEE SPECIFICATION 16701 AND 16702 FOR DOOR ACCESS/VIDEO MONITORING SYSTEM.
- NEW TENANT ENTRANCE STATION TO BE LOCATED IN THE SAME LOCATION AS EXISTING BUZZER LOCATION. SOME MODIFICATION TO MASONRY WILL BE REQUIRED.
- REPLACE EXISTING STROBE WITH NEW STROBE IN SAME LOCATION.
- REPLACE EXISTING ANNUNCIATOR WITH NEW ANNUNCIATOR IN SAME LOCATION.
- INSTALL NEW PROTECTIVE CAGE AROUND NEW ANNUNCIATOR, SIMILAR TO WHAT WAS REMOVED. CAGE SHALL BE POWDER COAT PAINTED. PATCH ANY HOLES LEFT FROM REMOVAL OF EXISTING HARDWARE.
- INSTALL NEW BLUE BEACON DIRECTLY ABOVE NEW ANNUNCIATOR APPROXIMATELY 20' AFF. INTERCONNECTING WIRE CAN BE IN IMC, RUN EXPOSED ON BUILDING.
- SEE SPECIFICATION SECTION 16702 - TENANT DOOR ENTRY KEYING SYSTEM - FOR DETAILS CONCERNING THE FOB (KEYLESS ENTRY DEVICES) AND ALL ITEMS RELATED TO THE DOOR ENTRY SYSTEM REQUIREMENTS. THIS SYSTEM SHALL BE COMPATIBLE WITH THE PRESENT HARDWARE THAT THE HACP PROVIDES



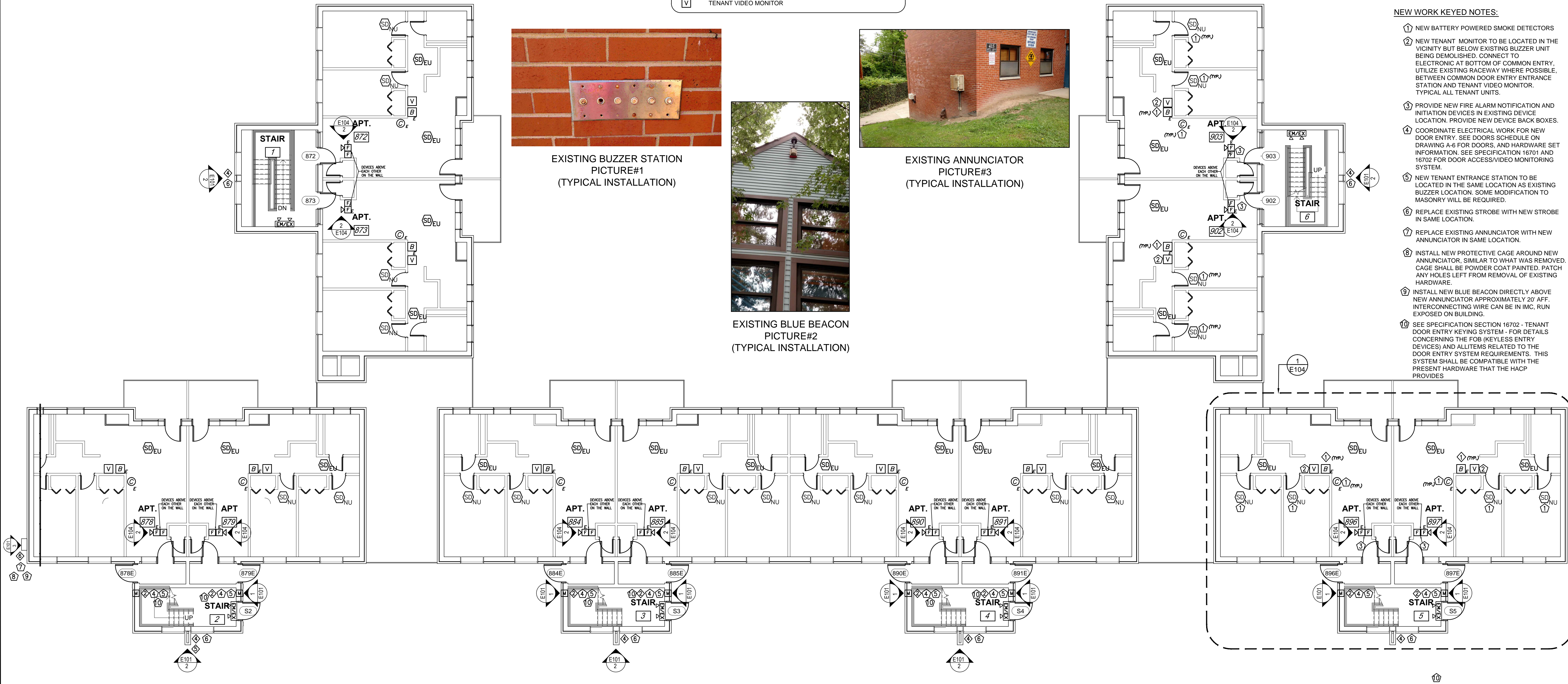
EXISTING BUZZER STATION
PICTURE#1
(TYPICAL INSTALLATION)



