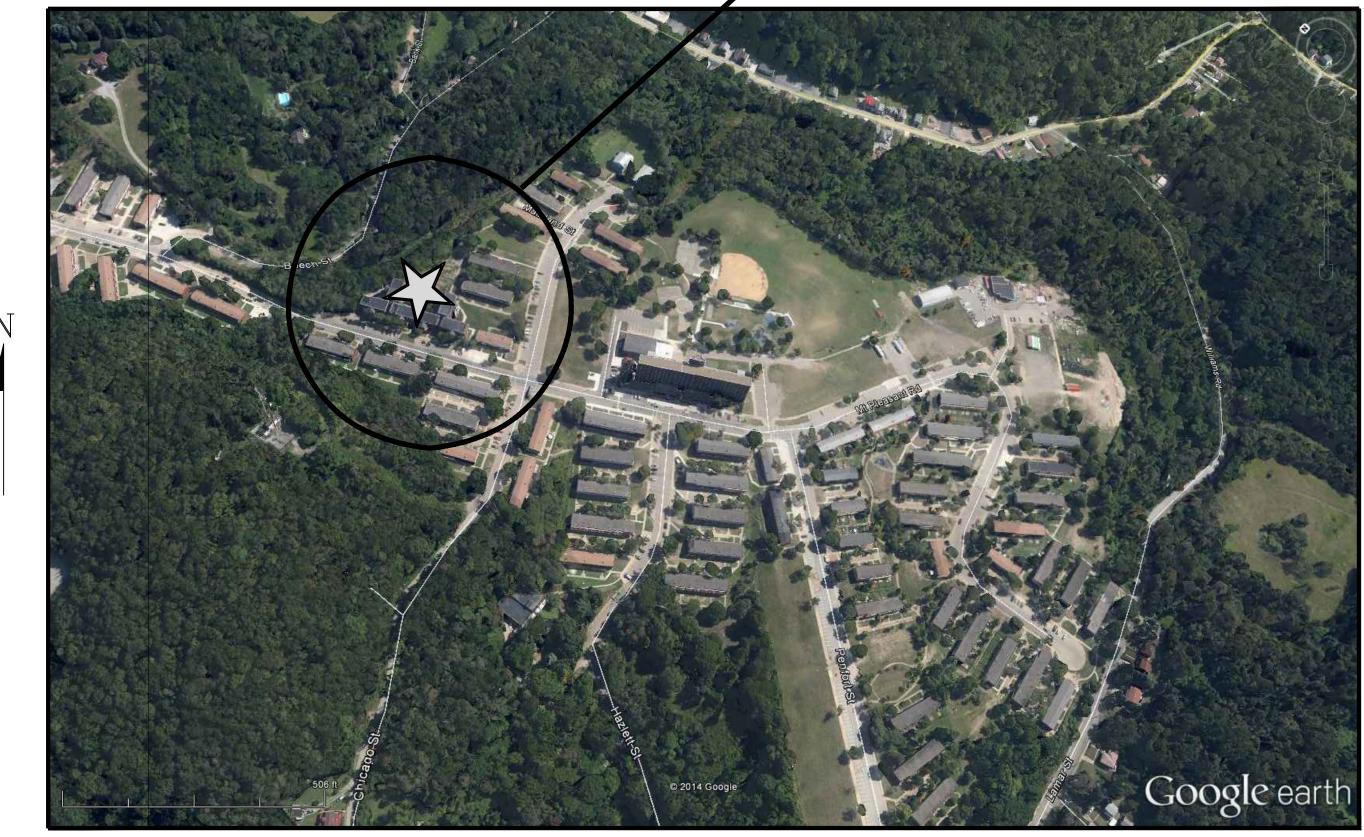
HOUSING AUTHORITY of the CITY of PITTSBURGH

DEVELOPMENT AND MODERNIZATION DEPARTMENT 100 ROSS STREET, 2ND FLOOR PITTSBURGH, PENNSYLVANIA 15219

HACP MANAGEMENT # 7381
TASK ORDER #65
NORTHVIEW HEIGHTS
BUILDING #74
UPGRADES

NOVEMBER 13, 2019

NORTHVIEW HEIGHTS BLDG #74

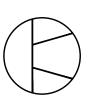


LOCATION MAP 100 0 100 200 SCALE IN FEET

DRAWING INDEX

DRAWING NO.	DESCRIPTION
CS	COVER SHEET
G-01	ABBREVIATIONS, SYMBOLS AND GENERAL NOTES
G-02	BASEMANT AND FIRST FLOOR CODE SHEET
G-03	SECOND AND THIRD FLOOR CODE SHEET
D-1	BASEMENT DEMOLITION PLAN
D-2	TYPICAL ENLARGED DEMOLITION PLAN
A-1	BASEMENT LEVEL PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	THIRD FLOOR PLAN
A-5	ENLARGED TYPICAL NEW WORK PLANS, ELEVATIONS, DETAILS AND FINISH SCHEDULE
A-6	DOOR SCHEDULE, DOOR TYPES AND DETAILS
E001	GENERAL NOTES, LEGEND, ABBREVIATIONS AND DETAILS
E100	FIRE DETECTION PLAN - DEMOLITION AND NEW WORK BASEMENT FLOOR
E101	FIRE DETECTION PLAN - DOOR ENTRY DEMOLITION AND NEW WORK FIRST FLOOR
E102	FIRE DETECTION PLAN - DOOR ENTRY DEMOLITION AND NEW WORK SECOND FLOOR
E103	FIRE DETECTION PLAN - NEW WORK THIRD FLOOR
E104	FIRE DETECTION PLAN - NEW WORK ENLARGED PLAN AND VIDEO MONITORING INTERCONNECTION WIRING

PROJECT TEAM:



D & D ENGINEERING, INC.

CONSULTING ELECTRICAL ENGINEERS

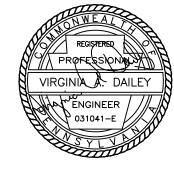
Etna Technical Center,
Suite 102
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RIOS WILLIAMS ARCHITECTS, PC

Rios Williams Architects, PC 200 Rosewood Court Venetia, PA 15367 p: 724.255.7985

contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com



DRAWING NUMBER

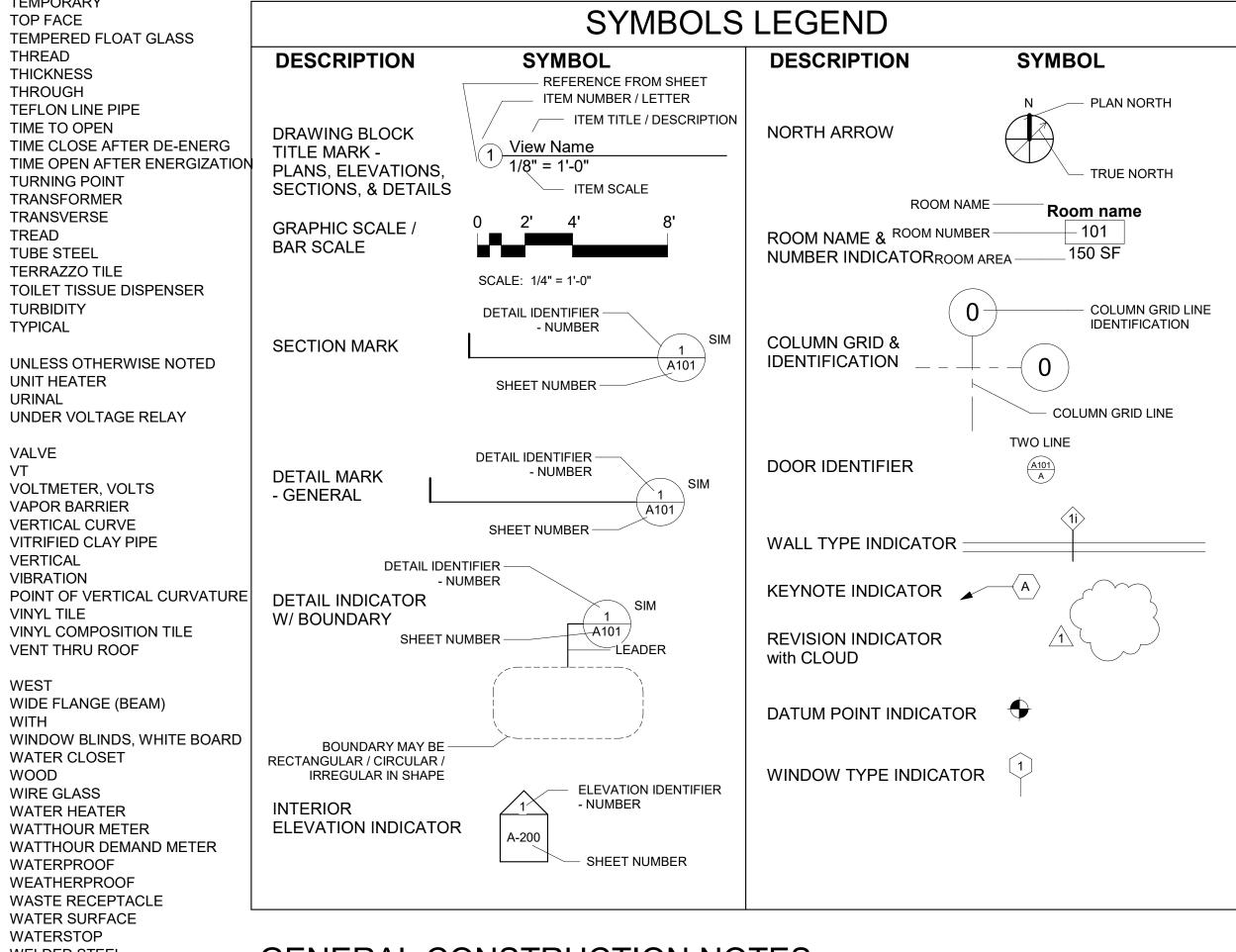


CONSTRUCTION DOCUMENTS

1 OF 18

SHEET NUMBER

				0.5			LOWWATERLEVE			TEMP	TEMPODADY
A AB	AMMETER, AMPERES ANCHOR BOLT	CTR'D CTSK	CENTERED COUNTERSUNK	GB GC	GRAB BAR GROOVED COUPLING	LWL LYRS	LOW WATER LEVEL LAYERS	PTB PTD	PORCELAIN TILE BASE PAPER TOWEL DISPENSER	TEMP TF	TEMPORARY TOP FACE
ABDN AC	ABANDON ALTERNATING CURRENT	CUET	CUBIC CUBIC FOOT	GFI GFR	GROUND FAULT INTERRUPTER GOUND FAULT RELAY	M&BH	MOP AND BROOM HOLDER	PVC	POLYVINYL CHLORIDE PIPE & POINT OF VERTICAL CURVATURE	TFG THD	TEMPERED FLOAT G
	AIR CONDITIONING	CU FT CU IN	CUBIC FOOT	GL	GLASS	MA	MANUAL-AUTO	PVI	POINT OF VERTICAL INTERSECTION	THK	THICKNESS
AC	ASPHALTIC CEMENT	CU YD	CUBIC YARD COPPER TUBING, HARD DRAWN	GMB GMU	GLAZED MASONRY BASE GLAZED MASONRY UNIT	MAS MATL	MASONRY MATERIAL	PVMT PVT	PAVEMENT POINT OF VERTICAL TANGENCY	THRU TLP	THROUGH TEFLON LINE PIPE
		CUH CWR	CABINET DOOR MOUNTED	GND	GROUND	MAX	MAXIMUM	PWT	PORCELAIN WALL TILE	TO	TIME TO OPEN
	ACOUSTICAL CEILING PANEL ACOUSTICAL		WASTE RECEPTACLE	GPD GPH	GALLONS PER DAY GALLONS PER HOUR	MB MC	MACHINE BOLT, MARKER BOARD MASONARY CLEARANCE	R	RADIUS	TOAD TOAE	TIME CLOSE AFTER DETECTION OF THE CLOSE AFTER EN
ACST	ACOUSTICAL ACOUSTICAL CEILING TILE	d	PENNY NAIL SIZE	GPH GPM	GALLONS PER HOUR GALLONS PER MINUTE	MC	MODULATE-CLOSE	RB RC	RUBBER BASE REINFORCED CONCRETE	TP	TURNING POINT
ACU	AR CONDITIONING CONDENSING UNIT	DAS	DATA ACQUISTION SYSTEM	GRTG	GRATING SLIDE GATE	MCC MECH	MOTOR CONTROL CENTER MECHANICAL	RCP	REINFORCED CONCRETE PIPE	TRANS TRANSV	TRANSFORMER TRANSVERSE
ADD AFD	ADDITIONAL ADJUSTABLE FREQUENCY DRIVE		DEFORMED BAR ANCHOR DOUBLE	GSD GSL	LAMINATED SAFETY GLASS	MFD	MANUFACTURED	RCPT RD	RECEPTACLE ROAD, ROOF DRAIN	TDR	TREAD
AFF	ABOVE FINISHED FLOOR	DRA	AREA, ROOF & FLOOR DRAIN	GSP	GALVANIZED STEEL PIPE	MFR MGD	MANUFACTURER MILLION GALLONS PER DAY	RDCR	REDUCER	TS	TUBE STEEL
AG AGGR	ACCOUSTICAL GLASS AGGREGATE		DIRECT CURRENT DEGREE	GTV GVL	GATE VALVE GRAVEL	MH	MANHOLE	RDW REF	REDWOOD REFER OR REFERENCE	TT TTD	TERRAZZO TILE TOILET TISSUE DISPE
AHR	ANCHOR		DELTA	GWB	GYPSUM WALL BOARD	MIN	MINIMUM	REF	REFRIGERATOR	TURB	TURBIDITY
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	DET	DETAIL	GWR GYP	WEIR SLIDE GATE GYPSUM	MIR MISC	MIRROR MISCELLANEOUS	REFR	REFRIGERATE, REFRIGERANT	TYP	TYPICAL
AL	ALUMINUM		DOUGLAS FIR DRINKING FOUNTAIN	GYP	GYPSUM	MJ	MECHANICAL JOINT	REINF REQD	REINFORCED, REINFORCING, REINFORCE REQUIRED	UON	UNLESS OTHERWISE
	ALKALINITY ALTERNATE		DROP INLET	Н	HORN OR HOWLER	MLO MMP	MAIN LUGS ONLY MECHANICAL MOUNTING PANEL	RG	REFLECTIVE	UH	UNIT HEATER
ALT AM	AUTO-MANUAL		DUCTILE IRON	HAS	HEADED ANCHOR STUD	MP	METAL PANEL	RH RH	RIGHT HAND RODHOLE	UR UVR	URINAL UNDER VOLTAGE RE
ANDZ	ANODIZE		DRIER INSTRUMENT AIR DIAMETER	HB HC	HOSE BIB HOLLOW CORE	MPU	MULTIPURPOSE UNIT	RHR	RIGHT HAND REVERSE		
APPROX APVD	APPROXIMATE APPROVED	DIAG	DIAGONAL	HDR	HEADER	MS MTD	MOTION SENSOR MOUNTED	RL RL	RAIN LEADER RAISE LOWER	V	VALVE VT
	ARCHITECTURAL		DUCTILE IRON PIPE DIRECTION	HDW HGL	HARDWARE HYDRAULIC GRADE LINE	MTL	METAL	RLS	RUBBER LINED STEEL	V	VOLTMETER, VOLTS
AR ASU	ANALOG RELAY AIR SUPPLY UNIT		DISCHARGE	HGT	HEIGHT	MTP MTS	MILL TYPE STEEL PIPE MANUAL TRANSFER SWITCH	RM	ROOM	VB VC	VAPOR BARRIER VERTICAL CURVE
ATS	AUTOMATIC TRANSFER SWITCH		DIRECT-ON-LINE	HH	HANDHOLE	MV	MERCURY VAPOR	ROL RPM	RAISE-OFF-LOWER REVOLUTIONS PER MINUTE	VCP	VITRIFIED CLAY PIPE
	AUTOMATIC		DOOR POSITION CONTACTOR HUB DRAIN	HID HK	HIGH INTENSITY DISCHARGE HOOK	MWS	MAXIMUM WATER SURFACE	RS	RIGID STEEL	VERT	VERTICAL
AUX AVG	AUXILIARY AVERAGE	DRO	OPEN SITE DRAIN	HM	HOLLOW METAL	N	NORTH	RST RSW	REINFORCING STEEL RAW SEWAGE	VIB VPC	VIBRATION POINT OF VERTICAL
AWP	ACOUSTICAL WALL PANEL		STORM DRAIN DOWNSPOUT	HOA HOR	HAND-OFF-AUTO HAND-OFF-REMOTE	N/A N/C	NOT APPLICABLE NORMALLY CLOSED	RTN	RETURN	VT	VINYL TILE
@	AT		DRAWING		HORIZONTAL	N/O	NORMALLY OPEN	R/W	RIGHT OF WAY	VCT VTR	VINYL COMPOSITION VENT THRU ROOF
В	BELL	DWN E	DOWN EAST	HP HPS	HORSEPOWER HIGH PRESSURE SODIUM	•	NEUTRAL	RTU	ROOF TOP UNIT	VIIX	VENT THRO ROOF
(B)	BRONZE TINT	E	EMPTY	HR	HOSE RACK	NA ND	NON-AUTOMATIC NAPKIN DISPOSAL	S	I-BEAM	W	WEST
BAL BB	BALANCE BULLITEN BOARD		EACH EMERGENCY DRAIN		HOSE VALVE	NGS	NATURAL GAS ANATIONAL GEODESIC SURVEY STATION	S	SLOPE	W W/	WIDE FLANGE (BEAM WITH
BDM	BUTTERFLY DAMPER	EE	EMERGENCY EYEWASH	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	NIC	NOT IN CONTRACT	S SW	SOUTH SWITCH	WB	WINDOW BLINDS, WH
BF BFV	BLIND FLANGE BUTTERFLY VALVE		EACH FACE EXHAUST FAN	HWL	HIGH WATER LEVEL	NO, #	NUMBER	SATC	SUSPENDED ACCOUSTICAL TILE CEILING	WC WD	WATER CLOSET WOOD
BL	BASELINE	EL, ELEV	ELEVATION			NP NPT	NON-PROTECTED NATIONAL PIPE THREADS	SC SCC	SHOWER CURTAIN SOLID CORE	WG	WIRE GLASS
BFR BLDG	BACKFLOW PREVENTER BUILDING		ELBOW ELECTRICAL LOAD CENTER	IC	INTERRUPTING CAPACITY	NS	NON-SHRINK	000	COLID CORE	WH WH	WATER HEATER WATTHOUR METER
BLK	BLOCK		ELECTRICAL LOAD CENTER ELECTRIC, ELECTRICAL	ID IE	INSIDE DIAMETER INVERT ELEVATION	NTS	NOT TO SCALE			WHD	WATTHOUR DEMAND
BM	BENCHMARK BOTTOM		ENGINEER	IF	INSIDE FACE	0.70.0	OUT TO OUT	SCFM	STANDARD CUBIC FEED PER MINUTE	WP	WATERPROOF
BOT BRG	BEARING		EDGE OF PAVING EXPLOSION PROOF	IG	INSULATING GLASS	OA	OVERALL	SCH	SCHEDULE	WTHPRF WR	WEATHERPROOF WASTE RECEPTACLE
	BLACK STEEL PIPE	EQ	EQUAL	IN INCAND	INCH INCANDESCENT	OC	ON CENTER	SCR	SHOWER CURTIN ROD	WS	WATER SURFACE
BLV BVC	BALL VALVE BEGINNING OF VERTICAL CIRCUIT	•	EQUALLY SPACED EQUIPMENT	INJS	INJECTIONS	OC OCA	OPEN-CLOSE OPEN-CLOSE-AUTO	SCU SDWK	SPEED CONTROL UNIT SIDEWALK	WS WS	WATERSTOP WELDED STEEL
C	CONDUIT & STEEL CHANNEL		ELAPSED TIME METER	INST INSTM	INSTANTANEOUS INSTRUMENT, INSTRUMENTATION	OCR	OPEN-CLOSE-REMOTE	SEC	SECONDARY	WTP	WATER TREATMENT
ÝC	DEGREE CELSIUS		END OF VERTICAL CURVE		INSULATION	OD OF	OUTSIDE DIAMETER OUTSIDE FACE	SECT SED	SECTION SEDIMENTATION	WTR	WATER
C TO C CAB	CENTER TO CENTER CABINET		EACH WAY EXHAUST	INVT	INVERT	OL	OVERLOAD RELAY	SF	SLOWER-FASTER	WU WWTP	WALL URN WASTEWATER TREA
	CHECK VALVE (AIR CUSHION)	EXJ	EXPANSION JOINT	IRRIG ITG	IRRIGATION INSULATED TEMPERED GLASS	00	ON-OFF	SF	SQUARE FEET		
CB	CATCH BASIN		EXPANSION, EXPOSED EXPANSION ANCHOR BOLT	IU	INTAKE UNIT	OOA OOR	ON-OFF-AUTO ON-OFF-REMOTE	SGWB SH	SUSPENDED GYPSUM WALL BOARD SHOWER	XP	EPOXY PAINT
CB CC	CIRCUIT BREAKER CONTROL CABLE	EXST	EXISTING	IW	IRRIGATION WELL	OP	OPAQUE PANEL	SHT	SHEET		
CCP	CENTRAL CONTROL PANEL		EXTERIOR ELECTRIC WATER COOLER	JAN	JANITOR	OPER OPNG	OPERATOR OPENING	SHA SHS	SURFACE HARDENING AGENT SOLIDS HANDLING SYSTEM		
CCM CFM	CENTRAL CONTROL SYSTEM CUBIC FEET PER MINUTE	_		JB JBT	JUNCTION BOX TERMINAL JUNCTION BOX	OSC	OPEN-STOP-CLOSE	SIM	SIMILAR		
CFS	CUBIC FEET PER SECOND		DEGREE FAHRENHEIT FUSE	JCT	JUNCTION	OZ	OUNCE		SOLUTION SPACE OR SPACES & STOP PLATE		
CFT CHAN, C	CERMAIC FLOOR TILE CHANNEL (BEAM)	FAI	FRESH AIR INLET	JT IT ELD	JOINT CILLED	_	DU ACTED DIDE DAINT	SP SPECS	SPECIFICATIONS		
CHEM	CHEMICAL		FLEXIBLE CONDUIT FLANGED ADAPTER COUPLING	JT FLR	JOINT FILLER	P PB	PILASTER, PIPE, PAINT PUSHBUTTON SWITCH	SPLY	SUPPLY		
CI CIP	CAST IRON CAST IRON PIPE,	FCL2	FREE CHLORINE RESIDUAL	K	KEY INTERLOCK	PC	PHOTOCELL	SQ SQ FT	SQUARE SQUARE FOOT, FEET		
	CONVEYOR, INCLINE PRODUCT		FLOOR CLEANOUT FACTORY	KIP KIT	THOUSAND POUNDS KITCHEN	PC PE	POINT OF CURVE PLAIN END	SQ IN	SQUARE INCH		
CIS CJ	CAST IRON SOIL PIPE COMPRESSION JOINT		FLOOR DRAIN	KSK	KITCHEN SINK	PED	PEDESTAL	SR SFM	SHORT RADIUS SANITARY FORCE MAIN		
CKT	CIRCUIT		FOUNDATION	KV KVA	KILOVOLTS KILOVOLT AMPERES	PEP PFT	POLYETHYLENE PIPE PORCELAIN FLOOR TILE	SS	SOLID SURFACING		
© CDI	CENTERLINE CEMENT LINED DUCTILE IRON PIPE		FEEDER FIRE EXTINGUISHER		KILOVOLT AMPERES REACTIVE	рH	HYDROGEN ION CONCENTRATION	SST SSH	STAINLESS STEEL SAFETY SHOWER		
CLG	CEILING, CHLORINE GAS		FINISHED FLOOR	KW	KILOWATT	PI	POINT OF INTERSECTION	SSK	SERVICE SINK		
CLO CLR	CLOSET CLEAR		FINISH GRADE FIRE HYDRANT			PJF PL	PREMOULDED JOINT FILLER PLATE (STEEL)	STA	STATUS		
CMP	CORRUGATED METAL PIPE	FIG	FIGURE	L	ANGLE, LENGTH	PL	PROPERTY LINE, PLASTIC LAMINATE	STD STIF	STANDARD STIFFENER		
CMU	CONCRETE MASONRY UNIT		FLOW LINE FLANGE	LA LAB	LIGHTNING ARRESTER LABORATORY	PLAS PLC	PLASTIC PROGRAMMABLE LOGIC CONTROLLER	STIRR	STIRRUP		
CO COL	CLEANOUT COLUMN		FLOOR	LAM	LAMINATE	PLV	PLUG VALVE	STL ST	STEEL STRAIGHT		
CONC	CONCRETE		FLEXIBLE	LAT LAV	LATITUDE LAVATORY	PLYWD PNL	PLYWOOD PANEL	STRUC	STRUCTURE		
CONDTN CONN	CONDITIONED CONNECTION		FLAT HEAD FILTER	LB	POUND	PNT	PAINTED	SUSP SOV	SUSPENDED SOLENOID VALVE		
CONT	CONTINUOUS, CONTINUATION	FLUOR	FLUORESCENT		TPOUNDS PER CUBIC FOOT	PP	POWER POLE	SYM	SYMMETRICAL		
CONTR COORD	CONTRACTOR COORDINATE		FINISH FIELD PANEL	LC LF	LIGHTING CONTACTOR LINEAR FEET	PPL PRCST	POLYPROPYLENE LINED PRECAST	т	THEDMOSTAT		
COORD	COPPER	FR	FIRE RATED	LG	LONG		PRECAST PREFABRICATION	T T&B	THERMOSTAT TOP AND BOTTOM		
CP	CENTER PIVOT		FIRE RATED IMPACT SAFETY GLASS CERAMIC FIBERGLASS REINFORCED PLASTIC PIPE	LH LHR	LEFT HAND LEFT HAND REVERSE	PRES	PRESSURE	T&G	TONGUE AND GROOVE		
CP-X CPLG	CONTROL PANEL NO. X COUPLING	FSHS	FOLDING SHOWER SEAT	LLH	LONG LEG HORIZONTAL	PRI PRM	PRIMARY PERMANENT REFERENCED MARKER	T/ TAN	TOP OF TANGENT		
CPRSR	COMPRESSOR	FT	FOOT OR FEET	LLV LNTL	LONG LEG VERTICAL LINTEL	PROJ	PROJECTION	TB	TERMINAL BOARD		
CPT CVP	CONTROL POWER TRANFORMER, CARPET CHLORINATED PVC		FOOTING FIXTURE UNIT		LONGITUDINAL	PROP PS	PROPERTY POLYCARBONATE SHEET	TB TBG	TOWEL BAR TUBING		
CR	CONTROL RELAY, CARD READER	FVNR	FULL VOLTAGE NON-REVERSING	LOS	LOCK-OUT STOP PUSHBUTTON	PSC	PAINTED STEEL COLUMN	TC	TUBING TIME TO CLOSE		
CRS CRS	COLD ROLLED STEEL PVC COATED RIGID STEEL		FULL VOLTAGE REVERSING FORWARD	LP LR	LIGHT POLE LATCHING RELAY	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	TCAE	TIME CLOSE AFTER ENERGIZATION		
CRS	CUP SINK	י אט		LR	LOCAL-REMOTE	PSIG	POINDS PER SQUARE INCH POINDS PER SQUARE INCH, GAUGE	TCL2 TDH	TOTAL CHLORINE RESIDUAL TOTAL DYNAMIC HEAD		
CT	CERAMIC TILE		GAUGE	LS LSG	LABORATORY SINK LAMINATED SAFETY GLASS	PT pt	POINT OF TANGENCY	TDR	TIME DELAY RELAY		
CT CTR	CURRENT TRANSFORMER CENTER		GALLON GALVANIZED	LTG	LIGHTS OR LIGHTING	PT PT	POTENTIAL TRANSFORMER PRESSURE TREATED	TECH TEL	TECHNICAL TELEPHONE		
NOTES:		○, \∟ V	J. 12.77 11.11EED						.		
1. THIS	S IS A STANDARD LEGEND SHEET, THEREFO APPEAR ON THIS SHEET AND NOT ON THE								10	СО	NSTRUCTION



