Allies & Ross Management and Development Corporation Task Order Contract No. 33 - Glen Hazel Rental Assistance Demonstration (RAD)

945 Roselle Ct Pittsburgh, PA 15207

October 27, 2017 CONSTRUCTION DOCUMENTS

Housing Authority of the City of Pittsburgh 206 Ross Street

> 9th Floor Pittsburgh, PA 15219 Phone: 412-456-5020 ex. 6008

Fax: 412-456-5591 Contact: Jerome Frank, Senior Development Manager

DEVELOPER: Allies & Ross Management and Development Corporation

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Contact: Jerome Frank, Senior Development Manager

ARCHITECT: Renaissance 3 Architects, P.C.

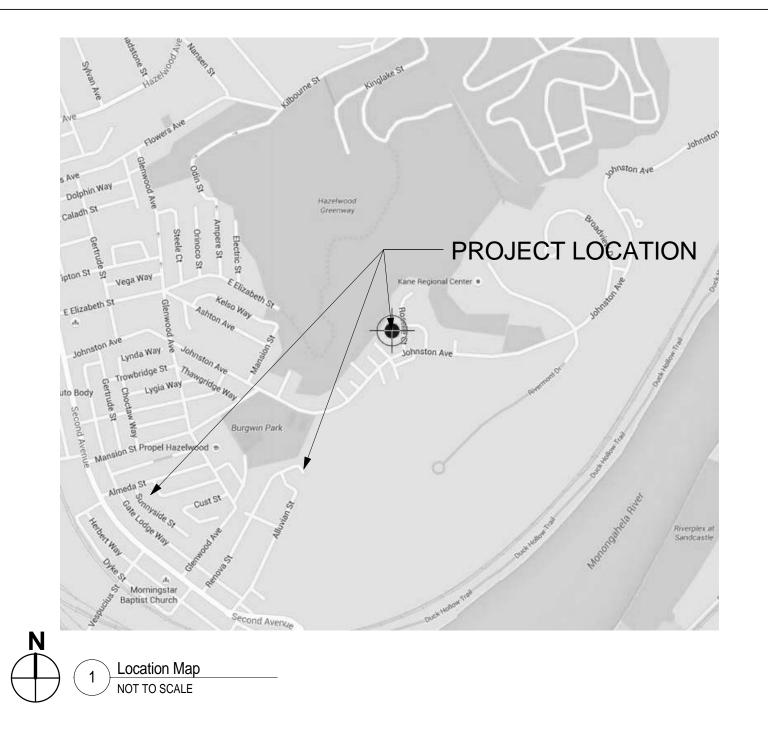
48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670

Contact: Carla Worthington, AIA

Moore Design Associates Contact: Sara Moore, Principal

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Renaissance 3 Architects, P.C.

48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670

Design

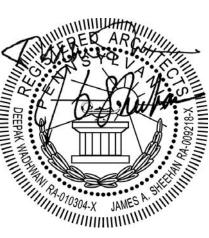
Technology

List of Drawings

Family Community - Type J

G-100	Cover Sheet	A-120	Family Community - Type K	P-101	Bernice Crawley High Rise - First Floor Plumbing Plan
G-101	Bernice Crawley High Rise Unit Info	A-121	Family Community - Type L	P-105	Bernice Crawley High Rise - Small & Large One Bedroom Enlarged Plumbing Pla
G-102	Family Community Unit Info	A-122	Family Community - Type M	P-106	Bernice Crawley High Rise - UFAS One & Two Bedroom Enlarged Plans
G-110	Code Reference Sheet	A-201	Bernice Crawley High Rise - Exterior Elevations	P-111	Family Community - Type A
		A-202	Bernice Crawley High Rise - Exterior Elevations	P-112	Family Community - Type B
L-001A	MDA Site Instructions	A-211	Family Community - Type A Exterior Elevations	P-113	Family Community - Type C
L-002A	MDA/ Mistick Site Quantities	A-212	Family Community - Type B Exterior Elevations	P-114	Family Community - Type D
L-101A	MDA Site Plan	A-213	Family Community - Type C Exterior Elevations	P-115	Family Community - Type E
L-102A	MDA Site Plan	A-214	Family Community - Type D Exterior Elevations	P-116	Family Community - Type F UFAS
L-103A	MDA Site Plan	A-215	Family Community - Type E Exterior Elevations	P-117	Family Community - Type G
L-201A	MDA Site Image References	A-216	Familiy Community - Type F UFAS Exterior Elevations	P-118	Family Community - Type H UFAS
L-202A	MDA Site Image References	A-217	Family Community - Type G Exterior Elevations	P-119	Family Community - Type J
L-203A	MDA Site Image References	A-218	Family Community - Type H UFAS Exterior Elevations	P-120	Family Community - Type K
L-204A	MDA Site Image References	A-219	Family Community - Type J Exterior Elevations	P-121	Family Community - Type L
L-301A	MDA Site Details	A-220	Family Community - Type K Exterior Elevations	P-122	Family Community - Type M
		A-221	Family Community - Type L Exterior Elevations		
		A-222	Family Community - Type M Exterior Elevations	E 404	Davis Condend link Diag. First Flags Flagtwice Diag
L-001B	Privacy Fence and Mechanical Equipment Pads	A-401	Bernice Crawley High Rise - Enlarged Plans and Elevations, Schedules, Types and Details	E-101	Bernice Crawley High Rise - First Floor Electrical Plan
L-002B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-402	Bernice Crawley High Rise - Enlarged UFAS/Accessible Plans and Elevations, Schedules, Types	E-102	Bernice Crawley High Rise - Second Floor Electrical Plan
L-101B	Privacy Fence and Mechanical Equipment Pad Location Plan		and Details	E-103	Bernice Crawley High Rise - Third - Seventh Floor Electrical Plan
L-102B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-411	Family Community - Type A Enlarged Plans and Elevations, Schedules, Types and Details	E-104	Bernice Crawley High Rise - Eighth Floor Electrical Plan
L-103B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-412	Family Community - Type B Enlarged Plans and Elevations, Schedules, Types and Details	E-105	Bernice Crawley High Rise - Small & Large One Bedroom Enlarged Electrical Pla
L-104B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-413	Family Community - Type C Enlarged Plans and Elevations, Schedules, Types and Details	E-106	Bernice Crawley High Rise - UFAS One & Two Bedroom Enlarged Electrical Plan
L-105B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-414	Family Community - Type D Enlarged Plans and Elevations, Schedules, Types and Details	E-107	Bernice Crawley High Rise - Roof Top Plan
L-106B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-415	Family Community - Type E Enlarged Plans and Elevations, Schedules, Types and Details	E-111	Family Community - Type A
L-107B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-416	Family Community - Type F UFAS Enlarged Plans and Elevations, Schedules, Types and Details	E-112	Family Community - Type B
L-108B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-417	Family Community - Type G Enlarged Plans and Elevations, Schedules, Types and Details	E-113	Family Community - Type C
L-109B	Privacy Fence and Mechanical Equipment Pad Location Plan	A-418	Family Community - Type H UFAS Enlarged Plans and Elevations, Schedules, Types and Details	E-114	Family Community - Type D
		A-419	Family Community - Type J Enlarged Plans and Elevations, Schedules, Types and Details	E-115	Family Community - Type E
L-101C	Add Alternative/ Mistick Site Plan	A-420	Family Community - Type K Enlarged Plans and Elevations, Schedules, Types and Details	E-116	Family Community - Type F UFAS
L-102C	Add Alternative/ Mistick Site Plan	A-421	Family Community - Type L Enlarged Plans and Elevations, Schedules, Types and Details	E-117	Family Community - Type G
L-103C	Add Alternative/ Mistick Site Plan	A-422	Family Community - Type M Enlarged Plans and Elevations, Schedules, Types and Details	E-118	Family Community - Type H UFAS
L-104C	Add Alternative/ Mistick Site Details	A-601	Exterior Window Details	E-119	Family Community - Type J
L-105C	Add Alternative/ Mistick Site Details	A-602	Porch and Railing Details	E-120	Family Community - Type K
L-106C	Add Alternative/ Mistick Site Details			E-121	Family Community - Type L
				E-122	Family Community - Type M
A-001	Symbols and Standard Mounting Heights	M-102	Bernice Crawley High Rise - Second Floor HVAC Plan		
A-001 A-101	Bernice Crawley High Rise - First Floor Plan	M-105	Bernice Crawley High Rise - Small & Large One Bedroom Enlarged HVAC Plan		
A-101 A-102	Bernice Crawley High Rise - Second Floor Plan	M-106	Bernice Crawley High Rise - UFAS One & Two Bedroom Enlarged HVAC Plans		
A-102 A-103	Bernice Crawley High Rise - Second Floor Plan Bernice Crawley High Rise - Third - Seventh Floor Plan	M-107	Bernice Crawley High Rise - Roof Top Plan		
	, ,	M-108	Bernice Crawley High Rise - Elevations		
A-104	Bernice Crawley High Rise - Eighth Floor Plan	M-111	Family Community - Type A		
A-105	Bernice Crawley High Rise - Small & Large One Bedroom Enlarged Plans	M-112	Family Community - Type B		
A-106	Bernice Crawley High Rise - UFAS One & Two Bedroom Enlarged Plans	M-113	Family Community - Type C		
A-107	Bernice Crawley High Rise - Finish Plans	M-114	Family Community - Type D		
A-111	Family Community - Type A	M-115	Family Community - Type E		
A-112	Family Community - Type B	M-116	Family Community - Type F UFAS		
A-113	Family Community - Type C	M-117	Family Community - Type G		
A-114	Family Community - Type D	M-118	Family Community - Type H UFAS		
A-115	Family Community - Type E	M-119	Family Community - Type J		
A-116	Family Community - Type F UFAS	M-120	Family Community - Type K		
A-117	Family Community - Type G	M-121	Family Community - Type L		
A-118	Family Community - Type H UFAS	M 400	Family Community Time M		

Family Community - Type M



Task Order Contract No. 33 - Glen Hazel Rental Assistance Demonstration (RAD) R3A PROJECT # **15074B**

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Glen Hazel Standardernice Crawley Highrise List of Units

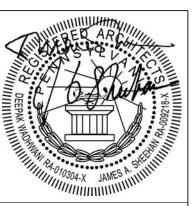
List of Units				
Unit#	# of Bedrooms	<u>Unit Type</u>	Accessibility	
201	1	Small	Standard	
202	1	Small	Standard	
203	1	Large	Standard	
204	1	Large	Standard	
207	1	Small	Standard	
209	1	Small	Standard	
210	1	Small	Standard	
213	1	UFAS 1	UFAS	
214	2	UFAS 2	UFAS	
217	1	Large	Standard	
218	1	Large	Standard	
221	1	Small	Standard	
222	1	Small	Standard	
301	1	Small	Standard	
302	1	Small	Standard	
303	1	UFAS 1	UFAS	
304	1	Large	Standard	
307	1	Small	Standard	
308	1	Small	Standard	
309	1	Small	Standard	
310	1	Small	Standard	
313	1	UFAS 1	UFAS	
314	2	UFAS 2	UFAS	
317	1	Large	Standard	
318	1	Large	Standard	
321	1	Small	Standard	
322	1	Small	Standard	
401	1	Small	Standard	
402	1	Small	Standard	
403	1	UFAS 1	UFAS	
404	1	Large	Standard	
407	1	Small	Standard	
408	1	Small	Standard	
409	1	Small	Standard	
410	1	Small	Standard	
413	1	UFAS 1	UFAS	
414	2	UFAS 2	UFAS	
417	1	Large	Standard	
418	1	Large	Standard	
421	1	Small	Standard	
422	1	Small	Standard	

15			
501	1	Small	Standard
<u>Unit#</u>	# of Bedrooms	<u>Unit Type</u>	Access.
502	1	Small	Standard
503	1	UFAS 1	UFAS
504	1	Large	Standard
507	1	Small	Standard
508	1	Small	Standard
509	1	Small	Standard
510	1	Small	Standard
513	1	UFAS 1	UFAS
514	2	UFAS 2	UFAS
517	1	Large	Standard
518	1	Large	Standard
521	1	Small	Standard
522	1	Small	Standard
601	1	Small	Standard
602	1	Small	Standard
603	1	Large	Standard
604	1	Large	Standard
607	1	Small	Standard
608	1	Small	Standard
609	1	Small	Standard
610	1	Small	Standard
613	1	UFAS 1	UFAS
614	2	UFAS 2	UFAS
617	1	Large	Standard
618	1	Large	Standard
621	1	Small	Standard
622	1	Small	Standard
701	1	Small	Standard
702	1	Small	Standard
703	1	Large	Standard
704	1	Large	Standard
707	1	Small	Standard
708	1	Small	Standard
709	1	Small	Standard
710	1	Small	Standard
713	1	UFAS 1	UFAS
714	2	UFAS 2	UFAS
717	1	Large	Standard
718	1	Large	Standard
721	1	Small	Standard
722	1	Small	Standard
801	1	Small	Standard
802	1	Small	Standard
803	1	Large	Standard
804	1	Large	Standard

	807	1	Small	Standard
	<u> Unit #</u>	# of Bedrooms	<u>Unit Type</u>	Access.
	808	1	Small	Standard
100	809	1	Small	Standard
	810	1	Small	Standard
	813	1	UFAS 1	UFAS
	814	2	UFAS 2	UFAS
	817	1	Large	Standard
	818	1	Large	Standard
	821	1	Small	Standard
1	822	1	Small	Standard
•				

Unit Type	# of Units
Small	5
Large	2
UFAS 1	1
UFAS 2	

Total Units





Renaissance 3 Architects, P.C.

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CONSULTANT:

Allies & Ross
Management and
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Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Bernice Crawley High Rise Unit Info

R3A PROJECT # 15074B

G-101

Glen Hazel Family Community Lowrise Buildings List of Addresses

Glen Hazel Family Community Proper

	<u># of</u>	Building	
<u>Address</u>	<u>Bedrooms</u>	<u>Түре</u>	Access.
621 Johnston	3	D	Standard
623 Johnston	3	D	Standard
627 Johnston	3	D	Standard
629 Johnston	3	D	Standard
633 Johnston	3	С	Standard
635 Johnston	3	С	Standard
641 Johnston	3	D	Standard
643 Johnston	3	D	Standard
647 Johnston	2	В	Standard
649 Johnston	2	В	Standard
651 Johnston	1	В	Standard
653 Johnston	1	В	Standard
657 Johnston	3	E	Standard
659 Johnston	3	E	Standard
661 Johnston	3	Е	Standard
663 Johnston	3	E	Standard
667 Johnston	4	G	Standard
669 Johnston	4	G	Standard
673 Johnston	3	E	Standard
675 Johnston	3	Е	Standard
677 Johnston	3	E	Standard
679 Johnston	3	E	Standard
701 Johnston	3	С	Standard
703 Johnston	3	С	Standard
707 Johnston	3	Е	Standard
709 Johnston	3	Е	Standard
711 Johnston	3	E	Standard
713 Johnston	3	E	Standard
719 Johnston	4	G	Standard
721 Johnston	4	G	Standard
725 Johnston	3	E	Standard
727 Johnston	3	Е	Standard
729 Johnston	3	E	Standard
731 Johnston	3	E	Standard
735 Johnston	3	С	Standard
737 Johnston	3	С	Standard
662 Johnston	1	В	Standard
664 Johnston	1	В	Standard
666 Johnston	2	В	Standard

	<u># of</u>	Building	
<u>Address</u>	<u>Bedrooms</u>	<u>Түре</u>	Access.
668 Johnston	2	В	Standard
672 Johnston	3	С	Standard
674 Johnston	3	С	Standard
678 Johnston	4	G	Standard
680 Johnston	4	G	Standard
702 Johnston	3	E	Standard
704 Johnston	3	E	Standard
706 Johnston	3	E	Standard
708 Johnston	3	E	Standard
712 Johnston	4	G	Standard
714 Johnston	4	G	Standard
718 Johnston	3	E	Standard
720 Johnston	3	E	Standard
722 Johnston	3	E	Standard
724 Johnston	3	E	Standard
728 Johnston	3	С	Standard
730 Johnston	3	С	Standard
734 Johnston	1	Α	Standard
736 Johnston	1	Α	Standard
738 Johnston	3	Α	Standard
740 Johnston	3	Α	Standard
742 Johnston	2	Α	Standard
744 Johnston	2	Α	Standard
748 Johnston	1	В	Standard
750 Johnston	1	В	Standard
752 Johnston	2	В	Standard
754 Johnston	2	В	Standard
758 Johnston	3	D	Standard
760 Johnston	3	D	Standard
833 Johnston	1	В	Standard
835 Johnston	1	В	Standard
837 Johnston	2	В	Standard
839 Johnston	2	В	N/A
843 Johnston	4	G	N/A
845 Johnston	4	G	N/A
849 Johnston	4	G	N/A
851 Johnston	4	G	N/A
855 Johnston	4	G	N/A
857 Johnston	4	G	N/A
981 Roselle	2	UFAS (H)	UFAS
985 Roselle	2	UFAS (H)	UFAS
905 Johnston	3	UFAS (F)	UFAS
909 Johnston	3	UFAS (F)	UFAS
1019 Johnston	3	UFAS (F)	UFAS
1021 Johnston St	3	UFAS (F)	UFAS

	<u># of</u>	Building	
<u>Address</u>	<u>Bedrooms</u>	<u>Type</u>	Access.
2 Roselle	1	Α	Standard
4 Roselle	1	Α	Standard
6 Roselle	3	Α	Standard
8 Roselle	3	Α	Standard
10 Roselle	2	Α	Standard
12 Roselle	2	Α	Standard
16 Roselle	1	Α	Standard
18 Roselle	1	Α	Standard
20 Roselle	3	Α	Standard
22 Roselle	3	Α	Standard
24 Roselle	2	Α	Standard
26 Roselle	2	Α	Standard
30 Roselle	3	D	Standard
32 Roselle	3	D	Standard
36 Roselle	2	Α	Standard
38 Roselle	2	Α	Standard
40 Roselle	3	Α	Standard
42 Roselle	3	Α	Standard
44 Roselle	1	Α	Standard
46 Roselle	1	Α	Standard
960 Roselle	4	G	Standard
962 Roselle	4	G	Standard
966 Roselle	4	G	Standard
968 Roselle	4	G	Standard
972 Roselle	4	G	Standard
974 Roselle	4	G	Standard
	110		

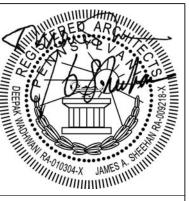
Glen Hazel Family - Renova / Almeda

	<u># of</u>	<u>Building</u>	
<u>Address</u>	<u>Bedrooms</u>	<u>Туре</u>	Access.
360 Renova St	2	J	Standard
362 Renova St	2	UFAS (J)	UFAS
364 Renova St	2	J	Standard
333 Renova St	3	K	Standard
337 Renova St	3	K	Standard
350 Renova St	2	L	Standard
352 Renova St	2	L	Standard
354 Renova St	2	L	Standard
356 Renova St	2	1	Standard
358 Renova St	2	L	Standard
30 Almeda St	2	М	Standard
32 Almeda St	2	М	Standard
34 Almeda St	2	М	Standard

	<u># of</u>	Building	
<u>Address</u>	<u>Bedrooms</u>	<u>Туре</u>	Access.
36 Almeda St	2	М	Standard
5409 Sunnyside St	2	М	Standard
5411 Sunnyside St	2	М	Standard
5413 Sunnyside St	2	М	Standard
5415 Sunnyside St	2	М	Standard
·			

Building Type	# of Units
A	24
В	16
C	10
D	10
E	24
UFAS (F)	4
G	20
UFAS (H)	2
J	2
UFAS (J)	1
K	2
Ľ	5
М	8

Total Units	128
Total UFAS Units	7





Renaissance 3 Architects, P.C.

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ARCHITECTS, EV.

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945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community
Unit Info

R3A PROJECT # 15074B

G-102

			GI FN HA7F	L BERNICE	CRAWLFY HIGH	I RISE AND GLE	N HA7FI	COMMIII	NITY I OW	' RISE				
EXISTING LOT	EXISTING BUILDING #	EXISTING NUMBER OF APARTMENT UNITS	EXISTING UNIT ADDRESES	BUILDING CERTIFICATE OF OCCUPANCY NO.	EXISTING LOT & BLOCK NO.	EXISTING BUILDING TYPE	EXISTING BUILDING NSF	UNIT TYPE: EX. UFAS / ACCESSIBLE UNITS TYPE A	NUMBER OF EXISTING BEDROOMS / UNIT	NUMBER OF EXISTING BEDROOMS TOTAL	EXISTING VISION IMPAIRED UNITS	EXISTING HEARING IMPAIRED UNITS	CLASSIFICATION OF WORK	NOTES
	BERNICE CRAWLEY HIGH RISE APARTMENT	ONTS	945 ROSELLE COURT	68387	56-M-250		95,813	ONITSTIFEA	ONII	TOTAL	UNITS	ONITS		
1071	BUILDING	55	201, 202, 207, 209, 210, 221,222, 301, 302, 307, 308, 309, 310, 321, 322, 401, 402, 407, 408, 409, 410, 421, 422, 501, 502, 507, 508, 509, 510, 521, 522, 601, 602, 607, 608, 609, 610, 621, 622, 701, 702, 707, 708, 709, 710, 721, 722, 801, 802, 807, 808, 809, 810, 821, 822			SMALL		8	1	55	2	2	LEVEL 1	UNITS 201 AND 402 ARE VISION AND HEARING IMPAIRED UNITS
		25	203, 204, 217, 218, 304, 317, 318, 404, 417, 418, 504, 517, 518, 603, 604, 617, 618, 703, 704, 717, 718, 803, 804, 817, 818			LARGE		æ	1	25	ē	sens.		
		10	213, 303, 313, 403, 413, 503, 513, 613, 713, & 813			UFAS 1		10	1	10	10	-		
		7	214, 314, 414, 514, 614, 714, & 814			UFAS 2		7	2	14	14			
HIGH RISE TOTALS	1 EXISTING BUILDING	97 TOTAL EXISTING APARTMENT UNITS			1 TOTAL EXISTING LOTS	4 TOTAL EXISTING UNIT TYPES		17 TOTAL EXISTING UFAS / ACCESSIBLE UNITS		104 TOTAL EXISTING BEDROOMS	TOTAL EXISTING VISION IMPAIRED UNITS	TOTAL EXISTING HEARING IMPAIRED UNITS		* 17.5% OF ALL UNITS ARE UFAS/ ACCESSIBLE UNITS * 26% ARE VISION IMPAIRED * 2.06% ARE HEARING IMPAIRED
EXISTING LOT	EXISTING BUILDING #	EXISTING NUMBER OF UNITS	EXISTING UNIT ADDRESES	BUILDING CERTIFICATE OF OCCUPANCY NO.	EXISTING LOT & BLOCK NO.	EXISTING BUILDING TYPE	EXISTING BUILDING NSF	UNIT TYPE: EX. UFAS / ACCESSIBLE UNITS TYPE A	NUMBER OF EXISTING BEDROOMS / UNIT	NUMBER OF EXISTING BEDROOMS TOTAL	EXISTING VISION IMPAIRED UNITS	EXISTING HEARING IMPAIRED UNITS	CLASSIFICATION OF WORK	NOTES
	BUILDING 1	2	621 & 623 JOHNSTON AVENUE	14-B-02583		D	2,330		3	6	*	(.4)	LEVEL 1	
,	BUILDING 2	2	627 & 629 JOHNSTON AVENUE	14-B-02584		D	2,330	*	3	6	ë		LEVEL 1	
LOT 1-A	BUILDING 3 BUILDING 4	2	633 & 635 JOHNSTON AVENUE	14-B-02585 14-B-02586	56-S-60	С	2,448		3	6	-	-	LEVEL 1	
) ند ر		2	647 & 649 JOHNSTON AVENUE				377		2		4	4		
	BUILDING 5	4	651 & 653 JOHNSTON AVENUE	1189		В	2,876	*	2	- 8	*	0 4 4	LEVEL 1	
q	BUILDING 6	4	657, 659, 661, & 663 JOHNSTON AVENUE	14-B-02587		E	4,863		3	12	Ž.		LEVEL 1	
LOT 1-8	BUILDING 7	2	667 & 669 JOHNSTON AVENUE	14-B-02589	56-S-75	G	2,830	*	4	8	9	180	LEVEL 1	
	BUILDING 8 BUILDING 9	2	673. 675, 677, & 679 JOHNSTON AVENUE 701 & 703 JOHNSTON AVENUE	14-B-02599 14-B-02532		E C	4,863 2,448	B 29	3	12 6	2	15. 19.	LEVEL 1	
3	BUILDING 10	4	707. 709, 711 & 713 JOHNSTON AVENUE	14-B-02532		E	4,863	-	3	12	-	3.5	LEVEL 1	
LOT 1-C	BUILDING 11	2	719 & 721 JOHNSTON AVENUE	14-B-02601	56-S-80	G	2,830		4	8	ä	-	LEVEL 1	
01	BUILDING 12	4	725, 727, 729, & 731 JOHNSTON AVENUE	14-B-02602		E	4,863	~	3	12	i¥.	2. (2. 4 0)	LEVEL 1	
	BUILDING 13	2	735 & 737 JOHNSTON AVENUE	14-B-02603		С	2,448	(#S	3	6	-	(-)	LEVEL 1	
LOT 2-A	BUILDING 14	4	662 & 664 JOHNSTON AVENUE	14-B-02524		В	2,876		1	- 6		12	LEVEL 1	
	BUILDING 15	2	666 & 668 JOHNSTON AVENUE	14-B-02527	56-S-100	С	2,448	729	3	6	2	121	LEVEL 1	
	BUILDING 16	2	678 & 680 JOHNSTON AVENUE	14-B-02528		G	2,830	-	4	8	*	-	LEVEL 1	
	BUILDING 17	4	702, 704, 706, & 708 JOHNSTON AVENUE	14-B-02532		E	4,863		3	12	3	18	LEVEL 1	
T 2-B	BUILDING 18	2	712 & 714 JOHNSTON AVENUE	14-B-02533	56-S-120	G	2,830	*	4	8	24	222	LEVEL 1	
гот	BUILDING 19	4	718, 720, 722, & 724 JOHNSTON AVENUE	14-B-02534	100000000000000000000000000000000000000	E	4,863	150	3	12		850	LEVEL 1	
LOT 2-C	BUILDING 20	2	728 & 730 JOHNSTON AVENUE 734 & 736 JOHNSTON AVENUE	14-B-02581		С	2,448		3	6	-	-	LEVEL 1	
	BUILDING 21	6	738 & 740 JOHNSTON AVENUE 742 & 744 JOHNSTON AVENUE	14-B-02501	89-N-25	А	5,206		3 2	6 4	3	(F)	LEVEL 1	
	BUILDING 22 BUILDING 23	2	748 & 750 JOHNSTON AVENUE 752 & 754 JOHNSTON AVENUE 758 & 760 JOHNSTON AVENUE	14-B-02502 14-B-02503		В	2,876 2,330	*	2 3	4	4	*	LEVEL 1	
PAR CEL N	BUILDING 24	2	981 & 985 ROSELLE COURT	68347	89-J-20	н	2,071	2	2	4	2	-	LEVEL 1	
	BUILDING 25	2	960 & 962 ROSELLE COURT	14-B-02610		G	2,830	~	4	8	¥	0 0 = €	LEVEL 1	
LOT 3-A	BUILDING 26	2	966 & 968 ROSELLE COURT	14-B-02611	89-J-20	G	2,830	150	4	8	æ	275	LEVEL 1	
21	BUILDING 27	2	972 & 974 ROSELLE COURT 2 & 4 ROSELLE DRIVE	14-B-02612		G	2,830	æ	1	2		(#9 074	LEVEL 1	
	BUILDING 28	6	6 & 8 ROSELLE DRIVE 10 ROSELLE DRIVE 12 ROSELLE DRIVE	14-B-02604		А	5,206	-	2 2	2 2	*	1	LEVEL 1	
LOT 3-B	BUILDING 29	6	16 & 18 ROSELLE DRIVE 20 & 22 ROSELLE DRIVE	14-8-02606	89-J-30	A	5,206		3	2	2	8 9 3	LEVEL 1	
	BUILDING 30	2	24 & 26 ROSELLE DRIVE 30 & 32 ROSELLE DRIVE	14-B-02607		D	2,330	*	3	6	*	3¥3 3⊕8	LEVEL 1	
	BUILDING 31	6	36 & 38 ROSELLE DRIVE 40 & 42ROSELLE DRIVE	14-B-02608		A	5,206		3	6			LEVEL 1	
			44 & 46 ROSELLE DRIVE 833 & 835 JOHNSTON AVENUE	30.00		-			1	2	9	ie.		
O	BUILDING 32	4	837 & 839 JOHNSTON AVENUE	14-B-02493		В	2,876		2	4			LEVEL 1	
LOT 3-C	BUILDING 33	2	843 & 845 JOHNSTON AVENUE	14-B-02496	89-N-10	G	2,830		4	8	ä	r <u>e</u>	LEVEL 1	
-	BUILDING 34	2	849 & 851 JOHNSTON AVENUE	14-B-02497		G	2,830	5-8	4	8	-		LEVEL 1	
1 1	BUILDING 35 BUILDING 36	1	855-857 JOHNSTON AVENUE 905 JOHNSTON AVENUE	14-B-02498	89-N-12	G F	2,830 1,100	1	3	8	1	25	LEVEL 1	
1 1	BUILDING 36 BUILDING 37	1	905 JOHNSTON AVENUE		89-N-12 89-N-14	F	1,100	1	3	3	1		LEVEL 1	
LOT L	BUILDING 38	1	1019 JOHNSTON AVENUE		89-K-130	F	1,100	1	3	3	1	4	LEVEL 1	
1 LOT	BUILDING 39	1	1021 JOHNSTON AVENUE		89-K-135	F	1,100	1	3	3	1	38.	LEVEL 1	
PAR CEL A	BUILDING 40	2	333 & 337 RENOVA STREET	43556	57-D-1	К	2,054	(#)	3	6	i		LEVEL 1	
PARCEL A	BUILDING 41	3	360 & 364 RENOVA STREET 362 RENOVA STREET	43852	57-D-26	j	2,509	1	2	2	1	(I=)	LEVEL 1	
۵	BUILDING 42	5	350, 352, 354, 356, & 358 RENOVA STREET			L	4,225		2	10		y a s	LEVEL 1	
LOT 16	BUILDING 43	4	30, 32, 34 & 36 ALMEDA STREET	73352	57-C-204	М	3,380	<i>#</i>	2	8	æ	(#A	LEVEL 1	
9	BUILDING 44	4	5409, 5411, 5413 & 5415 SUNNYSIDE STREET		Sound to the Control	М	3,380	-	2	8	*	per.	LEVEL 1	
LOW RISE TOTALS	44 EXISTING BUILDINGS	128 TOTAL EXISTING UNITS			17 TOTAL EXISTING LOTS	12 TOTAL EXISTING BUILDING TYPES		7 TOTAL EXISTING UFAS/ ACCESSIBLE UNITS		340 TOTAL EXISTING BEDROOMS	7 TOTAL EXISTING VISION IMPAIRED	1 TOTAL EXISTING HEARING IMPAIRED		* 5.5% OF ALL UNITS ARE UFAS/ ACCESSIBLE UNITS * 5.5 % ARE VISION IMPAIRED * .78% ARE HEARING IMPAIRED
GRAND TOTALS	45 EXISTING BUILDINGS	225 TOTAL EXISTING UNITS			18 TOTAL EXISTING LOTS	13 TOTAL EXISTING BUILDING TYPES		24 TOTAL EXISTING UFAS/ ACCESSIBLE UNITS		444 TOTAL EXISTING BEDROOMS	33 TOTAL EXISTING VISION IMPAIRED	3 TOTAL EXISTING HEARING IMPAIRED		* 10.6% OF ALL UNITS ARE UFAS/ ACCESSIBLE UNITS * 14.6 % ARE VISION IMPAIRED * 1.3% ARE HEARING IMPAIRED

BUILDING CODE COMPLIANCE

BUILDING DATA

BUILDING NAME: GLEN HAZEL BERNICE WASHINGTON CRAWLEY HIGH RISE BUILDING ADDRESS: 945 ROSELLE COURT, PITTSBURGH, PA 15207

BUILDING CODE: IEBC 2009, IBC CODE 2009 & SPECIFIC ADOPTED IBC 2015 SECTIONS, UFAS & ICC/ANSI A117.12009

BUILDING PLANNING (CHAPTERS 3,4,6,11)

302 ASSEMBLY, GROUP 'R-2' RESIDENTIAL (IBC) USE AND OCCUPANCY CLASSIFICATION: ACCESSORY GROUP A

304.1 CLASSIFICATION OF WORK: ALTERATION LEVEL 1

GENERAL BUILDING LIMITATIONS (CHAPTER 5)

503 ALLOWABLE BUILDING 11 STORIES, 160FT, UL GSF/FLR. W/ HEIGHT & AREA(TABLE 503) MECHANICAL & ELEVATOR PENTHOUSES

> EXISTING BUILDING HEIGHT AND AREA 6,725 GSF 1ST FLOOR

13,175 GSF 2ND FLOOR 13,175 GSF 3RD FLOOR 13,175 GSF 4TH FLOOR 13,175 GSF 5TH FLOOR 13,175 GSF 6TH FLOOR 13,175 GSF 7TH FLOOR 13,175 GSF 8TH FLOOR

98,950 TOTAL GSF

LIMITED EXISTING

1 HR | EXIST.

2 HR EXIST.

2 HR EXIST.

EXISTING H.C. SPACES

97 EXISTING, 17 EXISTING

17.5% UFAS/ACCESSIBLE UNITS/TYPE A

2 EXISTING UNITS

504.2 AUTOMATIC SPRINKLER SYSTEM

TYPE OF CONSTRUCTION (CHAPTER 6)

602 TYPE OF CONSTRUCTION (TABLE 601) 1B (IBC)

FIRE RATED CONSTRUCTION (CHAPTER 7) BUILDING ELEMENT FIRE RATING (TABLE 601) (IBC)

REQ'D | ASSEMBLY RATING (UL DESIGN #) STRUCTURAL FRAME- INCL. COLUMNS, GIRDERS, 2 HR EXIST. TRUSSES (IBC 2009 TABLE 601) BEARING WALLS EXTERIOR/INTERIOR (IBC 2009 TABLE 602) NON-BEARING WALLS EXTERIOR(IBC 2009 TABLE 601) 0 HR EXIST. NON-BEARING WALLS INTERIOR (IBC 2009 TABLE 601) 0 HR EXIST.

FLOOR CONSTRUCTION (IBC 2009 SECTION 711.3) 2 HR EXIST.

ROOF CONSTRUCTION (IBC 2009 TABLE 601) FIRE PARTITIONS (709)

VERTICAL ASSEMBLIES BETWEEN DWELLING UNITS 1 HR EXIST. HORIZ. ASSEMBLIES BETWEEN DWELLING UNITS 1 HR EXIST. 30 MIN EXIST. CORRIDOR WALLS (1018.1) ELEVATOR LOBBY SEPARATION (708.14.1) 0 EXIST.

FIRE BARRIERS SHAFT ENCLOSURES (708.4) EXIT ENCLOSURES (1022.1)

1 HR EXIST. EXIT PASSAGEWAYS (1023.3) FIRE PROTECTION SYSTEMS (CHAPTER 9)

903 AUTOMATIC SPRINKLER SYSTEM YES, EXISTING YES, EXISTING? 905 STANDPIPE SYSTEMS 906 PORTABLE FIRE EXTINGUISHERS YES, EXISTING 907 FIRE ALARM & DETECTION SYSTEMS YES, EXISTING 908 EMERGENCY ALARM SYSTEMS YES, EXISTING

MEANS OF EGRESS (CHAPTER 10)

909 SMOKE CONTROL SYSTEMS

1003 MEANS OF EGRESS **EXISTING** 1004 OCCUPANT LOAD **EXISTING** 1009 STAIRWAYS 2 EXISTING 1011 EXIT SIGNS EXISTING 1015 EXIT ACCESS TRAVEL DISTANCE EXISTING

1018 NUMBER OF EXITS 2 EXITS ON 1ST FLR, 2 EXITS ON 2ND FLR

ACCESSIBILITY (CHAPTER 11 2015 IBC)

1103 SCOPE REQUIREMENTS APPLICABLE. YES / EXISTING UFAS STARTS @ PARKING 1104 ACCESSIBLE ROUTE 1105 ACCESSIBLE ENTRANCES EXISTING, 36" MIN. WIDTH

1106 PARKING 1107 DWELLING & SLEEPING UNITS: UFAS/ACCESSIBLE UNITS/TYPE A

> VISION IMPAIRED 26 EXISTING UNITS 26%

1110 SIGNAGE: REQUIREMENTS AND LOCATIONS **EXISTING**

ENERGY EFFICIENCY (CHAPTER 13) SEE COM CHECK 1301 SCOPE

HEARING IMPAIRED

LOCAL CODE REVIEW JURISDICTION CITY OF PITTSBURGH, BUREAU OF BUILDING INSPECTION

RM-M ZONING DISTRICT SET BACK REQUIREMENTS: FRONT - SIDE - REAR OFF STREET PARKING REQUIREMENTS EXISTING SPACES EXISTING SPACES TOTAL SPACES REQUIRED

1. ALL WALKS, HALLS, CORRIDORS, AISLES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 4.3 OF THE UFAS REQUIREMENTS.

2. THE EMERGENCY LIGHTING WILL COMPLY WITH IBC AND NFPA 70.

3. THE FIRE ALARM SYSTEM WORK SHALL COMPLY WITH IBC AND NFPA.

4. ALL DOORS WITHIN FIRE RESISTANCE RATED WALLS WILL BE FIRE RATED WITH CLOSERS AND LATCHES.

BUILDING CODE COMPLIANCE

BUILDING DATA

BUILDING NAME: GLEN HAZEL FAMILY COMMUNITY LOW RISE BUILDINGS BUILDING ADDRESS: REFER TO SHEET G102

BUILDING CODE: IEBC 2009, IBC CODE 2009 & SPECIFIC ADOPTED IBC 2015 SECTIONS, UFAS & ICC/ANSI A117.12009

BUILDING PLANNING (CHAPTERS 3,4,6,11) 302 USE AND OCCUPANCY CLASSIFICATION: GROUP 'R-2' RESIDENTIAL (IBC)

304.1 CLASSIFICATION OF WORK: ALTERATION LEVEL 1

GENERAL BUILDING LIMITATIONS (CHAPTER 5)

2 STORIES, 40FT. 7,000 SF / FLR 503 ALLOWABLE BUILDING HEIGHT & AREA(TABLE 503)

> EXISTING BUILDING HEIGHT 2 STORIES **VARIES & COMPLIES** AND AREA

TYPE OF CONSTRUCTION (CHAPTER 6)

TYPE OF CONSTRUCTION (TABLE 601) VB (IBC)

FIRE RATED CONSTRUCTION (CHAPTER 7) BUILDING ELEMENT FIRE RATING (TABLE 601) (IBC)

REQ'D ASSEMBLY FIRE PARTITIONS (709) RATING (UL DESIGN #) VERTICAL ASSEMBLIES BETWEEN DWELLING UNITS 1 HR | EXIST. HORIZ. ASSEMBLIES BETWEEN DWELLING UNITS 1 HR EXIST. FIRE WALLS (706.4) R-2 - TYPE V OR II 2 HR EXIST. 3 HR EXIST.

FIRE PROTECTION SYSTEMS (CHAPTER 9) 903 AUTOMATIC SPRINKLER SYSTEM 905 STANDPIPE SYSTEMS 906 PORTABLE FIRE EXTINGUISHERS YES, EXISTING 907 FIRE ALARM & DETECTION SYSTEMS YES, EXISTING 908 EMERGENCY ALARM SYSTEMS

1 HR EXIST.

NO, EXISTING

909 SMOKE CONTROL SYSTEMS

MEANS OF EGRESS (CHAPTER 10) **EXISTING** 1003 MEANS OF EGRESS **EXISTING** 1004 OCCUPANT LOAD 1009 STAIRWAYS **EXISTING EXISTING** 1011 EXIT SIGNS 1015 EXIT ACCESS TRAVEL DISTANCE **EXISTING** 1018 NUMBER OF EXITS **EXISTING**

ACCESSIBILITY (CHAPTER 11 2015 IBC)

1103 SCOPE REQUIREMENTS APPLICABLE. YES / EXISTING 1104 ACCESSIBLE ROUTE UFAS STARTS @ PARKING 1105 ACCESSIBLE ENTRANCES EXISTING, 36" MIN. WIDTH EXISTING H.C. SPACES 1106 PARKING 1107 DWELLING & SLEEPING UNITS: 128 EXISTING, 7 EXISTING UFAS/ACCESSIBLE UNITS/TYPE A

> 7 EXISTING UNITS VISION IMPAIRED 5.5%

5.5% EXISTING UFAS UNITS/TYPE A

HEARING IMPAIRED 1 EXISTING UNIT

1110 SIGNAGE: REQUIREMENTS AND LOCATIONS **EXISTING**

ENERGY EFFICIENCY (CHAPTER 13) SEE COM CHECK

1301 SCOPE _____ **LOCAL CODE REVIEW**

JURISDICTION CITY OF PITTSBURGH, BUREAU OF BUILDING INSPECTION ZONING DISTRICT SET BACK REQUIREMENTS: FRONT - SIDE -REAR OFF STREET PARKING REQUIREMENTS EXISTING SPACES TOTAL SPACES REQUIRED EXISTING SPACES

1. ALL WALKS, HALLS, CORRIDORS, AISLES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 4.3 OF THE UFAS REQUIREMENTS.

2. THE EMERGENCY LIGHTING SHALL COMPLY WITH IBC AND NFPA 70.

3. THE FIRE ALARM SYSTEM WORK SHALL COMPLY WITH IBC AND NFPA.

4. ALL DOORS WITHIN FIRE RESISTANCE RATED WALLS WILL BE FIRE RATED WITH CLOSERS AND LATCHES.





Renaissance 3 Architects, P.C.

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> Design Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

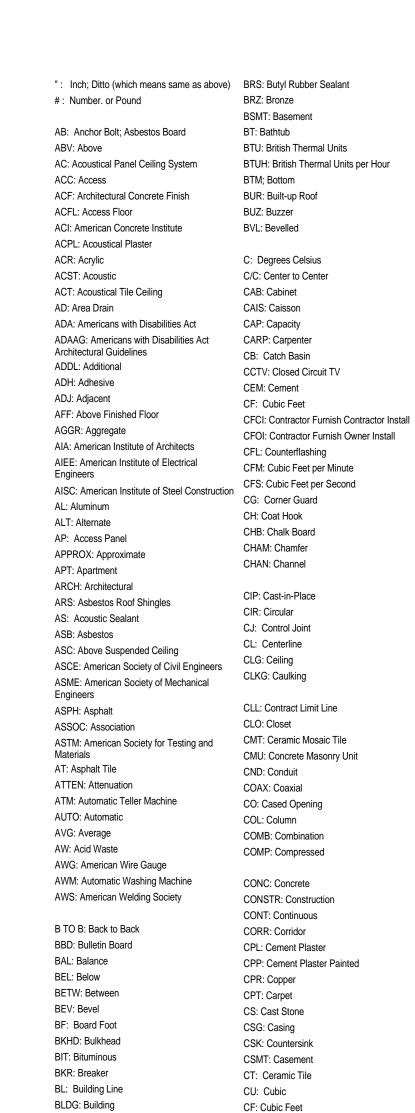
Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Code Reference Sheet



BLKG: Blocking

BM: Beam

BP: Base Plate

BRG: Bearing

BRKR: Breaker

BRKT: Bracket

Abbreviations

REFERENCED CONDITIONS.

FOR BUILDING DESIGN AND CONSTRUCTION.

DEVICE SHOWN. (CRITICAL FOR ADA COMPLIANCE)

BRK: Brick

BPL: Bearing Plate

BLT: Borrowed Lite

BMT: Butyl Mastic Tape Sealant

EJ: Expansion Joint GYP: Gypsum EL: Elevation ELEC: Electrical HB: Hose Bib HC: HVAC Contractor EM: Emergency HDWR: Hardware HH: Handhole ENAM: Enamel HID: High Intensity Discharge ENCL: Enclosure HL: Hydrant Line ENG: Engineer HM: Hollow Metal ENT: Entrance HORIZ: Horizontal EPDM: Ethylene Propylene Diene Monome HPS: High Pressure Sodium, High Pressure EQ: Equal HR: Hour EQUIP: Equipment ESC: Escalator HS: Heat Strengthened EST: Estimate HVAC: Heating, Ventilating & Air Conditioning EWC: Electric Water Cooler HWD: Hardwood EWH: Electric Water Heater HWY: Highway HYD: Hydraulic EX., EXIST: Existing EXP: Expansion ID: Inside Diameter F: Degrees Fahrenheit, Fuse IE: Invert Elevation FA: Fire Alarm IMH: Inlet Manhole FAB: Fabricate IN: Inch FACP: Fire Alarm Control Panel **INCIN: Incinerator** FB: Floor Box INCL: Incline, Include FD: Floor drain INFO: Information FDN: Foundation INSUL: Insulation FE: Fire Extinguisher INV: Invert FEC: Fire Extinguisher Cabinet IP: Iron Pipe FF: Finished Floor FF&E: Fixtures, Furnishings & Equipment JAN: Janitor FGL: Fiberglass JB: Junction Box FGR: Fiberglass reinforced JC: Janitor's Closet FHC: Fire Hose Cabinet JT: Joint FHR: Fire Hose Rack FHS: Fire Hose Station KIT: Kitchen FIN: Finished KO: Knockout CY: Cubic Yard FIXT: Fixture KP: Kickplate CV: Check Valve FL: Floor Line KW: Kilowatt FLASH: Flashing CW: Clockwise KWH: Kilowatt Hour FLEX: Flexible FLR: Floor FLUOR: Fluorescent DA: Double Acting LAD: Ladder FM: Fire Main LAM: Laminate, Laminated FO: Finished Opening LAT: Lateral FOC: Face of Concrete LAV: Lavatory DEGC: Degree Celcius FOF: Face of Finish LB: Pound (weight), Lag Bolt DEGF: Degree Farenheit FOS: Face of Studs LCD: Liquid Crystal Diode

LD: Leader Drain LH: Left Hand LIB: Library LKR: Locker LL: Live Load LMS: Limestone LM: Linear Metal Ceiling LR: Living Room LS: Limestone, Loud Speaker GCMU: Glazed Concrete Masonry Unit MAINT: Maintenance GFCI: Ground Fault Circuit Interrupter MARB: Marble

NOM: Nominal

NTS: Not To Scale

OBS: Obscure

o.c: On Center

OFF: Office

OH: Overhead

OP: Opaque

OZ: Ounce

PAR: Parallel

OPP: Opposite

OD: Outside Diameter

OHD: Overhead Door

FP: Fireproof

FT: Feet

FTG: Footing

FURN: Furnish

FURR: Furring

FUT: Future

GA: Gauge

GALV: Galvanized

GC: General Contractor

GL BLK: Glass Block

GOVT: Government

GP: Galvanized Pipe

GPL: Gypsum Lath

GRND: Ground

GVL: Gravel

GPH: Gallons Per Hour

GPM: Gallons Per Minute

GR: Grade, Grille, Granite

GRAN: Granular, Granite

GWB: Gypsum Wall Board

GND: Ground

GFI: Ground Fault Interrupter

GFRC: Glass Fiber Reinforced Concrete

DEMO: Demolition

DEPT: Department

DF: Drinking Fountain

DH: Double Hung

DIAG: Diagonal

DIFF: Diffuser

DIV: Division

DN: Down

DR: Drain

DT: Drain Tile

DTL: Detail

DVTL: Dovetail

DWG: Drawing

DS: Downspout

EB: Expansion Bolt

EF: Each Face

EC: Electrical Contractor

EIFS: Exterior Insulation and Finish System

EA: Each

DW: Distilled Water

DIM: Dimension

DL: Dead Load

DMT: Demountable

DET: Detail

PSF: Pounds per square foot PSI: Pounds per square inch PT: Paint, Point, LPS: Low Pressure Sodium, Low Pressure MAS: Masonry MAT: Material MAX: Maximum MECH: Mechanical MET: Metal

PTC: Post-Tensioned Concrete PTD: Painted, PVC: Polyvinyl Chloride PVF: Polyvinylidene Finish PVMT: Pavement PVT: Private PW: Pass Window PWR: Power QUAL: Quality QTR: Quarter QTY: Quantity

PRMLD: Premolded

PRSTR: Prestressed

PRTN: Partition

PROT: Protection, Protective

SSGS: Silicone Structural Glazing Sealant

ST: Straight, Storm Water

STD: Standard

STIFF: Stiffener

STK: Stack

STL: Steel

STM: Steam

STOR: Storage

STRUCT: Structural

SY: Square Yard

T&G: Tongue & Groove

TEL CL: Telephone Closet

THK: Thick, Thickness

THRMST: Thermostat

THRM: Thermal

TKBD: Tackboard

TRAV: Travertine

TS: Time Switch

TV: Television

Tempered Water

TYP: Typical

UC: Undercut

UH: Unit Heater

UP: Unpainted

Vacuum Breaker

VERT: Vertical

VEST: Vestibule

Vertical Riser

VRM: Vermiculite

VS: Vent Stack

W/: With

W/O: Without

WB: Wood Base

WC: Watercloset

WDW: Window

Pressure, Weatherproof

WPR: Waterproofing

Waste Receptacle

XH: Extra Heavy

WD: Wood

VIF: Verify In the Field

UNEXC: Unexcavated

TW: Top of Wall, Thin Wall (conduit),

UL: Underwriters' Laboratories

UNO: Unless Noted Otherwise

VAT: Vinyl Asbestos Tile

VCT: Vinyl Composition Tile

VP: Vapor Proof, Vent Pipe

VWC: Vinyl Wall Covering

WDSS: Wood, Stained & Sealed

WH: Water Heater, Wall Hung, Wall

WP: Waterproof, Working Point, Working

WR: Water Resistant, Water Repellant,

VR: Vapor Retarder, Vacuum Return,

VB: Vapor Barrier, Valve Box, Vinyl Base,

TLT: Toilet

TRD: Tread

TEMP: Temporary, Tempered, Temperature

SYS: System

TAN: Tangent

TEL: Telephone

STC: Sound Transmission Class

SUPP: Supplementary, Supplement

SUSP: Suspended, Suspend

QT: Quarry Tile, Quart MEZZ: Mezzanine MFR: Manufacture, Manufacturer MH: Manhole RA: Return Air, Registered Architect MIN: Minimum RAD: Radius, Radiator MISC: Miscellaneous RB: Rubber, Rubber Base, Resilient Base MO: Masonry Opening RCP: Reflected Ceiling Plan, Reinforced MP: Metal Acoustal Panel Concrete Pipe MTD: Mounted RD: Roof Drain, Round, Receptacle NAT: Natural REBAR: Reinforcing Bar NEC: National Electrical Code REF: Refer, Reference, Refrigerator NIC: Not In Contract REFR: Refrigerate, Refrigerator

NO: Number, Normally Open REG: Register, Regular REINF: Reinforcement, or Reinforce NRC: Noise Reduction Coefficient REQD: Required REV: Revise, Revision RH: Right Hand, Reheat, Relative Humidity RHR: Right Hand Reverse, Reheater RM: Room RO: Rough Opening ROW: Right of Way RPM: Revolutions Per Minute RR: Railroad RWC: Rain Water Conductor RWL: Rain Water Leader

OPP H: Opposite Hand OR: Outside Radius S: South, Sealant, Supply, Sink S4S: Surfaced 4 Sides S&M: Surfaced & Matched P. LAM: Plastic Laminate S&S: Stained & Sealed PA: Public Address S&V: Stain & Varnish SAN: Sanitary PB: Pull Box, Push Button, Panic Bar SB: Setting Basin, Splash Block PC: Plumbing Contractor SC: Solid Core, Short Circuit, Self Closing, PCF: Pounds per cubic foot PD: Pump Discharge, Plaza Drain SCHED: Schedule PE: Professional Engineer SCR: Screen PED: Pedestal, Pedestrian SCUP: Scupper SCWD: Solid Core Wood SE: Structural Engineer SED: Sewage Ejector Discharge SF: Square Foot

PERF: Perforate, Performance PERIM: Perimeter PERP: Perpendicular PJF: Preformed Joint Filler PKG: Parking SFGL: Safety Glass PKWY: Parkway SGG: Structural Glazing Gasket PL: Plate, Plan, Property Line, Plastic SGS: Silicone Glazing Sealant Laminate, Plastic SHWR: Shower PLAS: Plaster, Plastic SIM: Similar PLF: Pounds Per Lineal Foot SLOT: Slotted PLWD: Plywood PNL: Panel POL: Polish, Polished SPC: Spacer POR: Porcelain

SP: Soil Pipe, Standpipe, Soundproof, Single WWF: Welded Wire Fabric SPEC: Specification, Specifications SPECS: Specifications SPK: Speaker SPL: Special SS: Stainless Steel

 $\frac{\text{REFERENCED CONSTRUCTION NOTE}}{\text{SYMBOL INDICATOR}}$ GRADE ELEVATION INDICATOR 00.0000 FINISHED FLOOR ELEVATION NOTE NUMBER. REFER TO REFERENCED CONSTRUCTION NOTES. CEILING ELEVATION INDICATOR — EXISTING DOOR O'-0" FINISHED ELEVATION FINISHED MATERIAL NEW DOOR NOTE: REFER TO DOOR INDICATOR AND DOOR SCHEDULE FOR MORE INFORMATION DOOR INDICATOR - ROOM NUMBER - DOOR NUMBER NOTE: REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION. FINISH MATERIAL INDICATOR - FINISH MATERIAL DESCRIPTION ROOM NAME INDICATOR - FINISH MATERIAL NUMBER ROOM NAME FINISH MATERIAL EXTENTS LEADER LOBBY ROOM FINISH TYPE. SEE SCHEDULE OF FINISHES FOR DESCRIPTION NOTE: REFER TO FINISH SCHEDULE FOR ADDITIONAL INFO. ROOM NUMBER COLUMN LINE INDICATOR **DETAIL INDICATOR** COLUMN LINE NUMBER INDICATES DIRECTION OF DETAIL VIEW DETAIL NUMBER

SHEET NUMBER GRADE ELEVATION INDICATOR TOILET ACCESSORY INDICATOR EXISTING ELEVATION INDICATES ITEM SCHEDULED AND SPECIFIED IN PROJECT MANUAL 0'-0" NEW FINISHED ELEVATION EXISTING WALL TO REMAIN SIGNAGE INDICATOR ======= EXISTING WALL TO BE REMOVED - SIGNAGE INDICATOR NEW WALL NOTE: REFER TO SPECIFICATION FOR NOTE: REFER TO WALL TYPE INDICATOR FOR SPECIFIC WALL TYPE ADDITIONAL INFORMATION. WALL TYPE INDICATOR DETAIL OR ENLARGED PLAN INDICATOR - WALL TYPE, REFER TO WALL TYPE AREA OF DETAIL OR ENLARGED PLAN LEGEND FOR ADDITIONAL INFORMATION. DETAIL OR ENLARGED PLAN NUMBER WINDOW INDICATOR SHEET NUMBER WINDOW NUMBER INTERIOR ELEVATION INDICATOR NOTE: REFER TO WINDOW SCHEDULE ELEVATION NUMBER FOR ADDITIONAL INFORMATION. A-400 2 - ELEVATION NUMBER — SHEET NUMBER — ELEVATION NUMBER EXTERIOR ELEVATION INDICATOR INDICATES SURFACE ELEVATED — ELEVATION NUMBER - SHEET NUMBER **BUILDING SECTION INDICATOR**

INDICATES DIRECTION OF WALL

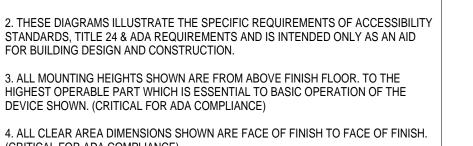
WALL SECTION INDICATOR

SECTION VIEW

SECTION NUMBER

A300
SHEET NUMBER

X STR: Extra Strong PR: Pair INDICATES DIRECTION OF WALL SECTION VIEW PREFAB: Prefabricate YD: Yard PRESS: Pressure SECTION NUMBER SHEET NUMBER YR: Year PRFMD: Preformed PRI: Primary Symbol Legend - FOLD-UP - CONTROL ROD, TYP. SHOWER SEAT CONTROL AREA - BLOCKING LOCATION TYP. REFER TO GRAB BAR LOCATIONS FOR DIMENSIONS AND EXTENTS ~CONTROL -CONTROL AREA AREA LOCATION BACK **CONTROL WALL** CONTROL SHORT SIDE WALL **BACK WALL** SEAT WALL WALL TUB W/ SHOWER HEAD AND CURTAIN ROD **ROLL-IN/TRANSFER SHOWER W/ SEAT** TRANSFER SHOWER W/ SEAT TYPICAL BLOCKING @ TUB W/ SHOWER



4. ALL CLEAR AREA DIMENSIONS SHOWN ARE FACE OF FINISH TO FACE OF FINISH. (CRITICAL FOR ADA COMPLIANCE)

1. THE DETAILS AND NOTES ON THIS SHEET ARE "TYPICAL," AND ARE TO BE USED

THIS SET OF CONSTRUCTION DOCUMENTS. THESE DETAILS ARE NOT NECESSARILY

BY THE CONTRACTOR FOR REFERENCED HEIGHTS SHOWN ANYWHERE ELSE IN

CYL: Cylinder

DB: Decibel

DBL: Double

DEG: Degree

5. PROVIDE SEALANT AROUND ALL RECESSED RESTROOM EQUIPMENT

STANDARD MOUNTING HEIGHTS-GENERAL NOTES

6. PROVIDE 16 GA. BACKING OR WOOD BLOCKING AT ALL ACCESSORIES AND LAVATORY TOPS. AT GRAB BARS PROVIDE BLOCKING SECURED TO AT LEAST 3

7. ALL TOILET PAPER DISPENSERS INSTALLED AT 7" MIN. TO 9" MAX IN FRONT OF

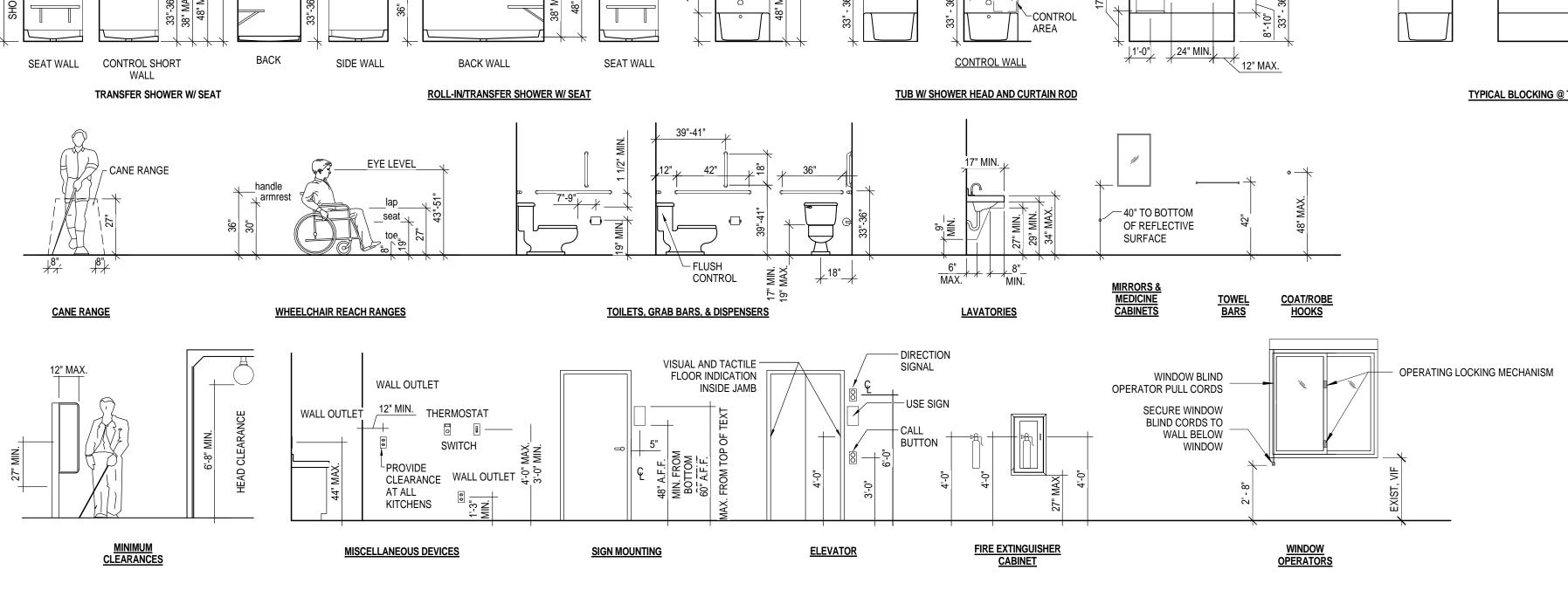
8. BOTTOM OF MIRROR TO BE INSTALLED 38" ABOVE FLOOR OR MINIMUM OF 40" TO BOTTOM OF VIEWING SURFACE

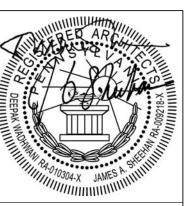
9. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF (22.2 N) FAUCETS LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY SHALL COMPLY WITH 4.27.4 CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF-CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS

10. DIMENSIONS SHOWN ARE TO CONTROLS OF ITEM OR THE ACTION REQUIRED TO USE THE INDICATED ITEM. VERTICAL DIMENSIONS ARE THE TOP OF GRAB BARS AND HORIZONTAL ARE TO THE CENTER LINE.

11. REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS FOR FIXTURE

12. UNLESS OTHERWISE NOTED, ALL TOILET ACCESSORIES ARE HORIZONTALLY DIMENSIONED TO CENTER LINE







Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Design Technology Sustainability

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Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct Pittsburgh, PA 15207

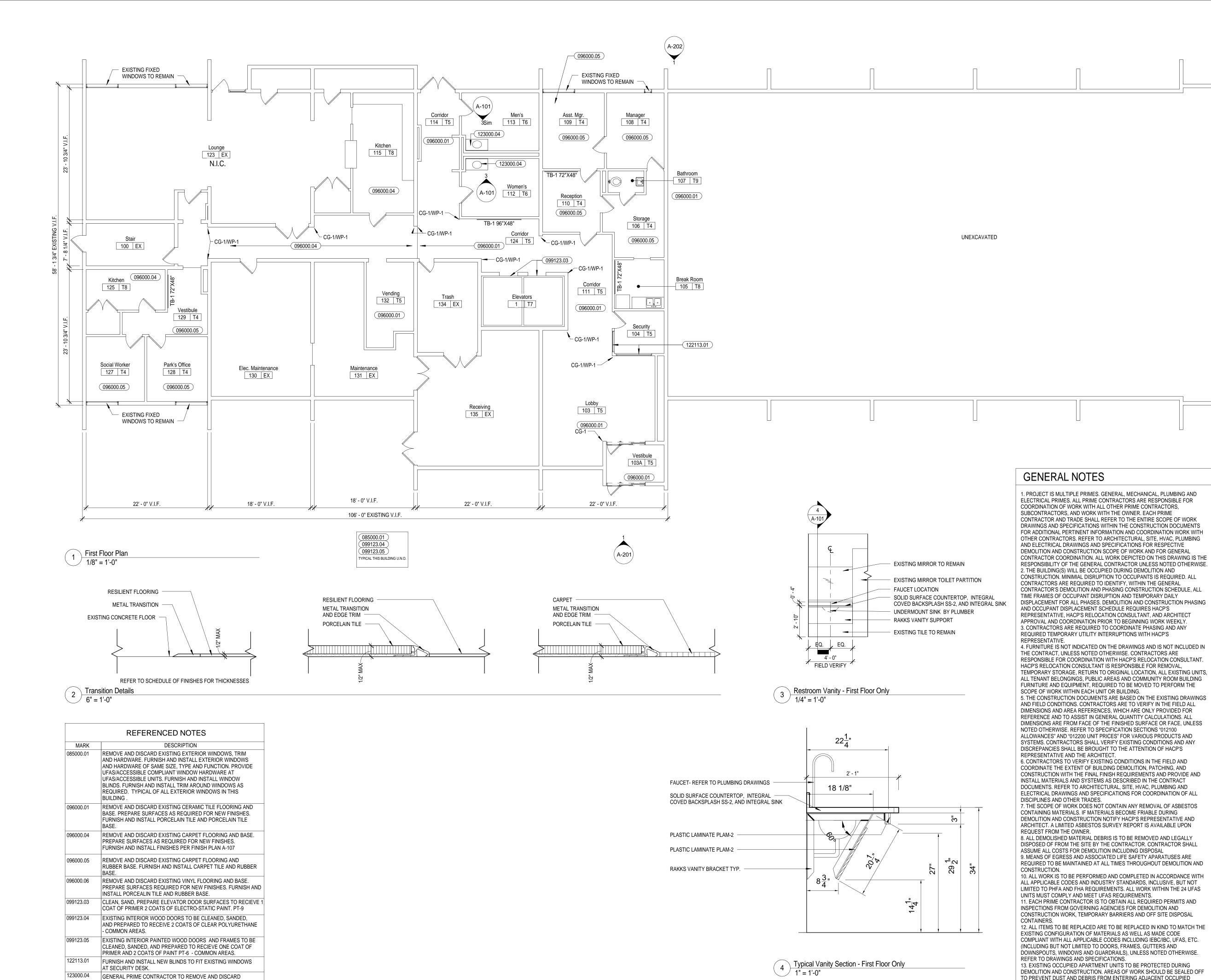
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

| Symbols and Standard Mounting Heights

R3A PROJECT # 15074B

A-00[°]



EXISTING WALL MOUNTED COUNTERTOP WITH BASE, SINK AND

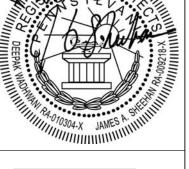
COUNTERTOP WITH BASE, INTEGRAL SINK AND WALL SUPPORTS.

PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE

WALL SUPPORTS. FURNISH AND INSTALL WALL MOUNTED

REFER TO PLUMBING DRAWINGS AND COORDINATE WITH

OF WORK. TYPICAL OF PUBLIC BATHROOMS.





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CONSTRUCTION

DOCUMENTS

October 27, 2017 REVISIONS

High Rise - First

R3A PROJECT # 15074B

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR EETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION

> 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING

MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED

BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE

OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT

CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION

DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE

PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT

CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN

THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE

TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A

MATERIALS, COLORS, TEXTURES AND FINISHES, COORDINATE WITH OTHER PRIME

CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION,

THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW

OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN

SURFACE TO REMAIN WHERE APPLICABLE LINEESS OTHERWISE NOTED

SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT

IN THE DRAWINGS AND SPECIFICATIONS.

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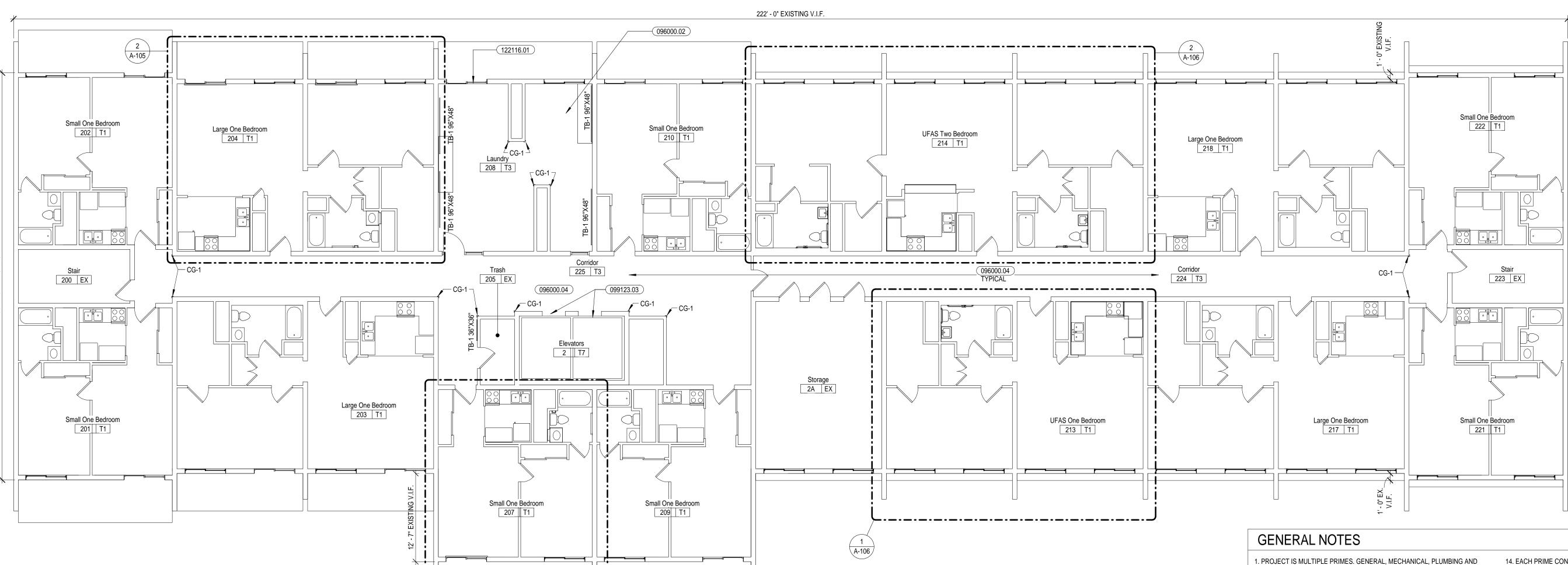
REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE

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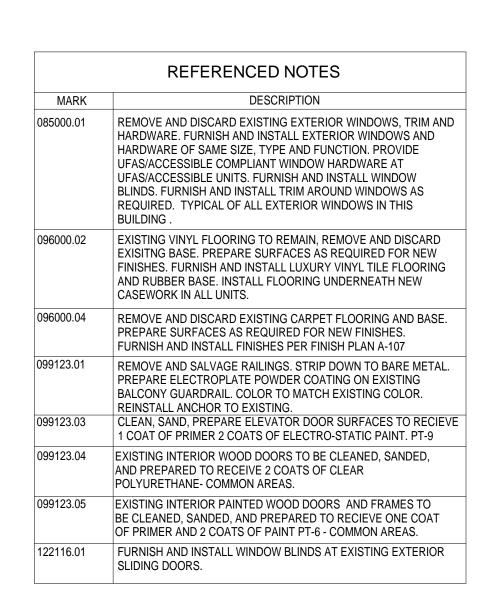
AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER

PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND



122116.01

TYPICAL THIS FLOOP



14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

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ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR

CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK

DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS

FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING

CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE

RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL

CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL

DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN

RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT.

TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS,

ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS

DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS

FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE

AND FIELD CONDITIONS, CONTRACTORS ARE TO VERIFY IN THE FIELD ALL

DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR

REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL

ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY

DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND

COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND

INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT

DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND

CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING

ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

REFER TO DRAWINGS AND SPECIFICATIONS.

ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS

DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND

ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE

DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL

REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH

ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT

LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND

CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL

EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF

TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER

TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE

NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100

COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS

SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME

AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND

CONTRACTORS ARE REQUIRED TO IDENTIFY. WITHIN THE GENERAL

TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY

REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT

APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE

HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL.

SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

REPRESENTATIVE AND THE ARCHITECT.

DISCIPLINES AND OTHER TRADES.

REQUEST FROM THE OWNER.

CONSTRUCTION.

CONTAINERS.

MEANS OF EGRESS.

REPRESENTATIVE.

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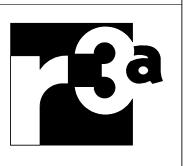
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CONSTRUCTION

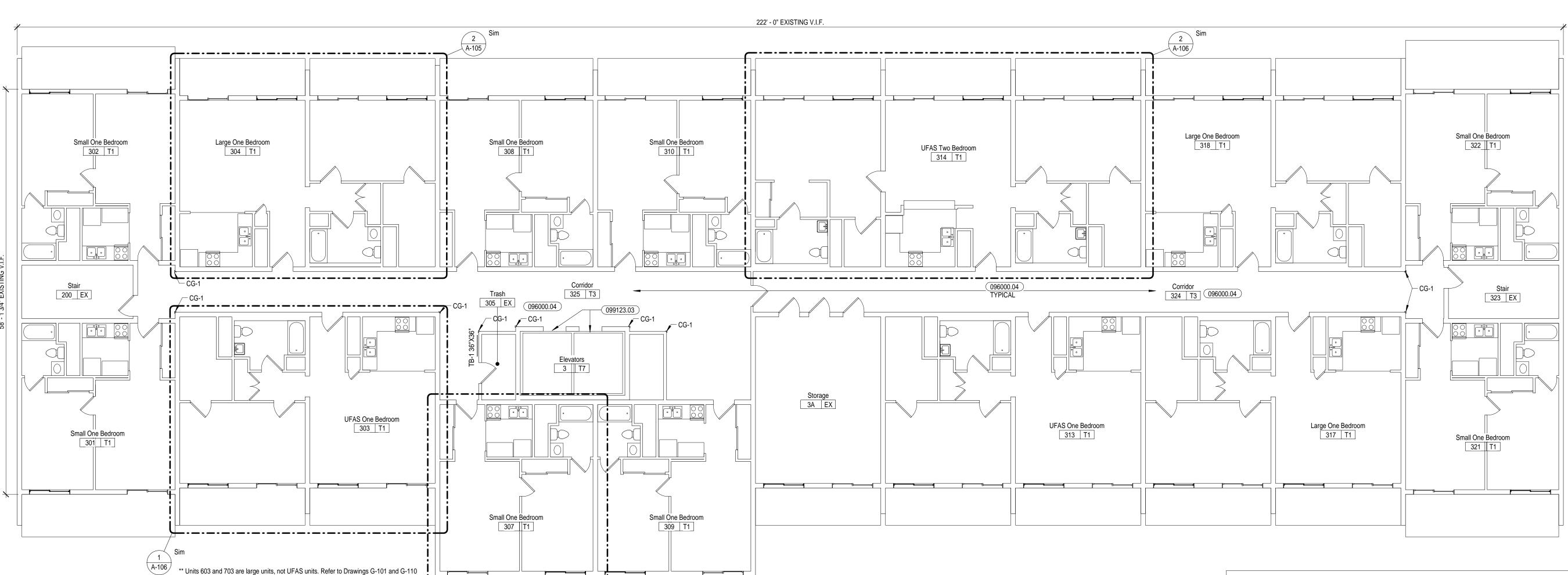
DOCUMENTS

JED: October 27, 2017

REVISIONS

Bernice Crawley High Rise -Second Floor Plan

R3A PROJECT # 15074B



099123.05

122116.01

TYPICAL FLOORS 3-7

	REFERENCED NOTES
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.03	CLEAN, SAND, PREPARE ELEVATOR DOOR SURFACES TO RECIEV 1 COAT OF PRIMER 2 COATS OF ELECTRO-STATIC PAINT. PT-9
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE- COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECIEVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6 - COMMON AREAS.
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.

Third - Seventh Floor Plan

Development Corporation

MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

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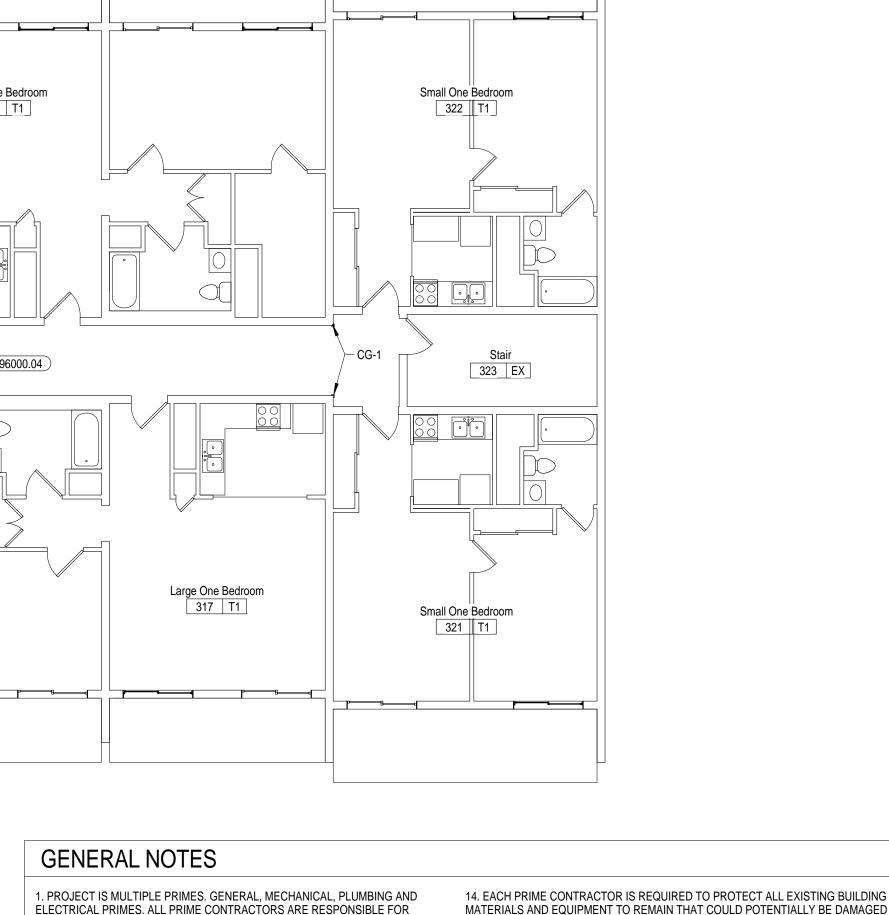
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SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

R3A PROJECT # 15074B



ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS. AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS, CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS

DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE

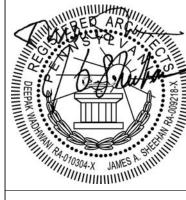
REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND

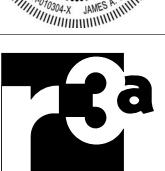
CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING

CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL

CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.





