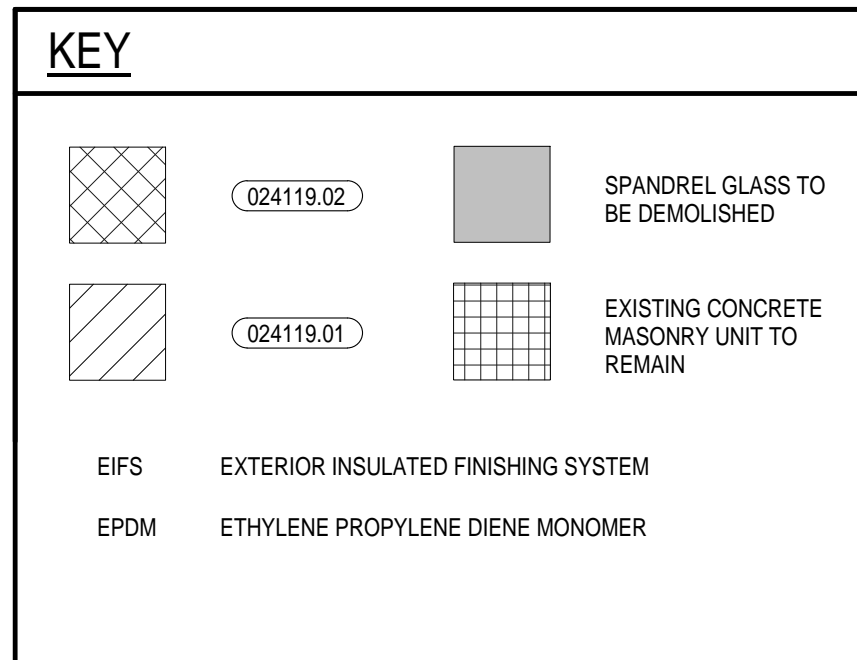


Architecture  
Engineering  
Interiors  
Management

## AD201





NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

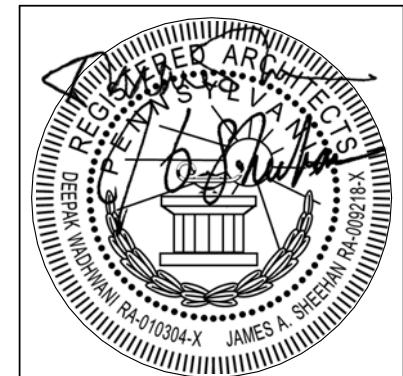


1 WEST ELEVATION  
1/8" = 1'-0"

REFERENCED DEMOLITION NOTES AD202	
MARK	DESCRIPTION
024119.01	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING EIFS SYSTEM, SHEET MEMBRANE, SHEATHING, BATT INSULATION, HOT WATER AND COLD WATER INSULATION IN EXTERIOR APARTMENT WALLS, AND ASSOCIATED ACCESSORIES. RIGID INSULATION TO REMAIN. PREPARE AND TREAT EXISTING COLD METAL FRAMING TO REMAIN FOR INSTALLATION OF NEW EXTERIOR CLADDING SYSTEM. NOTIFY ARCHITECT OF ANY DAMAGED OR DETERIORATED COLD METAL FRAMING.
024119.02	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOWS, SEALS, GASKETS, MARBLE SILLS AND ASSOCIATED CLIPS. PREPARE OPENING FOR INSTALLATION OF NEW WINDOW FRAMING SYSTEMS.
024119.03	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING EIFS, ONT BACKUP TO REMAIN. PREPARE WALLS WHERE DAMAGED FROM REMOVAL OF CARPETING AND BASE. PREPARE CMU SURFACE FOR INSTALLATION OF NEW CLADDING SYSTEM.
024119.04	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING CORPINGS. PREPARE REMAINING SURFACES FOR NEW CLADDING SYSTEM.
024119.07	DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF ALL EXISTING DETERIORATED BASE PLATES, ANGLES, COLD METAL TRACK, AND ALL COLD METAL FRAMING WITHIN 8'-4" +/- VIF HIGH BY LENGTH OF EACH ELEVATION, WHICH VARIES. WHERE COLD METAL FRAMING MEETS TOP OF MASONRY WALL AND AS INDICATED, REFER TO ALL ELEVATIONS, ALL PLANS, DETAIL A4-514 ENLARGED ELEVATION AND NOTES FOR A TYPICAL CONDITION WHERE COLD METAL FRAMING MEETS THE TOP OF MASONRY AND WHERE THIS NOTE IS REFERENCED. TYPICAL AROUND ENTIRE BUILDING.
024119.11	SAND EXISTING DOOR AND FRAME TO BARE METAL AND PREPARE FOR NEW PRIME AND PAINT.
024119.13	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING VENT. PREPARE REMAINING SURFACES FOR INSTALLATION OF NEW VENT.
024119.15	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, FRAME, HARDWARE AND FLASHING. PREPARE FOR INSTALLATION OF NEW DOOR, FRAME, HARDWARE AND FLASHING.
024119.16	EXISTING LIGHT FIXTURE TO REMAIN. REFER TO CONSTRUCTION DOCUMENTS FOR SCOPE OF WORK.
024119.21	PREPARE EXISTING MASONRY FOR REPOINTING.
024119.22	PREPARE EXISTING PIPE. SAND DOWN, PREPARE AND PAINT EXISTING PIPING.

- ### GENERAL DEMOLITION NOTES
- PROJECT IS MULTIPLE PRIMES. GENERAL PRIME AND ELECTRICAL PRIME. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUB CONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
  - THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS PRODUCED BY I.D. ASTORINO DATED 12/6/1982 AND FIELD CONDITIONS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
  - BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE. ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND TEMPORARY ONLY OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
  - CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION AND PATCHING WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCREPANCIES AND OTHER TRADES. DIMENSIONS ARE TO BE VERIFIED IN THE FIELD AND ARE PROVIDED ONLY TO ASSIST IN GENERAL QUANTITY CALCULATIONS.
  - ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS.
  - CONTRACTORS ARE TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
  - CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC. NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
  - CONTRACTORS ARE REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT SURFACES, EITHER NEW OR EXISTING SHALL BE PROTECTED. IF DAMAGED THEY ARE TO BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
  - MEANS OF EGRESS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
  - THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. CONTRACTORS ARE TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
  - ALL WORK SHOWN IS INCLUDED IN THE BASE BID.
  - PATCH, REPAIR AND INFILL AREAS OF ITEMS DENOTED TO BE DEMOLISHED UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, COLORS AND FINISHES. NEW PAINT SHOULD BE TO NEAREST CORNER OF AGREED UPON STOPPING POINT.
  - ALL MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY EACH PRIME CONTRACTOR. EACH PRIME CONTRACTOR SHALL ASSUME ALL COSTS FOR DISPOSAL, AND/OR RECYCLING OF DEBRIS INCLUDING OFF-SITE DISPOSAL CONTAINERS.
  - CONTRACTOR IS RESPONSIBLE FOR TEMPORARY RELOCATION, RETURN TO ORIGINAL LOCATION, AND COORDINATION WITH HACPS REPRESENTATIVE FOR ALL EXISTING APARTMENT FURNITURE AND EQUIPMENT REQUIRED TO BE REMOVED FOR SCOPE OF WORK WITHIN THE APARTMENTS.
  - CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL BLINDS AND ALL WALL MOUNTED ACCESSORIES AT ALL APARTMENTS, CORRIDOR WINDOWS, AND ALL PUBLIC AND OWNER OCCUPIED STOREFRONT AREAS THROUGHOUT THE BUILDING. PREPARE AND PATCH WALLS.
  - REMOVE AND DISCARD ALL DETERIORATED BASE PLATES, ANGLES, ANCHOR BOLTS, COLD FORMED METAL FRAMING AND TRACKS AT EXTERIOR WALL, WHERE COLD FORMED METAL FRAMING MEETS MASONRY BASE WALL ELEVATION. TYPICAL AROUND ENTIRE BUILDING WHERE EIFS IS BEING REMOVED. REFER TO DRAWING A-514 FOR ADDITIONAL INFORMATION. REFER TO SPECIFICATION SECTION 012100 FOR ALLOWANCES AND 012200 FOR UNIT PRICES.
  - EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING APARTMENT UNITS AND OTHER INTERIOR SPACES.
  - DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF ALL EXISTING EPDM ROOFING, CORPINGS, AND ACCESSORIES. EXISTING ROOF PENETRATIONS, CURBS, SURFACE SUPPORTED MECHANICAL, ELECTRICAL AND PLUMBING TO REMAIN UNLESS NOTED OTHERWISE. REFER TO REFERENCE DEMOLITION AND CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION AND ELECTRICAL DRAWINGS FOR COORDINATION. GENERAL CONTRACTOR TO REMOVE, PROTECT AND REINSTALL EXISTING EXHAUST FANS DURING REROOFING. COORDINATE WITH ELECTRICAL CONTRACTOR TO DEENERGIZE AND REENERGIZE.
  - GENERAL PRIME CONTRACTOR TO COORDINATE WITH ELECTRICAL PRIME CONTRACTOR REGARDING PHASING OF ALL EXTERIOR WALL SYSTEMS, CANOPY SYSTEMS, ROOFING SYSTEMS AND LIGHTNING PROTECTION REPLACEMENT WITH ELECTRICAL CONTRACTOR'S SCOPE OF WORK. GENERAL CONTRACTOR TO DEMOLISH, REMOVE AND LEGALLY DISPOSE OF LIGHTNING PROTECTION AS INDICATED ON DRAWING LP-100 AND SPECIFICATIONS.
  - PROTECT EXISTING EXTERIOR LIGHT FIXTURES DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERWISE NOTED. COORDINATE PHASING SCHEDULE WITH ELECTRICAL CONTRACTOR WHOM WILL DE-ENERGIZE EXISTING LIGHT FIXTURES, CLEAN FIXTURES AND LENS, RELAMP AND RE-ENERGIZE EXISTING LIGHT FIXTURES. ELECTRICAL CONTRACTOR TO VERIFY LAMPING PRIOR TO BIDDING.
  - PREPARE ALL EXTERIOR MASONRY WALLS AND PROTECT ALL ITEMS TO REMAIN FOR CLEANING.
  - REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ELECTRICAL DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR COORDINATION.