GENERAL CONSTRUCTION NOTES:

1. ALL DIMENSIONS ARE ACTUAL, UNLESS NOTED OTHERWISE.

WASTEWATER TREATMENT PLANT 2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES, CODES, AND REGULATIONS OF ALL AUTHORITIES HAVING

3. THESE DRAWINGS, IN THEIR ENTIRETY, ARE SUBJECT TO APPROVAL BY APPLICABLE BUILDING INSPECTORS AND OFFICIALS. NO WORK SHALL COMMENCE UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED.

4. ALL METAL STUD COMPONENTS OF NEW PARTITIONS ARE TO EXTEND TO UNDERSIDE OF DECK ABOVE, UNO. ALL WALLS SHALL HAVE THEIR FINISH MATERIAL EXTEND 6" ABOVE HIGHEST ADJACENT CEILING, UNLESS PARTITION IS A FIRE RATED PARTITION.

5. CONTRACTOR SHALL COORDINATE ROUGH OPENING REQUIREMENTS FOR ALL DOORS.

6. FINAL SIZE, LOCATION, AND QUANTITY OF FIRE EXTINGUISHERS SHALL BE VERIFIED BY EXTINGUISHER TECHNICIAN AT TIME OF INSTALLATION. CONTRACTOR SHALL PROVIDE EXTINGUISHERS AS REQUIRED BY CONSTRUCTION CODES AND LOCAL JURISDICTION.

7. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS AND QUANTITIES OF DEVICES, EQUIPMENT, ETC.

8. ALL DOORS TO BE LOCATED SUCH THAT OUTSIDE OF FRAME ON HINGE-SIDE IS 4" FROM FACE OF PERPENDICULAR WALL UNO.

9. ROOM NUMBERS AND ROOM NAMES INDICATED ON THE DRAWINGS ARE TO FACILITATE CONSTRUCTION. THEY ARE NOT NECESSARILY THE NAMES AND NUMBERS THAT THE FACILITY CURRENTLY USES OR THAT IT WILL USE IN THE FUTURE OR WANT ON NEW SIGNAGE.

10. ALL CONTRACTORS SHALL PROVIDE BRACING FOR STUD WALLS WHERE REQUIRED. BRACING SHALL EXTEND TO UNDERSIDE OF STRUCTURE ABOVE. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL BRACING WITH ROUTING OF ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS AND DEVICES.

11. ALL CONSTRUCTION WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE AUTHORITIES HAVING JURISDICTION, AND THE STATE OF PENNSYLVANIA. THE CONTRACTOR(S) SHALL POST NOTICES AND COMPLY WITH THE GOVERNING LAWS OF THE JURISDICTION.

12. THE WORK SHALL BE PROPERLY SUPERVISED BY EACH CONTRACTOR'S JOB SITE SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE EMPLOYED TO COMPLETE THE WORK WITHIN THE CONTRACTED TIME. PERSONNEL SHALL BE SKILLED IN THE TASKS ASSIGNED.

13. ALL CONTRACTORS ARE RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING HIM OR HERSELF WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO ENTERING THE SITE.

14. ALL CONTRACTORS SHALL, AT ALL TIMES, MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF WORK.

15. TEMPORARY BARRIERS TO KEEP UNAUTHORIZED PERSONS OUT OF WORK AREAS SHALL CONSIST OF PARTITIONS OR FENCES OF ADEQUATE HEIGHT. BARRIERS CONSISTING OF TAPE OR ROPE OR SAW HORSES ARE NOT ACCEPTABLE.

16. THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS, AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT BEFORE STARTING WORK. THECONTRACTOR SHALL RECHECK DIMENSIONS BEFORE ORDERING MANUFACTURED AND/OR FABRICATED ITEMS.

17. EACH PRIME CONTRACTOR SHALL PROVIDE NON-COMBUSTIBLE, LOW VAC, WOOD BLOCKING FOR ALL WALL- MOUNTED ITEMS, INCLUDING OWNER-SUPPLIED / CONTRACTOR-INSTALLED, AND OWNER-SUPPLIED / OWNER-INSTALLED ITEMS.

18. NEW WOOD CONSTRUCTION (BLOCKING, PLYWOOD, SHIMS, ETC.) SHALL BE LOW VOC.

19. ALL PARTITION THICKNESS DIMENSIONS, MASONRY AND STUD, ARE ACTUAL, UNO. ALL SECTION AND DETAIL DIMENSIONS ARE ACTUAL, U.N.O.

20. REMOVE FROM BUILDING SITE AS IT ACCUMULATES, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OF THESE ITEMS OFF SITE IN ACCORDANCE WITH WASTE MANAGEMENT AND DISPOSAL REQUIREMENTS.

21. DO NOT SCALE DRAWINGS.

22. "N.I.C." INDICATES NOT IN CONTRACT.

CONSTRUCTION DRAWINGS

TEMPERED FLOAT GLASS

TIME CLOSE AFTER DE-ENERG

TOILET TISSUE DISPENSER

UNLESS OTHERWISE NOTED

UNDER VOLTAGE RELAY

VINYL COMPOSITION TILE

WATTHOUR DEMAND METER

WATER TREATMENT PLANT

WIDE FLANGE (BEAM)

PROJECT NO. DRAWING NUMBER: NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 17001 415 Mount Pleasant Road, Pittsburgh, PA 15214 11-13-2019 SCALE D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS 12" = 1'-0" DRAWN BY LRW ABBREVIATIONS, SYMBOLS AND GENERAL NOTES SHEET NUMBER: CHECKED BY

OWNER

HOUSING AUTHORITY OF

THE CITY OF PITTSBURGH

DEVELOP & MODERNIZATION DEPT

100 ROSS STREET

PITTSBURGH, PA 15219

PHONE: 412-456-5020

PROJECT TEAM RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367

PHONE: 724-255-7985

Contact: Lizette Rios-Williams

lizette@rioswilliamsarchitects.com

D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560

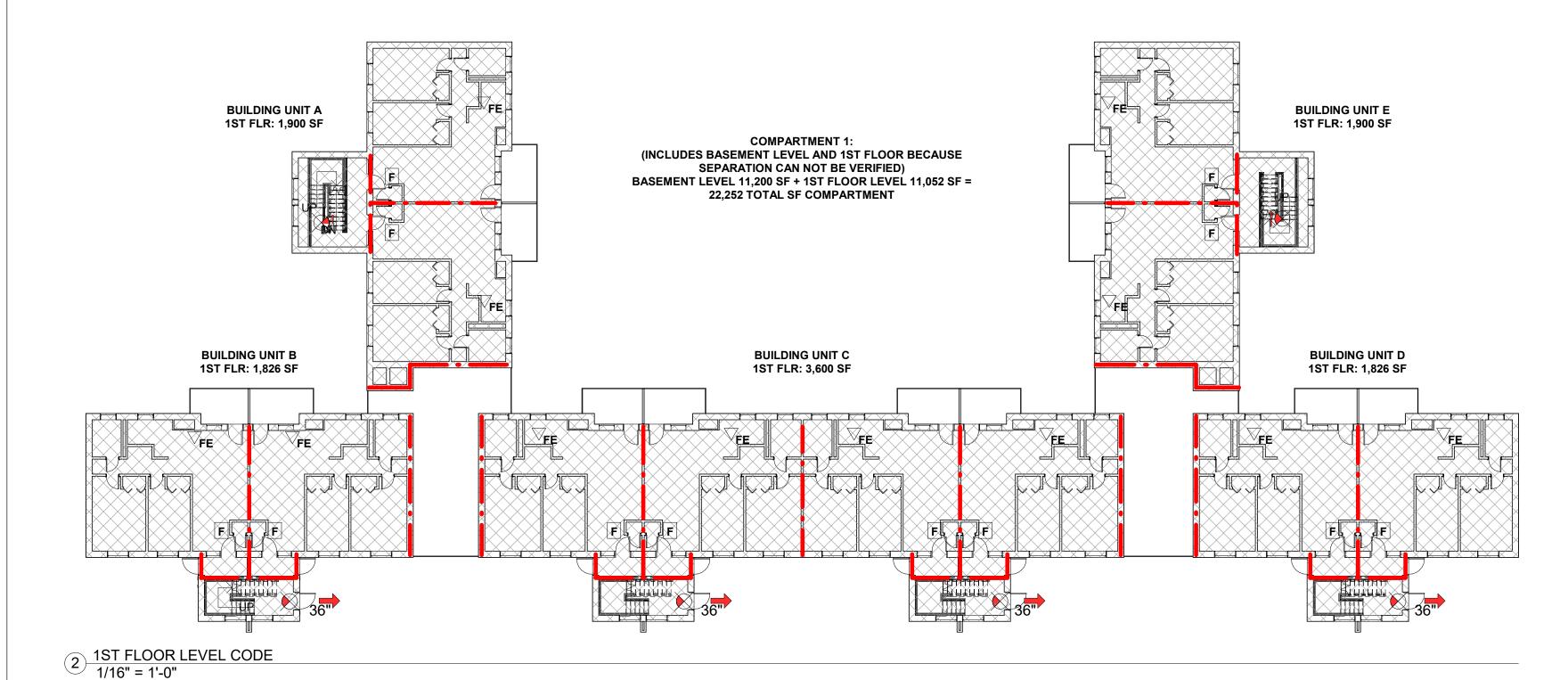
REVISIONS

BY DATE DESCRIPTION

2 OF 18

LRW

BASEMENT CODE ·· 1/16" = 1'-0"



CITY OF PITTSBURGH PLI PERMIT NO.: 16-OCC-00806

GENERAL BUILDING DATA

BUILDING ADDRESS: 415 MOUNT PLEASANT ROAD

PARCEL ID: 0077-D-00046-0000-00

COUNTY: ALLEGHENY

ZONING DISTRICT: R1D-L SINGLE UNIT DETACHED RESIDENTIAL

POLITICAL SUBDIVISION: COUNCIL DISTRICT #1

MUNICIPALITY: 26TH WARD - PITTSBURGH

APPLICATION TYPE: RENOVATION

USE AND OCCUPANCY: R-2 RESIDENTIAL

CONSTRUCTION TYPE: IIB

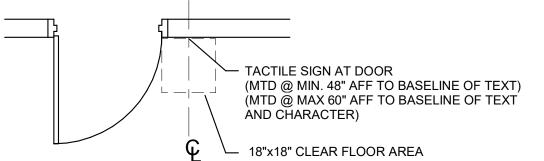
TOTAL BUILDING NSF: 44,356 SF 1ST, 2ND, 3RD FLR RESIDENTIAL = 33,156 SF BASEMENT EDUCATIONAL = 11,200 SF

RENOVATION: REPLACEMENT OF STAIR TOWERS EXTERIOR AND INTERIOR DOORS AND FIRE ALARM UPGRADE

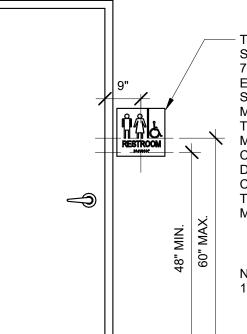
TOTAL PROJECT RENOVATION AREA: +/- 1,500 SF

TACTILE SIGNAGE LOCATION DIAGRAM

NOTE: ALL SIGNAGE SHALL COMPLY WITH IBC 2009 AND 2009 ICC/ANSI A117.1 FOR TYPE, SIZE, AND LOCATION.



3 ADA TACTILE SIGN LOCATION PLAN



TACTILE SIGNAGE SHALL COMPLY WITH IBC 2009 SECTION 1011.3 AND ICC ANSI A117.1-2009 SECTION 703. GC SHALL PROVIDE TACTILE SIGNAGE AT ALL EXIT DOORS AND RESTROOMS. (HEIGHT: TACTILE SIGNAGE SHALL BE 48 INCHES MIN. A.F.F., MEASURED TO THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60 INCHES MAX. A.F.F., MEASURED TO THE BASELINE OF THE HIGHEST CHARACTER. SIGN SHALL BE ALONGSIDE THE DOOR AT LATCH SIDE. SIGNS CONTAINING CHARACTERS AND BRAILLE SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA OF 18 IN. MIN. X 18 IN. MIN., CENTERED ON THE RAISED CHARACTERS.)