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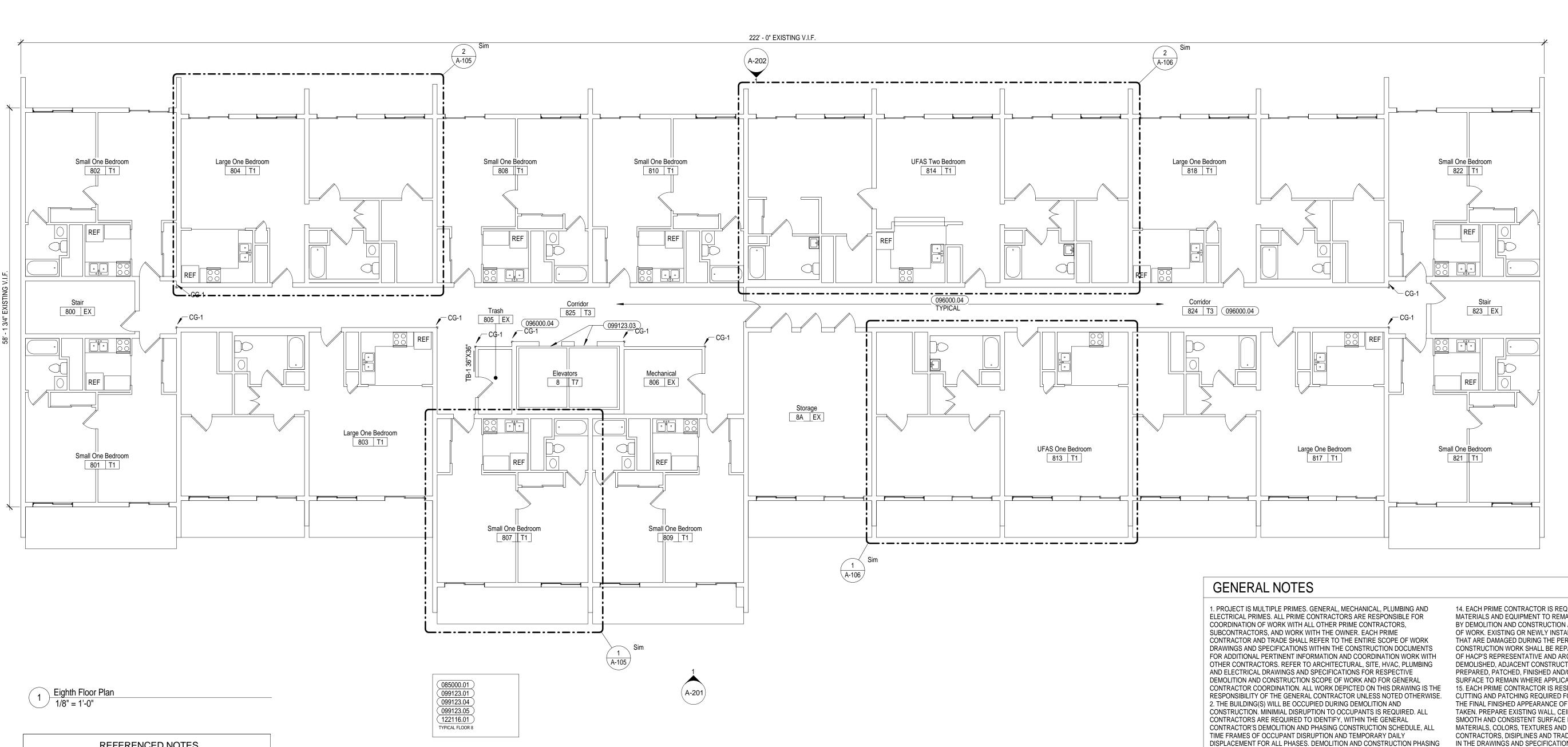
CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN | Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

October 27, 2017 REVISIONS

| Bernice Crawley High Rise - Third -Seventh Floor



14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE LINLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED

IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED.

AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE

HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL,

SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

REPRESENTATIVE AND THE ARCHITECT

DISCIPLINES AND OTHER TRADES.

REQUEST FROM THE OWNER.

CONSTRUCTION.

CONTAINERS.

MEANS OF EGRESS.

REPRESENTATIVE.

REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT

APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN

TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS,

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS

ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING

FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE

AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL

DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS

DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR

REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL

ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND

DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND

COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND

INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT

DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND

CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING

ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

REFER TO DRAWINGS AND SPECIFICATIONS.

ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS

DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE

DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL

REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH

LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE

ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND

CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL

EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF

TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER

TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND

CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND

SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY

NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100

RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND. SCARIFIED, AND/OR EETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT

AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD

AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE | Floor Plan WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING

HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ISSUED:

October 27, 2017 REVISIONS

R3A PROJECT # 15074B

REFERENCED NOTES

MARK

085000.01

099123.04

DESCRIPTION REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS

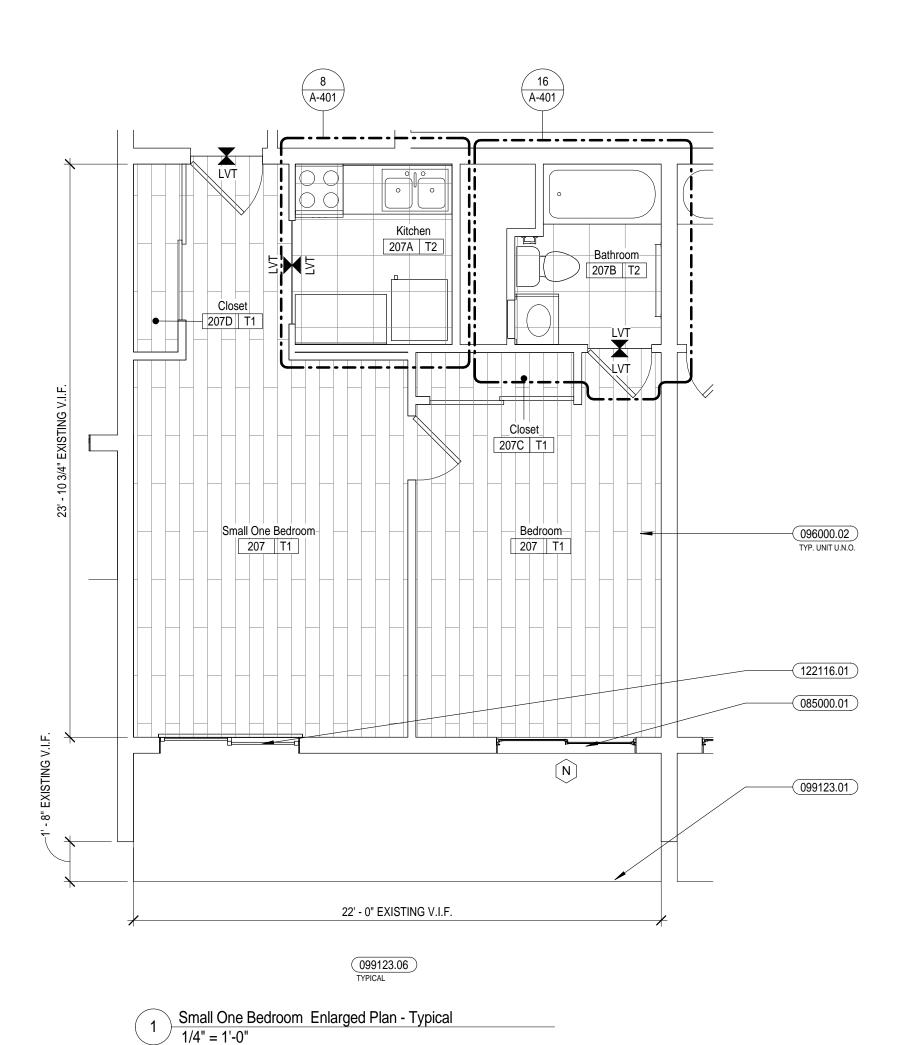
BUILDING . REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107 REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL.

PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING. CLEAN, SAND, PREPARE ELEVATOR DOOR SURFACES TO RECIEVE 1 COAT OF PRIMER 2 COATS OF ELECTRO-STATIC PAINT. PT-9

EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED,

AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE- COMMON AREAS. 099123.05 EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO

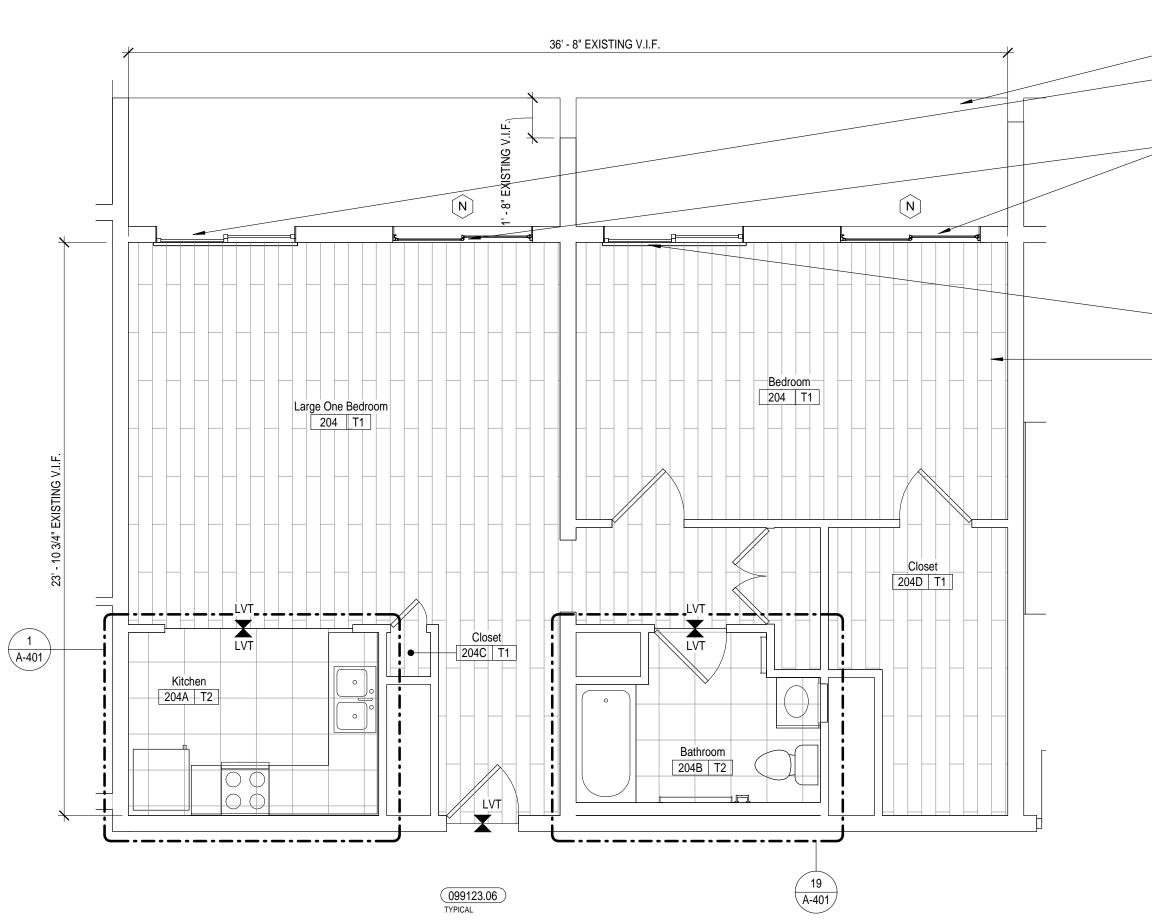
BE CLEANED, SANDED, AND PREPARED TO RECIEVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6 - COMMON AREAS. FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.



	REFERENCED NOTES
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	EXISTING VINYL FLOORING TO REMAIN. REMOVE AND DISGARD EXISTING BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.06	DOORS IN APARTMENT UNITS SHALL REMAIN EXISTING WOOD STAIN, PAINT DOOR FRAMES IN APARTMENT UNITS TYP. CLEAN, SAND, AND PREPARE FRAMES TO RECIEVE 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10

FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR

SLIDING DOORS.



			HIGH RISE	FINISH SCHE	DULE
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
8	LVT-3	PT-1	RB-1	EX	
9	POR-3	PT-5/EX CT	POR BASE	EX	

1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 090000. FOR FINISHES ON DOORS.

2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

2 Large One Bedroom Enlarged Plan - Typical 1/4" = 1'-0"

5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.

6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER. 7. PAINT ELEVATOR DOORS PT-9; ALL FLOORS; CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

LVT = LUXURY VINYL TILE CPT = CARPET TILE POR = PORCELAIN TILE EX = EXISTING TO REMAIN RB = RUBBER BASE PT = PAINT CT = CERAMIC TILE REFER TO A-107/A-108 FOR FINISH PLAN

KEY

GENERAL NOTES

122116.01

096000.02

122116.01

(085000.01

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S

REPRESENTATIVE AND THE ARCHITECT. 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL

DISCIPLINES AND OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON

REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND

CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S

REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND

MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS. 16. NOTES 16 - 18 NOT USED.

SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR EETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES,

17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL

INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED

CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE

TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL

WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL.

REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

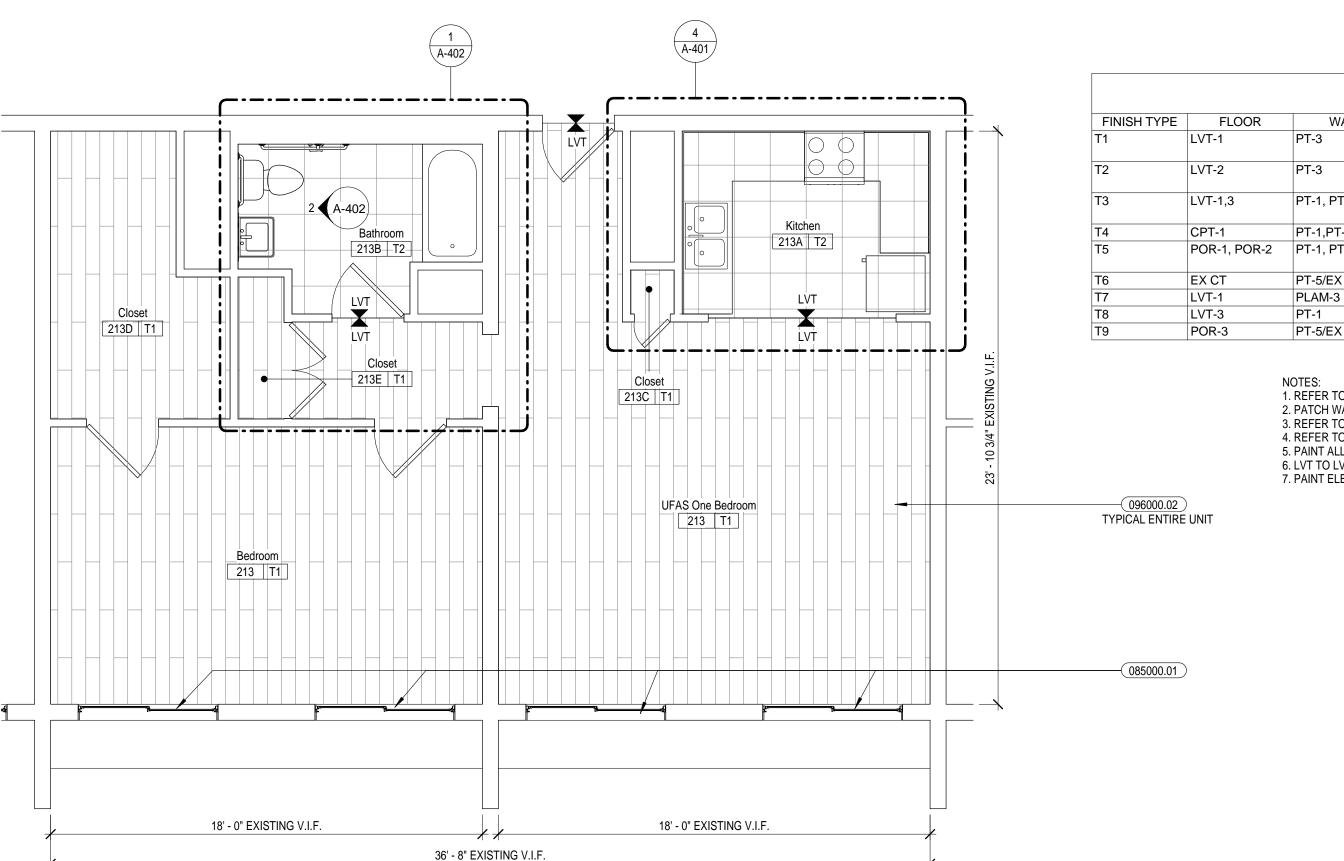
Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

> October 27, 2017 REVISIONS

Bernice Crawley High Rise - Small & Large One Bedroom **Enlarged Plans**



55' - 4" EXISTING V.I.F.

18' - 0"

EXISTING V.I.F

214 T1

TYPICAL

FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
Γ1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
Γ2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
Γ3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
Γ4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
Γ6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
Γ7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
Γ8	LVT-3	PT-1	RB-1	EX	
Г9	POR-3	PT-5/EX CT	POR BASE	EX	

EXISTING V.I.F.

Bedroom 214 T1

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1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 090000. FOR FINISHES ON DOORS. 2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

(096000.02

TYPICAL ENTIRE UNIT

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.

4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS. 5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.

6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER. 7. PAINT ELEVATOR DOORS PT-9; ALL FLOORS; CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

REFERENCED NOTES DESCRIPTION COORDINATE SCOPE OF WORK WITH HVAC, PLUMBING AND ELECTRICAL PRIME CONTRACTOS. TYPICAL OF ALL UNITS. REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING . REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS. REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING. DOORS IN APARTMENT UNITS SHALL REMAIN EXISTING WOOD STAIN, PAINT DOOR FRAMES IN APARTMENT UNITS TYP. CLEAN, SAND, AND PREPARE FRAMES TO RECIEVE 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10



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Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

Pittsburgh, PA 15207

MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR EETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND

AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING

MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED

BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE

OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT

CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION

DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE

PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT

CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN

THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE

TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A

THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW

OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN

SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT

IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION,

SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE,

PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE

COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

SCHEDULE 32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE

SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

High Rise - UFAS One & Two Enlarged Plans

R3A PROJECT # 15074B

KEY CPT = CARPET TILE POR = PORCELAIN TILE RB = RUBBER BASE PT = PAINTCT = CERAMIC TILE REFER TO A-107/A-108 FOR FINISH PLAN POR POR

LVT = LUXURY VINYL TILE

EX = EXISTING TO REMAIN

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT. 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND

ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR

CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK

DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS

OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING

AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE

DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND

CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL

TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY

REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT

APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S

FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH

CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE

RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL

CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL

DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING

COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS,

SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME

ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH

ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF

TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

UFAS/ Accessible Two Bedroom Enlarged Plan Typical 1/4" = 1'-0"

UFAS/Accessible One Bedroom Enlarged Plan Typical

1. REFER TO DRAWINGS G-101 AND G-110 FOR ALL UFAS/ACCESSIBLE UNITS

3. UNITS SHOWN ARE AT GRADE AND ARE WITHOUT HANDRAIL/GUARDRAILS AND DO NOT HAVE SLIDING GLASS DOORS.

EXISTING V.I.

UNITS ABOVE OR IN OTHER LOCATIONS MAY HAVE BOTH. REFER TO FLOOR PLANS AND ELEVATIONS FOR ALL

1/4" = 1'-0"

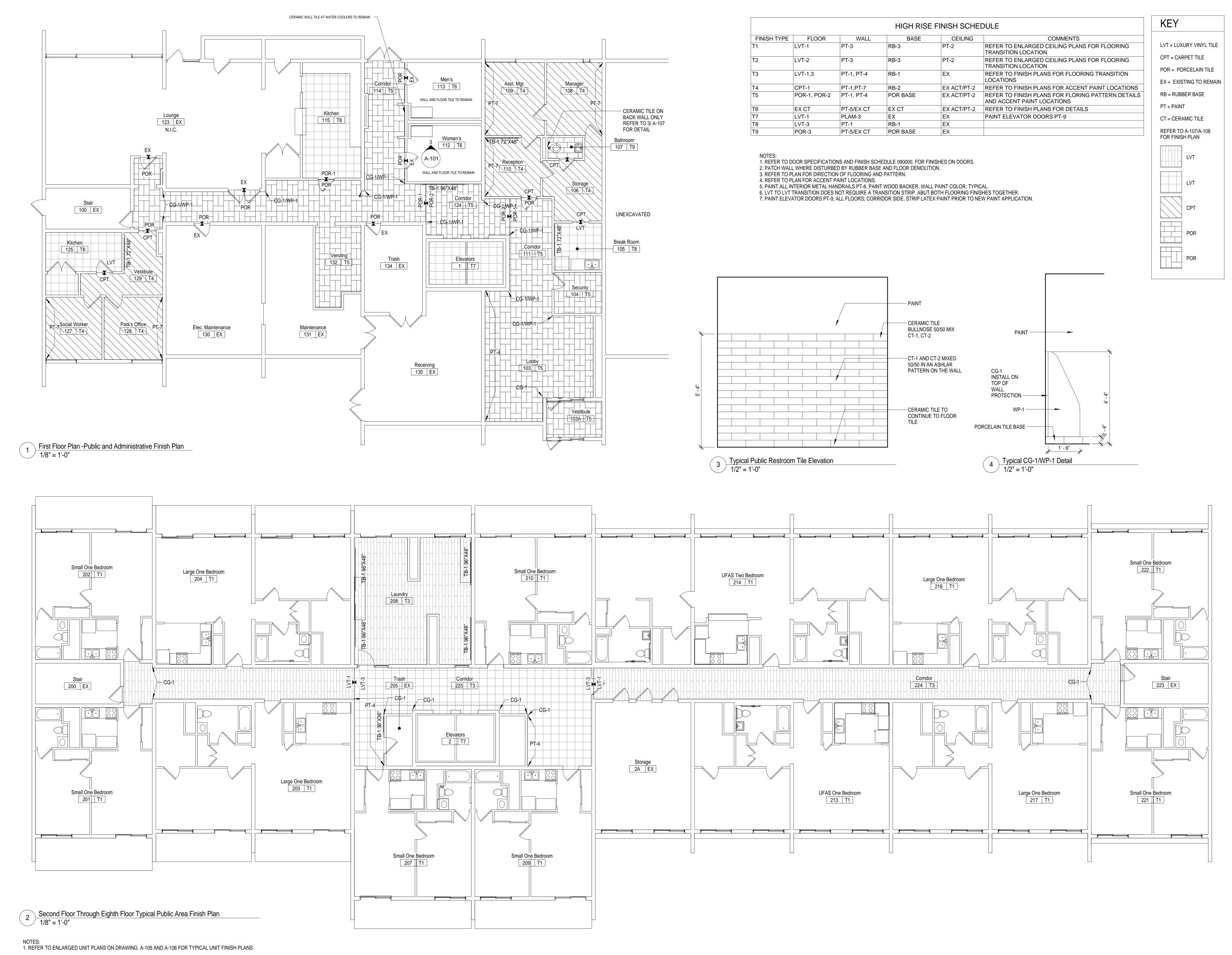
LOCATIONS.

2. SOME UNITS ARE MIRRORED

1. REFER TO DRAWINGS G-101 AND G-110 FOR ALL UFAS/ACCESSIBLE UNITS 2. SOME UNITS ARE MIRRORED 3. UNITS SHOWN ARE AT GRADE AND ARE WITHOUT HANDRAIL/GUARDRAILS AND DO NOT HAVE SLIDING GLASS DOORS. UNITS ABOVE OR IN OTHER LOCATIONS MAY HAVE BOTH. REFER TO FLOOR PLANS AND ELEVATIONS FOR ALL LOCATIONS.

214D T1

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ARCHITECTS, P.C.

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

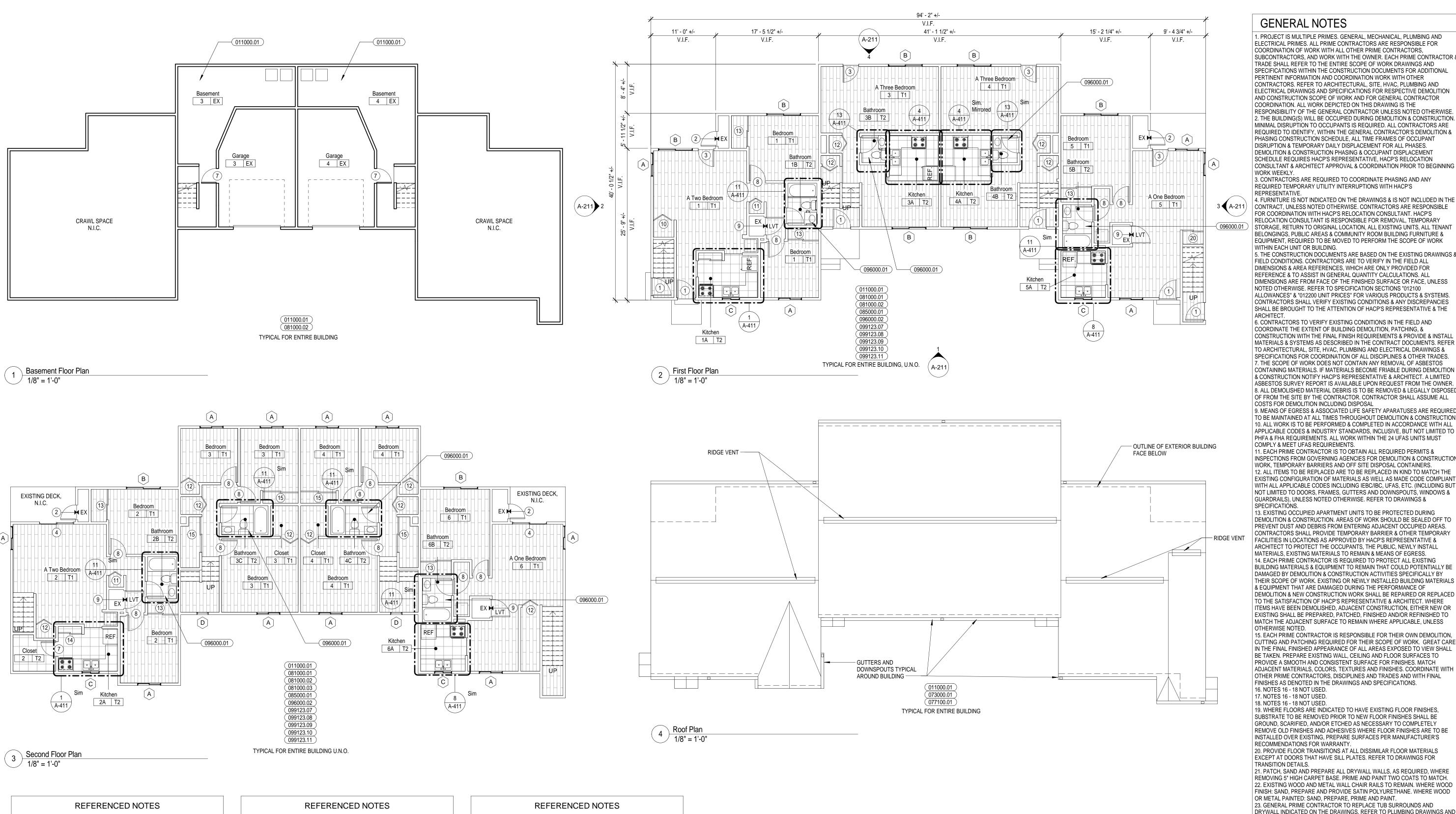
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Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Bernice Crawley High Rise - Finish Plans

R3A PROJECT # 15074B



MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE

EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED.

ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL

REFER TO SPECIFICATION SECTIONS 012100

UNITS, U.N.O. REFER TO FINISH SCHEDULE.

DESCRIPTION

MARK

MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS. 2. PATCH WALLWHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS. 5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS. **GENERAL NOTES**

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES.

WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS &

INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING

DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION. EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED. | 18. NOTES 16 - 18 NOT USED.

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

RB = RUBBER BASE

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19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S

RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME

CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE,

PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT

SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE

HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





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> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

CONSTRUCTION

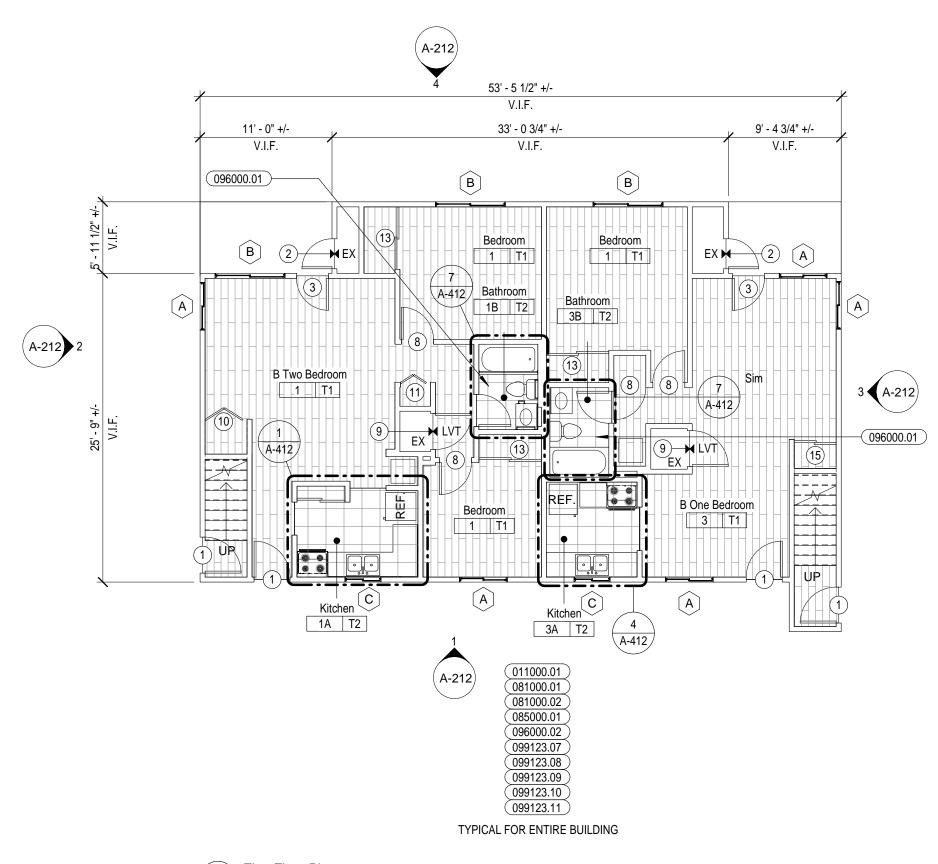
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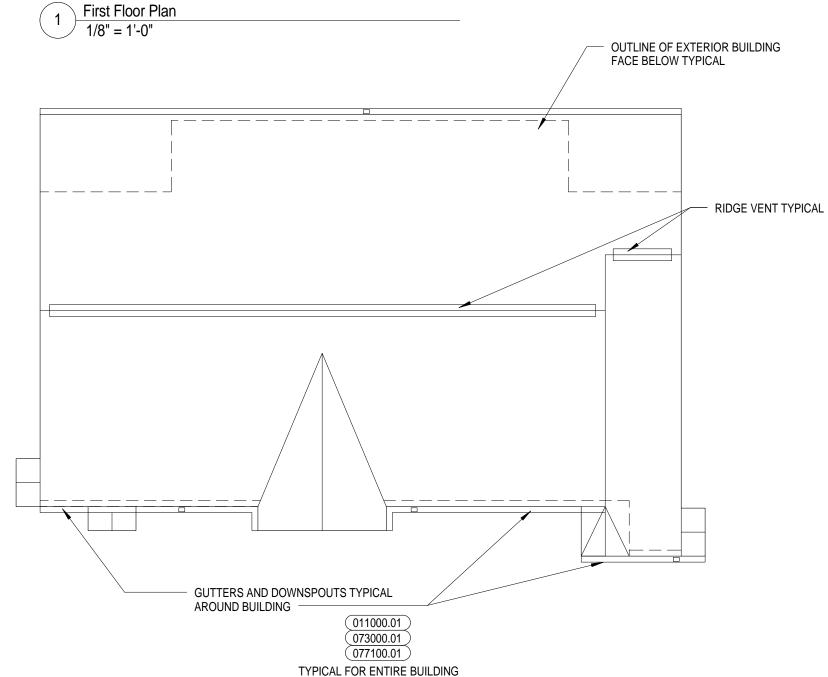
Pittsburgh, PA 15207

October 27, 2017

REVISIONS

Family Community





Roof Plan / 1/8" = <u>1'-0"</u>

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.

REFERENCED NOTES

REFERENCED NOTES						
MARK	DESCRIPTION					
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.					
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.					
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1					
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1					
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR					

APPLIED TYP. ST-1						
INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1						
FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.						
			F	INISH SCHEDULE		
	FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
	T1	LVT-1	PT-3	RB-3	PT-2	

PT-2

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS. 2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

PT-3

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

LVT-2

(096000.01)

B Two Bedroom-

Kitchen

2 Second Floor Plan 1/8" = 1'-0"

EXISTING DECK,

A-412

 \bigcirc B

4B T2

EXISTING DECK,

N.I.C.

B One Bedroom

EX + (2)

011000.01

081000.02 081000.03

TYPICAL FOR ENTIRE BUILDING

5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

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Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670

> Design Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct

Pittsburgh, PA 15207

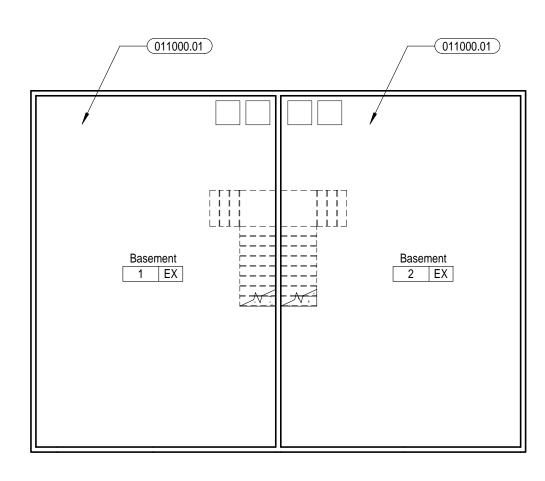
CONSTRUCTION

DOCUMENTS

October 27, 2017

REVISIONS

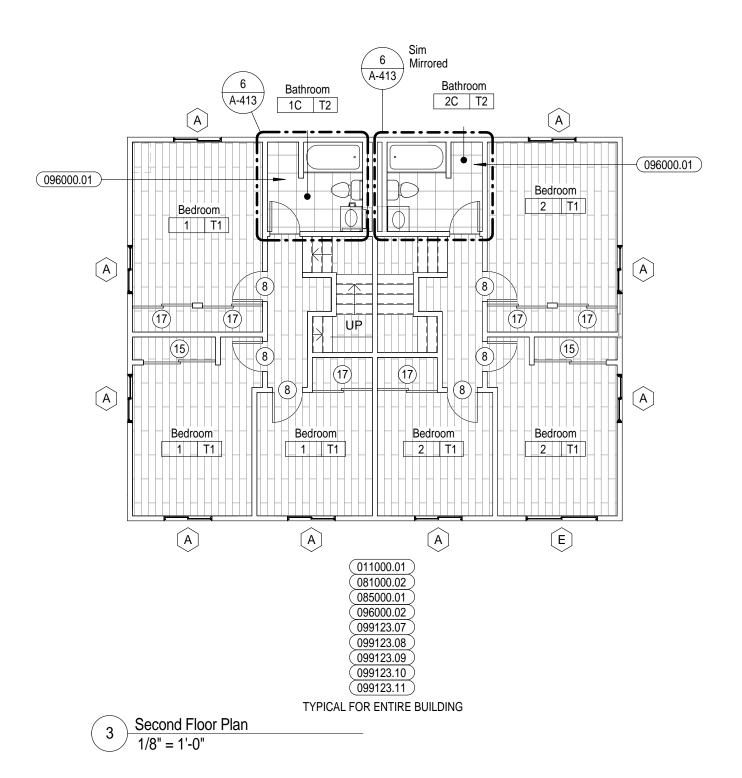
Family Community



011000.01

TYPICAL FOR ENTIRE BUILDING





MARK	DESCRIPTION	
011000.01	NOT USED	
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.	
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.	
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.	
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL	

OF ALL INTERIOR DOORS.

REFERENCED NOTES

MARK	DECODIDATION
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES

	REFERENCED NOTES
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

	A-213) 41' - 3" +/-	
A-213 2	V.I.F. Sim Mirrored A-413 Bathroom Bathroom Bathroom Bathroom Bathroom A-413 A A A A A A A A A A A A A	
31' - 11/2" +/- V.I.F. 30' - 11/2" +/- V.I.F.	C Three Bedroom C Three Bedroom 1 T1 1 11 1	
1' - 0" +/- V.I.F.	(081000.01) (081000.02) (085000.01) (096000.02) (099123.07) (099123.08) (099123.10) (099123.11) TYPICAL FOR ENTIRE BUILDING 2 First Floor Plan 1/8" = 1'-0"	UTLINE OF EXTERIOR BUILDING ACE BELOW TYPICAL
	G	UTTER AND DOWNSPOUTS YPICAL AROUND BUILDING
	R	IDGE VENT TYPICAL
	G	UTTER AND DOWNSPOUTS YPICAL AROUND BUILDING
	011000.01 073000.01 077100.01 TYPICAL FOR ENTIRE BUILDING Roof Plan 1/8" = 1'-0"	

	FINISH SCHEDULE				
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

NOTES:

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.

2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.

4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE &

WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE

EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK

ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

POR = PORCELAIN TILE

RB = RUBBER BASE

CT = CERAMIC TILE

PT = PAINT

EX = EXISTING TO REMAIN

18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE,

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT

SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

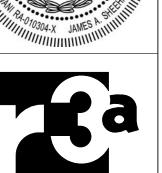
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





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Design
Technology
Sustainability

www.r3a.com

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ARCHITECTS, P. D.

Allies & Ross
Management and
Development
Corporation

CONSULTANT:

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

Pittsburgh, PA 15207

CONSTRUCTION

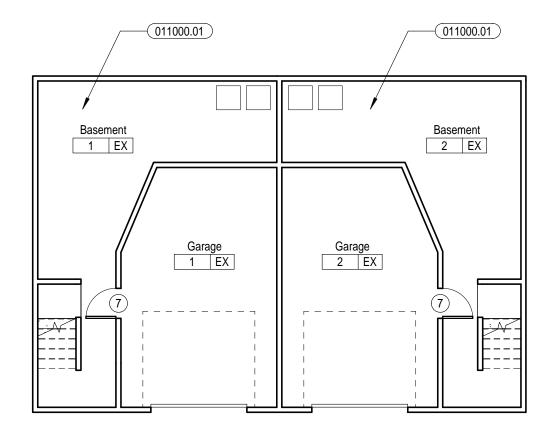
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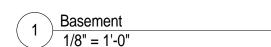
REVISIONS

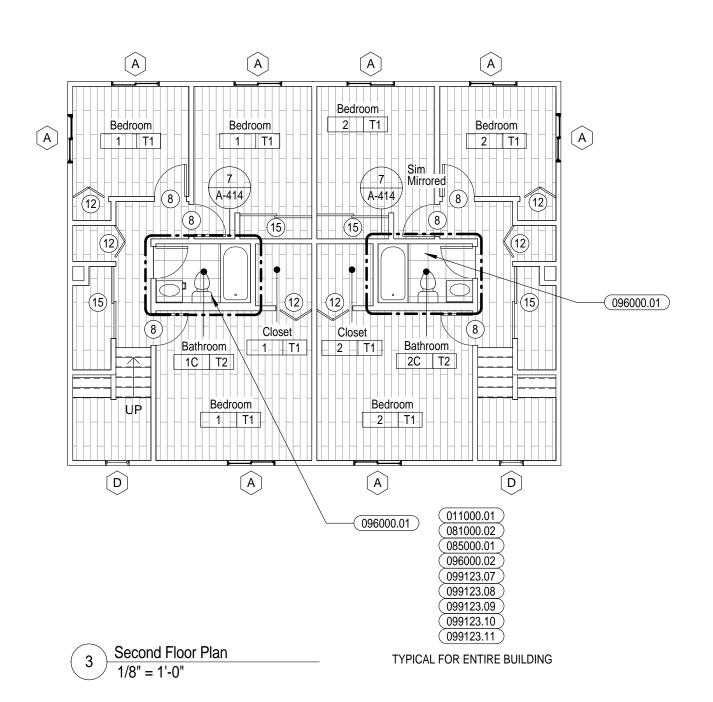
October 27, 2017

Family Community

R3A PROJECT # 15074B







MARK

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS

012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL

OF ALL INTERIOR DOORS.

085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES

DESCRIPTION

		099123.10 099123.11 TYPICAL FOR ENTIRE BUILDING
	2 First Floor Plan 1/8" = 1'-0"	
RIDGE VENT TYPICAL		
	073000 077100 TYPICAL FOR ENT	.01
	1/8" = 1'-0"	

UP

41' - 1 1/2" +/-

(A-214)

Mirrored

A-414/

OUTLINE OF EXTERIOR BUILDING

GUTTERS AND DOWNSPOUTS

TYPICAL AROUND BUILDING

FACE BELOW TYPICAL

REFERENCED NOTES		
MARK	DESCRIPTION	
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1	
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.	

	FINISH SCHEDULE				
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

NOTES:

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.

2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.

4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR 8 TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS A

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6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF ERSSS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES TURDING HER DEMOLITION & CONSTRUCTION.

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

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13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

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LVT = LUXURY VINYL TILE

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20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH SAND AND PREPARE ALL DRYWALL WALLS AS REQUIRED, WHE

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

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SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE
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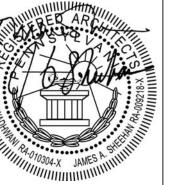
MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





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Technology
Sustainability

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Allies & Ross
Management and
Development
Corporation

CONSULTANT:

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

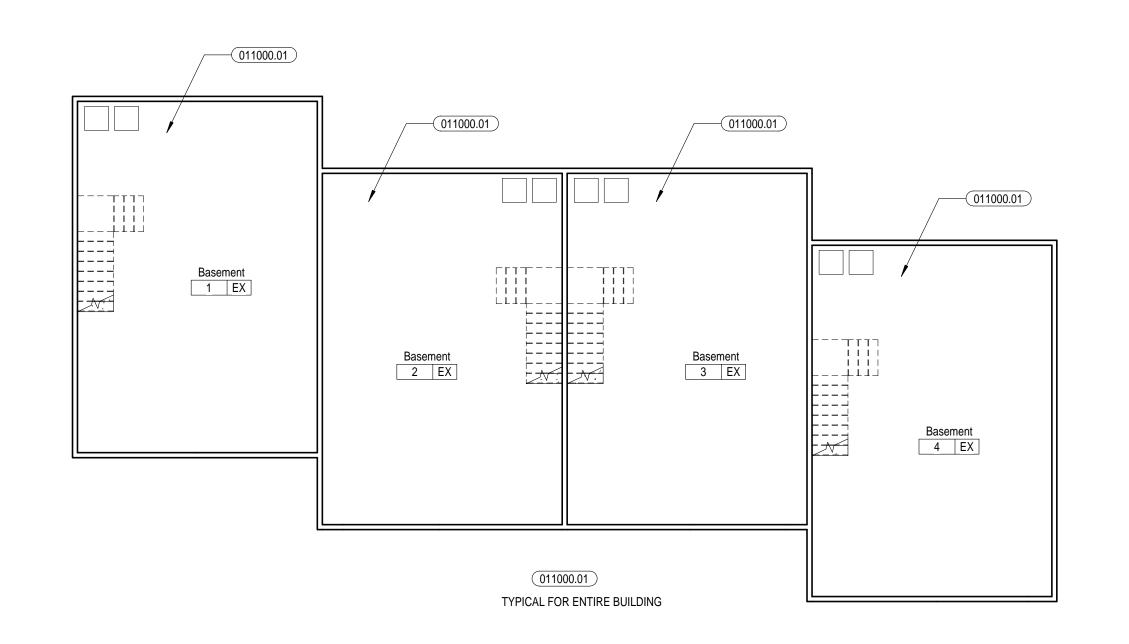
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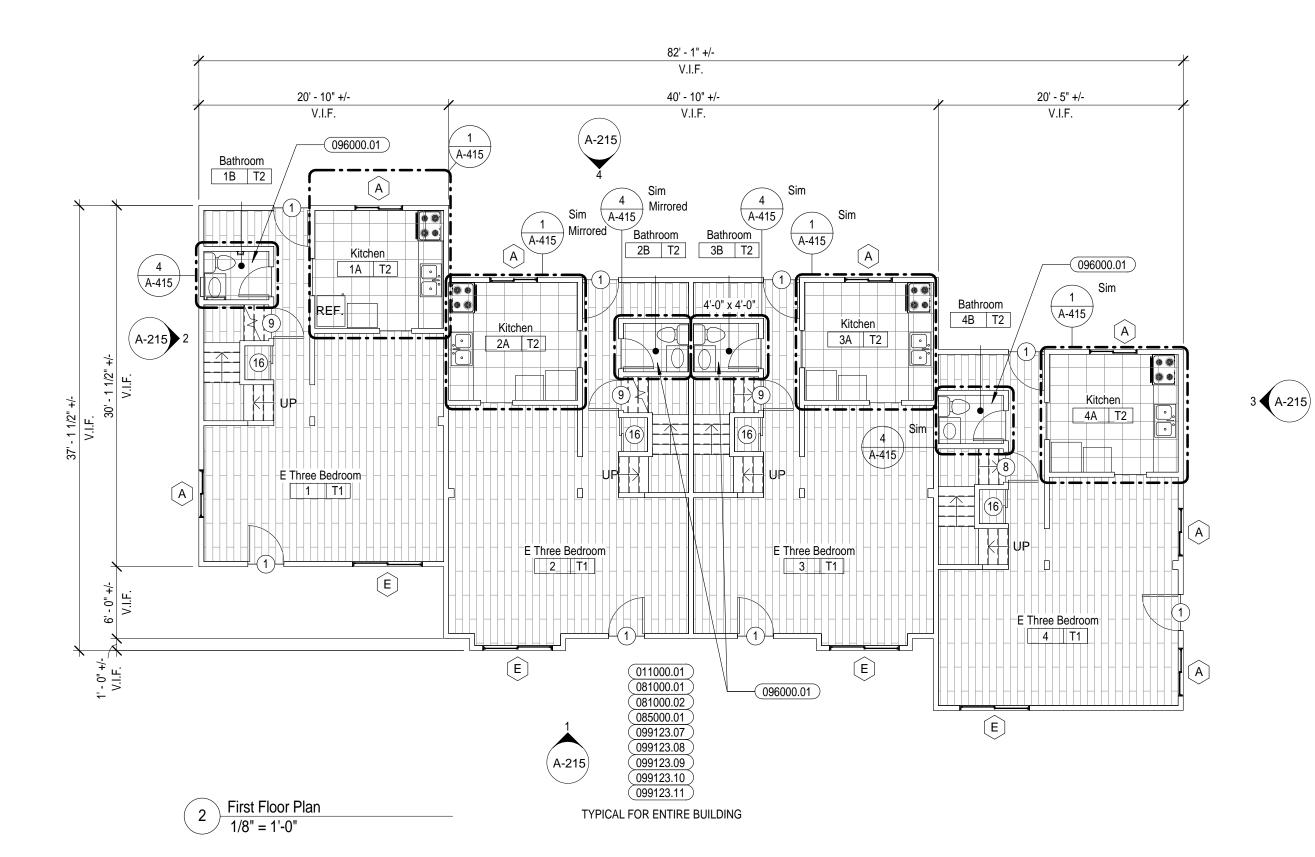
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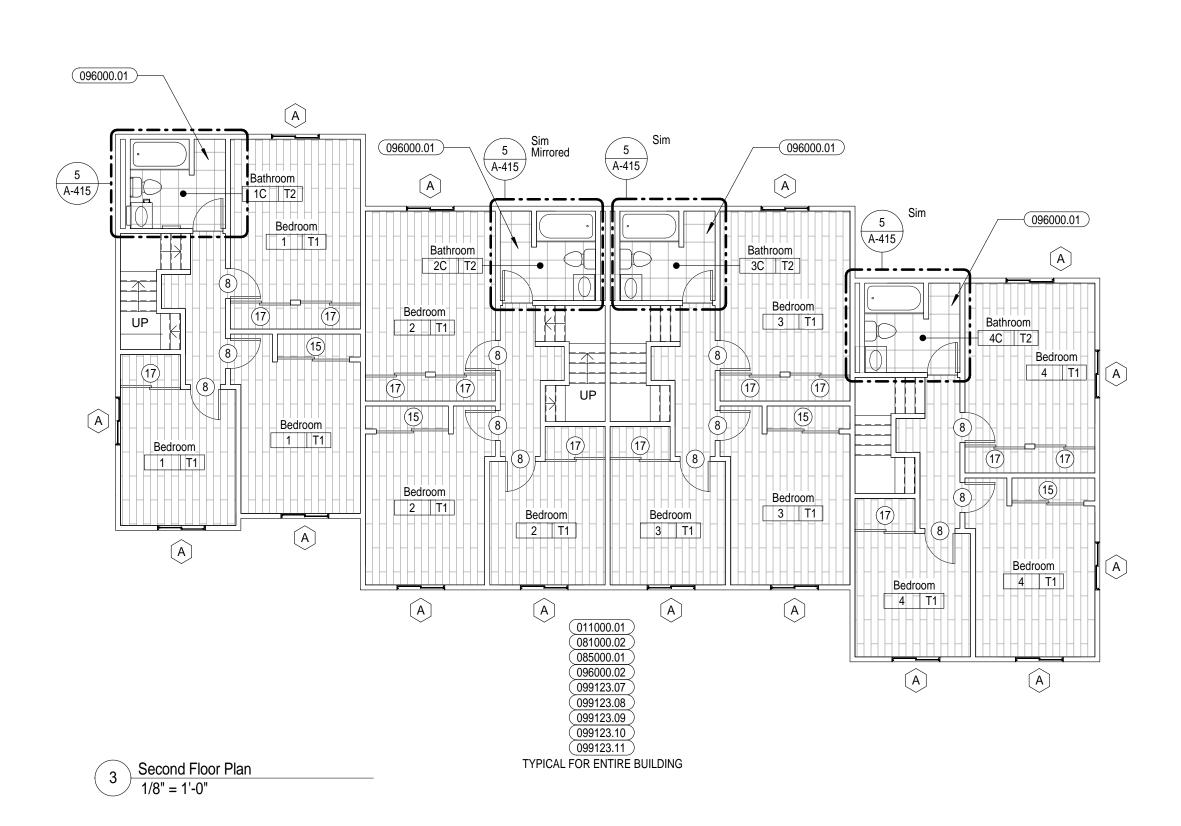
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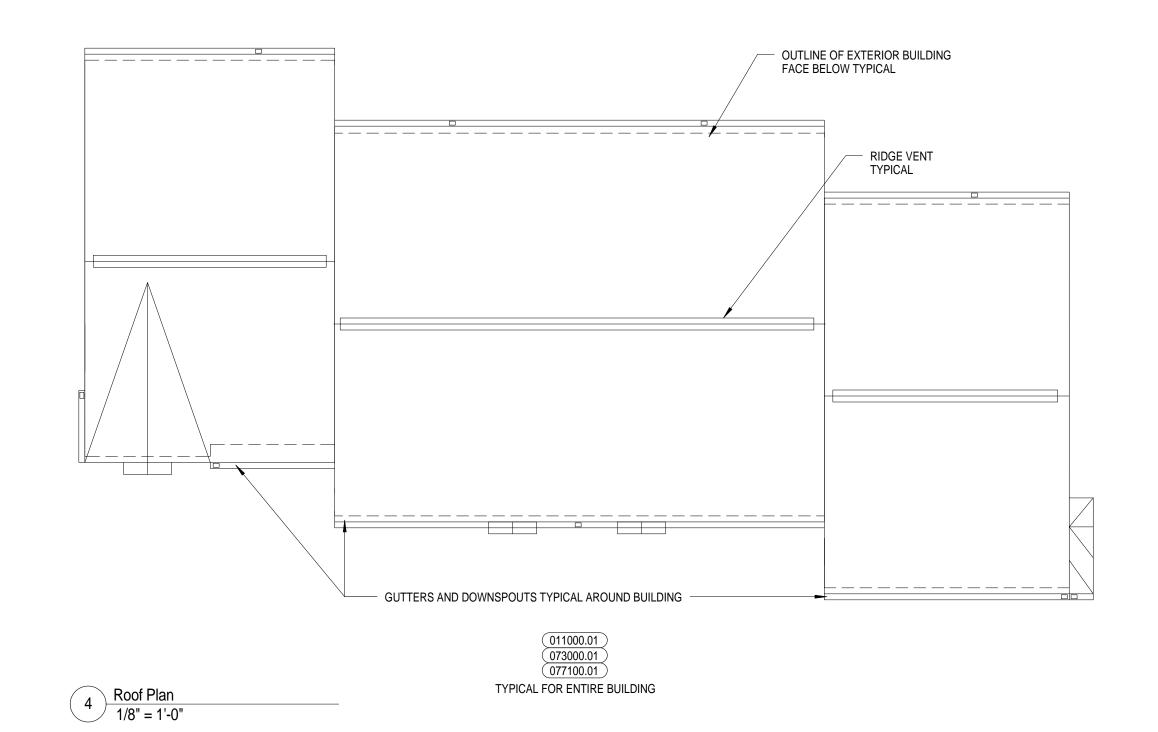
Family Community

R3A PROJECT # 15074B









	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

Basement

1/8" = 1'-0"

	REFERENCED NOTES				
MARK DESCRIPTION					
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.				
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.				
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.				
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.				
099123.08 PAINT EXISTING WOOD INTERIOR DOOR FRAMES CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRI AND 2 COATS OF PAINT PT-10 TYP.					
099123.09 INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1					

REFERENCED NOTES				
MARK DESCRIPTION				
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1			
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.			

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T2	LVT-2	PT-3	RB-3	PT-2	
T2	LVT-1	PT-3	RB-3	PT-2	

NOTES:

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.

2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

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5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

RB = RUBBER BASE PT = PAINT CT = CERAMIC TILE LVT LVT

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POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

CPT = CARPET TILE

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

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Technology
Sustainability

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AROUNE EST, P.C.

CONSULTANT:

Allies & Ross
Management and
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Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

CONSTRUCTION

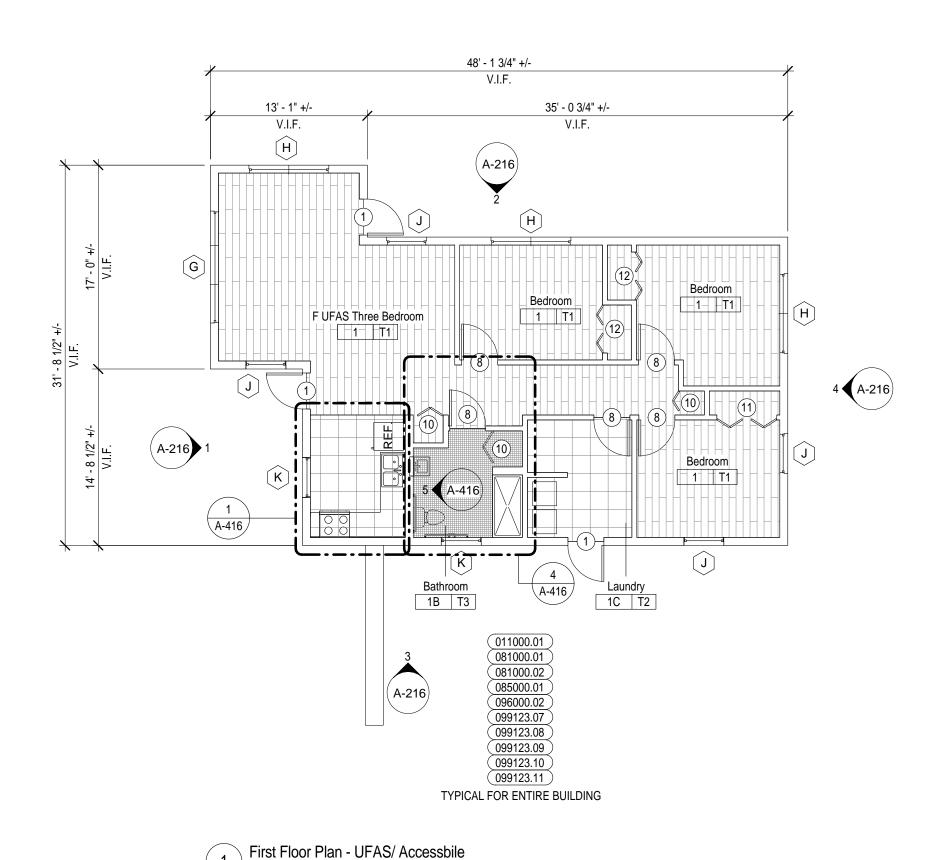
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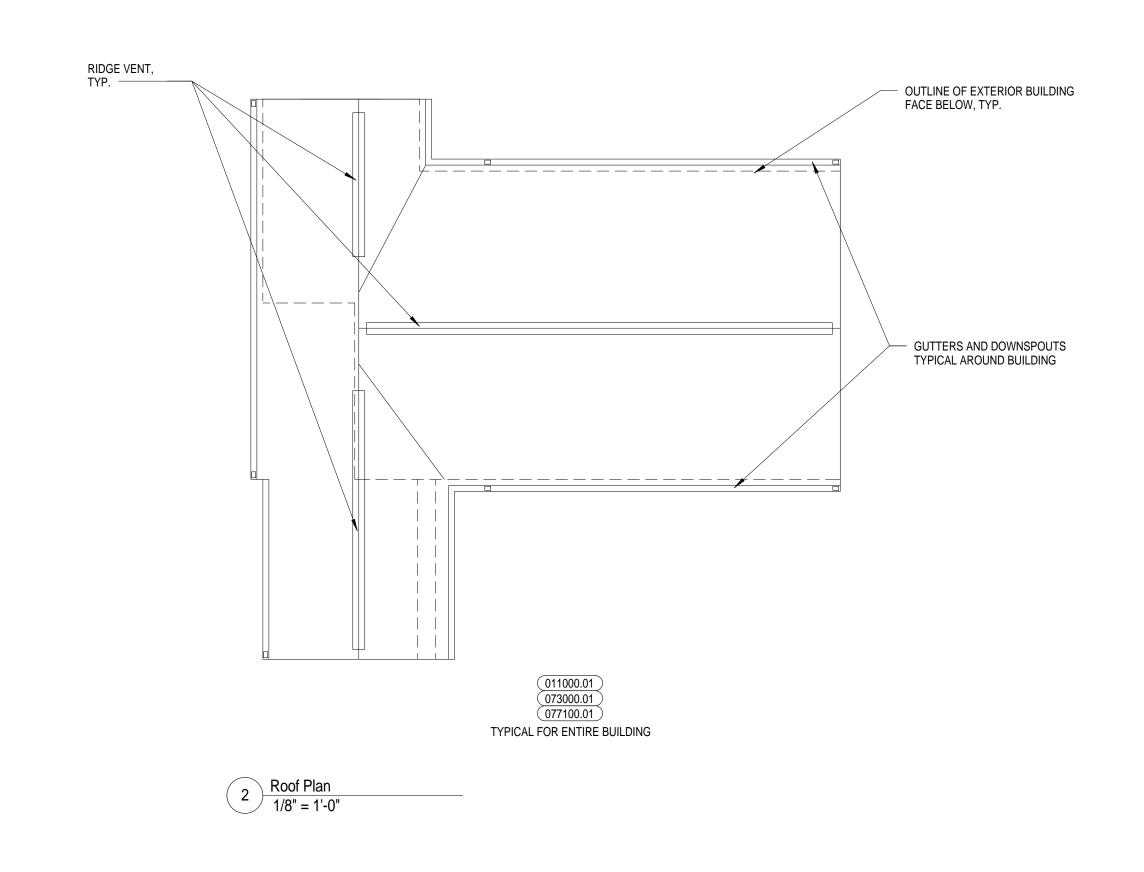
Pittsburgh, PA 15207

ED: October 27, 2017
REVISIONS

Family Community

R3A PROJECT # 15074B





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	PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

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085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES

REFERENCED NOTES				
MARK DESCRIPTION				
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1			
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.			

	FINISH SCHEDULE						
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS		
T1	LVT-1	PT-3	RB-3	PT-2			
T2	LVT-2	PT-3	RB-3	PT-2			
T3	EX CERAMIC TILE	EX CERAMIC TILE/ PT-3	EX CERAMIC TILE	PT-2			

2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION. 3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.

4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS. 5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.

LVT = LUXURY VINYL TILE CPT = CARPET TILE POR = PORCELAIN TILE EX = EXISTING TO REMAIN RB = RUBBER BASE PT = PAINT CT = CERAMIC TILE

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS

OTHERWISE NOTED. 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

CONSTRUCTION NOTES.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

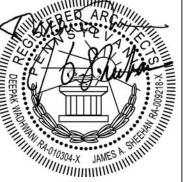
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE

SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





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Design Technology

Sustainability

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CONSULTANT:

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

Pittsburgh, PA 15207

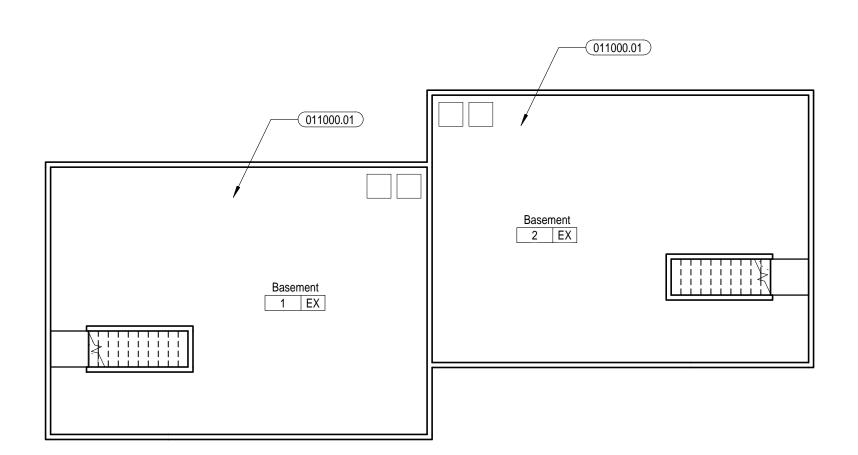
CONSTRUCTION

DOCUMENTS

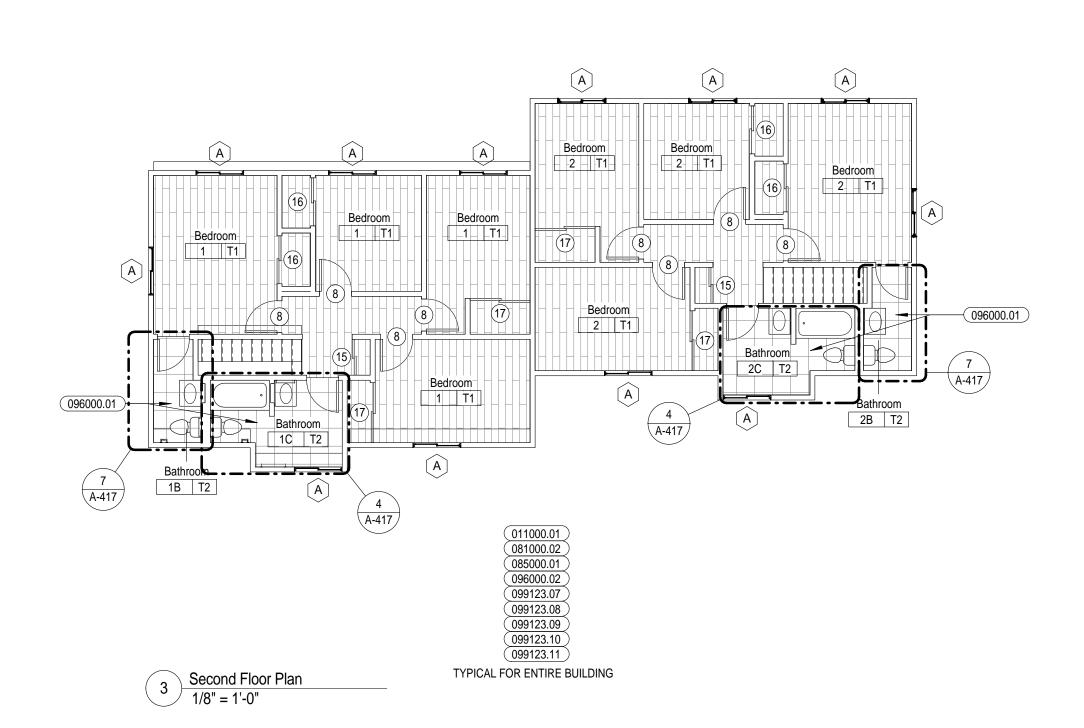
October 27, 2017

REVISIONS

Family Community



1 Basement



085000.01

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT

PRICES. TYPICAL OF ALL EXTERIOR DOORS.

AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL

081000.02 | REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS

OF ALL INTERIOR DOORS.

REFERENCED NOTES

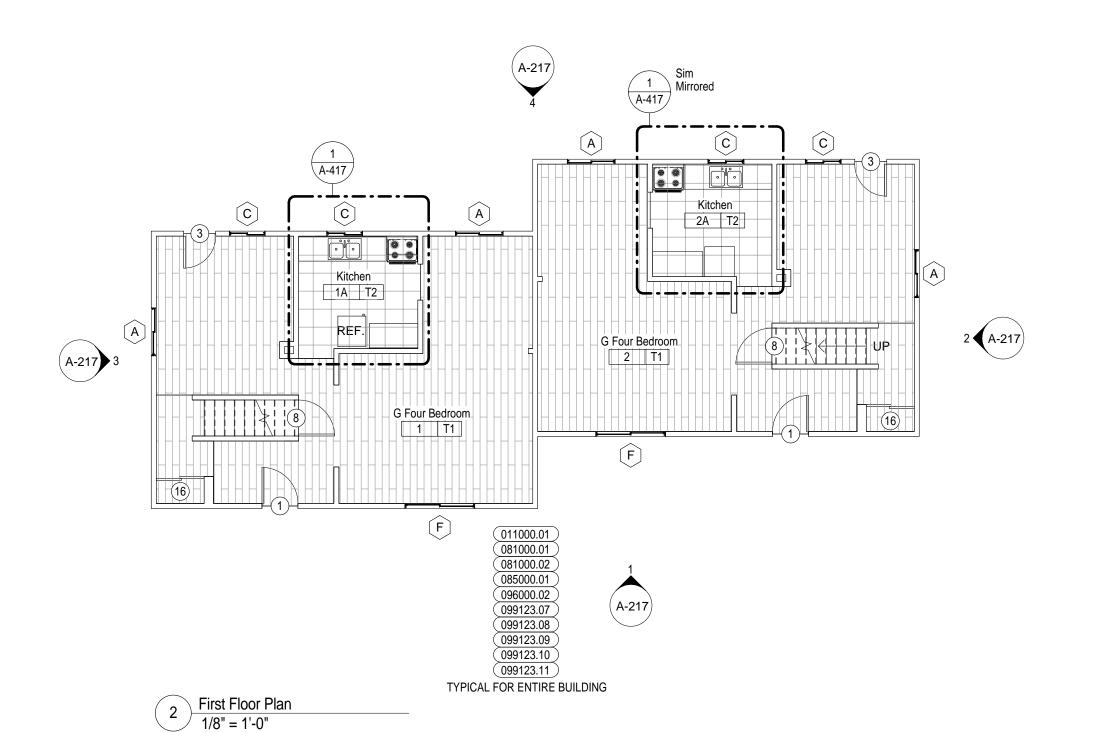
	WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

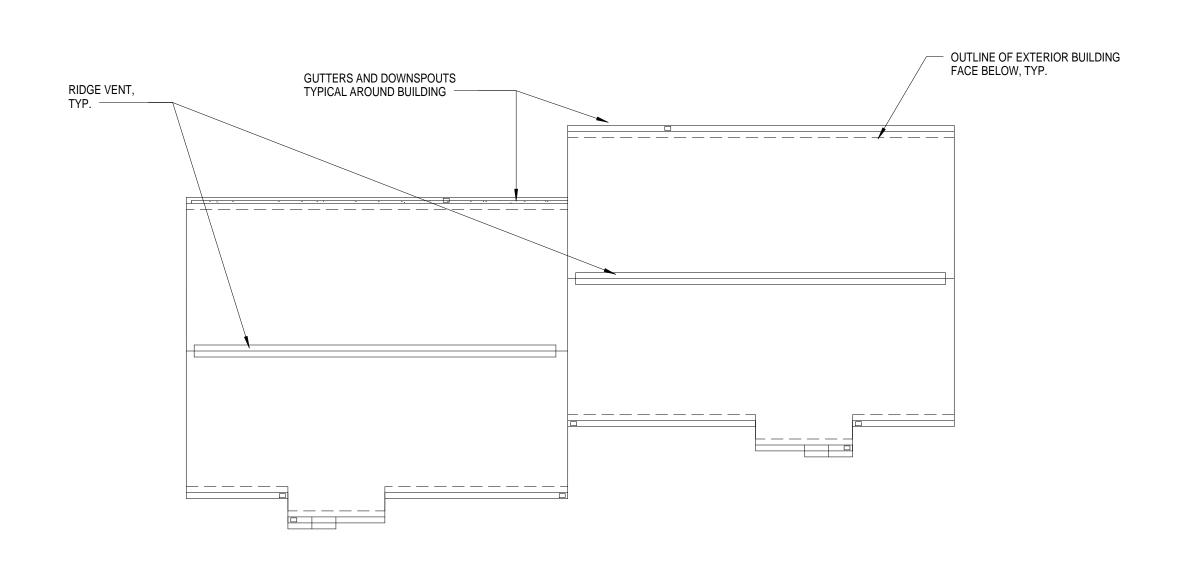
REFERENCED NOTES

REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS

AND HARDWARE. FURNISH AND INSTALL EXTERIOR

REFERENCED NOTES				
MARK DESCRIPTION				
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1			
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.			





073000.01 077100.01 TYPICAL FOR ENTIRE BUILDING

FINISH SCHEDULE					
FINISH TYPE FLOOR WALL BASE CEILING COMMENTS					
T2	LVT-2	PT-3	RB-3	PT-2	
T2	LVT-1	PT-3	RB-3	PT-2	

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS. 2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION. 3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS. 5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

CT = CERAMIC TILE

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

RB = RUBBER BASE

PT = PAINT

POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES. WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED

TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS &

INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

TRANSITION DETAILS.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS

EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME

CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

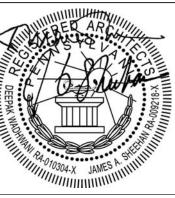
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT

ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





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> Technology Sustainability

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CONSULTANT:

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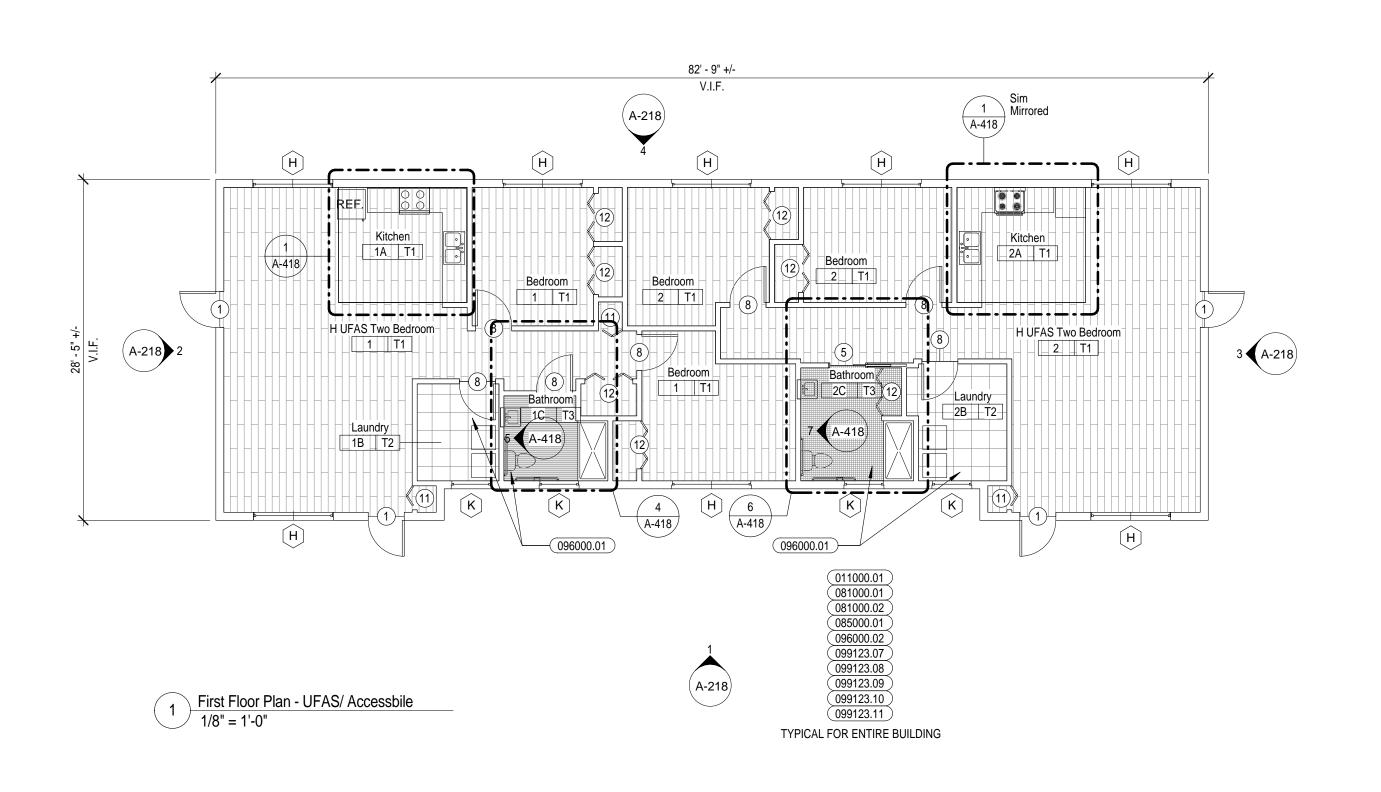
Pittsburgh, PA 15207

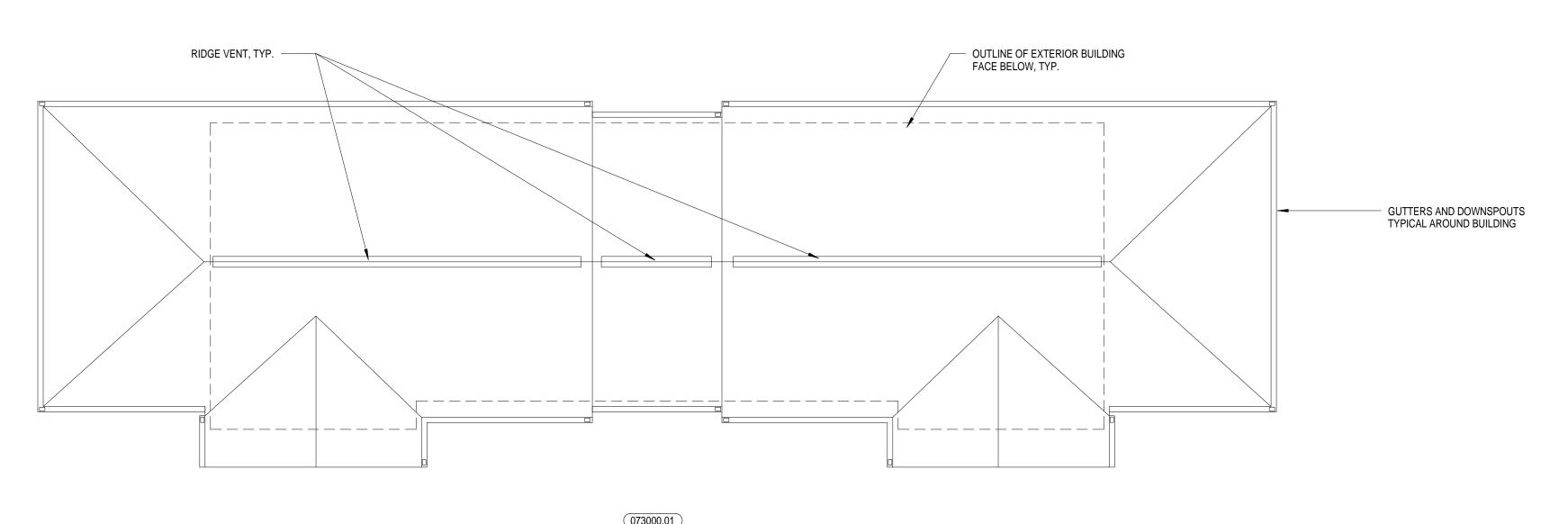
CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

| Family Community





TYPICAL FOR ENTIRE BUILDING

	REFERENCED NOTES			REFERENCED NOTES
MARK	DESCRIPTION		MARK	DESCRIPTION
011000.01	NOT USED		085000.01	REMOVE AND DISCARD EXISTING EXT AND HARDWARE. FURNISH AND INSTA WINDOWS AND HARDWARE OF SAME
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND			FUNCTION. FURNISH AND INSTALL WIN REMOVE AND REPLACE EXISTING DAM REQUIRED. REFER TO SPECIFICATION ALLOWANCES AND 012200 UNIT PRICE EXTERIOR WINDOWS.
	012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL		096000.01	REFER TO SPECIFICATION SECTIONS ALLOWANCES AND 12200 UNIT PRICES LOW RISE BATHROOMS.
	ROOFS.		096000.02	REMOVE AND DISCARD EXISTING VIN
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.			BASE. PREPARE SURFACES AS REQUIFINISHES. FURNISH AND INSTALL LUX FLOORING AND RUBBER BASE. REMOEXISTING DAMAGED PLYWOOD FLOOF REFER TO SPECIFICATION SECTIONS
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION.			ALLOWANCES AND 012200 UNIT PRICE UNITS, U.N.O. REFER TO FINISH SCHE
	REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT		099123.07	FURNISH AND INSTALL NEW WOOD IN STAIN AND SATIN FINISH CLEAR COA
	PRICES. TYPICAL OF ALL EXTERIOR DOORS.		099123.08	PAINT EXISTING WOOD INTERIOR DO
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND			CLEAN, SAND, AND PREPARE FOR 1 C AND 2 COATS OF PAINT PT-10 TYP.
	BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES		099123.09	INTERIOR WOOD STAIRS TO BE CLEA STAINED AND 2 COATS OF SATIN FINI APPLIED TYP. ST-1
	AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL	·		

OF ALL INTERIOR DOORS.