EXISTING BLUE BEACON
PICTURE#2
(TYPICAL INSTALLATION)



EXISTING ANNUNCIATOR
PICTURE#3
(TYPICAL INSTALLATION)



1 1ST FLOOR PLAN - DEMOLITION & NEW WORK
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

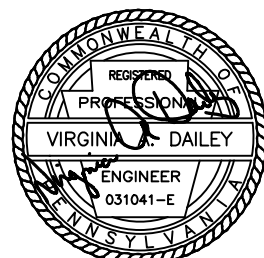
OWNER

HOUSING AUTHORITY OF THE
CITY OF PITTSBURGH
DEVELOP & MODERNIZATION DEPT.
100 ROSS STREET
PITTSBURGH, PA 15219
Phone:(412) 456-5020

PROJECT TEAM

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VENETIA, PA 15367
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lizette@rioswilliamsarchitects.com

D&D ENGINEERING, INC.
35 WILSON STREET
ETNA TECHNICAL CENTER, SUITE 102
PITTSBURGH, PA 15223
PHONE: 412-784-1560



NORTHVIEW HEIGHTS BUILDING #74 UPGRADES

D & D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS

DRAWING TITLE: FIRE DETECTION PLAN - DOOR ENTRY DEMOLITION & NEW WORK
FIRST FLOOR

PROJECT NO.
17001.65

DATE
11-13-2019

SCALE
SEE PLAN

DRAWN BY
JGK

CHECKED BY
VAD

DRAWING NUMBER

E101

SHEET NUMBER
15 OF 18



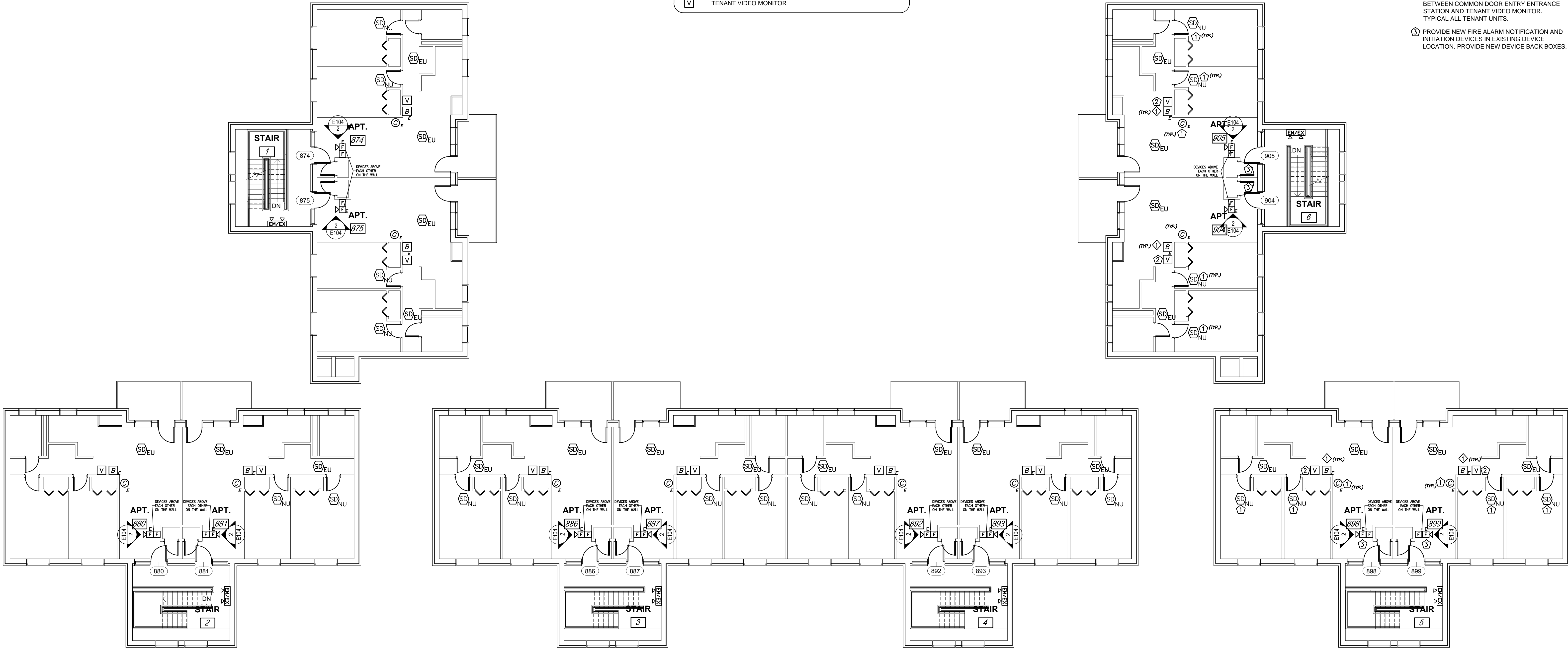
FIRE ALARM DEVICE LEGEND

- EXISTING UNIT SMOKE DETECTOR-PRESENT-TO-REMAIN
- NEW UNIT SMOKE DETECTOR
- EXISTING CARBON MONOXIDE DETECTOR-PRESENT-TO-REMAIN
- EXISTING BUZZ, HARD-WIRED TO EXISTING BOTTOM AT COMMON DOOR ENTRY STAIRWELL.
- EXISTING PULL STATION
- EXITING WALL MOUNTED HORN UNIT - TO REMAIN

DOOR ACCESS SYSTEM

- TENANT ENTRANCE STATION
- TENANT VIDEO MONITOR

- GENERAL NOTES:**
 - EXISTING PULL STATIONS ARE TO BE REMOVED AND REPLACED WITH NEW PULL STATIONS. NEW PULL STATIONS ARE TO BE TIED IN TO NEW FACP. SEE DRAWING E100 FOR FACP LOCATION.
 - EXISTING HORNS ARE TO BE PRESENT-TO-REMAIN AND ARE TO BE TIED INTO NEW FACP.
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 - REMOVE EXISTING BUZZERS, PATCH AND PAINT TO MATCH EXISTING. TYPICAL ALL TENANT UNITS.
 - REMOVE BUZZER AT COMMON DOOR ENTRY. LEAVE CONDUIT OR WIRING PATH FROM COMMON DOOR ENTRY TO EACH UNIT. SEE PICTURE ON DRAWING E104.
 - REMOVE EXISTING PULL STATION AND REPLACE WITH NEW PULL STATION.
- NEW WORK KEYED NOTES:**
 - NEW BATTERY POWERED SMOKE DETECTORS