REFER TO TACTILE SIGNAGE DETAILS 12/A-5 FOR SIGN TYPES AND THE DOOR SCHEDULE ON SHEET A-06 FOR SIGN LOCATIONS

ADA TACTILE SIGN LOCATION

4 ELEVATION 1/2" = 1'-0"

SYMBOL KEY:



MEANS OF EGRESS CAPACITY - DOOR(S)/DOOR GROUPING/STAIRS

NUMBER OUTSIDE ARROW - TOTAL INCHES OF EGRESS WIDTH

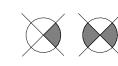
RATED PARTITION LEGEND

EXTERIOR WALLS -0 RATING PER TABLE 601 & 602 AND SECTION 704.8

FIRE BARRIERS (SECTION 706) -

2-HOUR RESISTANCE RATING-

1-HOUR FIRE RESISTANCE RATING-



EXIT SIGNS

FIRE ALARM PULL STATION



EXTINGUISHER

CONSTRUCTION DRAWINGS

415 Mount Pleasant Road, Pittsburgh, PA 15214

BASEMENT AND FIRST FLOOR CODE SHEET

LIFE SAFETY CODE INFORMATION

Governing Authorities

PLUMBING CODE:

ENERGY CODE:

All work will be completed in accordance with the City of Pittsburgh Department of Planning

A. City of Pittsburgh Planning License Inspection Department (PLI) B. City of Pittsburgh Fire Bureau – Fire Zone District 1

Applicable Codes, Ordinances, Standards, and Edition

 BUILDING CODE: International Existing Building Code, 2009 Edition EXISTING CODE: International Existing Building Code, 2009 Edition.

 MECHANICAL CODE: International Mechanical Code, 2009 Edition

Allegheny County Plumbing Code

 ELECTRICAL CODE: National Electric Code (NEC) 2011, NFPA 70, 2008 Edition.

 FIRE CODE: International Fire Code, 2009 Edition.

 ACCESSIBILITY CODE: Accessible and Usable Buildings and Facilities,

> ICC / ANSI A117.1, 2012 Edition. ADAAG, American's with Disabilities Act (ADA), Federal Register Accessibility Guidelines.

International Plumbing Code, 2009 Edition

 OTHER STANDARDS: American National Standards Institute (ANSI), American Society of Mechanical Engineers (ASME), American Society for Testing and Materials (ASTM), American Society of Heating, Refrigerating and Air-

Conditioning Engineers (ASHRAE), National Fire Protection Association (NFPA), Underwriters Laboratories (UL),

Occupational Safety and Health Administration (OSHA), and other agency standards as referenced by the IBC.

International Energy Conservation Code, 2009 Edition.

Occupancy Compliance Alternatives

Occupancy Application Permit No: 16-OCC-0086

- Basement 1-story: Certificate of Occupancy on file with PLI; re-certification not required Residential 3-story: Certification required;
- o Compliance Alternative Method Performance Compliance method as outlined in the IBC 2009 Chapter 34, Section 3412

The evaluation process utilizes Table 3412.7 Summary Sheet-Building Code. The evaluation is divided into three categories, Fire Safety, Means of Egress and General Safety. Each category includes 19 parameters which reference other sections of the code. Each parameter has specific formulas or categories that need to be evaluated to determine the value that is then entered in the summary sheet. After the appropriate data is entered, each category is tallied separately. The final step of the process requires that the Mandatory Safety Score, per Table 3412.8, be subtracted from the building scores from each category in the summary sheet, Table 3412.7. Where the final score for any category is less than zero, the building is not in compliance with the requirements of this section. If the final score equals or is greater than zero, the building is in compliance.

For the 3- story Residential sections of this building to comply, the existing exit stair tower enclosures (all vertical enclosures) within the building must be separated from the occupied spaces by a 1-hour rated enclosures. To accomplish this the existing apartment entry doors and windows must be replaced with fire-rated system to maintain the required separation rating. This alteration would change the parameter value for 3412.6.6 Vertical Openings to 2 for all 3 safety categories bringing the tally to a positive number thus bringing the final scores greater than zero. Below is the Summary

Existing occupancy: R-2 (RESIDENTIAL)	Propos	ed occupancy: R-2 (RESID	DENTIAL)
Year building was constructed: 1959	Numbe	er of stories: 3 Heigh	nt in feet:30
Type of construction: IIB		er floor: 11,052 SF	OPENIS TO WES
Percentage of open perimeter increase:%			
Completely suppressed: YesNo	X Corrid	or wall rating: N/A	
Compartmentation: Yes X No		ed door closers: Yes	XNo
Fire-resistance rating of vertical opening enclosures:	1 hr required		
Type of HVAC system: Individual unit - Ge		serving number of floors:	1
Automatic fire detection: YesNo>		and location: smoke detector	ors per unit
Fire alarm system: Yes X No	AND EDICA	10-111	
		N/A	
		ends:Yes	
Adequate exit routes: Yes X No Maximum exit access travel distance: 132 FT	Dead e		NoX
Means of egress emergency lighting: Yes X	Elevalo		X No
Means of egress emergency lighting: 1 es	No Muxeu	occupancies.	140
SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (G
SAFETY PARAMETERS 3412.6.1 Building Height	1	1	1
3412.6.1 Building Height 3412.6.2 Building Area		1 10.8	1 10.8
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation	1 10.8	1	1
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations	1 10.8 18.9 0 0	1 10.8 18.9	1 10.8 18.9 0 0
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation	1 10.8 18.9 0 0 2	1 10.8 18.9 0 0 2	1 10.8 18.9 0 0 2
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls	1 10.8 18.9 0 0 2	1 10.8 18.9 0 0 2 5	1 10.8 18.9 0 0 2 5
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection	1 10.8 18.9 0 0 2	1 10.8 18.9 0 0 2 5 6	1 10.8 18.9 0 0 2 5 6
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems	1 10.8 18.9 0 0 2 5 6	1 10.8 18.9 0 0 2 5	1 10.8 18.9 0 0 2 5
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control	1 10.8 18.9 0 0 2 5 6	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 2 5 6 0
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems	1 10.8 18.9 0 0 2 5 6	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 2 5 6 0 0
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control 3412.6.11 Means of Egress Capacity	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 2 5 6 0 0 0 2	1 10.8 18.9 0 0 2 5 6 0 0 2 5 6
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control 3412.6.11 Means of Egress Capacity 3412.6.12 Dead Ends 3412.6.13 Maximum Exit Access Travel Distance 3412.6.14 Elevator Control	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control 3412.6.11 Means of Egress Capacity 3412.6.12 Dead Ends 3412.6.13 Maximum Exit Access Travel Distance	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2 1	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2 1
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control 3412.6.11 Means of Egress Capacity 3412.6.12 Dead Ends 3412.6.13 Maximum Exit Access Travel Distance 3412.6.14 Elevator Control 3412.6.15 Means of Egress Emergency Lighting 3412.6.16 Mixed Occupancies	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 0 2 5 6 0 0 0 2 6.8 -2 1	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2 1
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control 3412.6.11 Means of Egress Capacity 3412.6.12 Dead Ends 3412.6.13 Maximum Exit Access Travel Distance 3412.6.14 Elevator Control 3412.6.15 Means of Egress Emergency Lighting 3412.6.16 Mixed Occupancies 3412.6.17 Automatic Sprinklers	1 10.8 18.9 0 0 2 5 6 0 	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2 1	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2 1
3412.6.1 Building Height 3412.6.2 Building Area 3412.6.3 Compartmentation 3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5 Corridor Walls 3412.6.6 Vertical Openings 3412.6.7 HVAC Systems 3412.6.8 Automatic Fire Detection 3412.6.9 Fire Alarm Systems 3412.6.10 Smoke Control 3412.6.11 Means of Egress Capacity 3412.6.12 Dead Ends 3412.6.13 Maximum Exit Access Travel Distance 3412.6.14 Elevator Control 3412.6.15 Means of Egress Emergency Lighting 3412.6.16 Mixed Occupancies	1 10.8 18.9 0 0 2 5 6 0	1 10.8 18.9 0 0 0 2 5 6 0 0 0 2 6.8 -2 1	1 10.8 18.9 0 0 2 5 6 0 0 0 2 6.8 -2 1

Building score — total value * * * *No applicable value to be inserted

Mandatory Safety Score for Occupancy R:

(MGS) 34 Evaluation Formula: FS-MFS = GS-MGS= 35.7 -17= 18.7 48.5 - 34 = 14.545.5 - 34 = 11.5

RESULTS: Score is GREATER than zero, therefore, this building is in compliance.

ME = MEANS OF EGRESS GS = GENERAL SAFETY

MFS = MANDATORY FIRE SAFETY

FS = FIRE SAFETY MME = MANDATORY MEANS OF EGRESS MGS = MANDATORY GENERAL SAFETY

PROJECT NO. DRAWING NUMBER: NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 17001 11-13-2019 SCALE D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS As indicated DRAWN BY

G-02 LRW SHEET NUMBER: CHECKED BY 3 OF 18 LRW

OWNER HOUSING AUTHORITY OF THE CITY OF PITTSBURGH

DEVELOP & MODERNIZATION DEPT

100 ROSS STREET

PITTSBURGH, PA 15219

PHONE: 412-456-5020

PROJECT TEAM

RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985

Contact: Lizette Rios-Williams

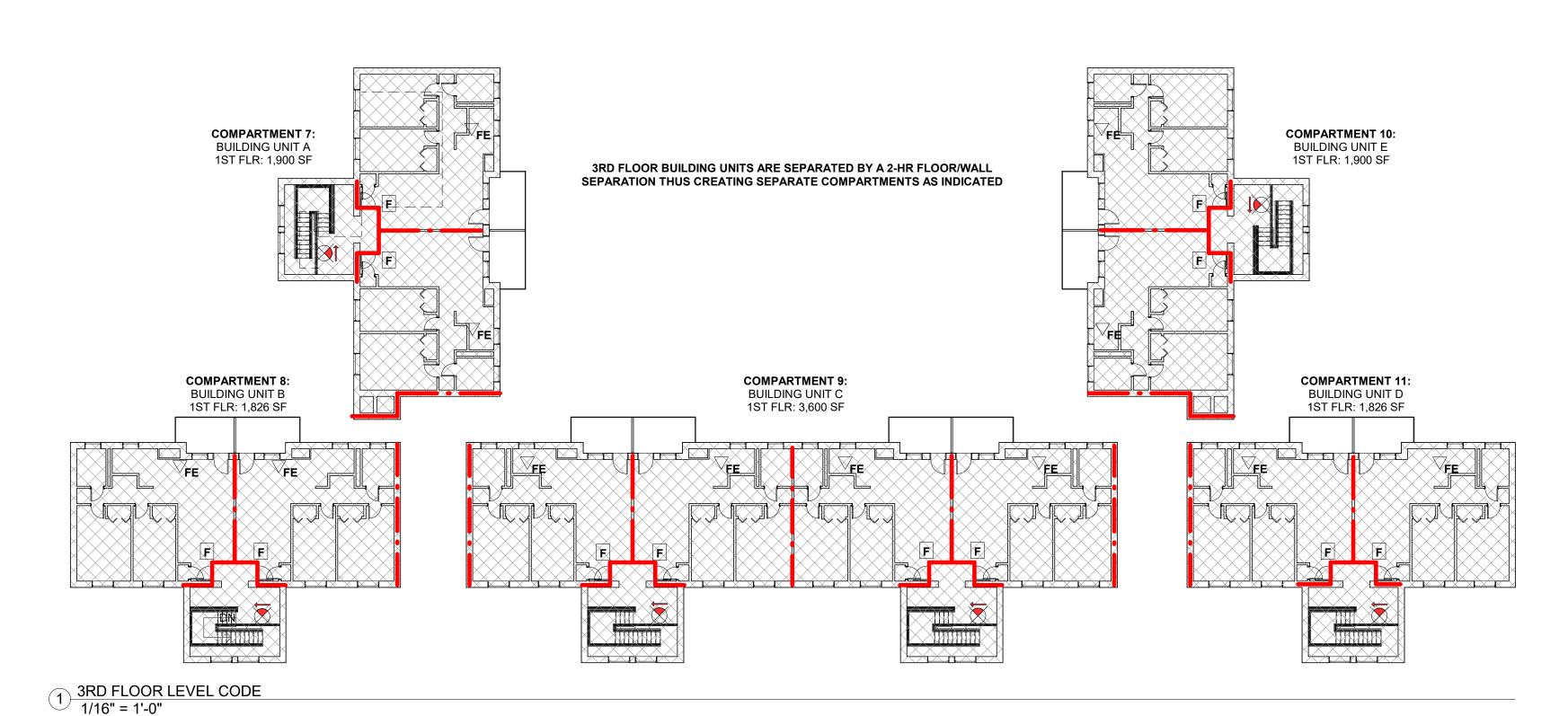
lizette@rioswilliamsarchitects.com

D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560

BY DATE DESCRIPTION **REVISIONS**



2 2ND FLOOR LEVEL CODE 1/16" = 1'-0"



PROJECT TEAM

D&D ENGINEERING, INC.

35 WILSON STREET

ETNA TECHNICAL CENTER, SUITE 102

PITTSBURGH, PA 15223

PHONE: 412-784-1560

BY DATE DESCRIPTION

REVISIONS

RIOS WILLIAMS ARCHITECTS, P.C.

200 ROSEWOOD COURT

VENETIA, PA 15367

PHONE: 724-255-7985

Contact: Lizette Rios-Williams

lizette@rioswilliamsarchitects.com

OWNER

HOUSING AUTHORITY OF

THE CITY OF PITTSBURGH

DEVELOP & MODERNIZATION DEPT

100 ROSS STREET

PITTSBURGH, PA 15219

PHONE: 412-456-5020

Key Code Determinations The code analysis below assisted in the evaluation of each safety parameter noted in the Summary Sheet Table 3412.7.

Code Reference International Existing Building Code (IEBC) 2009 Chapter 2 – Classification of Work Section 404 Level 2 International Building Code (IBC) 2009 Chapter 3 – Use and Occupancy Classifications Occupancy Classification: 2. R-2 Residential Group Section 310.1 Chapter 4 – Special Detailed Requirements Based on Use and Occupancy 1. Groups I-1, R-1, R-2, R-3 Section 420 a. Separation Walls comply with Section 709 b. Horizontal Separation comply with Section 712 Chapter 5 – General Building Heights and Areas (86,350 sf) Table 503 Allowable Height and Building Area: Occupancy Group R-2 (Type II-B Construction) A. Allowed - Stories (4); Height (55'-0"); Area (16,000 sf) / story B. Actual: a. Stories (3); Height (28'-0"); b. First Floor Total Area (11,052 sf) / story c. Second Floor Total Area (11,550 sf) / story d. Third Floor Total Area (11,169 sf) / story Section 504 Height Increase A. Automatic Sprinkler System Increase Section 504.2 a. N/A - Building Not Equipped with Sprinkler System

Building Area Modifications Section 506 A. Frontage Increase – Not Required Section 506.2.1 B. Sprinkler Increase - N/A Section 506.3 Section 508 4. Mixed Use and Occupancy A. Incidental Accessory Occupancies Table 508.2.5 a. N/A B. Separation Section 508.3.3 b. Required Separation of Occupancy Section 508.4

i. R-2 requires 2-hour separation for Non-Sprinklered Bldg

Chapter 6 – Types of Construction Construction Type:

1. Type II-B – Noncombustible Section 602.2 Fire-Resistance Rating Requirements:

Ratings for Building Elements **Building Element** Type II-B Structural Frame 0 hour Bearing Walls Exterior 0 hours 0 hour Nonbearing Walls Exterior 0 hours Nonbearing Walls Interior 0 hours Floor Construction 0 hours Roof Construction 0 hours

Chapter 7 - Fire Rated Construction **Fire Barriers** Section 707 Section 707.1 Fire Resistance Rating a. Shaft Enclosures per Section 708.4 ii. 4 stories or more = 2 hour iii. 3 stories or less = 1 hour Section 1022.1 b. Exit Enclosures 4 stories or more = 2 hour ii. 3 stories or less = 1 hour 2. Fire Resistance Rating Fire Barriers and Table 707.3.9 a. R = 2 hours Section 709 Fire Partitions Walls Separating dwelling units in the same building a. Fire-Resistance Rating = 1 hour Section 709.3 **Horizontal Assemblies** Section 711 2. Floors Separating dwelling units in the same building a. Fire-Resistance Rating = 1 hour Section 712.3 Section 715 Opening Protectives Table 715.4 Fire Door & Fire Shutter Fire Protection Ratings a. Fire Walls/Barriers > 1hr = min. 1 - 1/2 hour rating b. Fire Barriers of 1 hour:

> ii. Other Fire Barriers = min. 3/4 hour rating c. Fire Partitions: . Corridor walls of 1 hour = min. 1/3 hour rating ii. Other Fire partitions = min. 34 hour rating 2. Fire Window Assembly Fire Protection Ratings Table 715.5 a. Interior Walls:

i. Shaft, exit enclosures and exit passageways = min. 1 hour rating

i. Fire barriers > 1 hour = Not Permitted (NP) ii. Fire barriers < 1 hour = 3/4 hour rating

Chapter 8 – Interior Finishes

Finish Classification: Table 803.9 Group R-2 (Non-Sprinklered): Exit Enclosure and Exit Passageways Class B Class B Corridors Rooms and Enclosed Spaces Class C

Chapter 9 - Fire Protection Systems Automatic Sprinkler System: 1. Group R-2: Required

Section 903 Section 903.2.8 Portable Fire Extinguishers: Group R-2: Required Actual: Provided

Section 906 Section 906.1

Fire Alarm and Detection Systems:

Section 907 Section 907.2.9

 Group R-2: Required at dwelling units located 3 stories or more

above lowest level of discharge Actual: Provided

Chapter 10 - Means of Egress

Occupant Load: Section 1004 1. Basement = 236 occupants total Table 1004.1.1 a. Education

ii. Accessory Storage/Mech = 1,288 sf / 300 = 5 occupants Building Area A a. Residential = 29 occupants total

i. First Floor = 1,900 sf / 200 = 9.5 occupantsii. Second Floor = 1,900 sf / 200 = 9.5 occupants iii. Third Floor = 1,884 sf / 200 = 9.4 occupants

Classrooms = 4,615 sf / 20 net = 231 occupants

Building Area B a. Residential = 28 occupants total i. First Floor = 1.826 sf / 200 = 9.1 occupantsii. Second Floor = 1,858 sf / 200 = 9.3 occupants

iii. Third Floor = 1,858 sf / 200 = 9.3 occupants 4. Building Area C (Contains 2 Separate Areas) a. Residential = 28 each area occupants total

i. First Floor = 3,600 sf / 200 = 18 occupants (9 occupants per area) ii. Second Floor = 3,685 sf / 200 = 19 occupants (9.5 occupants per area) iii. Third Floor = 3,685 sf / 200 = 18 occupants (9 occupants per area) Building Area D

 a. Residential = 28 occupants total i. First Floor = 1.826 sf / 200 = 9.1 occupantsii. Second Floor = 1,858 sf / 200 = 9.3 occupants

iii. Third Floor = 1,858 sf / 200 = 9.3 occupants 6. Building Area E a. Residential = 29 occupants total

i. First Floor = 1,900 sf / 200 = 9.5 occupants ii. Second Floor = 1,900 sf / 200 = 9.5 occupants iii. Third Floor = 1,884 sf / 200 = 9.4 occupants

Egress Width: Section 1005 Stairways = Occupants x 0.3 inches Other Egress Components = Occupants x 0.2 inches

 Building Area A = 29 occ. x 0.3 = 8.7" (Min. 36") Actual = 36" 2. Building Area B = 28 occ. x 0.3 = 8.4" (Min. 36") Actual = 36"

3. Building Area C = 28 occ. x 0.3 = 8.4" (Min. 36") Actual = 36" Building Area D = 28 occ. x 0.3 = 8.4" (Min. 36") Actual = 36"

 Building Area E = 29 occ. x 0.3 = 8.7" (Min. 36") Actual = 36"

 Basement = 236/2 occ. x 0.2 = 23.6" (Min. 44") Actual = Each door width 36" (8 total egress doors), corridors (min. 48") Section 1009

 Required Width = 36 inches Section 1009.1/Excpt 1 2. Actual = 36 inches Section 1014 Exit Access: Section 1014.3 Common Path of egress travel = 75 ft

Exit and Exit Access Doorways: Section 1015 Section 1015/Table 1021.1 Basement = Minimum two exits required 2. Actual = Eight Table 1015.1 3. Spaces with One Exit or Exit Access Doorway

a. R-2 < 10 occupants = Minimum One exit required b. Actual = One Section 1016 Exit Access Travel Distance: 1. Group R Travel Distance = 200 Feet Table 1016.1 2. Group E Travel Distance = 200 Feet Table 1016.1

1. Fire Resistance Rating (w/o Sprinklers) = 1 hr Table 1018.1 **Number of Exits and Continuity:** Table 1021.1 Min. number of exits for occ. load(1-500) = 2hr Stories with One Exit: Table 1021.2

First Story or Basement: R = 10 max occupants and 75 feet travel distance 1. Second Story: R-2 = 4 max dwelling unit and 50 feet travel distance 2. Third Story: R-2 = 4 max dwelling unit and 50 feet travel distance

SYMBOL KEY:

MEANS OF EGRESS CAPACITY - DOOR(S)/DOOR GROUPING/STAIRS

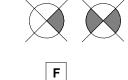
NUMBER OUTSIDE ARROW - TOTAL INCHES OF EGRESS WIDTH

RATED PARTITION LEGEND

EXTERIOR WALLS -0 RATING PER TABLE 601 & 602 AND SECTION 704.8

FIRE BARRIERS (SECTION 706) -2-HOUR RESISTANCE RATING-

1-HOUR FIRE RESISTANCE RATING-



FIRE ALARM PULL STATION

FE

17001

FIRE EXTINGUISHER

EXIT SIGNS

PROJECT NO.

