

# Allies & Ross Management and Development Corporation

## Task Order Contract No. 33 - Glen Hazel Rental Assistance Demonstration (RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

October 27, 2017

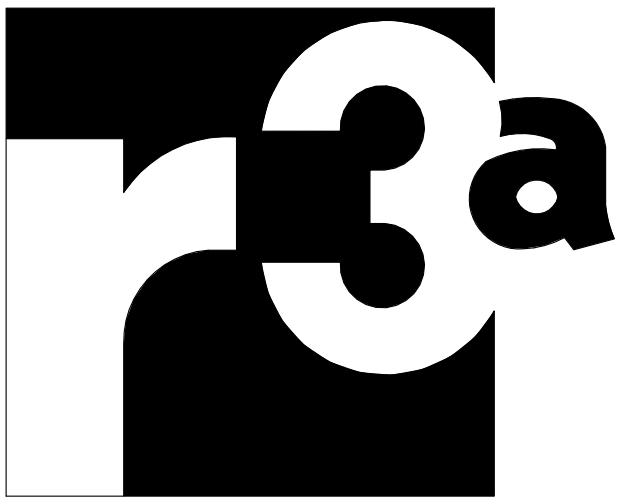
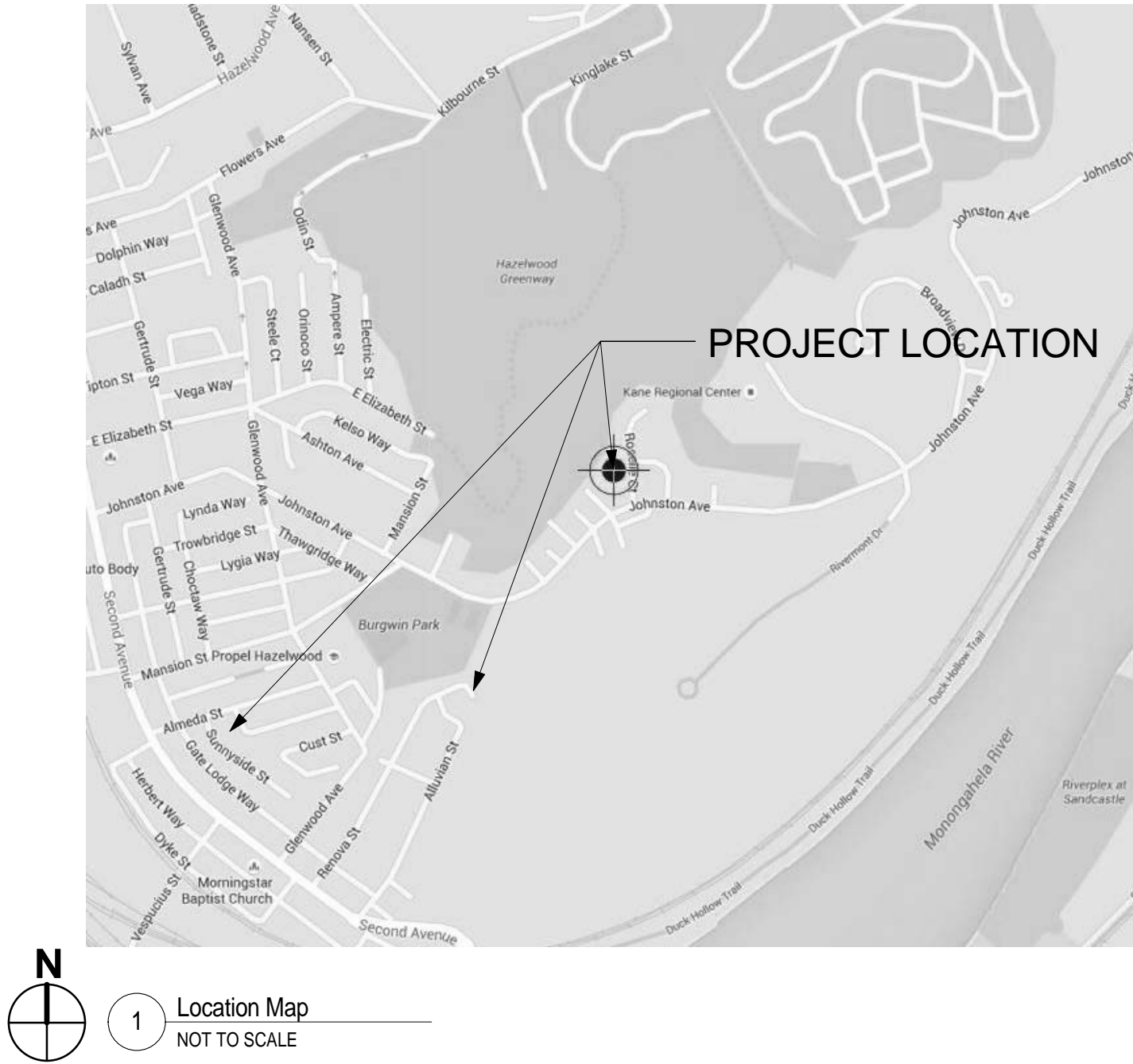
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Contact: Sara Moore, Principal

HVAC, PLUMBING AND ELECTRICAL ENGINEER: Tri-State Design & Development  
9 East Main Street  
Carnegie, PA 15106  
Phone: 412-276-2219  
Contact: Larry Schultz



Renaissance 3 Architects, P.C.

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		M-122	Family Community - Type M		



Glen Hazel Standardernice Crawley Highrise  
List of Units

Unit #	# of Bedrooms	Unit Type	Accessibility
201	1	Small	Standard
202	1	Small	Standard
203	1	Large	Standard
204	1	Large	Standard
207	1	Small	Standard
209	1	Small	Standard
210	1	Small	Standard
213	1	UFAS 1	UFAS
214	2	UFAS 2	UFAS
217	1	Large	Standard
218	1	Large	Standard
221	1	Small	Standard
222	1	Small	Standard
301	1	Small	Standard
302	1	Small	Standard
303	1	UFAS 1	UFAS
304	1	Large	Standard
307	1	Small	Standard
308	1	Small	Standard
309	1	Small	Standard
310	1	Small	Standard
313	1	UFAS 1	UFAS
314	2	UFAS 2	UFAS
317	1	Large	Standard
318	1	Large	Standard
321	1	Small	Standard
322	1	Small	Standard
401	1	Small	Standard
402	1	Small	Standard
403	1	UFAS 1	UFAS
404	1	Large	Standard
407	1	Small	Standard
408	1	Small	Standard
409	1	Small	Standard
410	1	Small	Standard
413	1	UFAS 1	UFAS
414	2	UFAS 2	UFAS
417	1	Large	Standard
418	1	Large	Standard
421	1	Small	Standard
422	1	Small	Standard

501	1	Small	Standard
Unit #	# of Bedrooms	Unit Type	Access.
502	1	Small	Standard
503	1	UFAS 1	UFAS
504	1	Large	Standard
507	1	Small	Standard
508	1	Small	Standard
509	1	Small	Standard
510	1	Small	Standard
513	1	UFAS 1	UFAS
514	2	UFAS 2	UFAS
517	1	Large	Standard
518	1	Large	Standard
521	1	Small	Standard
522	1	Small	Standard
601	1	Small	Standard
602	1	Small	Standard
603	1	Large	Standard
604	1	Large	Standard
607	1	Small	Standard
608	1	Small	Standard
609	1	Small	Standard
610	1	Small	Standard
613	1	UFAS 1	UFAS
614	2	UFAS 2	UFAS
617	1	Large	Standard
618	1	Large	Standard
621	1	Small	Standard
622	1	Small	Standard
701	1	Small	Standard
702	1	Small	Standard
703	1	Large	Standard
704	1	Large	Standard
707	1	Small	Standard
708	1	Small	Standard
709	1	Small	Standard
710	1	Small	Standard
713	1	UFAS 1	UFAS
714	2	UFAS 2	UFAS
717	1	Large	Standard
718	1	Large	Standard
721	1	Small	Standard
722	1	Small	Standard
801	1	Small	Standard
802	1	Small	Standard
803	1	Large	Standard
804	1	Large	Standard

807	1	Small	Standard
Unit #	# of Bedrooms	Unit Type	Access.
808	1	Small	Standard
809	1	Small	Standard
810	1	Small	Standard
813	1	UFAS 1	UFAS
814	2	UFAS 2	UFAS
817	1	Large	Standard
818	1	Large	Standard
821	1	Small	Standard
822	1	Small	Standard

Unit Type	# of Units
Small	55
Large	25
UFAS 1	10
UFAS 2	7

Total Units 97



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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Bernice Crawley  
High Rise Unit  
Info

R3A PROJECT # 15074B

G-101

Glen Hazel Family Community Lowrise Buildings  
List of Addresses

Glen Hazel Family Community Proper

Address	# of Bedrooms	Building Type	Access
621 Johnston	3	D	Standard
623 Johnston	3	D	Standard
627 Johnston	3	D	Standard
629 Johnston	3	D	Standard
633 Johnston	3	C	Standard
635 Johnston	3	C	Standard
641 Johnston	3	D	Standard
643 Johnston	3	D	Standard
647 Johnston	2	B	Standard
649 Johnston	2	B	Standard
651 Johnston	1	B	Standard
653 Johnston	1	B	Standard
657 Johnston	3	E	Standard
659 Johnston	3	E	Standard
661 Johnston	3	E	Standard
663 Johnston	3	E	Standard
667 Johnston	4	G	Standard
669 Johnston	4	G	Standard
673 Johnston	3	E	Standard
675 Johnston	3	E	Standard
677 Johnston	3	E	Standard
679 Johnston	3	E	Standard
701 Johnston	3	C	Standard
703 Johnston	3	C	Standard
707 Johnston	3	E	Standard
709 Johnston	3	E	Standard
711 Johnston	3	E	Standard
713 Johnston	3	E	Standard
719 Johnston	4	G	Standard
721 Johnston	4	G	Standard
725 Johnston	3	E	Standard
727 Johnston	3	E	Standard
729 Johnston	3	E	Standard
731 Johnston	3	E	Standard
735 Johnston	3	C	Standard
737 Johnston	3	C	Standard
662 Johnston	1	B	Standard
664 Johnston	1	B	Standard
666 Johnston	2	B	Standard

Address	# of Bedrooms	Building Type	Access
668 Johnston	2	B	Standard
672 Johnston	3	C	Standard
674 Johnston	3	C	Standard
678 Johnston	4	G	Standard
680 Johnston	4	G	Standard
702 Johnston	3	E	Standard
704 Johnston	3	E	Standard
706 Johnston	3	E	Standard
708 Johnston	3	E	Standard
712 Johnston	4	G	Standard
714 Johnston	4	G	Standard
718 Johnston	3	E	Standard
720 Johnston	3	E	Standard
722 Johnston	3	E	Standard
724 Johnston	3	E	Standard
728 Johnston	3	C	Standard
730 Johnston	3	C	Standard
734 Johnston	1	A	Standard
736 Johnston	1	A	Standard
738 Johnston	3	A	Standard
740 Johnston	3	A	Standard
742 Johnston	2	A	Standard
744 Johnston	2	A	Standard
748 Johnston	1	B	Standard
750 Johnston	1	B	Standard
752 Johnston	2	B	Standard
754 Johnston	2	B	Standard
758 Johnston	3	D	Standard
760 Johnston	3	D	Standard
833 Johnston	1	B	Standard
835 Johnston	1	B	Standard
837 Johnston	2	B	Standard
839 Johnston	2	B	N/A
843 Johnston	4	G	N/A
845 Johnston	4	G	N/A
849 Johnston	4	G	N/A
851 Johnston	4	G	N/A
855 Johnston	4	G	N/A
857 Johnston	4	G	N/A
981 Roselle	2	UFAS (H)	UFAS
985 Roselle	2	UFAS (H)	UFAS
905 Johnston	3	UFAS (F)	UFAS
909 Johnston	3	UFAS (F)	UFAS
1019 Johnston	3	UFAS (F)	UFAS
1021 Johnston St	3	UFAS (F)	UFAS

Address	# of Bedrooms	Building Type	Access
2 Roselle	1	A	Standard
4 Roselle	1	A	Standard
6 Roselle	3	A	Standard
8 Roselle	3	A	Standard
10 Roselle	2	A	Standard
12 Roselle	2	A	Standard
16 Roselle	1	A	Standard
18 Roselle	1	A	Standard
20 Roselle	3	A	Standard
22 Roselle	3	A	Standard
24 Roselle	2	A	Standard
26 Roselle	2	A	Standard
30 Roselle	3	D	Standard
32 Roselle	3	D	Standard
36 Roselle	2	A	Standard
38 Roselle	2	A	Standard
40 Roselle	3	A	Standard
42 Roselle	3	A	Standard
44 Roselle	1	A	Standard
46 Roselle	1	A	Standard
960 Roselle	4	G	Standard
962 Roselle	4	G	Standard
966 Roselle	4	G	Standard
968 Roselle	4	G	Standard
972 Roselle	4	G	Standard
974 Roselle	4	G	Standard

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Glen Hazel Family - Renova / Alameda

Address	# of Bedrooms	Building Type	Access
360 Renova St	2	J	Standard
362 Renova St	2	UFAS (J)	UFAS
364 Renova St	2	J	Standard
333 Renova St	3	K	Standard
337 Renova St	3	K	Standard
350 Renova St	2	L	Standard
352 Renova St	2	L	Standard
354 Renova St	2	L	Standard
356 Renova St	2	L	Standard
358 Renova St	2	L	Standard
30 Alameda St	2	M	Standard
32 Alameda St	2	M	Standard
34 Alameda St	2	M	Standard

Address	# of Bedrooms	Building Type	Access
36 Alameda St	2	M	Standard
5409 Sunnyside St	2	M	Standard
5411 Sunnyside St	2	M	Standard
5413 Sunnyside St	2	M	Standard
5415 Sunnyside St	2	M	Standard

18

Building Type	# of Units
A	24
B	16
C	10
D	10
E	24
UFAS (F)	4
G	20
UFAS (H)	2
J	2
UFAS (J)	1
K	2
L	5
M	8

Total Units	128
Total UFAS Units	7



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(RAD)

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Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
Unit Info

R3A PROJECT # 15074B

G-102



GLEN HAZEL BERNICE CRAWLEY HIGH RISE AND GLEN HAZEL COMMUNITY LOW RISE																
EXISTING LOT	EXISTING BUILDING #	EXISTING NUMBER OF APARTMENT UNITS	EXISTING UNIT ADDRESSES	BUILDING CERTIFICATE OF OCCUPANCY NO.	EXISTING LOT & BLOCK NO.	EXISTING BUILDING TYPE	EXISTING BUILDING NSF	UNIT TYPE: EX. UFAS / ACCESSIBLE UNITS TYPE A	NUMBER OF EXISTING BEDROOMS / UNIT	NUMBER OF EXISTING BEDROOMS TOTAL	EXISTING VISION IMPAIRED UNITS	EXISTING HEARING IMPAIRED UNITS	CLASSIFICATION OF WORK	NOTES		
LOT 1	BERNICE CRAWLEY HIGH RISE APARTMENT BUILDING		945 ROSELLE COURT	68387	56-M-250		95,813									
		55	201, 202, 207, 209, 210, 221,222, 301, 302, 307, 308, 309, 310, 321, 322, 401, 402, 407, 408, 409, 410, 421, 422, 501, 502, 507, 508, 509, 510, 521, 522, 601, 602, 607, 608, 609, 610, 621, 622, 701, 702, 707, 708, 709, 710, 721, 722, 801, 802, 807, 808, 809, 810, 821, 822											UNITS 201 AND 402 ARE VISION AND HEARING IMPAIRED UNITS		
		25	203, 204, 217, 218, 304, 317, 318, 404, 417, 418, 504, 517, 518, 603, 604, 617, 618, 703, 704, 717, 718, 803, 804, 817, 818													
		10	213, 303, 313, 403, 413, 503, 513, 613, 713, & 813													
		7	214, 314, 414, 514, 614, 714, & 814													
HIGH RISE TOTALS	1 EXISTING BUILDING	TOTAL EXISTING APARTMENT UNITS			1	4	17	TOTAL EXISTING UFAS / ACCESSIBLE UNITS		TOTAL EXISTING BEDROOMS	TOTAL EXISTING VISION IMPAIRED UNITS	TOTAL EXISTING HEARING IMPAIRED UNITS		* 17.5% OF ALL UNITS ARE UFAS/ ACCESSIBLE UNITS * 2.06% ARE VISION IMPAIRED * 2.06% ARE HEARING IMPAIRED		

EXISTING LOT	EXISTING BUILDING #	EXISTING NUMBER OF UNITS	EXISTING UNIT ADDRESSES	BUILDING CERTIFICATE OF OCCUPANCY NO.	EXISTING LOT & BLOCK NO.	EXISTING BUILDING TYPE	EXISTING BUILDING NSF	UNIT TYPE: EX. UFAS / ACCESSIBLE UNITS TYPE A	NUMBER OF EXISTING BEDROOMS / UNIT	NUMBER OF EXISTING BEDROOMS TOTAL	EXISTING VISION IMPAIRED UNITS	EXISTING HEARING IMPAIRED UNITS	CLASSIFICATION OF WORK	NOTES	
LOT 1-A	BUILDING 1	2	621 & 623 JOHNSTON AVENUE	14-B-02583	56-S-60	D	2,330	-	3	6	-	-	LEVEL 1		
	BUILDING 2	2	627 & 629 JOHNSTON AVENUE	14-B-02584		D	2,330	-	3	6	-	-	LEVEL 1		
	BUILDING 3	2	633 & 635 JOHNSTON AVENUE	14-B-02585		C	2,448	-	3	6	-	-	LEVEL 1		
	BUILDING 4	2	641 & 643 JOHNSTON AVENUE	14-B-02586		D	2,330	-	3	6	-	-	LEVEL 1		
	BUILDING 5	4	647 & 649 JOHNSTON AVENUE 651 & 653 JOHNSTON AVENUE	1189		B	2,876	-	2	8	-	-	LEVEL 1		
LOT 1-B	BUILDING 6	4	657, 659, 661, & 663 JOHNSTON AVENUE	14-B-02587	56-S-75	E	4,863	-	3	12	-	-	LEVEL 1		
	BUILDING 7	2	667 & 669 JOHNSTON AVENUE	14-B-02589		G	2,830	-	4	8	-	-	LEVEL 1		
	BUILDING 8	4	673, 675, 677, & 679 JOHNSTON AVENUE	14-B-02599		E	4,863	-	3	12	-	-	LEVEL 1		
LOT 1-C	BUILDING 9	2	701 & 703 JOHNSTON AVENUE	14-B-02532	56-S-80	C	2,448	-	3	6	-	-	LEVEL 1		
	BUILDING 10	4	707, 709, 711 & 713 JOHNSTON AVENUE	14-B-02600		E	4,863	-	3	12	-	-	LEVEL 1		
	BUILDING 11	2	719 & 721 JOHNSTON AVENUE	14-B-02601		G	2,830	-	4	8	-	-	LEVEL 1		
	BUILDING 12	4	725, 727, 729, & 731 JOHNSTON AVENUE	14-B-02602		E	4,863	-	3	12	-	-	LEVEL 1		
	BUILDING 13	2	735 & 737 JOHNSTON AVENUE	14-B-02603		C	2,448	-	3	6	-	-	LEVEL 1		
LOT 2-A	BUILDING 14	4	662 & 664 JOHNSTON AVENUE 666 & 668 JOHNSTON AVENUE	14-B-02524	56-S-100	B	2,876	-	1	6	-	-	LEVEL 1		
	BUILDING 15	2	672 & 674 JOHNSTON AVENUE	14-B-02527		C	2,448	-	3	6	-	-	LEVEL 1		
	BUILDING 16	2	678 & 680 JOHNSTON AVENUE	14-B-02528		G	2,830	-	4	8	-	-	LEVEL 1		
	BUILDING 17	4	702, 704, 706, & 708 JOHNSTON AVENUE	14-B-02532		E	4,863	-	3	12	-	-	LEVEL 1		
LOT 2-B	BUILDING 18	2	712 & 714 JOHNSTON AVENUE	14-B-02533	56-S-120	G	2,830	-	4	8	-	-	LEVEL 1		
	BUILDING 19	4	718, 720, 722, & 724 JOHNSTON AVENUE	14-B-02534		E	4,863	-	3	12	-	-	LEVEL 1		
	BUILDING 20	2	728 & 730 JOHNSTON AVENUE	14-B-02581		C	2,448	-	3	6	-	-	LEVEL 1		
	LOT 2-C	BUILDING 21	6	734 & 736 JOHNSTON AVENUE 738 & 740 JOHNSTON AVENUE 742 & 744 JOHNSTON AVENUE		14-B-02501	89-N-25	A	5,206	-	1	2	-	-	LEVEL 1
BUILDING 22		4	748 & 750 JOHNSTON AVENUE 752 & 754 JOHNSTON AVENUE	14-B-02502	B	2,876		-	1	2	-	-	LEVEL 1		
BUILDING 23		2	758 & 760 JOHNSTON AVENUE	14-B-02503	D	2,330		-	3	6	-	-	LEVEL 1		
LOT 3-A		BUILDING 24	2	981 & 985 ROSELLE COURT	68347	89-J-20		H	2,071	2	2	4	2	-	LEVEL 1
	BUILDING 25	2	960 & 962 ROSELLE COURT	14-B-02610	G		2,830	-	4	8	-	-	LEVEL 1		
	BUILDING 26	2	966 & 968 ROSELLE COURT	14-B-02611	89-J-20	G	2,830	-	4	8	-	-	LEVEL 1		
	BUILDING 27	2	972 & 974 ROSELLE COURT	14-B-02612		G	2,830	-	4	8	-	-	LEVEL 1		
LOT 3-B	BUILDING 28	6	2 & 4 ROSELLE DRIVE 6 & 8 ROSELLE DRIVE 10 ROSELLE DRIVE 12 ROSELLE DRIVE	14-B-02604	89-J-30	A	5,206	-	1	2	-	-	LEVEL 1		
	BUILDING 29	6	16 & 18 ROSELLE DRIVE 20 & 22 ROSELLE DRIVE 24 & 26 ROSELLE DRIVE	14-B-02606		A	5,206	-	1	2	-	-	LEVEL 1		
	BUILDING 30	2	30 & 32 ROSELLE DRIVE	14-B-02607		D	2,330	-	3	6	-	-	LEVEL 1		
	BUILDING 31	6	36 & 38 ROSELLE DRIVE 40 & 42 ROSELLE DRIVE 44 & 46 ROSELLE DRIVE	14-B-02608		A	5,206	-	1	2	-	-	LEVEL 1		
	LOT 3-C	BUILDING 32	4	833 & 835 JOHNSTON AVENUE 837 & 839 JOHNSTON AVENUE	14-B-02493	89-N-10	B	2,876	-	1	2	-	-	LEVEL 1	
		BUILDING 33	2	843 & 845 JOHNSTON AVENUE	14-B-02496		G	2,830	-	4	8	-	-	LEVEL 1	
		BUILDING 34	2	849 & 851 JOHNSTON AVENUE	14-B-02497		G	2,830	-	4	8	-	-	LEVEL 1	
		BUILDING 35	2	855-857 JOHNSTON AVENUE	14-B-02498		G	2,830	-	4	8	-	-	LEVEL 1	
LOT 3-D		BUILDING 36	1	909 JOHNSTON AVENUE	89-N-12		F	1,100	1	3	3	1	-	LEVEL 1	
LOT 4	BUILDING 37	1	905 JOHNSTON AVENUE	89-N-14	F	1,100	1	3	3	1	-	LEVEL 1			
LOT 5	BUILDING 38	1	1019 JOHNSTON AVENUE	89-K-130	F	1,100	1	3	3	1	-	LEVEL 1			
LOT 6	BUILDING 39	1	1021 JOHNSTON AVENUE	89-K-135	F	1,100	1	3	3	1	-	LEVEL 1			
PARCEL A	BUILDING 40	2	333 & 337 RENOVIA STREET	43556	57-D-1	K	2,054	-	3	6	-	-	LEVEL 1		
PARCEL A	BUILDING 41	3	360 & 364 RENOVIA STREET 362 RENOVIA STREET	43852	57-D-26	J	2,509	-	2	4	-	-	LEVEL 1		
	BUILDING 42	5	350, 352, 354, 356, & 358 RENOVIA STREET			L	4,225	-	2	10	-	-	LEVEL 1		
LOT 16	BUILDING 43	4	30, 32, 34 & 36 ALMEDA STREET	73352	57-C-204	M	3,380	-	2	8	-	-	LEVEL 1		
	BUILDING 44	4	5409, 5411, 5413 & 5415 SUNNYSIDE STREET			M	3,380	-	2	8	-	-	LEVEL 1		
LOW RISE TOTALS	44 EXISTING BUILDINGS	TOTAL EXISTING UNITS			17 TOTAL EXISTING LOTS	TOTAL EXISTING BUILDING TYPES		7 TOTAL EXISTING UFAS/ ACCESSIBLE UNITS		340 TOTAL EXISTING BEDROOMS	7 TOTAL EXISTING VISION IMPAIRED	1 TOTAL EXISTING HEARING IMPAIRED		* 5.5% OF ALL UNITS ARE UFAS/ ACCESSIBLE UNITS * 5.5 % ARE VISION IMPAIRED * .78% ARE HEARING IMPAIRED	

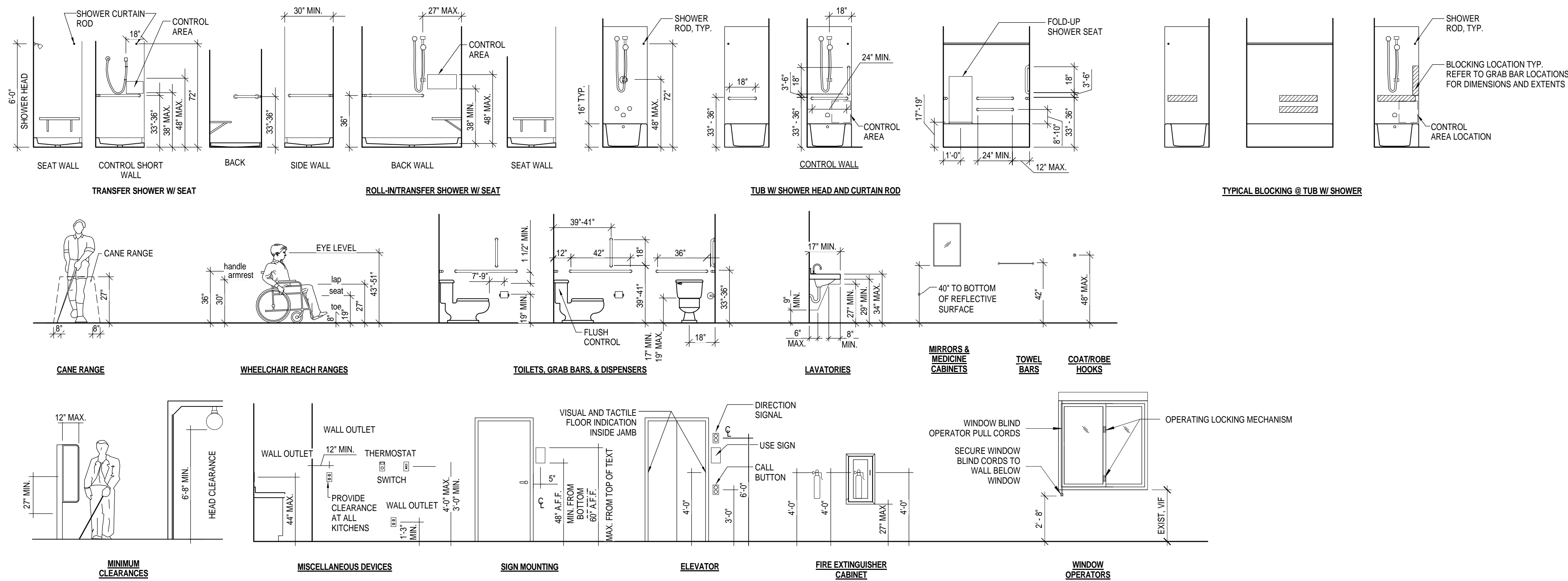


* : Inch; Ditto (which means same as above) # : Number, or Pound	BRS: Butyl Rubber Sealant BRZ: Bronze BSMT: Basement BT: Bathroom ABV: Above AC: Acoustical Panel Ceiling System ACC: Access ACF: Architectural Concrete Finish ACFL: Access Floor ACI: American Concrete Institute ACPL: Acoustical Plaster ACR: Acrylic ACST: Acoustic ACT: Acoustical Tile Ceiling AD: Area Drain ADA: Americans with Disabilities Act ADAAG: Americans with Disabilities Act Architectural Guidelines ADDL: Additional ADH: Adhesive ADJ: Adjacent AFF: Above Finished Floor AGGR: Aggregate AIA: American Institute of Architects AIEE: American Institute of Electrical Engineers AIS: American Institute of Steel Construction AL: Aluminum ALT: Alternate AP: Access Panel APPROX: Approximate APT: Apartment ARCH: Architectural ARS: Asbestos Roof Shingles AS: Acoustic Sealant ASB: Asbestos ASC: Above Suspended Ceiling ASCE: American Society of Civil Engineers ASME: American Society of Mechanical Engineers ASPH: Asphalt ASSOC: Association ASTM: American Society for Testing and Materials AT: Asphalt Tile ATTEN: Attenuation ATM: Automatic Teller Machine AUTO: Automatic AVS: Average AW: Acid Waste AWG: American Wire Gauge AWM: Automatic Washing Machine AWS: American Welding Society	DEMO: Demolition DEPT: Department DET: Detail DF: Drinking Fountain DTU: British Thermal Units per Hour BTM: Bottom BUR: Built-up Roof BUZ: Buzzer BVL: Beveled DIFF: Diffuser DIM: Dimension DIV: Division DL: Dead Load DMT: Demountable DN: Down DR: Drain DT: Drain Tile DTL: Detail DVTL: Dovetail DW: Distilled Water DWG: Drawing CF: Cubic Feet CFCI: Contractor Furnish Contractor Install CFO: Contractor Furnish Owner Install CFL: Counterflashing CFM: Cubic Feet per Minute CFS: Cubic Feet per Second CG: Corner Guard CH: Chalk Hook CHB: Chalk Board CHAM: Chamber CHAN: Channel CIP: Cast-in-Place CIR: Circular CJ: Control Joint CL: Centerline CLG: Ceiling CLKG: Caulking CLL: Contract Limit Line CLO: Closet CMT: Ceramic Mosaic Tile CMU: Concrete Masonry Unit CND: Conduit COAX: Coaxial CO: Cased Opening COL: Column COMB: Combination COMP: Compressed CONC: Concrete CONSTR: Construction CONT: Continuous CORR: Corridor CPL: Cement Plaster CPR: Cement Plaster Painted CPR: Copper CPT: Carpet CS: Cast Stone CSG: Casing CSK: Countersink CSMT: Casement CT: Ceramic Tile CU: Cubic FIR: Finished FRT: Future FL: Floor Line FLASH: Flashing FLEX: Flexible FLR: Floor FLUOR: Fluorescent FM: Fire Main FOD: Finished Opening FOC: Face of Concrete FOF: Face of Finish FOS: Face of Studs	FP: Fireproof FT: Feet FTG: Footing FURN: Furnish FUR: Furring FUT: Future GA: Gauge GALV: Galvanized GC: General Contractor GL: Glass Block GL BLK: Glass Block GND: Ground GOVT: Government GP: Galvanized Pipe GPM: Gallons Per Minute GR: Grade, Grille, Granite GRND: Ground GVL: Gravel GWB: Gypsum Wall Board GYP: Gypsum HB: Hose Bib HC: HVAC Contractor HDIR: Hardware HH: Handhole HID: High Intensity Discharge HL: Hydrant Line HM: Hollow Metal ENT: Entrance EPM: Ethylene Propylene Diene Monomer EQ: Equal EQUIP: Equipment ESC: Escalator EST: Estimate EWC: Electric Water Cooler EWH: Electric Water Heater EX, EXIST: Existing EXP: Expansion F: Degrees Fahrenheit, Fuse FA: Fire Alarm FAB: Fabricate FACP: Fire Alarm Control Panel FB: Floor Box FD: Floor drain FDN: Foundation FEC: Fire Extinguisher FF: Finished Floor FFKE: Fixtures, Furnishings & Equipment FHS: Fire Hose Station FIR: Finished FRT: Future FL: Floor Line FLASH: Flashing FLEX: Flexible FLR: Floor FLUOR: Fluorescent FM: Fire Main FOD: Finished Opening FOC: Face of Concrete FOF: Face of Finish FOS: Face of Studs	LD: Leader Drain LH: Left Hand LIB: Library LKR: Locker LL: Live Load LMS: Limestone LM: Linear Metal Ceiling LPS: Low Pressure Sodium, Low Pressure Steam LR: Living Room LS: Limestone, Loud Speaker MAINT: Maintenance MARB: Marble MAS: Masonry MAT: Material MECH: Mechanical MET: Metal MEZZ: Mezzanine MFR: Manufacturer, Manufacturer MH: Manhole MIN: Minimum MISC: Miscellaneous MO: Masonry Opening MP: Metal Acoustal Panel MTD: Mounted NAT: Natural NEC: National Electrical Code NET: Not In Contract NO: Number, Normally Open NOM: Nominal NRC: Noise Reduction Coefficient NTS: Not To Scale OBS: Obscure O.C: On Center OD: Outside Diameter OFF: Office OH: Overhead OHD: Overhead Door OP: Opaque OPP: Opposite OPP H: Opposite Hand OR: Outside Radius OZ: Ounce P: LAM: Plastic Laminate PA: Public Address PAR: Parallel PB: Pull Box, Push Button, Panic Bar PC: Plumbing Contractor PCF: Pounds per cubic foot PD: Pump Discharge, Plaza Drain PE: Professional Engineer PF: Pedestal, Pedestrian PERF: Perforate, Performance PERIM: Perimeter PERP: Perpendicular PJF: Preformed Joint Filler PKG: Parking PKWY: Parkway PL: Plate, Plan, Property Line, Plastic Laminate, Plastic PLAS: Plaster, Plastic PLF: Pounds Per Linear Foot PLWD: Plywood PNL: Panel POL: Polish, Polished POR: Porcelain PR: Pair PRFAB: Prefabricated PRESS: Pressure PRFMD: Preformed PRI: Primary	PRMLD: Premolded PROT: Protection, Protective PRSTR: Prestressed PTRN: Partition PSF: Pounds per square foot PSI: Pounds per square inch PT: Paint, Point PTC: Post-Tensioned Concrete PTD: Painted PVC: Polyvinyl Chloride PVF: Polyvinylidene Finish PWT: Pavement PVT: Private PW: Pass Window PWR: Power QUAL: Quality QT: Quarry Tile, Quirt QTR: Quarter QTY: Quantity RA: Return Air, Registered Architect RAD: Radiator RB: Rubber, Rubber Base, Resilient Base RCP: Reflected Ceiling Plan, Reinforced Concrete Pipe RD: Roof Drain, Round, Receptacle Distribution Panel REBAR: Reinforcing Bar REF: Refer, Reference, Refrigerator REG: Register, Regular REINF: Reinforcement, or Reinforce REQD: Required REV: Revise, Revision RH: Right Hand, Reheat, Relative Humidity RHR: Right Hand Reverse, Reheater RM: Room RO: Rough Opening ROW: Right of Way RPM: Revolutions Per Minute RR: Railroad RWC: Rain Water Conductor RWL: Rain Water Leader S: South, Sealant, Supply, Sink S&S: Surfaced 4 Sides S&M: Surfaced & Matched S&S: Stained & Sealed S&V: Stain & Varnish SAN: Sanitary SB: Setting Basin, Splash Block SC: Solid Core, Short Circuit, Self Closing, Self Cook SCHD: Schedule SCR: Screen SCUP: Soupper SCWD: Solid Core Wood SE: Structural Engineer SED: Sewage Ejector Discharge SF: Square Foot SFG: Safety Glass SGS: Structural Glazing Gasket SGS: Silicone Glazing Sealant SHWR: Shower SIM: Simlar SLOT: Slotted SP: Soil Pipe, Standpipe, Soundproof, Single Pole SPC: Spacer SPEC: Specification, Specifications SPEC: Specifications SPK: Speaker SPL: Special SRMD: Preformed SS: Stainless Steel	SSGS: Silicone Structural Glazing Sealant ST: Straight, Storm Water STC: Sound Transmission Class STD: Standard STIFF: Stiffener STK: Stack STL: Steel STM: Steam STOR: Storage STRUCT: Structural SUPP: Supplementary, Supplement SUSP: Suspended, Suspend SY: Square Yard SYS: System TAG: Tongue & Groove TAN: Tangent TEL: Telephone TEL CL: Telephone Closet TEMP: Temporary, Tempered, Temperature THK: Thick, Thickness THRM: Thermal THRMT: Thermostat TKBD: Taskboard TLT: Toilet TAV: Travertine TRD: Tread TS: Time Switch TV: Television TW: Top of Wall, Thin Wall (conduit), Tempered Water TYP: Typical UC: Undercut UH: Unit Heater UL: Underwriters' Laboratories UNEC: Unexcavated UNO: Unless Noted Otherwise UP: Unpainted VAT: Vinyl Asbestos Tile VB: Vapor Barrier, Valve Box, Vinyl Base, Vacuum Breaker VCT: Vinyl Composition Tile VERT: Vertical VEST: Vestibule VIF: Verify In the Field VP: Vapor Proof, Vent Pipe VR: Vapor Retarder, Vacuum Return, Vertical Riser VRM: Vermiculite VS: Vent Stack VWC: Vinyl Wall Covering W: With WO: Without WB: Wood Base WC: Watercloset WD: Wood WDS: Wood, Stained & Sealed WDW: Window WH: Water Heater, Wall Hung, Wall Hydrant WP: Waterproof, Working Point, Working Pressure, Weatherproof WPR: Waterproofing WR: Water Resistant, Water Repellent, Water Receptacle WWR: Welded Wire Fabric XH: Extra Heavy X STR: Extra Strong YD: Yard YR: Year
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## Abbreviations

## Symbol Legend

<p><b>STANDARD MOUNTING HEIGHTS-GENERAL NOTES</b></p> <p>1. THE DETAILS AND NOTES ON THIS SHEET ARE "TYPICAL," AND ARE TO BE USED BY THE CONTRACTOR FOR REFERENCED HEIGHTS SHOWN ANYWHERE ELSE IN THIS SET OF CONSTRUCTION DOCUMENTS. THESE DETAILS ARE NOT NECESSARILY REFERENCED CONDITIONS.</p> <p>2. THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF ACCESSIBILITY STANDARDS, TITLE 24 &amp; ADA REQUIREMENTS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.</p> <p>3. ALL MOUNTING HEIGHTS SHOWN ARE FROM ABOVE FINISH FLOOR, TO THE HIGHEST OPERABLE PART WHICH IS ESSENTIAL TO BASIC OPERATION OF THE DEVICE SHOWN, (CRITICAL FOR ADA COMPLIANCE)</p> <p>4. ALL CLEAR AREA DIMENSIONS SHOWN ARE FACE OF FINISH TO FACE OF FINISH. (CRITICAL FOR ADA COMPLIANCE)</p> <p>5. PROVIDE SEALANT AROUND ALL RECESSED RESTROOM EQUIPMENT</p> <p>6. PROVIDE 16 GA. BACKING OR WOOD BLOCKING AT ALL ACCESSORIES AND LAVATORY TOPS. AT GRAB BARS PROVIDE BLOCKING SECURED TO AT LEAST 3 STUDS.</p> <p>7. ALL TOILET PAPER DISPENSERS INSTALLED AT 7" MIN. TO 9" MAX IN FRONT OF WATER CLOSET</p> <p>8. BOTTOM OF MIRROR TO BE INSTALLED 38" ABOVE FLOOR OR MINIMUM OF 40" TO BOTTOM OF VIEWING SURFACE</p> <p>9. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF (22.2 N) FAUCETS LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY SHALL COMPLY WITH 4.27.4 CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF-CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS</p> <p>10. DIMENSIONS SHOWN ARE TO CONTROLS OF ITEM OR THE ACTION REQUIRED TO USE THE INDICATED ITEM. VERTICAL DIMENSIONS ARE THE TOP OF GRAB BARS AND HORIZONTAL ARE TO THE CENTER LINE.</p> <p>11. REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS FOR FIXTURE LOCATIONS.</p> <p>12. UNLESS OTHERWISE NOTED, ALL TOILET ACCESSORIES ARE HORIZONTALLY DIMENSIONED TO CENTER LINE.</p>
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## UFAS Standard Mounting Heights

1/4" = 1'-0"



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

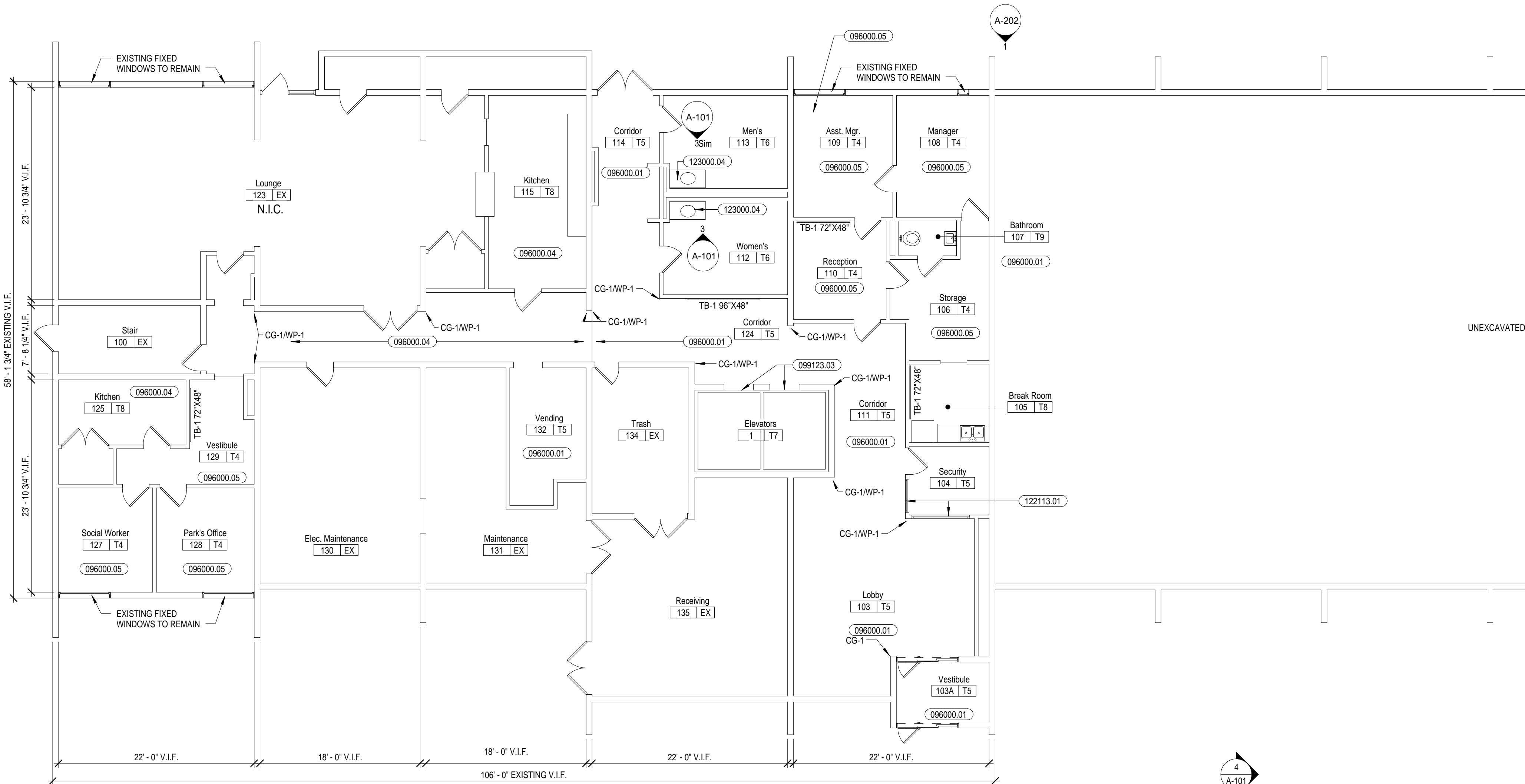
ISSUED: October 27, 2017

REVISIONS

Symbols and  
Standard  
Mounting Heights

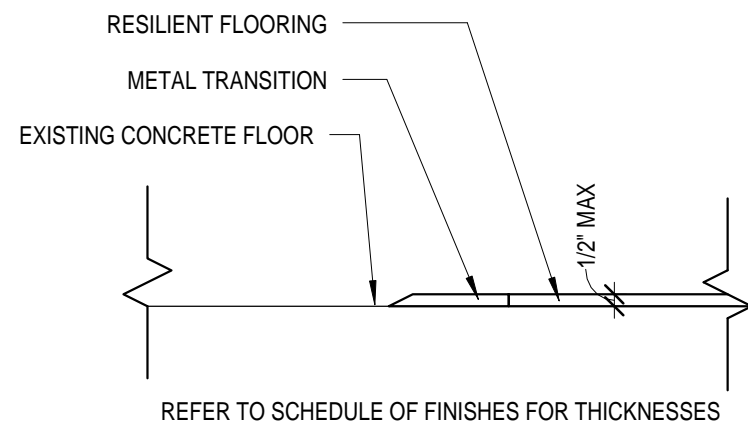
R3A PROJECT # 15074B

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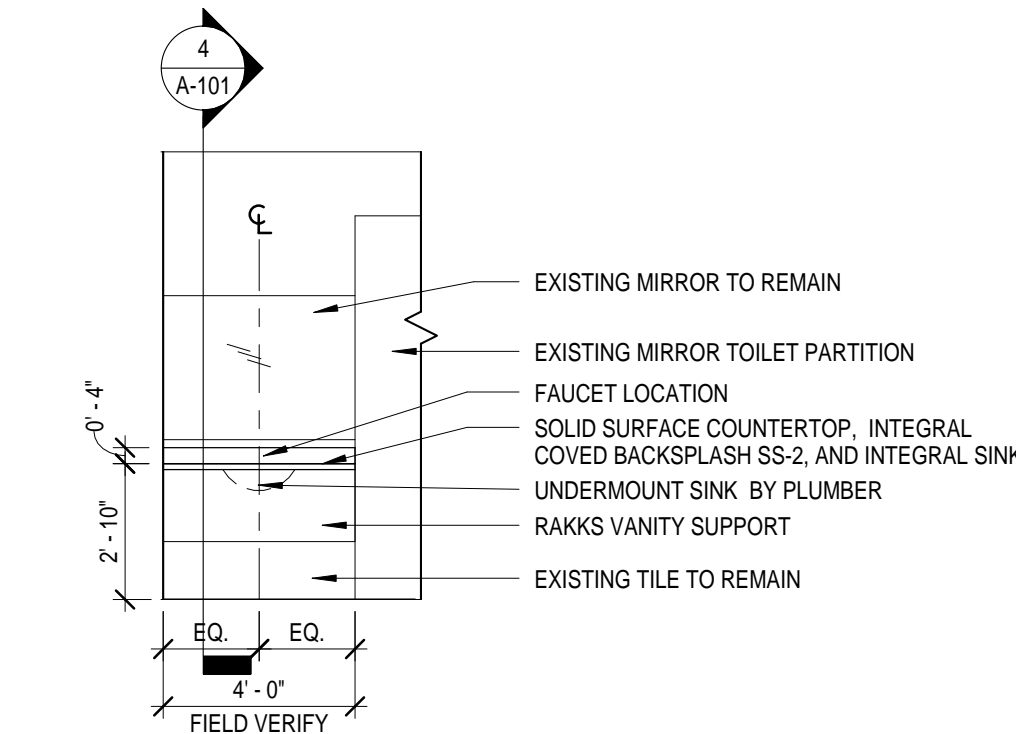
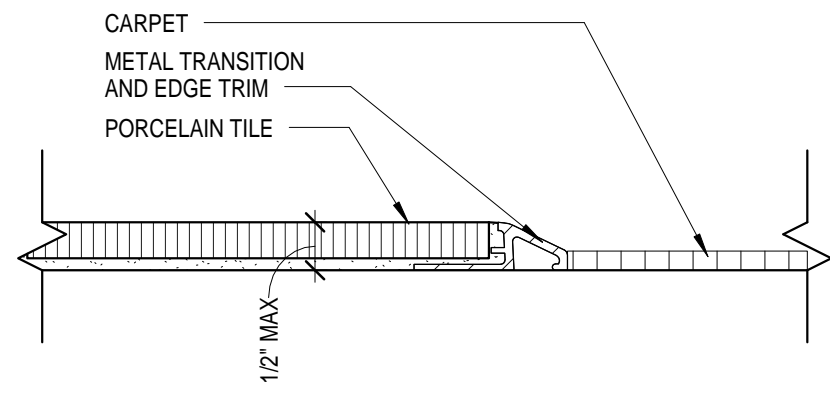
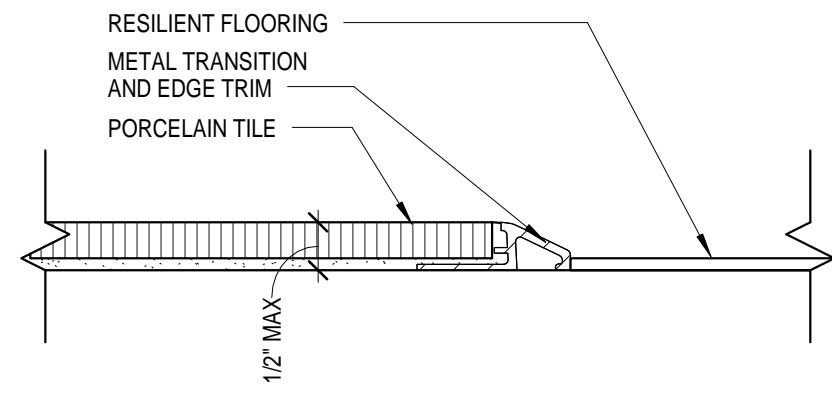


1 First Floor Plan  
1/8" = 1'-0"

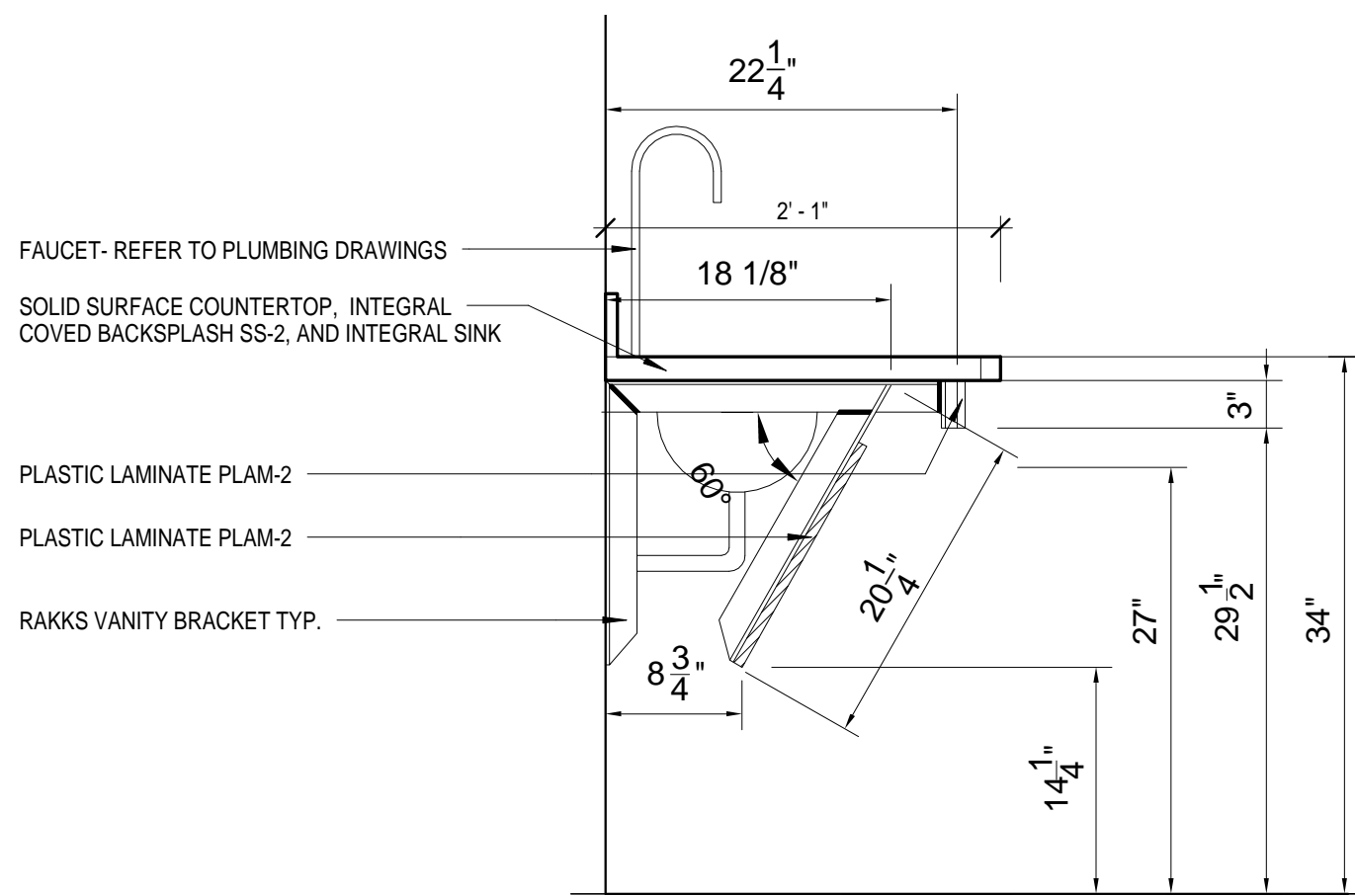
095000.01  
099123.04  
099123.05  
TYPICAL THIS BUILDING U.N.O.



2 Transition Details  
6" = 1'-0"



3 Restroom Vanity - First Floor Only  
1/4" = 1'-0"



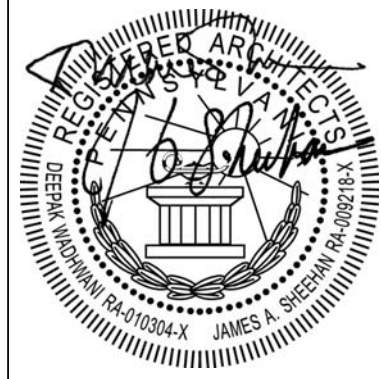
4 Typical Vanity Section - First Floor Only  
1" = 1'-0"

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDINGS WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.01	REMOVE AND DISCARD EXISTING CERAMIC TILE FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL PORCELAIN TILE AND PORCELAIN TILE BASE.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107.
096000.05	REMOVE AND DISCARD EXISTING CARPET FLOORING AND RUBBER BASE. FURNISH AND INSTALL CARPET TILE AND RUBBER BASE.
096000.06	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL PORCELAIN TILE AND RUBBER BASE.
099123.03	CLEAN, SAND, PREPARE ELEVATOR DOOR SURFACES TO RECEIVE 1 COAT OF PRIMER 2 COATS OF ELECTRO-STATIC PAINT. PT-9
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE - COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6 - COMMON AREAS.
122113.01	FURNISH AND INSTALL NEW BLINDS TO FIT EXISTING WINDOWS AT SECURITY DESK.
123000.04	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING WALL MOUNTED COUNTERTOP WITH BASE, SINK AND WALL SUPPORTS. FURNISH AND INSTALL WALL MOUNTED COUNTERTOP WITH BASE, INTEGRAL SINK AND WALL SUPPORTS. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF PUBLIC BATHROOMS.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

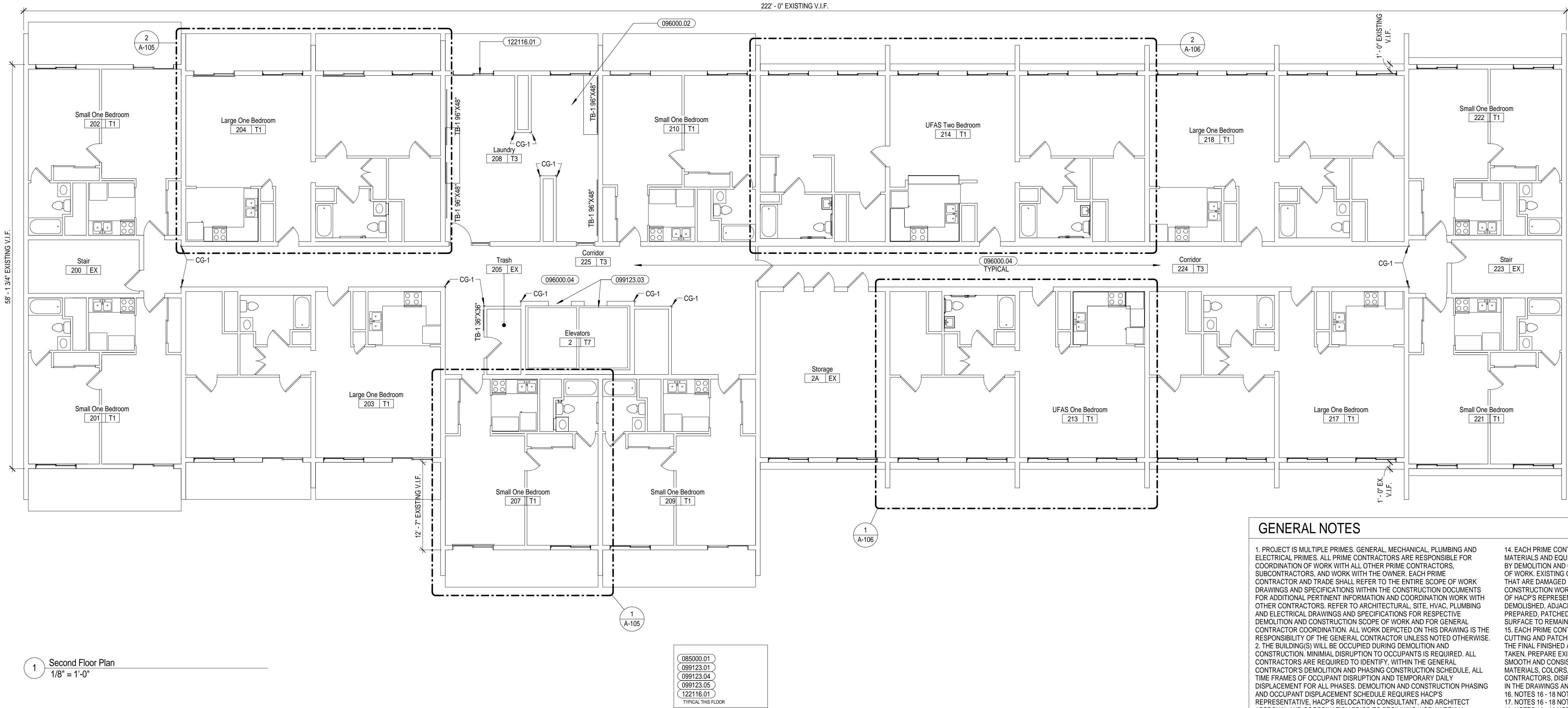
ISSUED: October 27, 2017  
REVISIONS

Bernice Crawley  
High Rise - First  
Floor Plan

R3A PROJECT # 15074B

A-101



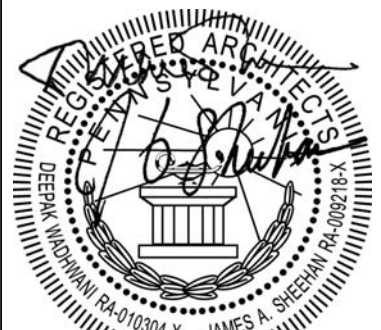


1 Second Floor Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	EXISTING VINYL FLOORING TO REMAIN. REMOVE AND DISCARD EXISTING BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.03	CLEAN, SAND, PREPARE ELEVATOR DOOR SURFACES TO RECIEVE 1 COAT OF PRIMER 2 COATS OF ELECTRO-STATIC PAINT. PT-9
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECIEVE 2 COATS OF CLEAR POLYURETHANE- COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECIEVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6 - COMMON AREAS.
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-01 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
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- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

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Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

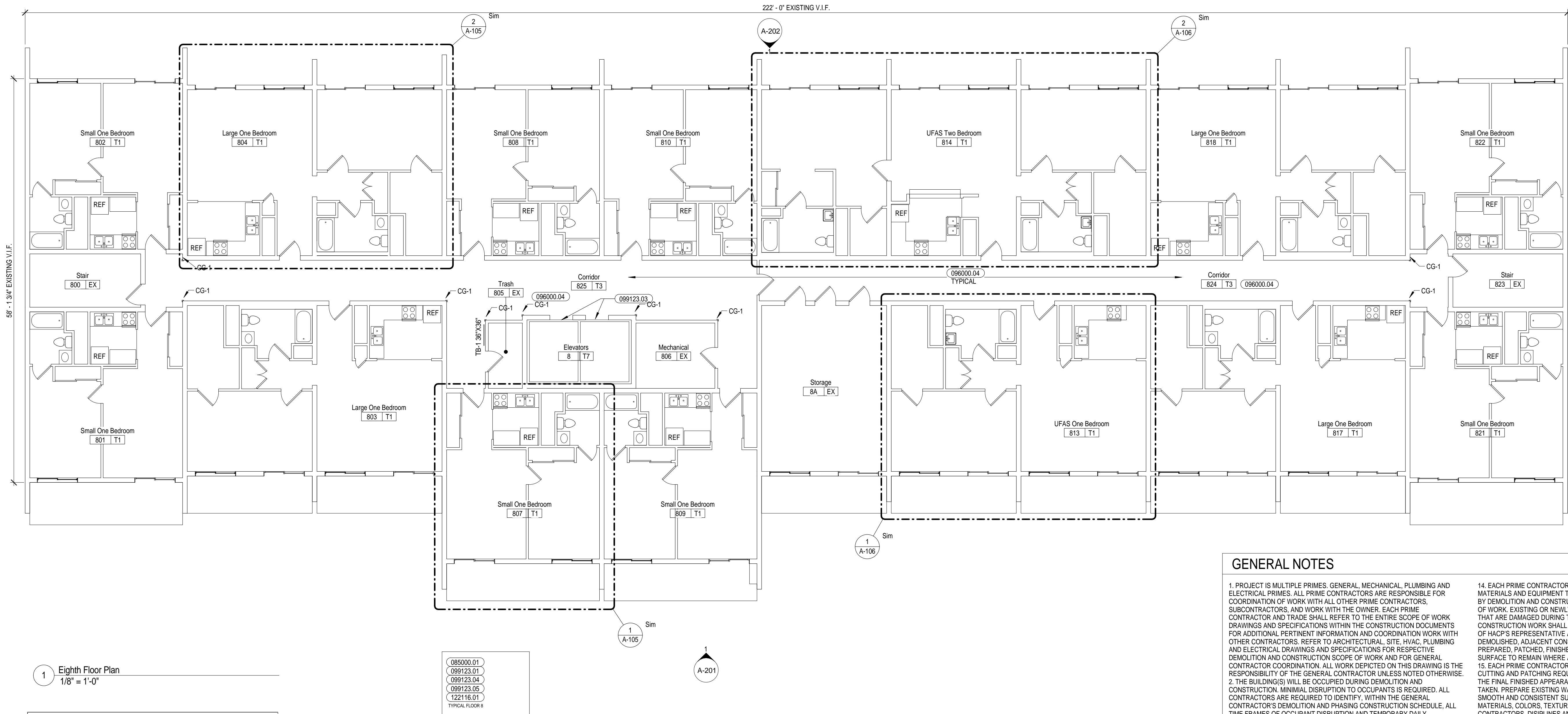
Bernice Crawley  
High Rise -  
Second Floor Plan

R3A PROJECT # 15074B

A-102







1 Eighth Floor Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.03	CLEAN, SAND, PREPARE ELEVATOR DOOR SURFACES TO RECEIVE 1 COAT OF PRIMER 2 COATS OF ELECTRO-STATIC PAINT. PT-9
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE. COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6. COMMON AREAS.
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.

## GENERAL NOTES

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- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
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- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS, UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 080000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

## CONSTRUCTION DOCUMENTS

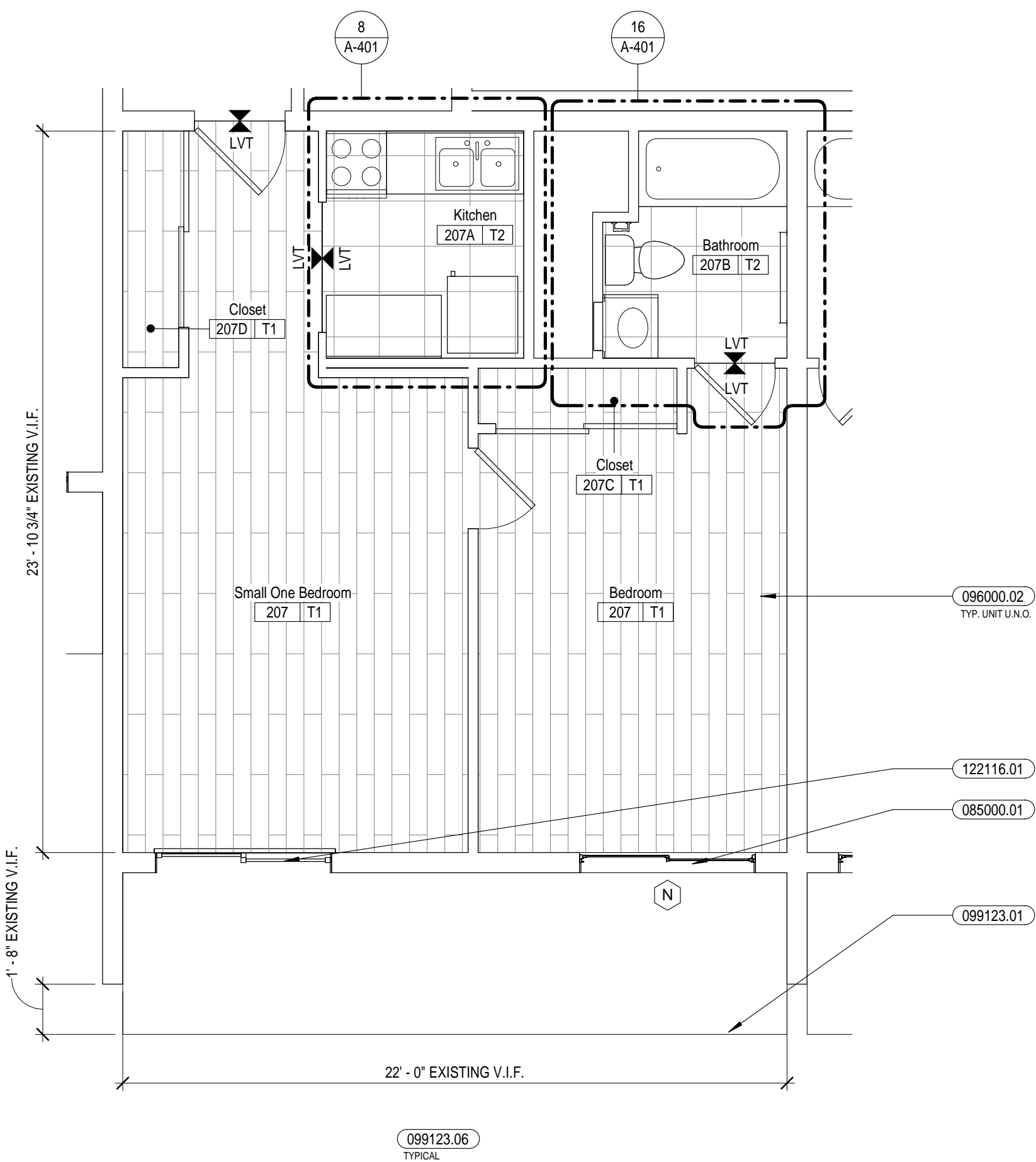
ISSUED: October 27, 2017

REVISIONS

Bernice Crawley  
High Rise - Eighth  
Floor Plan

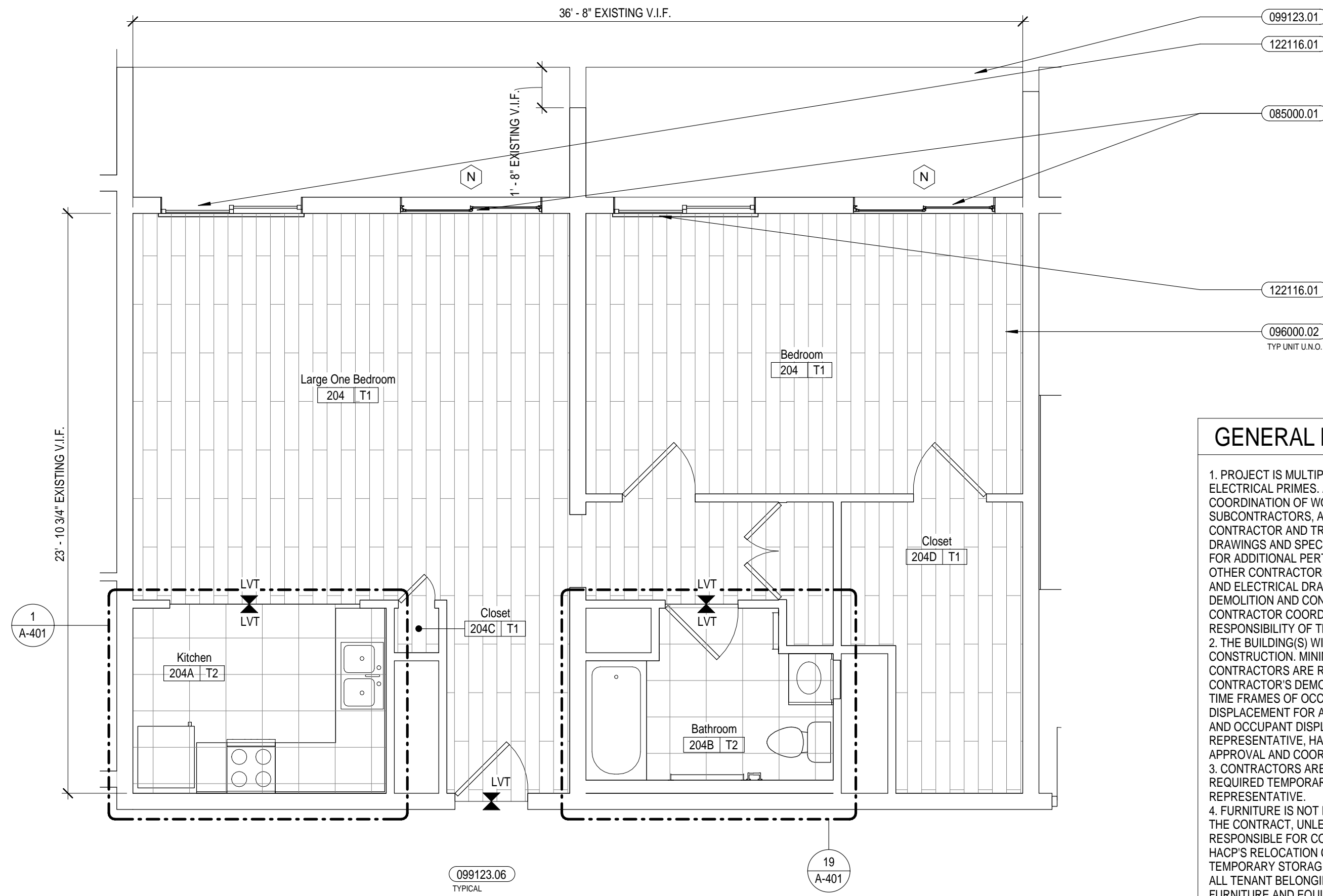
R3A PROJECT # 15074B

A-104



1 Small One Bedroom Enlarged Plan - Typical  
1/4" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	EXISTING VINYL FLOORING TO REMAIN. REMOVE AND DISCARD EXISTING BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.06	DOORS IN APARTMENT UNITS SHALL REMAIN EXISTING WOOD STAIN. PAINT DOOR FRAMES IN APARTMENT UNITS TYP. CLEAN, SAND, AND PREPARE FRAMES TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.



2 Large One Bedroom Enlarged Plan - Typical  
1/4" = 1'-0"

HIGH RISE FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
T4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
T5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
T6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
T7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
T8	LVT-3	PT-1	RB-1	EX	
T9	POR-3	PT-5/EX CT	POR BASE	EX	

- NOTES:
1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 090000. FOR FINISHES ON DOORS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.
  6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER.
  7. PAINT ELEVATOR DOORS PT-9; ALL FLOORS; CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

## KEY

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

RB = RUBBER BASE

PT = PAINT

CT = CERAMIC TILE

REFER TO A-107/A-108 FOR FINISH PLAN

LVT

LVT

CPT

POR

POR

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAILABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN, WHERE WOOD FINISH. SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED. SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/GC-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

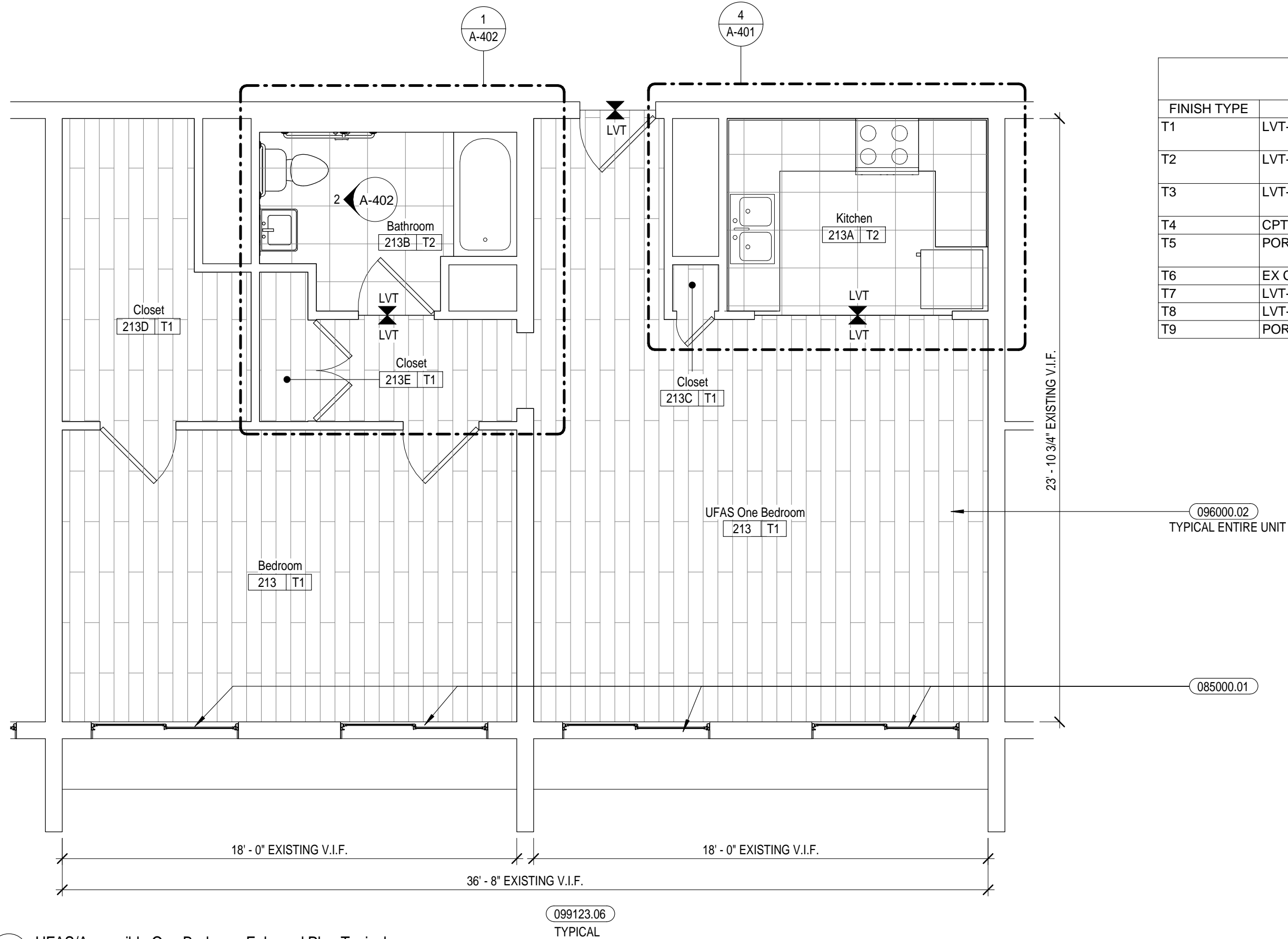
REVISIONS

Bernice Crawley  
High Rise - Small  
& Large One  
Bedroom  
Enlarged Plans

R3A PROJECT # 15074B

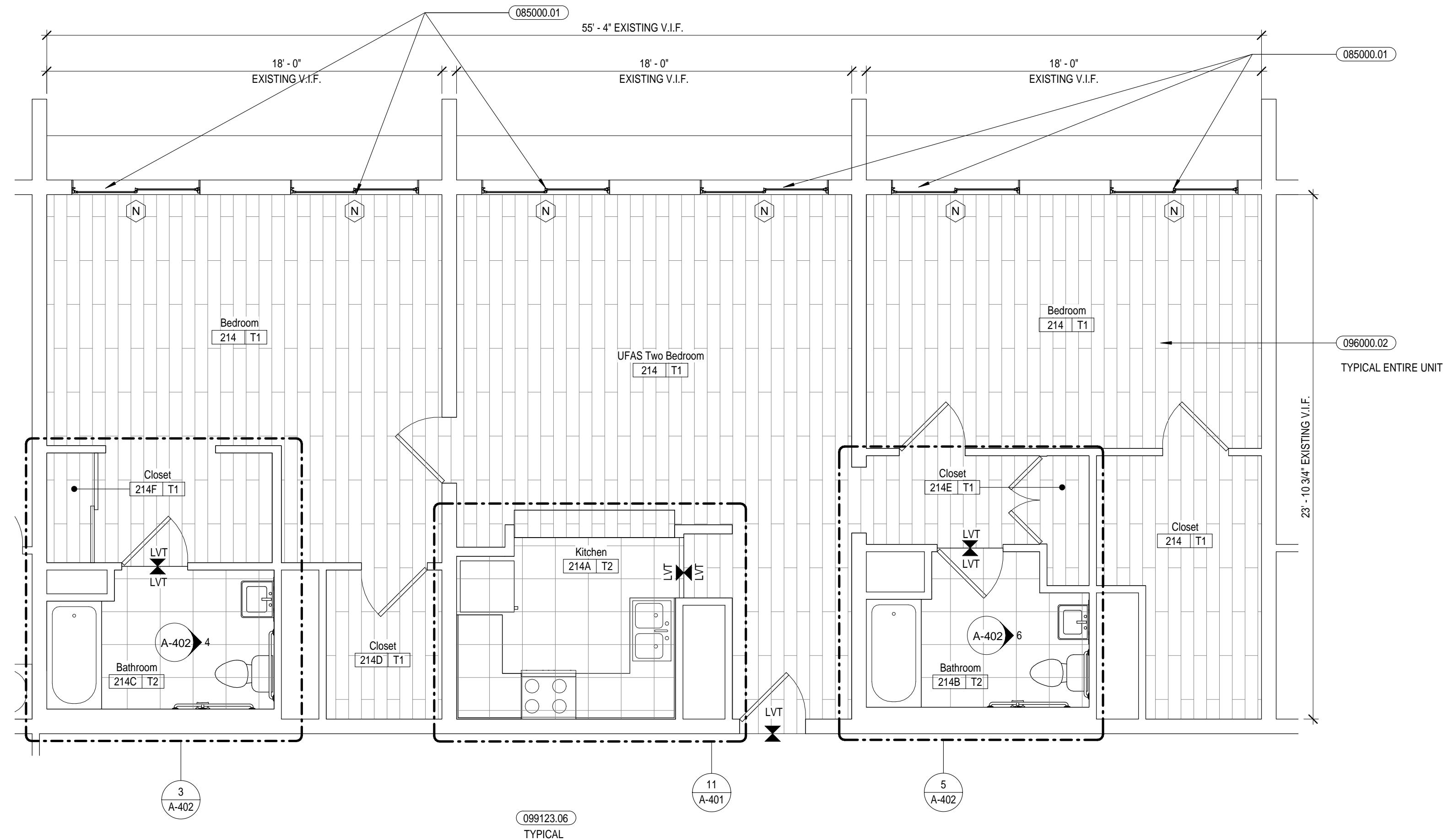
A-105





1 UFAS/Accessible One Bedroom Enlarged Plan Typical  
1/4" = 1'-0"

- NOTES:
1. REFER TO DRAWINGS G-101 AND G-110 FOR ALL UFAS/ACCESSIBLE UNITS
  2. SOME UNITS ARE MIRRORED
  3. UNITS SHOWN ARE AT GRADE AND ARE WITHOUT HANDRAIL/GUARDRAILS AND DO NOT HAVE SLIDING GLASS DOORS. UNITS ABOVE OR IN OTHER LOCATIONS MAY HAVE BOTH. REFER TO FLOOR PLANS AND ELEVATIONS FOR ALL LOCATIONS.



2 UFAS/ Accessible Two Bedroom Enlarged Plan Typical  
1/4" = 1'-0"

- NOTES:
1. REFER TO DRAWINGS G-101 AND G-110 FOR ALL UFAS/ACCESSIBLE UNITS
  2. SOME UNITS ARE MIRRORED
  3. UNITS SHOWN ARE AT GRADE AND ARE WITHOUT HANDRAIL/GUARDRAILS AND DO NOT HAVE SLIDING GLASS DOORS. UNITS ABOVE OR IN OTHER LOCATIONS MAY HAVE BOTH. REFER TO FLOOR PLANS AND ELEVATIONS FOR ALL LOCATIONS.

HIGH RISE FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
T4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
T5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
T6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
T7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
T8	LVT-3	PT-1	RB-1	EX	
T9	POR-3	PT-5/EX CT	POR BASE	EX	

- NOTES:
1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 080000. FOR FINISHES ON DOORS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.
  6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER.
  7. PAINT ELEVATOR DOORS PT-9; ALL FLOORS, CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	COORDINATE SCOPE OF WORK WITH HVAC, PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL UNITS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.06	DOORS IN APARTMENT UNITS SHALL REMAIN EXISTING WOOD STAIN, PAINT DOOR FRAMES IN APARTMENT UNITS TYP. CLEAN, SAND, AND PREPARE FRAMES TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10

## KEY

- LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE  
REFER TO A-107/A-108 FOR FINISH PLAN
- LVT  
LVT  
CPT  
POR  
POR

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTORS DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS, DOWNSPUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND BRAIDED HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 080000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

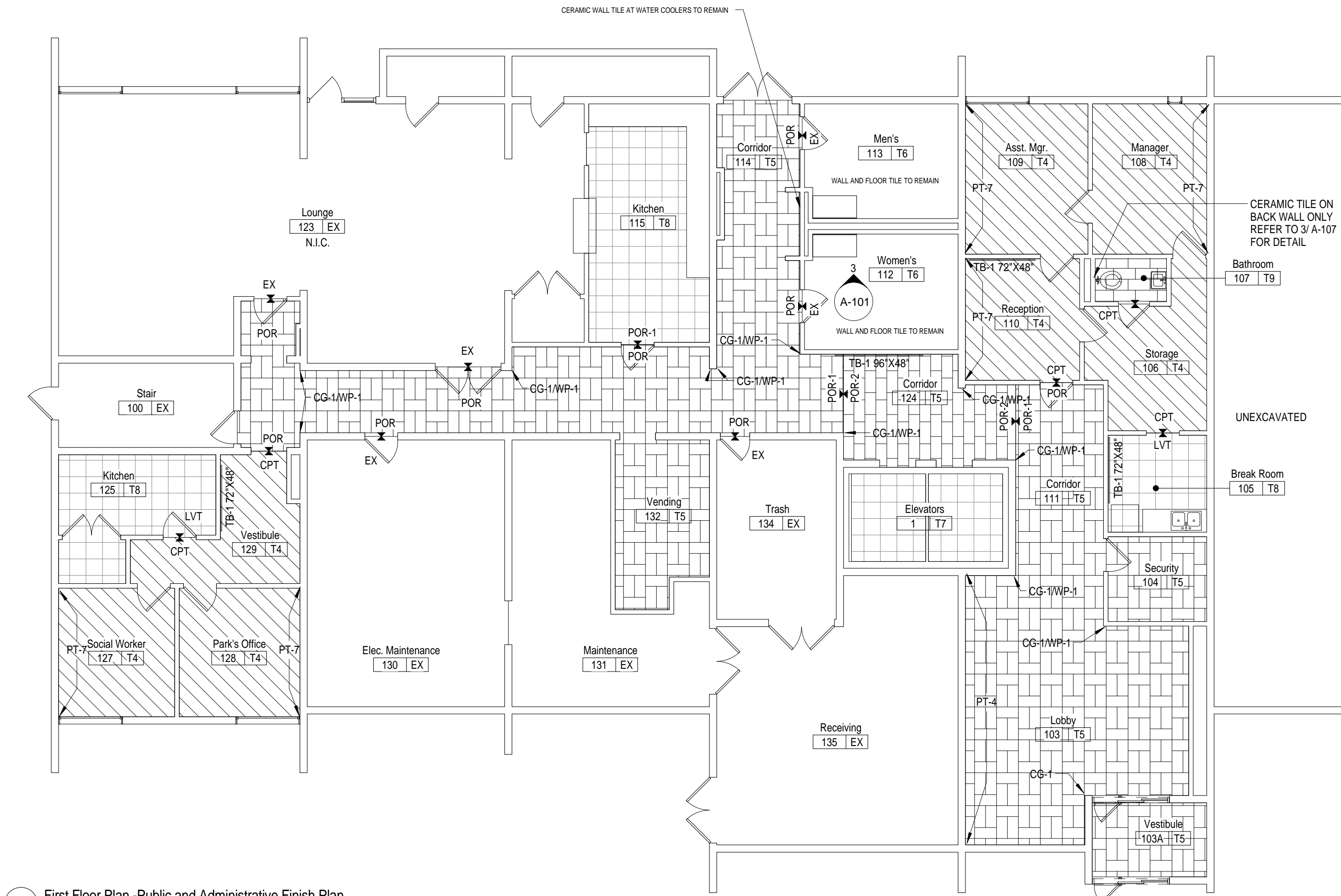
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Bernice Crawley  
High Rise - UFAS  
One & Two  
Bedroom  
Enlarged Plans

R3A PROJECT # 15074B

A-106

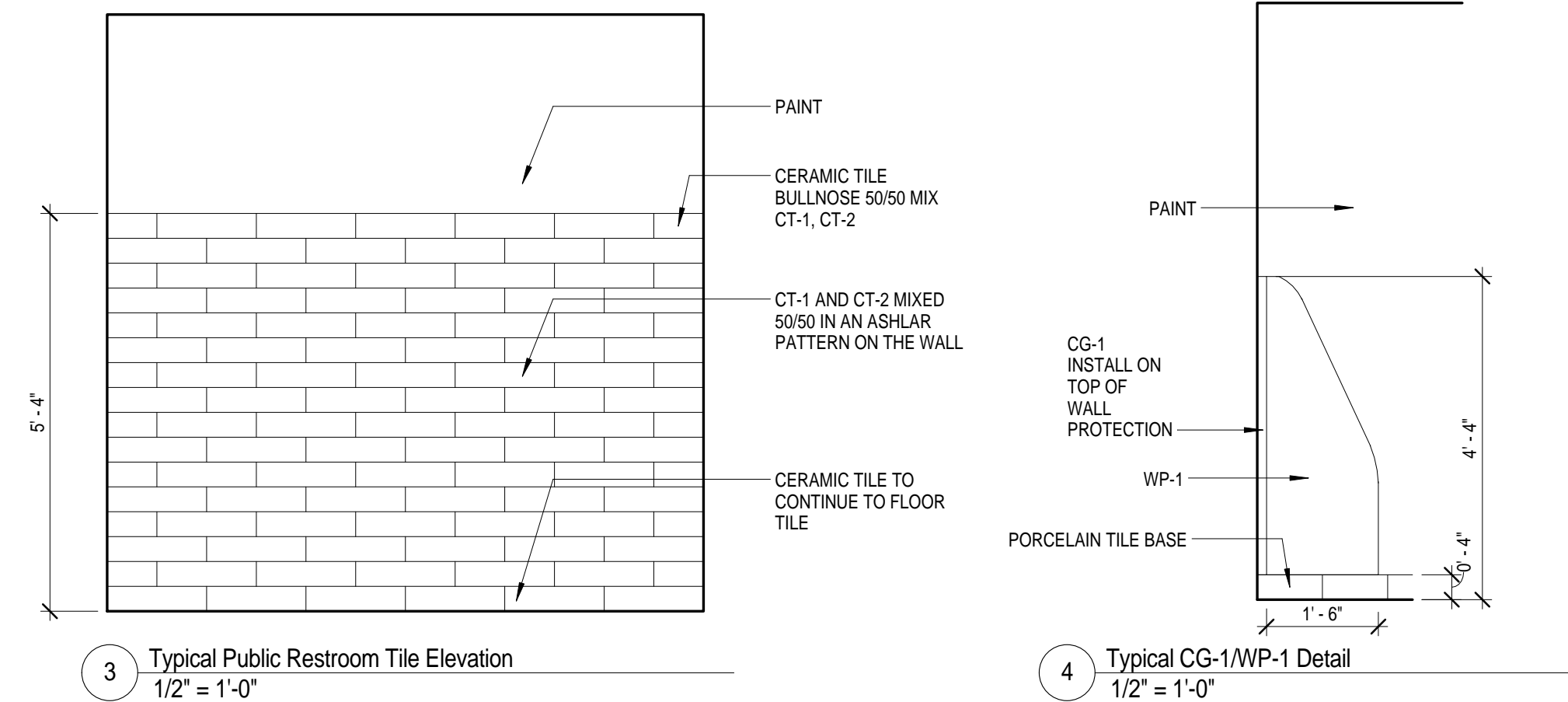


1 First Floor Plan - Public and Administrative Finish Plan  
1/8" = 1'-0"

HIGH RISE FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
T4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
T5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
T6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
T7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
T8	LVT-3	PT-1	RB-1	EX	
T9	POR-3	PT-5/EX CT	POR BASE	EX	

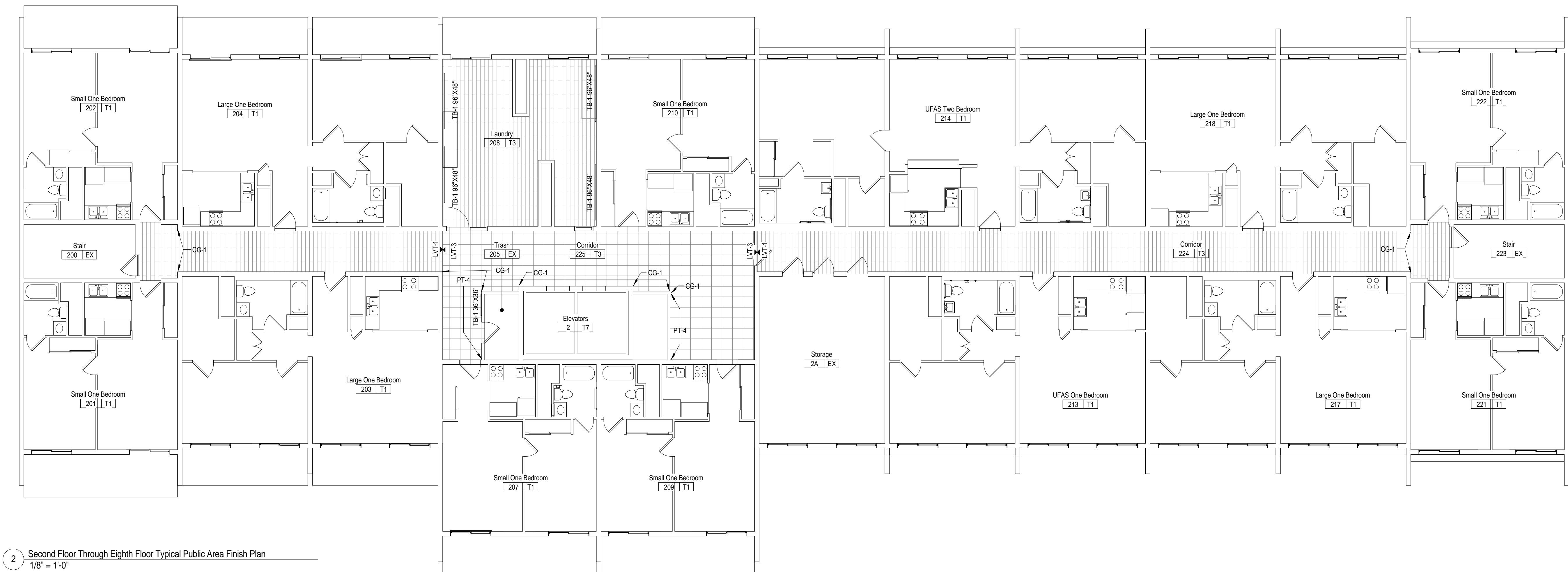
NOTES:  
1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 090000, FOR FINISHES ON DOORS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.  
6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP, ABOUT BOTH FLOORING FINISHES TOGETHER.  
7. PAINT ELEVATOR DOORS PT-9, ALL FLOORS, CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

KEY	
	LVT = LUXURY VINYL TILE
	CPT = CARPET TILE
	POR = PORCELAIN TILE
	EX = EXISTING TO REMAIN
	RB = RUBBER BASE
	PT = PAINT
	CT = CERAMIC TILE
REFER TO A-107/A-108 FOR FINISH PLAN	



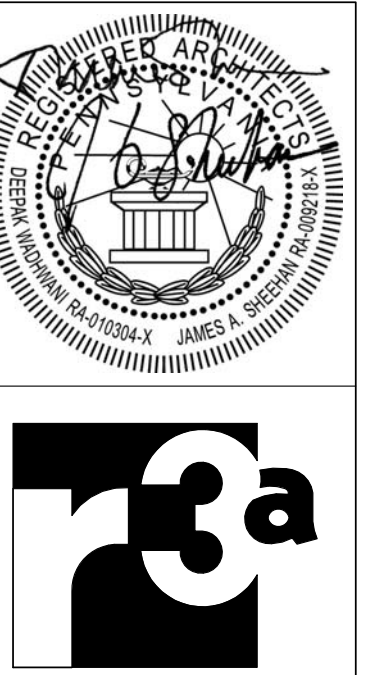
3 Typical Public Restroom Tile Elevation  
1/2" = 1'-0"

4 Typical CG-1/WP-1 Detail  
1/2" = 1'-0"



2 Second Floor Through Eighth Floor Typical Public Area Finish Plan  
1/8" = 1'-0"

NOTES:  
1. REFER TO ENLARGED UNIT PLANS ON DRAWING, A-105 AND A-106 FOR TYPICAL UNIT FINISH PLANS



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Design  
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Task Order  
Contract No. 33 -  
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Demonstration  
(RAD)

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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Bernice Crawley  
High Rise - Finish  
Plans

R3A PROJECT # 15074B

A-107



1 Basement Floor Plan  
1/8" = 1'-0"

2 First Floor Plan  
1/8" = 1'-0"

3 Second Floor Plan  
1/8" = 1'-0"

4 Roof Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL KURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS. U.N.O. REFER TO FINISH SCHEDULE.

MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS, STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES, CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR, CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT, PAINT DOOR AND FRAME PT-11 TYP.


FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

NOTES:  
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.


# KEY

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LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE



LVT



LVT

## GENERAL NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARE, REVIEW, AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL CONTRACT DOCUMENTS TO VERIFY THE FIELD OF DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD OF DEMOLITION AND CONSTRUCTION SCOPE OF WORK. DEMOLITION AND CONSTRUCTION MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKS 1-10.

