

GLEN HAZEL HIGHRISE COMMUNITY ROOM & TERRACE IMPROVEMENTS

4 November 2014

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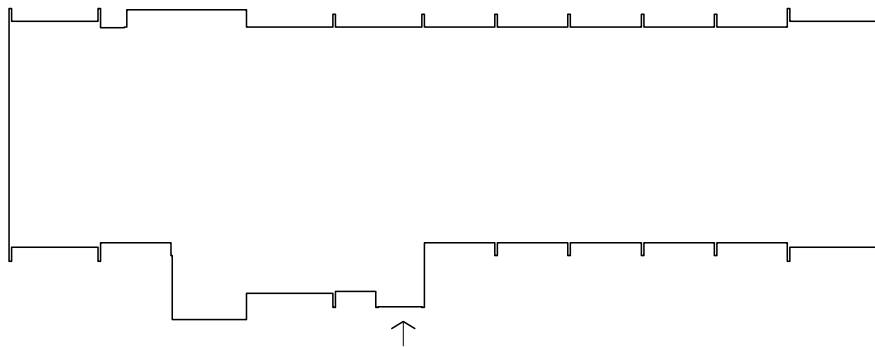
Code Review

Applicable Code:	IEBC 2009 / Level 2 Alteration	
Occupancy:	R-2 Residential: Highrise Apartment Building Existing structure, no change of occupancy	IRC § 302.2
Compliance:	Newly installed electrical equipment shall comply with the requirements of section 708	IEBC § 701.3
Fire Protection:	Existing building is sprinklered	IEBC § 704
Corridor Fire Rating:	.5 hour	IBC Table 1018.1
Fire Door Rating:	1/3 hour	IBC Table 715.4
Means of Egress:	2 are existing, 1 additional door being provided	IEBC § 705
Egress Doors:	All doors opening onto an exit passageway at grade shall be self-closing	IEBC § 705.4
	Shall be at least 1 3/8" solid core wood or approved equivalent	IEBC § 705.5.1

General Notes

- Codes: All work shall be done in strict accordance with applicable codes and regulations and the highest written standards specified by applicable trade associations.
- Permits and Inspections: The building permit and all other required permits and inspections shall be procured by the general contractor.
- Coordination: Contractors shall thoroughly familiarize themselves with existing conditions, finishes, and materials prior to submitting proposals. Field confirmation shall include, but not be limited to, critical dimensions, trueness of existing framing (where applicable) and critical substrates prior to commencing work. Notify architect of any discrepancies or imperfections noted above that would affect progress and/or installations of this contract.
- Cutting & Patching: All existing finishes disturbed during the course of this work shall be restored to original condition. New finishes shall match existing, where adjacent, as closely as possible, unless noted otherwise.
- Cleaning: All existing surfaces, cabinets, appliances, fixtures, etc. are to be cleaned with the appropriate cleaners prior to painting or refinishing (if applicable). When possible, use low or no VOC product to reduce toxins in the air.
- Fire-rated Construction: Any penetrations through existing fire rated construction is to be sealed with fire-retardant sealants.
- Material & Equipment: The contractor shall provide all materials, labor and equipment necessary for completion of the work. All materials shall be new unless specifically indicated otherwise. Materials damaged in transport or during construction shall be replaced at no cost to the tenant.
- Blocking: Provide concealed blocking for all wall mounted equipment, including cabinets, toilet accessories, ornamental metal, railings and the like, as described in the bid documents. Also provide concealed blocking for wall mounted equipment and cabinets indicated on the ffe drawings.
- Do not scale the drawings. All dimensions shall be field verified by the contractor.
- Materials noted on one drawing are typical for all materials similarly depicted.

Key Plan



Consultants

Multi-Lynx Companies, Inc.
241 Fourth Avenue
Pittsburgh, PA 15222
412.798.4113

Watson Engineers
100 Jaspen Way
McMurray, PA 15317
724.745.7513

Abbreviations and Graphics Legend

ACT A.F.F. ALUM. APPROX. BD. BTM. B/ CLG. CLR. CMU CONC. CONT. COORD. CPT. CT C.S. DIA. DPL DN D&R DWG EA EX'G EXP.	Acoustic Ceiling Tile Above Finished Floor Aluminum Approximate Board Bottom Bottom Of Ceiling Clear Concrete Masonry Unit Concrete Continuous Coordinate Carpet Ceramic Tile Course Diameter Diamond Plate Down Detach and Reset Drawing Each Existing Expanded	EXT. F.B.O. FIN. FIXT. FLR. GA. GALV. G.C. GWB GYP. HORIZ. HR. INSUL. INT. LINO. LVT MAX. MIN. M.O. MOD. BIT. MTL. MTD N.I.C. N.T.S.	Exterior Furnished By Owner Finish / Finished Fixture Floor Gauge Galvanized General Contractor Gypsum Wall Board Gypsum Horizontal Hour Insulation Interior Linoleum Luxury Vinyl Tile Maximum Minimum Masonry Opening Modified Bitumen Metal Mounted Not In Contract Not To Scale	OP'G OSB P.LAM. PLYWD. PTD / PNT'D REQ'D REINF. R&R RUB SIM. STL. T/ TYP. TINT / TINT'D T.S. U.N.O. U.T.R. VCT V.I.F. VIN WDW WD. V.PL.PT.	Opening Oriented Strand Board Plastic Laminate Plywood Painted Required Reinforced Remove and Replace Rubber Similar Steel Top Of Typical Tinted Tube Steel Unless Noted Otherwise Up Through Roof Vinyl Composition Tile Verify in Field Vinyl Window Wood Veneer, Plaster & Paint
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DRAWING TITLE	DRAWING No. NAME SCALE SHEET No.	SECTION FLAG	DETAIL No. DIRECTION SHEET No. CUT & DIRECTION
ROOM ID.	NAME ROOM No.	DOOR ID.	DOOR No. ROOM No.
DETAIL FLAG	DETAIL No. SHEET No.	PARTITION TAG	PARTITION TYPE
ELEVATION FLAGS	DETAIL No. & DIRECTION SHEET No.	WINDOW TAG	WINDOW TYPE
	DETAIL No. DIRECTION SHEET No.	KEYNOTE TAG	KEYNOTE No.

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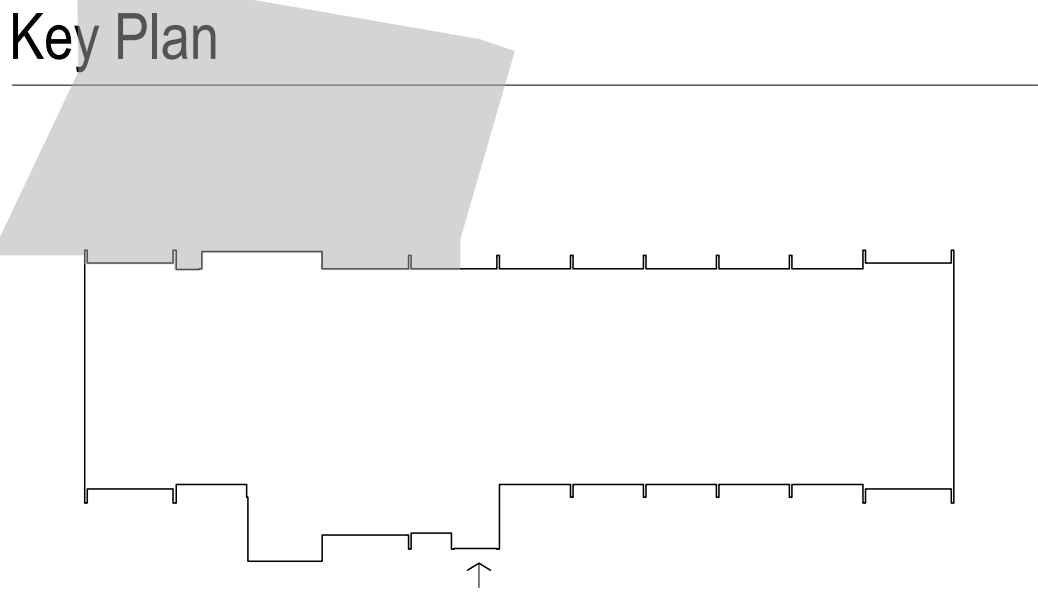
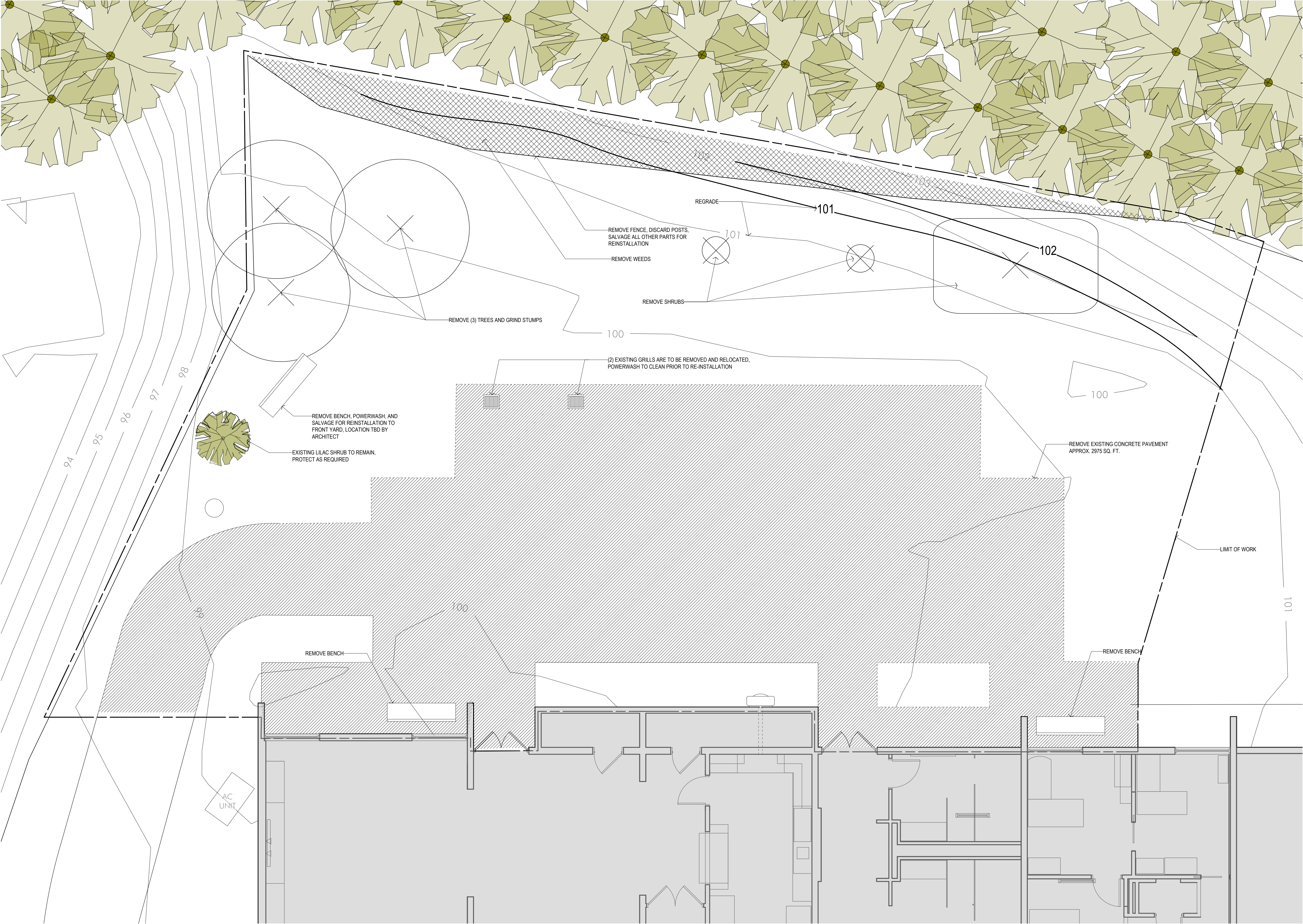
**Glen Hazel Highrise
Community Room &
Terrace Improvements**
945 Roselle Court
Pittsburgh, PA 15207

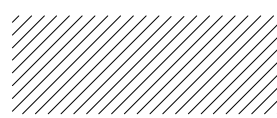
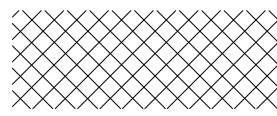


4 November 2014
Scale: None

Coversheet

Housing Authority City of Pittsburgh
100 Ross Street
Pittsburgh, PA 15219

AO.O



-  Pavement Demo
-  Weeds to be Removed
-  102 Existing contour to be changed
-  102 Proposed contour