 - NEW TENANT MONITOR TO BE LOCATED IN THE VICINITY BUT BELOW EXISTING BUZZER UNIT BEING DEMOLISHED. CONNECT TO ELECTRONIC AT BOTTOM OF COMMON ENTRY. UTILIZE EXISTING RACEWAY WHERE POSSIBLE, BETWEEN COMMON DOOR ENTRY ENTRANCE STATION AND TENANT VIDEO MONITOR. TYPICAL ALL TENANT UNITS.
 - PROVIDE NEW FIRE ALARM NOTIFICATION AND INITIATION DEVICES IN EXISTING DEVICE LOCATION. PROVIDE NEW DEVICE BACK BOXES.



1 2ND FLOOR PLAN - DEMOLITION & NEW WORK
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

OWNER HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT. 100 ROSS STREET PITTSBURGH, PA 15219 Phone:(412) 456-5020	PROJECT TEAM RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985 Contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com	PROJECT TEAM D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560	<table><tr><td>10</td><td>9</td><td>8</td><td>7</td><td>6</td><td>5</td><td>4</td><td>3</td><td>2</td><td>1</td></tr><tr><td>BY</td><td>DATE</td><td>DESCRIPTION</td><td>NO.</td><td colspan="6"></td></tr><tr><td colspan="4">REVISIONS</td><td colspan="6"></td></tr></table>	10	9	8	7	6	5	4	3	2	1	BY	DATE	DESCRIPTION	NO.							REVISIONS											NORTHVIEW HEIGHTS BUILDING #74 UPGRADES D & D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS DRAWING TITLE: FIRE DETECTION PLAN - DOOR ENTRY DEMOLITION & NEW WORK SECOND FLOOR	<table><tr><td>PROJECT NO. 17001.65</td><td rowspan="2">DRAWING NUMBER E102</td></tr><tr><td>DATE 11-13-2019</td></tr><tr><td>SCALE SEE PLAN</td><td rowspan="2">SHEET NUMBER 16 OF 18</td></tr><tr><td>DRAWN BY JGK</td></tr><tr><td>CHECKED BY VAD</td><td></td></tr></table>	PROJECT NO. 17001.65	DRAWING NUMBER E102	DATE 11-13-2019	SCALE SEE PLAN	SHEET NUMBER 16 OF 18	DRAWN BY JGK	CHECKED BY VAD	
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CHECKED BY VAD																																												



FIRE ALARM DEVICE LEGEND

- ADDRESSABLE SMOKE DETECTOR
- EXISTING UNIT SMOKE DETECTOR-PRESENT-TO-REMAIN
- NEW UNIT SMOKE DETECTOR
- EXISTING CARBON MONOXIDE DETECTOR-PRESENT-TO-REMAIN
- EXISTING BUZZ, HARD-WIRED TO EXISTING BOTTOM AT COMMON DOOR ENTRY STAIRWELL.
- EXISTING PULL STATION
- EXISTING WALL MOUNTED HORN UNIT - TO REMAIN