KEY	
	024119.02 SPANDEL GLASS TO BE DEMOLISHED
	024119.01 EXISTING CONCRETE MASONRY UNIT TO REMAIN
EIFS	EXTERIOR INSULATED FINISHING SYSTEM
EPDM	ETHYLENE PROPYLENE DIENE MONOMER



Renaissance 3 Architects, P.C.  
48 South 14th Street  
Pittsburgh, PA 15203  
Phone: 412-431-2480  
Fax: 412-431-2870  
www.r3a.com

Architecture  
Engineering  
Interiors  
Development Management

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CONSULTANT:

Housing Authority  
of the City of  
Pittsburgh

Caliguiri Plaza  
Window and  
Facade  
Replacement  
803 E. Warrington Ave.,  
Pittsburgh, PA 15210

Construction  
Documents

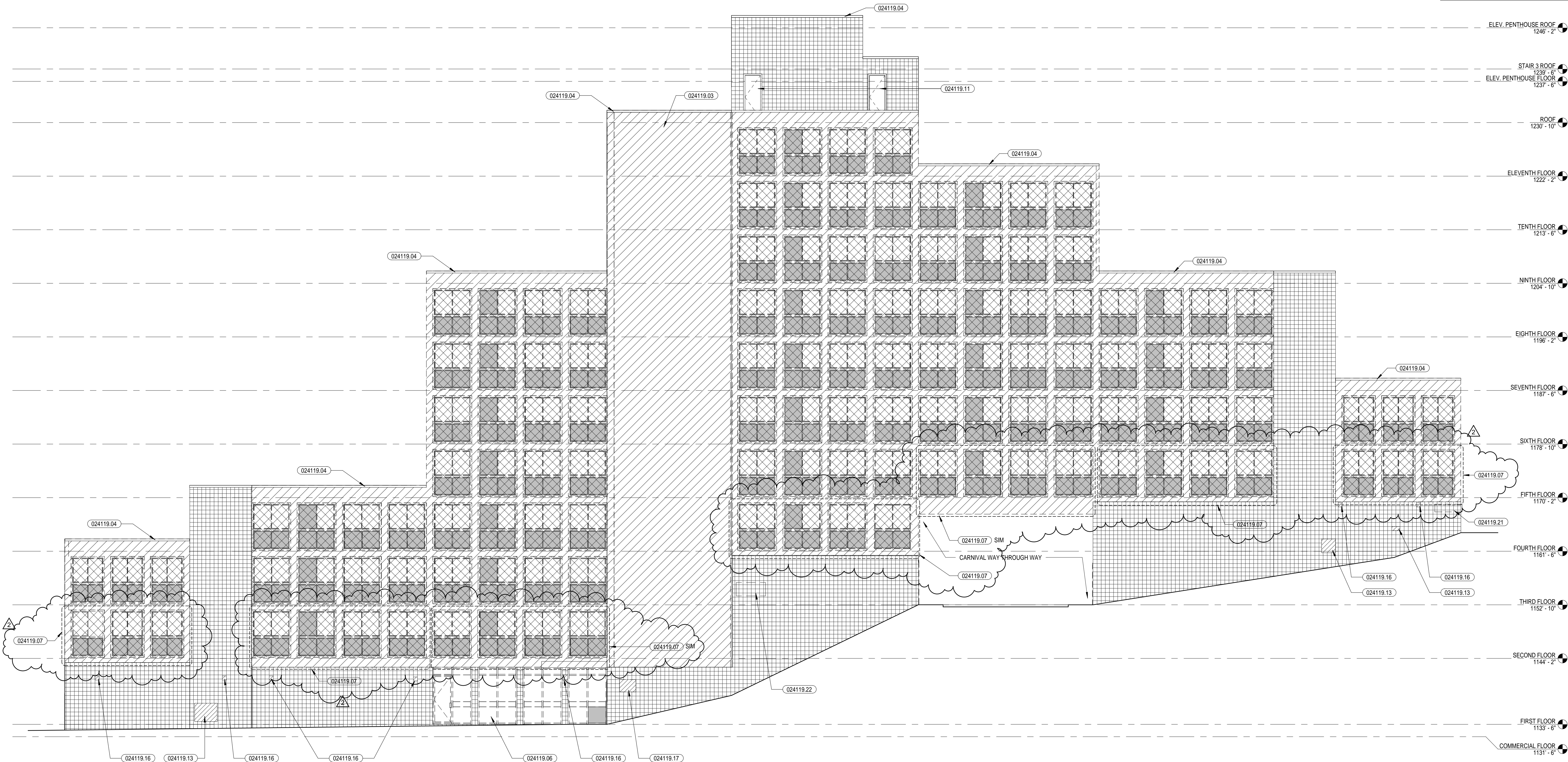
ISSUED:		MAY 1, 2015
REVISIONS		
NO.	DATE	NAME
1	6/26/2015	Addendum 2
2	7/28/2015	Addendum 5

EXTERIOR  
DEMOLITION  
ELEVATIONS -  
WEST

R3A PROJECT # 14021  
AD202



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.