1. ALL CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONSTRUCTION SCHEDULE UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, AND ALL EQUIPMENT FROM THE BUILDING. ALL DRAWINGS, EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & THE CONTRACT DOCUMENTS ARE TO VERIFY IN THE FIELD OF DEMOLITION DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100, 012200, 012300, 012400, 012500, 012600, 012700, 012800, 012900, 013100, 013200, 013300, 013400, 013500, 013600, 013700, 013800, 013900, 014000, 014100, 014200, 014300, 014400, 014500, 014600, 014700, 014800, 014900, 015000, 015100, 015200, 015300, 015400, 015500, 015600, 015700, 015800, 015900, 016000, 016100, 016200, 016300, 016400, 016500, 016600, 016700, 016800, 016900, 017000, 017100, 017200, 017300, 017400, 017500, 017600, 017700, 017800, 017900, 018000, 018100, 018200, 018300, 018400, 018500, 018600, 018700, 018800, 018900, 019000, 019100, 019200, 019300, 019400, 019500, 019600, 019700, 019800, 019900, 020000, 020100, 020200, 020300, 020400, 020500, 020600, 020700, 020800, 020900, 021000, 021100, 021200, 021300, 021400, 021500, 021600, 021700, 021800, 021900, 022000, 022100, 022200, 022300, 022400, 022500, 022600, 022700, 022800, 022900, 023000, 023100, 023200, 023300, 023400, 023500, 023600, 023700, 023800, 023900, 024000, 024100, 024200, 024300, 024400, 024500, 024600, 024700, 024800, 024900, 025000, 025100, 025200, 025300, 025400, 025500, 025600, 025700, 025800, 025900, 026000, 026100, 026200, 026300, 026400, 026500, 026600, 026700, 026800, 026900, 027000, 027100, 027200, 027300, 027400, 027500, 027600, 027700, 027800, 027900, 028000, 028100, 028200, 028300, 028400, 028500, 028600, 028700, 028800, 028900, 029000, 029100, 029200, 029300, 029400, 029500, 029600, 029700, 029800, 029900, 030000, 030100, 030200, 030300, 030400, 030500, 030600, 030700, 030800, 030900, 031000, 031100, 031200, 031300, 031400, 031500, 031600, 031700, 031800, 031900, 032000, 032100, 032200, 032300, 032400, 032500, 032600, 032700, 032800, 032900, 033000, 033100, 033200, 033300, 033400, 033500, 033600, 033700, 033800, 033900, 034000, 034100, 034200, 034300, 034400, 034500, 034600, 034700, 034800, 034900, 035000, 035100, 035200, 035300, 035400, 035500, 035600, 035700, 035800, 035900, 036000, 036100, 036200, 036300, 036400, 036500, 036600, 036700, 036800, 036900, 037000, 037100, 037200, 037300, 037400, 037500, 037600, 037700, 037800, 037900, 038000, 038100, 038200, 038300, 038400, 038500, 038600, 038700, 038800, 038900, 039000, 039100, 039200, 039300, 039400, 039500, 039600, 039700, 039800, 039900, 040000, 040100, 040200, 040300, 040400, 040500, 040600, 040700, 040800, 040900, 041000, 041100, 041200, 041300, 041400, 041500, 041600, 041700, 041800, 041900, 042000, 042100, 042200, 042300, 042400, 042500, 042600, 042700, 042800, 042900, 043000, 043100, 043200, 043300, 043400, 043500, 043600, 043700, 043800, 043900, 044000, 044100, 044200, 044300, 044400, 044500, 044600, 044700, 044800, 044900, 045000, 045100, 045200, 045300, 045400, 045500, 045600, 045700, 045800, 045900, 046000, 046100, 046200, 046300, 046400, 046500, 046600, 046700, 046800, 046900, 047000, 047100, 047200, 047300, 047400, 047500, 047600, 047700, 047800, 047900, 048000, 048100, 048200, 048300, 048400, 048500, 048600, 048700, 048800, 048900, 049000, 049100, 049200, 049300, 049400, 049500, 049600, 049700, 049800, 049900, 050000, 050100, 050200, 050300, 050400, 050500, 050600, 050700, 050800, 050900, 051000, 051100, 051200, 051300, 051400, 051500, 051600, 051700, 051800, 051900, 052000, 052100, 052200, 052300, 052400, 052500, 052600, 052700, 052800, 052900, 053000, 053100, 053200, 053300, 053400, 053500, 053600, 053700, 053800, 053900, 054000, 054100, 054200, 054300, 054400, 054500, 054600, 054700, 054800, 054900, 055000, 055100, 055200, 055300, 055400, 055500, 055600, 0



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CONSULTANT:

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Development  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15201

CONSTRUCTION  
DOCUMENTS

ISSUED:	October 27, 2017
REVISIONS	

Family Community  
- Type A

R3A PROJECT # 15074E

A-111

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CIBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DEVOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN, WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE, WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER COMPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1001 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

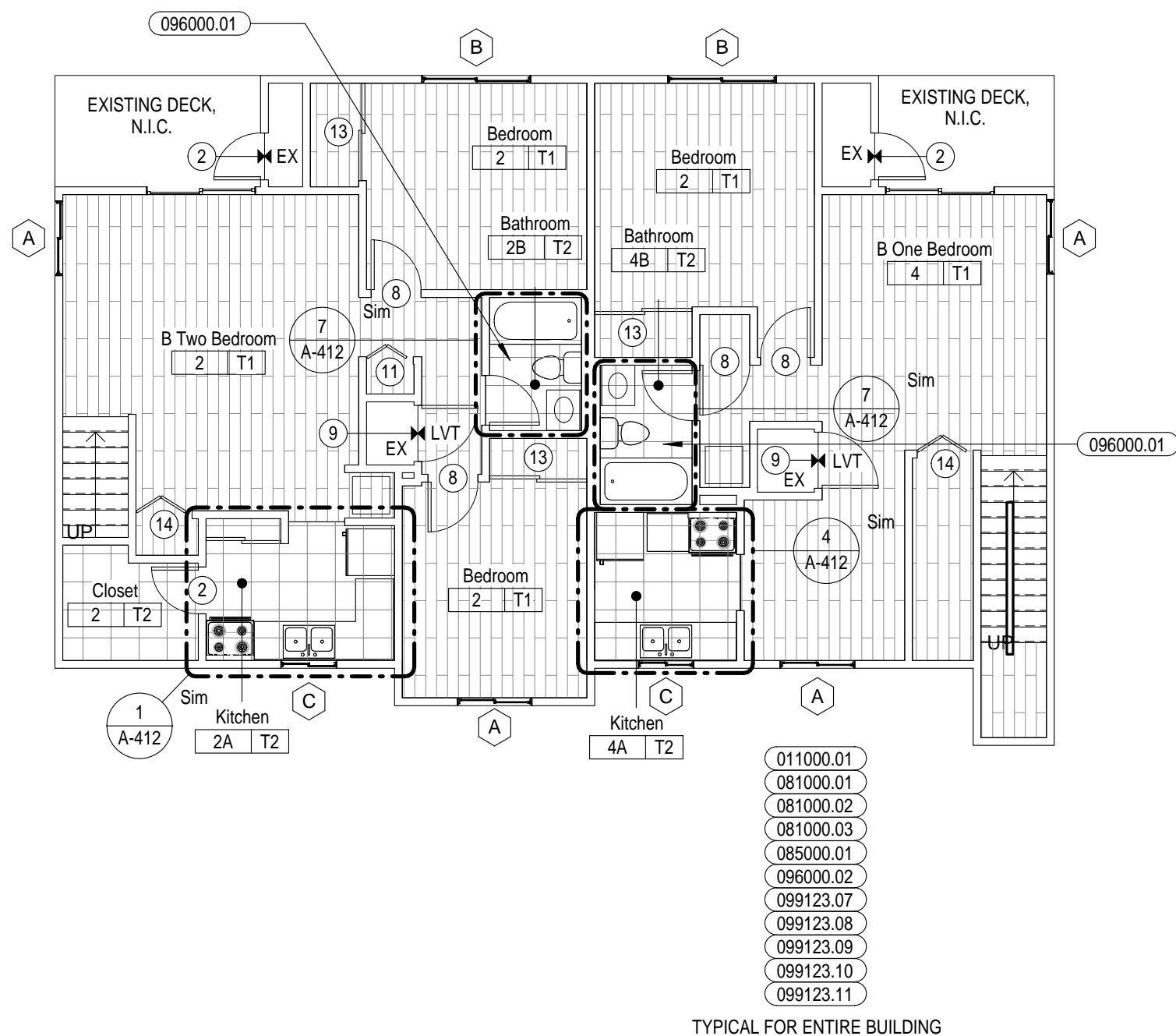
REVISIONS

Family Community  
- Type B

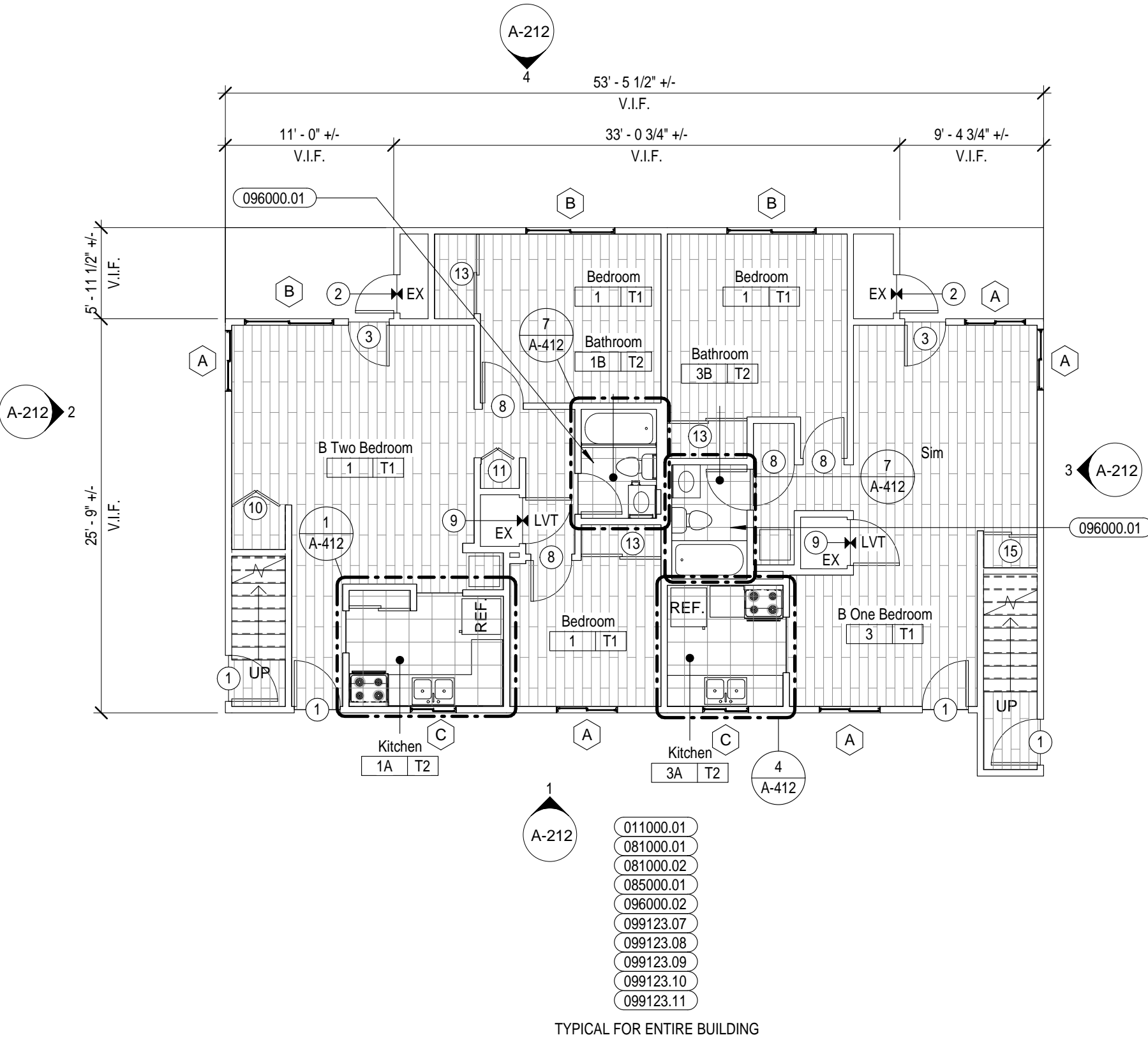
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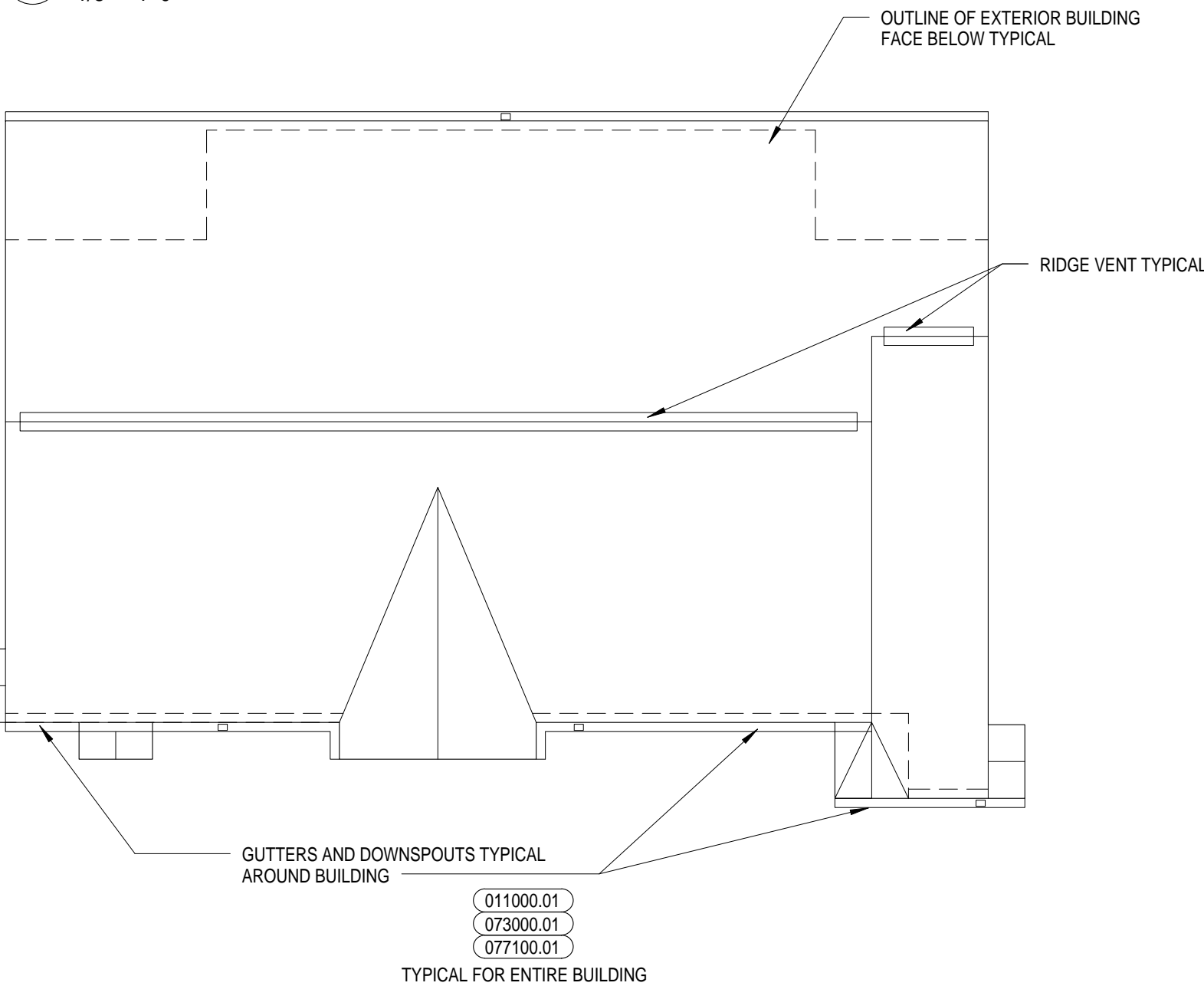
A-112



2 Second Floor Plan  
1/8" = 1'-0"



1 First Floor Plan  
1/8" = 1'-0"



3 Roof Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORINGS AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS. U.N.O. REFER TO FINISH SCHEDULE.

REFERENCED NOTES	
MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

- NOTES:
- REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  - PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  - REFER TO PLAN FOR DIRECTION OF FLOORINGS AND PATTERN.
  - REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  - LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

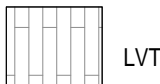
POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

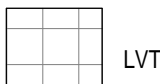
RB = RUBBER BASE

PT = PAINT

CT = CERAMIC TILE



LVT



LVT



GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

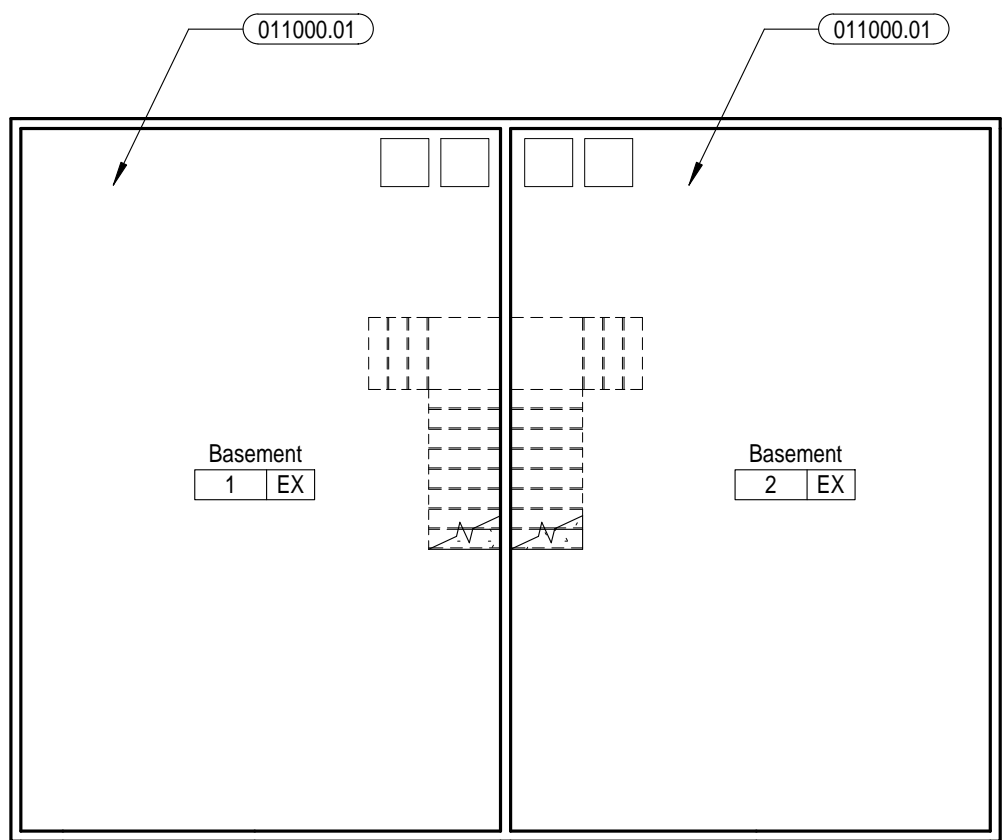
REVISIONS

Family Community  
- Type C

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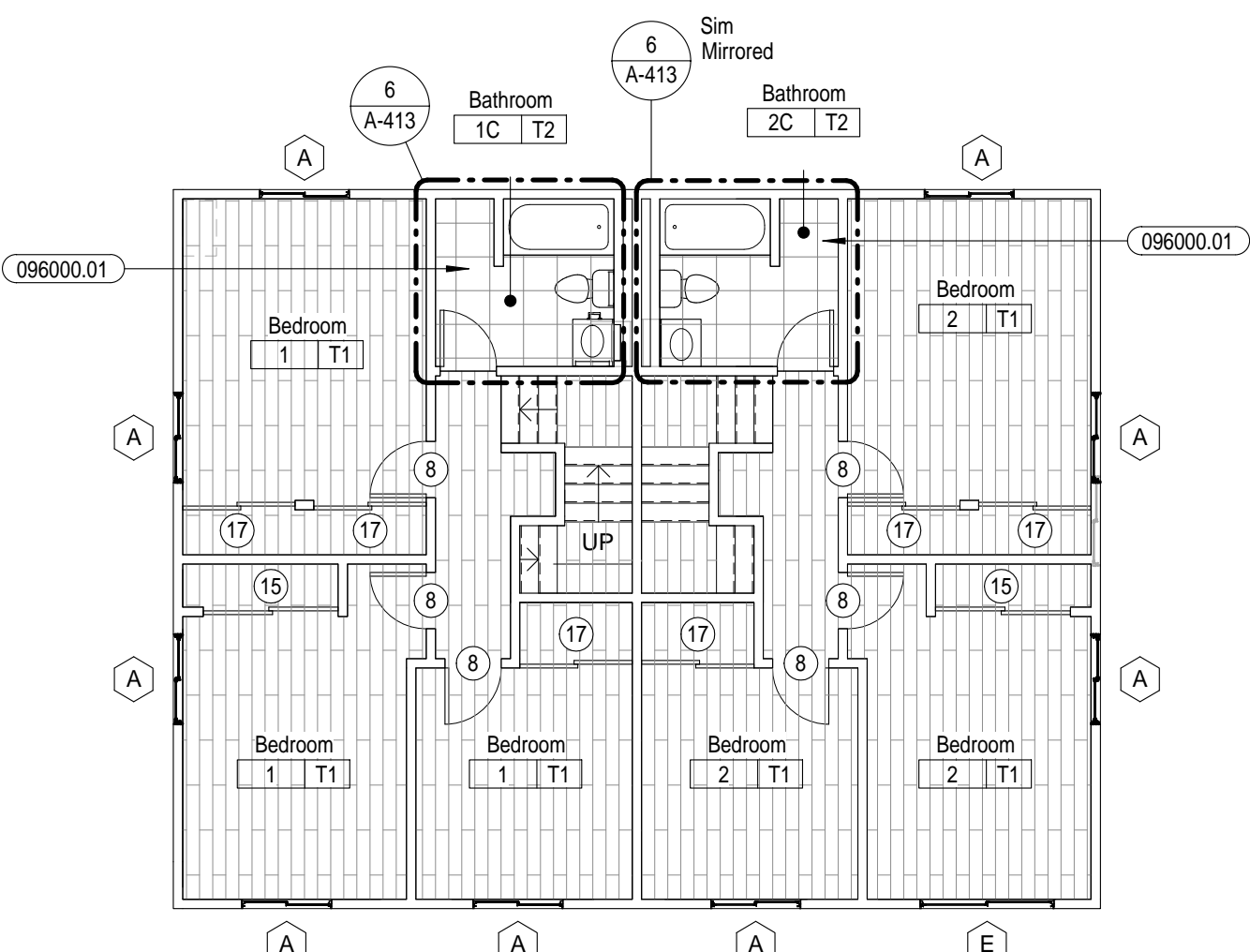
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A-113



011000.01  
TYPICAL FOR ENTIRE BUILDING

1 Basement  
1/8" = 1'-0"



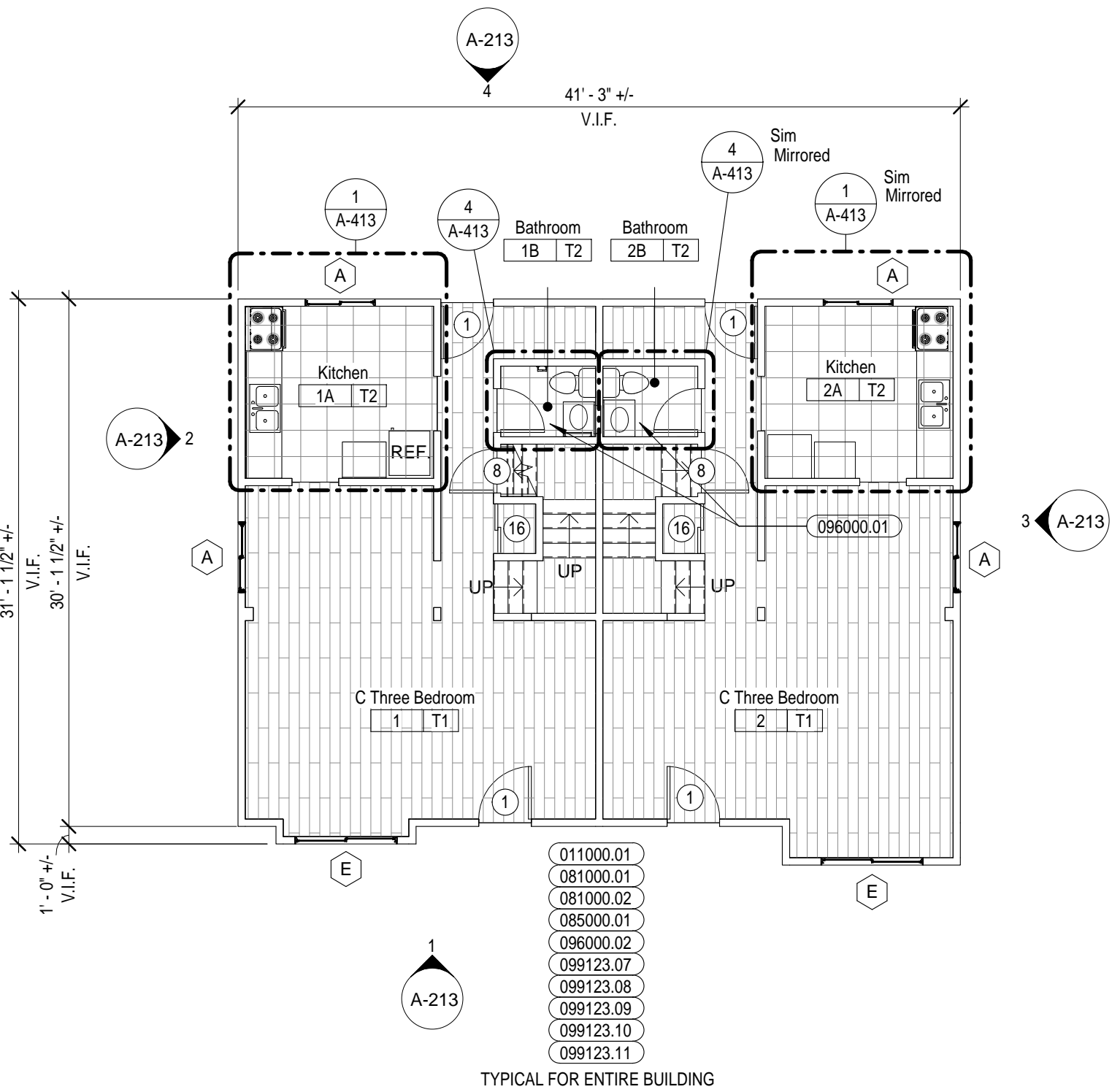
011000.01  
TYPICAL FOR ENTIRE BUILDING

3 Second Floor Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

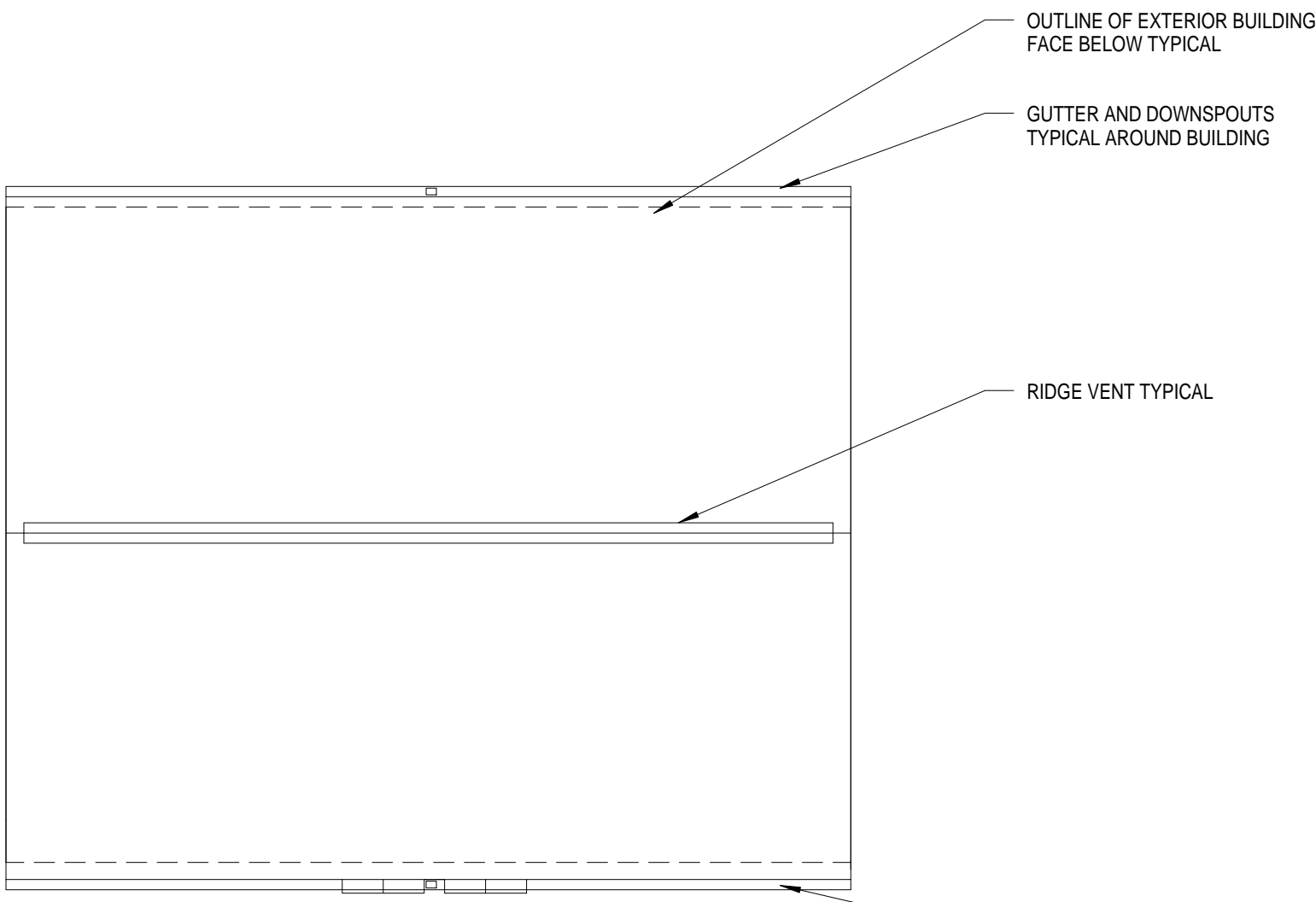
REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES	
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.



011000.01  
TYPICAL FOR ENTIRE BUILDING

2 First Floor Plan  
1/8" = 1'-0"



011000.01  
TYPICAL FOR ENTIRE BUILDING

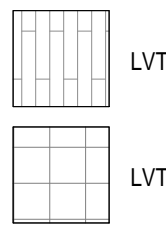
4 Roof Plan  
1/8" = 1'-0"

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

- NOTES:
- REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  - PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  - REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  - REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  - LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY

- LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
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1 Basement  
1/8" = 1'-0"

3 Second Floor Plan  
1/8" = 1'-0"

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2 First Floor Plan  
1/8" = 1'-0"

4 Roof Plan  
1/8" = 1'-0"


FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	


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 LVT

 LVT

## GENERAL NOTES

[illegible]

Renaissance 3 Architects, P.C.

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Fax: 412-431-2670  
[www.r3a.com](http://www.r3a.com)

Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

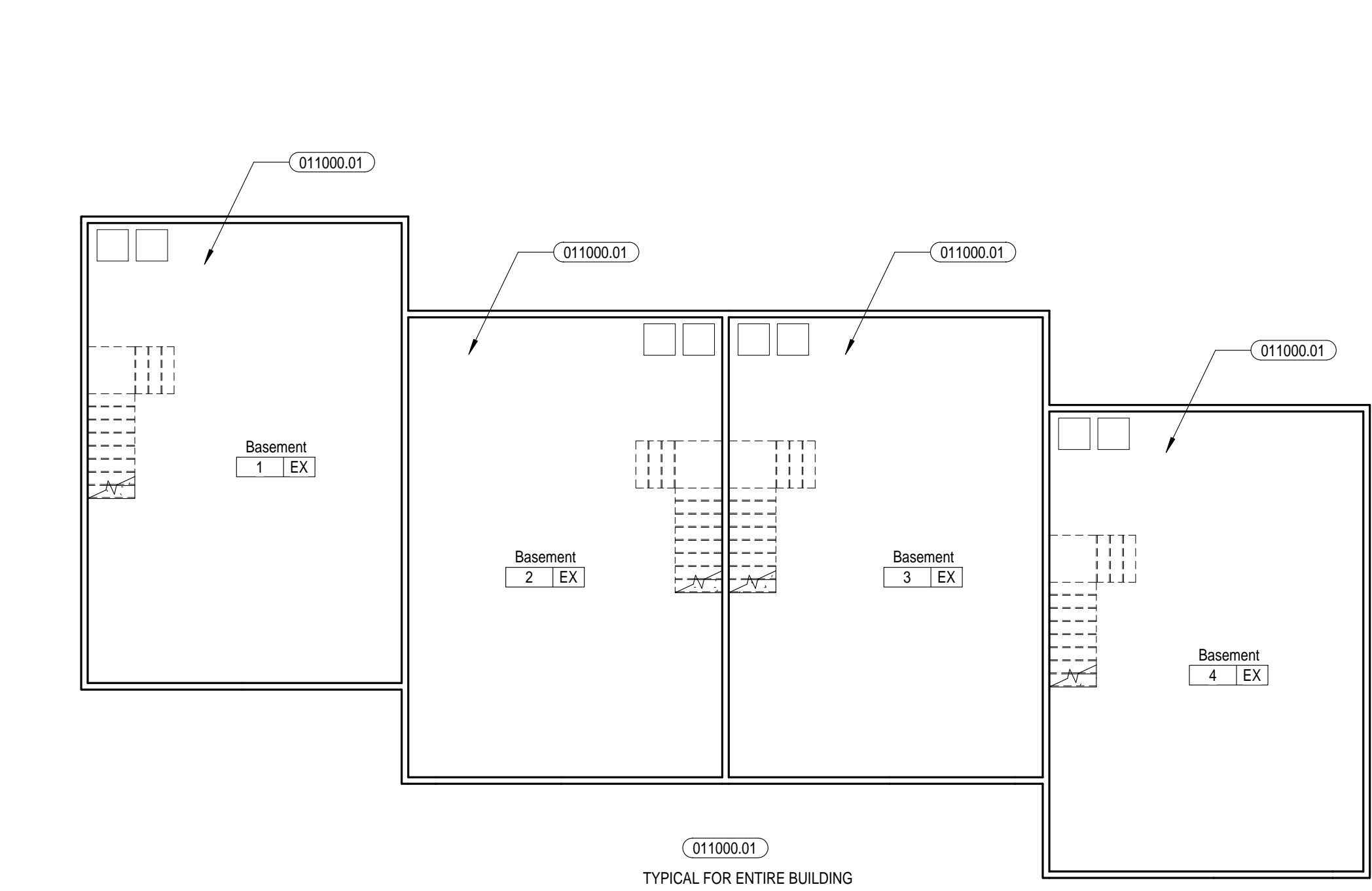
## REVISIONS

Family Community  
- Type D

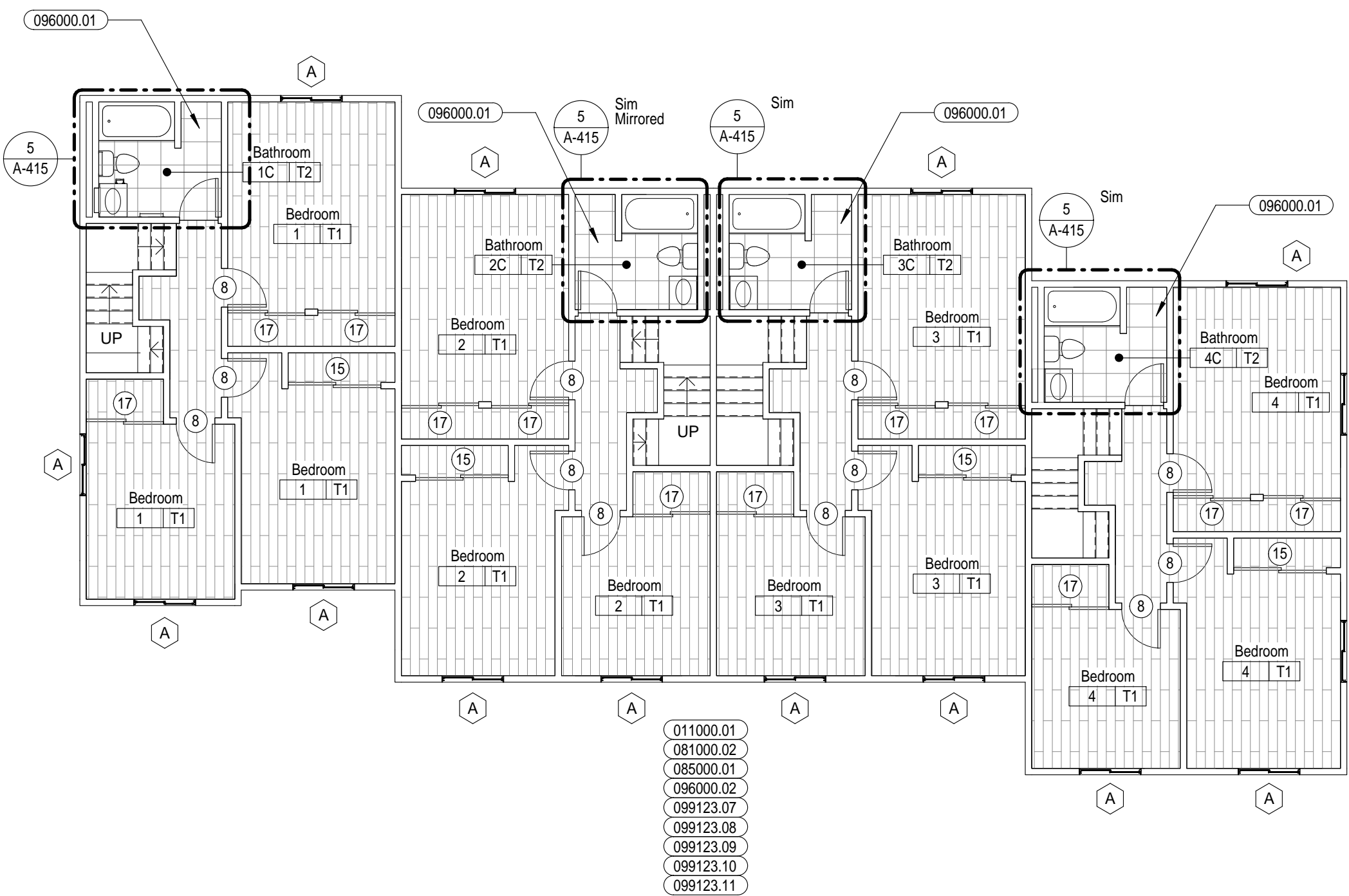
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A-114





1 Basement  
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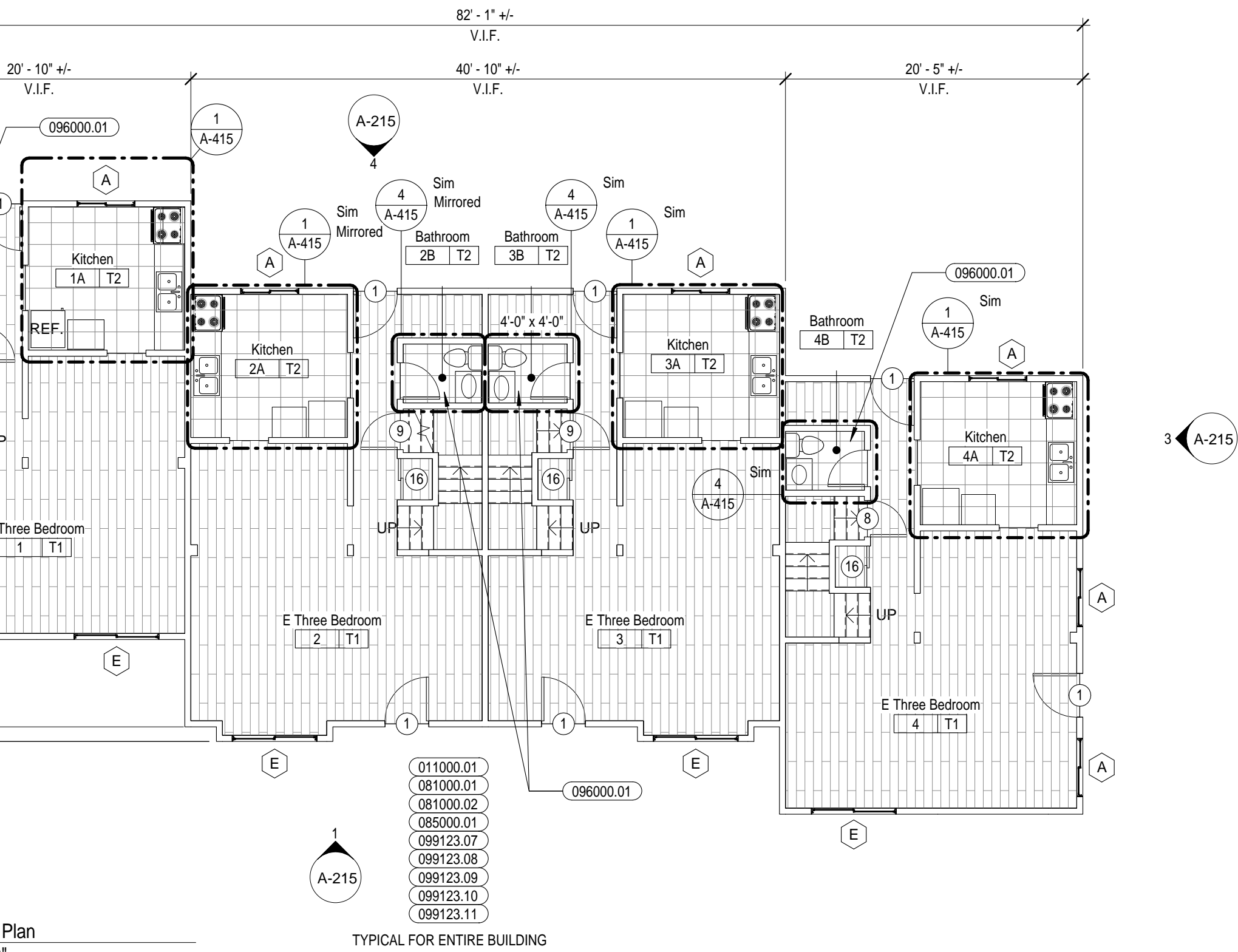


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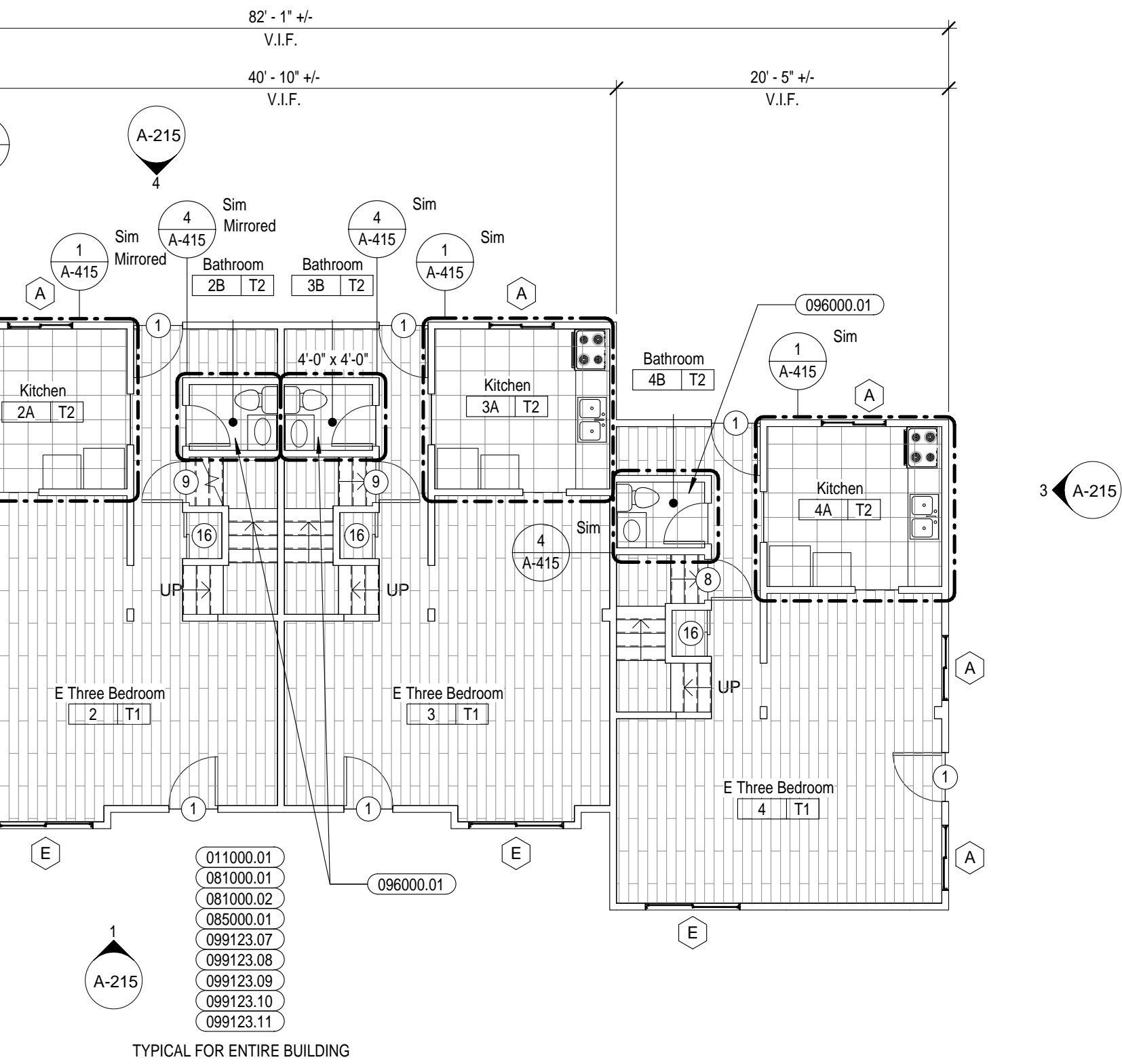
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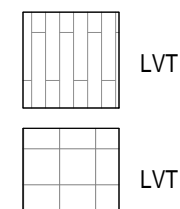
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FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
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## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS.
- SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
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- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

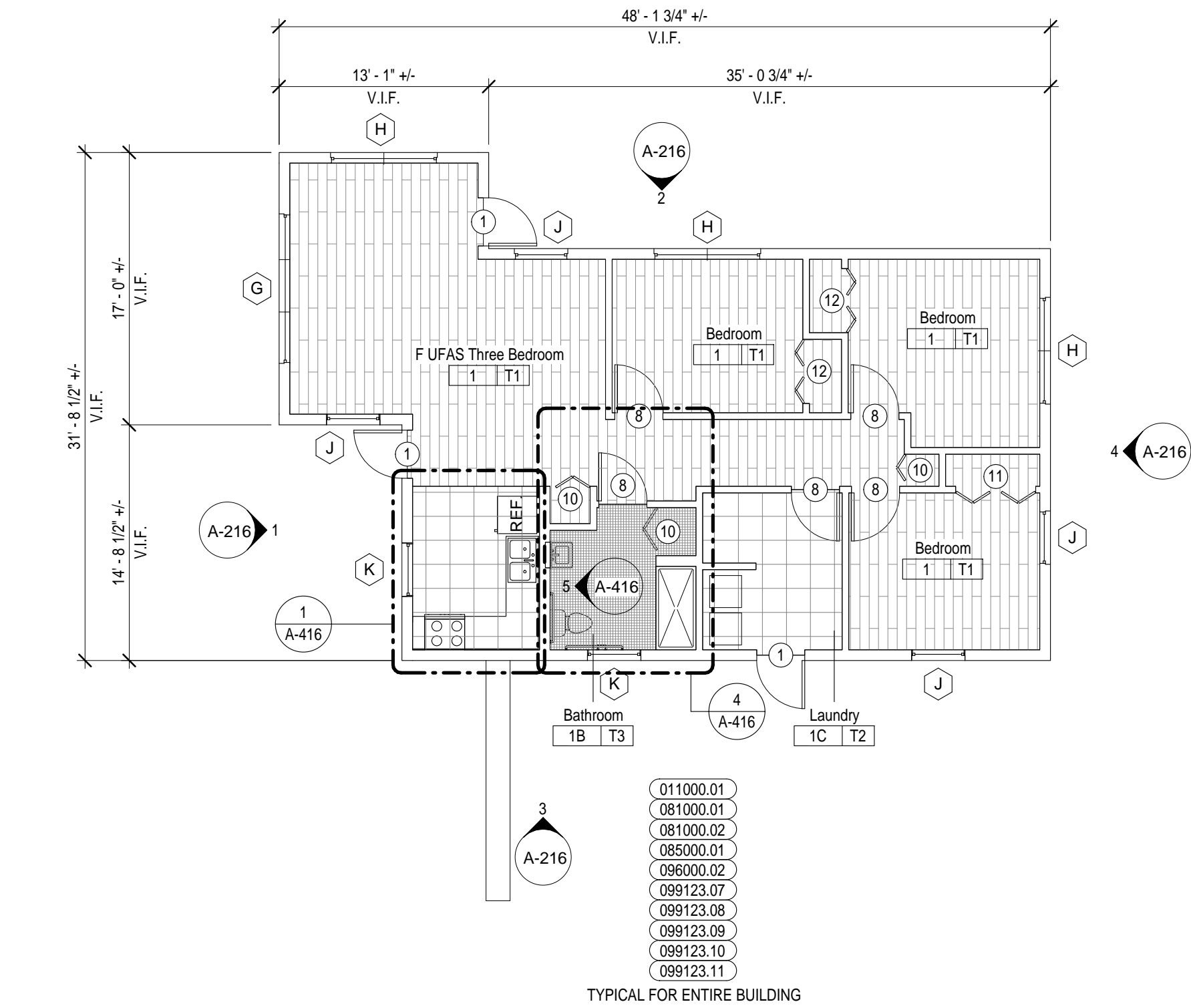
ISSUED: October 27, 2017

REVISIONS

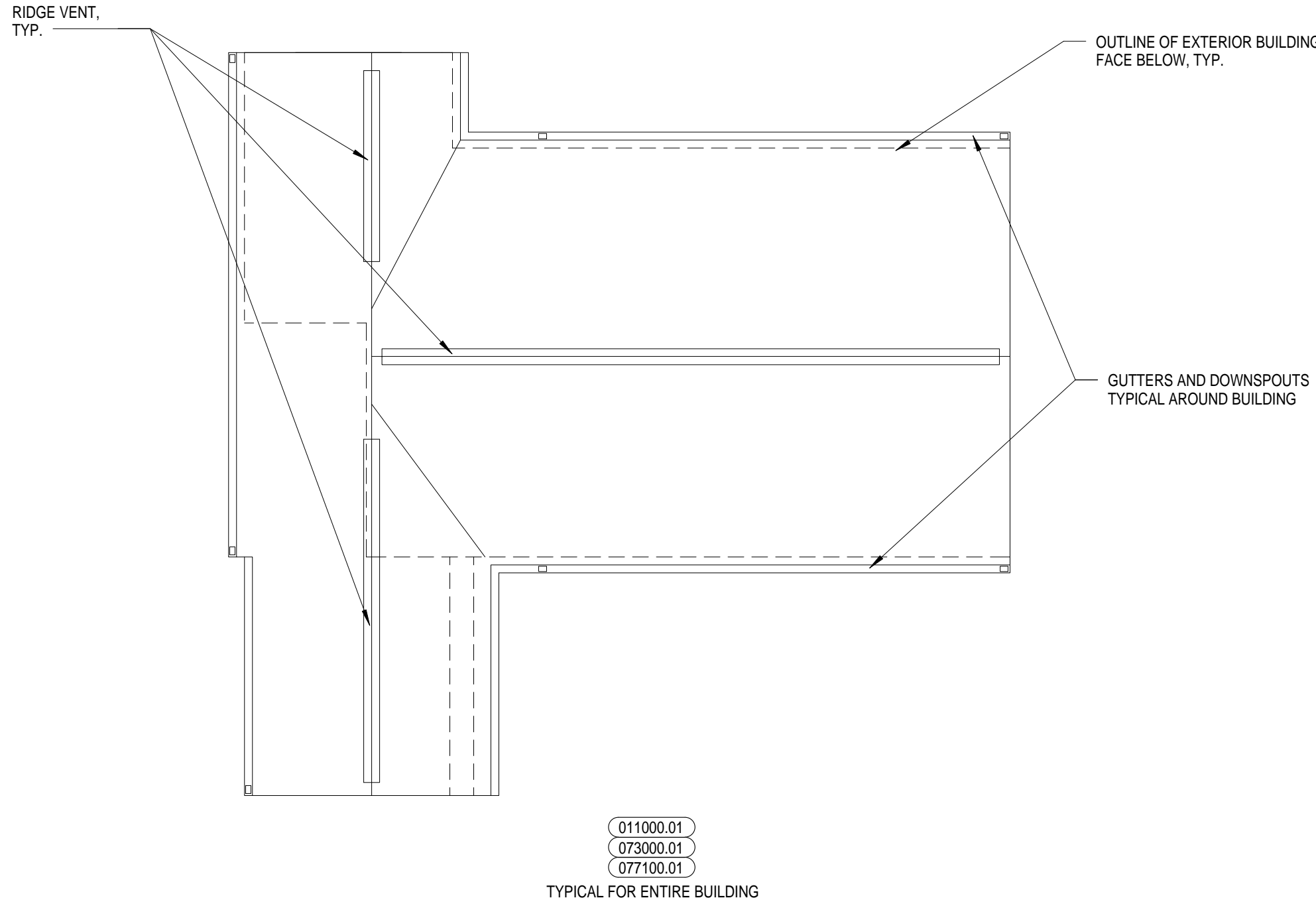
Family Community  
- Type E

R3A PROJECT # 15074B

A-115



1 First Floor Plan - UFAS/ Accessible  
1/8" = 1'-0"



2 Roof Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS. U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES	
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	
T3	EX CERAMIC TILE	EX CERAMIC TILE/ PT-3	EX CERAMIC TILE	PT-2	

- NOTES:
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY	
LVT = LUXURY VINYL TILE	
CPT = CARPET TILE	
POR = PORCELAIN TILE	
EX = EXISTING TO REMAIN	
RB = RUBBER BASE	
PT = PAINT	
CT = CERAMIC TILE	
	LVT
	LVT
	CT

## GENERAL NOTES

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2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE, HAC'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S RELOCATION CONSULTANT. HAC'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE & THE ARCHITECT.
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8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type F UFAS/  
Accessible

R3A PROJECT # 15074B

A-116



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NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. 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BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE. 32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-100-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

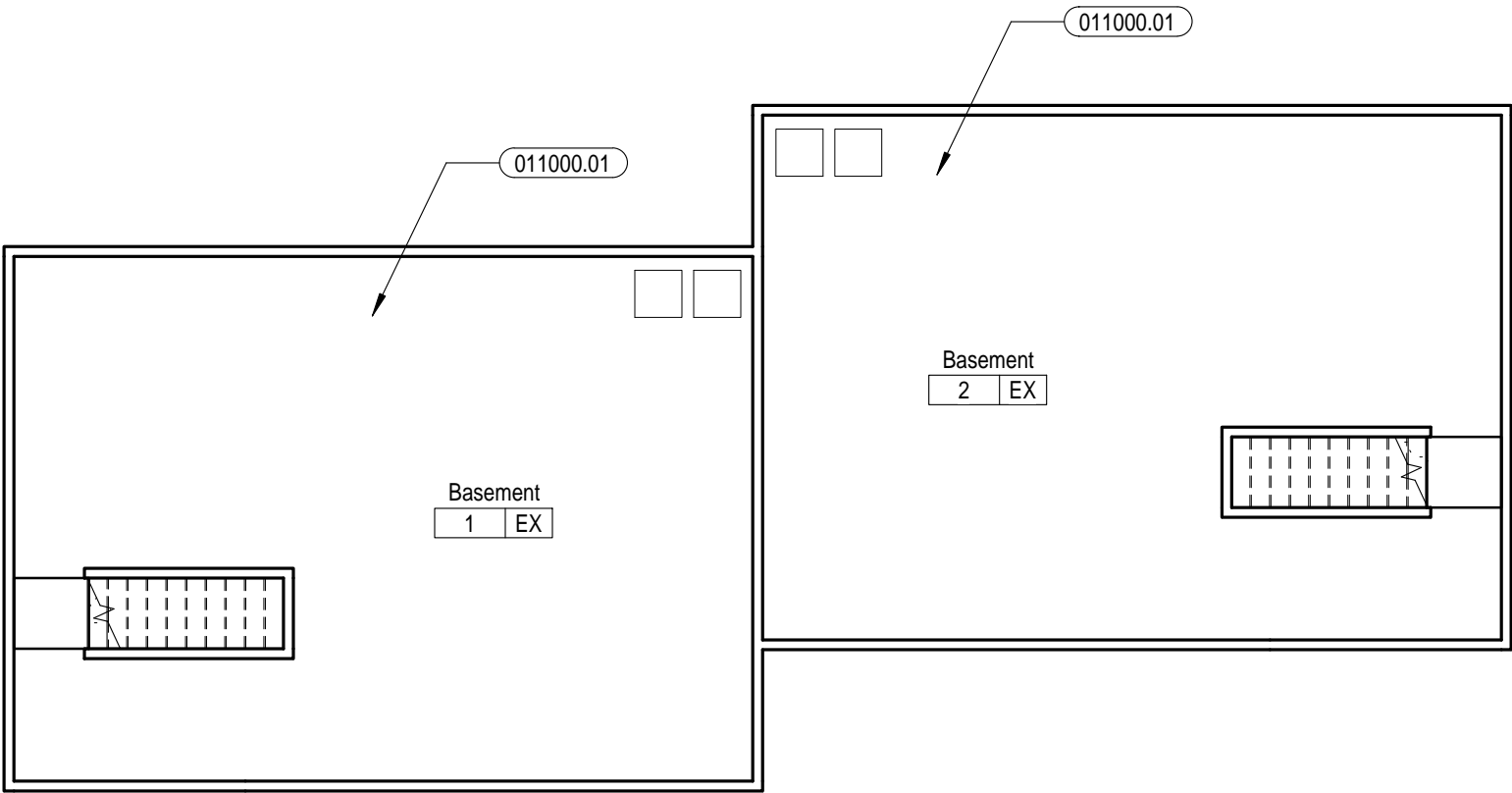
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(RAD)

945 Roselle Ct  
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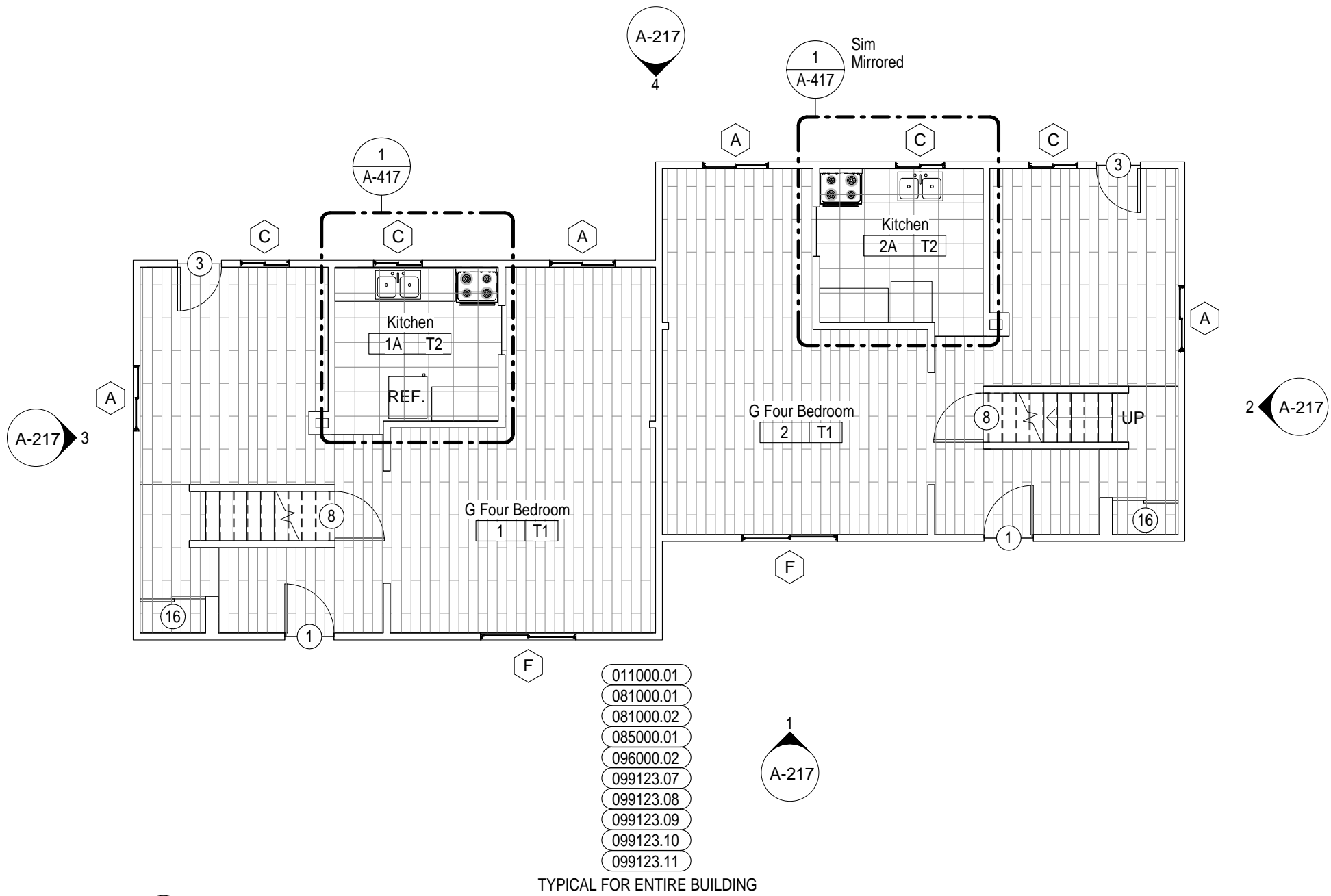
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ISSUED: October 27, 2017  
REVISIONS

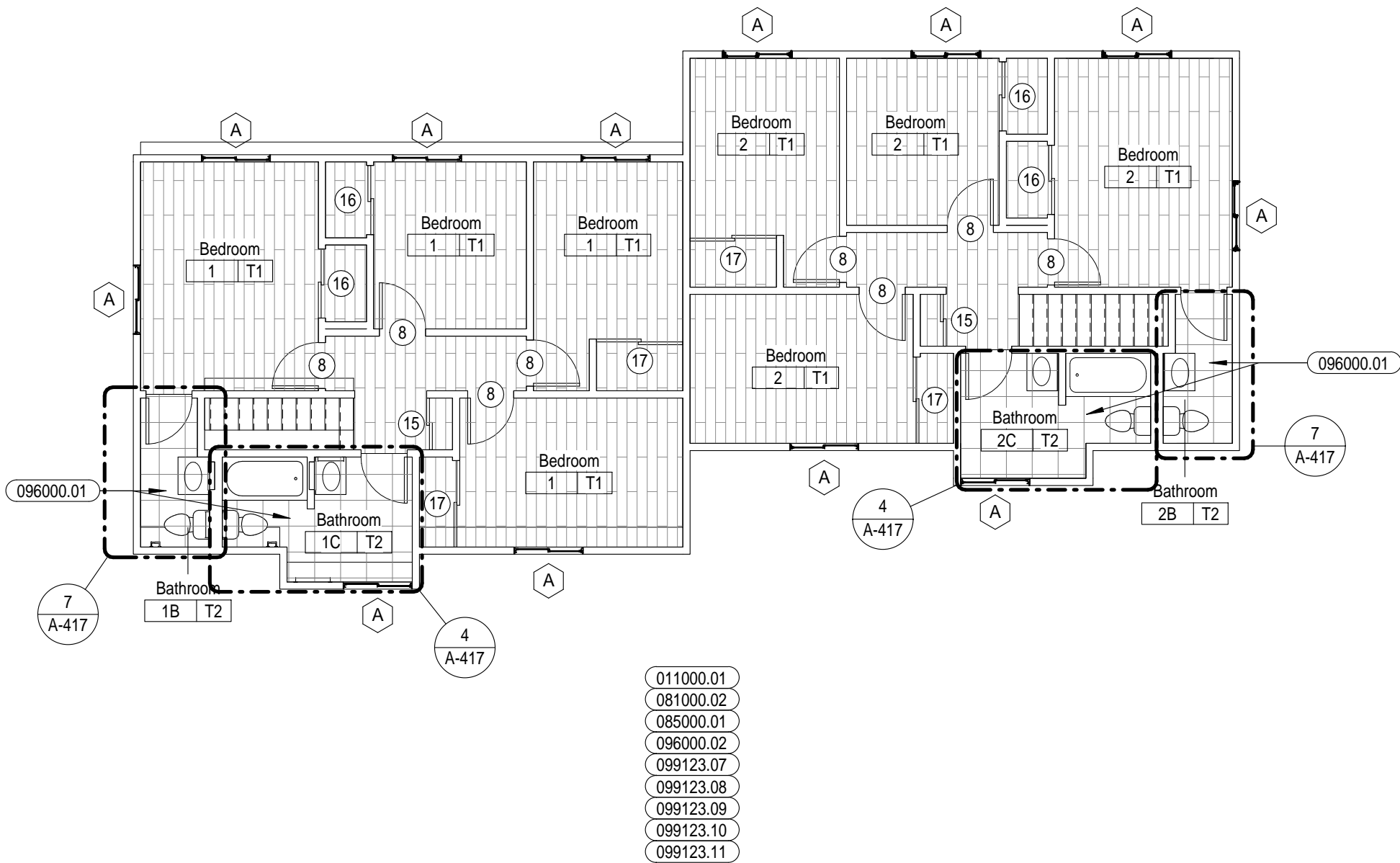
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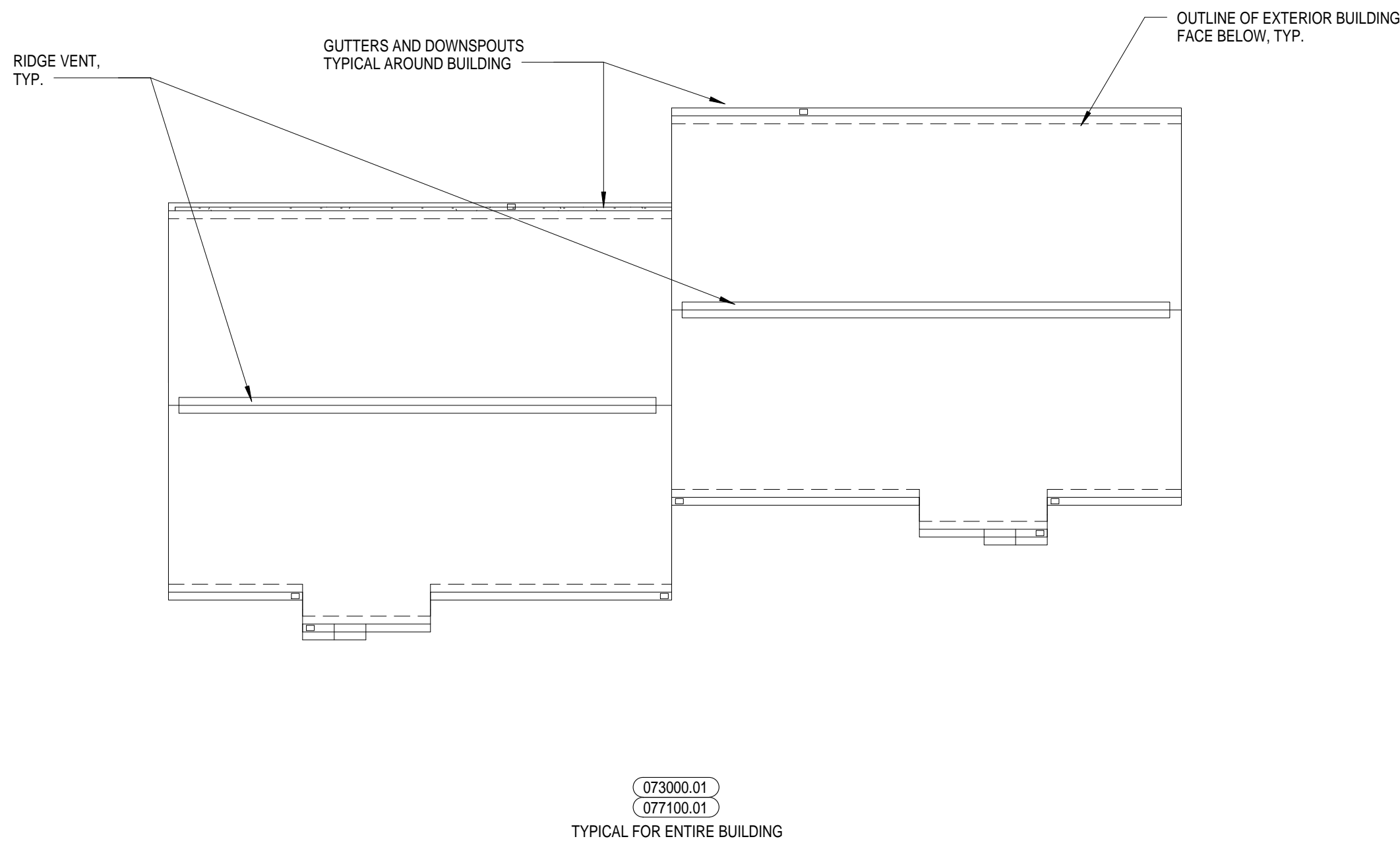
1 Basement  
1/8" = 1'-0"



2 First Floor Plan  
1/8" = 1'-0"



3 Second Floor Plan  
1/8" = 1'-0"



4 Roof Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

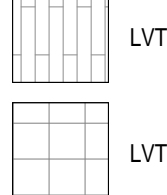
REFERENCED NOTES	
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T2	LVT-2	PT-3	RB-3	PT-2	
T2	LVT-1	PT-3	RB-3	PT-2	

- NOTES:  
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY

- LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE



R3A PROJECT # 15074B

A-117

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. 2. THE BUILDINGS WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE, HAC'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY. 3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE. 4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S RELOCATION CONSULTANT. HAC'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING. 5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE & THE ARCHITECT. 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HAC'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL. 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HAC'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HAC'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. 15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS. 16. NOTES 16 - 18 NOT USED. 17. 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REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-301 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS. 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE THE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BENEFIT CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE. 32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFT TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1(C)-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 096000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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Task Order  
Contract No. 33 -  
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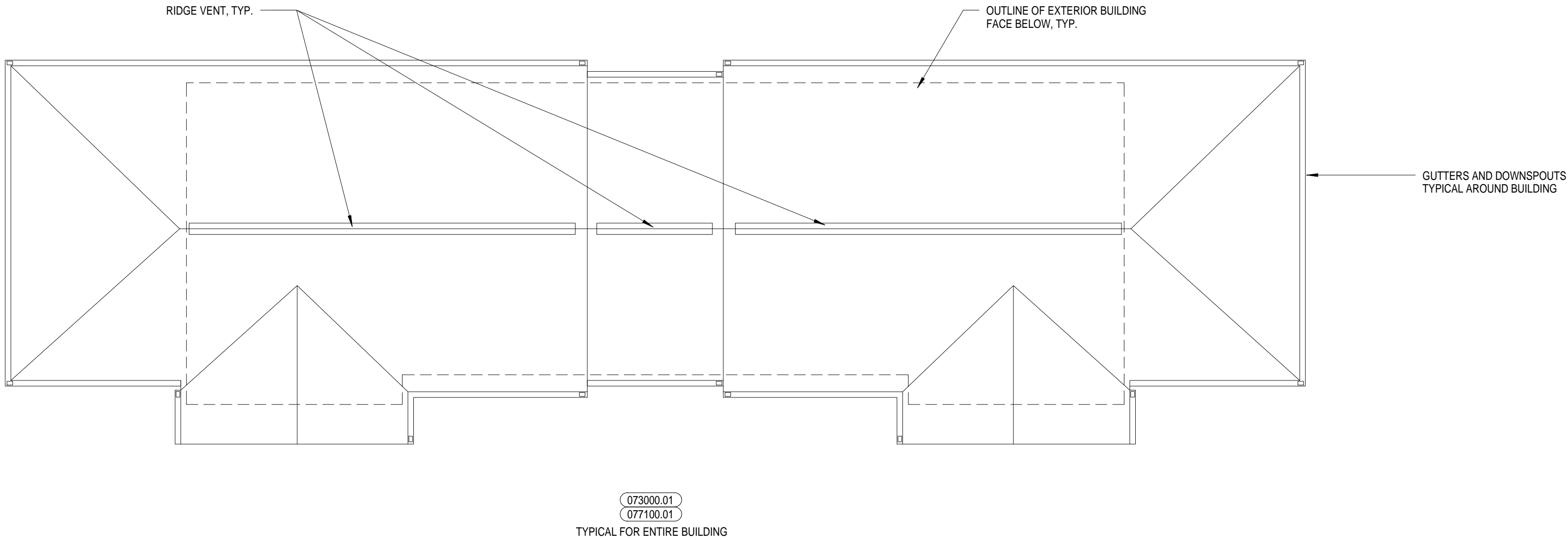
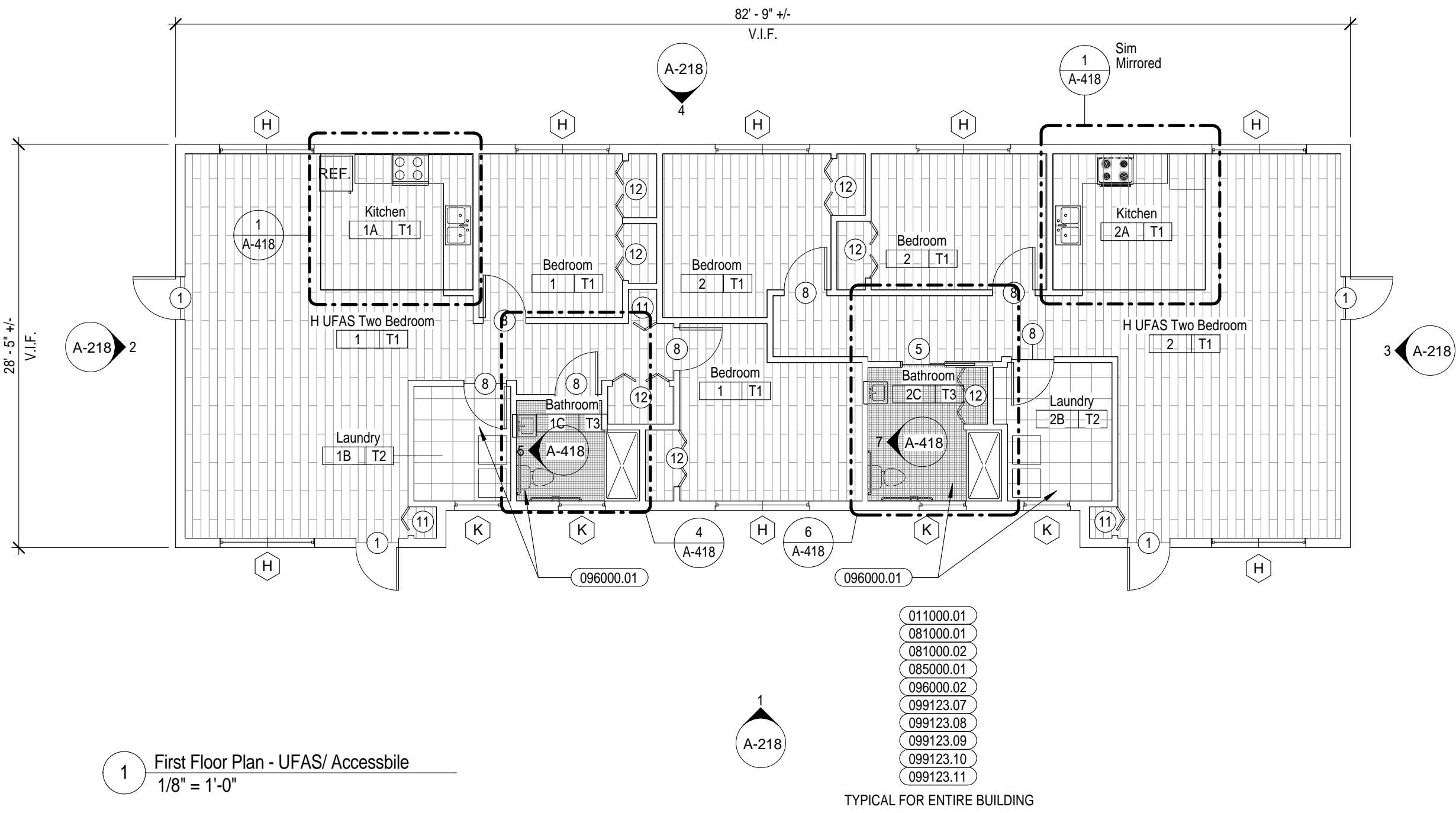
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type H UFAS/  
Accessible

R3A PROJECT # 15074B

A-118



REFERENCED NOTES	
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011000.01	NOT USED
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081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

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096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS. U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

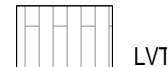
REFERENCED NOTES	
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	
T3	EXISTING CERAMIC	EX CERAMIC/PT-3	EX CERAMIC	PT-2	

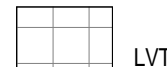
- NOTES:  
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY

- LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE



LVT

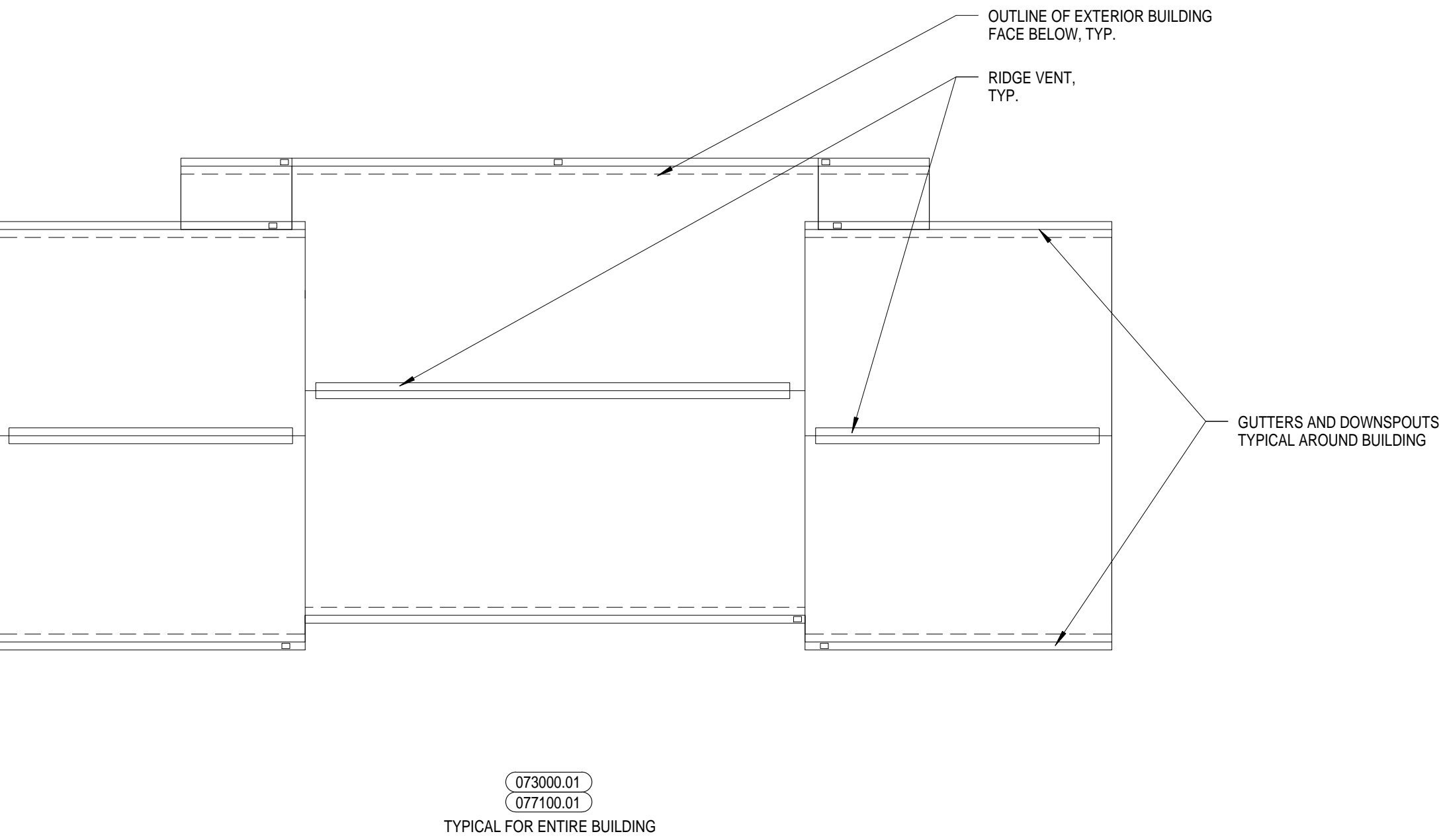
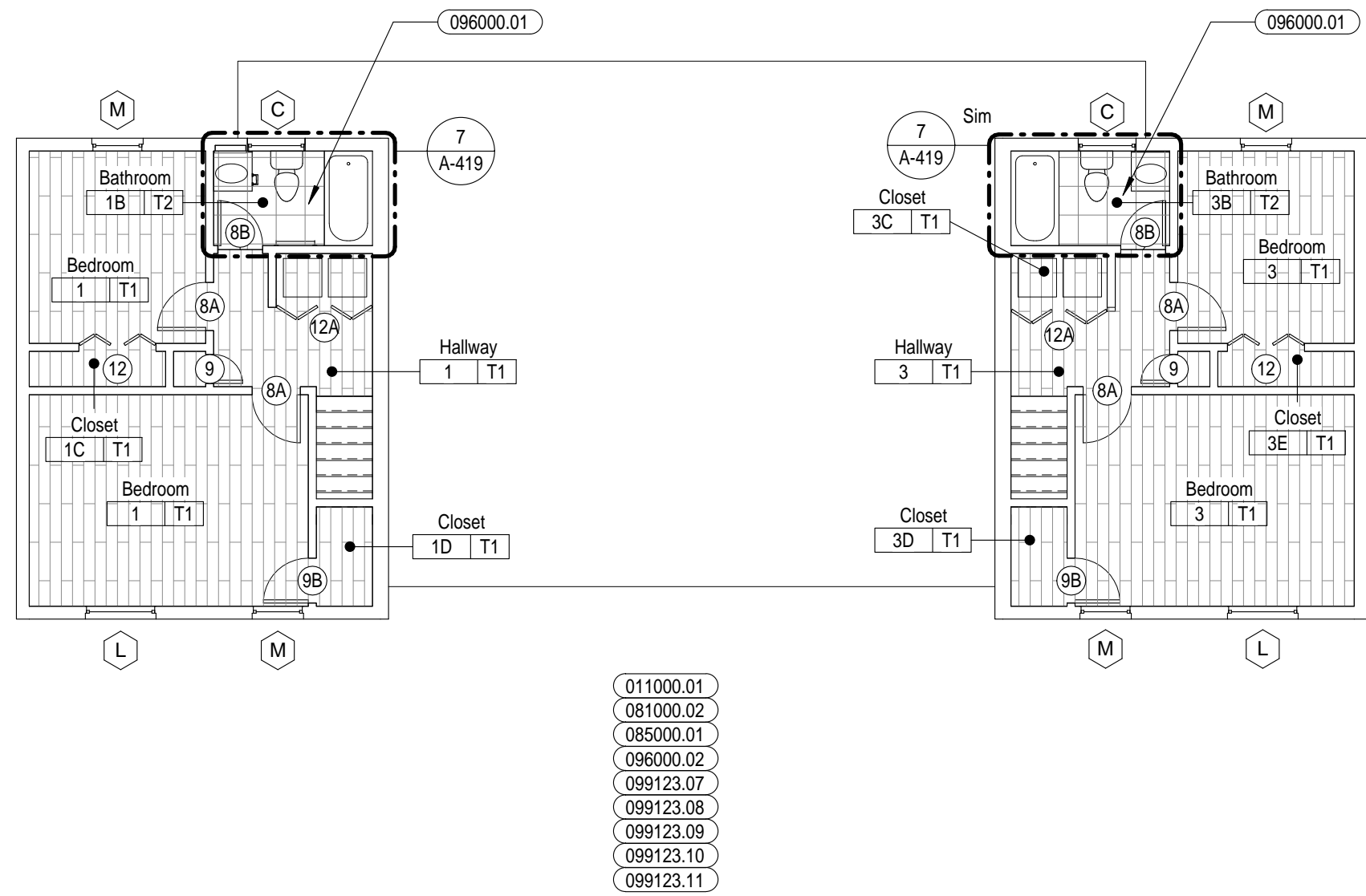
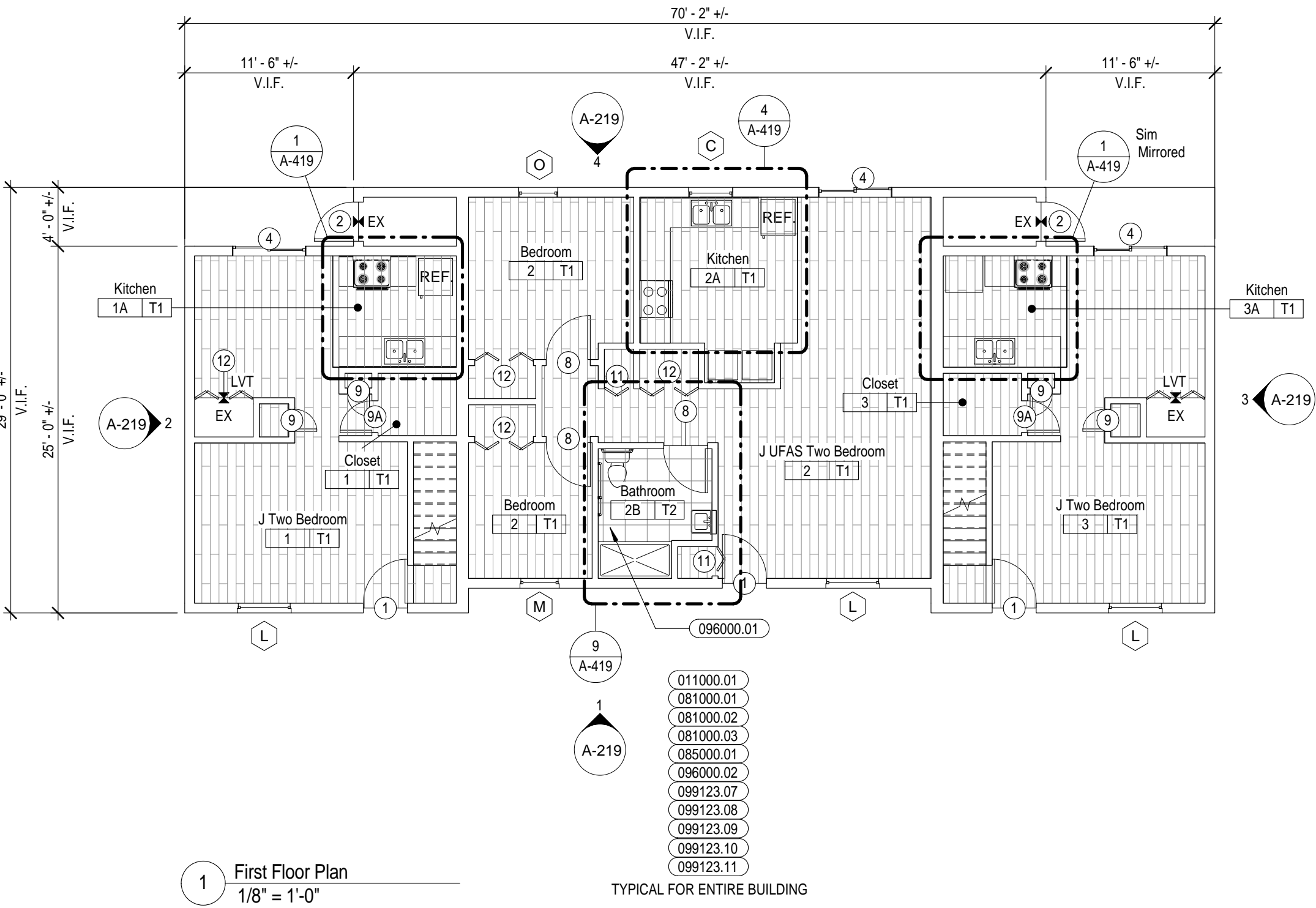


LVT



CT





REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS. U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES	
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

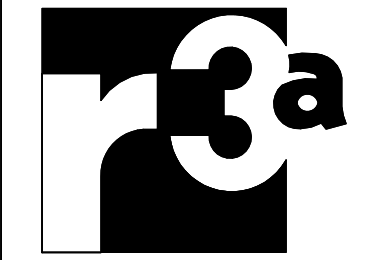
FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

- NOTES:
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY	
LVT = LUXURY VINYL TILE	
CPT = CARPET TILE	
POR = PORCELAIN TILE	
EX = EXISTING TO REMAIN	
RB = RUBBER BASE	
PT = PAINT	
CT = CERAMIC TILE	

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2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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16. NOTES 16 - 18 NOT USED.
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18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type J UFAS/  
Accessible

R3A PROJECT # 15074B

A-119

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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

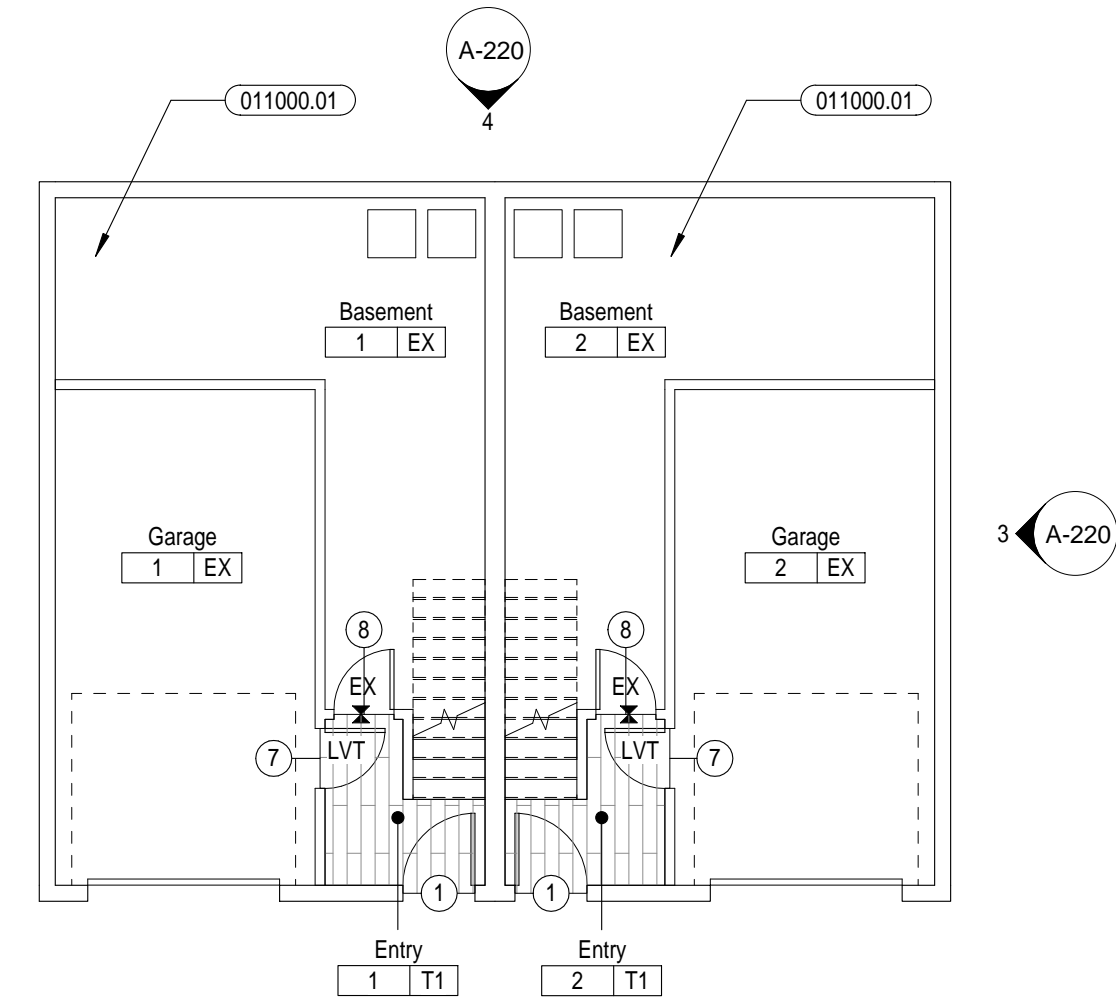
Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

Design Development

ISSUED: October 27, 2017  
REVISIONS

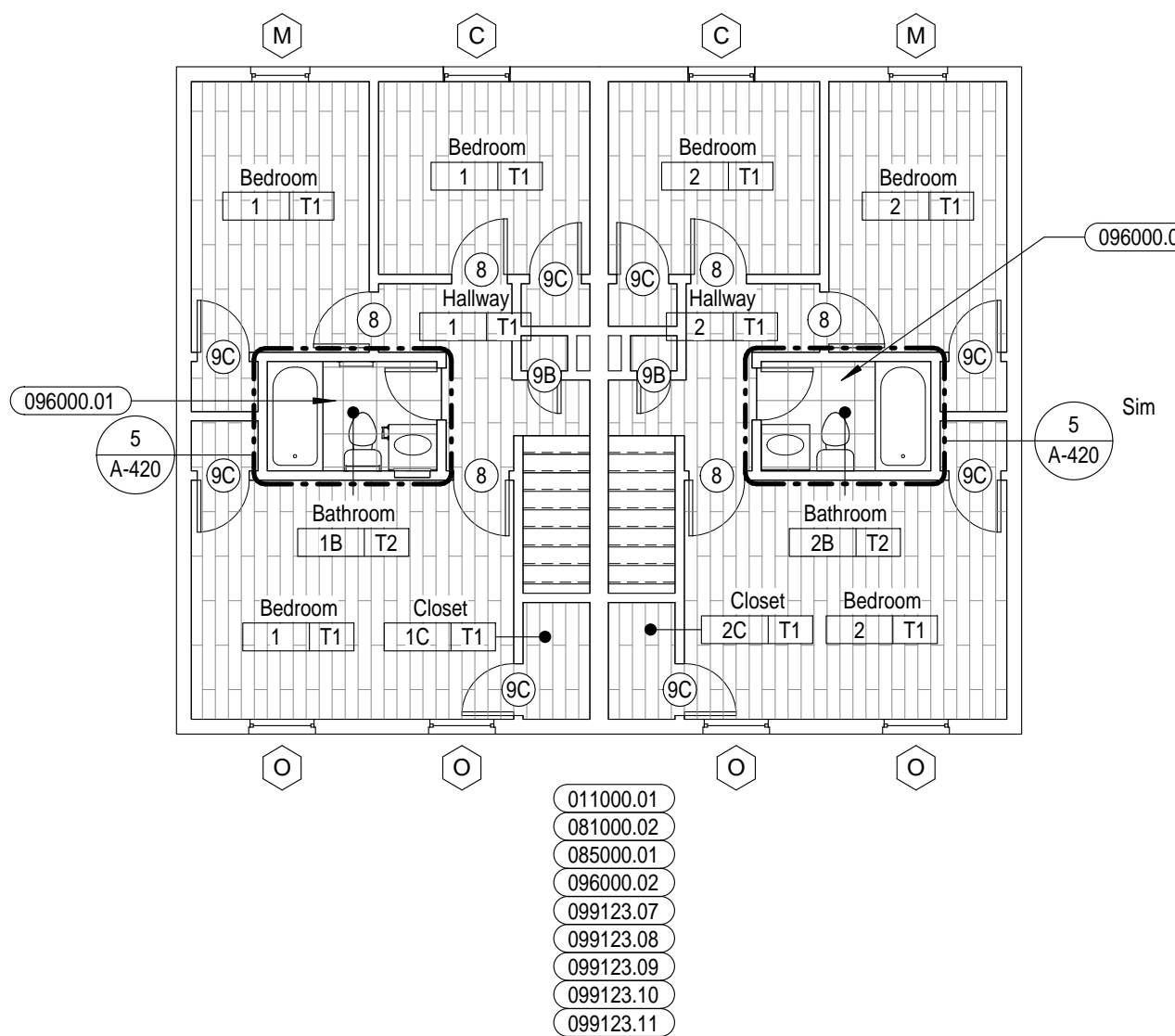
Family Community  
- Type K



011000.01  
081000.01  
081000.02  
099123.07  
099123.08  
099123.09  
099123.10  
099123.11

TYPICAL FOR ENTIRE BUILDING

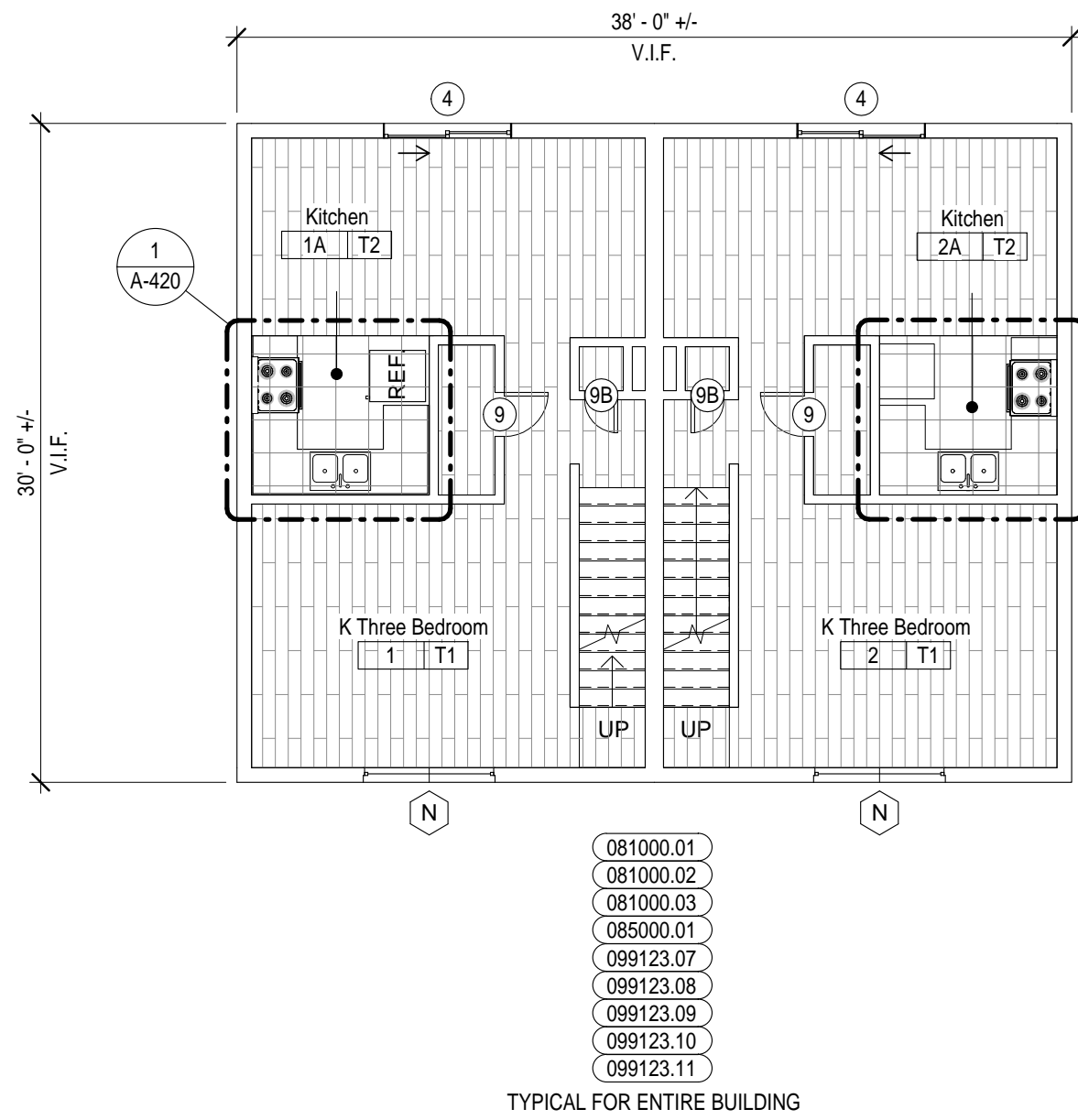
1 Basement  
1/8" = 1'-0"



011000.01  
081000.02  
085000.01  
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099123.07  
099123.08  
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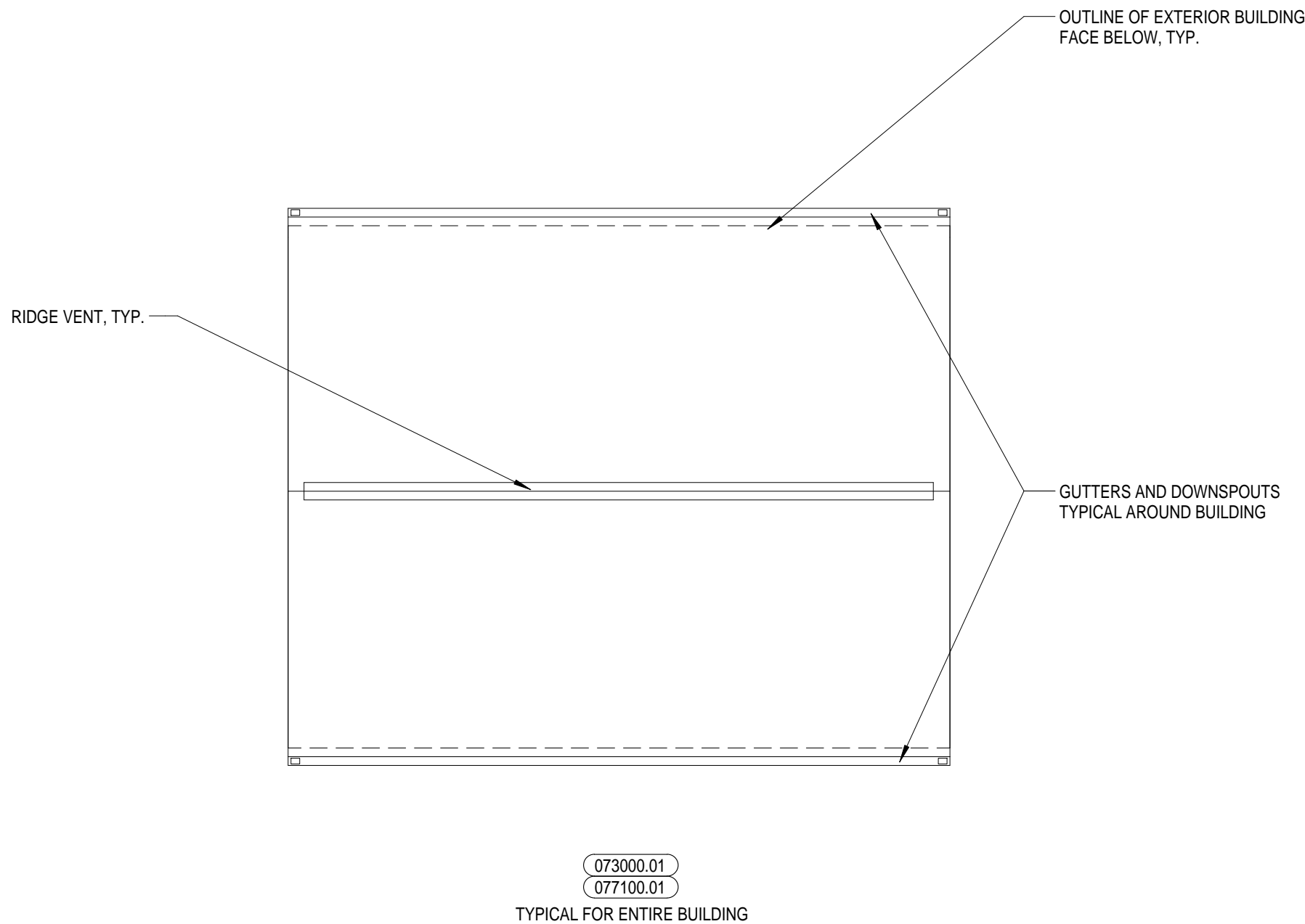
3 Second Floor Plan  
1/8" = 1'-0"



081000.01  
081000.02  
081000.03  
085000.01  
099123.07  
099123.08  
099123.09  
099123.10  
099123.11

TYPICAL FOR ENTIRE BUILDING

2 First Floor Plan  
1/8" = 1'-0"



073000.01  
077100.01

TYPICAL FOR ENTIRE BUILDING

4 Roof Plan  
1/8" = 1'-0"

### REFERENCED NOTES

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

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099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
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099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1.
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

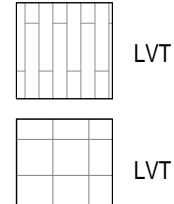
### FINISH SCHEDULE

FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

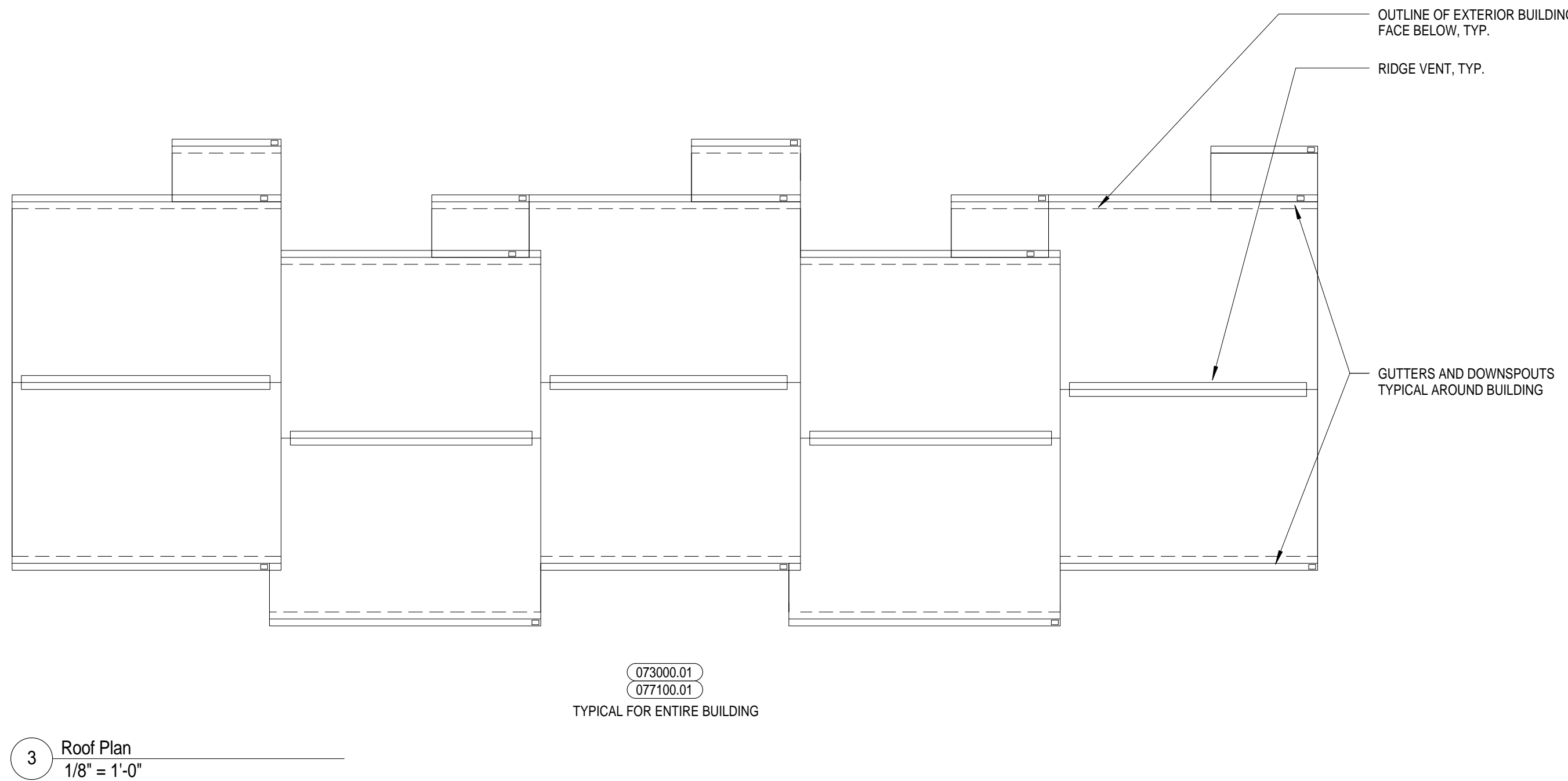
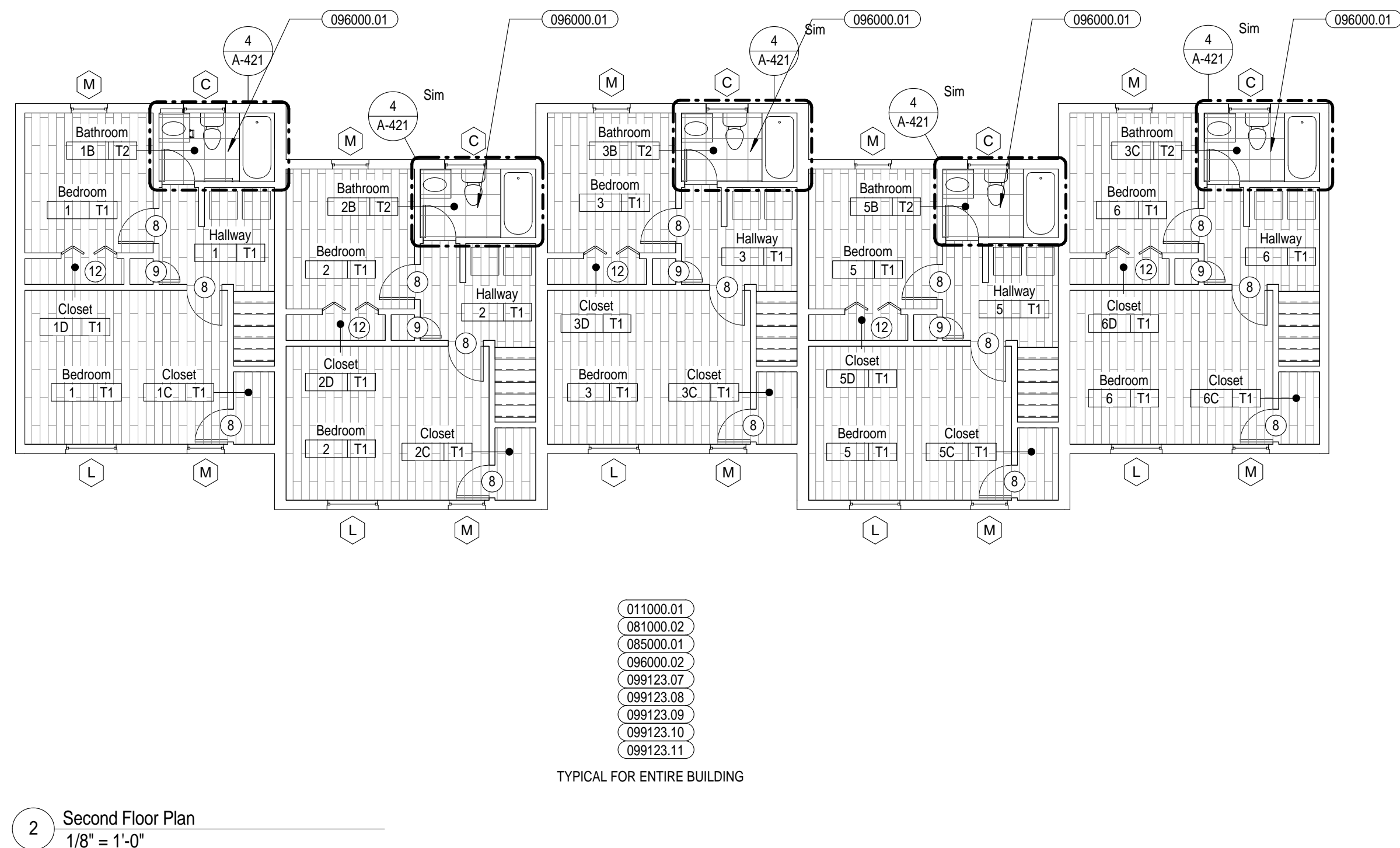
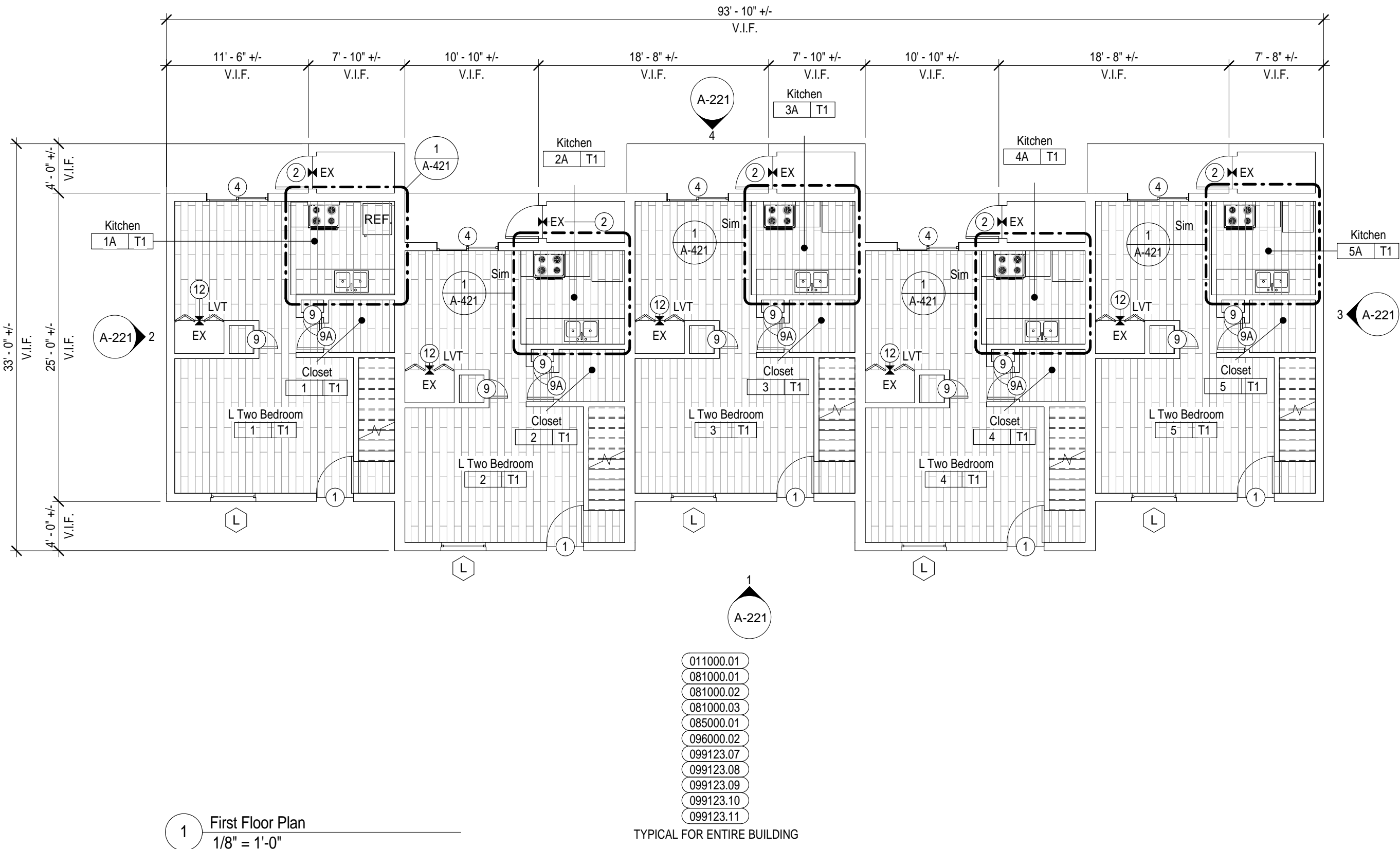
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- REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  - PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  - REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  - REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  - LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

### KEY

LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE







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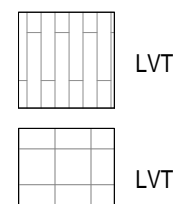
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FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

- NOTES:
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
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## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDINGS FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPL. AND LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT BATHROOMS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOCR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-100 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



Renaissance 3 Architects, P.C.