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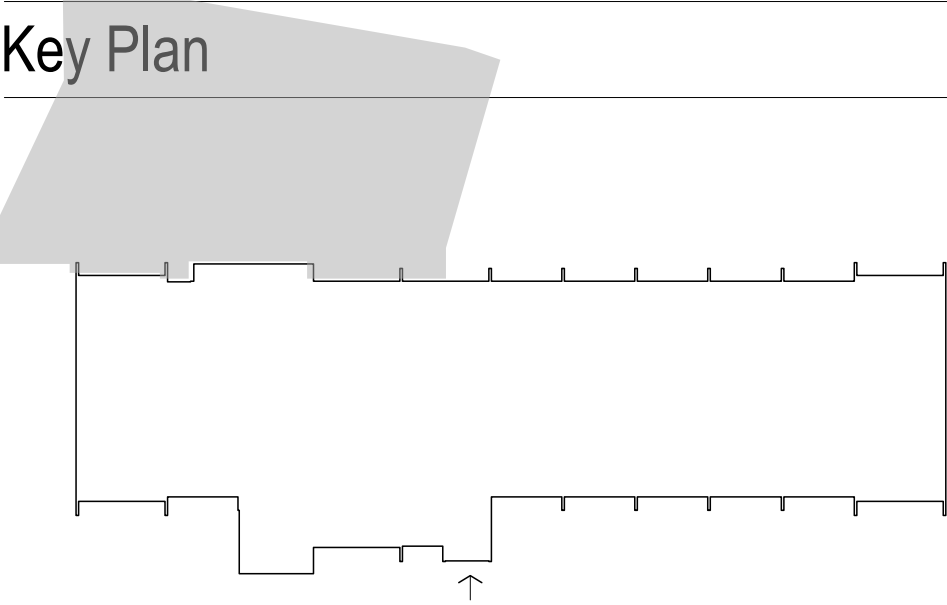
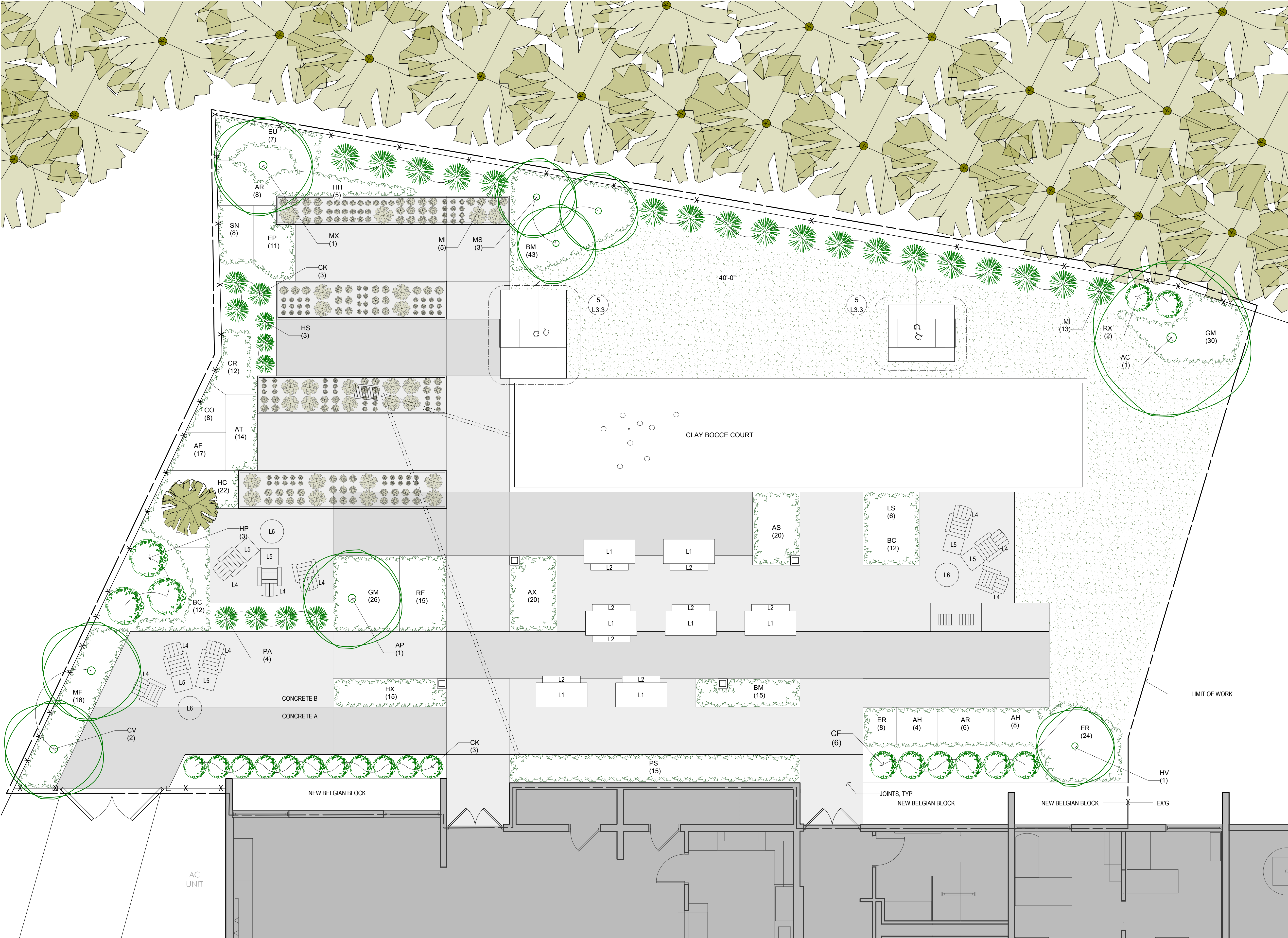
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4 November 2014
Scale: Noted

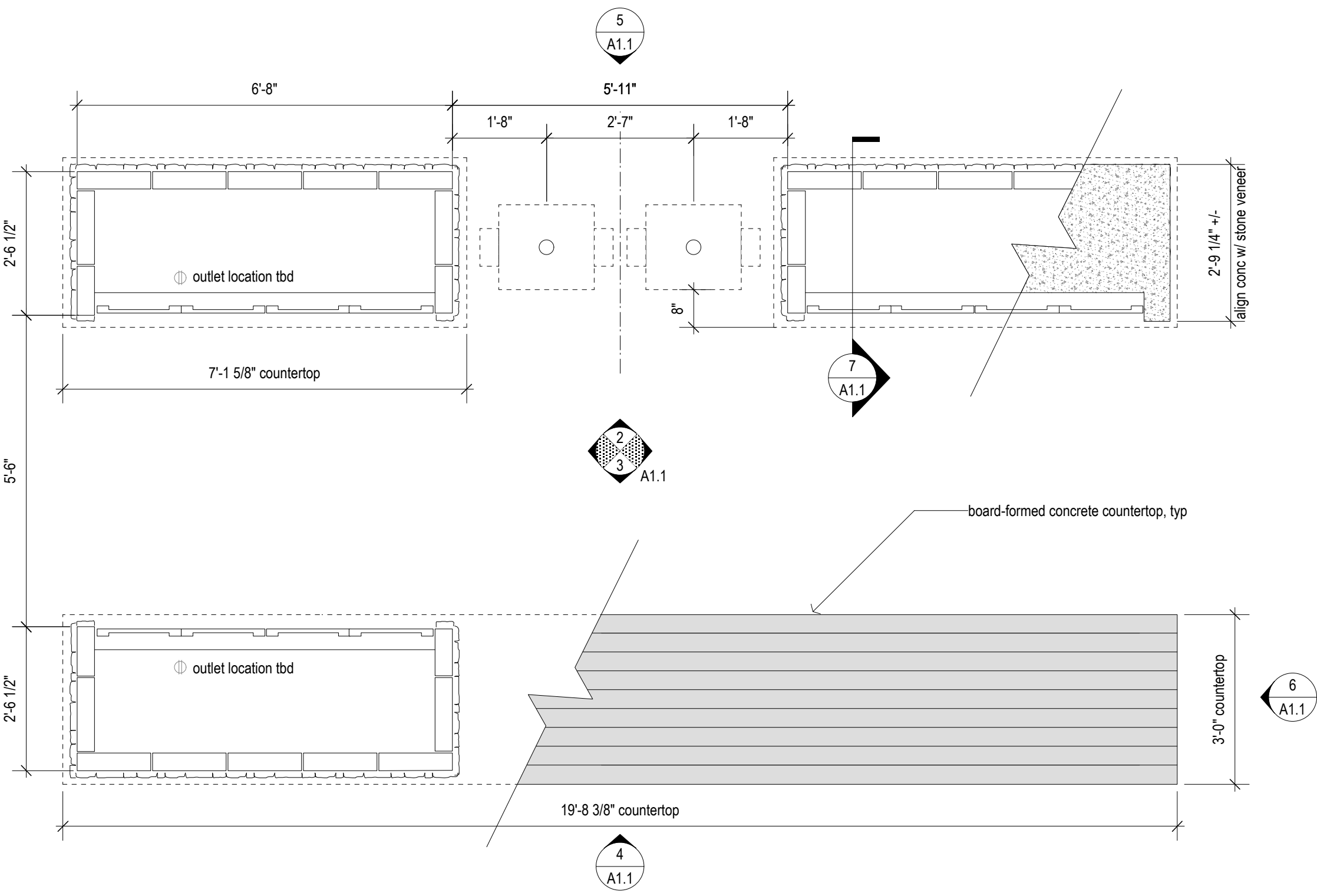
Demolition and
Grading Plan

L1.0

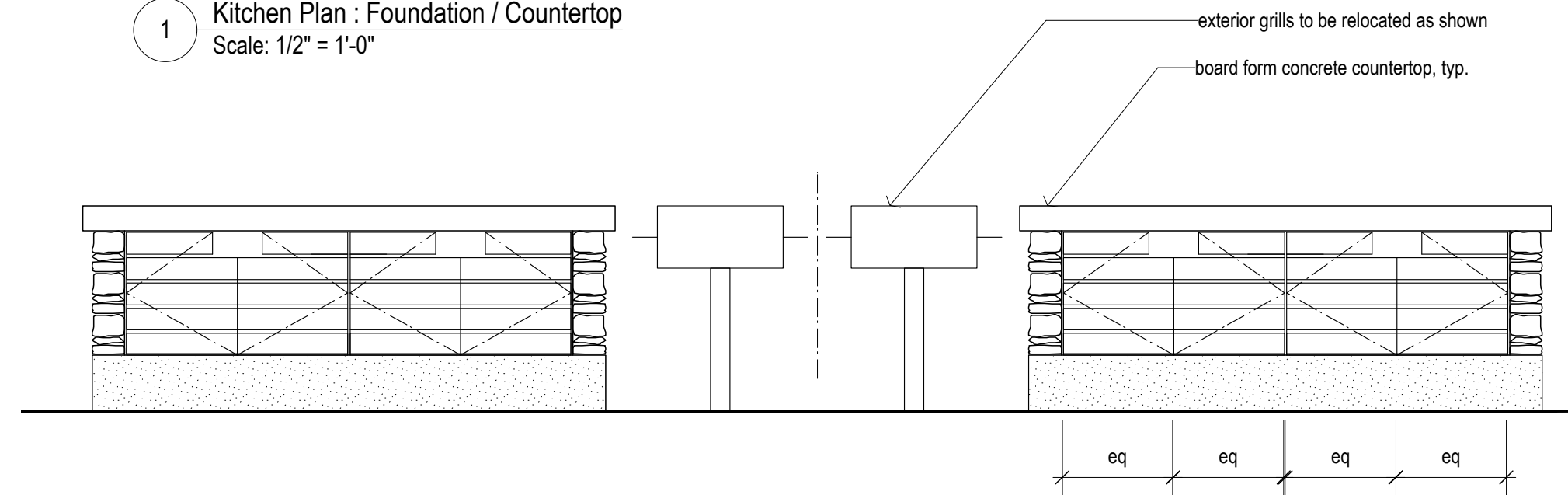
Housing Authority City of Pittsburgh
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Pittsburgh, PA 15219



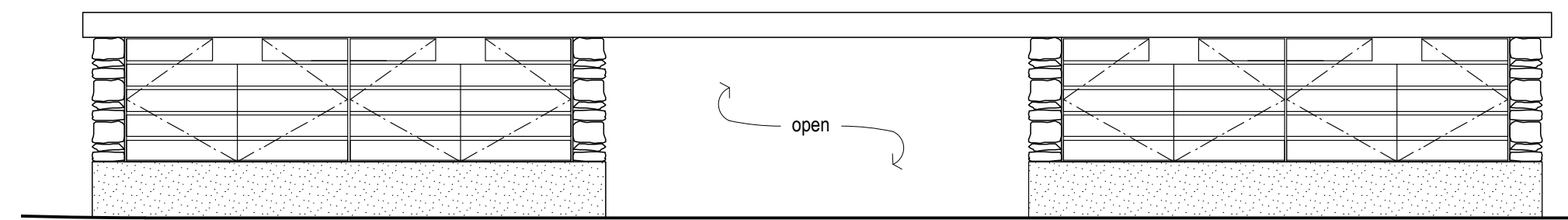
PLANT SCHEDULE									
QTY	SYM	BOTANICAL NAME (COMMON NAME)	SIZE	ROOT	SPACING	DETAIL	NOTE		
TREES									
1	AC	Aesculus x carnea (Red Horse-Chestnut)	2"-2.5" CAL	B&B		1	L3.3	multistem	
1	AP	Acer pensylvanicum (Striped Maple)	6' - 7' HT.	B&B		2			
2	CV	Chionanthus virginicus (White Fringetree)	5' - 6' HT.	B&B		2			
3	MS	Magnolia stellata (Star Magnolia)	5' - 6' HT.	B&B		1	L3.3	multistem	
1	MX	Malus 'Prairifire' (Prairifire Crabapple)	2"-2.5" CAL	B&B		3			
GRASSES									
3	CK	Calamagrostis 'Karl Foerster' (Feather Reedgrass)	#3	FP		3	L3.3		
3	HS	Helictotrichon sempervirens (Blue Oatgrass)	#1	FP		2			
18	MI	Miscanthus sinensis (Maidengrass)	#5	FP		3	L3.3		
4	PA	Pennisetum alopecuroides (Fountain Grass)	#2	FP		3			
SHRUBS									
11	AA	Aronia arbutifolia (Red Chokeberry)	2.5'-3' HT.	FP	30" O.C.	3	L3.3	ideal pH 7.5	
6	CF	Calycanthus floridus (Carolina allspice)	3'- 4' HT.	FP	36" O.C.	2			
1	HV	Hamamelis virginiana (Witch Hazel)	4' - 5' HT.	B&B		2	L3.3		
3	HP	Hydrangea paniculata 'Limelight' (Panicle Hydrangea)	3'- 4' HT.	FP		3			
2	RX	Rhododendron cv. (Blue Rhododendron)	3'- 4' HT.	FP		3	L3.3	ideal pH 5.5	
PERENNIALS									
17	AF	Agastache foeniculum (Anise Hyssop)	#1		12" O.C.	3	L3.3	non-variegated leaf	
14	AR	Actaea racemosa (Black Cohosh)	#2		24" O.C.				
12	AH	Anemone hupehensis (Japanese Anemone)	#2		24" O.C.				
20	AS	Astilbe x rosea 'Peach Blossom' (Early Pink Astilbe)	#1		15" O.C.				
14	AT	Asclepias tuberosa (Butterfly Weed)	#1		15" O.C.				
20	AX	Astilbe x arendsii (Red Astilbe)	#1		15" O.C.				
24	BC	Bergenia cordifolia (Heart-leaved Bergenia)	#1		18" O.C.				
58	BM	Brunnera macrophylla (Brunnera)	#SP5		15" O.C.				
8	CO	Coreosis verticillata (Treadleaf Coreopsis)	#1		15" O.C.				
12	CR	Coreosis verticillata 'Broad Street' (Red Treadleaf Coreopsis)	#1		15" O.C.				
11	EP	Echinacea purpurea (Purple Coneflower)	#1		18" O.C.	2	L3.3	ideal pH 6.5	
32	ER	Epimedium x rubrum (Bishop's Hat)	#1		15" O.C.				
7	EU	Eupatorium purpureum (Sweet Joe Pye Weed)	#2		30" O.C.				
56	GM	Geranium macrorrhizum (Bigroot Geranium)	#SP5		15" O.C.				
22	HC	Hypericum calycinum (St. John's Wort)	#1		18" O.C.				
5	HH	Heliopsis helianthoides (Oxeye Sunflower)	#2		30" O.C.				
15	HX	Heuchera x cv. (Heuchera)	#1		15" O.C.				
6	LS	Lamprocapnos spectabilis (Bleeding Heart)	#2		18" O.C.				
16	MF	Monarda fistulosa (Wild Bergamot)	#1		24" O.C.				
15	PS	Polystichum setiferum (Soft Shield Fern)	#2		24" O.C.				
15	RF	Rudbeckia fulgida (Black-eyed Susan)	#1		18" O.C.	2	L3.3	ideal pH 6.5	
8	SN	Symphyotrichum novae-angliae cv. (Blue New England Aster)	#1		18" O.C.				