SCALE

DRAWN BY

LRW

CHECKED BY

LRW

11-13-2019

As indicated

G-03

SHEET NUMBER: 4 OF 18

DRAWING NUMBER:

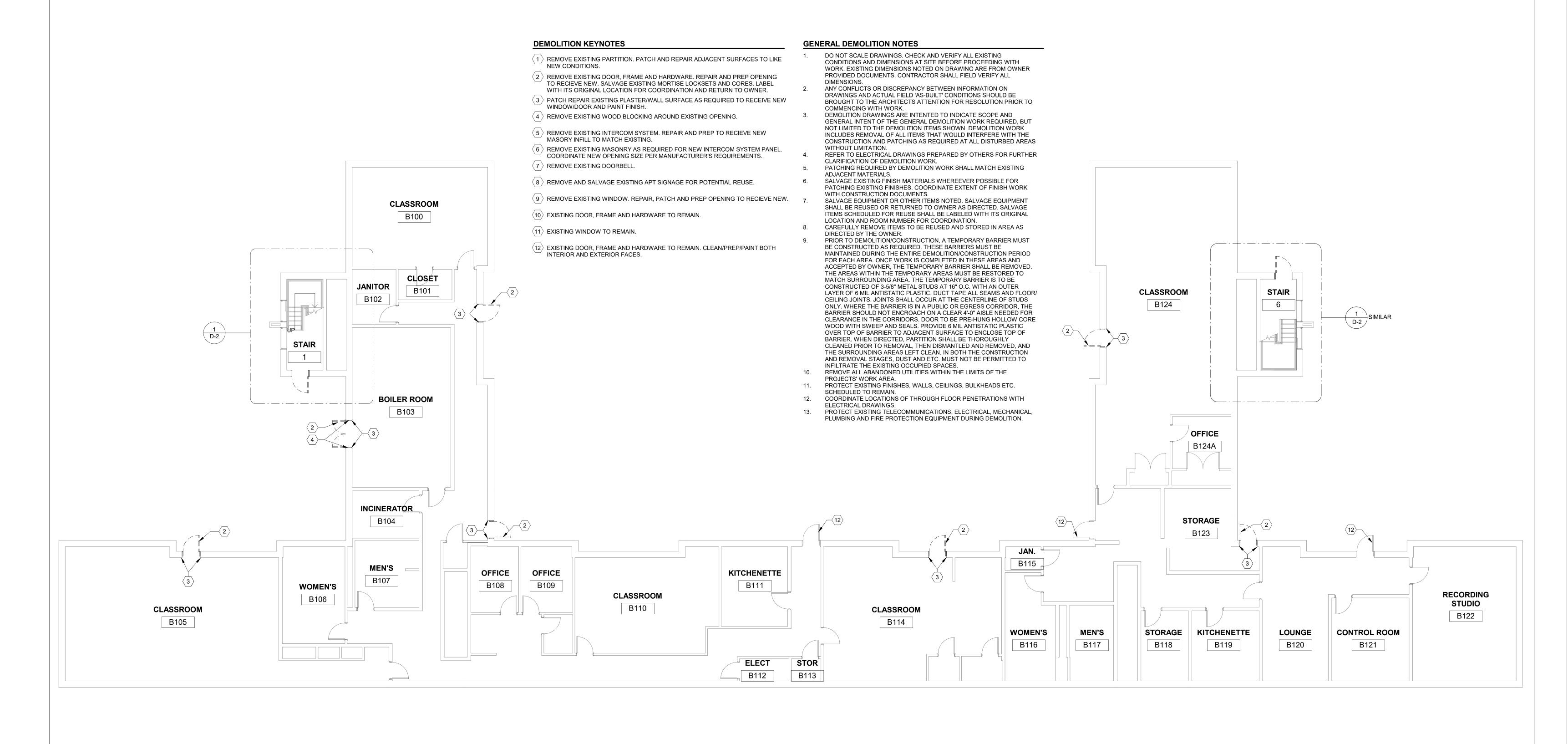
CONSTRUCTION DRAWINGS

NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 415 Mount Pleasant Road, Pittsburgh, PA 15214

D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS

SEAL

SECOND AND THIRD FLOOR CODE SHEET

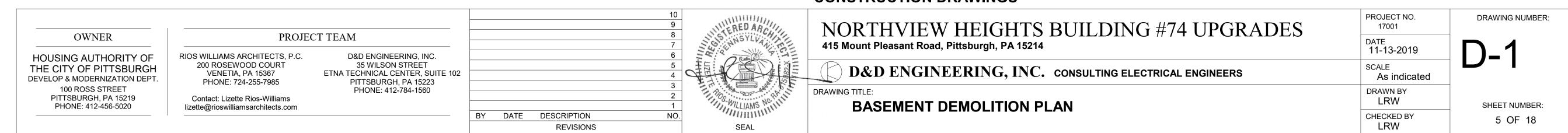


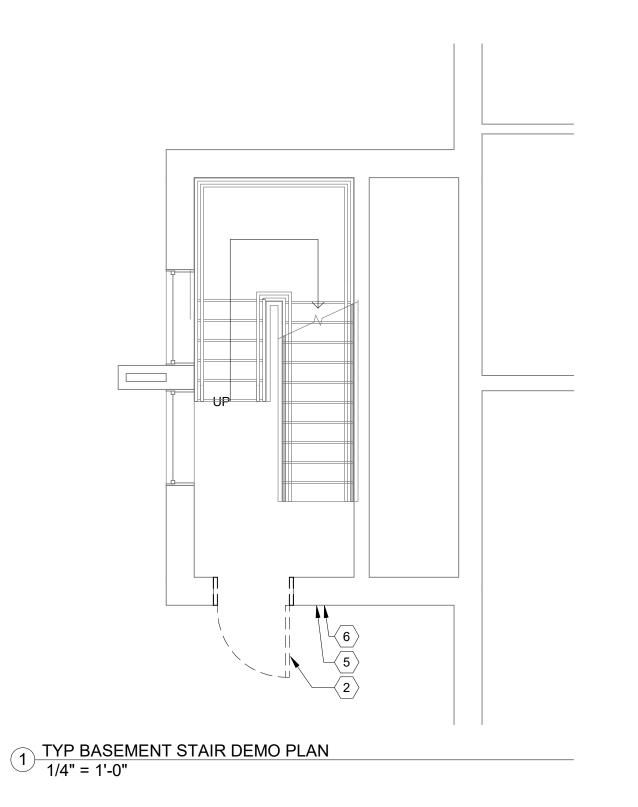
1 BASEMENT DEMO

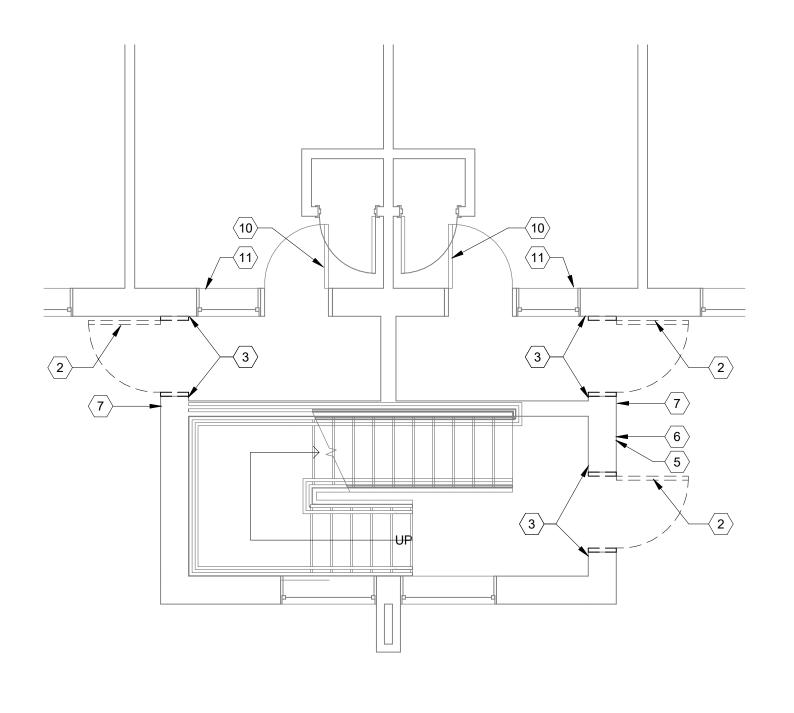
DEMOLITION PLAN LEGEND

DEMOLITION / REMOVE

CONSTRUCTION DRAWINGS





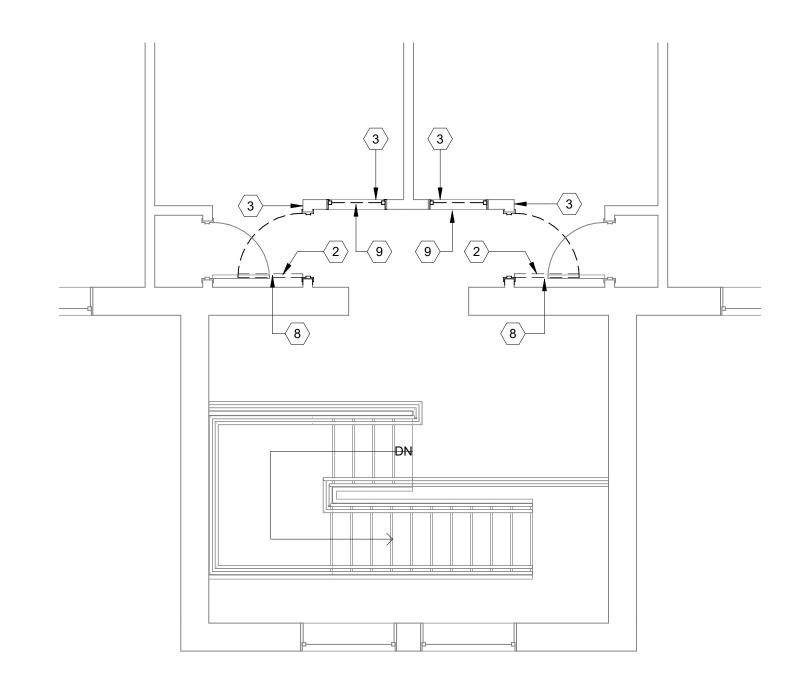


TYP 1ST FLR @ GRADE DEMOLITION

2 PLAN 1/4" = 1'-0" TYP 1ST & 2ND FLR APARTMENT ENTRY

DOOR DEMOLITION PLAN

1/4" = 1'-0"



TYP 3RD FLR APARTMENT ENTRY DOOR

DEMOLITION PLAN

1/4" = 1'-0"

DEMOLITION PLAN LEGEND

DEMOLITION / REMOVE

DEMOLITION KEYNOTES

- (1) REMOVE EXISTING PARTITION. PATCH AND REPAIR ADJACENT SURFACES TO LIKE NEW CONDITIONS.
- 2 REMOVE EXISTING DOOR, FRAME AND HARDWARE. REPAIR AND PREP OPENING TO RECIEVE NEW. SALVAGE EXISTING MORTISE LOCKSETS AND CORES. LABEL WITH ITS ORIGINAL LOCATION FOR COORDINATION AND RETURN TO OWNER.
- 23 PATCH REPAIR EXISTING PLASTER/WALL SURFACE AS REQUIRED TO RECEIVE NEW WINDOW/DOOR AND PAINT FINISH.
- $\langle 4 \rangle$ REMOVE EXISTING WOOD BLOCKING AROUND EXISTING OPENING.
- (5) REMOVE EXISTING INTERCOM SYSTEM. REPAIR AND PREP TO RECIEVE NEW MASORY INFILL TO MATCH EXISTING.
- (6) REMOVE EXISTING MASONRY AS REQUIRED FOR NEW INTERCOM SYSTEM PANEL COORDINATE NEW OPENING SIZE PER MANUFACTURER'S REQUIREMENTS.
- 7 REMOVE EXISTING DOORBELL.
- 8 REMOVE AND SALVAGE EXISTING APT SIGNAGE FOR POTENTIAL REUSE.
- 9 REMOVE EXISTING WINDOW. REPAIR, PATCH AND PREP OPENING TO RECIEVE NEW.
- $\langle 10 \rangle$ EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- $\langle 11 \rangle$ EXISTING WINDOW TO REMAIN.
- (12) EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. CLEAN/PREP/PAINT BOTH INTERIOR AND EXTERIOR FACES.

GENERAL DEMOLITION NOTES

- 1. DO NOT SCALE DRAWINGS. CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. EXISTING DIMENSIONS NOTED ON DRAWING ARE FROM OWNER PROVIDED DOCUMENTS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- 2. ANY CONFLICTS OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD 'AS-BUILT' CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WITH WORK.
- 3. DEMOLITION DRAWINGS ARE INTENTED TO INDICATE SCOPE AND GENERAL INTENT OF THE GENERAL DEMOLITION WORK REQUIRED, BUT NOT LIMITED TO THE DEMOLITION ITEMS SHOWN. DEMOLITION WORK INCLUDES REMOVAL OF ALL ITEMS THAT WOULD INTERFERE WITH THE CONSTRUCTION AND PATCHING AS REQUIRED AT ALL DISTURBED AREAS WITHOUT LIMITATION.
- 4. REFER TO ELECTRICAL DRAWINGS PREPARED BY OTHERS FOR FURTHER CLARIFICATION OF DEMOLITION WORK.
- 5. PATCHING REQUIRED BY DEMOLITION WORK SHALL MATCH EXISTING ADJACENT MATERIALS.
- 6. SALVAGE EXISTING FINISH MATERIALS WHEREEVER POSSIBLE FOR PATCHING EXISTING FINISHES. COORDINATE EXTENT OF FINISH WORK
- WITH CONSTRUCTION DOCUMENTS.

 7. SALVAGE EQUIPMENT OR OTHER ITEMS NOTED. SALVAGE EQUIPMENT SHALL BE REUSED OR RETURNED TO OWNER AS DIRECTED. SALVAGE
- ITEMS SCHEDULED FOR REUSE SHALL BE LABELED WITH ITS ORIGINAL LOCATION AND ROOM NUMBER FOR COORDINATION.

 CAREFULLY REMOVE ITEMS TO BE REUSED AND STORED IN AREA AS
- CAREFULLY REMOVE ITEMS TO BE REUSED AND STORED IN AREA AS DIRECTED BY THE OWNER.
- PRIOR TO DEMOLITION/CONSTRUCTION, A TEMPORARY BARRIER MUST BE CONSTRUCTED AS REQUIRED. THESE BARRIERS MUST BE MAINTAINED DURING THE ENTIRE DEMOLITION/CONSTRUCTION PERIOD FOR EACH AREA. ONCE WORK IS COMPLETED IN THESE AREAS AND ACCEPTED BY OWNER, THE TEMPORARY BARRIER SHALL BE REMOVED. THE AREAS WITHIN THE TEMPORARY AREAS MUST BE RESTORED TO MATCH SURROUNDING AREA. THE TEMPORARY BARRIER IS TO BE CONSTRUCTED OF 3-5/8" METAL STUDS AT 16" O.C. WITH AN OUTER LAYER OF 6 MIL ANTISTATIC PLASTIC. DUCT TAPE ALL SEAMS AND FLOOR/ CEILING JOINTS. JOINTS SHALL OCCUR AT THE CENTERLINE OF STUDS ONLY. WHERE THE BARRIER IS IN A PUBLIC OR EGRESS CORRIDOR, THE BARRIER SHOULD NOT ENCROACH ON A CLEAR 4'-0" AISLE NEEDED FOR CLEARANCE IN THE CORRIDORS. DOOR TO BE PRE-HUNG HOLLOW CORE WOOD WITH SWEEP AND SEALS. PROVIDE 6 MIL ANTISTATIC PLASTIC OVER TOP OF BARRIER TO ADJACENT SURFACE TO ENCLOSE TOP OF BARRIER. WHEN DIRECTED, PARTITION SHALL BE THOROUGHLY CLEANED PRIOR TO REMOVAL, THEN DISMANTLED AND REMOVED, AND THE SURROUNDING AREAS LEFT CLEAN. IN BOTH THE CONSTRUCTION AND REMOVAL STAGES, DUST AND ETC. MUST NOT BE PERMITTED TO
- INFILTRATE THE EXISTING OCCUPIED SPACES.

 0. REMOVE ALL ABANDONED UTILITIES WITHIN THE LIMITS OF THE
- PROJECTS' WORK AREA.

 11. PROTECT EXISTING FINISHES, WALLS, CEILINGS, BULKHEADS ETC.
- SCHEDULED TO REMAIN.

 12. COORDINATE LOCATIONS OF THROUGH FLOOR PENETRATIONS WITH

ELECTRICAL DRAWINGS.

13. PROTECT EXISTING TELECOMMUNICATIONS, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT DURING DEMOLITION.

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CONSTRUCTION DRAWINGS

OWNER

HOUSING AUTHORITY OF
THE CITY OF PITTSBURGH
DEVELOP & MODERNIZATION DEPT.