	REFERENCED NOTES
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES				
MARK	DESCRIPTION			
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SAND STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAAPPLIED TYP. ST-1			
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.			

			FINISH SCHEDULE	≣	
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	
Т3	EXISTING CERAMIC	EX CERAMIC/PT-3	EX CERAMIC	PT-2	

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS. 2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION. 3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED

TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS &

SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED.

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

RB = RUBBER BASE

CT = CERAMIC TILE

PT = PAINT

POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD

AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

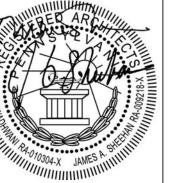
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

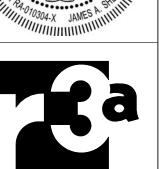
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT

ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE

SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





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CONSULTANT:

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Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

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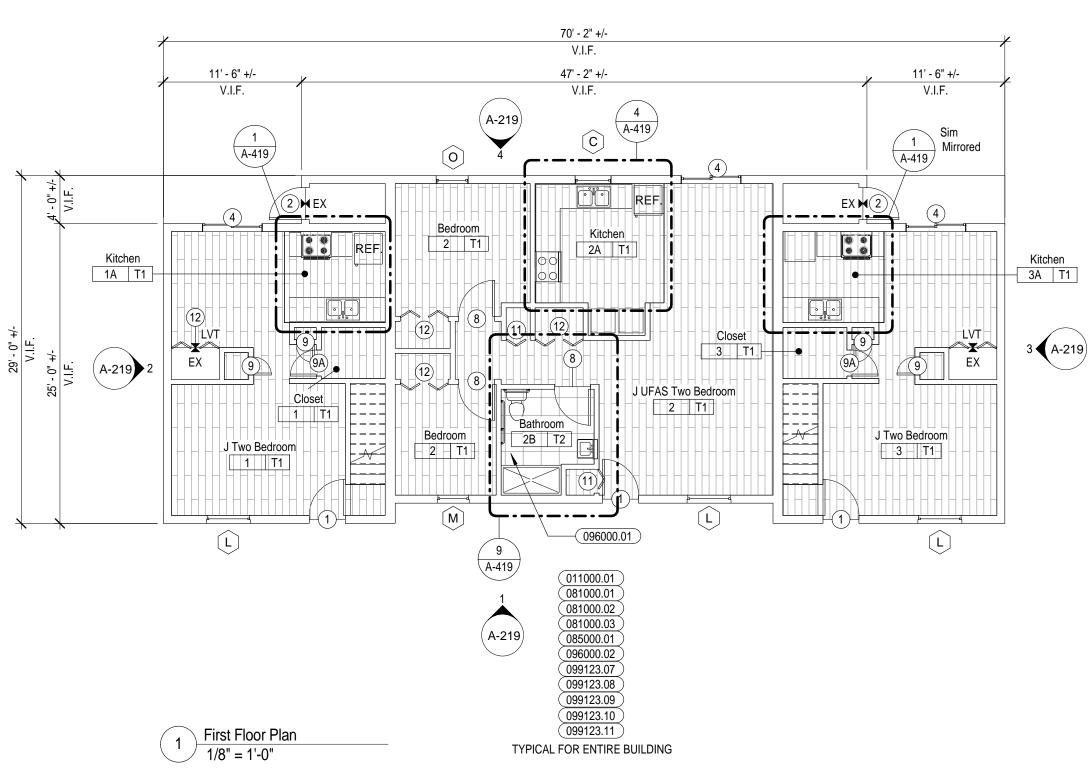
CONSTRUCTION

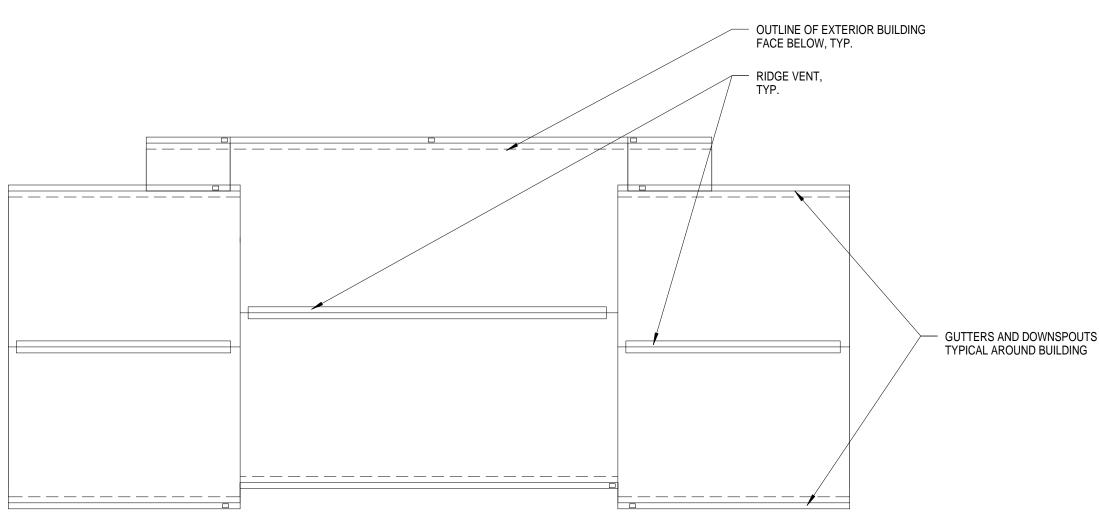
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community





073000.01 077100.01 TYPICAL FOR ENTIRE BUILDING

Roof Plan

REFERENCED NOTES					
MARK	MARK DESCRIPTION				
011000.01	NOT USED				
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.				
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.				
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.				
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS				

012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL

OF ALL INTERIOR DOORS.

MARK 085000.01	DESCRIPTION REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS
085000.01	AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS
	REQUIRED. REFER TO SPECIFICATION SECTIONS 01210 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF AL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRE REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF AL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES

REFERENCED NOTES					
MARK DESCRIPTION					
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDE STAINED AND 3 COATS OF GLOSS FINISH CLEAR COATAPPLIED TYP. ST-1				
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.				

Battiootii 1B T2		Closet 3C T1	3B T2 Bedroom
Bedroom 1 T1 8A 12A Closet 1C T1	Hallway 1 T1	Hallway 3 T1	3 - T1 - 8A 9 12 Closet 3E T1
Bedroom 1 T1 9B	Closet 1D T1	Closet 3D T1	Bedroom 3 T1
	011000.01 081000.02 085000.01 096000.02 099123.07 099123.08 099123.09 099123.10 099123.11		(M) (L)
Second Floor Plan 1/8" = 1'-0"	TYPICAL FOR ENTIRE BUILDING		

FINISH SCHEDULE FINISH TYPE FLOOR WALL BASE CEILING COMMENTS 1 LVT-1 PT-3 RB-3 PT-2 2 LVT-2 PT-3 RB-3 PT-2

NOTES:

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.

2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.

4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR 8 TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS &

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED.

KEY

LVT = LUXURY VINYL TILE

POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

LVT

LVT

CPT = CARPET TILE

RB = RUBBER BASE

CT = CERAMIC TILE

PT = PAINT

18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD
FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD
OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND
DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND
SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME
CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD
AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
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WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDLILE

SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE

SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL.
REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

A STORY OF THE STO



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Design
Technology
Sustainability

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CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

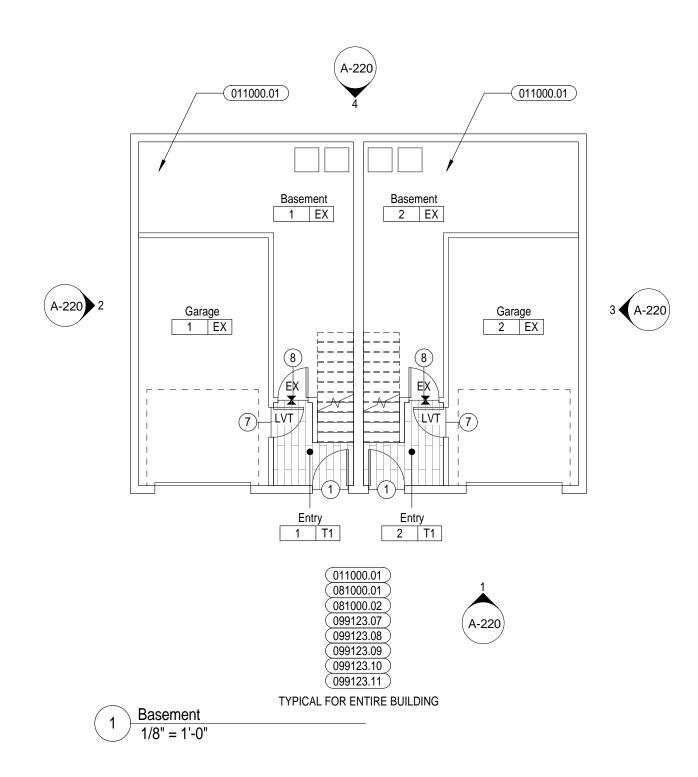
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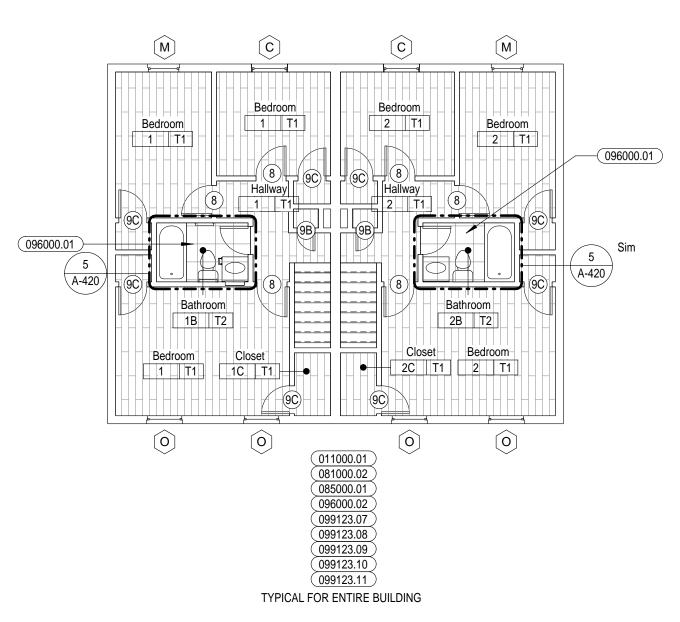
ISSUED: October 27, 2017

REVISIONS

Family Community
- Type J UFAS/

R3A PROJECT # 15074B

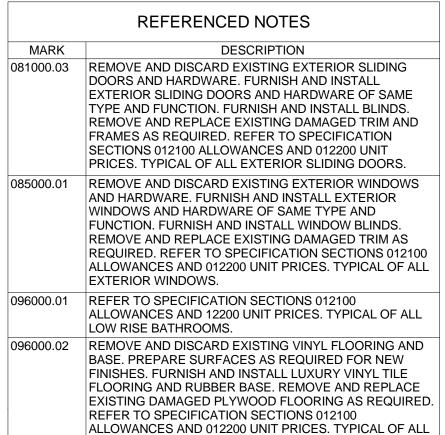




Second Floor Plan 1/8" = 1'-0"

REFERENCED NOTES

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS ANI HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.



UNITS, U.N.O. REFER TO FINISH SCHEDULE.

MARK DESCRIPTION				
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.			
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.			
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1			
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1			
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT, PAINT DOOR AND FRAME PT-11 TYP.			

	REFERENCED NOTES
MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
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099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

RIDGE VENT, TYP.

1A___T2_

K Three Bedroom

1 T1

2 First Floor Plan 1/8" = 1'-0"

4 Roof Plan 1/8" = 1'-0"

UP UP

081000.03

TYPICAL FOR ENTIRE BUILDING

077100.01

TYPICAL FOR ENTIRE BUILDING

K Three Bedroom

2 T1

 $\left(\mathsf{N}\right)$

A-420

FINISH SCHEDULE						
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS	
Γ1	LVT-1	PT-3	RB-3	PT-2		
Γ2	LVT-2	PT-3	RB-3	PT-2		

OUTLINE OF EXTERIOR BUILDING

- GUTTERS AND DOWNSPOUTS

TYPICAL AROUND BUILDING

FACE BELOW, TYP.

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS. 2. PATCH WALL WHERE DISTURBED BYRUBBER BASE AND FLOOR DEMOLITION.

3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.

4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS. 5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS, CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT

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9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS &

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Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Design Technology Sustainability

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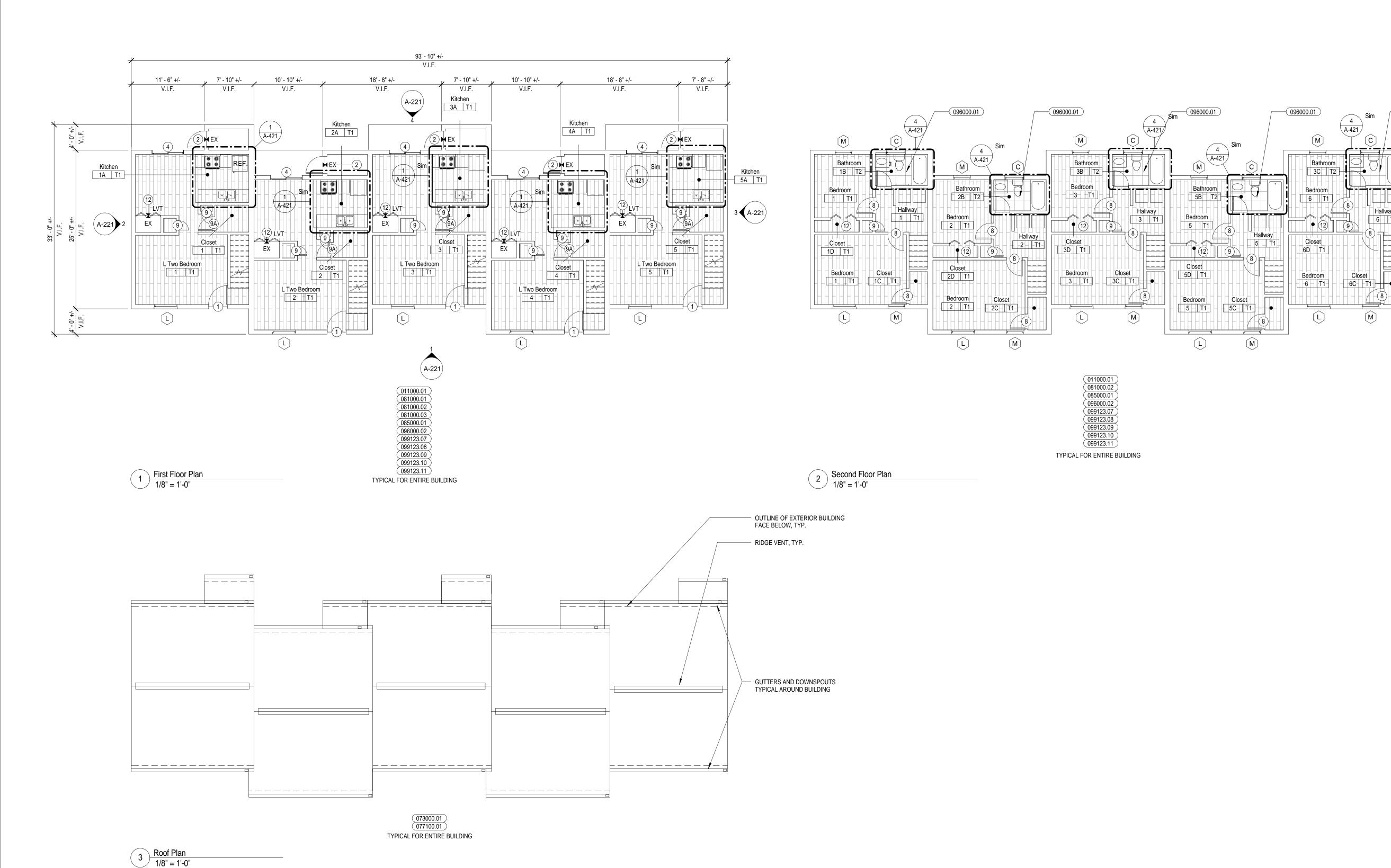
Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct

Pittsburgh, PA 15207

Design Development

ISSUED: October 27, 2017 REVISIONS

| Family Community



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MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL

OF ALL INTERIOR DOORS.

INICIAL	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.

REFERENCED NOTES

DESCRIPTION

MARK

MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

REFERENCED NOTES

		F	INISH SCHEDULE			
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS	
T1	LVT-1	PT-3	RB-3	PT-2		
T2	LVT-2	PT-3	RB-3	PT-2		

- 1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
- 2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
- 3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
- 5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS, CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION

WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS

OTHERWISE NOTED. 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

- 16. NOTES 16 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

LVT = LUXURY VINYL TILE

POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

CPT = CARPET TILE

RB = RUBBER BASE

CT = CERAMIC TILE

___LVT

PT = PAINT

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES. SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME

CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





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> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

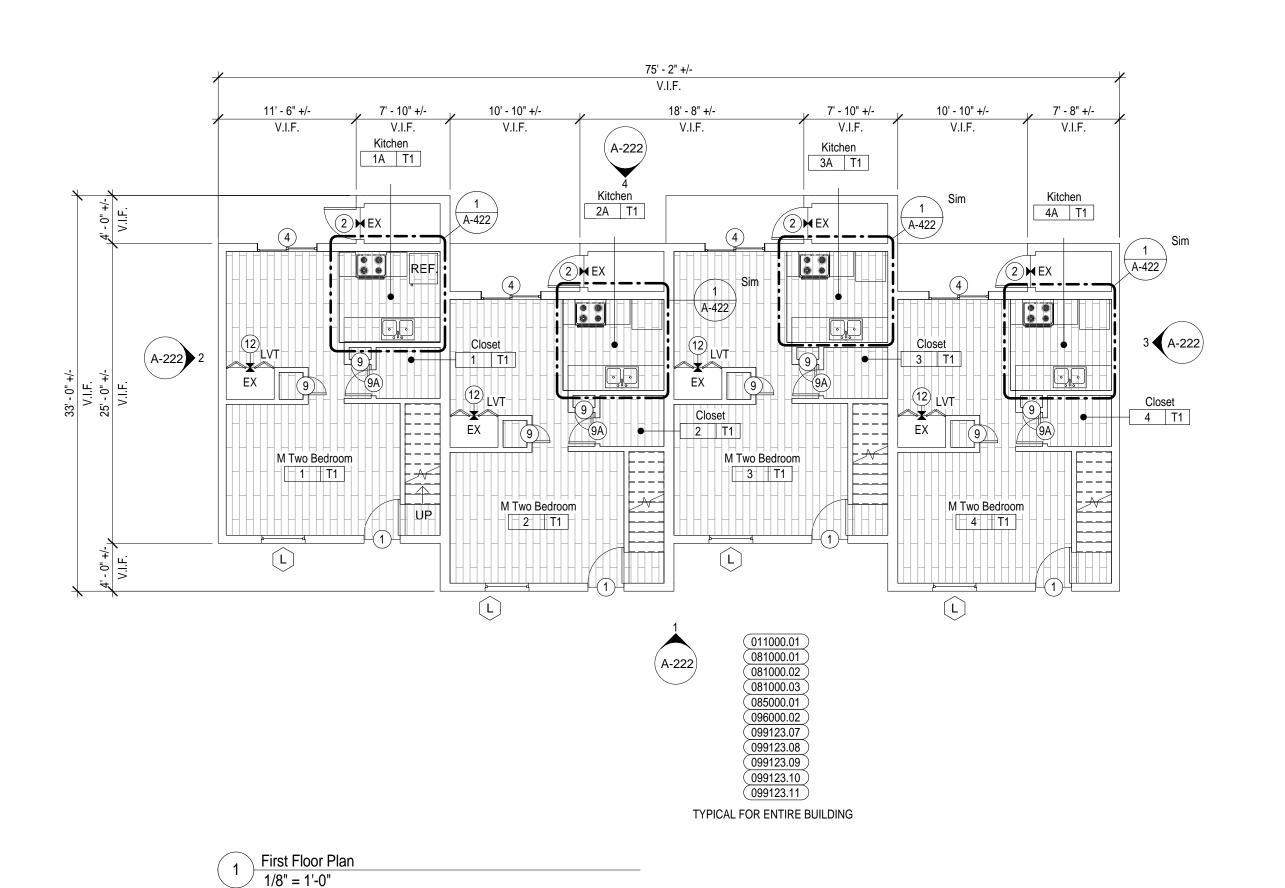
945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community



A-422 L M

TYPICAL FOR ENTIRE BUILDING

OUTLINE OF EXTERIOR BUILDING FACE BELOW RIDGE VENT _____ **GUTTERS AND DOWNSPOUTS** TYPICAL AROUND BUILDING

077100.01 TYPICAL FOR ENTIRE BUILDING

MARK

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL

OF ALL INTERIOR DOORS.

EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.

REFERENCED NOTES

DOORS AND HARDWARE. FURNISH AND INSTALL

081000.03 REMOVE AND DISCARD EXISTING EXTERIOR SLIDING

DESCRIPTION

	REFERENCED NOTES
MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

		F	INISH SCHEDULE		
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS. 2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION. 3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN. 4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.

5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS &

SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS

OTHERWISE NOTED. 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS. 16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S

RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND

DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

RB = RUBBER BASE

CT = CERAMIC TILE

PT = PAINT

POR = PORCELAIN TILE

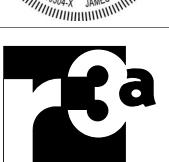
EX = EXISTING TO REMAIN

WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community



1 Front Elevation
1/8" = 1'-0"

1. REFER TO DRAWING A-401 FOR WINDOW TYPES. 2. THROUGH WALL AIR CONDITIONING UNITS NOT SHOWN. REFER TO HVAC DRAWINGS 085000.01 099123.02 TYPICAL IN THIS ENTIRE ELEVATION

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS COMPLIANT WINDOW HARDWARE AT UFAS UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
099123.01	REMOVE AND SALVAGE RAILING. SCRAPE DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.02	PATCH AND PAINT EXISTING BUILDING. LOCATION TO BE VERIFIED IN FIELD. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING IN THE DRAWINGS AND SPECIFICATIONS. AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S 16. NOTES 16 - 18 NOT USED. REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS, CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH

ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL

CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND

DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS, CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION,

CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED

17. NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR EETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER

EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL

INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED

CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE | Exterior WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

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SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

> October 27, 2017 REVISIONS

Elevations



Rear Elevation
1/8" = 1'-0"

085000.01 099123.01

NOTES: 1 REFER TO DRAWING A-401 FOR WINDOW TYPES 2. THROUGH WALL AIR CONDITIONING UNITS NOT SHOWN. REFER TO HVAC DRAWINGS

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS COMPLIANT WINDOW HARDWARE AT UFAS UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
099123.01	REMOVE AND SALVAGE RAILING. SCRAPE DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.02	PATCH AND PAINT EXISTING BUILDING. LOCATION TO BE VERIFIED IN FIELD. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY

DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS

AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT. 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND

CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING

COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND

DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL

ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL

CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND

DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE

PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND

MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE LINLESS OTHERWISE NOTED 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A

SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

CONSTRUCTION NOTES.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR EETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION

DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL

INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE

TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL.

REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance **Demonstration**

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Exterior Elevations



073000.01

077100.01

081000.01

085000.01

TYPICAL FOR ENTIRE BUILDING

073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

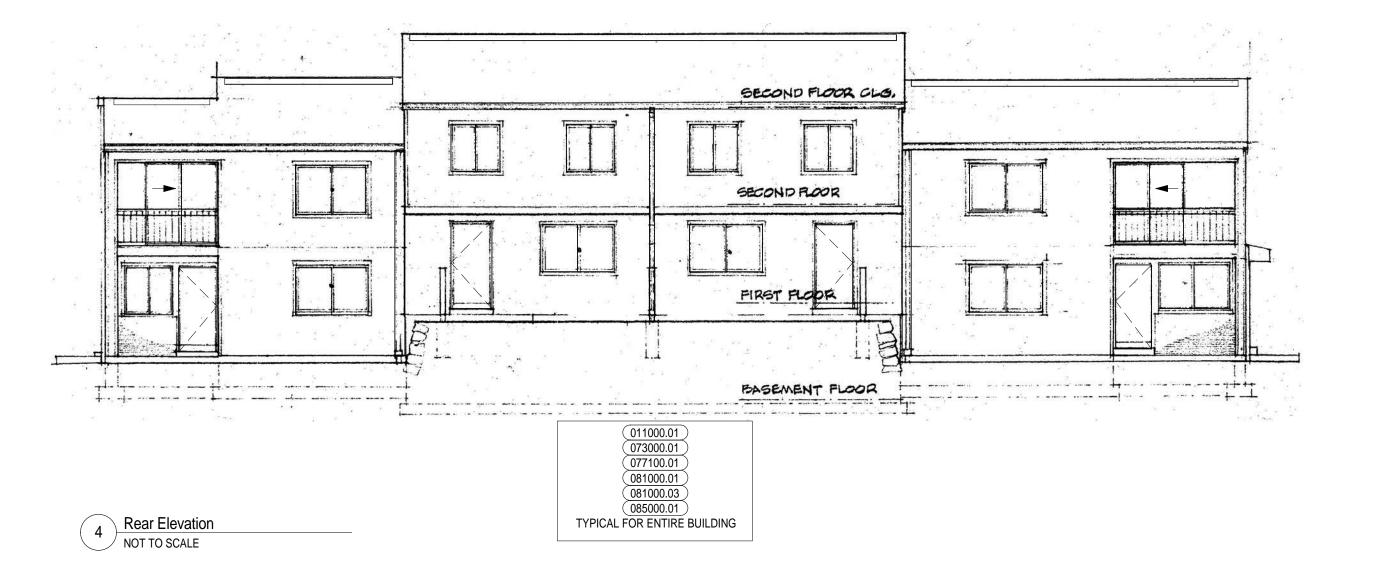
Left Side Elevation / NOT TO SCALE

Front Elevation √ NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 085000.0 TYPICAL FOR ENTIRE BUILDING

Right Side Elevation NOT TO SCALE



REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS

AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND

INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION

SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES.

TYPICAL OF ALL EXTERIOR SLIDING DOORS.

	REFERENCED NOTES
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK, EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

OTHERWISE NOTED.

17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES. SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT

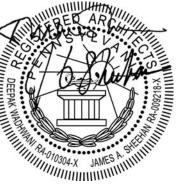
WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS, COLOR TO BE APPROVED BY ARCHITECT.





Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203

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Sustainability

Technology

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Allies & Ross Management and Development Corporation

CONSULTANT:

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community Elevations



1 Front Elevation
NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

Right Side Elevation
NOT TO SCALE

REFERENCED NOTES MARK NOT USED 011000.01 REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS. REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND 081000.01 HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND

012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.

REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES

MARK DESCRIPTION

085000.01

DESCRIPTION

REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.



011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation
NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

Rear Elevation

NOT TO SCALE

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

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ARCHITECT.

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8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

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12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED

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16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

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24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE,

PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

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SCHEDULE.

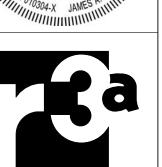
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TB-1 30" AFF TO BOTTOM U.N.O.

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Phone: 412-431-2480

Technology
Sustainability

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CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ED: October 27, 2017
REVISIONS

Family Community
- Type B Exterior
Elevations

R3A PROJECT # 15074B





073000.01 077100.01 081000.01 (085000.01 TYPICAL FOR ENTIRE BUILDING

Front Elevation / NOT TO SCALE



073000.01 077100.01 (081000.01) (085000.01) TYPICAL FOR ENTIRE BUILDING

NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 081000.03 (085000.01) TYPICAL FOR ENTIRE BUILDING

Rear Elevation NOT TO SCALE

	REFERENCED NOTES	
MARK	DESCRIPTION	
011000.01	NOT USED	
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.	
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.	
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.	
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION	

SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES.

TYPICAL OF ALL EXTERIOR SLIDING DOORS.

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85000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL. TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE

DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE

RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND

DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE,

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND

DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S 32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT

TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





Renaissance 3 Architects, P.C. 48 South 14th Street

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> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

CONSTRUCTION

DOCUMENTS

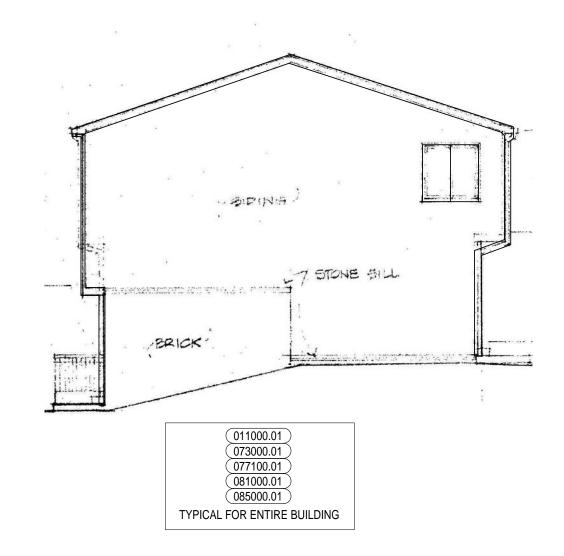
Pittsburgh, PA 15207

ISSUED: October 27, 2017 REVISIONS

Family Community Elevations



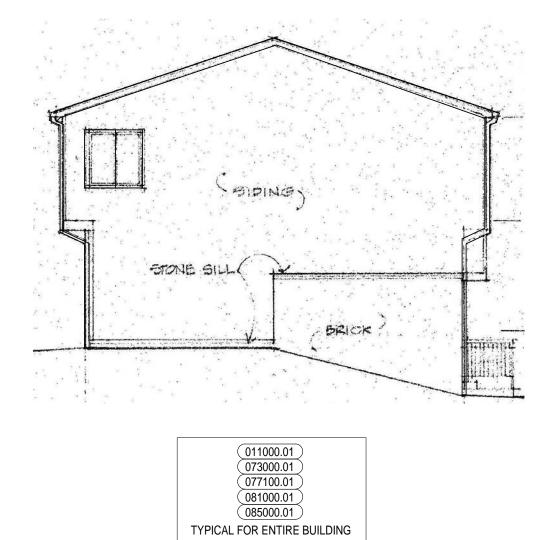
1 Front Elevation NOT TO SCALE



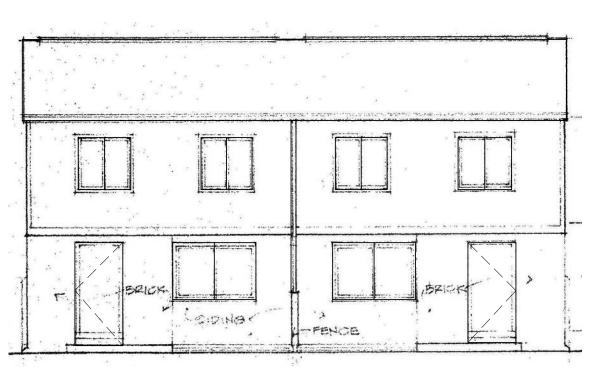
(3)	Right Side Elevation
(J	NOT TO SCALE

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

	REFERENCED NOTES
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.



2 Left Side Elevation
NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

Rear Elevation

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND A REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

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5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR

OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL

EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO

MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS

FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT

WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHBUSE COMMON, ALBURDY ROOM #200

HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY

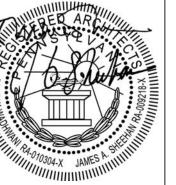
MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM LLN O

TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





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Pittsburgh, PA 15203

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

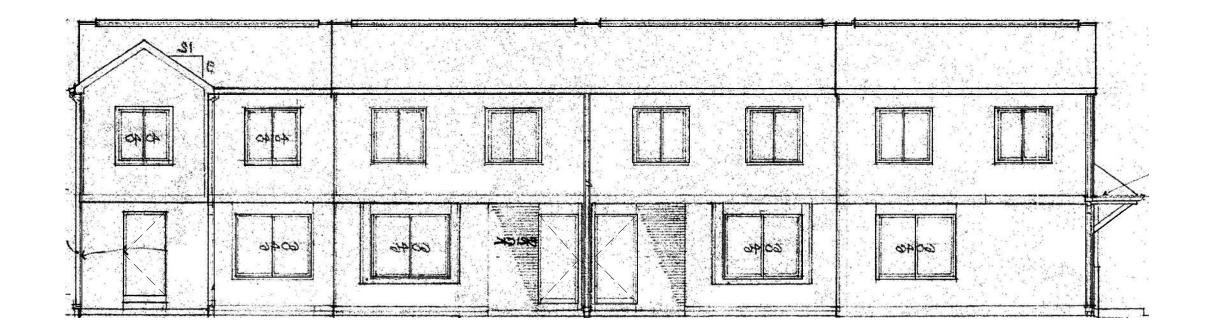
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

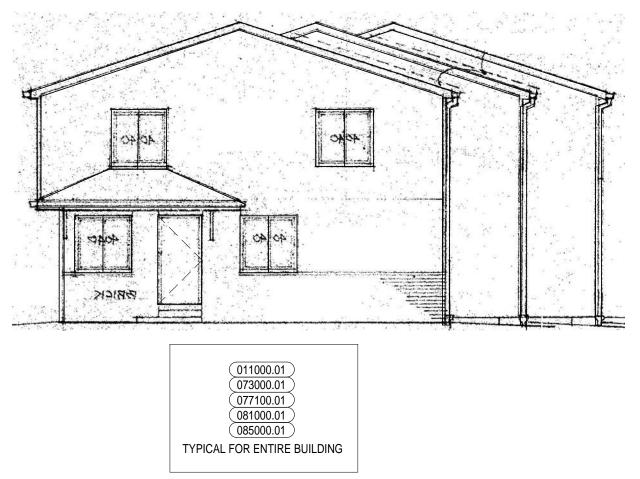
Family Community
- Type D Exterior
Elevations

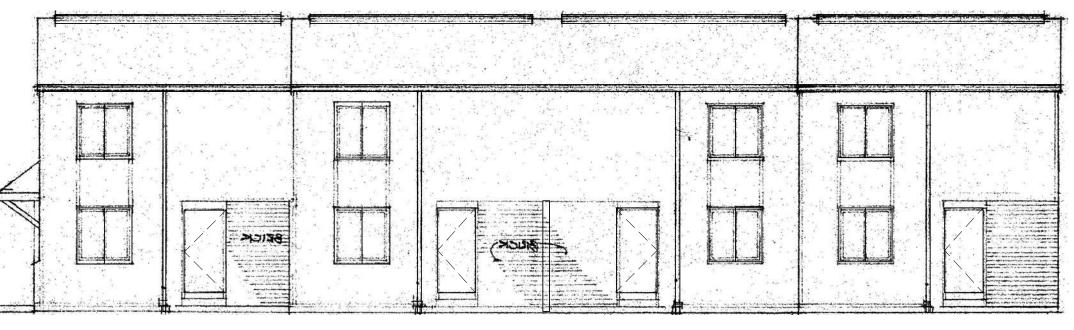
R3A PROJECT # 15074B



Left Side Elevation NOT TO SCALE

Front Elevation NOT TO SCALE





011000.01 073000.01 077100.01 081000.01 081000.03 085000.01 TYPICAL FOR ENTIRE BUILDING

Rear Elevation NOT TO SCALE

Right Side Elevation NOT TO SCALE

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION

SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES.

TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES DESCRIPTION REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND 085000.01 HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED.

TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

073000.01 (077100.01) 081000.01 (085000.01) TYPICAL FOR ENTIRE BUILDING RECOMMENDATIONS FOR WARRANTY.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER, EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE

FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS

OTHERWISE NOTED. 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION. CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES. SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR

TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME

CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

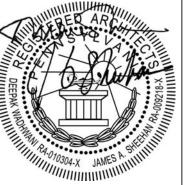
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT

WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





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> Technology Sustainability

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Allies & Ross Management and Development Corporation

CONSULTANT:

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct

Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

October 27, 2017

REVISIONS

Family Community

Elevations

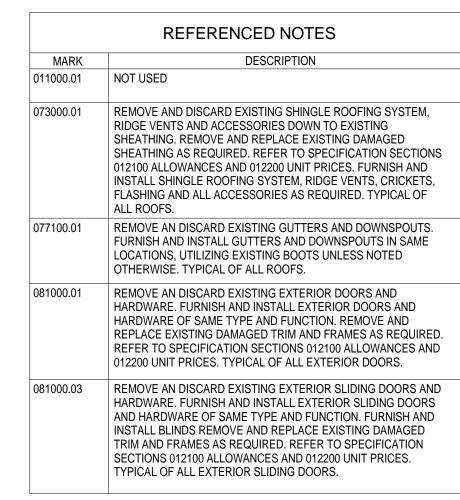


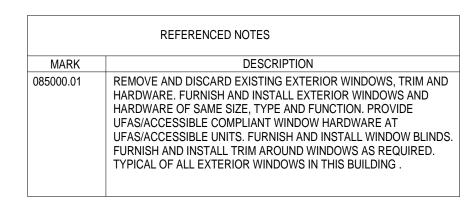
Front Elevation NOT TO SCALE



073000.01 077100.01 081000.01 (085000.01 TYPICAL FOR ENTIRE BUILDING

Right Side Elevation







073000.0 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

/ NOT TO SCALE



073000.01 077100.01 081000.01 081000.03 085000.01 TYPICAL FOR ENTIRE BUILDING

Rear Elevation

NOT TO SCALE

GENERAL NOTES

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REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE

CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS &

FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE

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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT

SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

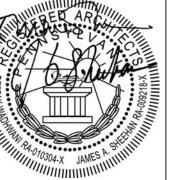
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT

TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





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48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Technology Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

945 Roselle Ct Pittsburgh, PA 15207

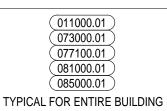
CONSTRUCTION

DOCUMENTS

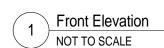
October 27, 2017 REVISIONS

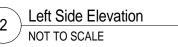
Family Community Accessible Exterior Elevations

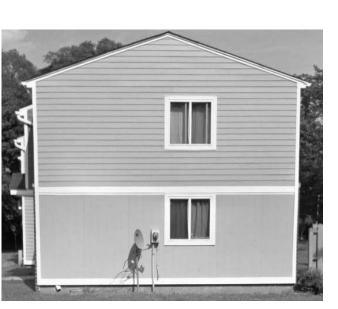










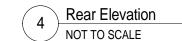


011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING





011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING



	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

GENERAL NOTES

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CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

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6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
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OTHERWISE NOTED.

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- 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

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 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING
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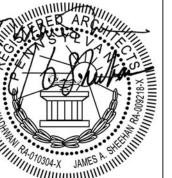
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 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

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Renaissance 3 Architects, P.C.

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Technology
Sustainability

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ROHIETED FOR

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

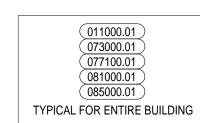
Family Community
- Type G Exterior
Elevations

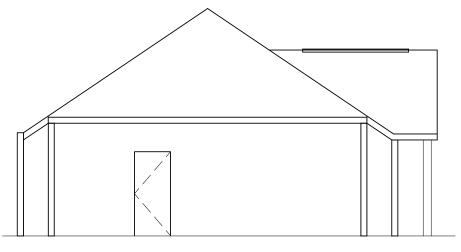
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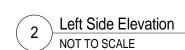
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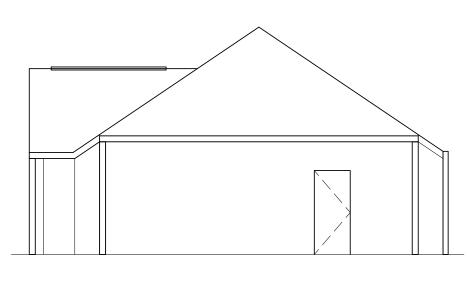




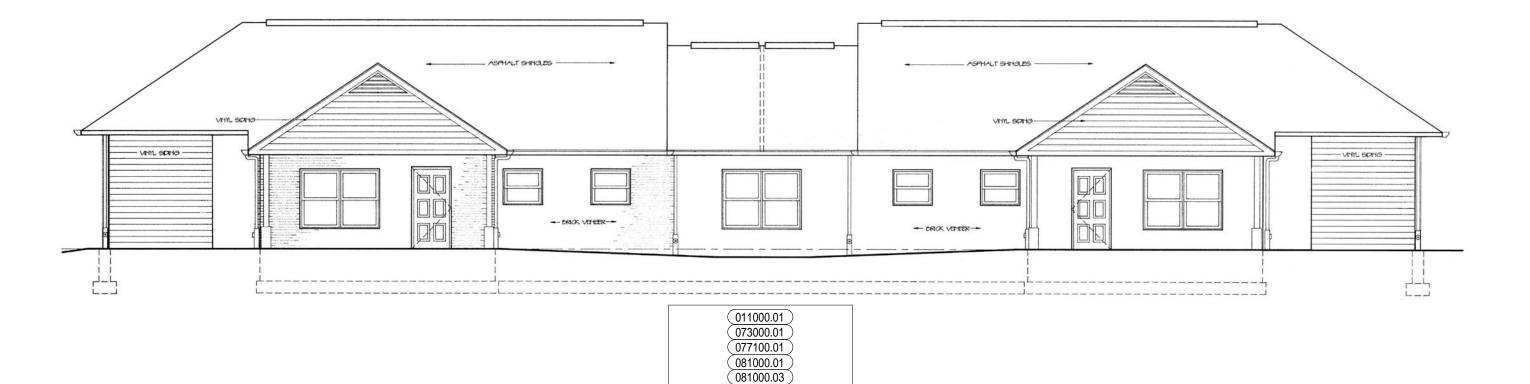




1 Front Elevation
NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING



085000.01

TYPICAL FOR ENTIRE BUILDING

Right Side Elevation
NOT TO SCALE



REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

	REFERENCED NOTES
MARK	DESCRIPTION
5000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

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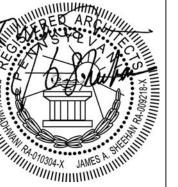
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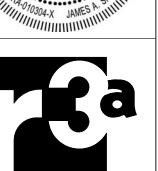
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Technology

Sustainability

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CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community
- Type H
UFAS/Accessible
Exterior
Elevations

R3A PROJECT # 15074B

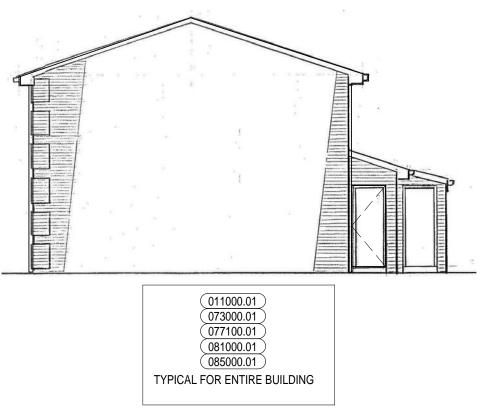




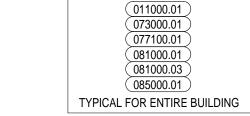
011000.01 073000.01 077100.01 081000.01 085000.01 TYPICAL FOR ENTIRE BUILDING

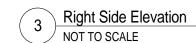


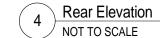












	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL

MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING
BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE
DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY
THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS
& EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF
DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED
TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE
ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR
EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO
MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS
OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT
SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE
HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT
ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

DEEPAK MADINAL PARTY AND SHIPMEN SHIPMEN AND SHIPMEN SHIPMEN AND SHIPMEN S



Renaissance 3 Architects, P.C.

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Pittsburgh, PA 15203

Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

Technology

Sustainability

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Allies & Ross Management and

Development

Corporation

CONSULTANT:

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community
- Type J UFAS/
Accessible
Exterior

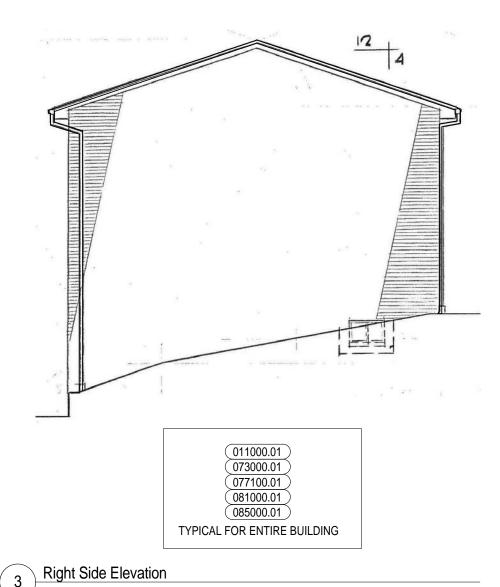
Elevations

R3A PROJECT # 15074B



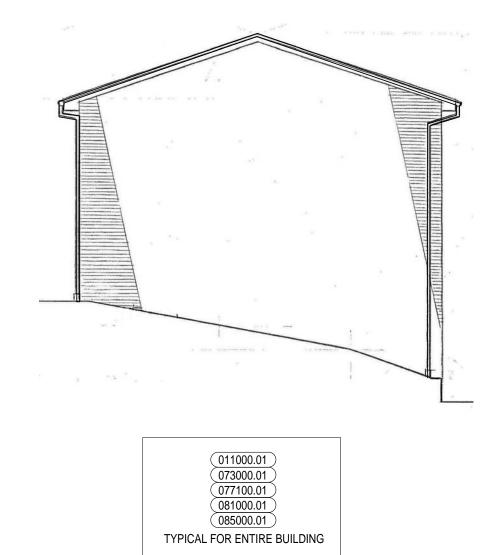
Front Elevation NOT TO SCALE

NOT TO SCALE



REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.



Left Side Elevation NOT TO SCALE



073000.01 077100.01 081000.01 081000.03 085000.01 TYPICAL FOR ENTIRE BUILDING

Rear Elevation NOT TO SCALE

GENERAL NOTES

I. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE

CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS

NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100

ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED

OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S

RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE

AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT

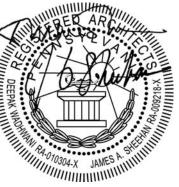
WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

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33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND





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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

Pittsburgh, PA 15207

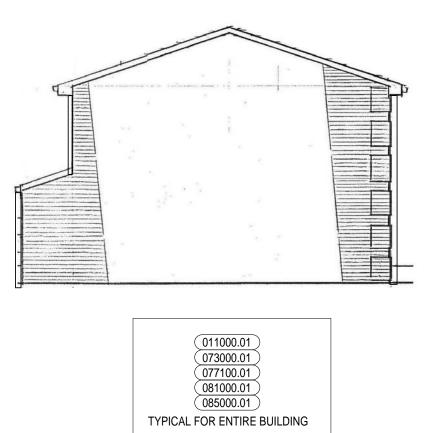
Design Development

ISSUED: October 27, 2017

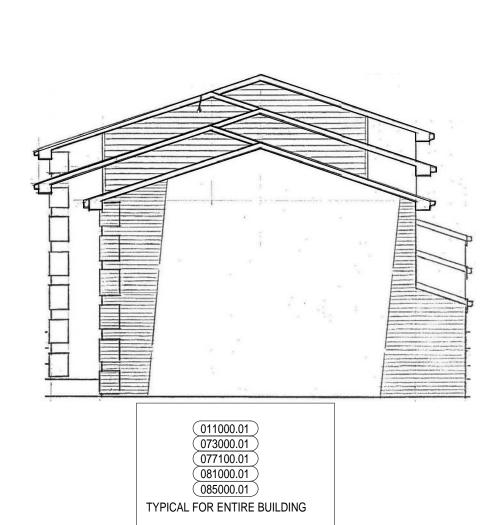
REVISIONS

Family Community | Elevations





Left Side Elevation NOT TO SCALE



073000.01 077100.01 081000.01 081000.03

085000.01

TYPICAL FOR ENTIRE BUILDING

Right Side Elevation

Front Elevation

Rear Elevation NOT TO SCALE

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES.

TYPICAL OF ALL EXTERIOR SLIDING DOORS.

	REFERENCED NOTES
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLIND FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION

CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S

REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS. PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" & "012200 UNIT PRICES" FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED

TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING

BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED. 17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE,

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE

HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND

SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





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> > Technology

Sustainability

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CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct

CONSTRUCTION

DOCUMENTS

Pittsburgh, PA 15207

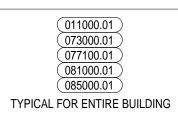
ISSUED: October 27, 2017

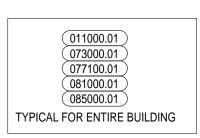
REVISIONS

Family Community Elevations

R3A PROJECT # 15074B



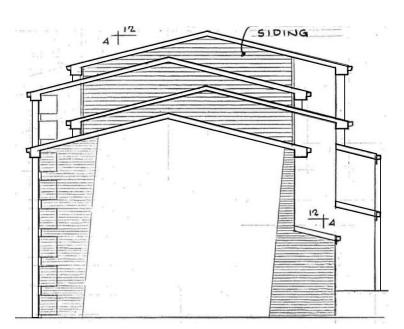


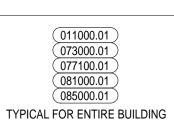


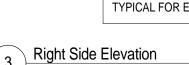
SIDING

1 Front Elevation
NOT TO SCALE









NOT TO SCALE



011000.01 073000.01 077100.01 081000.01 081000.03 085000.01 TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation
NOT TO SCALE

	REFERENCED NOTES
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND

HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND

REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED.

REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND

REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND

HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS

AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND

INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED

TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION

SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES.

TYPICAL OF ALL EXTERIOR SLIDING DOORS.

HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND

012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.

065000.01	HARDWARE. FURNISH AND II HARDWARE OF SAME SIZE, T UFAS/ACCESSIBLE COMPLIA UFAS/ACCESSIBLE UNITS. FU FURNISH AND INSTALL TRIM TYPICAL OF ALL EXTERIOR V

MARK DESCRIPTION 085000.01 REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED

ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

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16. NOTES 16 - 18 NOT USED.

- 17. NOTES 16 18 NOT USED.
- 18. NOTES 16 18 NOT USED.
- 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
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 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
 25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING
- HEIGHTS.

 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE

 COMPLIANCE INFORMATION
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 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT

- SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

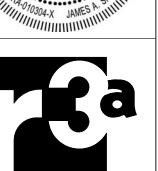
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HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND

- 32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL.
- REFER TO 090000 FOR SPECIFICATIONS.

 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





Renaissance 3 Architects, P.C.

48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

Design
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AROUTETETS P.O.

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

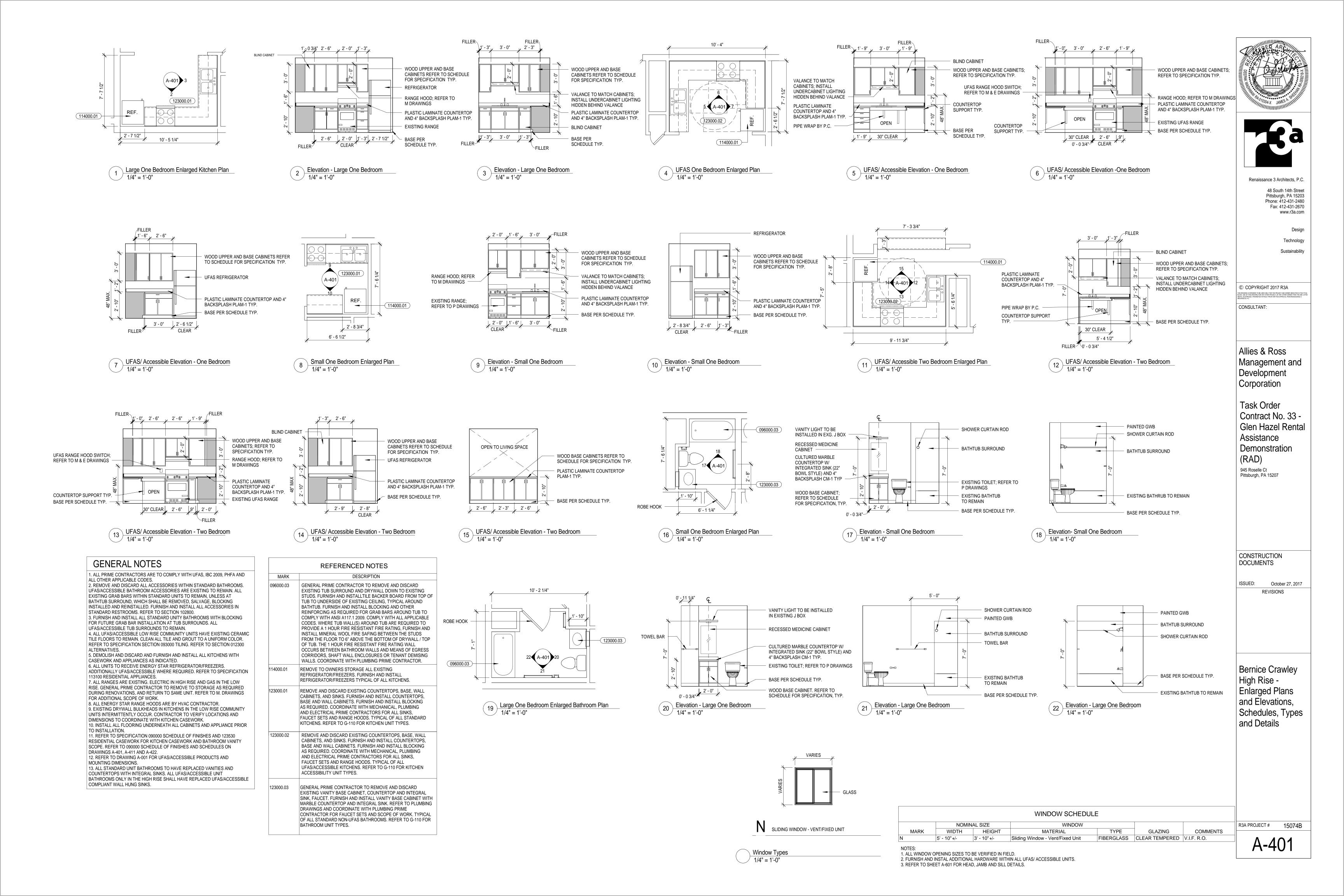
ISSUED: October 27, 2017

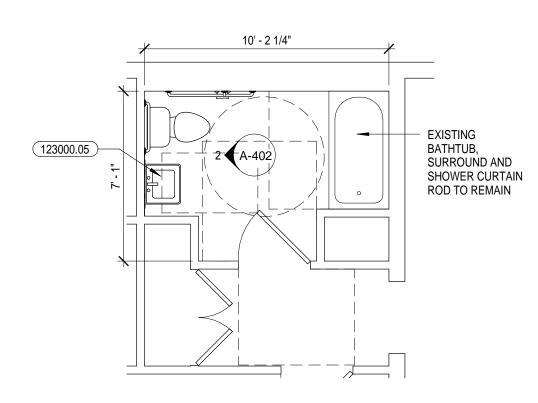
REVISIONS

Family Community
- Type M Exterior
Elevations

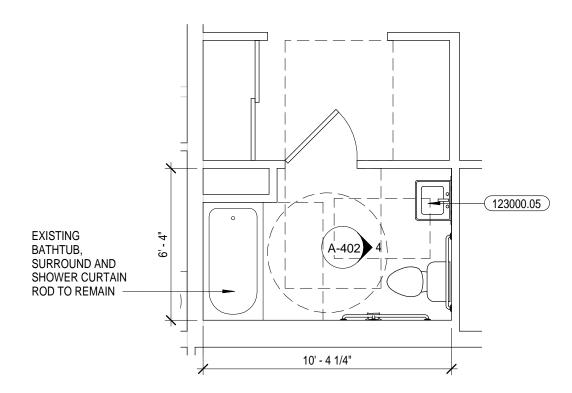
R3A PROJECT # 15074B

A-222

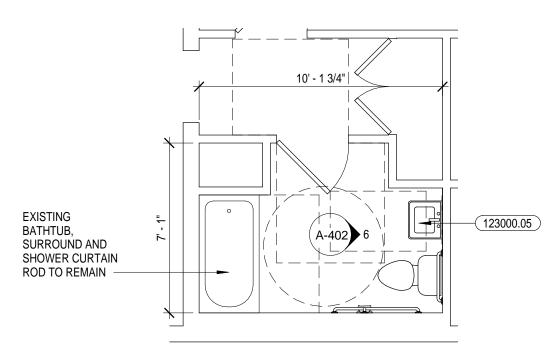




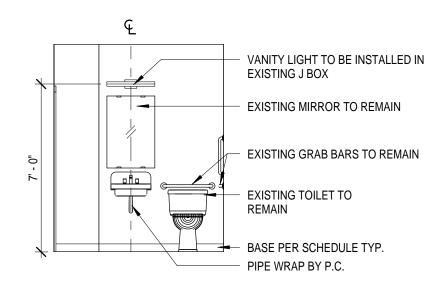
1 UFAS One Bedroom Enlarged Bathroom Plan 1/4" = 1'-0"



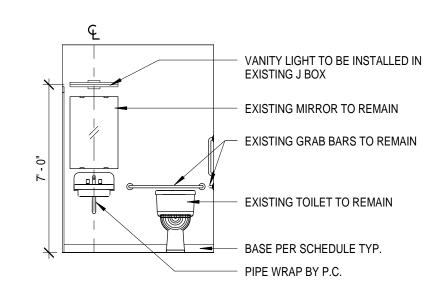
3 UFAS Two Bedroom Enlarged Bathroom Plan A 1/4" = 1'-0"



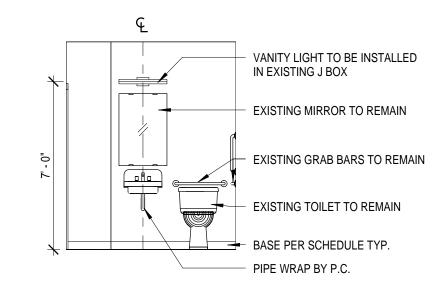
5 UFAS Two Bedroom Enlarged Bathroom Plan B 1/4" = 1'-0"



UFAS Elevation - One Bedroom 1/4" = 1'-0"



UFAS Elevation - Two Bedroom Bathroom A 1/4" = 1'-0"



6 UFAS Elevation - Two Bedroom Bathroom B
1/4" = 1'-0"

GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.

FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS.
ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.

7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW

RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND

DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.

10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.

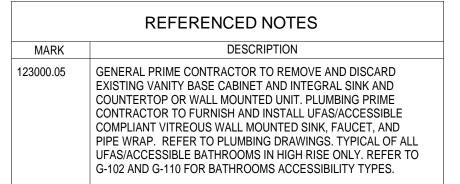
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON

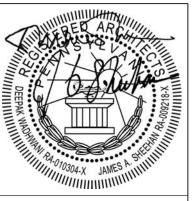
DRAWINGS A-401, A-411 AND A-422.

12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOLINTING DIMENSIONS

MOUNTING DIMENSIONS.

13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.







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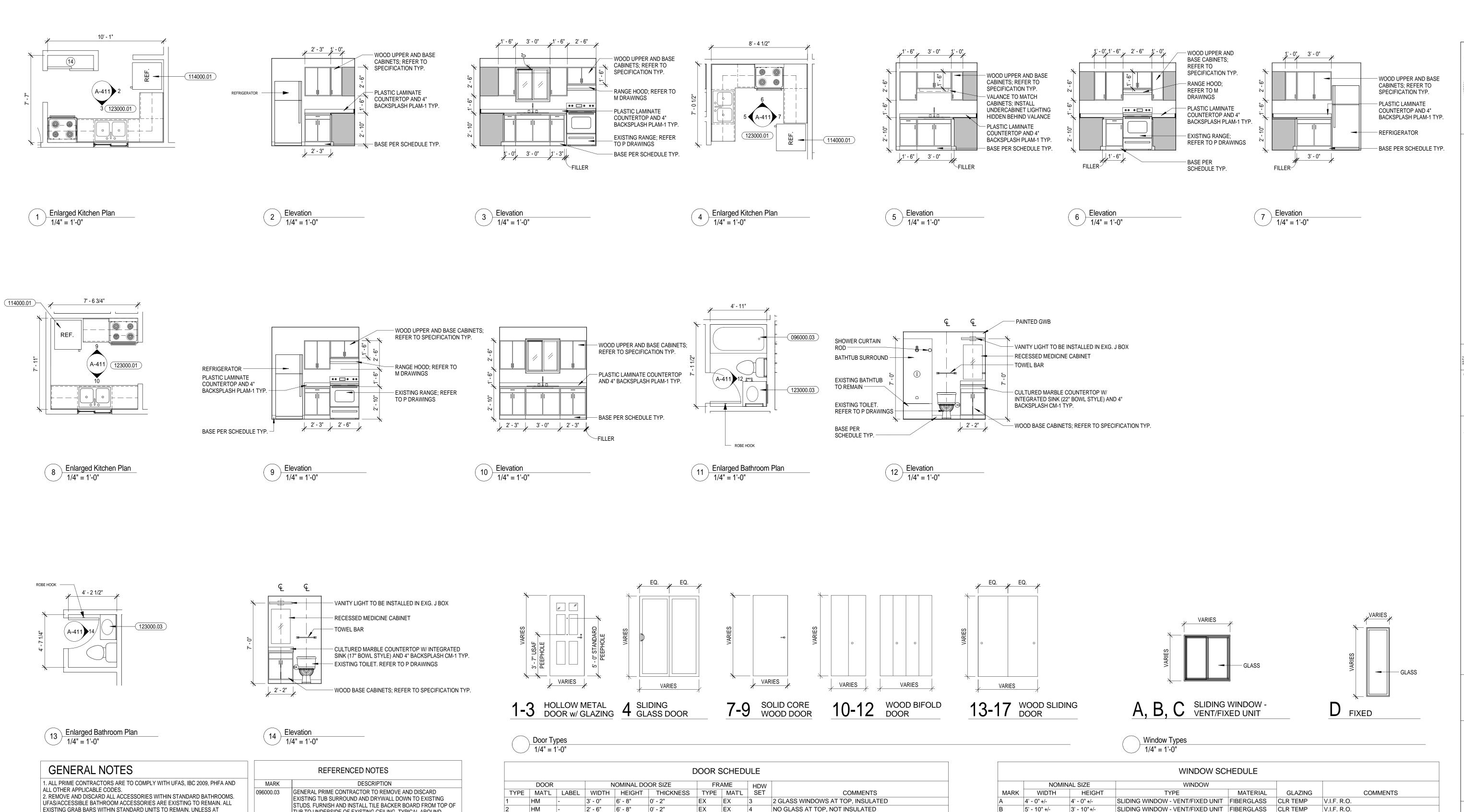
CONSTRUCTION DOCUMENTS

SSUED: October 27, 2017
REVISIONS

Bernice Crawley
High Rise Enlarged
UFAS/Accessible
Plans and
Elevations,
Schedules, Types
and Details

R3A PROJECT # 15074B

A-402



BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800. 3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN. 4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED. 6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.

7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK. 10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.

11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.

12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.

13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

		REFERENCED NOTES
	MARK	DESCRIPTION
C	096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING
1	114000.01	WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR. REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
	123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED.

COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES. GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO

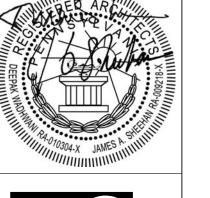
G-110 FOR BATHROOM UNIT TYPES.

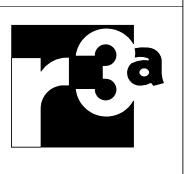
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	НМ	-	3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	НМ	-	2' - 6"	6' - 8"	0' - 2"	EX	EX	4	NO GLASS AT TOP, NOT INSULATED
3	НМ	-	2' - 8"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
4	НМ	-	5' - 9"	7' - 0"	0' - 2"	EX	EX	6	
7	WD	-	2' - 6"	6' - 8"	0' - 2"	EX	EX	1	60 MIN. FIRE RATED DOOR, CONTINUOUS SMOKE GASKETING, RUBBER SWEEP.
8	WD	-	2' - 8"	6' - 8"	0' - 2"	EX	EX	1	
9	WD	-	3' - 0"	6' - 8"	0' - 2"	EX	EX	2	
10	WD	-	3' - 6"	6' - 8"	0' - 2"	EX	EX	7	
11	WD	-	2' - 6"	6' - 8"	0' - 2"	EX	EX	7	
12	WD	-	3' - 0"	6' - 8"	0' - 2"	EX	EX	7	
13	WD	-	5' - 2 1/2"	6' - 8"	0' - 2"	EX	EX	5	
14	WD	-	4' - 0"	6' - 8"	0' - 2"	EX	EX	5	
15	WD	-	6' - 0"	6' - 8"	0' - 2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT 2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR 3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.

4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.





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> Design Technology Sustainability

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Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community - Type A Enlarged Plans and Elevations, Schedules, Types and Details

SLIDING WINDOW - VENT/FIXED UNIT FIBERGLASS CLR TEMP V.I.F. R.O.

FIBERGLASS CLR TEMP V.I.F. R.O.

3' - 0" +/-

2' - 0" +/-

3' - 0" +/-

6' - 0" +/-

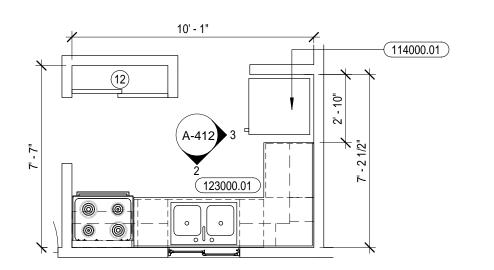
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.

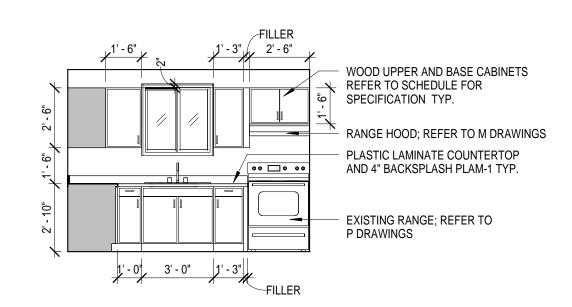
3. REFER TO SHEET A-601 FOR HEAD, JAMB, AND SILL DETAILS

FIXED

2. FURNISH AND INSTAL ADDITIONAL HARDWARE WITHIN ALL UFAS/ ACCESSIBLE UNITS.

R3A PROJECT# 15074B



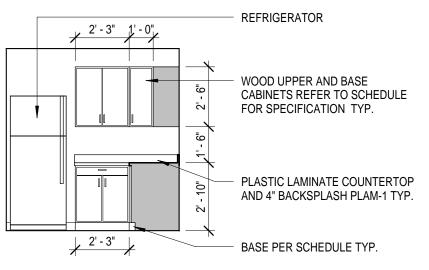


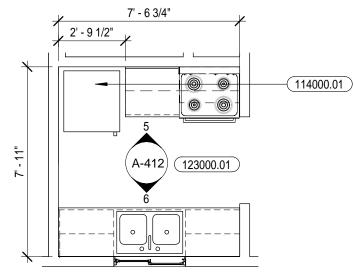
VANITY LIGHT TO BE INSTALLED IN EXG. J BOX

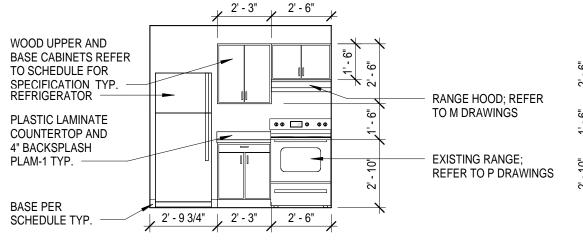
- WOOD BASE CABINETS; REFER TO SCHEDULE FOR SPECIFICATION TYP.

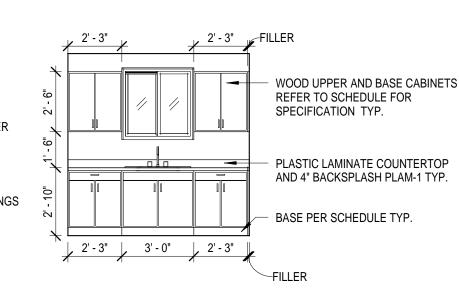
CULTURED MARBLE COUNTERTOP W/ INTEGRATED SINK (22" BOWL STYLE) AND 4" BACKSPLASH CM-1 TYP

RECESSED MEDICINE CABINET

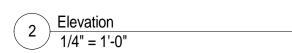


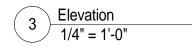


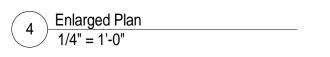


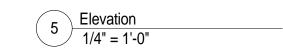


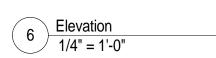


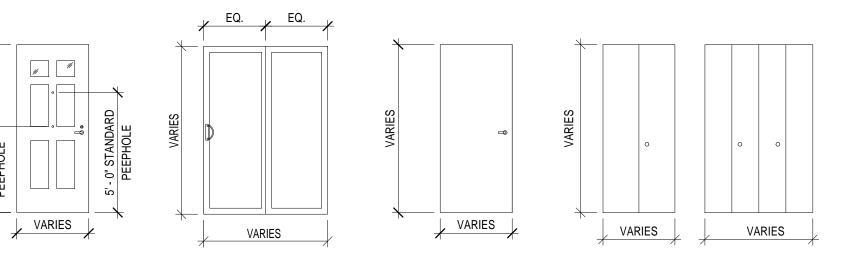








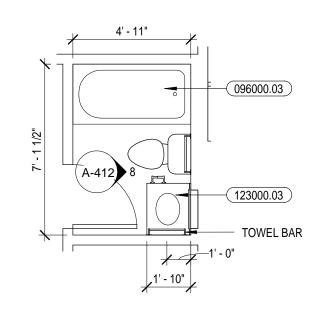




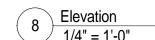
1-3 HOLLOW METAL DOOR W/ GLAZING 4 SLIDING GLASS DOOR 7-9 SOLID CORE WOOD DOOR

10-12 WOOD BIFOLD DOOR

13-17 WOOD SLIDING







SHOWER CURTAIN ROD

BATHTUB SURROUND

EXISTING TOILET.
REFER TO P DRAWINGS

BASE PER SCHEDULE TYP.

EXISTING BATHTUB

TO REMAIN

GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES. 2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL

EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800. 3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN. 4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300

ALTERNATIVES. 5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.

6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES. 7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED

DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR. 9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.

10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR

TO INSTALLATION. 11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON

DRAWINGS A-401, A-411 AND A-422. 12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.

13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

0	Elevation	
0	1/4" = 1'-0"	

	REFERENCED NOTES
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP O TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUBE THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.

GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD

CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK.

G-110 FOR BATHROOM UNIT TYPES.

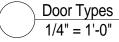
EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL

SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET

WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO

PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME

TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO

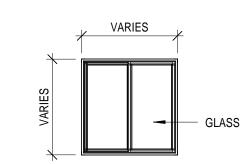


						D	OOR S	CHEDU	JLE
	DOOR		N	IOMINAL DO	OR SIZE	FR	AME	HDW	
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	HM	-	3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM	-	2' - 6"	6' - 8"	0' - 2"	EX	EX	4	NO GLASS AT TOP, NOT INSULATED
3	HM	-	2' - 8"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
4	НМ		5' - 9"	7' - 0"	0' - 2"	EX	EX	6	
8	WD	-	2' - 8"	6' - 8"	0' - 2"	EX	EX	1	
9	WD	-	3' - 0"	6' - 8"	0' - 2"	EX	EX	1	
10	WD	-	3' - 6"	6' - 8"	0' - 1 1/2"	EX	EX	7	
11	WD	-	2' - 6"	6' - 8"	0' - 1 1/2"	EX	EX	7	
12	WD	-	4' - 0"	6' - 8"	0' - 2"	EX	EX	7	
13	WD	-	5' - 2 1/2"	6' - 8"	0' - 2"	EX	EX	5	
14	WD	-	3' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	5	
15	WD	-	3' - 6"	6' - 8"	0' - 2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS. 2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.

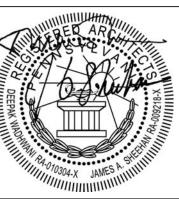
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES. 4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



Window Types 1/4" = 1'-0"

			WINDOV	V SCHEDULE		
	NOMI	NAL SIZE	WINDO	W		
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS
A	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	. CLR TEMP	V.I.F. R.O.
В	5' - 10" +/-	3' - 10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	. CLR TEMP	V.I.F. R.O.
С	3' - 0" +/-	3' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	. CLR TEMP	V.I.F. R.O.