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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

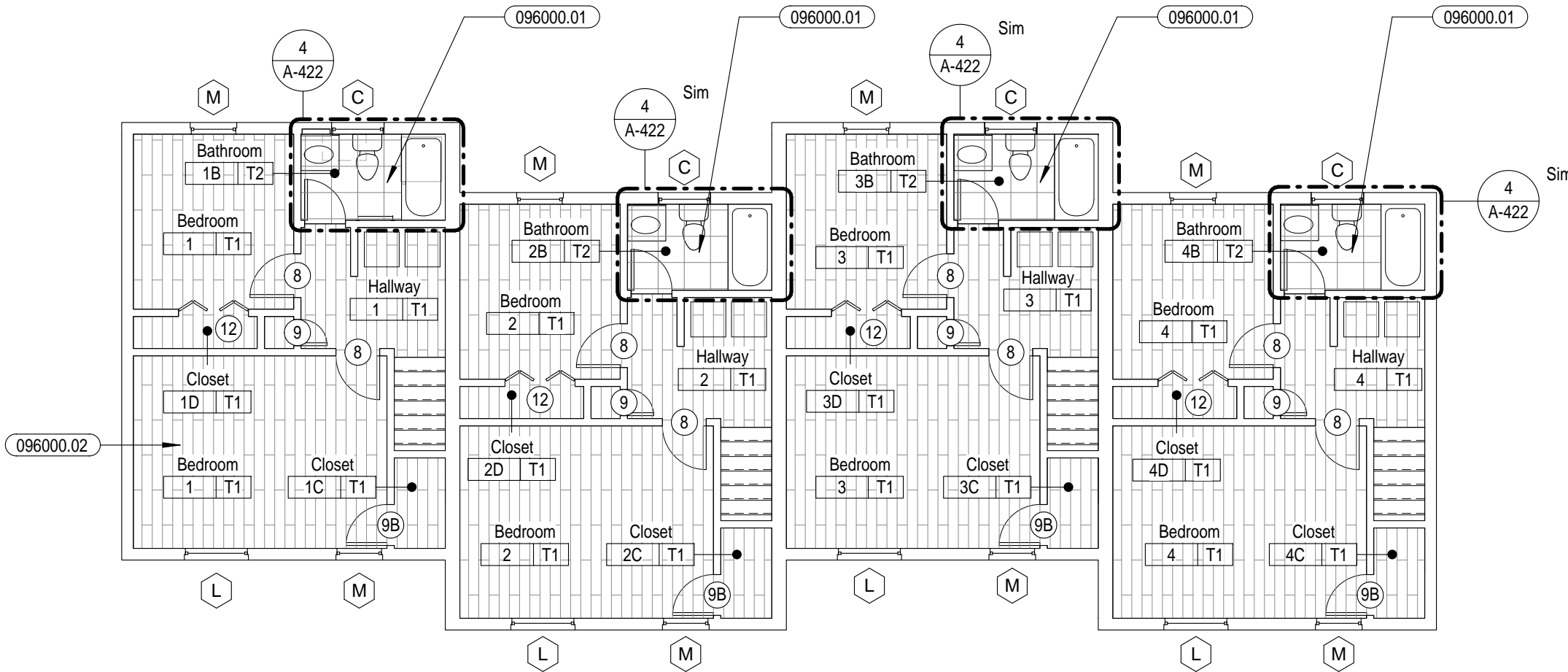
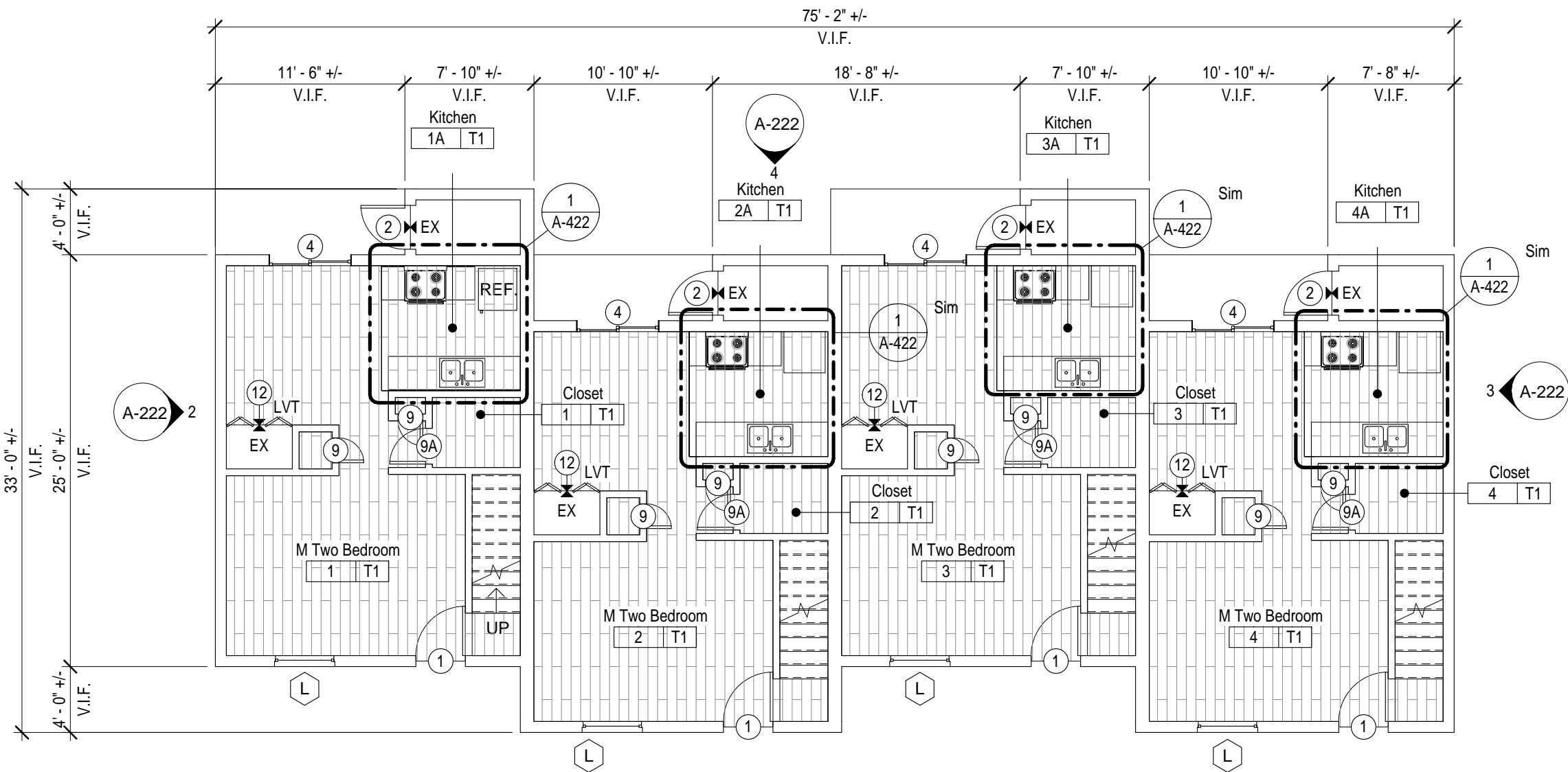
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type L

R3A PROJECT # 15074B

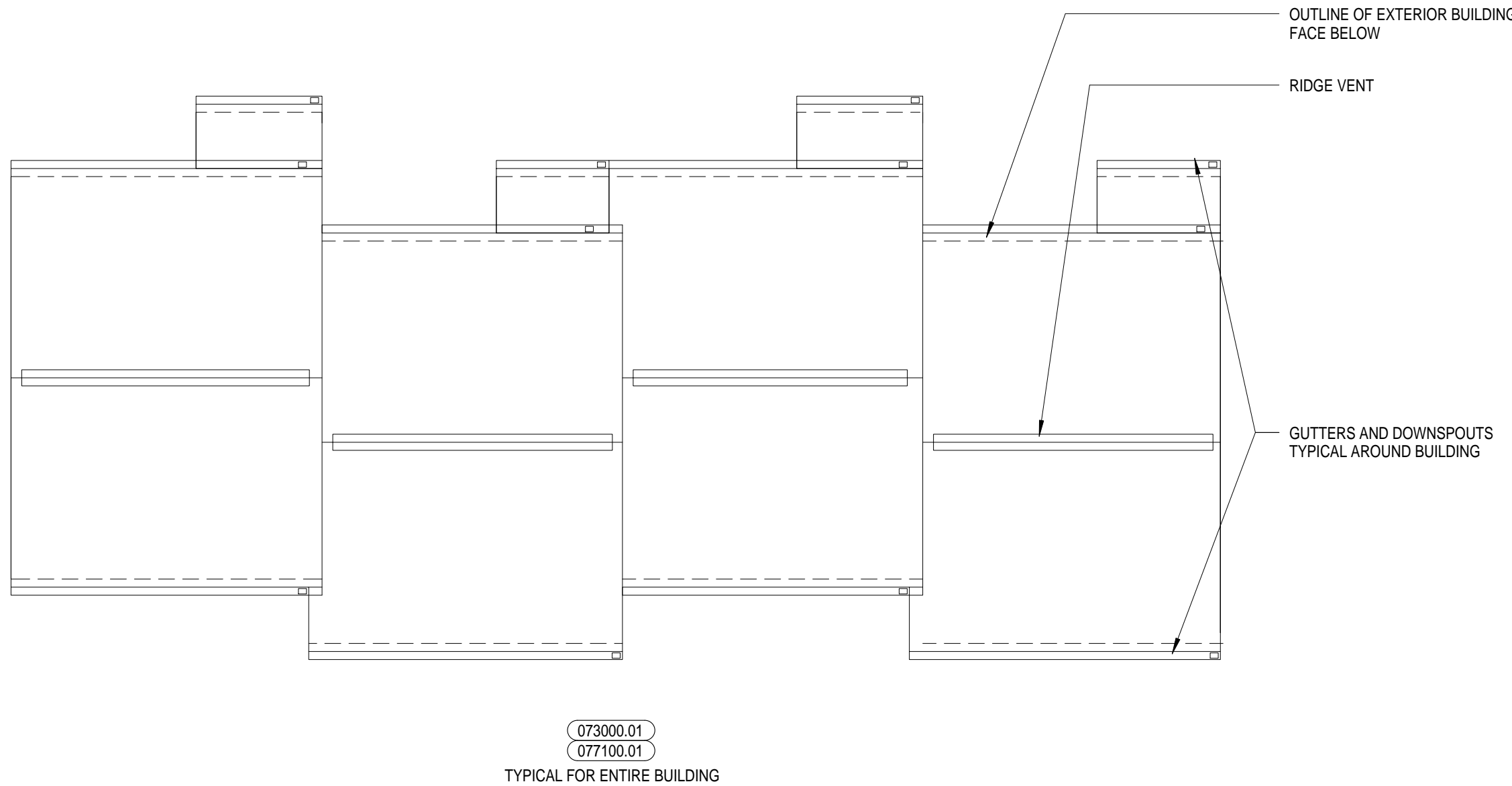
A-121



1 First Floor Plan  
1/8" = 1'-0"

2 Second Floor Plan  
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3 Roof Plan  
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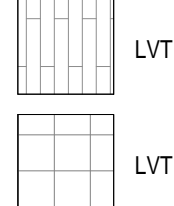
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099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PRIME DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

NOTES:  
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

#### KEY

LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE



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THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT. 6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES. 7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER. 8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL. 9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. 10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS. 11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS. 12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS. 13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS. 14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. 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NOTES 16 - 18 NOT USED. 18. NOTES 16 - 18 NOT USED. 19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY. 20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS. 21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH. 22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH- SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED- SAND, PREPARE, PRIME AND PAINT. 23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND. 24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES. 25. REFER TO SHEET A-101 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS. 26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION. 27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT. 28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES. 29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208. 30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS. 31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE. 32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O. 33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 080000 FOR SPECIFICATIONS. 34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Fax: 412-431-2670  
www.r3a.com

Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type M

R3A PROJECT # 15074B

A-122





1 Front Elevation  
1/8" = 1'-0"

NOTES:  
1. REFER TO DRAWING A-401 FOR WINDOW TYPES.  
2. THROUGH WALL AIR CONDITIONING UNITS NOT SHOWN. REFER TO HVAC DRAWINGS

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS COMPLIANT WINDOW HARDWARE AT UFAS UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
099123.01	REMOVE AND SALVAGE RAILING. SCRAPE DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.02	PATCH AND PAINT EXISTING BUILDING. LOCATION TO BE VERIFIED IN FIELD. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

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22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
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24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Bernice Crawley  
High Rise -  
Exterior  
Elevations

R3A PROJECT # 15074B

A-201



1 Rear Elevation  
1/8" = 1'-0"

- NOTES:
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085000.01  
099123.01  
TYPICAL THIS ENTIRE  
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4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
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25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM LINENO.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Bernice Crawley  
High Rise -  
Exterior  
Elevations

R3A PROJECT # 15074B

A-202





1 Front Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



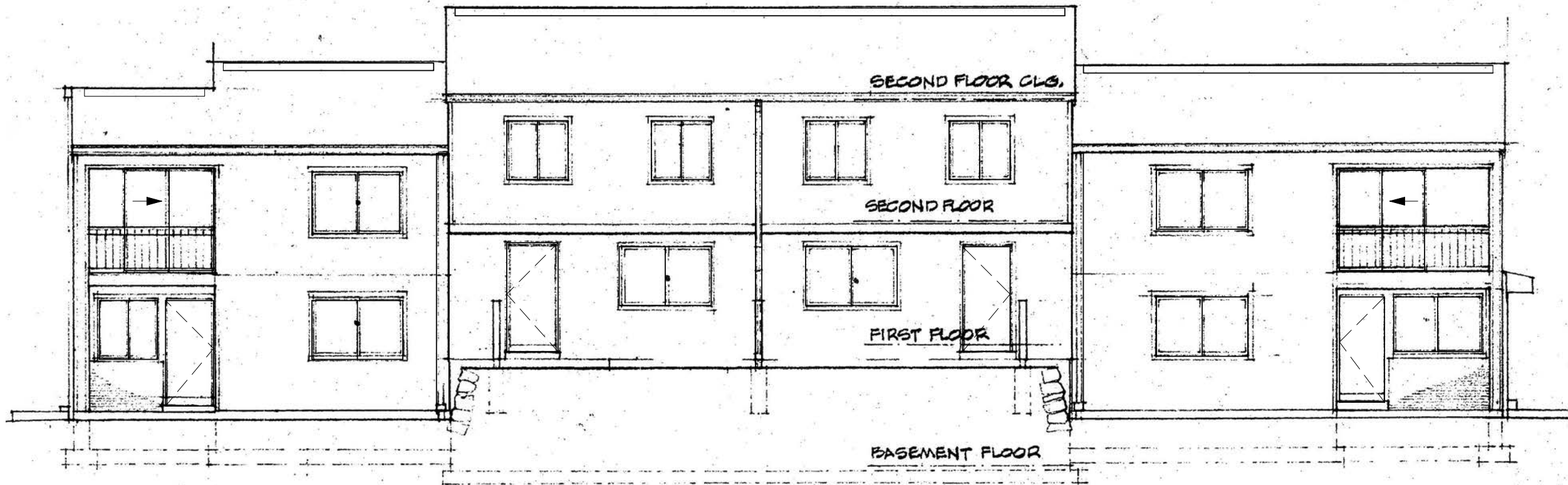
2 Left Side Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



3 Right Side Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



4 Rear Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

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18. NOTES 16 - 18 NOT USED.

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24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

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32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-100-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 080000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
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CONSULTANT:

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Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type A Exterior  
Elevations

R3A PROJECT # 15074B

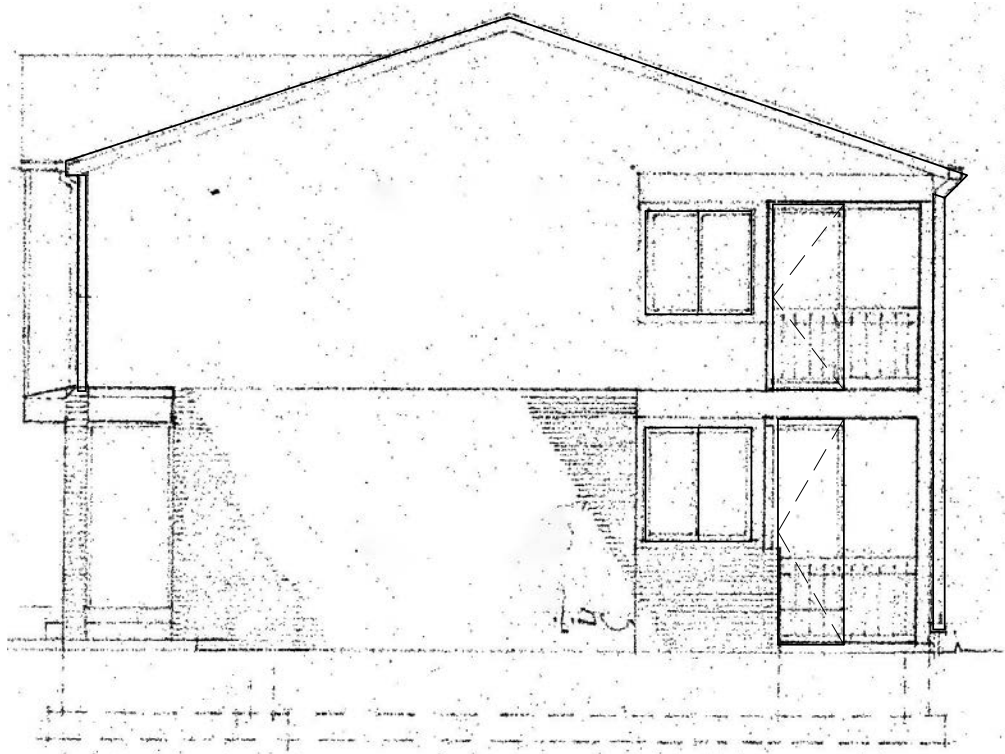
A-211





011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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REFERENCED NOTES	
MARK	DESCRIPTION
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2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL, GENERAL AND REFERENCED CONSTRUCTION NOTES.

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CC-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type B Exterior  
Elevations

R3A PROJECT # 15074B

A-212





011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01

TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL, DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING EBCOB, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS, UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY TO THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #028.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 080000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALJANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type C Exterior  
Elevations

R3A PROJECT # 15074B

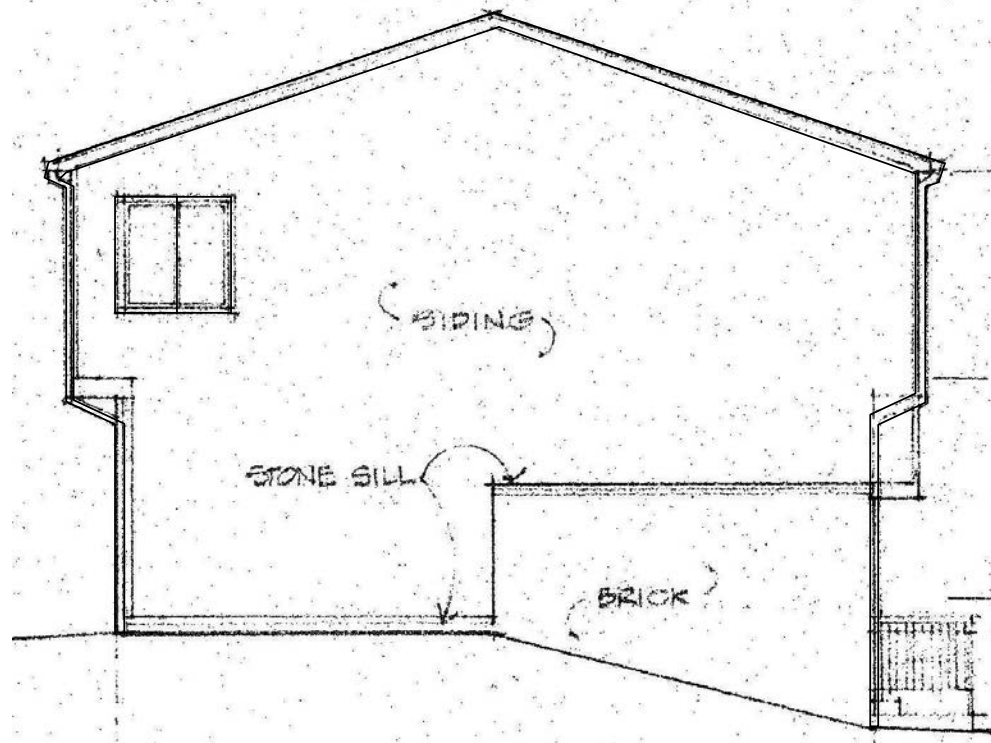
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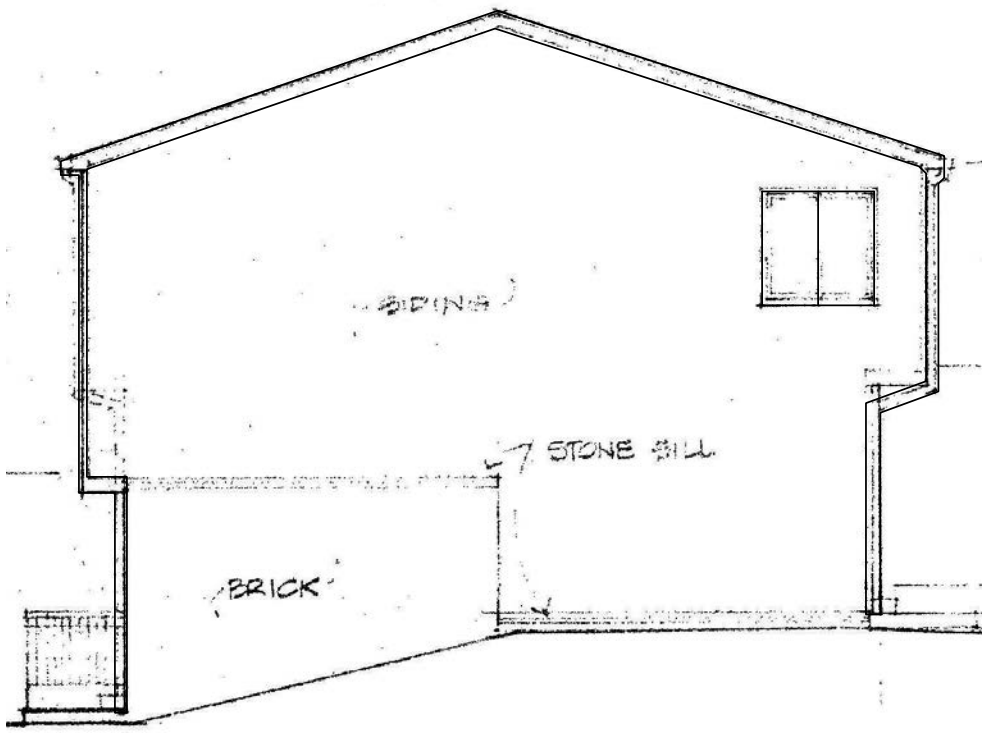
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077100.01  
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085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



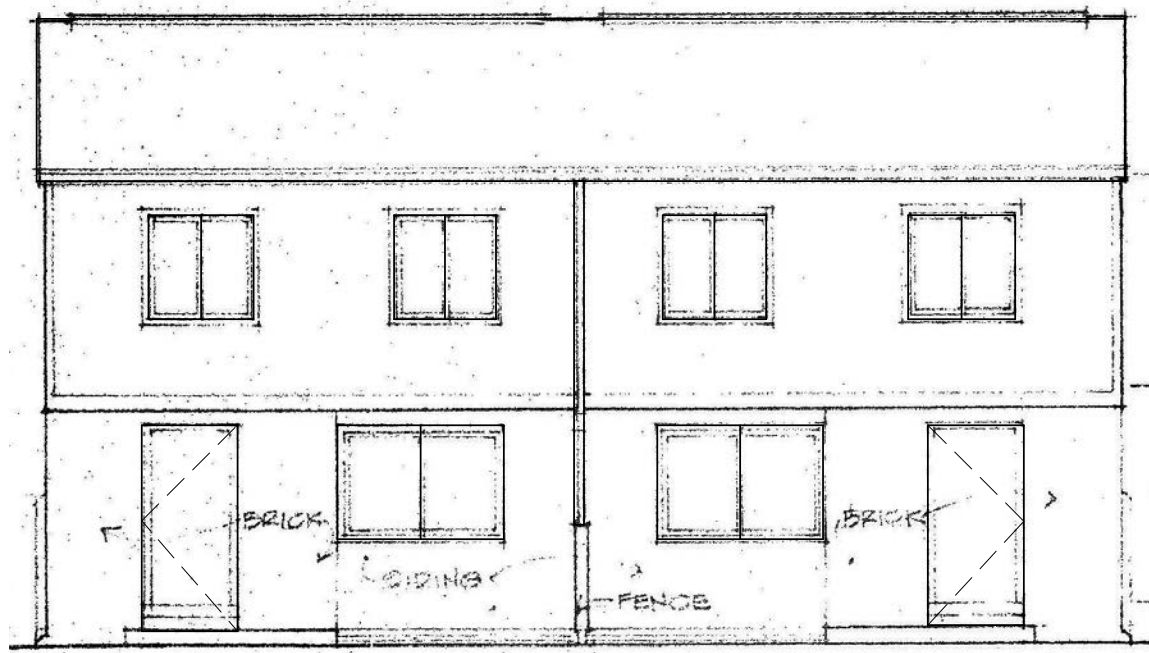
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077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
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31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/C3-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

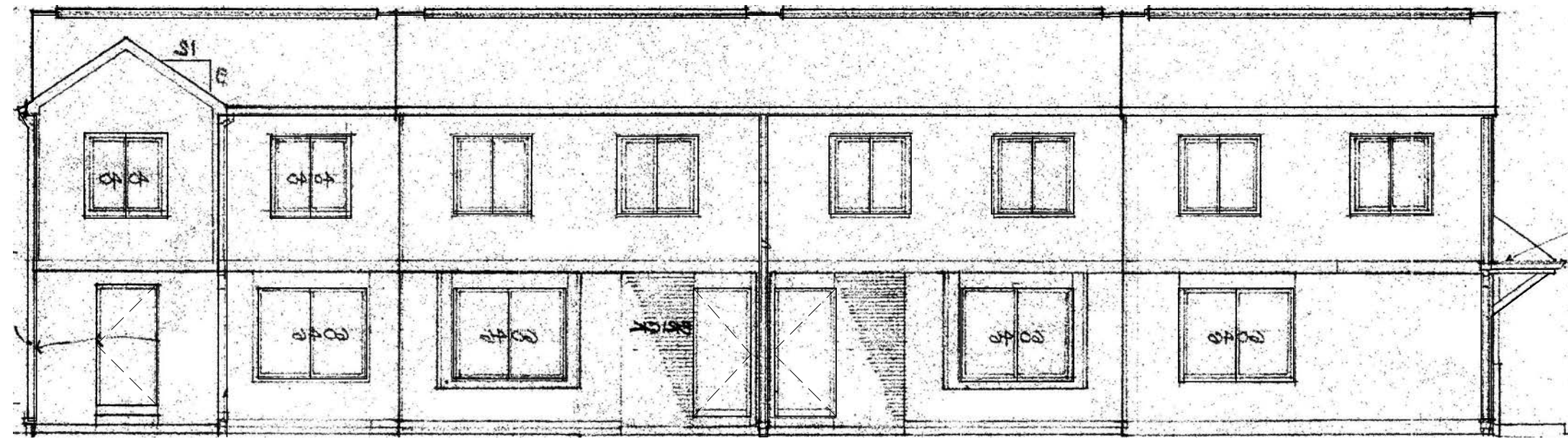
REVISIONS

Family Community  
- Type D Exterior  
Elevations

R3A PROJECT # 15074B

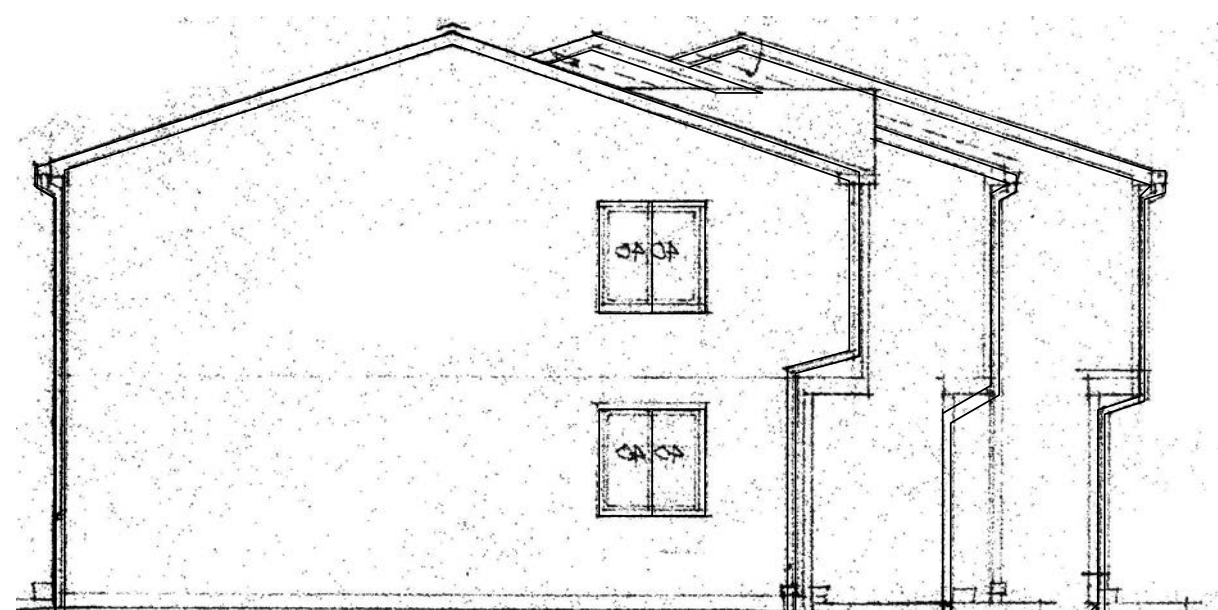
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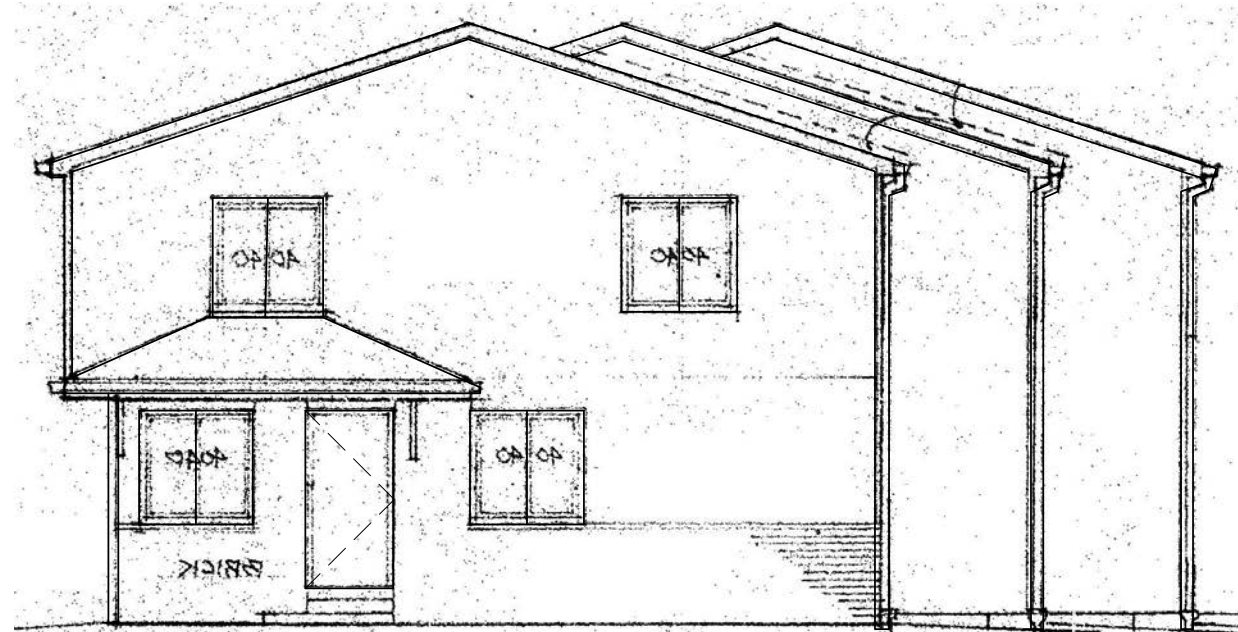
1 Front Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



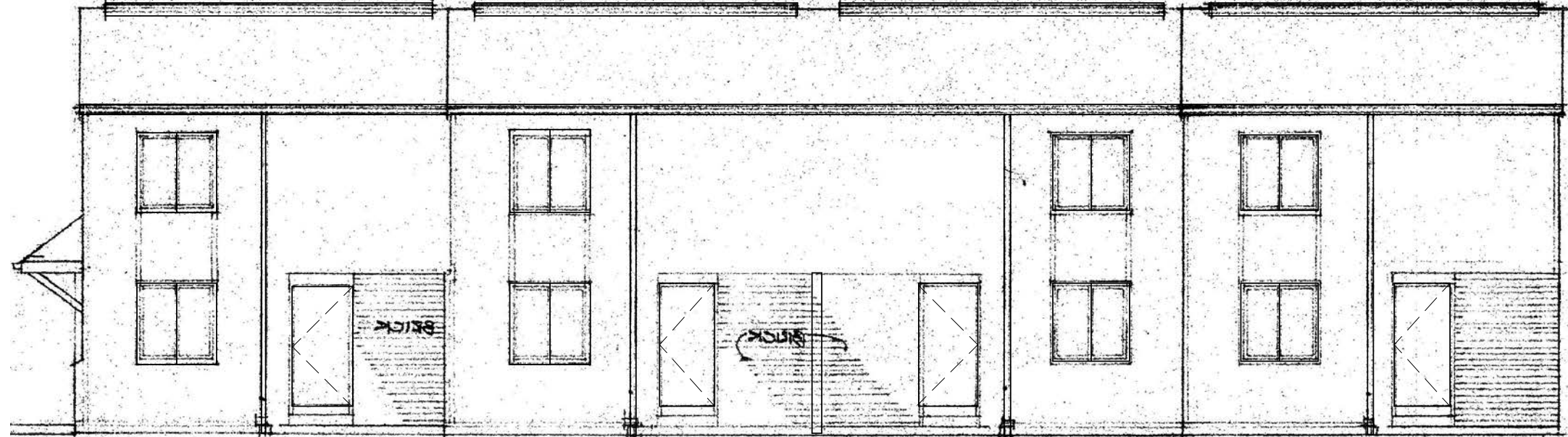
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081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



3 Right Side Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



4 Rear Elevation  
NOT TO SCALE

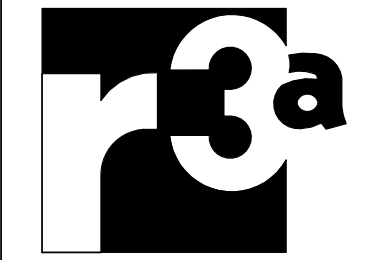
011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
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21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
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23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
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28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
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33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-VIC-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 085000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Fax: 412-431-2670  
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type E Exterior  
Elevations

R3A PROJECT # 15074B

A-215





- 011000.01
- 073000.01
- 077100.01
- 081000.01
- 085000.01
- TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



- 011000.01
- 073000.01
- 077100.01
- 081000.01
- 085000.01
- TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



- 011000.01
- 073000.01
- 077100.01
- 081000.01
- 085000.01
- TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



- 011000.01
- 073000.01
- 077100.01
- 081000.01
- 081000.03
- 085000.01
- TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CIBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGH-RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS, BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/C-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type F UFAS/  
Accessible  
Exterior  
Elevations

R3A PROJECT # 15074B

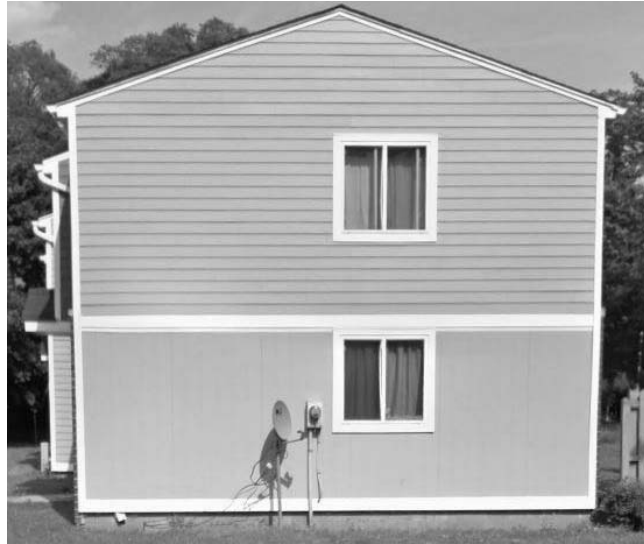
A-216





011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.

9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.

16. NOTES 16 - 18 NOT USED.

17. NOTES 16 - 18 NOT USED.

18. NOTES 16 - 18 NOT USED.

19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.

20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.

21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.

22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.

23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.

24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.

25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.

26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.

27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.

28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.

29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.

30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.

31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C. S SCHEDULE.

32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.

33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CC-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.

34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type G Exterior  
Elevations

R3A PROJECT # 15074B

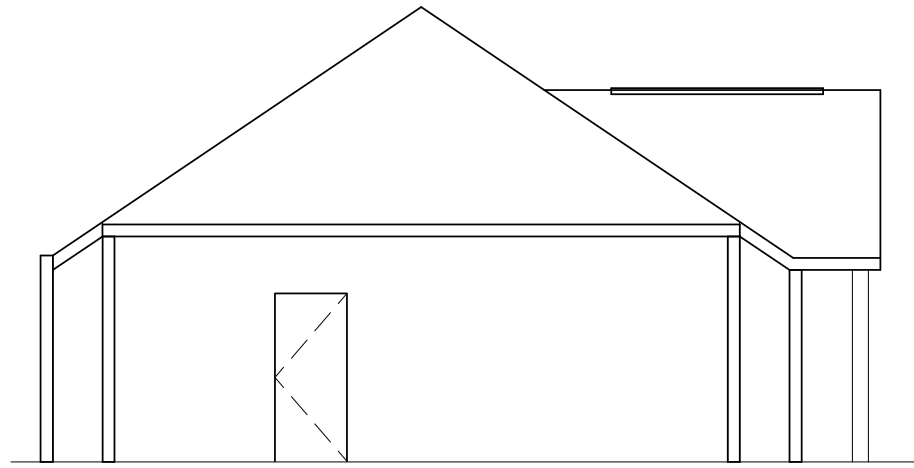
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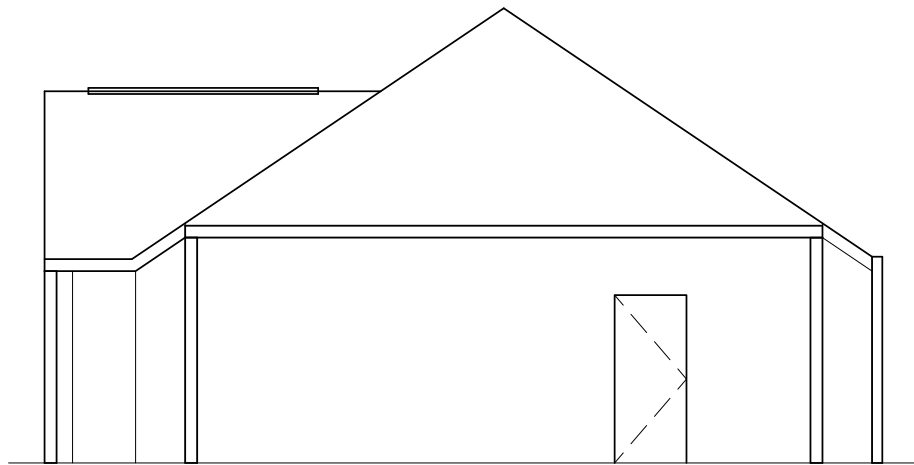
011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



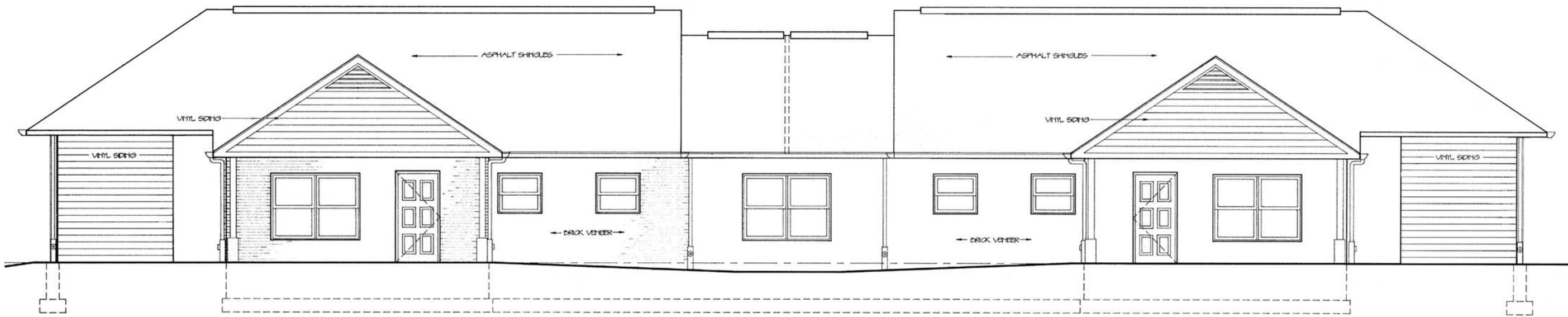
011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
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- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
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- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



Renaissance 3 Architects, P.C.

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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type H  
UFAS/Accessible  
Exterior  
Elevations

R3A PROJECT # 15074B

A-218





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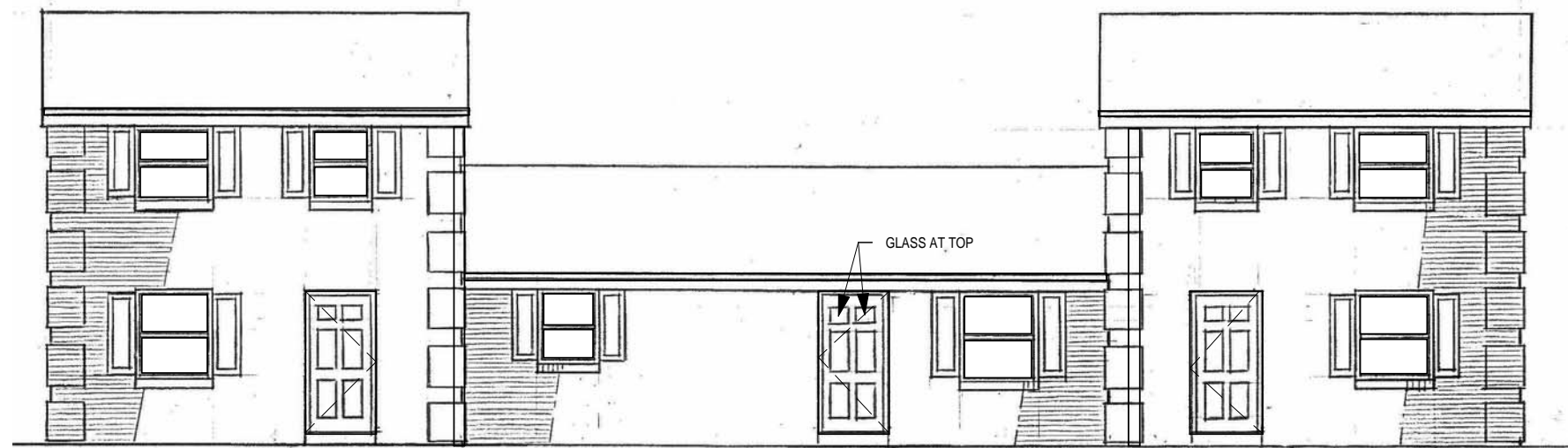
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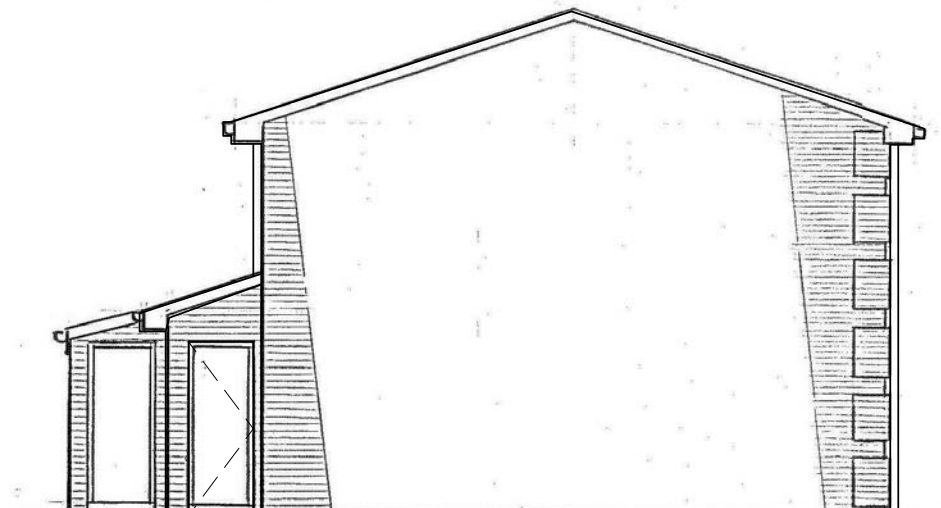
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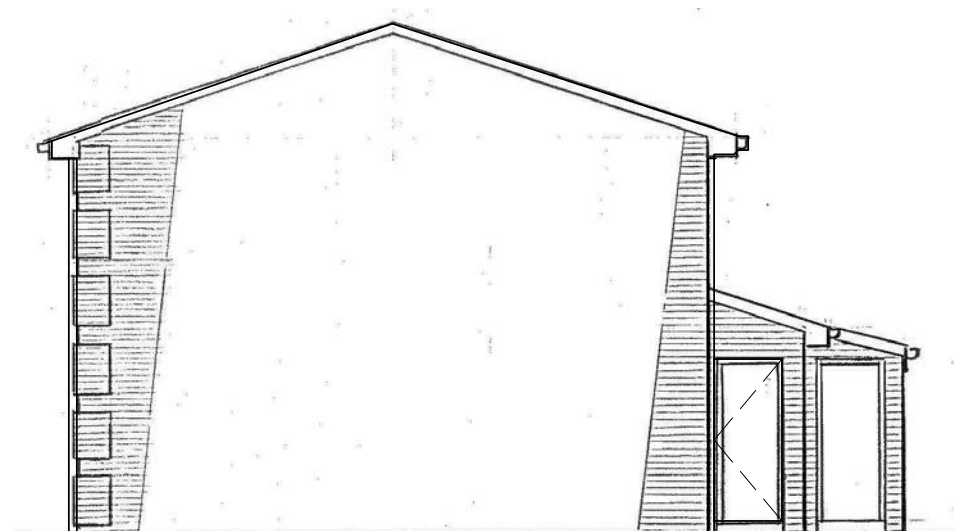
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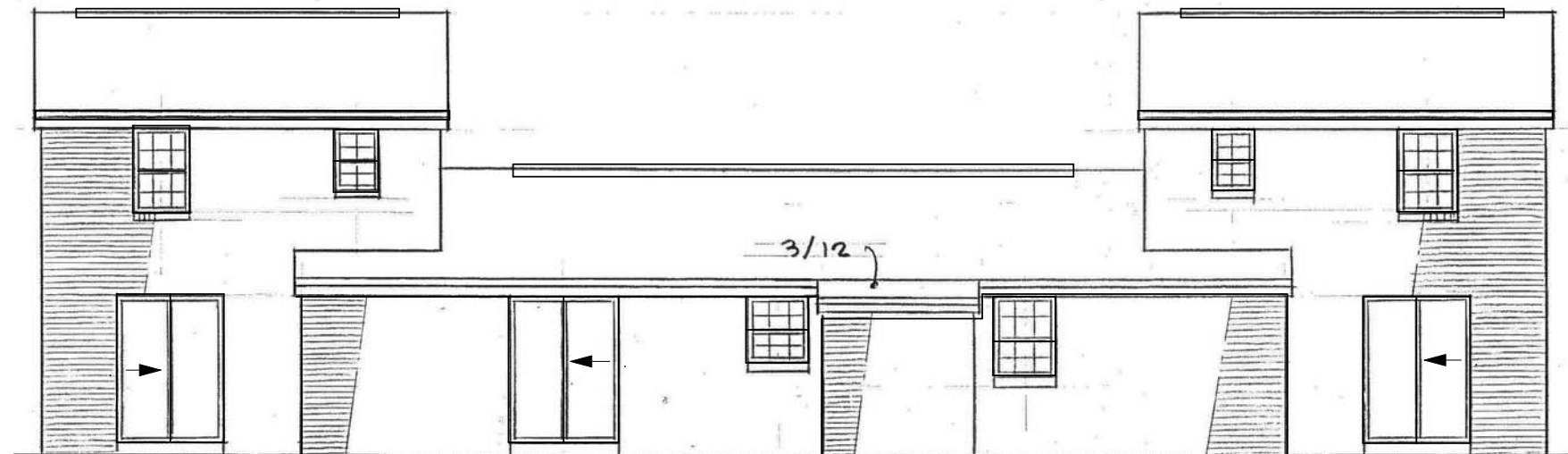
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2 Left Side Elevation  
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081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

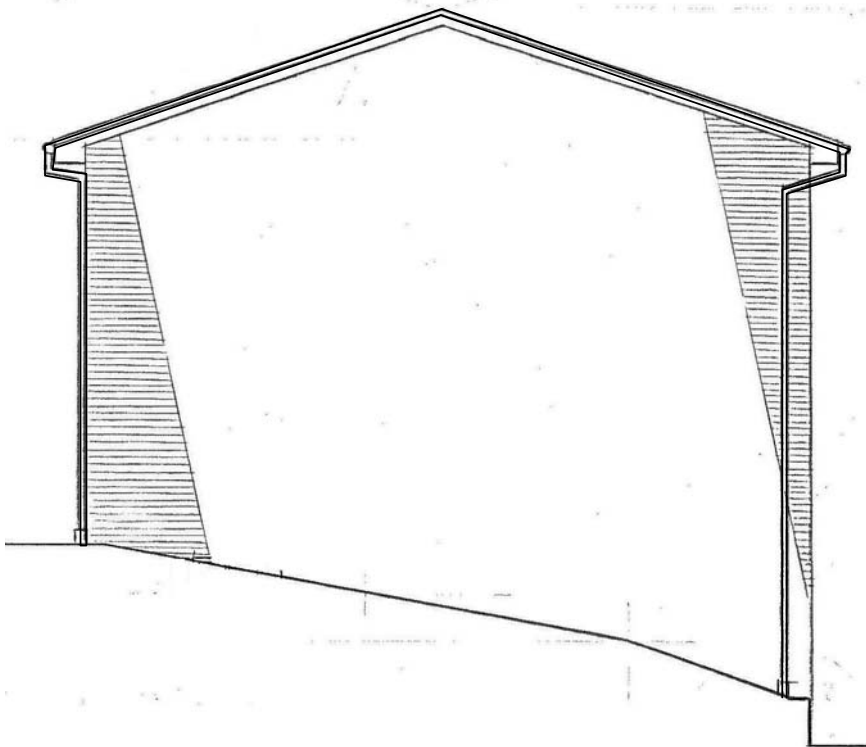
### REFERENCED NOTES

MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING. .



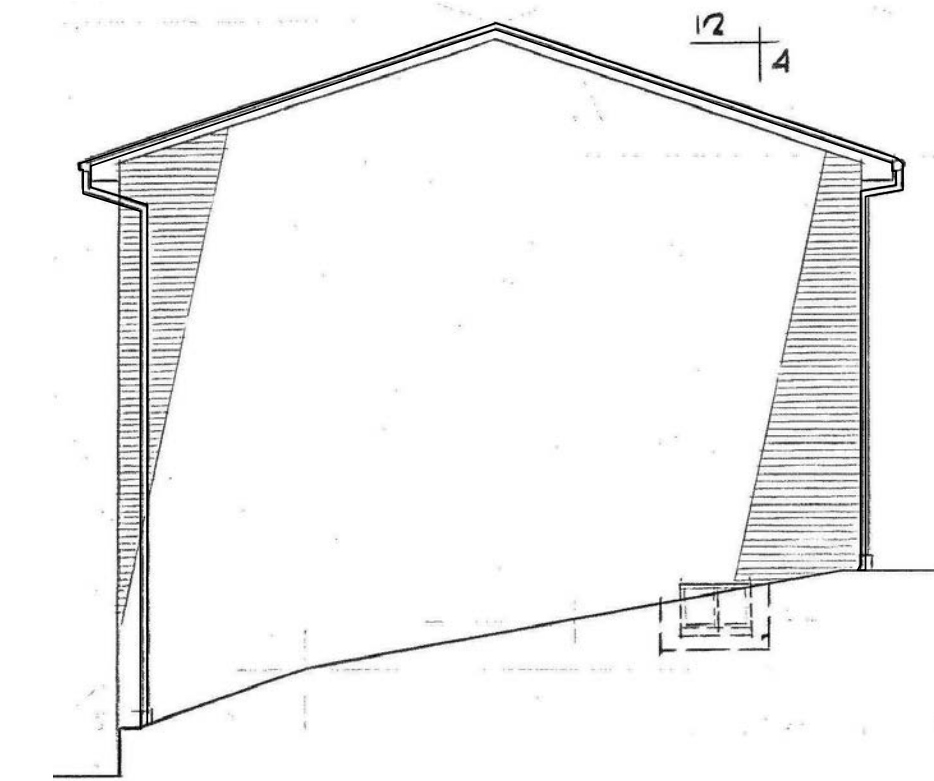
011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



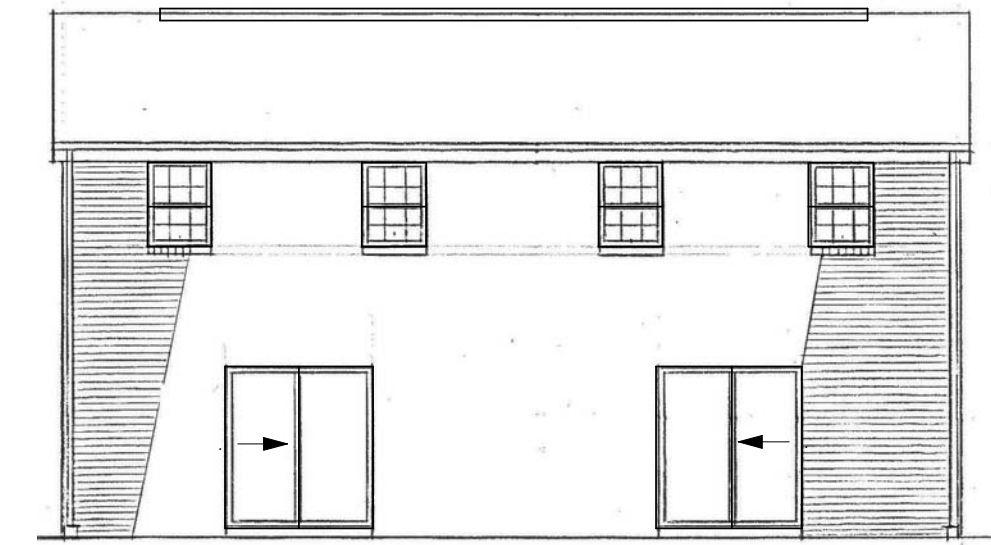
011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
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MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 080000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



Renaissance 3 Architects, P.C.

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Pittsburgh, PA 15203  
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Fax: 412-431-2670  
www.r3a.com

Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

Design Development

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type K Exterior  
Elevations

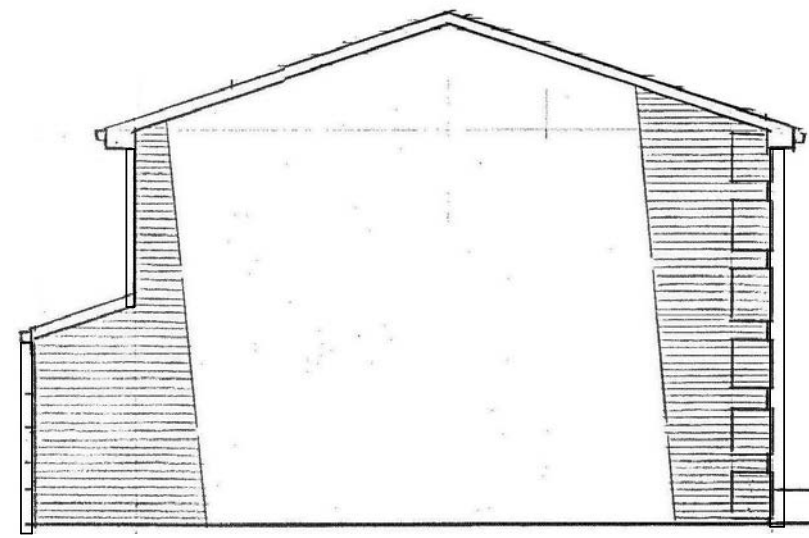
R3A PROJECT # 15074B

A-220

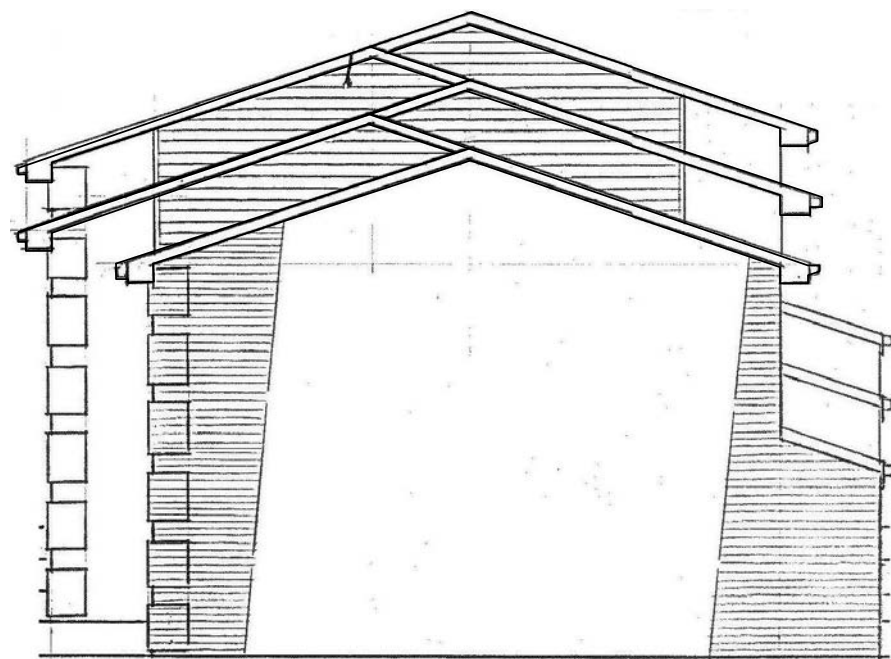




1 Front Elevation  
NOT TO SCALE



2 Left Side Elevation  
NOT TO SCALE



3 Right Side Elevation  
NOT TO SCALE



4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
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- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
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- REFER TO KEVED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
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- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BGR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CG-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type L Exterior  
Elevations

R3A PROJECT # 15074B

A-221

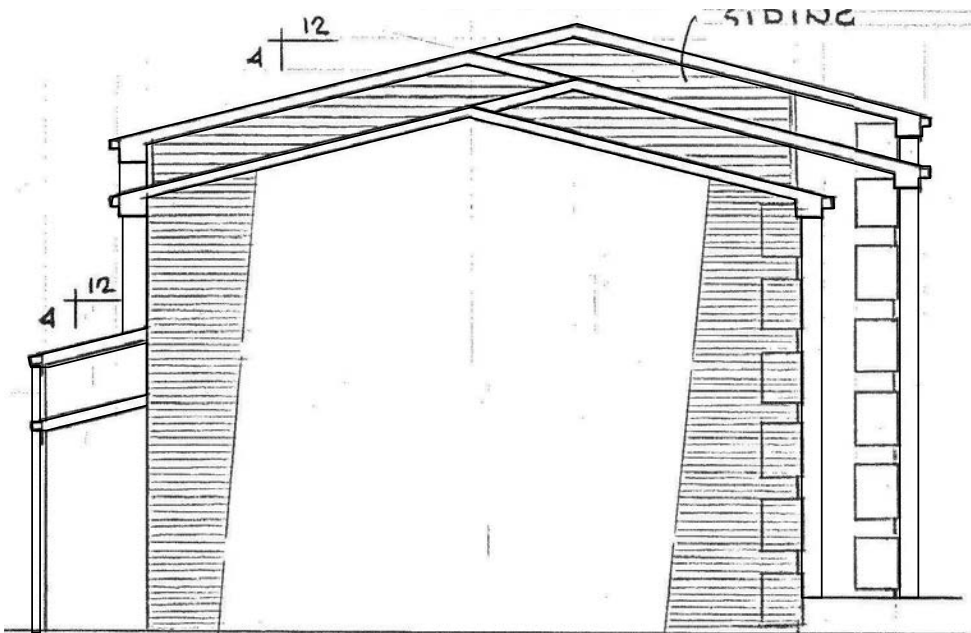




011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

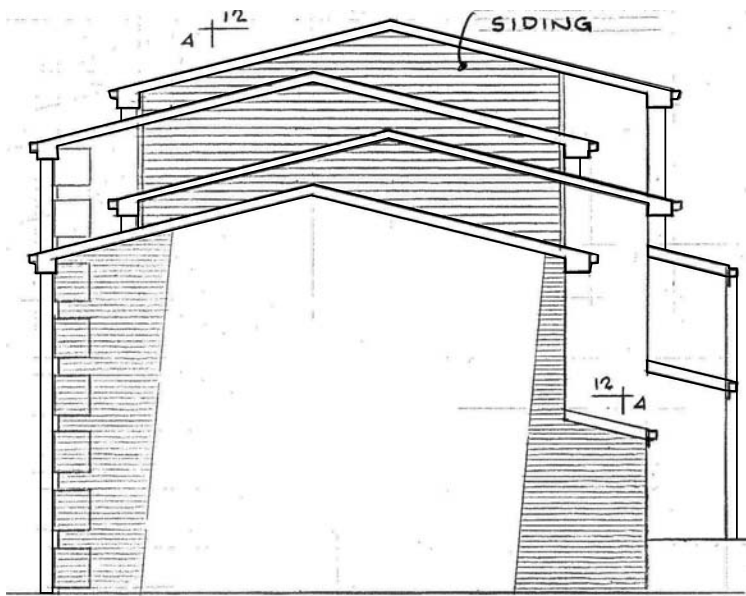
1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHINGS AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES, MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL, GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C. S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR WP-1/CC-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

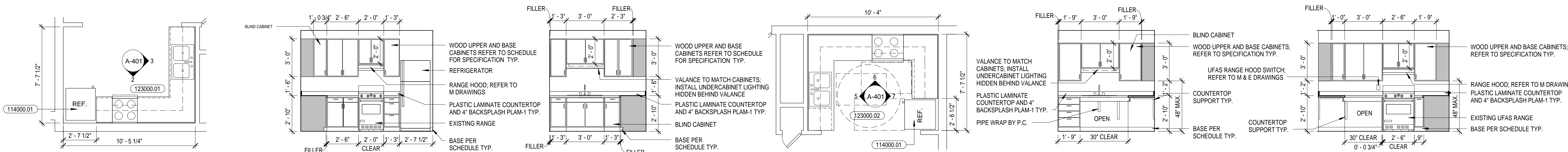
REVISIONS

Family Community  
- Type M Exterior  
Elevations

R3A PROJECT # 15074B

A-222





1 Large One Bedroom Enlarged Kitchen Plan  
1/4" = 1'-0"

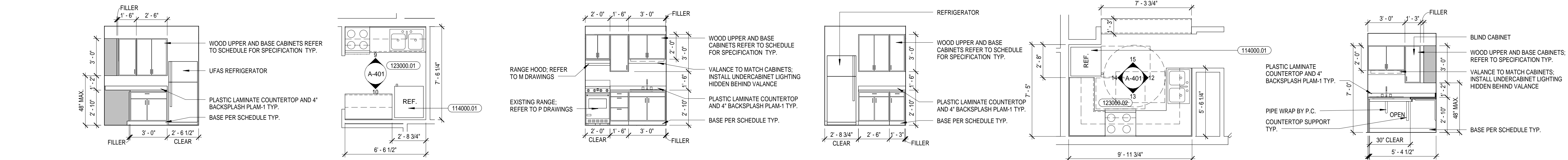
2 Elevation - Large One Bedroom  
1/4" = 1'-0"

3 Elevation - Large One Bedroom  
1/4" = 1'-0"

4 UFAS One Bedroom Enlarged Plan  
1/4" = 1'-0"

5 UFAS/ Accessible Elevation - One Bedroom  
1/4" = 1'-0"

6 UFAS/ Accessible Elevation -One Bedroom  
1/4" = 1'-0"



7 UFAS/ Accessible Elevation - One Bedroom  
1/4" = 1'-0"

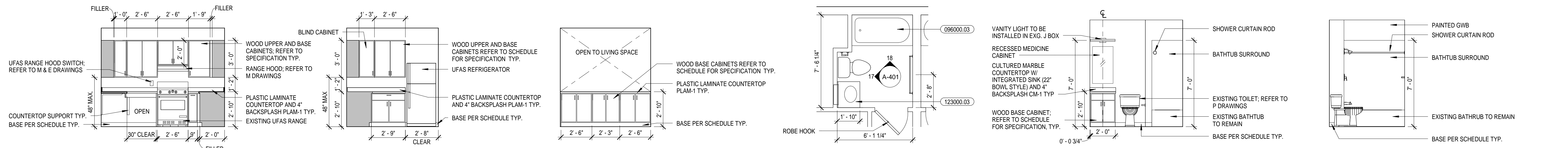
8 Small One Bedroom Enlarged Plan  
1/4" = 1'-0"

9 Elevation - Small One Bedroom  
1/4" = 1'-0"

10 Elevation - Small One Bedroom  
1/4" = 1'-0"

11 UFAS/ Accessible Two Bedroom Enlarged Plan  
1/4" = 1'-0"

12 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"



13 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"

14 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"

15 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"

16 Small One Bedroom Enlarged Plan  
1/4" = 1'-0"

17 Elevation - Small One Bedroom  
1/4" = 1'-0"

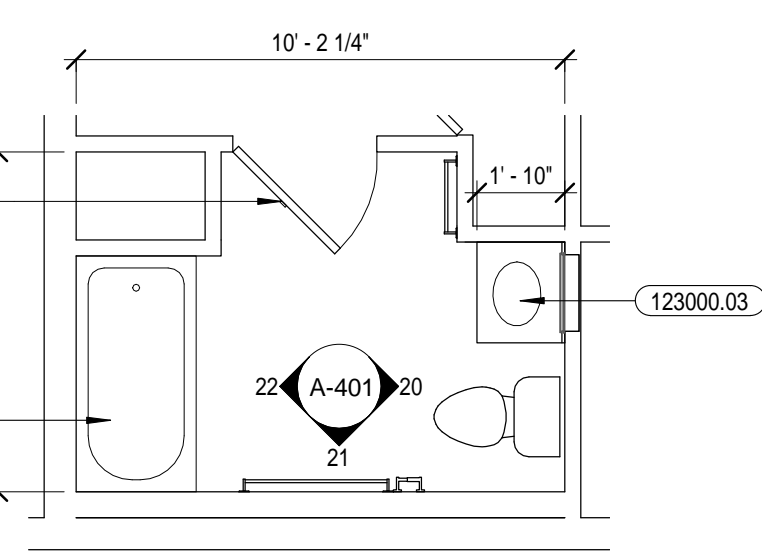
18 Elevation- Small One Bedroom  
1/4" = 1'-0"

### GENERAL NOTES

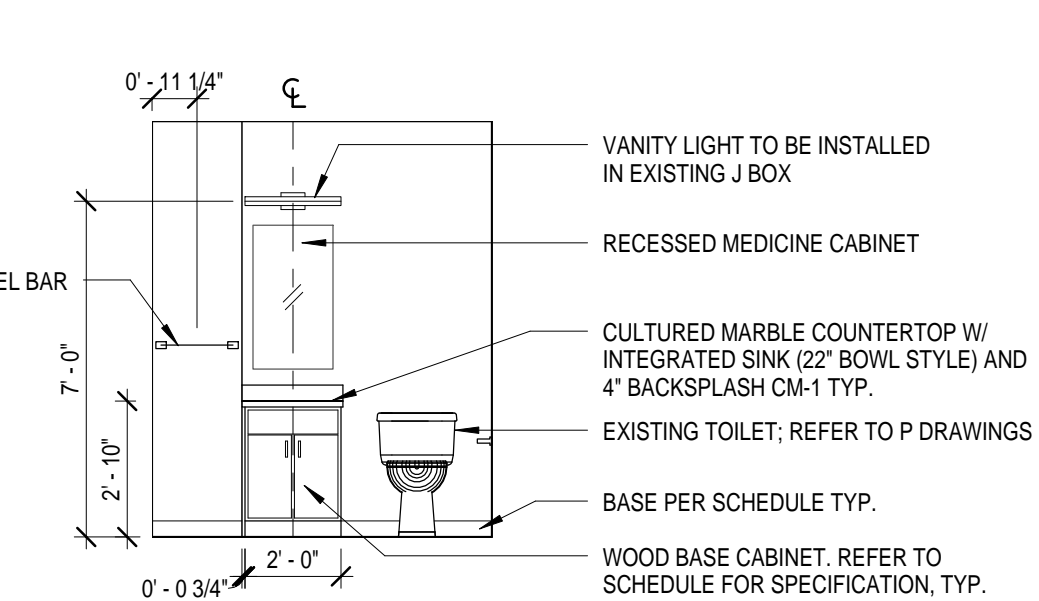
1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNIT BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM/VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

### REFERENCED NOTES

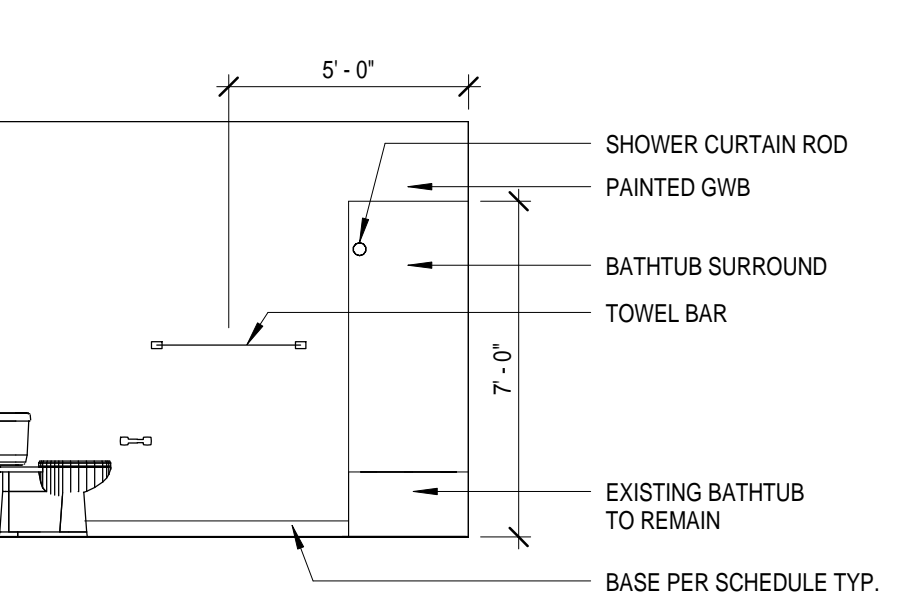
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL UFAS/ACCESSIBLE KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
123000.02	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL UFAS/ACCESSIBLE KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK. FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.



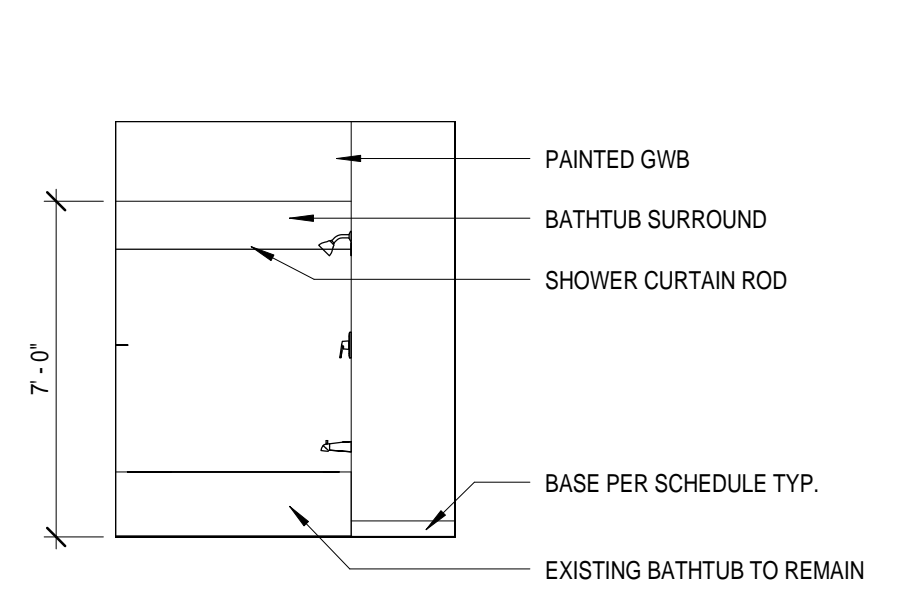
19 Large One Bedroom Enlarged Bathroom Plan  
1/4" = 1'-0"



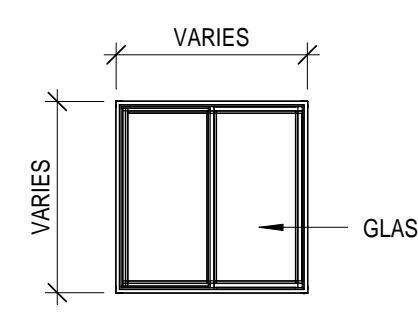
20 Elevation - Large One Bedroom  
1/4" = 1'-0"



21 Elevation - Large One Bedroom  
1/4" = 1'-0"



22 Elevation - Large One Bedroom  
1/4" = 1'-0"



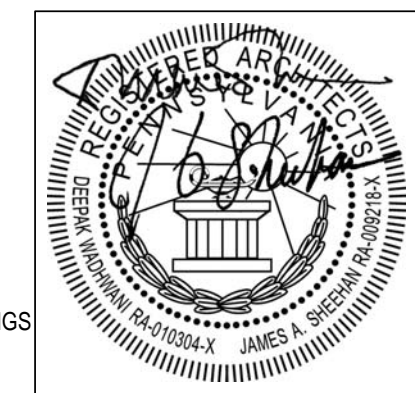
N SLIDING WINDOW - VENT/FIXED UNIT

Window Types  
1/4" = 1'-0"

### WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	MATERIAL	TYPE		
N	5' - 10' +/-	3' - 10' +/-	Sliding Window - Vent/Fixed Unit	FIBERGLASS	CLEAR TEMPERED	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. FURNISH AND INSTALL ADDITIONAL HARDWARE WITHIN ALL UFAS/ ACCESSIBLE UNITS.
  3. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



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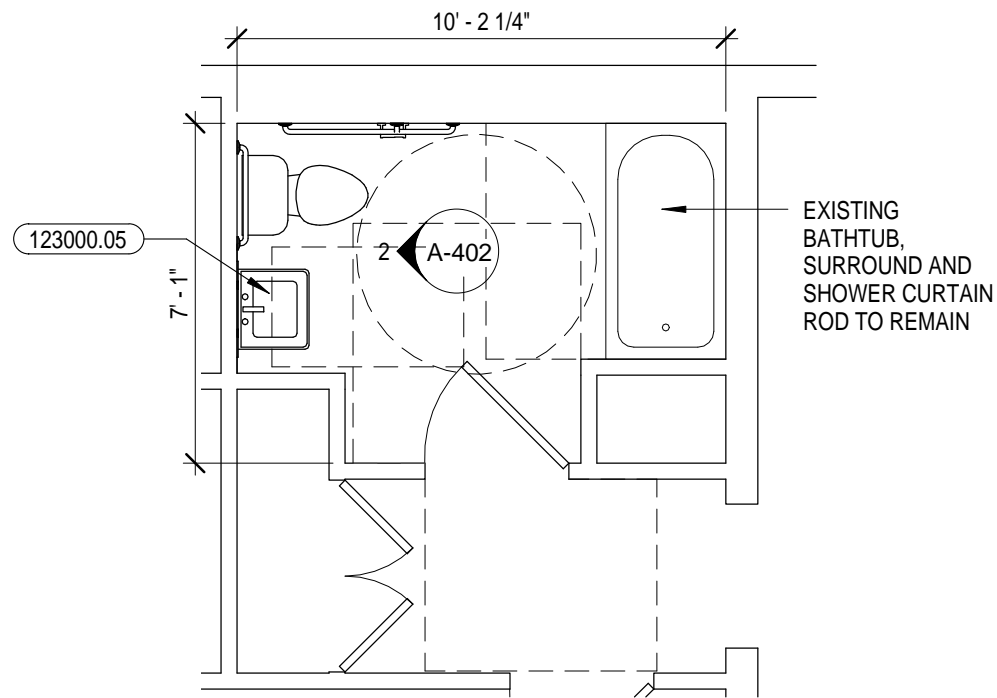
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

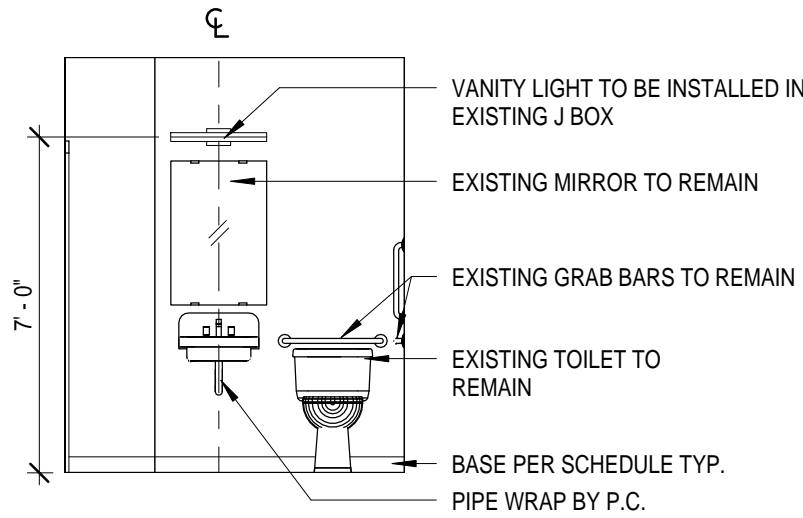
Bernice Crawley  
High Rise -  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

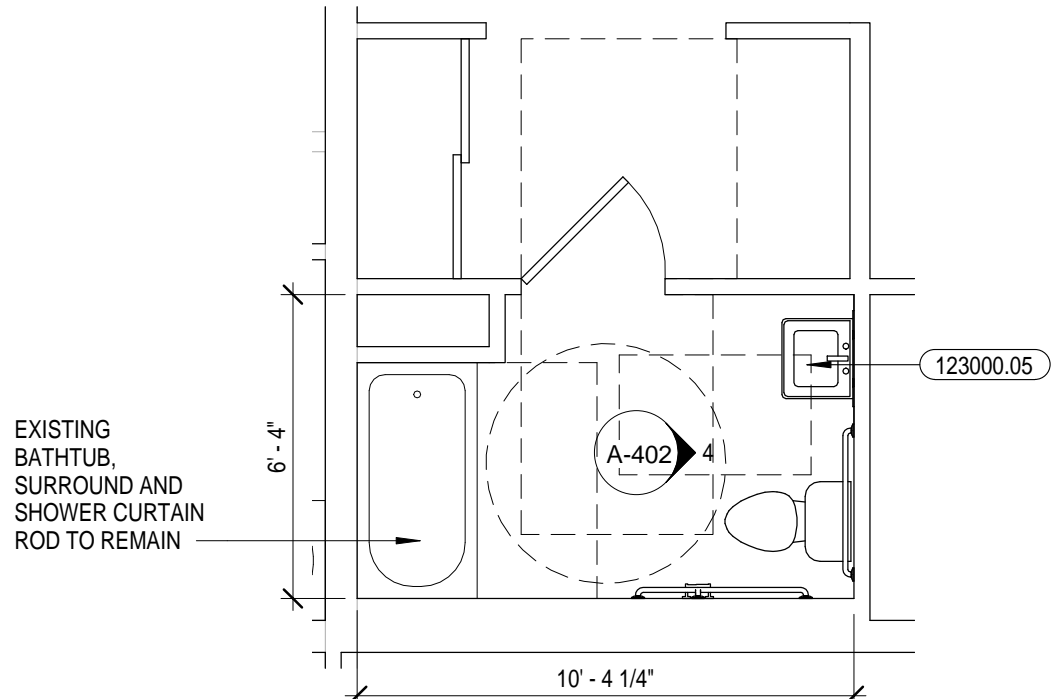
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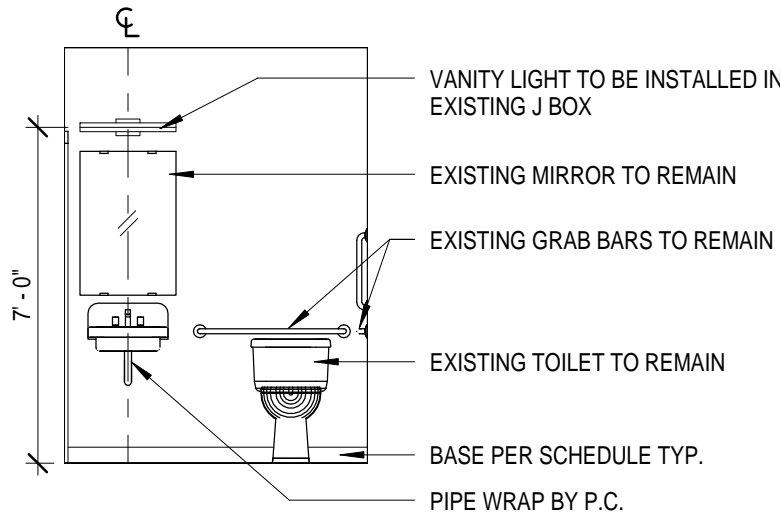
1 UFAS One Bedroom Enlarged Bathroom Plan  
1/4" = 1'-0"



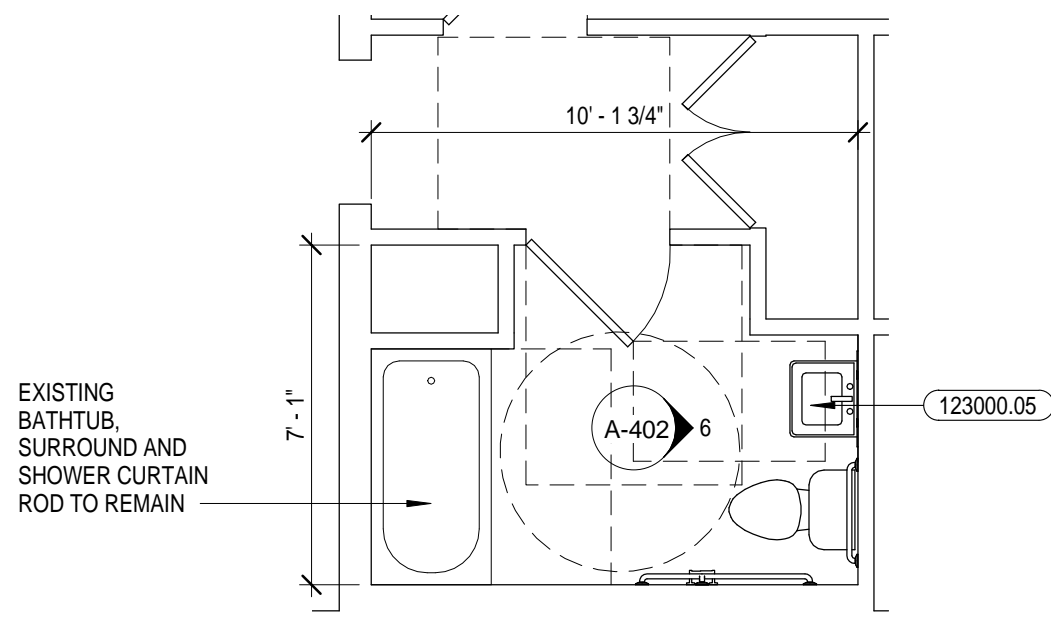
2 UFAS Elevation - One Bedroom  
1/4" = 1'-0"



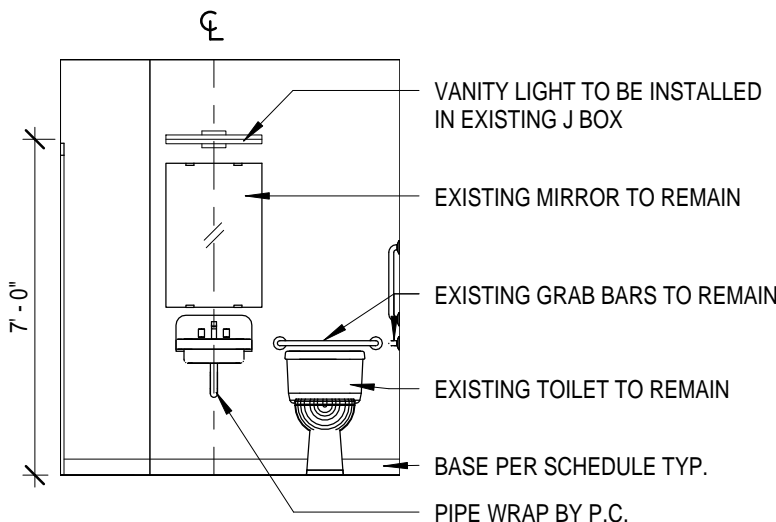
3 UFAS Two Bedroom Enlarged Bathroom Plan A  
1/4" = 1'-0"



4 UFAS Elevation - Two Bedroom Bathroom A  
1/4" = 1'-0"



5 UFAS Two Bedroom Enlarged Bathroom Plan B  
1/4" = 1'-0"



6 UFAS Elevation - Two Bedroom Bathroom B  
1/4" = 1'-0"

### GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123630 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

### REFERENCED NOTES

MARK	DESCRIPTION
123000.05	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK AND COUNTERTOP OR WALL MOUNTED UNIT. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET, AND PIPE WRAP. REFER TO PLUMBING DRAWINGS, TYPICAL OF ALL UFAS/ACCESSIBLE BATHROOMS IN HIGH RISE ONLY. REFER TO G-102 AND G-110 FOR BATHROOMS ACCESSIBILITY TYPES.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

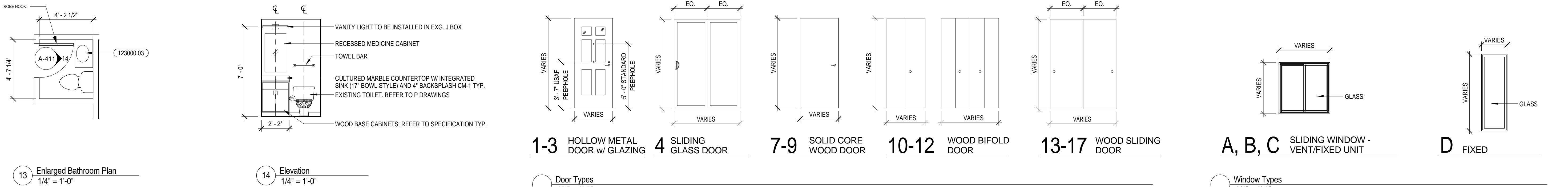
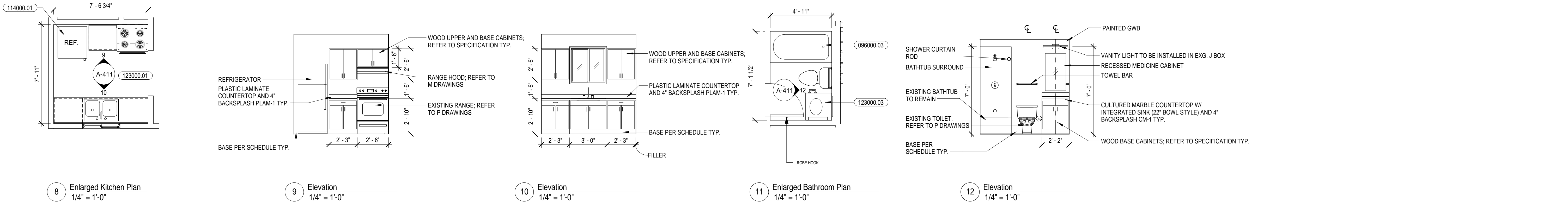
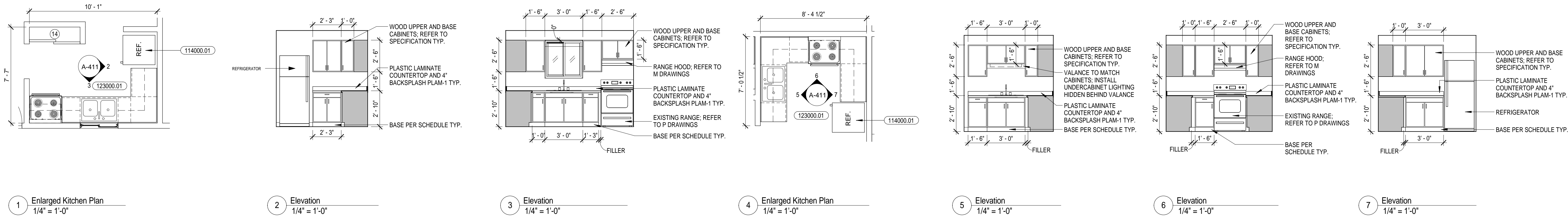
REVISIONS

Bernice Crawley  
High Rise -  
Enlarged  
UFAS/Accessible  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-402





### GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING, INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

### REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

### DOOR SCHEDULE

DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MATL	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MATL		
1	HM	-	3'-0"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM	-	2'-6"	6'-8"	0'-2"	EX	EX	4	NO GLASS AT TOP, NOT INSULATED
3	HM	-	2'-8"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
4	HM	-	5'-9"	7'-0"	0'-2"	EX	EX	6	
7	WD	-	2'-6"	6'-8"	0'-2"	EX	EX	1	60 MIN. FIRE RATED DOOR, CONTINUOUS SMOKE GASKETING, RUBBER SWEEP.
8	WD	-	2'-8"	6'-8"	0'-2"	EX	EX	1	
9	WD	-	3'-0"	6'-8"	0'-2"	EX	EX	2	
10	WD	-	3'-6"	6'-8"	0'-2"	EX	EX	7	
11	WD	-	2'-6"	6'-8"	0'-2"	EX	EX	7	
12	WD	-	3'-0"	6'-8"	0'-2"	EX	EX	7	
13	WD	-	5'-2 1/2"	6'-8"	0'-2"	EX	EX	5	
14	WD	-	4'-0"	6'-8"	0'-2"	EX	EX	5	
15	WD	-	6'-0"	6'-8"	0'-2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

#### NOTES:

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

### WINDOW SCHEDULE

NOMINAL SIZE			WINDOW		GLAZING	COMMENTS
MARK	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4'- 0" +/-	4'- 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
B	5'- 10" +/-	3'- 10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
C	3'- 0" +/-	3'- 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
D	2'- 0" +/-	6'- 0" +/-	FIXED	FIBERGLASS	CLR TEMP	V.I.F. R.O.