100 ROSS STREET
PITTSBURGH, PA 15219

PHONE: 412-456-5020

PROJECT TEAM

RIOS WILLIAMS ARCHITECTS, P.C. D&
200 ROSEWOOD COURT

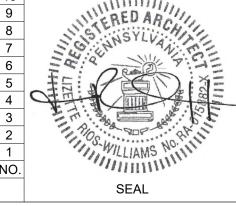
VENETIA, PA 15367

PHONE: 724-255-7985

Contact: Lizette Rios-Williams

lizette@rioswilliamsarchitects.com

D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560 8 7 6 5 4 3 2 1 BY DATE DESCRIPTION NO. REVISIONS



NORTHVIEW HEIGHTS BUILDING #74 UPGRADES

415 Mount Pleasant Road, Pittsburgh, PA 15214

DATE 11-13-2019

SCALE As indicated

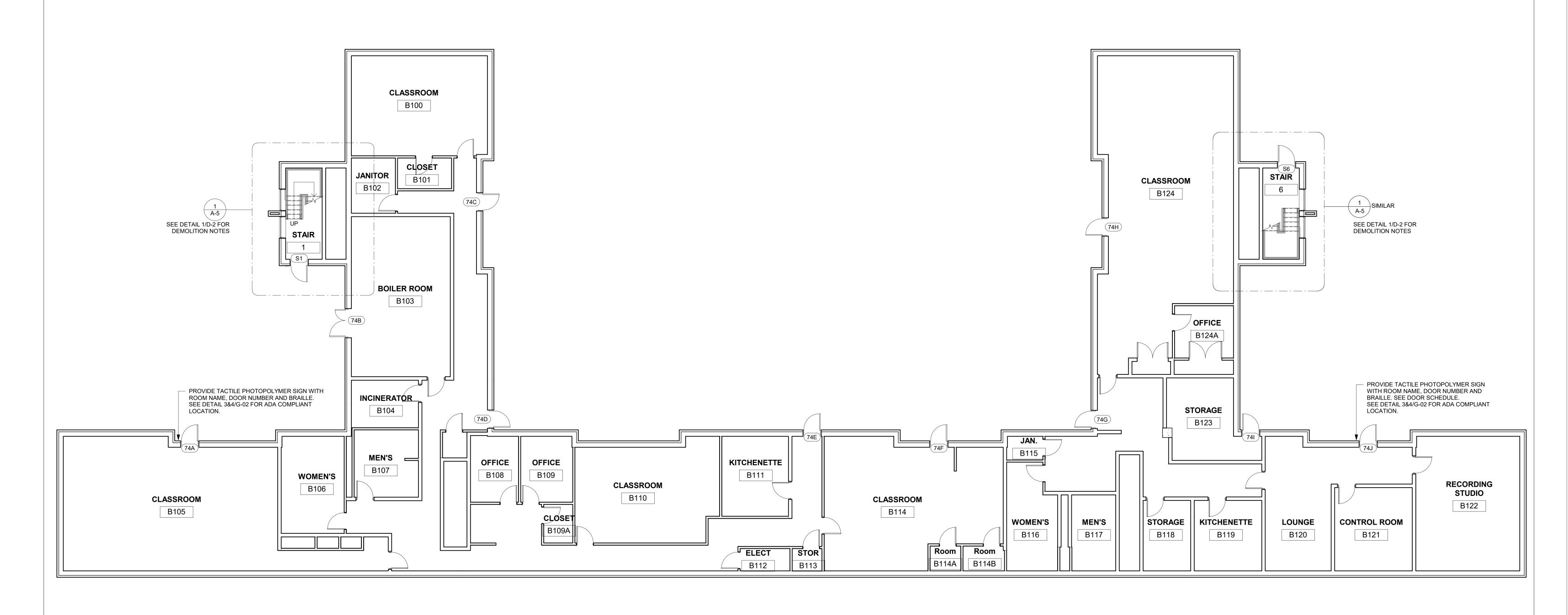
DRAWING TITLE:

TYPICAL ENLARGED DEMOLITION PLANS

DRAWING NUMBER:

SHEET NUMBER:

6 OF 18



1 BASEMENT LEVEL 1/8" = 1'-0"

GENERAL NOTES

- EXISTING CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED. IF DISCREPANCIES OCCUR, REPORT SUCH DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR DECISIONS PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
- ALL MATERIALS SHALL BE NEW UNLESS DESIGNATED SALVAGE FOR REUSE.
- ANY DAMAGE CAUSED BY SELECTIVE DEMOLITION THAT AFFECTS AREAS OUTSIDE OF THE WORK AREA SHALL BE REPAIRED PRIOR TO START OF NEW CONSTRUCTION.
- GC RESPONSIBLE FOR THE PATCH, REPAIR OR REPLACEMENT OF ANY WALL DISMANTLING FOR ACCESS OF ANY MEP SYSTEMS RELATED TO THIS PROJECT WITHIN OR OUTSIDE OF THE WORK AREA.
- GC RESPONSIBLE TO SEAL GAPS OF ALL WALL AND FLOOR PENETRATIONS PER REQUIRED RATING.
- GC TO PROVIDE BLOCKING FOR ALL WALL SUPPORTED ITEMS.
- ALL EXISTING MASONRY DOOR JAMBS SCHEDULED TO RECIEVE NEW DOOR/FRAME SHALL BE PAINTED TO MATCH EXISTING WALL COLOR.
- NEW WALL BASE TO MATCH EXISTING SHALL BE PROVIDED IF DAMAGED DURING REMOVAL/INSTALLATION OF NEW DOOR/FRAME. REPLACE FULL LENGTH TO AN EXISTING SEAM.

CONSTRUCTION PHASING

THE PROPOSED PHASING LISTED BELOW IS INTENTED TO REDUCE THE CONSTRUCTION INTERRUPTION OF THE OCCUPANTS. CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF THE CONSTRUCTION AND SHALL ASSESS THE FEASIBILITY OF THE SUGGESTED OUTLINE BELOW. CONTRACTOR MAY OFFER OTHER SEQUENCING RECOMMENDATIONS TO BE CONSIDERED BY THE OWNER AND ARCHITECT.

ALL MATERIALS SHALL BE ON HAND PRIOR TO COMMENCEMENT OF WORK. EACH DOOR OPENING SHALL BE REMOVAL AND REINSTALLED WITHIN 8-HOUR WORK DAY.

- RESIDENTIAL PHASE
 - A. PHASE 1: COMPLETE THE REMOVAL AND INSTALLATION OF ALL EXTERIOR STAIR TOWER DOORS. PHASE 2: COMPLETE THE REMOVAL AND INSTALLATION OF THE APARTMENT ENTRY DOORS ONE STAIR TOWER AT A TIME AND ONE FLOOR LEVEL AT A TIME.
- BASEMENT PHASE A. PHASE 3: BASEMENT SCOPE OF WORK

CONSTRUCTION DRAWINGS

//.	NORTHVIEW HEIGHTS BUILDING #74 UPGRADES	PROJECT NO. 17001	DRAWING NUMBER:
1	415 Mount Pleasant Road, Pittsburgh, PA 15214	DATE 11-13-2019	Δ_1
11/07582-X	D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS	SCALE As indicated	77 I
	DRAWING TITLE: BASEMENT LEVEL	DRAWN BY LRW	SHEET NUMBER:
		CHECKED BY LRW	7 OF 18

OWNER HOUSING AUTHORITY OF

PHONE: 412-456-5020

THE CITY OF PITTSBURGH **DEVELOP & MODERNIZATION DEPT** 100 ROSS STREET PITTSBURGH, PA 15219

RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985

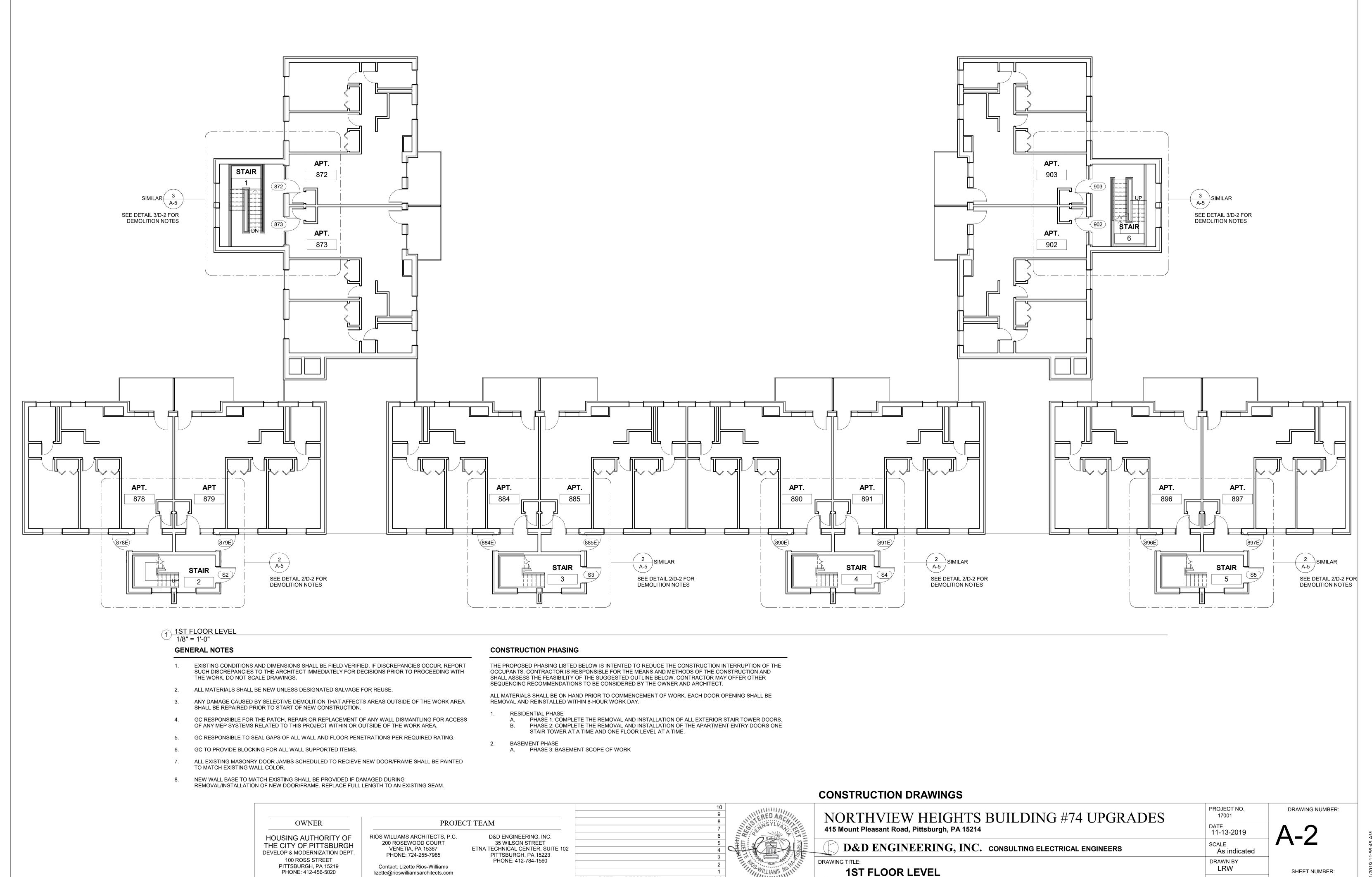
Contact: Lizette Rios-Williams

lizette@rioswilliamsarchitects.com

PROJECT TEAM D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560

BY DATE DESCRIPTION REVISIONS

SEAL



BY DATE DESCRIPTION

REVISIONS

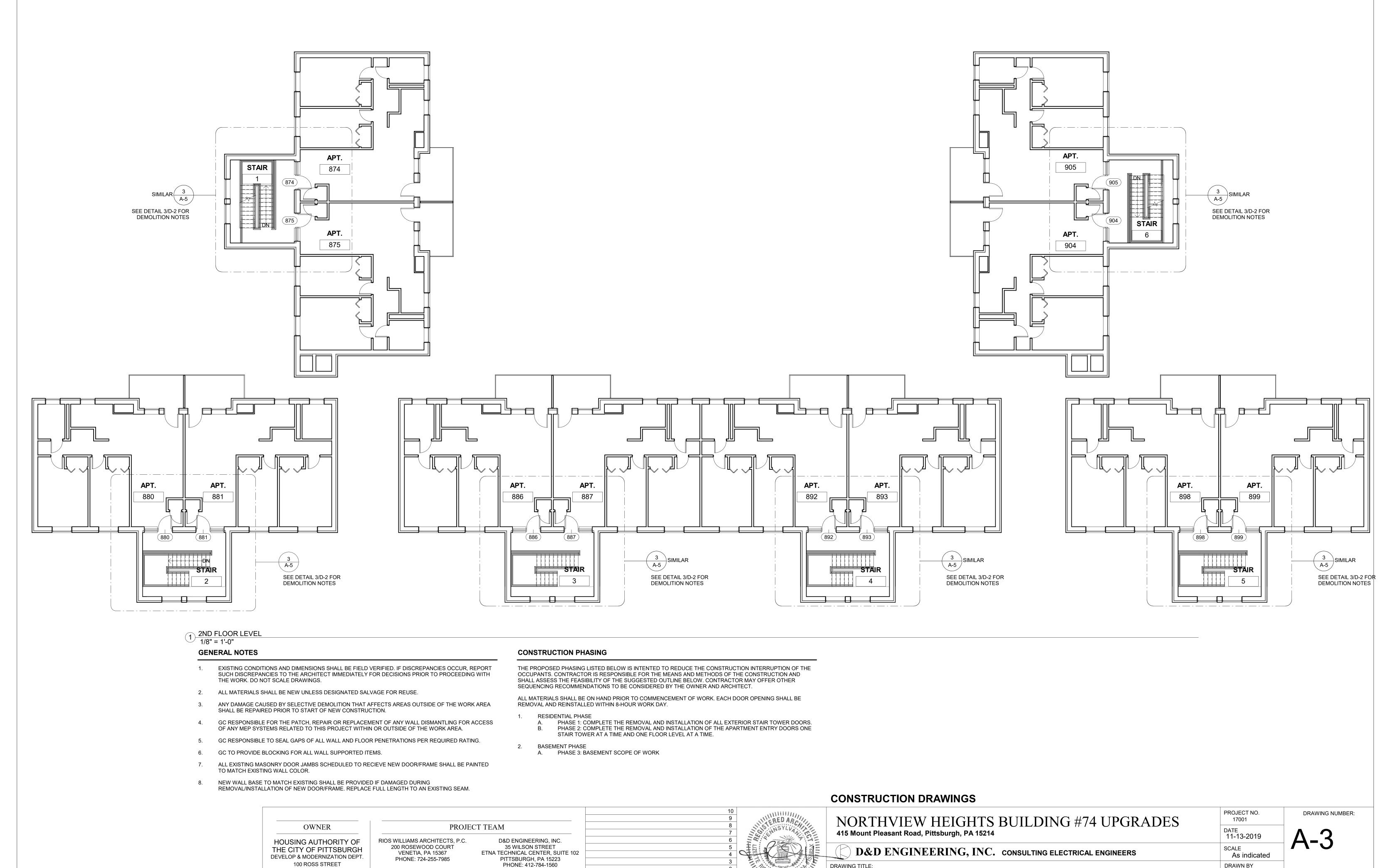
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8 OF 18

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BY DATE DESCRIPTION

REVISIONS

2ND FLOOR LEVEL

PITTSBURGH, PA 15219

PHONE: 412-456-5020

Contact: Lizette Rios-Williams

lizette@rioswilliamsarchitects.com

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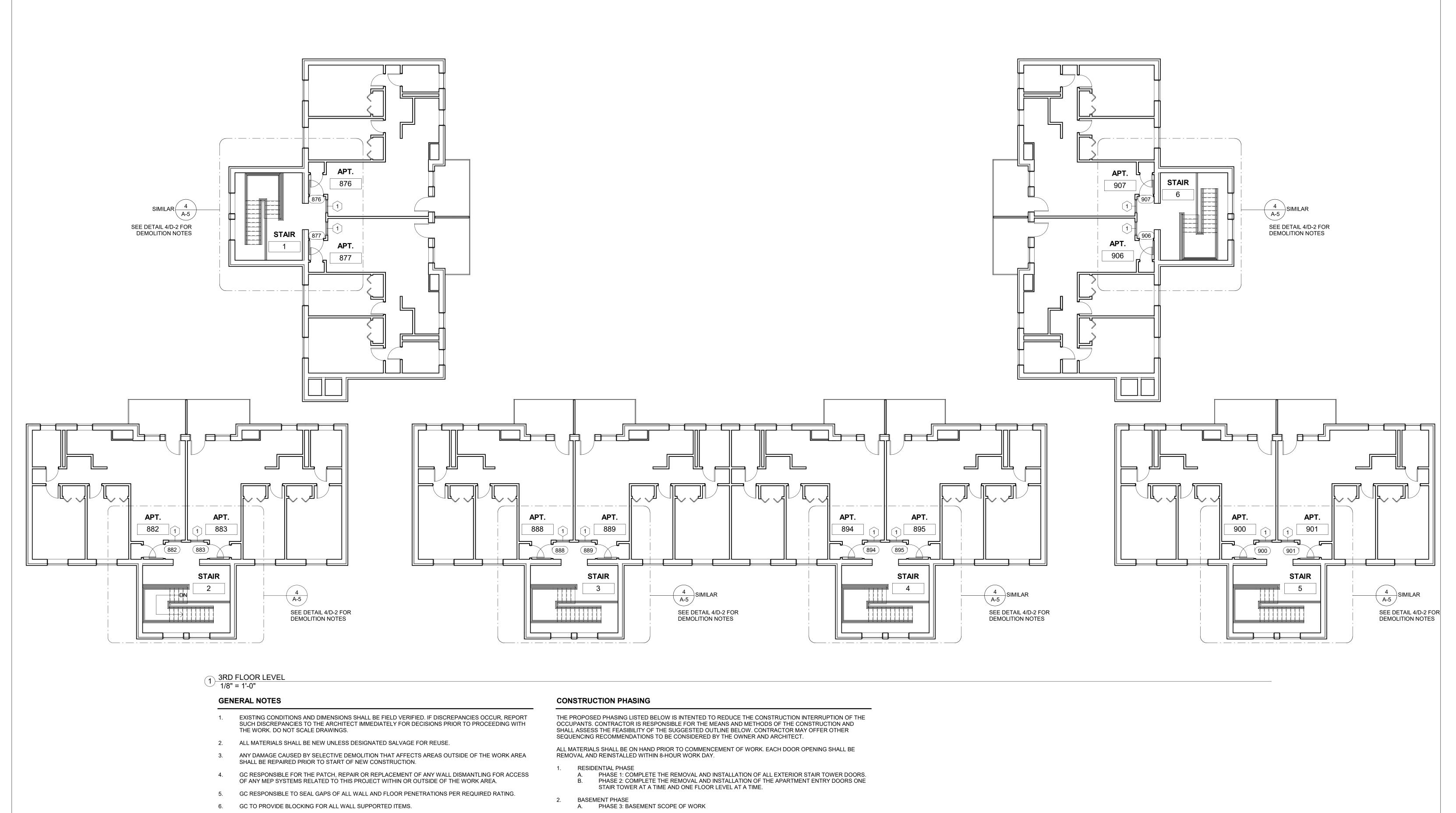
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9 OF 18

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- 7. ALL EXISTING MASONRY DOOR JAMBS SCHEDULED TO RECIEVE NEW DOOR/FRAME SHALL BE PAINTED TO MATCH EXISTING WALL COLOR.
- 8. NEW WALL BASE TO MATCH EXISTING SHALL BE PROVIDED IF DAMAGED DURING REMOVAL/INSTALLATION OF NEW DOOR/FRAME. REPLACE FULL LENGTH TO AN EXISTING SEAM.