1 EAST ELEVATION  
1/8" = 1'-0"

REFERENCED DEMOLITION NOTES AD203	
MARK	DESCRIPTION
024119.01	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING EIFS SYSTEM - SHEET MEMBRANE, SHEATHING, BATT INSULATION, HOT WATER AND COLD WATER INSULATION IN EXTERIOR APARTMENT WALLS, AND ASSOCIATED ACCESSORIES. RIGID INSULATION TO REMAIN. PREPARE AND TREAT EXISTING COLD METAL FRAMING TO REMAIN FOR INSTALLATION OF NEW EXTERIOR CLADDING SYSTEM. NOTIFY ARCHITECT OF ANY DAMAGED OR DETERIORATED COLD METAL FRAMING.
024119.02	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOWS, SEALS, GASKETS, MARBLE SILLS AND ASSOCIATED CLIPS. PREPARE OPENING FOR INSTALLATION OF NEW WINDOW FRAMING SYSTEMS.
024119.03	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING EIFS, COLD BACKUP TO REMAIN. PREPARE WALLS WHERE DAMAGED FROM REMOVAL OF CARPETING AND BASE. PREPARE CMU SURFACE FOR INSTALLATION OF NEW CLADDING SYSTEM.
024119.04	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING COPING. PREPARE REMAINING SURFACES FOR INSTALLATION OF NEW COPING. TYPICAL AT ALL ROOFS.
024119.06	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW AND DOOR SYSTEM, TRIM, AND OVERHEAD BLOCKING. PREPARE OPENING FOR INSTALLATION OF NEW SYSTEMS. GENERAL PRIME TO COORDINATE WITH ELECTRICAL PRIME TO RENDER SAFE ALL WIRING ASSOCIATED WITH AUTOMATIC DOOR OPERATORS AND SWIPE CARD ACCESS. PREPARE FOR INSTALLATION OF NEW OPERATORS AND SWIPE CARD ACCESS. PROTECT AND SECURE OPENING DURING CONSTRUCTION. REFER TO ELECTRICAL CONSTRUCTION DOCUMENTS FOR COORDINATION OF CONTRACTORS SCOPE OF WORK.
024119.07	DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF ALL EXISTING DETERIORATED BASE PLATES, ANGLES, COLD METAL TRACK, AND ALL COLD METAL FRAMING WITHIN 8'-0" +/- HIGH EY LENGTH OF EACH ELEVATION, WHICH VARIES, WHERE COLD METAL FRAMING MEETS TOP OF MASONRY WALL AND AS INDICATED. REFER TO ALL ELEVATIONS, ALL PLANS, DETAIL WA-514 ENLARGED ELEVATION AND NOTES FOR A TYPICAL CONDITION WHERE COLD METAL FRAMING MEETS THE TOP OF MASONRY AND WHERE THIS NOTE IS REFERENCED. TYPICAL AROUND ENTIRE BUILDING.
024119.11	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING VENT. PREPARE REMAINING SURFACES FOR INSTALLATION OF NEW VENT.
024119.16	EXISTING LIGHT FIXTURE TO REMAIN. REFER TO CONSTRUCTION DOCUMENTS FOR SCOPE OF WORK.
024119.17	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW FRAME. PREPARE REMAINING SURFACES FOR INSTALLATION OF NEW WINDOW FRAME.
024119.21	PREPARE EXISTING MASONRY FOR REPOINTING.
024119.22	PREPARE EXISTING MASONRY FOR REPOINTING AROUND EXISTING PIPE. SAND DOWN. PREPARE AND PAINT EXISTING PIPING.

- ### GENERAL DEMOLITION NOTES
- PROJECT IS MULTIPLE PRIMES. GENERAL PRIME AND ELECTRICAL PRIME. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUB-CONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
  - THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS PRODUCED BY L.D. ASTORINO DATED 12/6/1982 AND FIELD CONDITIONS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
  - BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTORS DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND TEMPORARY ONLY OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
  - CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION AND PATCHING WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. REFER TO ARCHITECTURAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES. DIMENSIONS ARE TO BE VERIFIED IN THE FIELD AND ARE PROVIDED ONLY TO ASSIST IN GENERAL QUANTITY CALCULATIONS.
  - ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS.
  - CONTRACTORS ARE TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
  - CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
  - CONTRACTORS ARE REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT SURFACES, EITHER NEW OR EXISTING SHALL BE PROTECTED. IF DAMAGED THEY ARE TO BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
  - MEANS OF EGRESS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
  - THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. CONTRACTORS ARE TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
  - ALL WORK SHOWN IS INCLUDED IN THE BASE BID.
  - PATCH, REPAIR AND INFILL AREAS OF ITEMS DENOTED TO BE DEMOLISHED UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, COLORS AND FINISHES. NEW PAINT SHOULD BE TO NEAREST CORNER OF AGREED UPON STOPPING POINT.
  - ALL MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY EACH PRIME CONTRACTOR. EACH PRIME CONTRACTOR SHALL ASSUME ALL COSTS FOR DISPOSAL, AND/OR RECYCLING OF DEBRIS INCLUDING OFF-SITE DISPOSAL CONTAINERS.
  - CONTRACTOR IS RESPONSIBLE FOR TEMPORARY RELOCATION, RETURN TO ORIGINAL LOCATION, AND COORDINATION WITH HACPS REPRESENTATIVE FOR ALL EXISTING APARTMENT FURNITURE AND EQUIPMENT REQUIRED TO BE REMOVED FOR SCOPE OF WORK WITHIN THE APARTMENTS.
  - CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL BLINDS AND ALL WALL MOUNTED ACCESSORIES AT ALL APARTMENTS, CORRIDOR WINDOWS, AND ALL PUBLIC AND OTHER OCCUPIED STOREFRONT AREAS THROUGHOUT THE BUILDING. PREPARE AND PATCH WALLS.
  - REMOVE AND DISCARD ALL DETERIORATED BASE PLATES, ANGLES, ANCHOR BOLTS, COLD FORMED METAL FRAMING AND TRACKS AT EXTERIOR WALL, WHERE COLD FORMED METAL FRAMING MEETS MASONRY BASE WALL ELEVATION. TYPICAL AROUND ENTIRE BUILDING WHERE EIFS IS BEING REMOVED. REFER TO DRAWING A-514 FOR ADDITIONAL INFORMATION. REFER TO SPECIFICATION SECTION 012101 FOR ALLOWANCES AND 012200 FOR UNIT PRICES.
  - EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING APARTMENT UNITS AND OTHER INTERIOR SPACES.
  - DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF ALL EXISTING EPDM ROOFING, COPING, AND ACCESSORIES. EXISTING ROOF PENETRATIONS, CURBS, SURFACE SUPPORTED MECHANICAL, ELECTRICAL, AND PLUMBING TO REMAIN UNLESS NOTED OTHERWISE. REFER TO REFERENCE DEMOLITION AND CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION AND ELECTRICAL DRAWINGS FOR COORDINATION. GENERAL CONTRACTOR TO REMOVE, PROTECT AND REINSTALL EXISTING EXHAUST FANS DURING REROOFING. COORDINATE WITH ELECTRICAL CONTRACTOR TO DEENERGIZE AND REENERGIZE.
  - GENERAL PRIME CONTRACTOR TO COORDINATE WITH ELECTRICAL PRIME CONTRACTOR REGARDING PHASING OF ALL EXTERIOR WALL SYSTEMS, CANOPY SYSTEMS, ROOFING SYSTEMS AND LIGHTNING PROTECTION REPLACEMENT WITH ELECTRICAL CONTRACTOR'S SCOPE OF WORK. GENERAL CONTRACTOR TO DEMOLISH, REMOVE AND LEGALLY DISPOSE OF LIGHTNING PROTECTION AS INDICATED ON DRAWING LP-100 AND SPECIFICATIONS.
  - PROTECT EXISTING EXTERIOR LIGHT FIXTURES DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERWISE NOTED. COORDINATE PHASING SCHEDULE WITH ELECTRICAL CONTRACTOR WHOM WILL DE-ENERGIZE EXISTING LIGHT FIXTURES. CLEAN FIXTURES AND LENS, RELAMP AND RE-ENERGIZE EXISTING LIGHT FIXTURES. ELECTRICAL CONTRACTOR TO VERIFY LAMPING PRIOR TO BIDDING.
  - PREPARE ALL EXTERIOR MASONRY WALLS AND PROTECT ALL ITEMS TO REMAIN FOR CLEANING.
  - REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ELECTRICAL DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR COORDINATION.