#### NOTES:

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
2. FURNISH AND INSTALL ADDITIONAL HARDWARE WITHIN ALL UFAS/ ACCESSIBLE UNITS.
3. REFER TO SHEET A-501 FOR HEAD, JAMB, AND SILL DETAILS



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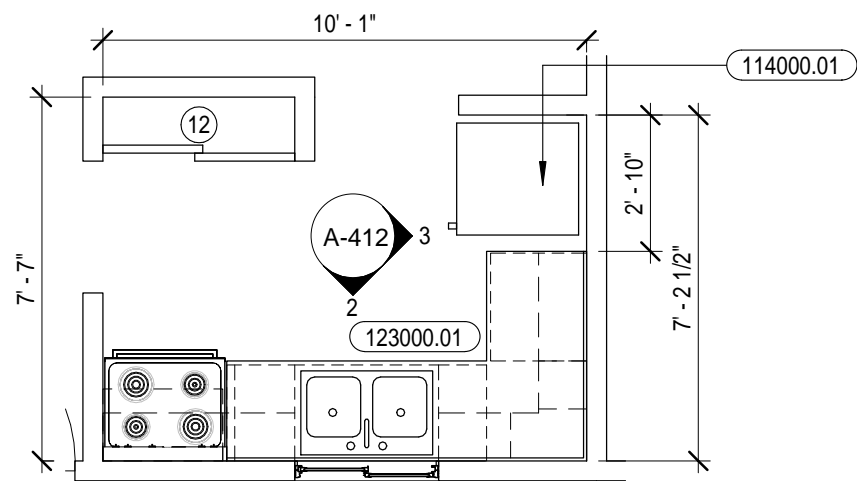
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REVISIONS

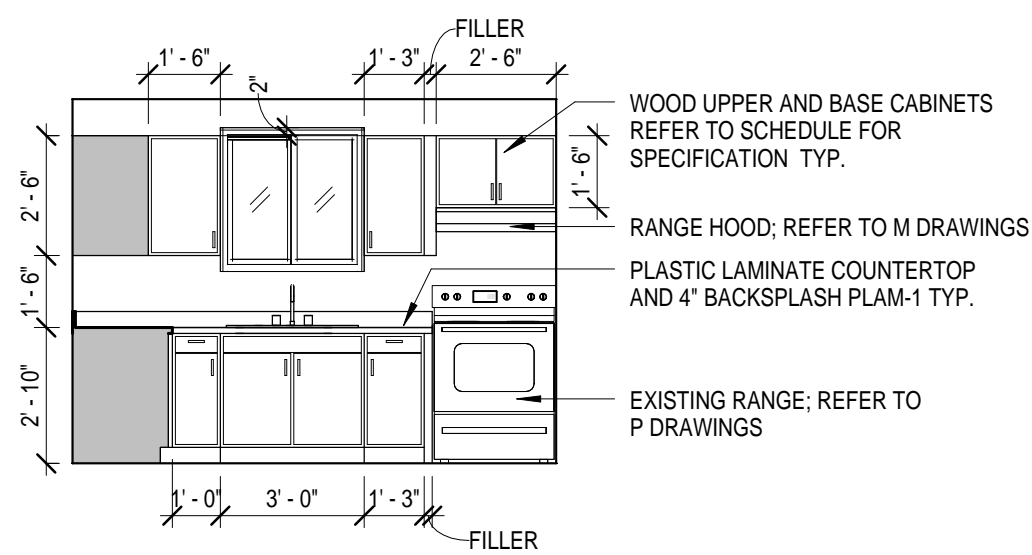
Family Community  
- Type A Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

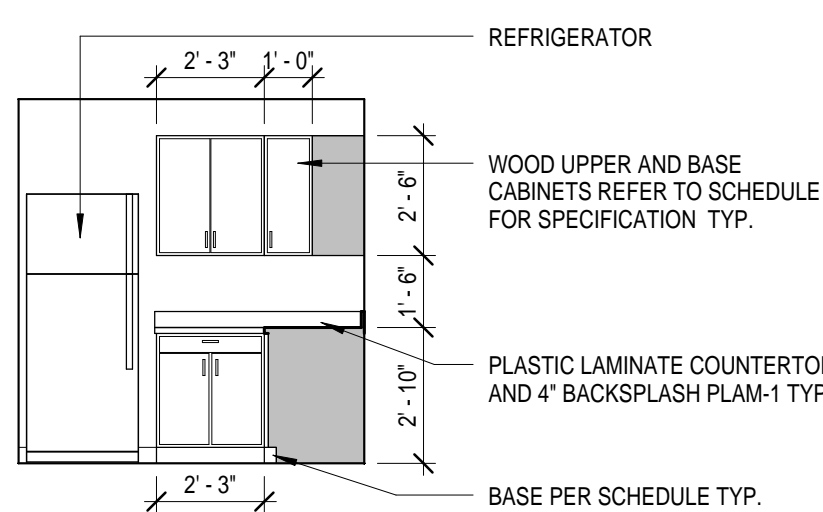
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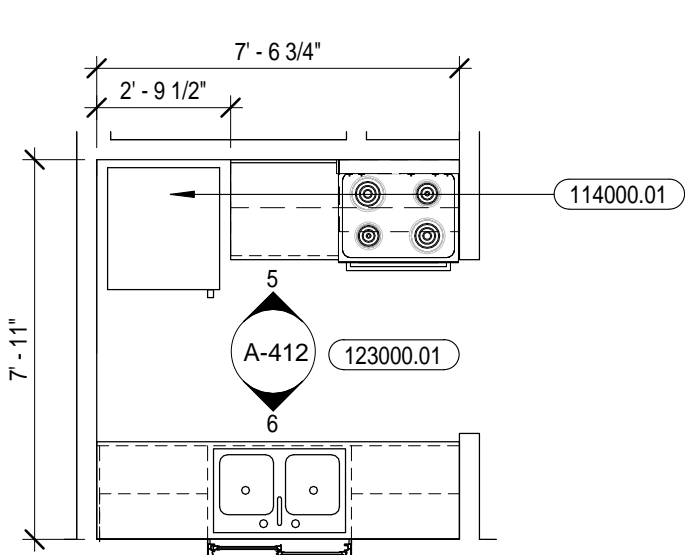
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1/4" = 1'-0"



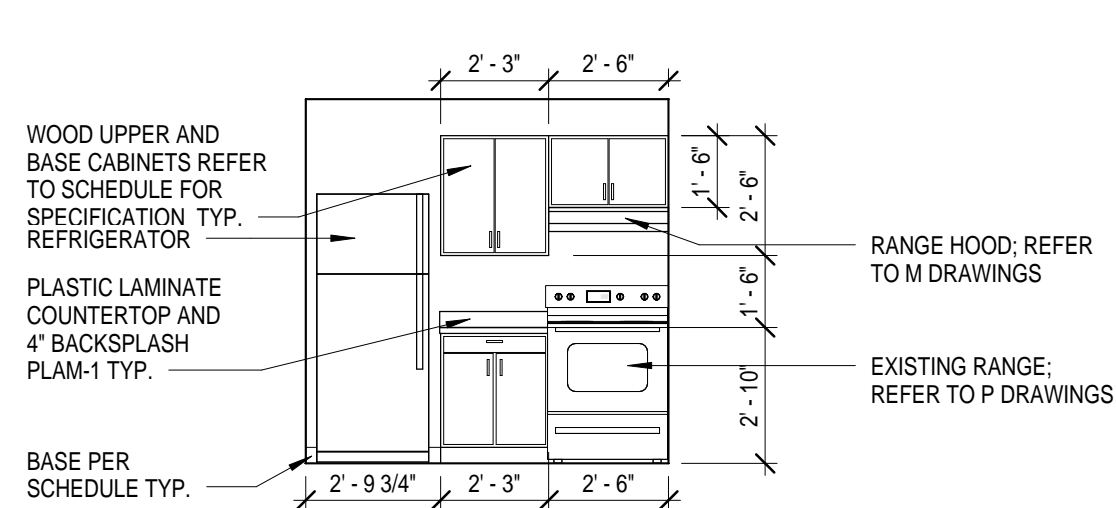
2 Elevation  
1/4" = 1'-0"



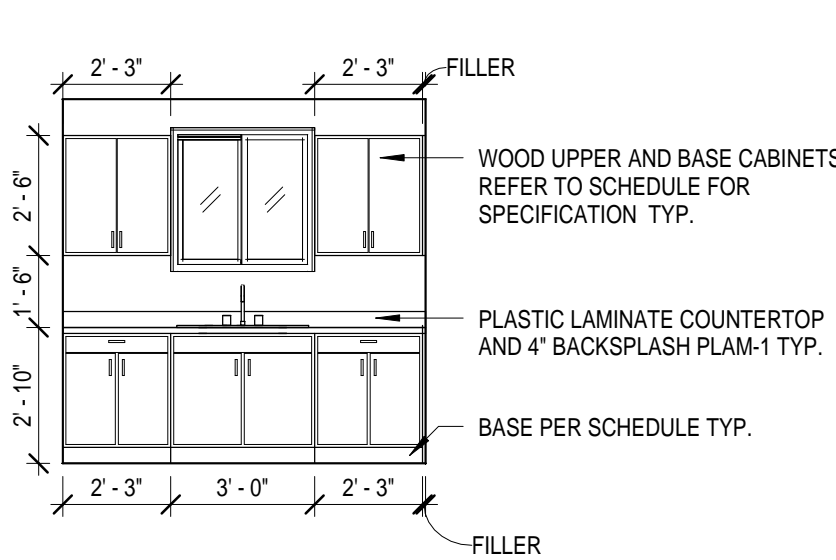
3 Elevation  
1/4" = 1'-0"



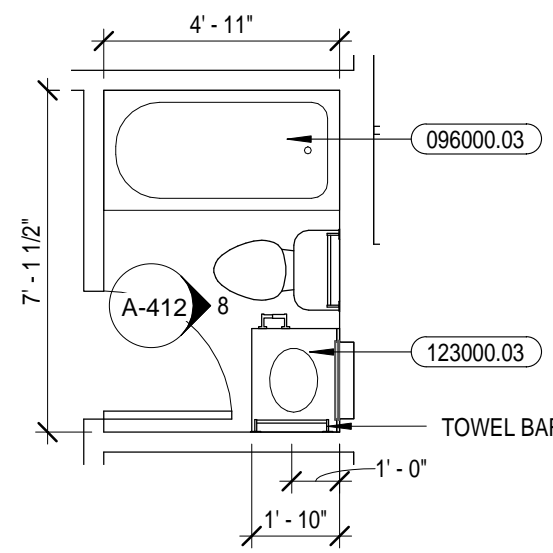
4 Enlarged Plan  
1/4" = 1'-0"



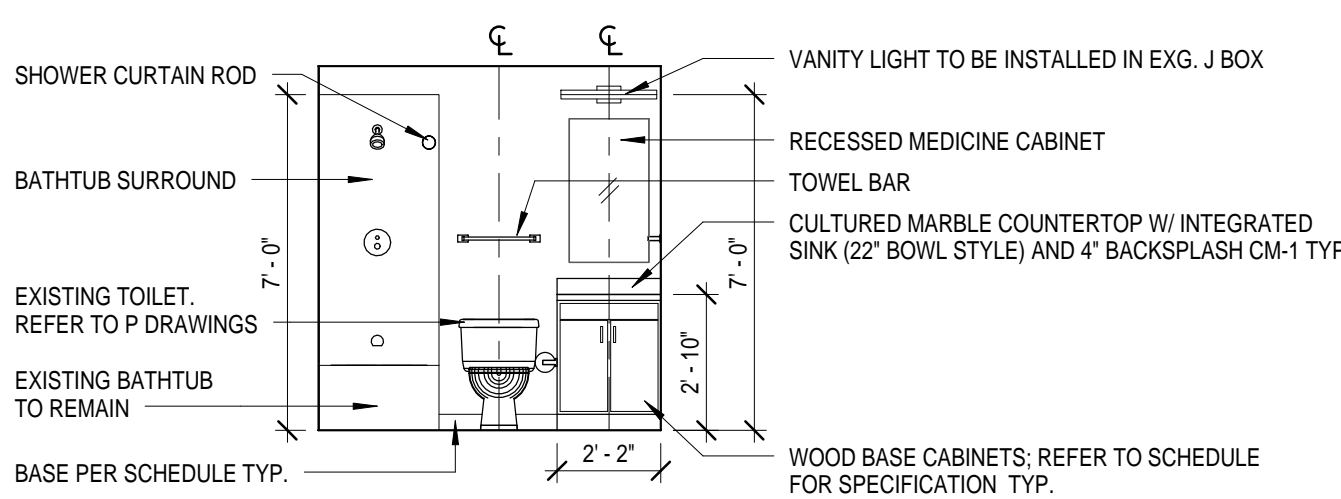
5 Elevation  
1/4" = 1'-0"



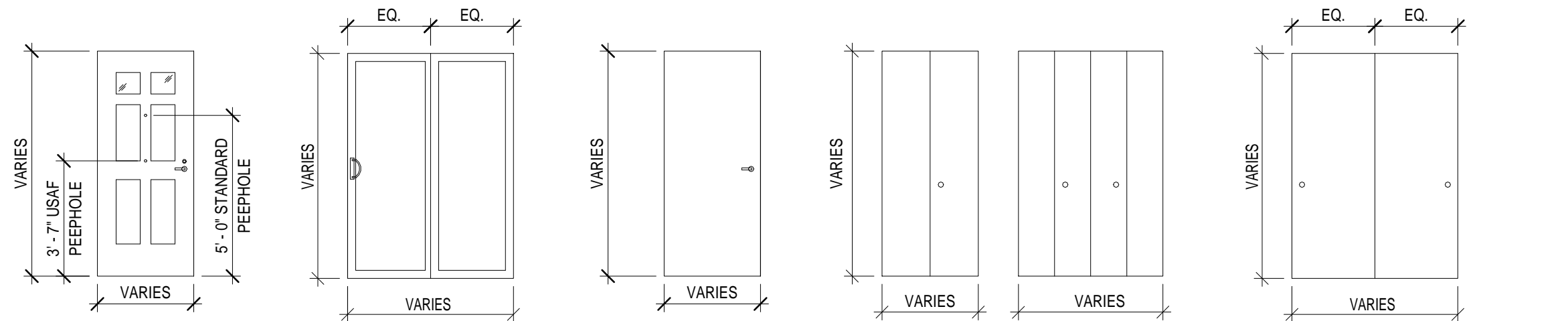
6 Elevation  
1/4" = 1'-0"



7 Enlarged Bathroom Plan  
1/4" = 1'-0"



8 Elevation  
1/4" = 1'-0"



1-3 HOLLOW METAL DOOR w/ GLAZING 4 SLIDING GLASS DOOR 7-9 SOLID CORE WOOD DOOR 10-12 WOOD BIFOLD DOOR 13-17 WOOD SLIDING DOOR

Door Types  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNIT BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED, REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
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## REFERENCED NOTES

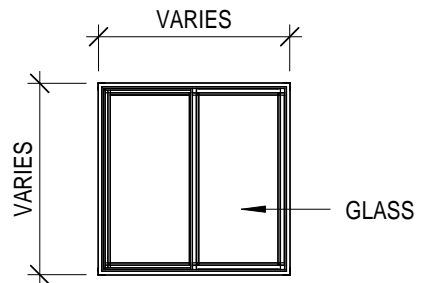
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

## DOOR SCHEDULE

DOOR		NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	
1	HM	-	3'-0"	6'-8"	0'-2"	EX	EX	3 2 GLASS WINDOWS AT TOP, INSULATED
2	HM	-	2'-6"	6'-8"	0'-2"	EX	EX	4 NO GLASS AT TOP, NOT INSULATED
3	HM	-	2'-8"	6'-8"	0'-2"	EX	EX	3 2 GLASS WINDOWS AT TOP, INSULATED
4	HM	-	5'-9"	7'-0"	0'-2"	EX	EX	6
8	WD	-	2'-8"	6'-8"	0'-2"	EX	EX	1
9	WD	-	3'-0"	6'-8"	0'-2"	EX	EX	1
10	WD	-	3'-6"	6'-8"	0'-1 1/2"	EX	EX	7
11	WD	-	2'-6"	6'-8"	0'-1 1/2"	EX	EX	7
12	WD	-	4'-0"	6'-8"	0'-2"	EX	EX	7
13	WD	-	5'-2 1/2"	6'-8"	0'-2"	EX	EX	5
14	WD	-	3'-0"	6'-8"	0'-1 1/2"	EX	EX	5
15	WD	-	3'-6"	6'-8"	0'-2"	EX	EX	5

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATINGS.
  3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



A, B, C SLIDING WINDOW - VENT/FIXED UNIT

Window Types  
1/4" = 1'-0"

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4'-0" +/-	4'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
B	5'-10" +/-	3'-10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
C	3'-0" +/-	3'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type B Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-412







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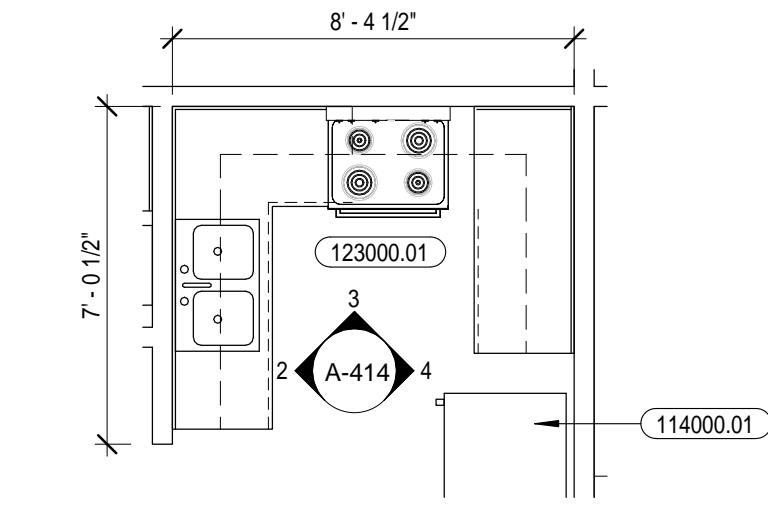
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ISSUED: October 27, 2017  
REVISIONS

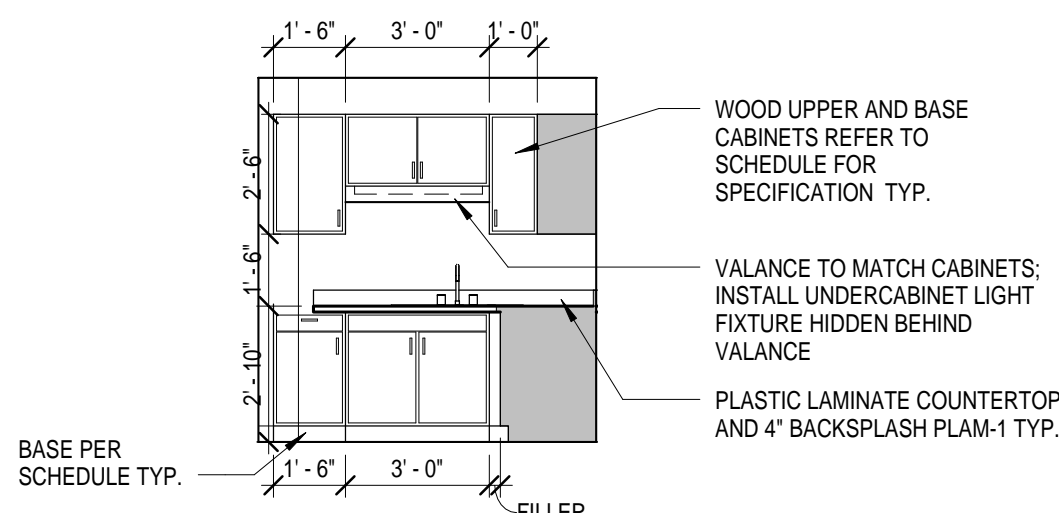
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Plans and  
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and Details

R3A PROJECT # 15074B

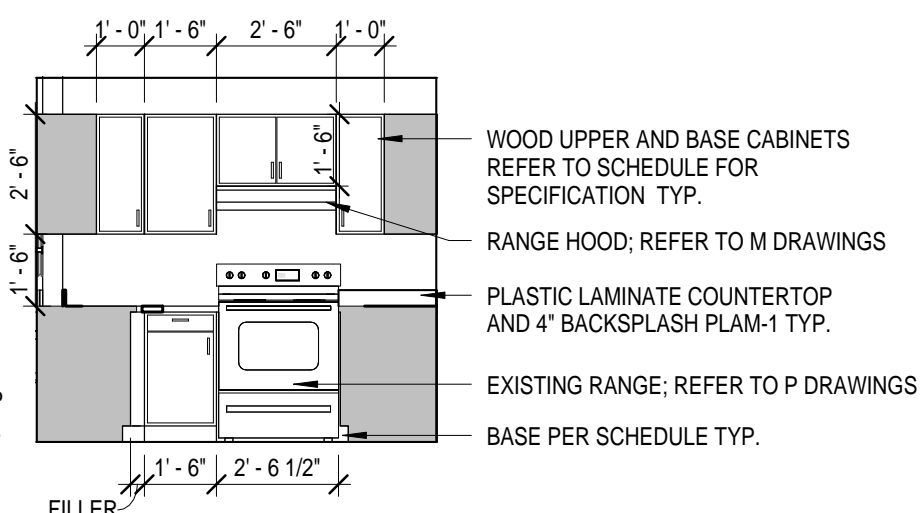
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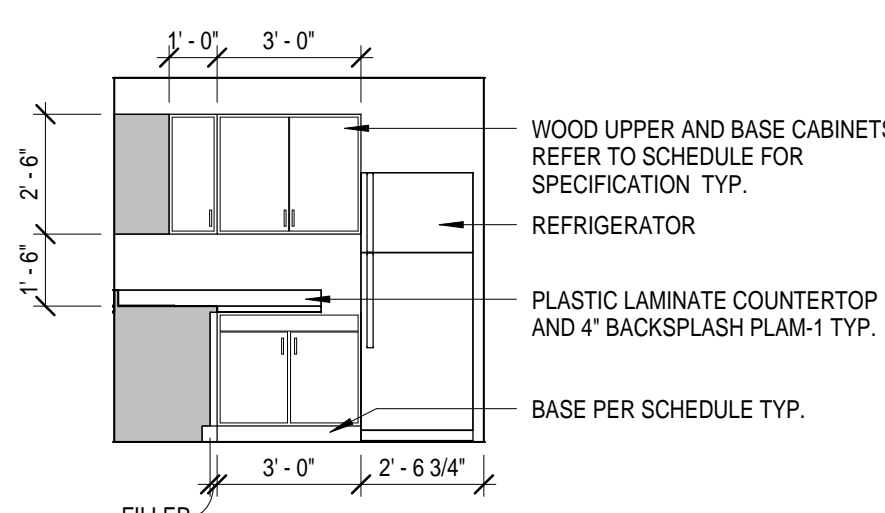
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1/4" = 1'-0"



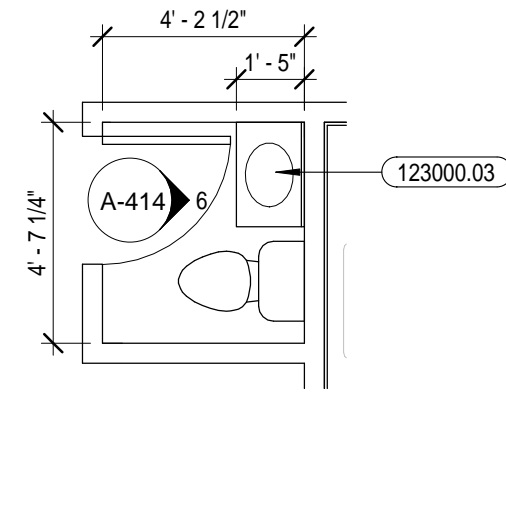
2 Elevation  
1/4" = 1'-0"



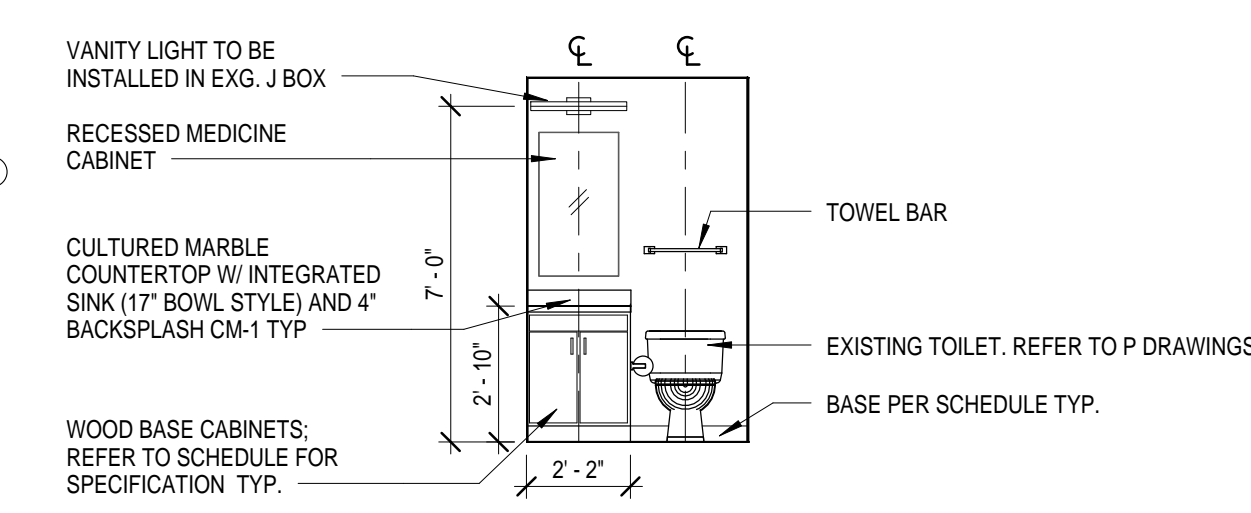
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1/4" = 1'-0"



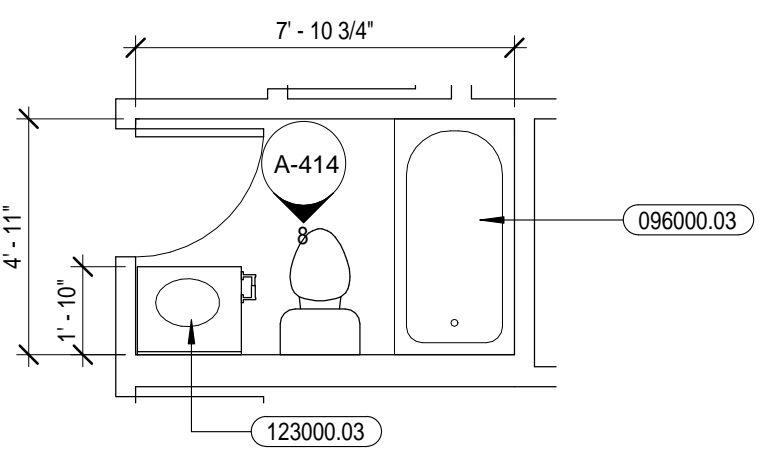
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1/4" = 1'-0"



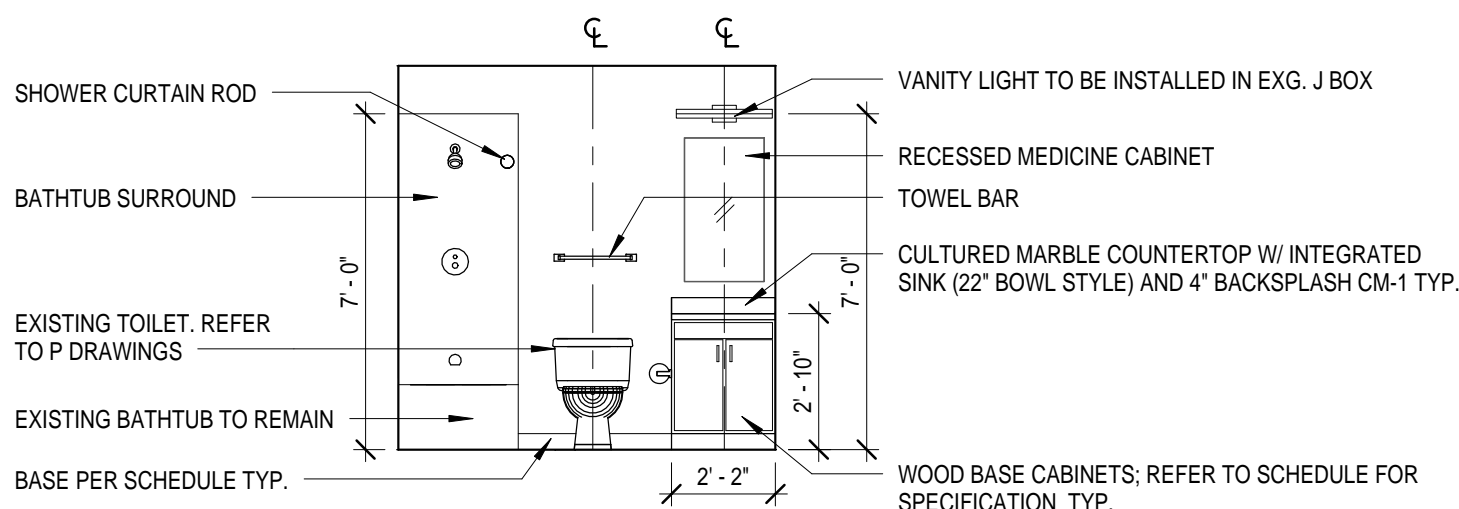
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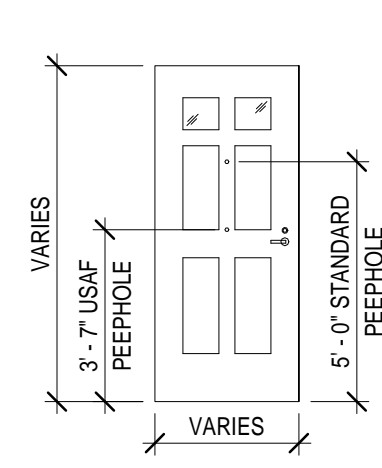
6 Elevation  
1/4" = 1'-0"



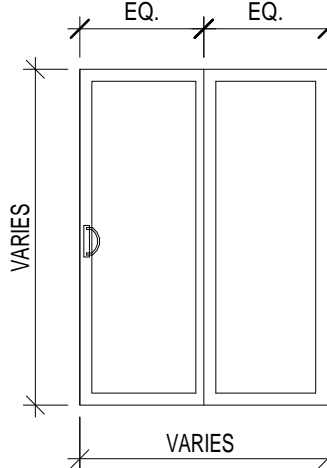
7 Enlarged Plan  
1/4" = 1'-0"



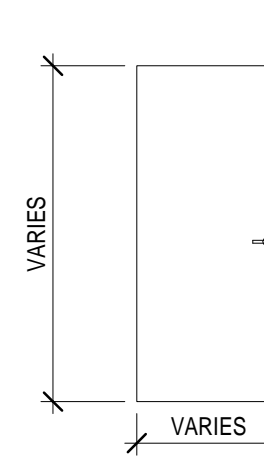
8 Elevation  
1/4" = 1'-0"



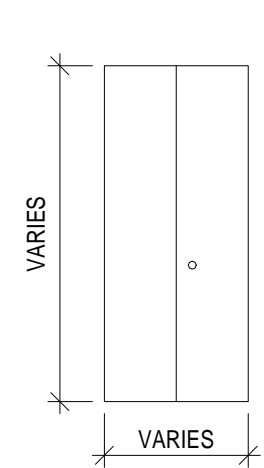
1-3 HOLLOW METAL  
DOOR w/ GLAZING



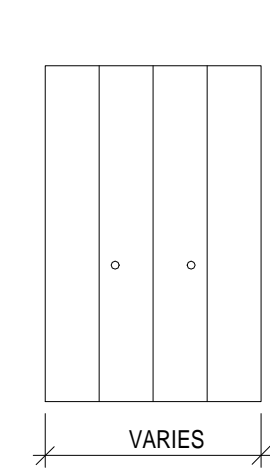
4 SLIDING  
GLASS DOOR



7-9 SOLID CORE  
WOOD DOOR



10-12 WOOD BIFOLD  
DOOR



13-17 WOOD SLIDING  
DOOR

Door Types  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

## REFERENCED NOTES

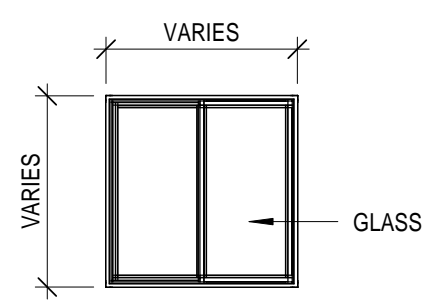
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6' ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK. FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

DOOR SCHEDULE									
DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MATL	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MATL		
1	HM		3'-0"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
7	WD		2'-6"	6'-8"	0'-2"	EX	EX	1	60 MIN. FIRE RATED DOOR, CONTINUOUS SMOKE GASKETING, RUBBER SWEEPS
8	WD		2'-8"	6'-8"	0'-2"	EX	EX	1	
12	WD		3'-0"	6'-8"	0'-2"	EX	EX	7	
15	WD		6'-0"	6'-8"	0'-2"	EX	EX	5	

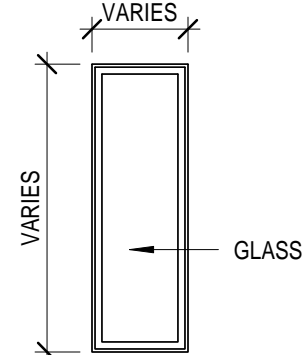
EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

## NOTES:

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



A, B SLIDING WINDOW -  
VENT/FIXED UNIT



D FIXED

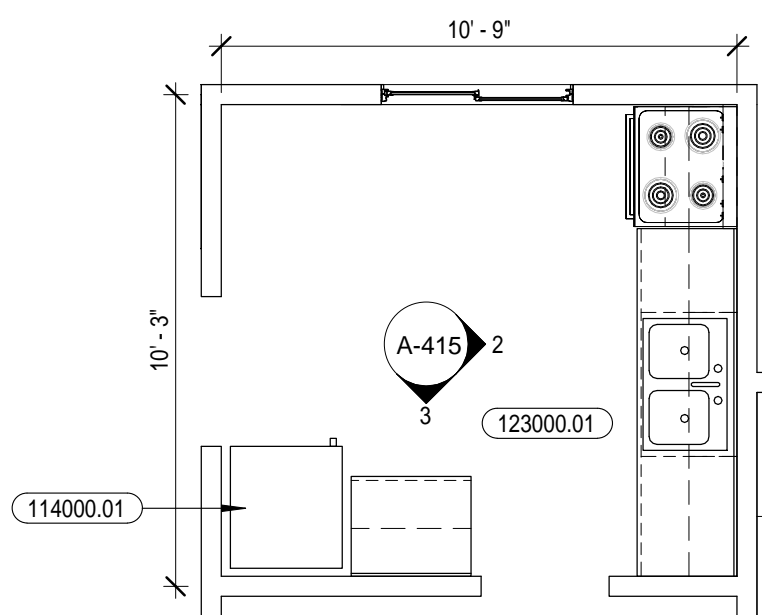
Window Types  
1/4" = 1'-0"

WINDOW SCHEDULE						
WT	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4'-0" +/-	4'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
B	5'-10" +/-	3'-10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
D	2'-0" +/-	6'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

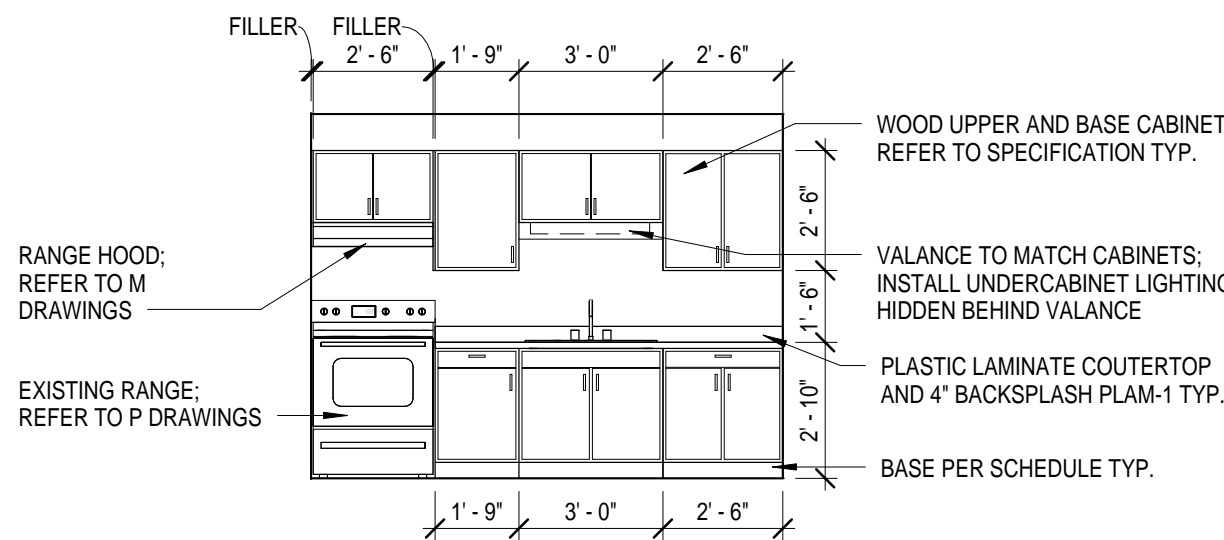
## NOTES:

1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.

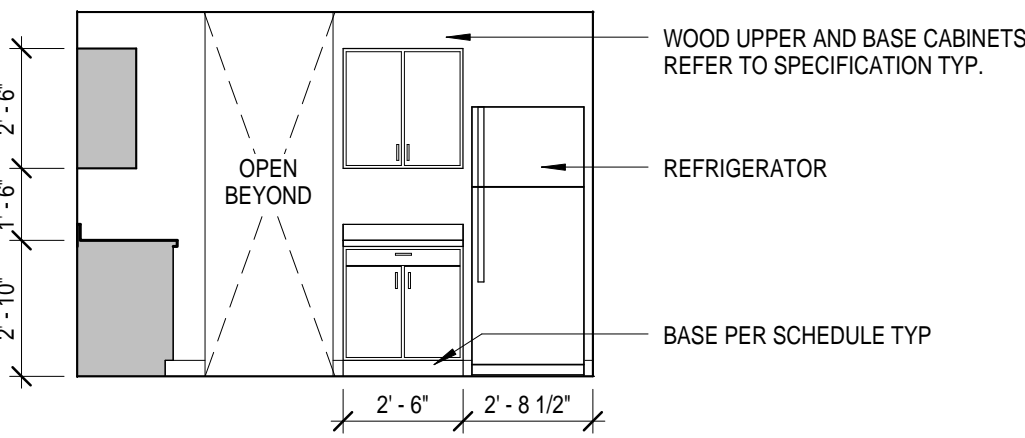




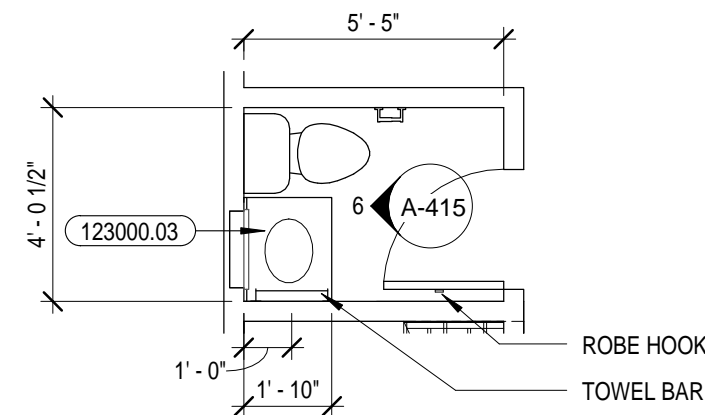
1 Enlarged Plan  
1/4" = 1'-0"



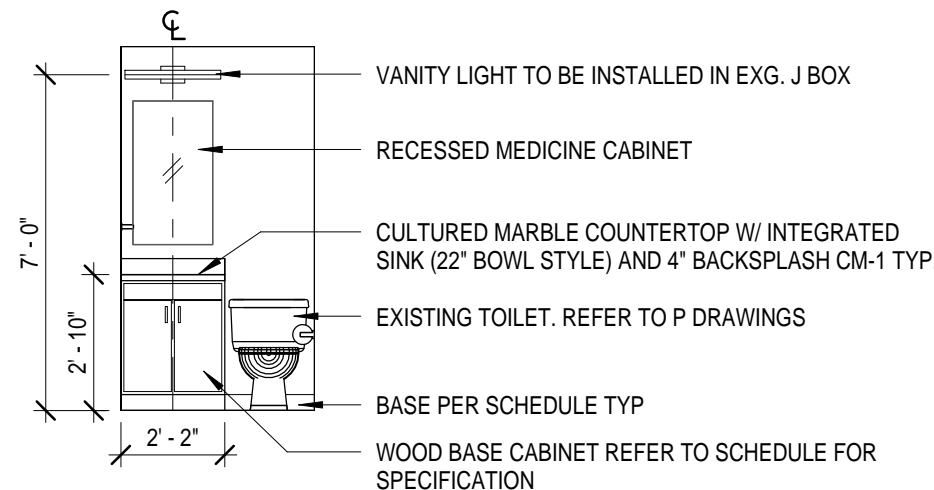
2 Elevation  
1/4" = 1'-0"



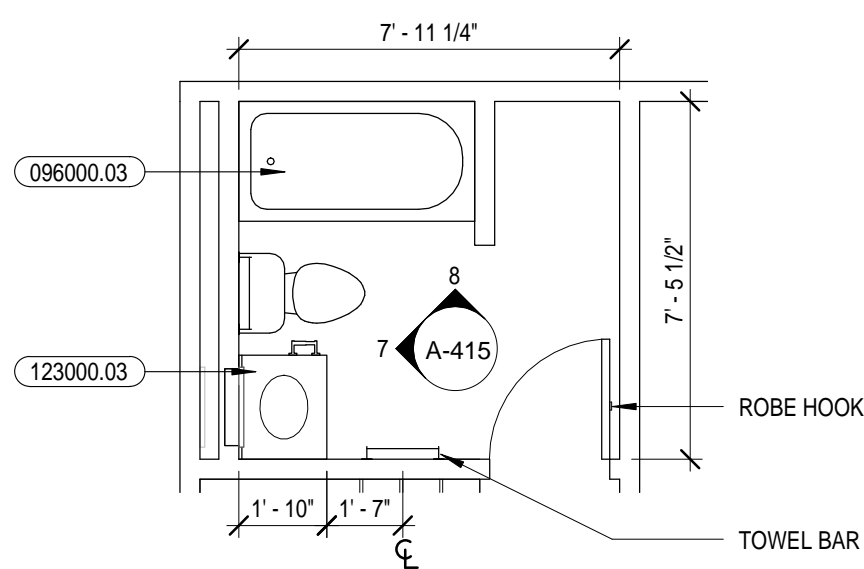
3 Elevation  
1/4" = 1'-0"



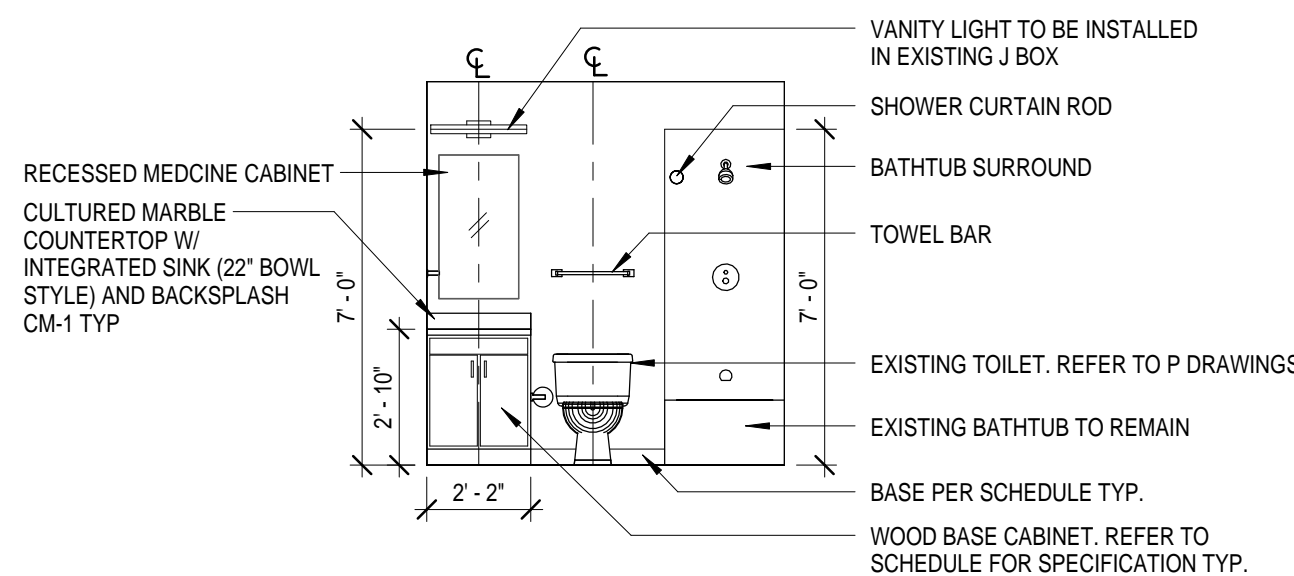
4 Enlarged Plan  
1/4" = 1'-0"



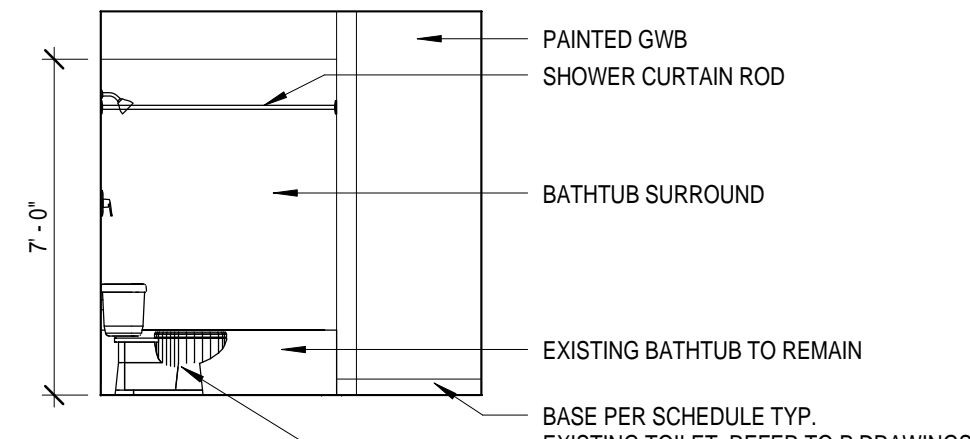
6 Elevation  
1/4" = 1'-0"



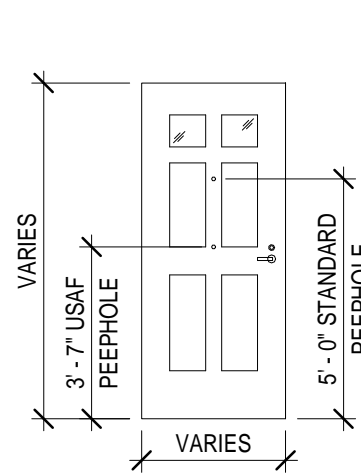
5 Enlarged Plan  
1/4" = 1'-0"



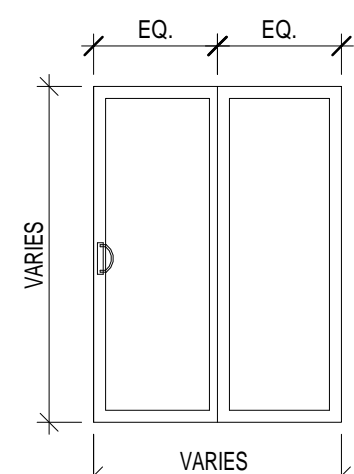
7 Elevation  
1/4" = 1'-0"



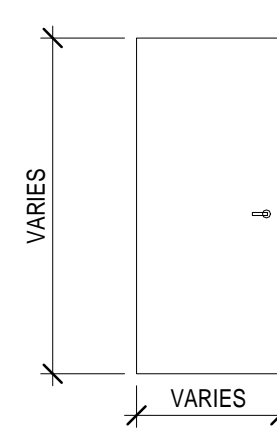
8 Elevation  
1/4" = 1'-0"



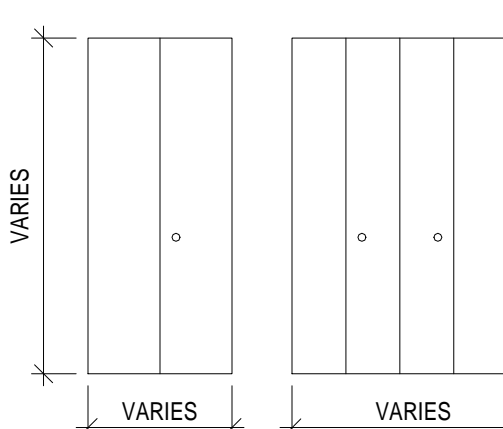
1-3 HOLLOW METAL  
DOOR w/ GLAZING



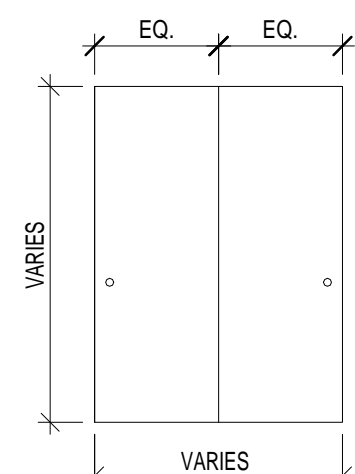
4 SLIDING  
GLASS DOOR



7-9 SOLID CORE  
WOOD DOOR



10-12 WOOD BIFOLD  
DOOR



13-17 WOOD SLIDING  
DOOR

Door Types  
1/4" = 1'-0"

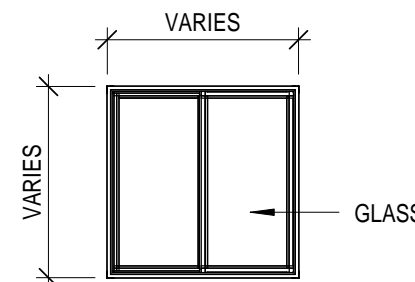
DOOR SCHEDULE										
DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS	
TYPE	MATL	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MATL			
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED	
8	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1		
9	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	2		
15	WD		6' - 0"	6' - 8"	0' - 2"	EX	EX	5		
16	WD		2' - 10"	6' - 8"	0' - 2"	EX	EX	5		
17	WD		5' - 0"	6' - 8"	0' - 2"	EX	EX	5		

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

WINDOW SCHEDULE						
MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
E	5' - 10" +/-	4' - 3 1/2" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



A, E SLIDING WINDOW - VENT/FIXED  
UNIT

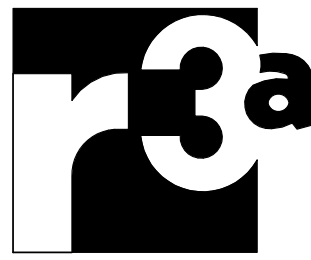
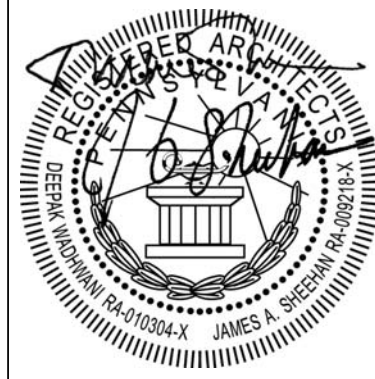
Window Types  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING. FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.



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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type E Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-415



Renaissance 3 Architects, P.C.

48 South 14th Street  
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Design  
Technology  
Sustainability

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DOCUMENTS

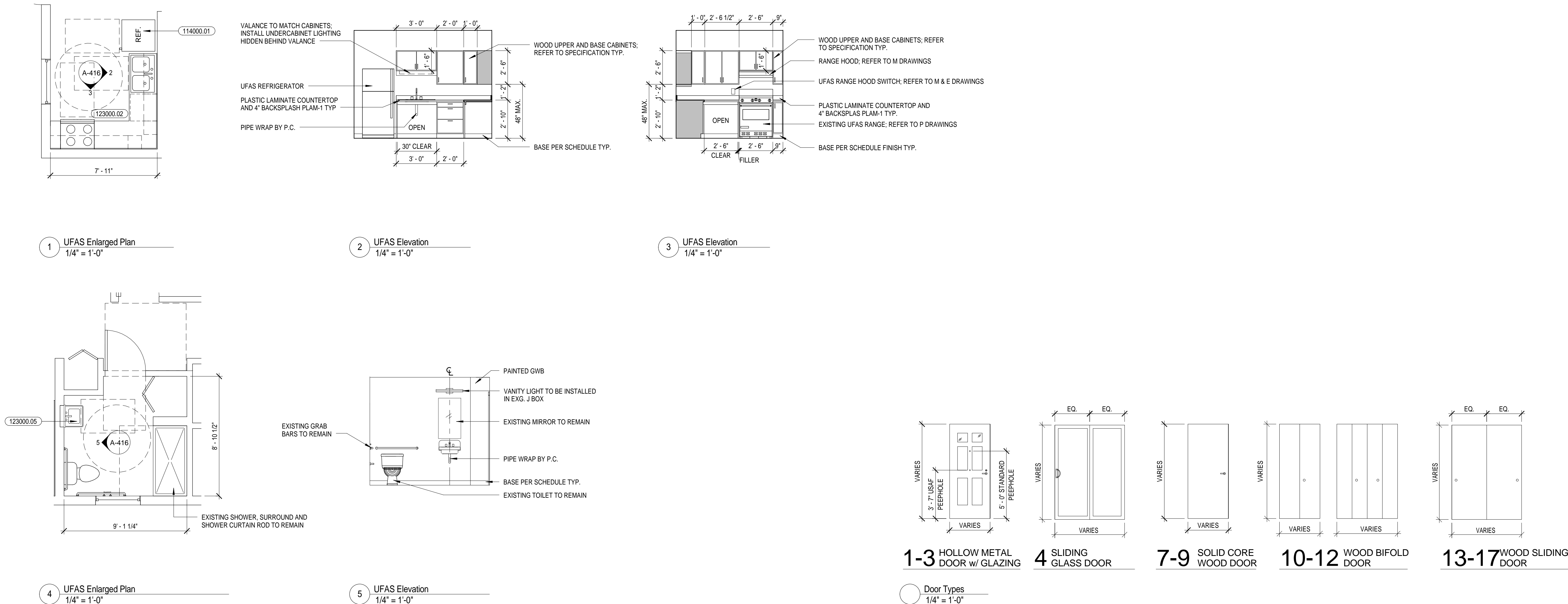
ISSUED: October 27, 2017

REVISIONS

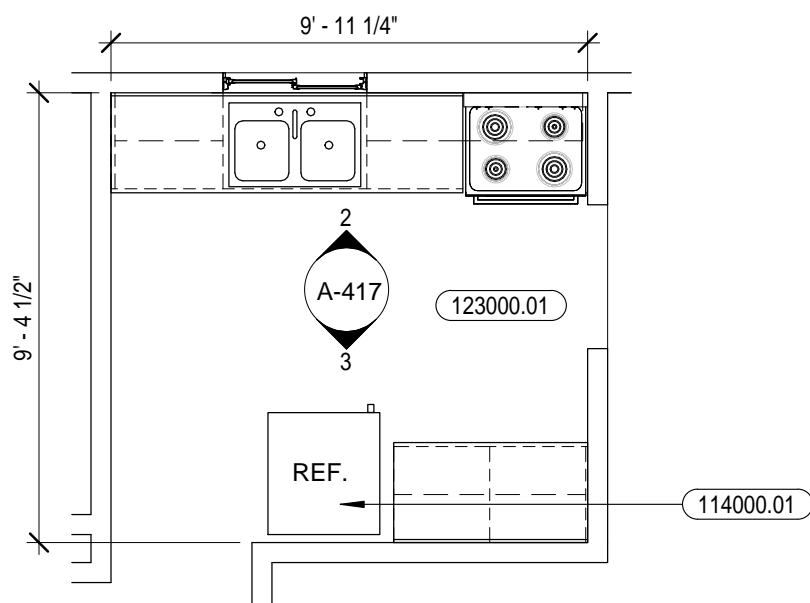
Family Community  
- Type F UFAS/  
Accessible  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

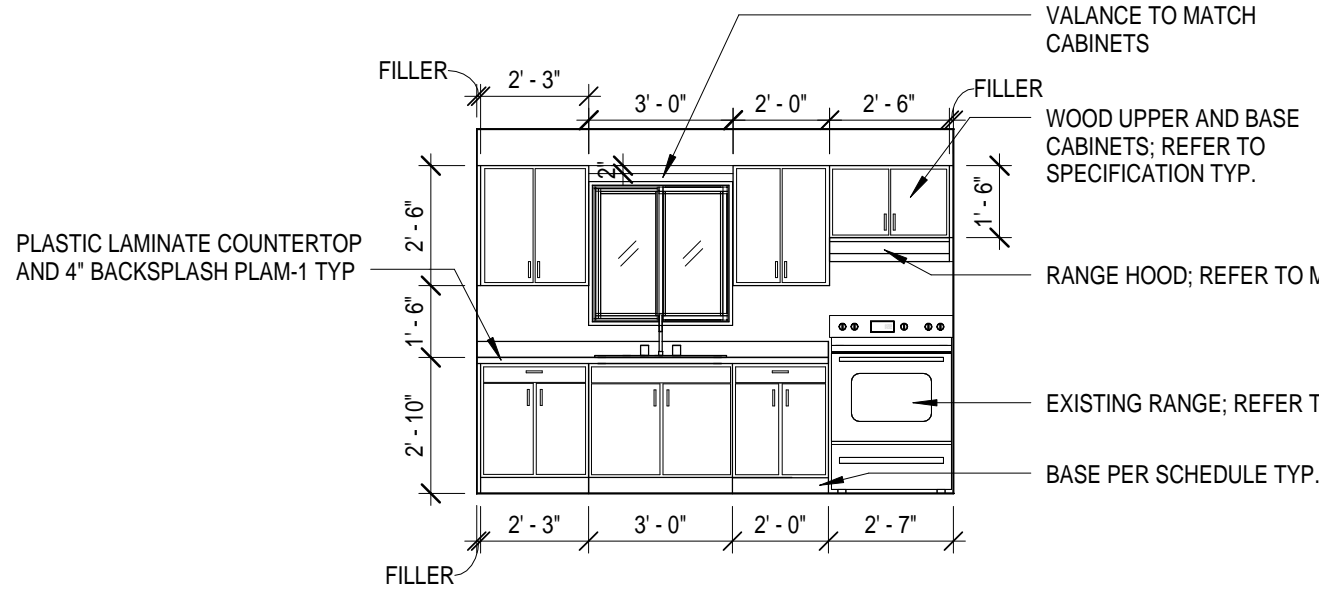
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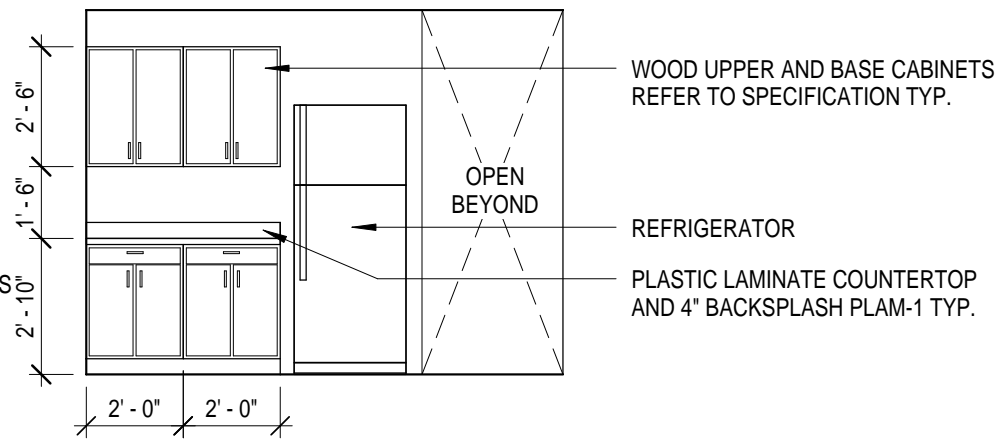




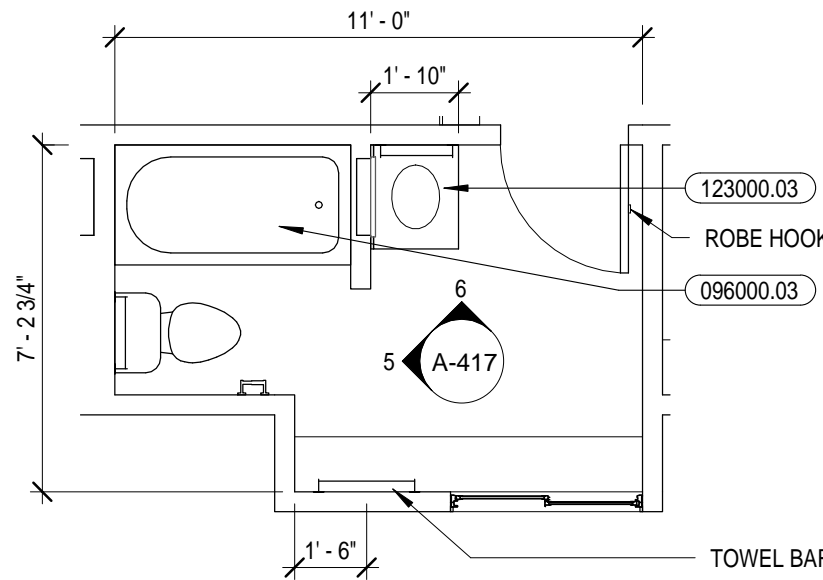
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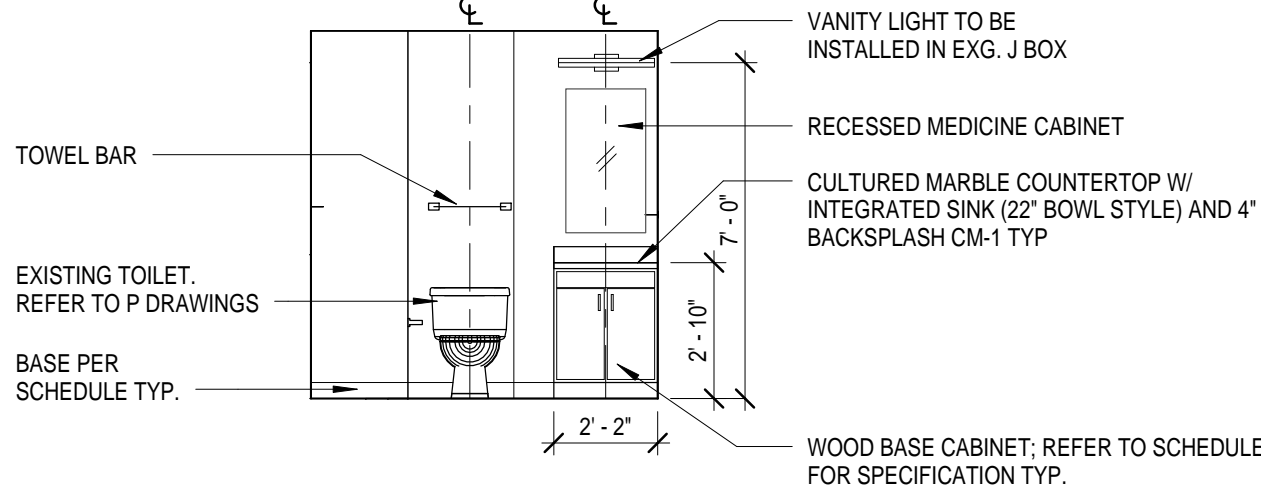
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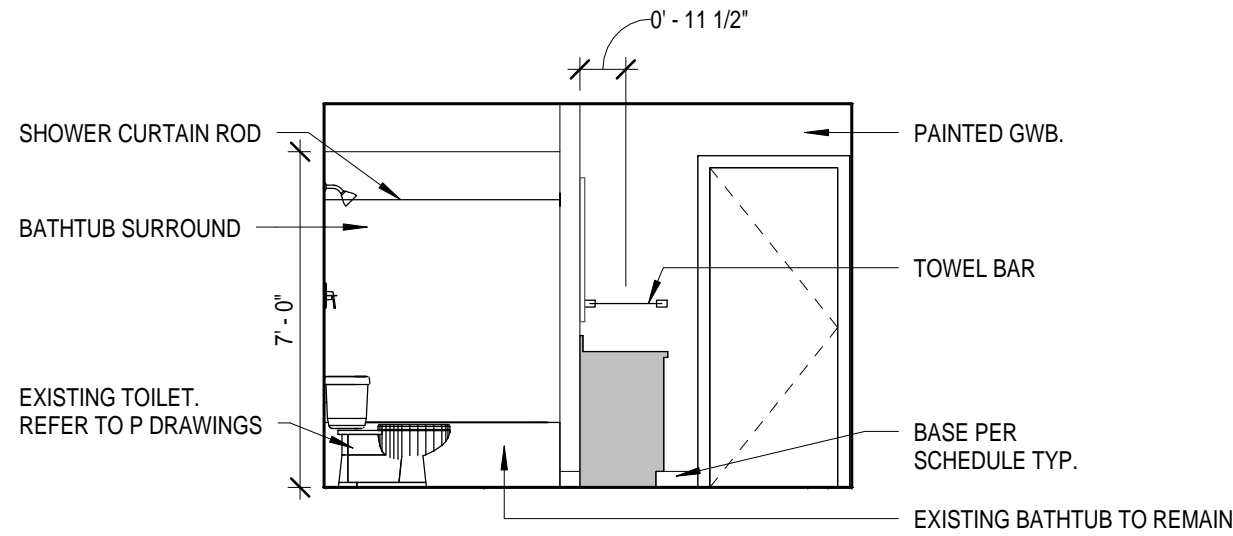
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1/4" = 1'-0"



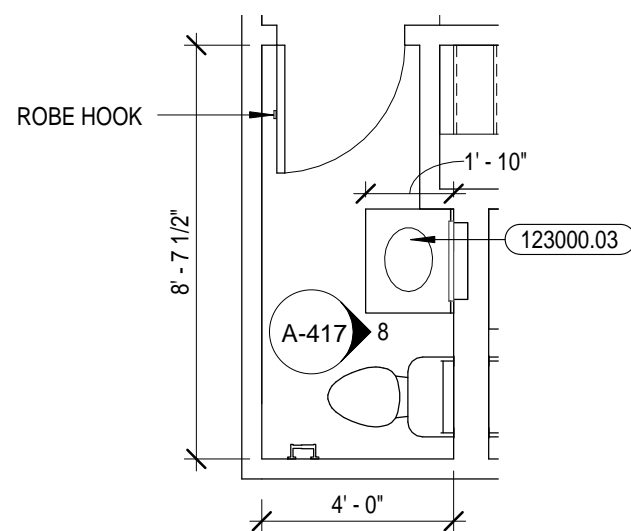
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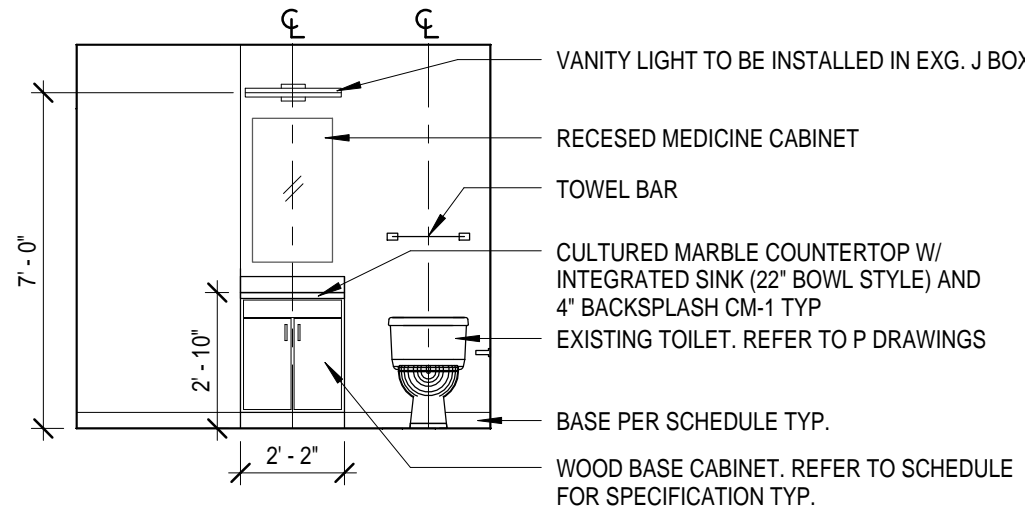
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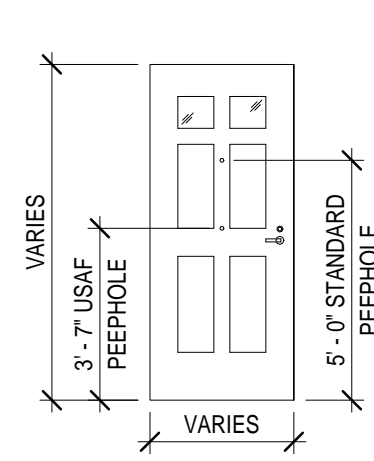
6 Elevation  
1/4" = 1'-0"



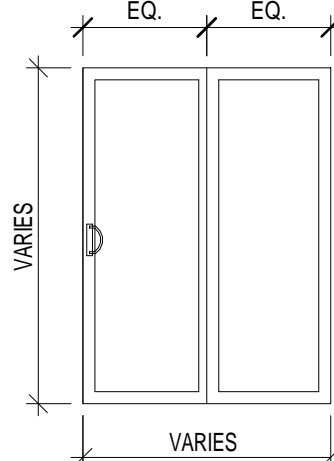
7 Enlarged Plan  
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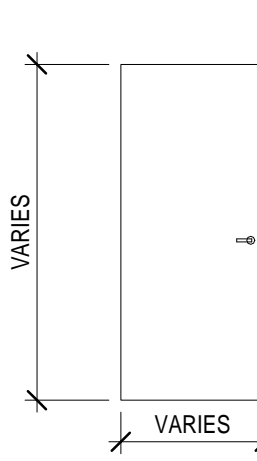
8 Elevation  
1/4" = 1'-0"



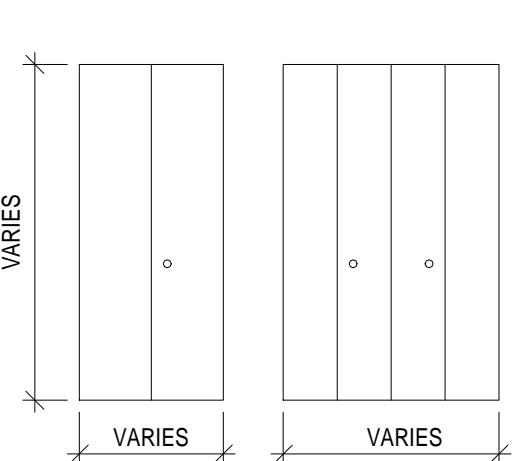
1-3 HOLLOW METAL  
DOOR w/ GLAZING



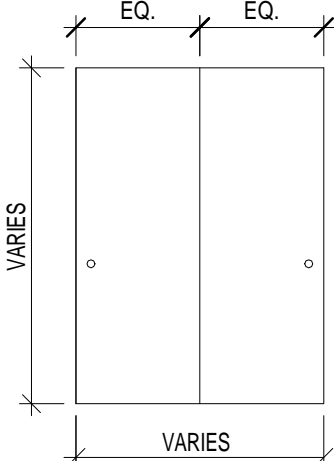
4 SLIDING  
GLASS DOOR



7-9 SOLID CORE  
WOOD DOOR



10-12 WOOD BIFOLD  
DOOR



13-17 WOOD  
SLIDING DOOR

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

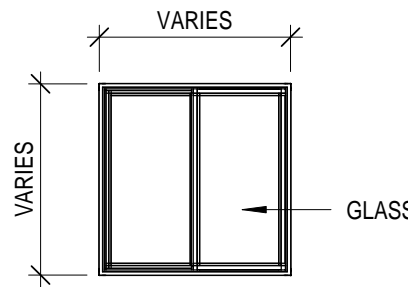
## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAVING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS. SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK. FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
C	3' - 0" +/-	3' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
F	5' - 10" +/-	4' - 3 1/2" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



A SLIDING WINDOW -  
VENT/FIXED UNIT

Window Types  
1/4" = 1'-0"

## DOOR SCHEDULE

DOOR		NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM	3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
3	HM	2' - 8"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
8	WD		6' - 8"	0' - 2"	EX	EX	1	
15	WD	3' - 0"	6' - 8"	0' - 2"	EX	EX	5	
16	WD	4' - 0"	6' - 8"	0' - 2"	EX	EX	5	
17	WD	5' - 0"	6' - 8"	0' - 2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



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Design  
Technology  
Sustainability

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R3A PROJECT # 15074B

A-417



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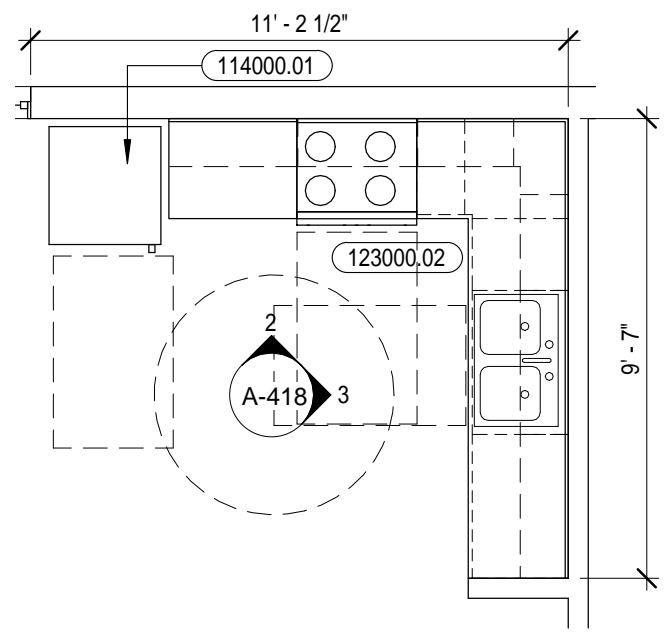
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DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

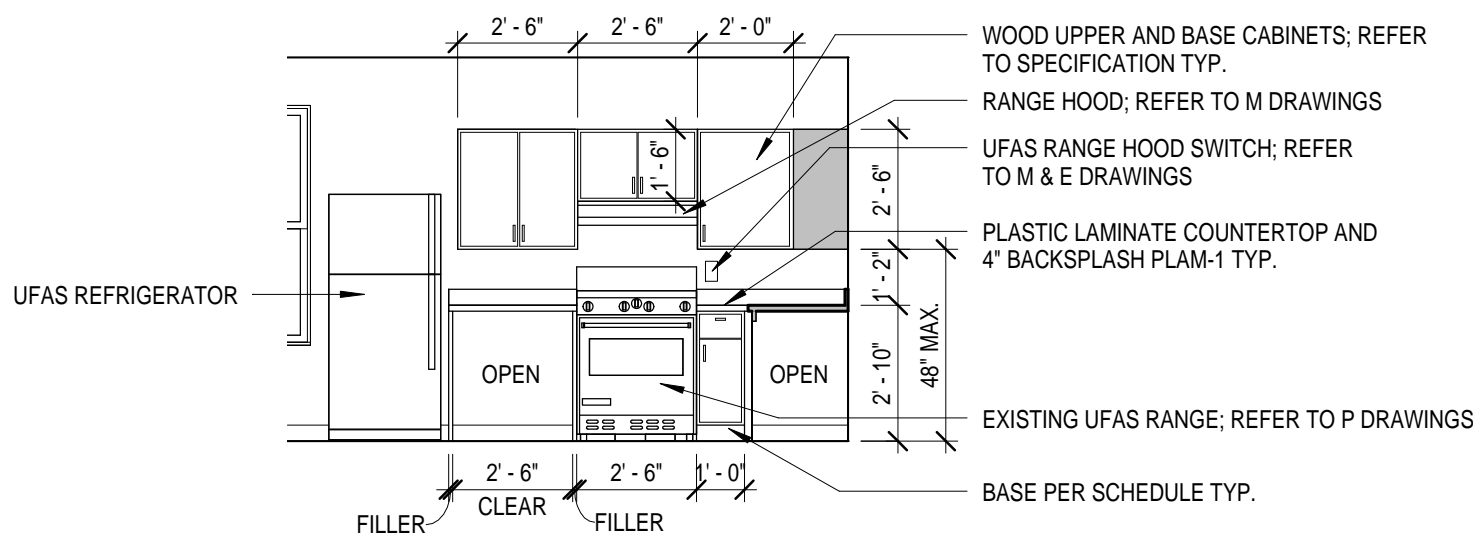
Family Community  
- Type H UFAS/  
Accessible  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

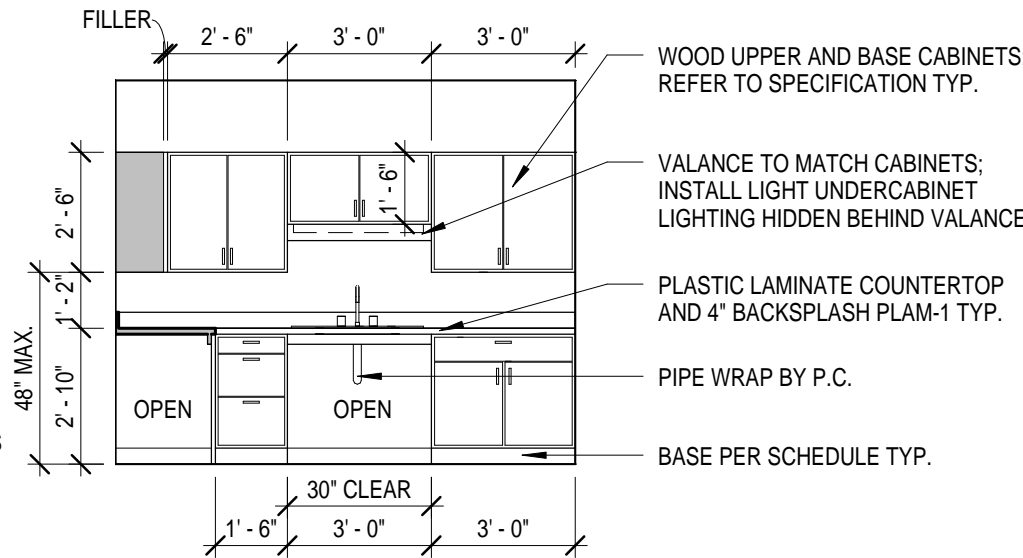
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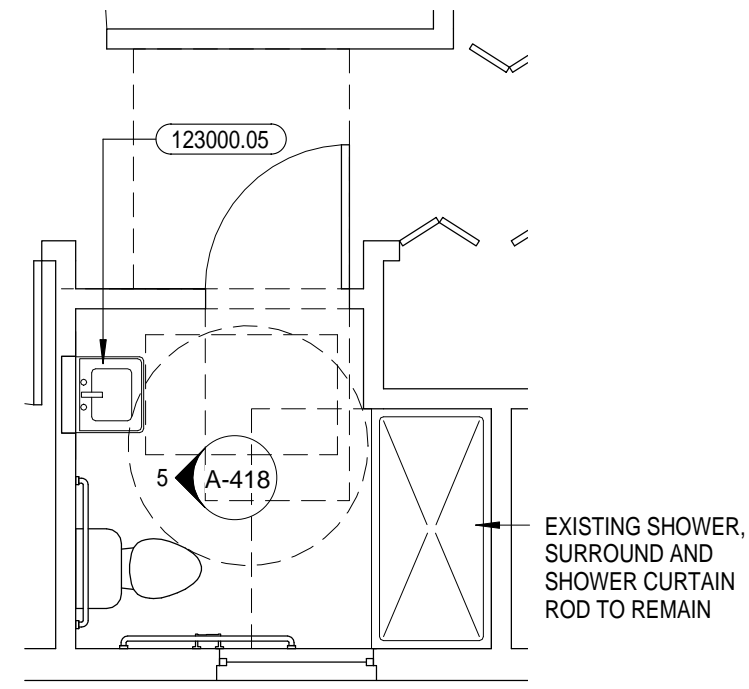
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1/4" = 1'-0"



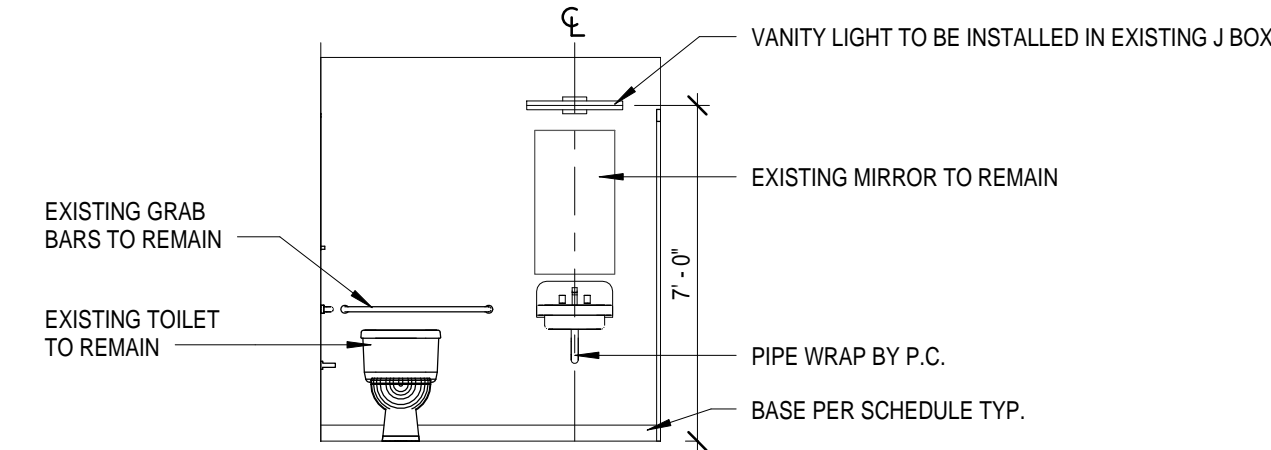
2 UFAS Elevation  
1/4" = 1'-0"



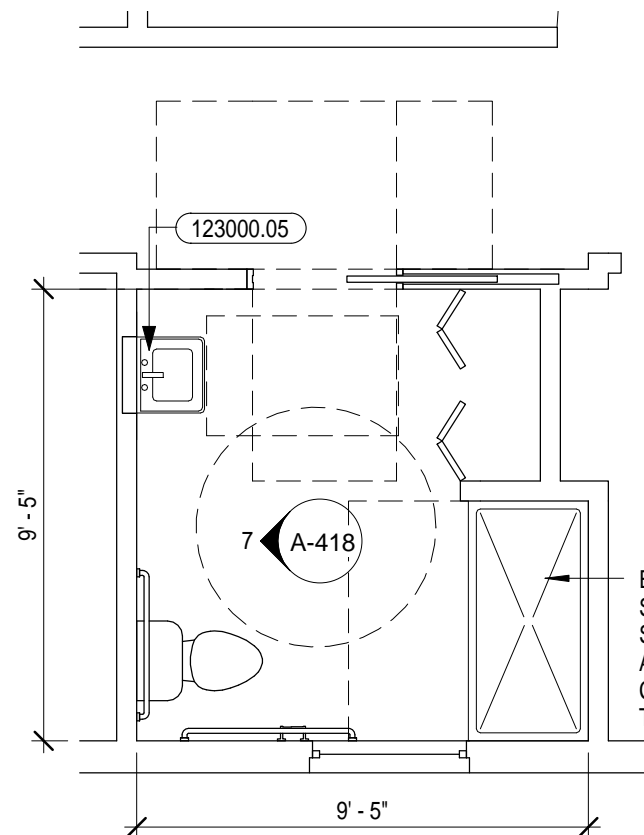
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1/4" = 1'-0"



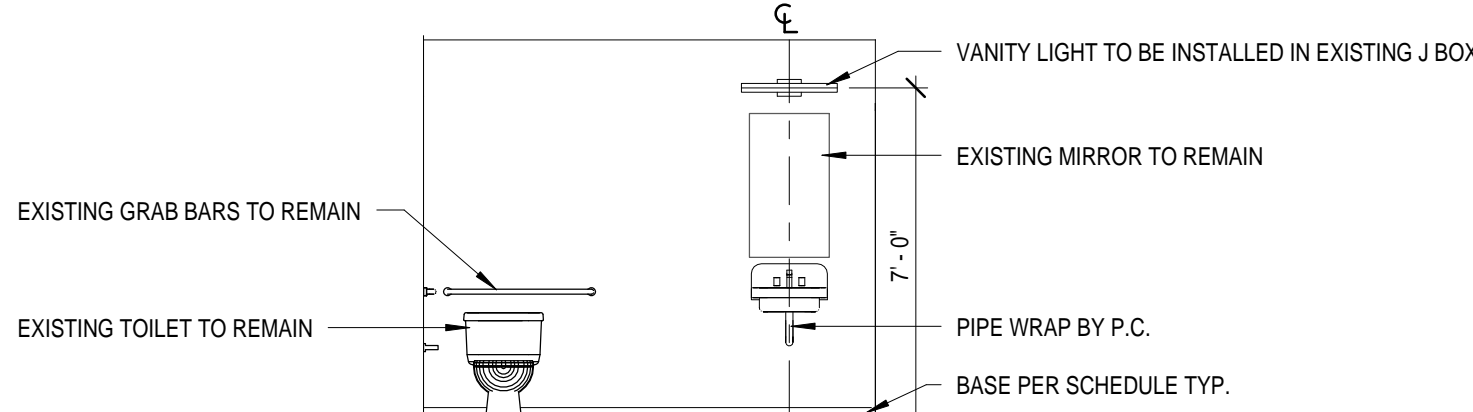
4 UFAS Enlarged Plan  
1/4" = 1'-0"



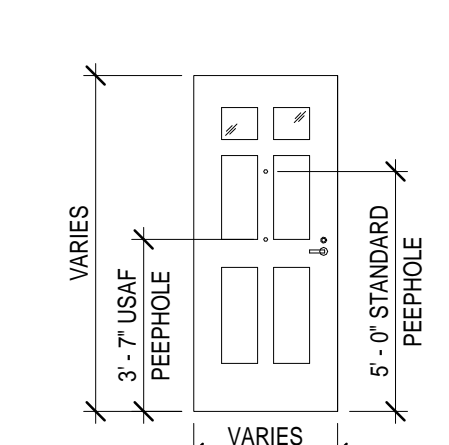
5 UFAS Elevation  
1/4" = 1'-0"



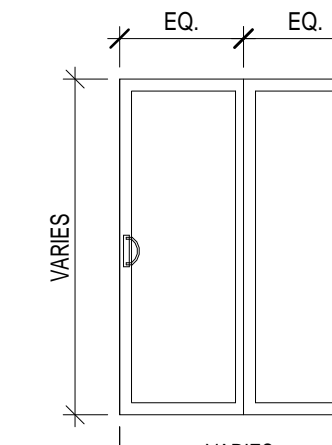
6 UFAS Enlarged Plan  
1/4" = 1'-0"



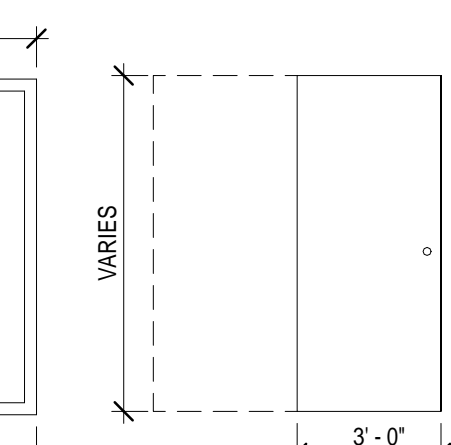
7 UFAS Elevation  
1/4" = 1'-0"



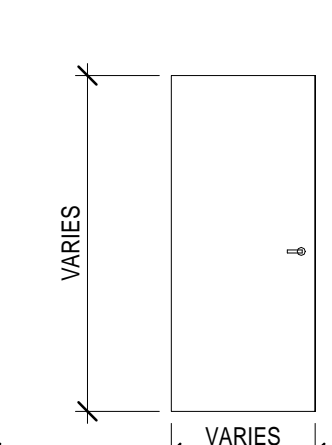
1-3 HOLLOW METAL DOOR w/ GLAZING



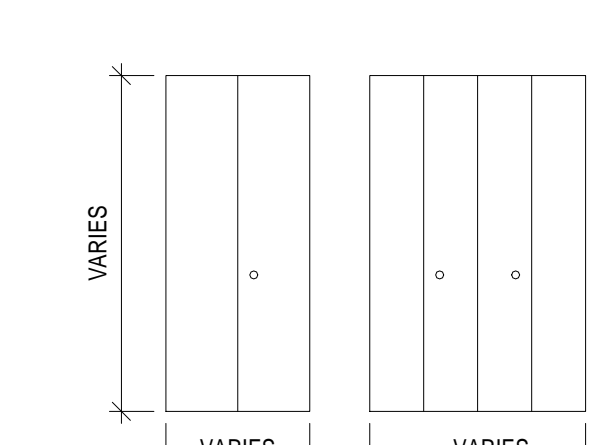
4 SLIDING GLASS DOOR



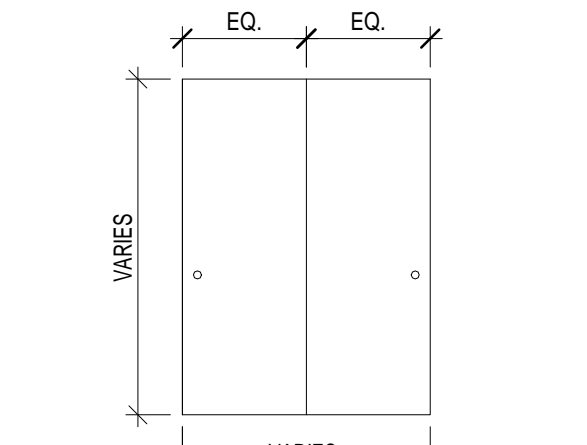
5 SOLID CORE WOOD POCKET DOOR



7-9 SOLID CORE WOOD DOOR



10-12 WOOD BIFOLD DOOR



13-17 WOOD SLIDING DOOR

Door Types  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNIT BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

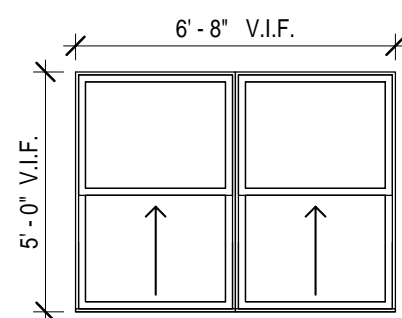
## REFERENCED NOTES

MARK	DESCRIPTION
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.02	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
123000.05	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK AND COUNTERTOP OR WALL MOUNTED UNIT. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET, AND PIPE WRAP. REFER TO PLUMBING DRAWINGS. TYPICAL OF ALL UFAS/ACCESSIBLE BATHROOMS IN HIGH RISE ONLY. REFER TO G-102 AND G-110 FOR BATHROOMS ACCESSIBILITY TYPES.

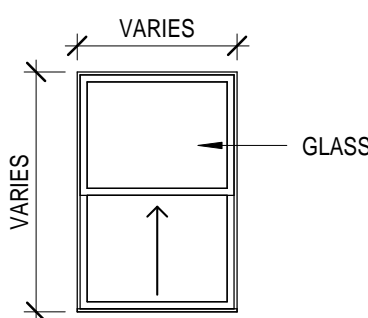
## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW TYPE	MATERIAL	GLAZING	COMMENTS
	WIDTH	HEIGHT				
H	6' - 8" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
K	3' - 4" +/-	2' - 10" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



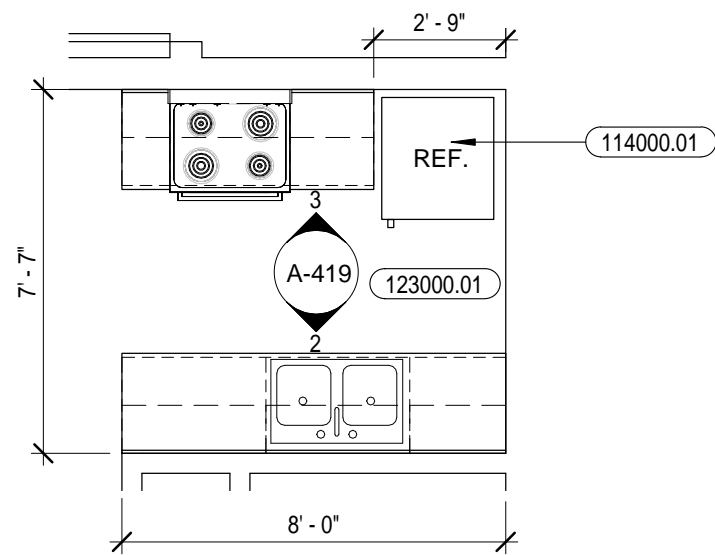
H SINGLE HUNG



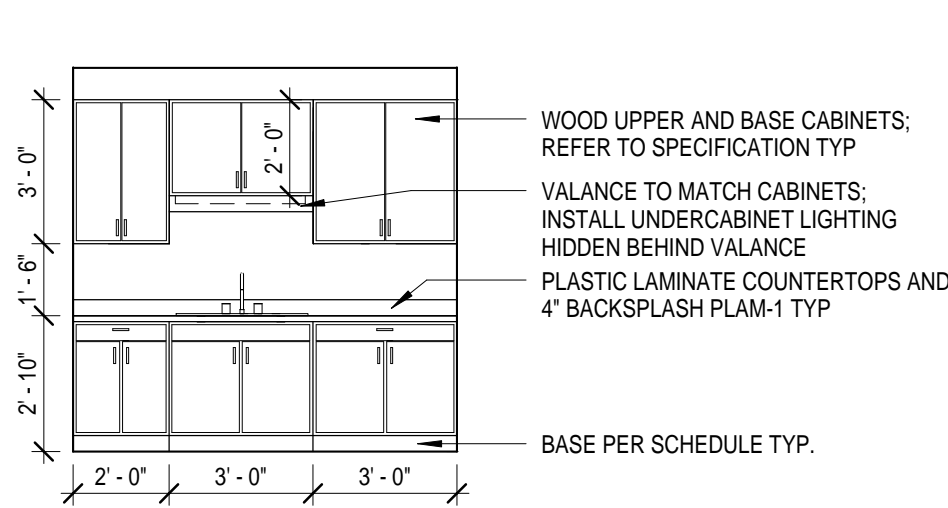
K SINGLE HUNG

Window Types  
1/4" = 1'-0"

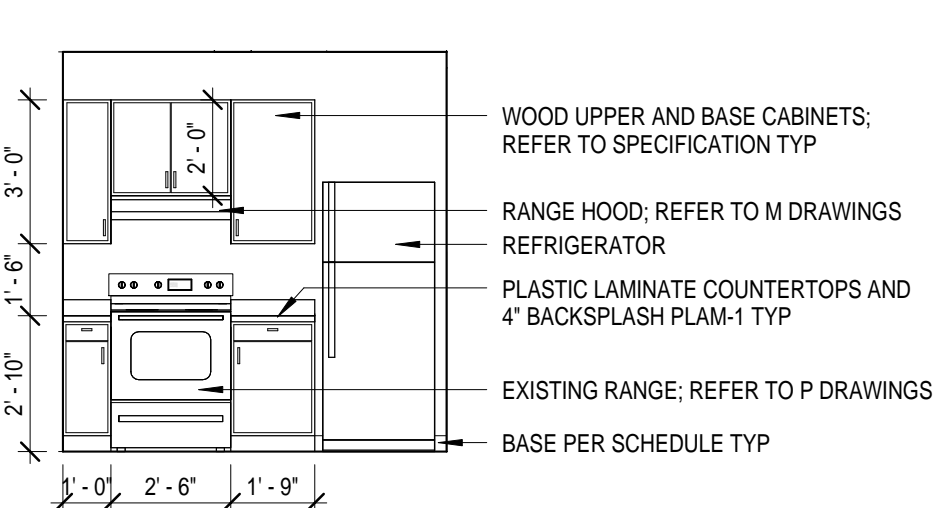




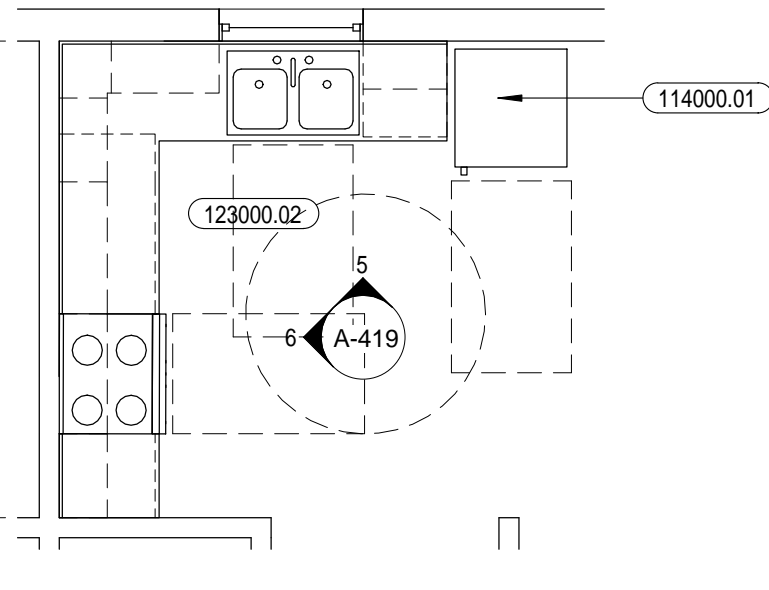
1 Enlarged Plan  
1/4" = 1'-0"



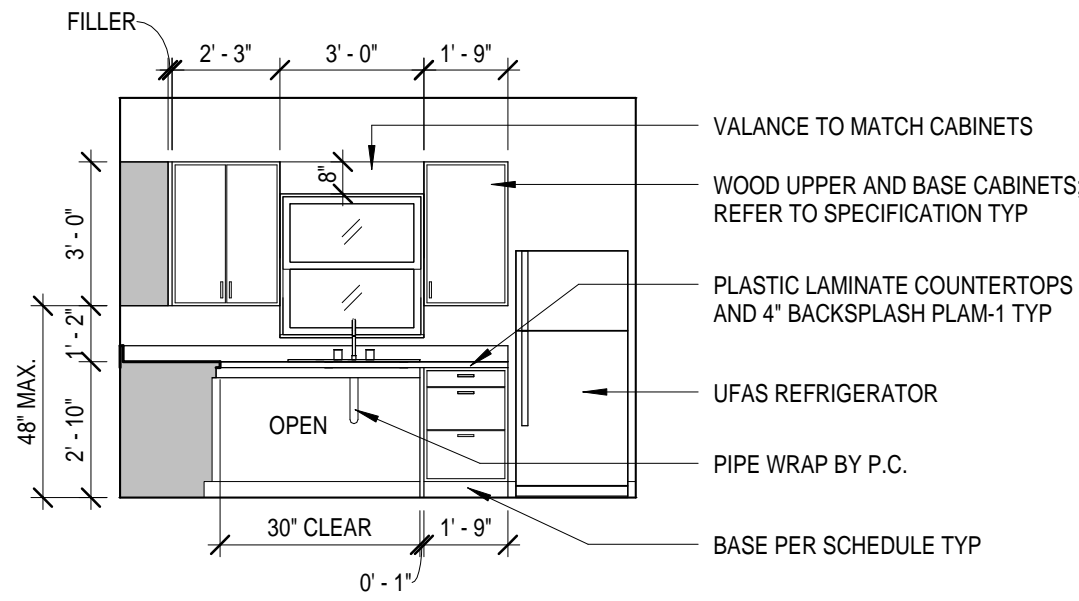
2 Elevation  
1/4" = 1'-0"



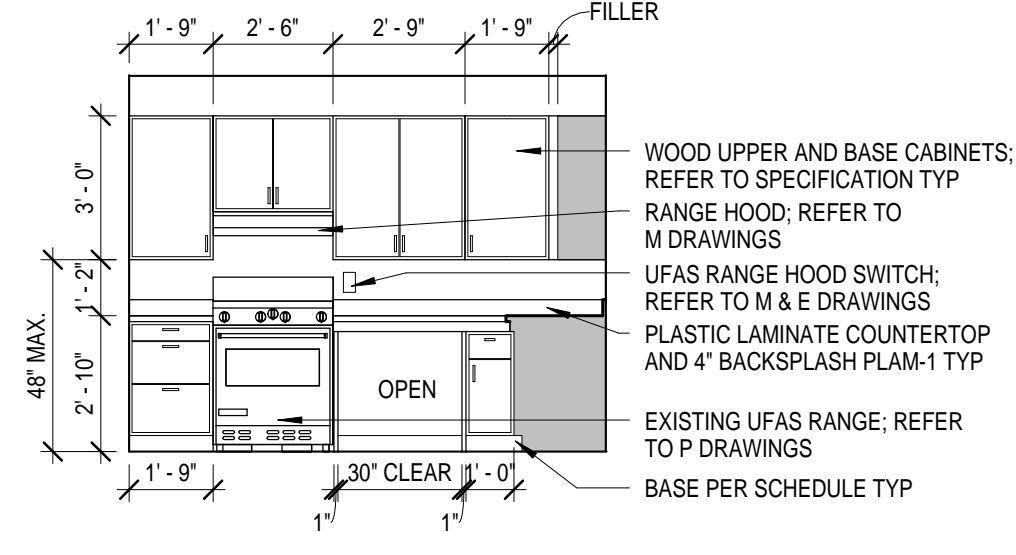
3 Elevation  
1/4" = 1'-0"



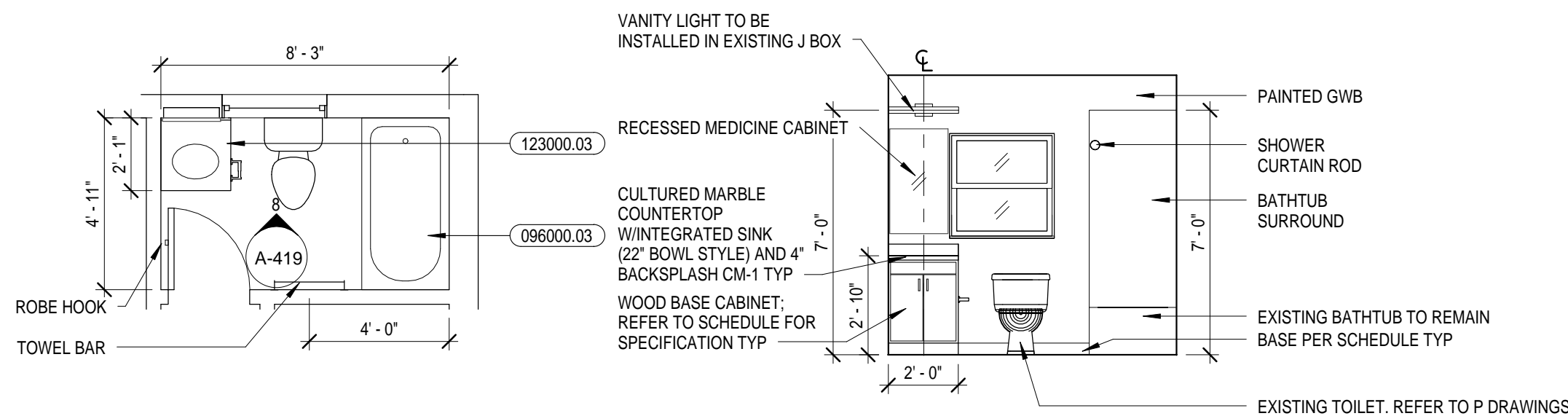
4 UFAS Enlarged Plan  
1/4" = 1'-0"



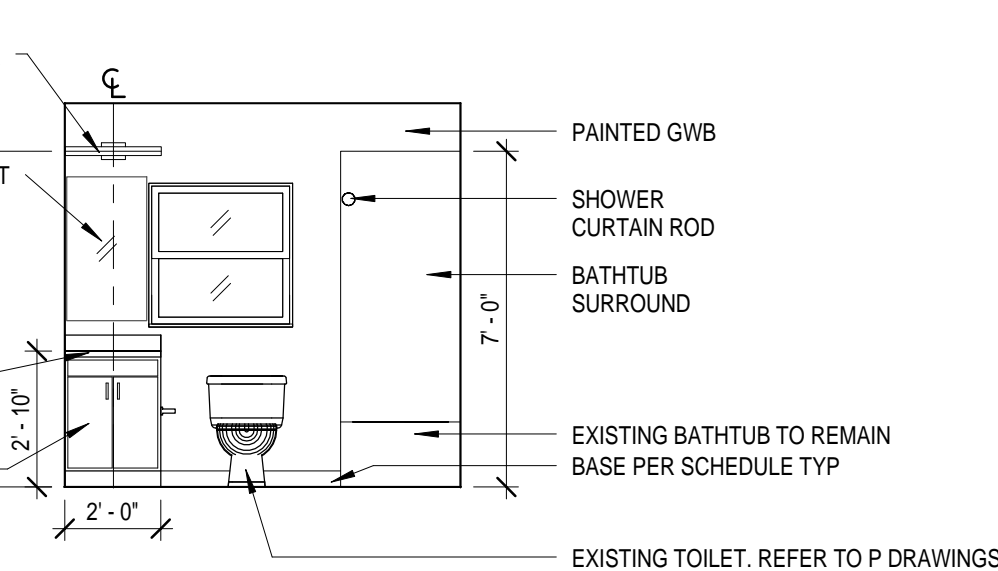
5 UFAS Elevation  
1/4" = 1'-0"



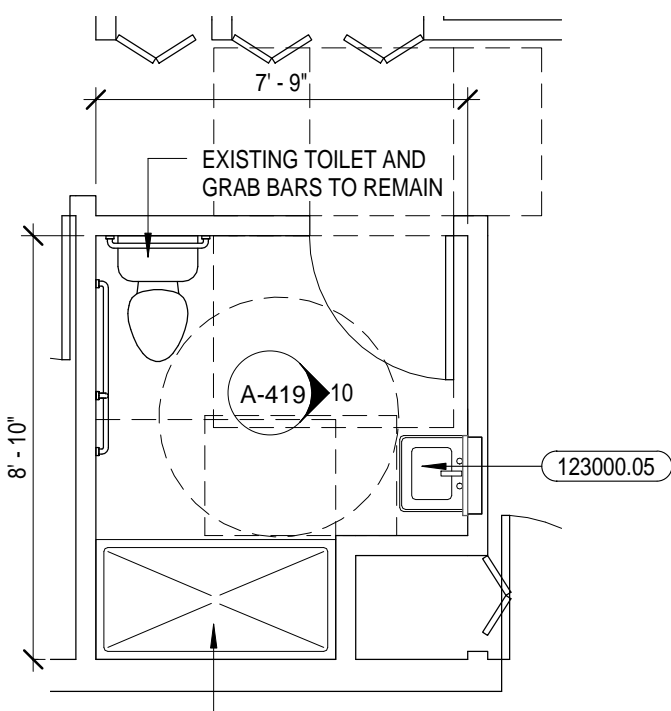
6 UFAS Elevation  
1/4" = 1'-0"



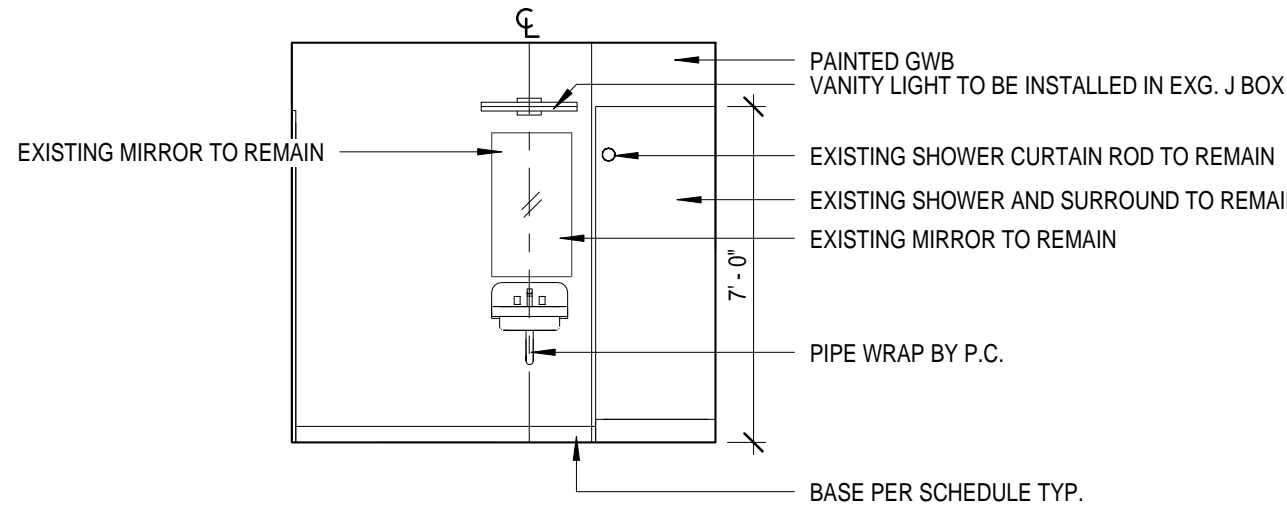
7 Enlarged Plan  
1/4" = 1'-0"



8 Elevation  
1/4" = 1'-0"



9 UFAS Enlarged Plan  
1/4" = 1'-0"



10 UFAS Elevation  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 115100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

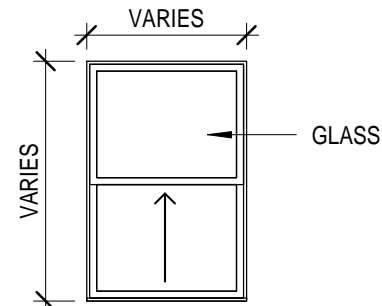
## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES, WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING. FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL. TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS. SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.02	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.
123000.05	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK AND COUNTERTOP OR WALL MOUNTED UNIT. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET, AND PIPE WRAP. REFER TO PLUMBING DRAWINGS. TYPICAL OF ALL UFAS/ACCESSIBLE BATHROOMS IN HIGH RISE ONLY. REFER TO G-102 AND G-110 FOR BATHROOMS ACCESSIBILITY TYPES.