DOOR ACCESS SYSTEM

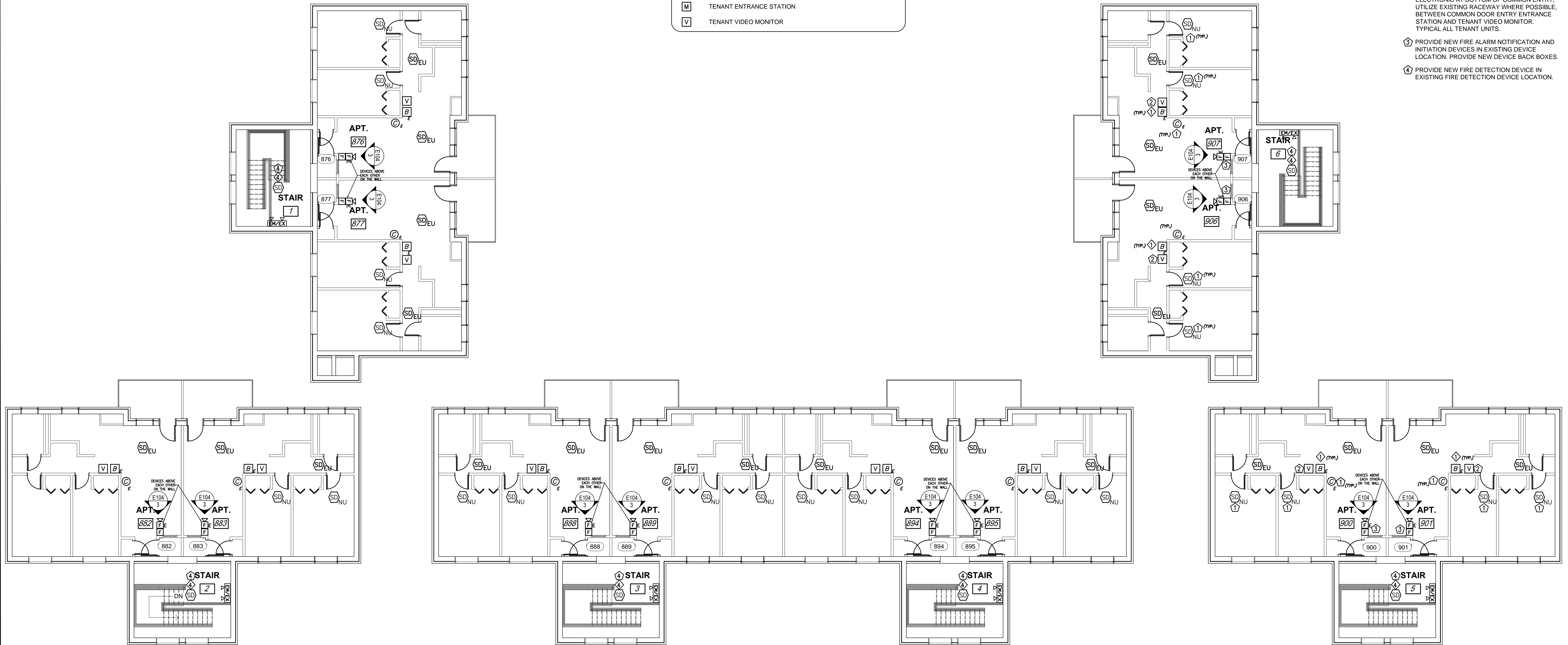
- TENANT ENTRANCE STATION
- TENANT VIDEO MONITOR

GENERAL NOTES:

- EXISTING PULL STATIONS ARE TO BE REMOVED AND REPLACED WITH NEW PULL STATIONS. NEW PULL STATIONS ARE TO BE TIED IN TO NEW FACP. SEE DRAWING E100 FOR FACP LOCATION.
- EXISTING HORNS ARE TO BE PRESENT-TO-REMAIN AND ARE TO BE TIED INTO NEW FACP.
- ALL NEW WIRING FOR ALL DEVICES TO BE TIED INTO NEW FACP SHALL BE PROVIDED AND INSTALLED.
- SEE ARCHITECTURAL DRAWINGS A-5 AND A-6 FOR INFORMATION TO STAIR DOORWAYS.
- CIRCUITING FOR NEW EMERGENCY/EXIT FIXTURES SHALL BE FROM EXISTING LIGHTING CIRCUIT, BUT A HEAD OF ANY SWITCHING.