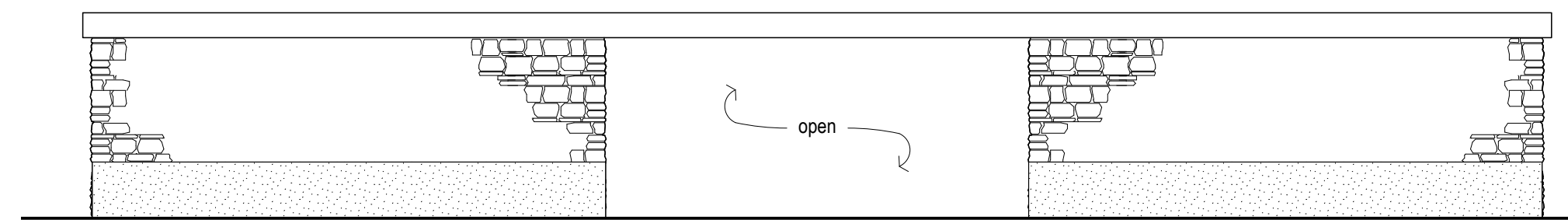
1 Kitchen Plan : Foundation / Countertop
Scale: 1/2" = 1'-0"



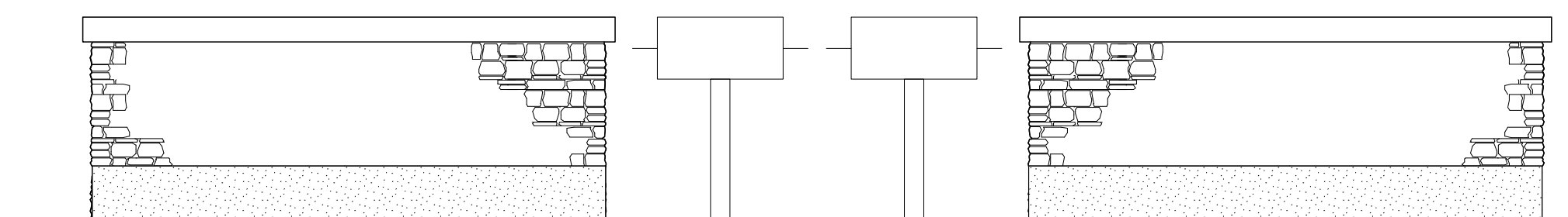
2 Kitchen Cabinets / Grills Elevation
Scale: 1/2" = 1'-0"



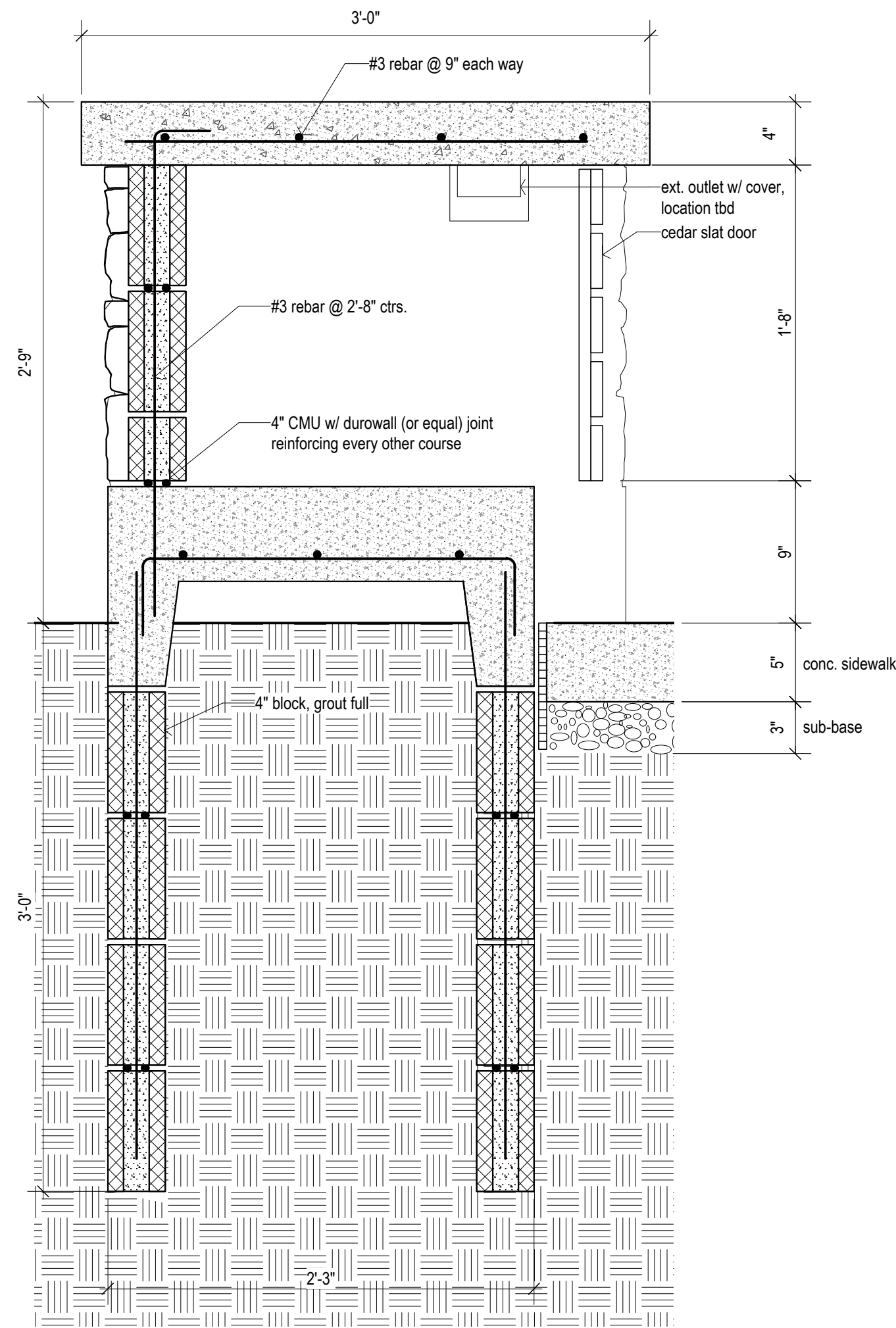
3 Kitchen Cabinets Elevation
Scale: 1/2" = 1'-0"



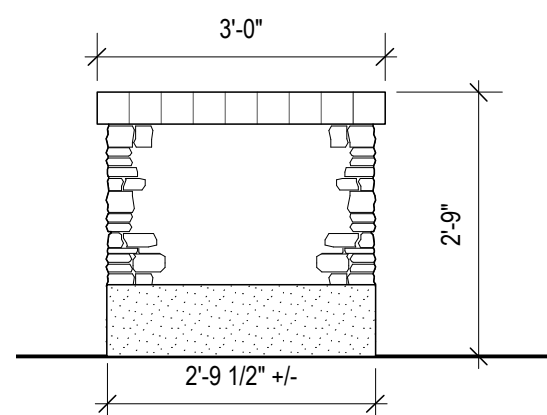
4 Kitchen Exterior Elevation A
Scale: 1/2" = 1'-0"



5 Kitchen Exterior Elevation B
Scale: 1/2" = 1'-0"

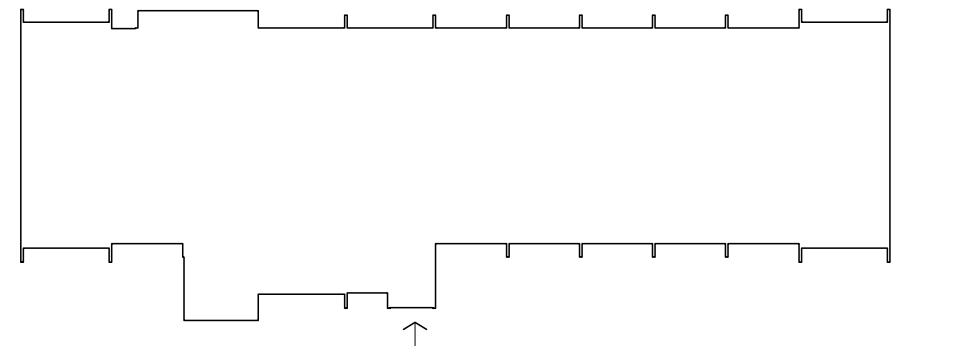


7 Cabinet Section A-A
Scale: 1 1/2" = 1'-0"



6 Kitchen End Elevation
Scale: 1/2" = 1'-0"

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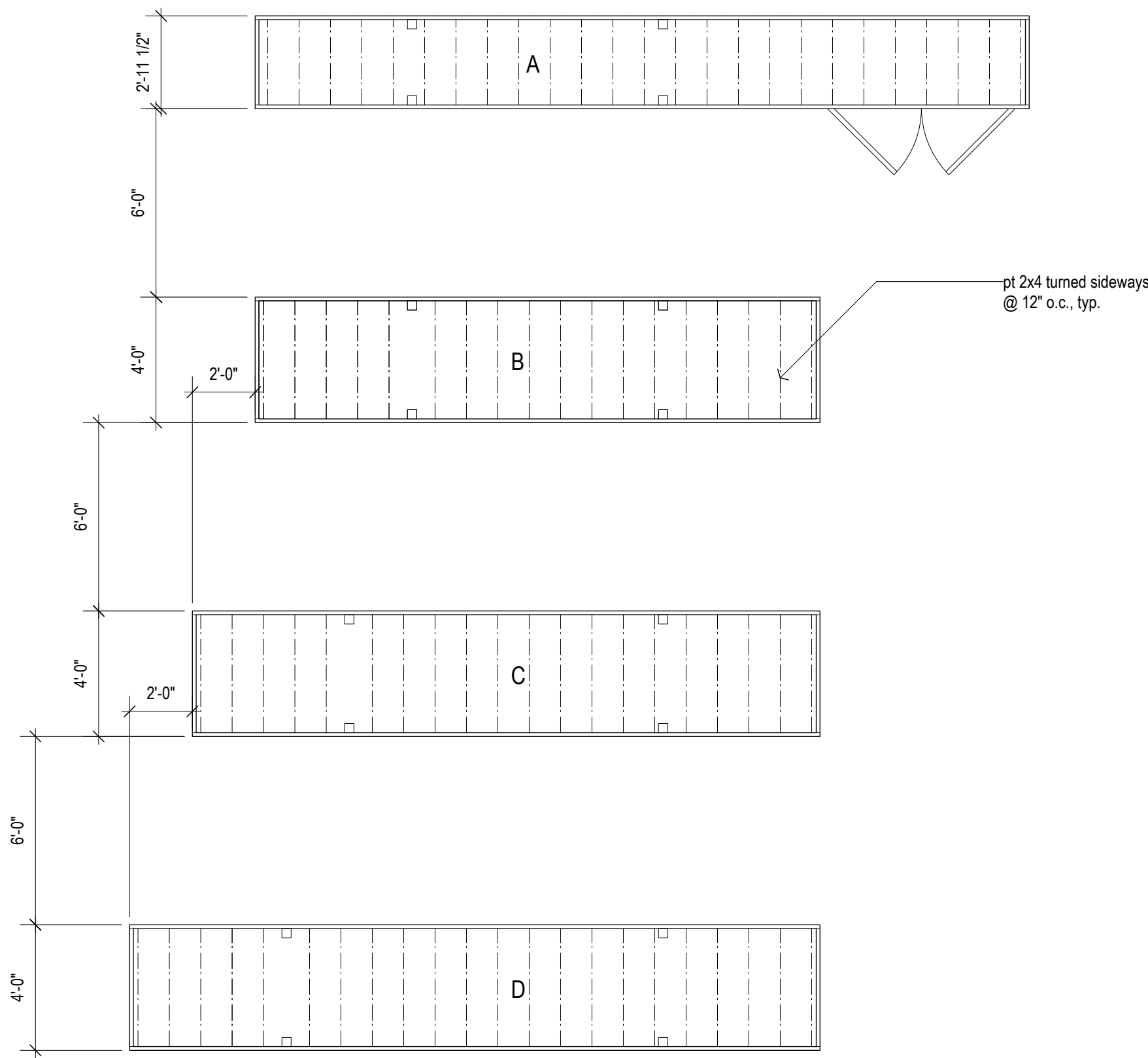
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4 November 2014
Scale: As Noted