CONSTRUCTION DRAWINGS

	NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 415 Mount Pleasant Road, Pittsburgh, PA 15214	PROJECT NO. 17001 DATE 11-13-2019	DRAWING NUMBER:		
posts posts ggan gang stone stone stone stone	D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS	SCALE As indicated	/\-		
	DRAWING TITLE: 3RD FLOOR LEVEL	DRAWN BY LRW	SHEET NUMBER:		
	SKD I LOOK LLVLL	CHECKED BY LRW	10 OF 18		

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HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT 100 ROSS STREET PITTSBURGH, PA 15219

PHONE: 412-456-5020

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RIOS WILLIAMS ARCHITECTS, P.C. D&
200 ROSEWOOD COURT
VENETIA, PA 15367 ETNA TEC
PHONE: 724-255-7985

Contact: Lizette Rios-Williams

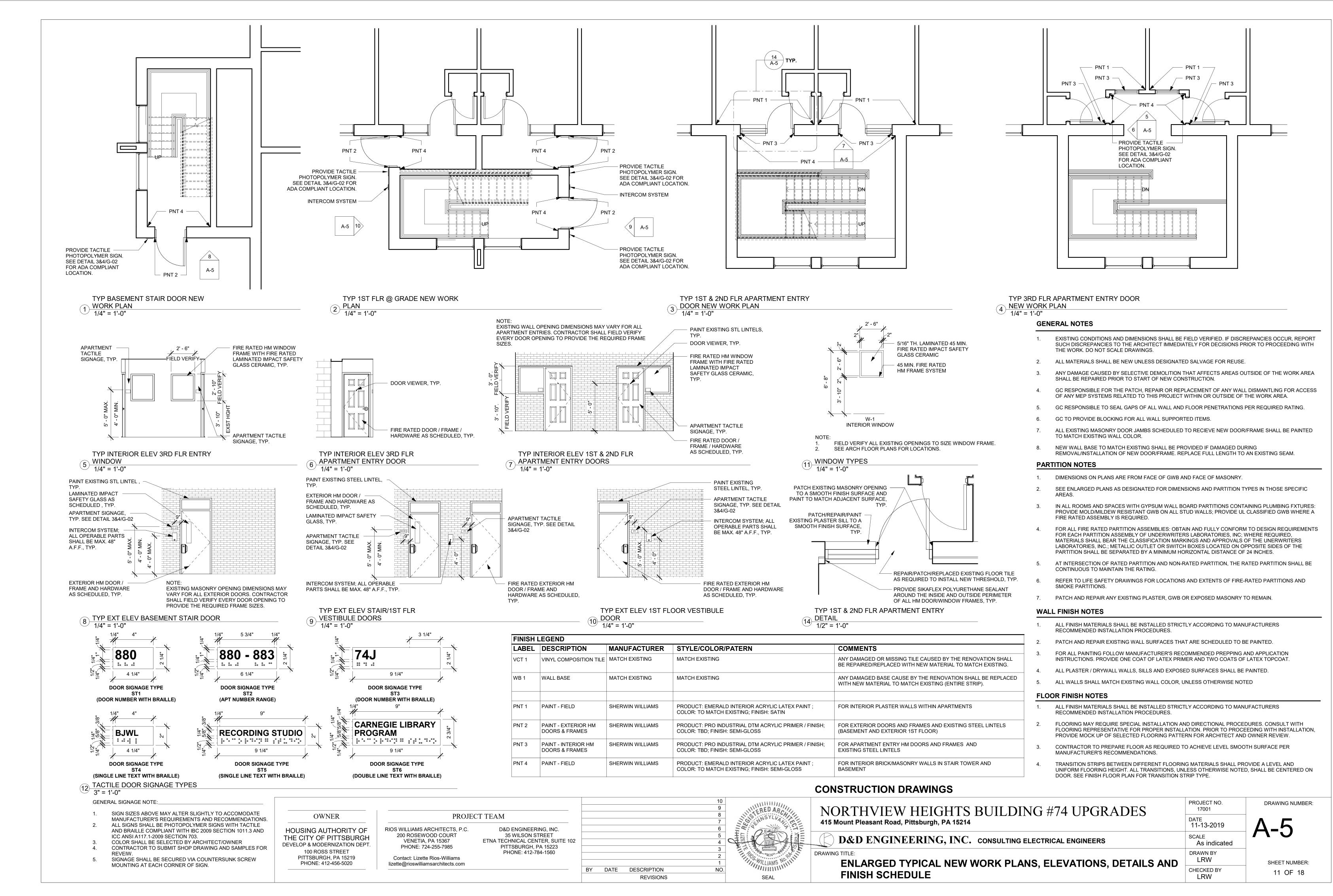
lizette@rioswilliamsarchitects.com

D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560

BY DATE DESCRIPTION NO.

REVISIONS

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										DC	OOR SCHE	DULE								
					DOOR							FRAME								
		Double																		
		Large	Small						Glass	Frame	Frame	Frame	Frame		Fire	Hardware	Head	Jamb		
Mark	Width	Leaf	Leaf	Height	Thickness	Туре	Material	Finish		Туре	Finish	Material	Depth	Glazing	Rating	Set	Detail	Detail	SIGNAGE TYPE	Notes
74A	3' - 0"			6' - 8"	0' - 1 3/4"	F	НМ	PNT		Α	PNT 2	НМ	0' - 6"		_	2	H1	J1	ST1 & ST4	
74B	5' - 0"	3' - 0"	2' - 0"	6' - 8"	0' - 1 3/4"	F_DB	НМ	PTD	-	Α	PNT 2	НМ	0' - 6"		-	5	H1	J1	ST1	NOTE 5
74C	3' - 0"			6' - 8"	0' - 1 3/4"	F	НМ	PTD		Α	PNT 2	НМ	0' - 6"		-	2	H1	J1	ST1	
74D	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD		Α	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1	
74E	3' - 0"			6' - 8"	0' - 1 3/4"	F	EXIST	PTD		EXIST	PNT 2	EXIST	0' - 0"		-	6	-	-	ST1	NOTE 2 AND 3
74F 74G	3' - 0" 3' - 0"			6' - 8" 6' - 8"	0' - 1 3/4" 0' - 1 3/4"	F	HM EXIST	PTD PTD		A EXIST	PNT 2 PNT 2	HM EXIST	0' - 6" 0' - 0"		-	6	H1 -	J1 -	ST1 ST1	NOTE 4 NOTE 2 AND 3
74H	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD		A	PNT 2	HM	0' - 6"		_	3	H1	J1	ST1	NOTE 4
741	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD		A	PNT 2	HM	0' - 6"		-	2	H1	J1	ST1	110121
74J	3' - 0"			6' - 8"	0' - 1 3/4"	F	EXIST	PTD		EXIST	PNT 2	EXIST	0' - 0"		-	6	-	-	ST3 & ST5 & ST6	NOTE 2 AND 3
872	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	НМ	0' - 6"	FRISGC	60	1	H1	J1	ST1	
873	2' - 8"			6' - 8"	0' - 1 3/4"	Р	НМ	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
874	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
875 876	2' - 8" 2' - 8"			6' - 8" 6' - 8"	0' - 1 3/4" 0' - 1 3/4"	P	HM HM	PTD PTD		C	PNT 3 PNT 3	HM	0' - 6" 0' - 5 1/2"	FRISGC	60	1	H1 H2	J1	ST1 ST1	NOTE 1
876 877	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM HM	0' - 5 1/2"		60	1	H2 H2	J2 J2	ST1	NOTE 1
878E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD		В	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6
879E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD		В	PNT 2	НМ	0' - 6"		60	4	H1	J1	ST1	NOTE 6
880	2' - 8"			6' - 8"	0' - 1 3/4"	Р	НМ	PTD		С	PNT 3	НМ	0' - 6"	FRISGC	60	1	H1	J1	ST1	
881	2' - 8"			6' - 8"	0' - 1 3/4"	Р	НМ	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
882	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		Α	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
883	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		Α	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
884E	3' - 0"			6' - 8"	0' - 1 3/4"	F	HM	PTD		В	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6
885E	3' - 0" 2' - 8"			6' - 8"	0' - 1 3/4"	F P	HM	PTD PTD		В	PNT 2 PNT 3	HM	0' - 6"	FDISCO	60	4	H1 H1	J1	ST1 ST1	NOTE 6
886 887	2' - 8"			6' - 8" 6' - 8"	0' - 1 3/4" 0' - 1 3/4"	P	HM HM	PTD		C	PNT 3	HM HM	0' - 6" 0' - 6"	FRISGC FRISGC	60	1	<u>пі</u> Н1	J1 J1	ST1	
888	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
889	2' - 8"			6' - 8"	0' - 1 3/4"	P	HM	PTD		Α	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
890E	3' - 0"			6' - 8"	0' - 1 3/4"	F	НМ	PTD		В	PNT 2	НМ	0' - 6"		60	4	H1	J1	ST1	NOTE 6
891E	3' - 0"			6' - 8"	0' - 1 3/4"	F	НМ	PTD		В	PNT 2	HM	0' - 6"		60	4	H1	J1	ST1	NOTE 6
892	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
893	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC		1	H1	J1	ST1	
894	2' - 8"	1		6' - 8"	0' - 1 3/4"	Р	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1 1	H2	J2	ST1	NOTE 1
895	2' - 8"			6' - 8"	0' - 1 3/4"	P F	HM HM	PTD PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1 ST1	NOTE 6
896E 897E	3' - 0" 3' - 0"			6' - 8" 6' - 8"	0' - 1 3/4" 0' - 1 3/4"	F	HM	PTD		B B	PNT 2 PNT 2	HM HM	0' - 6" 0' - 6"		60	4	H1 H1	J1 J1	ST1	NOTE 6
898	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	110120
899	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
900	2' - 8"			6' - 8"	0' - 1 3/4"	Р	НМ	PTD		Α	PNT 3	НМ	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
901	2' - 8"			6' - 8"	0' - 1 3/4"	Р	НМ	PTD		Α	PNT 3	НМ	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
902	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
903	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC	60	1	H1	J1	ST1	
904	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		С	PNT 3	HM	0' - 6"	FRISGC		1	H1	J1 .I1	ST1	
905 906	2' - 8" 2' - 8"			6' - 8" 6' - 8"	0' - 1 3/4" 0' - 1 3/4"	P	HM HM	PTD PTD		A	PNT 3 PNT 3	HM HM	0' - 6" 0' - 5 1/2"	FRISGC	60	1	H1 H2	J1 J2	ST1 ST1	NOTE 1
907	2' - 8"			6' - 8"	0' - 1 3/4"	Р	HM	PTD		A	PNT 3	HM	0' - 5 1/2"		60	1	H2	J2	ST1	NOTE 1
S1	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	В	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7
S2	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	В	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7
S3	3' - 0"	1		6' - 8"	0' - 1 3/4"	NV	НМ	PTD	LSG	В	PNT 2	НМ	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7
S4	3' - 0"			6' - 8"	0' - 1 3/4"	NV	НМ	PTD	LSG	В	PNT 2	НМ	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7
S5	3' - 0"			6' - 8"	0' - 1 3/4"	NV	НМ	PTD	LSG	В	PNT 2	НМ	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7
S6	3' - 0"			6' - 8"	0' - 1 3/4"	NV	HM	PTD	LSG	В	PNT 2	HM	0' - 6"		-	4	H1	J1	ST2	NOTE 6 AND 7

GENERAL DOOR SCHEDULE AND HARDWARE SET NOTES:

- FIELD VERIFY ALL DIMENSIONS OF EXISTING WALL OPENINGS SCHEDULED TO RECIEVE NEW DOOR FRAMES AND DOORS.
- COORDINATE DOOR / FRAME PREP AND INSTALLATION WITH ELECTRICAL DEVICES AND ELECTRICAL CONTRACTOR. REFER TO ELECTRCIAL DRAWINGS FOR SPECIFICATIONS AND DETAILS.
- PROVIDE UL LISTED FIRE RATED HARDWARE AND GLAZING FOR ALL FIRE RATED
- PROVIDE SIKAFLEX POLYURETHANE SEALANT AROUND THE INSIDE AND OUTSIDE PERIMETER OF ALL HM DOOR/WINDOW FRAMES.

DOOR SCHEDULE NOTES:

- FIELD VERIFY EXISTING 3RD FLOOR PARTITION WIDTH TO DETERMINE REQUIRED FRAME JAMB DEPTH
- EXISTING HM DOOR/FRAME AND HARDWARE TO REMAIN. CLEAN/PREP/PAINT EXISTING DOOR AND FRAME ON BOTH INTERIOR AND EXTERIOR FACES, AND STEEL LINTELS.
- REINSTALL EXISTING DOOR ALARM CONTACT PER MANUFACTURER'S RECOMMENDATION HOLLOW METAL FRAME SIZE SHALL BE CUSTOM ORDERED TO FIT EXISTING MASONRY OPENING WITHOUT THE
- USE OF WOOD BLOCKING AS CURRENTLY INSTALLED. FIELD VERIFY EXISTING OPENING. PREP DOOR AND FRAME AS REQUIRED TO RECIEVE ELECTRIC STRIKE. SEE ELECTRICAL DRAWINGS FOR
- ADDITIONAL INFORMATION. PREP DOOR AND FRAME AS REQUIRED TO RECIEVE KEY FOB ENTRY SYSTEM. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

HARDWARE SETS

1-1/2 PAIR BUTT HINGES 1 MORTISE ENTRY LOCKSET 1 CORE

1 CLOSURE 1 THRESHOLD 1 SWEEP 1 GASKETING 1 DOOR VIEWER 1 CONTINOUS HINGE 1 EXIT DEVICE 1 CORE 1 ADA ANTI-VANDAL PULL 1 CLOSURE

1 KICKPLATE 1 THRESHOLD 1 SWEEP 1 GASKETING

SET #1: SINGLE TENANT ENTRY DOOR SET #2: SINGLE EXTERIOR ENTRY DOOR SET #3: SINGLE EXTERIOR ENTRY DOOR SET #4: SINGLE EXTERIOR ENTRY STAIR/VESTIBULE DOOR 1 CONTINOUS HINGE

1 EXIT DEVICE 1 CORE 1 ADA ANTI-VANDAL PULL 1 CLOSURE 1 KICKPLATE 1 THRESHOLD 1 SWEEP

1 CONTINOUS HINGE 1 EXIT DEVICE 1 CORE 1 ELECTRIC STRIKE 1 ADA ANTI-VANDAL PULL 1 CLOSURE 1 KICKPLATE 1 THRESHOLD 1 SWEEP

1 GASKETING 1 INTERCOM SYSTEM BY ELECTRICAL CONTRACTOR

SET #5: DOUBLE EXTERIOR DOOR

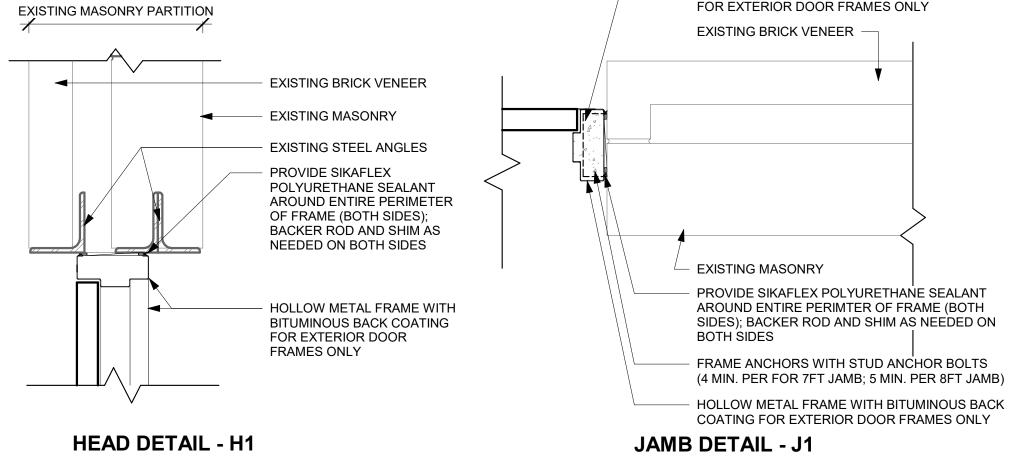
2 CONTINOUS HINGES 1 EXIT DEVICE 1 CORE 1 ADA ANTI-VANDAL PULL 2 CLOSURES 2 KICKPLATE 1 THRESHOLD 2 SWEEPS 1 ASTRAGAL

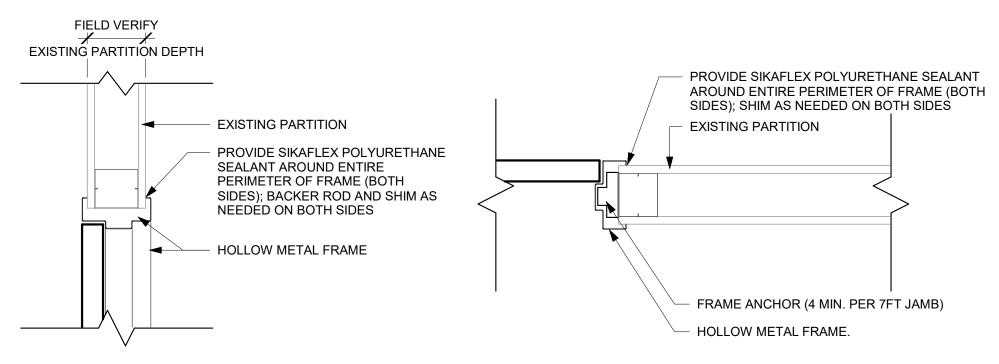
1 GASKETING 2 FLUSH BOLTS 1 DUST PROOF STRIKE

SET #6: EXISTING DOORS TO REMAIN 1 PUSH PLATE

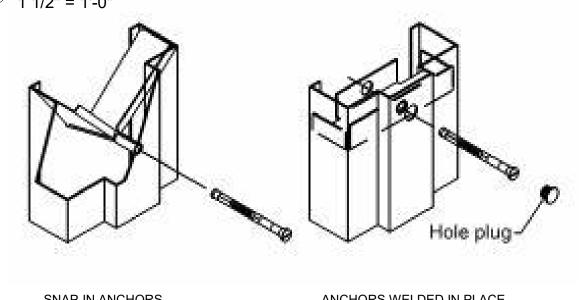
4 EXISTING MASONRY ANCHORS
1 1/2" = 1'-0"

PTD METAL PANEL LAMINATED IMPACT SAFETY GLASS WELDED FRAME WELDED FRAME APARTMENT DOOR/WINDOW ENERGY EFFICIENT ENERGY EFFICIENT ENERGY EFFICIENT ENERGY EFFICIENT WELDED FRAME STEEL STIFFENED STEEL STIFFENED STEEL PANEL DOOR STEEL STIFFENED DOOR DOOR DOOR EXISTING WALL OPENING DIMENSIONS MAY VARY. CONTRACTOR SHALL FIELD VERIFY EVERY DOOR OPENING TO PROVIDE THE REQUIRED FRAME SIZES. REFER TO DOOR SCHEDULE FOR REQUIRED FIRE RATINGS REFER TO DOOR SCHEDULE FOR REQUIRED FRAME FIRE RATINGS DOOR TYPES 1) DOOR FRAME TYPES 1/4" = 1'-0" 1/4" = 1'-0" GROUT SOLID (HAND TROWELED) FOR EXTERIOR DOOR FRAMES ONLY EXISTING MASONRY PARTITION



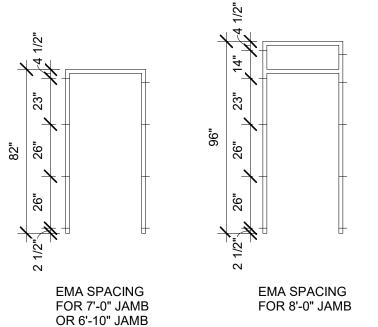






ANCHORS WELDED IN PLACE SNAP-IN ANCHORS **INSTALL PER MANUFACTURER'S RECOMMENDATION**

EXISTING MASONRY ANCHORS AND STUD BOLT ANCHORS



EMA INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS

EXISTING MASONRY ANCHOR (EMA) 5 SPACING 1/4" = 1'-0"

CONSTRUCTION DRAWINGS

NORTHVIEW HEIGHTS BUILDING #74 UPGRADES	PROJECT NO. 17001				
415 Mount Pleasant Road, Pittsburgh, PA 15214					
D&D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS	SCALE As indicated				

DOOR SCHEDULE, DOOR TYPES, AND DETAILS

-2019 indicated DRAWN BY LRW SHEET NUMBER: CHECKED BY 12 OF 18 LRW

OWNER

1 GASKETING 1 DOOR VIEWER

HOUSING AUTHORITY OF THE CITY OF PITTSBURGH **DEVELOP & MODERNIZATION DEPT** 100 ROSS STREET PITTSBURGH, PA 15219

PHONE: 412-456-5020

PROJECT TEAM RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367

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D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560

BY DATE DESCRIPTION

REVISIONS

DRAWING NUMBER:

GENERAL NOTES:

- ALL WORK EXECUTED AND MATERIALS USED SHALL BE IN STRICT CONFORMANCE TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:
- A. NATIONAL ELECTRICAL CODE
- B. NATIONAL BUREAU OF STANDARDS HANDBOOK H-30
- C. STATE CODES, LOCAL CODES, AND ALL OTHER JURISDICTIONS HAVING AUTHORITY
- D. UNDERWRITER'S LABORATORIES, INC.
- E. AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
- F. INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS
- G. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
- H. NATIONAL BOARD OF FIRE UNDERWRITERS
- I. INSULATED POWER CABLE ENGINEERS ASSOCIATED SPECIFICATIONS
- J. AMERICAN SOCIETY FOR TESTING MATERIALS AND SPECIFICATIONS
- K. FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AS CONTAINED IN THE FEDERAL REGISTER VOLUME 36, NUMBER 105, DATED MAY 29, 1971 OR THE LATEST REVISION THEREOF.