KEY		
	024119.02	SPANDEL GLASS TO BE DEMOLISHED
	024119.01	EXISTING CONCRETE MASONRY UNIT TO REMAIN
EIFS	EXTERIOR INSULATED FINISHING SYSTEM	
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	



Renaissance 3 Architects, P.C.  
48 South 14th Street  
Pittsburgh, PA 15203  
Phone: 412-431-2480  
Fax: 412-431-2870  
www.r3a.com

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Engineering  
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CONSULTANT:

Housing Authority  
of the City of  
Pittsburgh

Caliguiri Plaza  
Window and  
Facade  
Replacement  
803 E. Warrington Ave.,  
Pittsburgh, PA 15210

Construction  
Documents

ISSUED: MAY 1, 2015

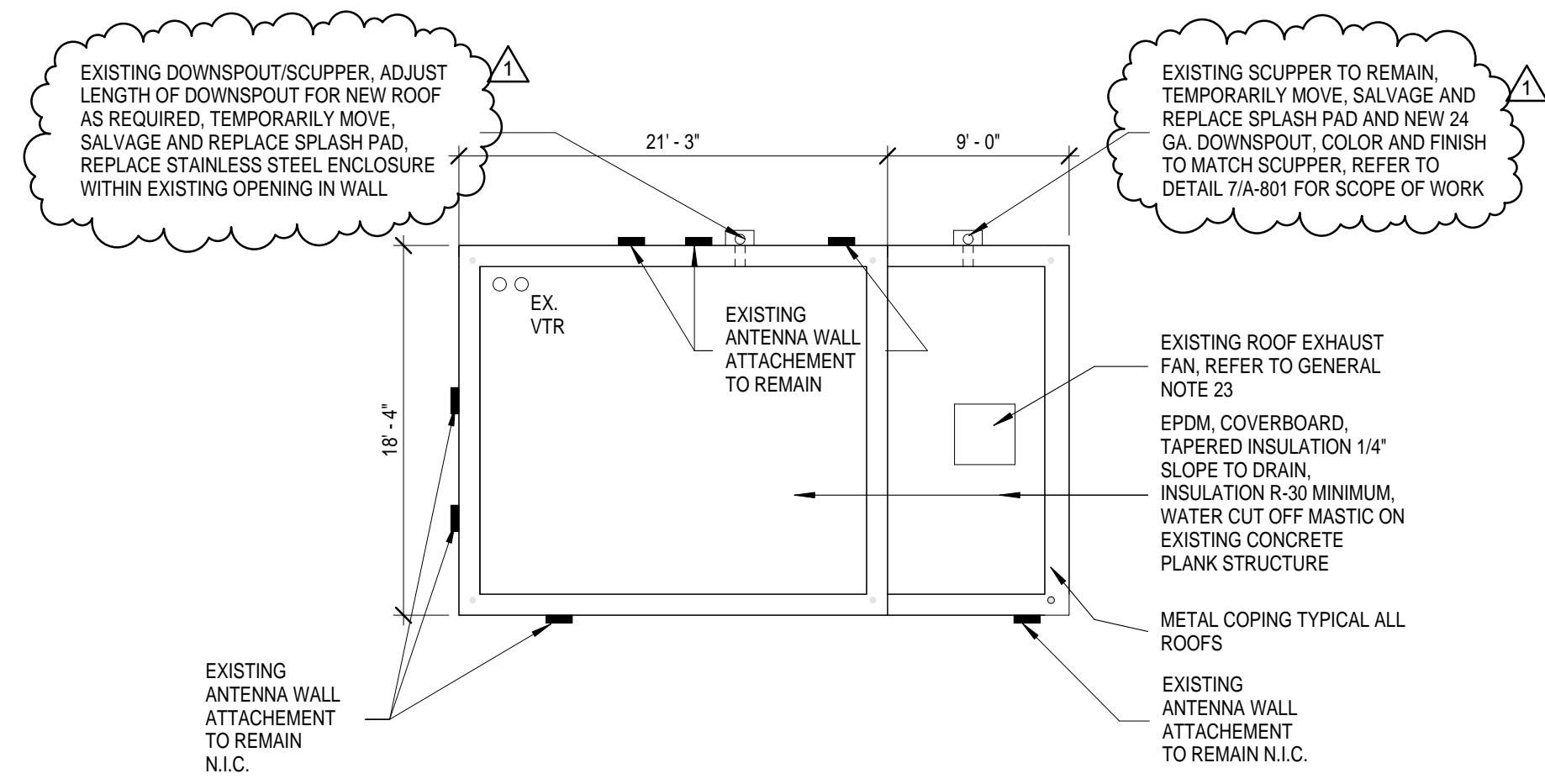
NO.	DATE	NAME
1	6/26/2015	Addendum 2
2	7/28/2015	Addendum 5

EXTERIOR  
DEMOLITION  
ELEVATIONS -  
EAST

R3A PROJECT # 14021

AD203

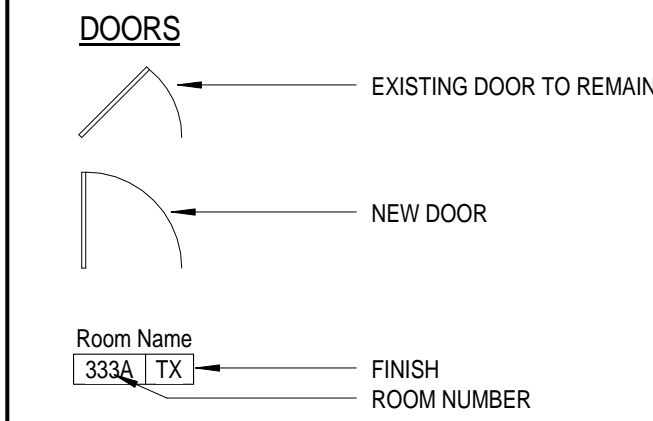




2 ELEVATOR PENTHOUSE ROOF PLAN  
1/8" = 1'-0" ELEVATION 1246' - 2"

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

#### LEGEND



NOTES:  
1. REFER TO DRAWING A-001 FOR ADDITIONAL SYMBOLS, LEGEND AND STANDARD MOUNTING HEIGHTS.

#### KEY

	NOT IN SCOPE OF WORK
	LIMITED SCOPE OF WORK AT EXTERIOR WALL: INCLUDES PATCHING OF GWB, WINDOW CAULKING, INSTALLATION OF WINDOWS AND MARBLE SILLS AND PAINTING ENTIRE INTERIOR GWB SURFACE OF EXTERIOR WALL.
	SCOPE OF WORK AT ROOF: INCLUDES DEMOLISHING EXISTING ROOF MEMBRANE AND REPLACING
CMU	CONCRETE MASONRY UNIT
E.C.	ELECTRICAL CONTRACTOR
EX	EXISTING
G.C.	GENERAL CONTRACTOR
N.I.C.	NOT IN CONTRACT
PT	PAINT
RD	ROOF DRAIN
VTR	VENT THROUGH ROOF

#### GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL PRIME AND ELECTRICAL PRIME. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUB-CONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS PRODUCED BY L.D. ASTORINO DATED 12/8/1982 AND FIELD CONDITIONS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND TEMPORARY ONLY OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- EXTERIOR DIMENSIONS ARE FROM FACE OF METAL PANEL TO FACE OF METAL PANEL OR FACE OF EXISTING EXPOSED MASONRY TO REMAIN, UNLESS NOTED OTHERWISE.
- DIMENSIONS ARE TO BE VERIFIED IN THE FIELD AND ARE PROVIDED ONLY FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS.
- CONTRACTORS ARE TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALLED MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- CONTRACTORS ARE REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PROTECTED, PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- MEANS OF EGRESS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. CONTRACTORS ARE TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- ALL WORK SHOWN WITHIN DRAWINGS AND SPECIFICATIONS IS INCLUDED IN THE BASE BID.
- PATCH, REPAIR AND INFILL AREAS OF ITEMS DENOTED TO BE DEMOLISHED UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, COLORS AND FINISHES. NEW PAINT SHOULD BE TO NEAREST CORNER OF AGREED UPON STOPPING POINT.
- CLEAN ALL EXTERIOR MASONRY WALLS TO REMAIN EXPOSED AND PROTECT ALL ITEMS TO REMAIN FOR CLEANING.
- REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ELECTRICAL DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR COORDINATION.
- GENERAL PRIME CONTRACTOR TO COORDINATE TO PROVIDE AND INSTALL A COMPLETE CODE COMPLIANT LIGHTNING PROTECTION SYSTEM ON ALL ROOFS. VERIFY LOCATION OF EACH ROOF'S EXISTING 'GROUND' AND FIELD CONNECTION. PROVIDE FINAL CONNECTIONS TO COORDINATE PHASING WITH ROOFING. REFER TO DRAWING LP-100 AND SPECIFICATION SECTION 15000 LIGHTNING PROTECTION.
- PROTECT EXISTING LIGHTING, SIGNAGE, SECURITY CAMERAS AND ALL OTHER MATERIALS TO REMAIN DURING CONSTRUCTION.
- A HAZARDOUS MATERIALS SURVEY AND REPORT HAS BEEN COMPLETED AND NO HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED, AND THEREFORE, ARE NOT INCLUDED WITHIN THE SCOPE OF WORK. LEAD PAINT WAS IDENTIFIED WITHIN THE BUILDING AND EACH PRIME CONTRACTOR AND ALL SUBCONTRACTORS ARE TO COMPLY WITH ALL APPLICABLE CODES AND REQUIREMENTS INCLUDING OSHA STANDARDS. THE REPORT WILL BE AVAILABLE AT HACP OFFICES. IF ANY SUSPECT MATERIAL IS IDENTIFIED, HACP AND THE ARCHITECT ARE TO BE NOTIFIED IMMEDIATELY.
- REFER TO HUD GENERAL CONDITIONS HUD-5370, WHEREAS EACH PRIME CONTRACTOR IS REQUIRED TO VISIT THE SITE.
- PROVIDE FIRE BARRIER HORIZONTALLY AND VERTICALLY AT ALL APARTMENT UNITS.

#### ROOF PLAN NOTES

- CONTRACTORS ARE REQUIRED TO VERIFY AND COORDINATE ALL EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS REQUIRED TO PROVIDE AND INSTALL AN EPDM ROOFING SYSTEM AND LIGHTNING PROTECTION SYSTEM WITH ALL ACCESSORIES ON ALL ROOFS, UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH ELECTRICAL CONTRACTOR.
- PROVIDE AND INSTALL A COMPLETE EPDM ROOFING SYSTEM AS INDICATED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. PROVIDE AND INSTALL ALL ACCESSORIES REQUIRED AT ALL EXISTING ROOF PENETRATIONS, CURBS, ROOF DRAINS, AND OTHER ROOF CONDITIONS. ROOF PLANS INDICATE GENERAL LOCATION AND QUANTITY OF EXISTING EQUIPMENT AND PENETRATIONS. CONTRACTOR IS REQUIRED TO VERIFY ALL VISIBLE CONDITIONS AND QUANTITIES AT EACH ROOF LEVEL. NO NEW PENETRATIONS, EXCEPT FOR LIGHTNING PROTECTION ARE REQUIRED.
- ROOF MINIMUM R-VALUE IS 30; ADDITIONAL TAPERED INSULATION TO DRAIN 1/4" PER FOOT TO EXISTING ROOF DRAINS.
- PROVIDE AND INSTALL CRICKETS AT ALL EXISTING ROOF CURBS AND AS REQUIRED, SLOPE 1/2" PER FOOT AT ALL CRICKETS. CONTRACTOR TO VERIFY LOCATION OF ALL ROOF DRAINS.
- PROVIDE AND INSTALL ALL REQUIRED TEMPORARY SUPPORTS FOR ALL EXISTING SURFACE SUPPORTED MECHANICAL, ELECTRICAL AND PLUMBING TO REMAIN DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING SUPPORTS AND THAT REQUIRED FOR TEMPORARY SUPPORT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATION.
- PROVIDE AND INSTALL ALL REQUIRED ADDITIONAL PERMANENT SUPPORTS, OVER AND ABOVE THOSE SALVAGED FOR REINSTALLATION, FOR ALL EXISTING SURFACE SUPPORTED MECHANICAL, ELECTRICAL, AND PLUMBING TO REMAIN. CONTRACTOR TO VERIFY EXISTING SUPPORTS AND THAT REQUIRED FOR THE FINAL FINISHED PRODUCT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATION.
- EXISTING CONDENSING UNIT. GENERAL CONTRACTOR TO TEMPORARILY DISCONNECT AND RECONNECT REFRIGERANT LINES TO RELOCATED EXISTING CONDENSING UNIT AND CONCRETE PAD DURING DEMOLITION AND CONSTRUCTION. ELECTRICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO TEMPORARILY DE-ENERGIZE/ RE-ENERGIZE UNIT. REFER TO ELECTRICAL DRAWINGS. UNIT TO BE OPERATIONAL AT END OF EACH DAY. CONTRACTOR TO FIELD VERIFY PRIOR TO BIDDING AND PROVIDE AND INSTALL ALL MATERIALS AND ACCESSORIES REQUIRED AT ALL DETAILS.
- REFER TO DRAWING A-301 FOR ROOFING DETAILS.
- GENERAL CONTRACTOR TO REMOVE, PROTECT AND REINSTALL EXISTING EXHAUST FANS DURING REROOFING. COORDINATE WITH ELECTRICAL CONTRACTOR TO DEENERGIZE AND REENERGIZE. EXTEND EACH EXISTING GENERAL CONTRACTOR IS REQUIRED TO EXTEND ALL CURBS AT EXISTING EXHAUST FAN CURBS, SO THAT THE TOP OF THE CURB IS A MINIMUM OF 8" ABOVE THE ROOFING EPDM MATERIAL AS RECOMMENDED BY THE ROOFING INDUSTRY.
- SAND TO BARE METAL EXISTING DOOR AND FRAME, PREPARE, PRIME AND PAINT. REFER TO DOOR SCHEDULE ON DRAWING A-602 FOR FINISHES.
- FOR ALL ROOF LOCATIONS WHERE INDICATED AS 'EX VTR', GENERAL CONTRACTOR IS REQUIRED TO EXTEND ALL EXISTING ROOF THROUGH VENTS, SO THAT THE TOP OF THE ROOF VENT IS A MINIMUM OF 12" ABOVE THE ROOFING EPDM MATERIAL, AS REQUIRED BY ALLEGHENY COUNTY HEALTH DEPARTMENT RULES AND REGULATIONS FOR PLUMBING AND BUILDING DRAINAGE, ARTICLE XV.