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS





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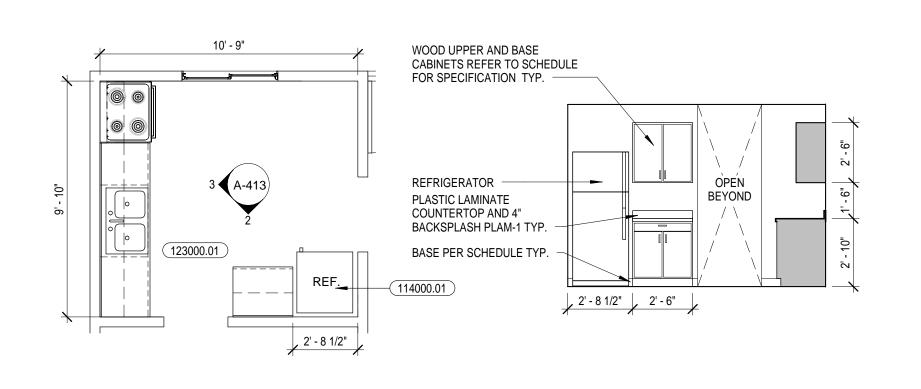
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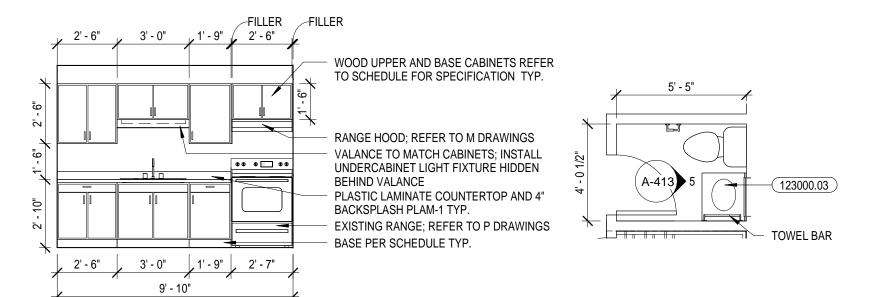
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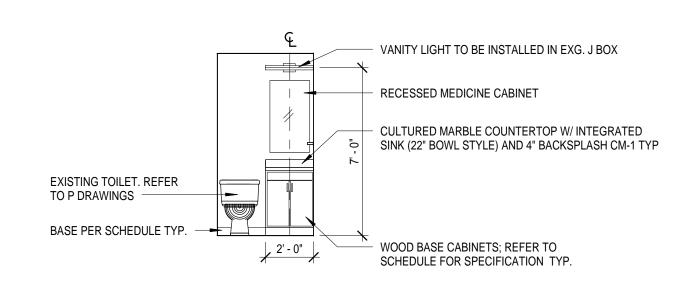
ISSUED: October 27, 2017 REVISIONS

Family Community - Type B Enlarged Plans and Elevations, Schedules, Types and Details

R3A PROJECT# 15074B







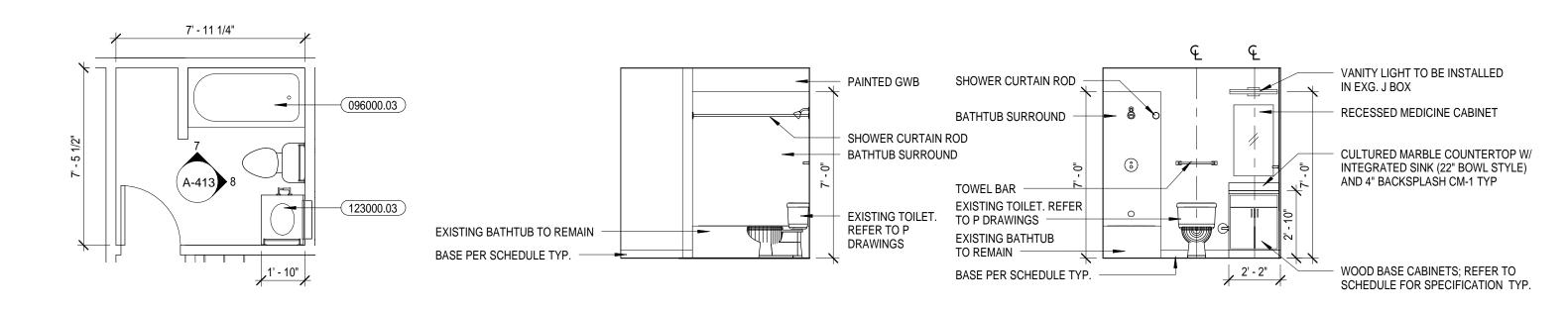
1 Enlarged Plan 1/4" = 1'-0"

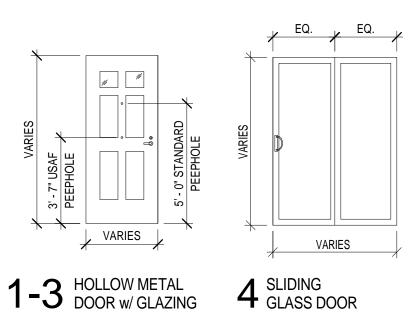
2 Elevation 1/4" = 1'-0"

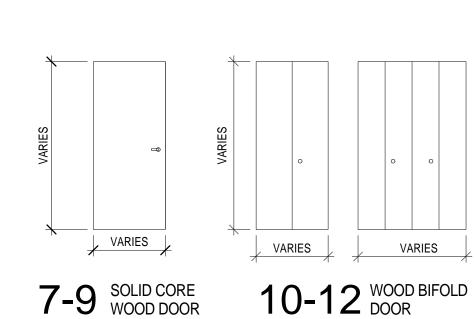
3 Elevation 1/4" = 1'-0"

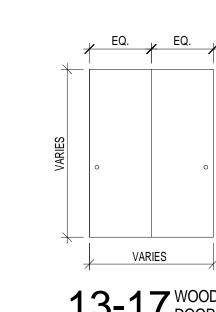
4 Enlarged Plan
1/4" = 1'-0"

5 Elevation 1/4" = 1'-0"









13-17 WOOD SLIDING DOOR

6 Enlarged Plan 1/4" = 1'-0"

8 Elevation

Door Types 1/4" = 1'-0"

GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES. 2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800. 3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN. 4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.

6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES. 7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW

RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK. 10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR

11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.

12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS. 13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

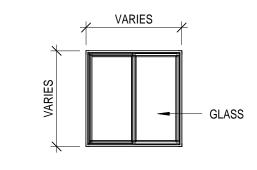
	REFERENCED NOTES
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

						DOOR S	SCHED	ULE	
	DOOR		N	OMINAL DO	OR SIZE	FR	AME	HDW	
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	НМ		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
8	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
12	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	7	
15	WD		6' - 0"	6' - 8"	0' - 2"	EX	EX	5	
16	WD		2' - 10"	6' - 8"	0' - 2"	EX	EX	5	
17	WD		5' - 0"	6' - 8"	0' - 2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT 2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR

3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES. 4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

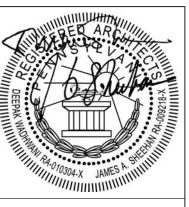


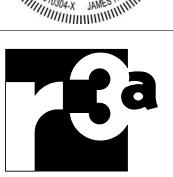
SLIDING WINDOW - VENT FIXED

√ Window Types [/] 1/4" = 1'-0"

WINDOW SCHEDULE								
	NOMINAL SIZE WINDOW							
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS		
A	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.		
E	5' - 10" +/-	4' - 3 1/2" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.		

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS





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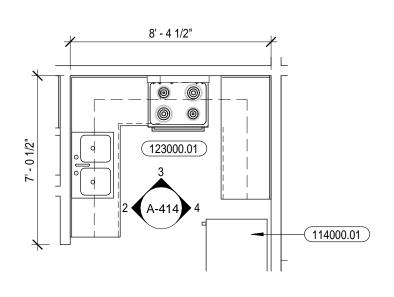
CONSTRUCTION

DOCUMENTS

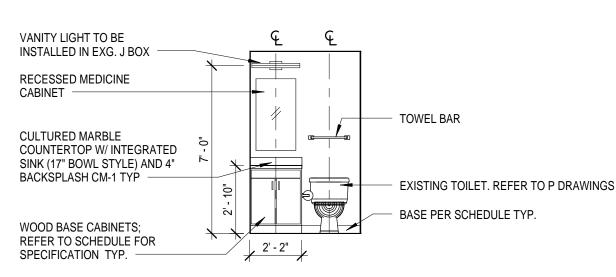
October 27, 2017 REVISIONS

Family Community - Type C Enlarged Plans and Elevations, Schedules, Types and Details

R3A PROJECT # 15074B



1 Enlarged Plan 1/4" = 1'-0"





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CONSTRUCTION

DOCUMENTS

Pittsburgh, PA 15207

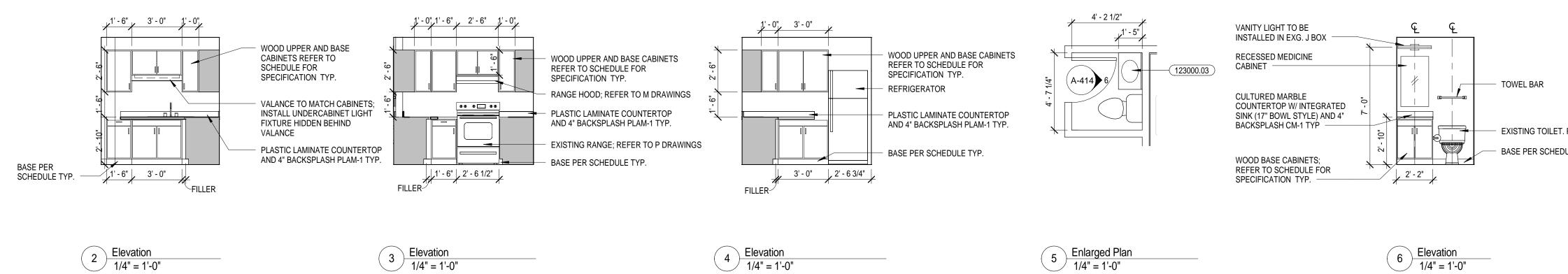
ISSUED: October 27, 2017 REVISIONS

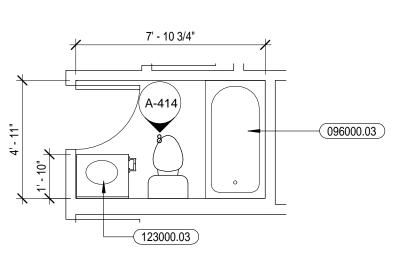
Family Community - Type D Enlarged Plans and Elevations,

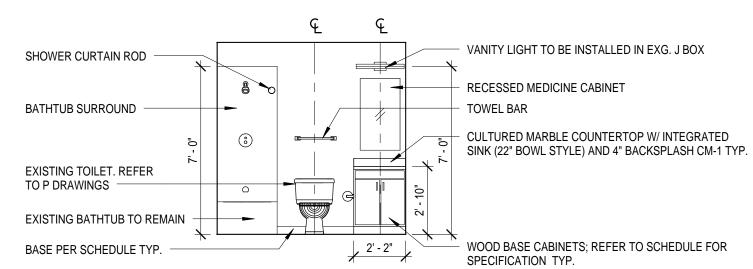
Schedules, Types

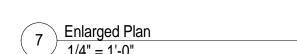
and Details

R3A PROJECT # 15074B









GENERAL NOTES

CASEWORK AND APPLIANCES AS INDICATED.

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES. 2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800. 3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN. 4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES. 5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH

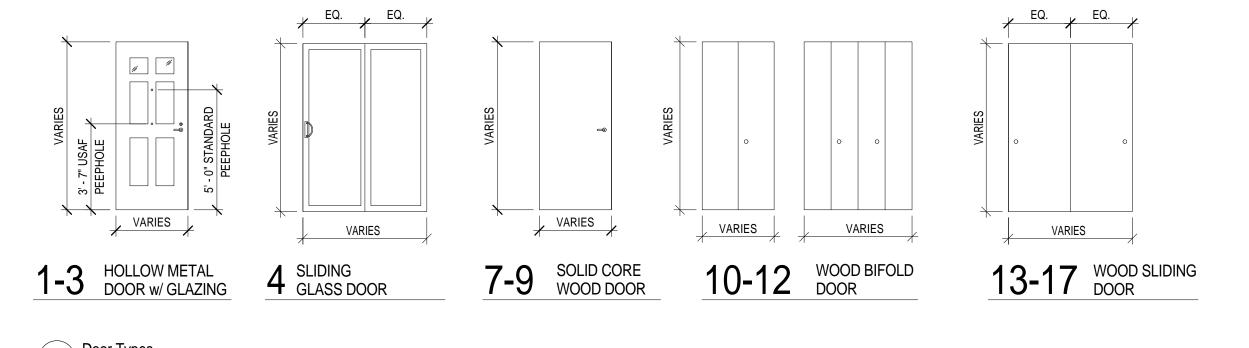
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES. 7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS

FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR. 9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK. 10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR

TO INSTALLATION. 11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422. 12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND

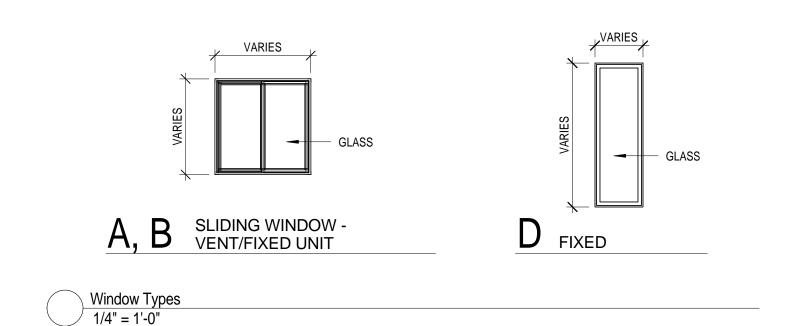
MOUNTING DIMENSIONS. 13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

	REFERENCED NOTES
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABL CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AN INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FOR THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRASINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIF CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.



						D	OOR S	CHED	JLE
DOOR			NOMINAL DOOR SIZE			FR	FRAME		
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	НМ		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
7	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	60 MIN. FIRE RATED DOOR, CONTINUOUS SMOKE GASKETING, RUBBER SWEEPS
8	WD		2' - 8"	6' - 8"	0' - 2"	EX	EX	1	
12	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	7	
15	WD		6' - 0"	6' - 8"	0' - 2"	EX	EX	5	

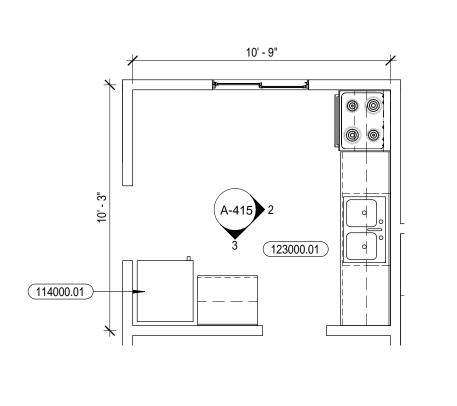
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS. 2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING. 3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES. 4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

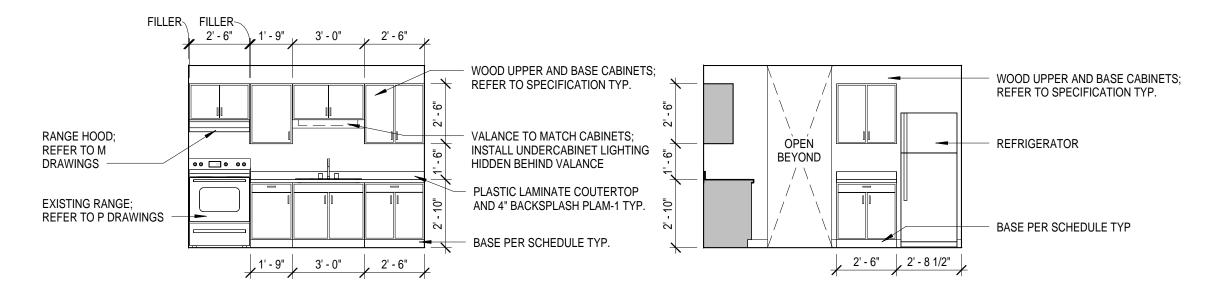


WINDOW SCHEDULE									
	NOMIN	IAL SIZE	WINDOW						
WT	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS			
Α	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.			
В	5' - 10" +/-	3' - 10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.			
D	2' - 0" +/-	6' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.			

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD



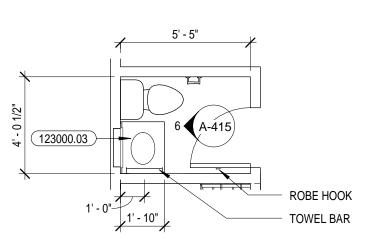


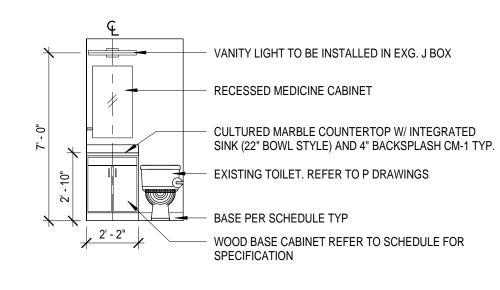
SHOWER CURTAIN ROD

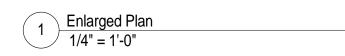
EXISTING BATHTUB TO REMAIN

BASE PER SCHEDULE TYP.

BATHTUB SURROUND







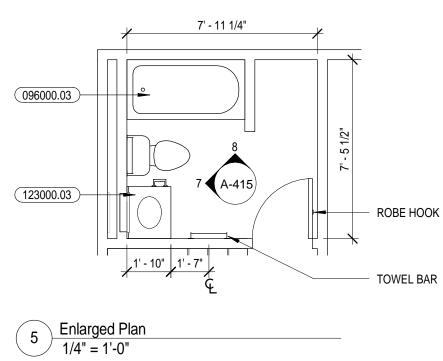
2 Elevation 1/4" = 1'-0"

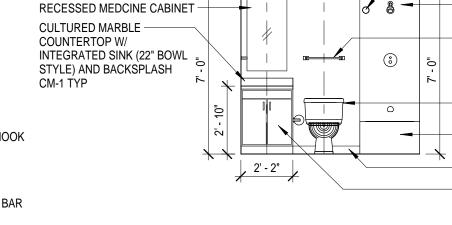
3 Elevation 1/4" = 1'-0"

8 Elevation 1/4" = 1'-0"

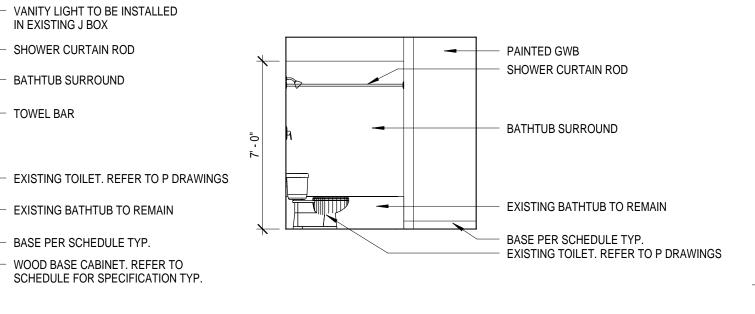
4 Enlarged Plan 1/4" = 1'-0"

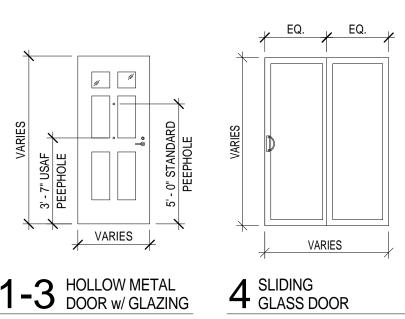
6 Elevation 1/4" = 1'-0"



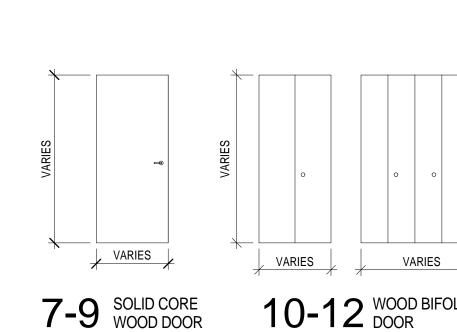


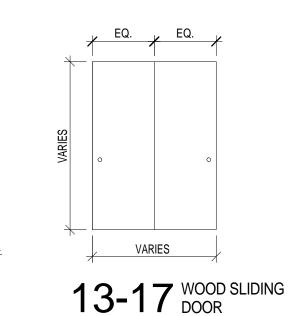
7 Elevation 1/4" = 1'-0"





Door Types 1/4" = 1'-0"





Allies & Ross Management and Development Corporation

> Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct

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Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community - Type E Enlarged Plans and Elevations, Schedules, Types and Details

R3A PROJECT # 15074B

GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES. 2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS.

UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800. 3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN. 4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMI TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED. 6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.

7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR. 9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY

UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK. 10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION. 11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530

RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422. 12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND

MOUNTING DIMENSIONS. 13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

		REFERENCED NOTES
D	MARK	DESCRIPTION
MIC	096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
ON	114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
O S Y	123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
OR	123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

	DOOR SCHEDULE								
DOOR			NOMINAL DOOR SIZE			FR	FRAME		
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
8	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
9	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	2	
15	WD		6' - 0"	6' - 8"	0' - 2"	EX	EX	5	
16	WD		2' - 10"	6' - 8"	0' - 2"	EX	EX	5	
17	WD		5' - 0"	6' - 8"	0' - 2"	EX	EX	5	

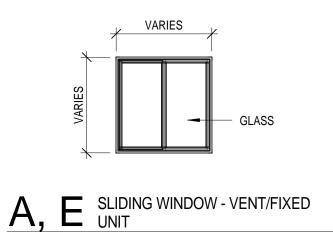
EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS. 2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED

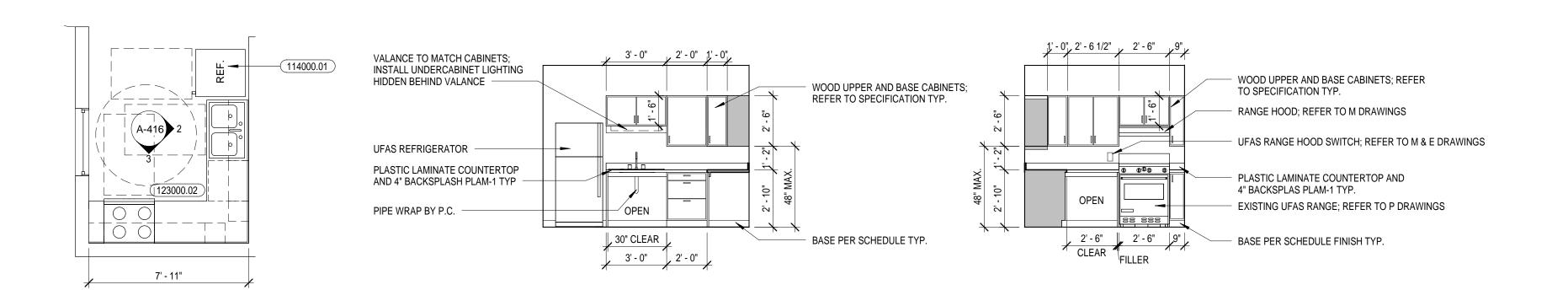
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

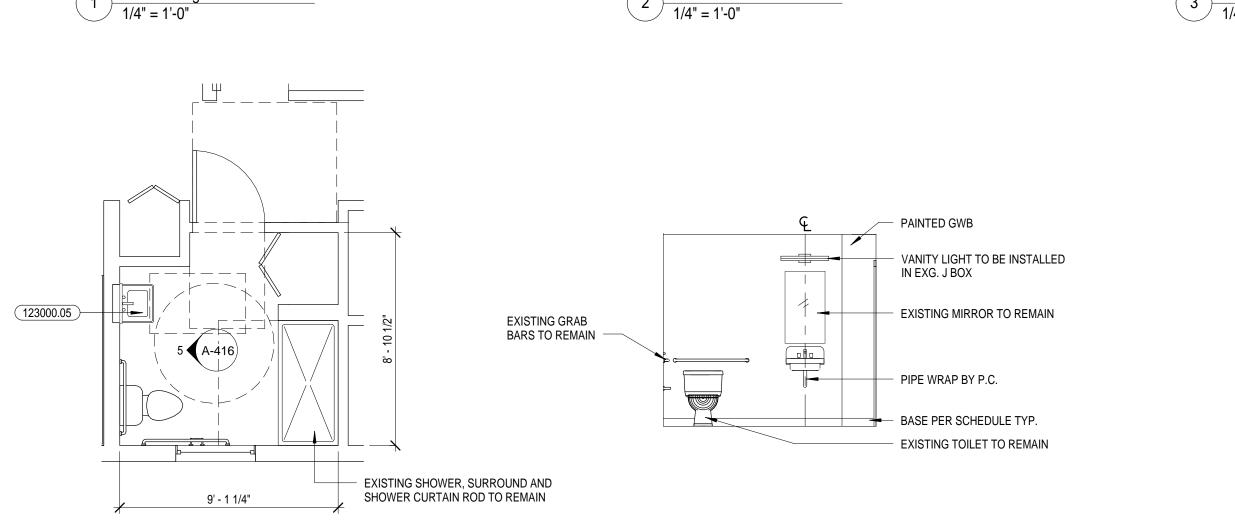
WINDOW SCHEDULE									
	NOMI	NAL SIZE	WINDO						
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS			
Ą	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.			
E	5' - 10" +/-	4' - 3 1/2" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.			

NOTES: 1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



Window Types





GENERAL NOTES

ALL OTHER APPLICABLE CODES.

113100 RESIDENTIAL APPLIANCES.

FOR ADDITIONAL SCOPE OF WORK.

DRAWINGS A-401, A-411 AND A-422.

COMPLIANT WALL HUNG SINKS.

MOUNTING DIMENSIONS.

ALTERNATIVES.

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND

2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS.

UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL

3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING

4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC

TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.

ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION

7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW

RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED

DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS

9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY

10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR

UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND

11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON

12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND

13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT

BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE

6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS.

8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.

EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT

BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN

FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

STANDARD RESTROOMS. REFER TO SECTION 102800.

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.

COMMENTS

ALL UFAS COMPLIANT HARDWARE AND MOUNTING

945 Roselle Ct Pittsburgh, PA 15207

(RAD)

Renaissance 3 Architects, P.C.

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Allies & Ross

Development

Corporation

Task Order

Assistance

Demonstration

Management and

Contract No. 33 -

Glen Hazel Rental

CONSULTANT:

48 South 14th Street Pittsburgh, PA 15203

Phone: 412-431-2480 Fax: 412-431-2670

www.r3a.com

Design

Technology

Sustainability

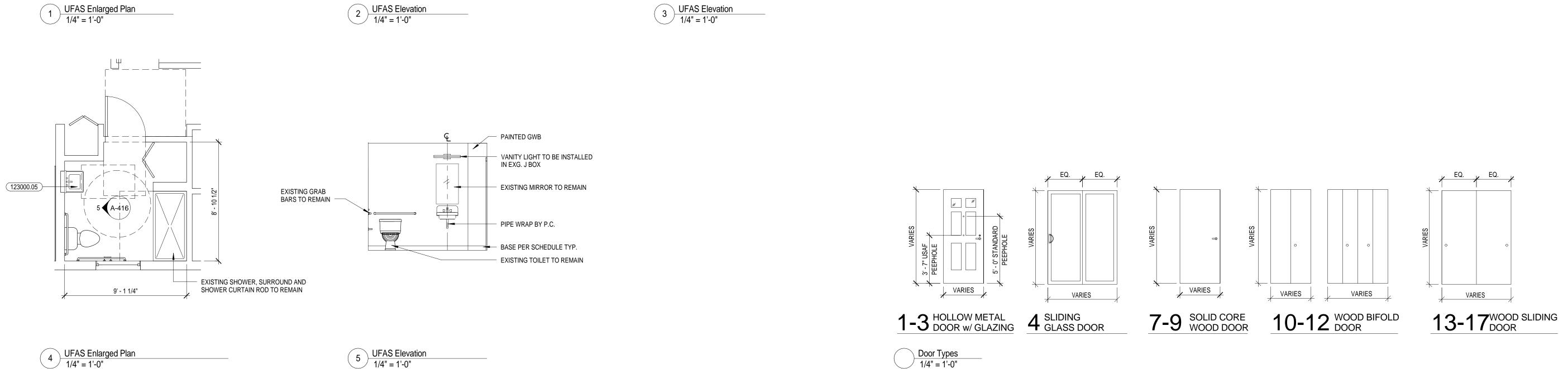
CONSTRUCTION DOCUMENTS

October 27, 2017

REVISIONS

Family Community - Type F UFAS/ Accessible Enlarged Plans and Elevations, Schedules, Types and Details

R3A PROJECT # 15074B



_		
	MARK	DESCRIPTION
	114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
	123000.02	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
	123000.05	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK AND COUNTERTOP OR WALL MOUNTED UNIT. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET, AND PIPE WRAP. REFER TO PLUMBING DRAWINGS. TYPICAL OF ALL

UFAS/ACCESSIBLE BATHROOMS IN HIGH RISE ONLY. REFER TO

G-102 AND G-110 FOR BATHROOMS ACCESSIBILITY TYPES.

REFERENCED NOTES

	NOM	INAL SIZE	WINDO)W		
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS
3	9' - 4" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
1	6' - 8" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
	3' - 4" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
<	3' - 4" +/-	3' - 1" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS 9' - 4" V.I.F.	6' - 8" V.I.F.	✓ VARIES
5'-0" V.I.F.	5'-0" V.I.F.	GLASS
G SINGLE HUNG	H SINGLE HUNG	J, K single hung

Window Types	
1/4" = 1'-0"	

VARIES	NOTES: 1. ALL D NOT PA 2. ALL D DOOR F 3. PAIN	: DOORS ANI AINT EXISTI DOORS IND RATING. T BOTH SIE	D FRAMES II NG LABELS IICATED TO DES OF NEW	NDICATED TO BE RATED S	ETAL; WD: WC D BE RATED S HALL BE PROV AND FRAMES DIMENSIONS	HALL VIDED
J. K SINGLE HUNG						

NOTES:	
	IND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO
	STING LABELS. NDICATED TO BE DATED CHALL BE DROVIDED WITH DATED DOOD HARDWARE BEADING HILLARD COMITHEIRE DATINGS FOUNDALENT TO THE REQUIRED.
DOOR RATIN	NDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED
	SIDES OF NEW HM DOORS AND FRAMES.
4. GENERAL	NTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

EX

EX

DOOR SCHEDULE

EX EX 3

EX

FRAME HDW

HEIGHTS

HEIGHTS

HEIGHTS

HEIGHTS

HEIGHTS

NOMINAL DOOR SIZE

6' - 8" 0' - 1 1/2"

TYPE MAT'L LABEL WIDTH HEIGHT THICKNESS TYPE MAT'L SET

3' - 0" 6' - 10" 0' - 2"

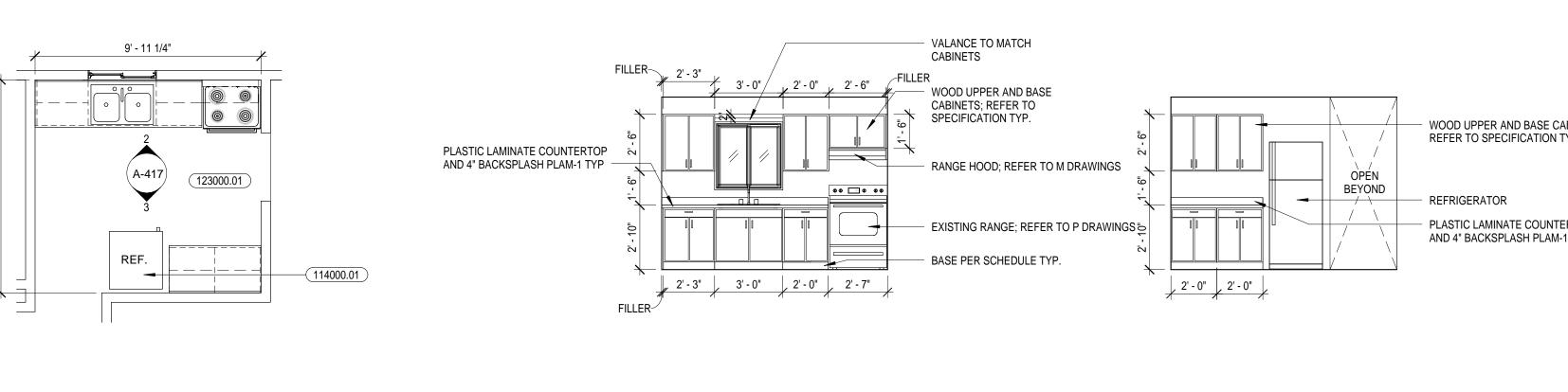
3' - 0" | 6' - 8" | 0' - 2"

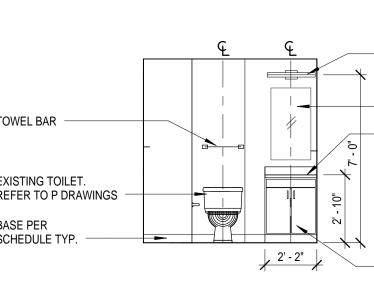
WD

WD

WD

WD





VANITY LIGHT TO BE INSTALLED IN EXG. J BOX RECESSED MEDICINE CABINET CULTURED MARBLE COUNTERTOP W/ INTEGRATED SINK (22" BOWL STYLE) AND 4"

Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Technology Sustainability

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Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration 13-17 WOOD SLIDING DOOR

945 Roselle Ct Pittsburgh, PA 15207

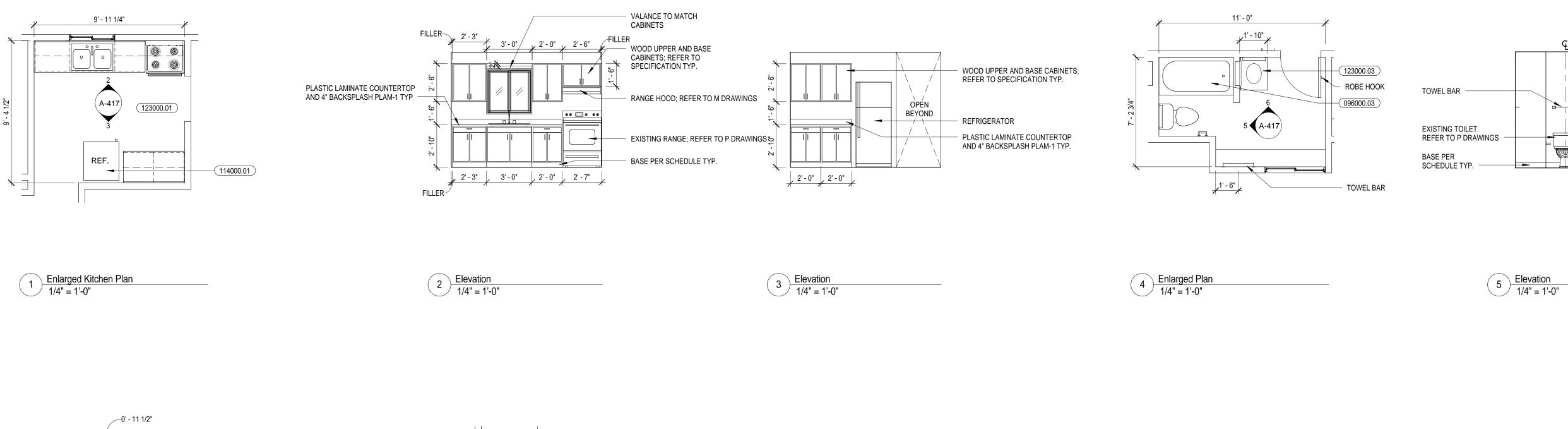
CONSTRUCTION

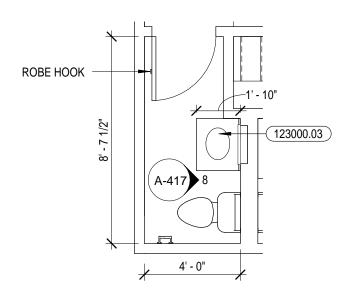
DOCUMENTS

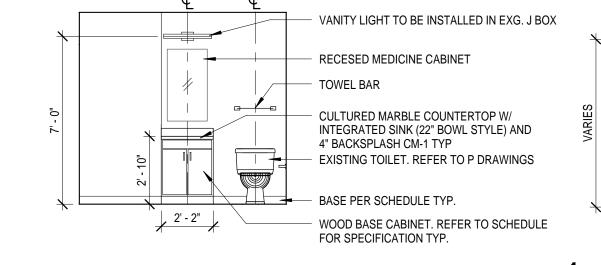
ISSUED: October 27, 2017 REVISIONS

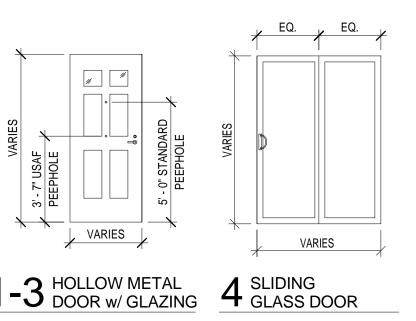
Family Community
- Type G Enlarged Plans and Elevations, Schedules, Types and Details

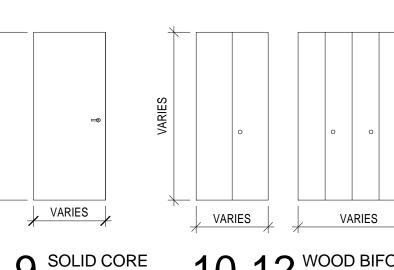
R3A PROJECT # 15074B

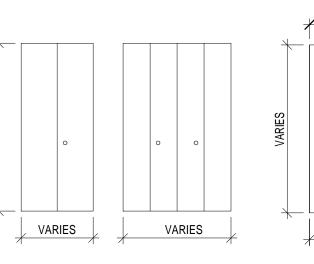


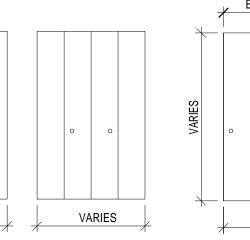


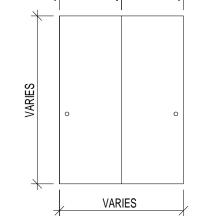












BACKSPLASH CM-1 TYP

WOOD BASE CABINET; REFER TO SCHEDULE FOR SPECIFICATION TYP.

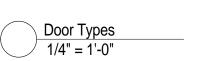


10-12 WOOD BIFOLD DOOR









PAINTED GWB.

TOWEL BAR

BASE PER SCHEDULE TYP.

EXISTING BATHTUB TO REMAIN

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Q	Elevation
0	1/4" = 1'-0"

Ooor Types	
1/4" = 1'-0"	_

GENERAL NOTES

6 Elevation

SHOWER CURTAIN ROD

BATHTUB SURROUND -

EXISTING TOILET. REFER TO P DRAWINGS

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES. 2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800. 3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN. 4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC

TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED. 6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION

113100 RESIDENTIAL APPLIANCES. 7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR. 9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND

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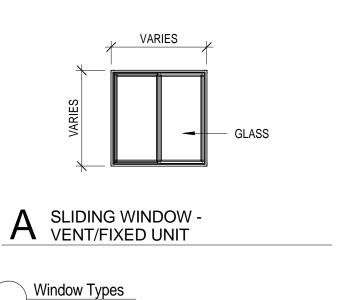
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS. 13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

	REFERENCED NOTES
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP O TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FRO THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUI THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
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WINDOW SCHEDULE								
	NOMINA	AL SIZE	WIND	WC				
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS		
Α	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS .	CLR TEMP	V.I.F. R.O.		
С	3' - 0" +/-	3' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS .	CLR TEMP	V.I.F. R.O.		
F	5' - 10" +/-	4' - 3 1/2"+/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS .	CLR TEMP	V.I.F. R.O.		

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.

1/4" = 1'-0"

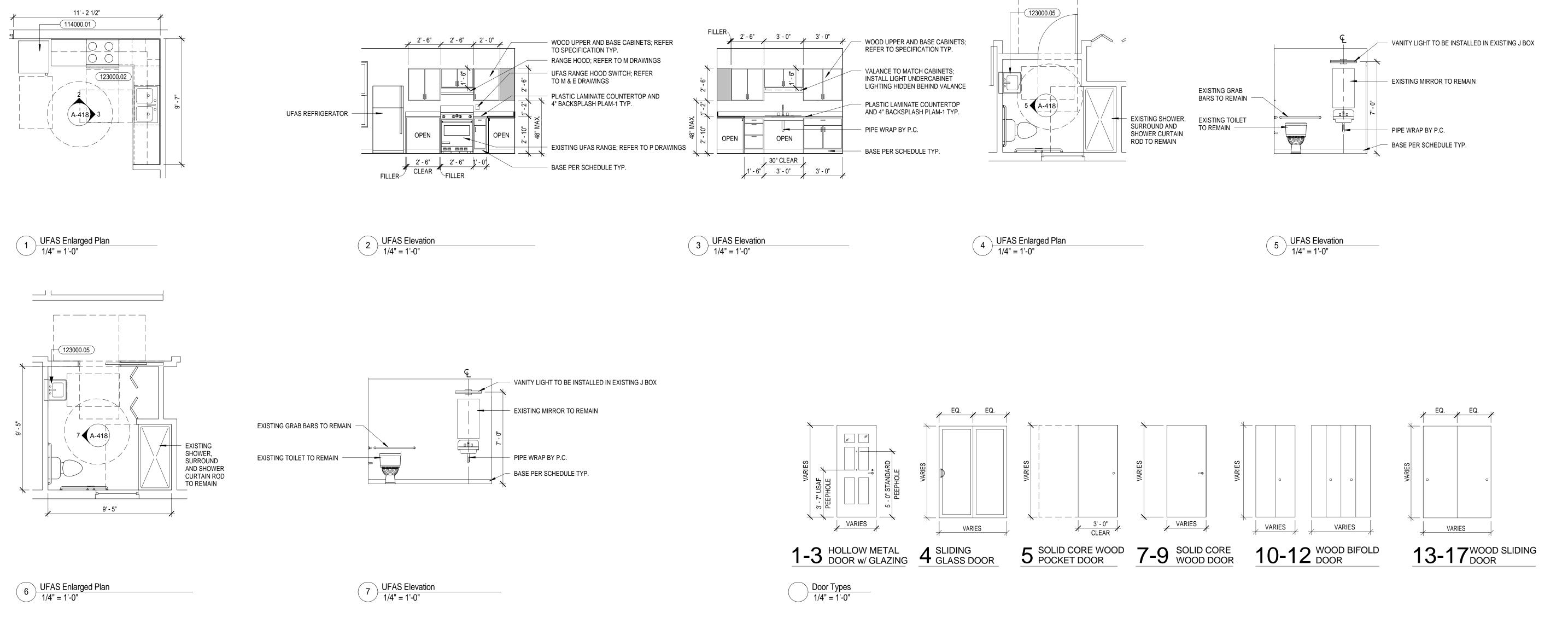


						OOR S	CHED	JLE	
	DOOR		N	IOMINAL DO	OR SIZE	FR	AME	HDW	
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
3	HM		2' - 8"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
8	WD			6' - 8"	0' - 2"	EX	EX	1	
15	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	5	
16	WD		4' - 0"	6' - 8"	0' - 2"	EX	EX	5	
17	WD		5' - 0"	6' - 8"	0' - 2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT 2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR

3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES. 4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



CENIEDAI	NOTES
GENERAL	. 1101153

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.

2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800

STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.

4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS.
ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION

113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.

10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR

TO INSTALLATION.

11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530
RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY
SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON

DRAWINGS A-401, A-411 AND A-422.

12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND

MOUNTING DIMENSIONS.

13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

	REFERENCED NOTES		
MARK	DESCRIPTION		NOM
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.	MARK H K	WIDTH 6' - 8" +/- 3' - 4" +/-
123000.02	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.	NOTES:	INDOW OPENING R TO SHEET A-60

	EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
23000.05	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK AND COUNTERTOP OR WALL MOUNTED UNIT. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET, AND PIPE WRAP. REFER TO PLUMBING DRAWINGS. TYPICAL OF ALL UFAS/ACCESSIBLE BATHROOMS IN HIGH RISE ONLY. REFER TO G-102 AND G-110 FOR BATHROOMS ACCESSIBILITY TYPES.

	NOMI	NAL SIZE	WINDO	W			
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING		COMMENTS
1	6' - 8" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.	
(3' - 4" +/-	2' - 10" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.	

NING SIZES TO BE VERIFIED IN FIELD. A-601 FOR HEAD, JAMB AND SILL DETAILS		
6' - 8" V.I.F.	VARIES GLASS	
H SINGLE HUNG	K single hung	

Window Types
1/4" = 1'-0"

					[DOOR S	SCHED	ULE	
DOOR			NOMINAL DOOR SIZE			FRAME HDW		HDW	
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	НМ		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS
5	WD		3' - 3"	6' - 8"	0' - 1 9/16"	EX	EX	1	UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS. 3'-0" CLEAR POCKET DOOR
8	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	1	UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS
11	WD	-	2' - 0"	6' - 8"	0' - 1 1/2"	EX	EX		UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS
12	WD	-	4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX		UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.

2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED

DOOR RATING.
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

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Renaissance 3 Architects, P.C.

48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
www.r3a.com

Design
Technology
Sustainability

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Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

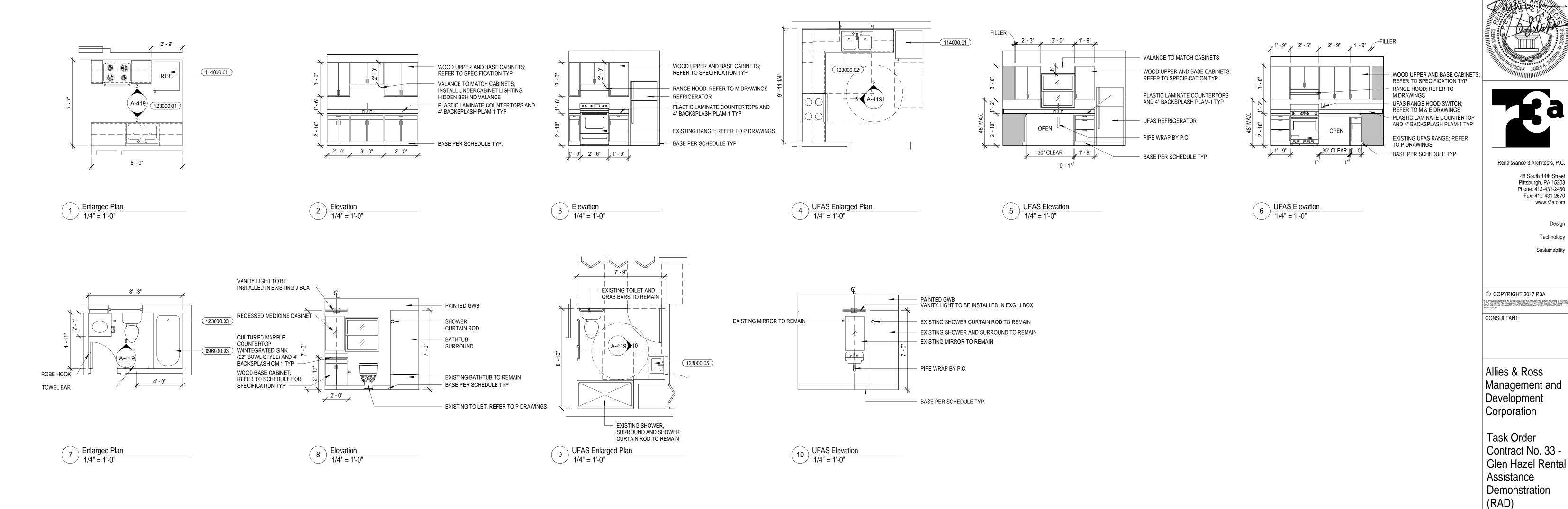
ISSUED: October 27, 2017

REVISIONS

Family Community
- Type H UFAS/
Accessible
Enlarged Plans
and Elevations,
Schedules, Types
and Details

R3A PROJECT # 15074B

A-418



GENERAL NOTES

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TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES. 5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED. 6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS.

ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION

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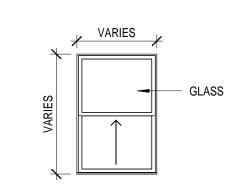
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			WINDOW	SCHEDULE		
	NOMIN	IAL SIZE	WINDOW			
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS
С	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
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М	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
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NOTES: 1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



C, L, M, O SINGLE HUNG

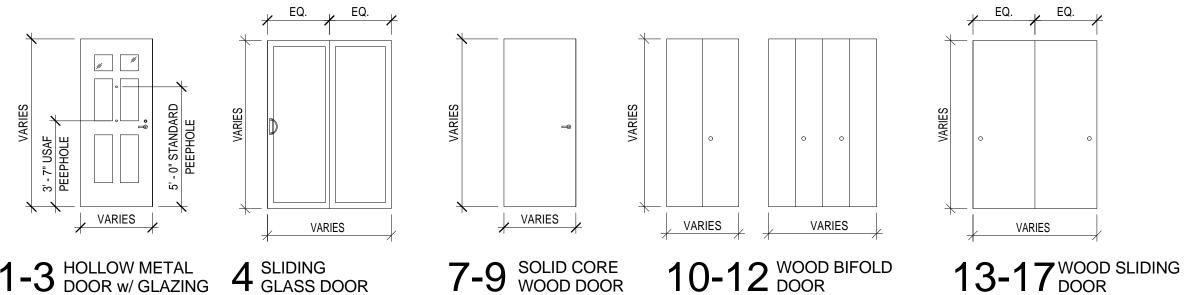
					[DOOR S	SCHED	ULE	
DOOR		1	NOMINAL DOOR SIZE			FRAME			
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	SET	COMMENTS
1	НМ		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM		2' - 8"	6' - 8"	0' - 2"	EX	EX	4	NO GLASS WINDOWS AT TOP, NOT INSULATED1
4	AL		4' - 11"	7' - 0"	0' - 2"	EX	EX	6	
8	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	1	
8A	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
8B	WD		2' - 4"	6' - 8"	0' - 2"	EX	EX	1	
9	WD		1' - 6"	6' - 8"	0' - 2"	EX	EX	2	
9A	WD		2' - 2"	6' - 8"	0' - 2"	EX	EX	2	
9B	WD		2' - 4"	6' - 8"	0' - 2"	EX	EX	2	
11	WD	-	2' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	
12	WD	-	4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	
12A	WD	-	5' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	

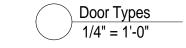
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3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES. 4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.





Family Community - Type J UFAS/ Accessible **Enlarged Plans** and Elevations, Schedules, Types and Details

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

ISSUED: October 27, 2017

REVISIONS

DOCUMENTS

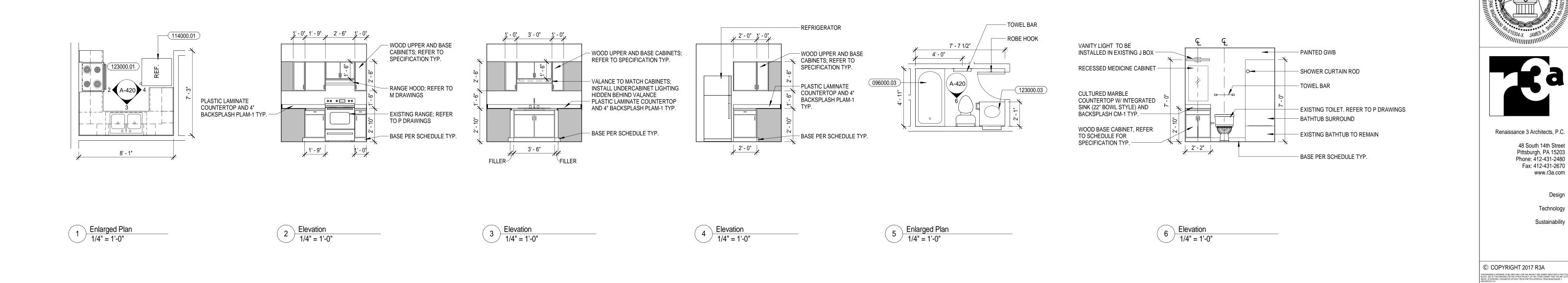
R3A PROJECT # 15074B

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Design

Technology

Sustainability



GENERAL NOTES

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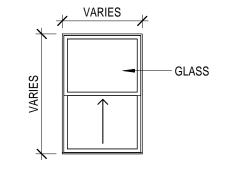
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	NOMIN	AL SIZE	WINDOW			
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS
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0	3' - 0" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
NOTES:						

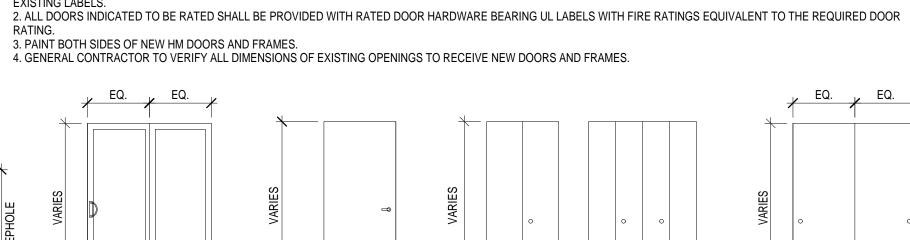
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6' - 0" V.I.F.

C, M, O SINGLE HUNG

Window Types 1/4" = 1'-0"



EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

VARIES

4 SLIDING GLASS DOOR

WD

WD

WD

WD

WD

, VARIES

7-9 SOLID CORE WOOD DOOR

NOMINAL DOOR SIZE

TYPE MAT'L LABEL WIDTH HEIGHT THICKNESS TYPE MAT'L SET

5' - 9" | 7' - 0" | 0' - 2"

2' - 6" 6' - 8" 0' - 2"

2' - 6" 6' - 8"

2' - 0" 6' - 8" 1' - 6" 6' - 8"

2' - 4" 6' - 8"

VARIES VARIES

EX EX 3 2 GLASS WINDOWS AT TOP, INSULATED

DOOR SCHEDULE

EX EX

EX EX

EX EX

EX EX

EX EX

EX EX

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VARIES 10-12 WOOD BIFOLD DOOR

COMMENTS

Door Types 1/4" = 1'-0"

1-3 HOLLOW METAL DOOR W/ GLAZING

VARIES

13-17 WOOD Family Community - Type K Enlarged

Plans and Elevations, Schedules, Types and Details

www.r3a.com

Technology

Sustainability

CONSULTANT:

Allies & Ross

Development

Corporation

Task Order

Assistance

(RAD)

945 Roselle Ct

Pittsburgh, PA 15207

Design Development

October 27, 2017

REVISIONS

ISSUED:

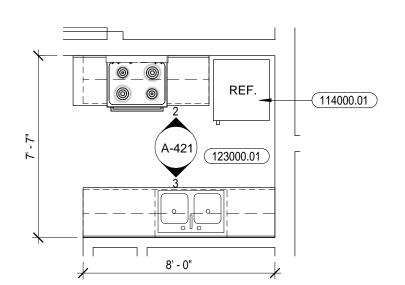
Demonstration

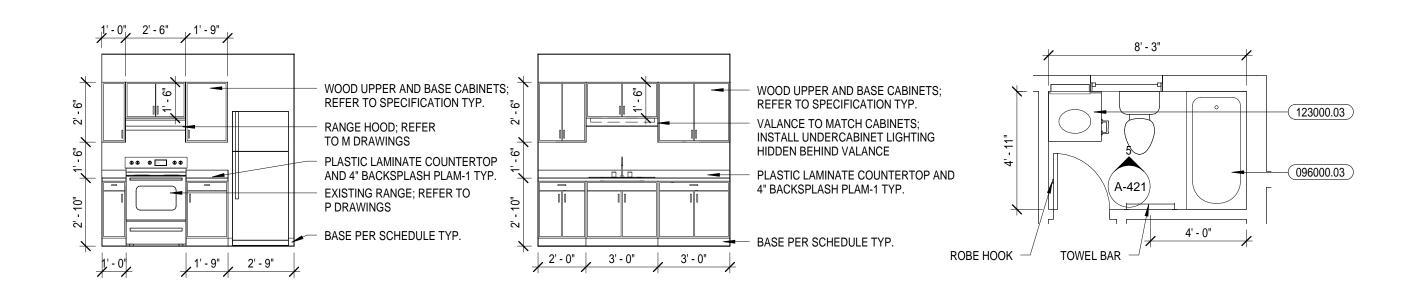
Management and

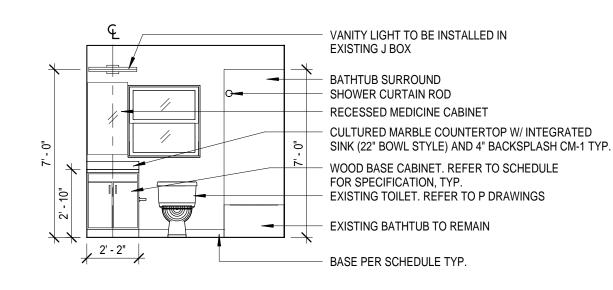
Contract No. 33 -

Glen Hazel Rental

R3A PROJECT # 15074B







1 Enlarged Plan 1/4" = 1'-0"

3 Elevation 1/4" = 1'-0"

5 Elevation 1/4" = 1'-0"

GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES. 2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS.

UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL

EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.

4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.

5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.

6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.

7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK. 8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.

10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.

11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422. 12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND

MOUNTING DIMENSIONS. 13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

MARK	DESCRIPTION	
000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD	MARK
000.03	EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB.	C L M NOTES: 1. ALL W 2. REFE
000.01	THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR. REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL	

REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS. GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD 123000.01

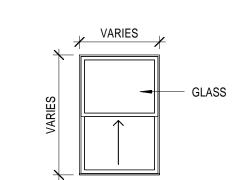
REFERENCED NOTES

EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.

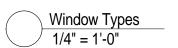
GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

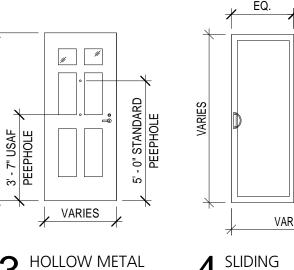
			WINDOW	SCHEDULE		
	NOMIN	AL SIZE	WINDOW			
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS
С	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
L	3' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
М	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. FER TO SHEET A-601 FOR HEAD, JAMB, AND SILL DETAILS.



C, L, M SINGLE HUNG





1-3 HOLLOW METAL DOOR W/ GLAZING

VARIES

4 SLIDING GLASS DOOR

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

7-9 SOLID CORE WOOD DOOR

NOMINAL DOOR SIZE

0' - 1 1/2"

4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

3' - 0" 6' - 8" 0' - 2"

2' - 2" 6' - 8"

4' - 0" 6' - 8"

2' - 8" 6' - 8" 0' - 2"

WIDTH HEIGHT THICKNESS TYPE MAT'L SET

VARIES VARIES VARIES

DOOR SCHEDULE

EX EX 3

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING

2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.

EX EX 4

EX EX

EX EX

EX EX

EX EX

10-12 WOOD BIFOLD DOOR

VARIES

COMMENTS

2 GLASS WINDOWS AT TOP, INSULATED

13-17 WOOD SLIDING DOOR

Family Community - Type L Enlarged Plans and Elevations, Schedules, Types and Details

R3A PROJECT # 15074B

Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Technology Sustainability

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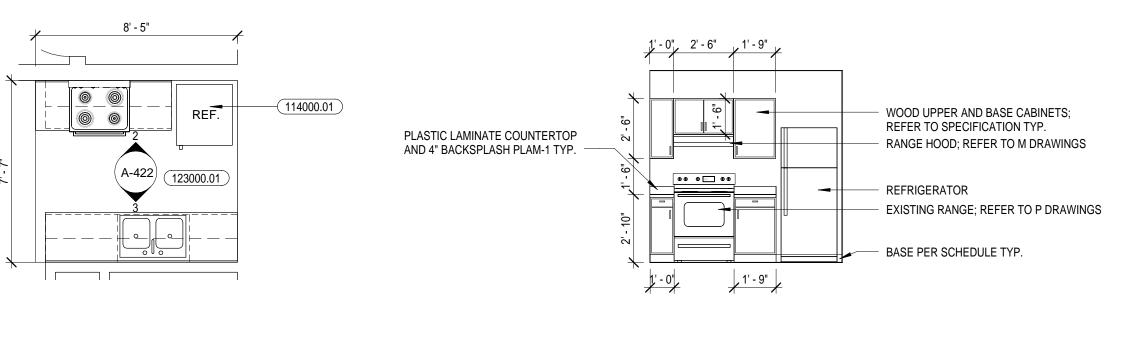
Allies & Ross Management and Development Corporation

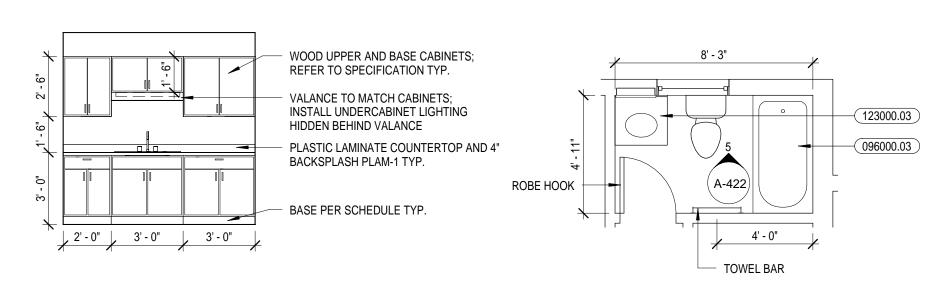
Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

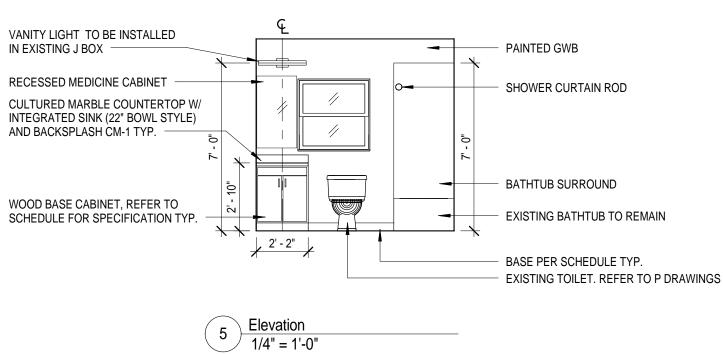
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS







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Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

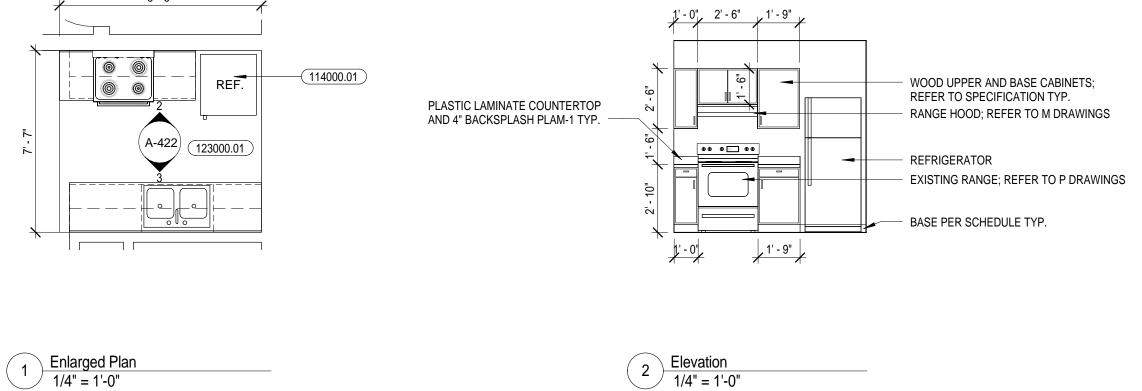
945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community
- Type M Enlarged Plans and Elevations, Schedules, Types and Details

R3A PROJECT # 15074B



GENERAL NOTES

EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT

BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING

FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL

6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS.

8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.

SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON

12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND

COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT

13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND

BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE

DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.

STANDARD RESTROOMS. REFER TO SECTION 102800.

UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.

CASEWORK AND APPLIANCES AS INDICATED.

113100 RESIDENTIAL APPLIANCES.

FOR ADDITIONAL SCOPE OF WORK.

DRAWINGS A-401, A-411 AND A-422.

COMPLIANT WALL HUNG SINKS.

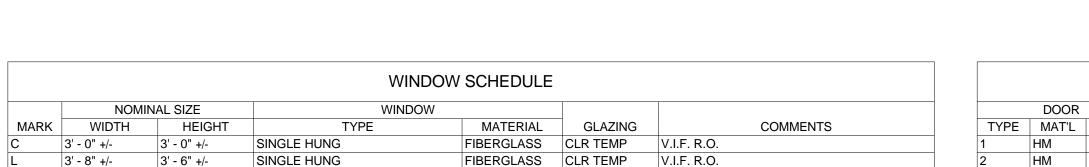
MOUNTING DIMENSIONS.

ALL OTHER APPLICABLE CODES.

ALTERNATIVES.

TO INSTALLATION.

4 Enlarged Plan 1/4" = 1'-0"

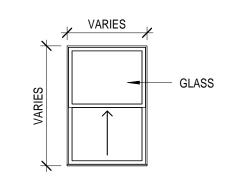


FIBERGLASS CLR TEMP V.I.F. R.O.

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD. 2. REFER TO SHEET A-601 FOR HEAD, JAMB, AND SILL DETIALS

3' - 6" +/-

2' - 8" +/-



SINGLE HUNG

C, L, M SINGLE HUNG

Window Types **1/4" = 1'-0"**

V		SI.	EQ.
VARIES 3' - 7" USAF PEEPHOLE	5' - 0" STANDARD PEEPHOLE	VARIES	D
\ \ \	 	\	

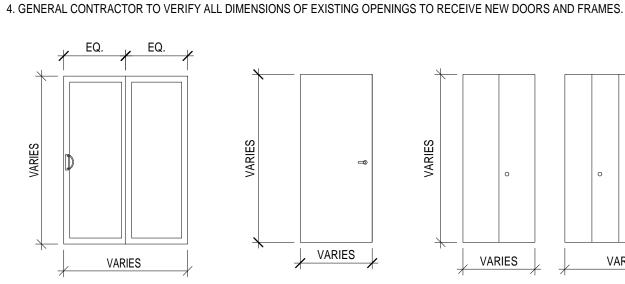
EQ.

DOOR

WD

WD

WD



DOOR SCHEDULE

FRAME

FX FX 6

EX

EX

EX EX

EX EX

EX EX

EX EX

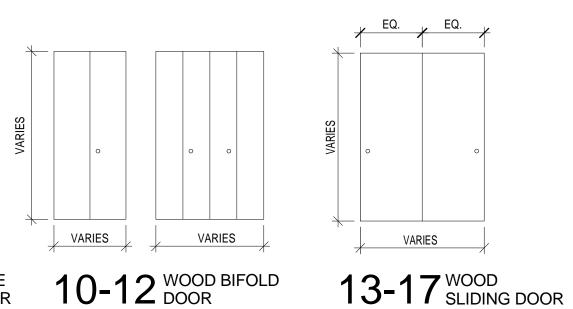
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT

2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED

EX

EX

TYPE MAT'L SET



EX EX 3 2 GLASS WINDOWS AT TOP, INSULATED

NO GLASS AT TOP, NOT INSULATED

4 SLIDING GLASS DOOR 1-3 HOLLOW METAL DOOR W/ GLAZING

7-9 SOLID CORE WOOD DOOR

NOMINAL DOOR SIZE

2' - 8" | 6' - 8" | 0' - 2"

4' - 0" 6' - 8" 0' - 1 1/2"

2' - 6" 6' - 8"

1' - 6" 6' - 8"

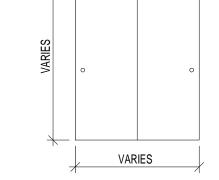
2' - 2" 6' - 8"

2' - 4" 6' - 8"

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.

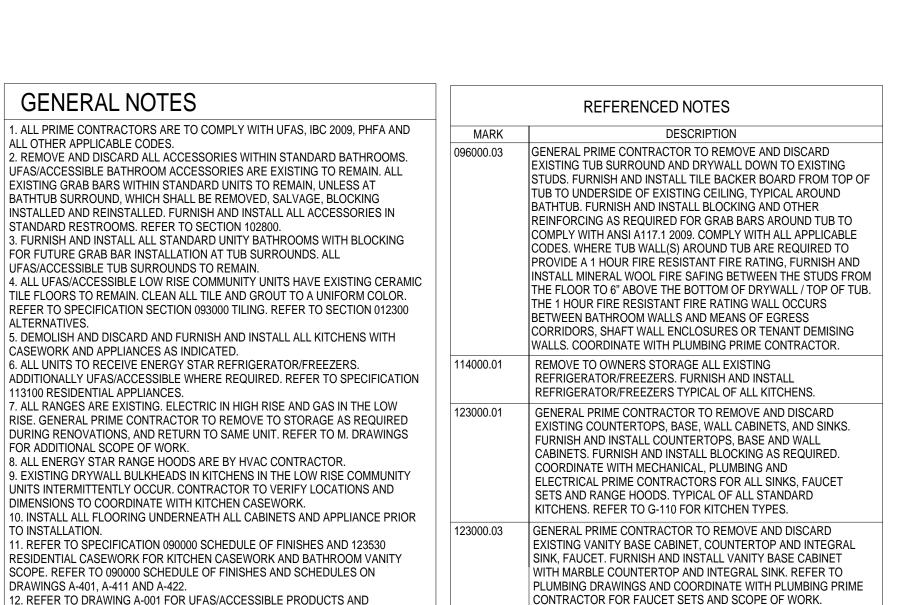
10-12 WOOD BIFOLD DOOR



COMMENTS

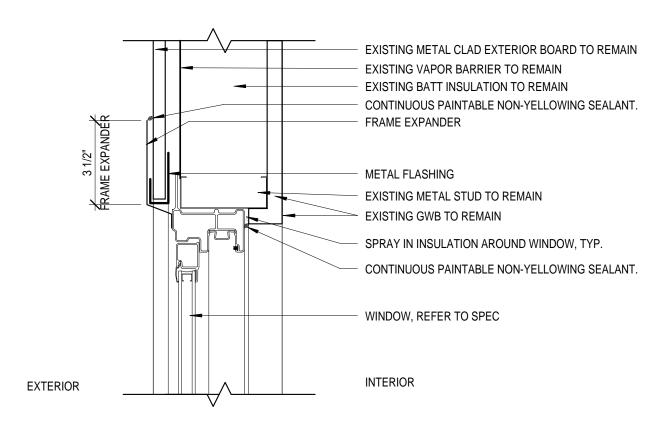
Door Types 1/4" = 1'-0"

VARIES

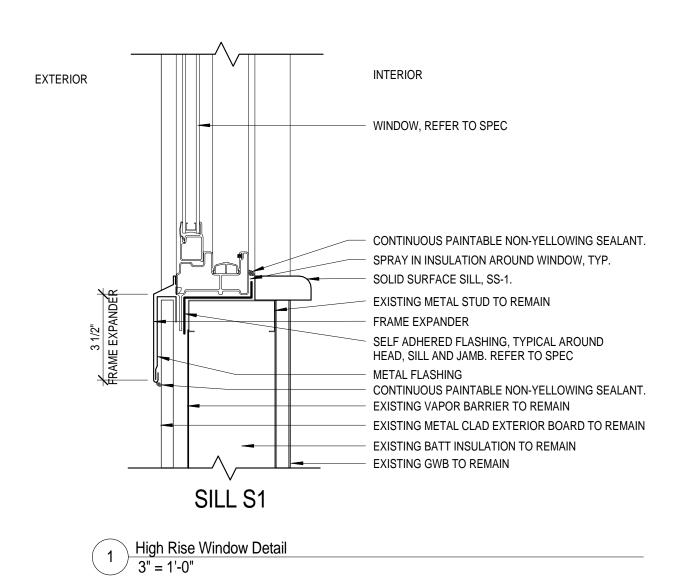


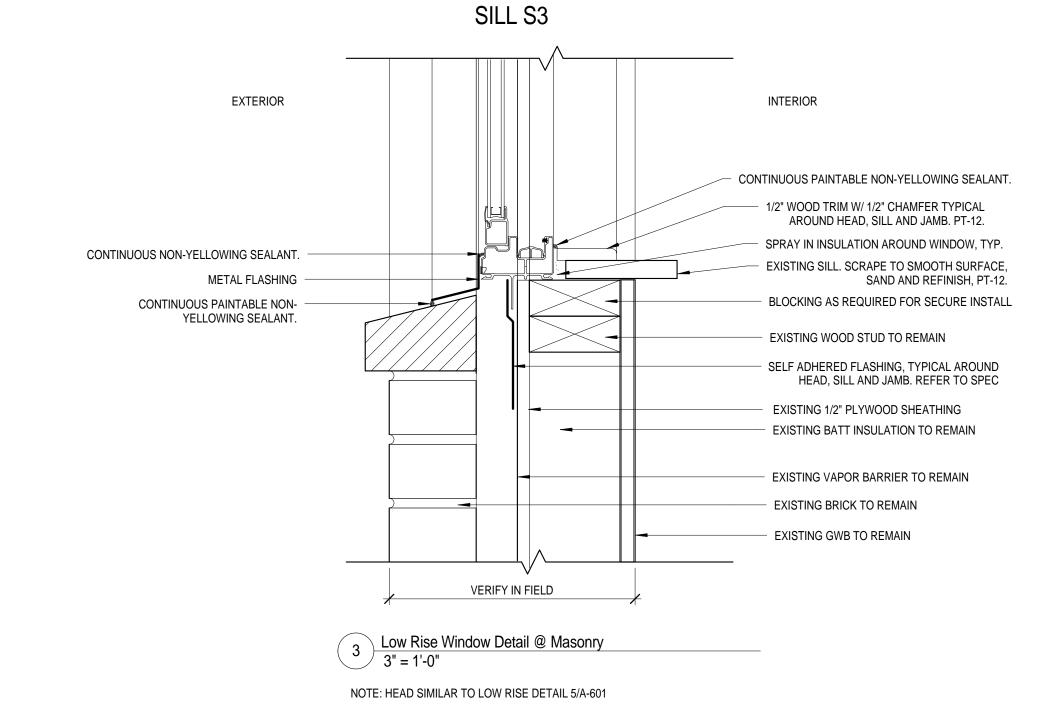
TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO

G-110 FOR BATHROOM UNIT TYPES.