IF THE ELECTRICAL CONTRACTOR PERFORMS ANY WORK CONTRARY TO ANY OF THE ABOVE CODES AND REGULATIONS, THE CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR SUCH VIOLATIONS, AND SHALL ASSUME ANY AND ALL COSTS ASSOCIATED IN CORRECTING THE VIOLATIONS.

- 2. ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO LEARN OF ALL EXISTING CONDITIONS, WHICH IN ANY WAY WILL AFFECT THE EXECUTION OF THIS WORK AND THE REQUIREMENTS OF THIS CONTRACT AS SHOWN OR REASONABLY INFERRED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
- ELECTRICAL CONTRACTOR SHALL DOCUMENT ANY REQUEST OR DEVIATION FROM THE CONTRACT DOCUMENTS ON ANY ITEM THAT MAY HAVE BEEN DISCUSSED IN THE FIELD, OR DIRECTED BY OTHERS, REGARDING MATERIALS OR INSTALLATION METHODS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK (AS DESCRIBED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS) WITH ALL OTHER TRADES AND SUBCONTRACTORS ON THE PROJECT. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROVIDING COMPLETE DRAWINGS AND SPECIFICATIONS TO GENERAL TRADES TO ENSURE COORDINATION WITH ALL TRADES AND CONSTRUCTION INSPECTORS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY WIRING AS NECESSARY, TO ENSURE THAT NO DISRUPTION IN SERVICE OCCURS. TEMPORARY WIRING SHALL BE OF SIMILAR TYPE AND INSULATION WITH EXISTING WIRING.
- 6. PROVIDE TYPE OF CONDUIT FOR THE FOLLOWING:
 - A. BUILDING EXTERIOR RGS
 - B. BUILDING INTERIOR EMT
- 7. ANY CUTTING, ROUGH AND FINISHED PATCHING, AS WELL AS ALL PAINTING FOR ALL WORK IS TO BE PERFORMED BY THE ELECTRICAL CONTRACTOR.
- 8. LINKSEAL ALL CONDUIT PENETRATIONS OF EXTERIOR WALLS ABOVE AND BELOW GRADE.
- 9. ALL MATERIALS SHALL BEAR THE LABEL OF UNDERWRITER'S LABORATORIES AND MEET THE CURRENT U.L. STANDARD FOR THAT TYPE OF MATERIAL.
- 10. ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, AND INSPECTIONS, INCLUDING BUT NOT LIMITED TO, THE CERTIFICATE OF FINAL INSPECTION AND APPROVAL FROM THE LOCAL INSPECTION AUTHORITIES. FEES SHALL BE INCLUSIVE FOR ALL WORK TO BE PERFORMED WHETHER ONE OR MORE THAN ONE PERMIT/LICENSE IS REQUIRED.
- 11. ALL DEVICES LOCATED IN COMMON AREAS OR UFAS UNITS MUST BE INSTALLED AT UFAS COMPLIANT MOUNTING HEIGHTS.
- 12. ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION. CONDUCTORS (#10 AND SMALLER) SHALL BE SOLID. CONDUCTORS (#8 AND LARGER) SHALL BE STRANDED. THE MINIMUM CONDUCTOR SIZE FOR POWER CONDUCTORS SHALL BE #12.
- 13. ALL GROUND CONDUCTORS SHALL BE FULLY INSULATED WITH GREEN INSULATION.
- 14. THE WIRING METHODS FOR THIS PROJECT SHALL BE WIRE IN CONDUIT IN EXPOSED AREAS AND TYPE "MC" CABLE IN CONCEALED AREAS. THE CONDUIT SHALL BE ELECTRIC METALLIC TUBING (EMT) AND THE MINIMUM SIZE SHALL BE 3/4". CONDUIT PLACED BELOW GRADE AND/OR CONCRETE ENCASED SHALL BE SCHEDULE 40 PVC AND A MINIMUM SIZE SHALL BE 1". WIRING SHALL BE INSTALLED CONCEALED WHEREVER POSSIBLE. ALL EXPOSED WIRING CONDITIONS SHALL BE INSTALLED IN CONDUIT IN UNFINISHED SPACES, STEEL SURFACE METAL RACEWAY WIREMOLD TYPE V700 IN INTERIOR FINISHED SPACES, AND RGS IN EXTERIOR FINISHED SPACES (UNLESS NOTED OTHERWISE) AND MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- 15. ELECTRICAL CONTRACTOR SHALL PROVIDE ADEQUATELY SIZED WIREWAYS, JUNCTION BOXES, AND OUTLET BOXES FOR RESPECTIVE APPLICATIONS. THESE ITEMS SHALL BE SIZED IN ACCORDANCE WITH THE LATEST EDITION OF THE 2008 NATIONAL ELECTRICAL CODE AND BE READILY ACCESSIBLE. THESE ITEMS SHALL BE OF GALVANIZED STEEL CONSTRUCTION UNLESS SPECIFIED OTHERWISE.
- 16. CONDUCTORS, EQUIPMENT AND/OR DEVICES OF DIFFERENT VOLTAGES SHALL NOT BE INSTALLED IN THE SAME OUTLET OR JUNCTION BOX. EACH CIRCUIT SHALL HAVE ITS OWN NEUTRAL CONDUCTOR. DO NOT SHARE NEUTRALS. COVER PLATES SHALL BE PROVIDED ON ALL BLANK OUTLET BOXES FOR FUTURE USE. PROVIDE ADDITIONAL INSULATION BEHIND EACH JUNCTION OR OUTLET BOX LOCATED ON EXTERIOR WALLS.
- 17. LOCATION OF ITEMS AND DIMENSIONS SHOWN ON DRAWINGS ARE APPROXIMATE. MOUNTING HEIGHTS OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE COORDINATED WITH THE EQUIPMENT REQUIREMENTS, FIELD CONDITIONS AND APPROVED BY THE OWNER/ENGINEER.
- 18. EXACT LOCATIONS OF ELECTRICAL DEVICES AND EQUIPMENT SHALL BE VERIFIED.
- 19. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT
- 20. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OR INSTRUCTIONS FOR CONSTRUCTION SAFETY. THE ELECTRICAL ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY WORKER'S OR TRANSIENT'S SAFETY, OR FOR THE ADEQUACY OF EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDS, FORMS, OR OTHER WORK AID, OR ANY NECESSITY TO WORK ON "LIVE" ELECTRICAL COMPONENTS. FURTHER, NO SUPERINTENDENCE IS INCLUDED OR INTENDED.
- 21. THE ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO PROTECT ALL OPEN EXCAVATIONS DURING ANY DEMOLITION AND/OR CONSTRUCTION.
- 22. DEVIATION FROM MANUFACTURER'S NAMES, CATALOG/MODEL/PARTS NUMBERS SHOWN ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS SHALL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND/OR ENGINEER.
- 23. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND/OR PATCHING REQUIRED BY ELECTRICAL WORK RESULTING FROM THE FAILURE TO INSTALL EMBEDDED OR BUILT-IN ITEMS AS AND
- 24. ELECTRICAL CONTRACTOR SHALL VERIFY THAT THE WORK IS FEASIBLE AS SHOWN ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION OF ELECTRICAL ITEMS IN RELATION TO ARCHITECTURAL AND STRUCTURAL ITEMS AS REQUIRED. ELECTRICAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

- 25. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF A WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 203 - WORK ZONE TRAFFIC CONTROL FOR WORK IN ALL AREAS IN OR ADJACENT TO VEHICULAR TRAFFIC AREAS.
- 26. ELECTRICAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL JUNCTION BOXES AND/OR HANDHOLES. NOT SHOWN ON THE PLANS, BUT REQUIRED TO COMPLETE CONSTRUCTION. THESE ITEMS SHALL BE IN STRICT CONFORMANCE TO THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. LOCATIONS OF ADDITIONAL HANDHOLES SHALL REQUIRE APPROVAL BY THE ENGINEER BEFORE INSTALLATION. ELECTRICAL CONTRACTOR MAY BE REQUIRED TO REMOVE OR RELOCATE ANY INSTALLATION OF ADDITIONAL HANDHOLES THAT ARE NOT APPROVED, AND AT NO ADDITIONAL COST TO
- 27 EXISTING WIRING TO REMAIN CONTINUUSLY OPERATIONAL DURING ALL CONSTRUCTION. TEMPORARY WIRING SHALL BE INSTALLED AS NEEDED. ALL CABLE SHALL BE OF SIMILAR TYPE AND INSULATION.
- 28. POWER AND CONTROL CABLES ARE TO BE SEPARATED AT ALL TIMES. SOME JUNCTIN BOXES MAY REQUIRE A MECHANICAL BARRIER TO MAINTAIN SEPARATION OF POWER FROM CONTROL.
- 29. ALL WORK ON THE FIRE ALARM SYSTEM TO BE COMPLETED DAILY AND THE FIRE ALARM SYSTEM RETURNED TO SERVICE AT THE END OF EACH WORK DAY. IF FIRE ALARM SYSTEM CANNOT BE RETURNED TO SERVICE AT THE END OF EACH WORK DAY, E.C. SHALL PROVIDE PERSONNEL TO PERFORM FIRE WATCH DUTIES UNTIL THE START OF THE NEXT WORK DAY PER SPECIFICATION SECTION 16720.
- 30. CONNECT ALL UNIT SMOKE DETECTORS WITHIN EACH RESPECTIVE UNIT TO A 20-A CIRCUIT SERVIING WALL OUTLETS. UNIT SMOKE DETECTORS SHALL NOT BE TIED INTO THE FIRE ALARM SYSTEM.

ABBREVIATIONS

- AMPERES AIR CONDITIONING ABOVE FINISHED FLOOR CONDUIT CIRCUIT BREAKER
- CIRCUIT **EMERGENCY**
- ELECTRICAL CONTRACTOR EXISTING TO BE REMOVED AND
- FIRE HOSE FUSE(S) G OR GND GROUND
- GROUND FAULT INTERRUPTING HORSEPOWER
- MAIN CIRCUIT BREAKER MAIN LUG ONLY
- NORMALLY CLOSED NATIONAL ELECTRIC CODE
- NORMAL/EMERGENCY NON FUSED
- NORMALLY OPEN PUMP OR POLE
- POWER PANEL
- REMOVED AND RELOCATED EQUIPMENT
- IN NEW LOCATION SURFACE MOUNT
- SWITCH VOLTS
- WATTS OR WIRE
- WIRE GUARD **WEATHERPROOF**

ELECTRICAL

JUNCTION BOX

DISTRIBUTION PANELBOARD ONDUIT ELLED UP

HOMERUN TO PANEL — • — GROUNDING WIRE

□—•—■ GROUNDING CONNECTION

PULL BOX

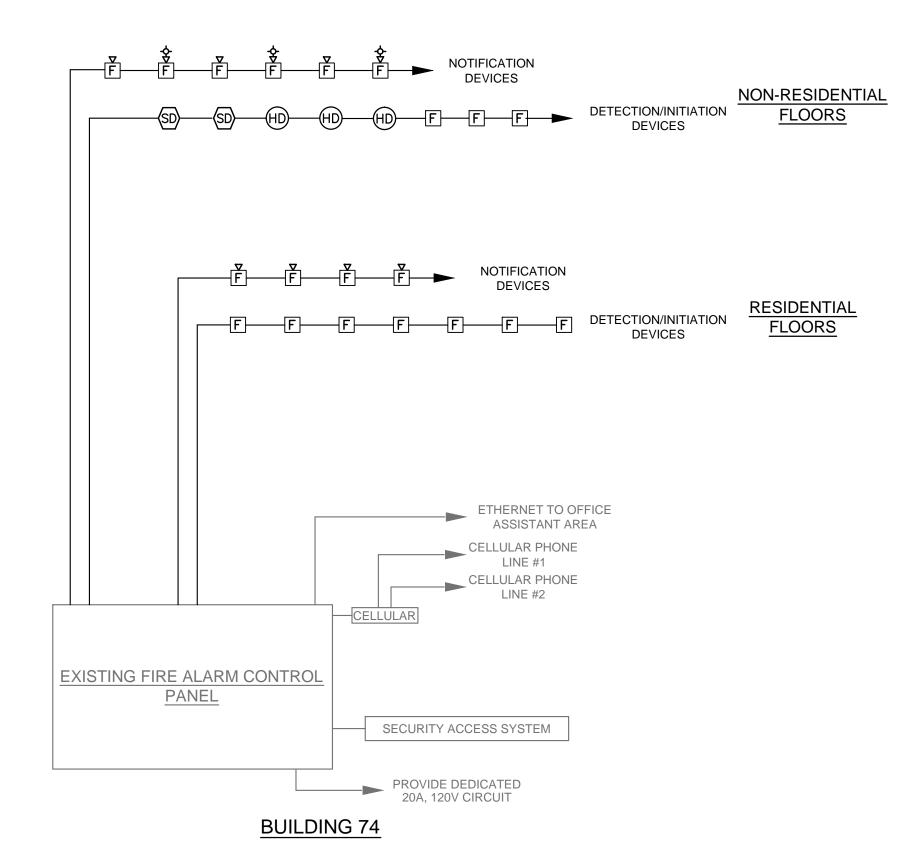
EXISTING FACILITIES/EQUIPMENT NEW FACILITIES/EQUIPMENT

EQUIPMENT DEMOLITION DEMOLITION KEYED NOTE

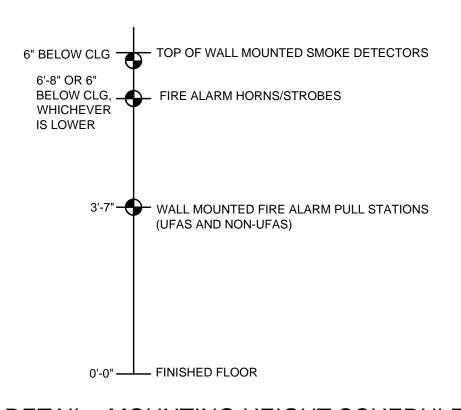
NEW WORK KEYED NOTE

" # " INDICATES PHOTO NUMBER ON DRAWING. ARROW INDICATES DIRECTION OF VIEW.

EXIST /EMERGENCY FIXTURE; LTHONIA; LHQM LED R



FIRE ALARM RISER DIAGRAM



CONSTRUCTION DOCUMENTS

PROJECT NO. 17001.65 NORTHVIEW HEIGHTS BUILDING #74 UPGRADES 11-13-2019 D & D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS SEE PLAN DRAWING TITLE: FIRE DETECTION PLAN - DEMOLITION AND NEW WORK DRAWN BY **BASEMENT FLOOR** CHECKED BY

DRAWING NUMBER

SHEET NUMBER

13 OF 18

OWNER

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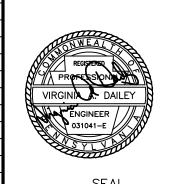
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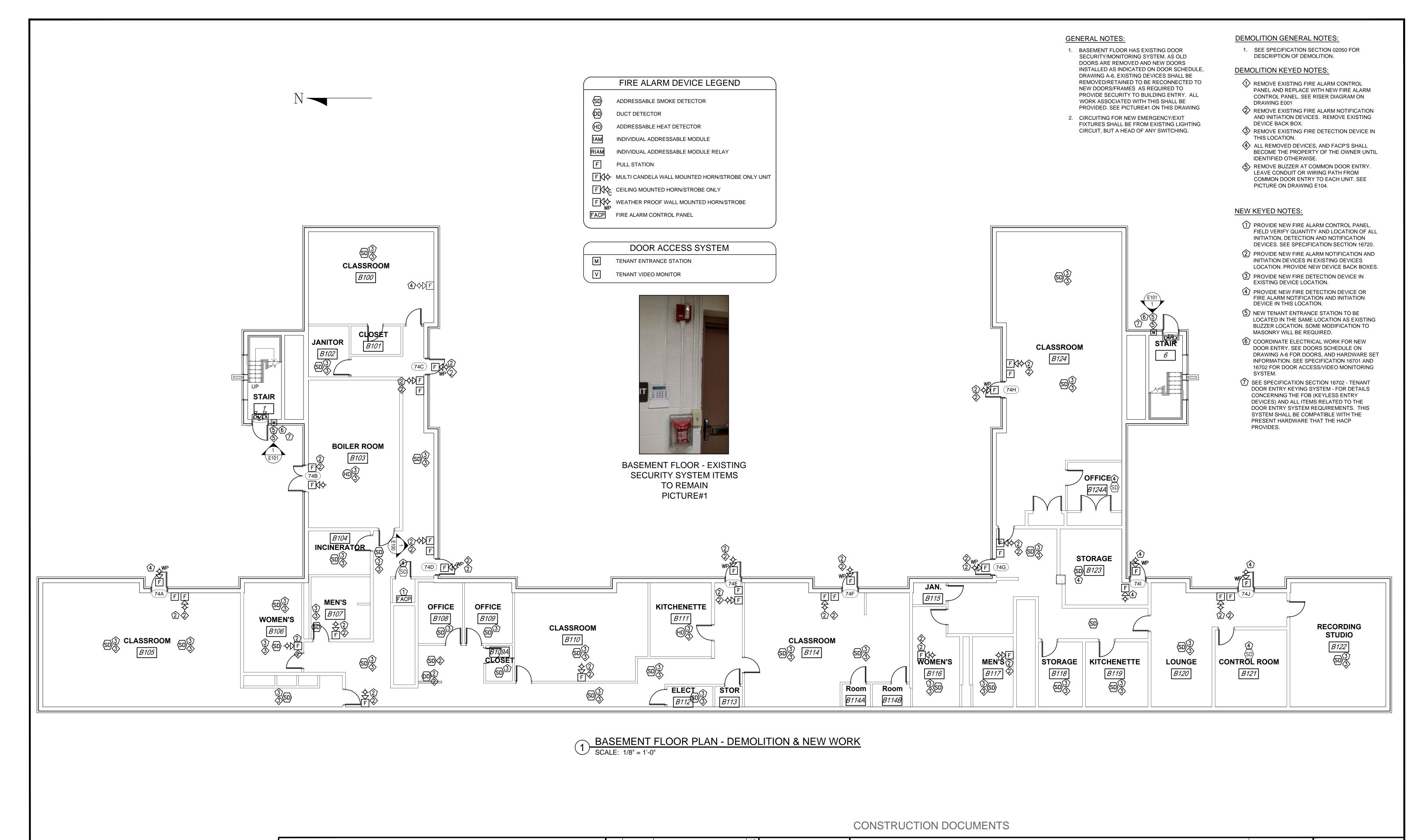
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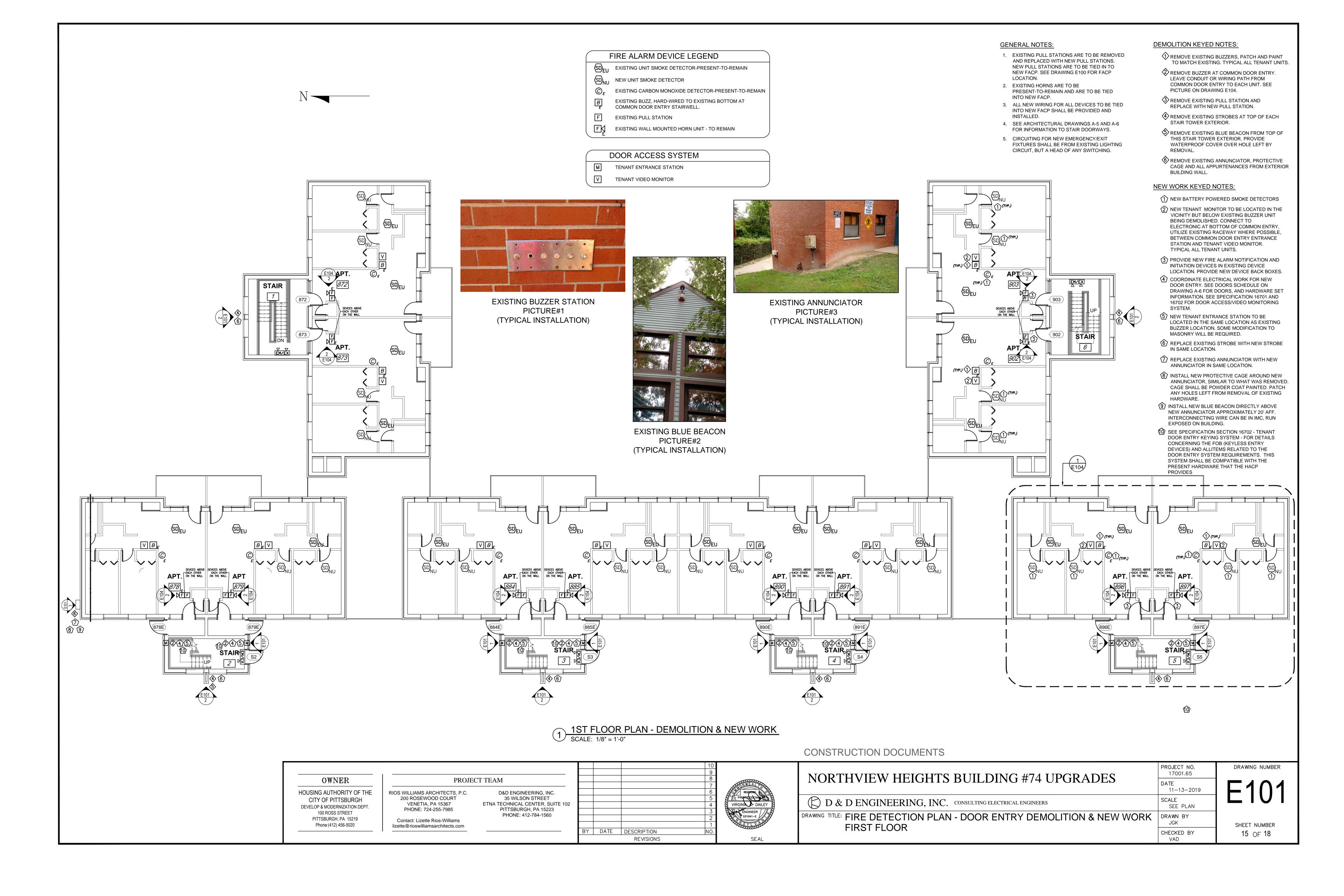
Contact: Lizette Rios-Williams

