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**August 29, 2014**  
**ADDENDUM NO. 3**

**IFB 600-15-14-Rebid (E,P,H)**  
**Invitation for Bids for General Improvements of**  
**Scattered Sites Homes, PA22/39**

This addendum issued **August 29, 2014** becomes in its entirety a part of the Invitation for Bids for this project. The terms herein set forth and described below become a part of the project as if included in the Invitation for Bids as originally issued.

**Indicate that you have received this addendum by signing this page 1 and returning it via fax to 412-456-5591.**

**Item 1: Questions & Answers:**

**Question 1:** Please confirm intent of scope for hot water fin tube in the sunroom of the Rosemoor property and which prime has responsibility. Not shown in Mechanical drawings/specs.

**Answer 1:** Regarding the cover for the "hot water fin tube", there are no water pipes impacted by this electrical unit. The GC is to remove. This scope is not part of the Mechanical contract.

**Question 2:** Is the thermostat in the sunroom of the Rosemoor property affected by this project? Unable to identify from Mechanical drawings/specs. Please confirm intent of this item and which prime has responsibility.

**Answer 2:** Mechanical prime to disconnect existing thermostat & temporarily cap wiring during the foundation work of the sunroom. Upon completion, mechanical prime to reconnect existing thermostat.

**Question 3:** Regarding existing Flue Cap, at the Rosemoor property, does scope include Mechanical prime to address the "nest" debris?

**Answer 3:** Mechanical prime to remove debris and clean flue cap.

**Question 4:** Mechanical drawing relating to boiler at the Rosemoor property says to pull chimney liner down - may not be able to get down the chimney - it is 7 inch pipe.

**Answer 4:** Mechanical prime to remove existing chimney liner.

**Question 5:** On Drawing H1.1 note HD.6 - "remove existing flue liner & termination cap" - there is none.

**Answer 5:** Mechanical prime to remove existing flue liner and termination device, which may not be visible from ground.

**Question 6:** H1.1 shows water heater in a different room than it is. It is in the washer room. Is intent to have plumber to relocate it to the room with the boiler? If so, not sure it will fit in that space.

**Answer 6:** Water Heater to remain in current location.

**Question 7:** Rosemoor property - Do not believe a liner is needed for that type of boiler, recommend leaving it alone. If you wanted a liner, one may be able to be pulled at the existing water heater.

**Answer 7:** Mechanical prime to provide new chimney liner for boiler and water heater.

**Question 8:** Rosemoor property - To insulate the pipes, they continue into inaccessible areas. Is intent to open up the inaccessible areas to do the pipe insulation as well? A lot of times owners will not insulate pipes because those pipes are the only heat for down there. Like in the basement bathroom, there is no other heat source in that area but for the pipes. Is the idea to insulate only the pipes that are exposed? For example, some pipes go through bulkhead.

**Answer 8:** Insulate all exposed pipes.

**Question 9:** Regarding drawing H1.2, note H-3 - Transformer is built onto circuit board for the boiler. Is the intent for the HVAC to just make sure it works right? We see HVAC has to replace transformer for the thermostat. Is the intent to make sure transformer is compatible with thermostat?

**Answer 9:** Existing transformer may remain if working properly and is compatible with new thermostat. New programmable thermostat provided should be compatible with existing boiler and transformer.

**Question 10:** Marshall property - Can see doing a chimney liner for this home (just a note).

**Answer 10:** Existing Note 3 on Drawing H3.2 calls for chimney liner.

**Question 11:** Liner for Water Heater

**Answer 11:** Liner at water heater shown on Drawing H3.2. Demo shown on H3.1.



**Question 12:** Ductwork abatement at the bottom of the basement steps for Marshall property - how is the GC to remove this without needing the HVAC to do something?

**Answer 12:** GC & HVAC coordination required at ductwork abatement. Coordination is required in this project without calling out specific primes or locations.