1 ELEVATOR PENTHOUSE AND ROOF PLAN  
1/8" = 1'-0"

ELEVATION 1230' - 10"



Renaissance 3 Architects, P.C.  
48 South 14th Street  
Pittsburgh, PA 15203  
Phone: 412-431-2480  
Fax: 412-431-2870  
www.r3a.com

Architecture  
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Development Management

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Housing Authority  
of the City of  
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Caliguiri Plaza  
Window and  
Facade  
Replacement  
803 E. Warrington Ave.,  
Pittsburgh, PA 15210

Construction  
Documents

ISSUED: MAY 1, 2015  
REVISIONS

NO.	DATE	NAME
1	7/28/2015	Addendum 5

ELEVATOR  
PENTHOUSE  
AND ROOF PLAN

R3A PROJECT # 14021

A-109



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



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Fax: 412-431-2970  
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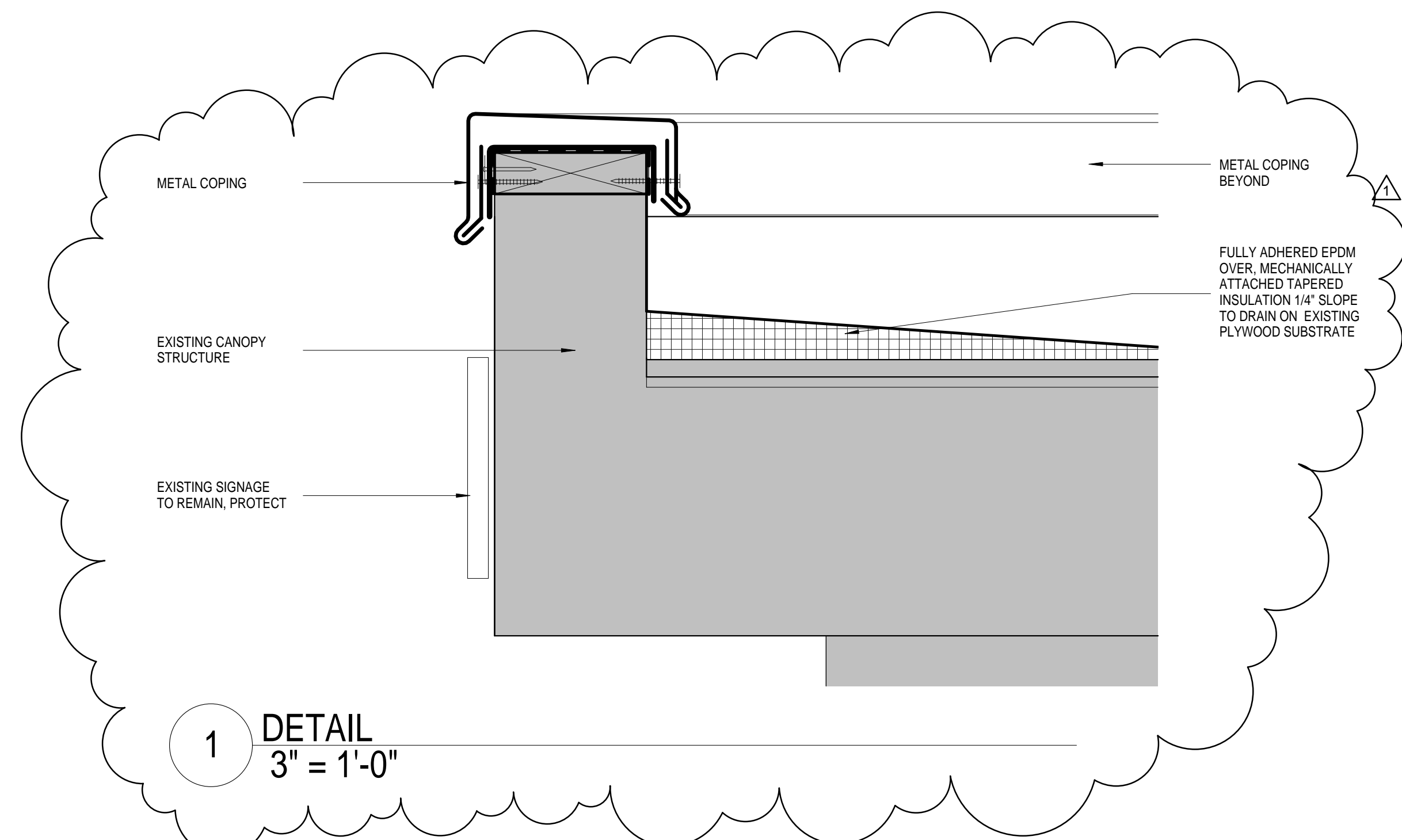
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Documents

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REVISIONS  
NO. DATE NAME  
1 7/28/2015 Addendum 5

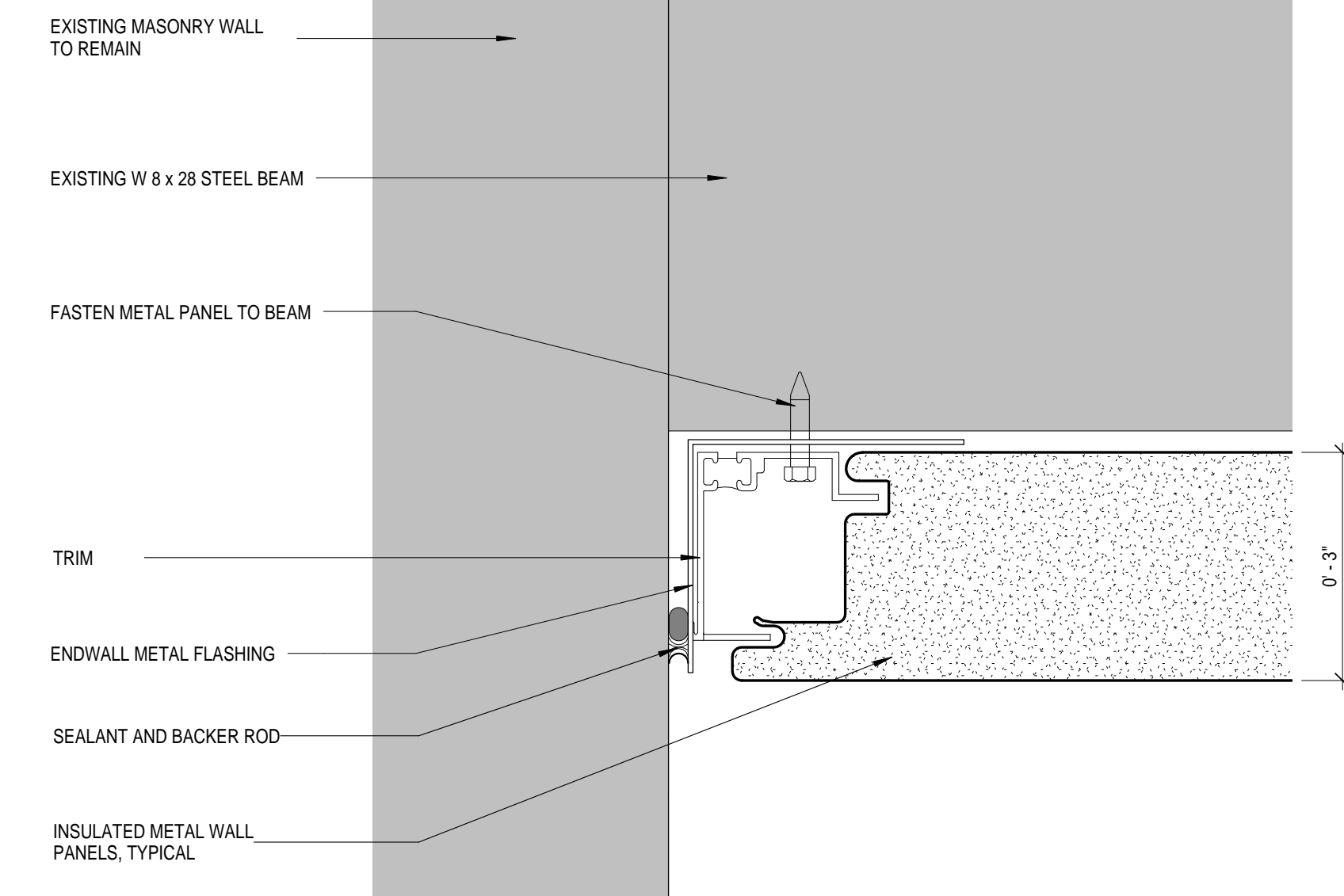
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DETAILS