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
C	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
L	3' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
M	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
O	2' - 8" +/-	4' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



C, L, M, O SINGLE HUNG

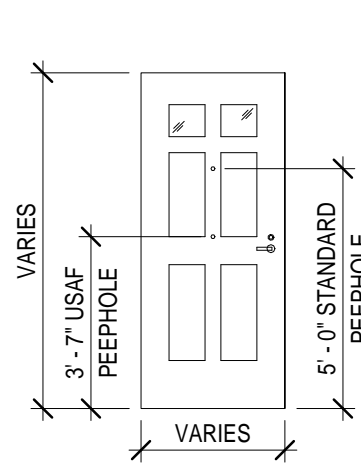
Window Types  
1/4" = 1'-0"

## DOOR SCHEDULE

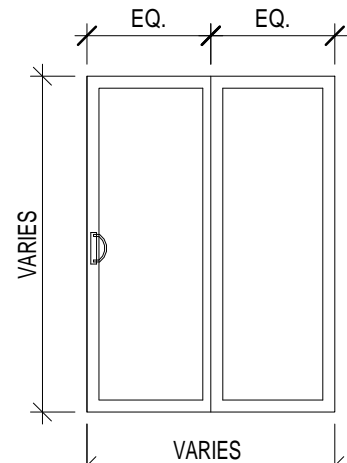
DOOR		NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM	3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM	2' - 8"	6' - 8"	0' - 2"	EX	EX	4	NO GLASS WINDOWS AT TOP, NOT INSULATED
4	AL	4' - 11"	7' - 0"	0' - 2"	EX	EX	6	
8	WD	3' - 0"	6' - 8"	0' - 2"	EX	EX	1	
8A	WD	2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
8B	WD	2' - 4"	6' - 8"	0' - 2"	EX	EX	1	
9	WD	1' - 6"	6' - 8"	0' - 2"	EX	EX	2	
9A	WD	2' - 2"	6' - 8"	0' - 2"	EX	EX	2	
9B	WD	2' - 4"	6' - 8"	0' - 2"	EX	EX	2	
11	WD	2' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	
12	WD	4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	
12A	WD	5' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

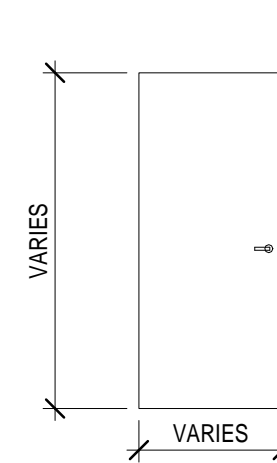
- NOTES:  
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.  
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.  
3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.  
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



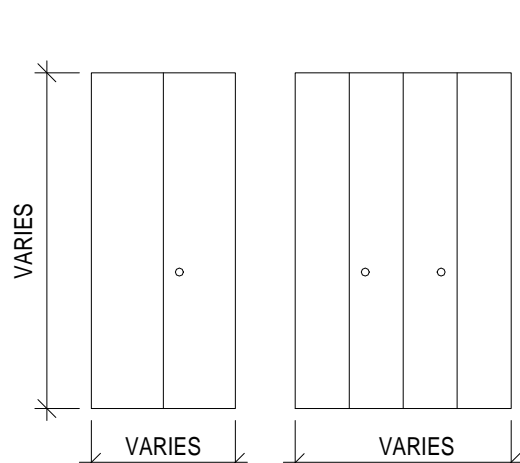
1-3 HOLLOW METAL  
DOOR w/ GLAZING



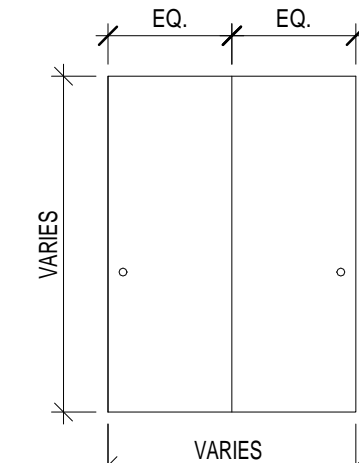
4 SLIDING  
GLASS DOOR



7-9 SOLID CORE  
WOOD DOOR



10-12 WOOD BIFOLD  
DOOR



13-17 WOOD SLIDING  
DOOR

Door Types  
1/4" = 1'-0"



Renaissance 3 Architects, P.C.

48 South 14th Street  
Pittsburgh, PA 15203  
Phone: 412-431-2480  
Fax: 412-431-2670  
www.r3a.com

Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

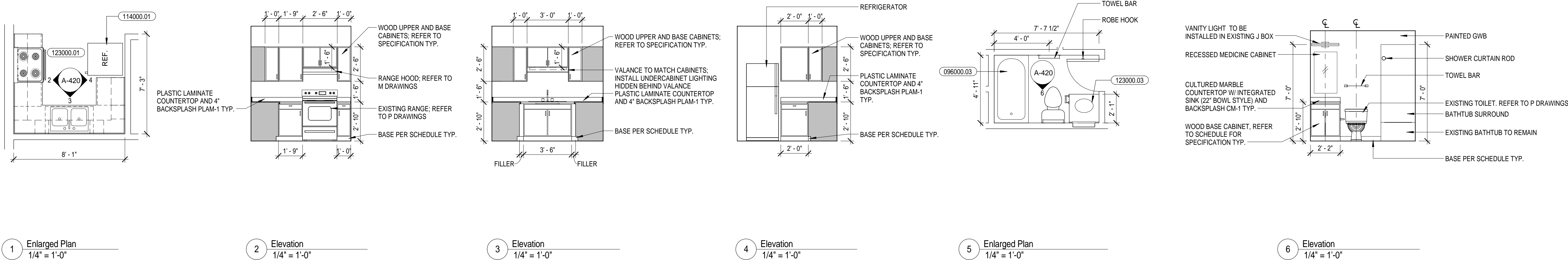
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type J UFAS/  
Accessible  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-419



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Design  
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Design Development

ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type K Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-420

## GENERAL NOTES

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7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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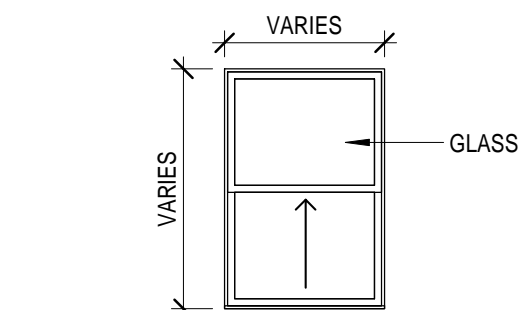
## REFERENCED NOTES

MARK	DESCRIPTION
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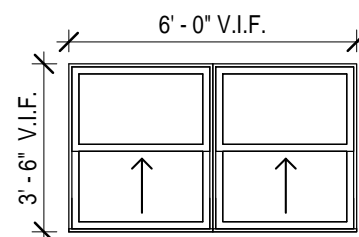
## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
C	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
M	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
N	6' - 0" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
O	3' - 0" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



C, M, O SINGLE HUNG



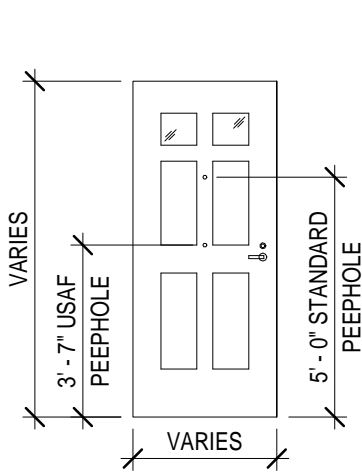
N SINGLE HUNG

## DOOR SCHEDULE

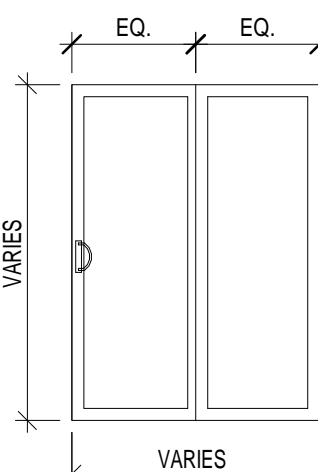
TYPE	DOOR		NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
	MATL	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MATL		
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
4	AL		5' - 9"	7' - 0"	0' - 2"	EX	EX	6	
7	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
8	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
9	WD		2' - 0"	6' - 8"	0' - 2"	EX	EX	2	
9B	WD		1' - 6"	6' - 8"	0' - 2"	EX	EX	2	
9C	WD		2' - 4"	6' - 8"	0' - 2"	EX	EX	2	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

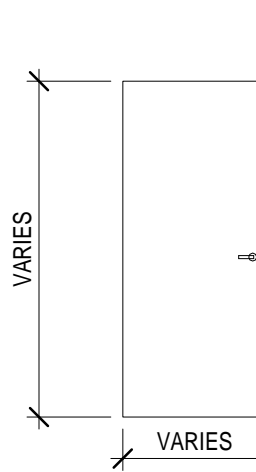
- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



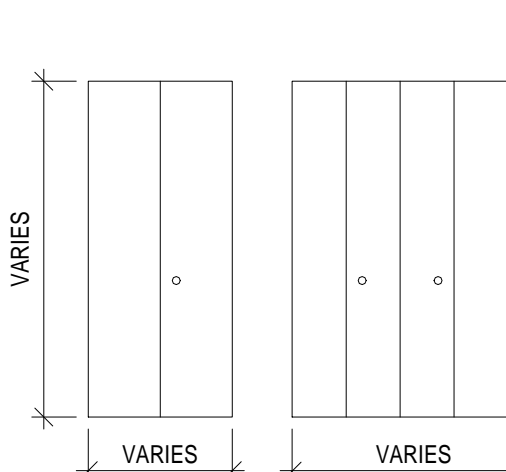
1-3 HOLLOW METAL  
DOOR w/ GLAZING



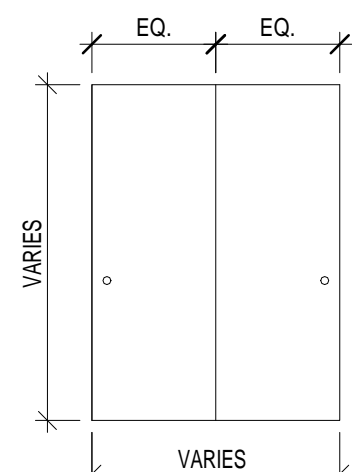
4 SLIDING  
GLASS DOOR



7-9 SOLID CORE  
WOOD DOOR



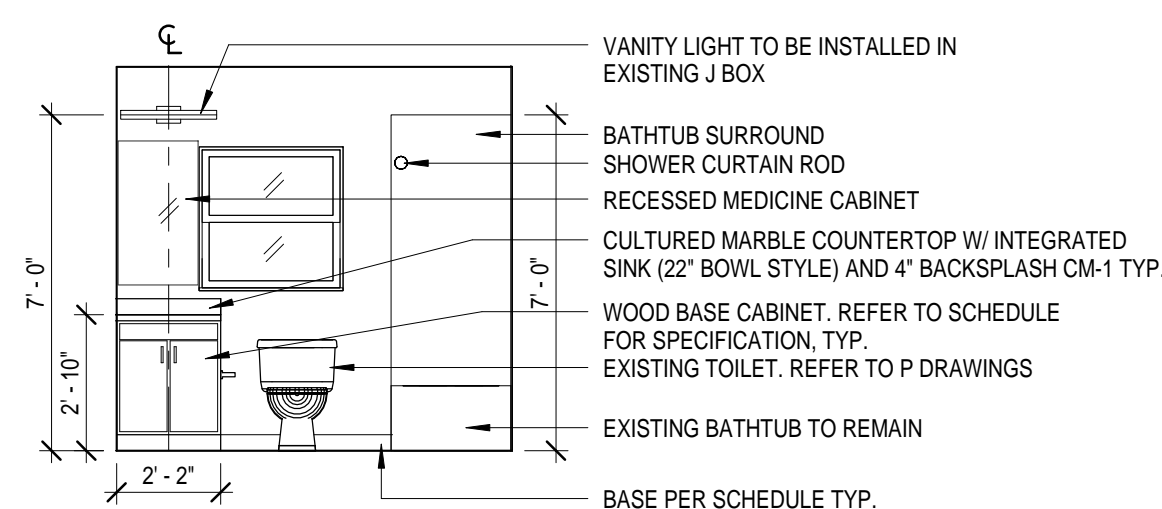
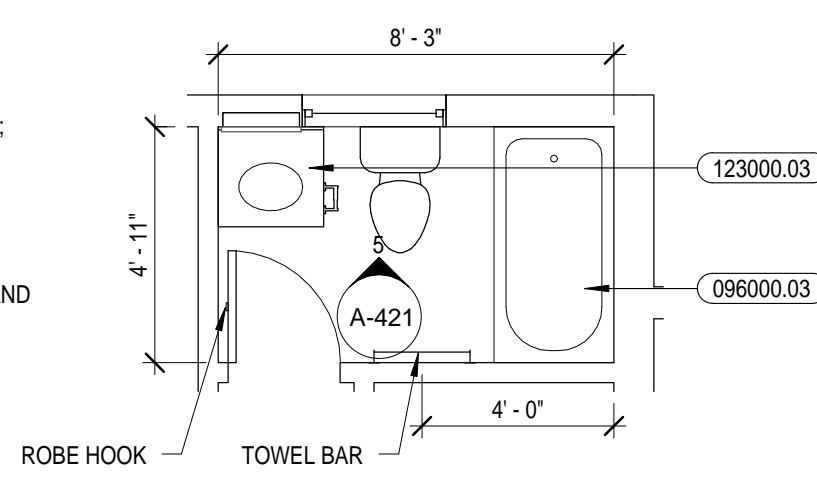
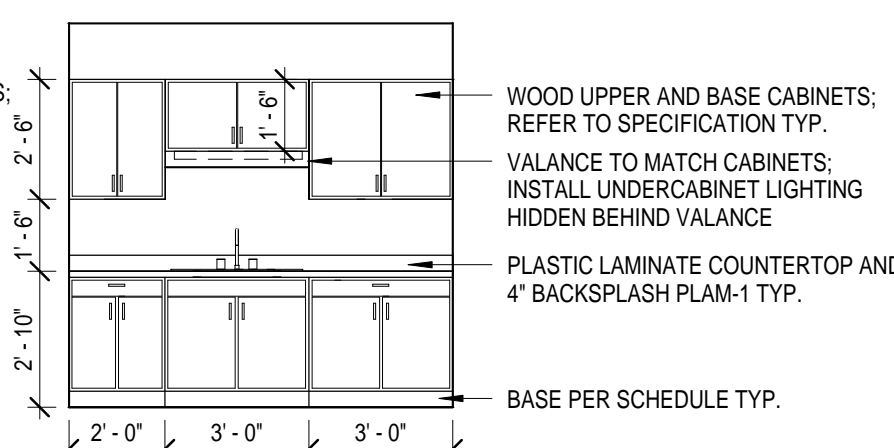
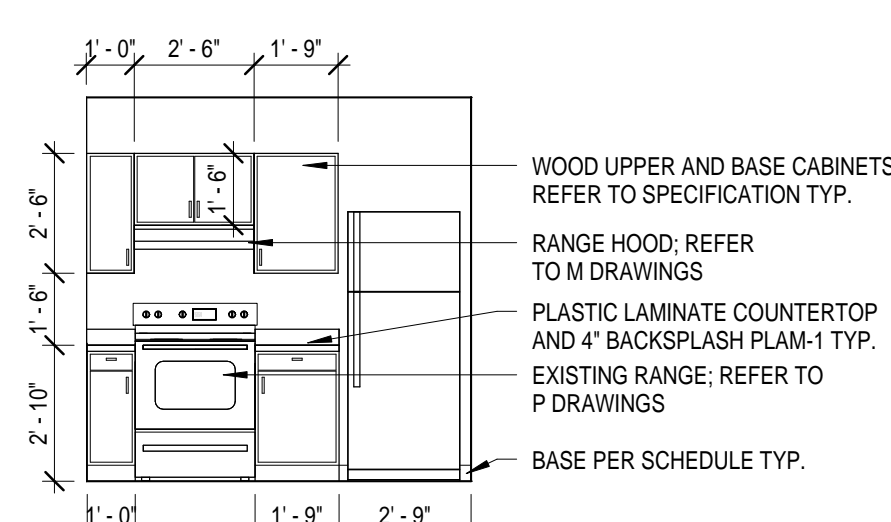
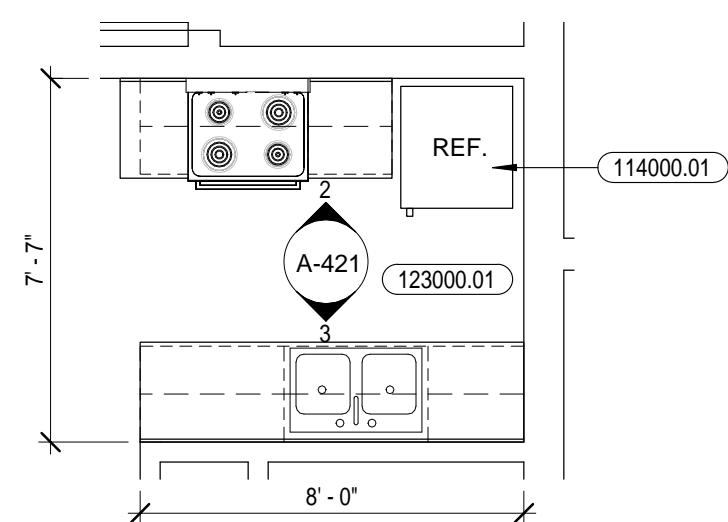
10-12 WOOD BIFOLD  
DOOR



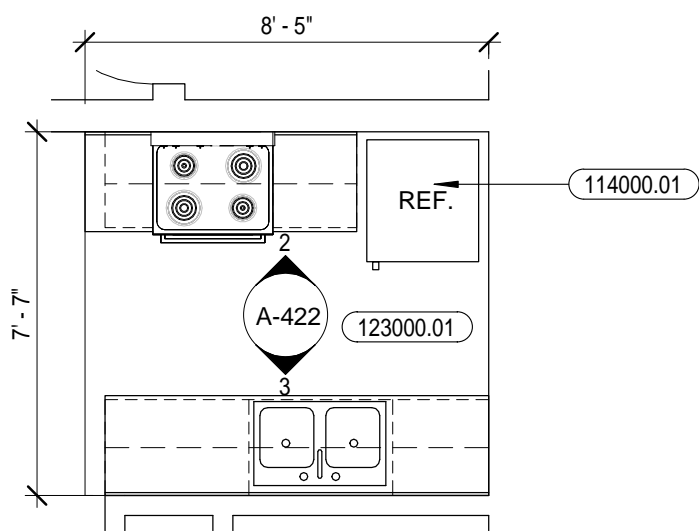
13-17 WOOD  
SLIDING DOOR

Door Types  
1/4" = 1'-0"

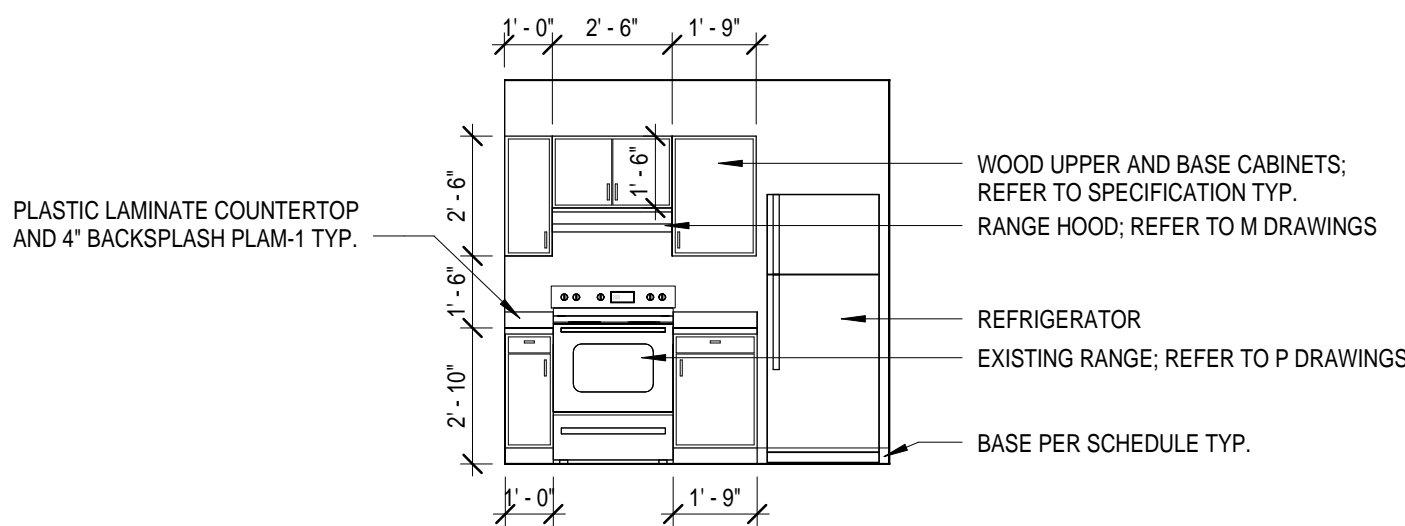




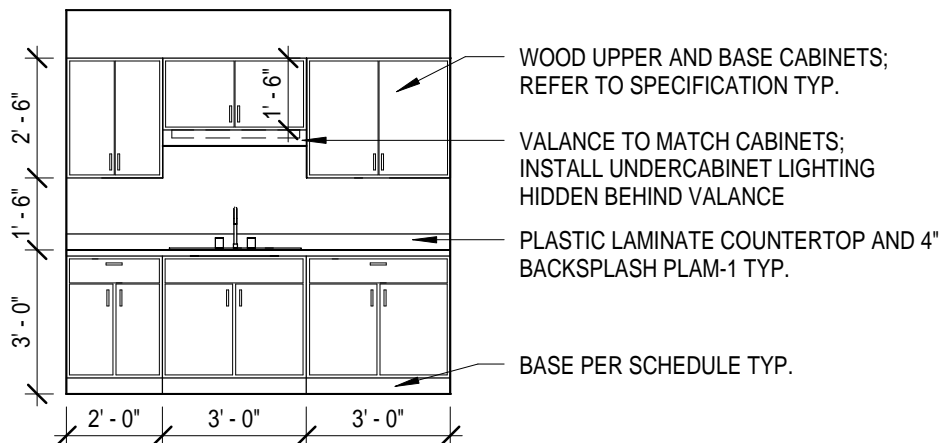
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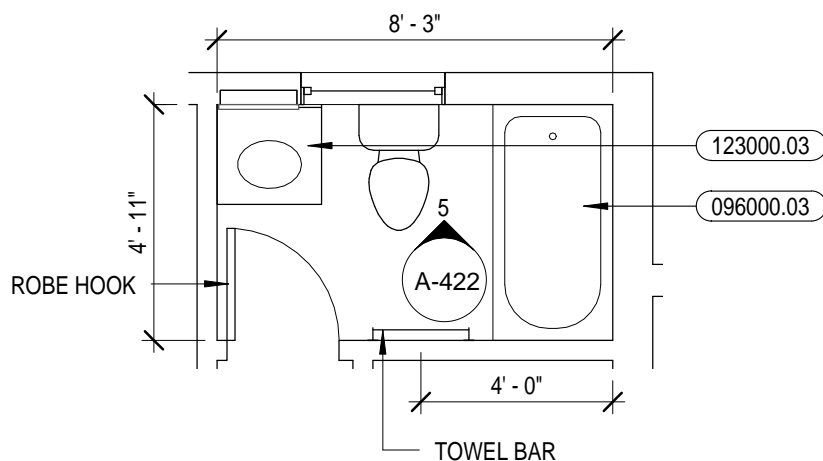
1 Enlarged Plan  
1/4" = 1'-0"



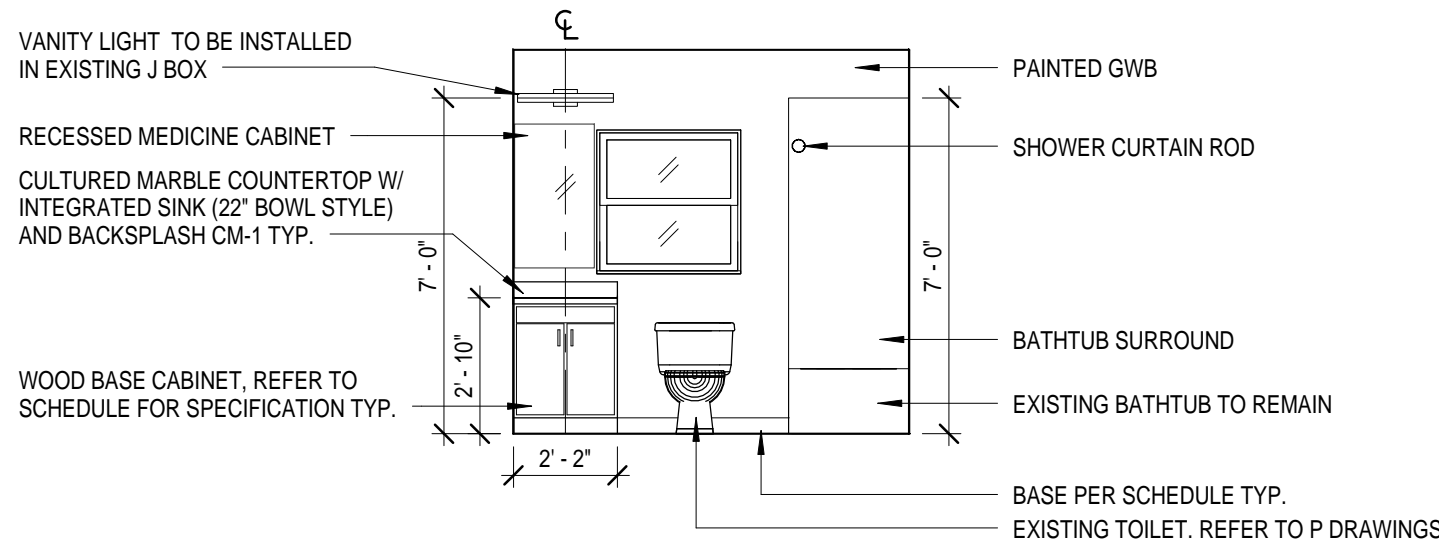
2 Elevation  
1/4" = 1'-0"



3 Elevation  
1/4" = 1'-0"



4 Enlarged Plan  
1/4" = 1'-0"



5 Elevation  
1/4" = 1'-0"

## GENERAL NOTES

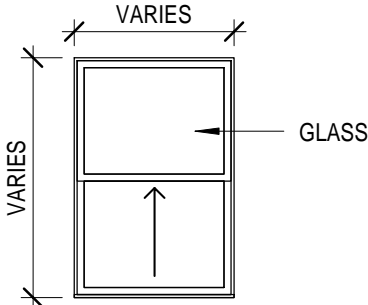
1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO M. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STUDS. FURNISH AND INSTALL TILE BACKER BOARD FROM TOP OF TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. WHERE TUB WALL(S) AROUND TUB ARE REQUIRED TO PROVIDE A 1 HOUR FIRE RESISTANT FIRE RATING, FURNISH AND INSTALL MINERAL WOOL FIRE SAFING BETWEEN THE STUDS FROM THE FLOOR TO 6" ABOVE THE BOTTOM OF DRYWALL / TOP OF TUB. THE 1 HOUR FIRE RESISTANT FIRE RATING WALL OCCURS BETWEEN BATHROOM WALLS AND MEANS OF EGRESS CORRIDORS, SHAFT WALL ENCLOSURES OR TENANT DEMISING WALLS. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET, COUNTERTOP AND INTEGRAL SINK, FAUCET. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING PRIME CONTRACTOR FOR FAUCET SETS AND SCOPE OF WORK. TYPICAL OF ALL STANDARD NON-UFAS BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

WINDOW SCHEDULE						
MARK	NOMINAL SIZE		WINDOW TYPE	MATERIAL	GLAZING	COMMENTS
	WIDTH	HEIGHT				
C	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
L	3' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
M	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-801 FOR HEAD, JAMB, AND SILL DETAILS



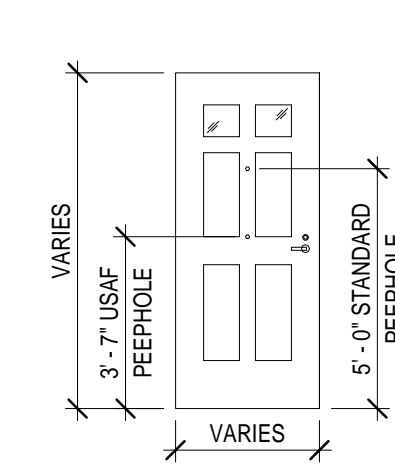
C, L, M SINGLE HUNG

Window Types  
1/4" = 1'-0"

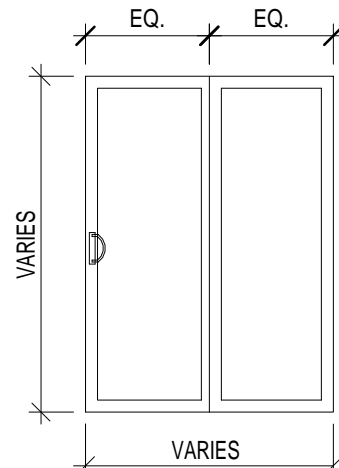
DOOR SCHEDULE								
DOOR			NOMINAL DOOR SIZE			FRAME		COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	2 GLASS WINDOWS AT TOP, INSULATED
2	HM		2' - 8"	6' - 8"	0' - 2"	EX	EX	NO GLASS AT TOP, NOT INSULATED
4	AL		4' - 11"	7' - 0"	0' - 2"	EX	EX	
8	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	
9	WD		1' - 6"	6' - 8"	0' - 2"	EX	EX	
9A	WD		2' - 2"	6' - 8"	0' - 2"	EX	EX	
9B	WD		2' - 4"	6' - 8"	0' - 2"	EX	EX	
12	WD	-	4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

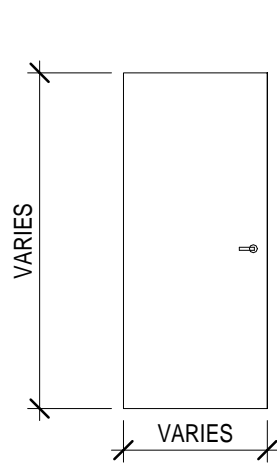
- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  3. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



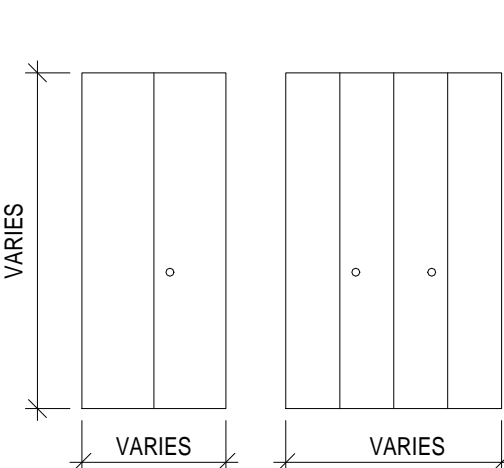
1-3 HOLLOW METAL DOOR w/ GLAZING



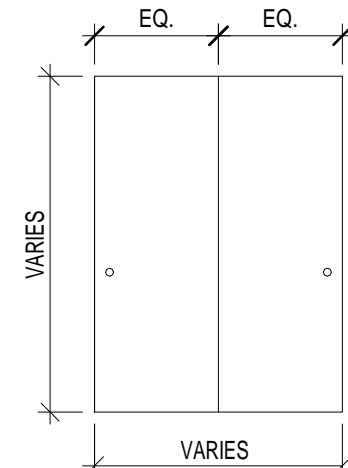
4 SLIDING GLASS DOOR



7-9 SOLID CORE WOOD DOOR



10-12 WOOD BIFOLD DOOR



13-17 WOOD SLIDING DOOR

Door Types  
1/4" = 1'-0"



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Contract No. 33 -  
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Assistance  
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(RAD)

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CONSTRUCTION  
DOCUMENTS

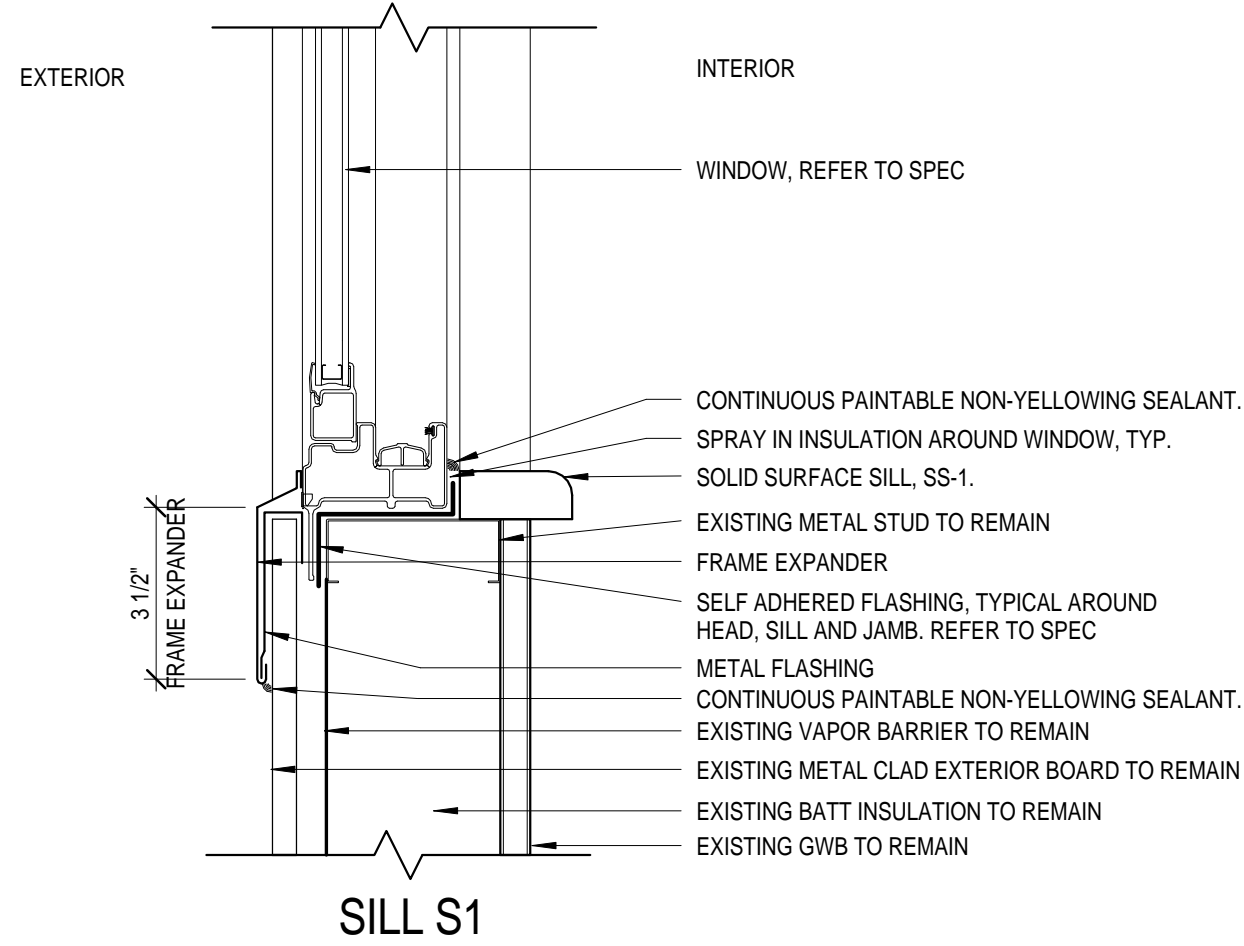
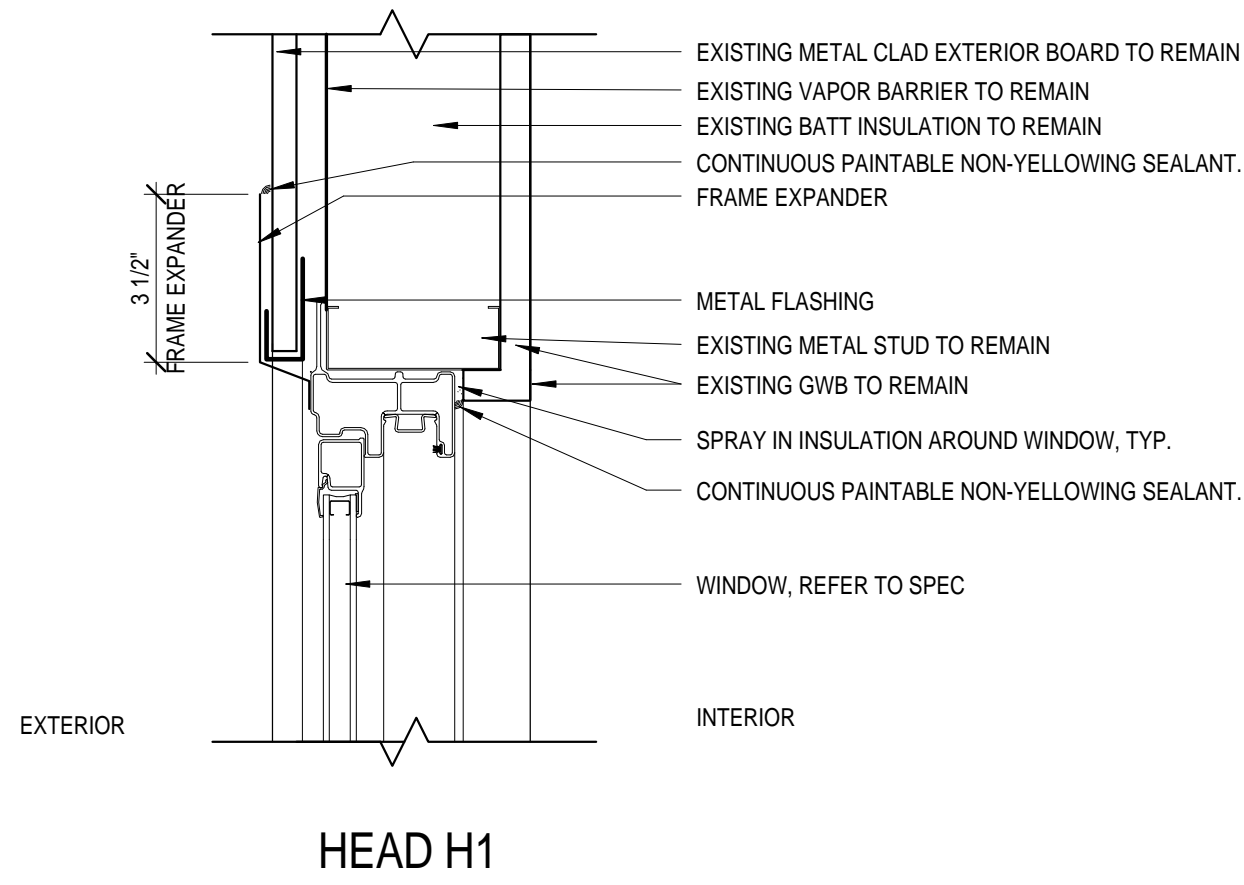
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REVISIONS

Family Community  
- Type M Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

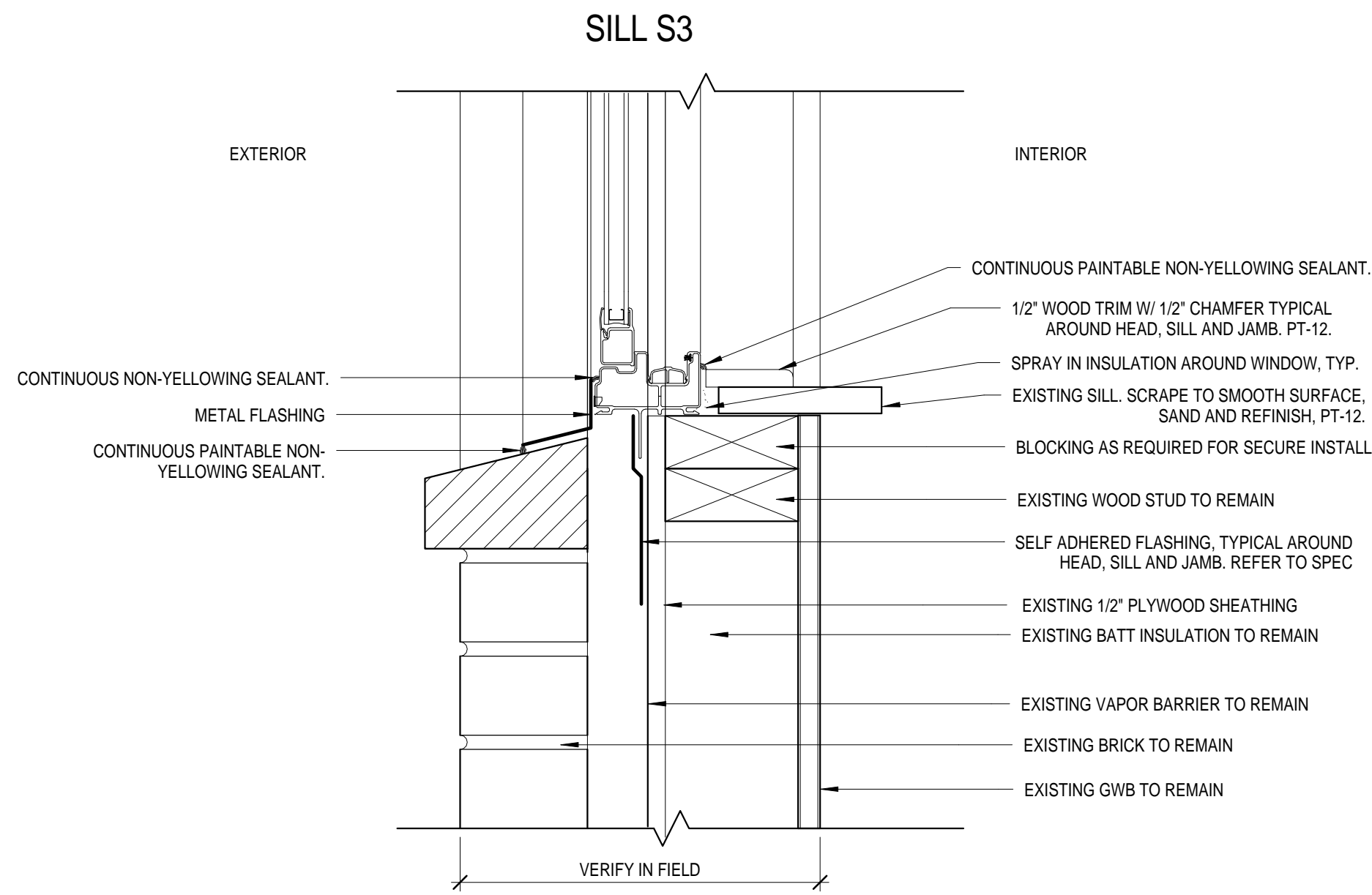
A-422





1 High Rise Window Detail  
3' = 1'-0"

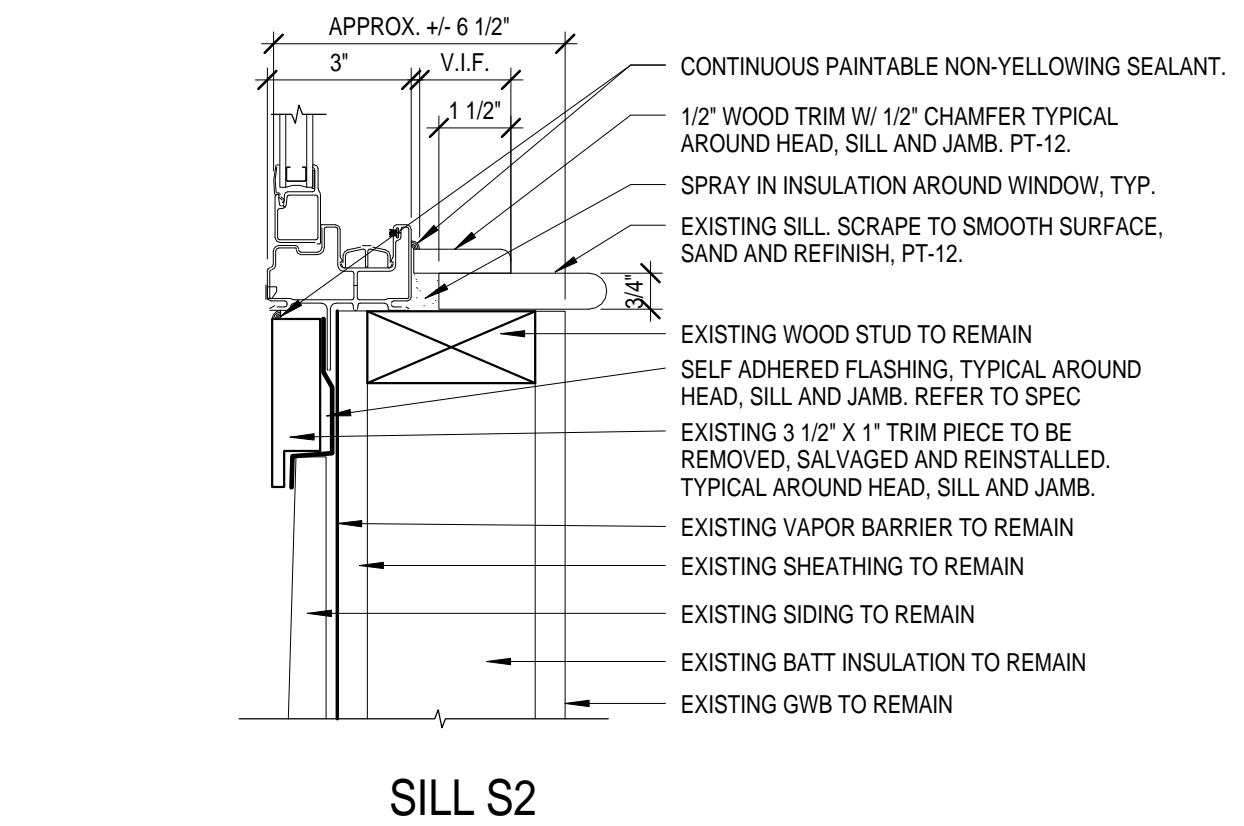
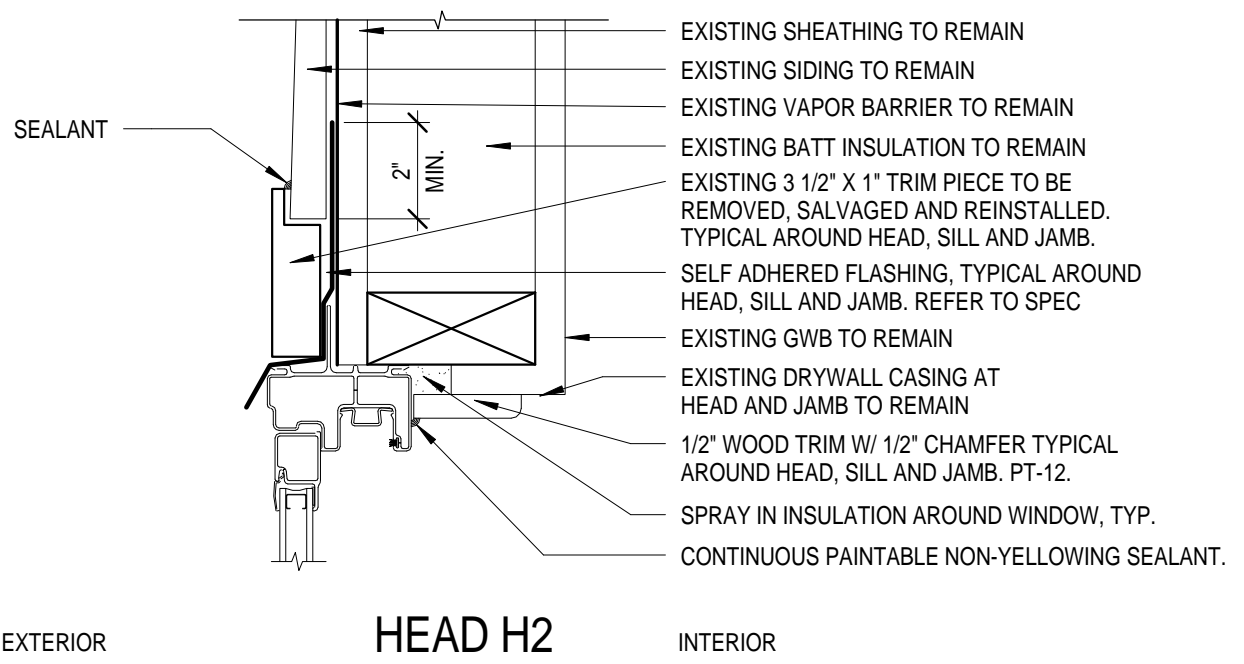
2 Not Used



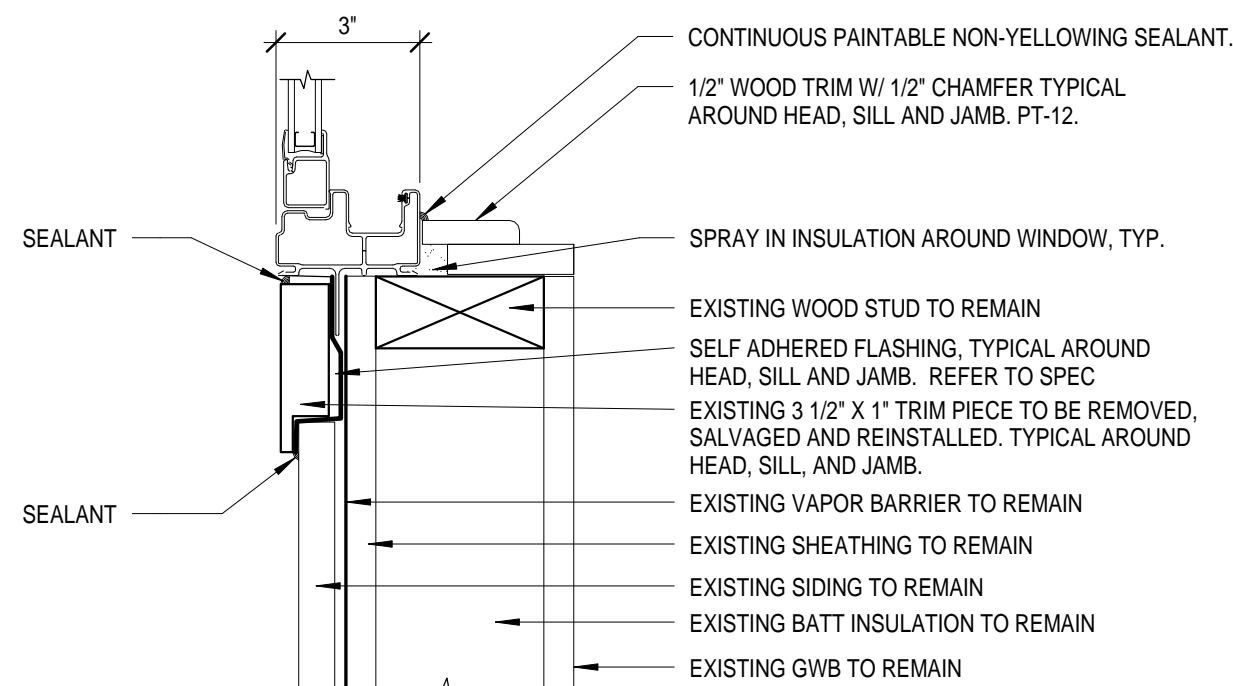
3 Low Rise Window Detail @ Masonry  
3' = 1'-0"

NOTE: HEAD SIMILAR TO LOW RISE DETAIL 5/A-601

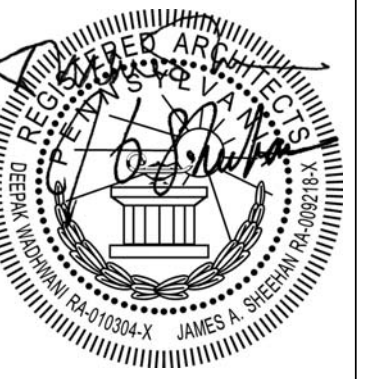
4 Not Used



5 LOW RISE WINDOW DETAILS AT EXISTING SIDING  
3' = 1'-0"



6 JAMB  
3' = 1'-0"



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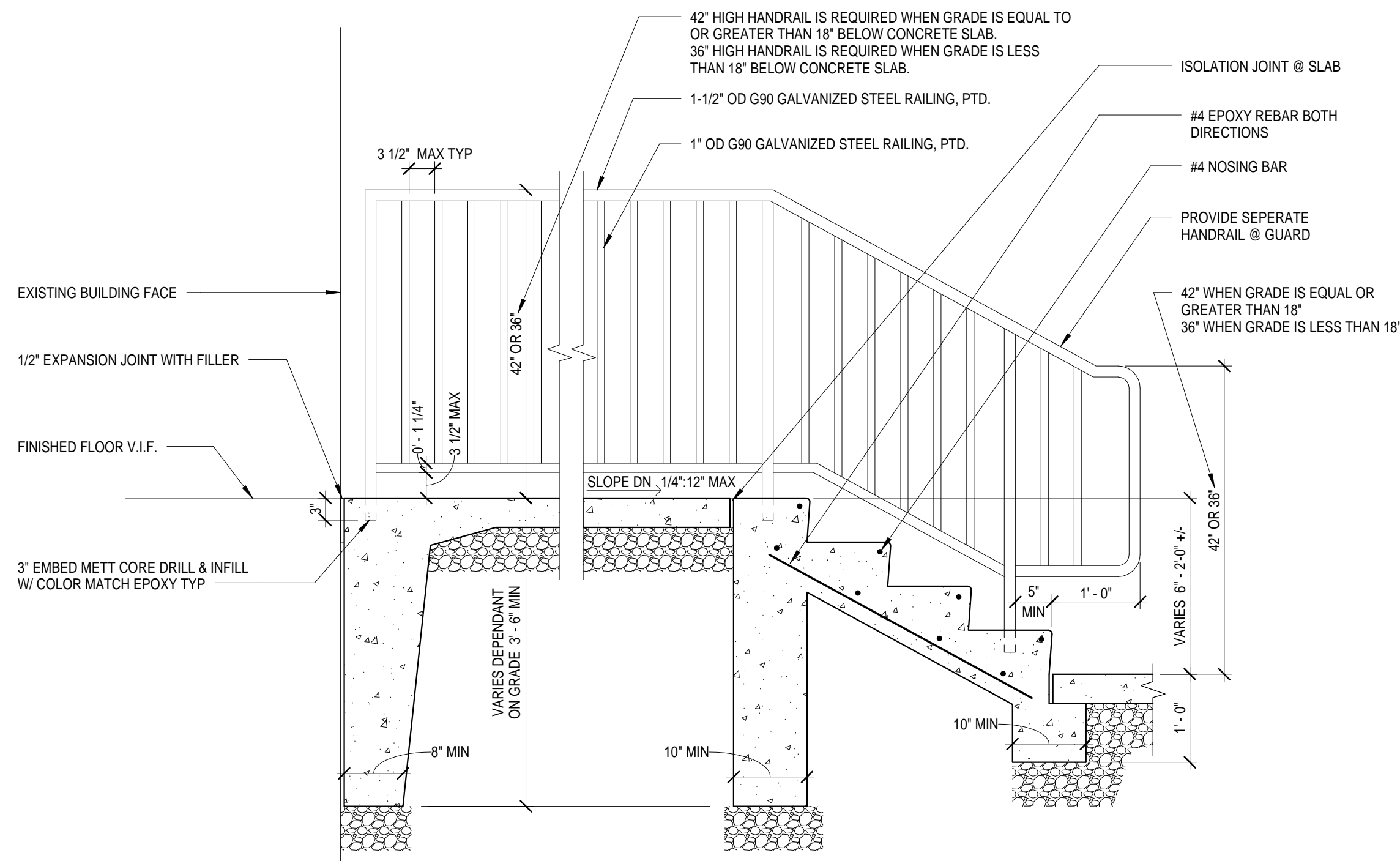
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REVISIONS

Exterior Window  
Details

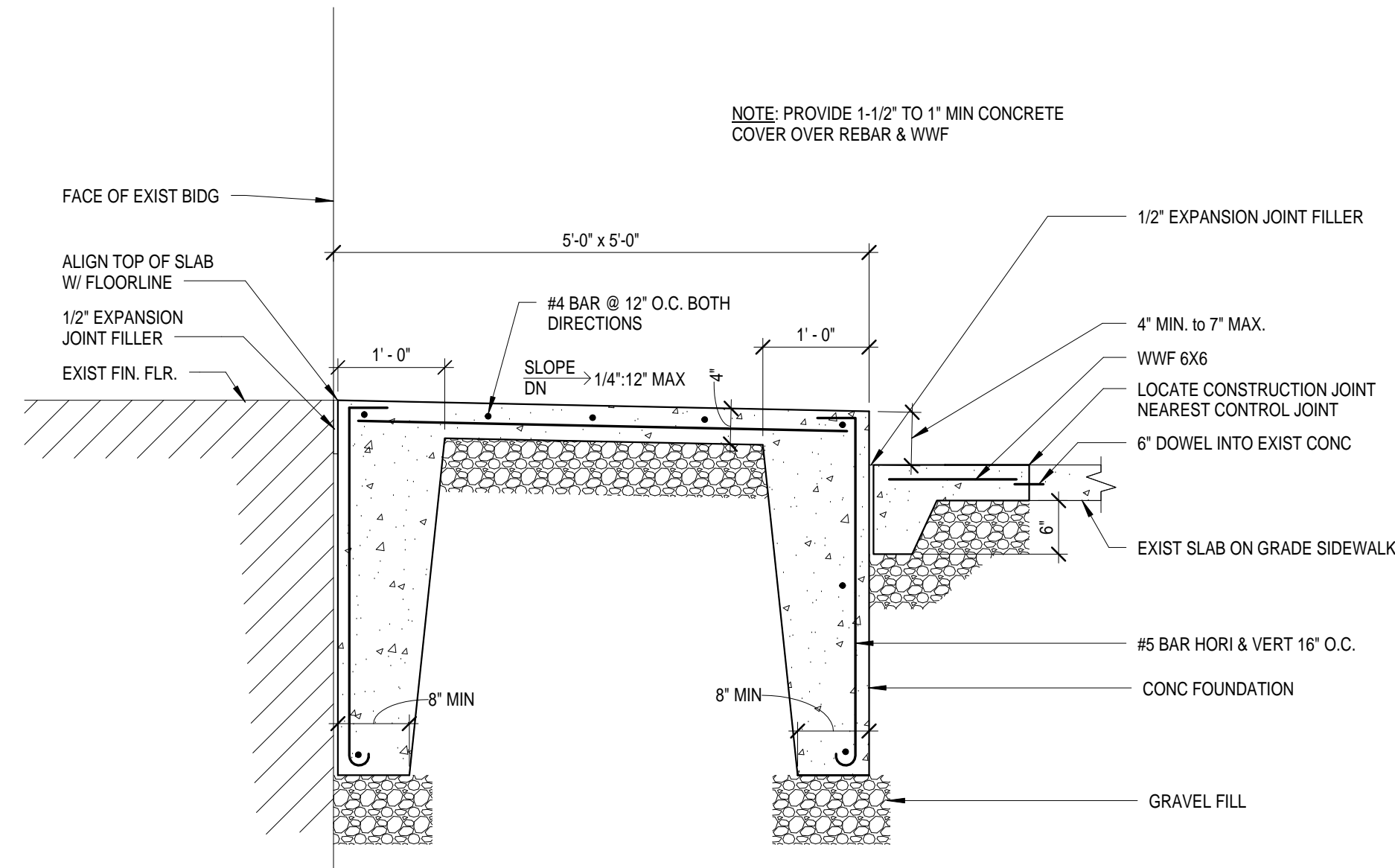
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A-601

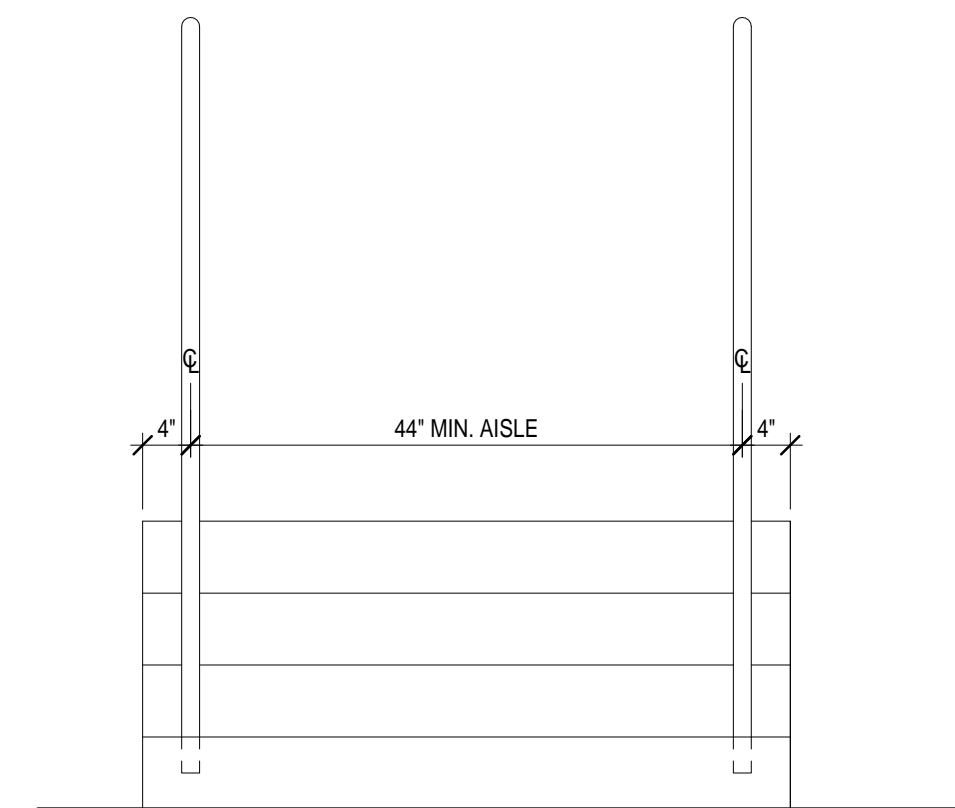


1 PORCH / STAIR SECTION DETAIL  
3/4" = 1'-0"

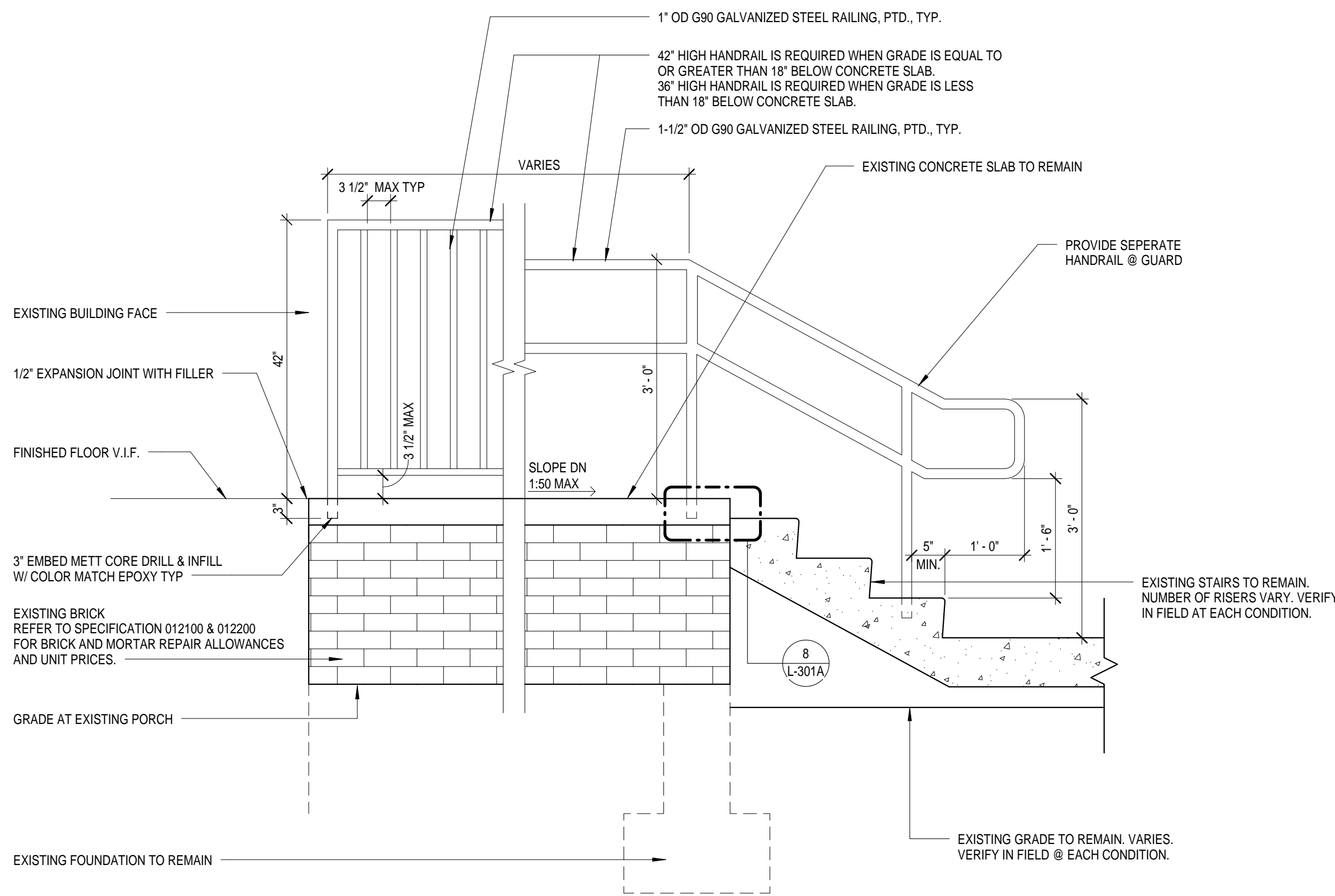
REFER TO SITE DRAWINGS FOR LOCATIONS



2 FROST FREE SLAB SECTION @ DOOR ENTRY ON GRADE  
3/4" = 1'-0"



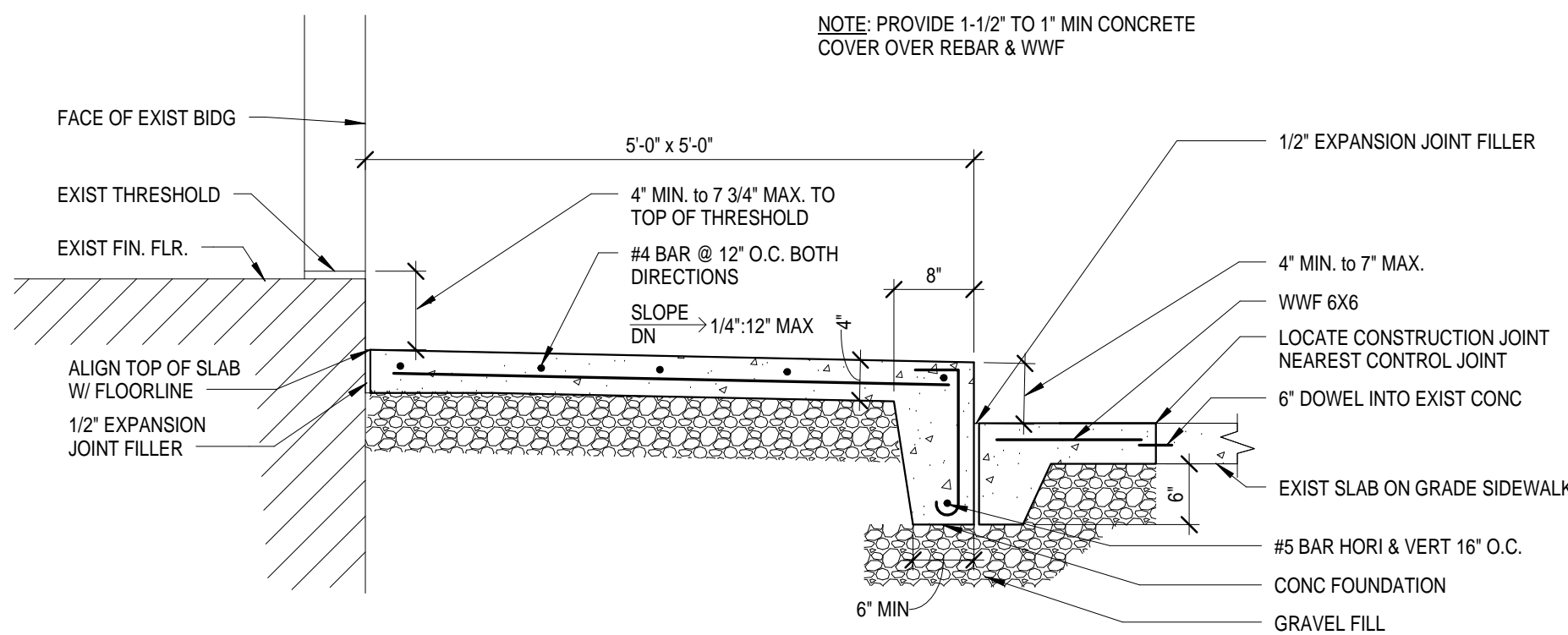
3 EXISTING PORCH STAIR ELEVATION  
3/4" = 1'-0"



4 RAILING DETAIL @ EXISTING PORCHES  
3/4" = 1'-0"

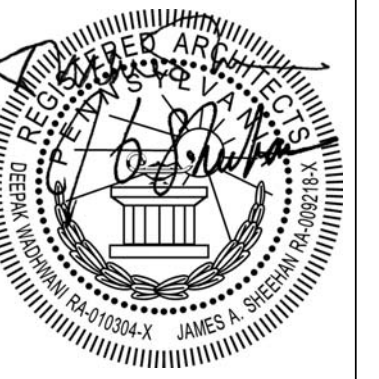
NOTE: ALL PORCHES VARY. VERIFY IN FIELD EXISTING CONDITIONS.

REFER TO SITE DRAWINGS FOR LOCATIONS



5 SLAB SECTION @ DOOR ENTRY BETWEEN 7" TO 14" ABOVE GRADE  
3/4" = 1'-0"

6 NOT USED  
3/4" = 1'-0"



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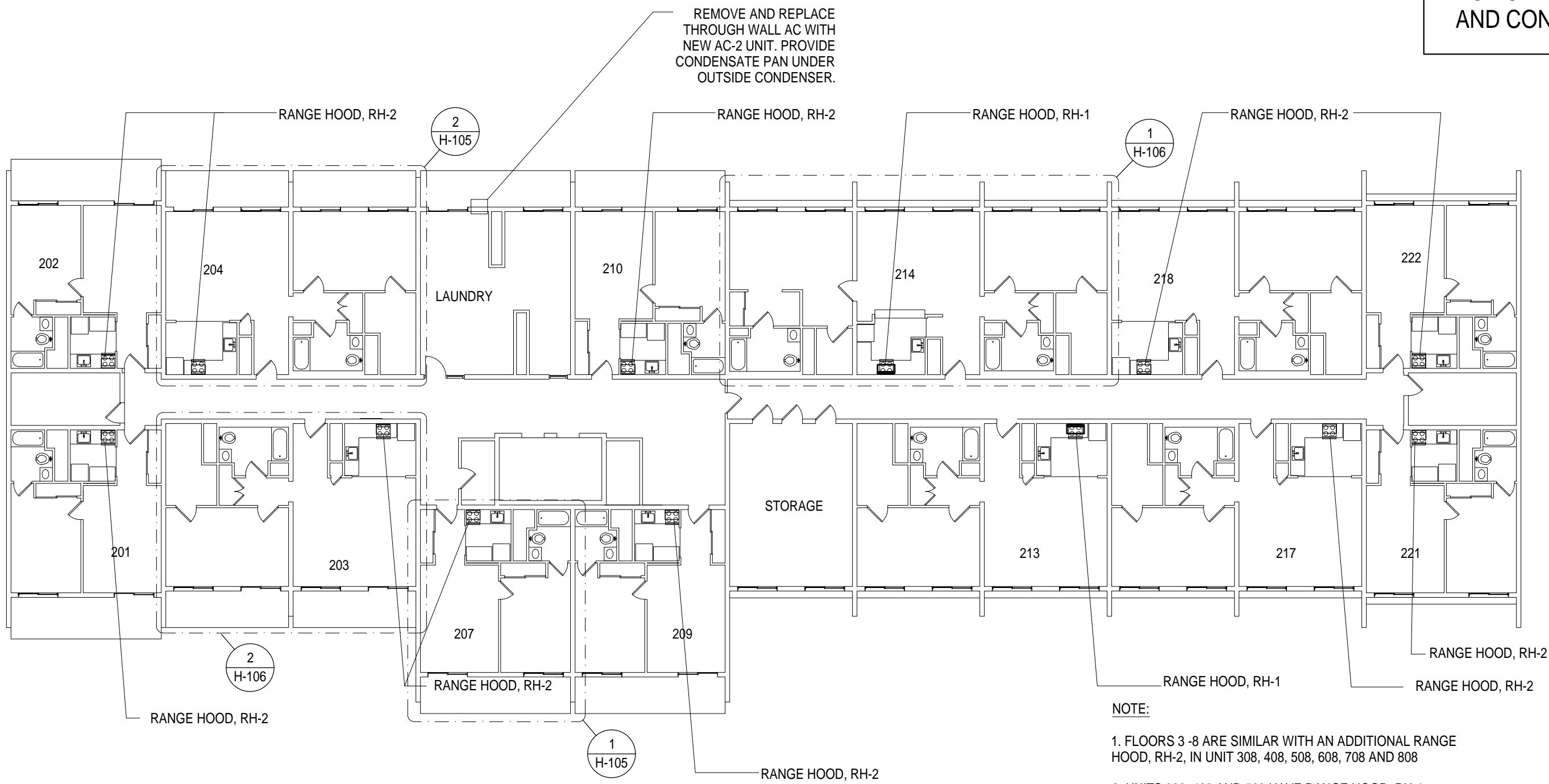
Porch and Railing  
Details

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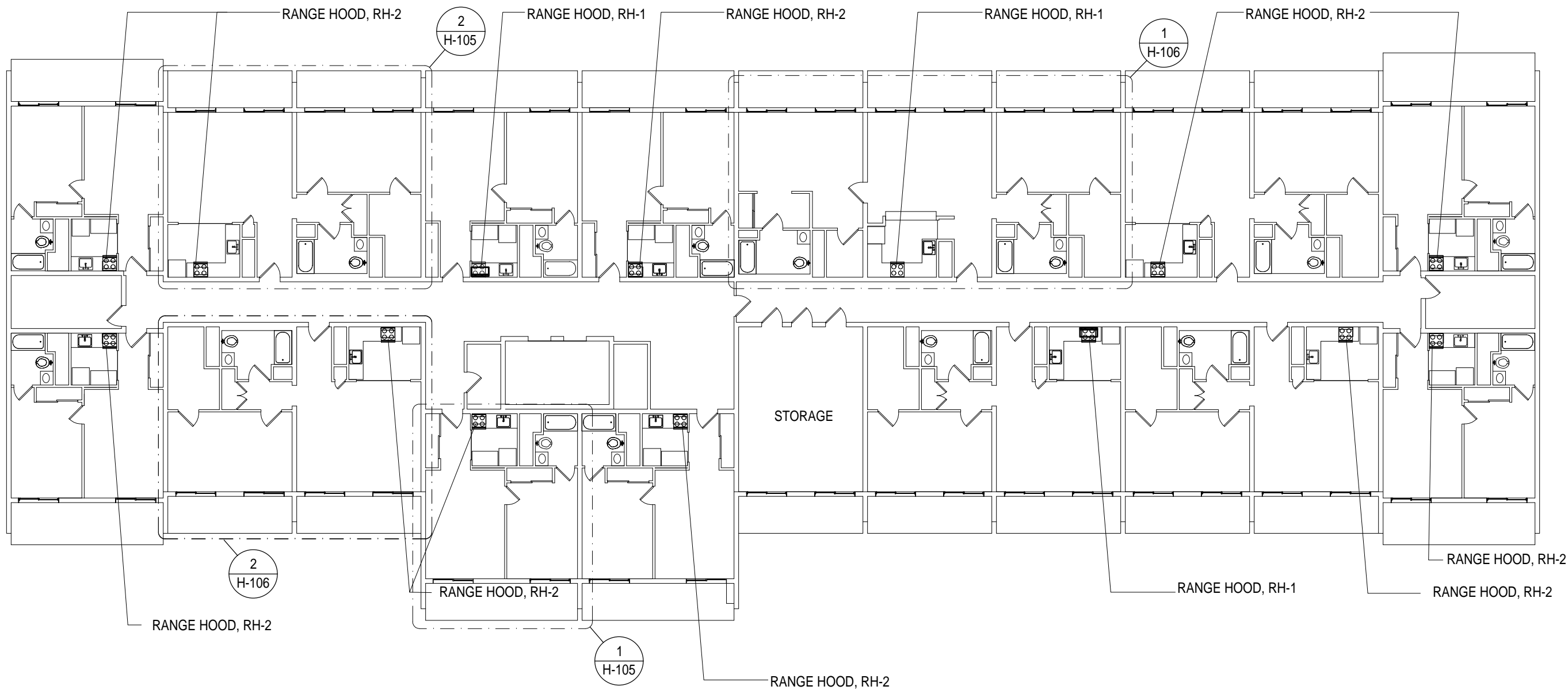
A-602



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Second Floor Mechanical Plan  
1/16" = 1'-0"



2 3rd - 8th Floor Mechanical Plan  
1/16" = 1'-0"

REFERENCE NOTES	
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

1. ALL UNITS HAVE RANGE HOODS. REMOVE AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR.
2. SEE DWG H-105 AND H-106 FOR ADDITIONAL INFORMATION IN THIS BUILDING.
3. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.

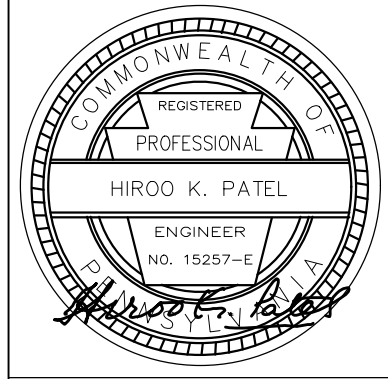
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE, SEE NOTE BELOW
RH-2	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP124	24 INCH WIDE

- NOTE:
1. PROVIDE REMOTE SWITCH FOR RANGE HOOD IN UFAS UNITS AT 48" ABOVE FINISHED FLOOR IN HIGH RISE UFAS UNITS.
  2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '01210 AND '01240 FOR 'ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR  
BUILDING, APARTMENT UNITS AND CODE  
INFORMATION.



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CONSULTANT:



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CONSTRUCTION  
DOCUMENTS

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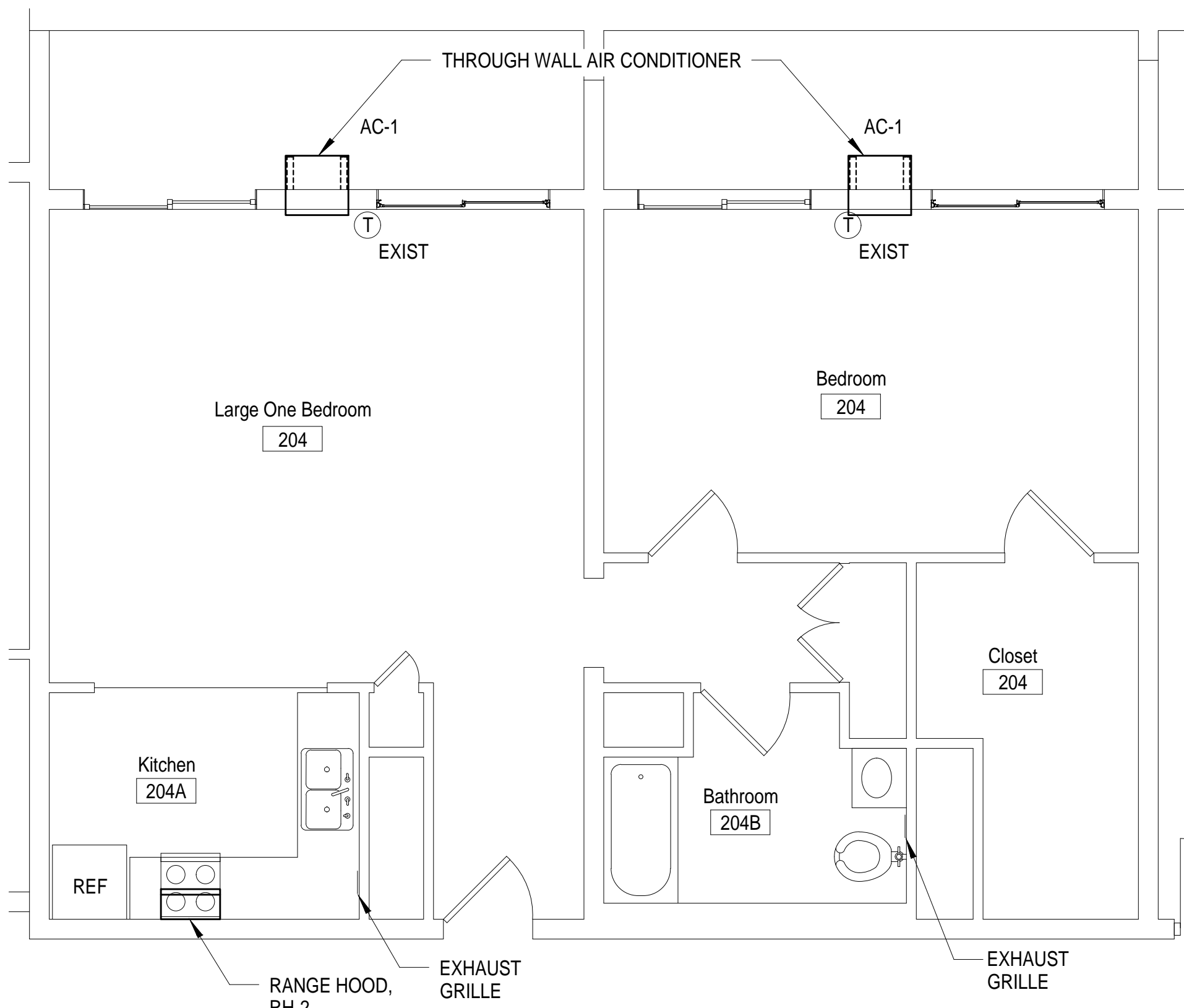
REVISIONS

Bernice Crawley  
High Rise -  
Second Floor  
Mechanical Plan

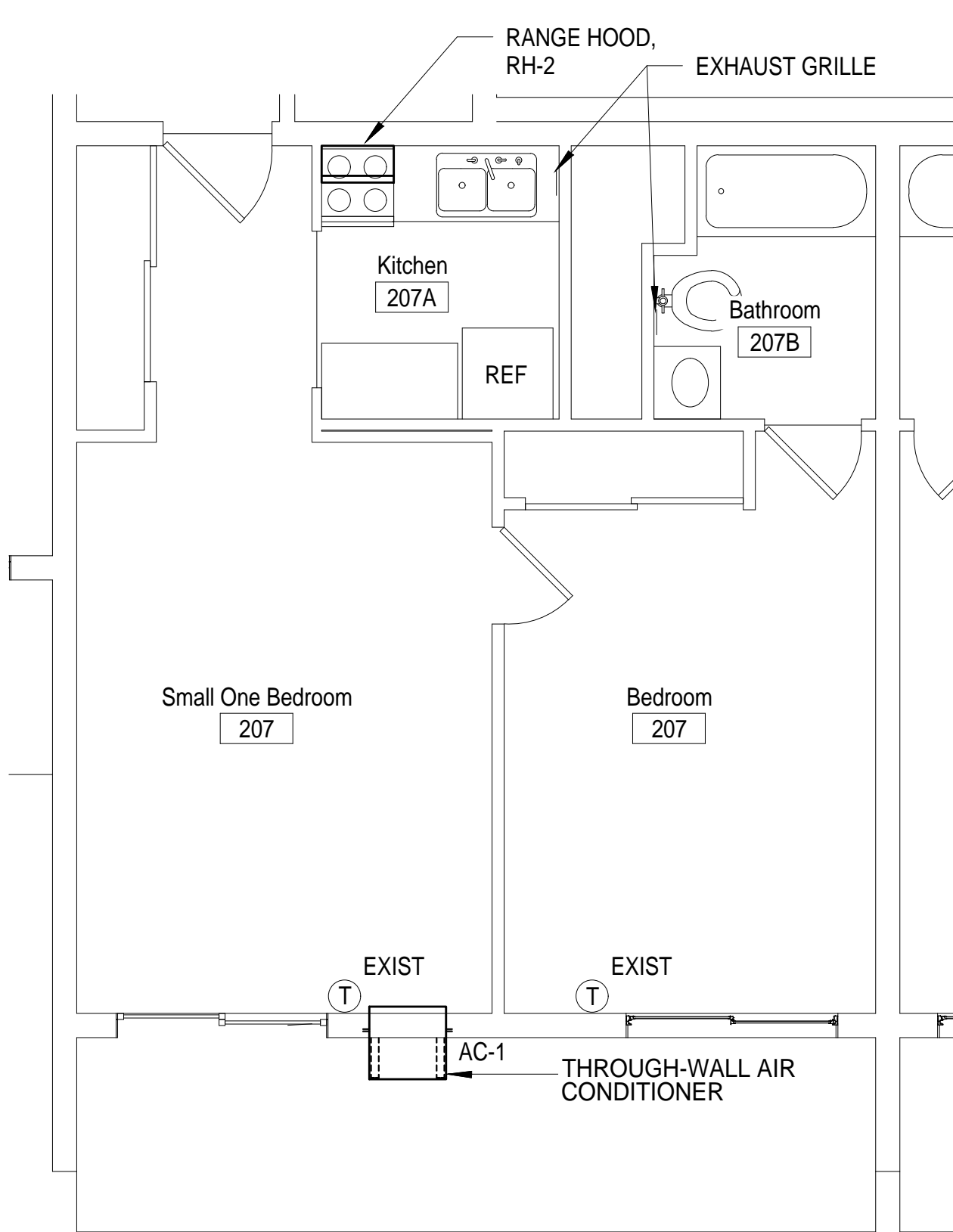
R3A PROJECT # 15074B

M-102

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Typical Large One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"



2 Typical Small One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"

### REFERENCE NOTES

THROUGH WALL AIR CONDITIONER	REMOVE EXISTING THROUGH-WALL AIR CONDITIONER, INFILL PANEL AND A/C SUPPORT BRACKET AND REPLACE WITH NEW. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION WORK.)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
EXHAUST GRILLE	REMOVE EXISTING EXHAUST GRILLE AND REPLACE WITH NEW EXHAUST GRILLE, WHITE POWDER COAT, TITUS 350FL OR APPROVED EQUAL.

### GENERAL NOTES

- THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.
- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. HAS PREVIOUSLY PAINTED.

### MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT WALL MOUNTED AIR CONDITIONER.
- MECHANICAL CONTRACTOR TO DEMOLISH AND REMOVE EXISTING AIR CONDITIONER, WINDOW IN-FILL PANEL AND UNIT SUPPORT BRACKET.
- MECHANICAL CONTRACTOR TO INSTALL NEW WINDOW AIR CONDITION, IN-FILL PANEL AND UNIT SUPPORT BRACKET. REPLACE INTERIOR/EXTERIOR TRIM TO MATCH EXISTING.
- MECHANICAL CONTRACTOR TO PLUG AIR CONDITIONER INTO OUTLET AND ELECTRICAL CONTRACTOR TO RE-ENERGIZE CIRCUIT.
- PROPERLY INSTALL AIR CONDITIONER TO DRAIN PAN ON OUTSIDE OF BUILDING. SEE DWG H-108
- LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THAT THE ITEMS ARE NOT DAMAGED.

### THROUGH WALL AIR COOLED CONDENSING UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	EER	dB RATING (INDOOR)	AMBIENT AIR	WEIGHT LBS	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
											MANUF	MODEL	
AC-1	THROUGH WALL AC	LIVING RM	8	10.6	53 dBA	95 deg F	66	115/1/60	15	25	LG Electronics	LT0816CER	FOR ONE BEDROOM UNIT W/ REMOTE CONTROL COOLS 340 SQ.FT. SEE NOTES BELOW
AC-2	THROUGH WALL AC	LIVING RM	10	9.7	----	95 deg F	78	208/230/1/60	15	25	GE	AJQCQ10DCG	FOR TWO BEDROOM UNIT W/ REMOTE CONTROL COOLS 450 SQ.FT. SEE NOTES BELOW

- NOTES:
- HC SHALL PROVIDE/INSTALL WALL SLEEVE & SUPPORT BRACKET. ENERGY STAR UNIT.
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - PROVIDE WATERTIGHT DRIP PAN UNDER THRU-WALL AC CONDENSER. MARKETAIRES DRIPSHIELD, EDISON, NJ OR APPROVED EQUAL.

### RANGE HOOD SCHEDULE

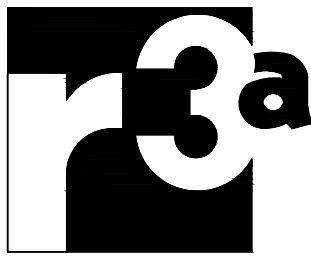
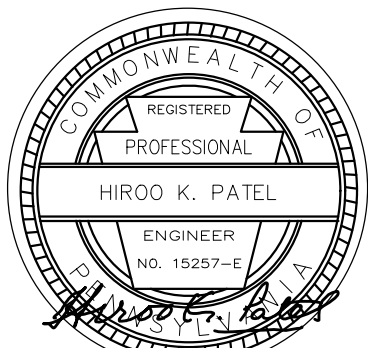
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	200	115/1/60	15	25	BROAN	QP-130	30 INCH WIDE. SEE NOTES BELOW
RH-2	RANGE HOOD	KITCHEN	300	115/1/60	15	25	BRONE	QP-124	24 INCH WIDE. SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION, NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110  
FOR BUILDING, APARTMENT UNIT  
AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

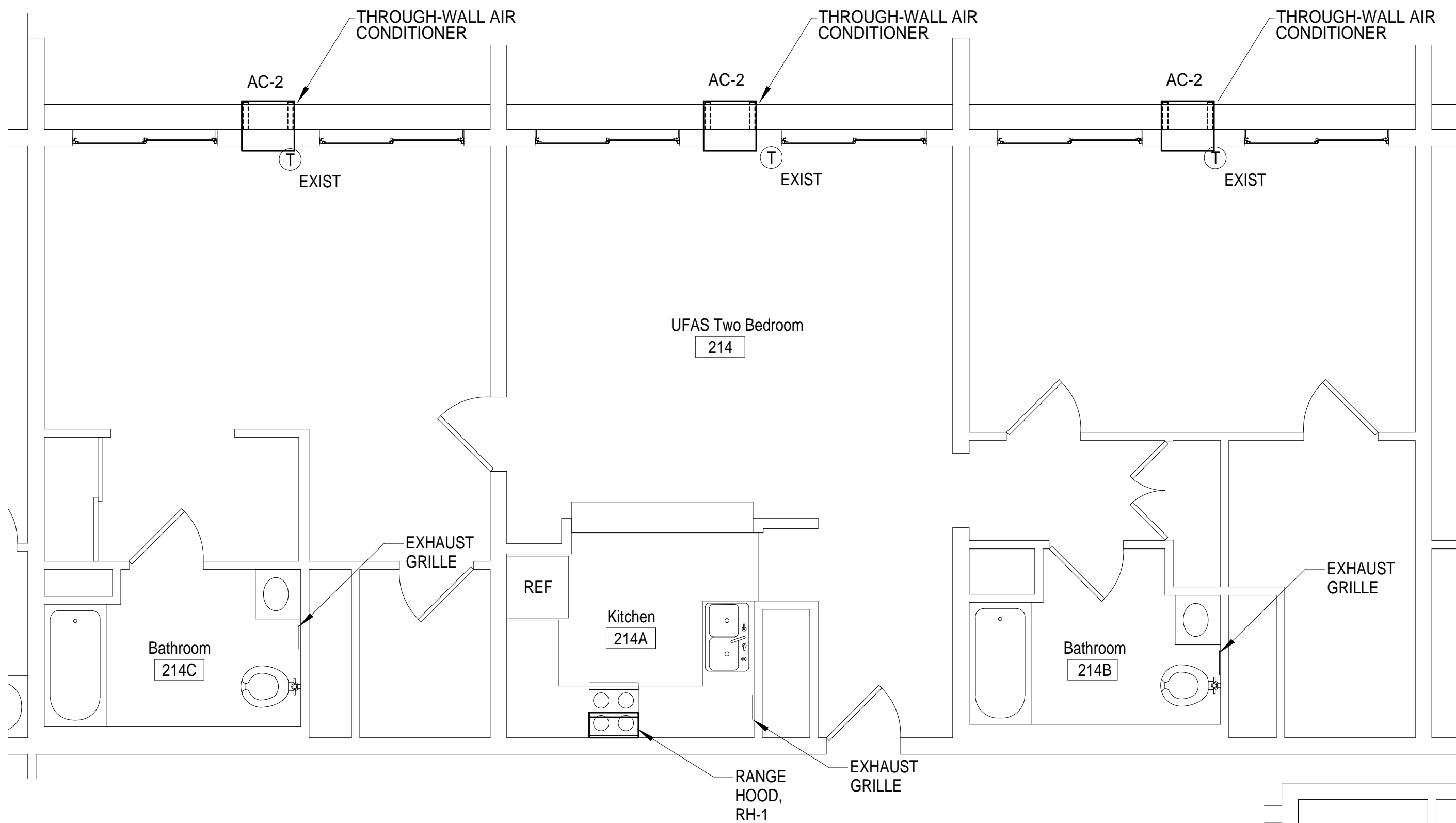
REVISIONS

Bernice Crawley  
High Rise - Small &  
Large One  
Bedroom Enlarged  
Mechanical Plan

R3A PROJECT # 15074B

M-105





1 Typical Small Two Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"

THROUGH WALL AIR COOLED CONDENSING UNIT SCHEDULE													
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	EER	dB RATING (INDOOR)	AMBIENT AIR	WEIGHT LBS	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
											MANUF	MODEL	
AC-1	THROUGH WALL AC	LIVING RM	8	10.6	53 dBA	95 deg F	66	115/1/60	15	25	LG Electronics	LT0816CER	FOR ONE BEDROOM UNIT W/ REMOTE CONTROL COOLS 340 SQ. FT. SEE NOTES BELOW.
AC-2	THROUGH WALL AC	LIVING RM	10	9.7	----	95 deg F	78	208/230/1/60	15	25	GE	AJCO10DCG	FOR TWO BEDROOM UNIT W/ REMOTE CONTROL COOLS 460 SQ. FT. SEE NOTES BELOW.

- NOTES:
- HC SHALL PROVIDE/INSTALL WALL SLEEVE & SUPPORT BRACKET. ENERGY STAR UNIT.
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - PROVIDE WATERTIGHT DRIP PAN UNDER THRU-WALL AC CONDENSER. MARKETAIRE DRIPSHIELD, EDISON, NJ OR APPROVED EQUAL.

#### GENERAL NOTES

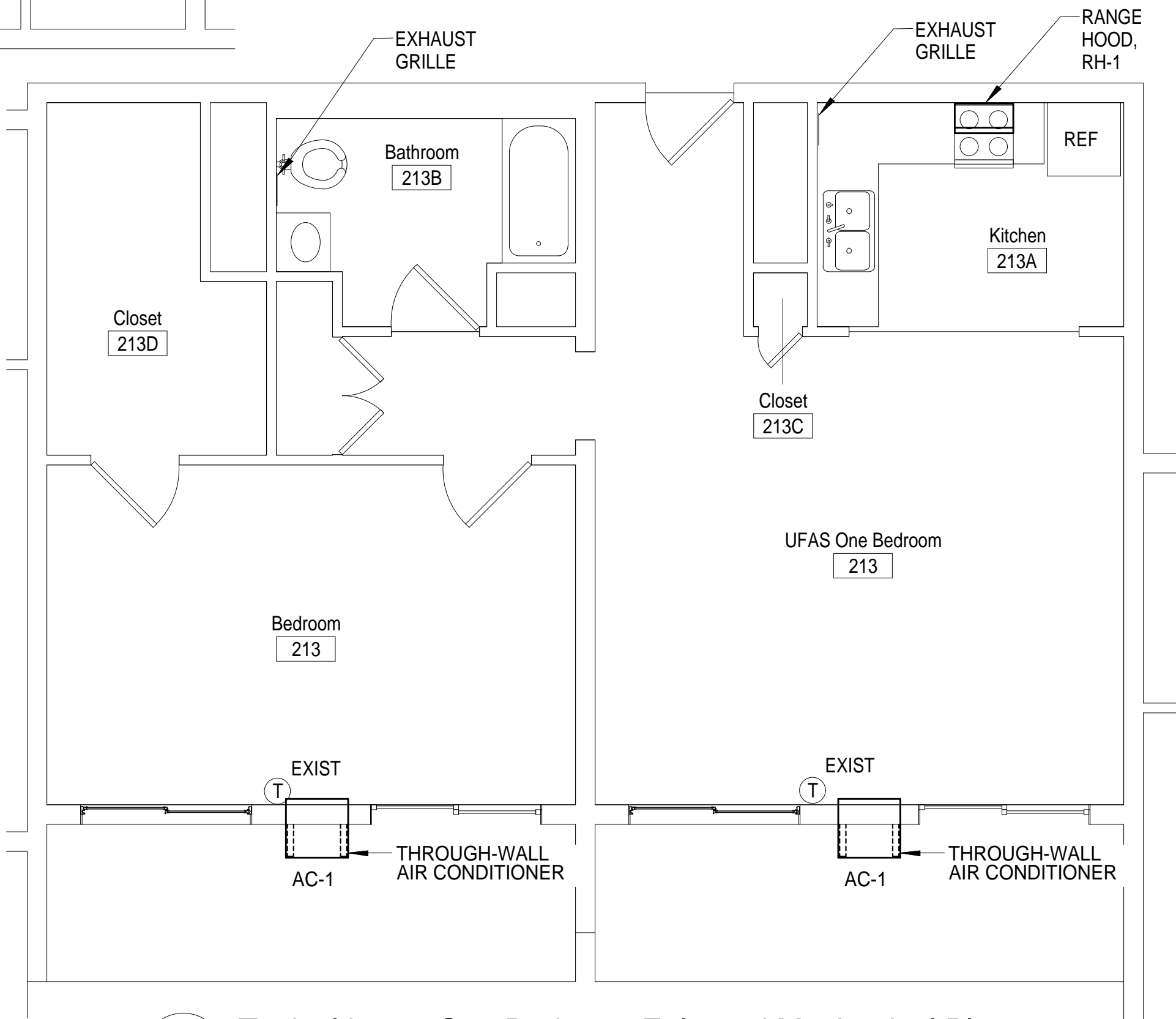
- THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.
- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF THE G.C. HAS PREVIOUSLY PAINTED.

#### MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT WALL MOUNTED AIR CONDITIONER.
- MECHANICAL CONTRACTOR TO DEMOLISH AND REMOVE EXISTING AIR CONDITIONER, WINDOW IN-FILL PANEL AND UNIT SUPPORT BRACKET.
- MECHANICAL CONTRACTOR TO INSTALL NEW WINDOW AIR CONDITION, IN-FILL PANEL AND UNIT SUPPORT BRACKET. REPLACE INTERIOR/EXTERIOR TRIM TO MATCH EXISTING.
- MECHANICAL CONTRACTOR TO PLUG AIR CONDITIONER INTO OUTLET AND ELECTRICAL CONTRACTOR TO RE-ENERGIZE CIRCUIT.
- PROPERLY INSTALL AIR CONDITIONER TO DRAIN PAN TO OUTSIDE OF BUILDING. SEE DWG. H-201
- LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK AND ENSURE THE ITEMS ARE NOT DAMAGED.

#### REFERENCE NOTES

THROUGH WALL AIR CONDITIONER	REMOVE EXISTING THROUGH-WALL AIR CONDITIONER, IN-FILL PANEL AND A/C SUPPORT BRACKET AND REPLACE WITH NEW. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
EXHAUST GRILLE	REMOVE EXISTING EXHAUST GRILLE AND REPLACE WITH NEW EXHAUST GRILLE. POWDER WHITE COAT, TITUS 350FL OR APPROVED EQUAL.