DEMOLITION KEYED NOTES:

- REMOVE EXISTING BUZZERS, PATCH AND PAINT TO MATCH EXISTING. TYPICAL ALL TENANT UNITS.
 - REMOVE BUZZER AT COMMON DOOR ENTRY. LEAVE CONDUIT OR WIRING PATH FROM COMMON DOOR ENTRY TO EACH UNIT. SEE PICTURE ON DRAWING E104.
 - REMOVE EXISTING PULL STATION AND REPLACE WITH NEW PULL STATION.
 - REMOVE EXISTING FIRE DETECTION DEVICE IN THIS LOCATION.
- #### NEW WORK KEYED NOTES:
- NEW BATTERY POWERED SMOKE DETECTORS
 - NEW TENANT MONITOR TO BE LOCATED IN THE VICINITY BUT BELOW EXISTING BUZZER UNIT BEING DEMOLISHED. CONNECT TO ELECTRONIC AT BOTTOM OF COMMON ENTRY. UTILIZE EXISTING RACEWAY WHERE POSSIBLE, BETWEEN COMMON DOOR ENTRY ENTRANCE STATION AND TENANT VIDEO MONITOR. TYPICAL ALL TENANT UNITS.
 - PROVIDE NEW FIRE ALARM NOTIFICATION AND INITIATION DEVICES IN EXISTING DEVICE LOCATION. PROVIDE NEW DEVICE BACK BOXES.
 - PROVIDE NEW FIRE DETECTION DEVICE IN EXISTING FIRE DETECTION DEVICE LOCATION.



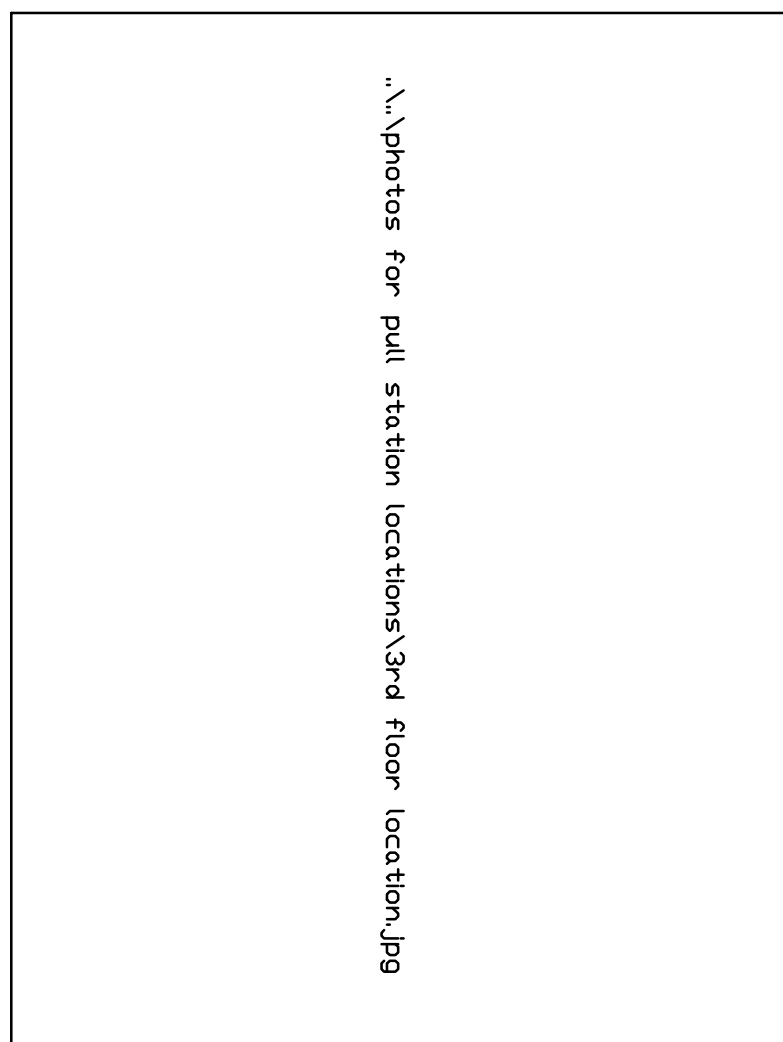
1 3RD FLOOR PLAN - DEMOLITION & NEW WORK
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

