



# Housing Authority of the City of Pittsburgh

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**March 30, 2015**

## **Housing Quality Standard (HQS) and Uniform Physical Conditions Standard (UPCS) Inspections RFP#400-13-15**

### **ADDENDUM NO.3**

This addendum issued March 30, 2015 becomes in its entirety a part of the Request for Proposals RFP#400-13-15 as is fully set forth herein:

**Item 1:** Q: When performing a UPSC Inspection, will there be exterior inspections?

**A: Inspections must comply with UPCS inspection requirements**

**Item 2:** Q: Can you list which properties will have UPSC Inspections?

**A: All Low Income Public Housing properties will be inspected. A list of properties can be found at [www.hacp.org](http://www.hacp.org)**

**Item 3:** Q: Are there any licenses, certifications, or testing required to conduct any of these inspections?

**A: Vendor should possess any and all licenses and/or certifications as required by the UPCS regulation. Vendor should possess any and all licenses and/or certifications as required by the HQS regulation.**

**Item 4:** Q: Are there areas other than a individual unit of rental that will require UPSC inspections? If so, can you please explain?

**A: All Low Income public housing units will be subject to UPCS Inspections. HACP owed units may also be eligible for inspection as needed.**

**Item 5:** Q: What types of corrections require a re-inspection?

**A: Unclear results, failed entry for UPCS. Unclear results, no entry, any deficiencies determined during initial inspection, for HCV.**

**Item 6:** Q: Will the HACP provide a guide during inspections?

**A: No**

**Item 7** Q: For UPCS inspections, will the contractor need to manually enter work orders generated by craft code?

**A: This was answered in previous addendum.**

**Item 8** Q: Can the contractor schedule UPCS inspections all at one or do they have to be spread out over the year?

**A: This was answered in previous addendum.**

**Item 9** Q: Addendum 1 to this RFP states that McCright and Assoc. is the current vendor for UPCS inspections and that HQS inspections are performed by HACP staff. During the pre-submission meeting we were told that McCright and Assoc. also performs HQS inspections. Please clarify.

**A: In the event HACP requires an HQS inspection to be conducted by non HACP staff, McCright and Associates would conduct same HQS inspection and any re-inspection, if necessary.**

**Item 10** Q: How long has the current vendor been performing these services?

**A: The current contract was for an initial term of three 3 years with two (2) one (1) year extension options.**

**Item 11** Q: Is the current vendor contract subject to additional extensions?

**A: No**

**Item 12** Q: Is it known if the current vendor intends to submit a proposal?

**A: No**

**Item 13** Q: What are the current fees being charged for HQS inspections and UPCS inspections?

**A: As per Addendum 2 Item 4, this information will not be provided as part of this RFP.**

**Item 14** Q: The RFP states that HACP owns and operates 5208 units of housing. During the pre-submission meeting it was stated that only about 3000 units are subject to UPCS. Please clarify the total number of units to be inspected and the standard to which they are to be inspected.

**A: The Low Income Public Housing program expects to inspect approximately 3000 units annually.**

**Item 15** Q: Please provide the most recent REAC scores per AMP.

**A: As per Addendum 2 Item 8, this information will not be provided as part of this RFP.**

**Item 16** Q: Please provide the most recent inspection related SEMAP scores.

**A: As per Addendum 2 Item 9, the HACP is an MtW agency and as such its HCV Program is exempt from SEMAP reporting performance measures.**

**Item 17** Q: Is the HACP currently considering Biennial inspections for its HCV units?

**A: Yes**

**Item 18** Q: Please provide property profiles, specifically number of buildings, building types and number of units for each property subject to UPCS. This information is available to the current vendor and is essential to any new proposer in order to provide the most competitive bid.

**A: This information was provided prior to pre-bid. Also please see attachment A to this Addendum.**

**Item 19** Q: MASS sub-indicator 4 requires certification that properties are inspected to the Uniform Physical Condition Standards. These standards include inspection of Site, Building Exterior, Building Systems, Building Common Area and Units. During the pre-submission meeting we were told that only units were to be inspected. How are the remaining portions of the UPCS completed?

**A: UPCS inspections must be completed in compliance with regulatory standards set forth by HUD.**

**Item 20** Q: What certifications are required of the individuals that actually do the inspections? Are they to be certified by PA Department of Labor and Industry?

**A: Please see Item 3. Vendor should possess any and all licenses and/or certifications as required by the HQS/UPCS regulation.**

**Item 21** Q: It is our understanding that there are no electrical inspections to be conducted, if this is true why? We urge you to make this a complete inspection and not a partial one by adding the requirement for certified electrical inspections.

**A: The Vendor will be responsible to inspect all items as required by the HQS/UPCS regulation.**

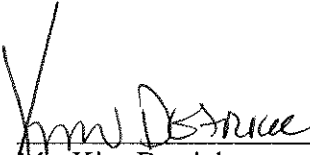
**Item 22** Q: We understand the need to complete the proposals in time to provide the recommended proposal to the April 26 Board Meeting. We submit that the April Six deadline for submission allows inadequate time for a thoughtful competitive proposal, may result in inflated prices due to inadequate information provided and is not in the best interest of HACP.


**A: Please see Item 24.**

**Item 23** Bedroom Count for LIPH is attached as Attachment A to this Addendum

**Item 24:** The proposal due date, time and location remain unchanged at 10am April 6, 2015, at the HACP Procurement Dept., 100 Ross St. 2nd Floor, Suite 200, Pittsburgh, PA 15219.

**END OF ADDENDUM NO. 3**

  
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Mr. Kim Detrick  
Procurement Director/Contracting Officer

  
\_\_\_\_\_  
Date

# Attachment A

## LIPH Bedroom Count

(RFP-400-13-15 Housing Quality Standard (HQS) and Uniform Physical Conditions  
Standard (UPCS) Inspections)

Community	0BR	1BR	2BR	3BR	4BR	5BR	6BR	Total
Allegheny		72	200					272
Arlington		31	112					143
Bedford Dwellings		122	240	49				411
Caliguiri		104						104
Carrick		65						65
Finello		60						60
Frank Mazza		30						30
Glen Hazel		16	34	58	20			128
Glen Hazel for Sale				3				3
Glen Hazel Hi-rise		90	7					97
Gualtieri	4	27						31
Homewood North			34	53	30		9	126
Morse Gardens		70						70
Murray Towers	38	26	3					67
Northview Heights		32	96	312	78	20		538
Pennsylvania Bidwell		100	20					120
Pressley	15	180	16					211
Scattered Sites North			13	98	17	7		135
Scattered Sites South			38	108	9			155