2 Typical Large One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	200	115/1/60	15	25	BROAN	QP-130	30 INCH WIDE. SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

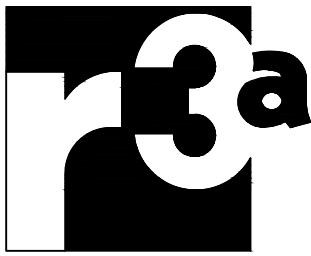
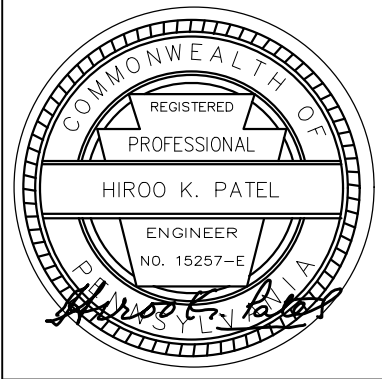
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACF'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACF'S MOVING CONSULTANT. HACF'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACF'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACF'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

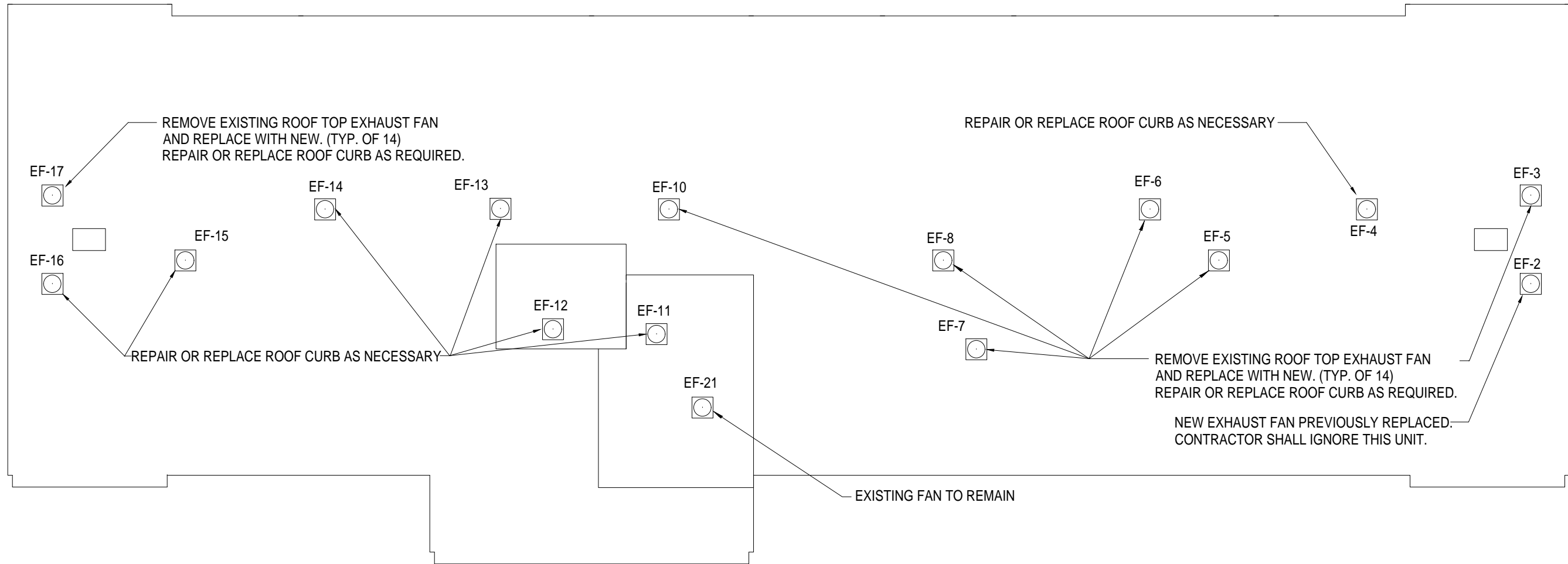
REVISIONS

Bernice Crawley  
High Rise - UFAS  
One & Two  
Bedroom Enlarged  
Mechanical Plans

R3A PROJECT # 15074B

M-106

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



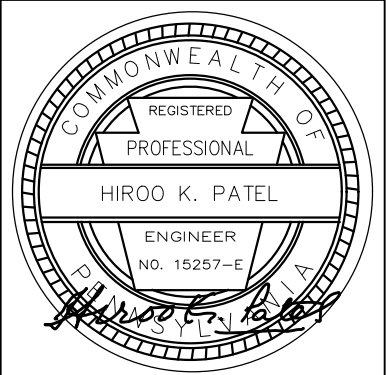
1 Roof Top Mechanical Plan  
1/16" = 1'-0"

EXHAUST FAN SCHEDULE										
TAG	DESCRIPTION	CFM	SP	RPM	Hp	VOLTAGE	BASIS OF DESIGN		REMARKS	
							MANUF	MODEL		
EF-2	BATH/KITCHEN EXHAUST	700	0.5	---	---	---	---	---	PREVIOUSLY REPLACED	
EF-3	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-4	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-5	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-6	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-7	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-8	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-9	BATH/KITCHEN EXHAUST	350	0.5	---	---	---	---	---	DO NOT REPLACE	
EF-10	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST	
EF-11	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST	
EF-12	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST	
EF-13	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST	
EF-14	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-15	BATH/KITCHEN EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST	
EF-16	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST	
EF-17	BATH/KITCHEN EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST	

NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Bernice  
Crawley High  
Rise - Roof top  
Plan

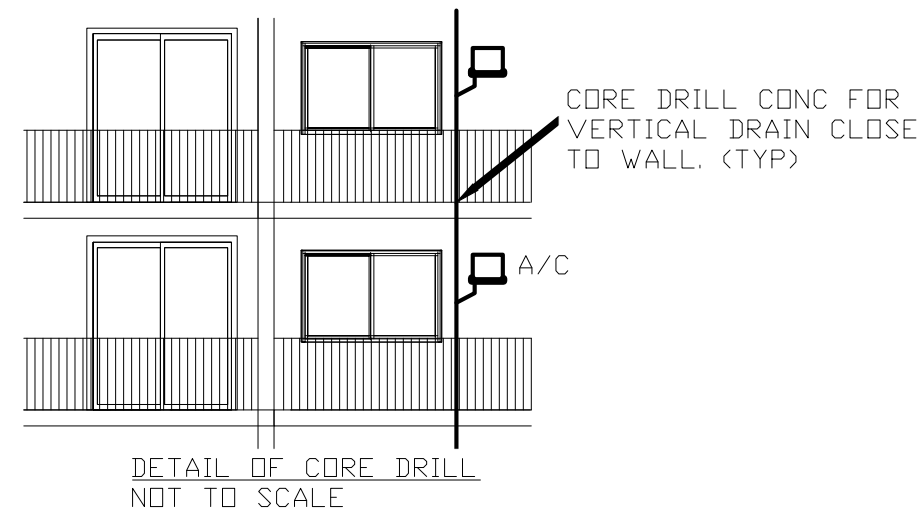
R3A PROJECT # 15074B



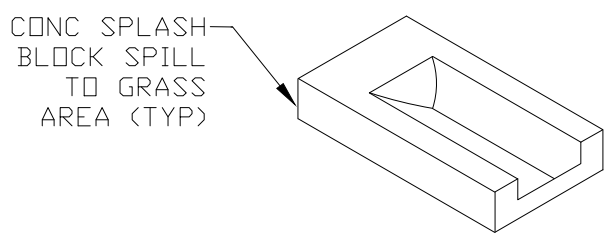


1 Back Elevation  
1/8" = 1'-0"

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



DETAIL OF CONCRETE SPLASH BLOCK  
NOT TO SCALE



EXTEND VERTICAL DRAIN TO 6' BELOW SFFIT, LEAVE DRAIN OPEN WITH SCREEN AT TOP (TYP.)

EXTEND VERTICAL DRAIN TO 6' BELOW SFFIT, LEAVE DRAIN OPEN WITH SCREEN AT TOP (TYP.)

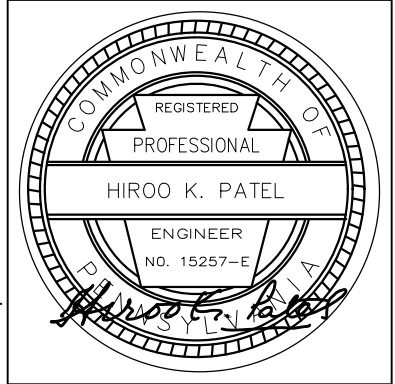


2 Front Elevation  
1/8" = 1'-0"

NOTE:  
PROVIDE AC UNIT DRAINS TO GRADE ON FRONT AND BACK OF BUILDING.

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Design  
Technology  
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CONSULTANT:  
Tri-State DESIGN AND DEVELOPMENT  
ARCHITECTS  
CARNegie, PENNSYLVANIA

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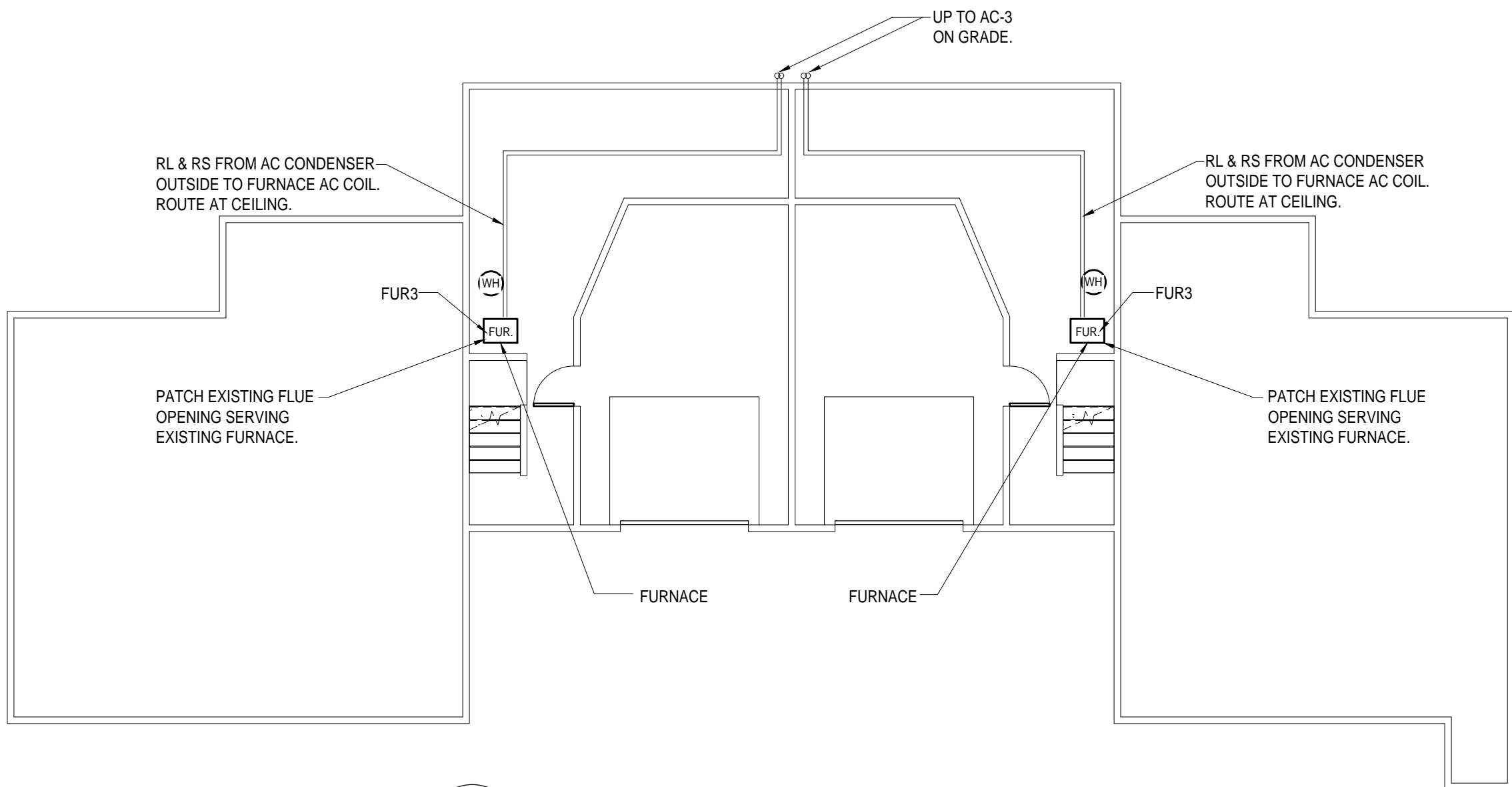
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017  
Revision: REVISIONS

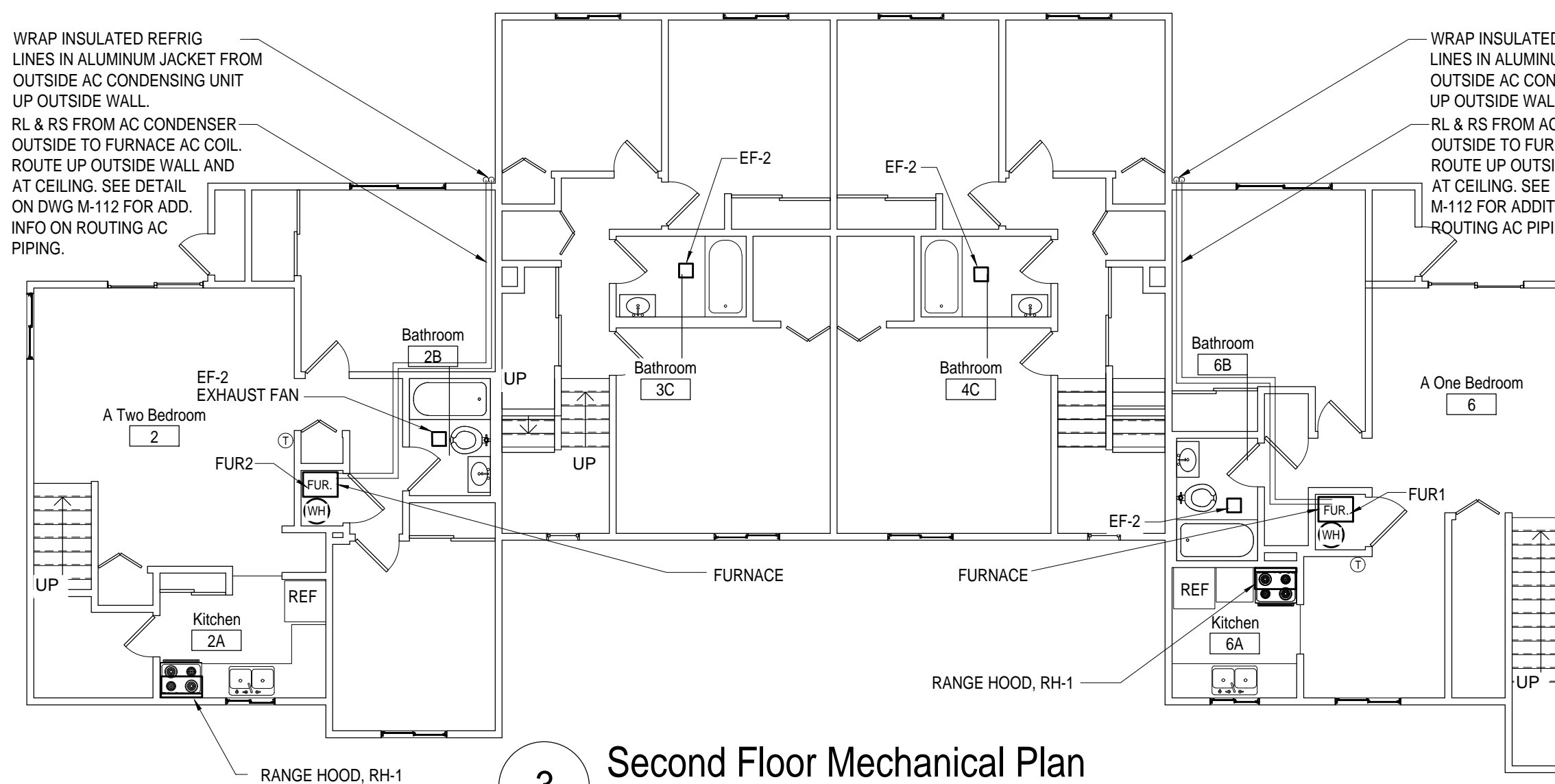
Bernice  
Crawley High  
Rise  
Elevations

R3A PROJECT # 15074B

M-108



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"



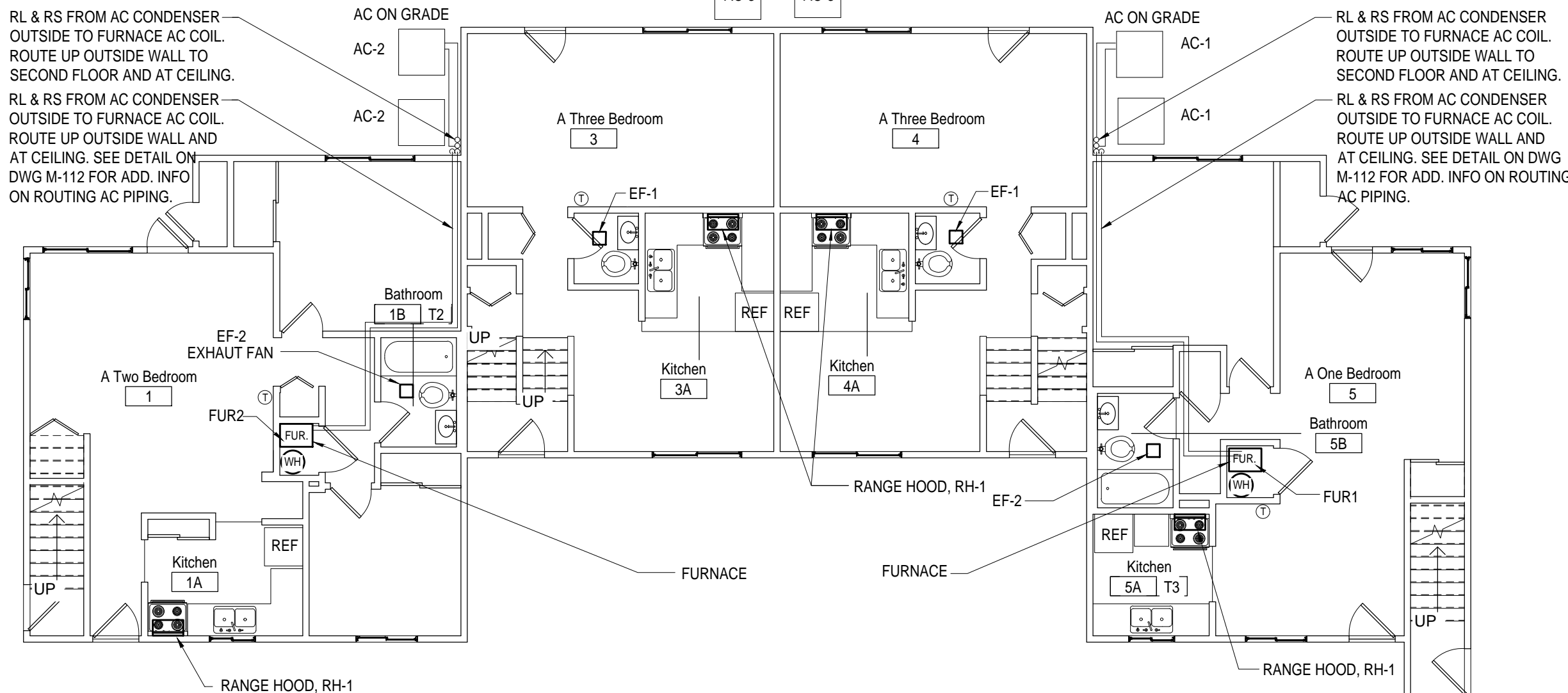
3 Second Floor Mechanical Plan  
1/8" = 1'-0"

## REFERENCE NOTES

FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. PROVIDE CO MONITOR. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

## MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR IN KITCHEN. PATCH WALL OPENINGS.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR EQUAL.
- PROVIDE DRAIN/IDE DHD BY MARKET/AIR. EDISON, NJ, OR APPROVED EQUAL. TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 First Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC806048NB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNC	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNC	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

- NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER. 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION. REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VOMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

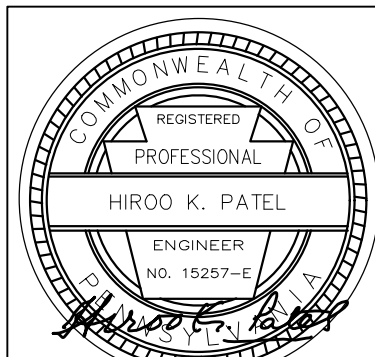
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

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- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARUTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS. EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
CARNegie, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

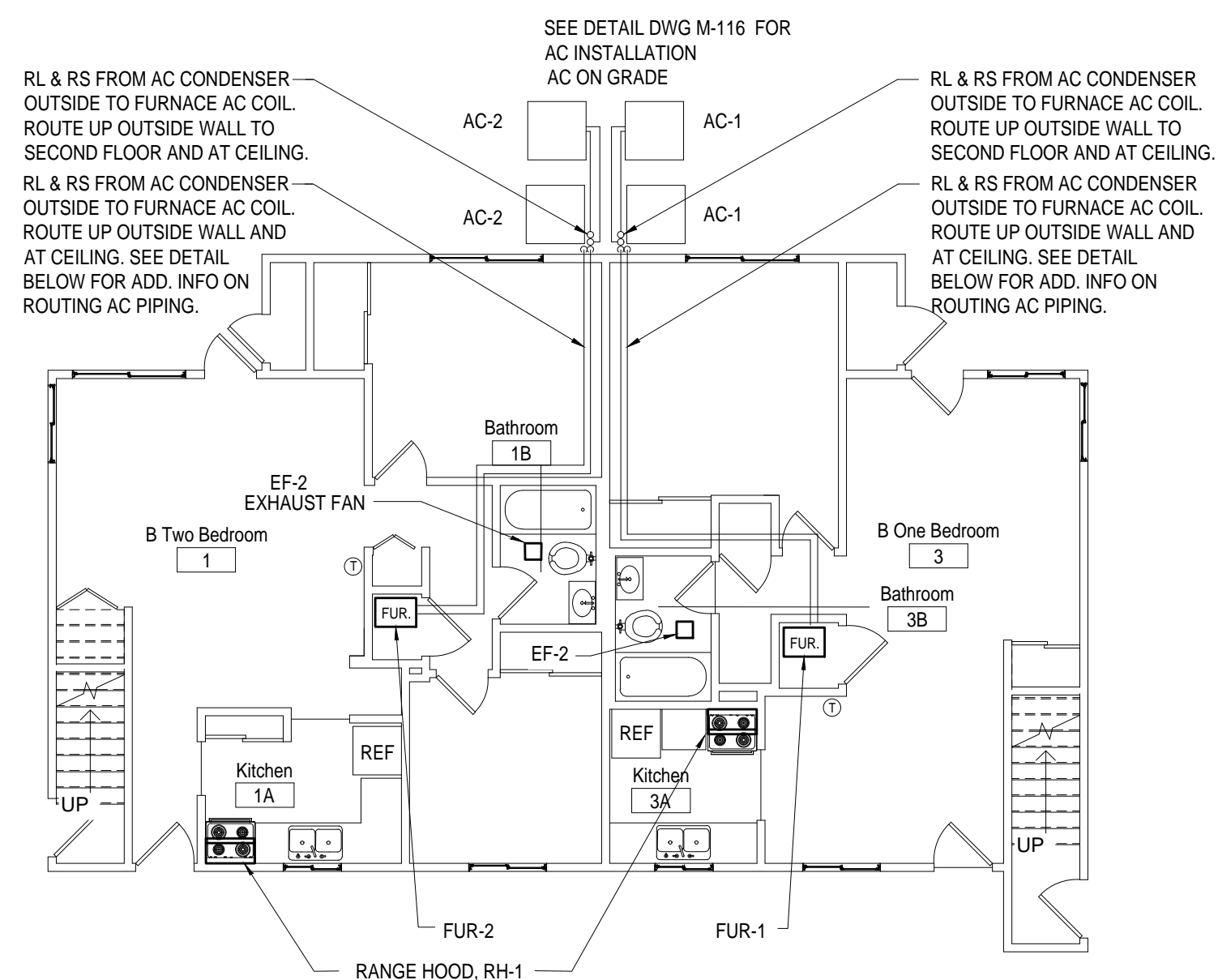
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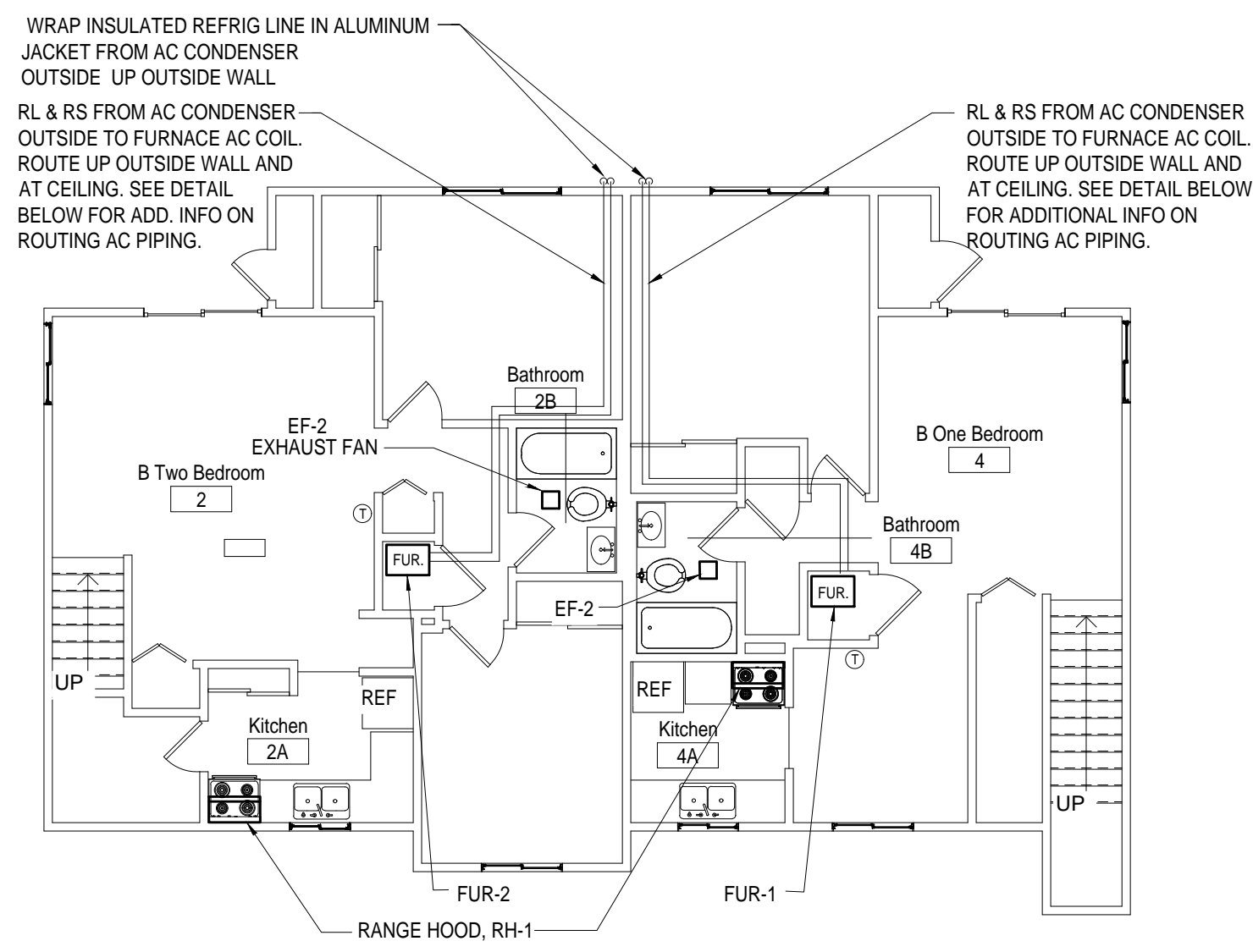
R3A PROJECT # 150748

M-111





1 First Floor Mechanical Plan  
1/8" = 1'-0"

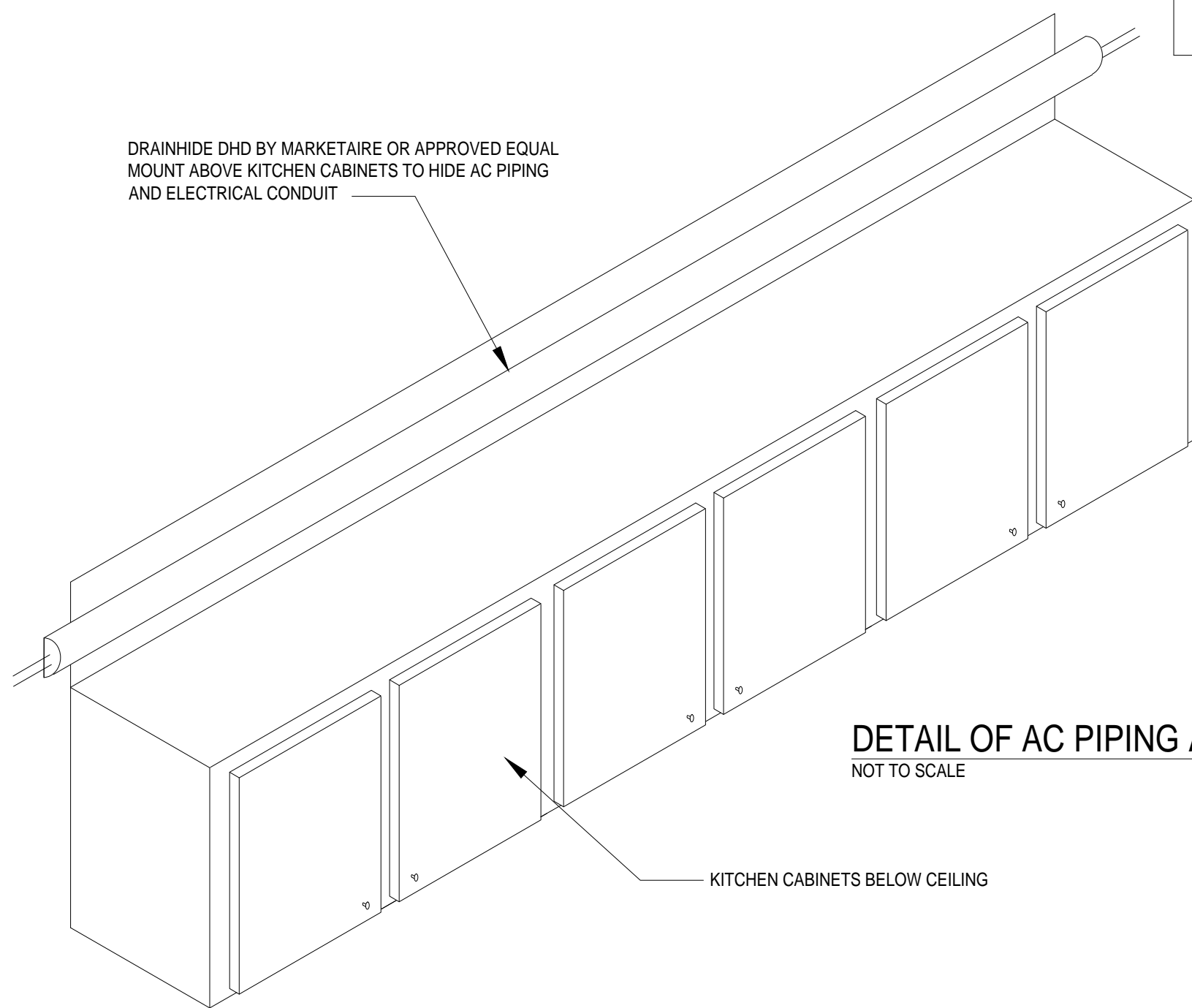


2 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION, CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOLILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

## MECHANICAL NOTE

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM Hvac AND ARCHITECT.
2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
3. PROVIDE DRAINHIDE DHD BY MARKETART, EDISON, NJ OR APPROVED EQUIV. TO DIE HIDE REFRIGRANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUIV.
5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
7. CONNECT NEW FURNACE TO EXISTING FLUE.
8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER. IF G.C. HAS PREVIOUSLY PAINTED WALL.
9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

[illegible]

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

[illegible]

NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.

2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIGANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

[illegible]

NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

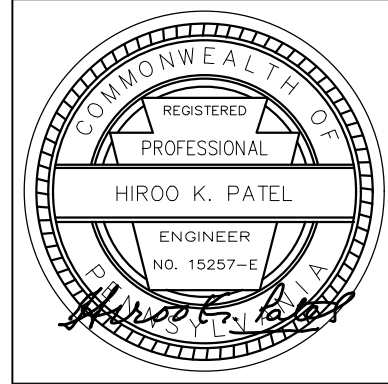
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NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

**NOTE:**  
SEE DWG G-101, G-102 AND G-110  
FOR BUILDING, APARTMENT UNIT  
AND CODE INFORMATION.

## GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. ALL INFORMATION AND WORK WITH THE OWNER, EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR COORDINATION PERTAINING TO INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY ALLOWANCES FOR ALL INFORMATION AND COORDINATION CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE FIELD CONDITIONS. UNLESS NOTED OTHERWISE, CONTRACTORS ARE REQUIRED TO COORDINATE AND WORK WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING CURBS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY FOR INFORMATION AND COORDINATION TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE. UNLESS NOTED OTHERWISE, REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR ALL INFORMATION AND COORDINATION. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME EXPOSED DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL, DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 HOURS UNITS MUST COMPLY AND MEET UFA'S REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO CURBS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), AND UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS AND TEMPORARY BARRIERS IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEIGHBORLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION AND NOTED IN THE CONSTRUCTION SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIR OR REPLACE. REFER TO HACP'S SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE REPAIR OR REPLACE. REFER TO HACP'S REPRESENTATIVE TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. UNLESS NOTED OTHERWISE, REFER TO HACP'S REPRESENTATIVE, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT



Allies & Ross  
Management and  
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Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15201

CONSTRUCTION  
DOCUMENTS

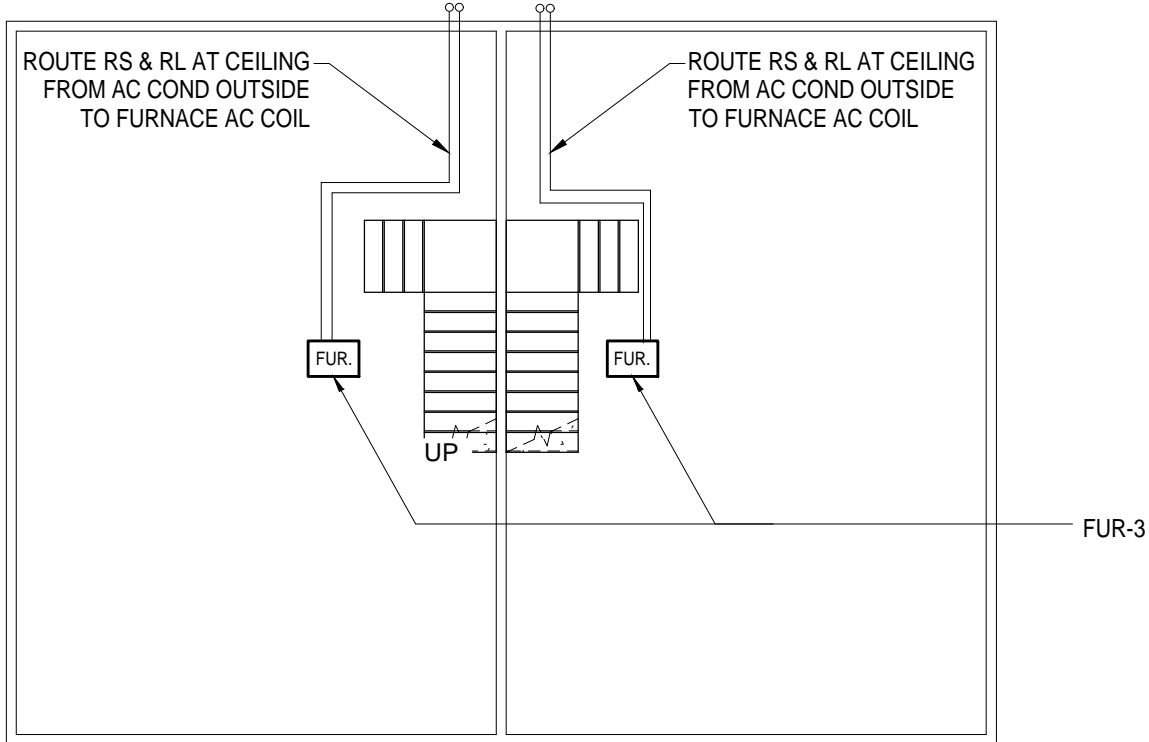
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## REVISIONS

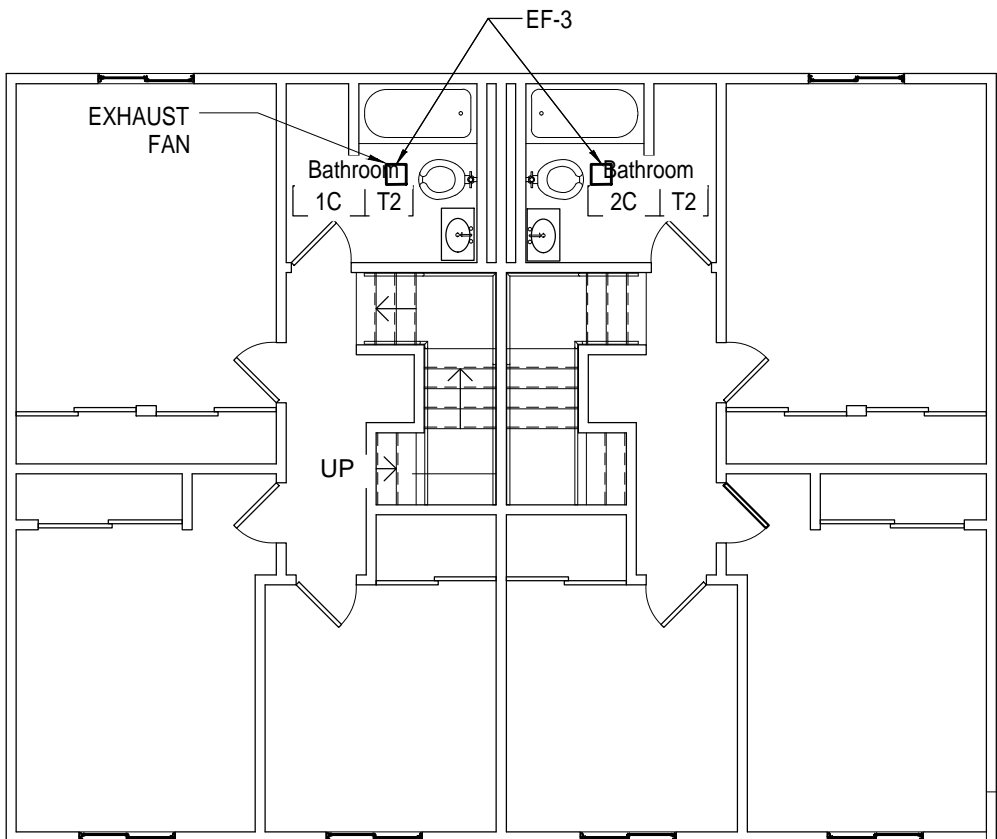
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R3A PROJECT #	15074B
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M-112



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"

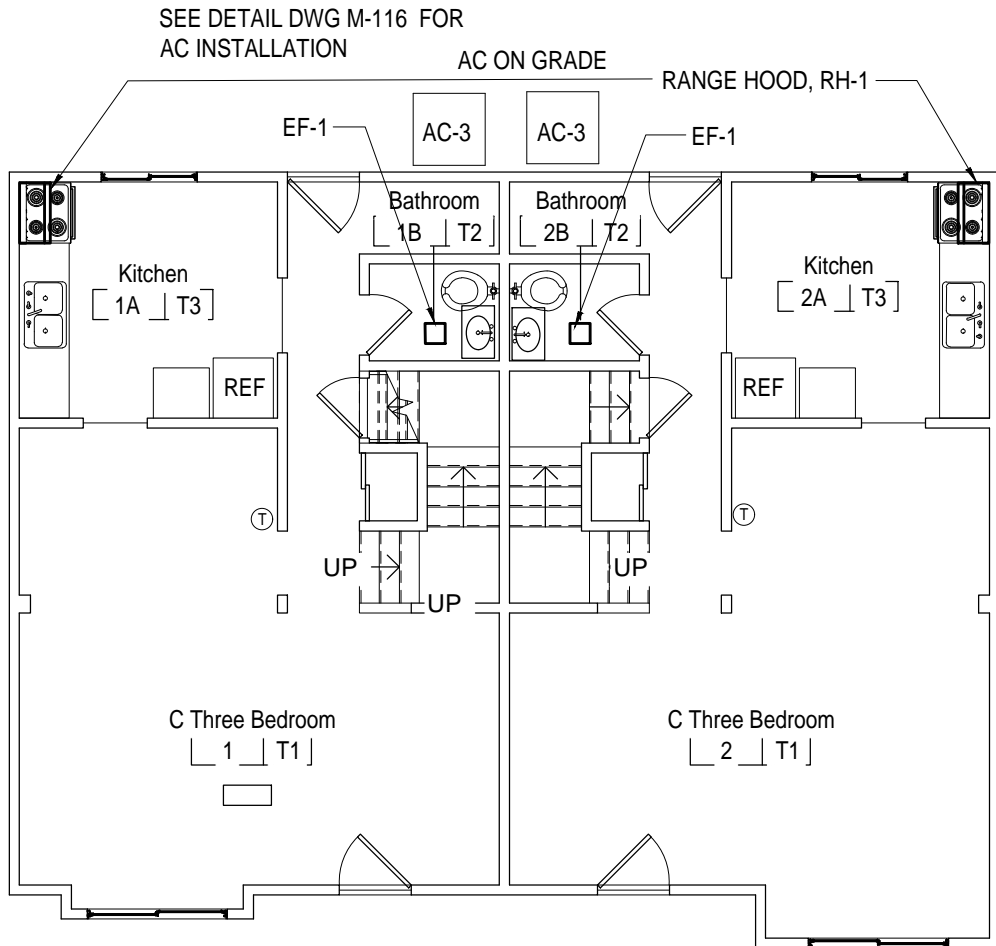


3 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

#### MECHANICAL NOTES:

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 First Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

- NOTES:
- M/C SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
  - PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION. REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VOMA-20ULS, 130 Hp, 115V/SINGLE PHASE, CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

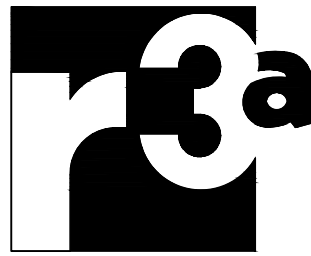
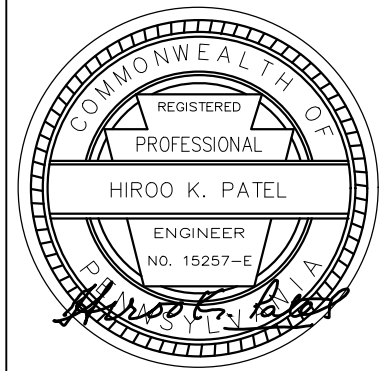
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

- NOTES:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110  
FOR BUILDING, APARTMENT UNIT  
AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

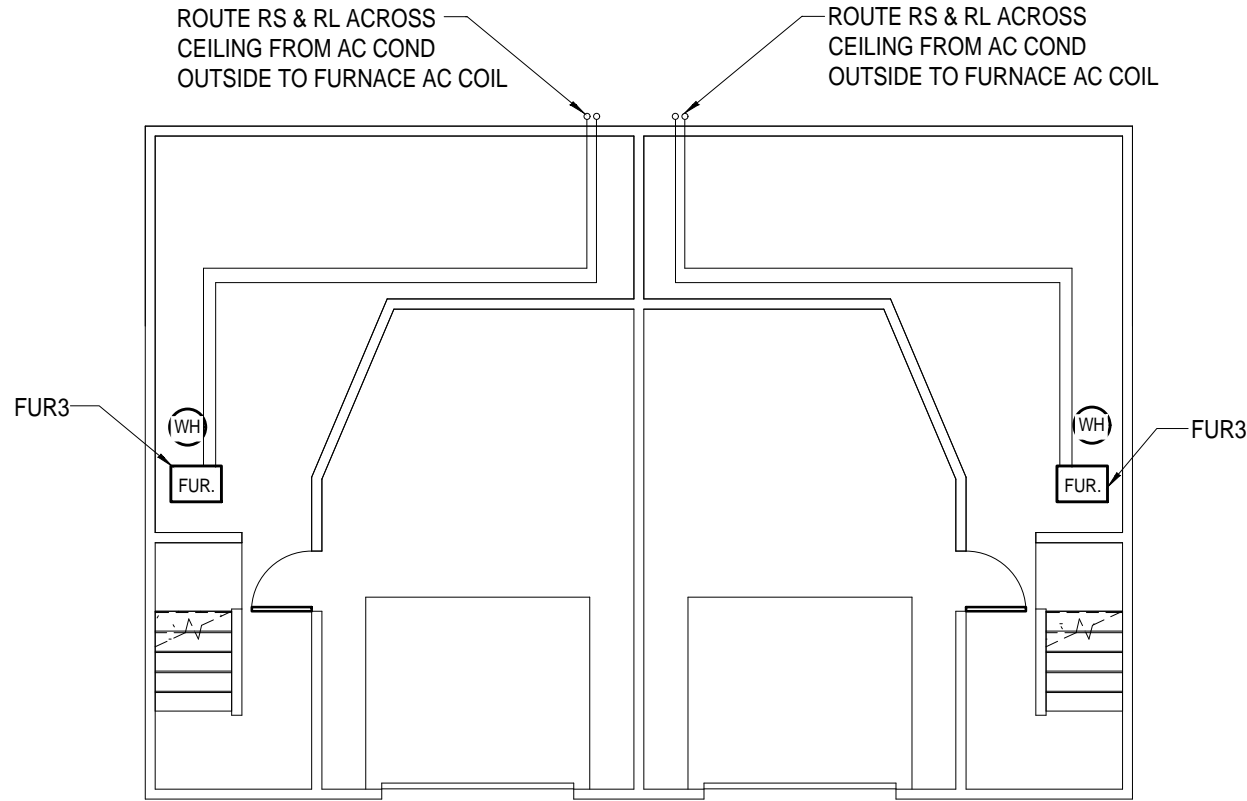
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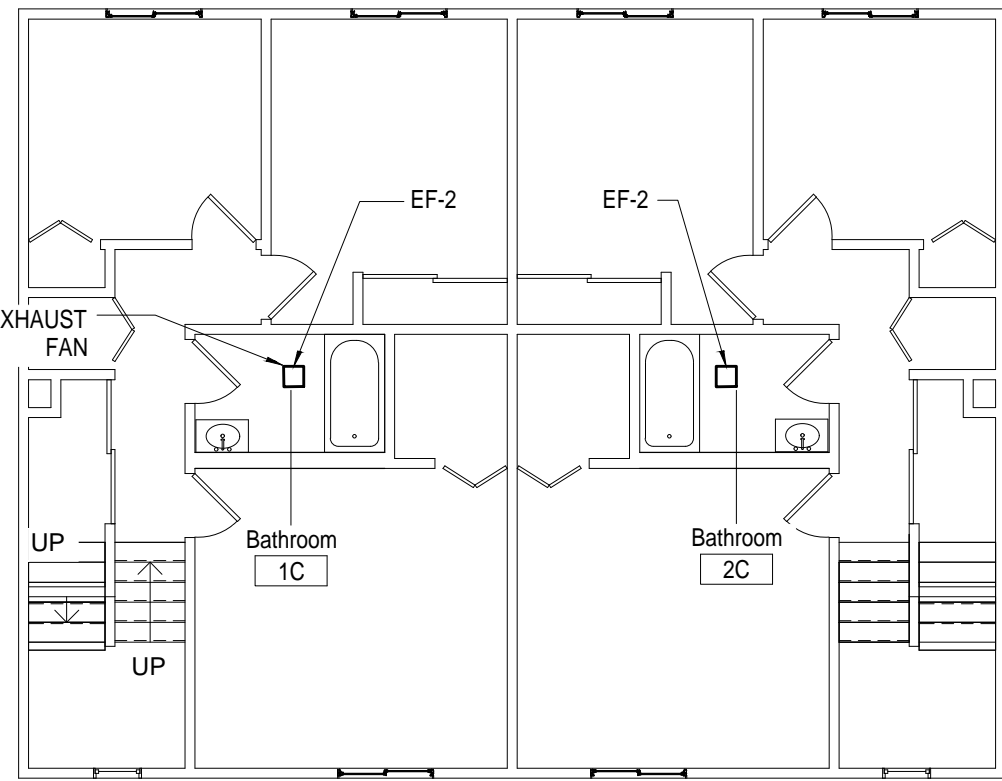
R3A PROJECT # 15074B

M-113





1 Basement Floor Mechanical Plan  
1/8" = 1'-0"



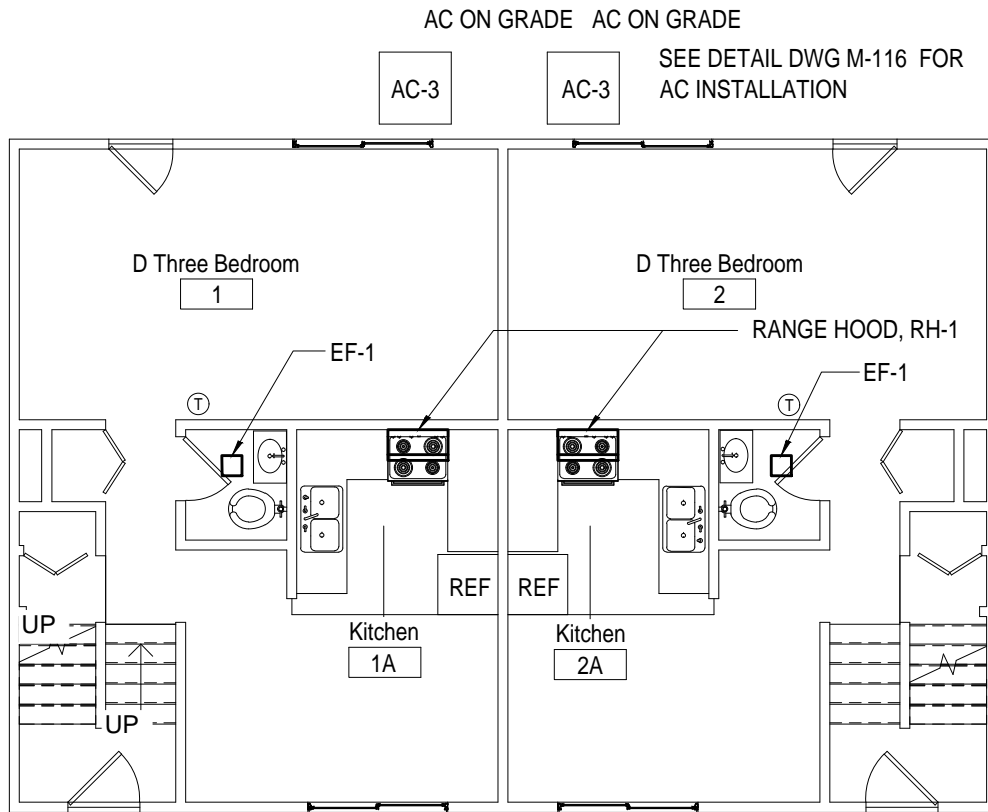
3 Second Floor Mechanical Plan  
1/8" = 1'-0"

## REFERENCE NOTES

FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR, WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

## MECHANICAL NOTES

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL, RTH450 OR APPROVED EQUAL.
- PROVIDE DRAIN/IDE DHD BY MARKET/AIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND/OR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 First Floor Mechanical Plan  
1/8" = 1'-0"

### AIR COOLED CONDENSING UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

### NAT. GAS FIRED FURNACE UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

- NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

### EXHAUST FAN SCHEDULE

TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM. SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM. SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM. SEE NOTES BELOW

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

### RANGE HOOD SCHEDULE

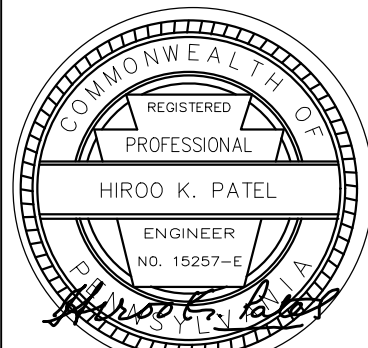
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

- NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

## GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
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- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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NOTE:  
SEE DWG G-101, G-102 AND G-110  
FOR BUILDING, APARTMENT UNIT  
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Design

Technology

Sustainability

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CONSULTANT:



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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
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Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

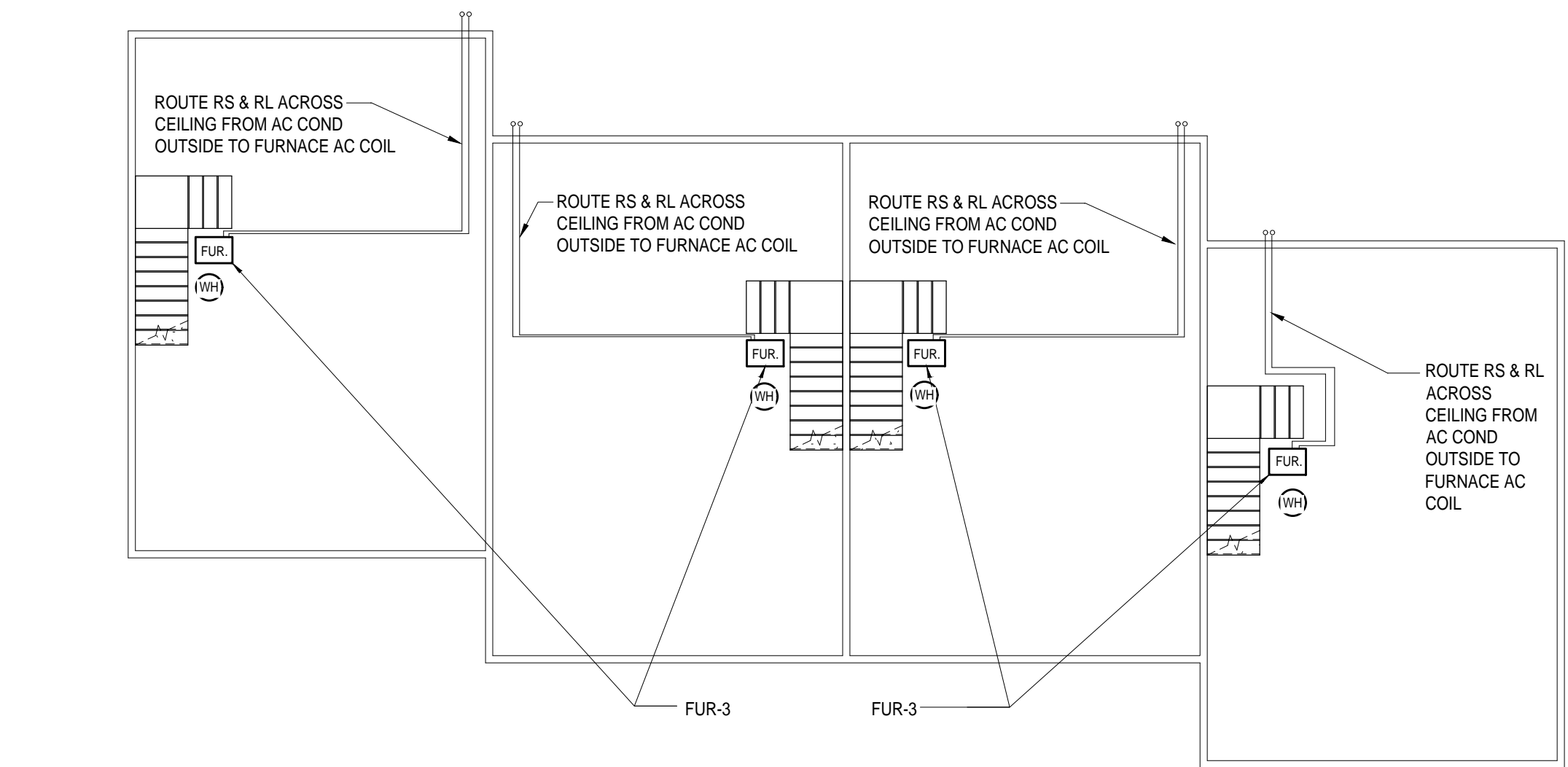
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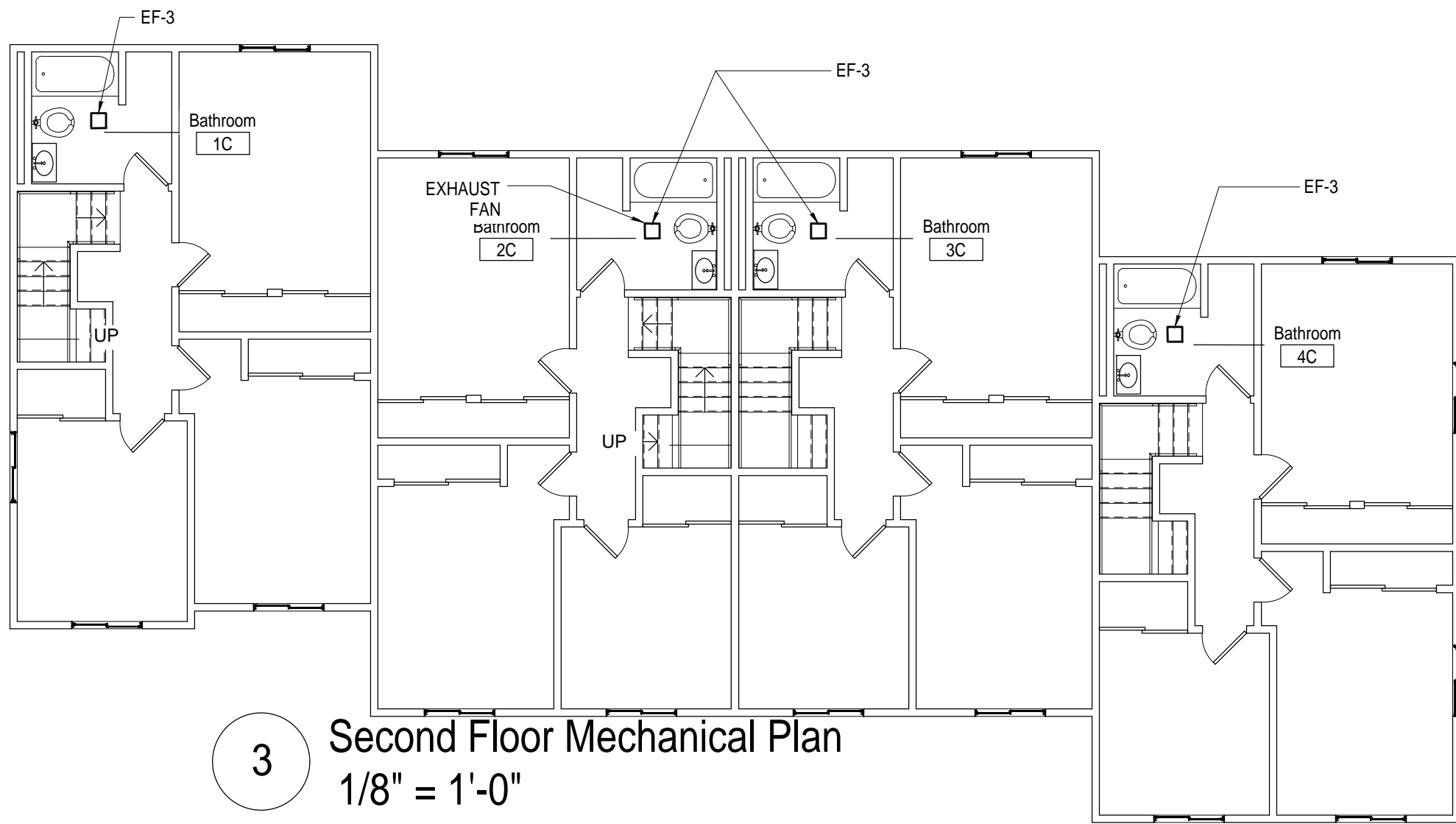
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Community  
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R3A PROJECT # 15074B

M-114



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"

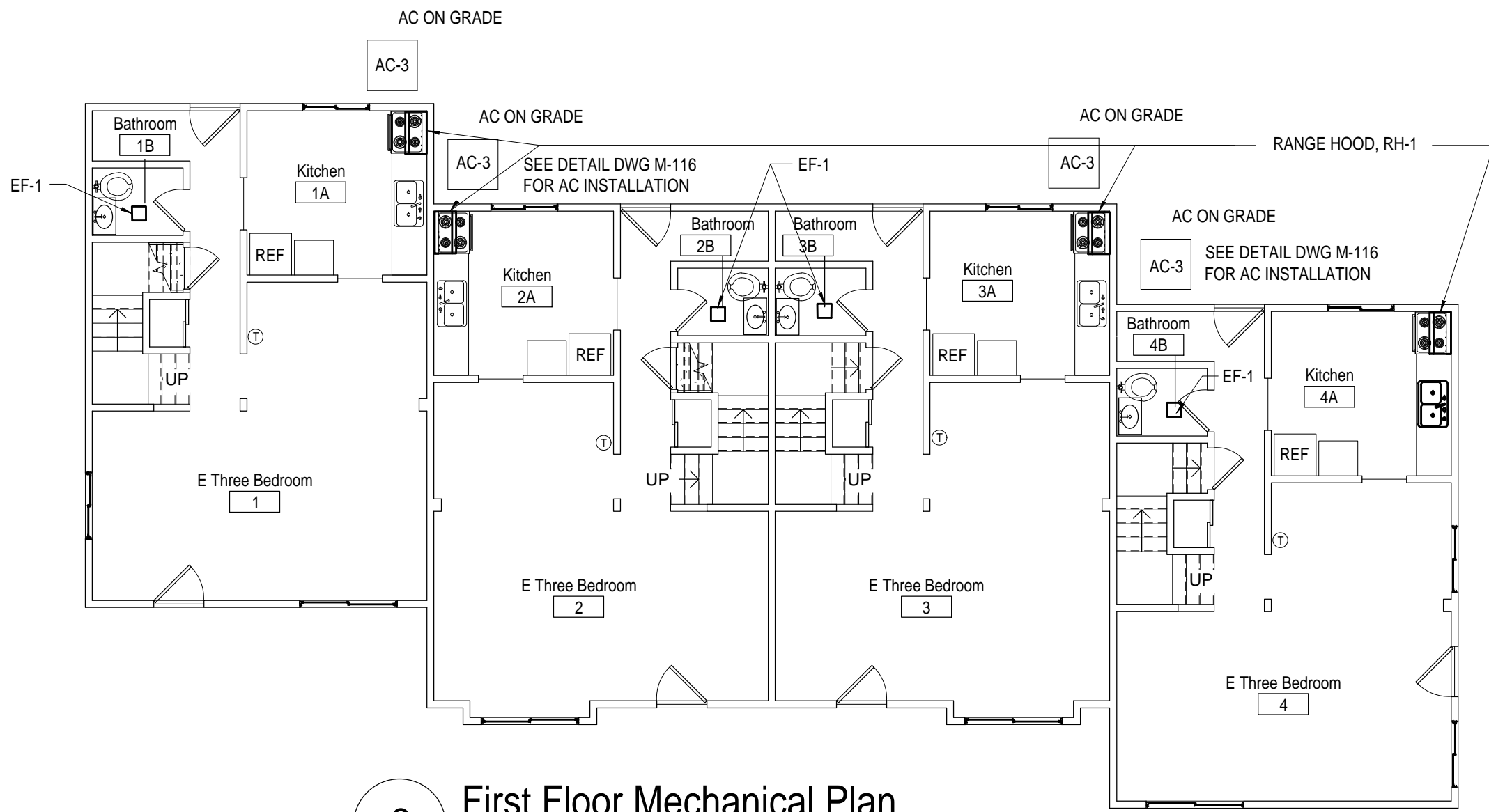


3 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW, (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOW RISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
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EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

#### MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- PROVIDE DRAIN/IDE DHD BY MARKET/AR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 First Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	1/2 Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	1/2 Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	1/2 Hp	115/1/60	15	25	AMANA	AMVC80100SCNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER SEE NOTES BELOW

- NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION. REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP. MOD 554425-VQMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BRQAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

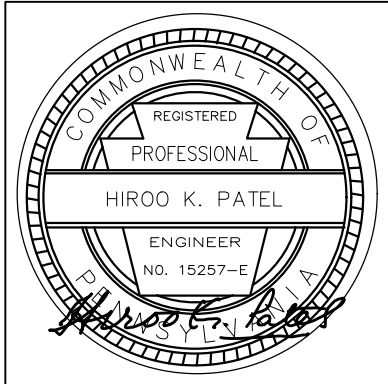
- NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARTMENTS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

*Tri-State DESIGN AND DEVELOPMENT*  
CARLETON, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

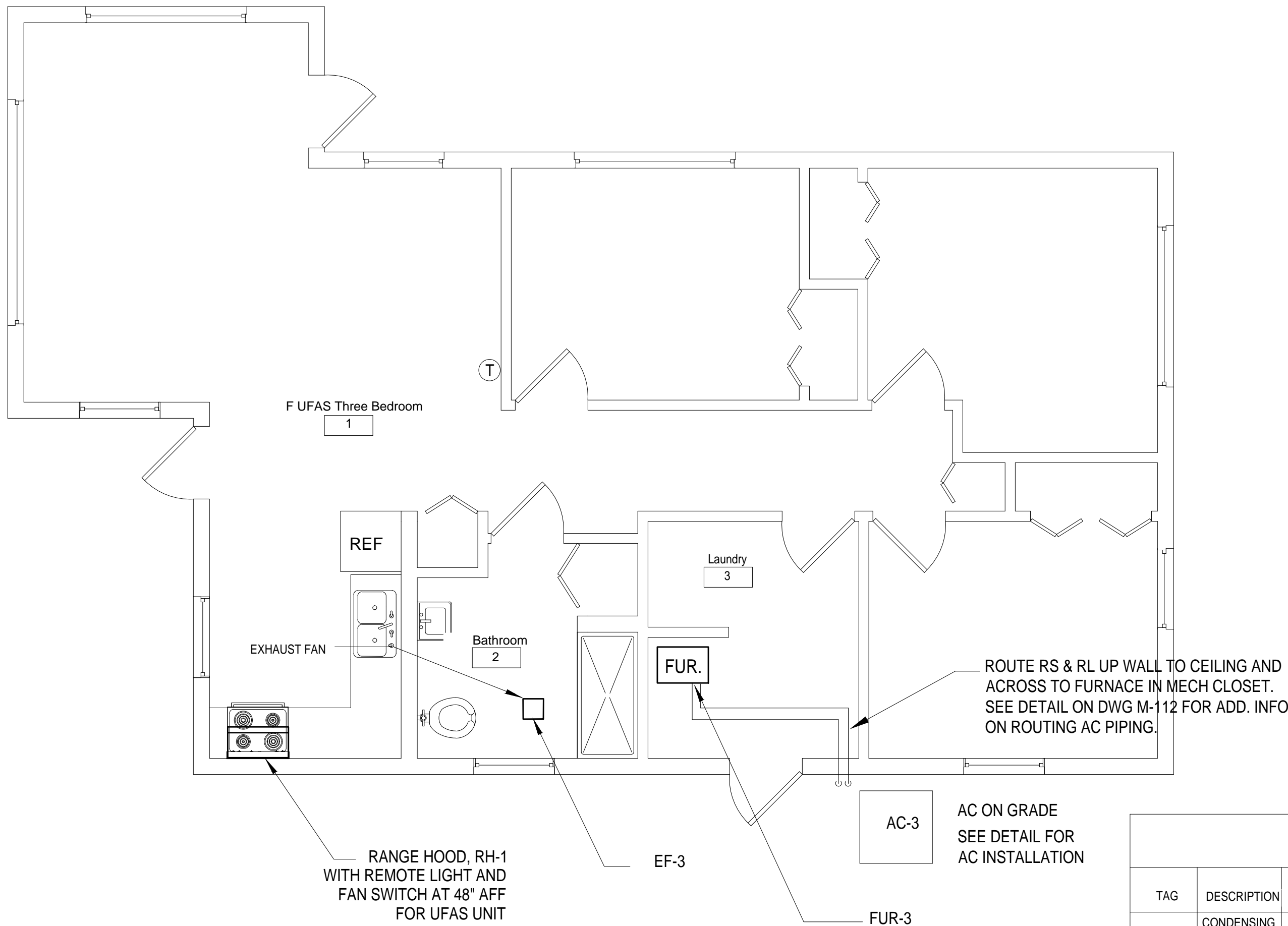
REVISIONS

Family  
Community  
- Type E

R3A PROJECT # 15074B

M-115





1 First Floor Mechanical Plan  
1/4" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

**MECHANICAL NOTE**

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

4. PROVIDE DRAIN/HIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

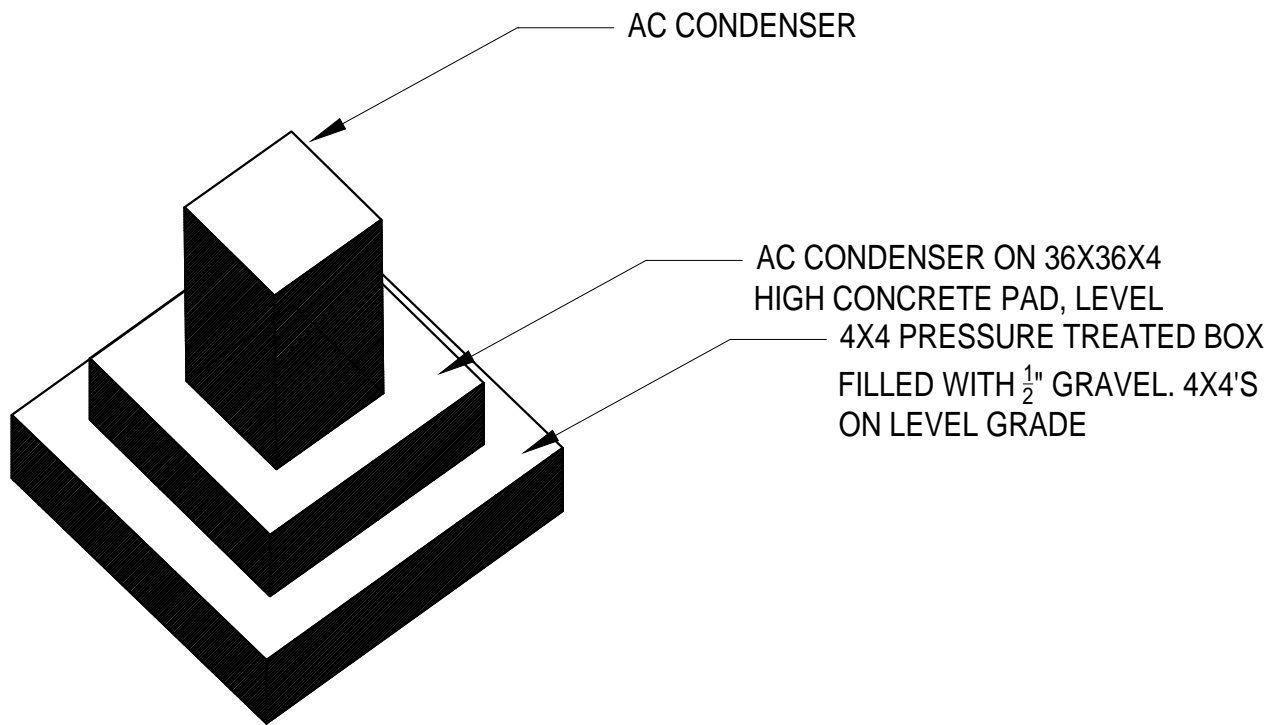
5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRY WALL PATCHING FROM DEMOLITION AND/OR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



DETAIL OF AC CONDENSER ON GRADE  
NOT TO SCALE

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80604MNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER SEE NOTES BELOW

NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT. 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

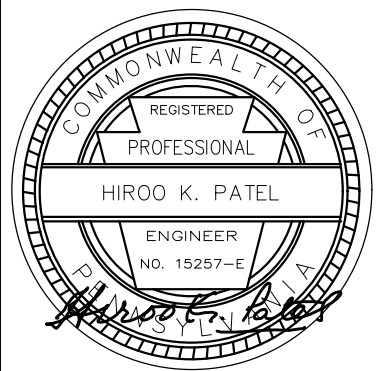
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

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- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

**NOTE:**  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



**Allies & Ross**  
Management and  
Development  
Corporation

**Task Order**  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

**CONSTRUCTION  
DOCUMENTS**

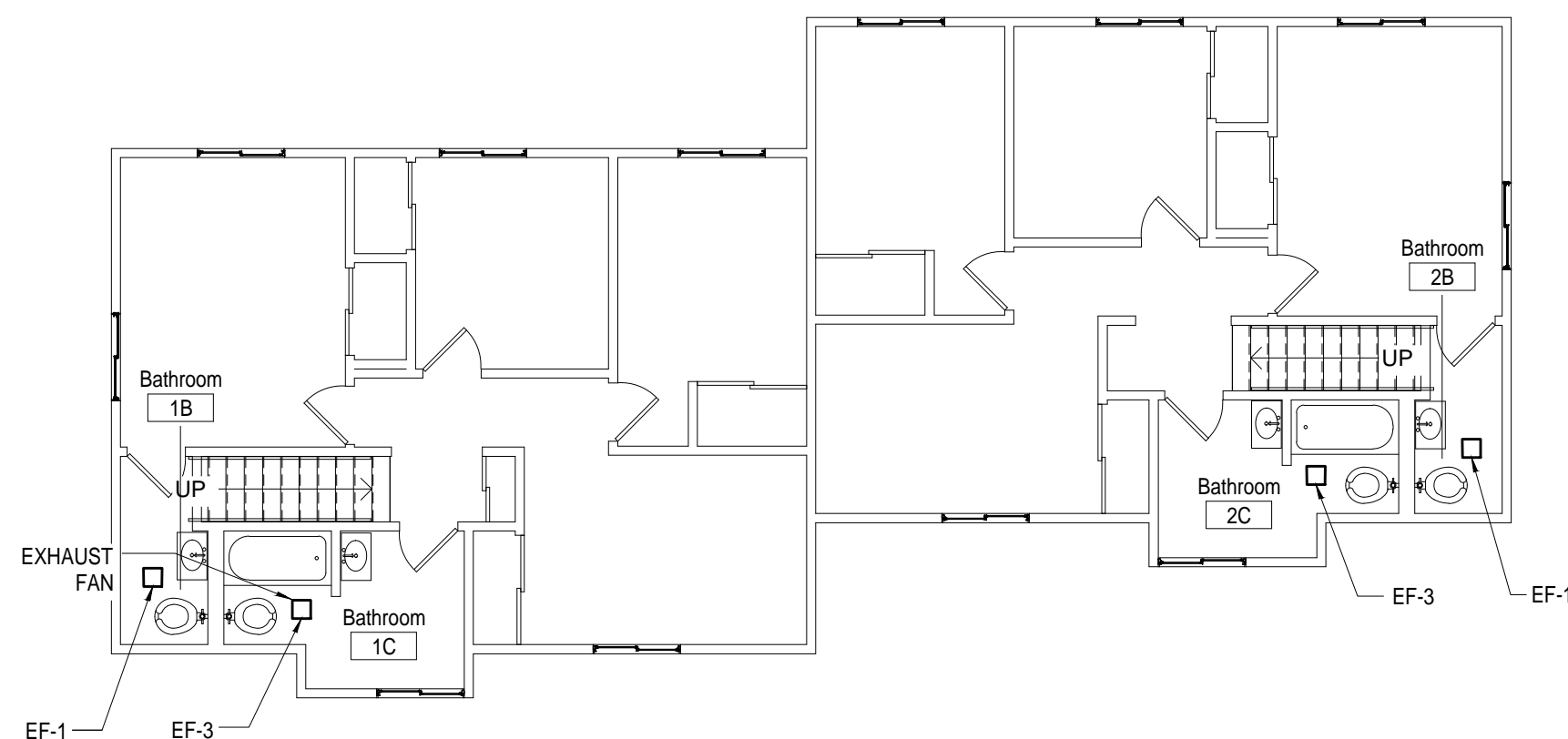
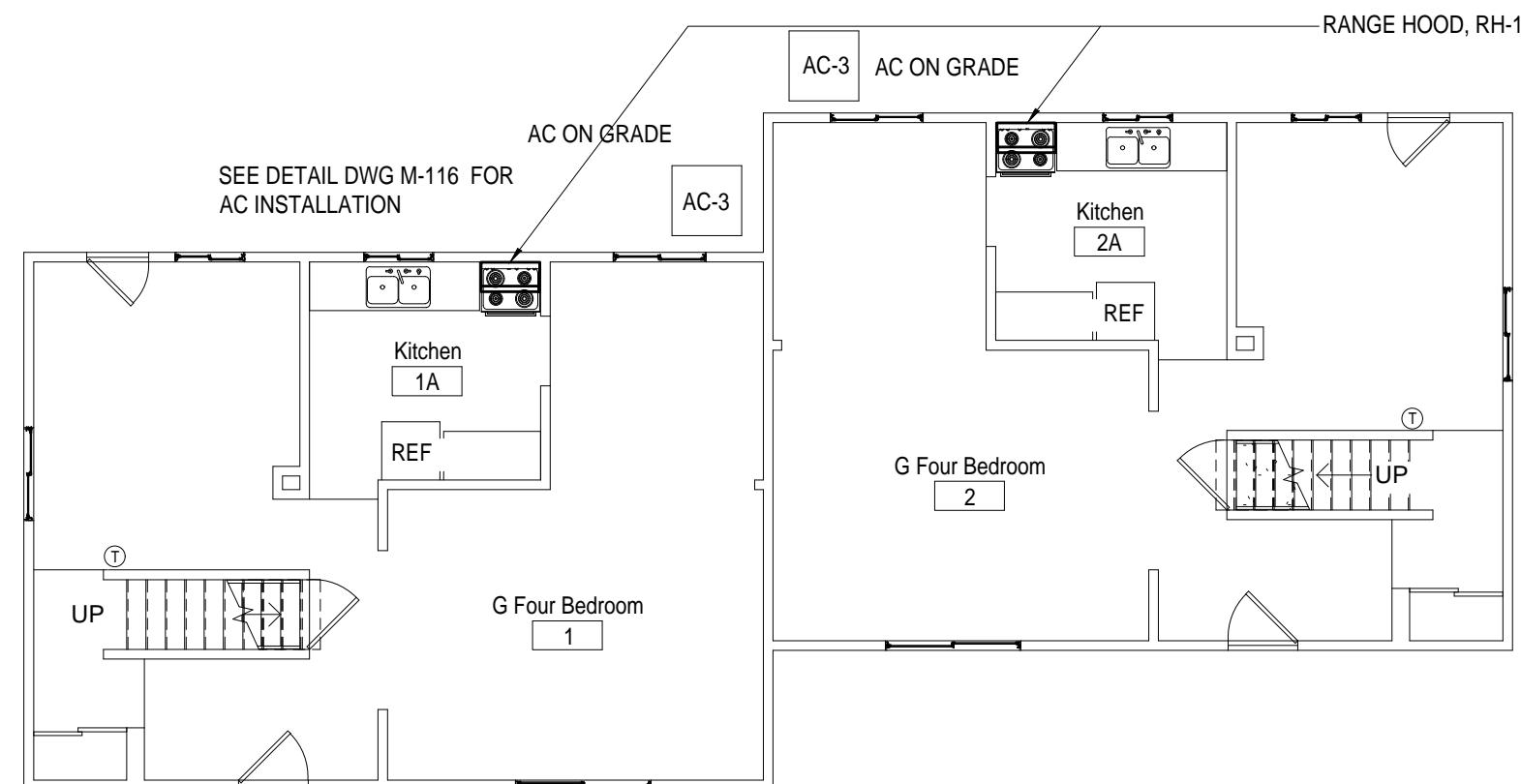
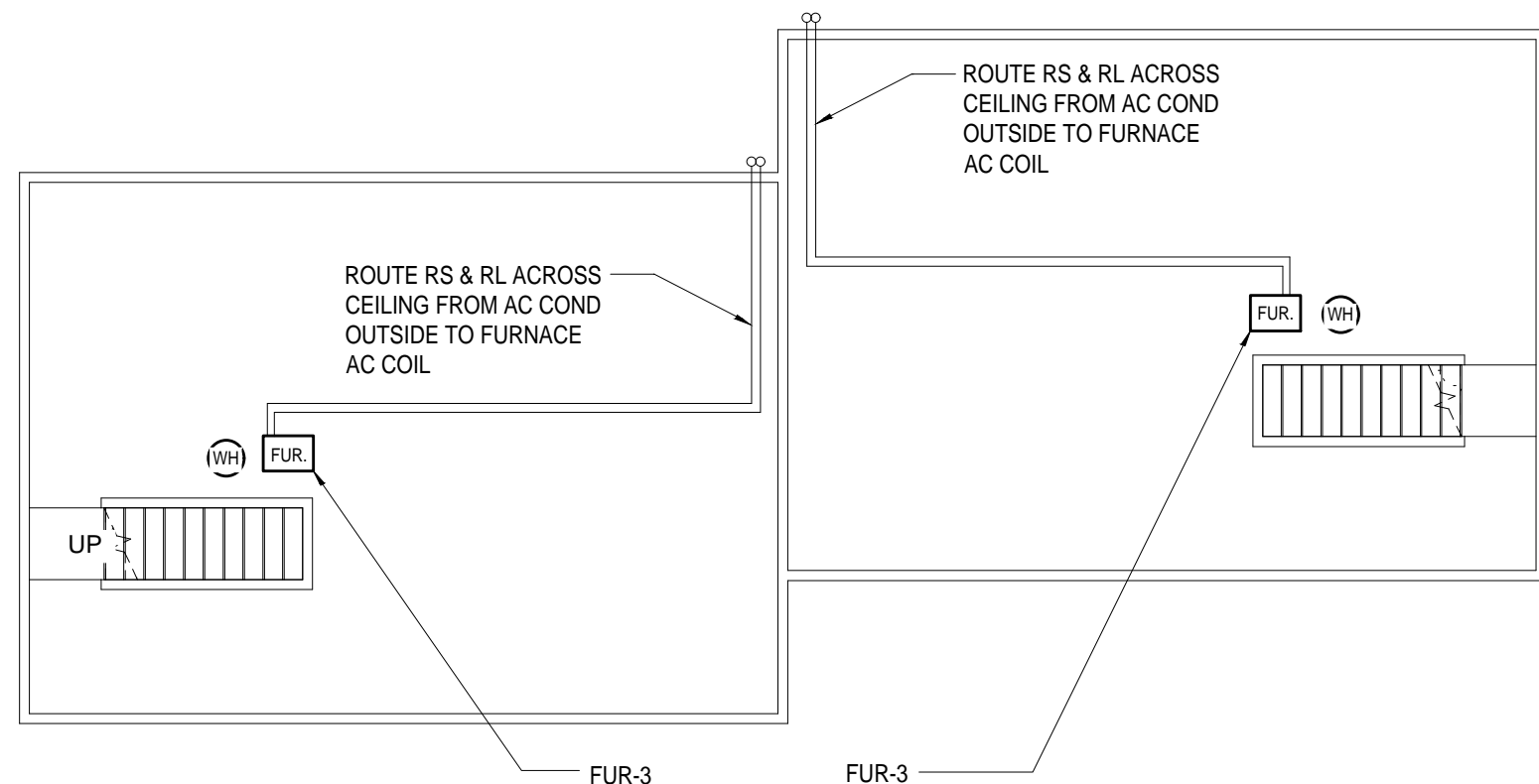
ISSUED: October 27, 2017

REVISIONS

**Family  
Community  
- Type F UFAS**

R3A PROJECT # 15074B

**M-116**



REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE ELECTRICAL CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

## MECHANICAL NOTE

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. P. WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

4 PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK

### 7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

[illegible]

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

[illegible]

NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIGANT CONDENSATE PUMP, MOD 554425-VCM4-20ULS, 1/30 HP, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

[illegible]

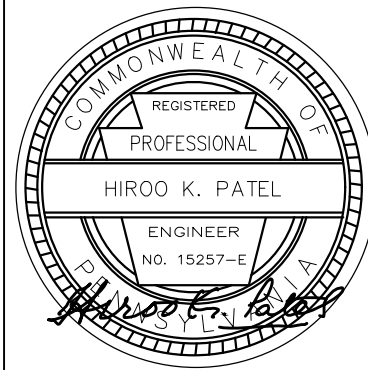
NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

[illegible]

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

- ### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND TO COORDINATION WITH WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. CONTRACTORS ARE REQUIRED TO IDENTIFY AND MAINTAIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL OCCUPANTS. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE CONTRACTORS ARE REQUIRED TO COORDINATE WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UTILITY, PUBLIC AREAS AND COMMUNITY ROOMS. FURNITURE AND EQUIPMENT ARE TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY TAKE OFF. DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '01200 ALLOWANCE FOR FINISHES' AND '05000 PAINTS AND COATINGS'. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL, DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS, AN INSURANCE POLICY, AND A LIMITED ASBESTOS DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS) UNLESS NOTED OTHERWISE REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATION AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION AND NEW CONSTRUCTION. CONTRACTORS ARE TO WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE FULL AND COMPLETE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT EXISTING FINISHES. WHERE APPLICABLE, UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. UNLESS OTHERWISE NOTED, ALL FINISHES, SURFACES, MATERIALS, TEXTURES, COLORS AND FINISHES, WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

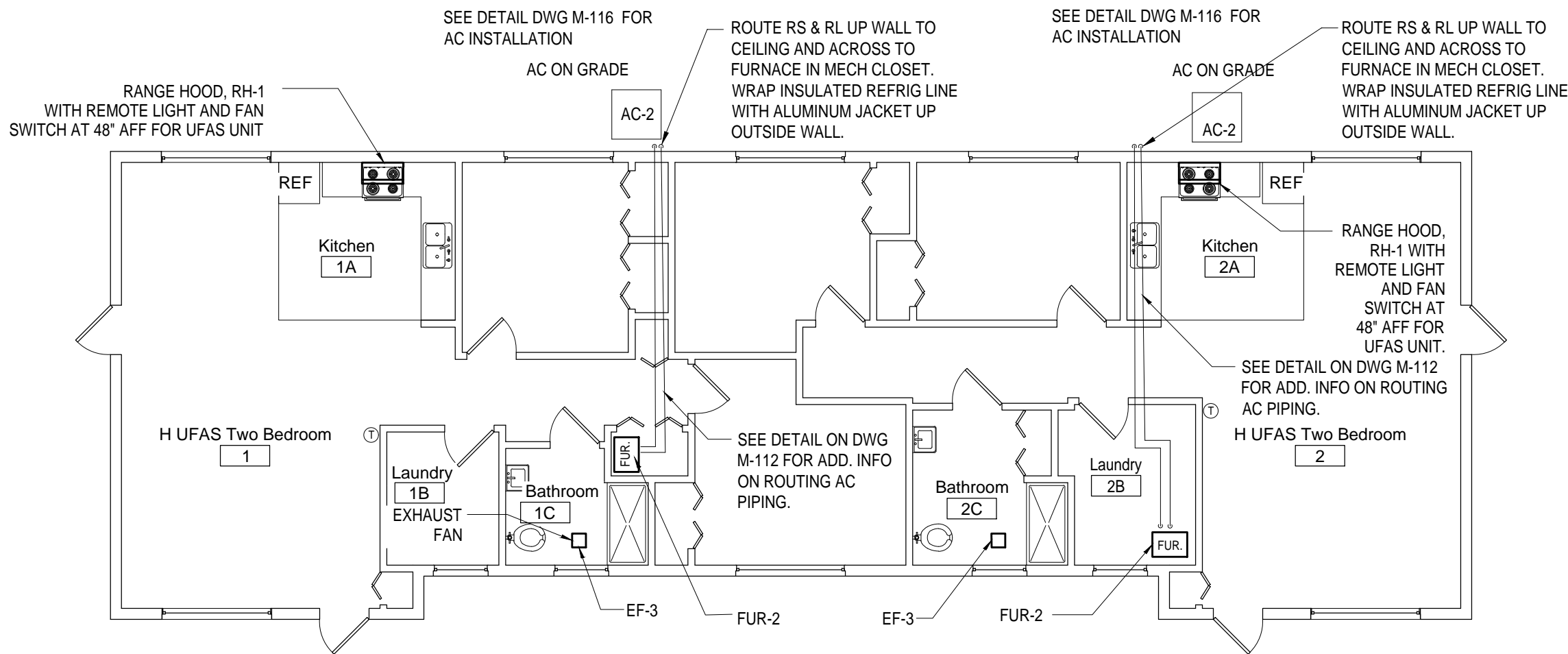
## REVISIONS

Family  
Community  
- Type G

R3A PROJECT #	15074B
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M-117





1 First Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

**MECHANICAL NOTE**

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH450 OR APPROVED EQUAL.

4. PROVIDE DRAIN/IDE DHD BY MARKET/ AIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION. REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VOMA-20ULS, 1/30 Hp, 115V SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

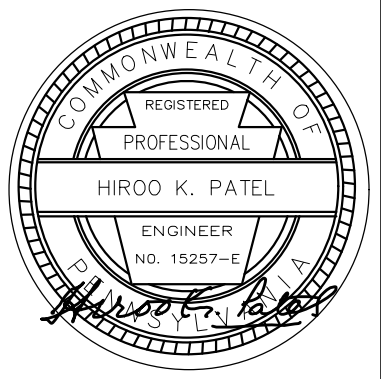
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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NOTE:  
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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

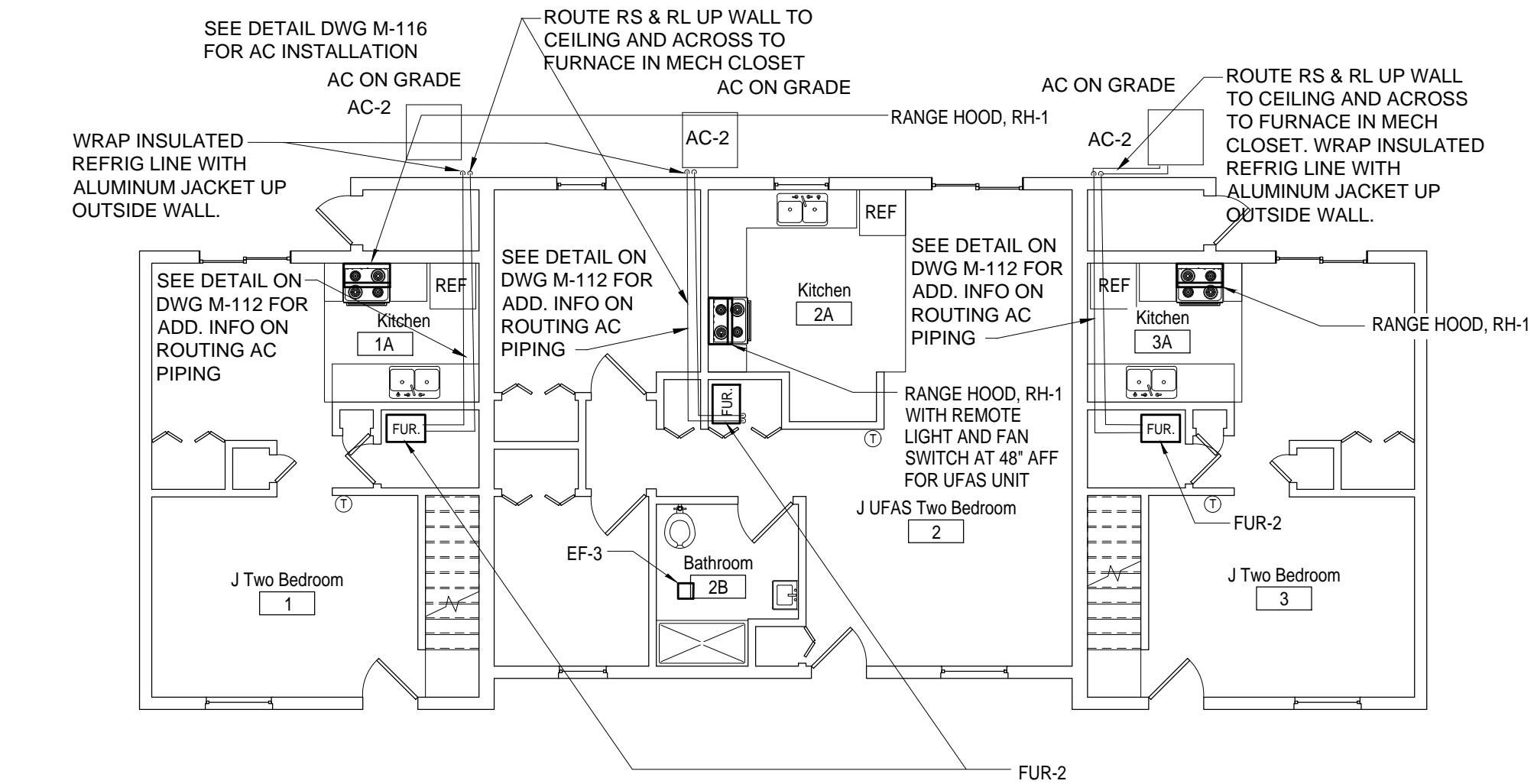
ISSUED: October 27, 2017

REVISIONS

Family  
Community  
- Type H UFAS

R3A PROJECT # 15074B

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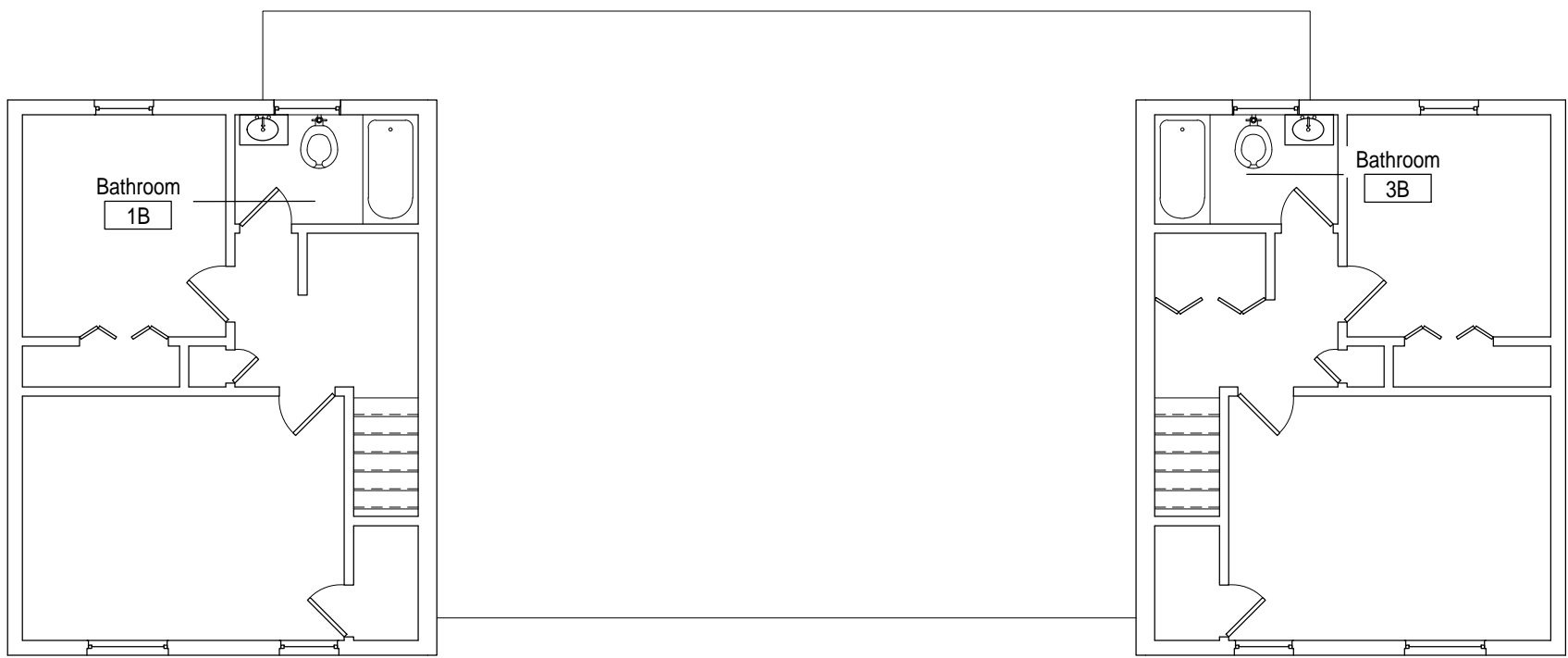


1 First Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE DRAIN/HIDE DHD BY MARKET/AIR. EDISON, NJ OR APPROVED EQUAL. TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.