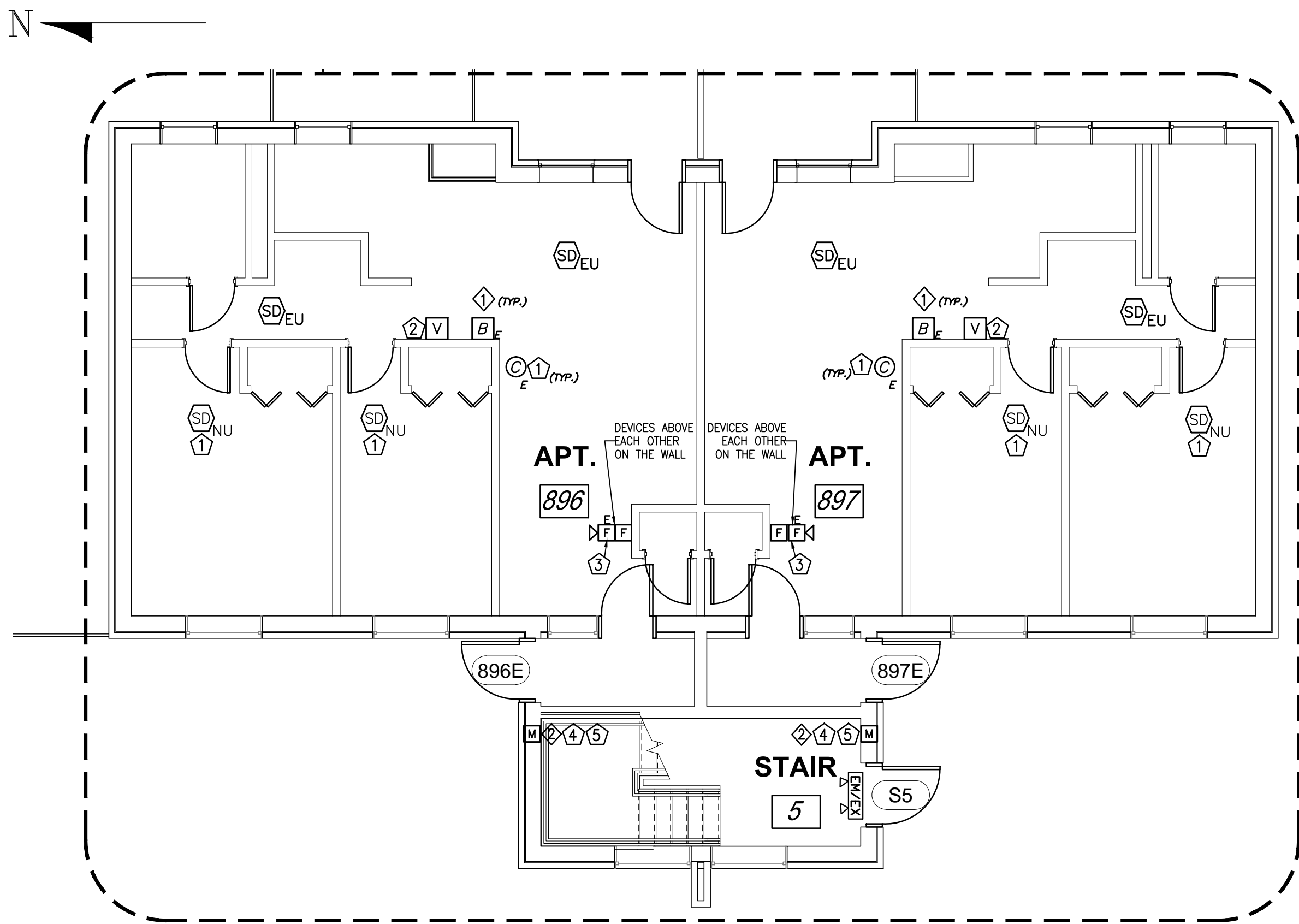
OWNER		PROJECT TEAM			NORTHVIEW HEIGHTS BUILDING #74 UPGRADES	 D & D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS	PROJECT NO. 17001.65	DRAWING NUMBER			
HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT. 100 ROSS STREET PITTSBURGH, PA 15219 Phone:(412) 456-5020		RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985 Contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com					D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560		DATE 11-13-2019	E103	
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							BY	DATE	DESCRIPTION	NO.	SHEET NUMBER 17 OF 18
							REVISIONS				



1ST & 2ND FLOOR LOCATION - EXISTING DEVICES
PICTURE #2



3RD FLOOR LOCATION - EXISTING DEVICES
PICTURE #3



1 ENLARGED UNIT FLOOR PLAN - NEW WORK
SCALE: 3/16" = 1'-0"

FIRE ALARM DEVICE LEGEND

EXISTING UNIT SMOKE DETECTOR-PRESENT-TO-REMAIN

NEW UNIT SMOKE DETECTOR

EXISTING CARBON MONOXIDE DETECTOR-PRESENT-TO-REMAIN

EXISTING BUZZ, HARD-WIRED TO EXISTING BOTTOM AT COMMON DOOR ENTRY STAIRWELL.