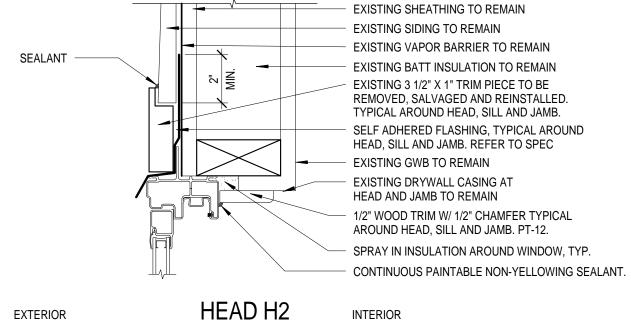


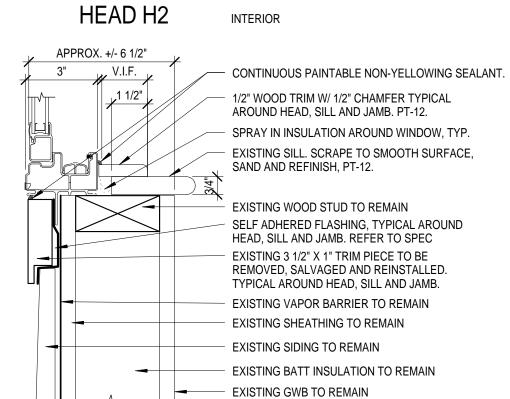


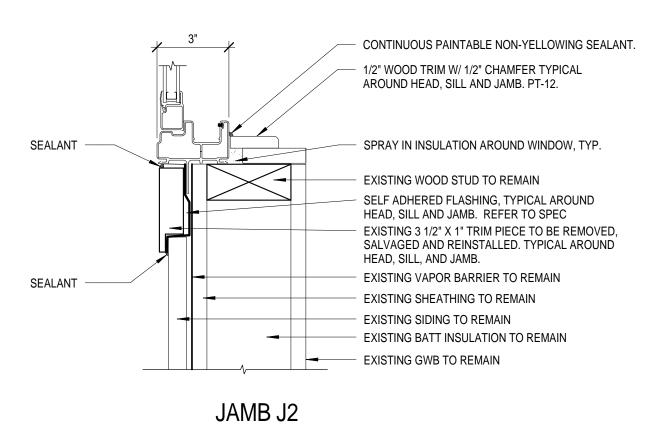




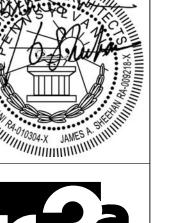








2 Not Used



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Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD) 945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

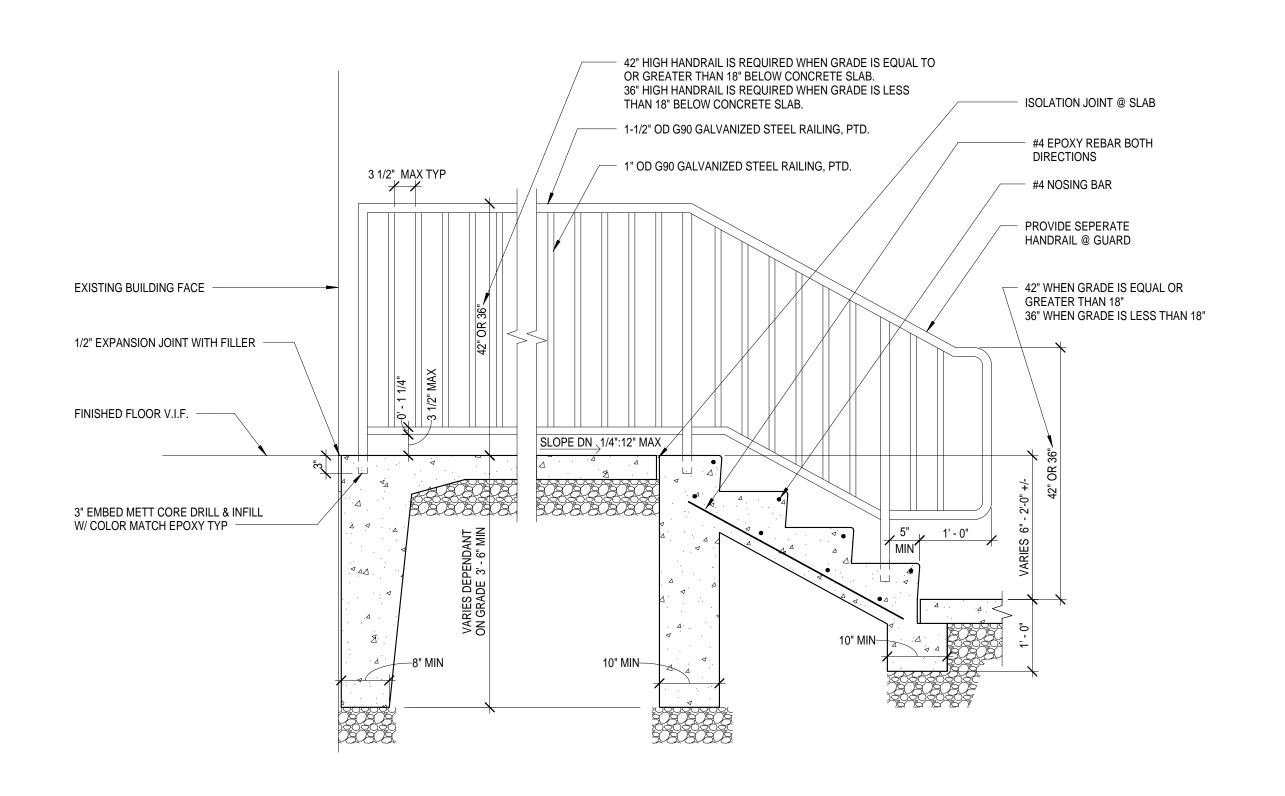
> ISSUED: October 27, 2017 REVISIONS

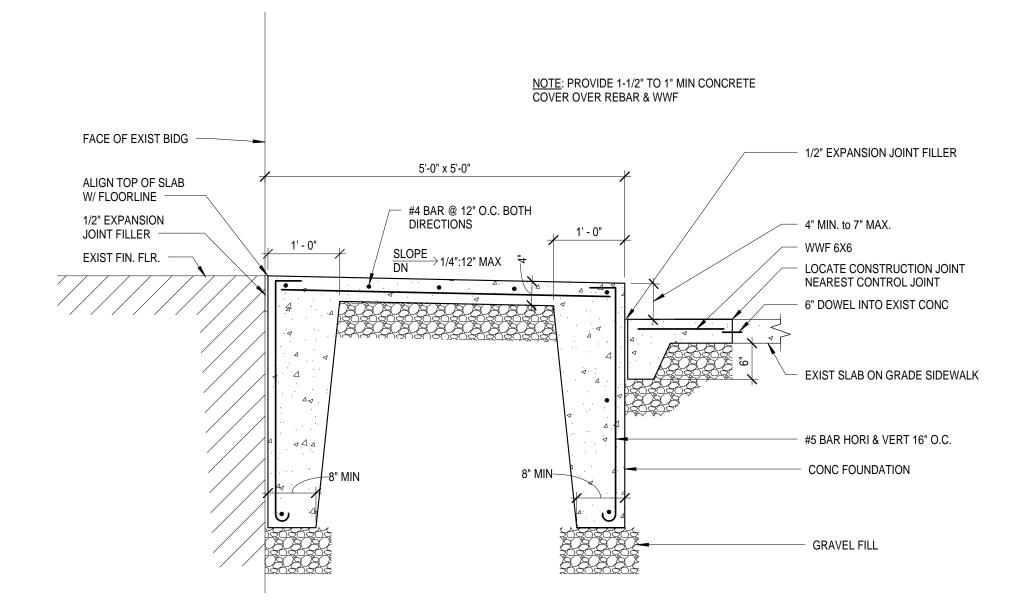
Exterior Window Details

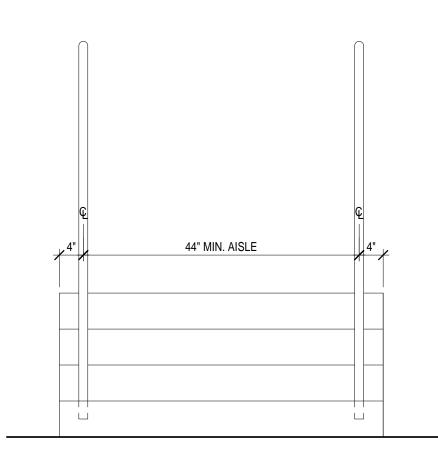
R3A PROJECT # 15074B

A-601

SILL S2







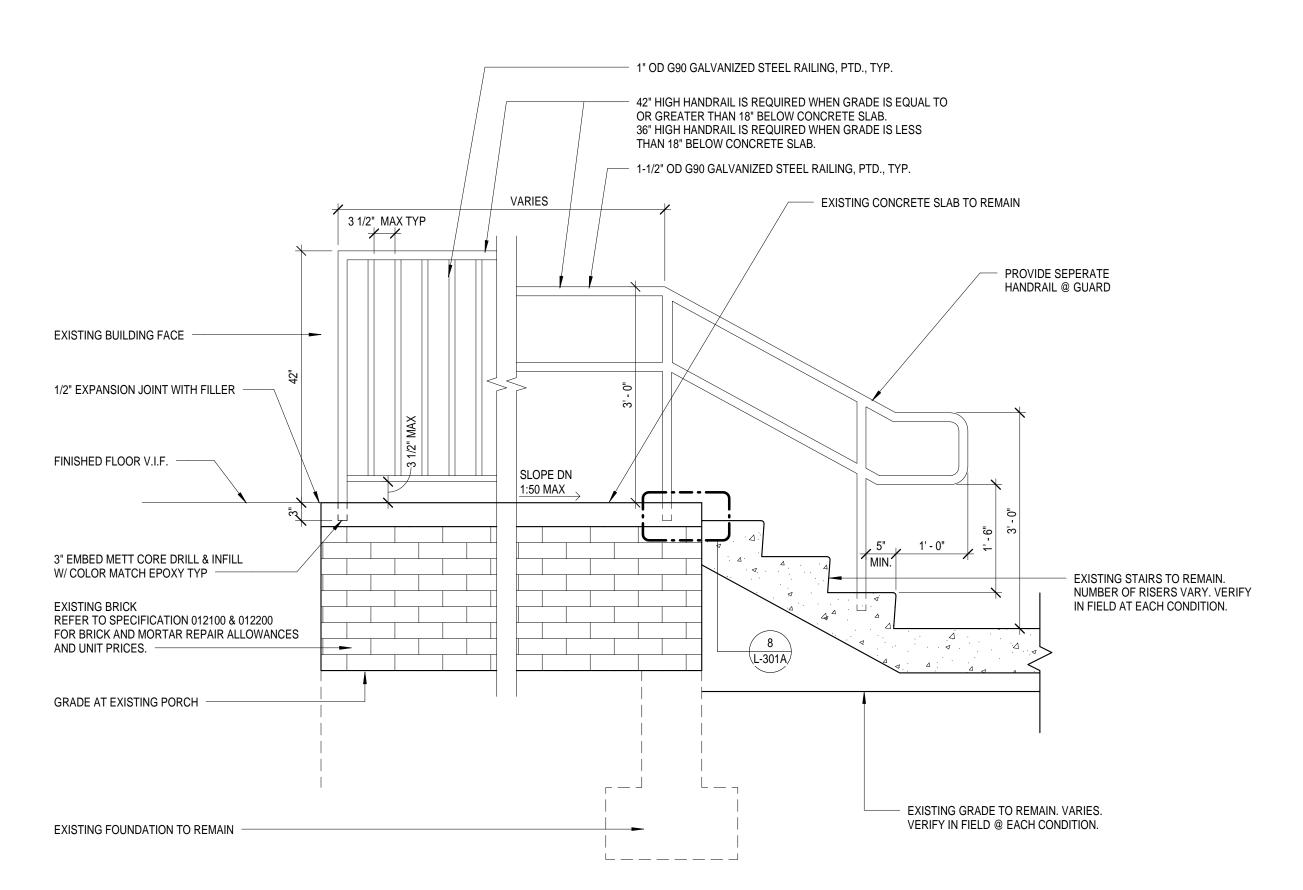
PORCH / STAIR SECTION DETAIL

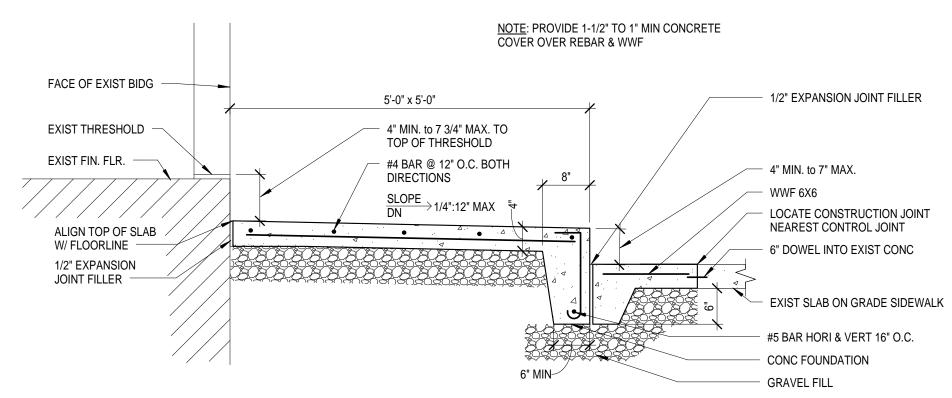
3/4" = 1'-0"

REFER TO SITE DRAWINGS FOR LOCATIONS

2 FROST FREE SLAB SECTION @ DOOR ENTRY ON GRADE 3/4" = 1'-0"

3 EXISTING PORCH STAIR ELEVATION
3/4" = 1'-0"





RAILING DETAIL @ EXISTING PORCHES NOTE: ALL PORCHES VARY. VERIFY IN FIELD EXISTING CONDITIONS.

3/4" = 1'-0"

REFER TO SITE DRAWINGS FOR LOCATIONS

SLAB SECTION @ DOOR ENTRY BETWEEN 7" TO 14" ABOVE GRADE 3/4" = 1'-0"

NOT USED 3/4" = 1'-0" DEED AR X-812600-18-

Ra

Renaissance 3 Architects, P.C.

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Pittsburgh, PA 15203
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AND HEEDERS, P.C.

CONSULTANT:

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Management and
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Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

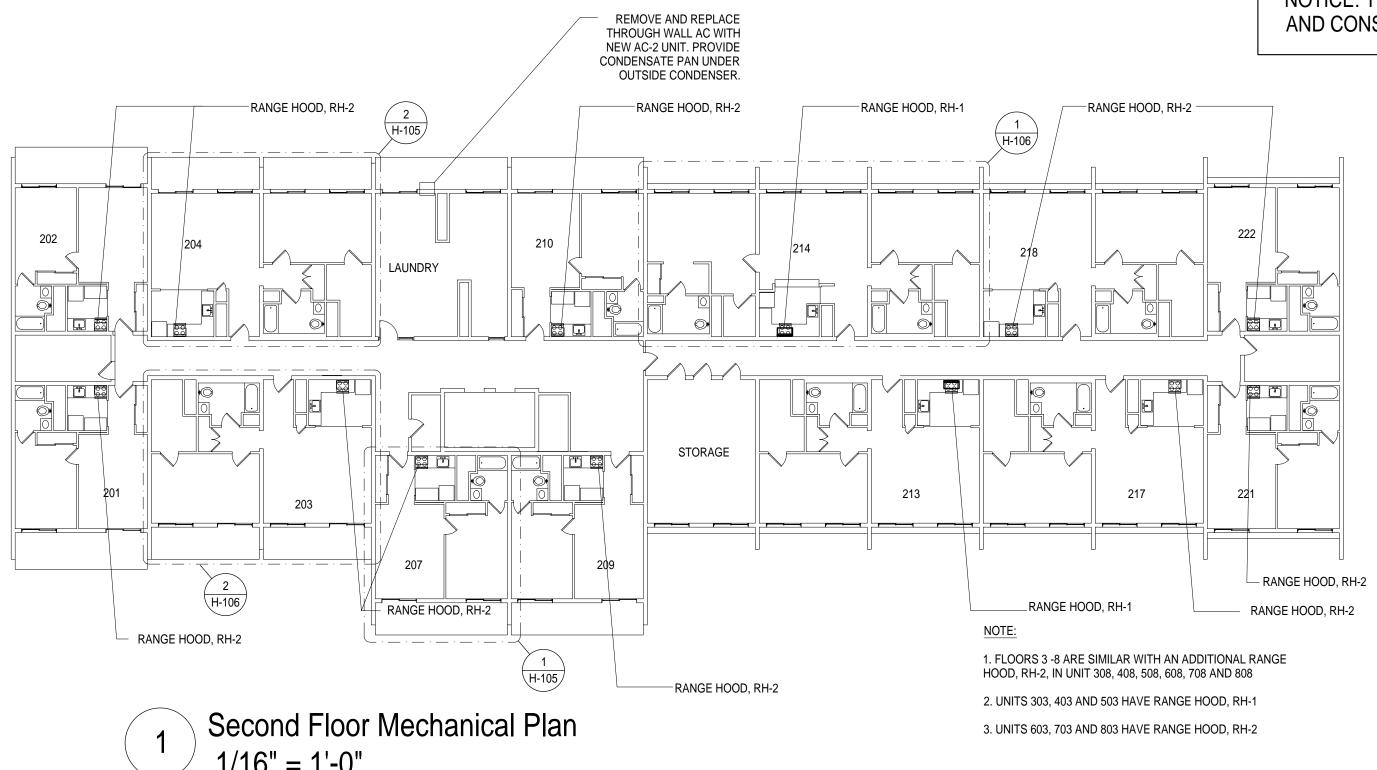
SSUED: October 27, 2017
REVISIONS

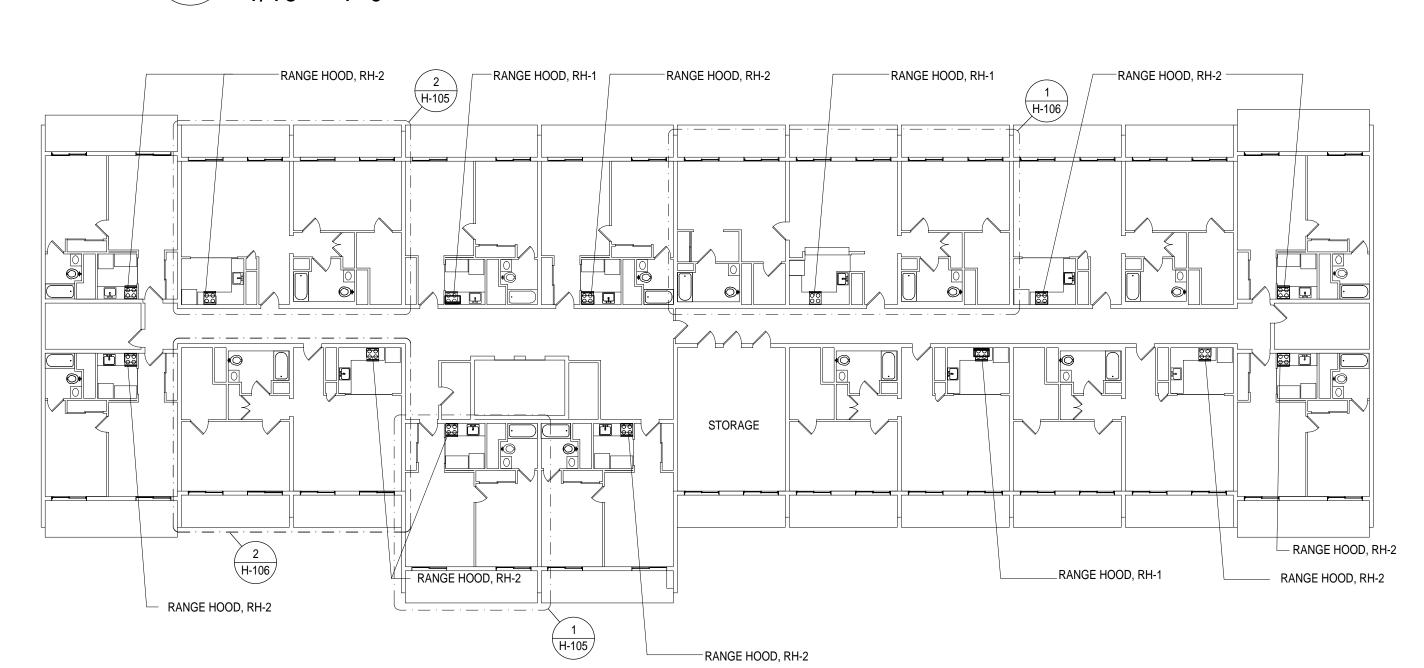
Porch and Railing Details

R3A PROJECT # 15074B

A-602

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.





REFERENCE NOTES RANGE HOOD REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE	ME
1. ALL UNITS HAVE RANGE HOODS. REMOVE AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR.	
2. SEE DWG H-105 AND H-106 FOR ADDITIONAL INFORMATION IN THIS BUILDING.	_
3. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.	PATO

						NAA V			
TAG	DESCRIPTION		CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF DESIGN		REMARKS
		SERVED	0	VOLIAGE		AMPS	MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE, SEE NOTE BELOW
RH-2	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP124	24 INCH WIDE

NOTE:
1. PROVIDE REMOTE SWITCH FOR RANGE HOOD IN UFAS UNITS AT 48" ABOVE FINISHED FLOOR IN HIGH RISE UFAS UNITS.

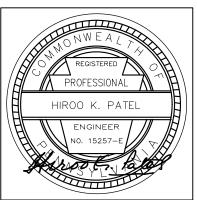
PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.

- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH

NOTE:
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNITS AND CODE INFORMATION.





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Design Technology

Sustainability

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CONSULTANT:

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CARNEGIE, PENNSYLVANIA

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct
Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

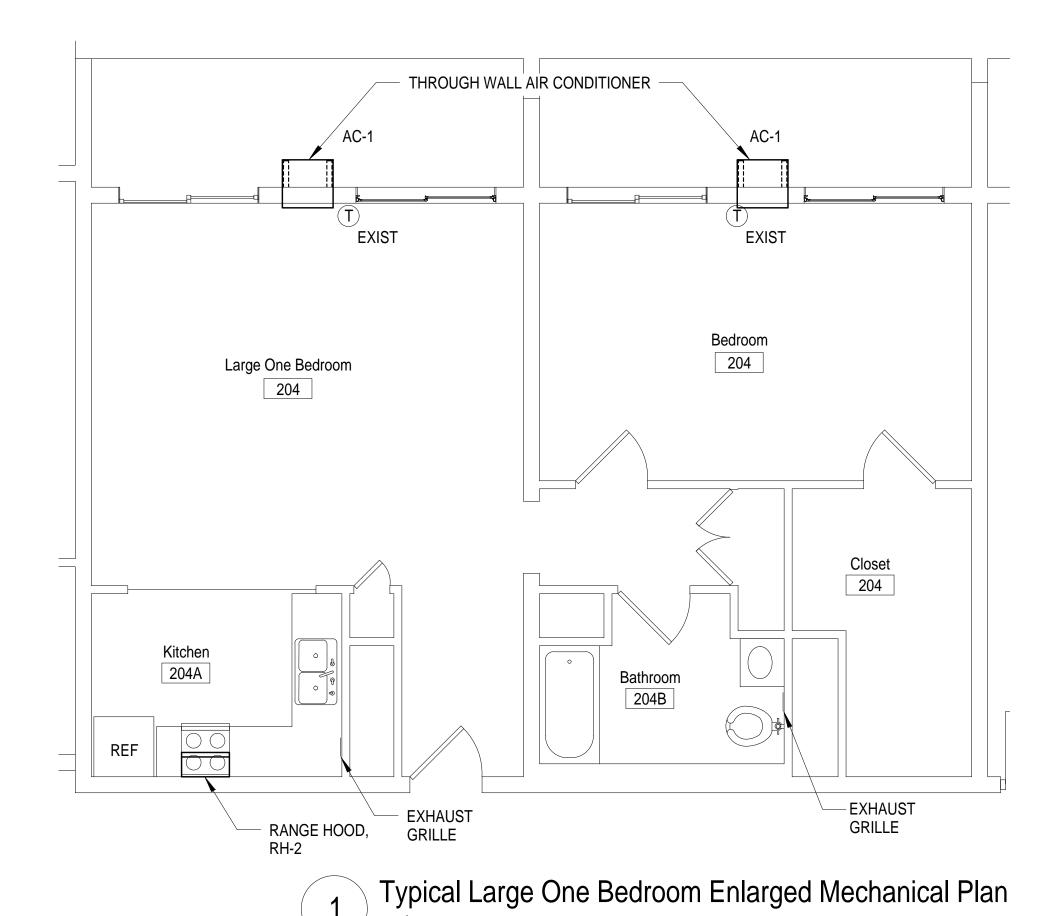
ISSUED: October 27, 2017

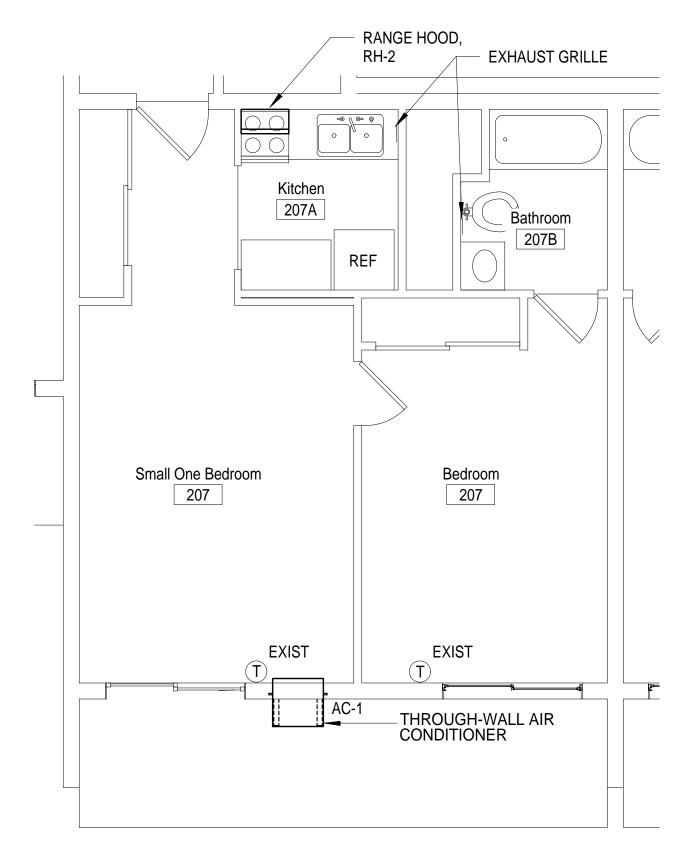
REVISIONS

Bernice Crawley High Rise -Second Floor Mechanical Plan

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.





Typical Small One Bedroom Enlarged Mechanical Plan 1/4" = 1'-0"

R	REFERENCE NOTES								
THROUGH WALL AIR CONDITIONER	REMOVE EXISTING THROUGH-WALL AIR CONDITIONER, INFILL PANEL AND A/C SUPPORT BRACKET AND REPLACE WITH NEW. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION WORK.)								
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)								
EXHAUST GRILLE	REMOVE EXISTING EXHAUST GRILLE AND REPLACE WITH NEW EXHAUST GRILLE, WHITE POWDER COAT, TITUS 350FL OR APPROVED EQUAL.								

GENERAL NOTES

1. THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.

2. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. HAS PREVIOUSLY PAINTED.

MECHANICAL NOTE

 MECHANICAL CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT WALL MOUNTED AIR CONDITIONER.
 MECHANICAL CONTRACTOR TO DEMOLISH AND REMOVE EXISTING AIR CONDITIONER, WINDOW IN-FILL PANEL AND UNIT SUPPORT BRACKET.

3. MECHANICAL CONTRACTOR TO INSTALL NEW WINDOW AIR CONDITION, IN-FILL PANEL AND UNIT SUPPORT BRACKET. REPLACE INTERIOR/EXTERIOR TRIM TO MATCH EXISTING.

4. MECHANICAL CONTRACTOR TO PLUG AIR CONDITIONER INTO OUTLET AND ELECTRICAL CONTRACTOR TO RE-ENERGIZE CIRCUIT.

5. PROPERLY INSTALL AIR CONDITIONER TO DRAIN PAN ON OUTSIDE OF BUILDING. SEE DWG H-108 $\,$

6. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THAT THE ITEMS ARE NOT DAMAGED.

			THROU	IGH W	ALL AIF	R C00	LED (CONDE	NSI	NG U	NIT SC	HEDUL	_E
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	EER	dB RATING (INDOOR)	AMBIENT AIR	WEIGHT LBS	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS (OF DESIGN MODEL	- REMARKS
AC-1	THROUGH WALL AC	LIVING RM	8	10.6	53 dBA	95 deg F	66	115/1/60	15	25	LG Electronics	LT0816CER	FOR ONE BEDROOM UNIT W/ REMOTE CONTROL COOLS 340 SQ FT. SEE NOTES BELOW
AC-2	THROUGH WALL AC	LIVING RM	10	9.7		95 deg F	78	208/230/1/60	15	25	GE	AJCQ10DCG	FOR TWO BEDROOM UNIT W/ REMOTE CONTROL COOLS 450 SQ FT. SEE NOTES BELOW

NOTES:

TES:
. HC SHALL PROVIDE/INSTALL WALL SLEEVE & SUPPORT BRACKET. ENERGY STAR UNIT.

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
 PROVIDE WATERTIGHT DRIP PAN UNDER THRU-WALL AC CONDENSER. MARKETAIRE DRIPSHIELD, EDISON, NJ OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE											
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF	DESIGN MODEL	REMARKS			
RH-1	RANGE HOOD	KITCHEN	200	115/1/60	15	25	BROAN	QP-130	30 INCH WIDE. SEE NOTES BELOW			
RH-2	RANGE HOOD	KITCHEN	300	115/1/60	15	25	BRONE	QP-124	24 INCH WIDE. SEE NOTES BELOW			

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
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PROFESSIONAL
HIROO K. PATEL

ENGINEER
NO. 15257-E



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Technology
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Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

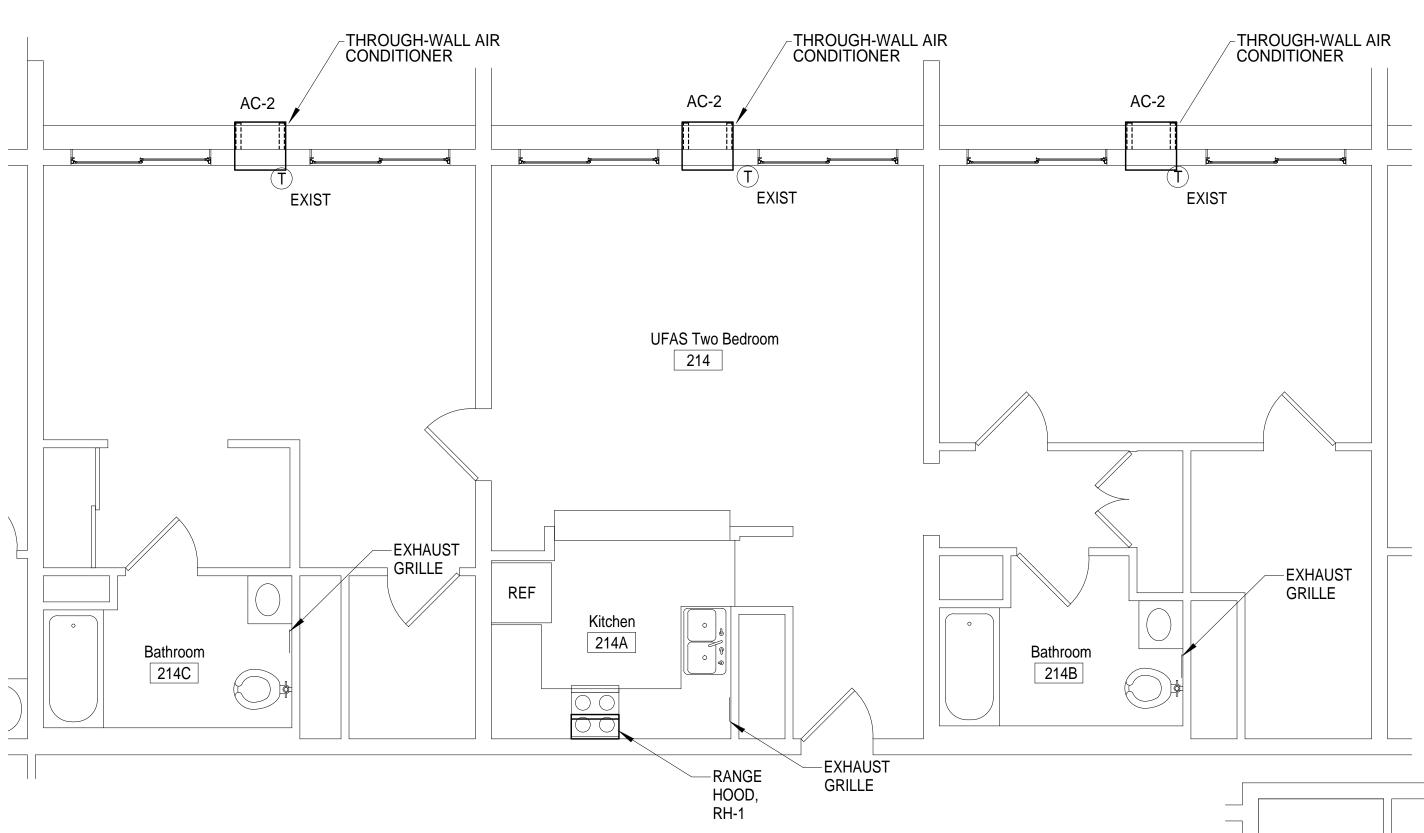
REVISIONS

Bernice Crawley
High Rise - Small &
Large One
Bedroom Enlarged
Mechanical Plan

R3A PROJECT # 15074B

M-105

NOTE:
SEE DWG G-101, G-102 AND G-110
FOR BUILDING, APARTMENT UNIT
AND CODE INFORMATION.



1	Typical Small T $1/4$ " = 1'-0"	wo Bedroom	Enlarged I	Mechanical	Plan
	1/4" = 1'-0"				

THROUGH WALL	AIR COOLED	CONDENSING L	JNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	EER	dB RATING (INDOOR)	AMBIENT AIR	WEIGHT LBS	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS (OF DESIGN MODEL	REMARKS
AC-1	THROUGH WALL AC	LIVING RM	8	10.6	53 dBA	95 deg F	66	115/1/60	15	25	LG Electronics	LT0816CER	FOR ONE BEDROOM UNIT W/ REMOTE CONTROL COOLS 340 SQ FT. SEE NOTES BELOW
AC-2	THROUGH WALL AC	LIVING RM	10	9.7		95 deg F	78	208/230/1/60	15	25	GE	AJCQ10DCG	FOR TWO BEDROOM UNIT W/ REMOTE CONTROL COOLS 450 SQ FT. SEE NOTES BELOW

- 1. HC SHALL PROVIDE/INSTALL WALL SLEEVE & SUPPORT BRACKET. ENERGY STAR UNIT.
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GENERAL NOTES

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MECHANICAL NOTE

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5. PROPERLY INSTALL AIR CONDITIONER TO DRAIN PAN TO OUTSIDE OF BUILDING.

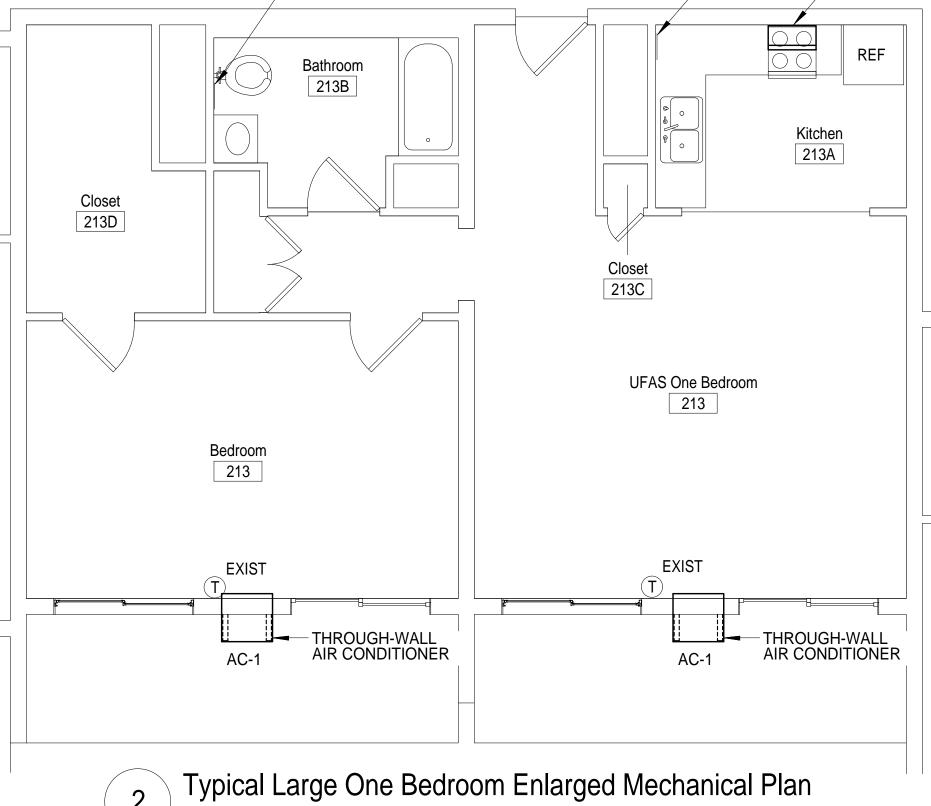
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REFERENCE NOTES

THROUGH WALL AIR CONDITIONER	INFILL PANEL AND A/C SUPPORT BRACKET AND REPLAC WITH NEW. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION OF THE PRIOR TO DEMOLIT
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
EXHAUST	REMOVE EXISTING EXHAUST GRILLE AND REPLACE WITH NEW EXHAUST GRILLE POWDER

TURQUICH WALL PEMOVE EXISTING THROUGH WALL AIR CONDITIONER GRILLE WHITE COAT, TITUS 350FL OR APPROVED EQUAL.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



-EXHAUST

GRILLE

Typical Large One Bedroom Enlarged Mechanical Plan 1/4" = 1'-0"

			RANGE	HOOD SCHI	EDULE				
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS
		SERVED	J			AMPS	MANUF	MODEL	KLWAKKO
RH-1	RANGE HOOD	KITCHEN	200	115/1/60	15	25	BROAN	QP-130	30 INCH WIDE. SEE NOTES BELOW

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-RANGE

HOOD,

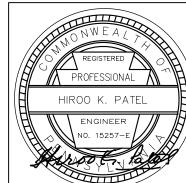
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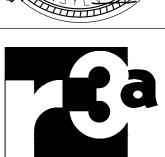
-EXHAUST

GRILLE

- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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> > Technology Sustainability

Design

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CONSULTANT:

'ri $\dot{ ext{-}}\dot{ ext{S}}\dot{ ext{t}}ate$ design and development CONSULTING ENGINEERS CARNEGIE, PENNSYL VANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration 945 Roselle Ct

Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

October 27, 2017

REVISIONS

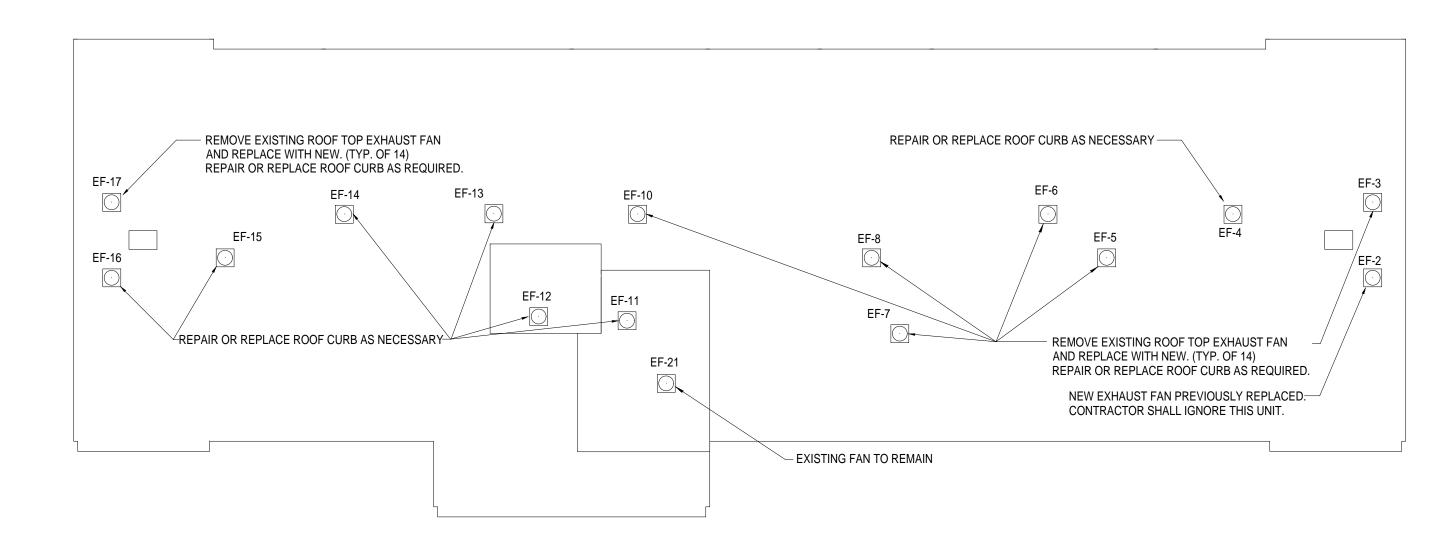
Bernice Crawley High Rise - UFAS One & Two

Bedroom Enlarged

Mechanical Plans

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



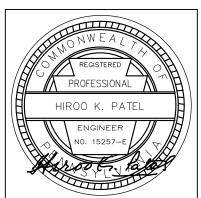
1 Roof Top Mechanical Plan 1/16" = 1'-0"

							DACIC OF DEC	ION	
TAG	DESCRIPTION	CFM	SP	RPM	Нр	VOLTAGE	BASIS OF DES	MODEL	REMARKS
EF-2	BATH/KITCHEN EXHAUST	700	0.5						PREVIOUSLY REPLACE
EF-3	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-4	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-5	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-6	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-7	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-8	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-9	BATH/KITCHEN EXHAUST	350	0.5						DO NOT REPLACE
EF-10	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-11	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-12	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-13	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-14	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-15	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-16	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-17	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST

NOTE:
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





Renaissance 3 Architects, P.C.

48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Design Technology

> > Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT

CONSULTING ENGINEERS
CARNEGIE, PENNSYLVANIA

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

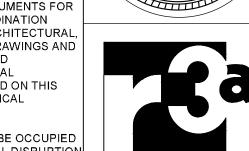
Bernice Crawley High Rise - Roof top

Plan

R3A PROJECT # 15074B







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> Design Technology Sustainability

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Allies & Ross Management and Corporation

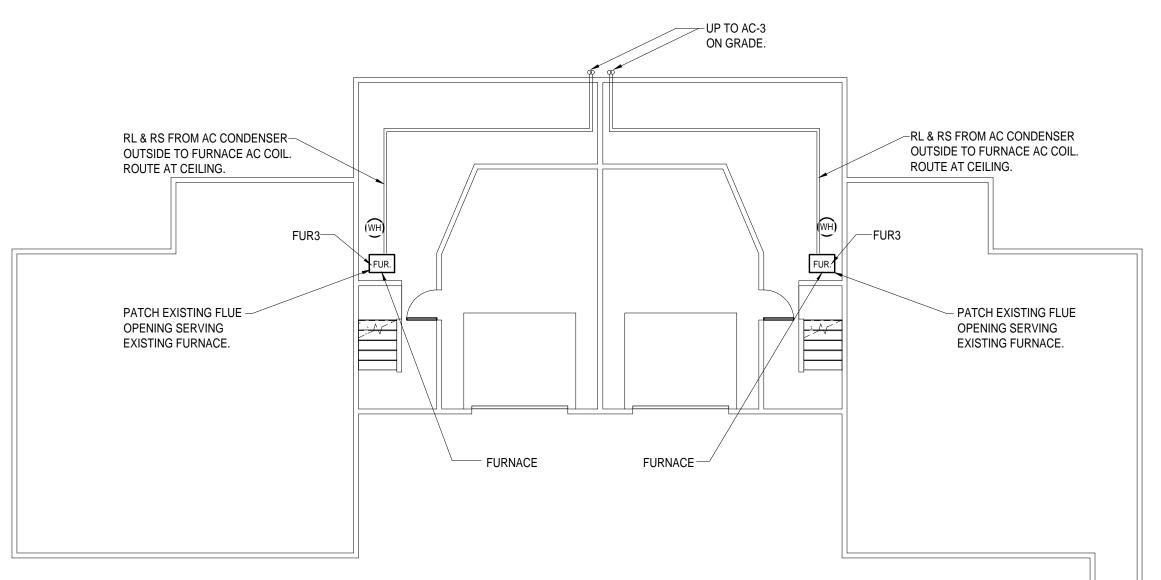
Task Order Contract No. 33 -Glen Hazel Rental (RAD)

October 27, 2017 Revision: REVISIONS

Bernice Crawley High

Elevations

R3A PROJECT # 15074B



Basement Floor Mechanical Plan

FURNACE

Second Floor Mechanical Plan

WRAP INSULATED REFRIG

UP OUTSIDE WALL.

LINES IN ALUMINUM JACKET FROM

OUTSIDE AC CONDENSING UNIT

RL & RS FROM AC CONDENSER-

OUTSIDE TO FURNACE AC COIL.

ROUTE UP OUTSIDE WALL AND

A Two Bedroom

EXHAUST FAN -

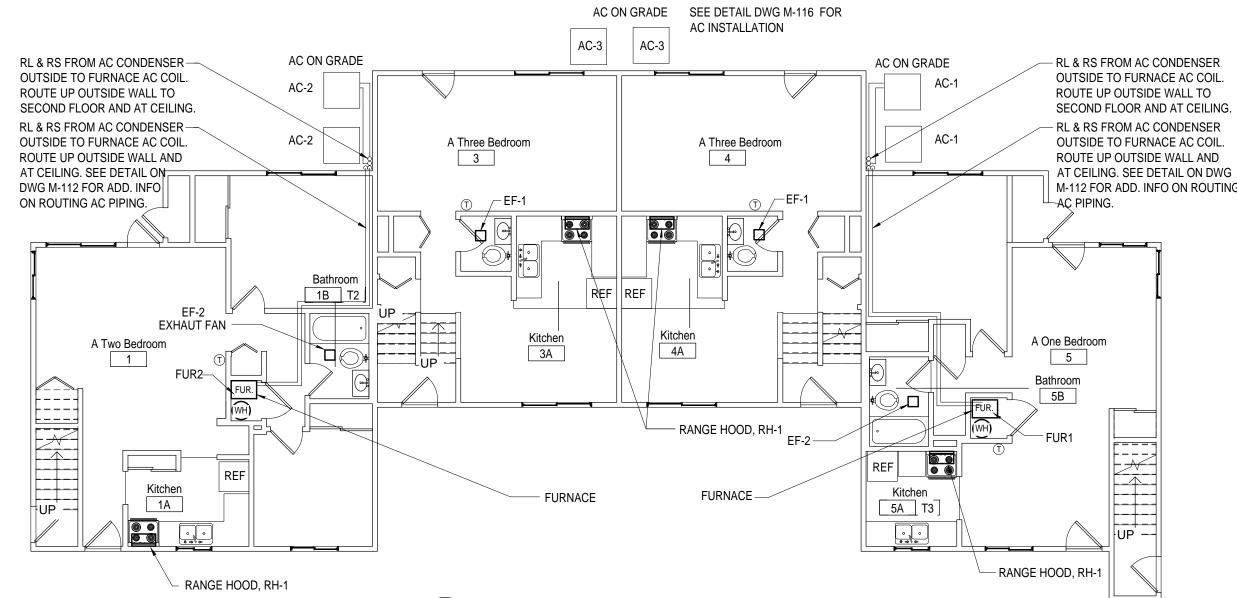
RANGE HOOD, RH-1

AT CEILING. SEE DETAIL

ON DWG M-112 FOR ADD.

INFO ON ROUTING AC

PIPING.



____ WRAP INSULATED REFRIG LINES IN ALUMINUM JACKET FROM OUTSIDE AC CONDENSING UNIT UP OUTSIDE WALL. -RL & RS FROM AC CONDENSER OUTSIDE TO FURNACE AC COIL. EF-2 — ROUTE UP OUTSIDE WALL AND AT CEILING. SEE DETAIL ON DWG M-112 FOR ADDITIONAL INFO ON [⊥]RQUTING AC PIPING. ______ A One Bedroom FURNACE ² RANGE HOOD, RH-1 |---

REFERENCE NOTES							
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. PROVIDE CO MONITOR. (TYP. ALL LOWRISE UNITS/FURNACES)						
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)						
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.						
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)						

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR IN KITCHEN. PATCH WALL OPENINGS.

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR EQUAL.

4. PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ, OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

AIR COOLED CONDENSING UNIT SCHEDULE

T40		AREA	TOTAL COOLING	ENT	ΓAIR	AMBIENT	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE	BASIS OF	F DESIGN	REMARKS
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLTAGE	LIVA	INA KLA		AMPS	MANUF	MODEL	KEMAKKO
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

PROVIDE DISCONNECT IN SIGHT OF CONDENSER. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

		AREA	HEATING	MAXIMUM					MAX FUSE	BA	ASIS OF DESIGN	
TAG	DESCRIPTION	SERVED	OUT CAP. MBH	HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	AMPS	MANUF	MODEL	REMARKS
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

			EXHAUS	T FAN SCH	IEDULE				
TAG	DESCRIPTION		CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OI	DESIGN	- REMARKS
		SERVED				AMPS	MANUF	MODEL	TEIW WITE
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW

NOTES: 1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC. 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF		REMARKS		
		SLIVED				AMPS	MANUF	MODEL			
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW		

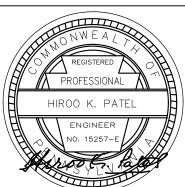
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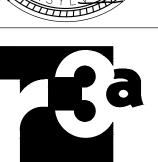
GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 2. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.





Renaissance 3 Architects, P.C.

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Technology

Sustainability

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Tri-State Design and Development consulting engineers carnegie, pennsylvania

CONSULTANT:

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017

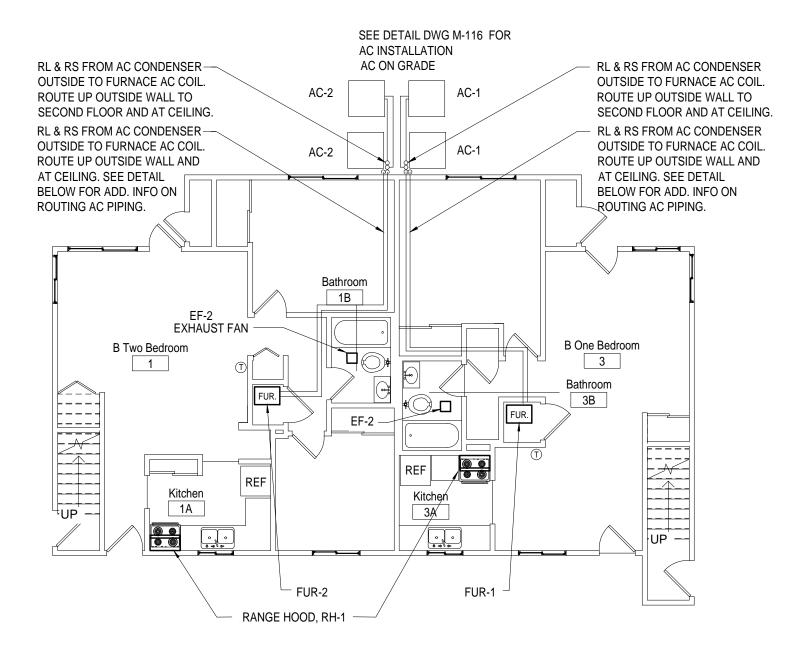
REVISIONS

Family Community

- Type A

R3A PROJECT # 15074B

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First Floor Mechanical Plan 1/8" = 1'-0"

RFFF	RFNCF	NOTES
		. 110160

FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NE IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST

FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO

DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

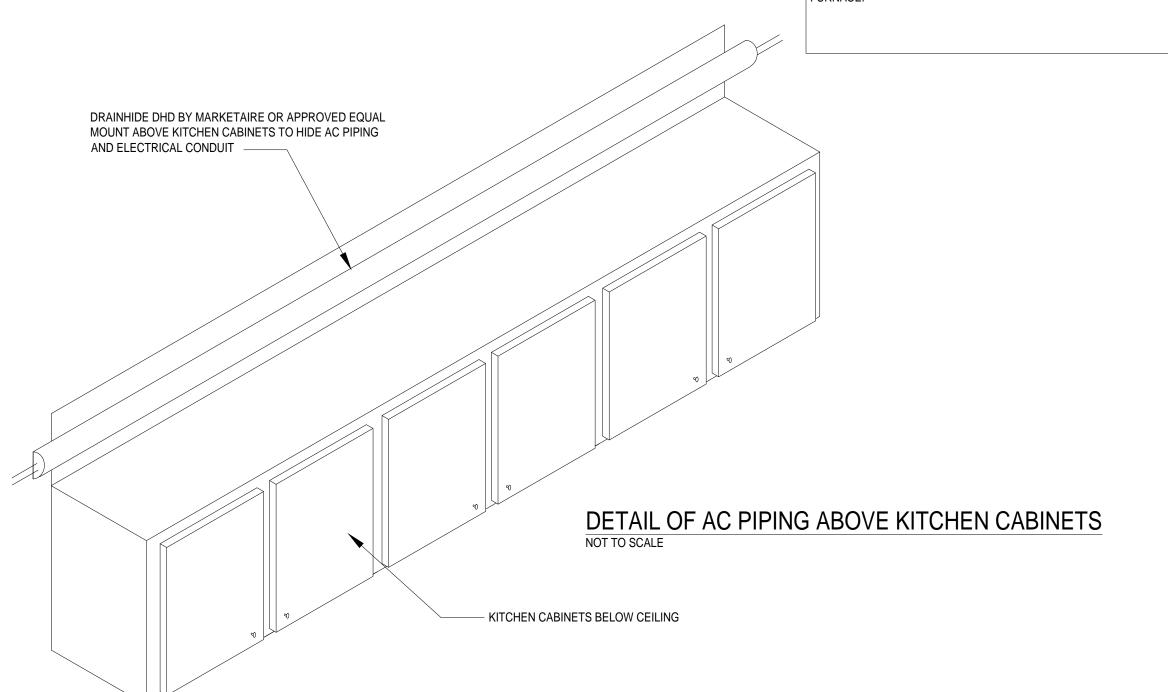
5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

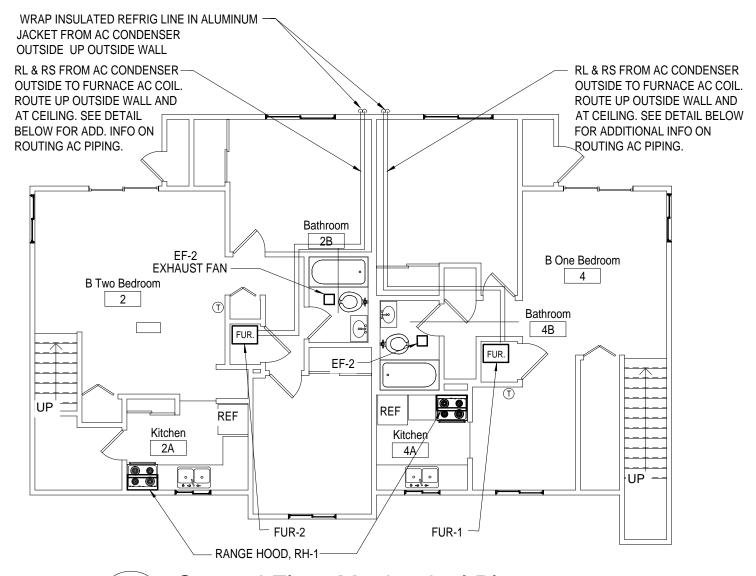
6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE





2 Second Floor Mechanical Plan 1/8" = 1'-0"

				AIR C	COOLE	D CON	DENSING	3 UN	IT SC	HED	ULE			
TAO	AREA CERVED		TOTAL COOLING	ENT	AIR	AMBIENT	VOLTAGE	LRA	RLA	MCA	MAX FUSE	BASIS OF	DESIGN	REMARKS
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLIAGE	LIVA	INLA	AMPS	AMPS	MANUF	MODEL	KLWAKKO
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

			NAT.	GAS FI	RED F	FURN/	ACE UNI	T SCHE	DULE	=		
TAG	DESCRIPTION	AREA	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE		SIS OF DESIGN	REMARKS
17.0	DECORUITOR	SERVED	MBH	INPUT CFH					AMPS	MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	³ / ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW.

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD

554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS
		SERVED	O 1 III	7027702		AMPS	MANUF	MODEL	REIVIARNO
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW

NOTES: 1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

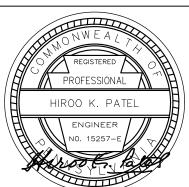
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS
		SERVED		VOLITIOE	WIG/T/TWII G	AMPS	MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN QP130		30 INCH WIDE. SEE NOTES BELOW

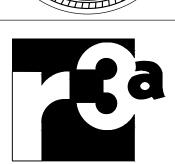
PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.





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Tri-State design and development consulting engineers carnegie, pennsylvania

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

JED: October 27, 2017

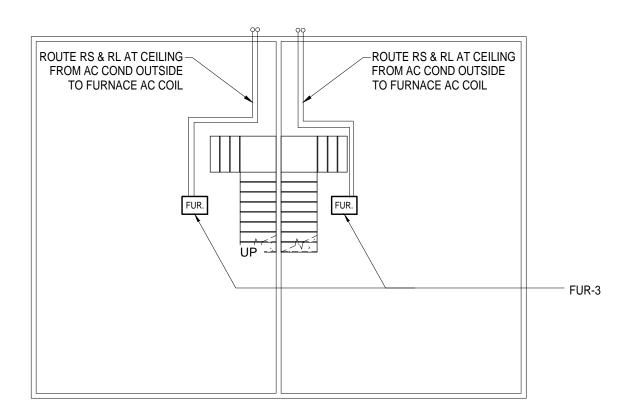
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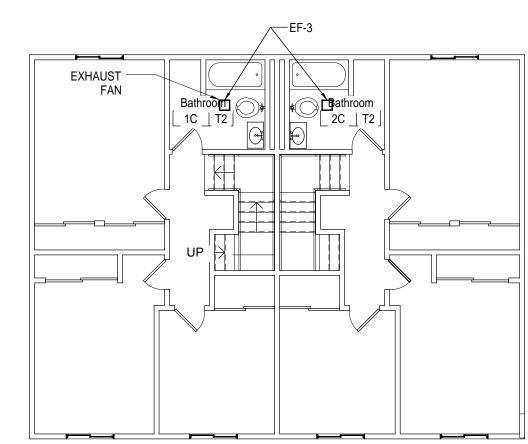
Community

- Type B

R3A PROJECT # 15074B



Basement Floor Mechanical Plan 1/8" = 1'-0"



3 Second Floor Mechanical Plan 1/8" = 1'-0"

REF	REFERENCE NOTES								
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)								
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)								
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.								
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)								

MECHANICAL NOTES:

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

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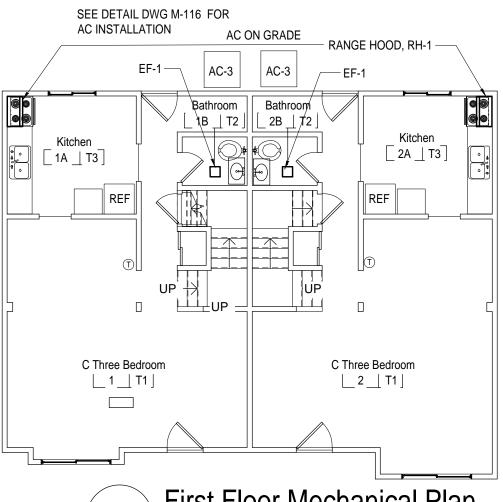
5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

 $6.\ensuremath{\mathsf{PROVIDE}}$ DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



First Floor Mechanical Plan
 First Floor Mechanical Plan 1/8" = 1'-0"

				AIR CO	OLED CON	IDENSING	UNIT SCHE	DULE						
TAG	DECODIDATION		TOTAL COOLING	ENT	AIR	AMBIENT	VOLTAGE	LRA	RLA	MCA	MAX FUSE	BASIS OF DESIGN		REMARKS
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLITICE	LIVI	INLA	AMPS	AMPS	MANUF	MODEL	TEMP WITE
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES:
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

		AREA	HEATING	MAXIMUM					MAX FUSE	BA	SIS OF DESIGN	
TAG	DESCRIPTION	SERVED	OUT CAP. MBH	HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	AMPS	MANUF	MODEL	REMARKS
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STA BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

			EXHAUS	ST FAN SCH	EDULE				
TAG	DESCRIPTION		CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OI	DESIGN	- REMARKS
		SERVED				AMPS	MANUF	MODEL	KLWAKKO
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE													
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS					
l		SERVED	0	VOLTAGE	IVICA AIVIF3	AMPS	MANUF	MODEL						
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW					

NOTES: 1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

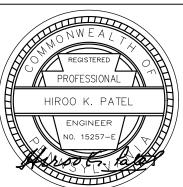
GENERAL DEMOLITION AND CONSTRUCTION NOTES

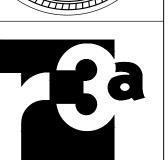
- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
 - EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110

FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.





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Design
Technology
Sustainability

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Allies & Ross
Management and
Development

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration

945 Roselle Ct Pittsburgh, PA 15207

Corporation

CONSTRUCTION

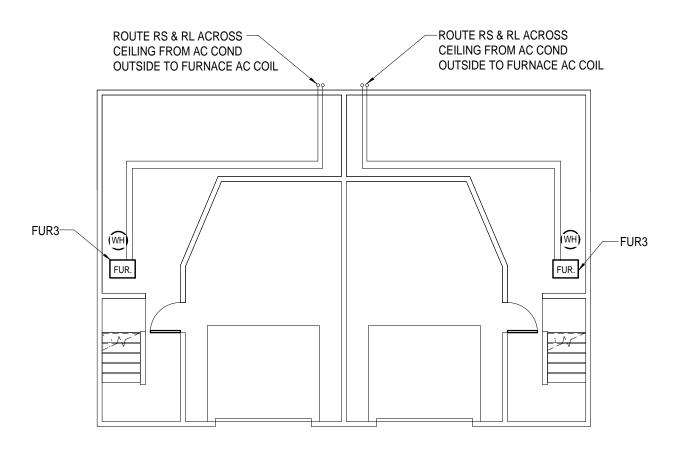
DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

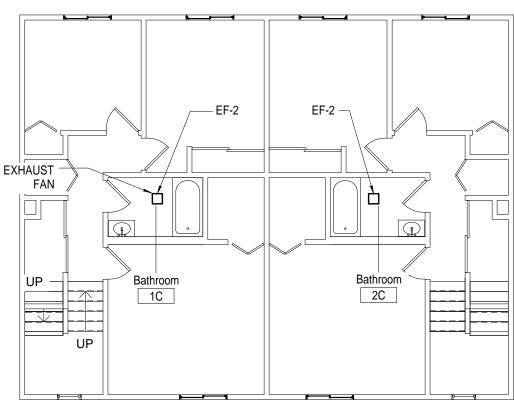
Family Community

- Type C

R3A PROJECT # 15074B



1 Basement Floor Mechanical Plan 1/8" = 1'-0"



3 Second Floor Mechanical Plan 1/8" = 1'-0"

REI	FERENCE NOTES
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTES

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

4 PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR
APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM
OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE

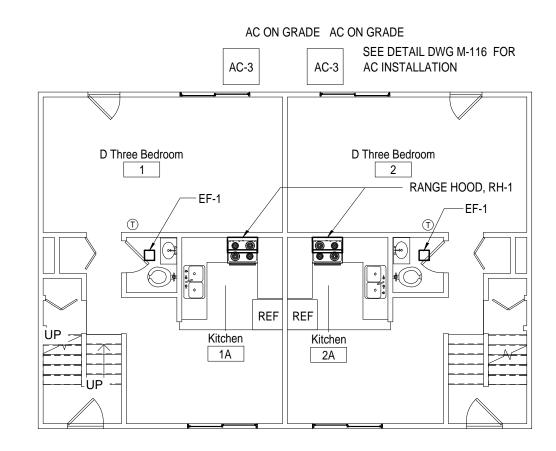
GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE



2 First Floor Mechanical Plan 1/8" = 1'-0"

	AIR COOLED CONDENSING UNIT SCHEDULE														
TA 0	DECODIDE	AREA	TOTAL COOLING	ENT	ΓAIR	AMBIENT	VOLTAGE	LRA	RLA	MCA	MAX FUSE	BASIS OF	DESIGN	REMARKS	
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLTAGE	LIVA	KLA	AMPS	AMPS	MANUF	MODEL	INLIVIANNO	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW	
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW	
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW	

PROVIDE DISCONNECT IN SIGHT OF CONDENSER. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	NAT. GAS FIRED FURNACE UNIT SCHEDULE														
TAG	DESCRIPTION	AREA	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE		SIS OF DESIGN	REMARKS			
17.0	DESCINII HON	SERVED	MBH	INPUT CFH					AMPS	MANUF	MODEL				
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW			
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	³ / ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW			
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW			

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

	EXHAUST FAN SCHEDULE												
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS				
		SERVED				AMPS	MANUF	MODEL	TIENT WITE				
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW				
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW				
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW				

NOTES: 1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE													
TAG			CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS					
		SERVED		V0217102	WIO/T/WII O	AMPS	MANUF	MODEL						
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW					

NOTES:
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

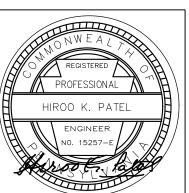
ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND

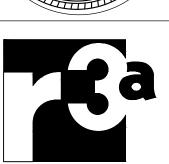
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 3. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110

FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.





Renaissance 3 Architects, P.C.

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Technology
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ARCHITECTS, P.C.

CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT
CONSULTING ENGINEERS
CARNEGIE, PENNSYLVANIA

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

CONSTRUCTION

DOCUMENTS

945 Roselle Ct

Pittsburgh, PA 15207

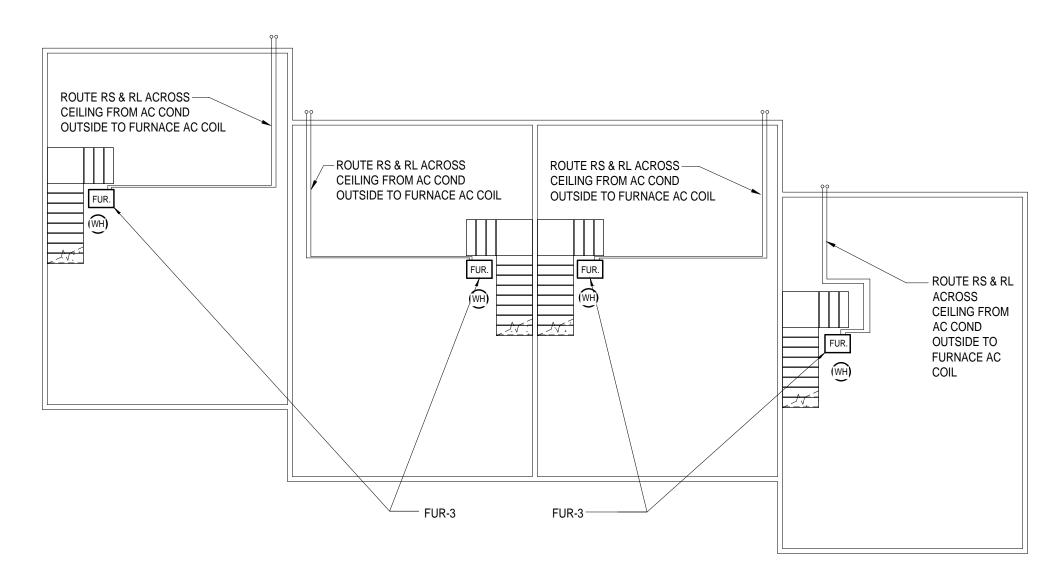
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REVISIONS

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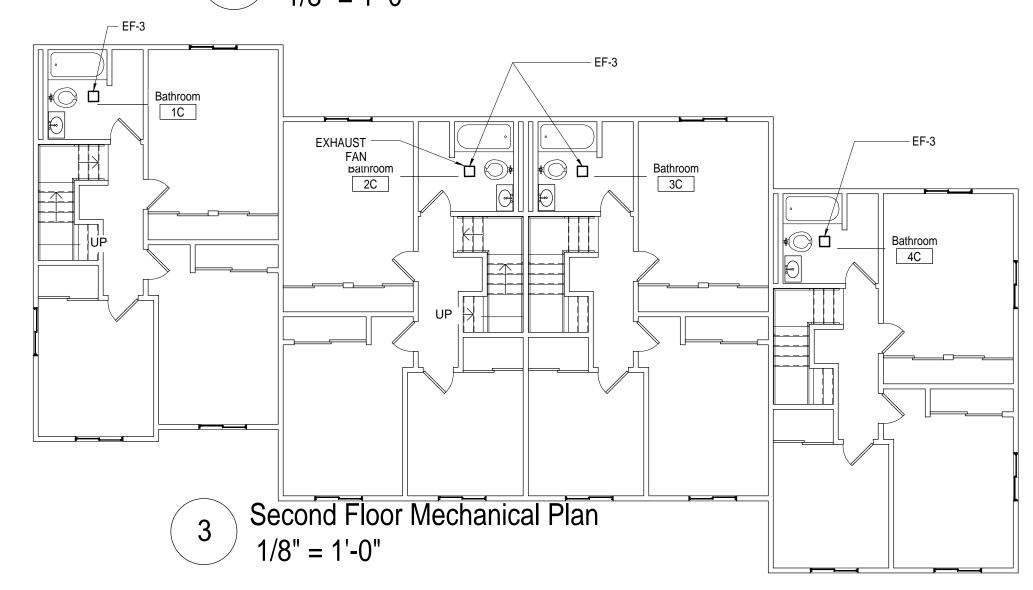
R3A PROJECT#

M-114

15074B



Basement Floor Mechanical Plan



REI	REFERENCE NOTES								
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)								
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)								
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.								
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)								

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

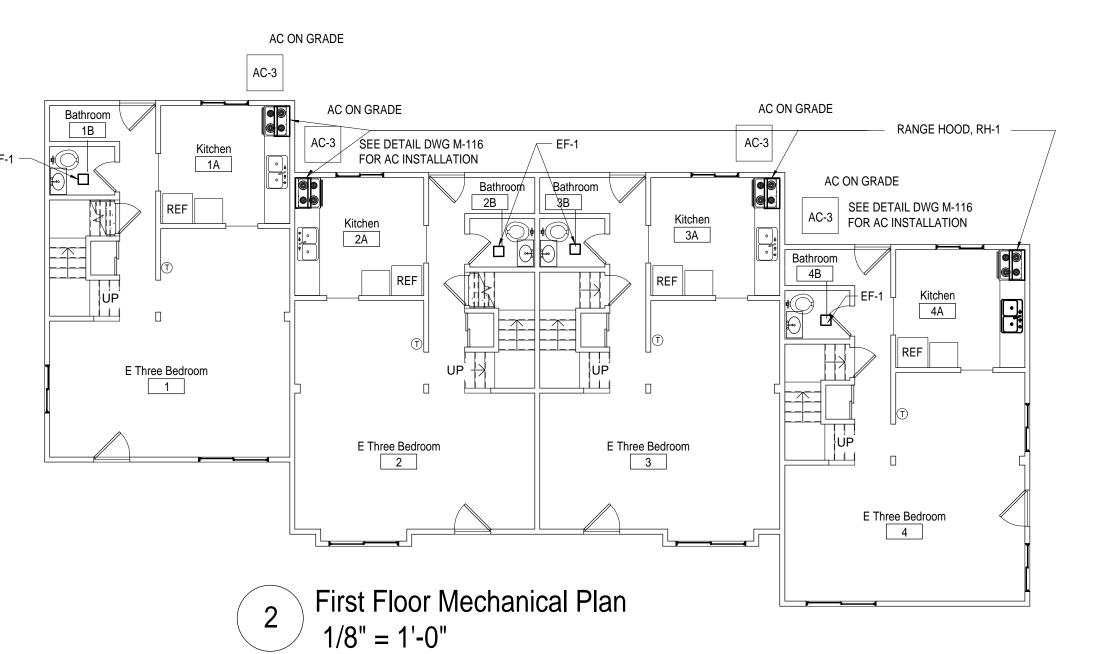
4 PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



AIR COOLED CONDENSING UNIT SCHEDULE												7.			
TAC	DECODIDATION	AREA	TOTAL COOLING	EN	ΓAIR	AMBIENT	VOLTAGE	LRA	RLA	MCA	MAX FUSE	BASIS OF	DESIGN	REMARKS	
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLTAGE	LIVA	INLA	AMPS	AMPS	MANUF	MODEL	REMARKS	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW	8
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW	
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW	9

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

NAT. GAS FIRED FURNACE UNIT SCHEDULE

	BEGGBIBTION	AREA	OUT CAP.	HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	FUSE	ВА	SIS OF DESIGN	REMARKS
TAG [DESCRIPTION	SERVED	MBH	INPUT CFH	VLINI	BLOWLIN	VOLTAGE	WICA AIVII 3	AMPS	MANUF	MODEL	KLIMAKKO
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	³ / ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	³ / ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER SEE NOTES BELOW

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

		EXHAU	IST FAN SCH	IEDULE				
DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OI	DESIGN	REMARKS
	SERVED	_			AMPS	MANUF	MODEL	KEIWIAKKO
BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW
_	BATH EXHAUST BATH EXHAUST BATH	BATH POWDER ROOM BATH SMALL BATHROOM BATH LARGE	DESCRIPTION AREA SERVED CFM BATH POWDER ROOM 50 BATH SMALL BATHROOM 80 BATH LARGE DATHBOOM 110	DESCRIPTION AREA SERVED CFM VOLTAGE BATH POWDER ROOM 50 115/1/60 BATH SMALL BATHROOM 80 115/1/60 BATH LARGE PATHROOM 110 115/1/60	BATH POWDER ROOM 50 115/1/60 15 BATH SMALL BATHROOM 80 115/1/60 15 BATH LARGE PATHROOM 110 115/1/60 15	DESCRIPTION AREA SERVED CFM VOLTAGE MCA AMPS MAX FUSE AMPS BATH EXHAUST POWDER ROOM 50 115/1/60 15 25 BATH EXHAUST SMALL BATHROOM 80 115/1/60 15 25 BATH EXHAUST LARGE DATHROOM 110 115/1/60 15 25	DESCRIPTION AREA SERVED CFM VOLTAGE MCA AMPS MAX FUSE AMPS BASIS OF MANUF BATH EXHAUST POWDER ROOM 50 115/1/60 15 25 BROAN BATH EXHAUST SMALL BATHROOM 80 115/1/60 15 25 BRONE BATH LARGE BATHROOM 110 115/1/60 15 25 BRONE	DESCRIPTION AREA SERVED CFM VOLTAGE MCA AMPS MAX FUSE AMPS BASIS OF DESIGN BATH EXHAUST POWDER ROOM 50 115/1/60 15 25 BROAN XB50 BATH EXHAUST SMALL BATHROOM 80 115/1/60 15 25 BRONE XB80 BATH EXHAUST LARGE DATHROOM 110 115/1/60 15 25 BRONE XB110

NOTES:

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE												
TAG	VOLTAGE MICA AMPS							DESIGN	REMARKS				
		SERVED	O W	VOLTAGE	IVICA AIVIF3	AMPS	MANUF MODEL						
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW				

NOTES:
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
 - FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED

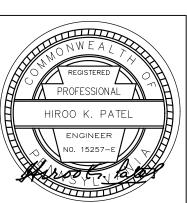
- ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

 3. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES

THROUGHOUT DEMOLITION AND CONSTRUCTION.

- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.





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Design
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Tri-State design and development consulting engineers carnegie, pennsylvania

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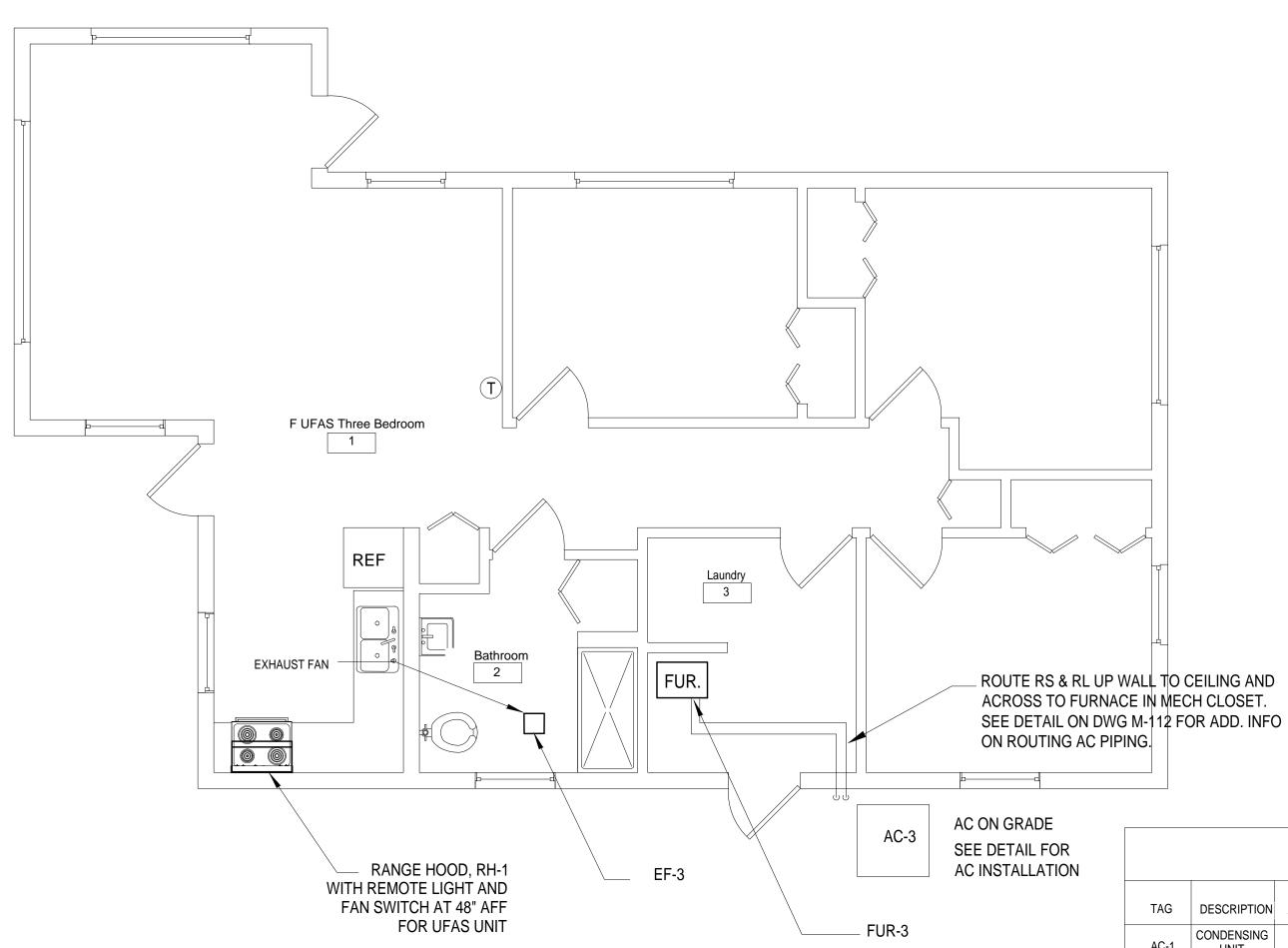
SSUED: October 27, 2017
REVISIONS

Family Community - Type E

R3A PROJECT #

M-115

15074B





REF	FERENCE NOTES
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
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EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

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3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

4 PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

AC CONDENSER ON 36X36X4 HIGH CONCRETE PAD, LEVEL 4X4 PRESSURE TREATED BOX FILLED WITH ½" GRAVEL. 4X4'S ON LEVEL GRADE

AC CONDENSER

DETAIL OF AC CONDENSER ON GRADE NOT TO SCALE

	AIR COOLED CONDENSING UNIT SCHEDULE													
												REMARKS		
IAG	DESCRIPTION SERVED CAP. MBI		CAP. MBH	DB	WB	AIR	VOLTAGE	LIXA	KLA	AMPS	AMPS	MANUF	MODEL	KLWAKKO
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
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			INAT. G	AS FIRED F	UKNACL	UNIT 3C	HEDULE						11
T4.0		AREA	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE	BA	ASIS OF DESIGN	REMARKS	
TAG	DESCRIPTION	SERVED	MBH	INPUT CFH	VLINI	BLOWLK	VOLTAGE	IVICA AIVIF 3	AMPS	MANUF	MODEL	KLIVIAKKO	12
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	
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1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PLIMP AT EACH FURNACE LOCATION. REPLACE IN KIND, PROVIDE LITTLE GIANT CONDENSATE PLIMP, MOD.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

	EXHAUST FAN SCHEDULE														
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	- REMARKS						
		SERVED				AMPS	MANUF	MODEL	TALIMI ACAG						
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW						
EF-2	BATH EXHAUST	SMALL 80		80 115/1/60		25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW						
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW						

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE												
TAG DESCRIPTION AREA SERVED CFM VOLTAGE MCA AMPS MAX FUSE AMPS MANUF MODEL REMARKS													
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW				

NOTES: 1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.