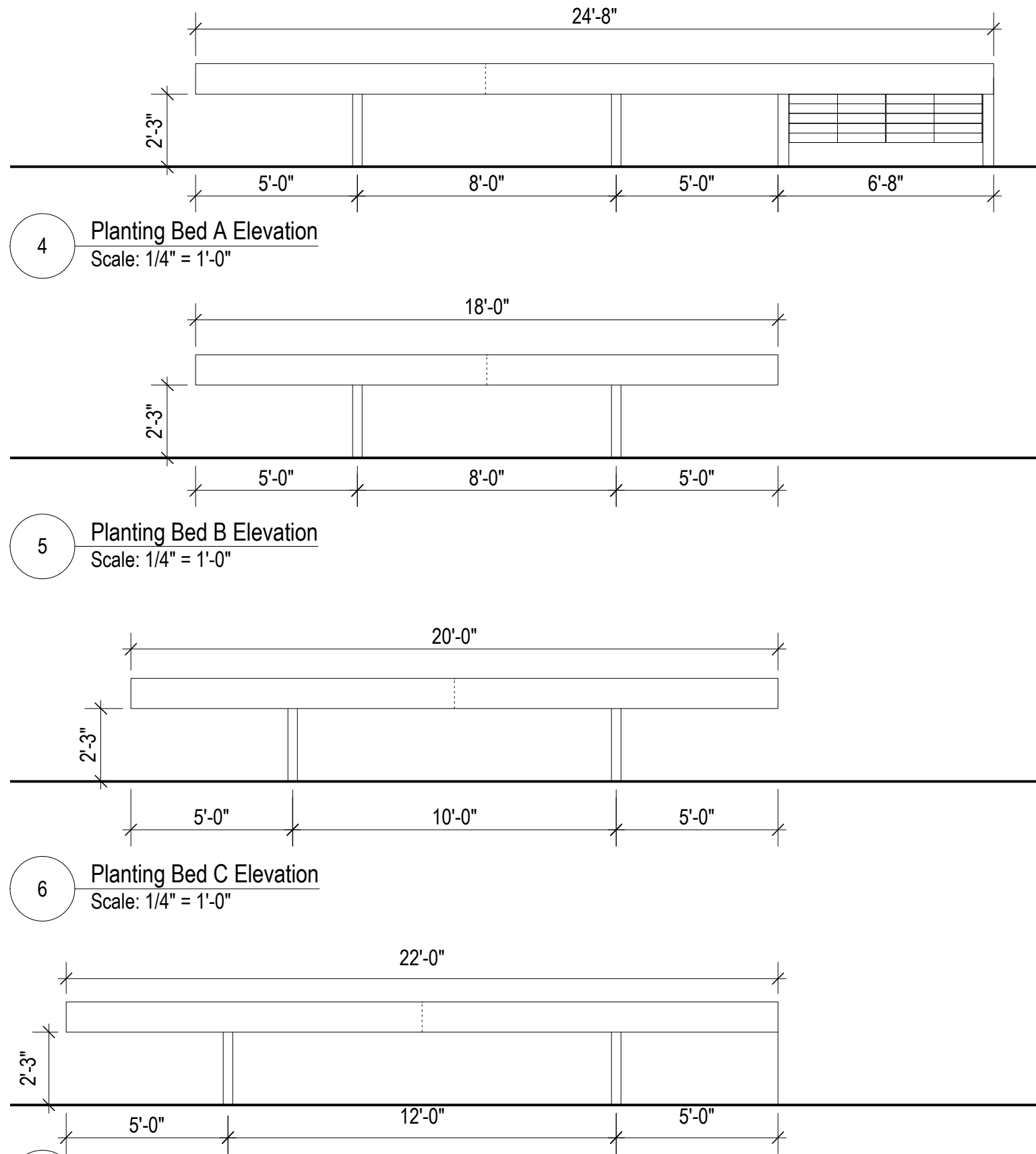
Outdoor Kitchen
Details

Housing Authority City of Pittsburgh
100 Ross Street
Pittsburgh, PA 15219

L3.0



1 Planting Bed Plan
Scale: 1/4" = 1'-0"

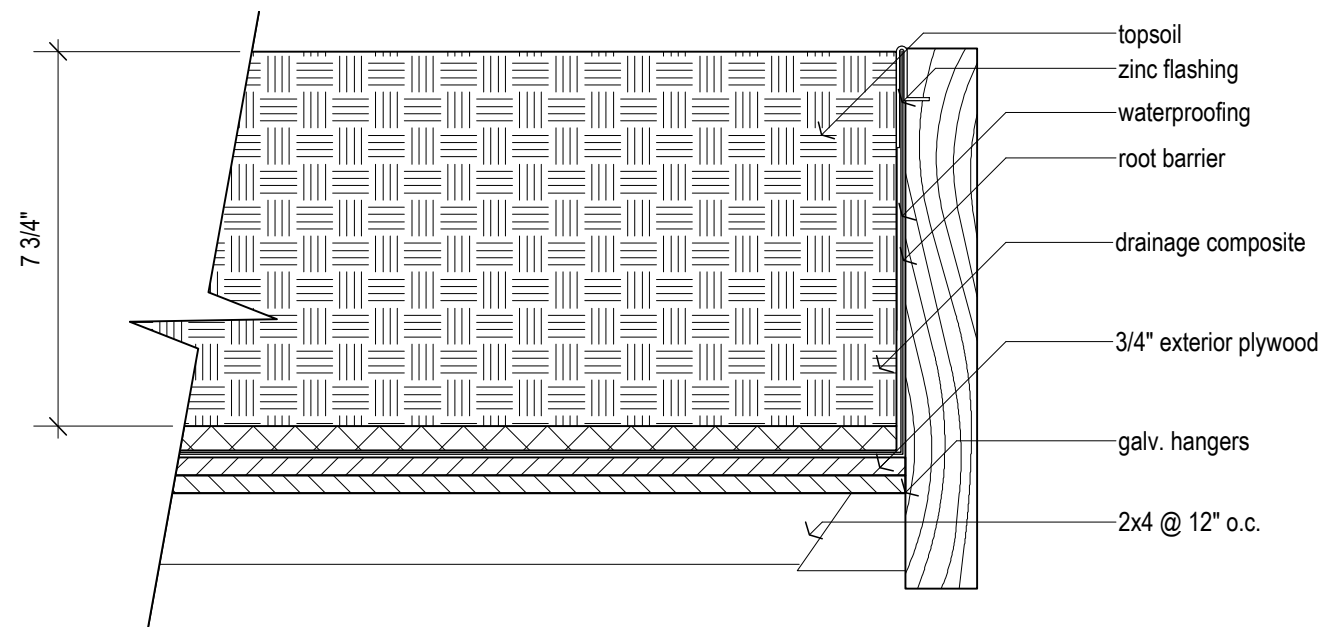


4 Planting Bed A Elevation
Scale: 1/4" = 1'-0"

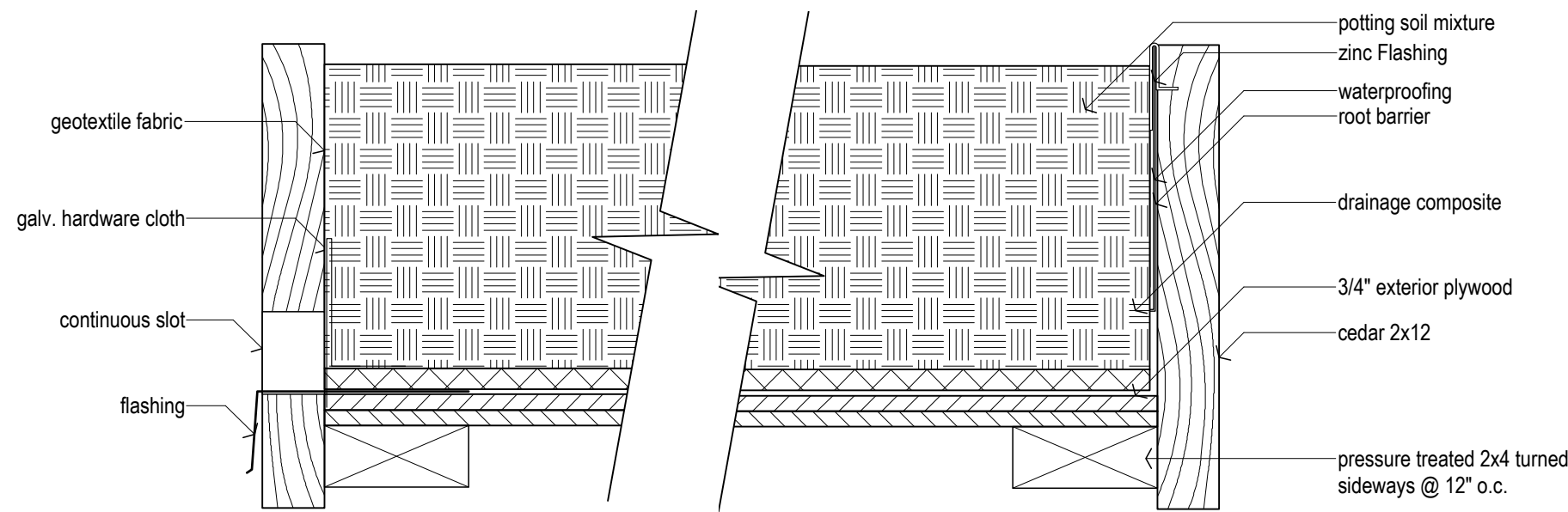
5 Planting Bed B Elevation
Scale: 1/4" = 1'-0"

6 Planting Bed C Elevation
Scale: 1/4" = 1'-0"

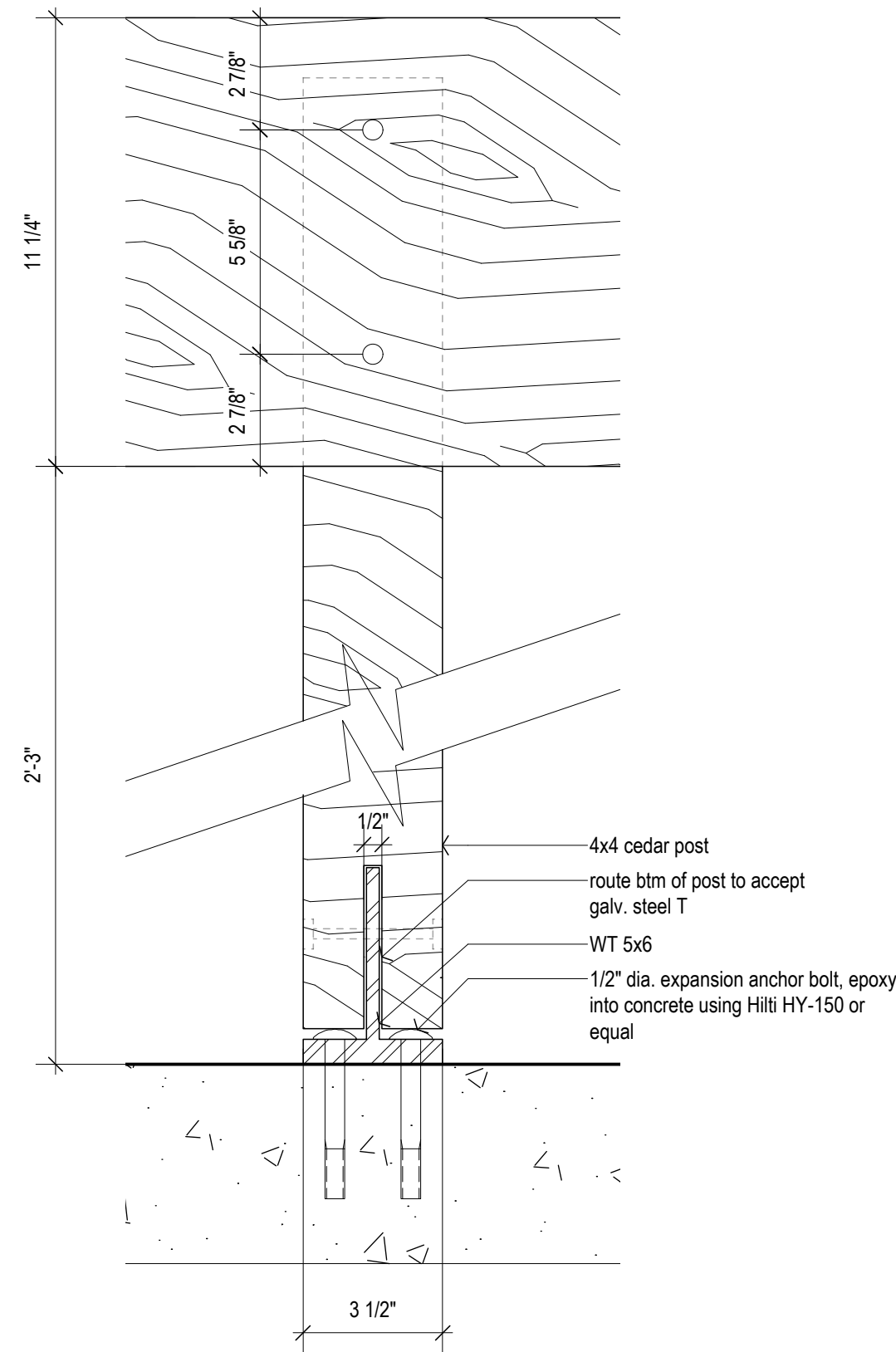
7 Planting Bed D Elevation
Scale: 1/4" = 1'-0"