EXISTING PULL STATION

WALL MOUNTED HORN UNIT

DOOR ACCESS SYSTEM

TENANT ENTRANCE STATION

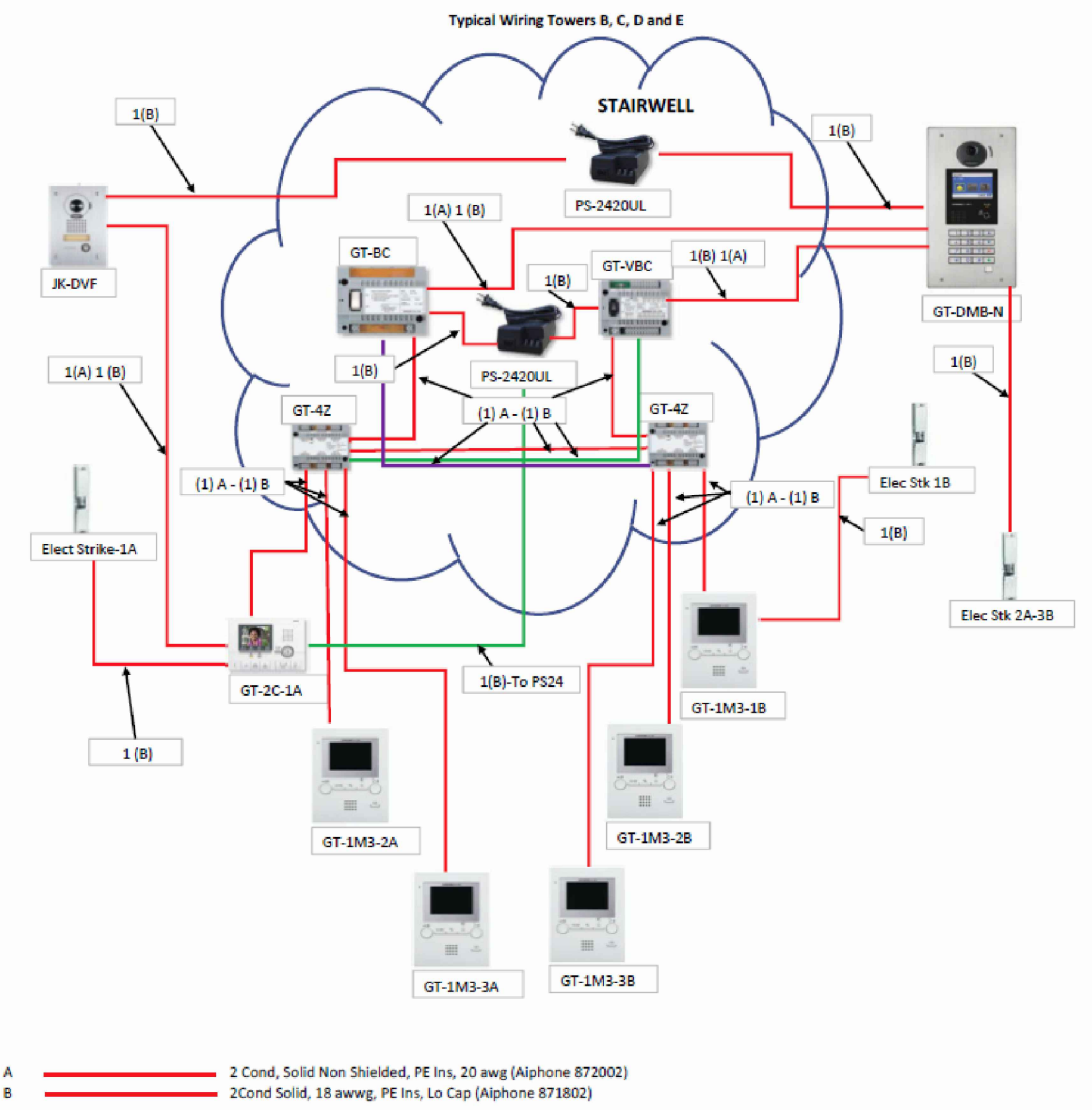
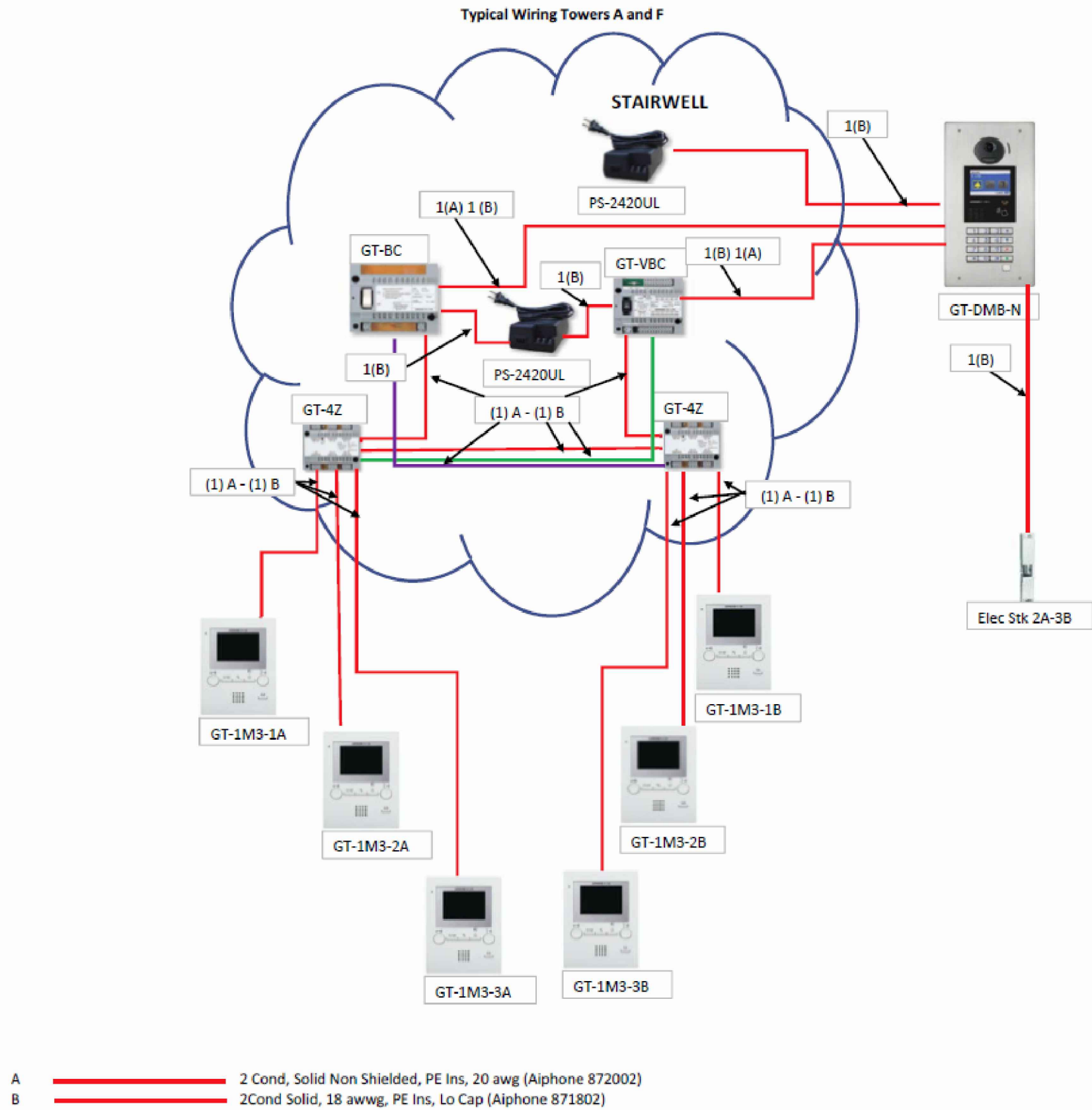
TENANT VIDEO MONITOR