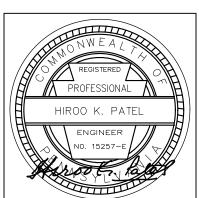
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
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- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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SEE DWG G-101, G-102 AND G-110 FOR BUILDING. APARTMENT UNIT

AND CODE INFORMATION.





Renaissance 3 Architects, P.C.

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Design
Technology
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT
CONSULTING ENGINEERS
CARREGIE, PENNSYLVANIA

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

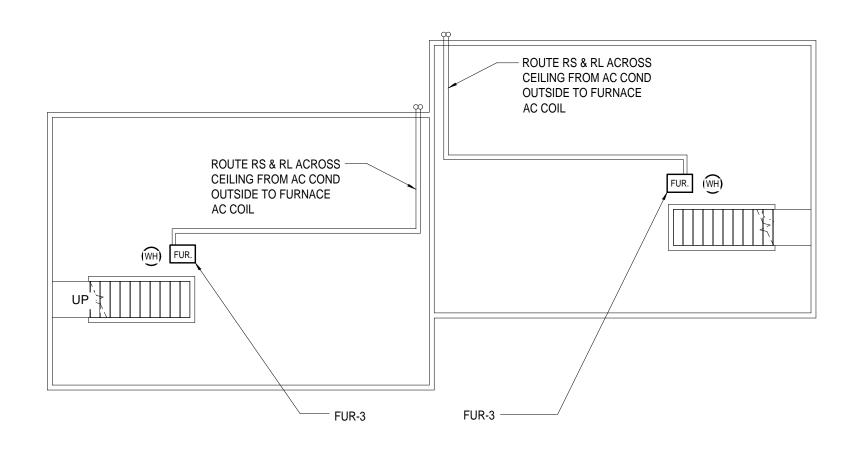
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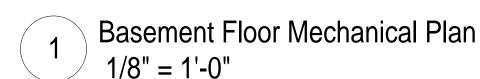
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REVISIONS

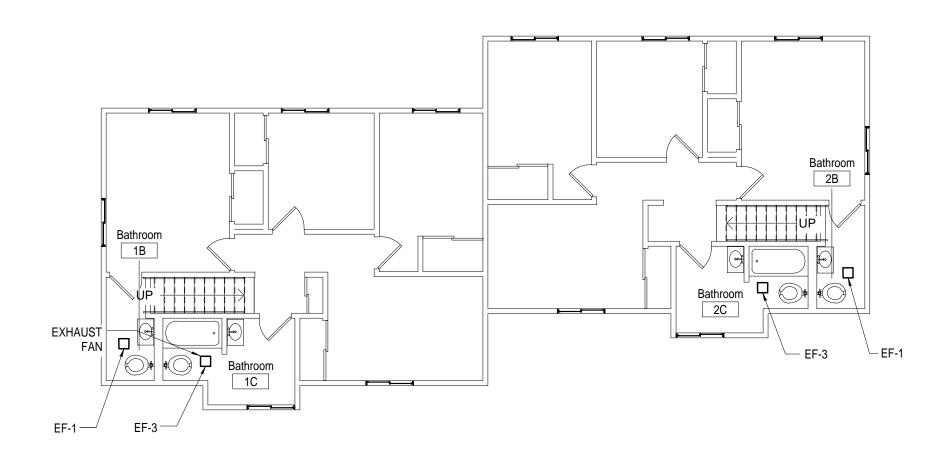
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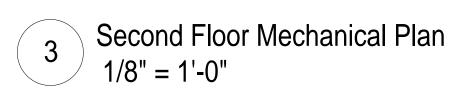
R3A PROJECT # 15074B

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DE	FERENCE NOTES	MECI
IXL	I LINUL NOTES	1. MECHA WHEN RE
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)	DUCTWOF AC COIL T INSULATIO ARCHITEO 2. SOME U EXHAUST RANGE HO WALL OPE
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)	3. PROVID CHANGE (CONTROL APPROVE
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.	4 PROVID APPROVE FROM OU
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)	5. LEVEL (GRAVEL, S INSTALL A
		7. CONNE

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING ROM OUTSIDE TO MECHANICAL CLOSET.

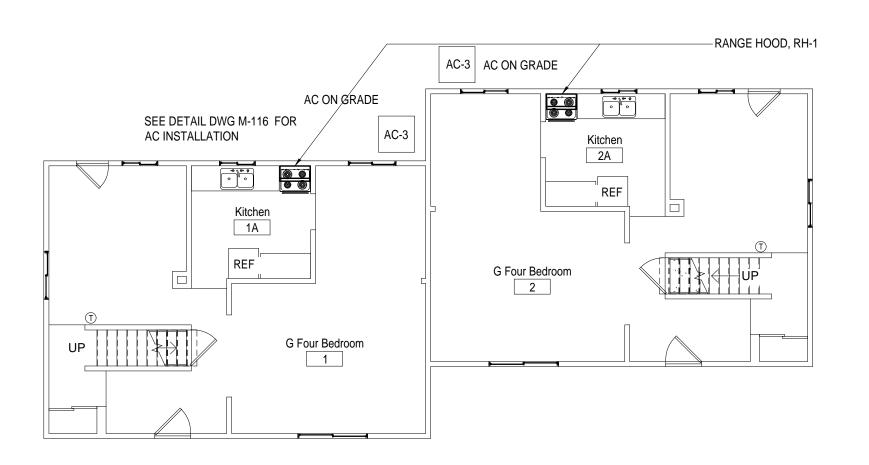
5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 First Floor Mechanical Plan 1/8" = 1'-0"

	AIR COOLED CONDENSING UNIT SCHEDULE														
TAG DESCRIPTION SERVED COOLING ENT AIR AMBIENT VOLTAGE LRA RLA AMPS FUSE REMARKS														DEMADIZO	
TAG	TAG DESCRIPTION SERVE		CAP. MBH	DB	WB	AIR	VOLTAGE	LKA	KLA	AMPS	AMPS	MANUF	MODEL	REWARKS	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	30	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW	
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW	
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE AND FOUR BEDROOM UNIT SEE NOTES BELOW	

NOTES:

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

	NAT. GAS FIRED FURNACE UNIT SCHEDULE													
TAG	DESCRIPTION	REMARKS												
		SERVED	MBH	INPUT CFH					AMPS	MANUF	MODEL			
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW		
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	³ / ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW		
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE AND FOUR BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW		

NOTE:

SEE DWG G-101, G-102 AND G-110

FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE														
TAG DESCRIPTION AREA CFM VOLTAGE MCA AMPS FUSE BASIS OF DESIGN REMARKS														
		SERVED	O1 III			AMPS	MANUF	MODEL	KEWAKKS					
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW					
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW					
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW					

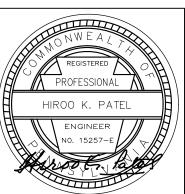
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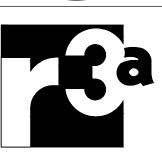
	RANGE HOOD SCHEDULE													
TAG	TAG DESCRIPTION AREA CFM VOLTAGE MCA AMPS FUSE REMARKS													
	SERVED VOLTAGE MCA AMPS AMPS MANUF MODEL													
RH-1	RANGE HOOD	440,000 44E/4/00 4E DDOAN OD400							30 INCH WIDE. SEE NOTES BELOW					

NOTES: 1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

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> Design Technology

> > Sustainability

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Tri-State DESIGN AND DEVELOPMENT CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

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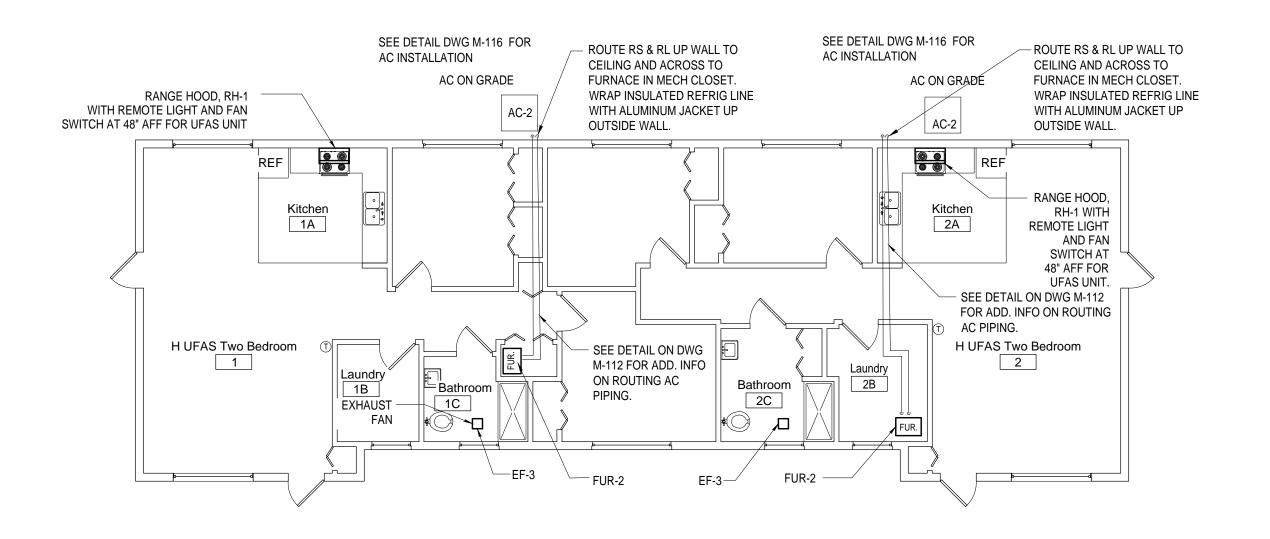
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CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Family Community - Type G

R3A PROJECT # 15074B



1 First Floor Mechanical Plan 1/8" = 1'-0"

REF	FERENCE NOTES
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE CRAVEL SUBSTRATE AND A INCH THICK CONCRETE PARTY.

4 PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR

GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

	AIR COOLED CONDENSING UNIT SCHEDULE														
TAG DESCRIPTION SERVED CAR MRU DR MANUE MODEL REMARKS													REMARKS		
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLIMOL	LIVI	I (L/ (AMP5	AMPS	MANUF	MODEL	TALIM WAY	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW	
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW	
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW	

NOTES: 1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

NAT. GAS FIRED FURNACE UNIT SCHEDULE		
	NAT. GAS FIRED FURNACE UNIT SCHEDUL	E.

TAC	DECODIDEION	AREA	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE	ВА	SIS OF DESIGN	REMARKS
TAG	DESCRIPTION	SERVED	MBH	INPUT CFH	VLIVI	DLOWLIN	VOLITIOL	WIO/T/WII O	AMPS	MANUF	MODEL	KEW KKO
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

	EXHAUST FAN SCHEDULE													
TAG	DESCRIPTION	REMARKS												
		SERVED				AMPS	MANUF	MODEL	TELVII ITTO					
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW					
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW					
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW					

NOTES:

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

			RANGE I	HOOD SCH	EDULE				
TAG	DESCRIPTION	AREA SERVED	DESIGN	REMARKS					
		SLIVED				AMPS	MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW
NOTEC:				1	1				

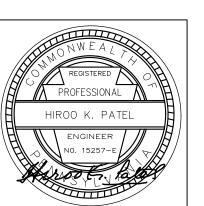
NOTES: 1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.





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Design
Technology
Sustainability

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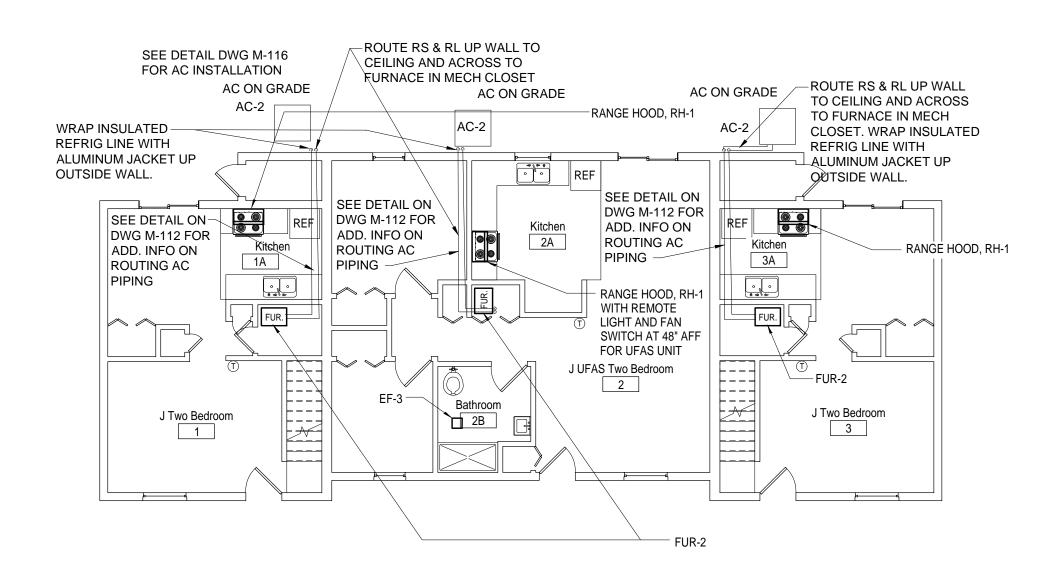
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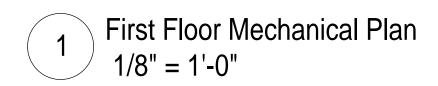
DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Family Community - Type H UFAS

R3A PROJECT # 15074B





REFERENCE NOTES

FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
E\//	REMOVE EXISTING TOILET EXHAUST FAN AND

REPLACE WITH NEW CEILING MOUNTED EXHAUST

DEMOLITION. (TYP. ALL LOW RISE UNITS)

FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO

EXHAUST

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

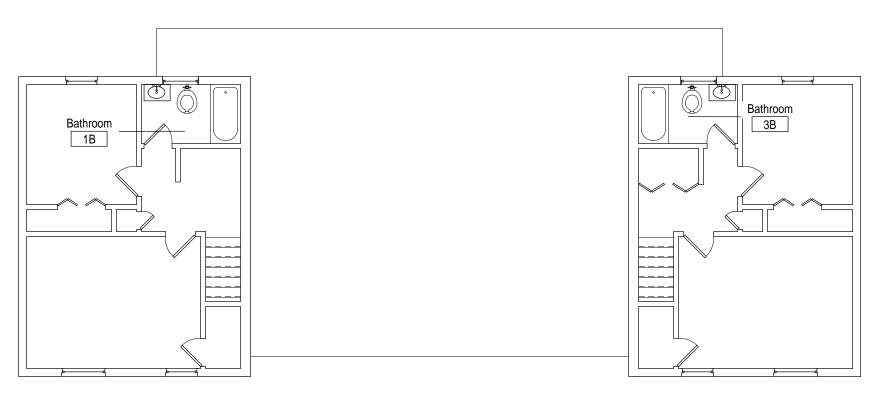
5. UFAS UNITS MAY HAVE EXISTING AC COND UNITS.
REMOVE EXISTING AND REPLACE IN KIND AT SAME
LOCATION. LEVEL GROUND UNDERNEATH, PROVIDE
GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD
TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 Second Floor Mechanical Plan 1/8" = 1'-0"

	AIR COOLED CONDENSING UNIT SCHEDULE													
TAC	DECODIDATION	AREA	TOTAL COOLING	ENT	AIR	AMBIENT	VOLTAGE	LRA	RLA	MCA	MAX FUSE	BASIS	OF DESIGN	REMARKS
IAG	TAG DESCRIPTION SERVED CAP. DB WB AIR VOLTAGE LIST NET AMPS MANUF MODEL													
AC-1	CONDENSING UNIT	LIVING SPACE	MBH 23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES: 1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE

- 10		AREA	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA	MAX FUSE	BASIS	OF DESIGN	REMARKS	
TAG	DESCRIPTION	SERVED	MBH	INPUT CFH	VLINI	BLOWER	VOLTAGE	AMPS	AMPS	MANUF	MODEL	KEWAKKO	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW	
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

	EXHAUST FAN SCHEDULE												
TAG	DESCRIPTION	REMARKS											
		112.11, 111.10											
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW				
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW				
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW				

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE													
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF		REMARKS					
		SLIVED				AMPS	MANUF	MODEL						
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW					

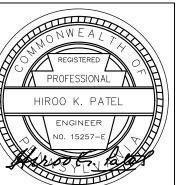
NOTES: 1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 5. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110 FOR BUILDING. APARTMENT UNIT

AND CODE INFORMATION.





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Technology

Sustainability

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Tri-State design and development

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

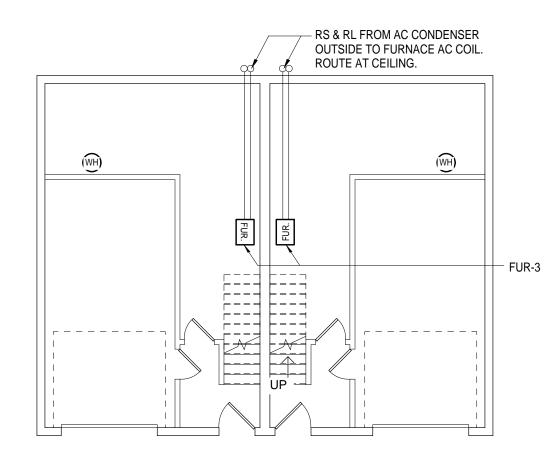
ISSUED: October 27, 2017
REVISIONS

Family Community

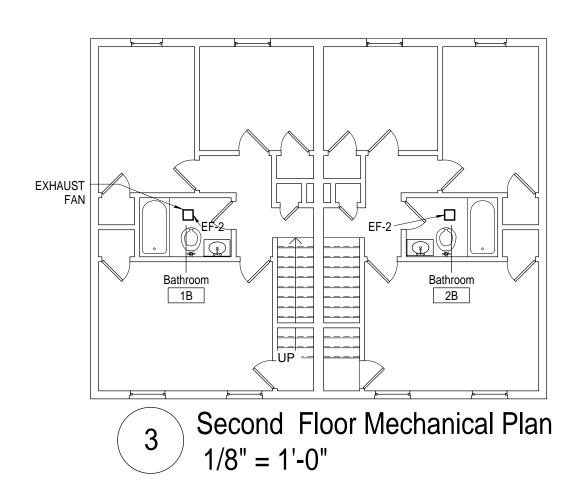
Type J/UFAS

R3A PROJECT # 15074B

*I*_119



Basement Floor Mechanical Plan 1/8" = 1'-0"



REI	FERENCE NOTES
FURNACE	REMOVE EXISTING FURNACE AND REPLACE, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

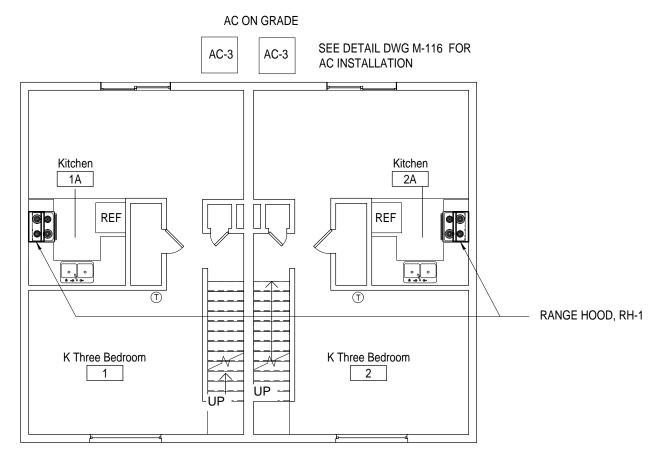
5. UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH, PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



First Floor Mechanical Pla 1/8" = 1'-0"

	AIR COOLED CONDENSING UNIT SCHEDULE														
TA 0	DECODIDATION	AREA	TOTAL COOLING	ENT	AIR	AMBIENT	VOLTAGE	LRA	RLA	MCA	MAX FUSE	BASIS OF	DESIGN	REMARKS	
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLIAGE	LIVA	NLA	AMPS	AMPS	MANUF	MODEL	KLIWAKKO	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW	
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW	
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW	
										-	-				

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

			NAT. G	AS FIRED F	URNACE	UNIT SC	CHEDULE					
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BA MANUF	SIS OF DESIGN MODEL	REMARKS
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

			EXHAL	JST FAN SCH	IEDULE				
TAG	DESCRIPTION	AREA	CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS
		SERVED	5	10217102		AMPS	MANUF	MODEL	INLIVIANNO
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

			RANGE I	HOOD SCH	EDULE				
TAG	DESCRIPTION	AREA	CFM	VOLTACE	MAX FUSE	BASIS OI	DESIGN	REMARKS	
		SERVED CFM VOLTAGE MCA AMPS FUSE AMPS MANUF MODEL REMARKS							
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

NOTES: 1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.

CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION

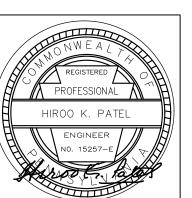
- ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

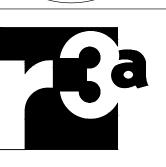
 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
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- 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110

FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.





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Design
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ROMETCES, P.G.

CONSULTANT:

Tri-State design and development consulting engineers carredie, pennsyl vania

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

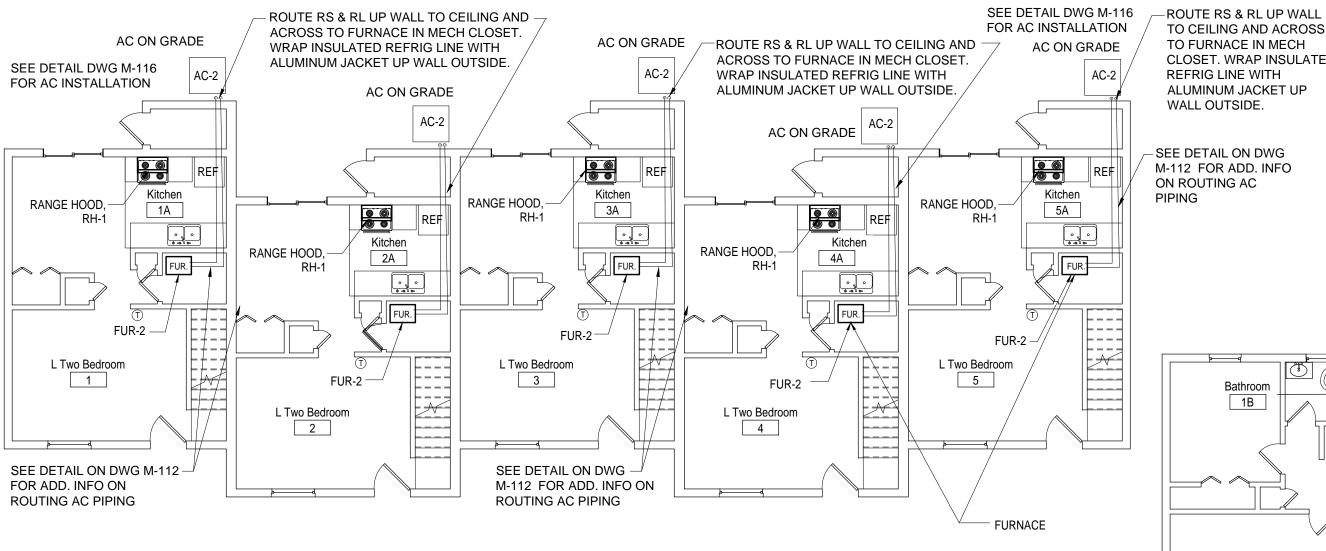
D: October 27, 2017

REVISIONS

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Community
- Type K

R3A PROJECT # 15074B



First Floor Mechanical Plan 1/8" = 1'-0"

REFERENCE NOTES REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION, CONNECT TO EXISTING FLUE, CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES) REMOVE EXISTING RANGE HOOD AND REPLACE RANGE WITH NEW RANGE HOOD. DE-ENERGIZE HOOD ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS) PROVIDE CONDENSING UNIT ON CONCRETE CONDENSING PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE. REMOVE EXISTING TOILET EXHAUST FAN AND **EXHAUST** REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

5. UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH, PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING

7. CONNECT NEW FURNACE TO EXISTING FLUE.

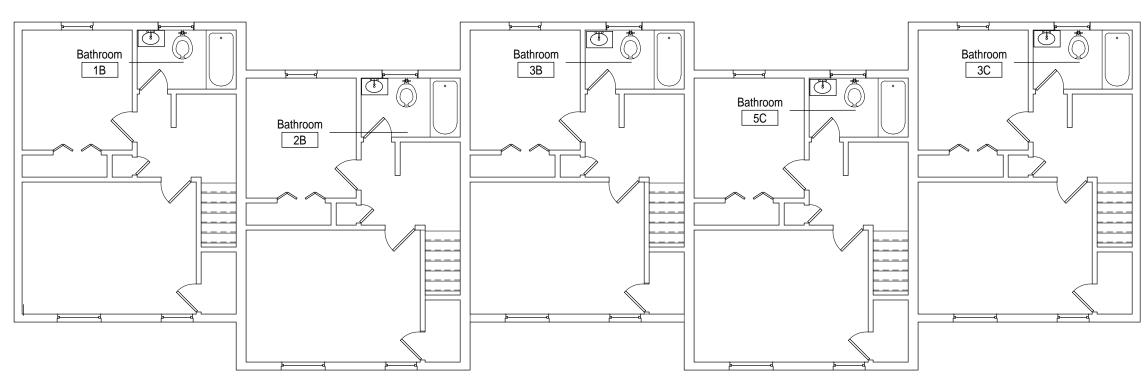
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9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

TO CEILING AND ACROSS TO FURNACE IN MECH

CLOSET. WRAP INSULATED REFRIG LINE WITH ALUMINUM JACKET UP WALL OUTSIDE.

- SEE DETAIL ON DWG M-112 FOR ADD. INFO ON ROUTING AC PIPING



Second Floor Mechanical Plan 1/8" = 1'-0"

	AIR COOLED CONDENSING UNIT SCHEDULE													
T40	DECODIDEION	AREA COOLING ENT AIR COOLING					AMBIENT VOLTAGE LRA		ДΙΛ	MCA RLA AMPS		BASIS OF DESIGN		REMARKS
TAG	DESCRIPTION	SERVED	CAP.	DB	WB	AIR	VOLIAGE	LIVA	INLA	AMPS	FUSE AMPS	MANUF	MODEL	KEMAKKO
AC-1	CONDENSING UNIT	LIVING SPACE	MBH 23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
 PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT GAS FIRED FURNACE UNIT SCHEDULE

			INAT. C	AO I INLU	or Oran	IACL OI	III SCIILD	OLL					
TAG	DESCRIPTION	AREA	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE		IS OF DESIGN	REMARKS	
IAG	DESCRIPTION	SERVED	MBH	INPUT CFH				AIVIFS	AMPS	MANUF	MODEL		
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW	
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNE	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING. 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL. 3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

	EXHAUST FAN SCHEDULE								
TAG	DESCRIPTIC		CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS
		SERVED			AIVIPS	AMPS	MANUF	MODEL	TEND UTG
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC 2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE										
TAG	DESCRIPTION	AREA SERVED									
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN		30 INCH WIDE. SEE NOTES BELOW		

1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT, HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME

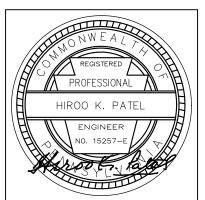
CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION

- FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
- INCLUDING DISPOSAL MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES

THROUGHOUT DEMOLITION AND CONSTRUCTION.

- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS AND COMMUNITY ROOM BUILDING MUST COMPLY AND MEET UFAS REQUIREMENTS.
- CONTRACTORS ARE TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- CONTRACTORS ARE REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.





Renaissance 3 Architects, P.C.

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> Design Technology Sustainability

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CONSULTANT:

ri-State design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA Allies & Ross

Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

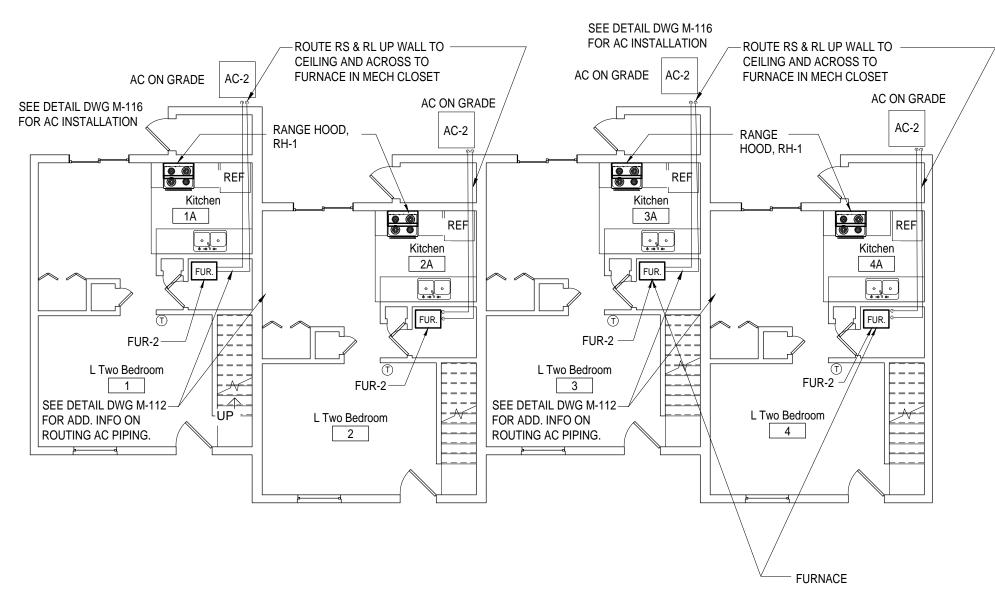
ISSUED: October 27, 2017

REVISIONS

Family Community

- Type L

R3A PROJECT # 15074B





RE	FERENCE NOTES
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

1. MECHANICALCONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

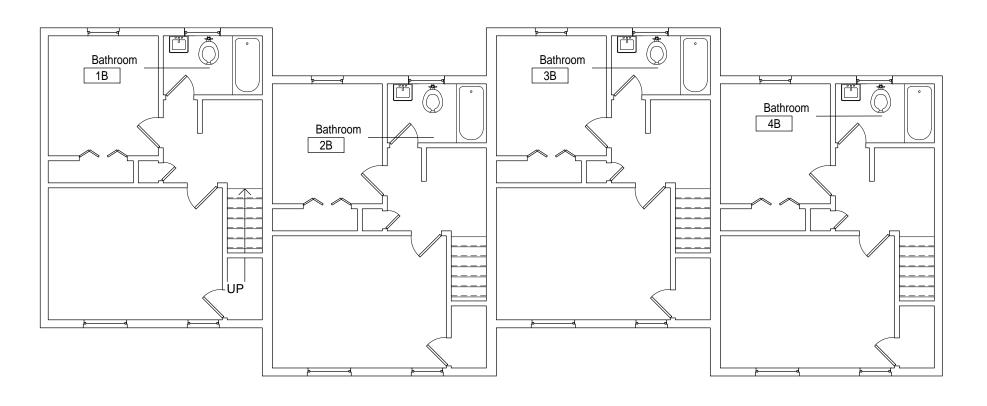
5. UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH, PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6.PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 Second Floor Mechanical Plan 1/8" = 1'-0"

	AIR COOLED CONDENSING UNIT SCHEDULE													
T. 0		AREA	TOTAL COOLING	ΓAIR	AMBIENT	VOLTAGE	LRA	DLA	MCA	MAX FUSE	BASIS OF DESIGN		REMARKS	
TAG	DESCRIPTION	SERVED	CAP. MBH	DB	WB	AIR	VOLTAGE	LNA	RLA	AMPS	AMPS	MANUF	MODEL	REWARKS
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

			NAT. G	AS FIRED F	URNACE	UNIT SC	HEDULE						
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP.	MAXIMUM HEATING	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS		SIS OF DESIGN	REMARKS	
			MBH	INPUT CFH					AIVIFO	MANUF MODEL			
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW	
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/ ₄ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW	

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

	EXHAUST FAN SCHEDULE								
TAG	DESCRIPTION		CFM	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	REMARKS
		SERVED				AMPS	MANUF	MODEL	KLWAKKO
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	FOR LARGE BATHROOM SEE NOTES BELOW							

NOTES:

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	RANGE HOOD SCHEDULE										
TAG	CEDVED VOLTAGE INICA ANIPS								REMARKS		
		SEKVED	ERVED AMPS MANUF MODEL								
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW		

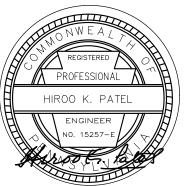
NOTES:
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

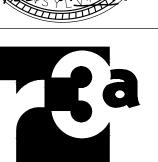
GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 3. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 5. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT

AND CODE INFORMATION.





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Design
Technology
Sustainability

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CONSULTANT:

Tri-State Design and Development consulting engineers carnegie, pennsylvania

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
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Pittsburgh, PA 15207

CONSTRUCTION

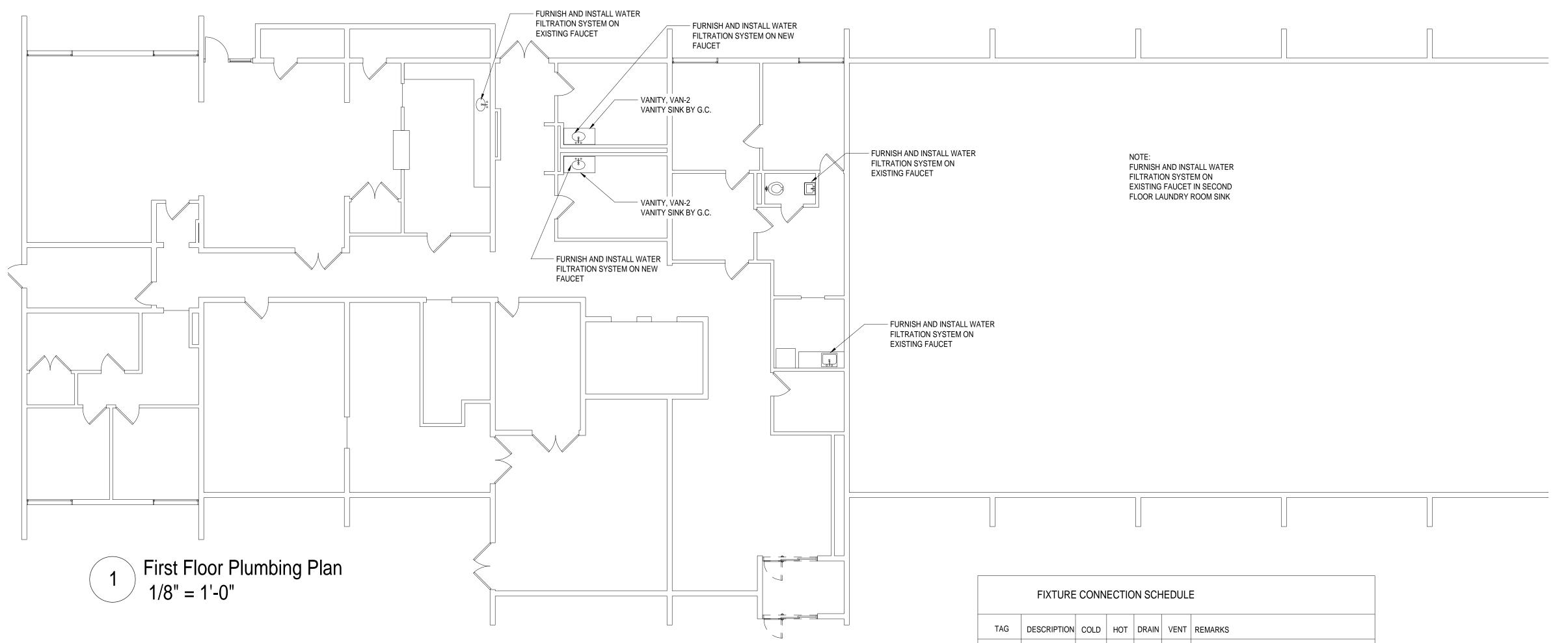
DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Family Community - Type M

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



REF	ERENCE NOTES
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK. PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. HAS PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY, WHERE NO CASEWORK PROTECTS PIPING AND IN

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB

5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING. FURNISH AND INSTALL NEW VALVE AND FLEX PIPE.

COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE. SHUTOFF WATER AT

UFAS/ADA APARTMENT UNITS.

SHOWER, TUB NOZZLE, SHOWER FLEX HOSE AND SHOWER HEAD OR APPROVED EQUAL.

DESCRIPTION

BATHROOM

SINK

BATHROOM

SINK

SERVED

BATHROOM

BATHROOM

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHTUB

VANITY

KITCHEN

SINK

VAN-1

SNK-1

TAG

WMS-1

VAN-2

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT KITCHEN AND BATHROOM FAUCETS IN COMMON AREA OF FIRST FLOOR AND SECOND FLOOR LAUNDRY. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. MOD SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

DIMENSIONS

LxWxD

20x18

FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

BATHROOM SINK SCHEDULE

CONSTRUCTION

VITREOUS

CHINA

BASIS OF DESIGN

SLOAN

MANUF MODEL

1/2" | 1/2" | 2" | 2"

NOTE:

REMARKS

SS-3003 FAUCET, DRAIN INSULATION. NOTES 1 & 2.

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARMTMENT AND CODE INFORMATION.

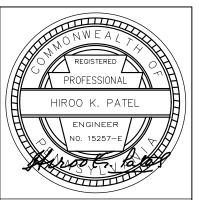
CONNECT PULL BUTTON TO SINK PLUNGER ON

REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE

VALVES, PLUNGER. REPLACE WITH NEW. NOTES 1 & 2.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK, GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Technology Sustainability

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CONSULTANT: ri-State design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

CONSTRUCTION

DOCUMENTS

945 Roselle Ct Pittsburgh, PA 15207

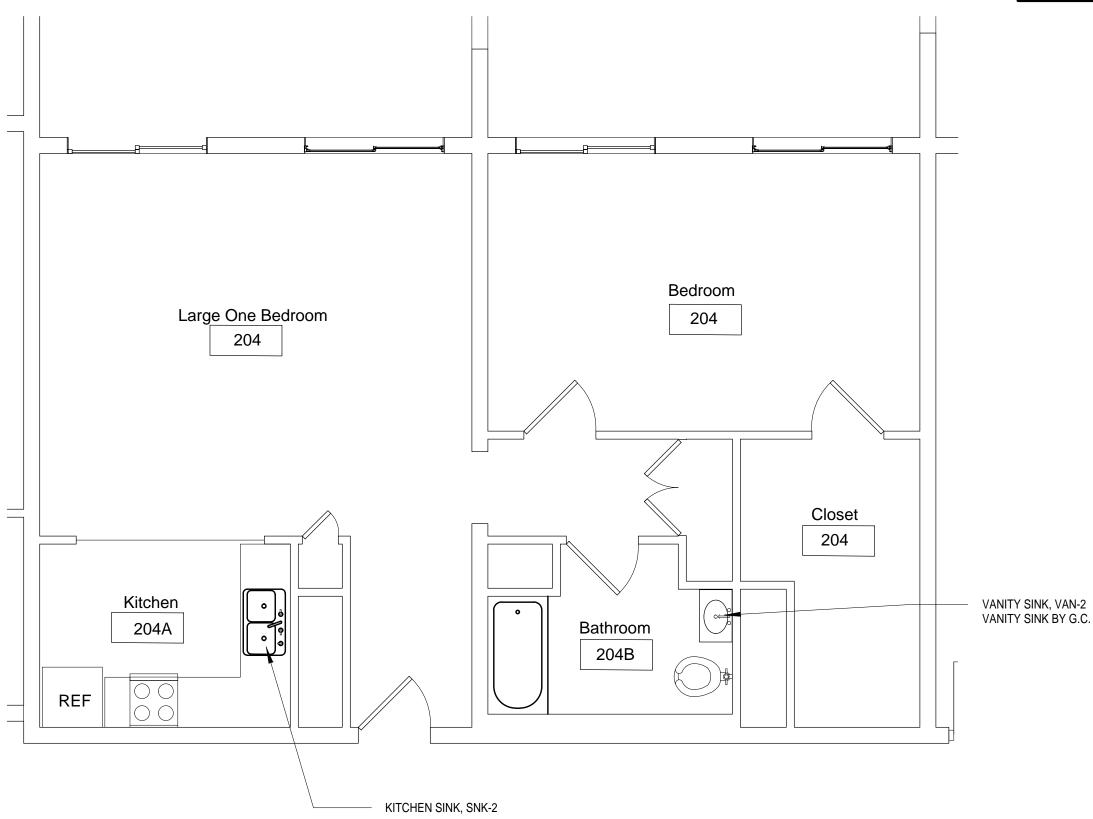
> October 27, 2017 REVISIONS

Bernice Crawley High Rise - First Floor Plumbing Plan

R3A PROJECT # 15074B

P-101

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



Typical Large One Bedroom Enlarged Plumbing Plan 1/4" = 1'-0"

REFERENCE NOTES

KITCHENS)

LINES. (TYP. OF ALL LAVS)

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER

IN ALL HIGH RISE APARTMENT UNITS. WATER FILTRATION

PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL

"NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE

BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME

FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS

SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET

KITCHEN

VANITY

NOTES

WARRANTY: 2 YEARS.

LOCATE SUPPLY PIPING AND TURN OFF WATER

SINK, FAUCET SET, P TRAP AND SUPPLY LINES.

LOCATE SUPPLY PIPING AND TURN OFF WATER

NEW FROM ISOLATION VALVES. INSTALL SINK

FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL

PLUNGER WITH P TRAP. RECONNECT PLUMBING

SUPPLY TO VANITY SINK. REMOVE EXISTING

SUPPLY TO KITCHEN SINK. REMOVE EXISTING

INSTALL NEW FROM ISOLATION VALVES.

RECONNECT PLUMBING LINES. (TYP. OF ALL

GENERAL NOTES

1. THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.

2. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES AFFECTED BY THIS CONTRACTOR, IF PREVIOUSLY PAINTED BY G.C.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES WHERE NO CASEWORK PROTECTS PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING. FURNISH & INSTALL NEW VALVE AND FLEX PIPE.

5. REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE/TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

6. GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE, CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT.

7. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE. PC TO DISCONNECT DRAIN FROM SINK REMOVED BY G.C.

8. PC TO FURNISH AND INSTALL UFAS/ACCESSIBLE WALL MOUNTED SINK AND FAUCET, PIPING PROTECTION AND WALL CARRIER. PATCH DRYWALL SMOOTH AND PREPARE WALL FOR PAINT. TYPICAL AT ALL HIGH RISE UFAS/ACCESSIBLE UNITS. REFER TO DWG. G-101 AND G-110 FOR UNIT TYPES. REFER TO DGW. A-001 FOR MOUNTING HEIGHTS.

9. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.

KITCHEN SINK SCHEDULE BASIS OF DESIGN DIMENSIONS CONSTRUCTION REMARKS DESCRIPTION SERVED LxWxD MANUF | MODEL 4 PRE-DRILLED HOLES, DOUBLE BOWL, KITCHEN 18 GAUGE 304 SNK-1 KITCHEN ELKAY | ECTSRAD33226BG 33x22x6 TOP MOUNT, DRAIN INSULATION. NOTES 1 & 2 SINK STAINLESS AMER 4 PRE-DRILLED HOLES, DOUBLE BOWL, STAINLESS STANDARD 22DB.8332283S.075 20 GAUGE 304 KITCHEN SNK-2 KITCHEN 33x22x8 TOP MOUNT, DRAIN INSULATION. NOTES 1 & 2 SINK

Kitchen

REF

Bedroom

207

Typical Small One Bedroom Enlarged Plumbing Plan 1/4" = 1'-0"

207A

Small One Bedroom

207

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	BATHROOM SINK SCHEDULE												
TAG	DECODIDITION	AREA	DIMENSIONS	CONSTRUCTION	BASIS OF D	ESIGN	REMARKS						
IAG	DESCRIPTION	SERVED	LxWxD	33.13.1.10011011	MANUF	MODEL							
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION. NOTES 1 & 2						
VAN-2	REMOVE FALICET, SUPPLY AND DRAIN PIPING												
NOTE													

FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
 PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	FIXTURE CONNECTION SCHEDULE											
TAG	DESCRIPTION	COLD	нот	DRAIN	VENT	REMARKS						
BT-1	BATHTUB	1/2"	1/2"	2"	2"							
VAN-1	BATH VANITY	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "							
SNK-1	KITCHEN SINK	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "							

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
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KITCHEN SINK, SNK-2

VANITY SINK, VAN-2

VANITY SINK BY G.C.

- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

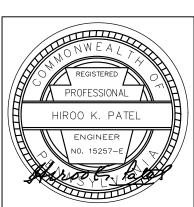
 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

THROUGHOUT DEMOLITION AND CONSTRUCTION.

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.

- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.





Renaissance 3 Architects, P.C.

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Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

www.r3a.com Design

Technology

Sustainability

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THIS DRAWING IS INTENDED TO BE USED DRUY FOR THE PROJECT AND OWNER NDICATED IN THIS TITLE

CONSULTANT:

Tri-State design and development consulting engineers carnegie, pennsylvania

Allies & Ross
Management and
Development

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration

Corporation

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Bernice Crawley High Rise - Small & Large One Bedroom Enlarged Plumbing Plan

R3A PROJECT # 15074B

D 105

REFERENCE NOTES LOCATE SUPPLY PIPING AND TURN OFF WATER KITCHEN SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. INSULATE DRAIN LINE. (TYP. OF ALL KITCHENS) LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY VANITY SINK, FAUCET SET, P TRAP AND SUPPLY SINK LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS) REMOVE AND DISCARD EXISTING VANITY, COUNTERTOP AND FAUCET. PROVIDE AND UFAS INSTALL UFAS COMPLIANT VITREOUS WALL BATH MOUNTED SINK, FAUCET AND PIPE INSULATION. VANITY PLUMBING CONT TO DISCONNECT AND RECONNECT PLUMBING TO SINK.

GENERAL NOTES

1. THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.

2. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE.

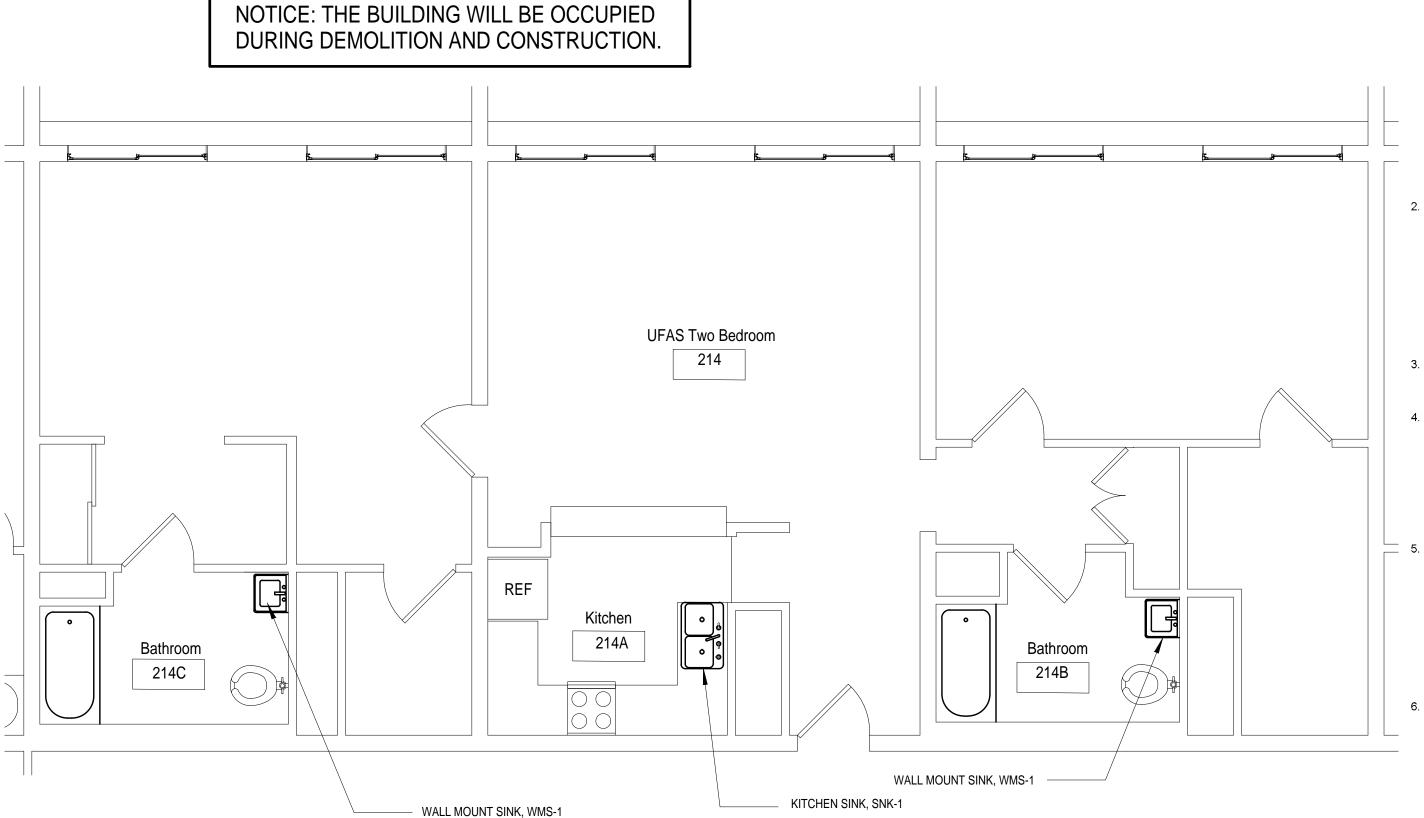
5. REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB/SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

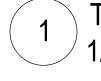
6. UFAS BATH FLOOR TILE NOT BEING REPLACED.

7. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE. PC TO DISCONNECT DRAIN FROM SINK REMOVED BY G.C.

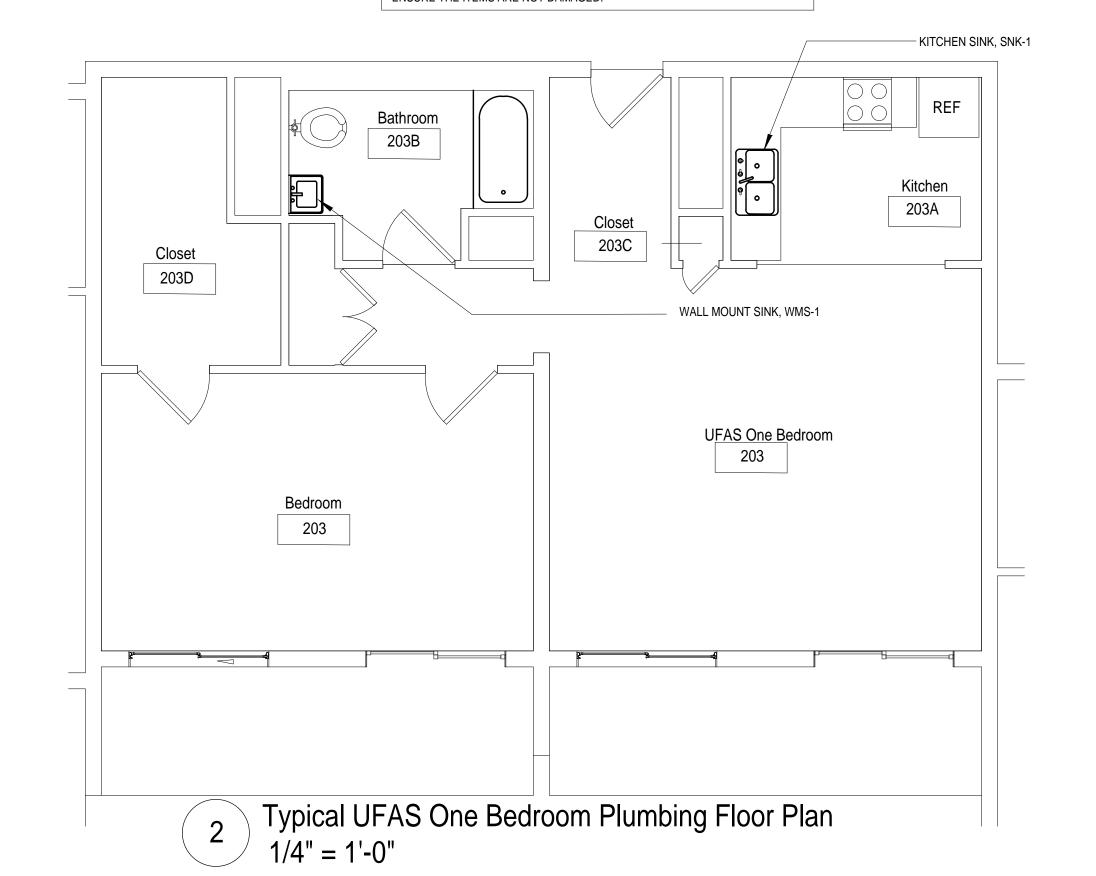
8. PLUMBING CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE WALL MOUNTED SINK AND FAUCET, PIPING PROTECTION AND WALL CARRIER, PATCH DRYWALL SMOOTH AND PREPARE FOR PAINT. TYPICAL AT ALL HIGH RISE UFAS/ACCESSIBLE UNITS. REFER TO DWG G-101 AND G-110 FOR UNIT TYPES. REFER TO DWG A-001 FOR MOUNTING HEIGHTS.

9. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.





Typical UFAS Two Bedroom Plumbing Floor Plan 1/4" = 1'-0"



NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL HIGH RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS.

PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL
"NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE
BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

KITCHEN SINK SCHEDULE												
AREA DIMENSIONS CONSTRUCTION BASIS OF DESIGN REMARKS												
DESCRIPTION	SERVED	LxWxD		MANUF	MODEL	-						
KITCHEN SINK KITCHEN 33x22x6 20 GAUGE 304 STAINLESS STANDARD 22DB.6332283S.075 4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION. NOTES 1 & 2												
NOTE: 1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.												
	KITCHEN SINK AUCET: MOEN 8" C	DESCRIPTION SERVED KITCHEN SINK KITCHEN AUCET: MOEN 8" CHATEAU 7430, WI	DESCRIPTION AREA SERVED DIMENSIONS LXWXD KITCHEN SINK KITCHEN 33x22x6 AUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/	DESCRIPTION AREA SERVED DIMENSIONS LXWXD CONSTRUCTION KITCHEN SINK KITCHEN 33X22X6 20 GAUGE 304 STAINLESS	DESCRIPTION AREA SERVED DIMENSIONS LXWXD CONSTRUCTION MANUF KITCHEN SINK KITCHEN 33x22x6 20 GAUGE 304 STAINLESS STANDARD AUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY C	DESCRIPTION AREA SERVED DIMENSIONS LXWXD CONSTRUCTION BASIS OF DESIGN MANUF MODEL KITCHEN SINK KITCHEN 33x22x6 STAINLESS STANDARD 22DB.6332283S.075 AUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE						

	BATHROOM SINK SCHEDULE											
TAG	DESCRIPTION		DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF D	PESIGN MODEL	REMARKS					
WMS-1	BATHROOM SINK	BATHROOM	20x18x5	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION. NOTES 1 & 2					

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	FIXTURE CONNECTION SCHEDULE											
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS						
BT-1	BATHTUB	1/2"	1/2"	2"	2"							
VAN-1	BATH VANITY	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "							
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1 "	1 <u>1</u> "							

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.

THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND

LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION
INCLUDING DISPOSAL

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY

APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES

REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST

THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA

COMPLY AND MEET UFAS REQUIREMENTS.

1. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

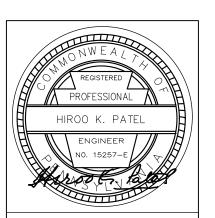
BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNIT AND CODE INFORMATION.





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Design
Technology
Sustainability

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Tri-State design and development consulting engineers carnegie, pennsylvania

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017

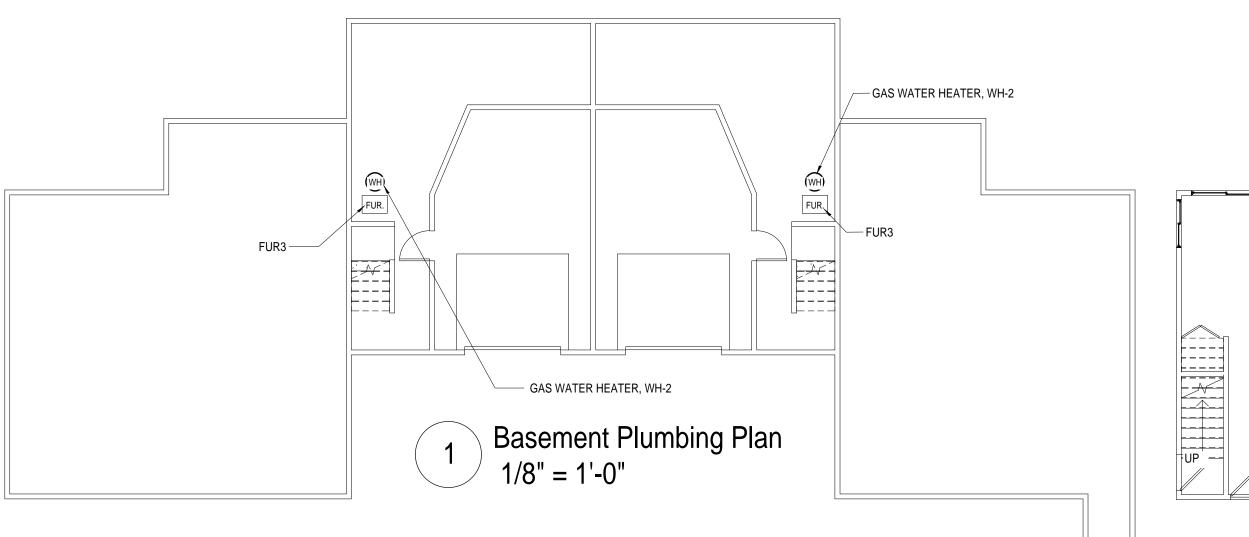
REVISIONS

Bernice Crawley High Rise - UFAS One & Two Bedroom Enlarged

Plans

R3A PROJECT # 15074B

D 106



2

FUR2

REF

REFERENCE NOTES

KITCHENS)

1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL

2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES

ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.

HEATER,

WH2

REMOVE EXISTING GAS WATER HEATER, AND

(TYP. OF ALL DOMESTIC WATER HEATERS)

INSTALL NEW FROM ISOLATION VALVES.

RECONNECT PLUMBING LINES. (TYP. OF ALL

SUPPLY LINES AS NECESSARY. INSTALL NEW GAS

WATER HEATER AND SUPPLY LINES. RECONNECT

LOCATE SUPPLY PIPING AND TURN OFF WATER

SUPPLY TO KITCHEN SINK. REMOVE EXISTING

SINK. FAUCET SET, P TRAP AND SUPPLY LINES.

LOCATE SUPPLY PIPING AND TURN OFF WATER

VANITY SINK, FAUCET SET, P TRAP AND SUPPLY

LINES. INSTALL NEW FROM ISOLATION VALVES.

RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

SUPPLY TO VANITY SINK. REMOVE EXISTING

INSTALL SINK PLUNGER WITH P TRAP.

KITCHEN SINK, SNK-2

WATER

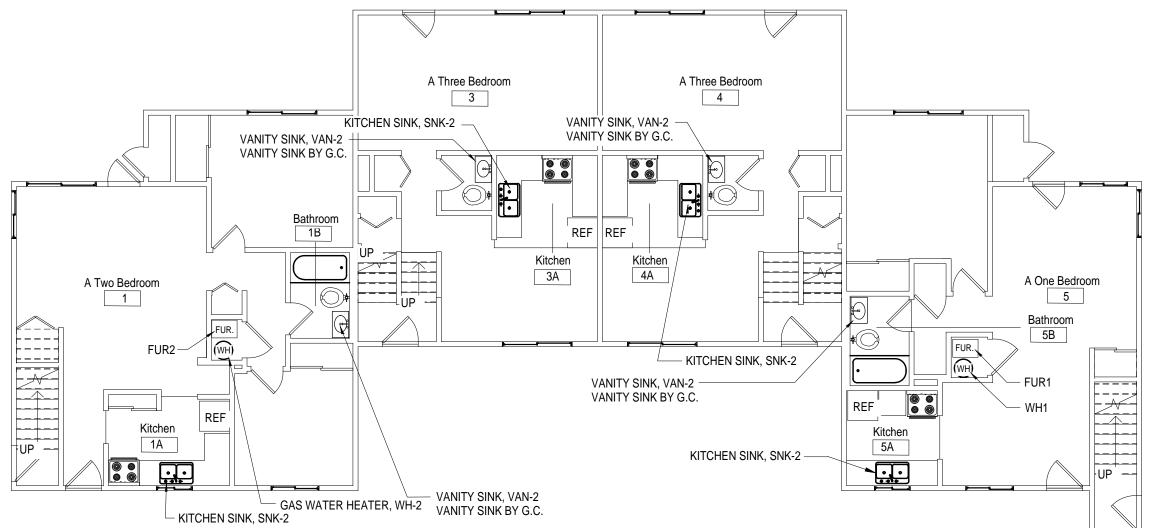
HEATER

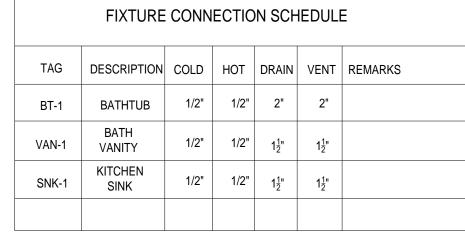
KITCHEN

VANITY

SINK

PLUMBING NOTES:





KITCHEN

KITCHEN

SINK

SNK-2

SNK-1	SINK	1/2"	1/2"	1½"	1½"			"NON-POTABLE WA	CONTRACTOR TO FURNISH AND INSTALL TER" SIGN AT ALL EXISTING OUTSIDE HOSE PECIFICATION SECTION 012100 ALLOWANCES.			
	KITCHEN SINK SCHEDULE											
T40	DECODIDEION	AREA	4	DIM	IENSIONS	CONSTRUCTION	BASIS	OF DESIGN	REMARKS			
TAG	DESCRIPTION	SERVE	ED		LxWxD	OONOTROOTION	MANUF	MODEL	KLWAKKO			
SNK-1	KITCHEN SINK	KITCI	HEN	3	33x22x6	18 GAUGE 304 STAINLESS	AMER STANDARD	22DB.6332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW.			

NOTES

WARRANTY: 2 YEARS.

STAINLESS | STANDARD | 22DB.8332283S.075 | MOUNT, DRAIN INSULATION, SEE NOTES BELOW

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER

IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION

FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME

FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS

SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET

4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP

FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

33x22x8

20 GAUGE 304

Z. F	2. FROVIDE BASIS OF DESIGN FRODUCTS ON AFFROVED EQUAL.												
	BATHROOM SINK SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF D		REMARKS						
			LAVVAD		MANUF	MODEL							
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW						
VAN-2	VAN-2 BATHROOM SINK BATHROOM SINK BATHROOM SINK												
NOTE			•	•									

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	NAT. GAS FIRED WATER HEATER SCHEDULE												
TAG	DESCRIPTION AREA SERVED CAP. MBH GPH TOTAL RECOVERY 90 deg F CAP. MBH GPH WOLTAGE MCA AMPS AMPS MANUF MODEL		- REMARKS										
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH		FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW			
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW.			
NOTE:													

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL. 2. CONNECT TO EXISTING FLUE.

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT, HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES. WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME

CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION

- FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
- INCLUDING DISPOSAL MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
- THROUGHOUT DEMOLITION AND CONSTRUCTION. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

HIROO K. PATEL



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> Design Technology

> > Sustainability

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CONSULTANT:

 $i extsf{-}State$ design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance

Demonstration

945 Roselle Ct

CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community Type A

R3A PROJECT # 15074B

P-111

GENERAL NOTES

PREVIOUSLY PAINTED.

VANITY SINK, VAN-2

VANITY SINK, VAN-2

VANITY SINK BY G.C.

VANITY SINK BY G.C.

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C.

KITCHEN SINK, SNK-2

Second Floor Plumbing Plan

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL

UFAS/ADA APARTMENT UNITS. 4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB

5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR

SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

VANITY SINK, VAN-2

REF

Kitchen

6A

VANITY SINK BY G.C.

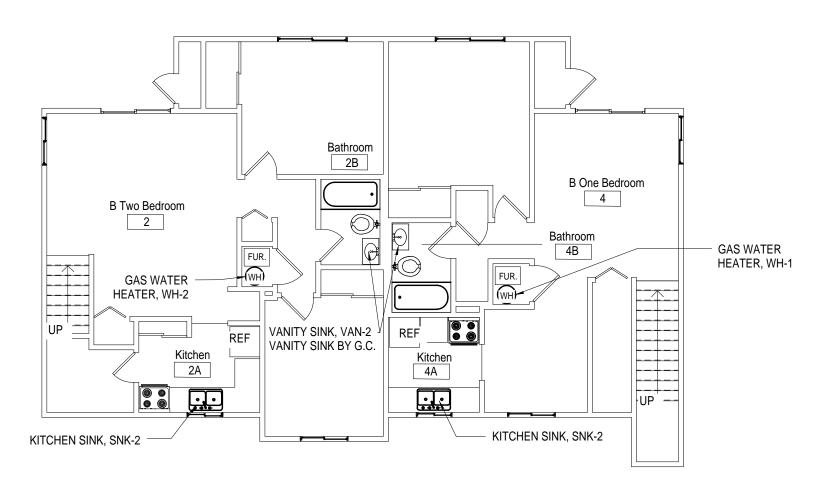
VANITY SINK, VAN-2

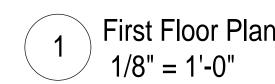
VANITY SINK BY G.C.

A One Bedroom

UP --

WATER HEATER, WH1





REFERENCE NOTES REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER WATER HEATER AND SUPPLY LINES. RECONNECT HEATER (TYP. OF ALL DOMESTIC WATER HEATERS) LOCATE SUPPLY PIPING AND TURN OFF WATER KITCHEN SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS) LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY VANITY SINK, FAUCET SET, P TRAP AND SUPPLY SINK LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

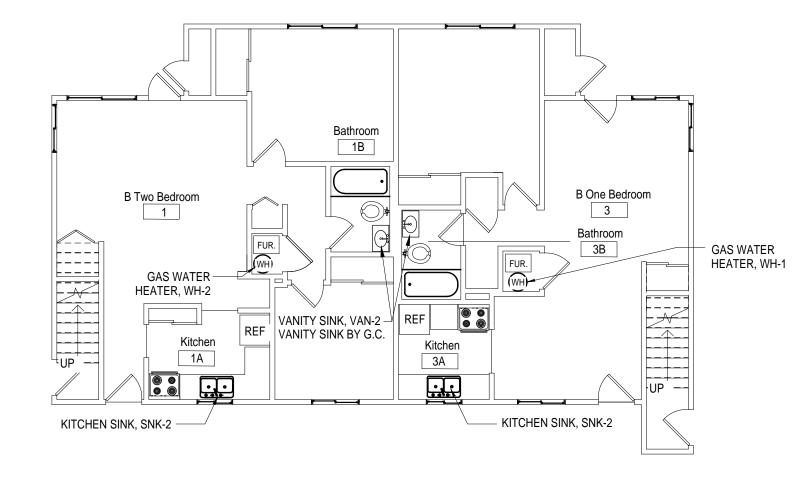
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.



Second Floor Plan 1/8" = 1'-0"

	NAT. GAS FIRED WATER HEATER SCHEDULE											
TAG	DESCRIPTION		TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF I	DESIGN MODEL	REMARKS		
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH		FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW		
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW		

1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

2.	CONNECT TO EXISTING FLUE.	

	KITCHEN SINK SCHEDULE												
TA C	DECODIDETION	AREA	DIMENSIONS	CONSTRUCTION	BASIS	OF DESIGN	- REMARKS						
TAG	DESCRIPTION	SERVED	LxWxD	CONCINCOTION	MANUF	MODEL	INLIVIANIO						
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW						
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW						

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE

TAC DECODIDEION			DIMENSIONS	CONSTRUCTION	BASIS OF D	ESIGN	REMARKS
TAG	DESCRIPTION	SERVED	LxWxD	CONSTRUCTION	MANUF	MODEL	REMARKO
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE									
TAG	DESCRIPTION	COLD	нот	DRAIN	VENT	REMARKS			
BT-1	BATHTUB	1/2"	1/2"	2"	2"				
VAN-1	BATH VANITY	1/2"	1/2"	1 <u>1</u> "	1 1 "				
SNK-1	KITCHEN SINK	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "				

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

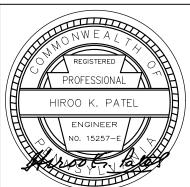
- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHAL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
 - THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTIO TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITEC APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS ANI COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

- ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND
- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WEL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHAL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL

- EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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> Technology Sustainability

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Tri-State design and development CDNSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

CONSULTANT:

Allies & Ross Developmen Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance **Demonstration**

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

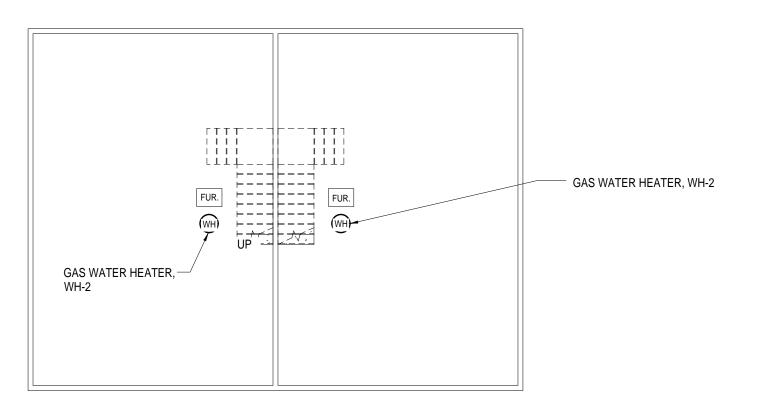
DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

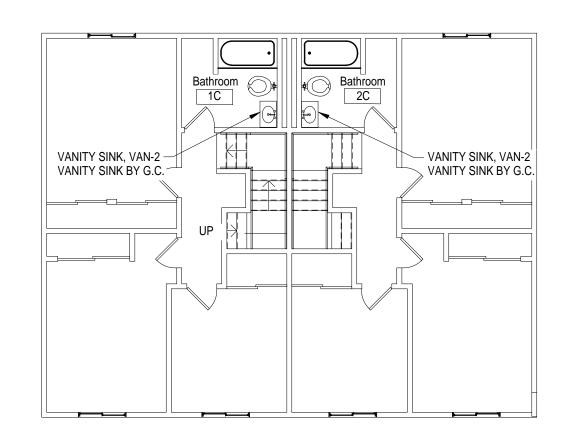
Family Community

- Type B

R3A PROJECT # 15074B







REI	REFERENCE NOTES							
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)							
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)							
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)							

PLUMBING NOTES:

- 1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURE

GENERAL NOTES

- 1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND

- 3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- 4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- 5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- 6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- 7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

Bathroom KITCHEN SINK, SNK-2 KITCHEN SINK, SNK-2 - VANITY SINK, VAN-2 VANITY SINK BY G.C. C Three Bedroom C Three Bedroom 2

				NAT. GAS	S FIRED \	VATER HE	ATER S	CHEDULE			
TAG DESCRIPTION	CRIPTION AREA SERVED HEATING CAP. MBH	AREA HEATING	RECOVERY 90 deg F		MCA AMPS	MAX FUSE	BASIS OF DESIGN		REMARKS		
		AP. MBH GPH		IVICA AIVIF 3	AMPS	MANUF	MODEL	KLIMAKKO			
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW	
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW	

1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

CONNECT TO EXISTING FLUE

			KITCHEN	I SINK SCHEDU)LE		
		AREA	DIMENSIONS	CONSTRUCTION	BASIS	OF DESIGN	REMARKS
TAG	DESCRIPTION	SERVED	LxWxD	CONCINCOTION	MANUF	MODEL	TEIMARRO
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

	BATHROOM SINK SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF D	MODEL	REMARKS				
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW				
VAN-2	BATHROOM SINK	BATHROOM					REPLACE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW				

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	FIXTURE CONNECTION SCHEDULE										
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS					
BT-1	BATHTUB	1/2"	1/2"	2"	2"						
VAN-1	BATH VANITY	1/2"	1/2"	1 1 "	1 <u>1</u> "						
SNK-1	KITCHEN SINK	1/2"	1/2"	1½"	1 1 "						
	_										

NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE; REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS. APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME

CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY

LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.

APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES

- THROUGHOUT DEMOLITION AND CONSTRUCTION. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST
- COMPLY AND MEET UFAS REQUIREMENTS. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC. UFAS. ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

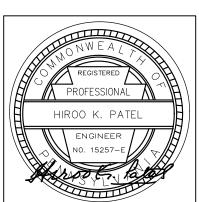
NOTES

SEE DWG G-101, G-102 AND G-110

FOR BUILDINGS, APARTMENT UNIT

AND CODE INFORMATION.

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.





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CONSULTANT: Γ ri-d S tate design and development

CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross |Management and Development

Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

945 Roselle Ct

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

October 27, 2017

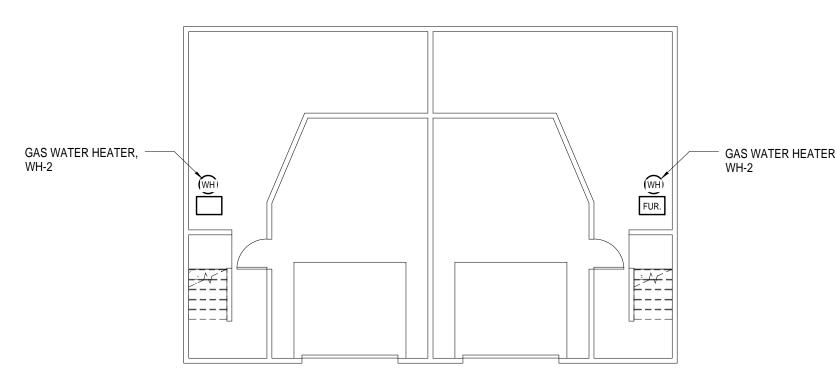
REVISIONS

ISSUED:

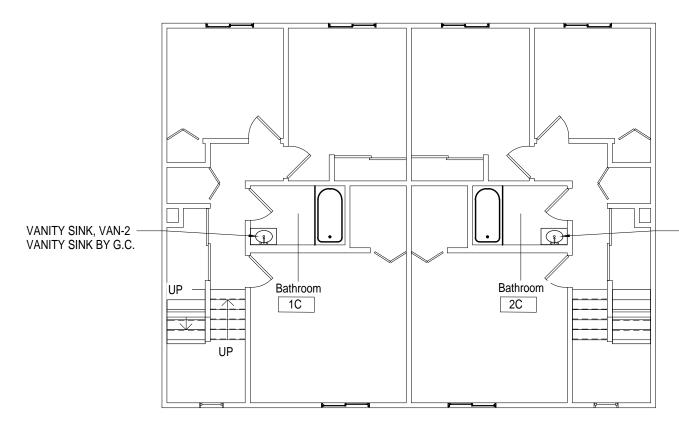
Family Community

- Type C

R3A PROJECT # 15074B



1 Basement Floor Plumbing Plan 1/8" = 1'-0"



3 Second Floor Plumbing Plar 1/8" = 1'-0"

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

VANITY SINK, VAN-2

VANITY SINK BY G.C.

REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

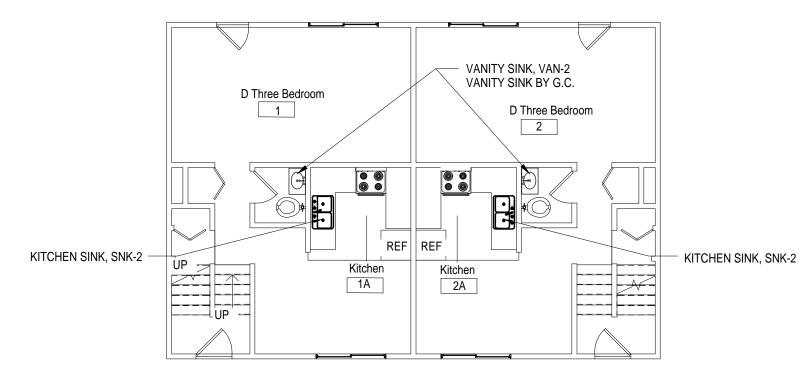
3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.