2 Second Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP.	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	MBH 23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

- NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

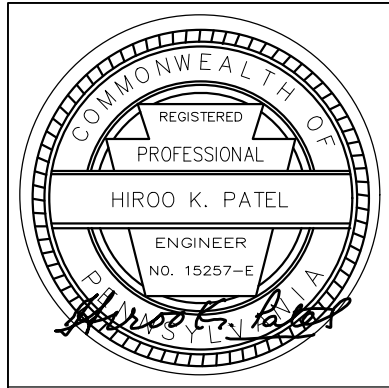
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

- NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '02100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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NOTE:  
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Design

Technology

Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
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Demonstration  
(RAD)

945 Roselle Ct  
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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family  
Community  
- Type J/UFAS

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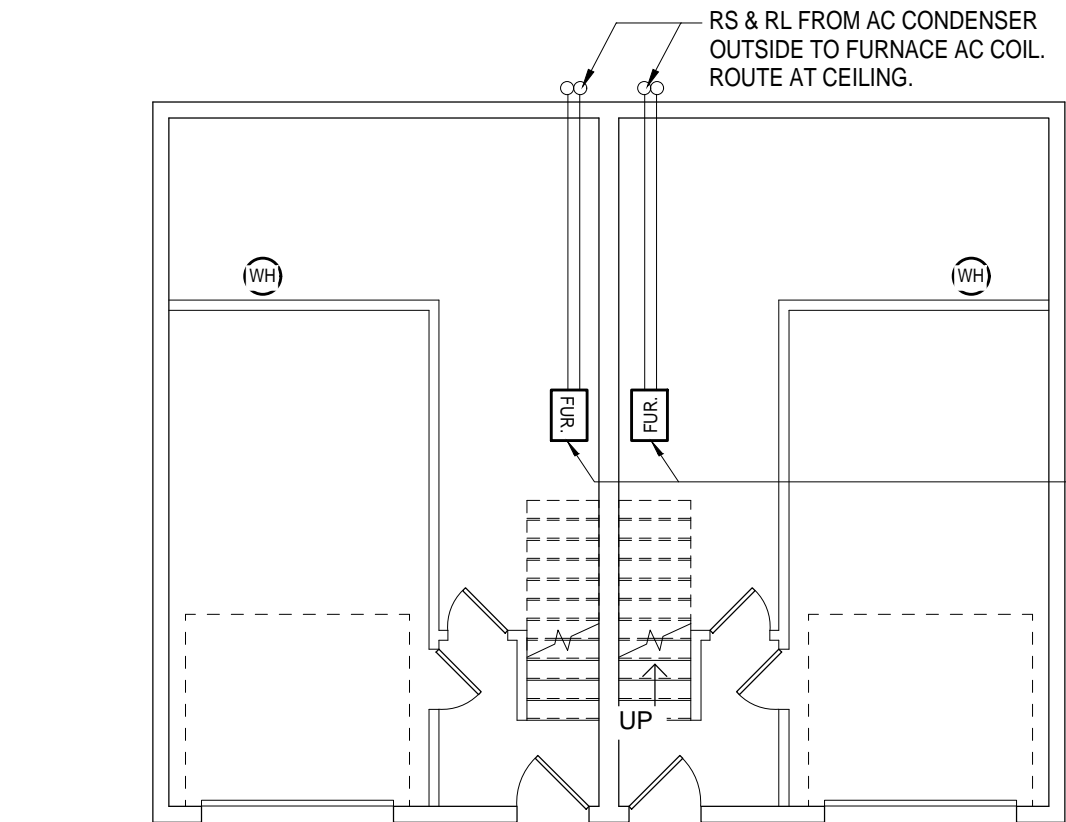
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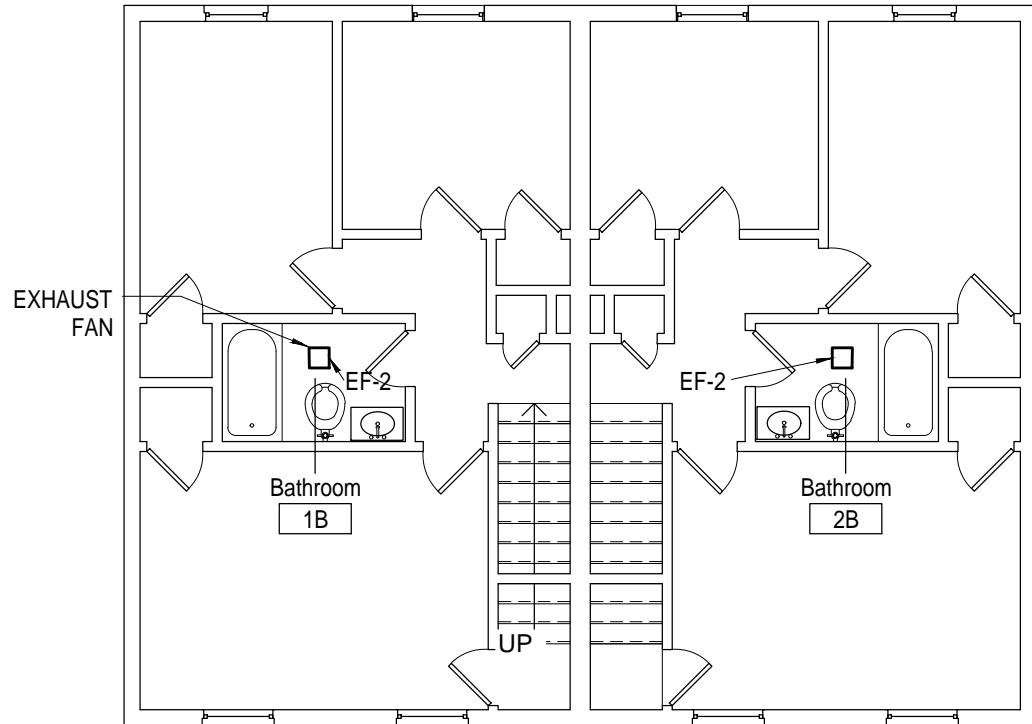
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#### MECHANICAL NOTE

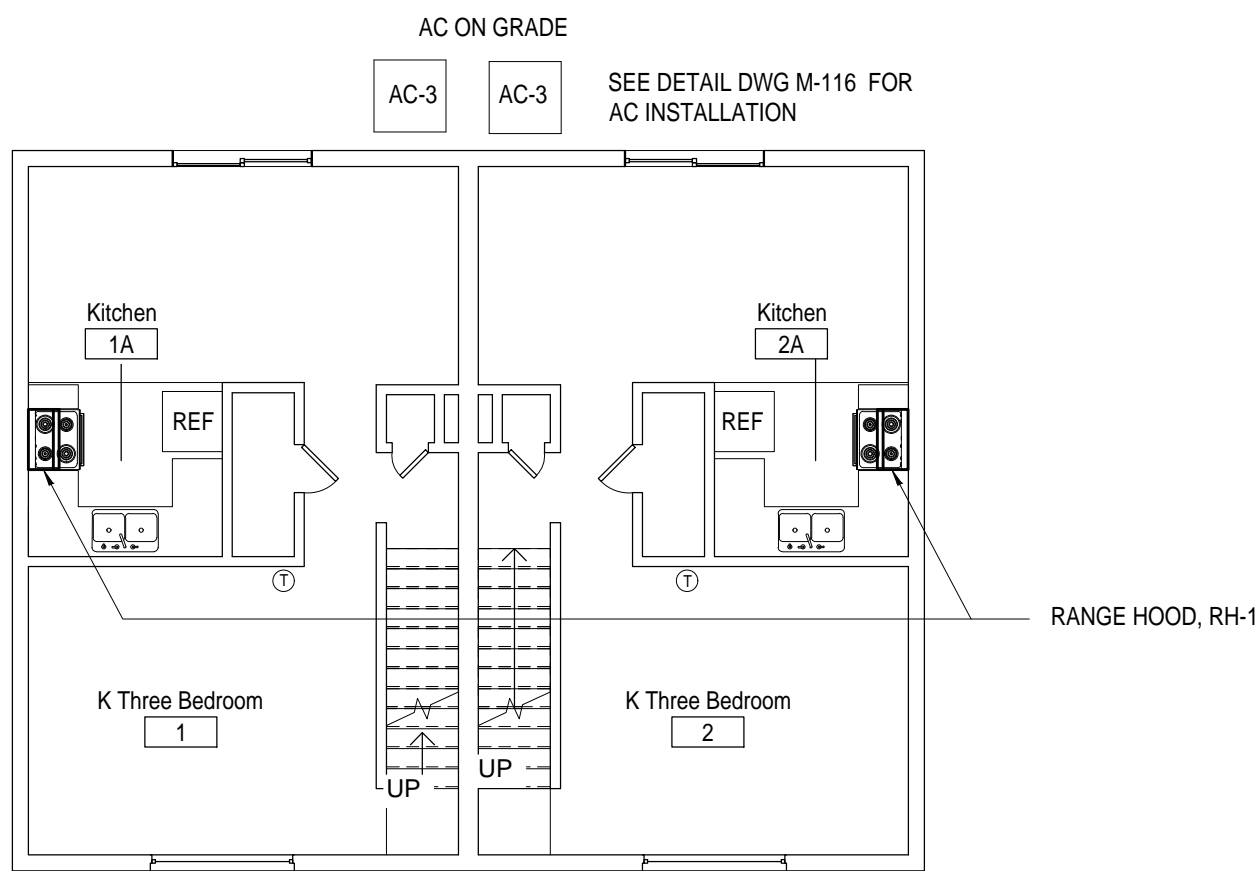
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1 Basement Floor Mechanical Plan  
1/8" = 1'-0"



3 Second Floor Mechanical Plan  
1/8" = 1'-0"



2 First Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
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- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
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- MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
  - PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION. REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD. 6 FT., 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

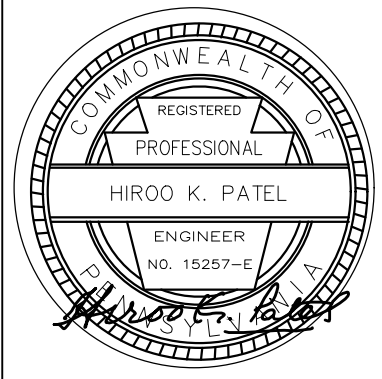
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

- NOTES:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 01210 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
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CONSTRUCTION  
DOCUMENTS

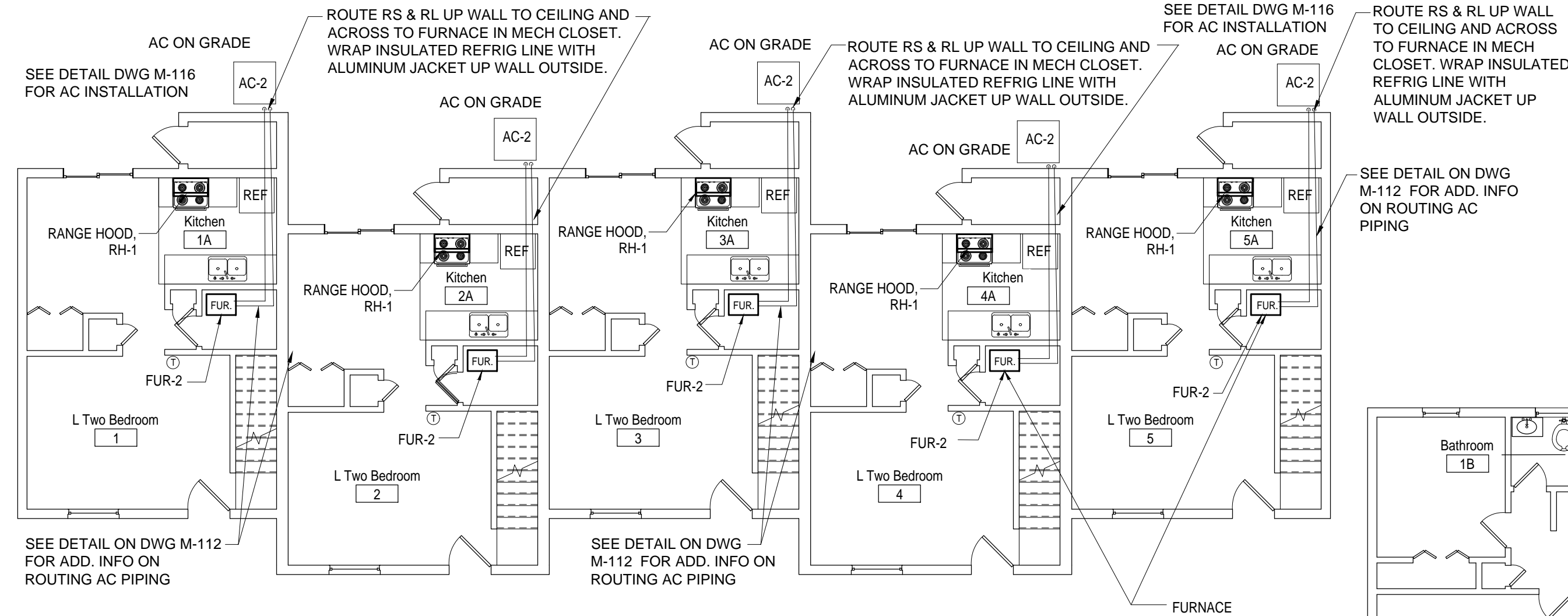
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REVISIONS

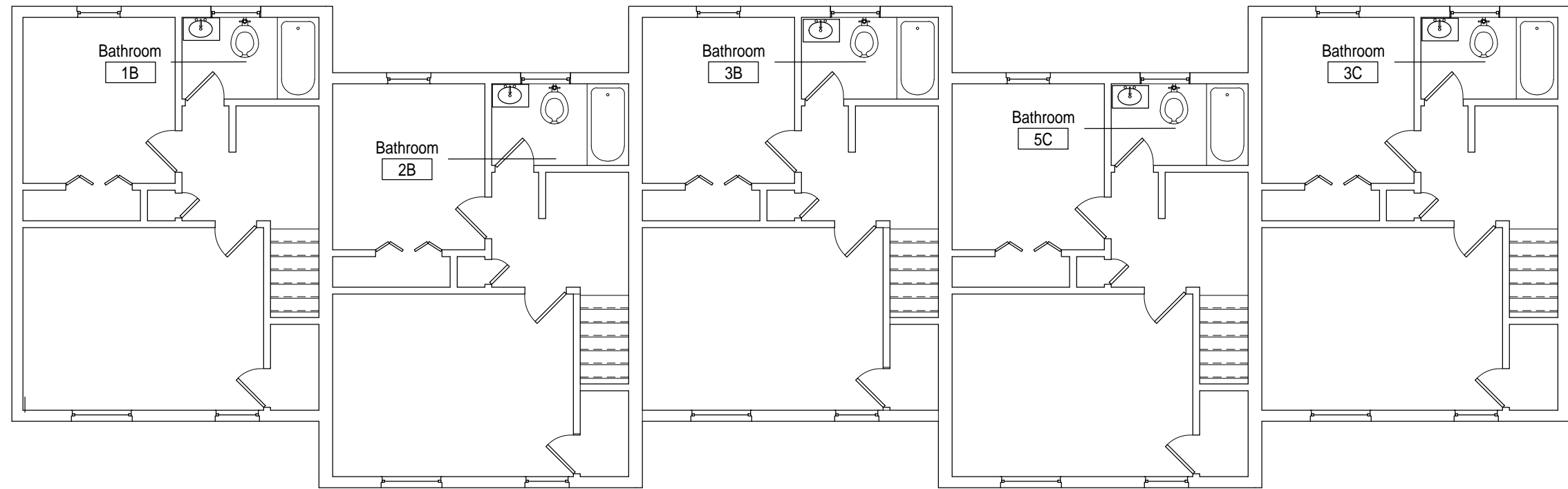
Family  
Community  
- Type K

R3A PROJECT # 15074B

M-120



1 First Floor Mechanical Plan  
1/8" = 1'-0"



2 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

#### MECHANICAL NOTE

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAIN/HIDE DHD BY MARKET AIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

5. UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH, PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS. PREVIOUSLY PAINTED WALL.

9. WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR DB	ENT AIR WB	AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
												MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

#### NOTES:

1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS		
										MANUF	MODEL			
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80604BNC	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW		
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNC	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW		
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNC	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW		

#### NOTES:

1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION, REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE, CORD, 6 FT., 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

#### NOTES:

1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

#### NOTES:

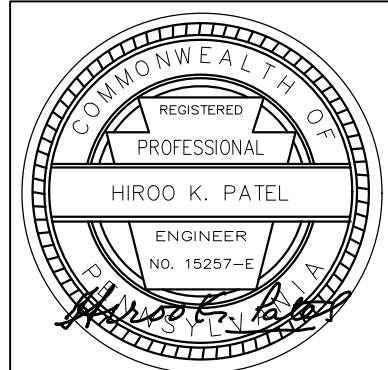
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS AND COMMUNITY ROOM BUILDING MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. CONTRACTORS ARE TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IESCBIRC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. CONTRACTORS ARE REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design

Technology

Sustainability

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CONSULTANT:



Tri-State Design and Development  
Civil, Mechanical, Electrical, Plumbing, Fire Protection, and Construction

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

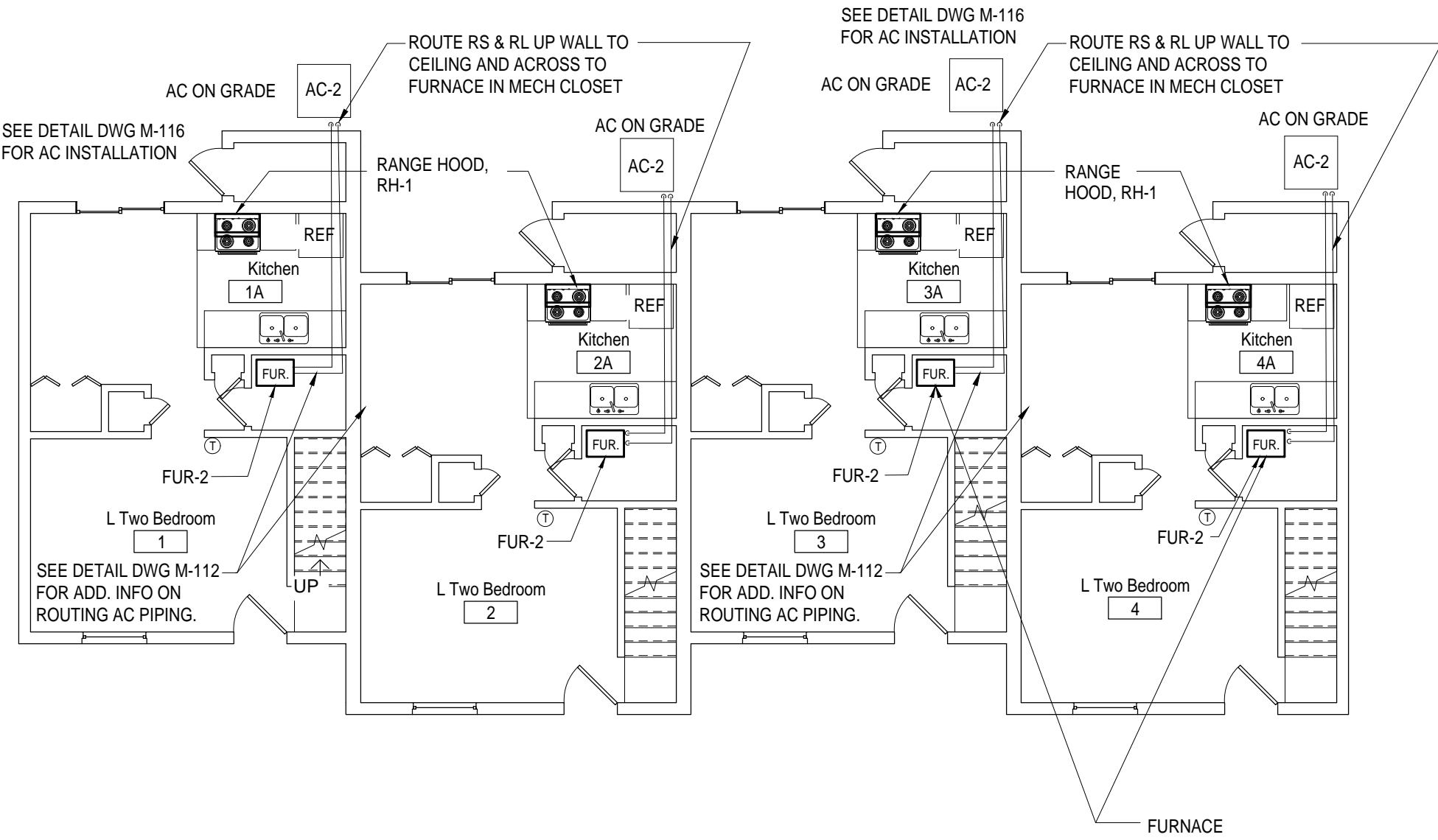
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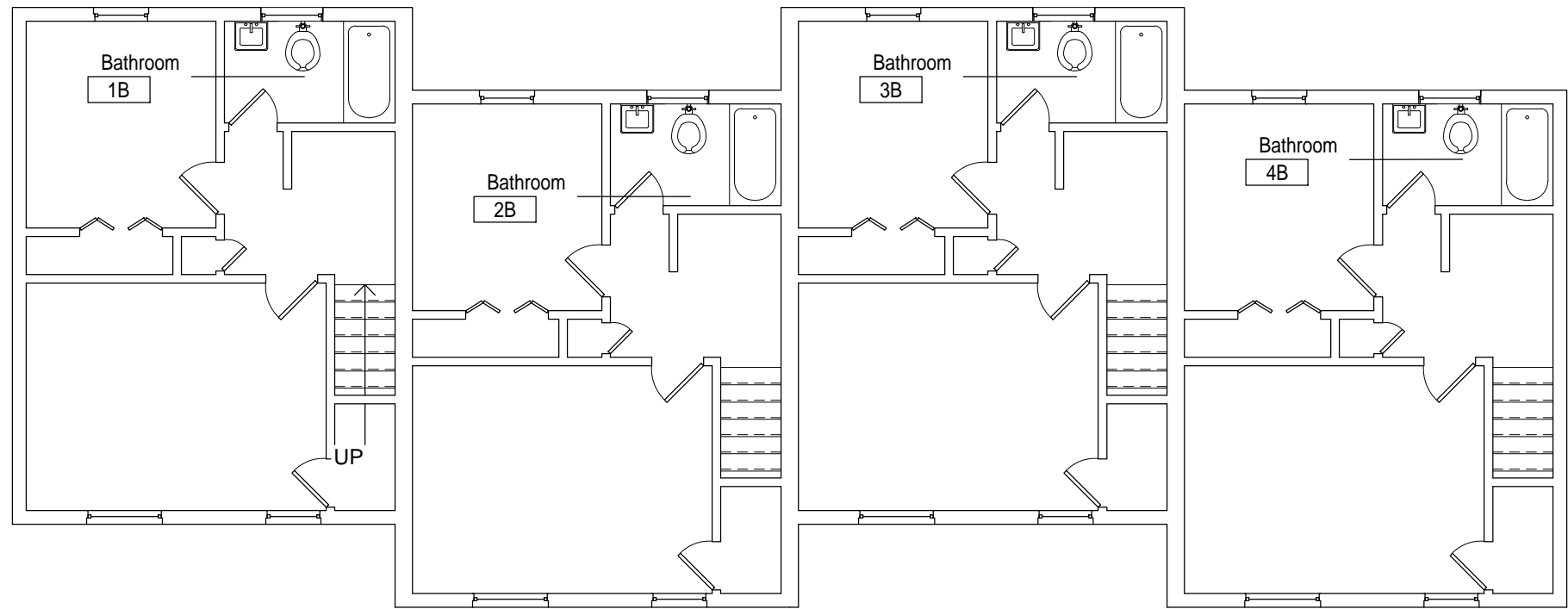
R3A PROJECT # 15074B

M-121





1 First Floor Mechanical Plan  
1/8" = 1'-0"



2 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CONNECT TO EXISTING FLUE. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOW RISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD AND REPLACE WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

#### MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH. PROVIDE GRAVEL SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELECTRIC PANEL WITH PLACEMENT OF FURNACE.

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER. SEE NOTES BELOW
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. SEE NOTES BELOW

- NOTES:  
1. MC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
3. PROVIDE CONDENSATE PUMP AT EACH FURNACE LOCATION. REPLACE IN KIND. PROVIDE LITTLE GIANT CONDENSATE PUMP, MOD 554425-VCMA-20ULS, 1/30 Hp, 115V/SINGLE PHASE. CORD, 6 FT, 3 CONDUCTOR CABLE WITH 3 PRONG PLUG OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM SEE NOTES BELOW
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM SEE NOTES BELOW
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM SEE NOTES BELOW

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

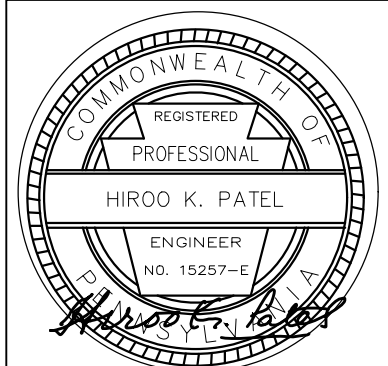
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE. SEE NOTES BELOW

- NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIBLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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NOTE:  
SEE DWG G-101, G-102 AND G-110  
FOR BUILDING, APARTMENT UNIT  
AND CODE INFORMATION.



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CONSULTANT:

**Tri-State DESIGN AND DEVELOPMENT**  
CONSULTING ENGINEERS  
CARNEGIE, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

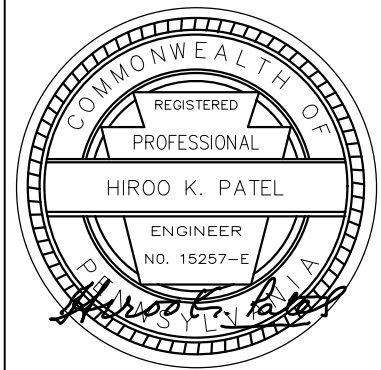
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REVISIONS

Family  
Community  
- Type M

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M-122



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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Bernice  
Crawley High  
Rise - First  
Floor Plumbing  
Plan

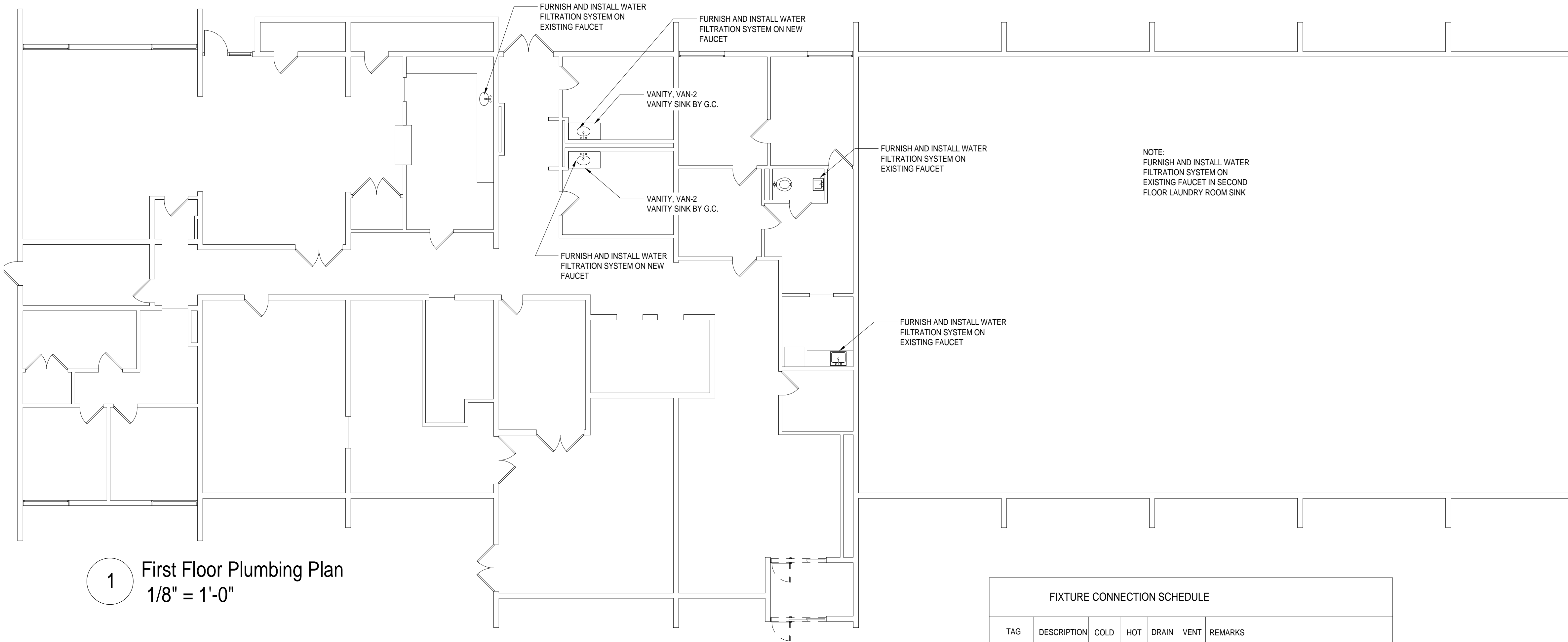
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P-101

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NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Plumbing Plan  
1/8" = 1'-0"

#### REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK. PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. HAS PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY, WHERE NO CASEWORK PROTECTS PIPING AND IN UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER, TUB NOZZLE, SHOWER FLEX HOSE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING. FURNISH AND INSTALL NEW VALVE AND FLEX PIPE.

#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS 3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION. NOTES 1 & 2.
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW. NOTES 1 & 2.

#### NOTE:

- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

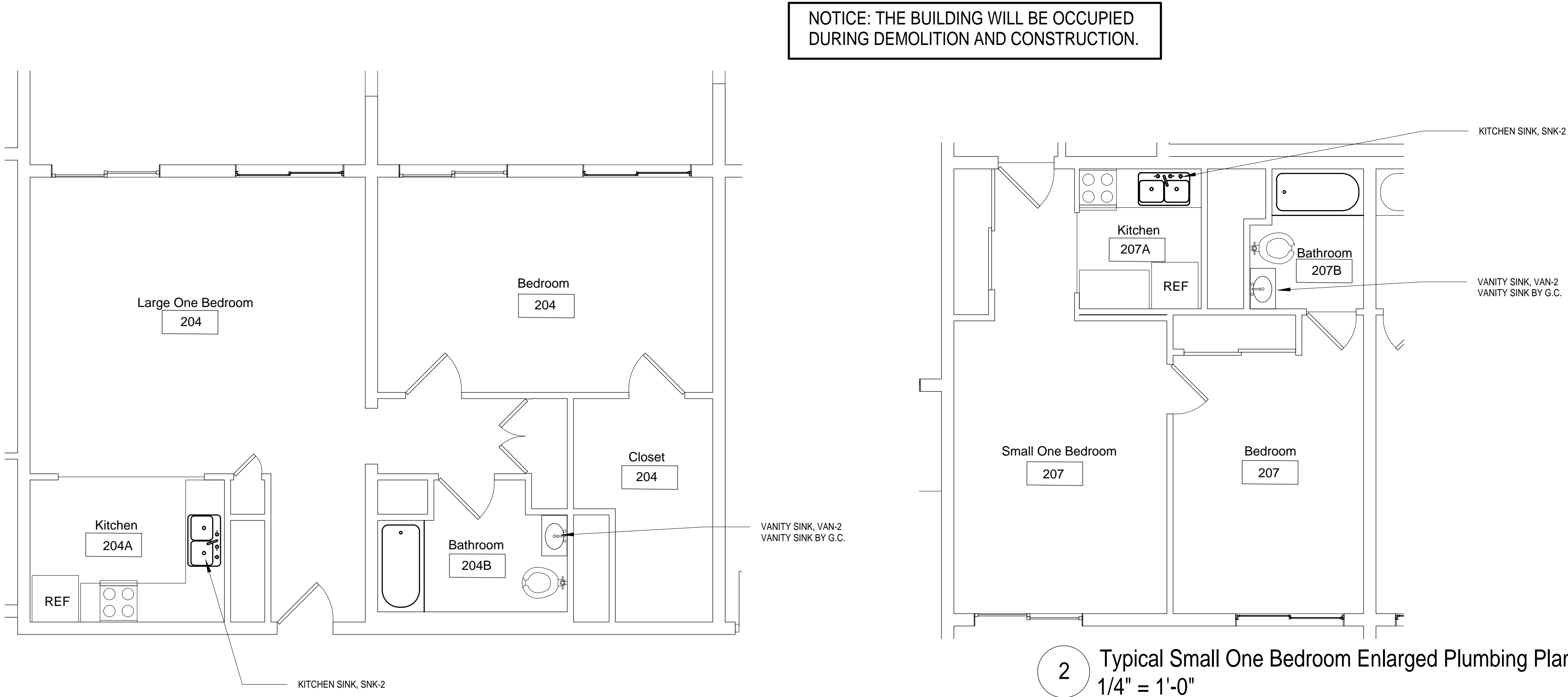
#### NOTES

- PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT KITCHEN AND BATHROOM FAUCETS IN COMMON AREA OF FIRST FLOOR AND SECOND FLOOR LAUNDRY. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. MOD SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS.
- PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT AND CODE INFORMATION.



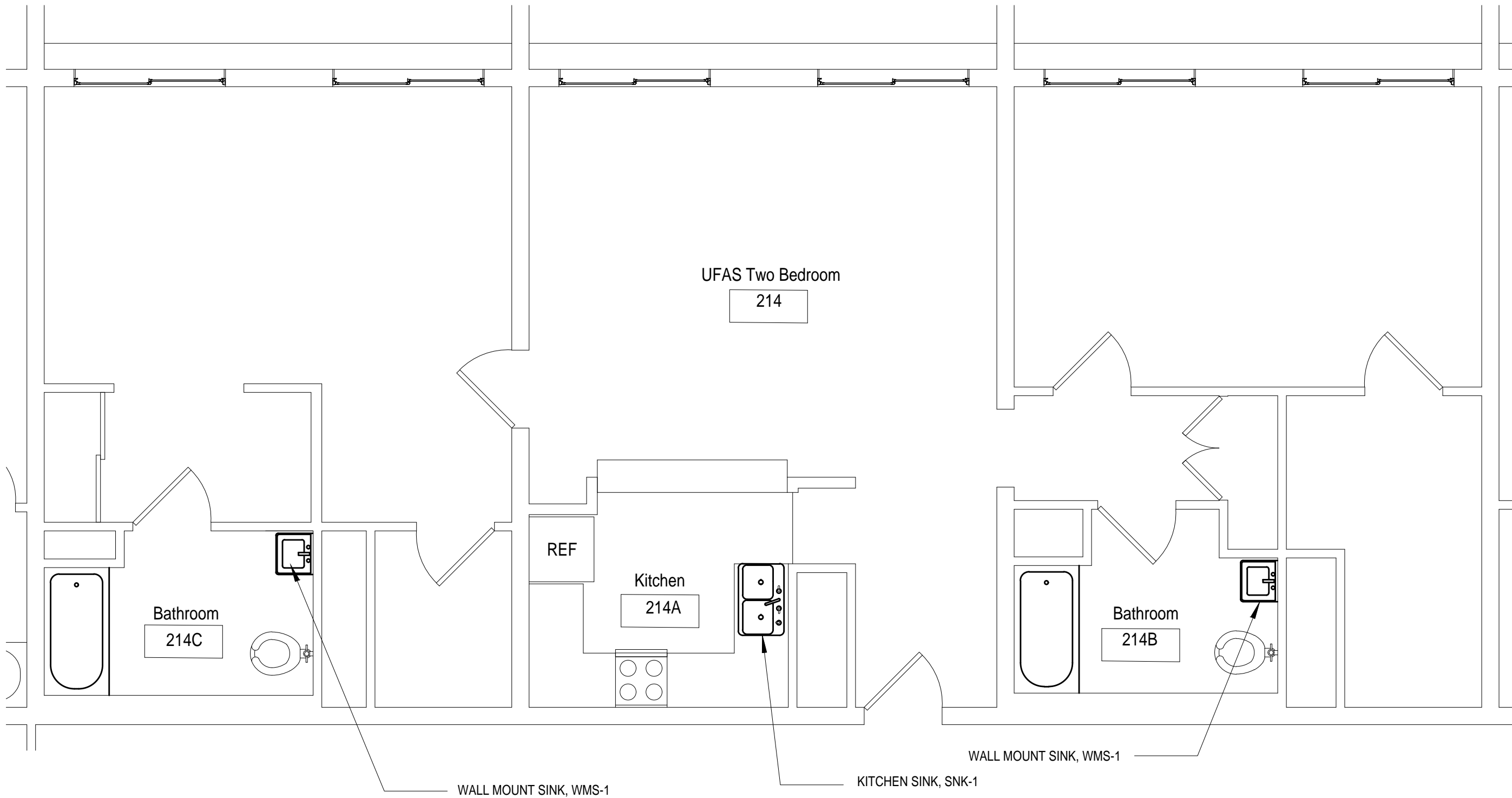


REFERENCE NOTES	
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. INSULATE DRAIN LINE. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)
UFAS BATH VANITY	REMOVE AND DISCARD EXISTING VANITY, COUNTERTOP AND FAUCET. PROVIDE AND INSTALL UFAS COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET AND PIPE INSULATION. PLUMBING CONT TO DISCONNECT AND RECONNECT PLUMBING TO SINK.

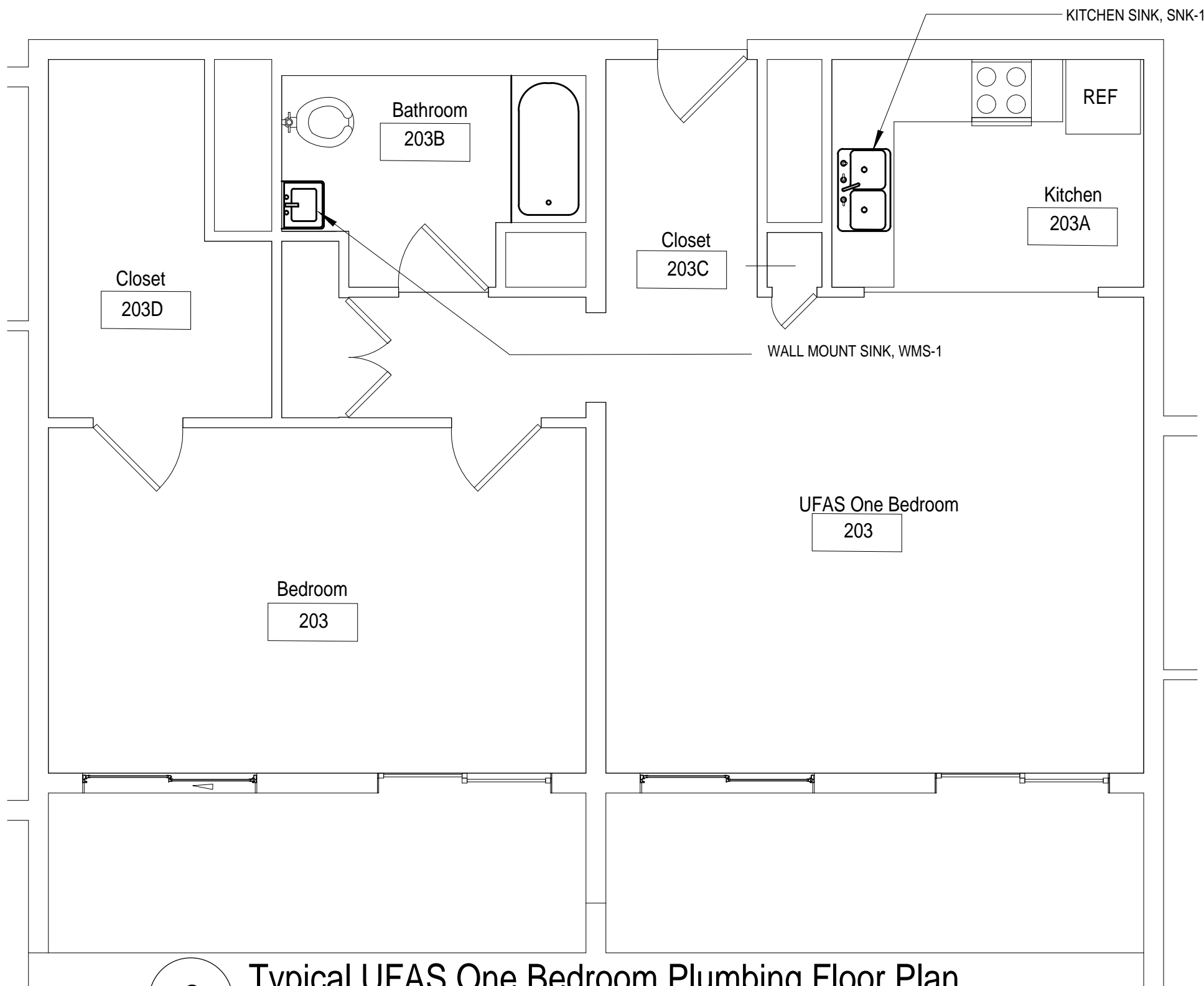
### GENERAL NOTES

1. THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.
2. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE.
5. REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB/SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
6. UFAS BATH FLOOR TILE NOT BEING REPLACED.
7. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE. PC TO DISCONNECT DRAIN FROM SINK REMOVED BY G.C.
8. PLUMBING CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE WALL MOUNTED SINK AND FAUCET. PIPING PROTECTION AND WALL CARRIER. PATCH DRYWALL, SMOOTH AND PREPARE FOR PAINT. TYPICAL AT ALL HIGH RISE UFAS/ACCESSIBLE UNITS. REFER TO DWG G-101 AND G-110 FOR UNIT TYPES. REFER TO DWG A-001 FOR MOUNTING HEIGHTS.
9. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Typical UFAS Two Bedroom Plumbing Floor Plan  
1/4" = 1'-0"



2 Typical UFAS One Bedroom Plumbing Floor Plan  
1/4" = 1'-0"

### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL HIGH RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME. WARRANTY: 2 YEARS.  
PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.6332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION. NOTES 1 & 2

#### NOTE:

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18x5	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION. NOTES 1 & 2

#### NOTE:

1. FAUCET: MOEN 4" CHATEAU L64820, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### FIXTURE CONNECTION SCHEDULE

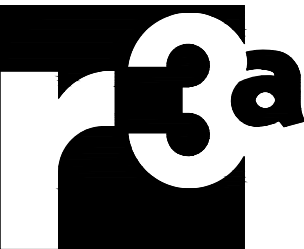
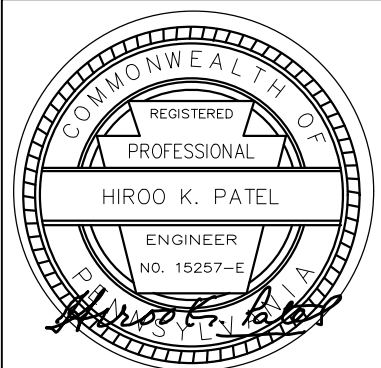
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE. ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUDING BUT NOT LIMITED TO PHRA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCBEC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC. NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNIT AND CODE INFORMATION.



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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

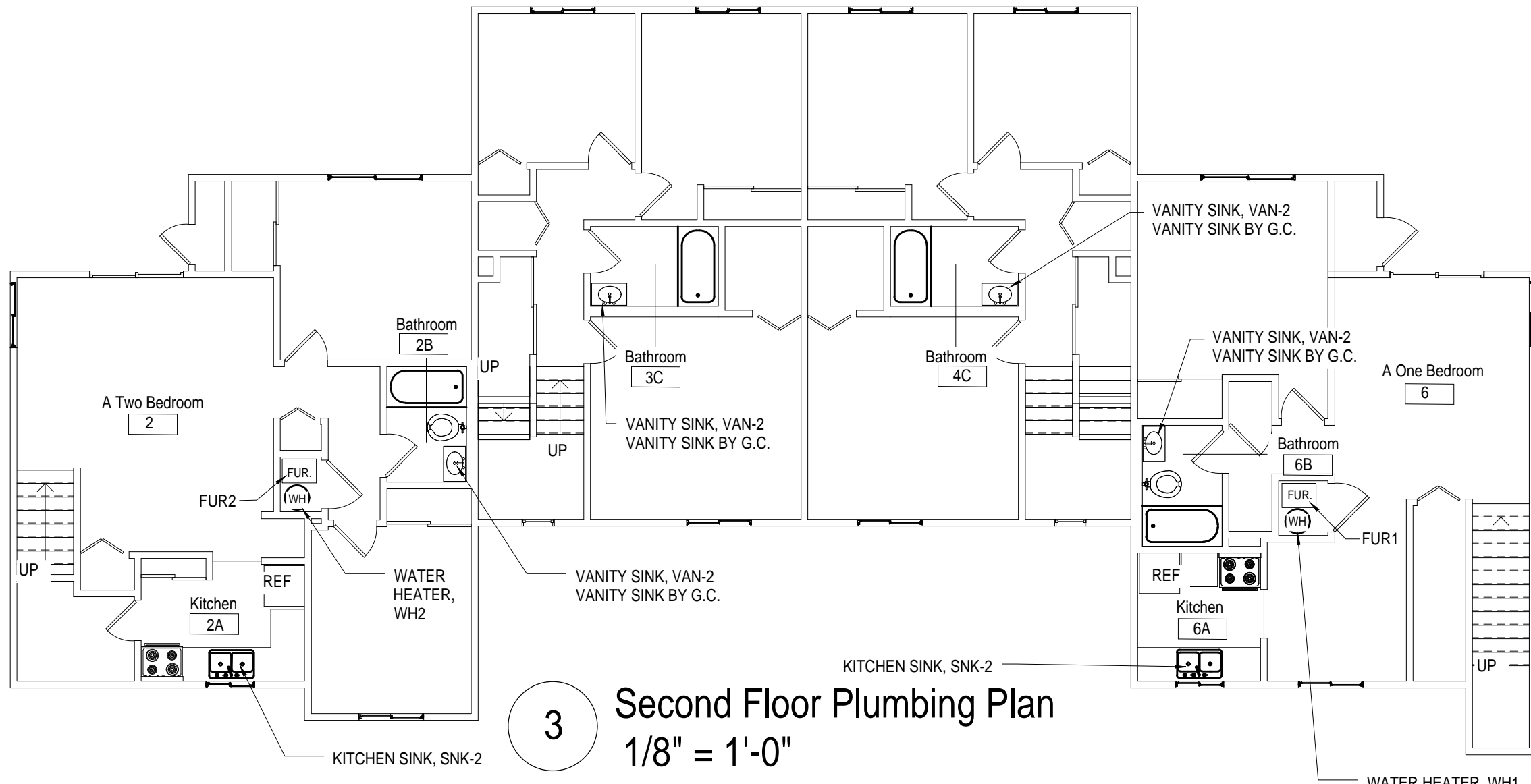
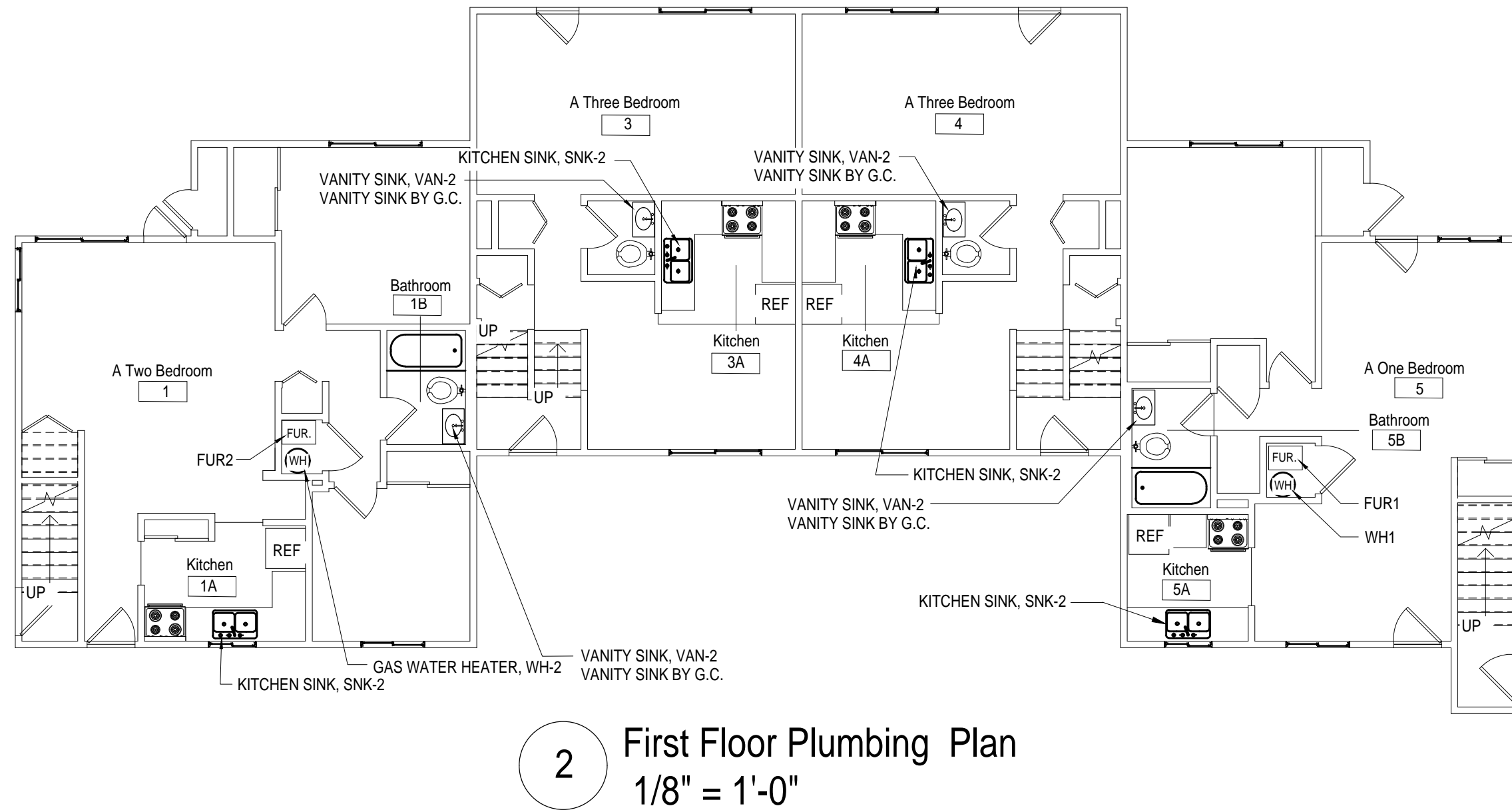
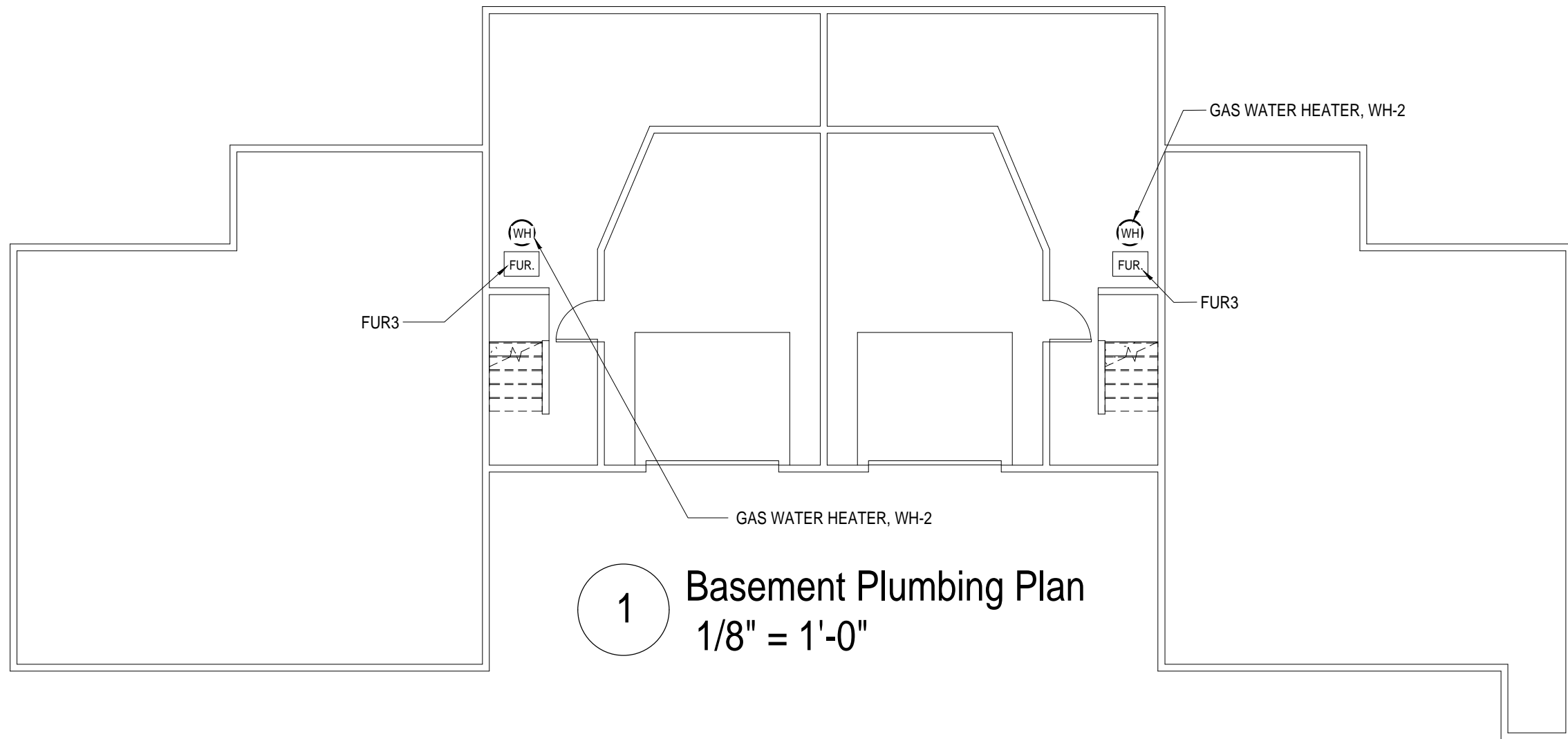
REVISIONS

Bernice Crawley  
High Rise - UFAS  
One & Two  
Bedroom Enlarged  
Plans

R3A PROJECT # 150748

P-106





REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

- PLUMBING NOTES:**
- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
  - PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

- GENERAL NOTES**
- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
  - PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
  - PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
  - REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
  - PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
  - AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
  - WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PM600HX. COLOR: CHROME. WARRANTY: 2 YEARS.

PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

KITCHEN SINK SCHEDULE						
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	AMER STANDARD 22DB.6332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION. SEE NOTES BELOW.
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD 22DB.6332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION. SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE						
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL	REMARKS
VMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION. SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM				REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW. SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

NAT. GAS FIRED WATER HEATER SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O SMITH GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN. SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN. SEE NOTES BELOW.

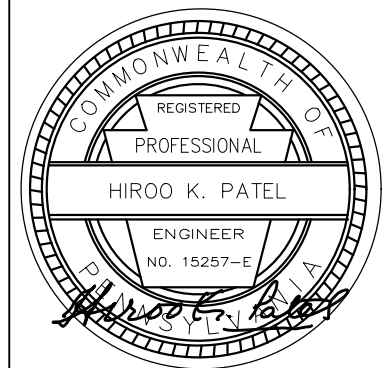
- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE.

**NOTE:**

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES\* FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARUTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
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Tri-State DESIGN AND DEVELOPMENT  
CORPORATION, PITTSBURGH, PA

Allies & Ross  
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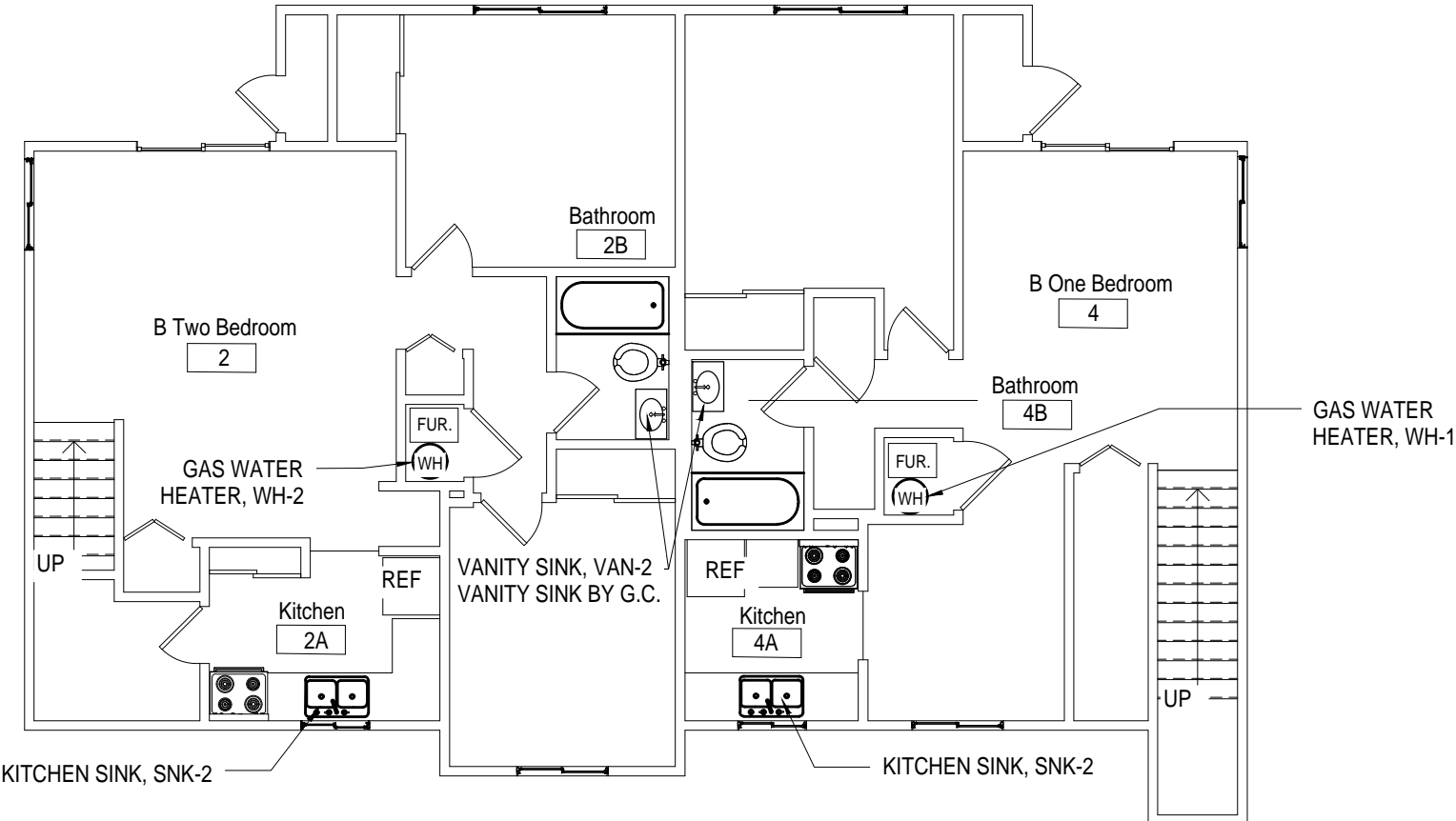
Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

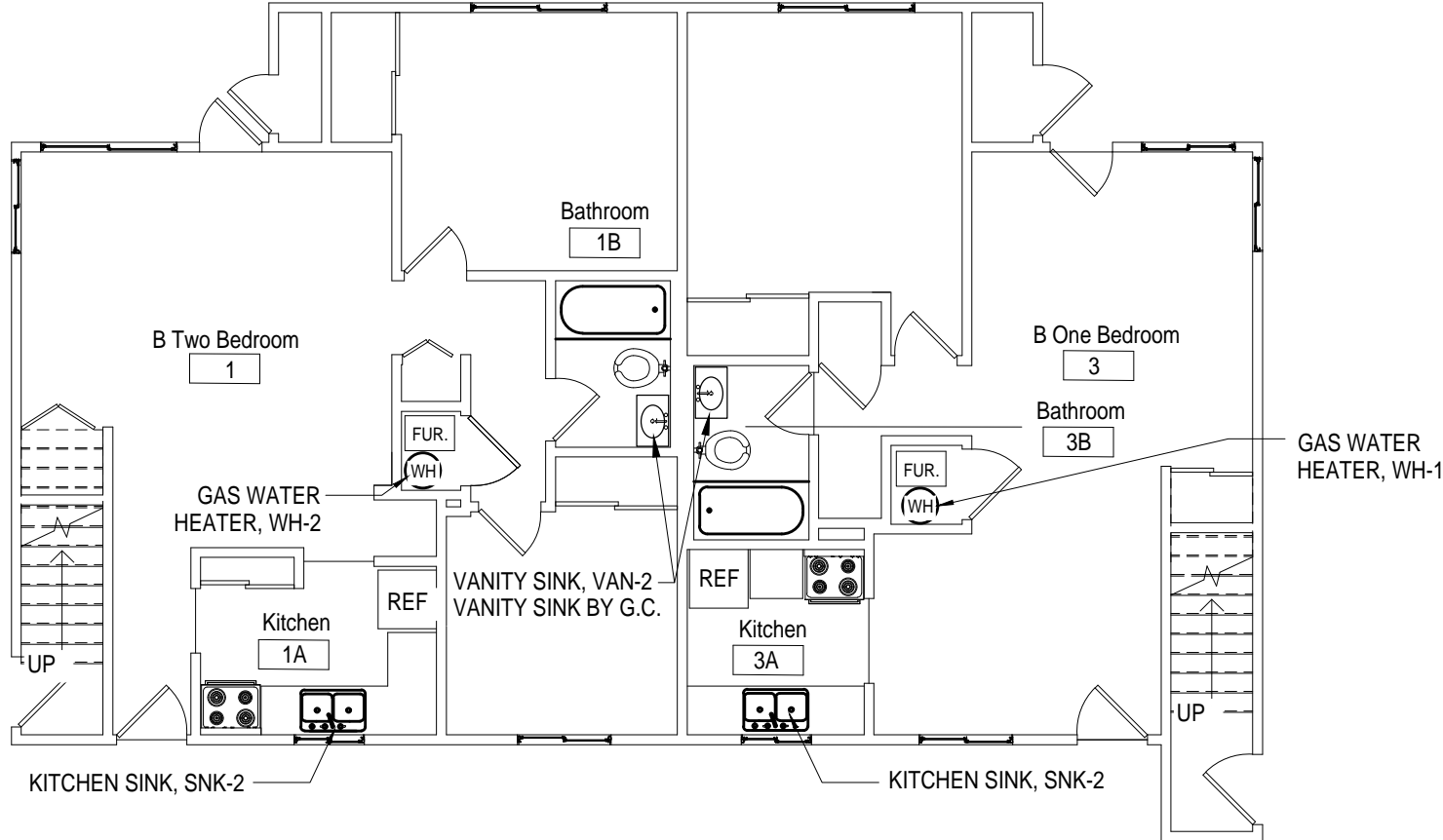
ISSUED: October 27, 2017  
REVISIONS

Family Community  
- Type A

R3A PROJECT # 15074B



1 First Floor Plan  
1/8" = 1'-0"



2 Second Floor Plan  
1/8" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP. 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP. 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE.

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES. DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES. DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

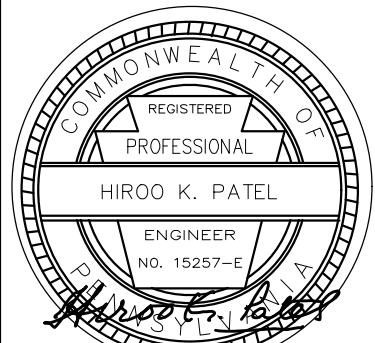
#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

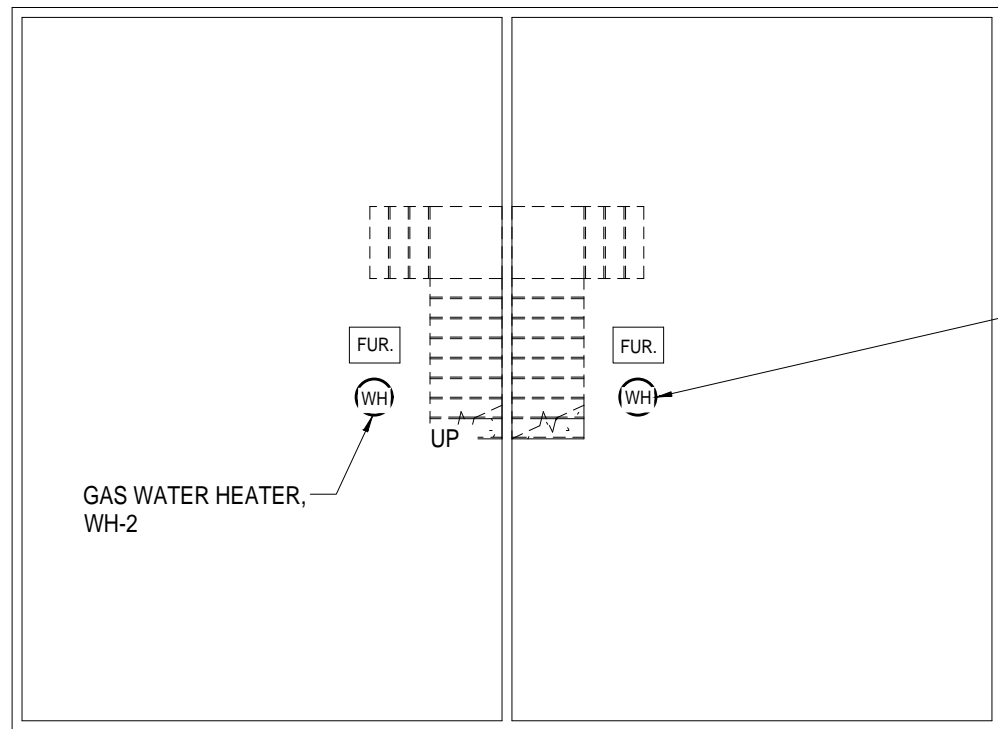
Family Community  
- Type B

R3A PROJECT #

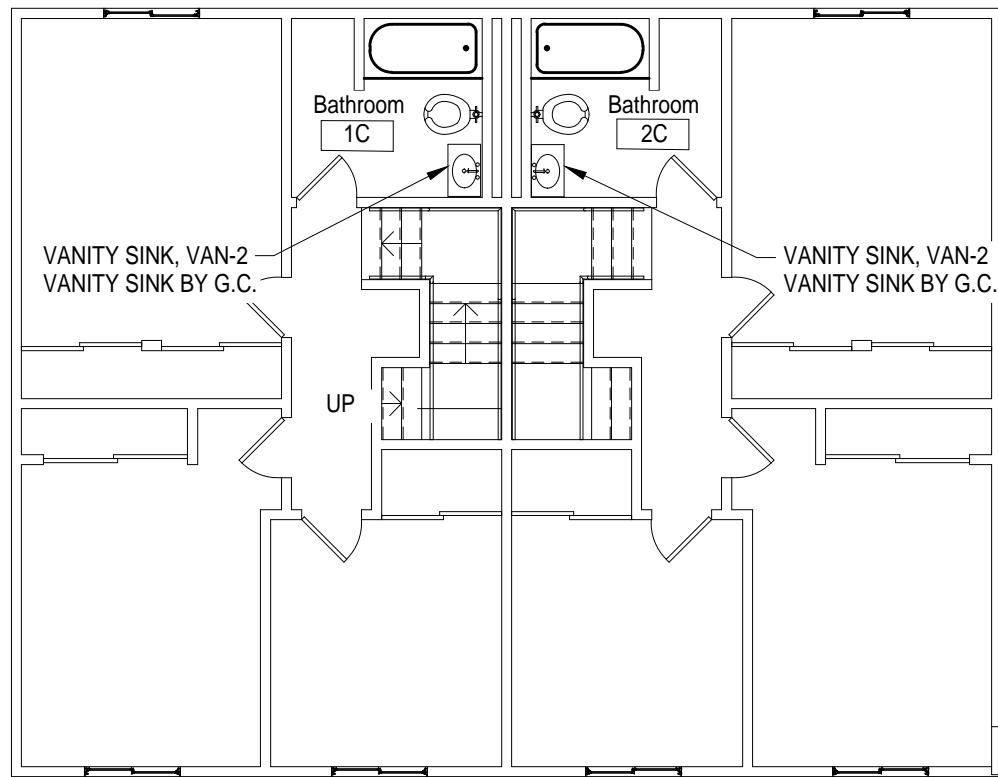
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P-112





1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"

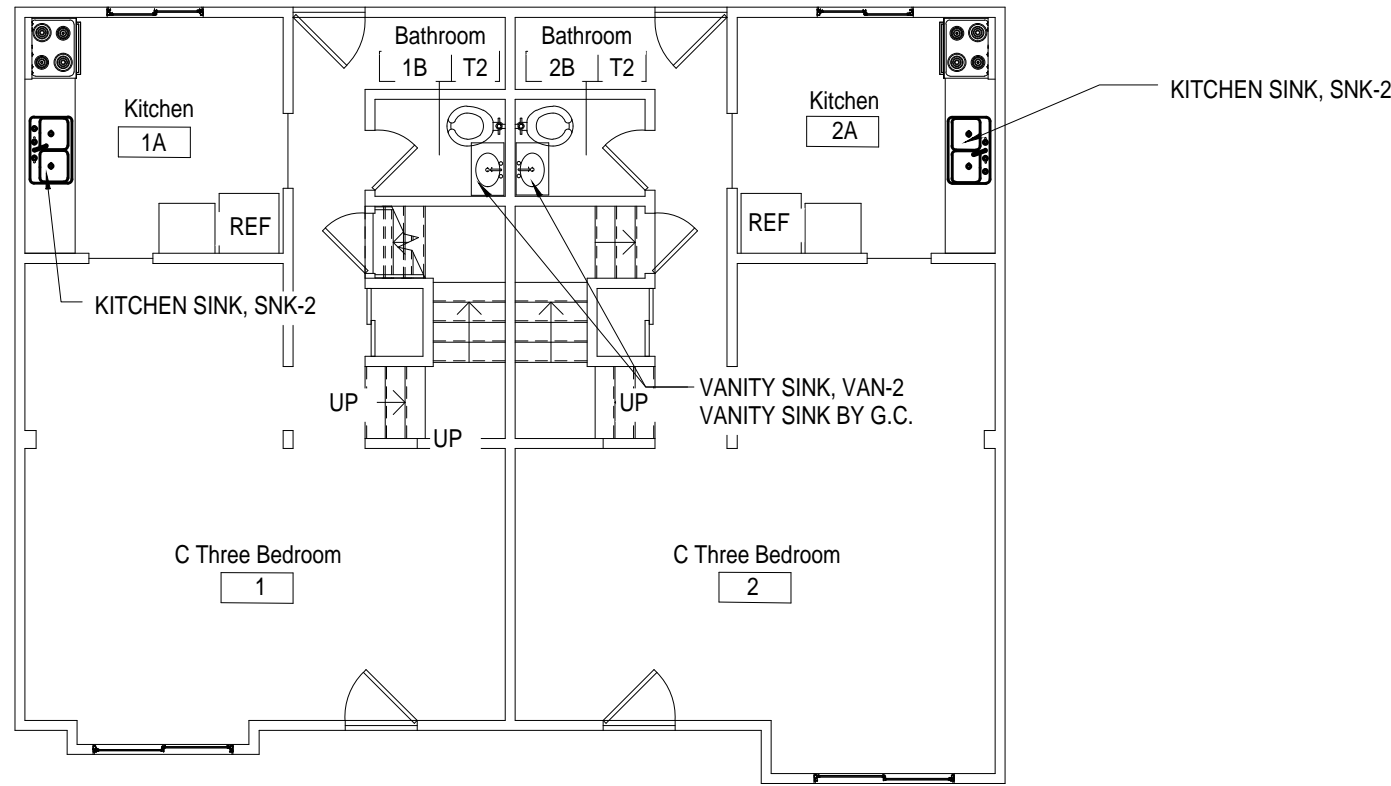
REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.



2 First Floor Plumbing Plan  
1/8" = 1'-0"

NAT. GAS FIRED WATER HEATER SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL
  - CONNECT TO EXISTING FLUE

KITCHEN SINK SCHEDULE						
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN	
					MANUF	MODEL
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD332268G
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

BATHROOM SINK SCHEDULE						
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN	
					MANUF	MODEL
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003
VAN-2	BATHROOM SINK	BATHROOM				

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTES

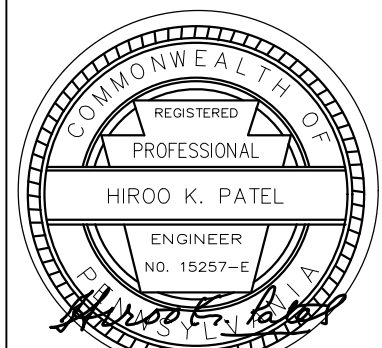
A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE, REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES\* FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIBLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL \*NON-POTABLE WATER\* SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct.  
Pittsburgh, PA 15207

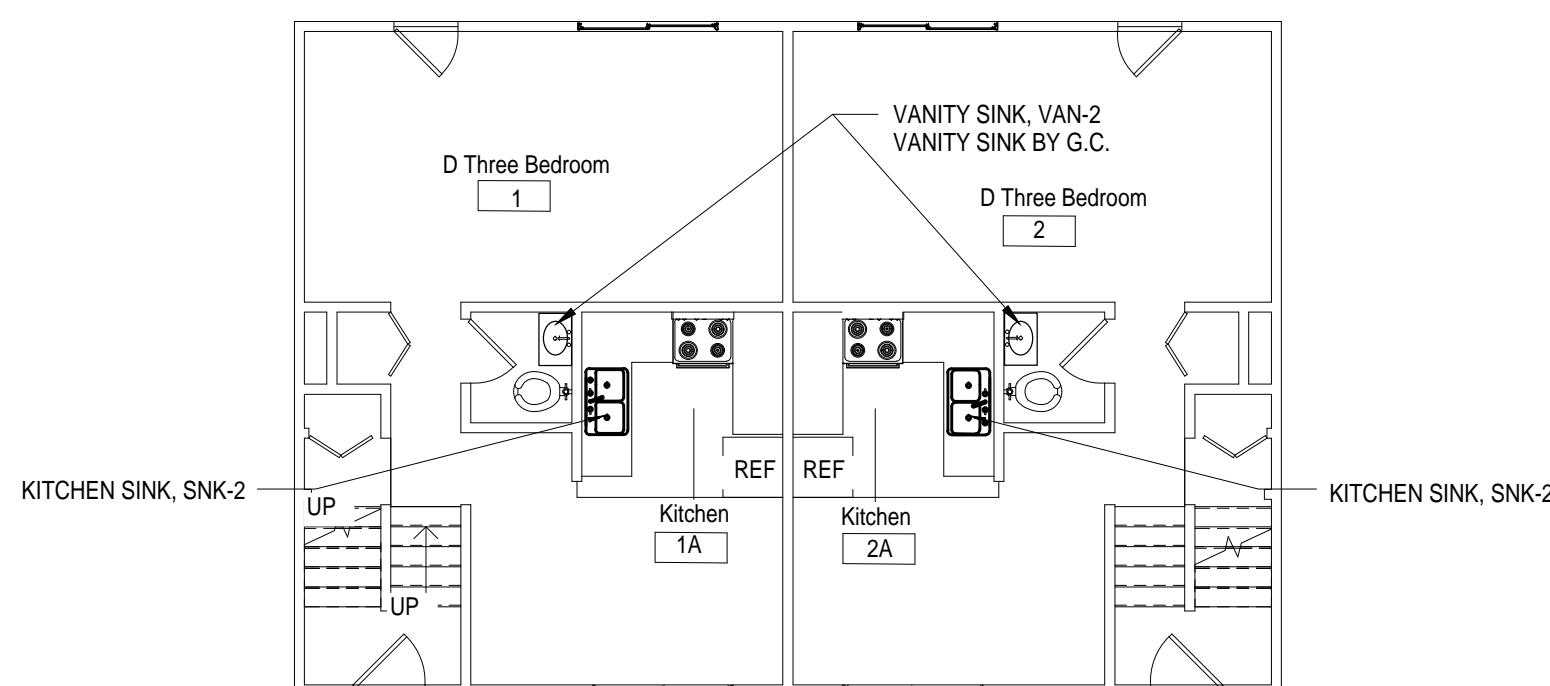
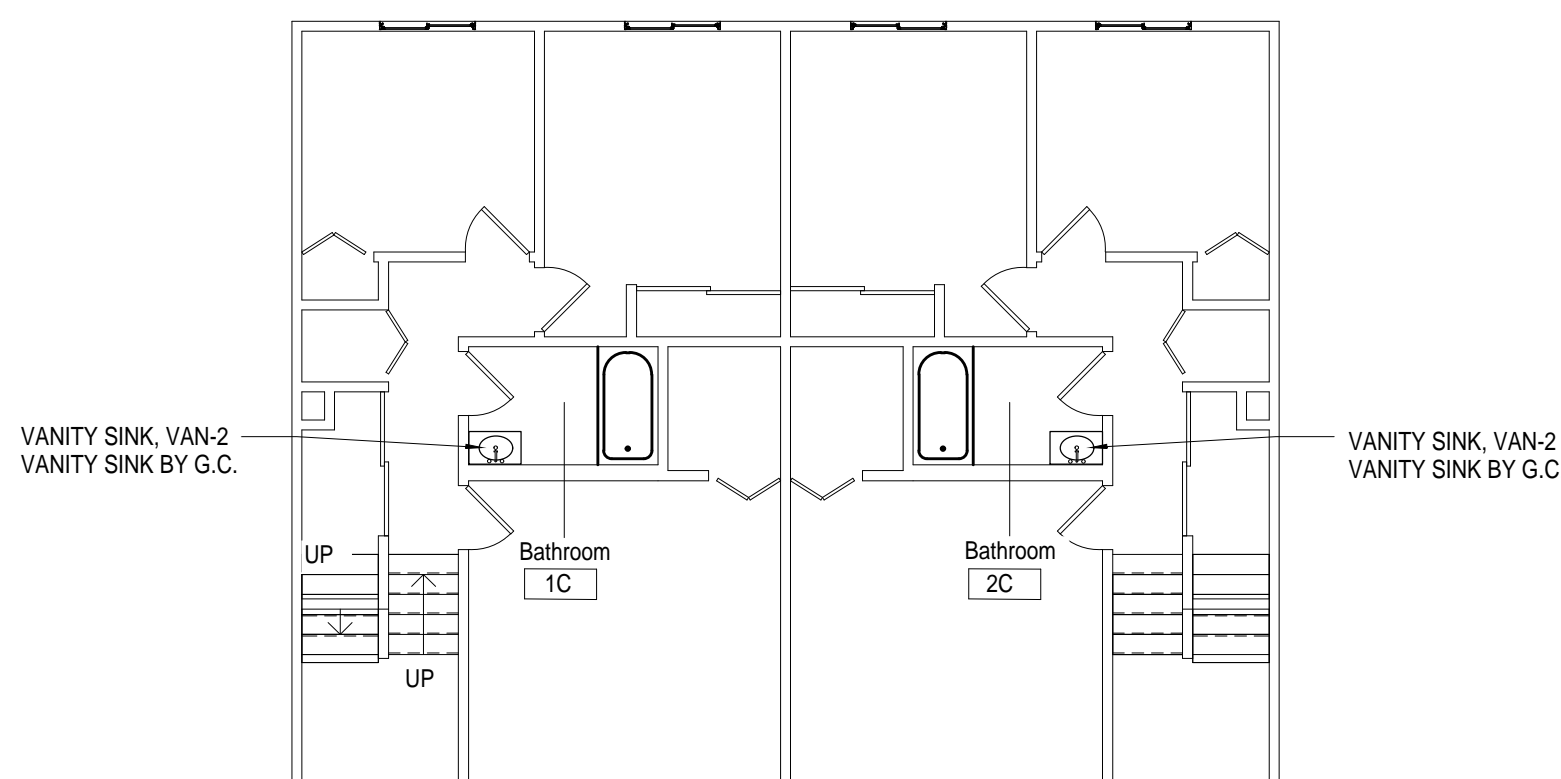
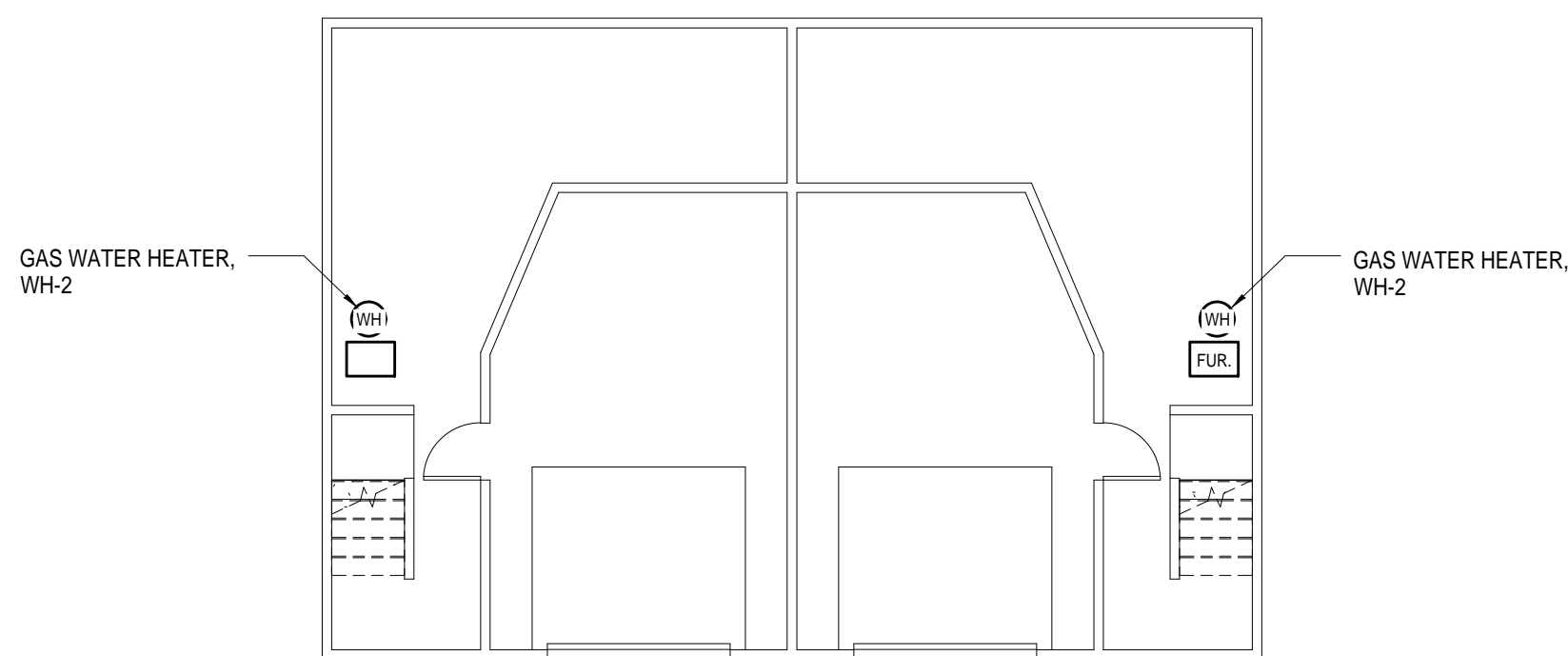
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type C

R3A PROJECT # 15074B

[illegible]

NOTE:

1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
2. CONNECT TO EXISTING FLUE.

KITCHEN SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

NOTE:

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18x5	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW. SEE NOTES BELOW

NOTE:

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

**NOTE:**  
SEE DWG G-101, G-102 AND G-110 FOR  
BUILDINGS, APARTMENT UNIT AND CODE  
INFORMATION.

## GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT REQUIREMENTS. CONTRACTOR COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION. CONTRACTOR COORDINATION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTORS DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME PERIODS OF OCCUPANT DISPLACEMENT. CONTRACTORS SHALL DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE. SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR COORDINATION WITH CONTRACTORS. RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING, FURNITURE AND EQUIPMENT. CONTRACTORS SHALL BE RESPONSIBLE TO INFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. CONTRACTORS ARE FROM FACE OF THE FINISHED SURFACE TO FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "01210 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL BE RESPONSIBLE TO IDENTIFY ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME EXPOSED DURING DEMOLITION AND CONSTRUCTION, NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUDING, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS THE FINISH CODE COMPLYING WITH ALL APPLICABLE CODES INCLUDING IBC/BOCA, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING MATERIALS TO REMAIN THAT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES, WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

PLUMBING NOTES:

1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

## NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER  
FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS  
IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR  
APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION  
SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS.  
PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL  
"NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE  
BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

## REFERENCE NOTES

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUMBER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

## GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/UBS SHUTOFF OF WATER SUPPLY HOT AND COLD, SHUTOFF WATER AT BOTTOM OF RISER, REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FLOOR ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORY SINKS AS NECESSARY. WHEN NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
4. REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
6. AS GEN CEN REMOVE KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
7. WORK WITH ELEC CEN AND HEATING CEN TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL, WITH PLACEMENT OF WATER HEATER.



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Design  
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Sustainability

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CONSULTANT



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Management and  
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Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
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945 Roselle Ct  
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CONSTRUCTION  
DOCUMENTS

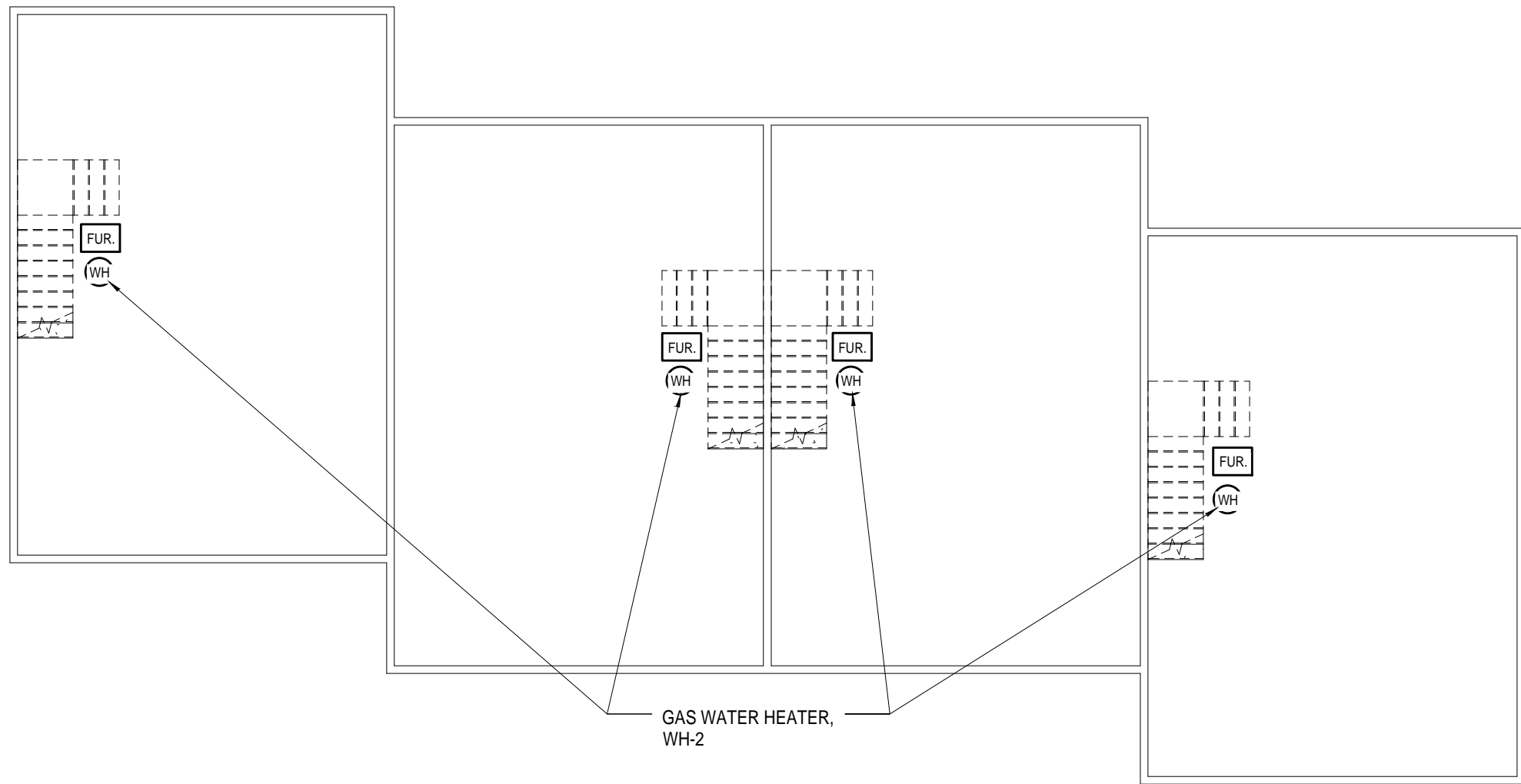
ISSUED: October 27, 2017

## REVISIONS

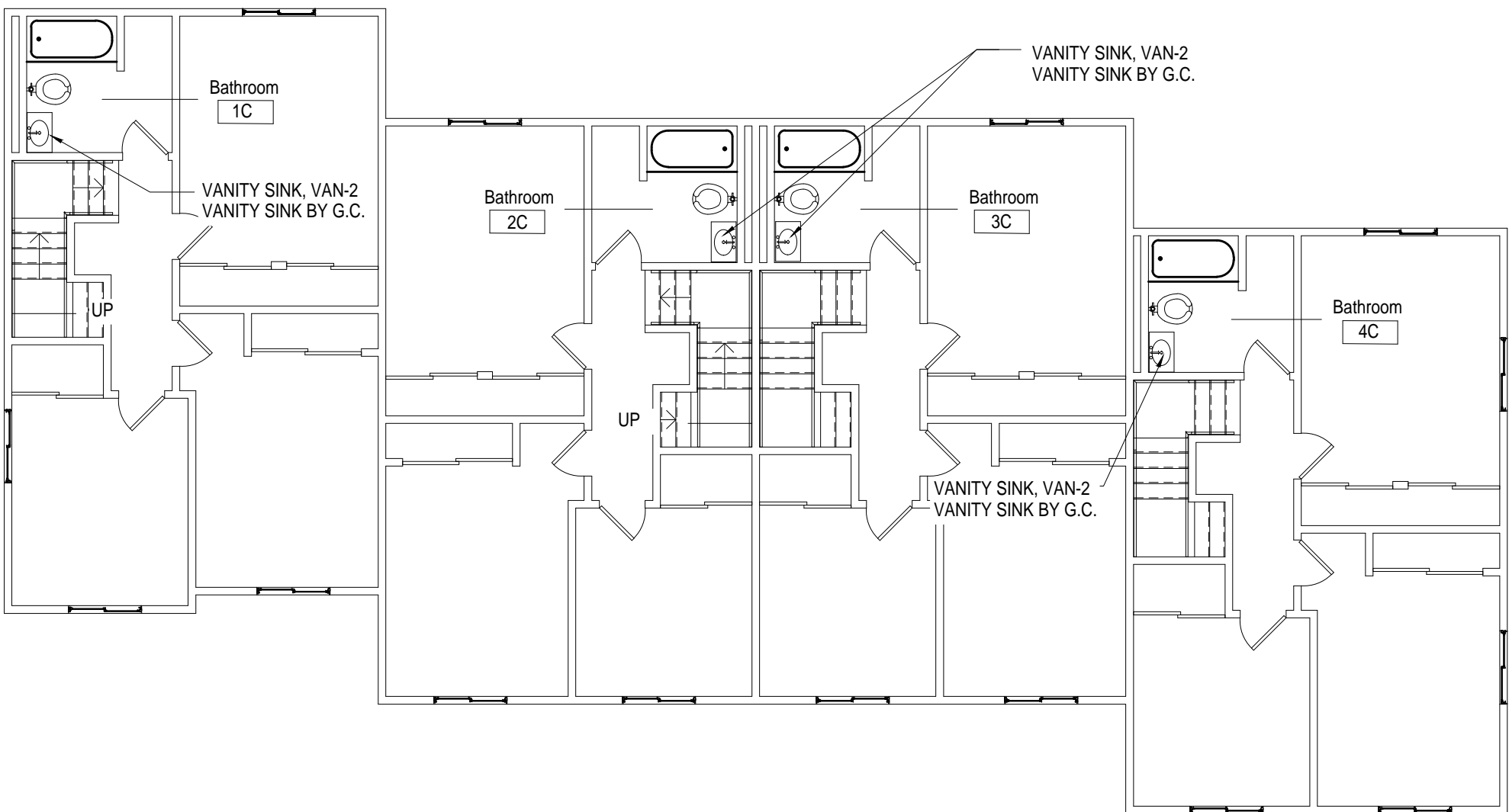
Family Community  
- Type D

R3A PROJECT # 15074B





1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"

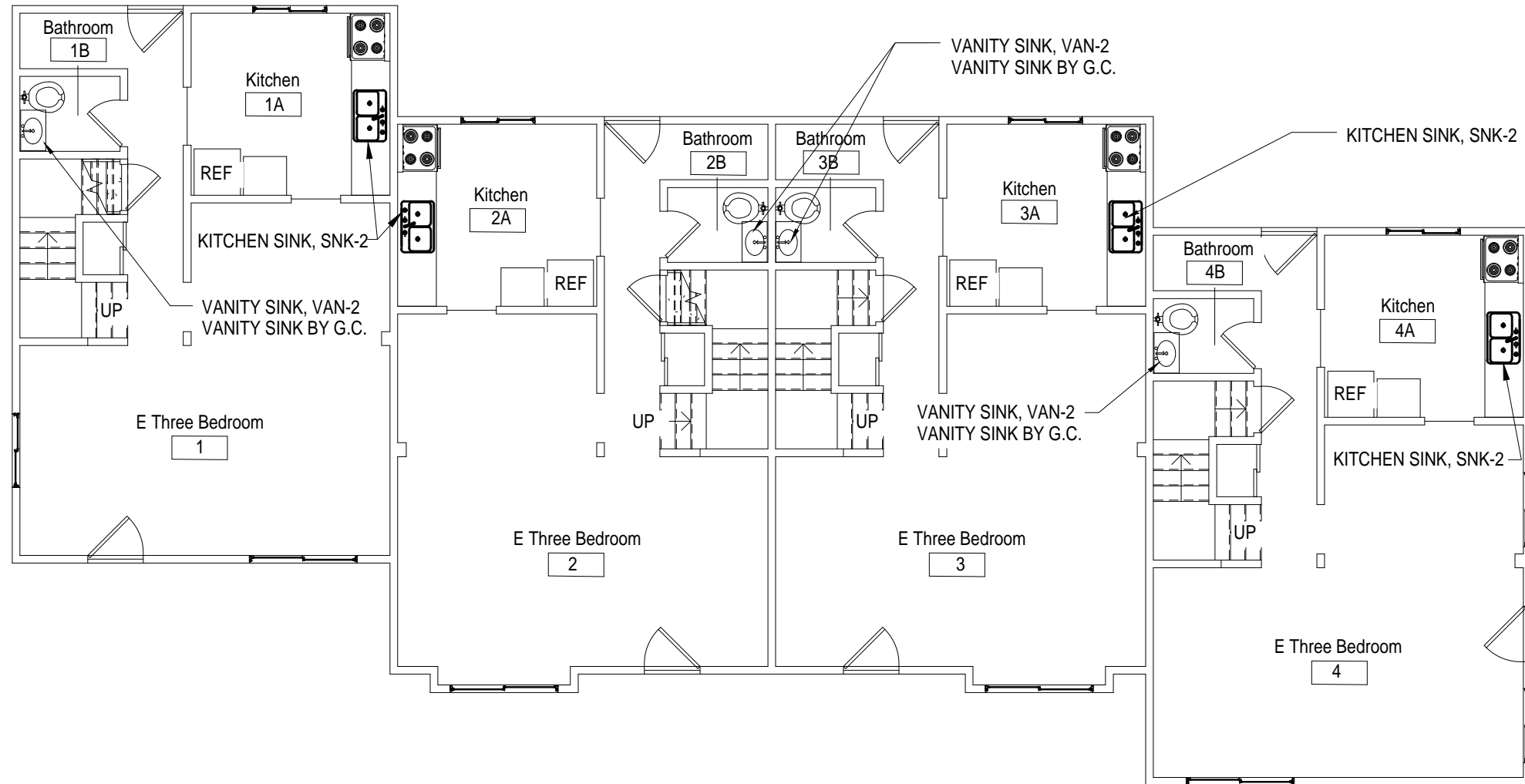
REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE, PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

### NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVIA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE; REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



2 First Floor Plumbing Plan  
1/8" = 1'-0"

### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PFMB00HX, COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

#### NOTE:

- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL
- CONNECT TO EXISTING FLUE

### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	20 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	Z2DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

#### NOTE:

- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

#### NOTE:

- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

### FIXTURE CONNECTION SCHEDULE

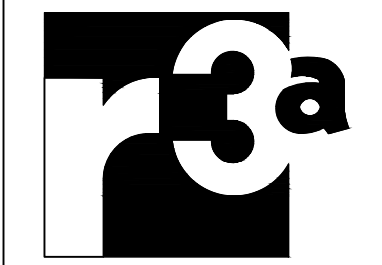
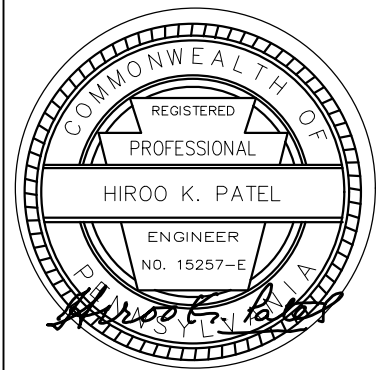
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRISIBLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

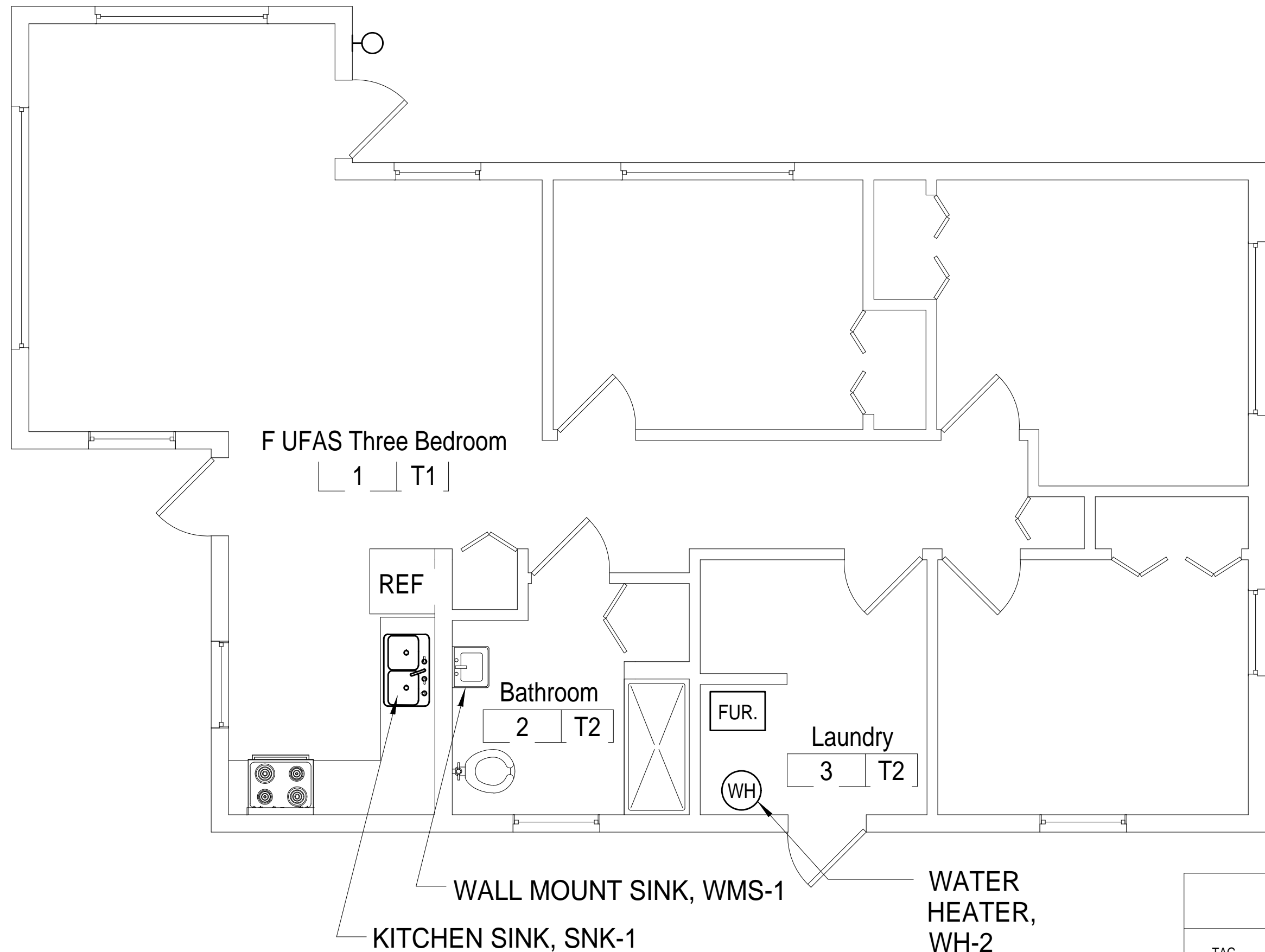
ISSUED: October 27, 2017

REVISIONS

Family Community  
- Type E

R3A PROJECT # 15074B

P-115



1 First Floor Plumbing Plan  
1/4" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE, PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

NAT. GAS FIRED WATER HEATER SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE

KITCHEN SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD3322B8G	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, REAR CENTER DRAIN, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
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BATHROOM SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
							REMOVE FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STRAINER, SEE NOTES BELOW

- NOTE:
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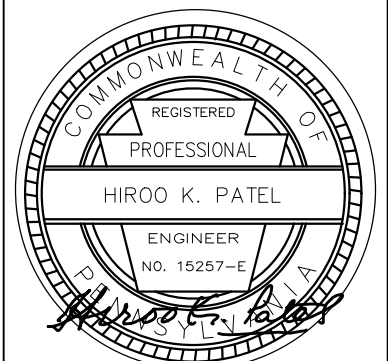
FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

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Design

Technology

Sustainability

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CONSULTANT:



Tri-State DESIGN AND DEVELOPMENT  
CARNegie, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

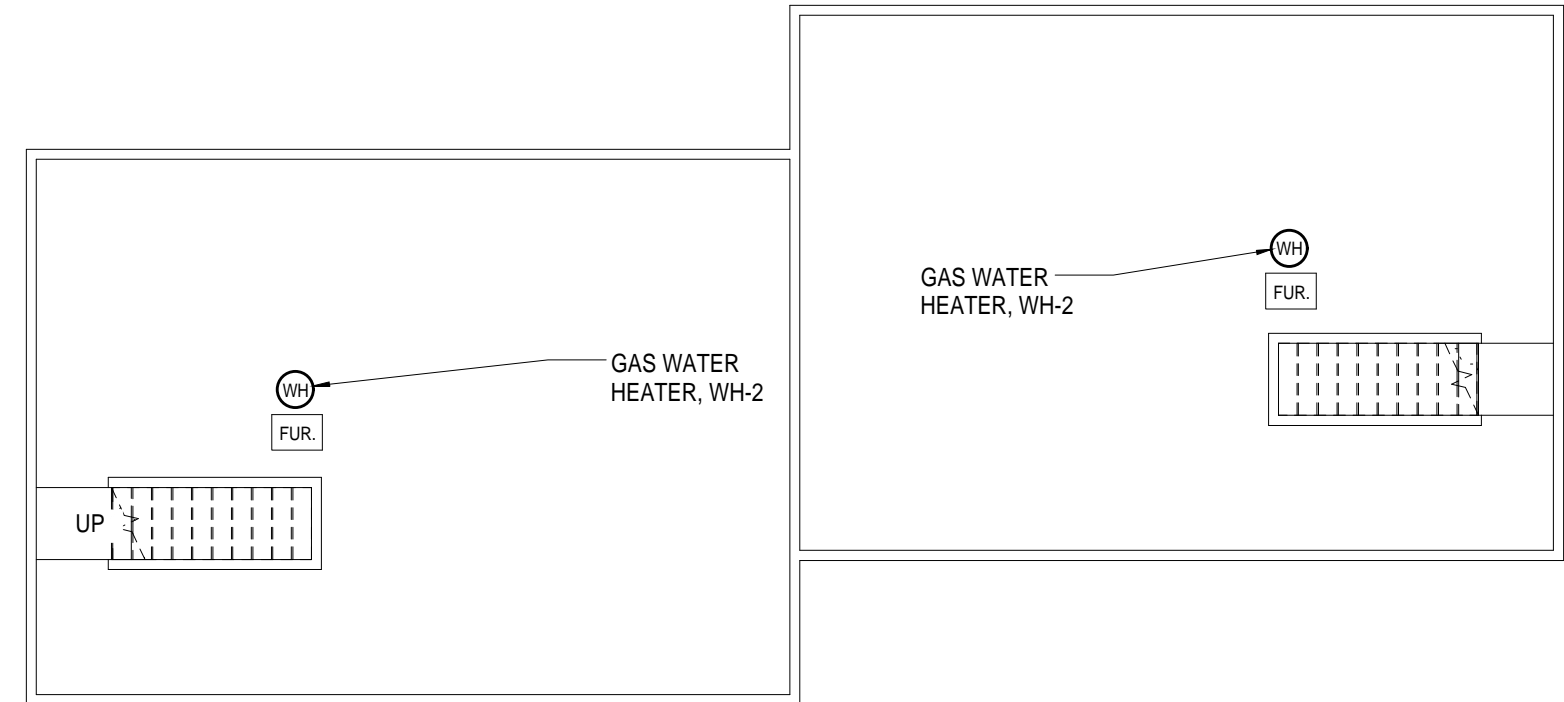
ISSUED: October 27, 2017

REVISIONS

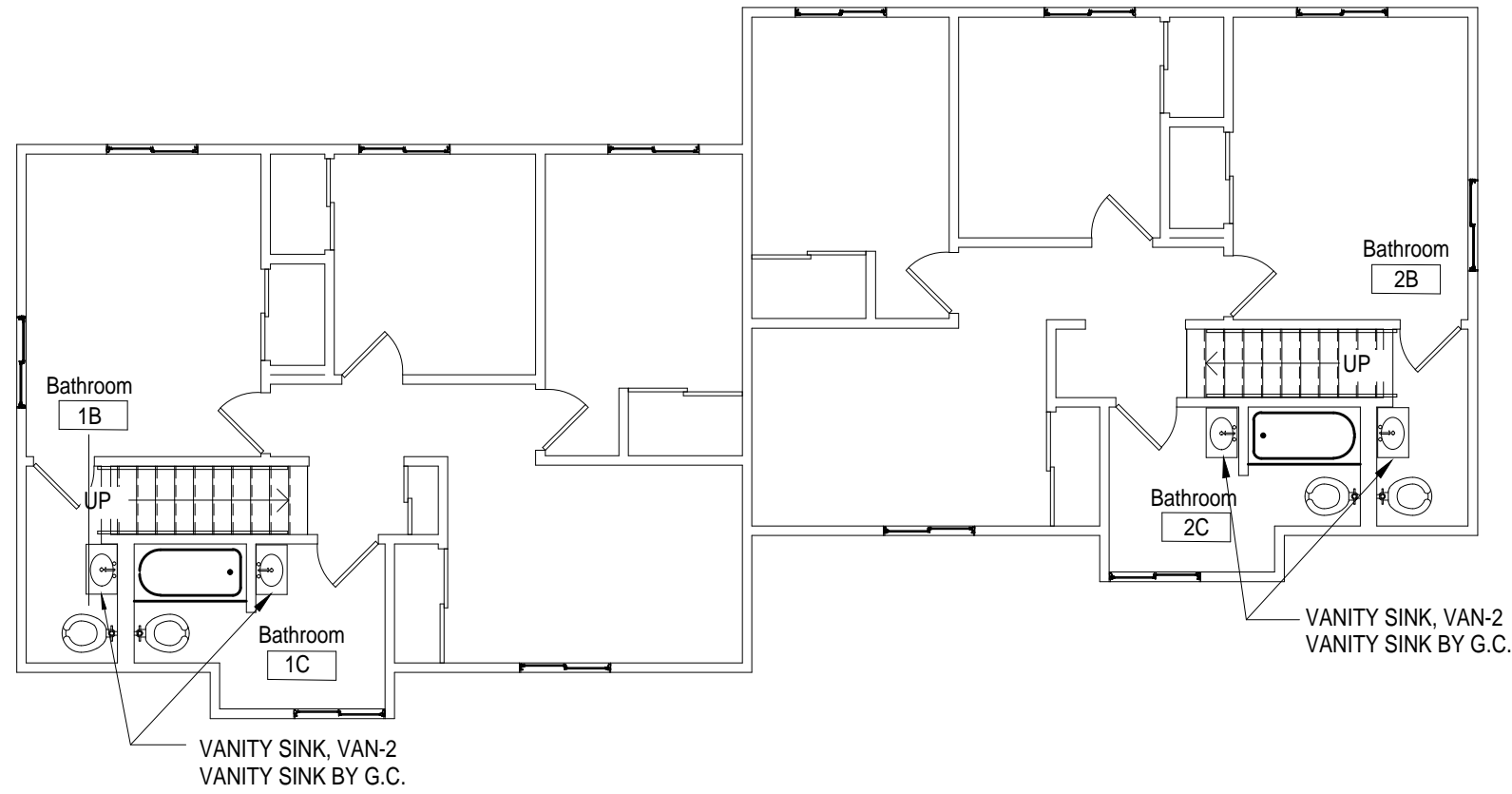
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Type F UFAS

R3A PROJECT # 15074B

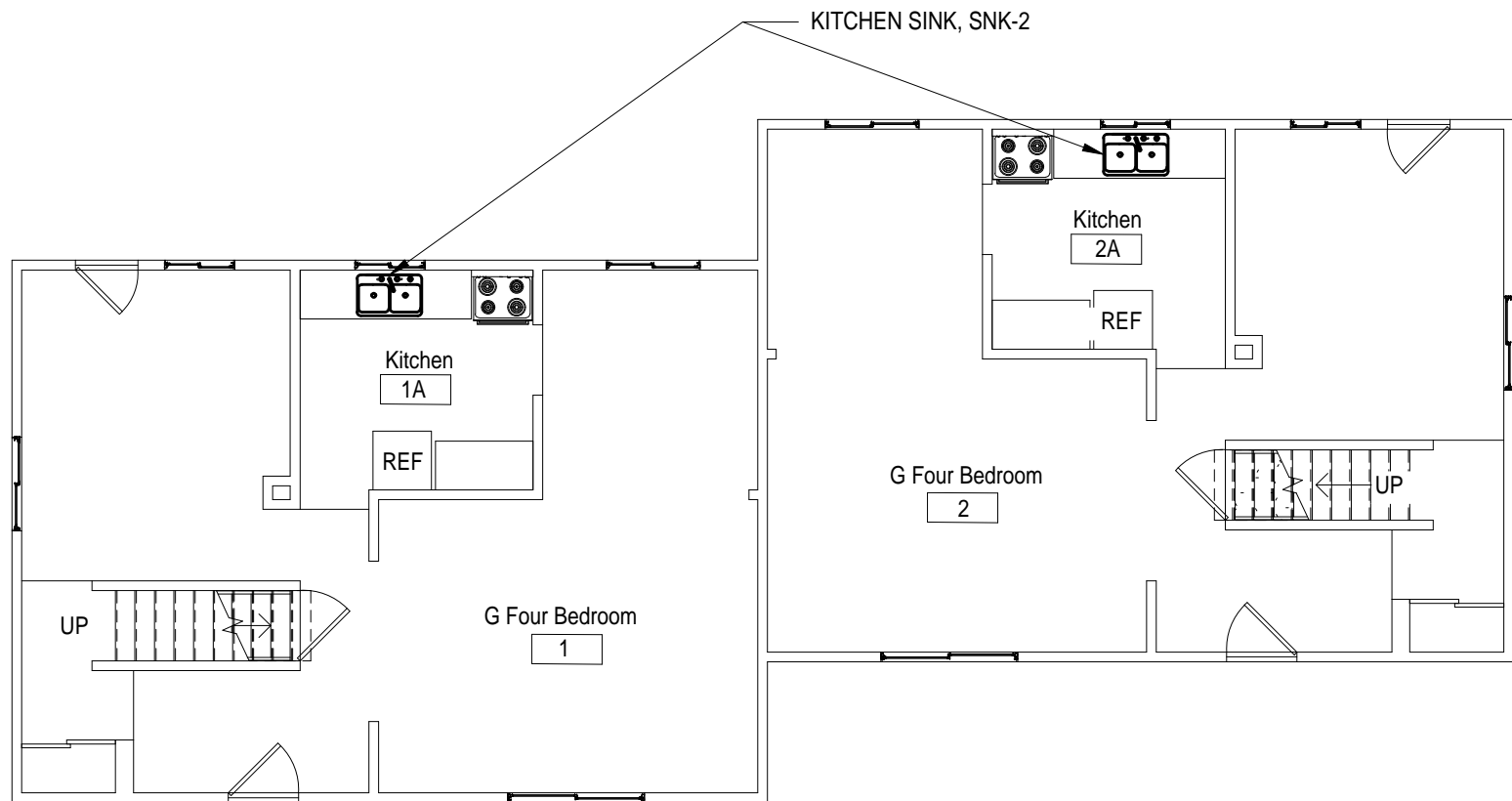




1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"



2 First Floor Plumbing Plan  
1/8" = 1'-0"

NAT. GAS FIRED WATER HEATER SCHEDULE										
RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS				
				MANUF	MODEL					
43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN				
43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO, THREE AND FOUR BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN				

- NOTE:
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  2. CONNECT TO EXISTING FLUE.