- GENERAL NOTES:**

 - EXISTING PULL STATIONS ARE TO BE REMOVED AND REPLACED WITH NEW PULL STATIONS. NEW PULL STATIONS ARE TO BE TIED IN TO NEW FACP. SEE DRAWING E100 FOR FACP LOCATION.
 - EXISTING HORNS ARE TO BE PRESENT-TO-REMAIN AND ARE TO BE TIED INTO NEW FACP.
 - ALL NEW WIRING FOR ALL DEVICES TO BE TIED INTO NEW FACP SHALL BE PROVIDED AND INSTALLED.
 - SEE ARCHITECTURAL DRAWINGS A-5 AND A-6 FOR INFORMATION TO STAIR DOORWAYS.
 - CIRCUITING FOR NEW EMERGENCY/EXIT FIXTURES SHALL BE FROM EXISTING LIGHTING CIRCUIT, BUT A HEAD OF ANY SWITCHING.
- DEMOLITION KEYED NOTES:**

 - REMOVE EXISTING BUZZERS, PATCH AND PAINT TO MATCH EXISTING. TYPICAL ALL TENANT UNITS.
 - REMOVE BUZZER AT COMMON DOOR ENTRY. LEAVE CONDUIT OR WIRING PATH FROM COMMON DOOR ENTRY TO EACH UNIT. SEE PICTURE ON DRAWING E104.
 - REMOVE EXISTING PULL STATION AND REPLACE WITH NEW PULL STATION.
- NEW WORK KEYED NOTES:**

 - NEW BATTERY POWERED SMOKE DETECTORS
 - NEW TENANT MONITOR TO BE LOCATED IN THE VICINITY BUT BELOW EXISTING BUZZER UNIT BEING DEMOLISHED. CONNECT TO ELECTRONIC AT BOTTOM OF COMMON ENTRY. UTILIZE EXISTING RACEWAY WHERE POSSIBLE. BETWEEN COMMON DOOR ENTRY ENTRANCE STATION AND TENANT VIDEO MONITOR. TYPICAL ALL TENANT UNITS.
 - PROVIDE NEW FIRE ALARM NOTIFICATION AND INITIATION DEVICES IN EXISTING DEVICE LOCATION. PROVIDE NEW DEVICE BACK BOXES.



2 TYPICAL INTERCONNECTION WIRING, DIAGRAM-DOOR ENTRY/TENANT MONITOR
(FOR REFERENCE ONLY)

CONSTRUCTION DOCUMENTS

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