R3A PROJECT # 14021

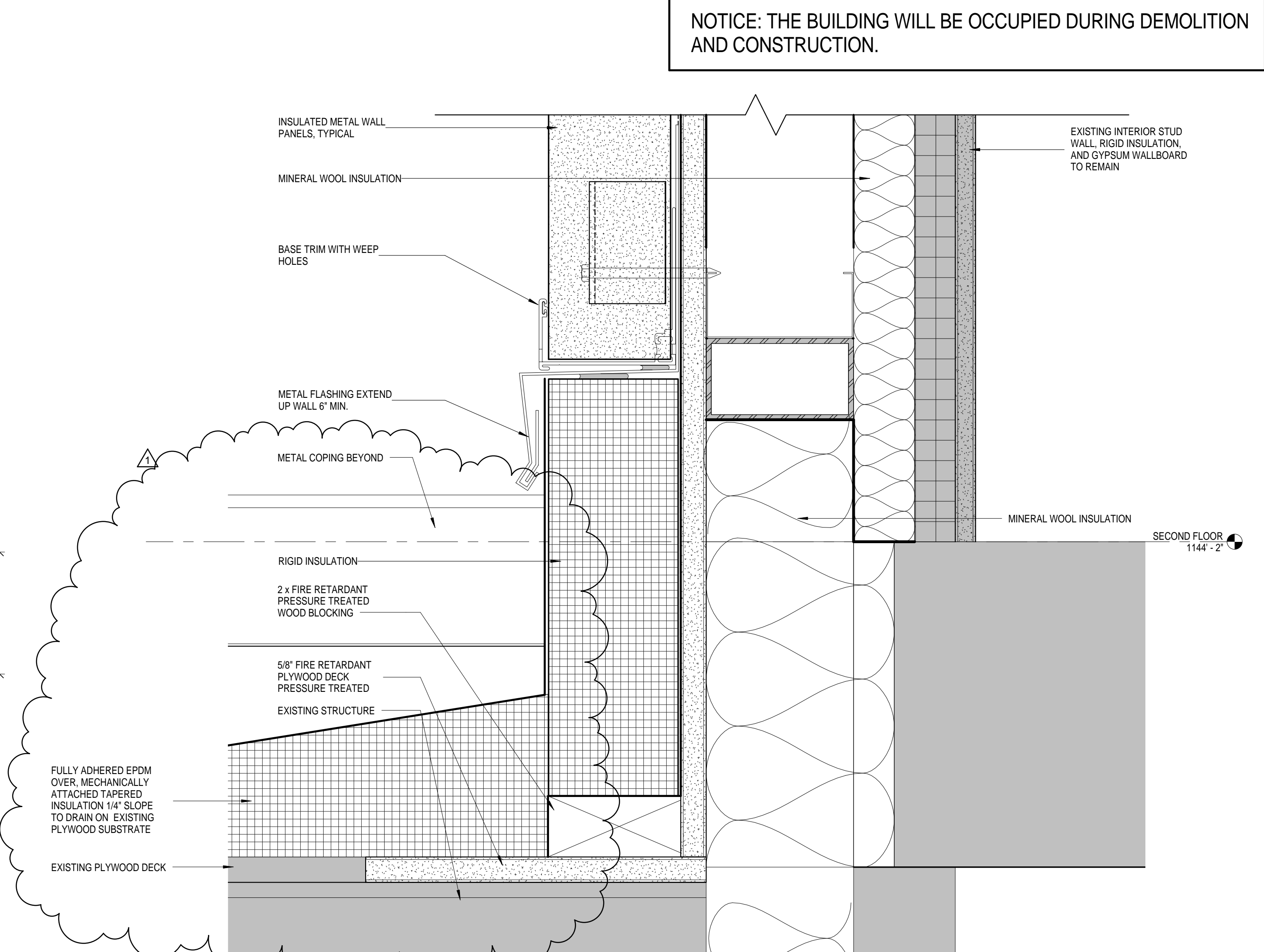
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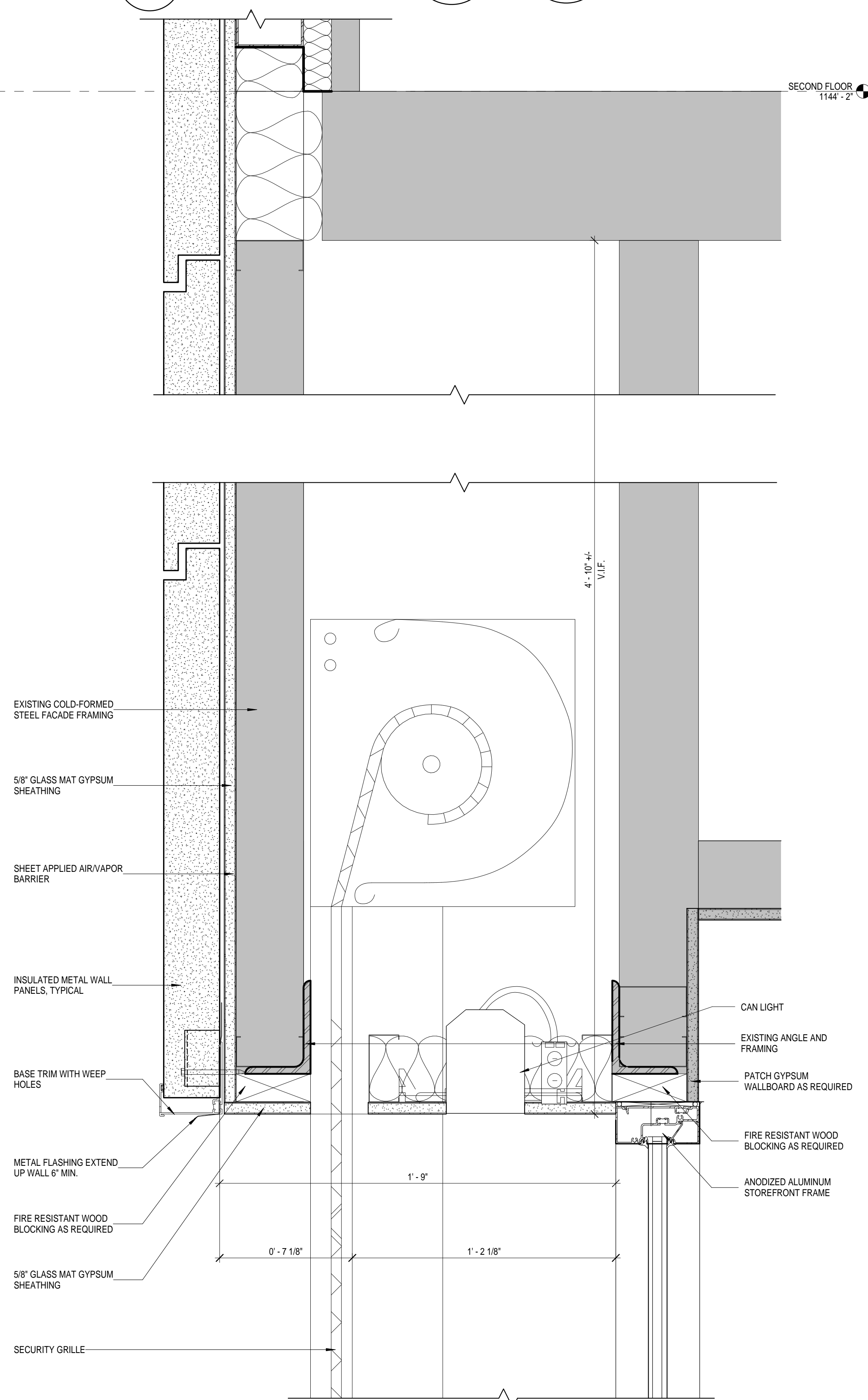
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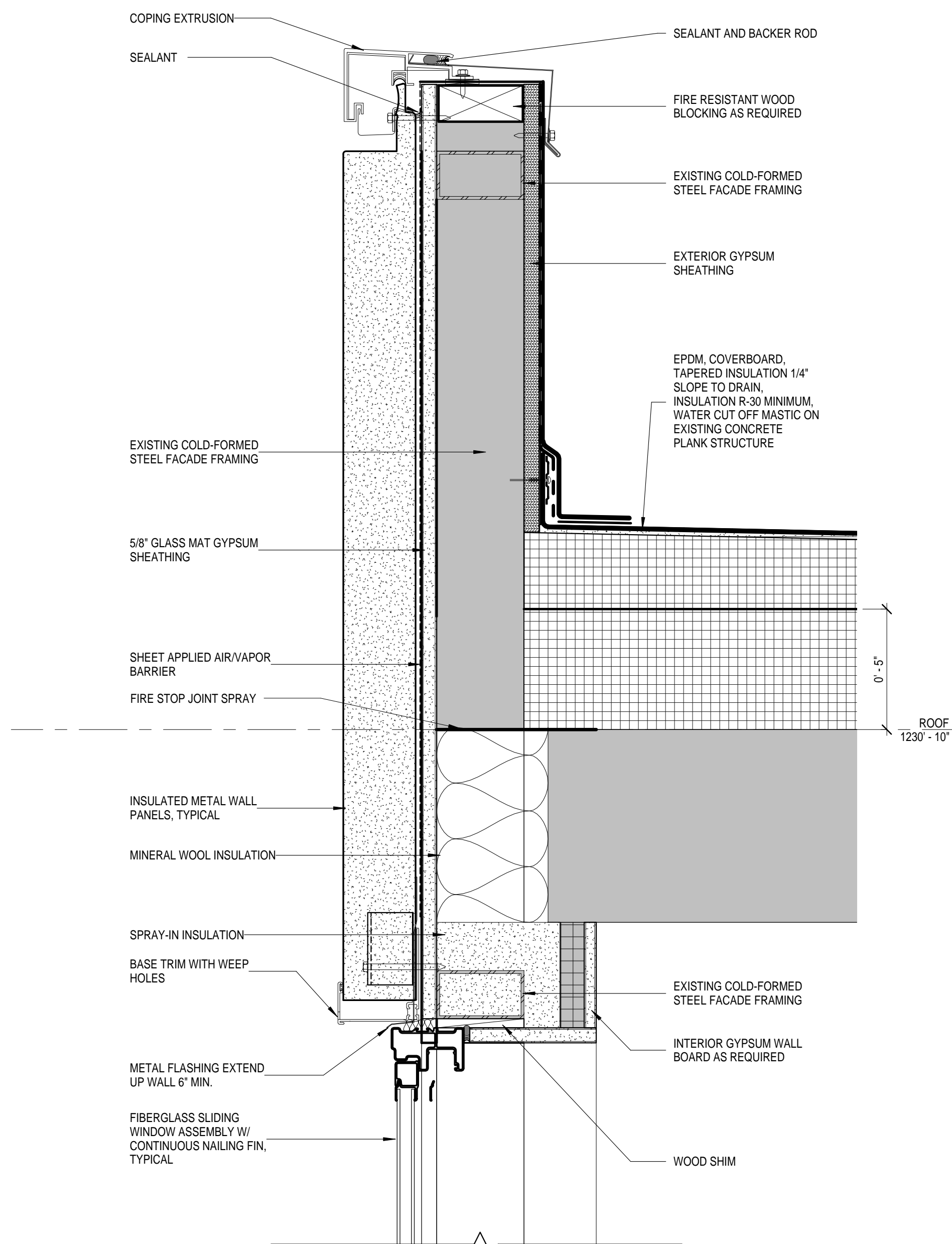
2  
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6" = 1'-0"