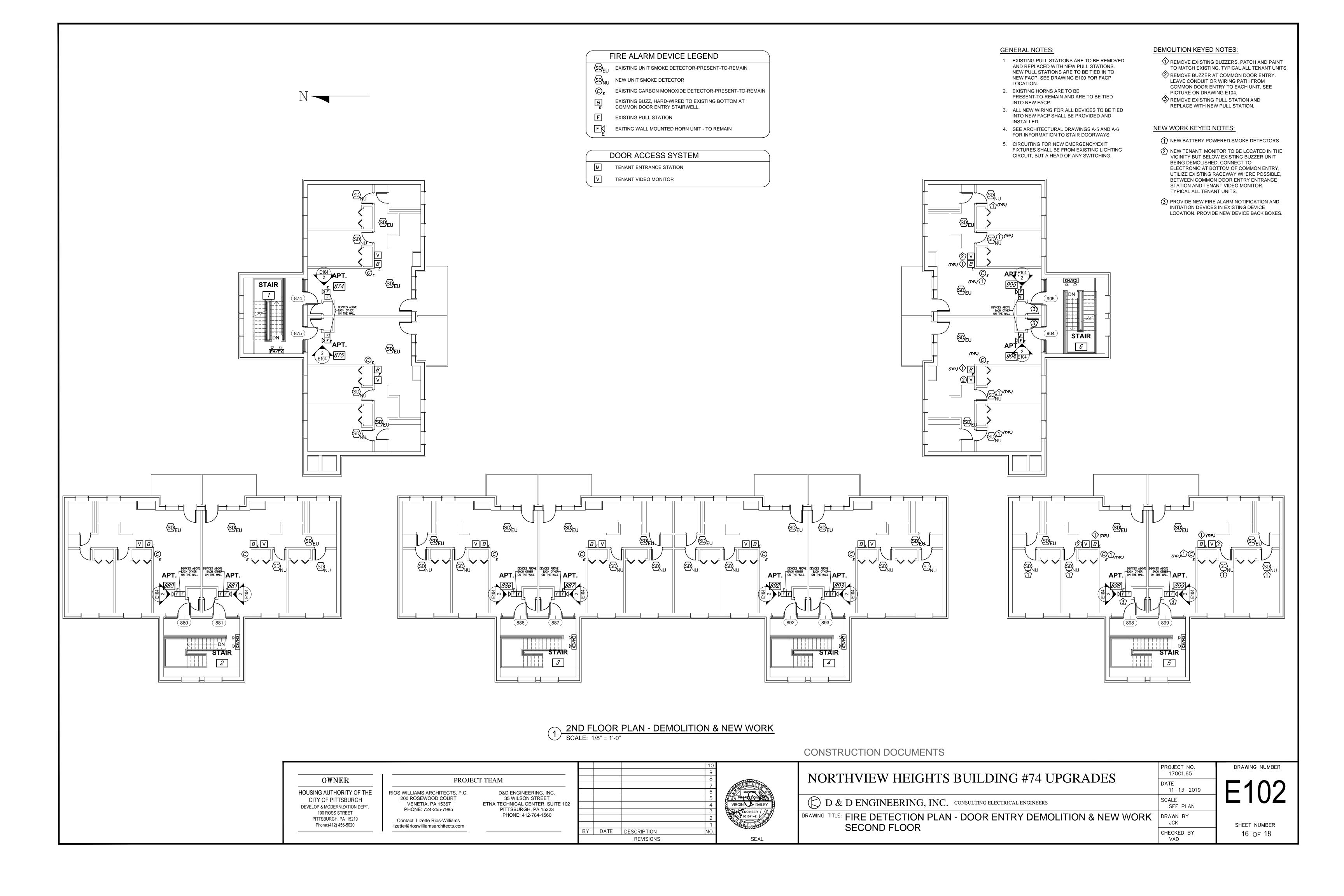
lizette@rioswilliamsarchitects.com

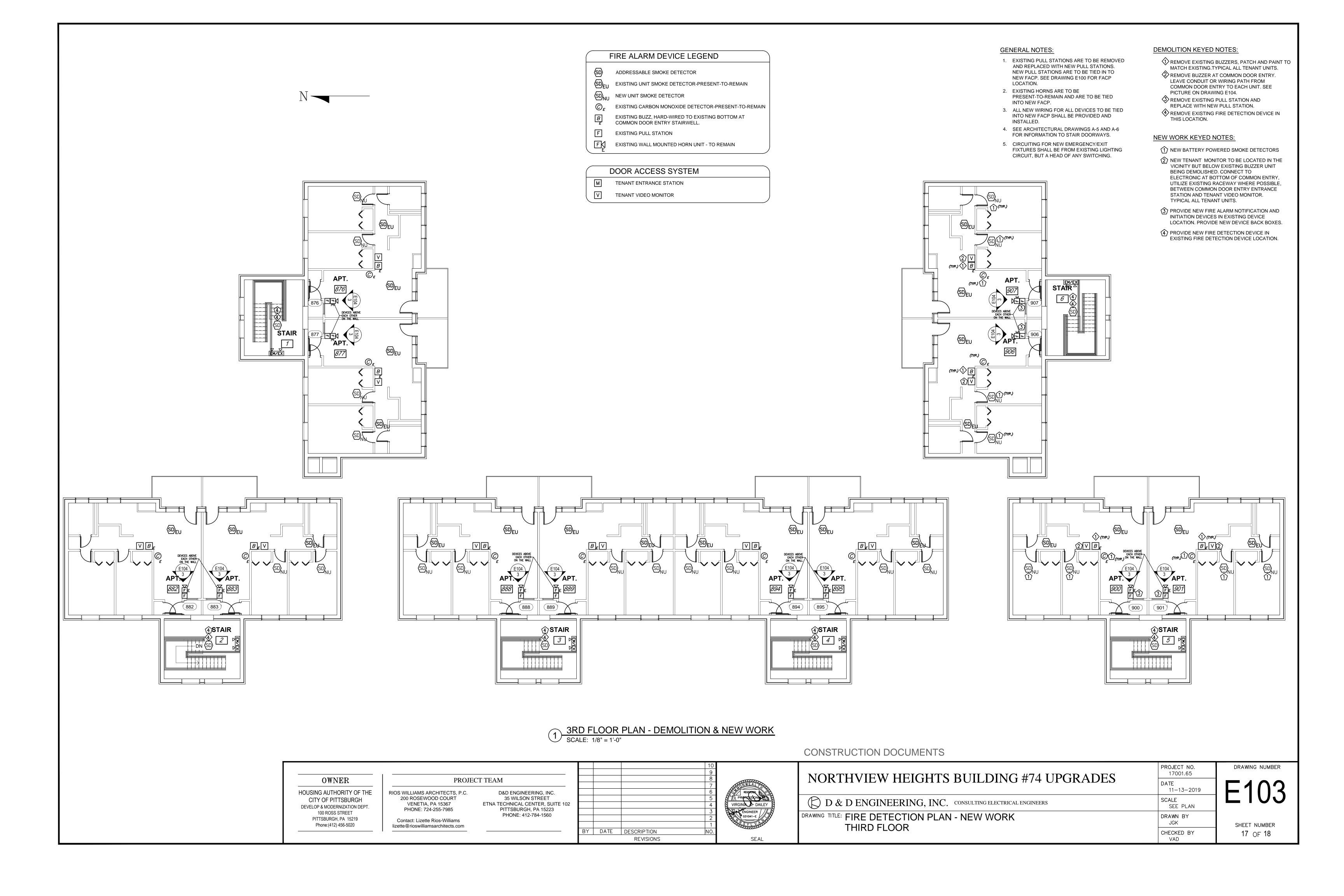
NORTHVIEW HEIGHTS BUILDING #74 UPGRADES | PROJECT NO. 17001.65 | | DATE | 11-13-2019 | | D& D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS | | DRAWING TITLE: FIRE DETECTION PLAN - DEMOLITION AND NEW WORK BASEMENT FLOOR | | DRAWING TITLE: FIRE DETECTION PLAN - DEMOLITION AND NEW WORK BASEMENT FLOOR | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | SCALE | SEE PLAN | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-2019 | | DRAWING NUMBER | | DATE | 11-13-

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14 OF 18





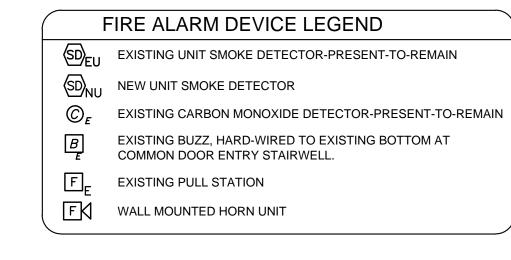


....photos for pull station locations/1st_2nd floor pull stations and horns.jpg 1ST & 2ND FLOOR LOCATION - EXISTING DEVICES 3RD FLOOR LOCATION - EXISTING DEVICES PICTURE #2 PICTURE #3

APT. DEVICES ABOVE EACH OTHER ON THE WALL ON THE WALL APT.

1 ENLARGED UNIT FLOOR PLAN - NEW WORK SCALE: 3/16" = 1'-0"

896



DOOR ACCESS SYSTEM

M TENANT ENTRANCE STATION

TENANT VIDEO MONITOR

GENERAL NOTES:

INTO NEW FACP.

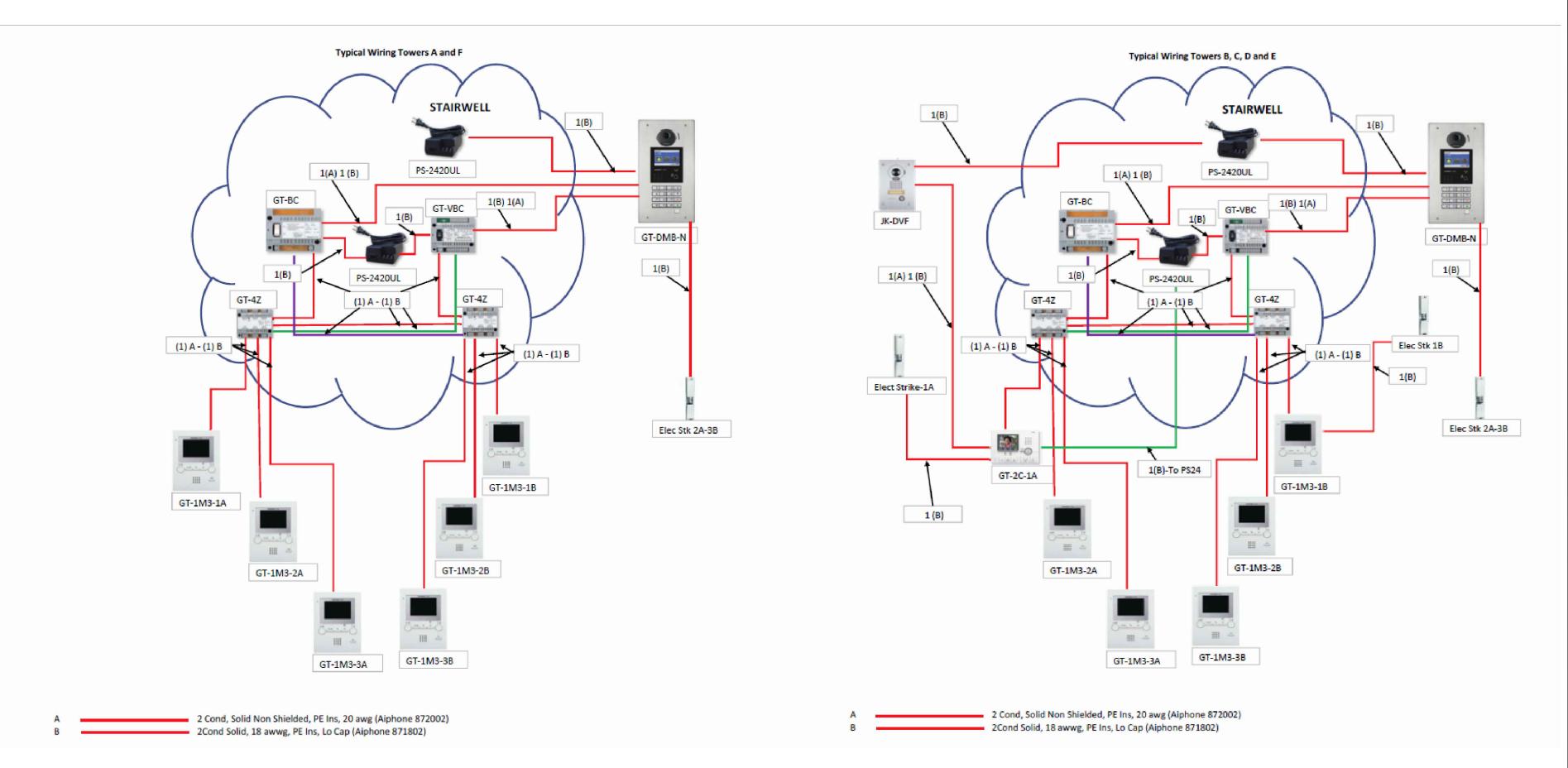
- 1. EXISTING PULL STATIONS ARE TO BE REMOVED AND REPLACED WITH NEW PULL STATIONS. NEW PULL STATIONS ARE TO BE TIED IN TO NEW FACP. SEE DRAWING E100 FOR FACP
- LOCATION. 2. EXISTING HORNS ARE TO BE PRESENT-TO-REMAIN AND ARE TO BE TIED
- 3. ALL NEW WIRING FOR ALL DEVICES TO BE TIED INTO NEW FACP SHALL BE PROVIDED AND INSTALLED.
- 4. SEE ARCHITECTURAL DRAWINGS A-5 AND A-6 FOR INFORMATION TO STAIR DOORWAYS.
- 5. CIRCUITING FOR NEW EMERGENCY/EXIT FIXTURES SHALL BE FROM EXISTING LIGHTING CIRCUIT, BUT A HEAD OF ANY SWITCHING.

DEMOLITION KEYED NOTES:

- REMOVE EXISTING BUZZERS, PATCH AND PAINT TO MATCH EXISTING. TYPICAL ALL TENANT UNITS. \diamondsuit REMOVE BUZZER AT COMMON DOOR ENTRY. LEAVE CONDUIT OR WIRING PATH FROM COMMON DOOR ENTRY TO EACH UNIT. SEE
- PICTURE ON DRAWING E104. REMOVE EXISTING PULL STATION AND REPLACE WITH NEW PULL STATION.

NEW WORK KEYED NOTES:

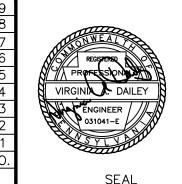
- 1) NEW BATTERY POWERED SMOKE DETECTORS
- (2) NEW TENANT MONITOR TO BE LOCATED IN THE VICINITY BUT BELOW EXISTING BUZZER UNIT BEING DEMOLISHED. CONNECT TO ELECTRONIC AT BOTTOM OF COMMON ENTRY, UTILIZE EXISTING RACEWAY WHERE POSSIBLE, BETWEEN COMMON DOOR ENTRY ENTRANCE STATION AND TENANT VIDEO MONITOR. TYPICAL ALL TENANT UNITS.
- (3) PROVIDE NEW FIRE ALARM NOTIFICATION AND INITIATION DEVICES IN EXISTING DEVICE LOCATION. PROVIDE NEW DEVICE BACK BOXES.



TYPICAL INTERCONNECTION WIRING, DIAGRAM-DOOR ENTRY/TENANT MONITOR (FOR REFERENCE ONLY)

CONSTRUCTION DOCUMENTS

						10
OWNER	PROJEC	CT TEAM				8
HOUSING AUTHORITY OF THE CITY OF PITTSBURGH DEVELOP & MODERNIZATION DEPT. 100 ROSS STREET PITTSBURGH, PA 15219 Phone:(412) 456-5020	RIOS WILLIAMS ARCHITECTS, P.C. 200 ROSEWOOD COURT VENETIA, PA 15367 PHONE: 724-255-7985 Contact: Lizette Rios-Williams lizette@rioswilliamsarchitects.com	D&D ENGINEERING, INC. 35 WILSON STREET ETNA TECHNICAL CENTER, SUITE 102 PITTSBURGH, PA 15223 PHONE: 412-784-1560	BY	DATE	DESCRIPTION REVISIONS	7 6 5 4 3 2 1 NO.



NORTHVIEW HEIGHTS BUILDING #74 UPGRADES	PROJECT NO. 17001.65	DRAWING NUMBER		
NORTHVIEW DEIGHTS BUILDING #/4 UPGRADES	DATE 11-13-2019	F101		
D & D ENGINEERING, INC. CONSULTING ELECTRICAL ENGINEERS	SCALE SEE PLAN			
DRAWING TITLE: FIRE DETECTION PLAN - NEW WORK ENLARGED PLAN	DRAWN BY JGK	SHEET NUMBER		
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