First Floor Plumbing Plan 1/8" = 1'-0"

	NAT. GAS FIRED WATER HEATER SCHEDULE											
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	oo aog .		MCA AMPS	MAX FUSE	BASIS OF DESIGN		REMARKS		
		SERVED					AMPS	MANUF	MODEL	TEIM III O		
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN , SEE NOTES BELOW		
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW		

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

2. CONNECT TO EXISTING FLUE.

	KITCHEN SINK SCHEDULE											
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS MANUF	OF DESIGN MODEL	REMARKS					
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW					
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW					

NOTE:

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	BATHROOM SINK SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS CONSTRUCTION		BASIS OF D		REMARKS				
	BATHROOM		LAVVAD	VITREOUS	MANUF	MODEL	CONNECT PULL BUTTON TO SINK PLUNGER ON				
WMS-1	SINK	BATHROOM	20x18x5	CHINA	SLOAN	SS-3003	FAUCET, DRAIN INSULATION, SEE NOTES BELOW				
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW				

NOTE:
1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE										
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS				
BT-1	BATHTUB	1/2"	1/2"	2"	2"					
VAN-1	BATH VANITY	1/2"	1/2"	1½"	1 <u>1</u> "					
SNK-1	KITCHEN SINK	1/2"	1/2"	1½"	1 1 "					

IOTE:

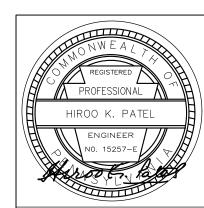
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNIT AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

THROUGHOUT DEMOLITION AND CONSTRUCTION.

- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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Design Technology

Sustainability

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CONSULTANT:

Tri-State Design and Development Consulting Engineers Carregie, pennsylvania

Allies & Ross
Management and
Development
Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

Pittsburgh, PA 15207

945 Roselle Ct

CONSTRUCTION DOCUMENTS

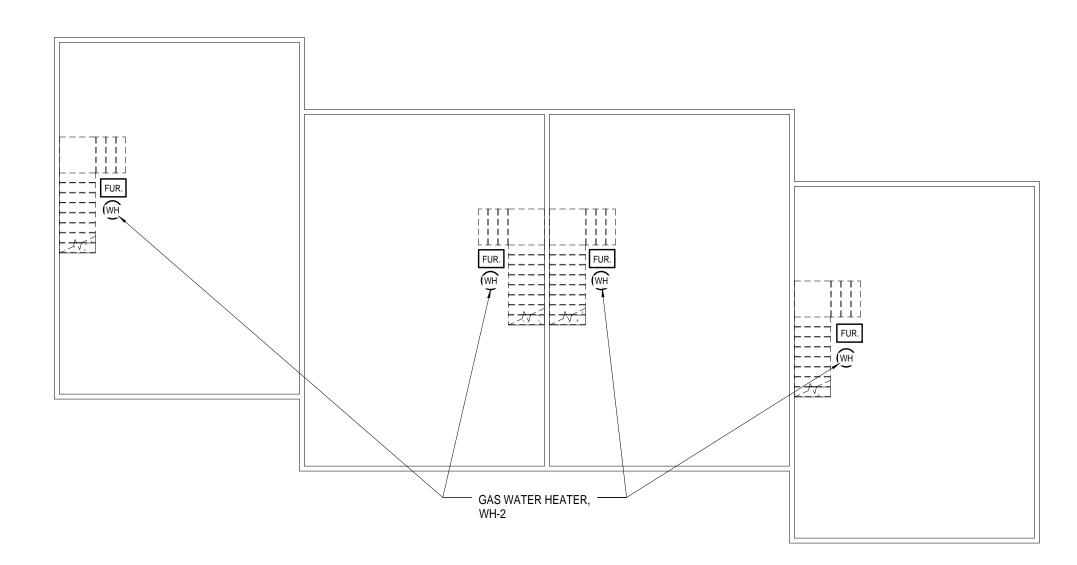
ISSUED: October 27, 2017

REVISIONS

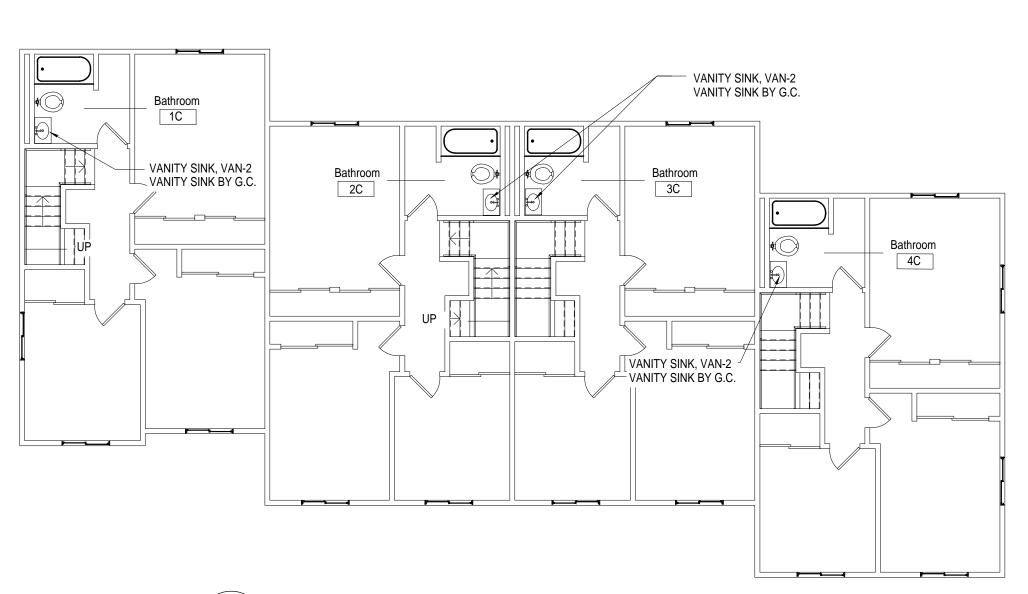
Family Community

- Type D

R3A PROJECT # 15074B



Basement Floor Plumbing Plan 1/8" = 1'-0"



REF	ERENCE NOTES
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

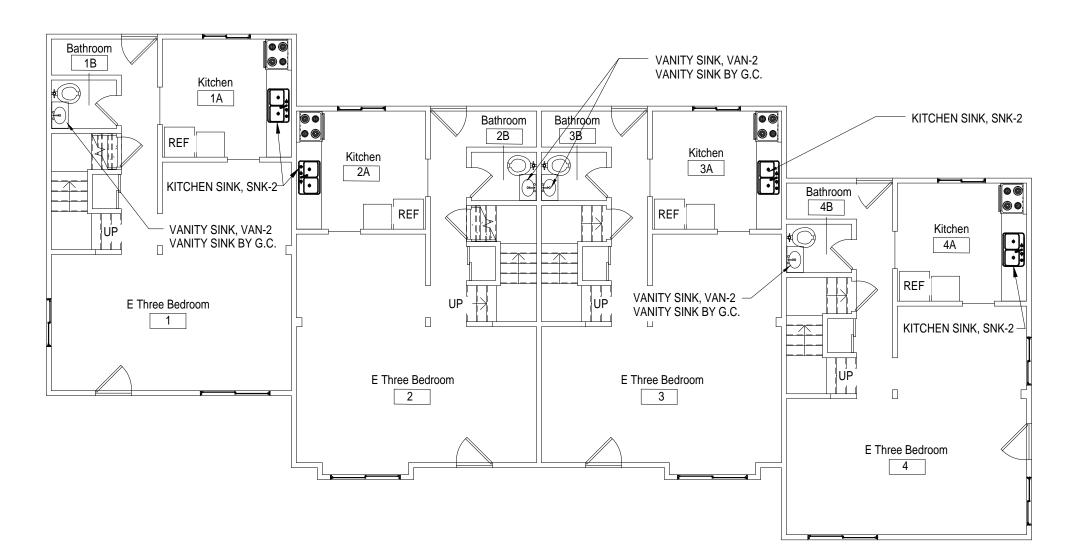
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE; REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



First Floor Pluimbing Plan 1/8" = 1'-0"

PLUMBING NOTES:

1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.

2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES

NAT. GAS FIRED WATER HEATER SCHEDULE AREA HEATING 90 deg F VOLTAGE MCA AMPS GPH BASIS OF DESIGN FUSE AMPS FOR ONE BEDROOM UNIT, ATMOSPHERIC A.O.SMITH GAHH-40 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW 115/1/60 HEATER SPACE FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC \mid A.O.SMITH \mid GAHH-50 \mid 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW 115/1/60 25 43 HEATER SPACE

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL CONNECT TO EXISTING FLUE

	KITCHEN SINK SCHEDULE										
TAG	DECODIDITION	AREA	DIMENSIONS CONSTRUCTION		BASIS	OF DESIGN	REMARKS				
TAG	DESCRIPTION	SERVED	LxWxD	33131110011011	MANUF	MODEL	TEMP (CO)				
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	20 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW				
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW				

FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

	BATHROOM SINK SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF D		REMARKS				
		OLIVED	LAVVAD		MANUF	MODEL					
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW				
VAN-2	BATHROOM	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES PLUNGER REPLACE WITH NEW SEE NOTES BELO				

FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

	FIXTURE CONNECTION SCHEDULE										
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS					
BT-1	BATHTUB	1/2"	1/2"	2"	2"						
VAN-1	BATH VANITY	1/2"	1/2"	1 1 "	1 <u>1</u> "						
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1 "	1½"						

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

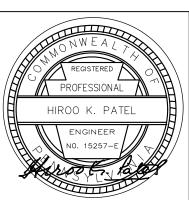
ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME

- FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND
- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHEA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED CONSTRUCTION TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

SEE DWG G-101, G-102 AND G-110 FOR

BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.





Renaissance 3 Architects, P.C.

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> Design Technology Sustainability

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 \emph{ri} – $\mathring{ ext{S}} \mathring{ ext{t}} ate$ design and development CONSULTING ENGINEERS CARNEGIE, PENNSYL VANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Demonstration

Pittsburgh, PA 15207

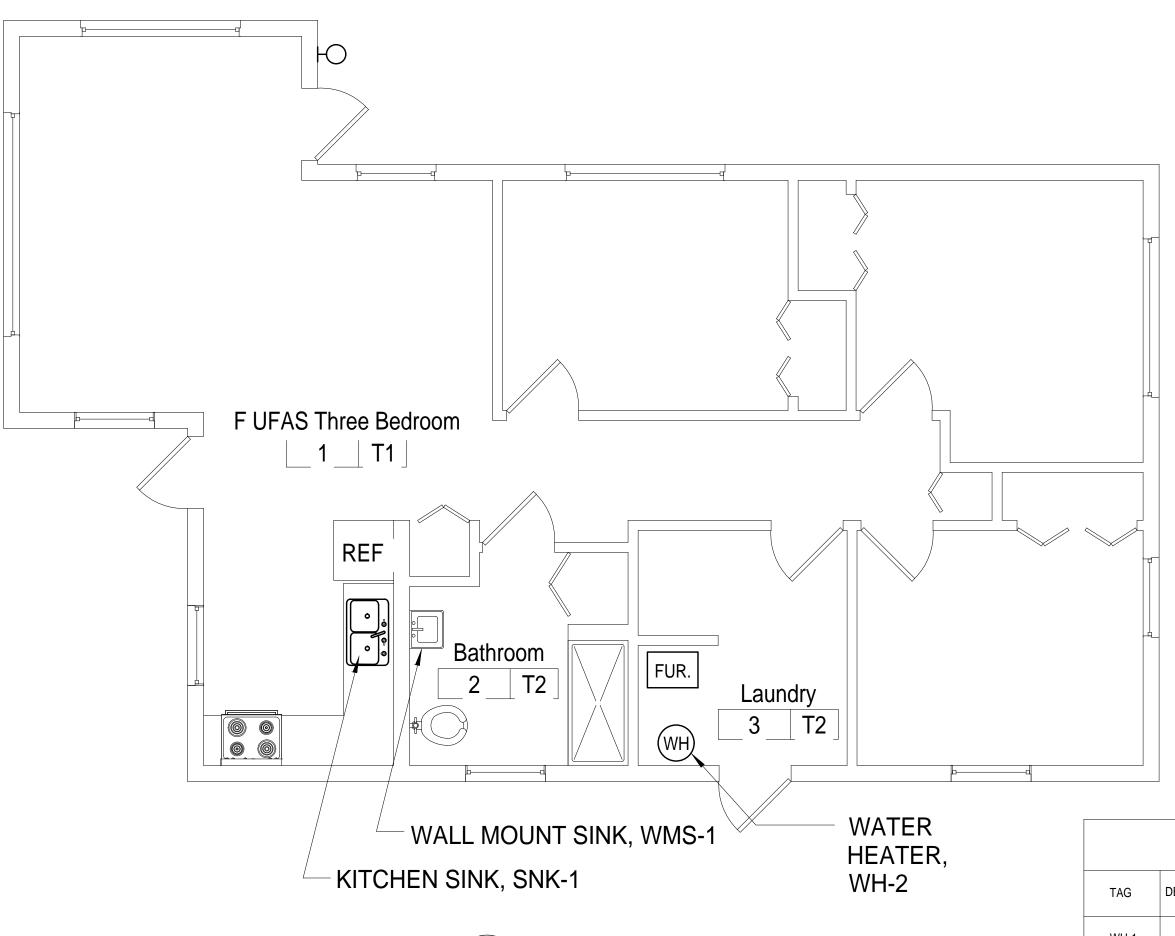
DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

Family Community

· Type E

R3A PROJECT # 15074B



NAT. GAS FIRED WATER HEATER SCHEDULE BASIS OF DESIGN AREA , HEATING 90 deg F VOLTAGE MCA AMPS DESCRIPTION SERVED CAP. MBH **FUSE** MANUF WATER FOR ONE BEDROOM UNIT, ATMOSPHERIC A.O.SMITH | GAHH-40 | 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW 115/1/60 HEATER SPACE FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC A.O.SMITH | GAHH-50 | 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW 43 115/1/60 15 25 SPACE HEATER

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL. CONNECT TO EXISTING FLUE

REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES.

INSTALL SINK PLUNGER WITH P TRAP.

RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR

6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

PLUMBING NOTES:

- 1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES

AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

KITCHEN SINK SCHEDULE BASIS OF DESIGN AREA DIMENSIONS CONSTRUCTION REMARKS DESCRIPTION SERVED LxWxD MANUF | MODEL 4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN 18 GAUGE 304 KITCHEN KITCHEN SNK-1 ELKAY ECTSRAD33226BG 33x22x6 INSULATION, REAR CENTER DRAIN, SEE NOTES BELOW STAINLESS SINK

FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	BATHROOM SINK SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL		REMARKS			
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW			
							REMOVE FAUCT AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STRAINER, SEE NOTES BELOW			
NOTE										

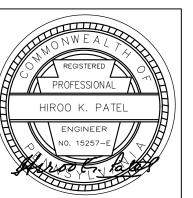
FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	FIXTURE CONNECTION SCHEDULE									
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS				
BT-1	BATHTUB	1/2"	1/2"	2"	2"					
VAN-1	BATH VANITY	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "					
SNK-1	KITCHEN SINK	1/2"	1/2"	1 <u>1</u> "	1 1 "					

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES. WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
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- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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Tri-State design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

CONSULTANT:

Allies & Ross Management and |Developmen Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

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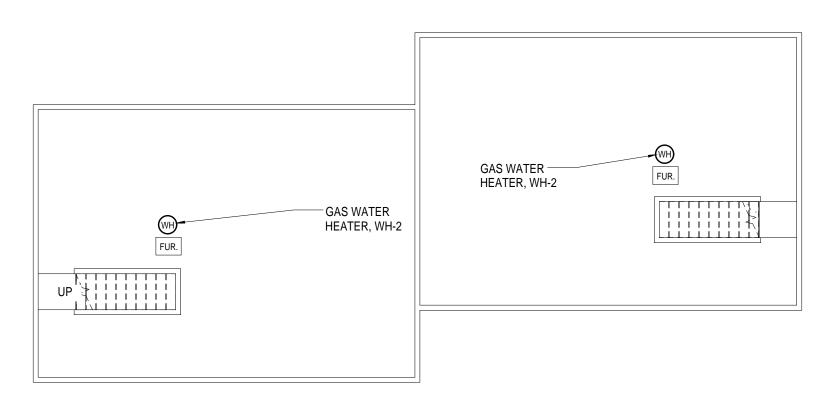
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DOCUMENTS

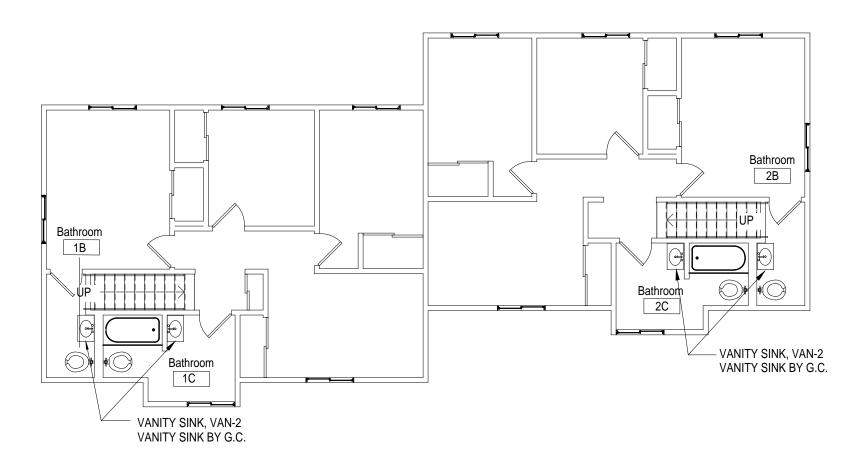
ISSUED: October 27, 2017 REVISIONS

Family Community -Type F UFAS

R3A PROJECT # 15074B



1 Basement Floor Plumbing Plan 1/8" = 1'-0"



Second Floor Plumbing Pla 1/8" = 1'-0"

REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)					
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)					
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP.					

RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

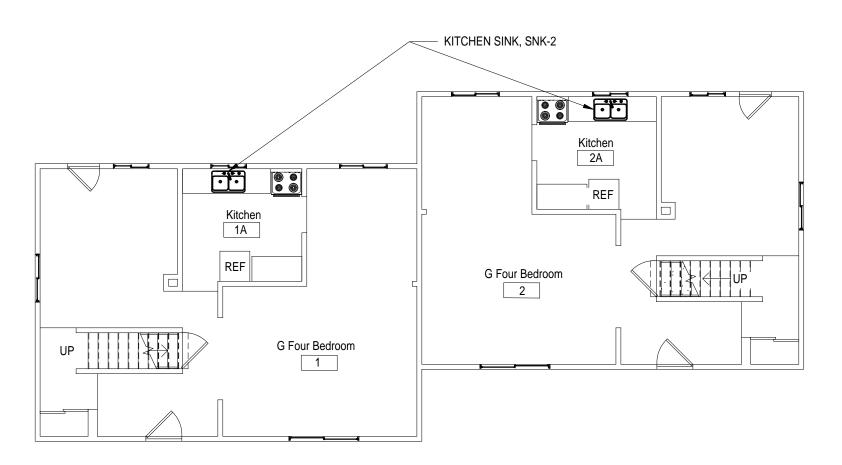
3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.



First Floor Plumbing Plan 1/8" = 1'-0"

NAT. GAS FIRED WATER HEATER SCHEDULE

— 6.	REMARKS	DESIGN	BASIS OF	MAX FUSE	MCA AMPS	VOLTAGE	RECOVERY 90 deg F	TOTAL HEATING	AREA	DESCRIPTION	TAG
	KLIMAKKO	MODEL	MANUF	AMPS	IVIOA AIVII 3	VOLIAGE	GPH	CAP. MBH	SERVED		
_	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN	GAHH-40	A.O.SMITH	25	15	115/1/60	43	40	LIVING SPACE	WATER HEATER	WH-1
_	FOR TWO, THREE AND FOUR BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN	GAHH-50	A.O.SMITH	25	15	115/1/60	43	40	LIVING SPACE	WATER HEATER	WH-2
 7.											
_											

NOTE:
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

PROVIDE BASIS OF DESIGN PR
 CONNECT TO EXISTING FLUE.

KITCHEN SINK SCHEDULE

			KITOTILIV	SINK SCHEDO	/LL		
TAC	DESCRIPTION	AREA	DIMENSIONS	CONSTRUCTION	BASIS	OF DESIGN	REMARKS
TAG		SERVED	LxWxD		MANUF	MODEL	KLIVIAKKO
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, SEE NOTES BELOW

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE

TAG DESCRIPTION AREA DIMENSIONS CONSTRUCTION BASIS OF DESIGN		ESIGN	REMARKS				
TAG	DESCRIPTION	SERVED	LxWxD	OONOTROOTION	MANUF	MODEL	TALIWI ITA
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

FIXTURE CONNECTION SCHEDULE									
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS			
BT-1	BATHTUB	1/2"	1/2"	2"	2"				
VAN-1	BATH VANITY	1/2"	1/2"	1½"	1 <u>1</u> "				
SNK-1	KITCHEN SINK	1/2"	1/2"	1½"	1 <u>1</u> "				

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.

THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
THROUGHOUT DEMOLITION AND CONSTRUCTION.

IO. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

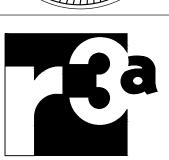
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING

THEIR SCOPE OF WORK.

EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR
DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR
SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED
APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE
TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT
MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT,
COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE
SMOOTH.

PROFESSIONAL
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Technology

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CONSULTANT:

Tri-State design and development consulting engineers carredge, pennsylvania

Allies & Ross
Management and

Development

Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

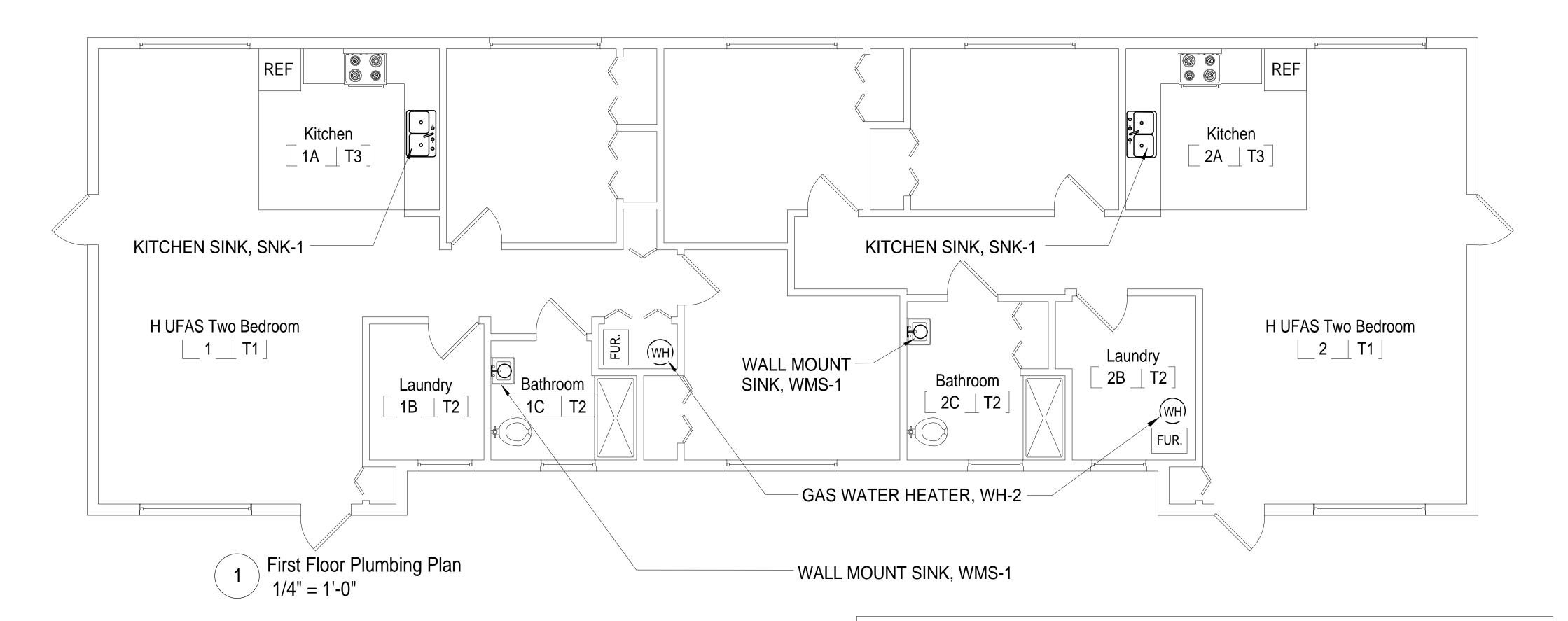
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community -Type G

R3A PROJECT # 15074B



REF	ERENCE NOTES
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. UFAS FLOOR TILE NOT BEING REMOVED.

5. REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD. 6. AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES. REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME LENGTH OR MORE AND SIZE. FINAL STOVE CONNECTION BY P.C.

7. REMOVE FAUCET, STRAINER, DRAIN AND SUPPLY PIPES AND REPLACE WITH NEW FAUCET, STRAINER, DRAIN AND SUPPLY PIPING TO BATH VANITY SINK. EXISTING VANITY SINK TO REMAIN IN UFAS/ADA APARTMENT UNITS. WRAP DRAIN PIPE WITH INSULATION.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

PLUMBING NOTES:

- 1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL
- ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

				NAT. GAS	S FIRED V	VATER HE	ATER S	CHEDULE		
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING	RECOVERY 90 deg F	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF	DESIGN	- REMARKS
			CAP. MBH		VOLIAGE	INIOA AIVII O	AMPS	MANUF	MODEL	KEMAKKO
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
NOTE:						'		1	1	•

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL. 2. CONNECT TO EXISTING FLUE

			KITCHEN	I SINK SCHEDU	LE		
TAG	DESCRIPTION	AREA	DIMENSIONS	CONSTRUCTION		OF DESIGN	REMARKS
17.0	DEGOINI HON	SERVED	LxWxD		MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, REAR CENTER DRAIN, SEE NOTES BELOW

FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	BATHROOM SINK SCHEDULE											
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF D MANUF	REMARKS						
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW					
							REMOVE FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STRAINER, SEE NOTES BELOW.					

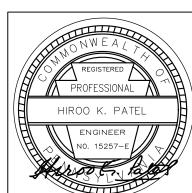
1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE TAG DESCRIPTION COLD HOT DRAIN VENT REMARKS BT-1 BATHTUB 1/2" | 1/2" | 2" | 1/2" | 1/2" | $1\frac{1}{2}"$ | $1\frac{1}{2}"$ VAN-1 VANITY KITCHEN 1/2" | 1/2" | 1½" | SNK-1 SINK

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

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- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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Technology

Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA Allies & Ross

|Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

CONSTRUCTION

945 Roselle Ct

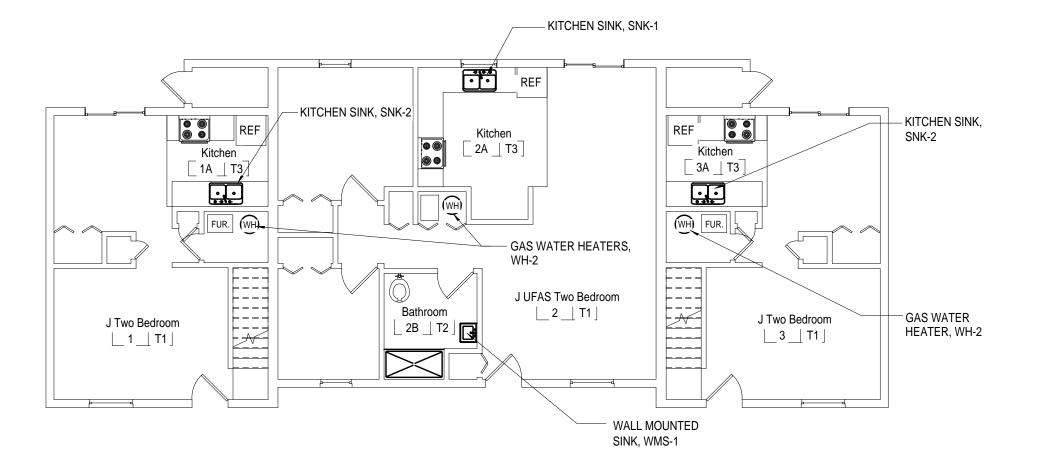
Pittsburgh, PA 15207

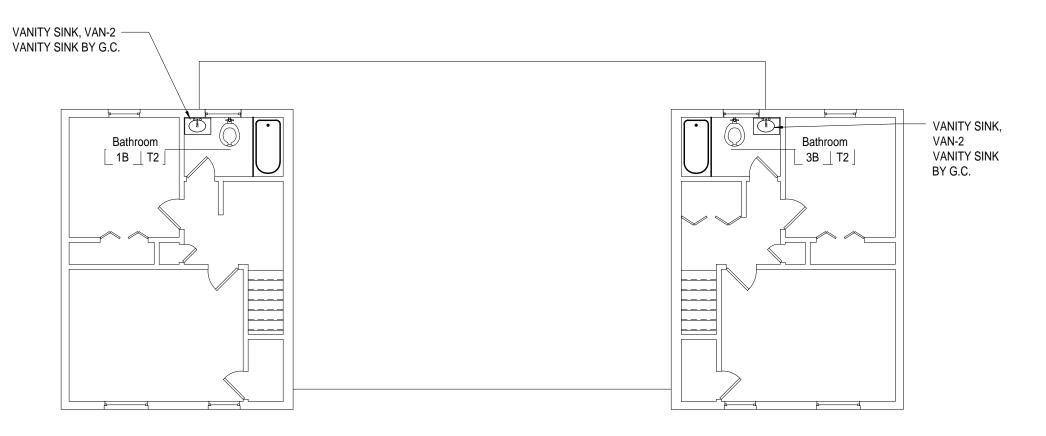
DOCUMENTS ISSUED: October 27, 2017

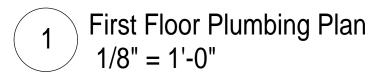
REVISIONS

Family | Community -Type H UFAS

R3A PROJECT # 15074B







NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE; REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

PLUMBING NOTES:

1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

REFERENCE NOTES REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY INSTALL NEW GAS WATER WATER HEATER AND SUPPLY LINES. RECONNECT HEATER (TYP. OF ALL DOMESTIC WATER HEATERS) LOCATE SUPPLY PIPING AND TURN OFF WATER KITCHEN SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS) LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

5. UFAS FLOOR TILE IN BATH NOT BEING REPLACED.

6. REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD. 7. AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES, REMOVE FLEX GAS PIPE AND INSTALL

NEW FLEX PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

8. REMOVE FAUCET, DRAIN, STRAINER AND SUPPLY PIPING AND REPLACE WITH NEW FAUCET. DRAIN, STRAINER AND SUPPLY PIPING TO BATH VANITY SINK. EXISTING VANITY SINK TO REMAIN. WRAP DRAIN PIPE WITH INSULATION. CENTER UNIT ONLY IN THIS BUILDING.

	NAT. GAS FIRED WATER HEATER SCHEDULE													
TAG	DESCRIPTION		TOTAL HEATING	RECOVERY 90 deg F	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF DESIGN		REMARKS				
		OLIVED	CAP. MBH	GPH			AMPS	MANUF	MODEL					
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW				
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW				

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

2. CONNECT TO EXISTING FLUE

			KITCHEN	I SINK SCHEDU	JLE			
TAG	DESCRIPTION	AREA	DIMENSIONS	CONSTRUCTION		OF DESIGN	REMARKS	
	DEGOINI HON	SERVED	LxWxD		MANUF	MODEL		
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUI INSULATION, REAR CENTER DRAIN, SEE NOTES B	
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BEL	
	SINK	MIGHEN	33,22,0	STAINLESS	STAINDARD	2200.00022000.070	TOP MOUNT, DRAIN INSULATION, SEE NOT	

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

	BATHROOM SINK SCHEDULE											
TAG DESCRIPTION AREA SERVED LXWXD CONSTRUCTION BASIS OF DESIGN MANUF MODEL REMARKS												
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW					
VAN-2	BATHROOM SINK	BATHROOM					REMOVE EXISTING FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STAINER, SEE NOTES BELOW					

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE												
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS						
BT-1	BATHTUB	1/2"	1/2"	2"	2"							
VAN-1	BATH VANITY	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "							
SNK-1	KITCHEN SINK	1/2"	1/2"	1½"	1 1 "							

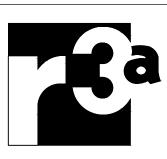
SEE DWG G-101, G-102 AND G-110 FOR

CODE INFORMATION.

BUILDINGS, APARTMENT UNITS AND

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY. WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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> Design Technology

Sustainability

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CONSULTANT: ${\it Tri-State}$ design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross |Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

945 Roselle Ct

Pittsburgh, PA 15207

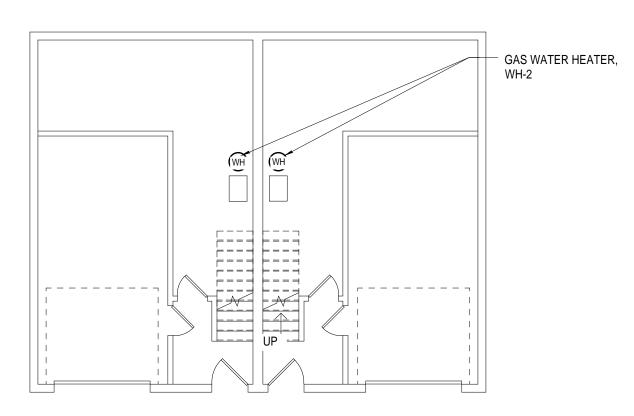
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017 REVISIONS

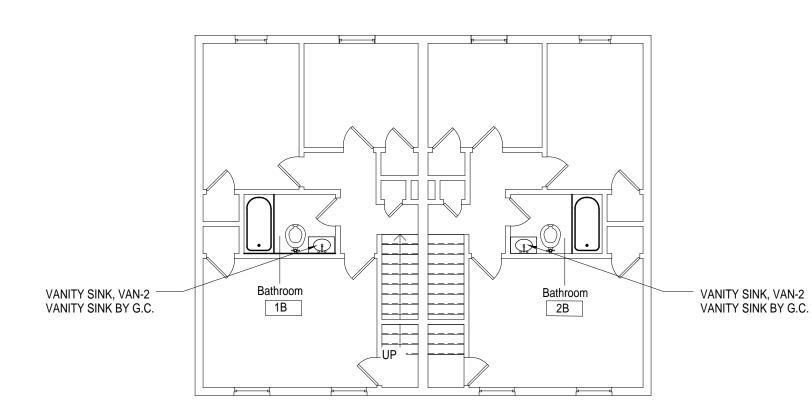
Family Community -

Type J/UFAS

R3A PROJECT # 15074B



1 Basement Floor Plumbing Plan 1/8" = 1'-0"





REF	ERENCE NOTES
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

PLUMBING NOTES:

- 1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL
- ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.

 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

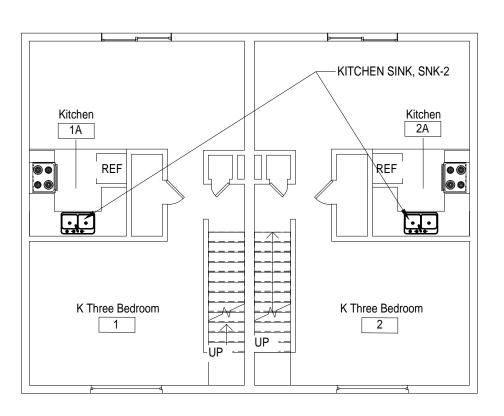
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

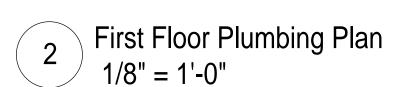
6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.





				NAT. GAS	S FIRED \	WATER HE	ATER S	CHEDULE		
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF	DESIGN	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH		FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
 CONNECT TO EXISTING FLUE

	KITCHEN SINK SCHEDULE												
TAG	DESCRIPTION	REMARKS											
IAG	DESCRIPTION	SERVED	LxWxD	MODEL	1.2								
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW						
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW						

NOTE: 1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

	BATHROOM SINK SCHEDULE											
TAG	TAG DESCRIPTION AREA SERVED DIMENSIONS LXWXD CONSTRUCTION BASIS OF DESIGN MANUF MODEL REMARKS											
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW					
VAN-2	REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE											

FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
 PROVIDE BASIS OF DESIGN OR APPROVED EQUAL.

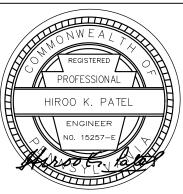
FIXTURE CONNECTION SCHEDULE												
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS						
BT-1	BATHTUB	1/2"	1/2"	2"	2"							
VAN-1	BATH VANITY	1/2"	1/2"	1 1 "	1 <u>1</u> "							
SNK-1	KITCHEN											

2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

NOTE:
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION. EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- 5. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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Design
Technology
Sustainability

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ARCHITECTS, P.C.

Tri-State design and development consulting engineers carnegie, pennsylvania

Allies & Ross Management and Development Corporation

CONSULTANT:

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)
945 Roselle Ct

CONSTRUCTION

DOCUMENTS

Pittsburgh, PA 15207

ISSUED: October 27, 2017

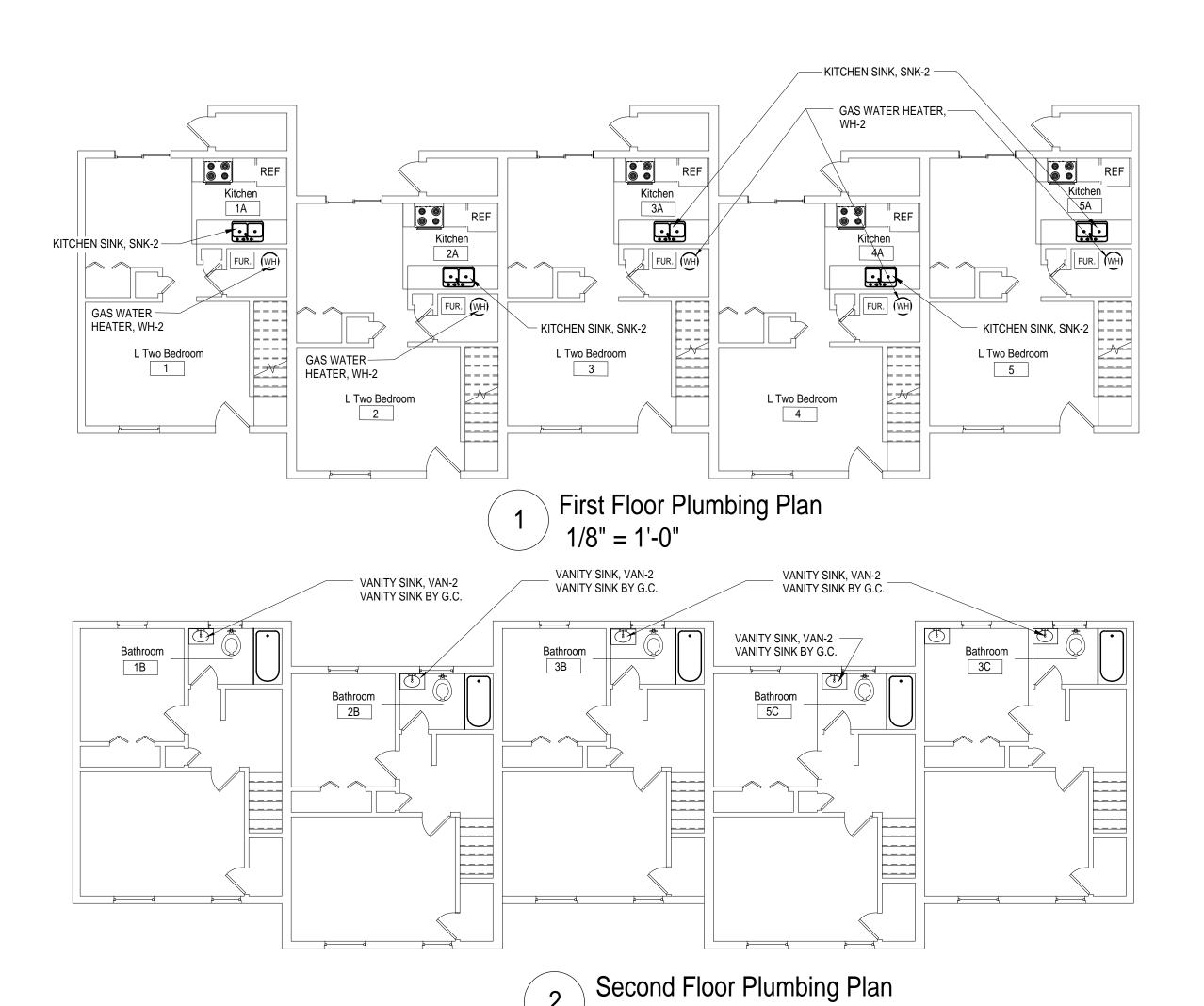
REVISIONS

Family

Community -

Type K

R3A PROJECT # 15074B



	FIXTURE CONNECTION SCHEDULE										
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS					
BT-1	BATHTUB	1/2"	1/2"	2"	2"						
VAN-1	BATH VANITY	1/2"	1/2"	1 <u>1</u> "	1 <u>1</u> "						
SNK-1	KITCHEN SINK	1/2"	1/2"	1½"	11/2"						

REFERENCE NOTES REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER WATER HEATER AND SUPPLY LINES. RECONNECT HEATER (TYP. OF ALL DOMESTIC WATER HEATERS) LOCATE SUPPLY PIPING AND TURN OFF WATER KITCHEN SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK. FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS) LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER, REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.

3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL

4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING. 6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

PLUMBING NOTES:

- 1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

	NAT. GAS FIRED WATER HEATER SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F	VOLTAGE	MCA AMPS	MAX FUSE	BASIS OF		REMARKS			
			CAP. WIBH	GPH			AMPS	MANUF	MODEL				
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW			
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW			

PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL. 2. CONNECT TO EXISTING FLUE.

KITCHEN SINK SCHEDULE

			KIICHEN	I SINK SCHEDU	, LE			
T40	DECODIDEION	AREA	DIMENSIONS	CONSTRUCTION	BASIS	OF DESIGN	REMARKS	
TAG DESCRIPTIO	DESCRIPTION	SERVED	LxWxD	CONSTRUCTION	MANUF	MODEL	ILLIVIATIO	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW	
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW	

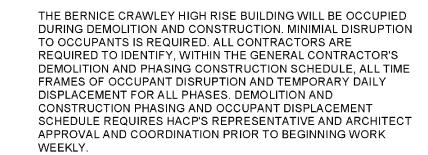
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

<u> </u>	BATHROOM SINK SCHEDULE											
TAG	DESCRIPTION	AREA	DIMENSIONS	CONSTRUCTION	BASIS OF DESIGN		REMARKS					
.,,,,	DEGORII TION	SERVED	LxW		MANUF	MODEL						
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW					
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW					

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.



CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS, ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE. UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS

EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS,

EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

> SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

HIROO K. PATEL



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> > Technology

Sustainability

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CONSULTANT: $\mathit{Tri-State}$ design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

Corporation

945 Roselle Ct

Pittsburgh, PA 15207

CONSTRUCTION

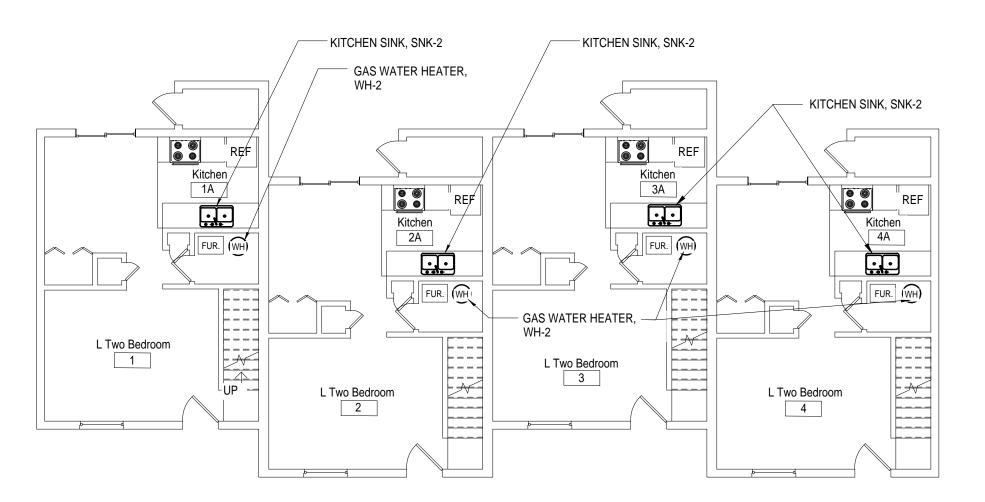
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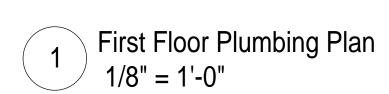
ISSUED: October 27, 2017 REVISIONS

| Community -

| Type L

R3A PROJECT # 15074B





PLUMBING NOTES:

- 1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- 2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

REFERENCE NOTES REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS) HEATER LOCATE SUPPLY PIPING AND TURN OFF WATER

SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING

VANITY SINK FAUCET SET IP TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES, (TYP. OF ALL LAVS)

GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C.

2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. 3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS

AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS. 4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW

SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.

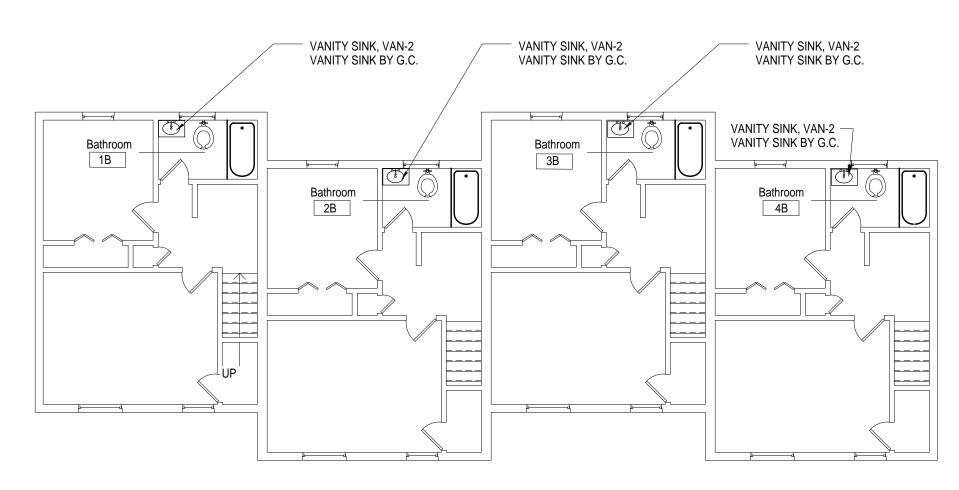
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING. 6. AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX

GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

7. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



Second Floor Plumbing Plan 1/8" = 1'-0"

				NAT. GAS	S FIRED	WATER HE	ATER S	CHEDULE			
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF	DESIGN	- REMARKS	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW	
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW	

1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL. 2. CONNECT TO EXISTING FLUE

	KITCHEN SINK SCHEDULE											
T40	DESCRIPTION AREA DIMENSIONS CONSTRUCTION BASIS OF DESIGN		OF DESIGN	REMARKS								
TAG DESCRI	DESCRIPTION	SERVED	LxWxD	CONSTRUCTION	MANUF	MODEL	KLIWAKKS					
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW					
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW					

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES 2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

			BATHR	OOM SINK SCH	IEDULE		
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF D		- REMARKS
WMS-1	BATHROOM	BATHROOM	20x18	VITREOUS	MANUF SLOAN	MODEL SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON
VAN-2	SINK BATHROOM	BATHROOM	20010	CHINA	OLOAN	00-3003	FAUCET, DRAIN INSULATION, SEE NOTES BELOW REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE
VAIN-Z	SINK	DATTINOON					VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES

2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

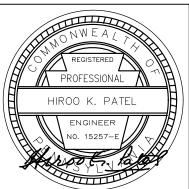
	FIXTURE CONNECTION SCHEDULE											
TAG	DESCRIPTION	COLD	НОТ	DRAIN	VENT	REMARKS						
BT-1	BATHTUB	1/2"	1/2"	2"	2"							
VAN-1	BATH VANITY	1/2"	1/2"	1 1 "	1 <u>1</u> "							
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1 "	1 ¹ / ₂ "							

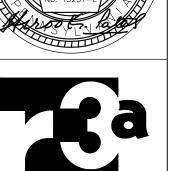
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES. WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION, AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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> Design Technology Sustainability

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CONSULTANT:

ri-State design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

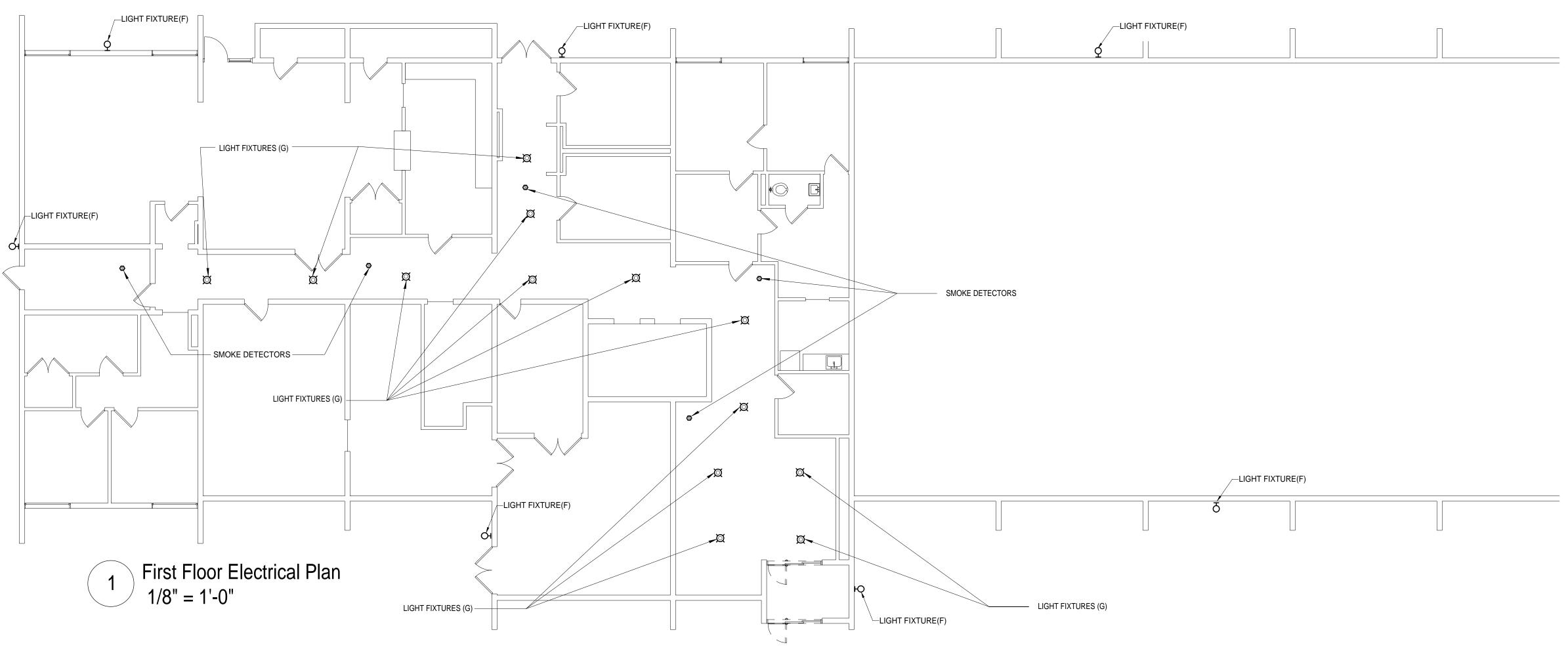
ISSUED: October 27, 2017

REVISIONS

Community -Type M

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



REFERENCE NOTES								
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)							
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.							
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)							

CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

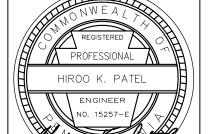
- . ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT. . PROVIDE FOUR(4) ROUND EXTERIOR CEILING MOUNTED LED FIXTURES AT FRONT DOOR, ONE(1) AT EACH OF TWO BACK DOORS PLUS A THIRD LED FIXTURE AT BACK DOORS. AMAX LIGHTING, SLIM DISK 5 $\frac{1}{2}$ " WHITE 9W LED ROUND SURFACE MOUNT LAMP, WET LOCATION RATED, WHITE FINISH TRIM, FROSTED DIFFUSER, 3000K COLOR TEMP, 580 LUMENS.
- B. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
- 4. SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTERS AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- 7. REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTORS.
- 8. NOT USED
- 9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY. 10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING
- EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- 11. NOT USED 12. ALL WIRING SHALL BE COPPER.

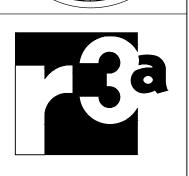
	LIGHTING FIXTURE SCHEDULE											
CVMDOL	MANUFACTUER	MOUNTING		LAMP	VOLTAGE	DEMARKO						
SYMBOL	& CATALOG NO.	MOUNTING	NO. DESCRIPTION		VOLTAGE	REMARKS						
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS						
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE						
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS						
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS						
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS						
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING						
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY						
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING						

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL. SITE. MECHANICAL. PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES. WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
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- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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> Design Technology Sustainability

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CONSULTANT: $\mathit{Tri} ext{-}\dot{\mathsf{S}}tate$ design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

CONSTRUCTION

DOCUMENTS

945 Roselle Ct

Pittsburgh, PA 15207

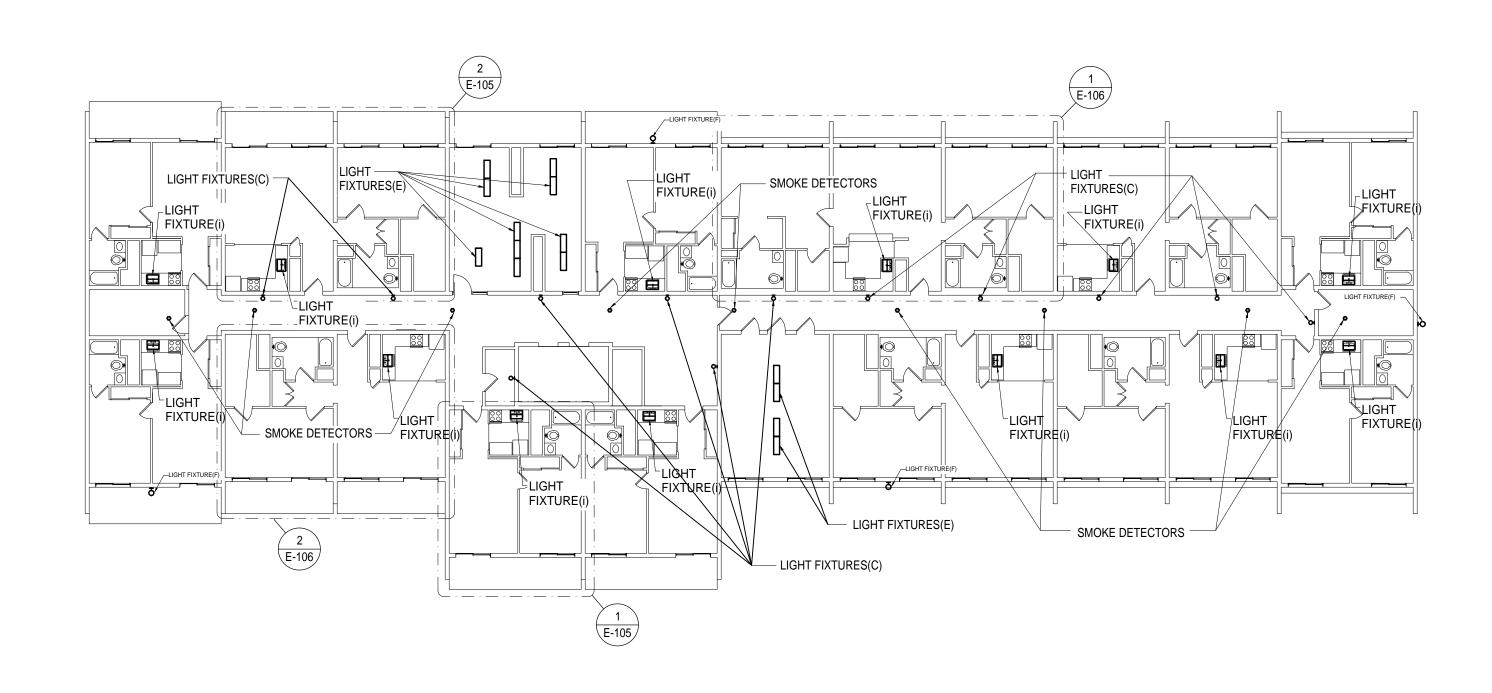
October 27, 2017

REVISIONS

Bernice Crawley High Rise - First Floor Electrical Plan

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



ELECTRICAL NOTES

2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.

3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.

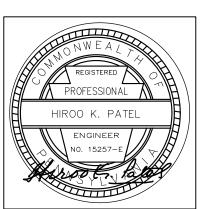
4. SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTER AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.

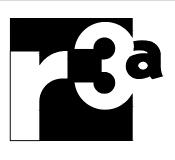
- 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL. 7. REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTORS
- 8. NOT USED
- 9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- 10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- 11. NOT USED
- 12. ALL WIRING SHALL BE COPPER.

REFERENCE NOTES								
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)							
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.							
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)							

		LIGHTING	FIXTU	RE SCHEDULE		
OVMDOL	MANUFACTUER	MOUNTING		LAMP	VOLTAGE	DEMARKO
SYMBOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.





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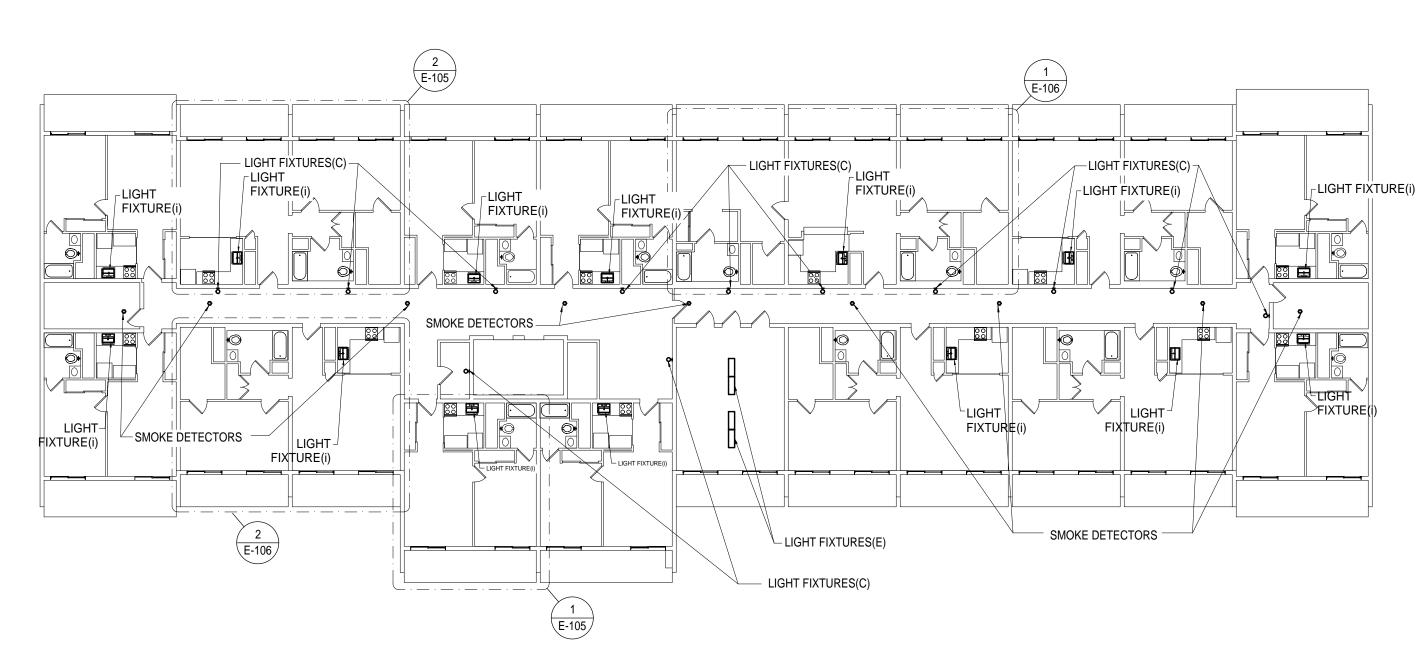
CONSTRUCTION DOCUMENTS

> ISSUED: October 27, 2017 REVISIONS

Bernice Crawley High Rise -Second Floor Electrical Plan

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1	Typical Floor Plan - 3rd - 7th Fl. Electrical Plan 1/16" = 1'-0"
	1/16" = 1'-0"

R	EFERENCE NOTES
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

- 1. NOT USE
- 2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES.
 DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING.
 RE-ENERGIZE UNIT LIGHTING CIRCUIT.
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- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
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- 8. NOT USED
- 9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
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- 11. NOT USED
- 12. ALL WIRING SHALL BE COPPER.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

LIGHTING FIXTURE SCHEDULE

MOUNTING

CEILING / SURFACE

SURFACE

SURFACE

RECESSED

CEILING/

SURFACE

WALL

CEILING

CEILING

CABINET

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

MANUFACTUER

& CATALOG NO.

BROWNLEE LIGHTING

2335BNC17LEDWA27K

ELLIS 24 BA906SCLED930

LBL LIGHTING

WS9070YB2LED930

LHAJLDQ650C140UE

JESCO LIGHTING

DLFLEX-UP-HO-40

LD-102 WALL PACK

MWPCOQC1X37U5KCZ

t2902-2X26W-79WHM

MERCURY LIGHTING

LM4-14M-4200-35K-UXX-UNI-EM7

UPLED09

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

SYMBOL

FIXTURE (a

FIXTURE (d

FIXTURE (e

FIXTURE (f)

LAMP

DESCRIPTION

LED ARRAY

120

REMARKS

RESIDENTIAL UNITS

BATHROOM VANITY FIXTURE

RESIDENTIAL UNITS

RESIDENTIAL UNITS

LAUNDRY & STORAGE AREAS

EXTERIOR &

STAIR LIGHTING

LOBBY

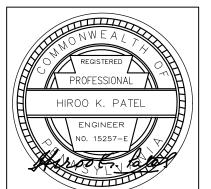
RECESSED LIGHTING

SURFACE

MOUNT

BASEMENTS

- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 1. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





Renaissance 3 Architects, P.C.

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Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670

Design Technology

Sustainability

www.r3a.com

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RECHTECTS, P.C.

CONSULTANT:

Tri-State design and development consulting engineers carnegie, pennsylvania

Allies & Ross
Management and
Development

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

Corporation

CONSTRUCTION

DOCUMENTS

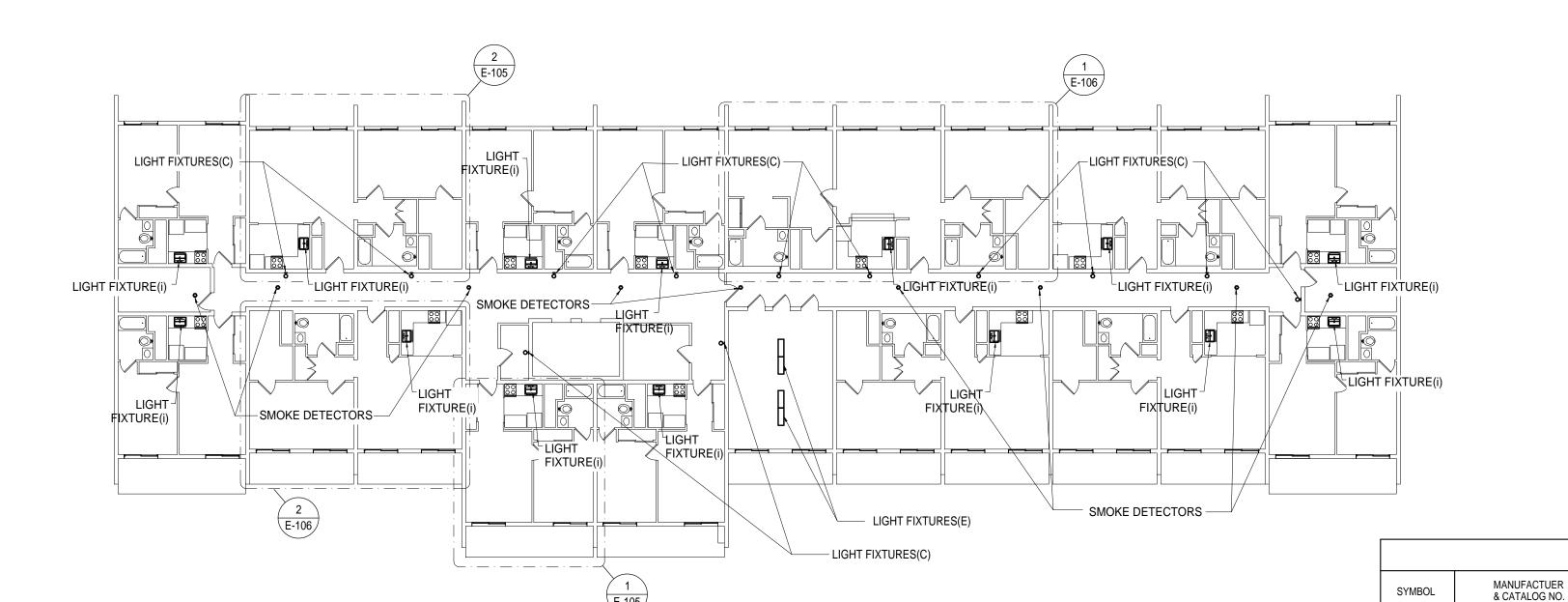
ISSUED: October 27, 2017

REVISIONS

Bernice Crawley High Rise - Third -Seventh Floor Electrical Plan

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



RE-ENERGIZE UNIT LIGHTING CIRCUIT.

KIND IN IT'S EXISTING LOCATION.

OF HIS/HER SCOPE OF WORK.

AC, WATER HEATER AND MORE.

12. ALL WIRING SHALL BE COPPER.

NOT USED

11. NOT USED

3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN

ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.

9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

4. SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS

5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION

10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING

EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE,

6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR

7. REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTORS.

Eighth Floor Electrical Plan

R	REFERENCE NOTES
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIO LIGHT FIXTURES IN/ON UNIT AND REPLACE WIT NEW FIXTURE IN SAME LOCATION. REENERGIZI CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

	FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
	FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
	FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
ELECTRICAL NOTES	FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
	FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
	FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
<u>LLLCTRIOAL NOTES</u>	FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
NOT USED 2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. PER ENERGIZE UNIT HOLITING CIRCUIT.	FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

BROWNLEE LIGHTING

2335BNC17LEDWA27K

LBL LIGHTING

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LIGHTING FIXTURE SCHEDULE

MOUNTING

SURFACE

LAMP

DESCRIPTION

LED ARRAY

REMARKS

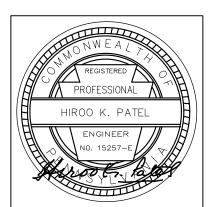
RESIDENTIAL UNITS

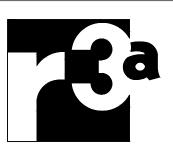
GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT, HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
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THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

- ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
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- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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Renaissance 3 Architects, P.C. 48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

> Technology Sustainability

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CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross |Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration 945 Roselle Ct

CONSTRUCTION

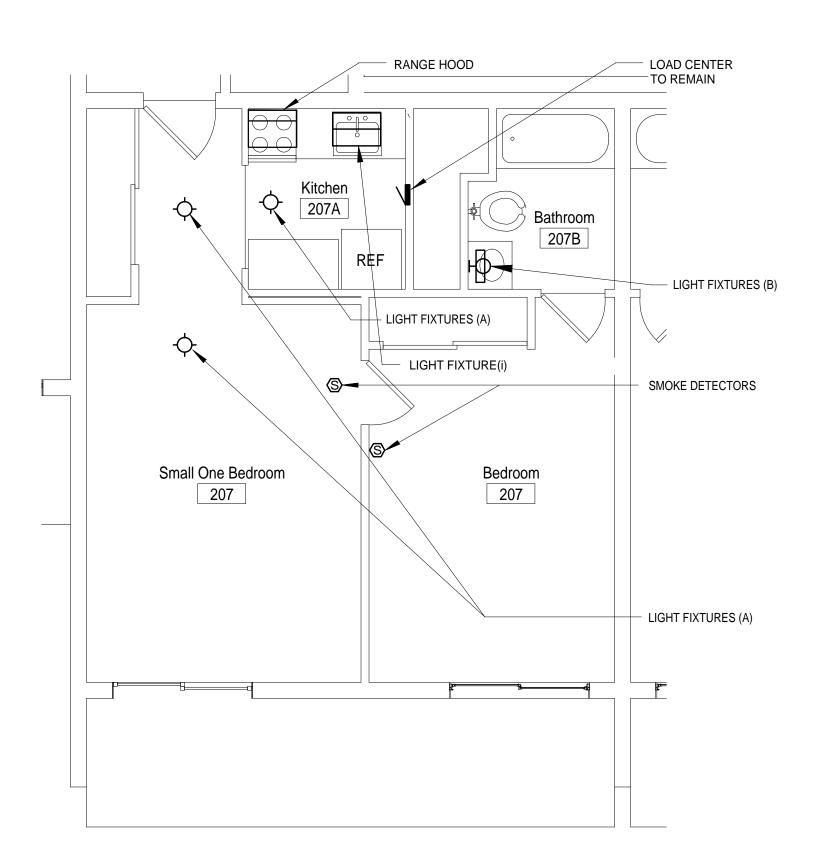
DOCUMENTS

Pittsburgh, PA 15207

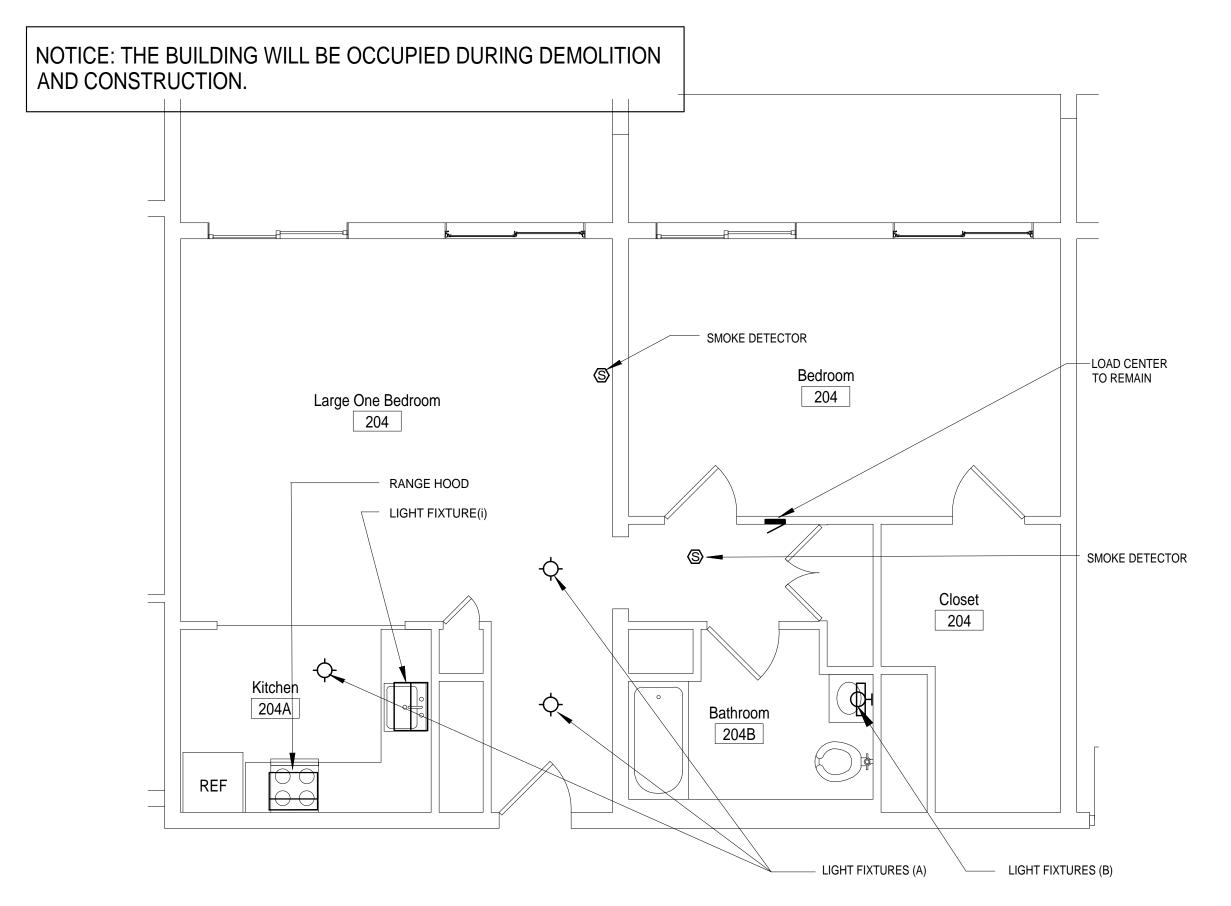
ISSUED: October 27, 2017 REVISIONS

Bernice Crawley High Rise -Eighth Floor Electrical Plan

R3A PROJECT # 15074B



Typical Small One Bedroom Enlarged Electrical Plan 1/4" = 1'-0"



2 Typical Large One Bedroom Enlarged Electrical Plan 1/4" = 1'-0"

REFERENCE NOTES				
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)			
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.			
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)			

	DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
	NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
	SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
	ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
-	EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
	REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTOR.
	NOT USED
	PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
0.	ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS.

2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.

ELECTRICAL NOTES

NOT USED.

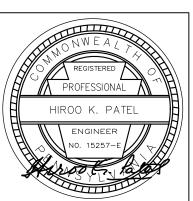
11. NOT USED
12. ALL WRING SHALL BE COPPER.
13. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.