**Question 13:** Marshall property - Says remove existing sheet metal for furnace & water heater flue. But it is just the water heater though. Furnace has plastic pipe - does not need sheet metal flue.

**Answer 13:** Remove sheet metal flue.

**Question 14:** Marshall property - There is no flue liner - so just install new?

**Answer 14:** Mechanical prime to provide new flue liner.

**Question 15:** Says existing "Pulse furnace" but it is a "Plus 90".

**Answer 15:** Furnace to remain regardless of type or name.

**Question 16:** Says remove existing flex pipe at furnace but there is none - it is all hard pipe. The water heater is solid pipe too. So what is intended?

**Answer 16:** Schedule 40 steel pipe is required.

**Question 17:** Drawing H3.2, note H.5 says seal exhaust pipe at window but there is none at window from what can be seen while in the basement. Does see an old dryer vent on the other window though. Do you want that sealed?

**Answer 17:** Note refers to dryer exhaust.

**Question 18:** Ductwork entering garage - Marshall property - This opening must be dealt with - it is illegal!!!!!! Bet it is asbestos too? Addressing this is not clear in the drawings. Please advise. This seems to run into garage from the small area that is behind the basement steps.

**Answer 18:** Mechanical prime to terminate duct prior to GC sealing up wall as noted on A3.2 Drawing Hazardous Materials are part of the GC responsibilities & addressed in HM3.1 Drawing.

**Question 19:** Duct Layout in Drawing - Marshall property.

**Answer 19:** Drawing is schematic of existing ductwork and details can be clarified in field.

**Question 20:** Location of Notes - Rockland property - Now this furnace has a flex gas line - perhaps notes on drawings for other homes were mixed up & really intended for this house.

**Answer 20:** Remove existing flexible gas piping. Replace flexible gas pipe with Schedule 40 pipe and fittings.

**Question 21:** Regarding drawing H4.2, note H.5, can see the condensate line replacement but not sure why - thin plastic clear tubing.

**Answer 21:** Replace plastic tubing with Type L copper pipe with wrot copper fittings.

**Question 22:** Brookline property - Furnace - won't be able to get 6 inch liner down. The furnace is older 80% efficiency - sees no reason an inspector would make you pull a liner for this.

**Answer 22:** Provide demolition labor, new 6" flue liner, and labor in bid.

**Question 23:** Brookline property - Hole in basement wall does need cleaned out and sealed though.

**Answer 23:** See Note 9-2a on Drawing A5.2. GC Responsible to repair wall.

**Item 2: Drawing H4.2 1512 Rockland Mechanical Plans - Clarify as Noted in Red**

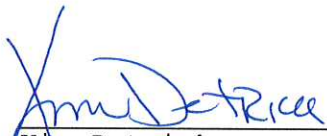
**H-2** COMPLETE INSTALLATION OF **EXISTING** CONDENSING FURNACE. SEAL COMBUSTION AIR INTAKE AND DISCHARGE PIPING THRU BASEMENT WINDOW AIRTIGHT. REMOVE FLEXIBLE GAS PIPING HOSE AND RE-PIPE WITH 3/4" BLACK IRON PIPE. PROVIDE UNION, DIRT LEG AND GAS COCK AT FINAL CONNECTION.

**H-3** COMPLETE INSTALLATION OF EXISTING FURNACE **BY** LEVELING AND SECURING TO PAD.

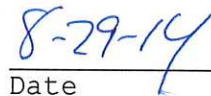
**H-4** WHERE **PREVIOUS** FURNACE FLUE WAS REMOVED AT CHIMNEY, MECHANICAL CONTRACTOR TO PATCH HOLE WITH MORTAR.

**Item 3:** The Bid Due Date remains **unchanged** as **Monday, September 8, 2014**. The time and location of the bid submission remain **unchanged** at 2:00 p.m. at Procurement Dept., 100 Ross Street, Suite 200, Pittsburgh, PA 15219.

**END OF ADDENDUM NO. 3**



Kim Detrick  
Procurement Director/Contracting Officer



Date