2 Planting Bed Cross Section
Scale: 3" = 1'-0"

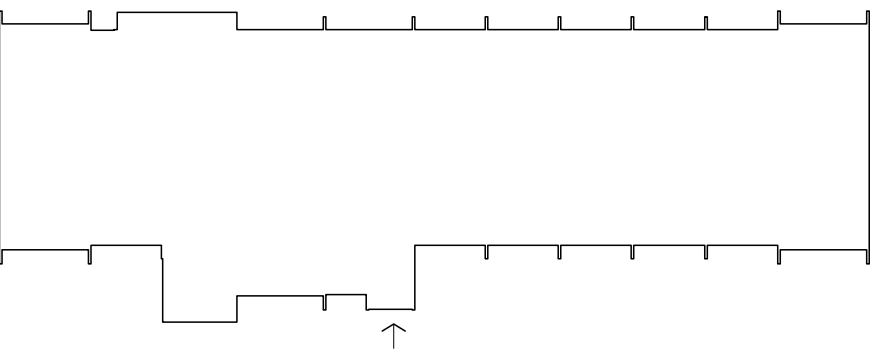


3 Planting Bed Longitudinal Section
Scale: 3" = 1'-0"



6 Post Connection Detail
Scale: 3" = 1'-0"

Key Plan



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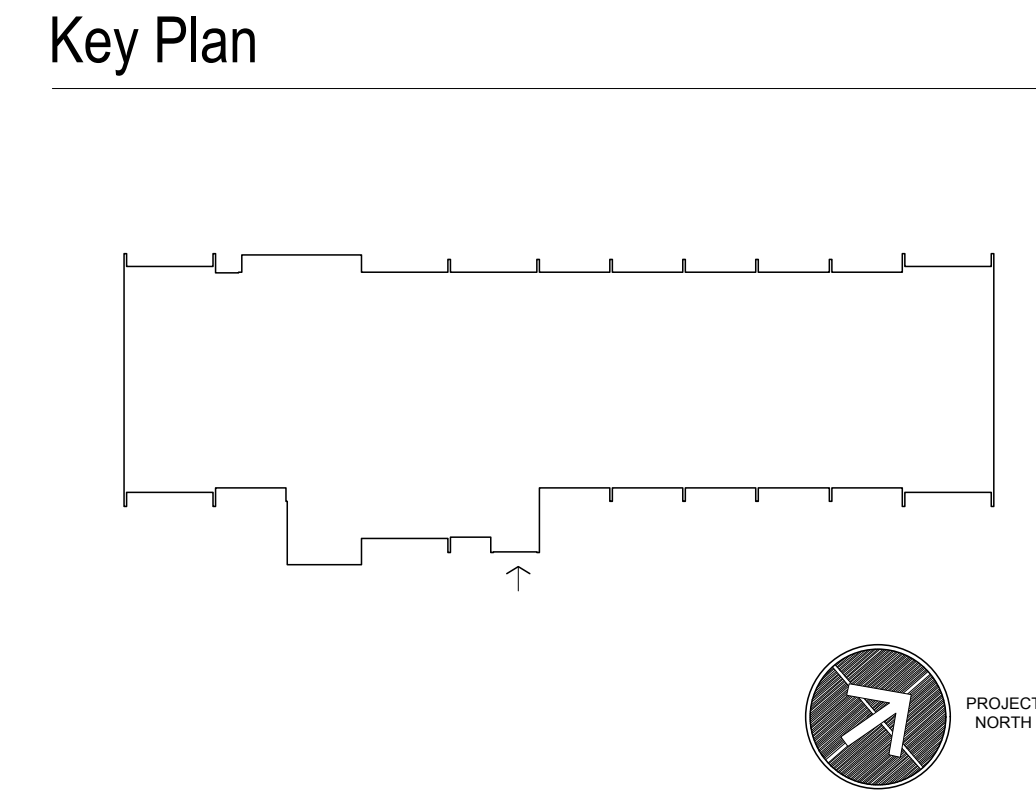
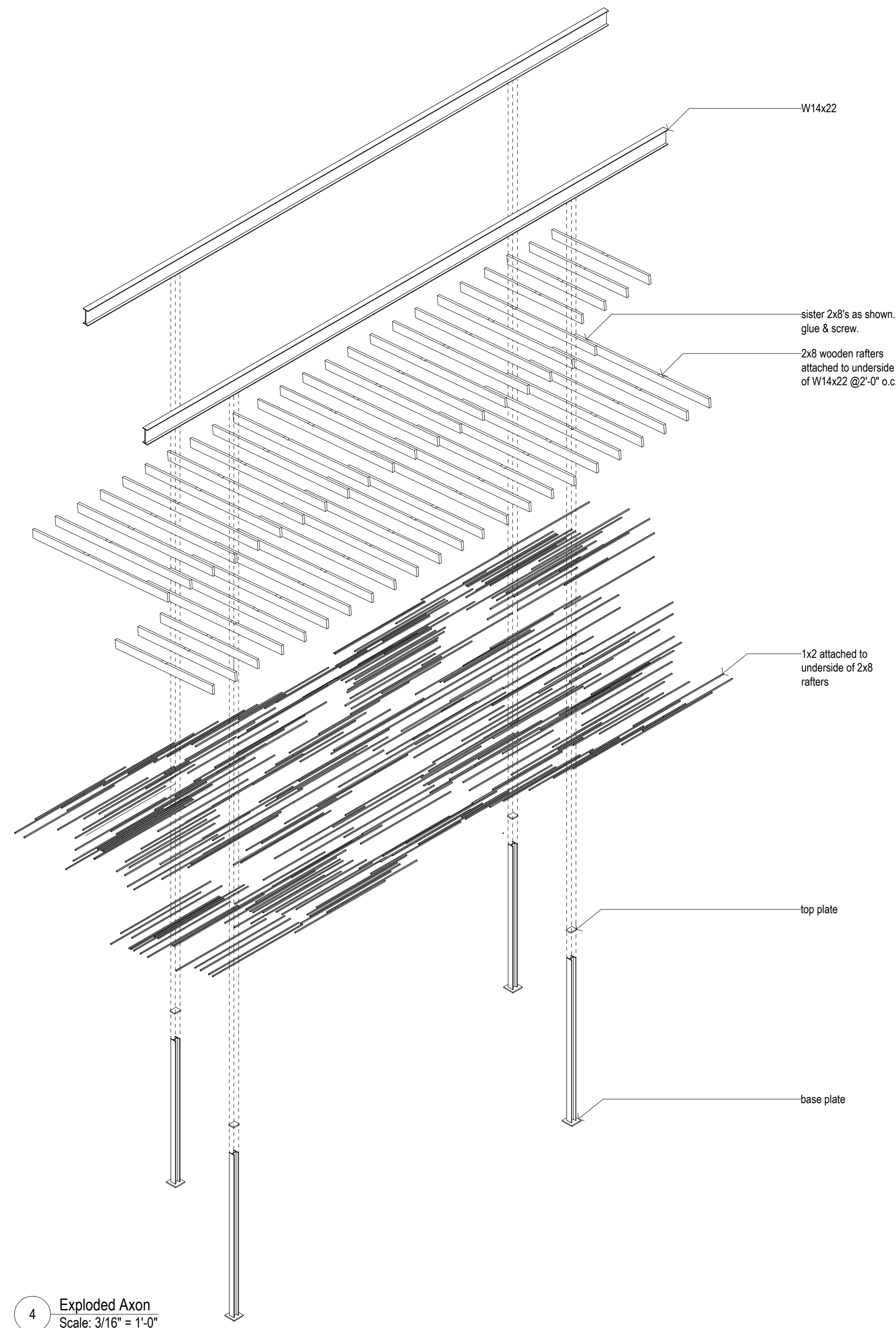
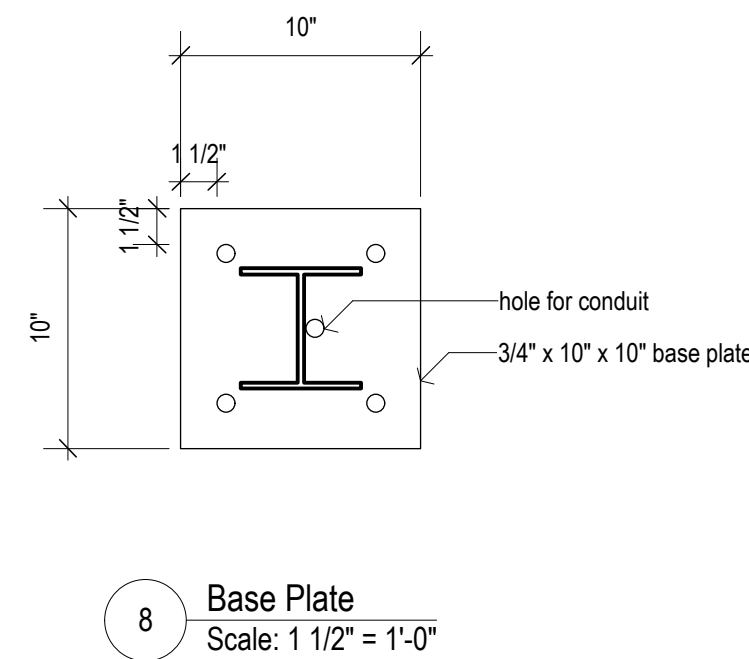
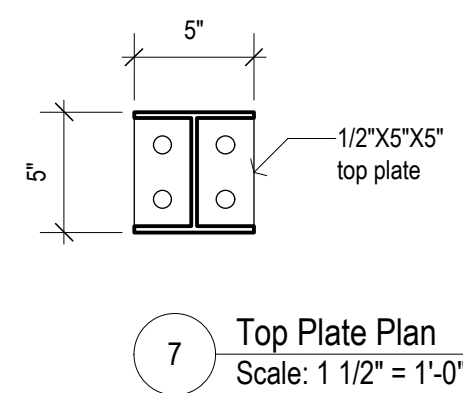
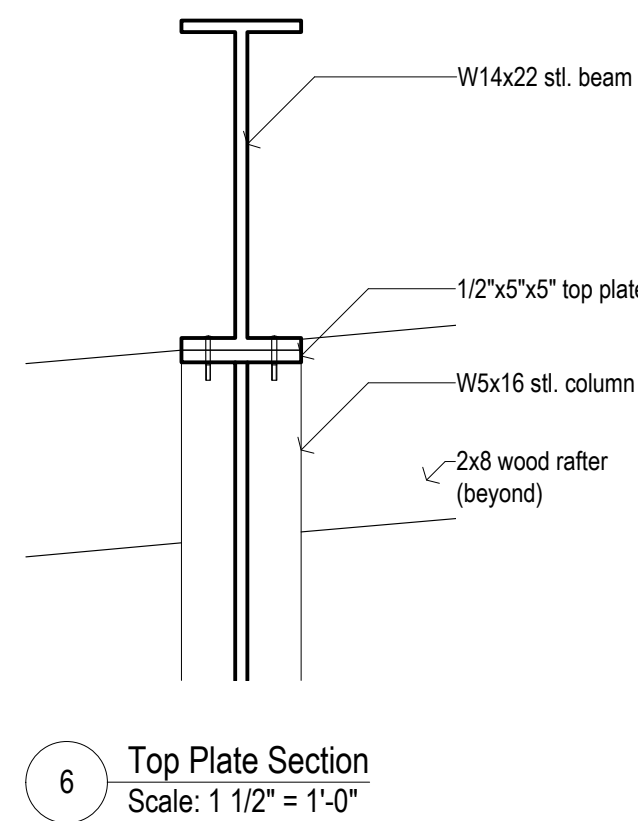
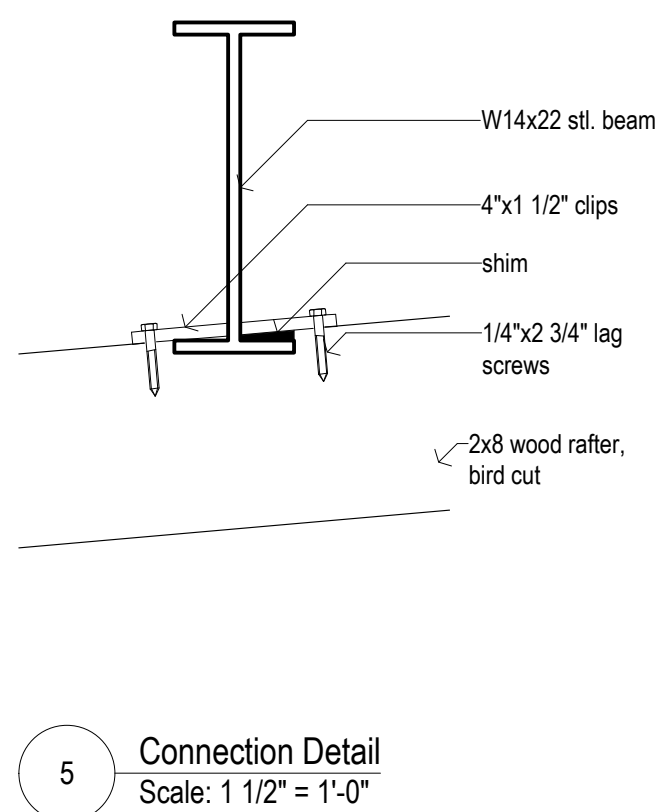
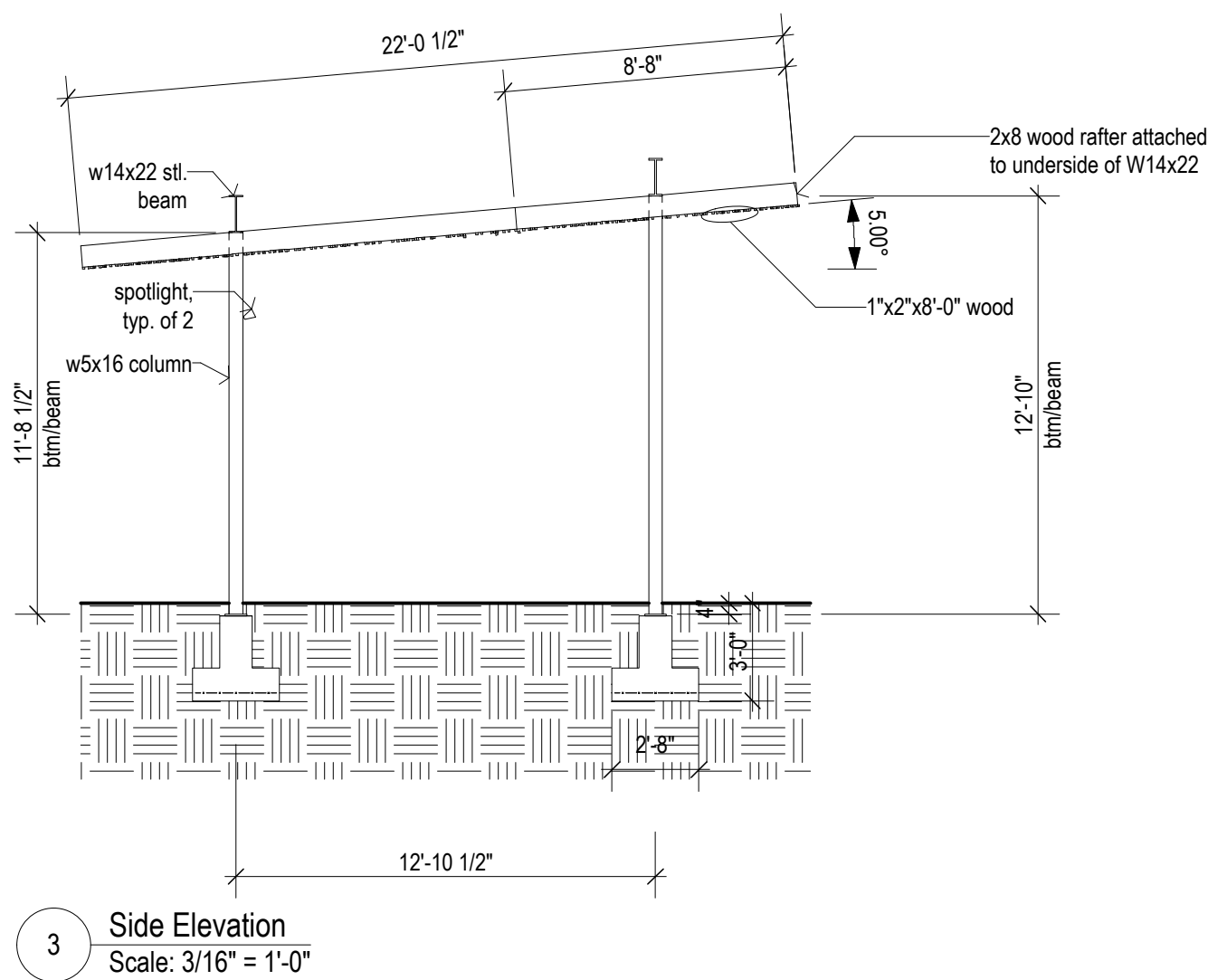
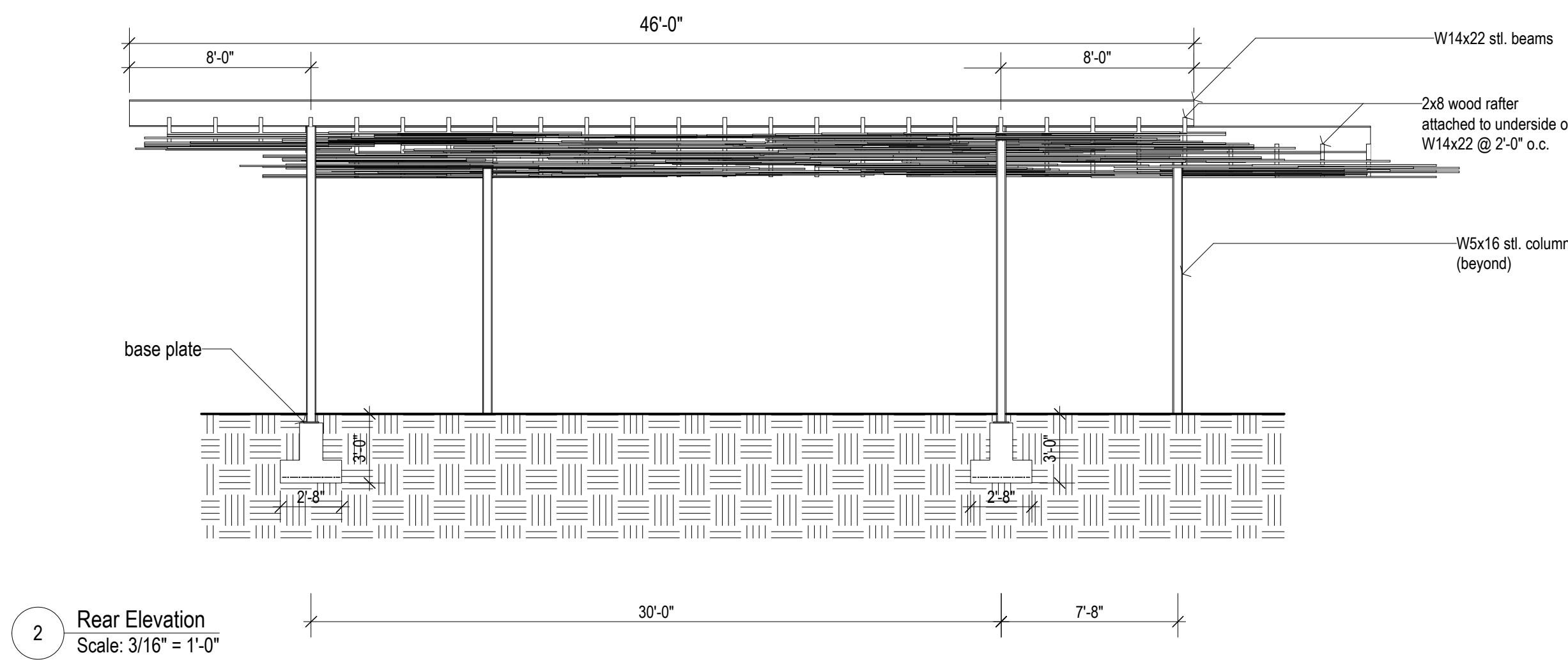
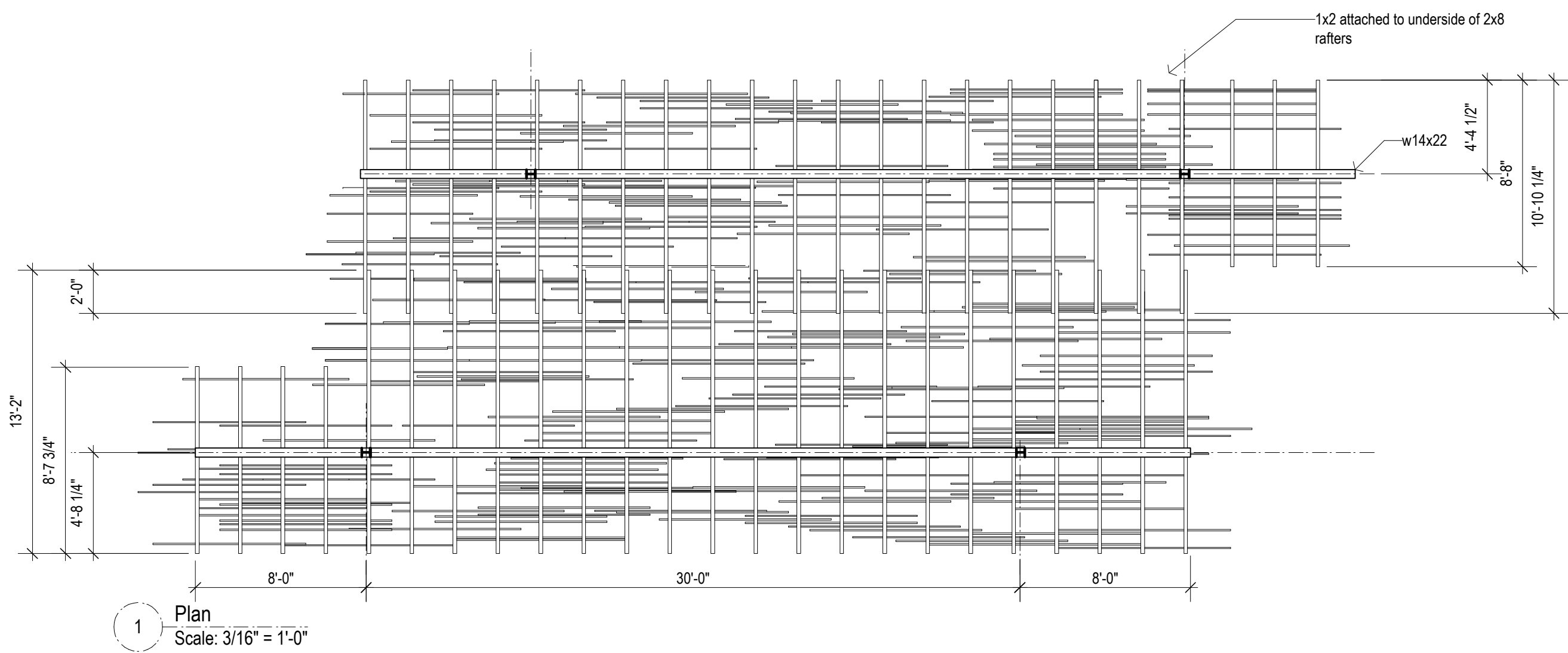
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Scale: Noted