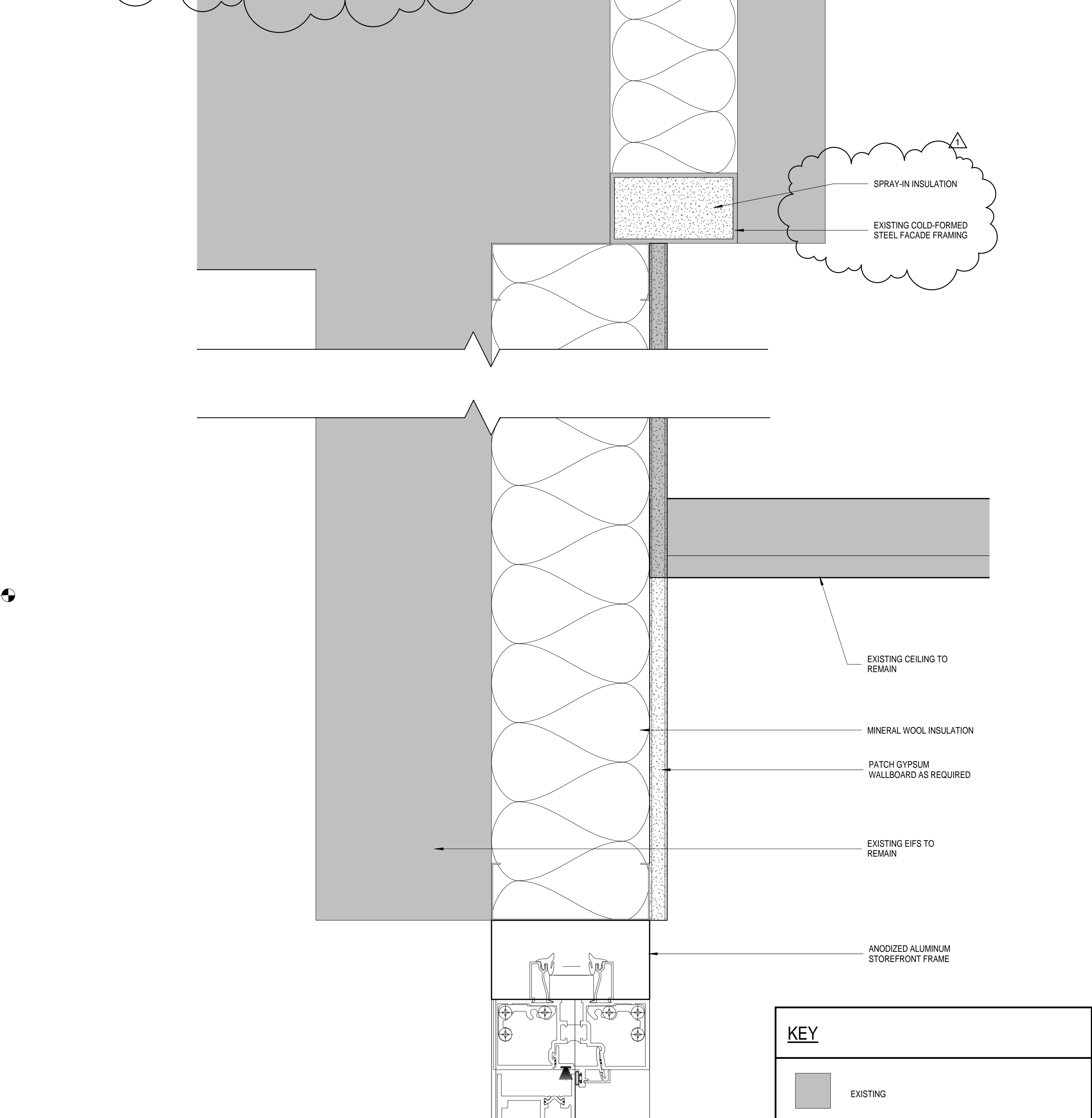
5  
DETAIL  
6" = 1'-0"



3  
DETAIL  
3" = 1'-0"



4  
DETAIL  
3" = 1'-0"



KEY	
	EXISTING
	NEW CONSTRUCTION
V.I.F.	VERIFY IN FIELD