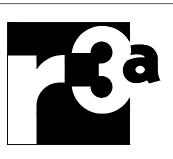
		LIGHTING	FIXTU	RE SCHEDULE			
CVMDOL	MANUFACTUER	ACTUER		UFACTUER LAMP		VOLTAGE	DEMARKO
SYMBOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE	
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS	
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS	
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING	
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY	
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING	
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT	

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
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Design Technology

Sustainability

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Tri-State DESIGN AND DEVELOPMENT
CONSULTING ENGINEERS
CARREGIE, PENNSYLVANIA

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

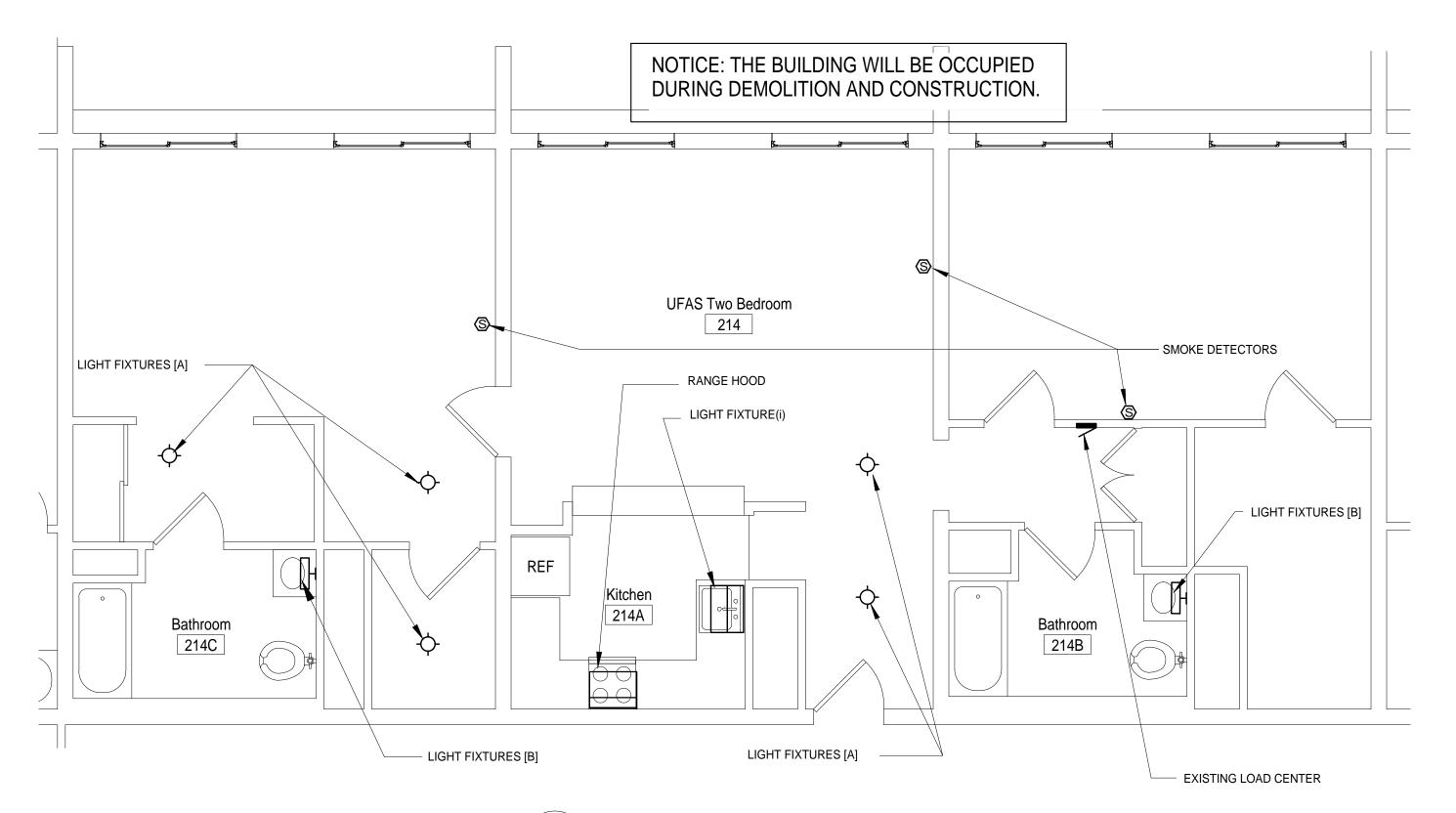
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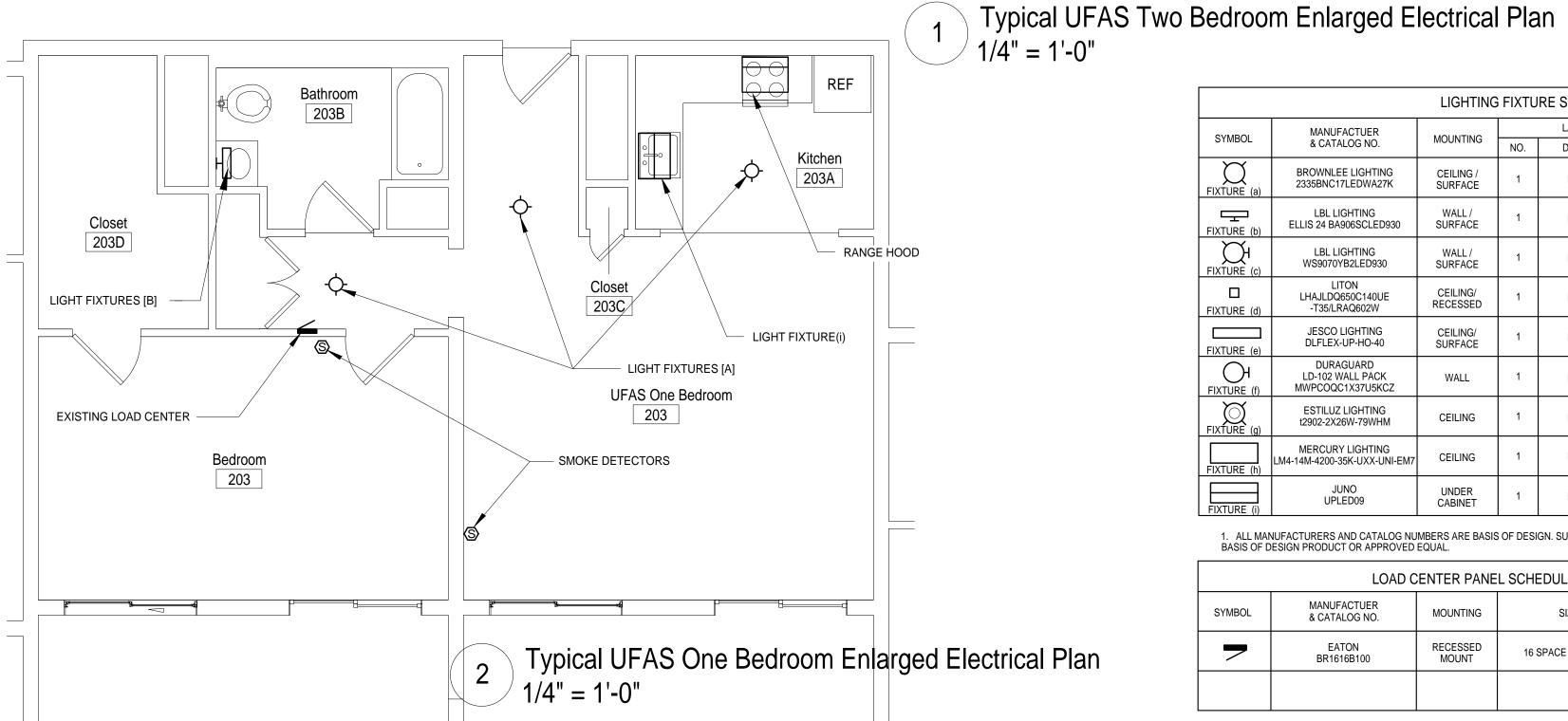
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Bernice Crawley High Rise - Small & Large One Bedroom Enlarged Electrical Plans

R3A PROJECT # 15074B





	LIGHTING FIXTURE SCHEDULE									
SYMBOL	MANUFACTUER	R MOUNTING		LAMP	VOLTAGE	DEMARKO				
STIVIDOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS				
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS				
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE				
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS				
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS				
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS				
H FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING				
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY				
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING				
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT				

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

	LOAD (ENTER PANE	L SCHEDULE					
SYMBOL	MANUFACTUER & CATALOG NO.				SIZE	AMPS	REMARKS	
7	EATON BR1616B100	RECESSED MOUNT	16 SPACE -BR TYPE	100	RESIDENTIAL UNITS			

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER. 2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS. 3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

R	REFERENCE NOTES
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

. NOT USED.

. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT

. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.

4. SEVENTEEN (17) HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTERS AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.

6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.

ELECTRICAL NOTES (CONT)

7. REMOVE EXISTING SMOKE DETECTOR AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTOR. 8. NOT USED

9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING

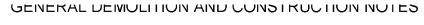
EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS.

10. RANGE HOODS IN ALL UFAS KITCHENS SHALL HAVE REMOTE SWITCHES 48" ABOVE FINISHED FLOOR. 11. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

12. NOT USED

13. ALL WIRING SHALL BE COPPER.

4. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITH THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.

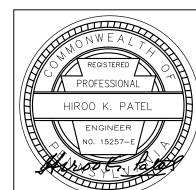


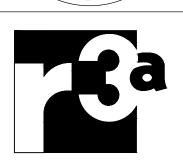
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SEE DWG G-101, G-102 AND G-110 FOR

BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.





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CONSULTANT:

i—Štlpha te design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

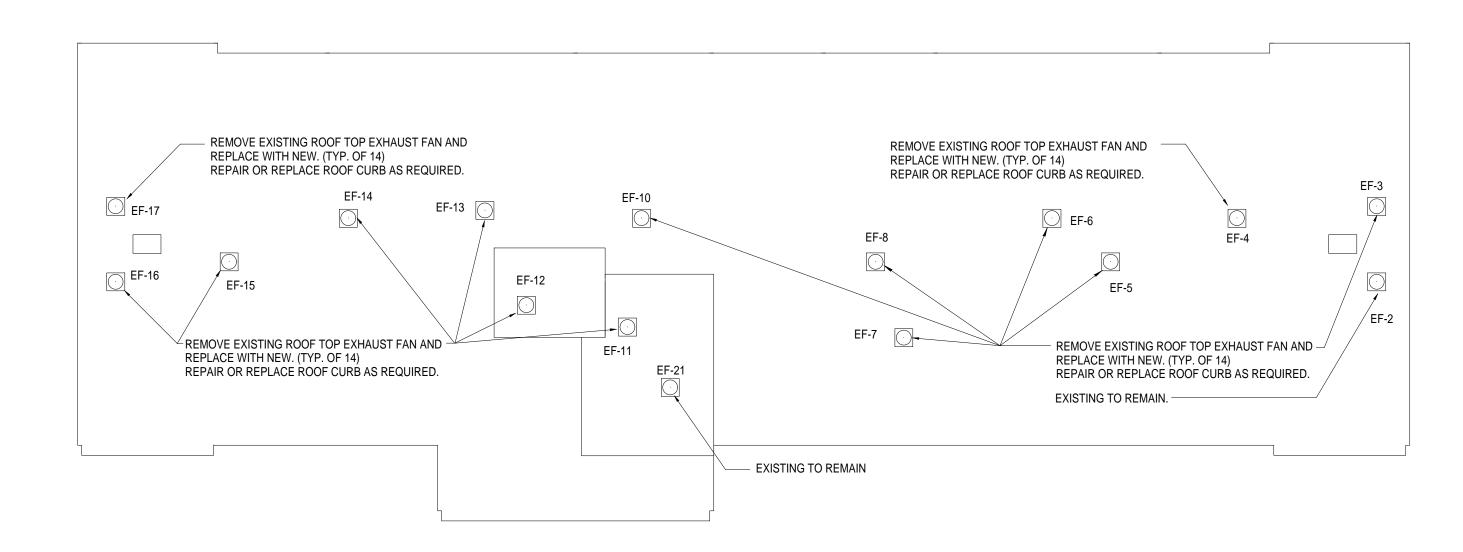
ISSUED: October 27, 2017 REVISIONS

Bernice Crawley High Rise -UFAS One & Two Bedroom Electrical

Enlarged Plans

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Roof Top HVAC Plan 1/16" = 1'-0"

			EX	HAUST	FAN S	CHEDI	JLE		
TAG DESCRIPTION		CFM	VOLTAGE	MAX	MAX FUSE	Нр	BASIS OF D	ESIGN	REMARKS
		OI IVI	VOE1710E	AMPS	AMPS	p	MANUF	MODEL	REWARKS
EF-2	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3			PREVIOUSLY REPLACE
EF-3	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-4	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-5	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-6	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-7	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-8	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-9	BATH/KITCHEN EXHAUST								DO NOT REPLACE
EF-10	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-11	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-12	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-13	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-14	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-15	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-16	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST
EF-17	BATH/KITCHEN EXHAUST		115/1/60	15	25	1/3	GREENHECK		FOR TOILET EXHAUST

NOTE: THIS EQUIPMENT IS PROVIDED BY HVAC CONT.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

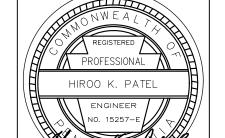
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- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

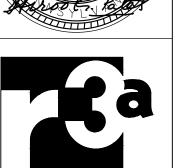
GENERAL NOTES:

ELEC CONT SHALL COORDINATE WITH MECHANICAL CONT FOR

DEENERGIZE/REENERGIZE ROOFTOP EXHAUST FANS.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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> Design Technology

Sustainability

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THIS DRAWING IS N'ETROED TO BE USED ORLY FOR THE PROJECT AND OWNER ROCLATED IN THIS TITLE

CONSULTANT:

A

Tri—State design and development

Allies & Ross
Management and

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

Development

Corporation

CONSTRUCTION

DOCUMENTS

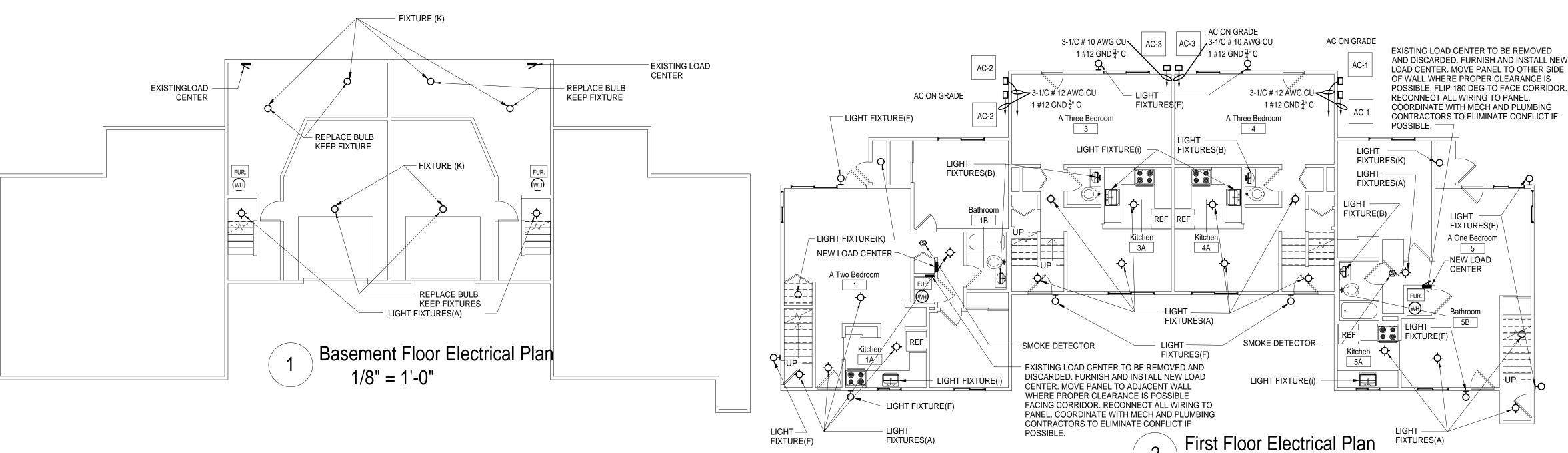
D: October 27, 2017

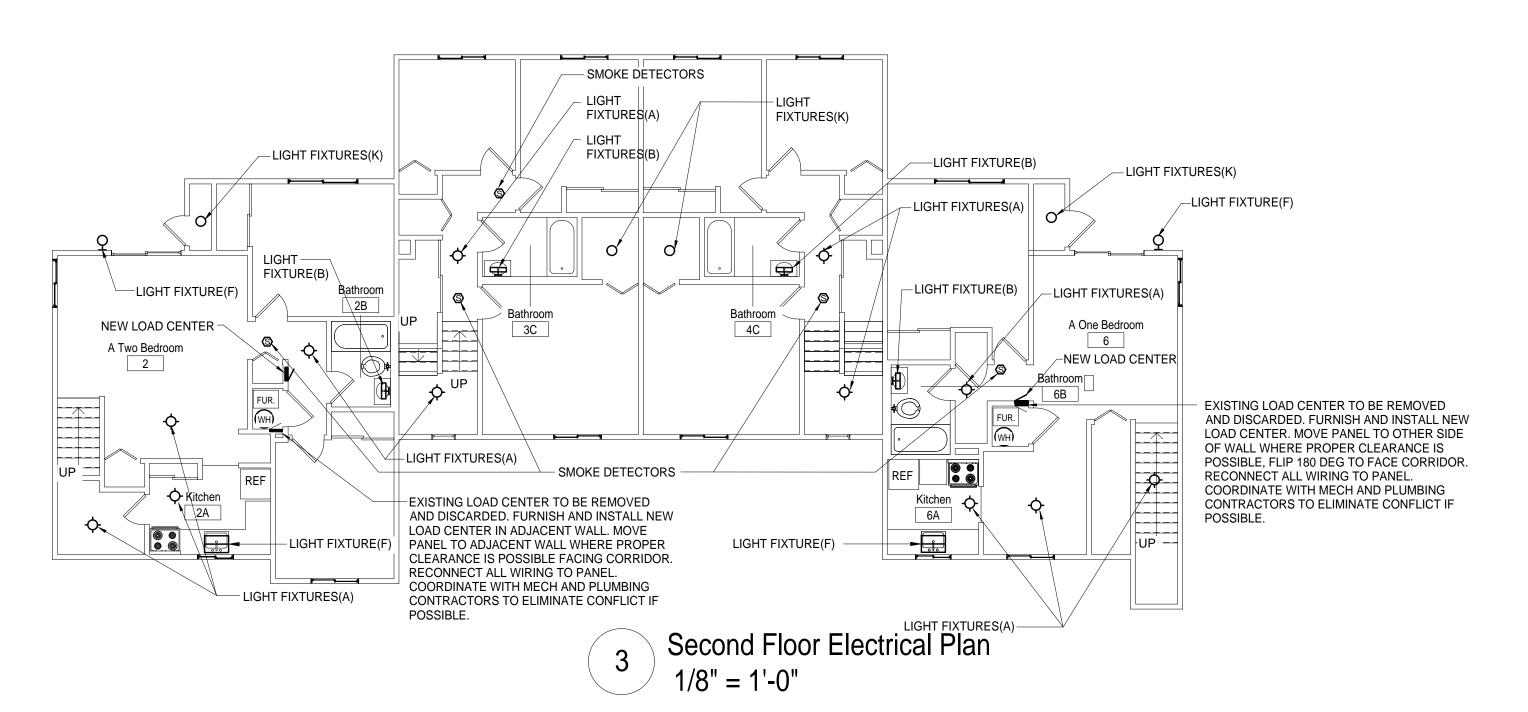
REVISIONS

Bernice Crawley High Rise - Roof top Plan

R3A PROJECT # 15074B

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LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIO LIGHT FIXTURES IN/ON UNIT AND REPLACE WIT NEW FIXTURE IN SAME LOCATION, REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

- 1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS. 2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- 3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN
- 4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, WITHIN EACH UNIT OR BUILDING.
 - THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES. WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN CONSULTANT: GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

LIGHTING FIXTURE SCHEDULE

DESCRIPTION

LED ARRAY

SIZE

16 SPACE -BR TYPE

ENCLOSEURE

120

120

120

120

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

REMARKS

RESIDENTIAL UNITS

BATHROOM VANITY FIXTURE

RESIDENTIAL UNITS

RESIDENTIAL UNITS

BASEMENTS

LAUNDRY & STORAGE AREAS

STAIR LIGHTING

LOBBY

RECESSED LIGHTING

SURFACE

MOUNT

DO NOT REPLACE FIXTURE

REMARKS

RESIDENTIAL UNITS

RESIDENTIAL UNITS

MOUNTING

SURFACE

SURFACE

SURFACE

RECESSED

SURFACE

CEILING

CEILING

CABINET

LOAD CENTER PANEL SCHEDULE

MOUNTING

FLUSH MOUNT

WALL MOUNT

7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800

8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT

PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO

11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT

12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE,

14. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-

REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.

ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER. 2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.

3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

SYMBOL

FIXTURE (b

FIXTURE (

FIXTURE (d)

FIXTURE (f)

SYMBOL

& CATALOG NO.

BROWNLEE LIGHTING

2335BNC17LEDWA27K

LBL LIGHTING

ELLIS 24 BA906SCLED930

WS9070YB2LED930

LHAJLDQ650C140UE

-T35/LRAQ602W

DLFLEX-UP-HO-40

LD-102 WALL PACK

MWPCOQC1X37U5KCZ

ESTILUZ LIGHTING

t2902-2X26W-79WHM

MERCURY LIGHTING

LM4-14M-4200-35K-UXX-UNI-EM7

UPLED09

BASEMENT STORAGE

FIXTURE

MANUFACTUER

& CATALOG NO.

BR1616B100

SQUARE D

DU 321NRB

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LUMENS, LED, E26 BASE FOR FIXTURE (K)

WHICH AC CONDENSER PROVIDES AIR CONDITIONING

POWER FROM EXISTING WALL FAN OR RANGE HOOD

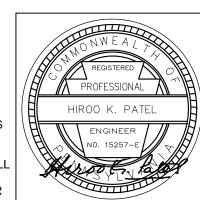
ELECTRICAL NOTES

AC, WATER HEATER AND MORE.

13. ALL WIRING SHALL BE COPPER.

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

- ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES | Pittsburgh, PA 15207 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL | CONSTRUCTION AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS,
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL AND EQUIPMENT THAT ARE DAMAGED DURING THE WORK SHALL BE REPAIRED OR REPLACED TO THE WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE





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CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Management and

Allies & Ross

Development

Corporation

Task Order

Assistance

Contract No. 33 -

Demonstration

Glen Hazel Rental

48 South 14th Street Pittsburgh, PA 15203 Phone: 412-431-2480 Fax: 412-431-2670 www.r3a.com

Design

Technology

Sustainability

ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL. TEMPORARY STORAGE. RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

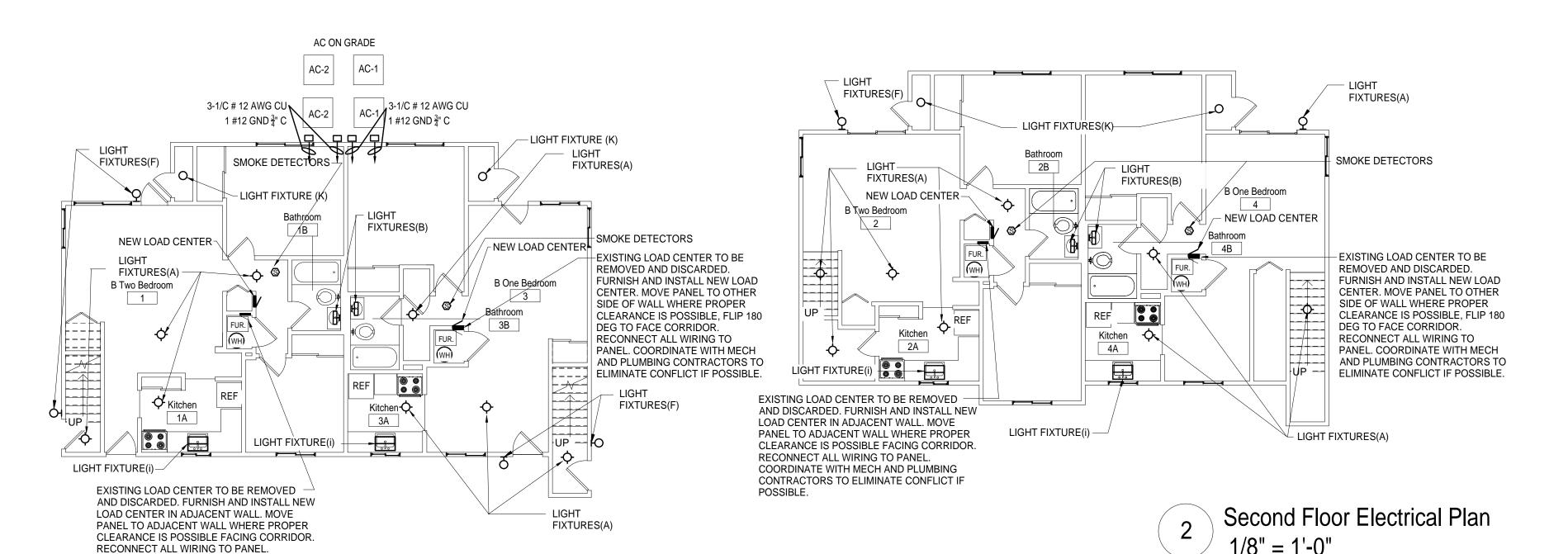
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED
- EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING

DOCUMENTS ISSUED: October 27, 2017

REVISIONS

Community -Type A

R3A PROJECT # 15074B



1 First Floor Electrical Plan 1/8" = 1'-0"

REFERENCE NOTES

DETECTOR

CENTER

REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)

REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.

DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

COORDINATE WITH MECH AND PLUMBING

CONTRACTORS TO ELIMINATE CONFLICT IF

ELECTRICAL NOTES

- INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
 ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.
 DEMOLISH EXISTING LIGHT FIXTURES.
 INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.
 RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- 3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
- 4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR
- 7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED. E26 BASE
- 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
- 10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- 11. THE POWER WIRING AND CONDUIT FOR RESPECTIVE OUTDOOR AC CONDENSER SHALL BE ROUTED TO LOAD CENTER IN RESIDENTIAL UNIT TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
- 12. ALL WIRING SHALL BE COPPER.
- 13. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

		LIGHTING	FIXTU	RE SCHEDULE		
SYMBOL	MANUFACTUER	MOUNTING		LAMP	VOLTAGE	DEMARKO
STIMBUL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
☐ FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREA
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

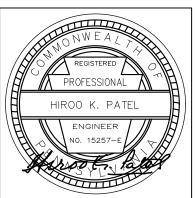
	LOAD CENTER PANEL SCHEDULE								
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS				
7	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS				
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS				

MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
 STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION. EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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Tri-State design and development consulting engineers carriege, pennsylvania

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

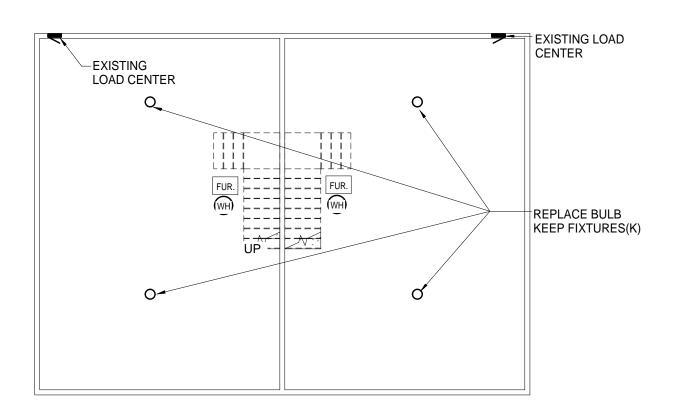
DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

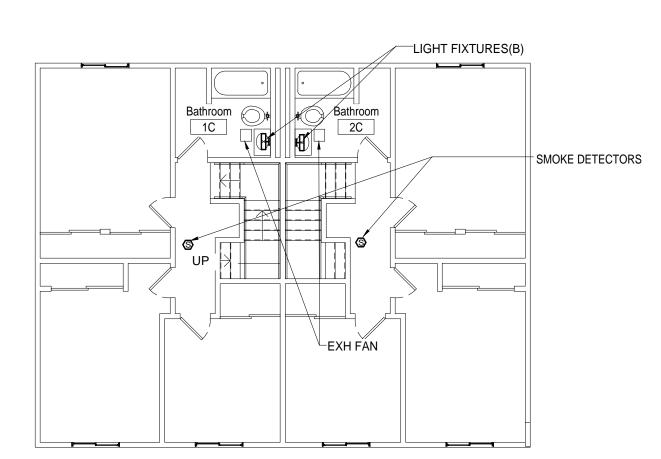
Family Community -Type B

R3A PROJECT # 15074B

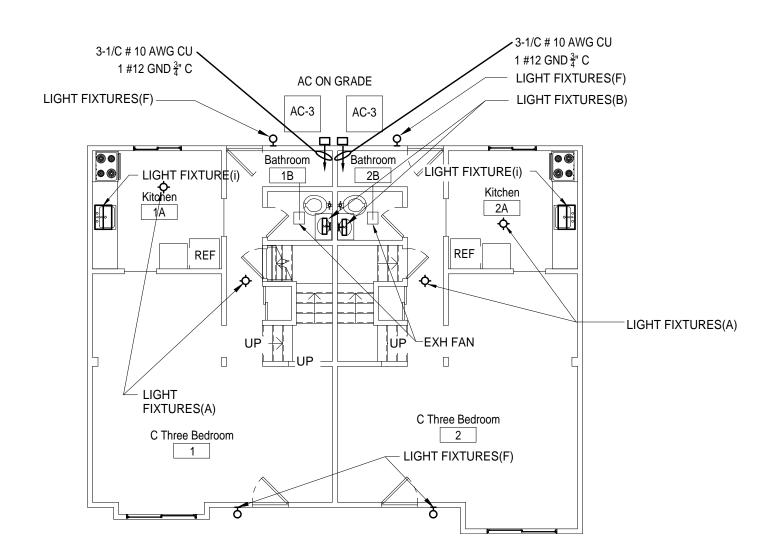
F-112



Basement Electrical Plan 1/8" = 1'-0"



Second Floor Electrical Plan 1/8" = 1'-0"



LIGHTING FIXTURE SCHEDULE							
	MANUFACTUER			LAMP			
SYMBOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE	
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS	
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS	
H FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING	
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY	
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING	
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT	
EIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE	

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

FIXTURE (K)

ELECTRICAL NOTES

14. ALL WIRING SHALL BE COPPER.

	LOAD CENTER PANEL SCHEDULE								
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS				
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS				

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

12. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT

15. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-

ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER

REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.

RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.

13. PROVIDE WRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

REFERENCE NOTES							
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)						
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.						
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)						

ELECTRICAL NOTES

RE-ENERGIZE UNIT LIGHTING CIRCUIT.

OF HIS/HER SCOPE OF WORK.

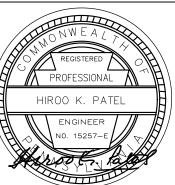
- 1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS. 2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.
- 3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
- 4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR
- 7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800
- LUMENS, LED, E26 BASE FOR FIXTURE (K) 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC,
- WATER HEATER AND MORE
- 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES
- 10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM

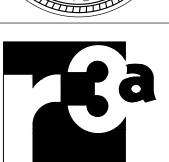
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL. SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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CONSULTANT:

Tri-State design and development CONSULTING ENGINEERS CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration 945 Roselle Ct

CONSTRUCTION

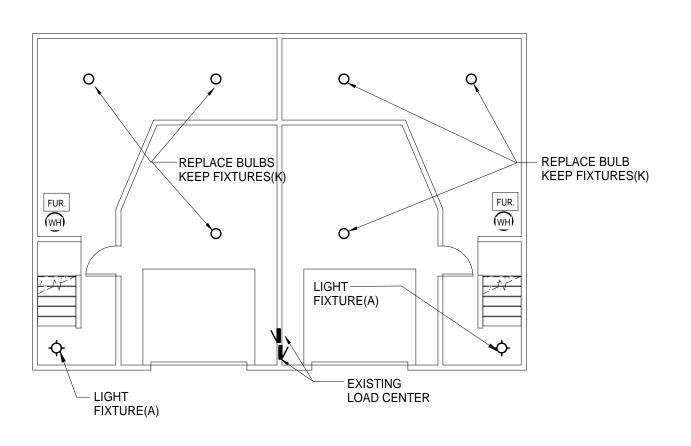
DOCUMENTS

Pittsburgh, PA 15207

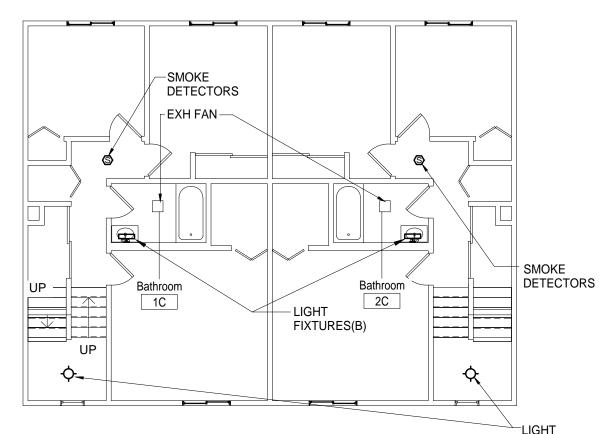
ISSUED: October 27, 2017 REVISIONS

Family Community -Type C

R3A PROJECT # 15074B



Basement Floor Electrical Plan



REFERENCE NOTES								
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION, REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)							
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.							
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)							

ELECTRICAL NOTES

FIXTURES(A)

- 1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISER RESIDENTIAL UNITS. 2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES.
- INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN 4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS

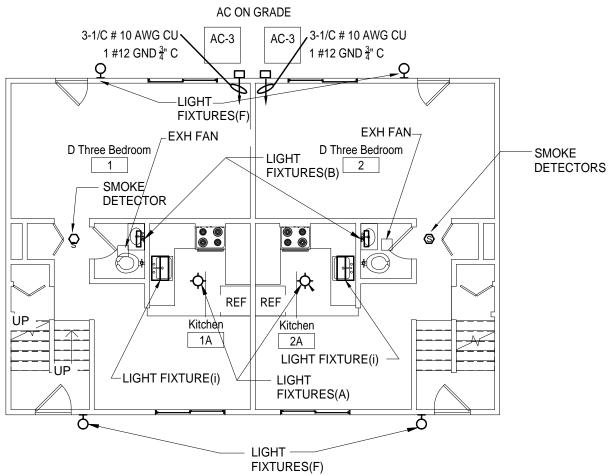
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE

- ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL. 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION
- OF HIS/HER SCOPE OF WORK.
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR
- 7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K) 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING
- EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER IS PROVIDING
- 10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM
- 11. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

12. ALL WIRING SHALL BE COPPER.

EXISTING WALL FAN OR RANGE HOOD.

13. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC. TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.



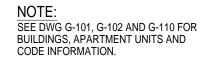
First Floor Electrical Plan

LIGHTING FIXTURE SCHEDULE							
SYMBOL	MANUFACTUER	MOUNTING	LAMP		VOLTAGE	REMARKS	
OTWIDOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLINOL	KEWARRO	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE	
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS	
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS	
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING	
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY	
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING	
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT	
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE	

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

LOAD CENTER PANEL SCHEDULE								
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS			
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS			

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER. 2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS. 3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

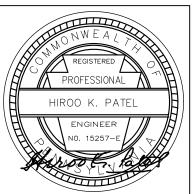


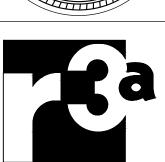
GENERAL DEMOLITION AND CONSTRUCTION NOTES

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- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER Development TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND

- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES | Pittsburgh, PA 15207 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL CONSTRUCTION AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED | DOCUMENTS TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.





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> Design Technology

> > Sustainability

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Allies & Ross Management and Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance

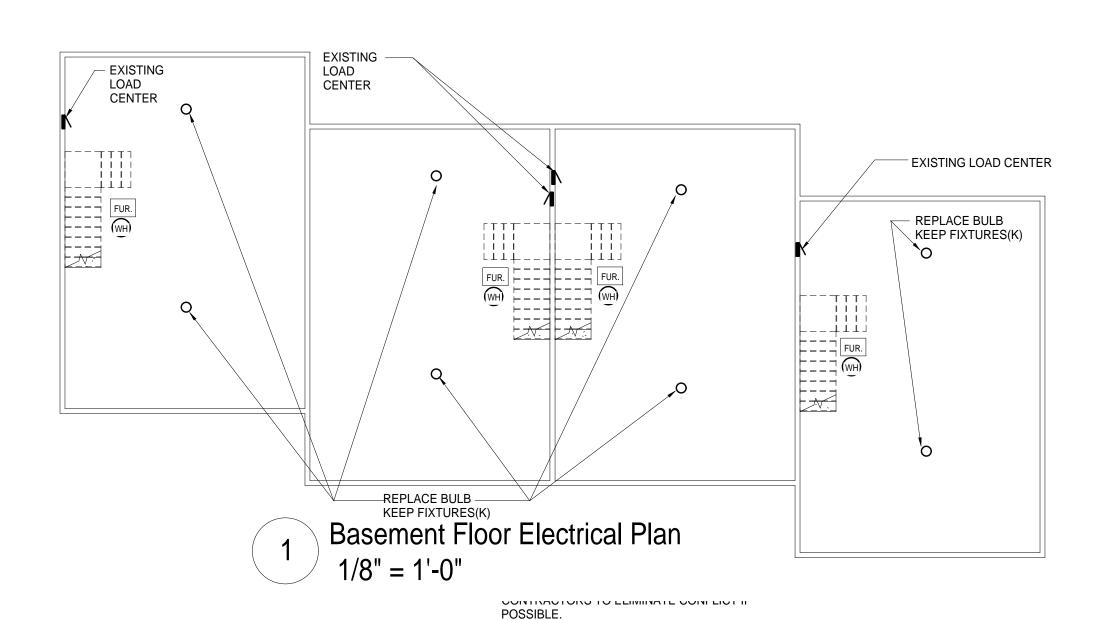
October 27, 2017

REVISIONS

Family Community -

Type D

R3A PROJECT# 15074B



FIXTURES(B)

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Second Floor Electrical Plan

DETECTORS

2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.

3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE

OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN

INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.

ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.

1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.

4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS

5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION

6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR

ELECTRICAL NOTES

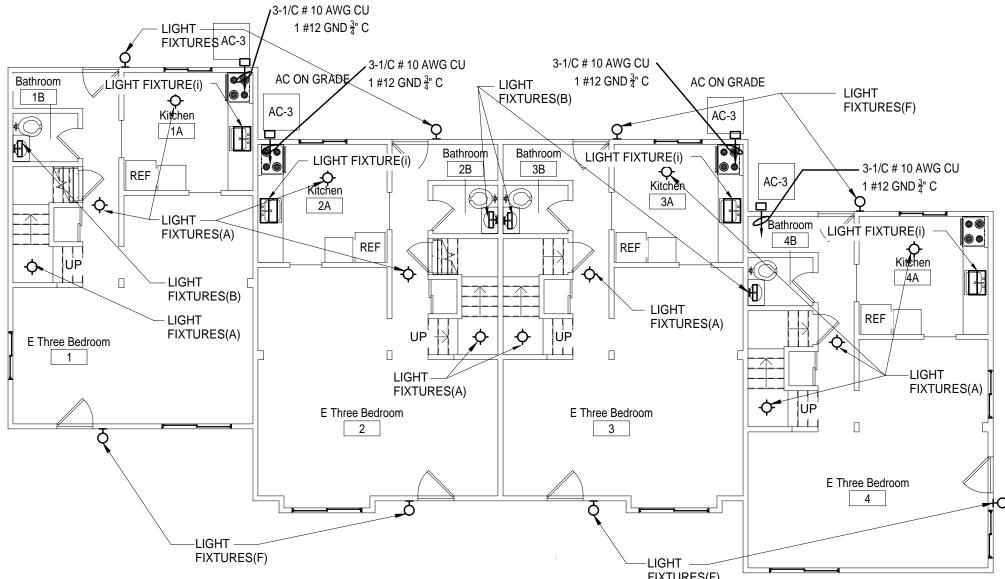
DEMOLISH EXISTING LIGHT FIXTURES.

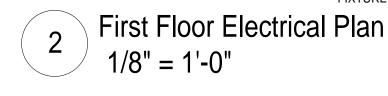
RE-ENERGIZE UNIT LIGHTING CIRCUIT.

KIND IN IT'S EXISTING LOCATION.

OF HIS/HER SCOPE OF WORK.

APPROVED EQUAL.





LIGHTING FIXTURE SCHEDULE							
SYMBOL	MANUFACTUER	MOUNTING	LAMP		VOLTAGE	2=11121/2	
STIVIBUL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE	
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS	
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS	
H FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING	
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY	
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING	
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT	
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE	

ELECTRICAL NOTES (CONT)

Bathroom

- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
- 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE
- 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
- 10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT
- POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- 11. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- 12. ALL WIRING SHALL BE COPPER.
- 13. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

	LOAD CENTER PANEL SCHEDULE							
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS			
7	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS			
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS			

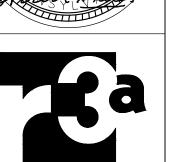
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS. APARTMENT UNITS AND

CODE INFORMATION.

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER. 2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS. 3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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> Design Technology Sustainability

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Allies & Ross Management and Development Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

October 27, 2017 REVISIONS

Family

Community -Type E

R3A PROJECT # 15074B

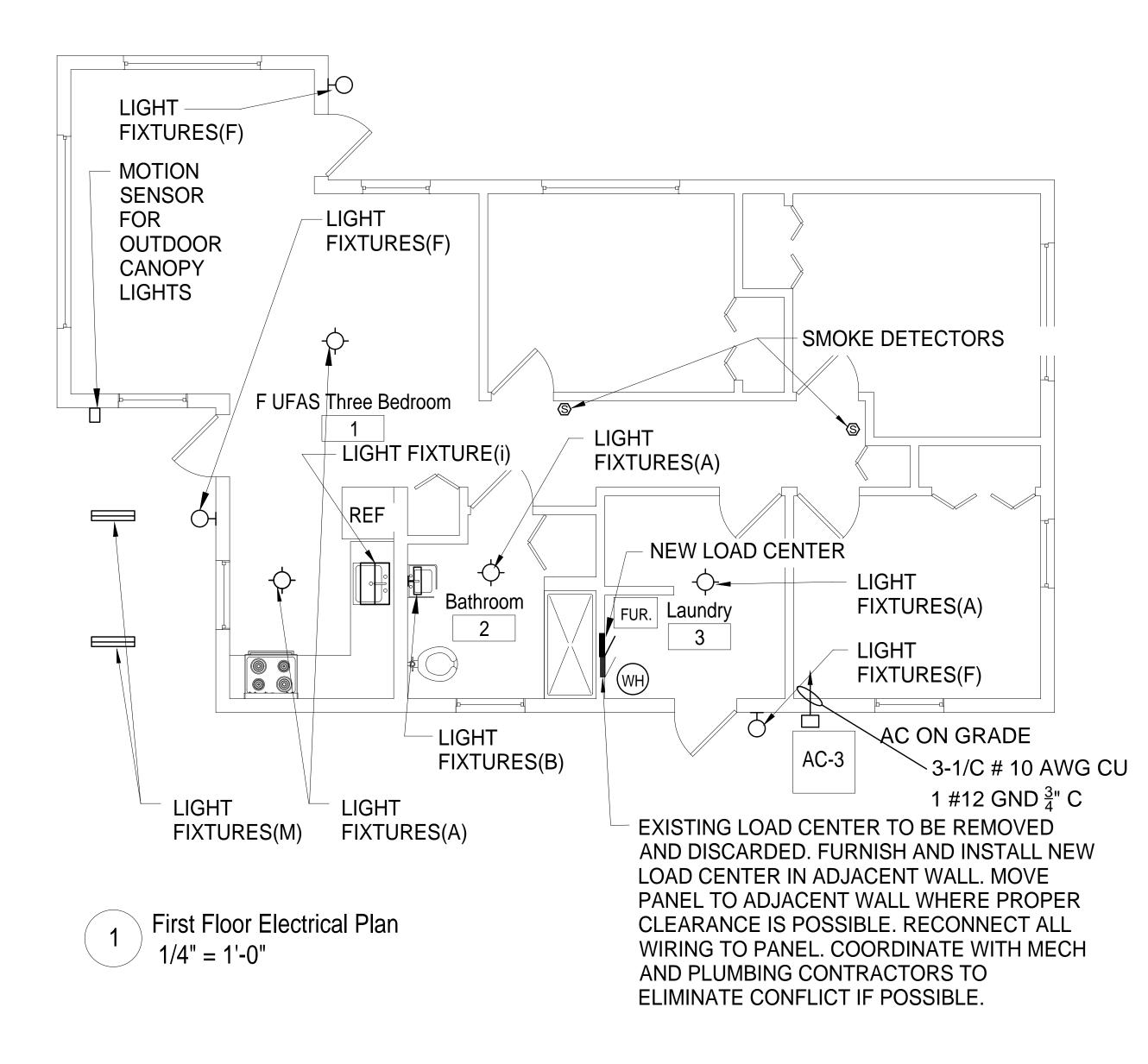
E-115

REFERENCE NOTES DETECTOR CENTER

REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)

REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW. DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

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REFERENCE NOTES					
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)				
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.				
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)				

ELECTRICAL NOTES

- INSTALL NEW CIRCUITS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
 ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.
 DEMOLISH EXISTING LIGHT FIXTURES.
 INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.
 RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
- 4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL. RECONNECT WIRING
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- 7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
- 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
- 10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

LIGHTING FIXTURE SCHEDULE							
MANUFACTUER		MOUNTING	LAMP		VOLTAGE		
SYMBOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE	
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS	
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS	
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS	
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING	
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY	
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING	
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT	
FIXTURE (M)	LITHONIA LIGHTING VAP4000LM-FST-MD-120V-GZ10- 30K-80CRI	OUTDOOR CANOPY	2	LED ARRAY	120	SURFACE MOUNT, WEATHERPROOF, VANDALRESISTANT	
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE	

 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
 PROVIDE MOTION SENSOR FOR OUTDOOR CANOPY LIGHT, LITHONIA MSI10NWL OR APPROVED EQUAL.

	LOAD CENTER PANEL SCHEDULE							
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS			
7	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS			
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS			

SEE DWG G-101, G-102 AND G-110 FOR BUILDNGS, APARTMENT UNITS AND

CODE INFORMATION.

MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
 STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

ELECTRICAL NOTES (CONT)

- 11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE
- 12. PROVIDE WIRE AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.13. ALL WIRING SHALL BE COPPER.
- 14. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

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- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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Design Technology

Sustainability

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ROWSELTS, P.C.

RICHTEETS, P.C.

Tri-State design and development consulting engineers carnegie, pennsylvania

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

CONSTRUCTION

DOCUMENTS

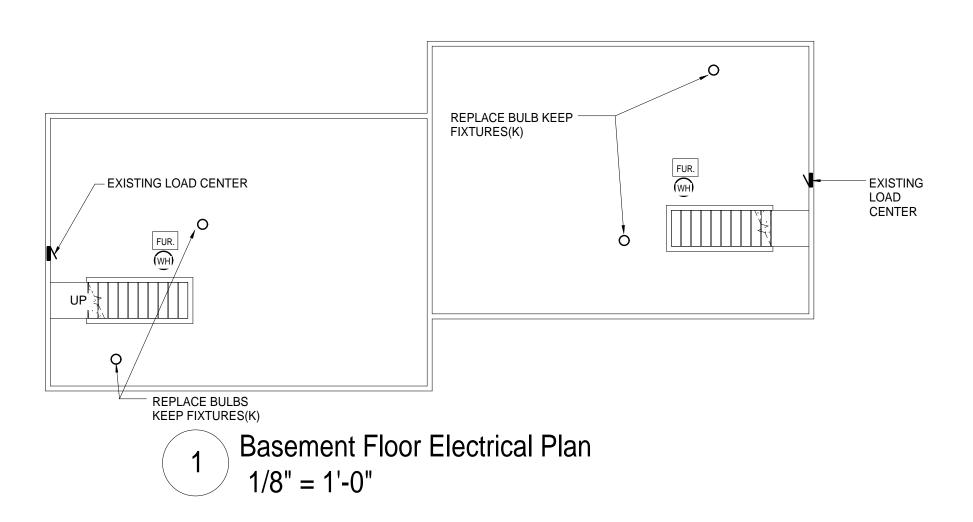
Pittsburgh, PA 15207

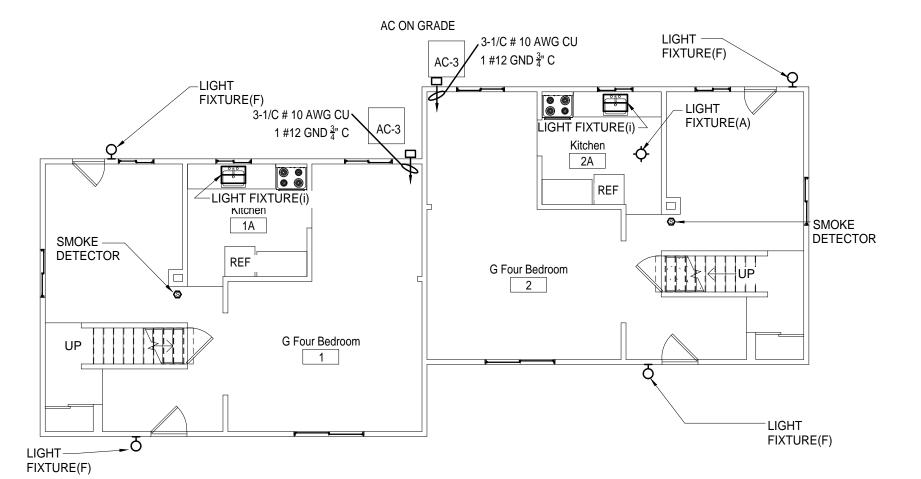
SSUED: October 27, 2017

REVISIONS

Family Community -Type F UFAS

R3A PROJECT # 15074B





2 First Floor Electrical Plan 1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE								
CVMDOL	MANUFACTUER	MOUNTING	LAMP		VOLTAGE	DEMARKO		
SYMBOL	& CATALOG NO.	MOUNTING	NO.	DESCRIPTION	VOLTAGE	REMARKS		
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS		
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE		
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS		
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS		
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS		
H FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING		
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY		
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING		
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT		
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE		

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS

MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
 STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

ELECTRICAL NOTES (CONT)

POWER FROM EXISTING WALL FAN OR RANGE HOOD.

12. ALL WRING SHALL BE COPPER.

CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.

9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC

11. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD

13. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-

ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER

REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT

Г		
LIGHT FIXTURES(B) Bathroom 1B Bathroom 1C	Ba	Bathroom 2B SMOKE DETECTORS throom 2 T2
	SMOKE	LIGHT
	DETECTORS	FIXTURES(B)

3 Second Floor Electrical Plan 1/8" = 1'-0"

REFERENCE NOTES						
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LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)					

ELECTRICAL NOTES

RE-ENERGIZE UNIT LIGHTING CIRCUIT.

- INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.

 ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.
 DEMOLISH EXISTING LIGHT FIXTURES.
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Design
Technology
Sustainability

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ROWHEUTS, P.C.

Tri-State DESIGN AND DEVELOPMENT
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CARNEGIE, PENNSYLVANIA

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Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

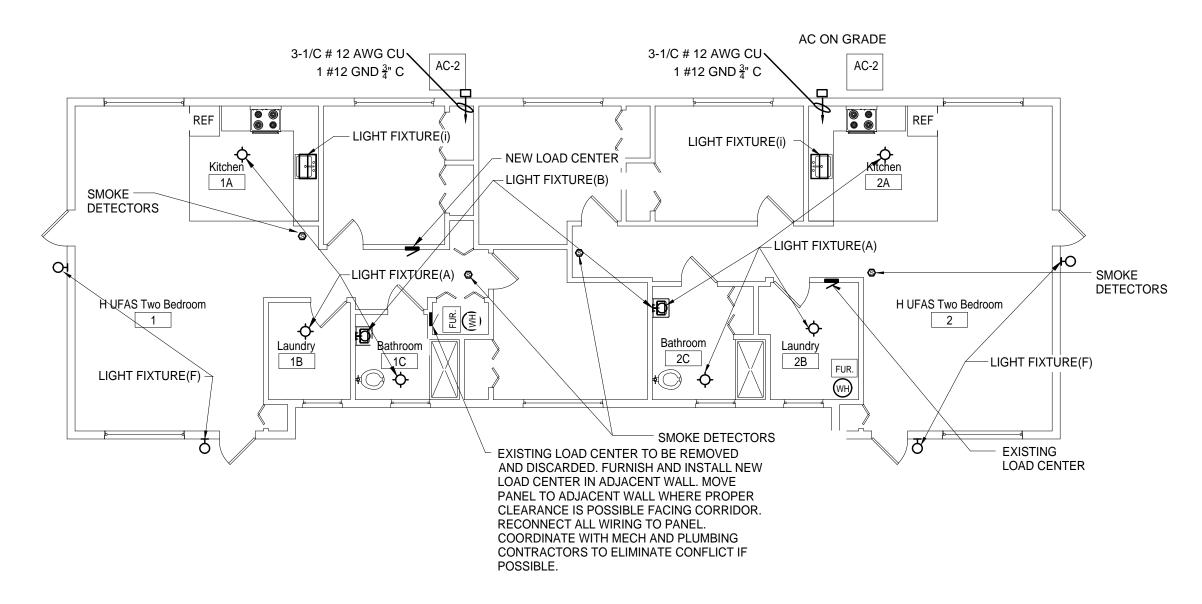
UED: October 27, 2017
REVISIONS

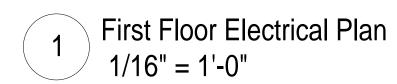
Community Type G

R3A PROJECT # 15074B

1307

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.





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- 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
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- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

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Sustainability

Technology

CONSULTANT:

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|Management and Development Corporation Task Order

Contract No. 33 -Glen Hazel Rental Assistance Demonstration 945 Roselle Ct

Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

October 27, 2017 REVISIONS

Community -Type H UFAS

R3A PROJECT # 15074B

DESCRIPTION BROWNLEE LIGHTING RESIDENTIAL UNITS LED ARRAY 2335BNC17LEDWA27K **SURFACE** LBL LIGHTING LED ARRAY BATHROOM VANITY FIXTURE ELLIS 24 BA906SCLED930 SURFACE LED ARRAY RESIDENTIAL UNITS FIXTURE (d WS9070YB2LED930 SURFACE RESIDENTIAL UNITS LHAJLDQ650C140UE -T35/LRAQ602W LED ARRAY BASEMENTS RECESSED FIXTURE (d) LED ARRAY LAUNDRY & STORAGE AREAS DLFLEX-UP-HO-40 SURFACE FIXTURE (6 DURAGUARD LD-102 WALL PACK LED ARRAY STAIR LIGHTING FIXTURE MWPCOQC1X37U5KCZ LOBBY LED ARRAY t2902-2X26W-79WHM MERCURY LIGHTING LED ARRAY RECESSED LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7 FIXTURE (h 1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

LIGHTING FIXTURE SCHEDULE

REMARKS

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.							
LOAD CENTER PANEL SCHEDULE							
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS		
7	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS		
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS		

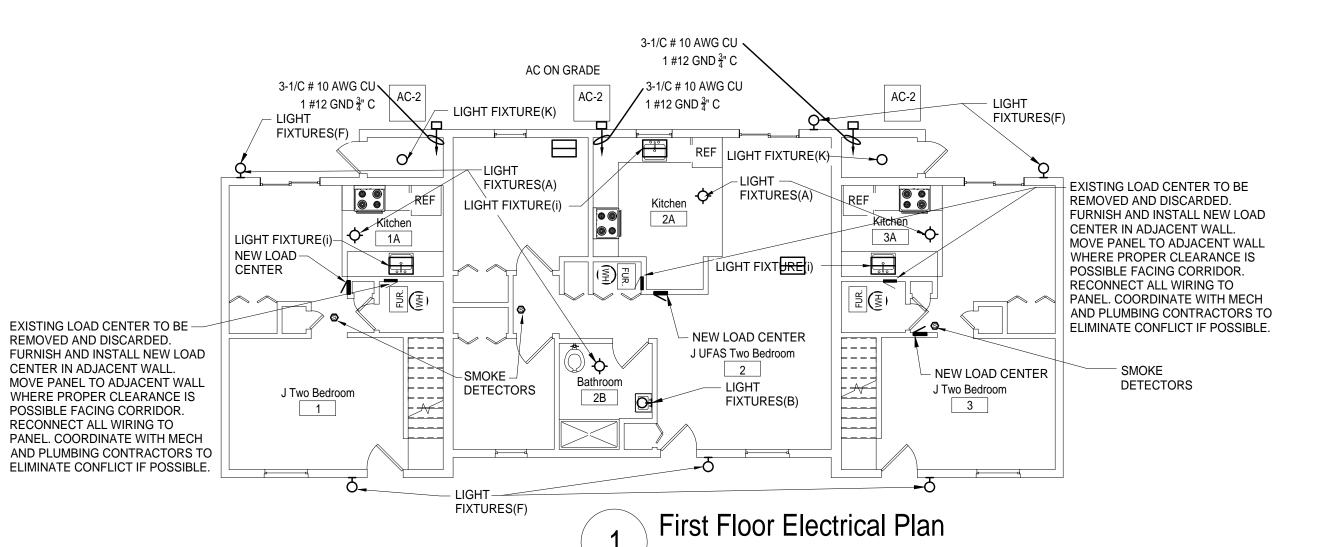
1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER. 2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS. 3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

ELECTRICAL NOTES (CONT)

SYMBOL

& CATALOG NO.

- 11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE
- 12. PROVIDE WIRE AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- 13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- 14. ALL WIRING SHALL BE COPPER.
- 15. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.



REFERENCE NOTES

DETECTOR

CENTER

REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)

REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.

DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

DEMOLISH EXISTING LIGHT FIXTURES.

RE-ENERGIZE UNIT LIGHTING CIRCUIT.

KIND IN IT'S EXISTING LOCATION.

OF HIS/HER SCOPE OF WORK.

PROVIDED BY HEATING CONTRACTOR.

14. ALL WIRING SHALL BE COPPER.

POWER FROM EXISTING WALL FAN OR RANGE HOOD

1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNIT FOR LOW RISE RESIDENTIAL UNITS.

2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.

3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE

OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN

4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS

5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION

7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800

8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING

EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC,

15. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-

REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.

ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER

REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR

INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.

ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.

9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT

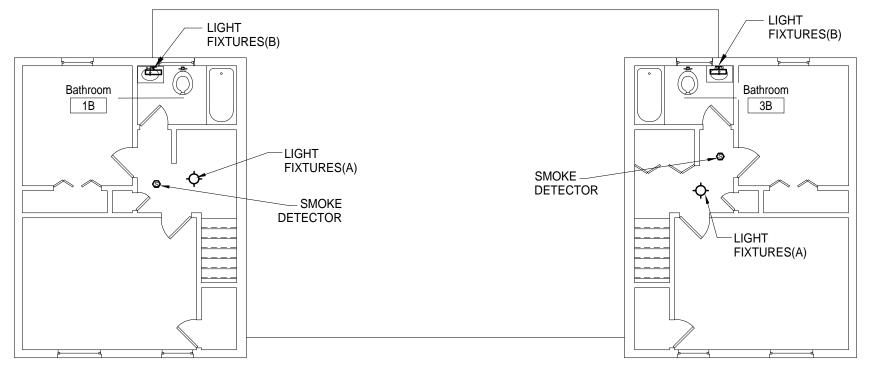
RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.

12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD, DISCONNECT

11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT

13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".



2 Second Floor Electrical Plant 1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE							
	REMARKS	VOLTAGE	LAMP	MOUNTING LAMP		MANUFACTUER	SYMBOL
	NLIWANNO	10217102	DESCRIPTION	NO.	WOONTING	& CATALOG NO.	STIVIDOL
	RESIDENTIAL UNITS	120	LED ARRAY	1	CEILING / SURFACE	BROWNLEE LIGHTING 2335BNC17LEDWA27K	FIXTURE (a)
	BATHROOM VANITY FIXTURE	120	LED ARRAY	1	WALL / SURFACE	LBL LIGHTING ELLIS 24 BA906SCLED930	FIXTURE (b)
	RESIDENTIAL UNITS	120	LED ARRAY	1	WALL / SURFACE	LBL LIGHTING WS9070YB2LED930	FIXTURE (c)
	RESIDENTIAL UNITS BASEMENTS	120	LED ARRAY	1	CEILING/ RECESSED	LITON LHAJLDQ650C140UE -T35/LRAQ602W	FIXTURE (d)
	LAUNDRY & STORAGE AREAS	120	LED ARRAY	1	CEILING/ SURFACE	JESCO LIGHTING DLFLEX-UP-HO-40	FIXTURE (e)
	EXTERIOR & STAIR LIGHTING	120	LED ARRAY	1	WALL	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	H FIXTURE (f)
	LOBBY	120	LED ARRAY	1	CEILING	ESTILUZ LIGHTING t2902-2X26W-79WHM	FIXTURE (g)
	RECESSED LIGHTING	120	LED ARRAY	1	CEILING	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	FIXTURE (h)
	SURFACE MOUNT	120	LED ARRAY	1	UNDER CABINET	JUNO UPLED09	FIXTURE (i)
	DO NOT REPLACE FIXTURE	120	LED ARRAY	1		BASEMENT/STORAGE FIXTURE	FIXTURE (K)

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LOAD CENTER PANEL SCHEDULE							
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS		
7	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS		
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS		

MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
 STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF

ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME

CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION

- FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

 ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
- INCLUDING DISPOSAL

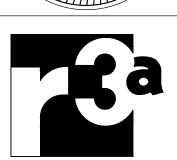
 MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY

 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES

 THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
 - EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

PROFESSIONAL
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ENGINEER
NO. 15257-E



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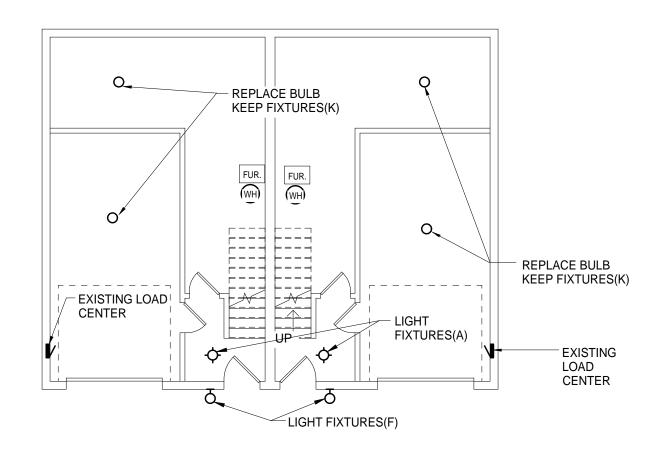
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DOCUMENTS

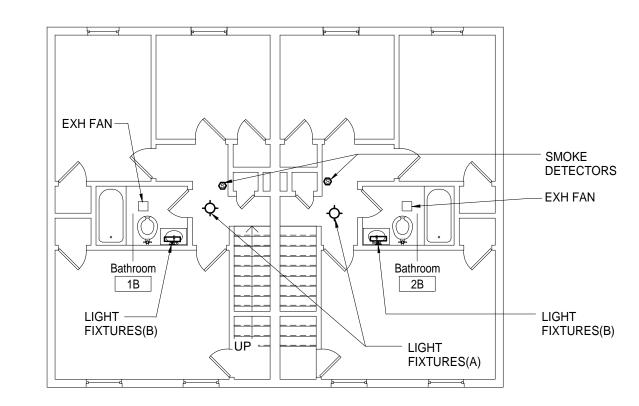
ISSUED: October 27, 2017
REVISIONS

Family Community -Type J/UFAS

R3A PROJECT # 15074B



1 Basement Floor Electrical Plan 1/8" = 1'-0"

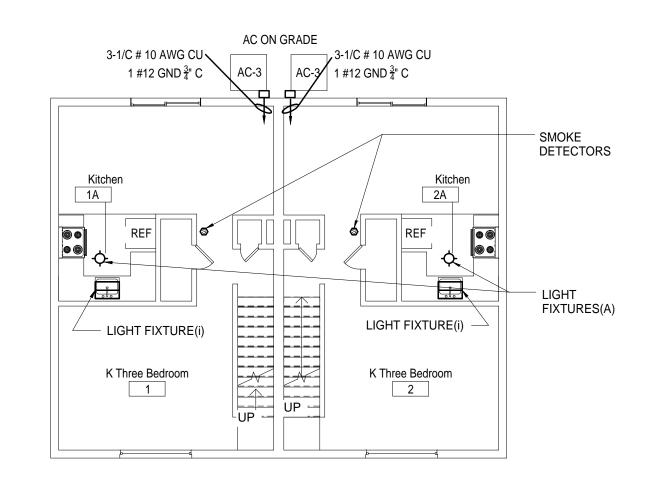


3 Second Floor Electrical Plan 1/8" = 1'-0"

REFERENCE NOTES						
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)					
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN KIND, WITH NEW.					
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)					

ELECTRICAL NOTES

- $1. \quad \text{INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.} \\$
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.
 DEMOLISH EXISTING LIGHT FIXTURES.
 INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.
 RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
- SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS
 ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- 7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800
- LUMENS, LED, E26 BASE FOR FIXTURE(K)
- 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.



2 First Floor Electrical Pla 1/8" = 1'-0"

		LIGHTING	FIXTU	RE SCHEDULE		
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	LAMP		\(\(\)(\)(\)	
			NO.	DESCRIPTION	VOLTAGE	REMARKS
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
H FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
EIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

LOAD CENTER PANEL SCHEDULE							
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS		
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS		

MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
 STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

ELECTRICAL NOTES (CONT)

POWER FROM EXISTING WALL FAN OR RANGE HOOD.

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
 10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT

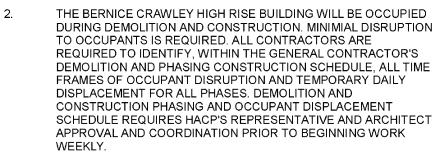
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT

- RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.

 12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- 13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- 14. ALL WIRING SHALL BE COPPER.
- 15. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.



3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES

THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA

COMPLY AND MEET UFAS REQUIREMENTS.

EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY

REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST

2. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

PROFESSIONAL
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ENGINEER
NO. 15257-E



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Technology

Sustainability

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Tri-State Design and Development Consulting Engineers Carnegue, Pennsylvania

CONSULTANT:

Allies & Ross
Management and
Development
Corporation

Task Order Contract No. 33 -Glen Hazel Rental Assistance Demonstration (RAD)

945 Roselle Ct Pittsburgh, PA 15207

CONSTRUCTION

DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Family Community -

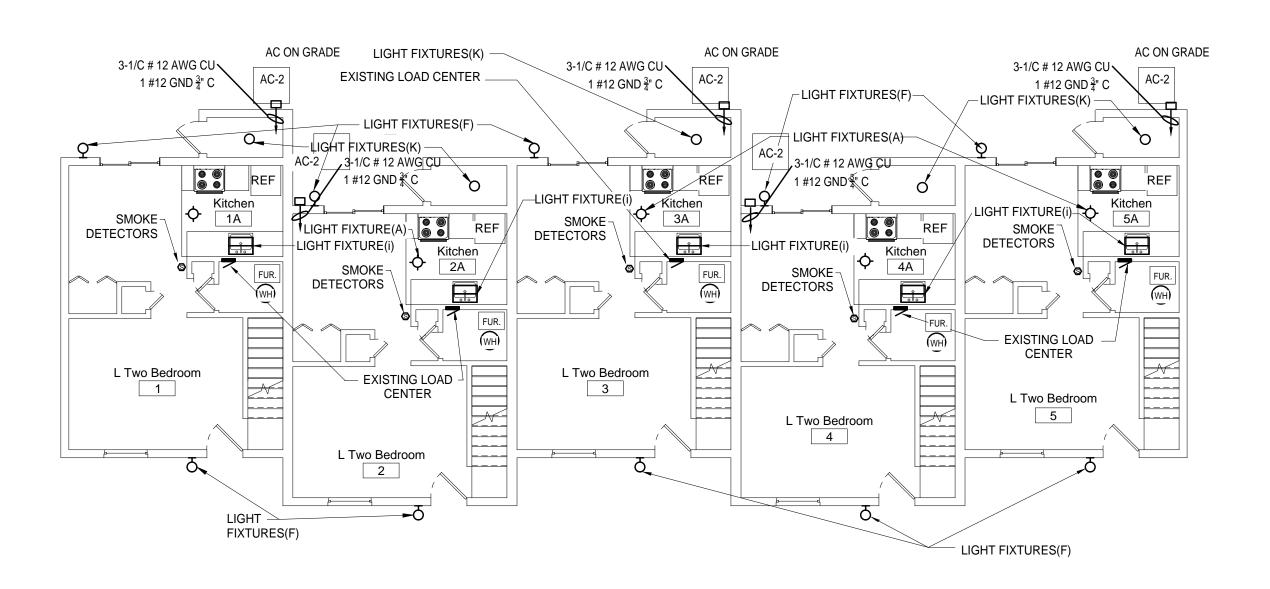
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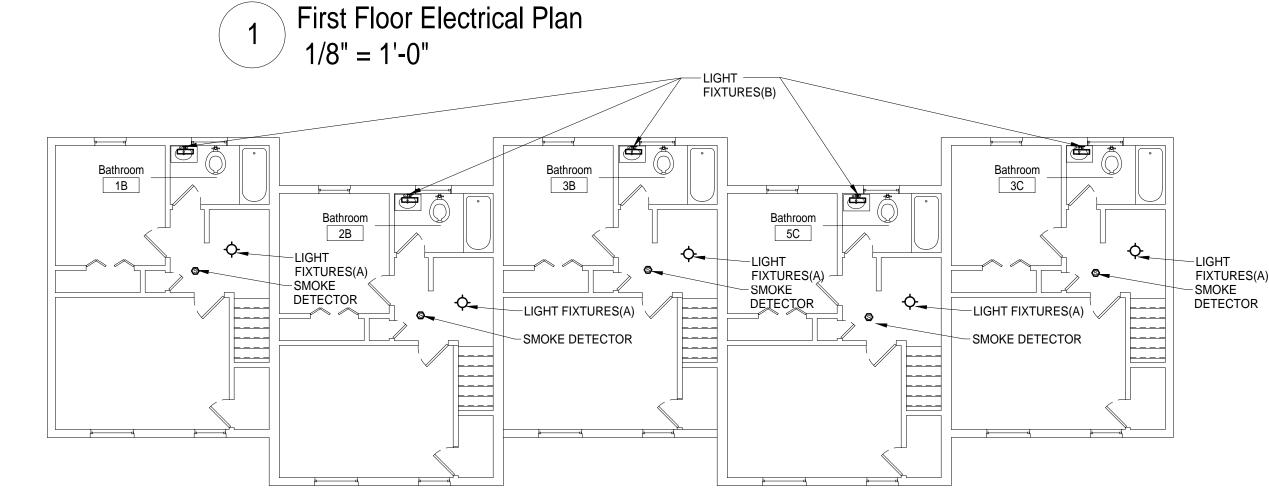
R3A PROJECT # 15074B

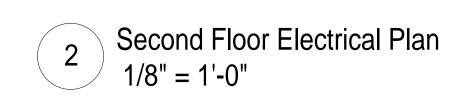
E-120

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.







ELECTRICAL NOTES

DEMOLISH EXISTING LIGHT FIXTURES.

RE-ENERGIZE UNIT LIGHTING CIRCUIT

KIND IN IT'S EXISTING LOCATION.

OF HIS/HER SCOPE OF WORK.

WATER HEATER AND MORE.

LUMENS, LED, E26 BASE FOR FIXTURE(K)

POWER FROM EXISTING WALL FAN OR RANGE HOOD.

1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.

2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.

3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE

OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN

ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.

9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT

4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS

5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION

7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800

8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING

EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC,

6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR

INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.

ELECTRICAL NOTES

- 11. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- 12. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- 13. ALL WIRING SHALL BE COPPER.
- 14. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

REFERENCE NOTES						
REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)						
REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.						
DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)						

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- 1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMIAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

 3. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME

- LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
 CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION
 INCLUDING DISPOSAL
- 9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY
 APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES
 THROUGHOUT DEMOLITION AND CONSTRUCTION.

 945 Roselle Ct
 Pittsburgh, PA 15207
- O. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

PROFESSIONAL
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NO. 15257-E



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Design
Technology
Sustainability

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ACCUTED. FOR THE CONTROL WITHOUT PROOF INNITTED APPROVAL PROOF REMASSANCE S
ACCUTED. I.C.

CONSULTANT:

Tri-State design and development consulting engineers carrectle, pensively vania

Allies & Ross
Management and
Development
Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

945 Roselle Ct
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017
REVISIONS

Family Community -Type L

NOTE:
SEE DWG G-101, G-102 AND G-110 FOR
BUILDINGS, APARTMENT UNITS AND
CODE INFORMATION.

LIGHTING FIXTURE SCHEDULE

SURFACE

SURFACE

SURFACE

RECESSED

SURFACE

CEILING

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

MOUNTING

WALL MOUNT

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.

3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR

LOAD CENTER PANEL SCHEDULE

& CATALOG NO.

BROWNLEE LIGHTING

2335BNC17LEDWA27K

LBL LIGHTING

ELLIS 24 BA906SCLED930

WS9070YB2LED930

LHAJLDQ650C140UE

-T35/LRAQ602W

DLFLEX-UP-HO-40

LD-102 WALL PACK

MWPCOQC1X37U5KCZ

ESTILUZ LIGHTING

t2902-2X26W-79WHM

MERCURY LIGHTING

BASEMENT/STORAGE

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

MANUFACTUER

& CATALOG NO.

SQUARE D

DU 321NRB

2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.

BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

FIXTURE

FIXTURE (i)

SYMBOL

M4-14M-4200-35K-UXX-UNI-EM7

LAMP

DESCRIPTION

LED ARRAY

SIZE

ENCLOSEURE

RESIDENTIAL UNITS

BATHROOM VANITY FIXTURE

RESIDENTIAL UNITS

RESIDENTIAL UNITS

BASEMENTS

LAUNDRY & STORAGE AREAS

STAIR LIGHTING

LOBBY

RECESSED LIGHTING

SURFACE

DO NOT REPLACE

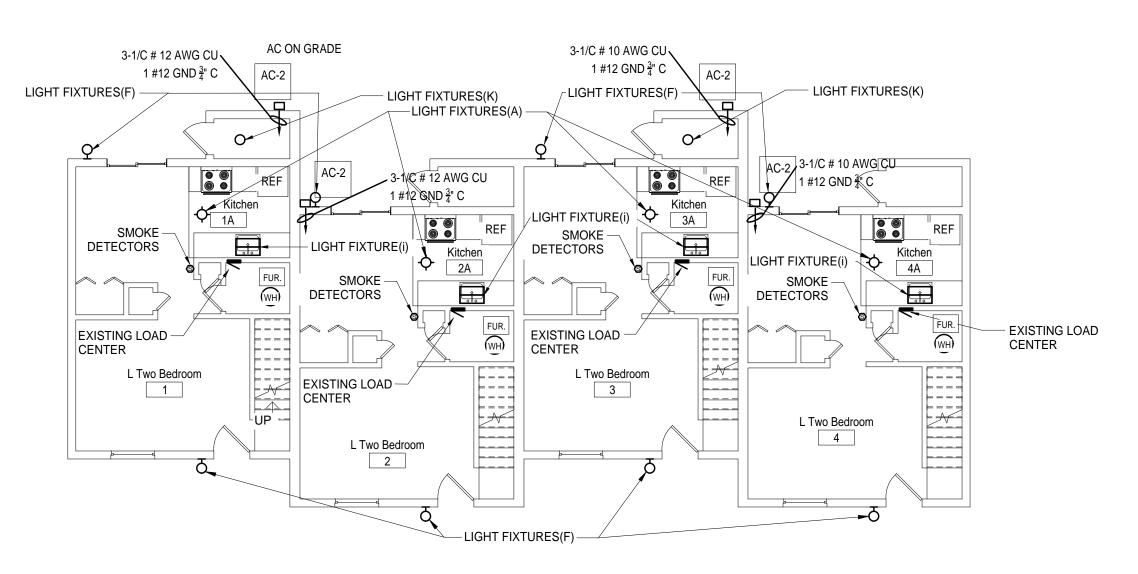
REMARKS

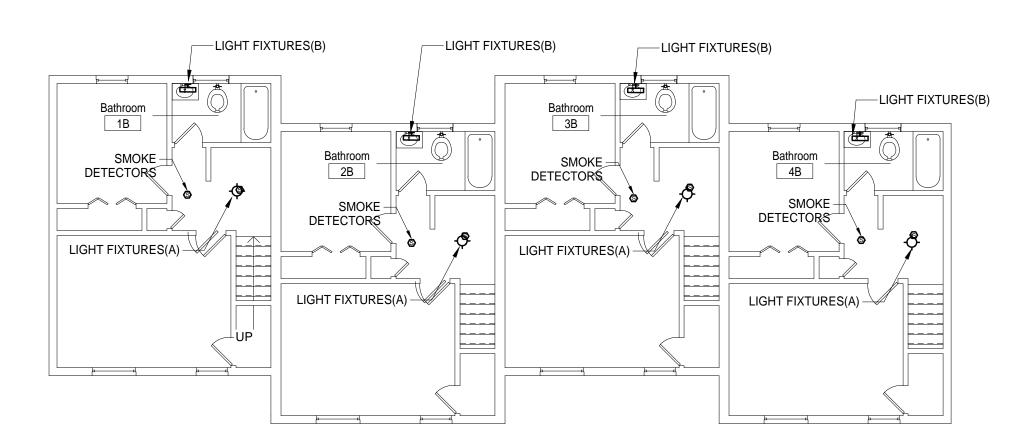
RESIDENTIAL UNITS

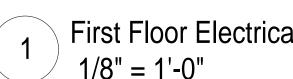
FIXTURE

R3A PROJECT # 15074B

F-121







Second Floor Electrical Plan 1/8" – 1'-0"

- INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
 ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.
 DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.
- RE-ENERGIZE UNIT LIGHTING CIRCUIT.

 3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE
- OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.

 4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS
- ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.

 5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION
- 6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR
- 7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED. E26 BASE FOR FIXTURE(K)
- 8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- 9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.

ELECTRICAL NOTES

OF HIS/HER SCOPE OF WORK.

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT

ELECTRICAL NOTES (CONT)

- 11. INSTALL WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- 12. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".13. ALL WIRING SHALL BE COPPER.
- 14. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO

REFERENCE NOTES

INEL ENERGE HOTES							
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)						
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.						
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)						

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTUER	MOUNTING LAMP		VOLTAGE	REMARKS	
	& CATALOG NO.		NO.	DESCRIPTION		TILIII II III
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
H FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING t2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LOAD CENTER PANEL SCHEDULE							
SYMBOL	MANUFACTUER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS		
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSEURE	30	RESIDENTIAL UNITS		

SEE DWG G-101, G-102 AND G-110 FOR

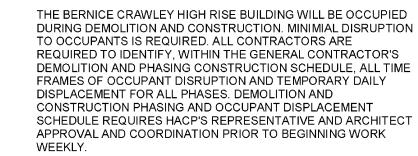
BUILDINGS, APARTMENT UNITS AND

CODE INFORMATION.

MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
 STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
 ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.



3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION
INCLUDING DISPOSAL

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND

APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

2. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

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CONSULTINATION.

CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT

CONSULTING ENGINEERS
CARNEGIE, PENNSYLVANIA

Allies & Ross Management and Development Corporation

Task Order
Contract No. 33 Glen Hazel Rental
Assistance
Demonstration
(RAD)

CONSTRUCTION

DOCUMENTS

Pittsburgh, PA 15207

October 27, 2017
REVISIONS

Family Community -Type M

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