Raised Planting
Bed Details



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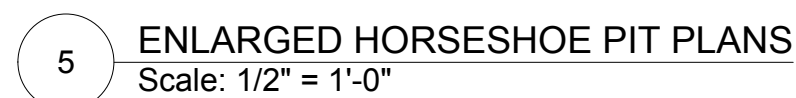
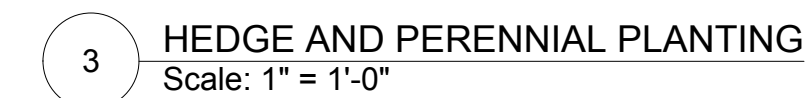
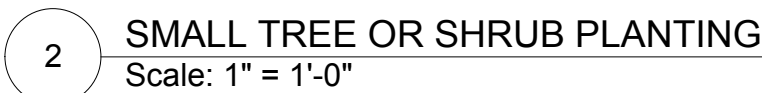
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Pergola Details

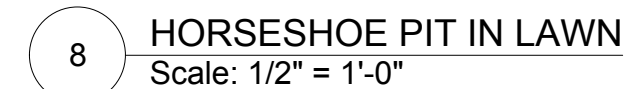


PLANTS PROVIDED TO BE OF HIGH QUALITY MEETING
ANSI Z60.1-2004 STANDARD OF NURSERY STOCK

ADJUST SOIL PH WHEN NEEDED: USE LIME TO RAISE PH
USE SULPHUR TO LOWER PH

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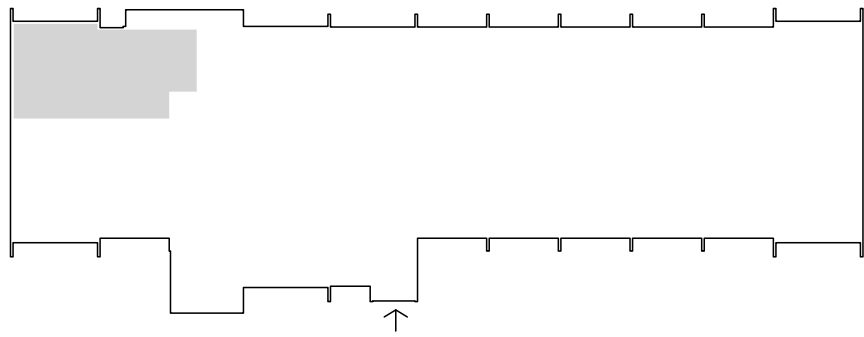
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Housing Authority City of Pittsburgh
100 Ross Street
Pittsburgh, PA 15219

Key Plan



Legend

- Exit Sign
- Recessed Can Light
- Sprinkler Head
- Camera
- Smoke Detector
- New Floor Box
- Existing Duplex

Door Schedule						
ID	DOOR SIZE		FRAME		GLAZING	RATED
No.	Width	Height	Mat'l	Mat'l	Type	Fire Label
1/ 101	3'0"	7'-0" vif	wd	hm	20 min	20 min
Remarks:						
1. Match glazing and finishes to ex'g community rm/ corridor doors						

Finish Schedule					
NO.	LOCATION	FLOOR	WALLS	BASE	CEILING
		mat'l	mat'l/ finish	mat'l/ color	mat'l/ finish
100	Corridor	rubb dot	gwb/pt'd	rubb / tbd	act / match ex'g
101	Community Rm	lvt	gwb/pt'd	rubb / tbd	act / linear
Remarks:					
1. Corridor finishes only at new work area, match ex'g paint color					

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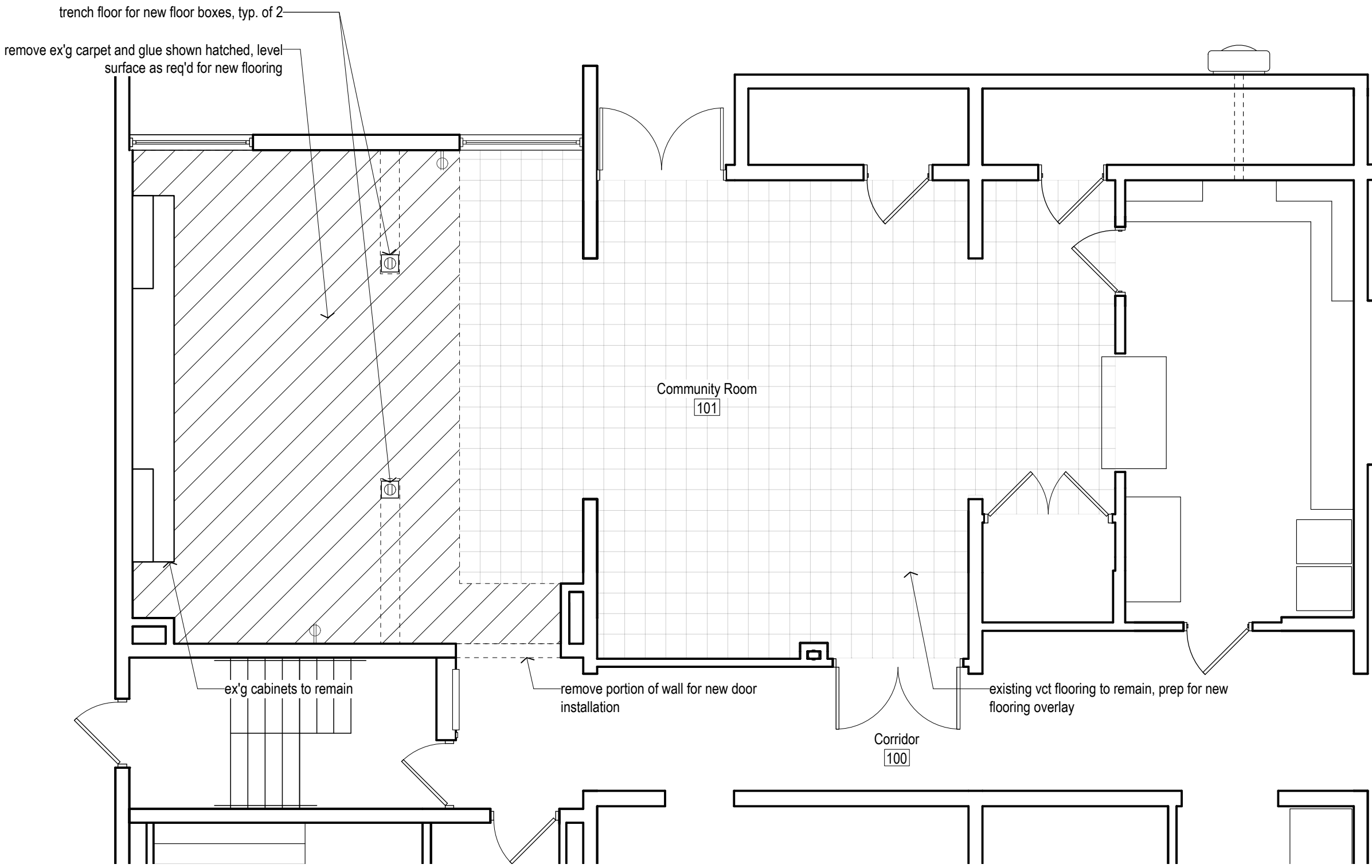
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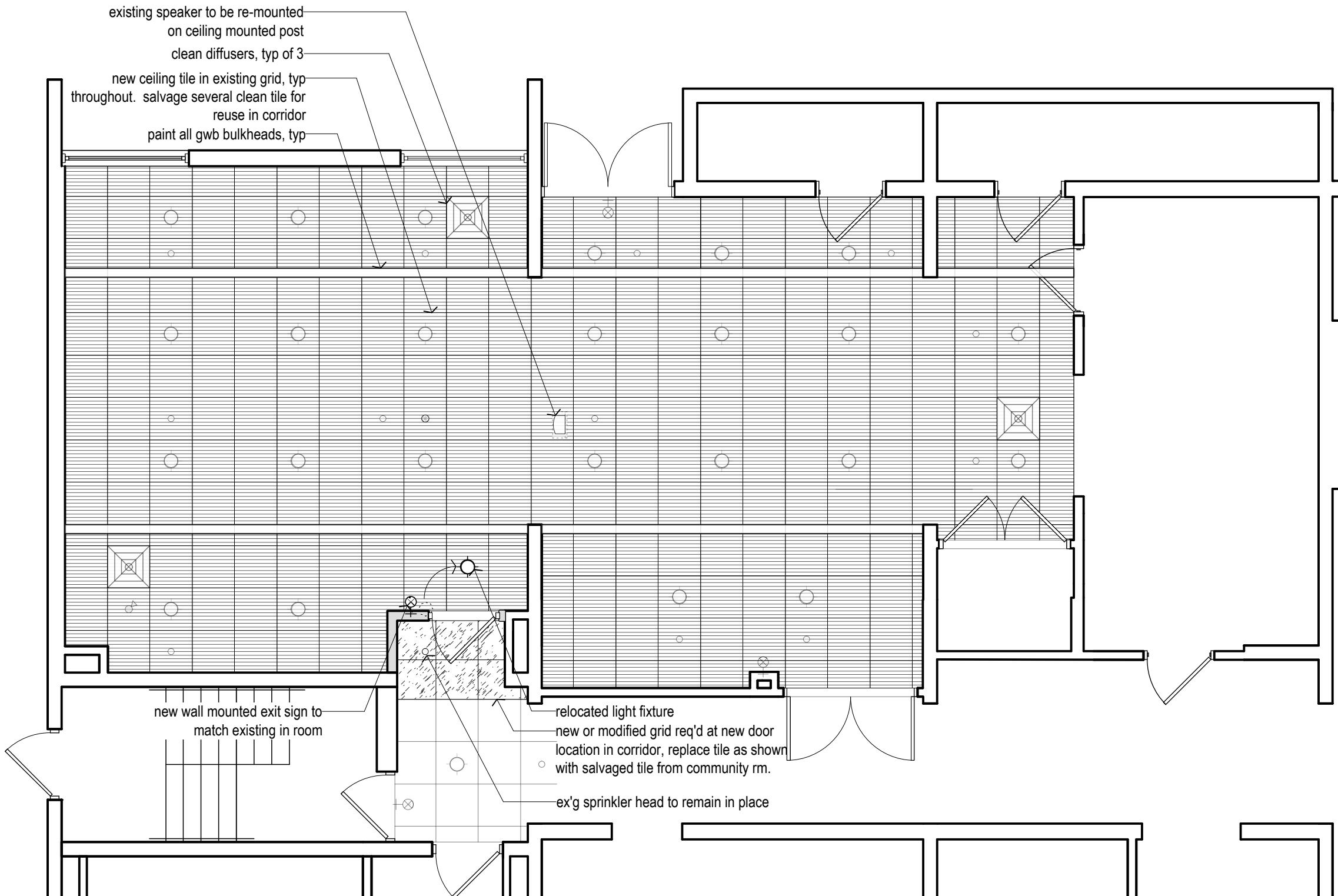
Floor Plans &
Schedules

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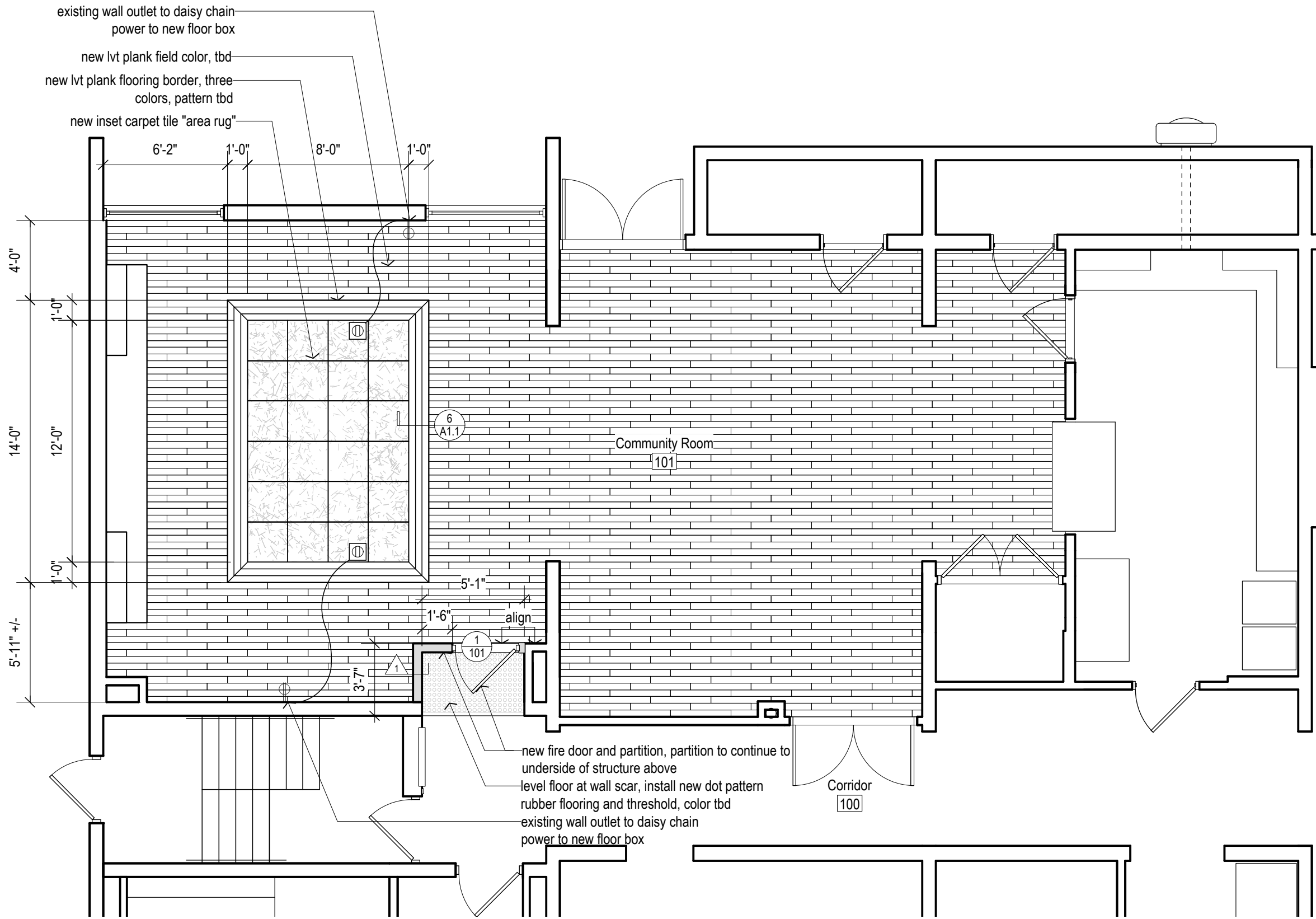
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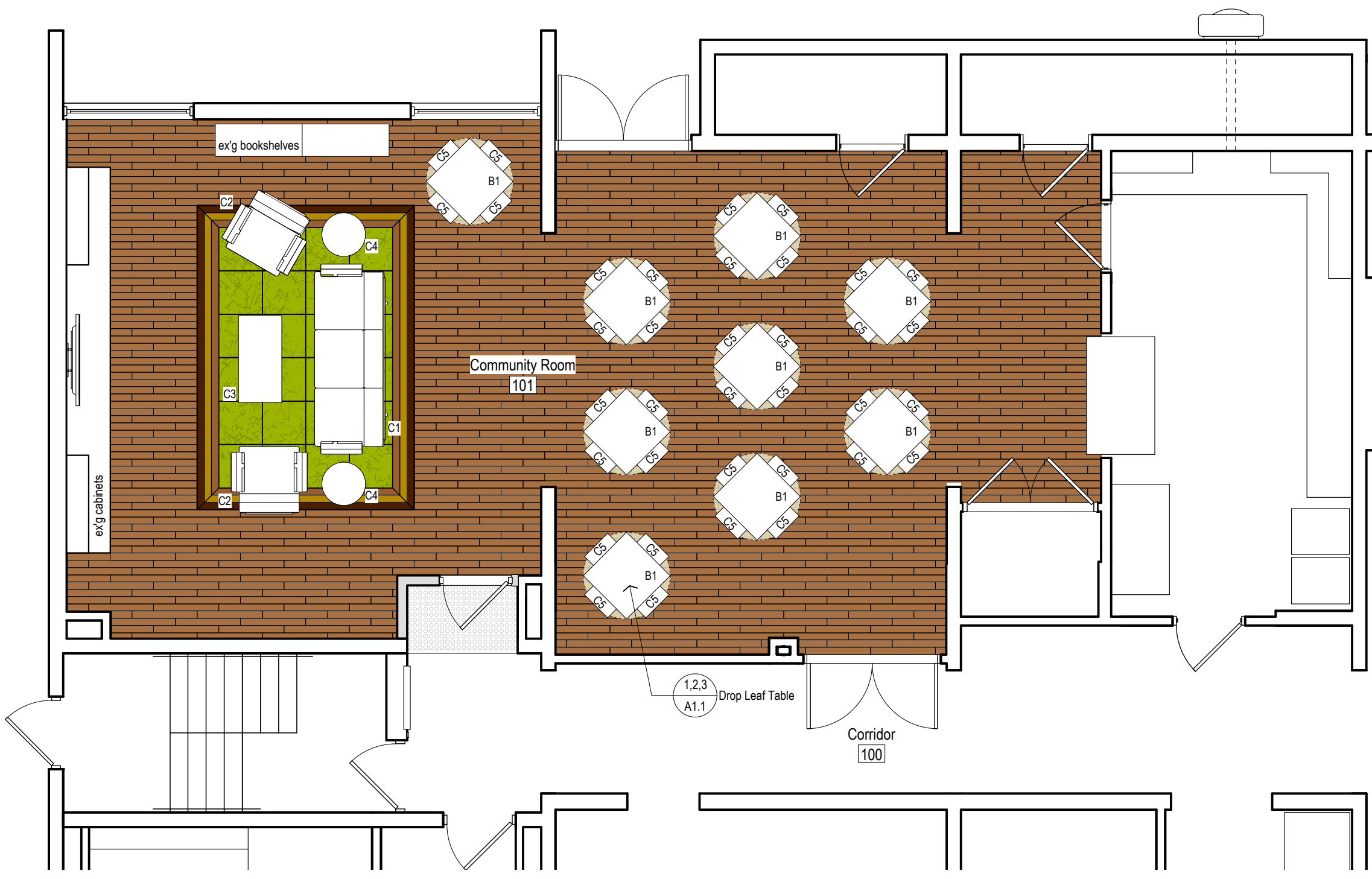
1 Community Room - Demo Plan
Scale: 3/16" = 1'-0"



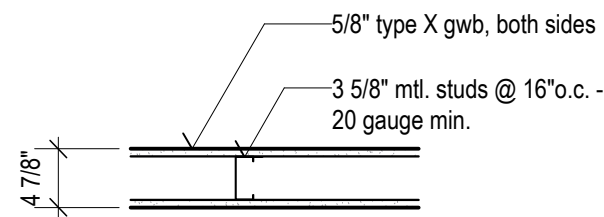
3 Community Room - Existing RCP w/ New Work
Scale: 3/16" = 1'-0"



2 Community Room - New Work
Scale: 3/16" = 1'-0"

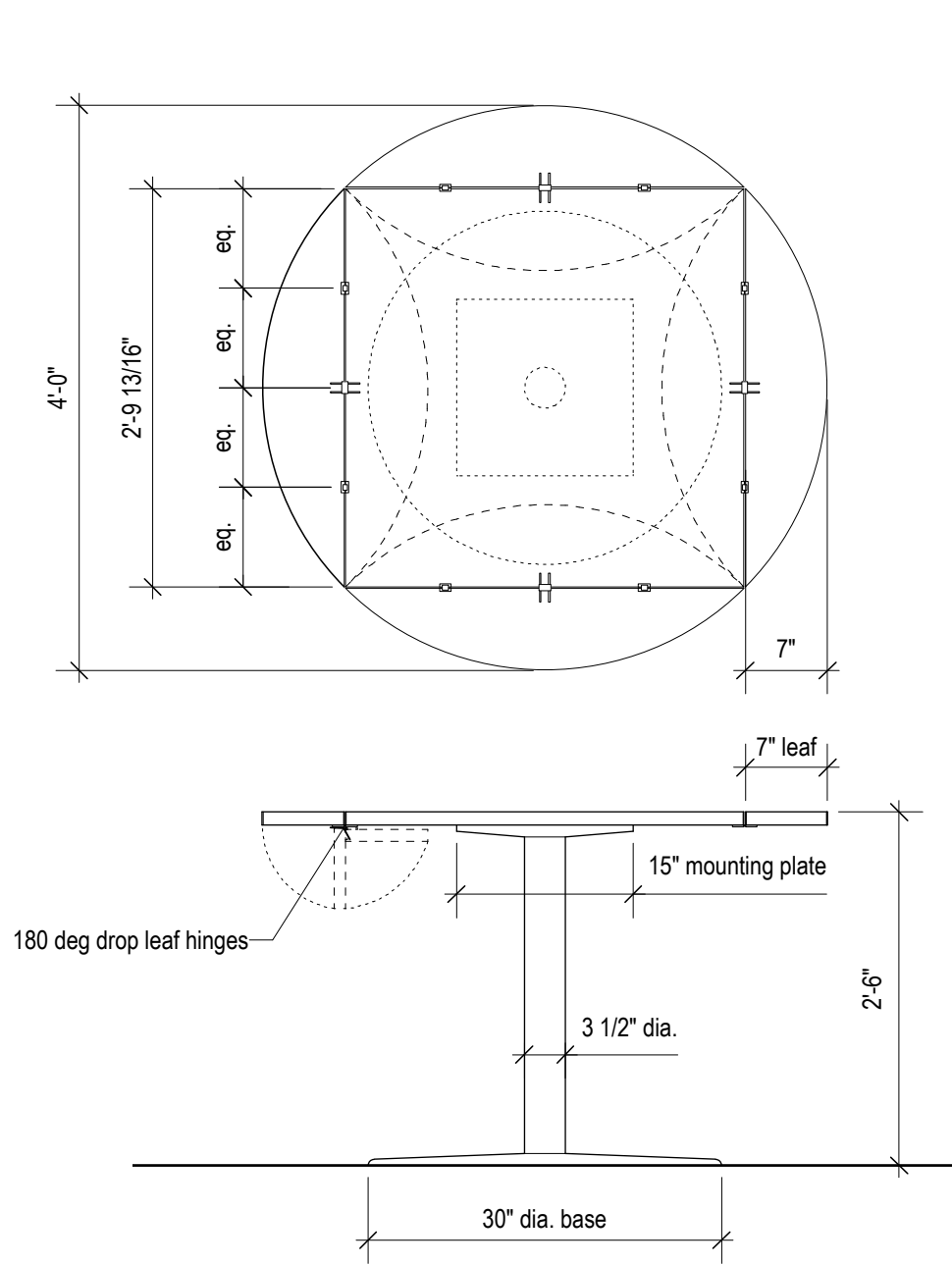
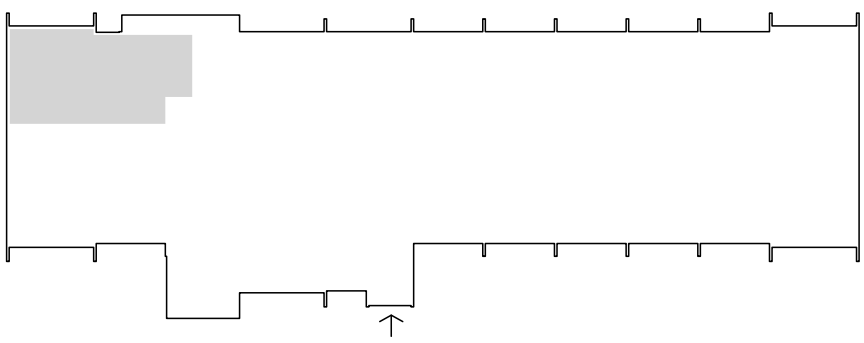


4 Community Room - New Furniture Plan
Scale: 3/16" = 1'-0"

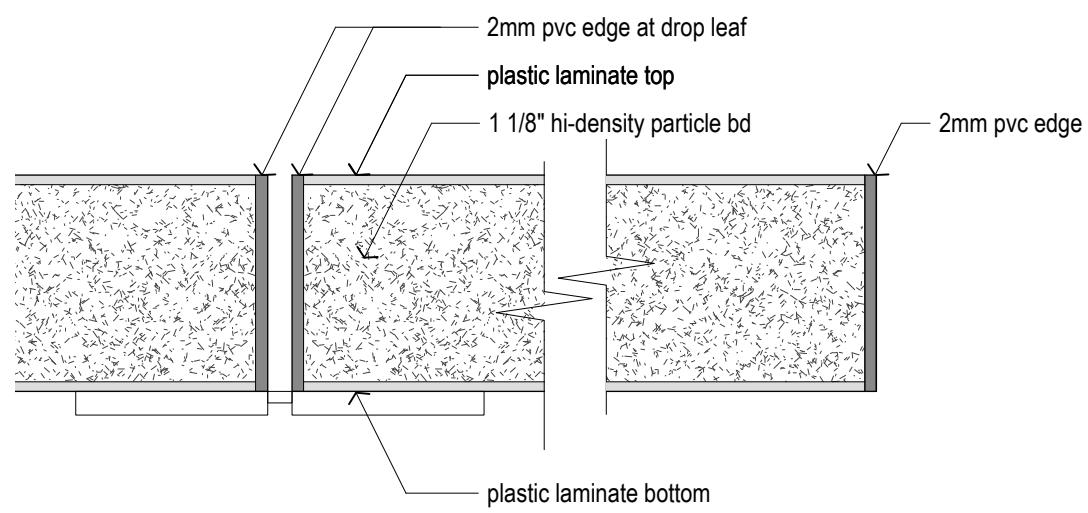


1 3 5/8" Mtl. Stud Wall Partition
UL # U419 (1 Hr)

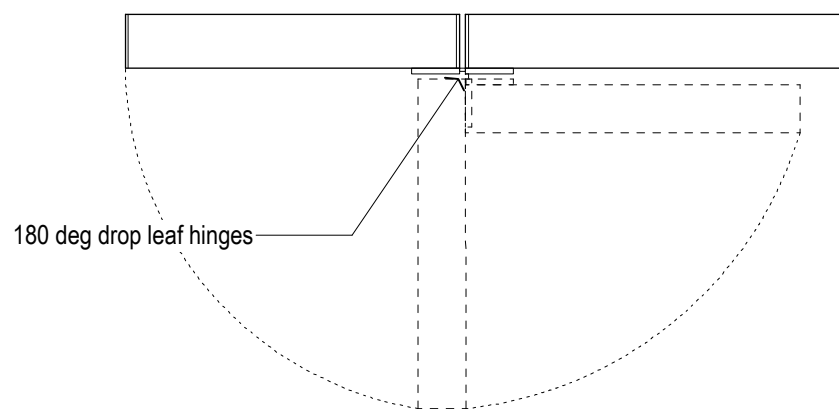
Key Plan



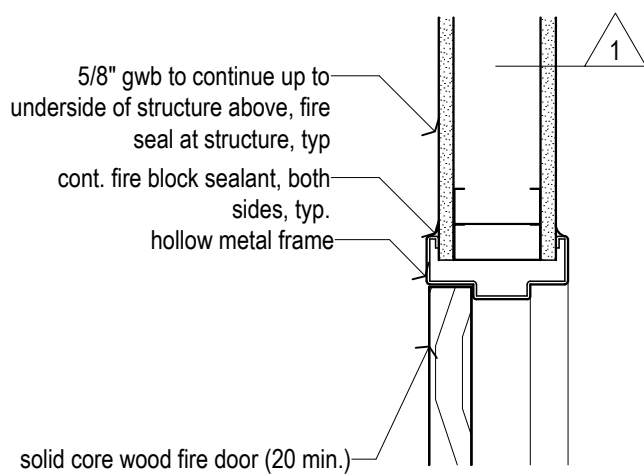
1 Drop Leaf Table - Plan and Section
Scale: 3/4" = 1'-0"



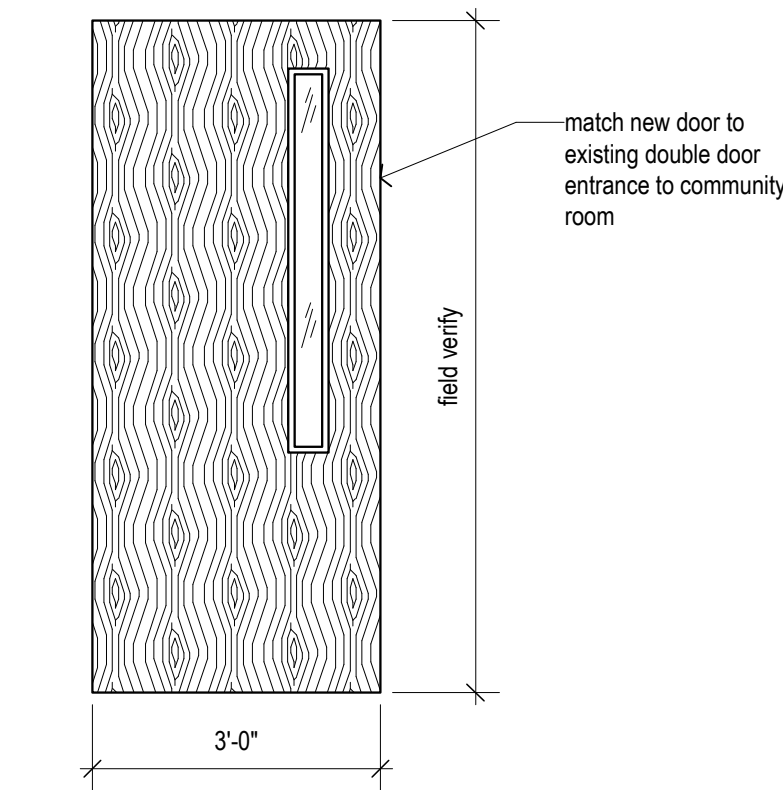
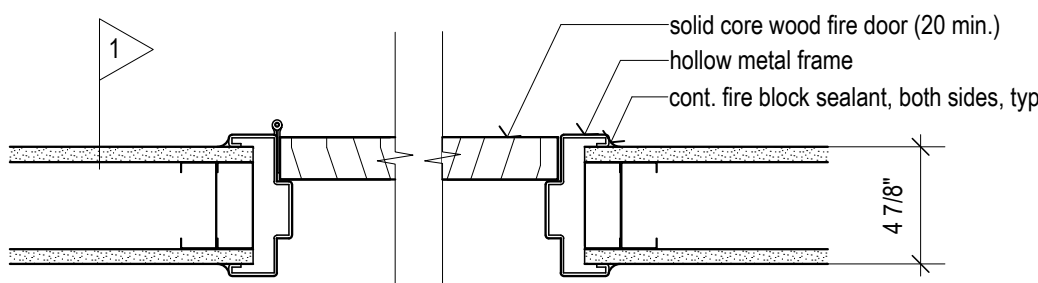
2 Table Top Composition Detail
Scale: Actual Size



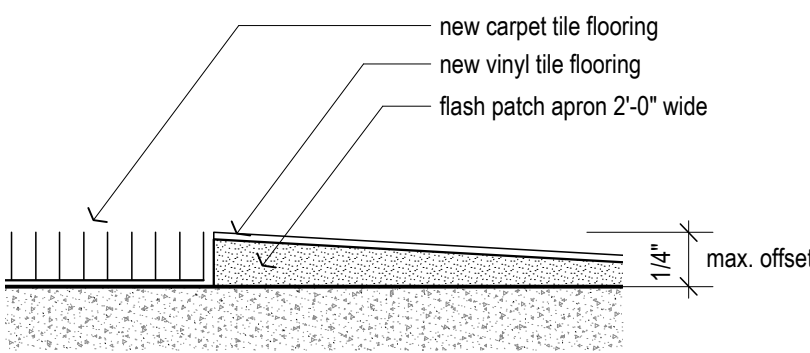
3 Hinge Detail
Scale: 3" = 1'-0"



4 Door Head/Jamb Detail
Scale: 1 1/2" = 1'-0"



5 Door Elevation
Scale: 1/2" = 1'-0"



6 Vinyl to Carpet Transition Detail
Scale: Actual Size

Consultants

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4 November 2014
Scale: As Noted

Drop Leaf Table &
Interior Details

Housing Authority City of Pittsburgh
100 Ross Street
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A1.1