KITCHEN SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
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- NOTE:
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER, REPLACE WITH NEW, SEE NOTES BELOW

- NOTE:
1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

## NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PFM800HX, COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

## FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

## PLUMBING NOTES:

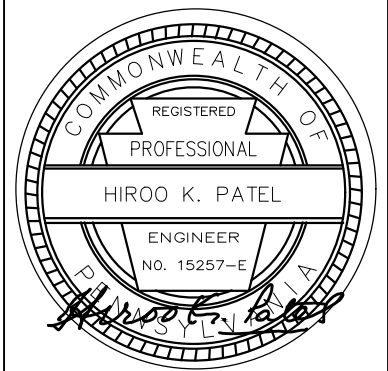
1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

## NOTE:

SEE DWG G-101, G-102, AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

## GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK, AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPLIANCES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK, EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design

Technology

Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

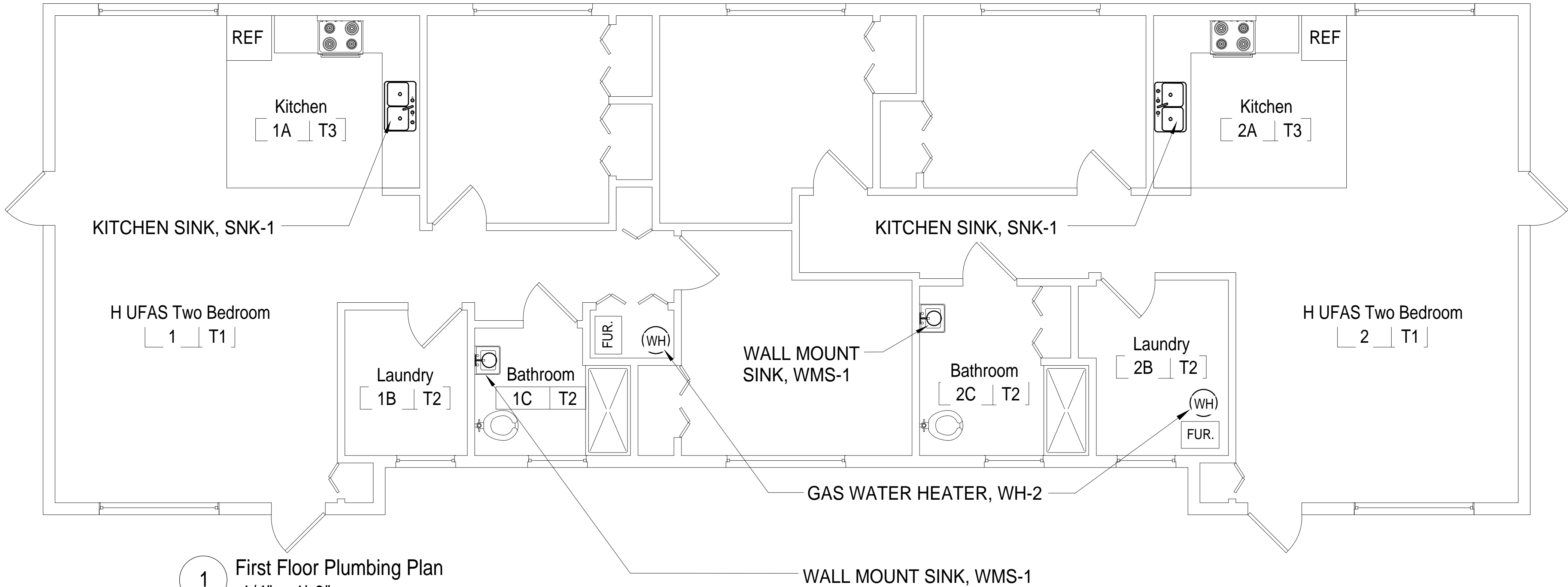
ISSUED: October 27, 2017

REVISIONS

Family  
Community -  
Type G

R3A PROJECT #

15074B



1 First Floor Plumbing Plan  
1/4" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P-TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800H1. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- UFAS FLOOR TILE NOT BEING REMOVED.
- REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
- AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES. REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME LENGTH OR MORE AND SIZE. FINAL STOVE CONNECTION BY P.C.
- REMOVE FAUCET, STRAINER, DRAIN AND SUPPLY PIPES AND REPLACE WITH NEW FAUCET, STRAINER, DRAIN AND SUPPLY PIPING TO BATH VANITY SINK. EXISTING VANITY SINK TO REMAIN IN UFAS/ADA APARTMENT UNITS. WRAP DRAIN PIPE WITH INSULATION.

### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

NAT. GAS FIRED WATER HEATER SCHEDULE										
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN. SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN. SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE

KITCHEN SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, REAR CENTER DRAIN, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 6" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION. SEE NOTES BELOW
							REMOVE FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STRAINER. SEE NOTES BELOW.

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

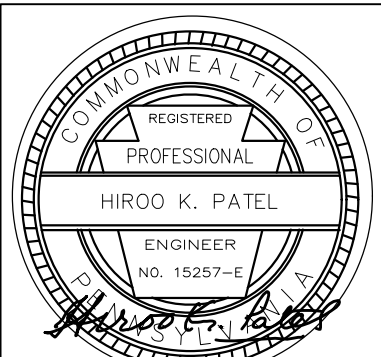
FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

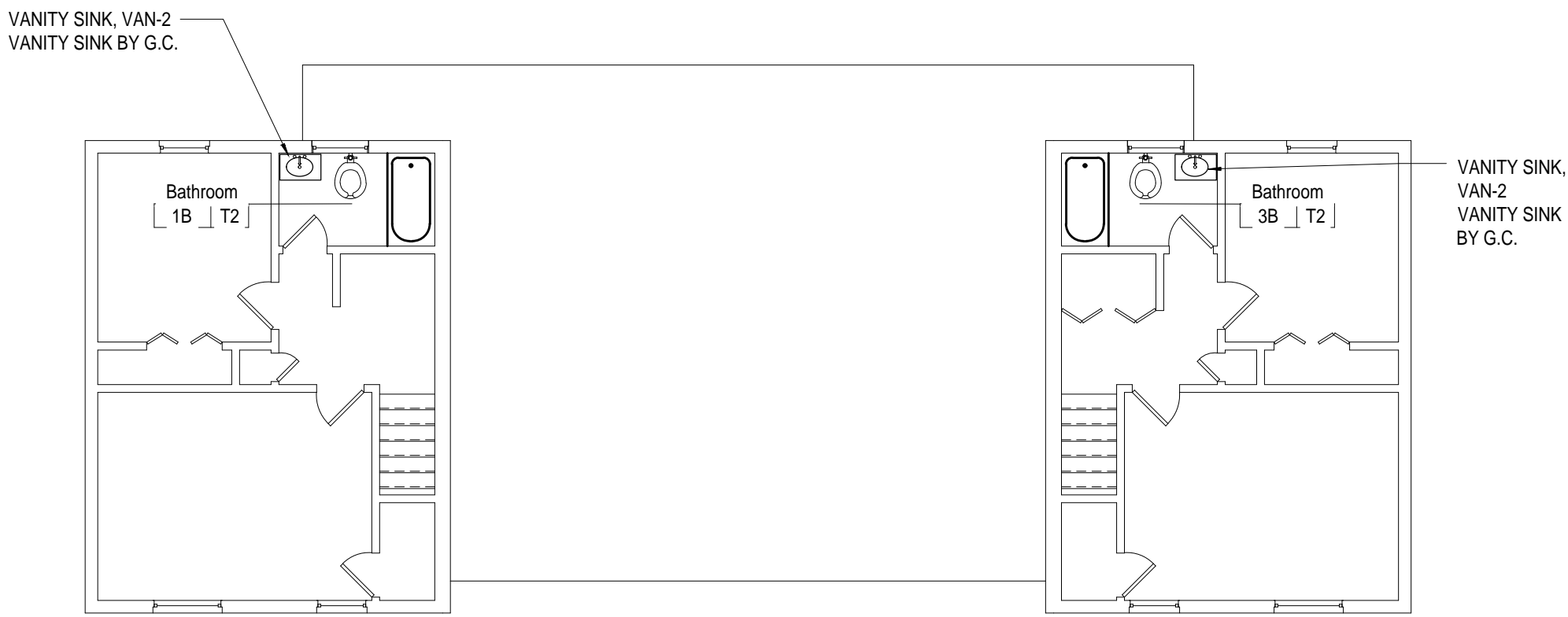
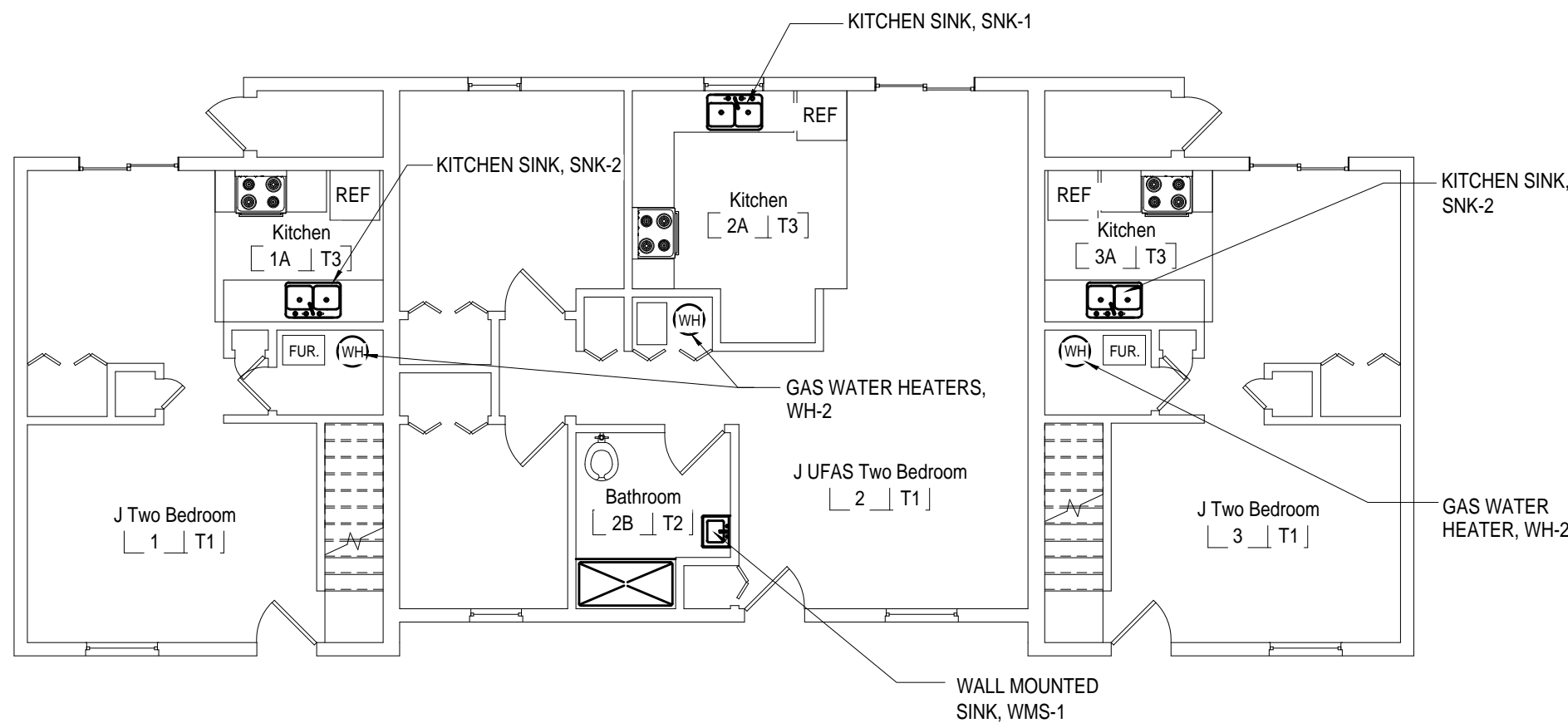
REVISIONS

Family  
Community -  
Type H UFAS

R3A PROJECT # 15074B

P-118





1 First Floor Plumbing Plan  
1/8" = 1'-0"

2 Second Floor Plumbing Plan  
1/8" = 1'-0"

NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE. REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES, AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PFM800HX, COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBERD DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- UFAS FLOOR TILE IN BATH NOT BEING REPLACED.
- REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
- AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES, REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- REMOVE FAUCET, DRAIN, STRAINER AND SUPPLY PIPING AND REPLACE WITH NEW FAUCET, DRAIN, STRAINER AND SUPPLY PIPING TO BATH VANITY SINK. EXISTING VANITY SINK TO REMAIN. WRAP DRAIN PIPE WITH INSULATION. CENTER UNIT ONLY IN THIS BUILDING.

NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE

KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT INSULATION, REAR CENTER DRAIN, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE EXISTING FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STAINER, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

FIXTURE CONNECTION SCHEDULE

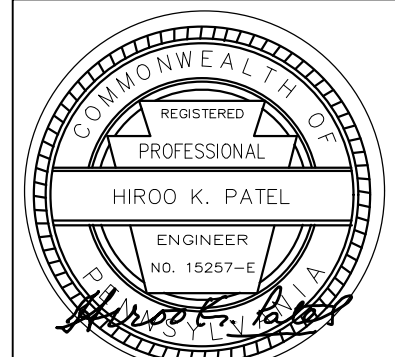
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME REMOVED DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHRA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCOBS, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design

Technology

Sustainability

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CONSULTANT:



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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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Pittsburgh, PA 15207

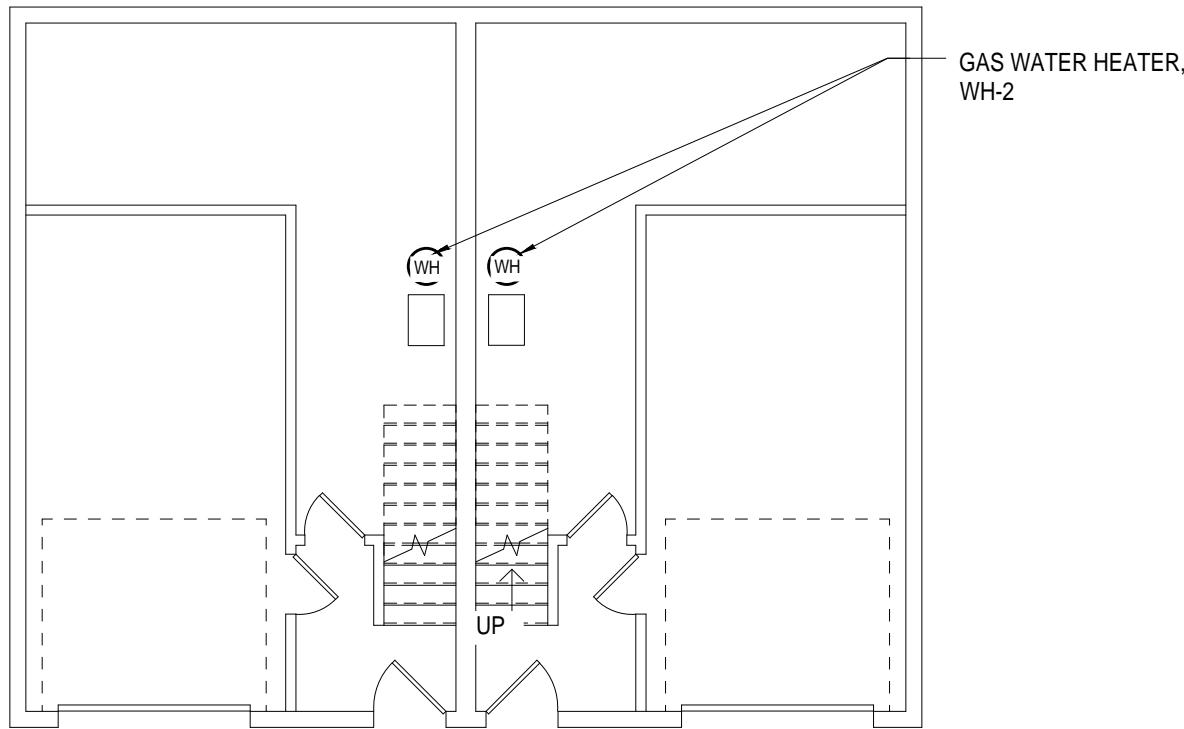
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

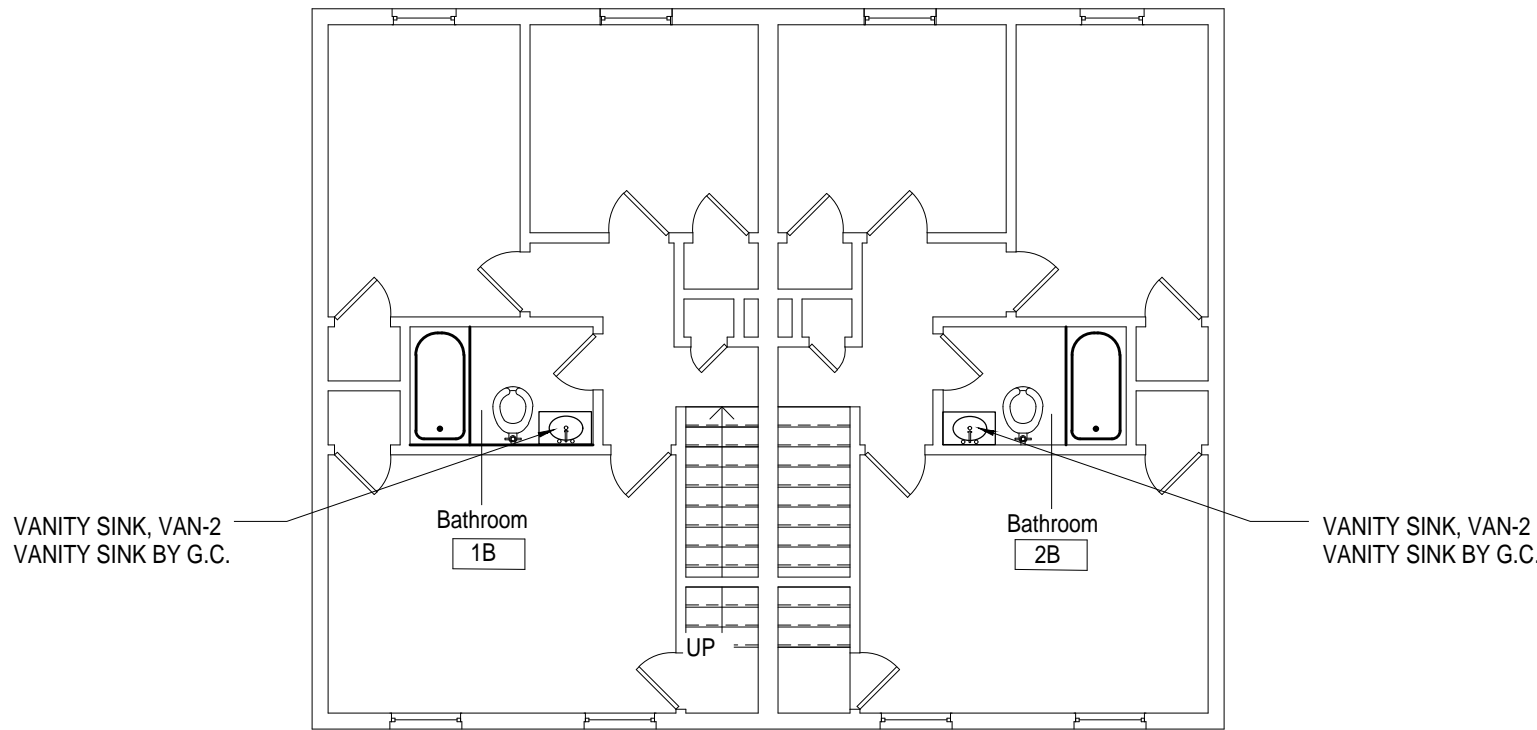
REVISIONS

Family  
Community -  
Type J/UFAS

R3A PROJECT # 15074B



1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

PLUMBING NOTES:

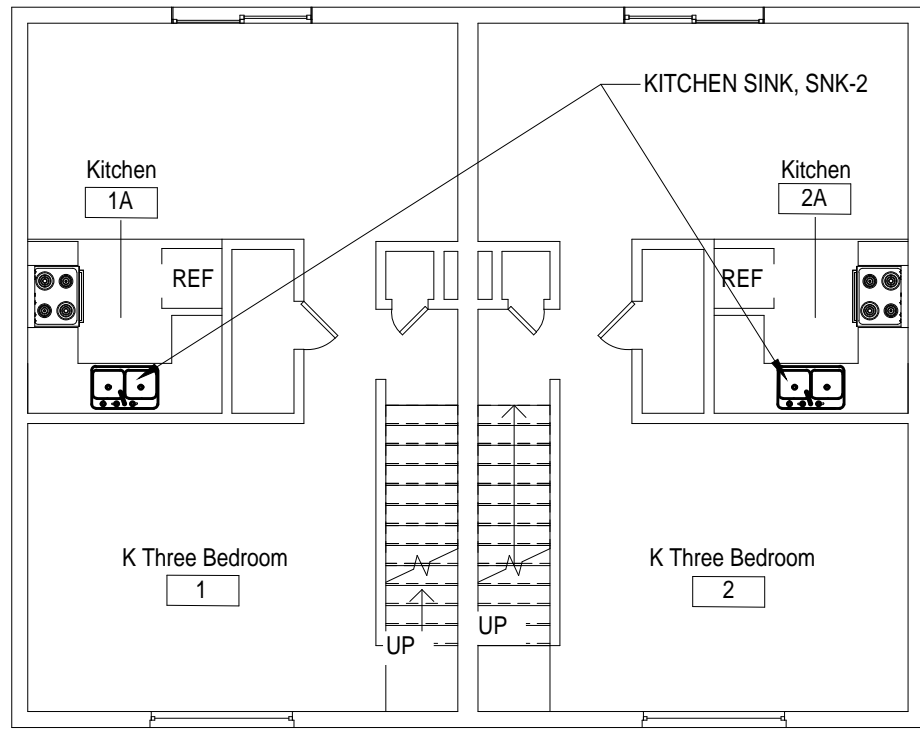
- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE, PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



2 First Floor Plumbing Plan  
1/8" = 1'-0"

NAT. GAS FIRED WATER HEATER SCHEDULE											
TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS	
								MANUF	MODEL		
WH-1	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT. ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW	
WH-2	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT. ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW	

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE

KITCHEN SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.83322835.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE							
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN OR APPROVED EQUAL.

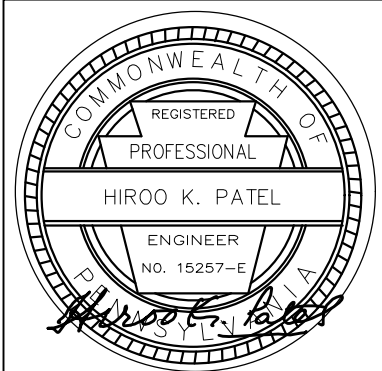
FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS \*012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAILABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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CONSULTANT:



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Contract No. 33 -  
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CONSTRUCTION  
DOCUMENTS

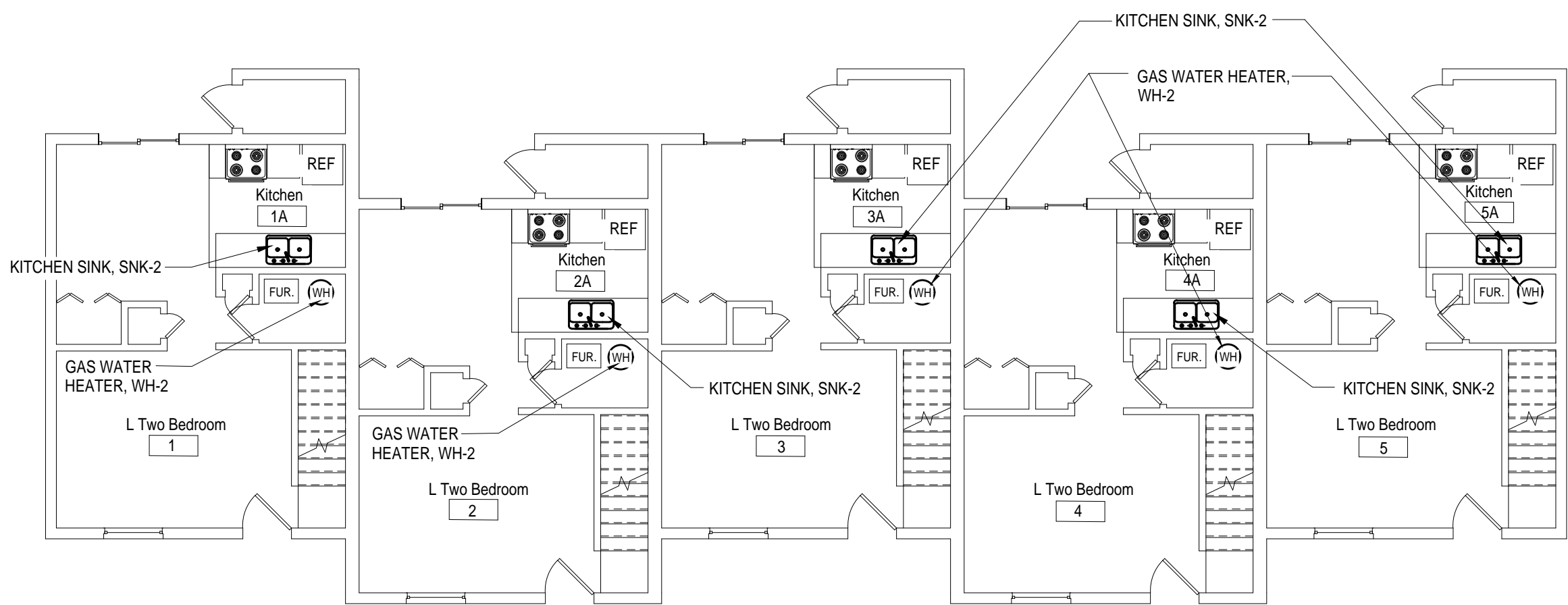
ISSUED: October 27, 2017

REVISIONS

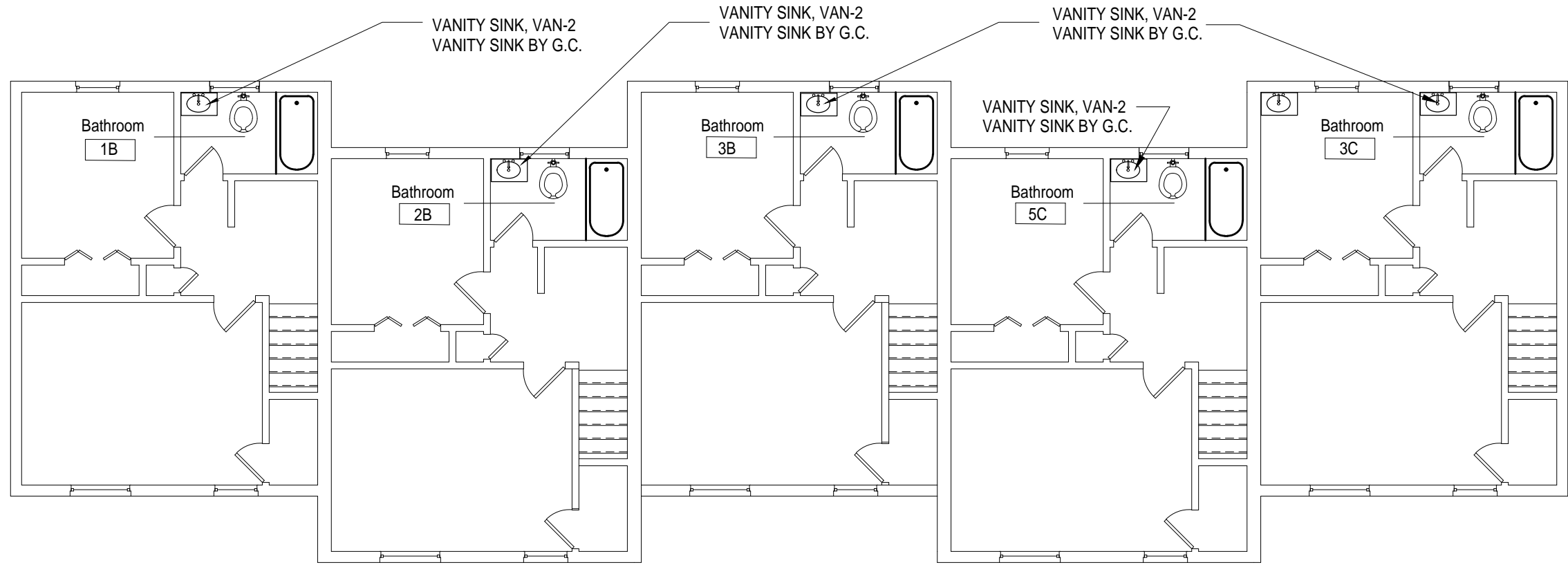
Family  
Community -  
Type K

R3A PROJECT # 15074B





1 First Floor Plumbing Plan  
1/8" = 1'-0"



2 Second Floor Plumbing Plan  
1/8" = 1'-0"

#### REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAYS)

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UP/SIDE/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PFM803HK, COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115V/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115V/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE.

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB-8332283S-075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxW	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW, SEE NOTES BELOW

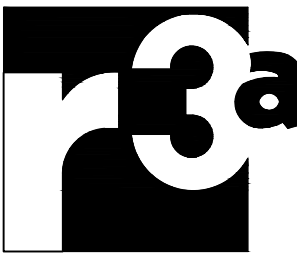
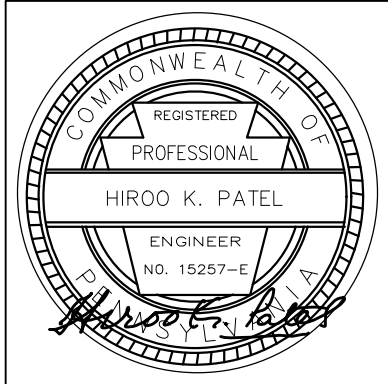
- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design

Technology

Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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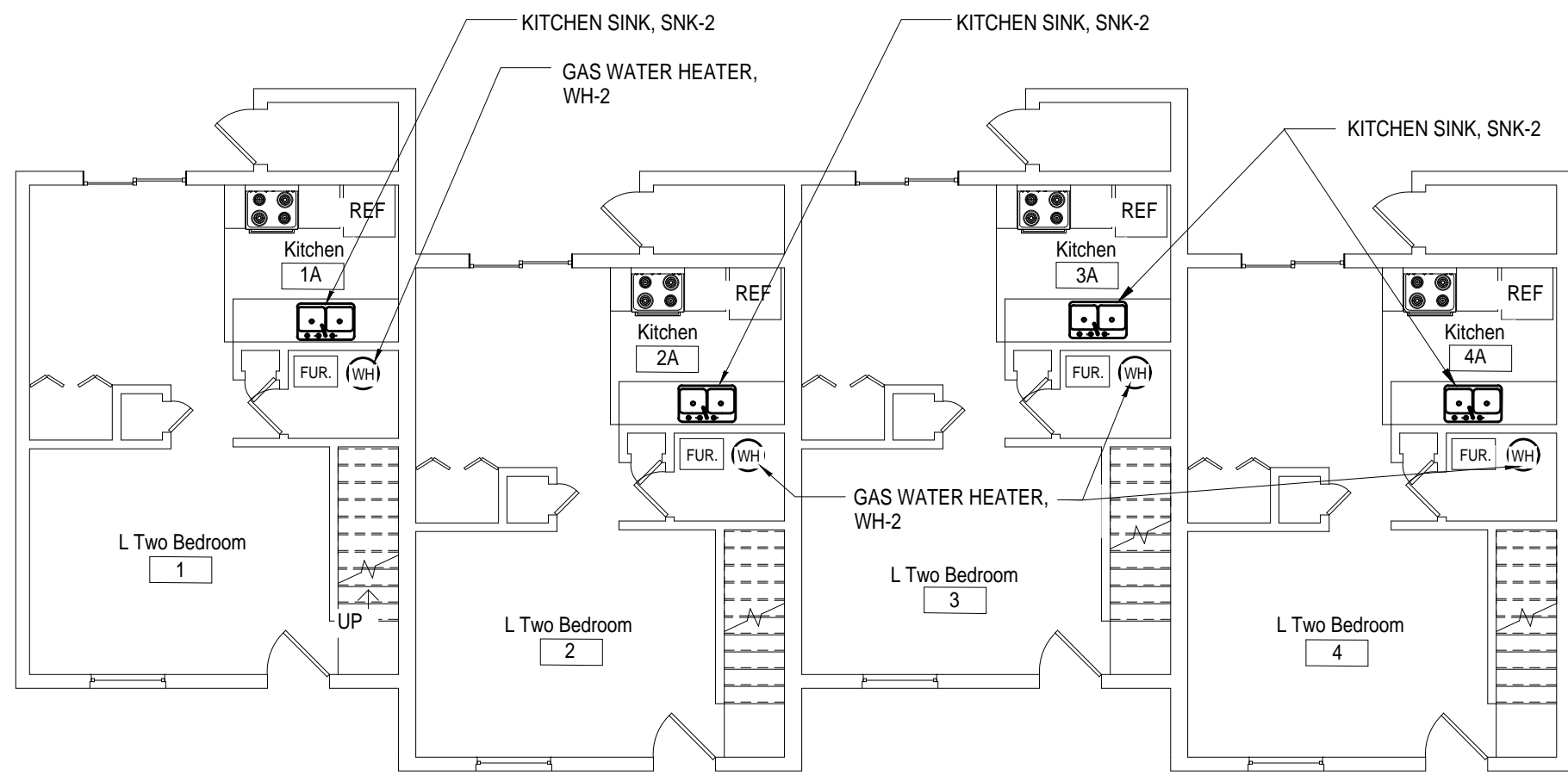
#### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

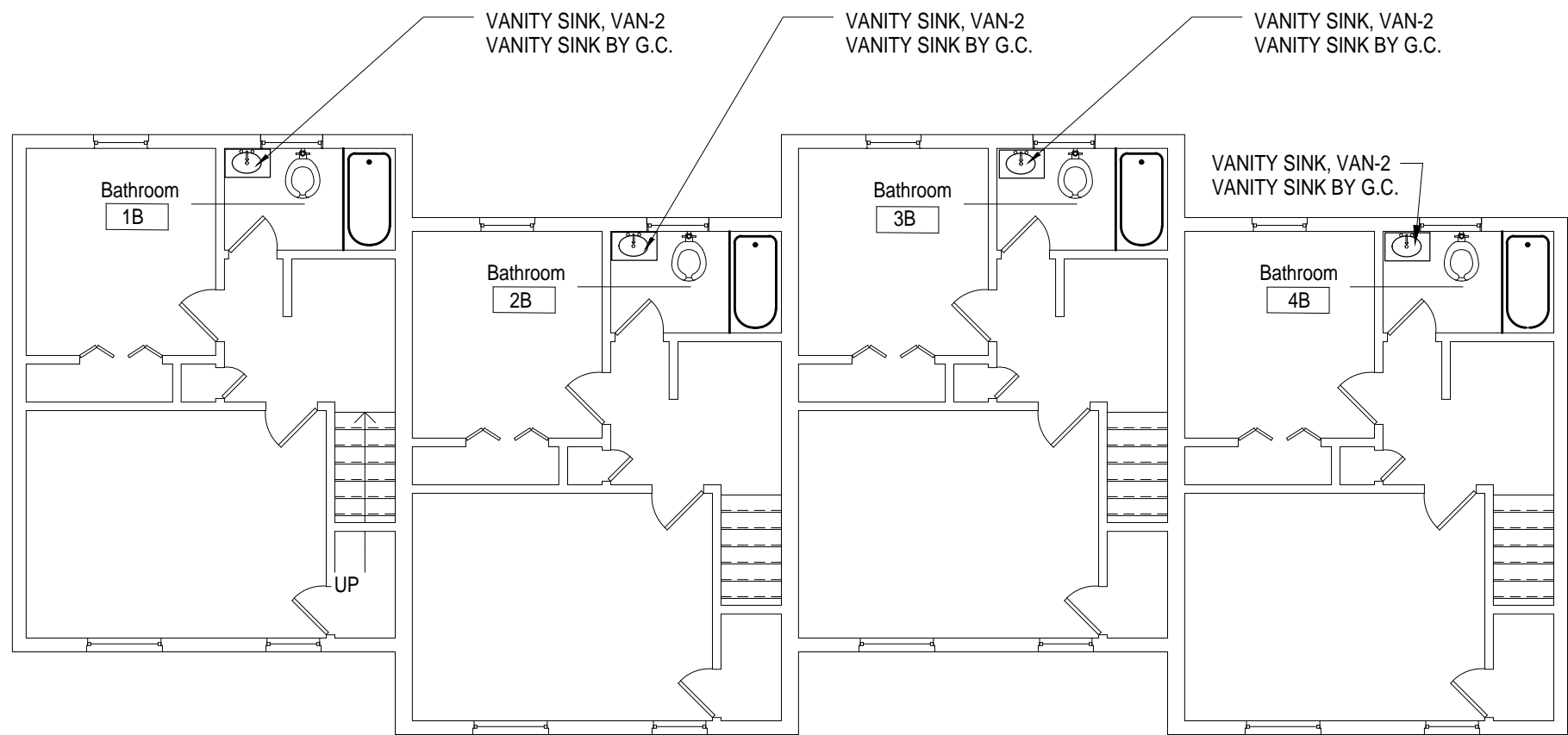
REVISIONS

Family  
Community -  
Type L

R3A PROJECT # 15074B



1 First Floor Plumbing Plan  
1/8" = 1'-0"



2 Second Floor Plumbing Plan  
1/8" = 1'-0"

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS).
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS).
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P-TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS).

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL VALVE. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL VALVE. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE, SHOWER FLEX HOSE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE, PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY G.C.
- WORK WITH ELEC CONT AND HEATING CONT TO RELIEVE CONGESTION IN FRONT OF ELEC PANEL WITH PLACEMENT OF WATER HEATER.

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL LOW RISE APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PM600HX, COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-POTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN, SEE NOTES BELOW

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.
  - CONNECT TO EXISTING FLUE

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
VMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION, SEE NOTES BELOW
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER, REPLACE WITH NEW, SEE NOTES BELOW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### FIXTURE CONNECTION SCHEDULE

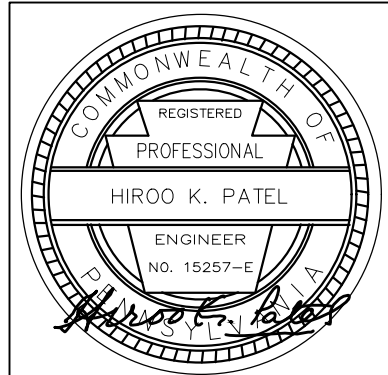
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S MOVING CONSULTANT. HAC'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HAC'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HAC'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HAC'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

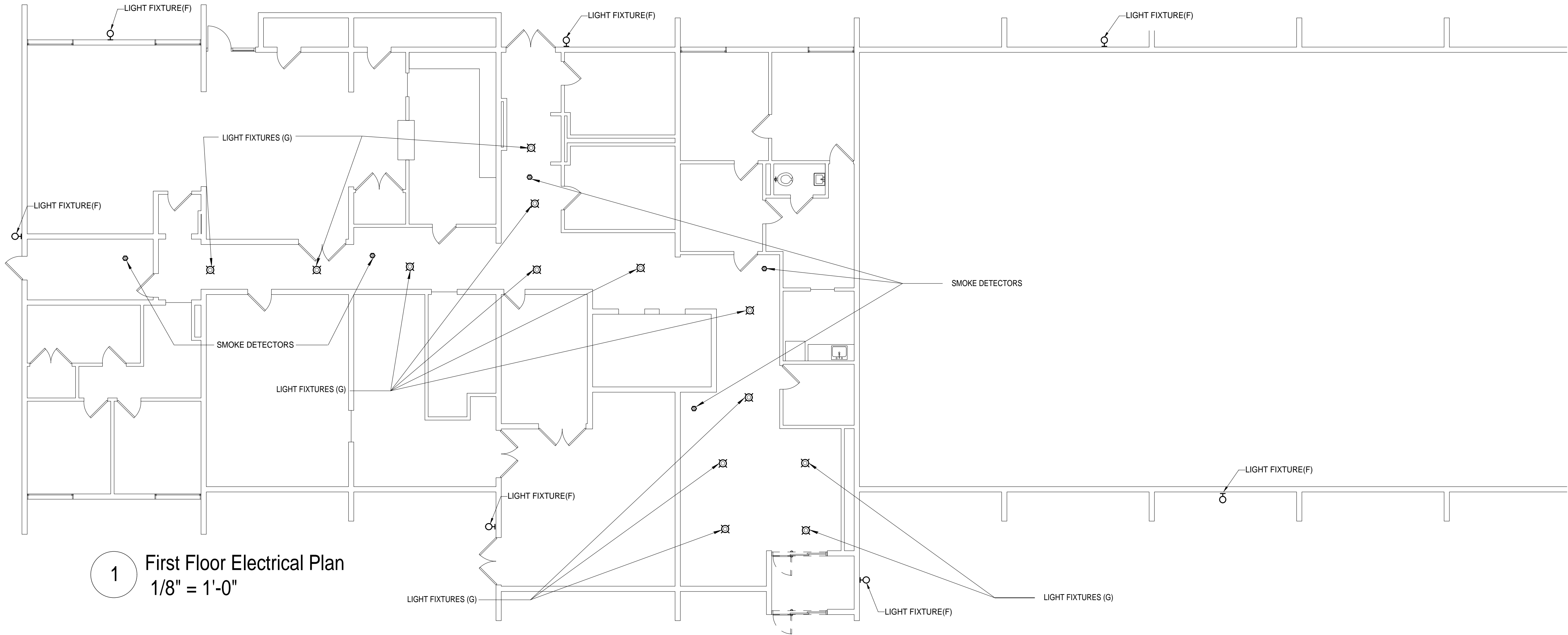
Family  
Community -  
Type M

R3A PROJECT #

15074B



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

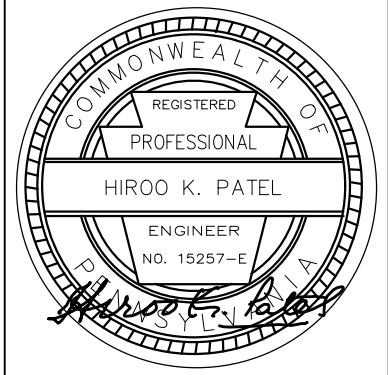
ELECTRICAL NOTES	
1. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.	
2. PROVIDE FOUR(4) ROUND EXTERIOR CEILING MOUNTED LED FIXTURES AT FRONT DOOR, ONE(1) AT EACH OF TWO BACK DOORS PLUS A THIRD LED FIXTURE AT BACK DOORS. AMAX LIGHTING, SLIM DISK 5 1/2" WHITE 9W LED ROUND SURFACE MOUNT LAMP, WET LOCATION RATED, WHITE FINISH TRIM, FROSTED DIFFUSER, 3000K COLOR TEMP, 580 LUMENS.	
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.	
4. SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTERS AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.	
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.	
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.	
7. REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTORS.	
8. NOT USED	
9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.	
10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.	
11. NOT USED	
12. ALL WIRING SHALL BE COPPER.	

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (d)	LITON LHAJLDQ650C140UE -135LRAQ802W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HQ-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 FIXTURE (f)	DURAGUARD LD-102 WALL PACK MMPOC00C1X2TUBK02	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 FIXTURE (g)	ESTILUZ LIGHTING I290C-2X26W-73WHM	CEILING	1	LED ARRAY	120	LOBBY
 FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARUTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

345 Roselle Ct  
Pittsburgh, PA 15207

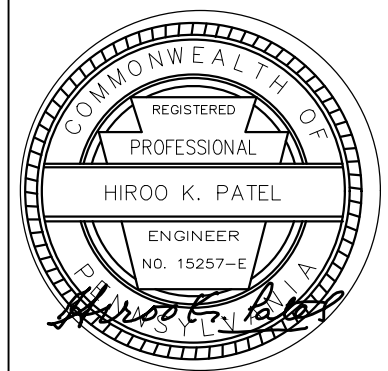
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Bernice  
Crawley High  
Rise - First  
Floor Electrical  
Plan

R3A PROJECT # 15074B



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CONSULTANT:



Allies & Ross  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

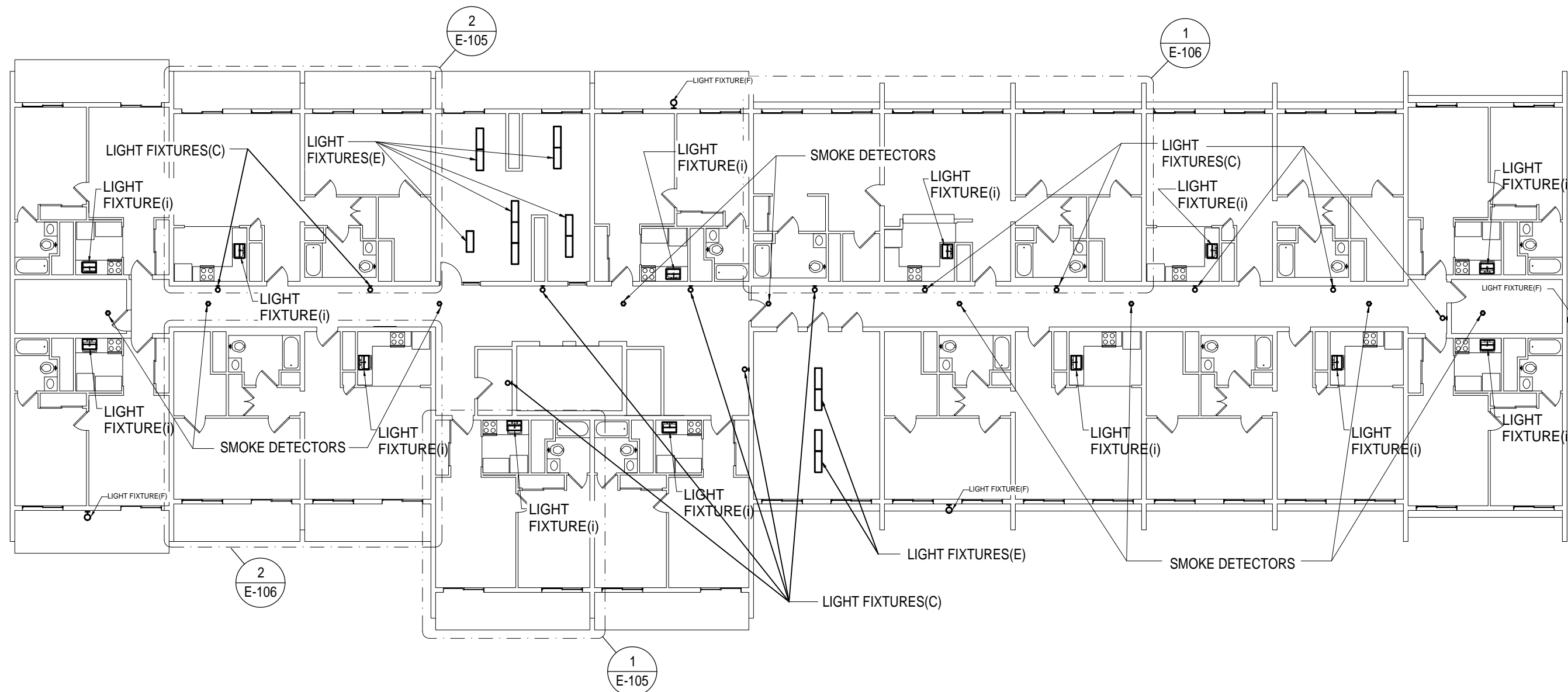
REVISIONS

Bernice Crawley  
High Rise -  
Second Floor  
Electrical Plan

R3A PROJECT # 15074B

E-102

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION  
AND CONSTRUCTION.



1

## Second Floor Electrical Plan

1/16" = 1'-0"

### ELECTRICAL NOTES

- NOT USED.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTER AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTORS
- NOT USED
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- NOT USED
- ALL WIRING SHALL BE COPPER.

### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES).
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS, (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

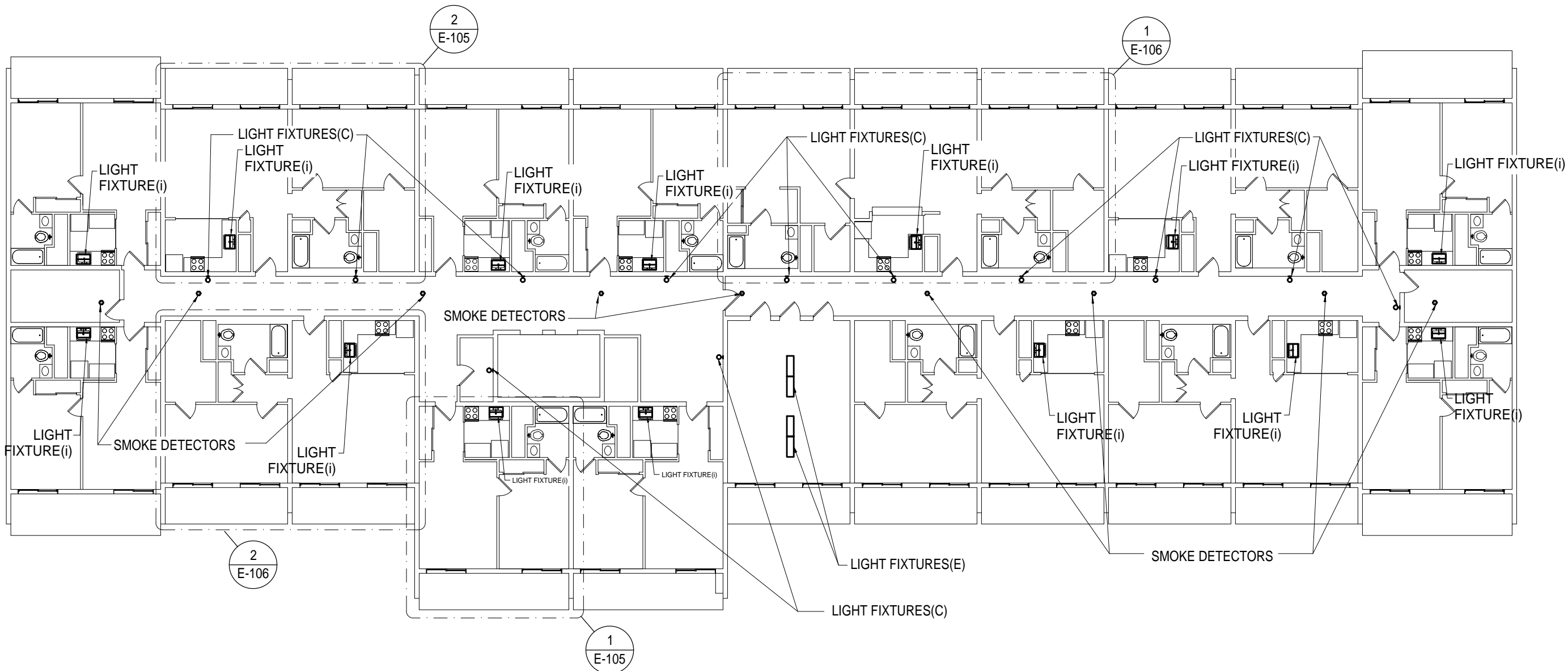
### LIGHTING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELIJS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS8070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LH4LD0851C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING I2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED39	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Typical Floor Plan - 3rd - 7th Fl. Electrical Plan  
1/16" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

#### ELECTRICAL NOTES

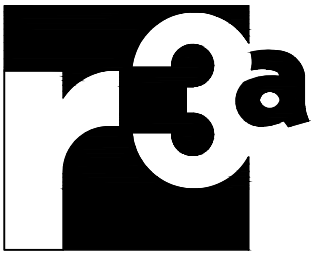
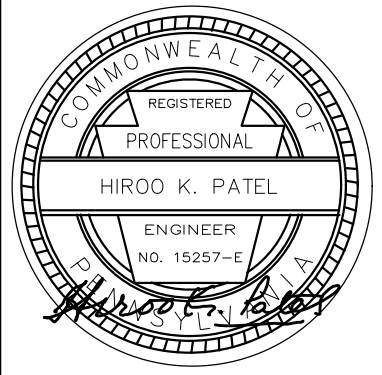
- NOT USED
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES, INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTER AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4088-9714 SMOKE DETECTORS.
- NOT USED
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
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LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WSS0707B2 ED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLD0650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCQC1X37USKZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



Renaissance 3 Architects, P.C.

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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

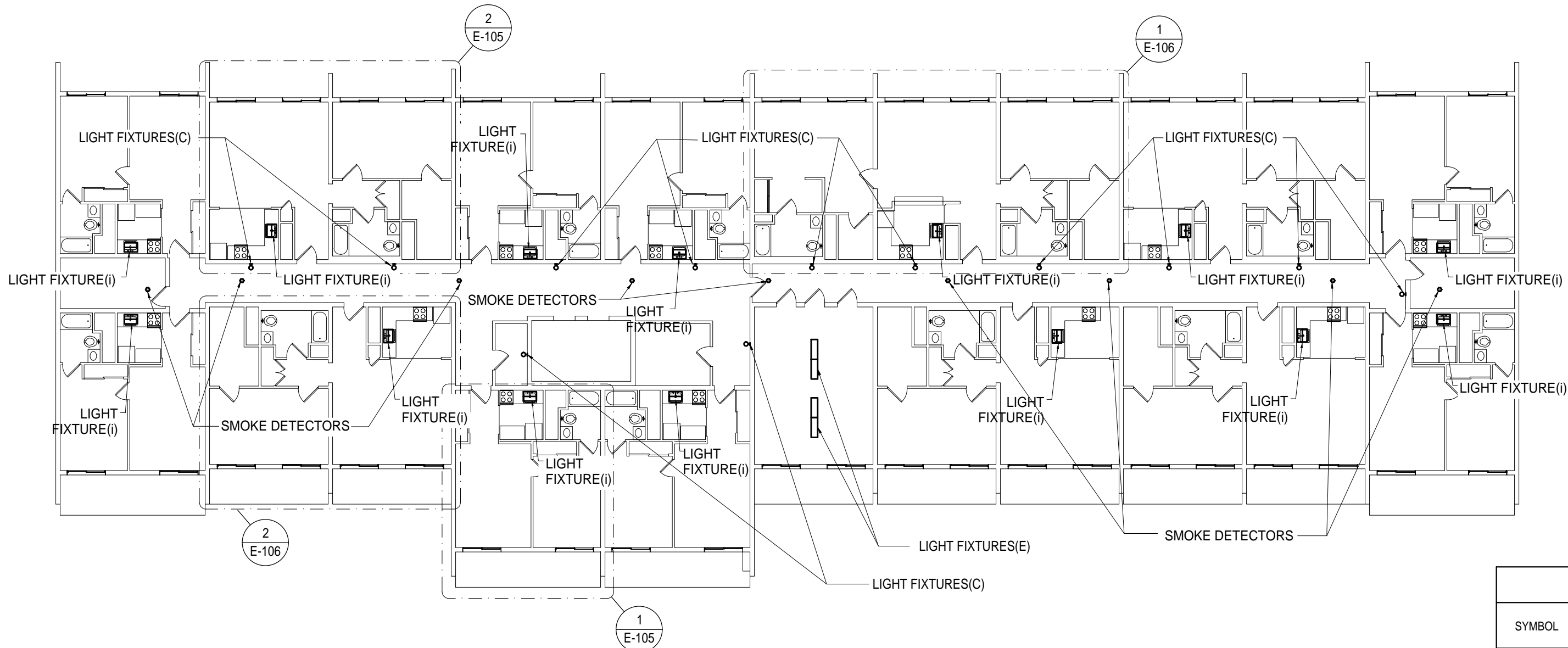
REVISIONS

Bernice  
Crawley High  
Rise - Third -  
Seventh Floor  
Electrical Plan

R3A PROJECT # 15074B

E-103

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Eighth Floor Electrical Plan  
1/16" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES FROM UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

- NOT USED
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS FOR TO EXISTING FACILITY LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4088-9714 SMOKE DETECTORS.
- NOT USED
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- NOT USED
- ALL WIRING SHALL BE COPPER.

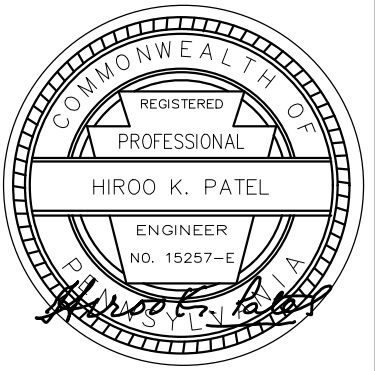
LIGHTING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA9065CLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE T35LRAG802W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOCQ1X37J5K2Z	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING I2902-2X28W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LMA-14M-4200-35K-LUX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

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Design  
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CONSULTANT:



Alies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

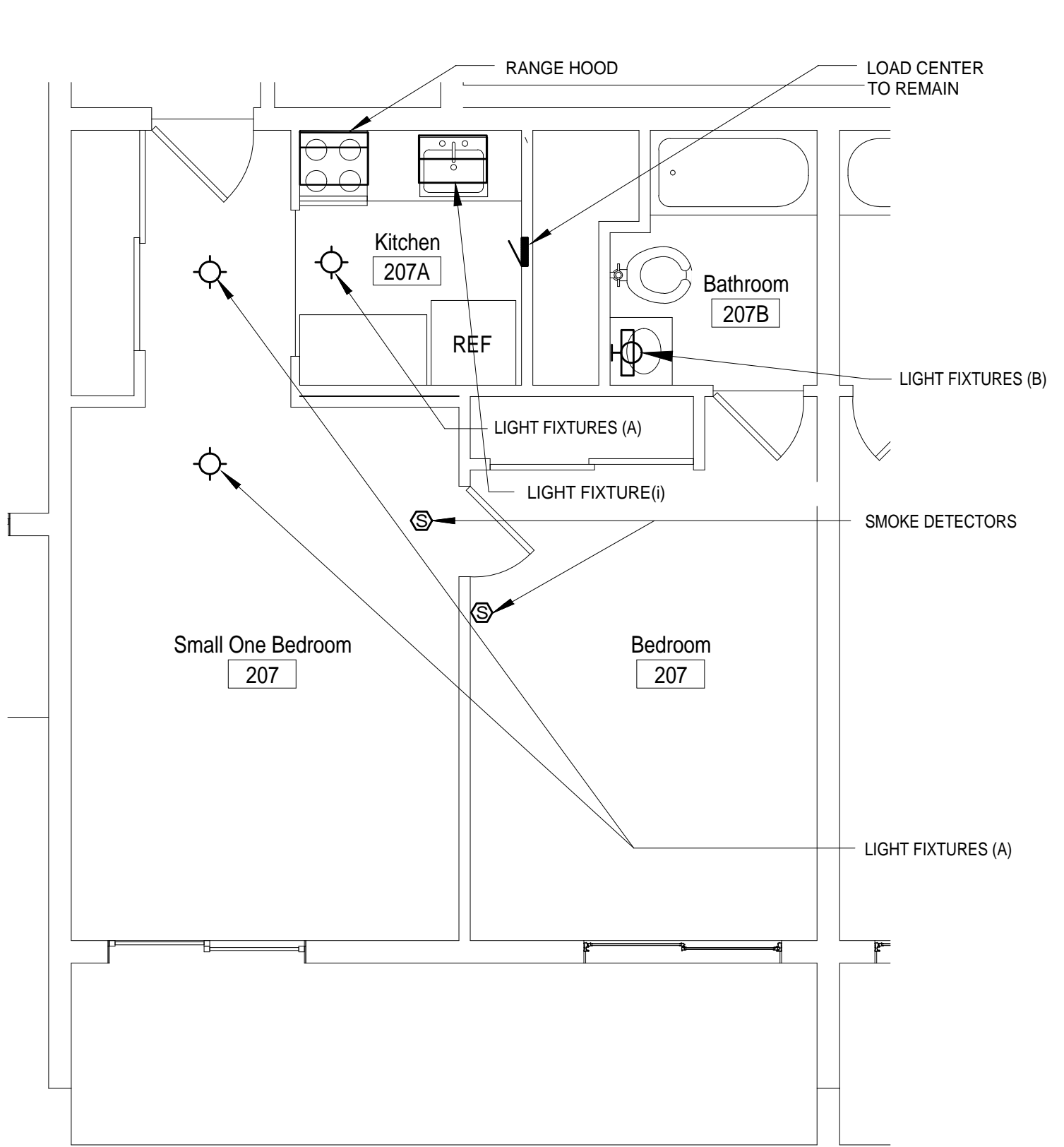
ISSUED: October 27, 2017

REVISIONS

Bernice Crawley  
High Rise -  
Eighth Floor  
Electrical Plan

R3A PROJECT # 15074B





1 Typical Small One Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"



2 Typical Large One Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES FROM UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

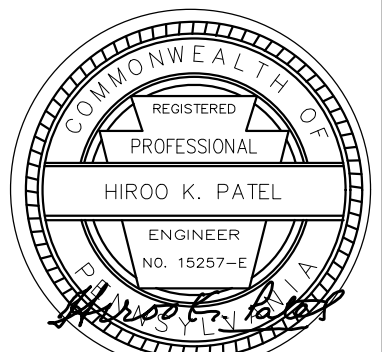
ELECTRICAL NOTES	
1. NOT USED.	
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.	
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.	
4. SEVENTEEN (17) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.	
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.	
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.	
7. REMOVE SMOKE DETECTORS AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTOR.	
8. NOT USED	
9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.	
10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS.	
11. NOT USED	
12. ALL WRING SHALL BE COPPER.	
13. LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITHIN THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.	

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 23358NC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LH4ILDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HQ-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPR02C1X7019K0Z	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12002-2X220W-750WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLD09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

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CONSULTANT:



Alies & Ross  
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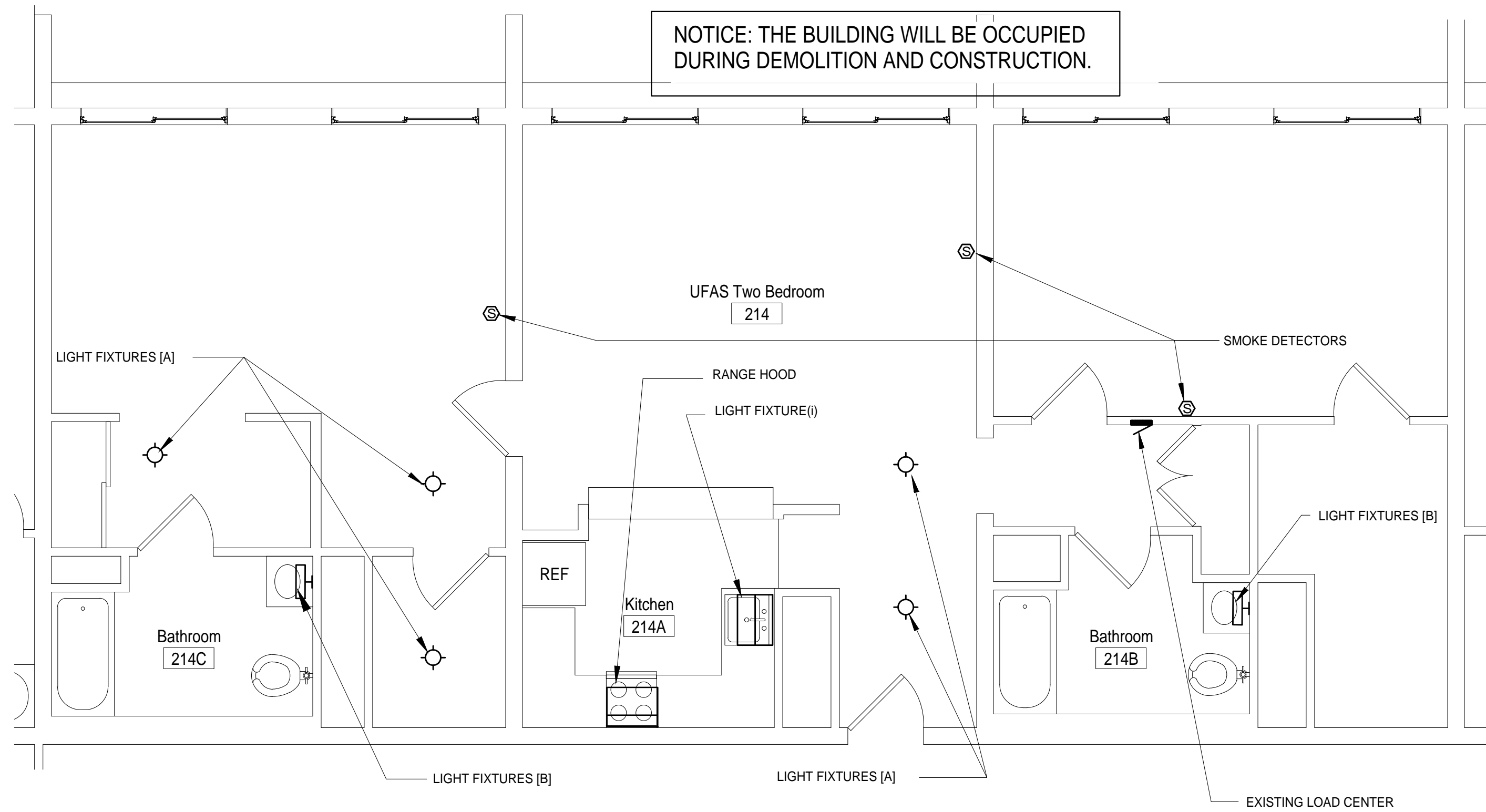
CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

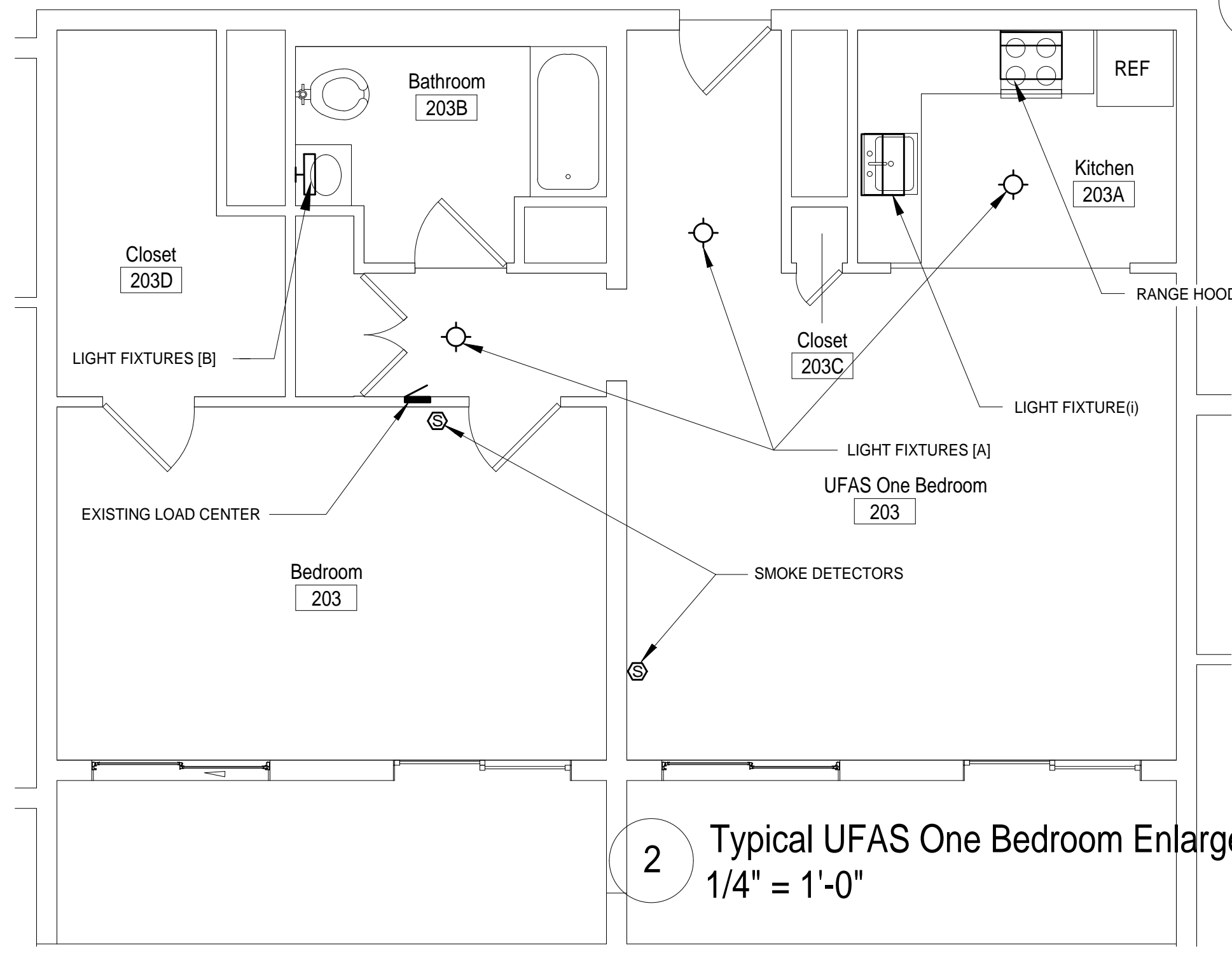
REVISIONS

Bernice Crawley  
High Rise - Small  
& Large One  
Bedroom Enlarged  
Electrical Plans

R3A PROJECT # 15074B



1 Typical UFAS Two Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"



2 Typical UFAS One Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. RE-ENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DE-ENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

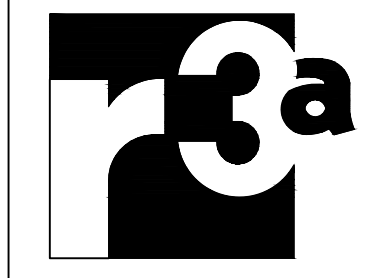
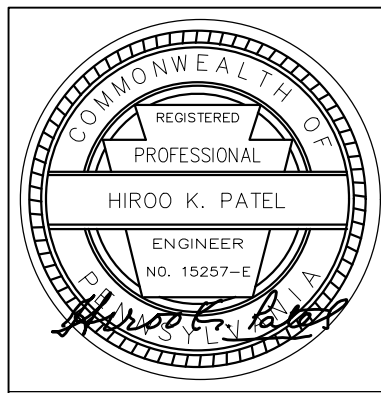
ELECTRICAL NOTES	
1.	NOT USED.
2.	ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3.	NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4.	SEVENTEEN (17) HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND DISCARDED. FURNISH AND INSTALL LOAD CENTERS AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5.	ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
6.	EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.

ELECTRICAL NOTES (CONT)	
7.	REMOVE EXISTING SMOKE DETECTOR AND REPLACE WITH NEW SIMPLEX MOD 4098-9714 SMOKE DETECTOR.
8.	NOT USED
9.	ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS.
10.	RANGE HOODS IN ALL UFAS KITCHENS SHALL HAVE REMOTE SWITCHES 48" ABOVE FINISHED FLOOR.
11.	PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
12.	NOT USED
13.	ALL WIRING SHALL BE COPPER.
14.	LARGE ITEM FURNITURE PIECES ARE TO REMAIN THROUGHOUT DEMOLITION AND CONSTRUCTION. PRIME CONTRACTORS ARE TO RELOCATE SUCH ITEMS WITH THE UNIT ACCORDINGLY TO COMPLETE WORK, AND ENSURE THE ITEMS ARE NOT DAMAGED.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

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*Tri-State design and development*  
CONSULTING ENGINEERS  
CARMICHAEL, PENNSYLVANIA

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CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

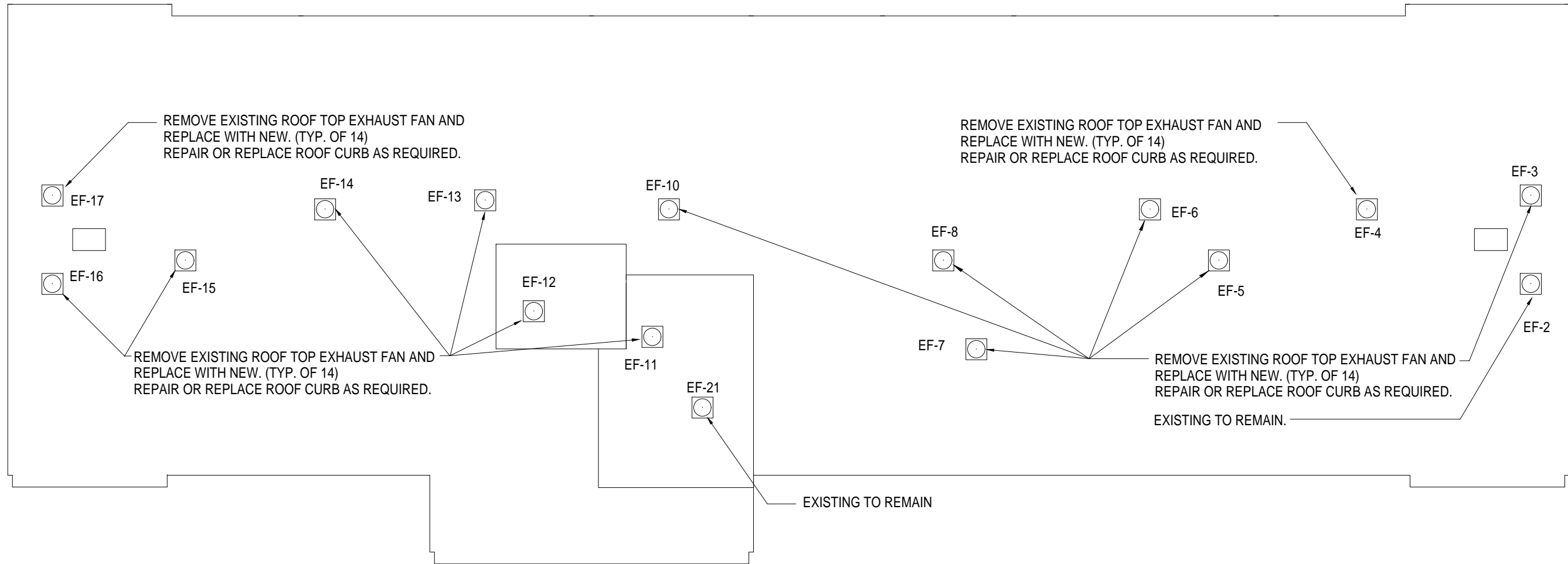
REVISIONS

Bernice Crawley  
High Rise -  
UFAS One &  
Two Bedroom  
Electrical  
Enlarged Plans

R3A PROJECT # 15074B



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Roof Top HVAC Plan  
1/16" = 1'-0"

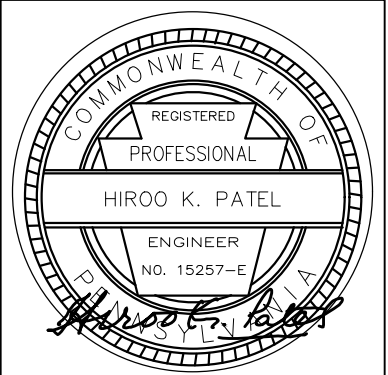
EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	CFM	VOLTAGE	MAX AMPS	MAX FUSE AMPS	Hp	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-2	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	---	---	PREVIOUSLY REPLACED
EF-3	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-4	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-5	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-6	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-7	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-8	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-9	BATHKITCHEN EXHAUST	---	---	--	--	---	---	---	DO NOT REPLACE
EF-10	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-11	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-12	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-13	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-14	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-15	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-16	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-17	BATHKITCHEN EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST

NOTE: THIS EQUIPMENT IS PROVIDED BY HVAC CONT.

GENERAL NOTES:  
ELEC CONT SHALL COORDINATE WITH MECHANICAL CONT FOR DEENERGIZE/REENERGIZE ROOFTOP EXHAUST FANS.

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Pittsburgh, PA 15207

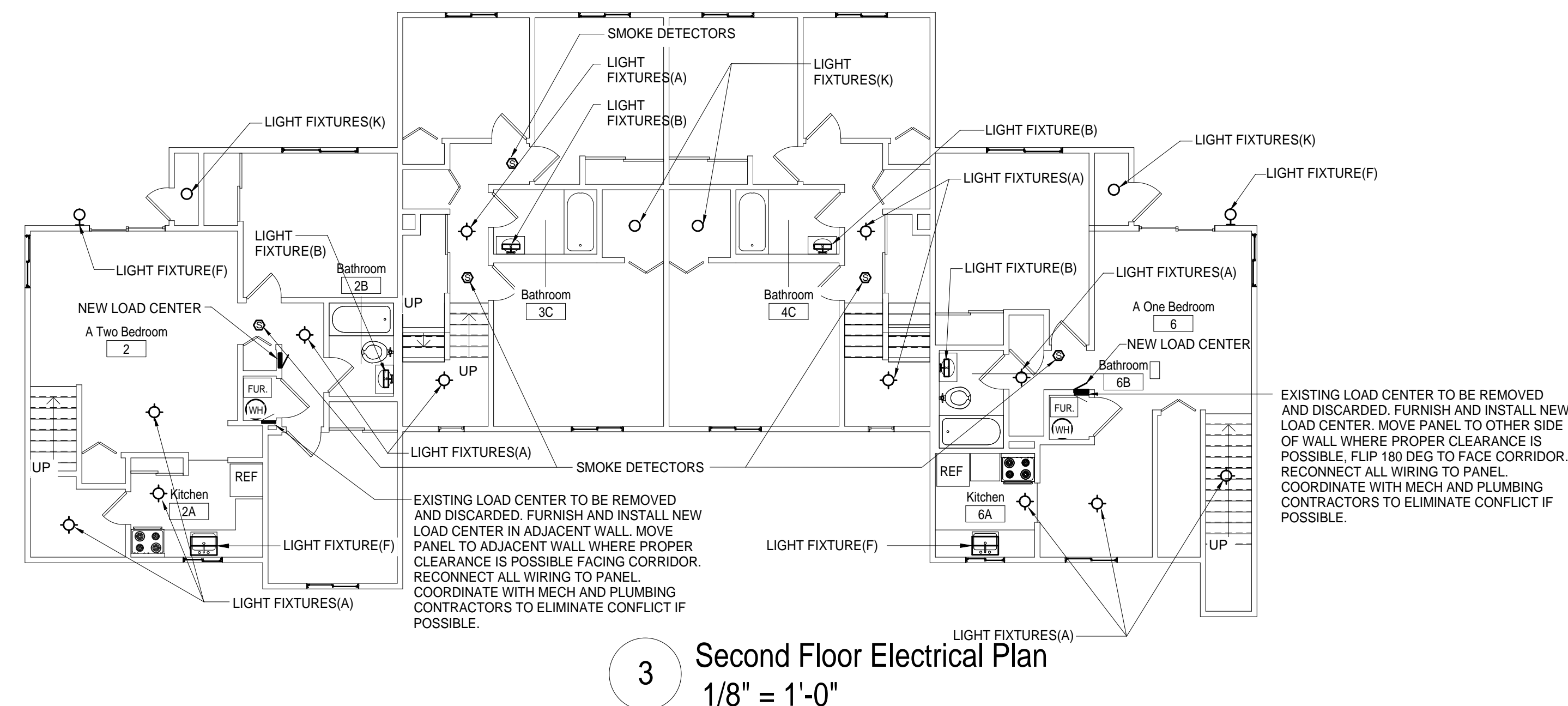
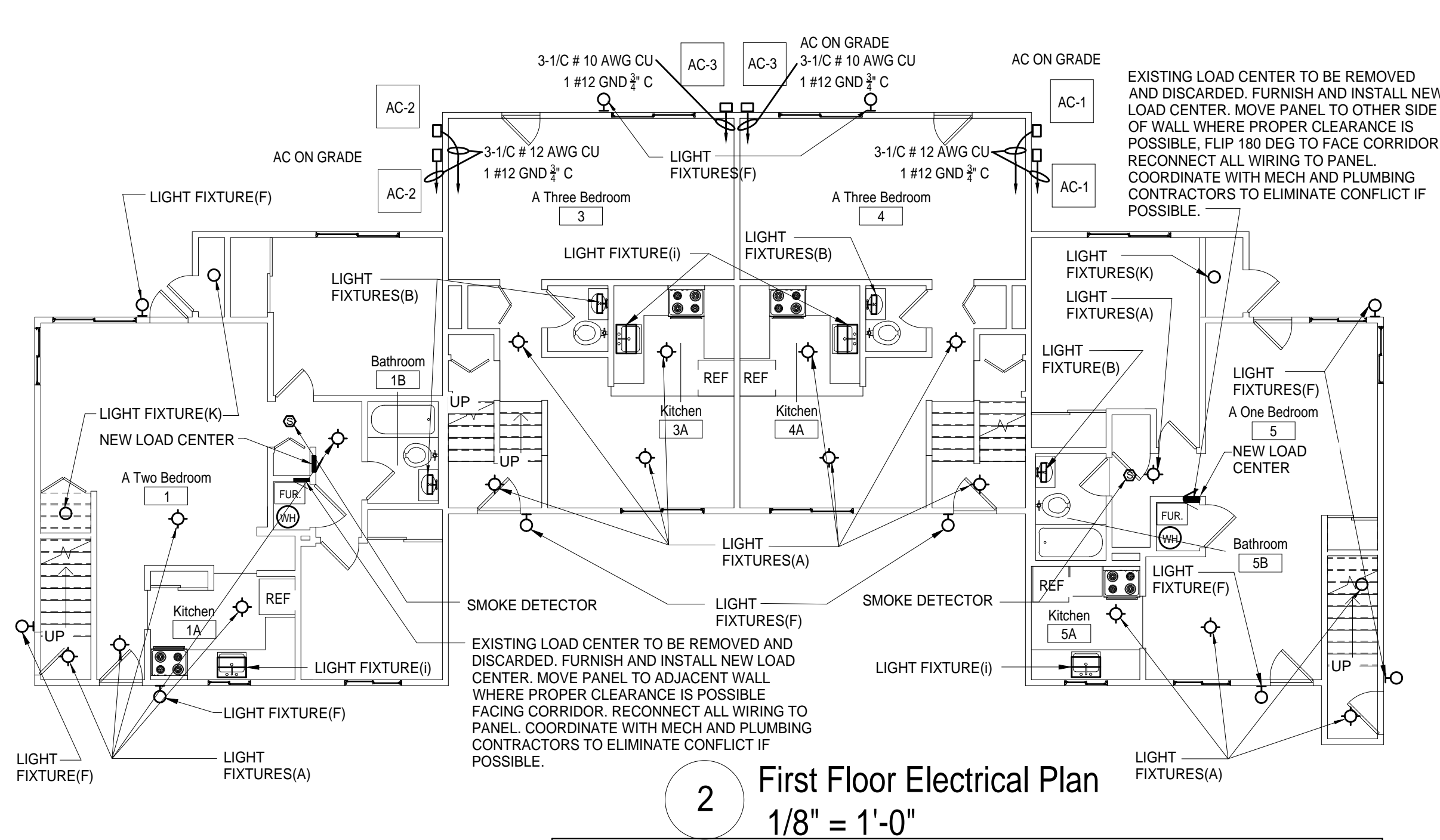
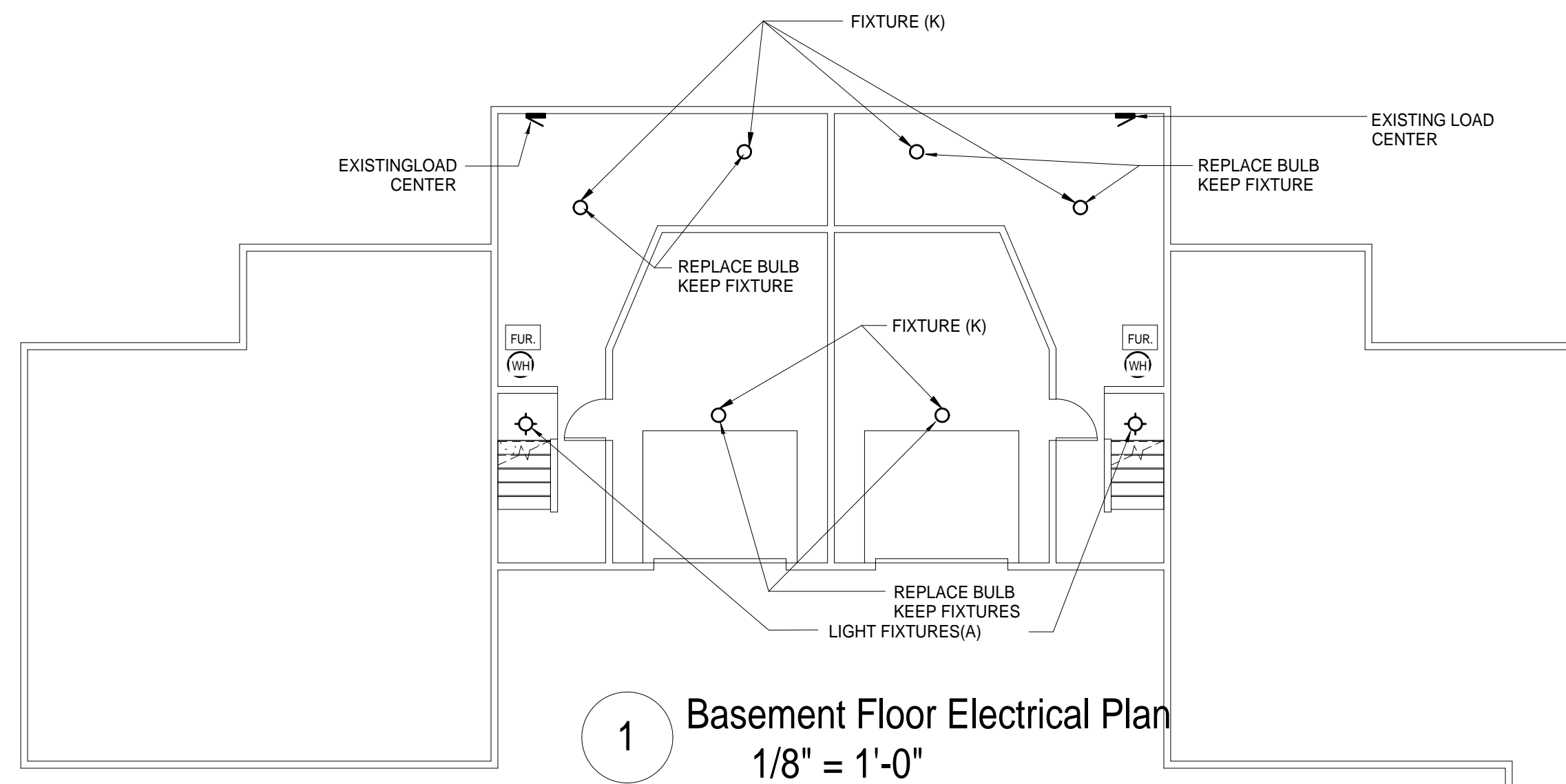
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

REVISIONS

Bernice  
Crawley High  
Rise - Roof top  
Plan

R3A PROJECT # 15074B



REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

## ELECTRICAL NOTES



## ELECTRICAL NOTES

**NOTE:**  
SEE DWG G-101, G-102 AND G-110 FOR  
BUILDINGS, APARTMENT UNITS AND  
CODE INFORMATION.

- ## GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES, GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK. FOR GENERAL CONTRACTOR COORDINATION, ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY AND COORDINATE WITH CONTRACTORS' DEMOLITION AND PHASING CONSTRUCTION SCHEDULE. ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY OCCUPANT DISRUPTION SHALL BE IDENTIFIED IN THE CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE. SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOMS. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN QUANTIFYING THE SCOPE OF WORK. CONTRACTORS ARE TO FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE, REFER TO SPECIFICATION SECTIONS "02100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS". CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY THE ARCHITECT. REPRESENTATIVE OF THE ARCHITECT'S ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCAC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND HARDWARE). UNLESS OTHERWISE NOTED, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION ARE TO BE SECURED, SHALL BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY AGENCIES IN LOCATION AS APPLIED BY THE ARCHITECT'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEIGHBLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING MATERIALS AND EQUIPMENT TO REMAIN MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND HACP'S REPRESENTATIVE. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. UNLESS OTHERWISE NOTED, ALL FINISHES, SURFACES, MATERIALS, TEXTURES, COLORS AND FINISHES, WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

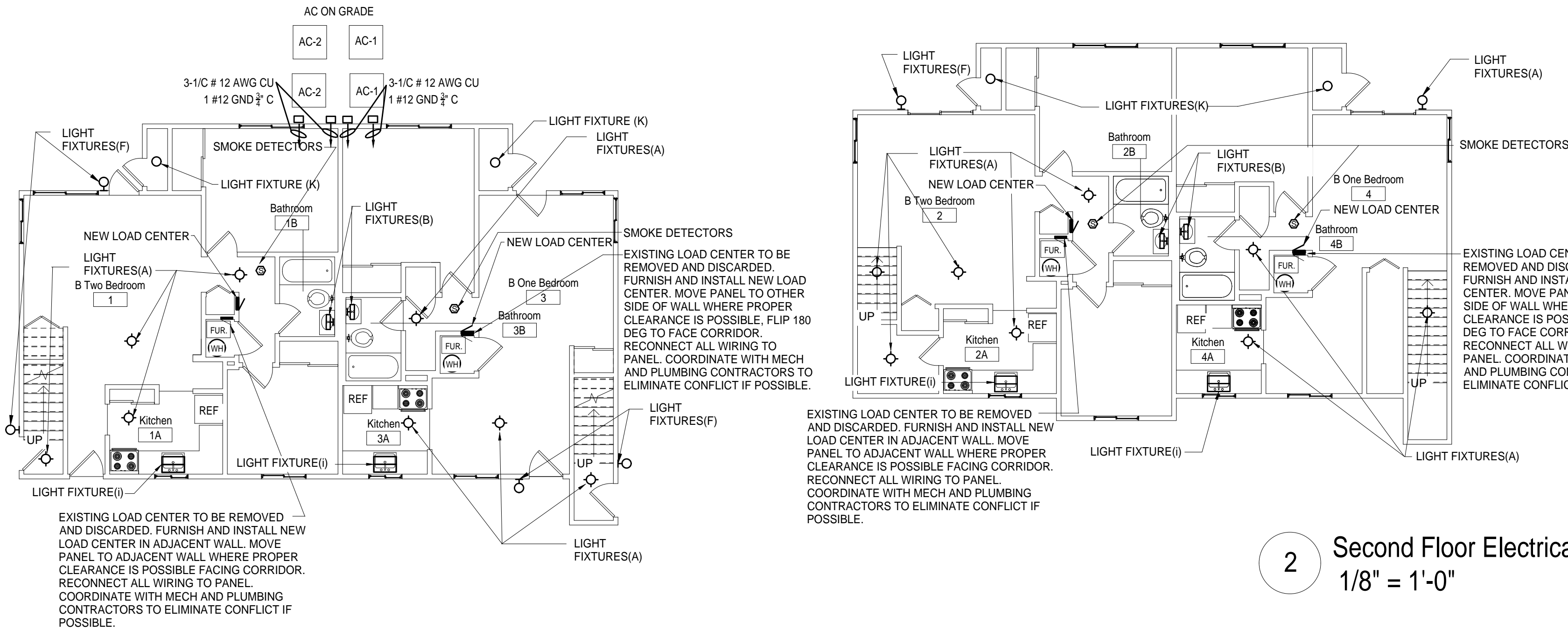
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 (b)	LBL LIGHTING ELLIS 24 BA90SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 (c)	LBL LIGHTING WS0070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 (d)	LITON LHAJLD0659X140UE -T35/LRA0620	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 (e)	JESCO LIGHTING DUFLEX-UP-HO-40	CEILING / SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 (f)	DURAGUARD LD-102 WALL PACK MWPC00C1X3/USKZC	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 (g)	ESTILUZ LIGHTING 12902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
 (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
 (i)	JUNO UPLD09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
 (k)	BASEMENT STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BU1616B100	FLUSH MOUNT	16 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

6. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WATT, 60 WATT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE (K)
8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DENERGIZER/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
13. ALL WIRING SHALL BE COPPER.
14. PROVIDE KIDDE MOD 21097324 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PH. ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS, WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER. REPLACE ONE AND REPLACE WITH ELEG CO PLATE. REMOVE WIRE TO SECOND BOX TO FUNCTION BOX. REMOVE ALL RESIDENTIAL UNITS. HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.





#### ELECTRICAL NOTES

1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
11. THE POWER WIRING AND CONDUIT FOR RESPECTIVE OUTDOOR AC CONDENSER SHALL BE ROUTED TO LOAD CENTER IN RESIDENTIAL UNIT TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
12. ALL WIRING SHALL BE COPPER.
13. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN.

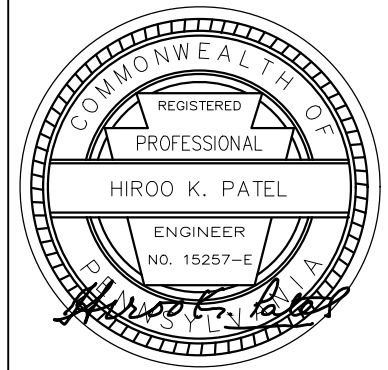
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NOTE:  
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2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
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Renaissance 3 Architects, P.C.

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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

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Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

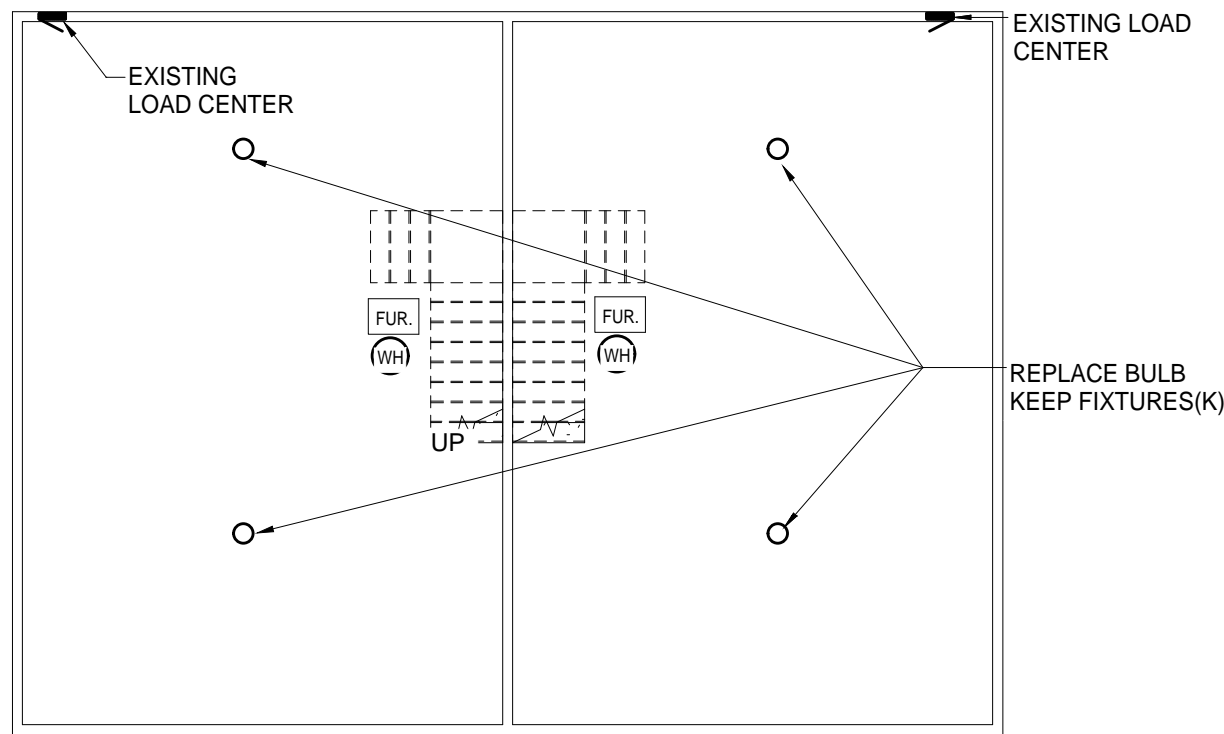
CONSTRUCTION  
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ISSUED: October 27, 2017

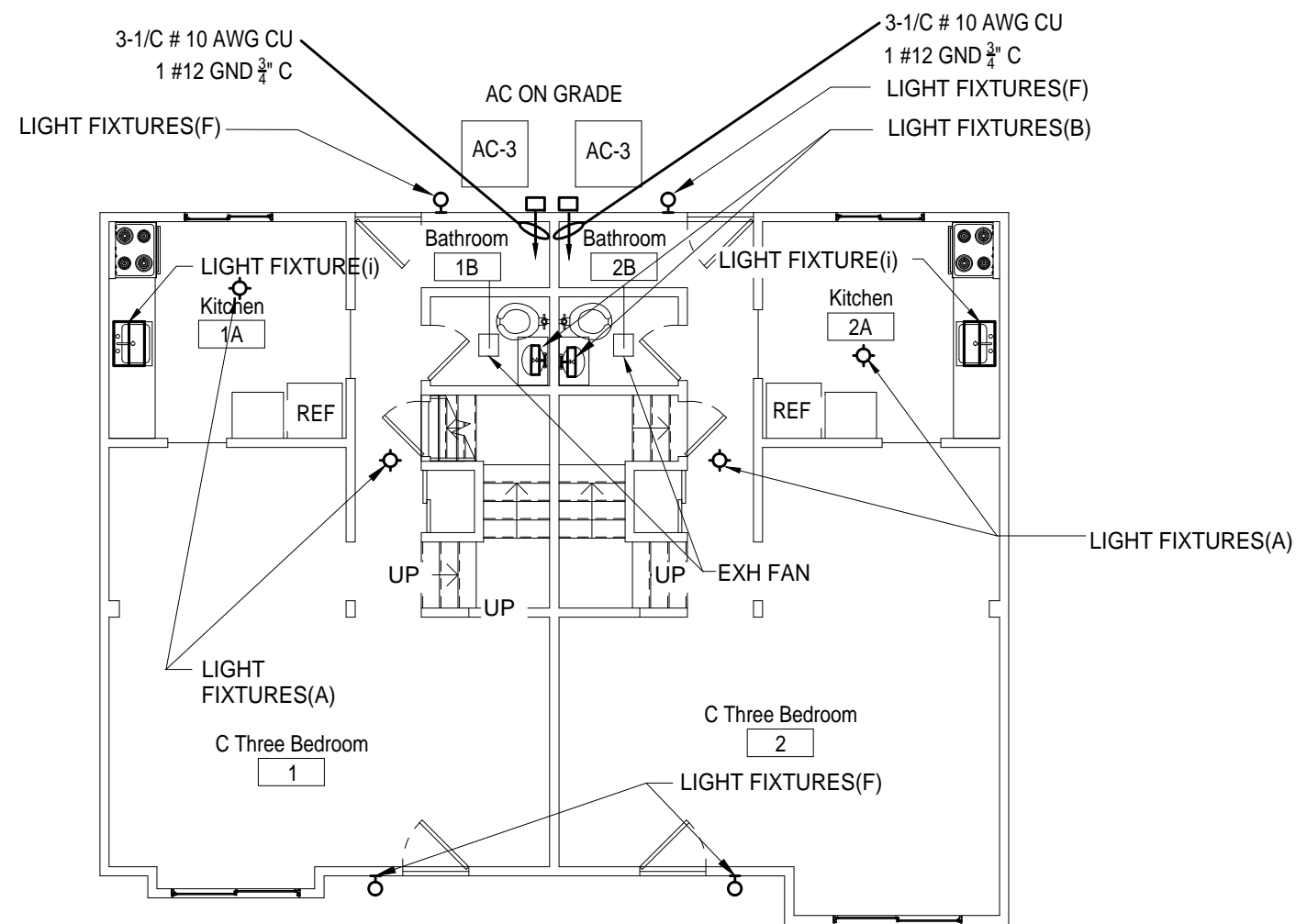
REVISIONS

Family  
Community -  
Type B

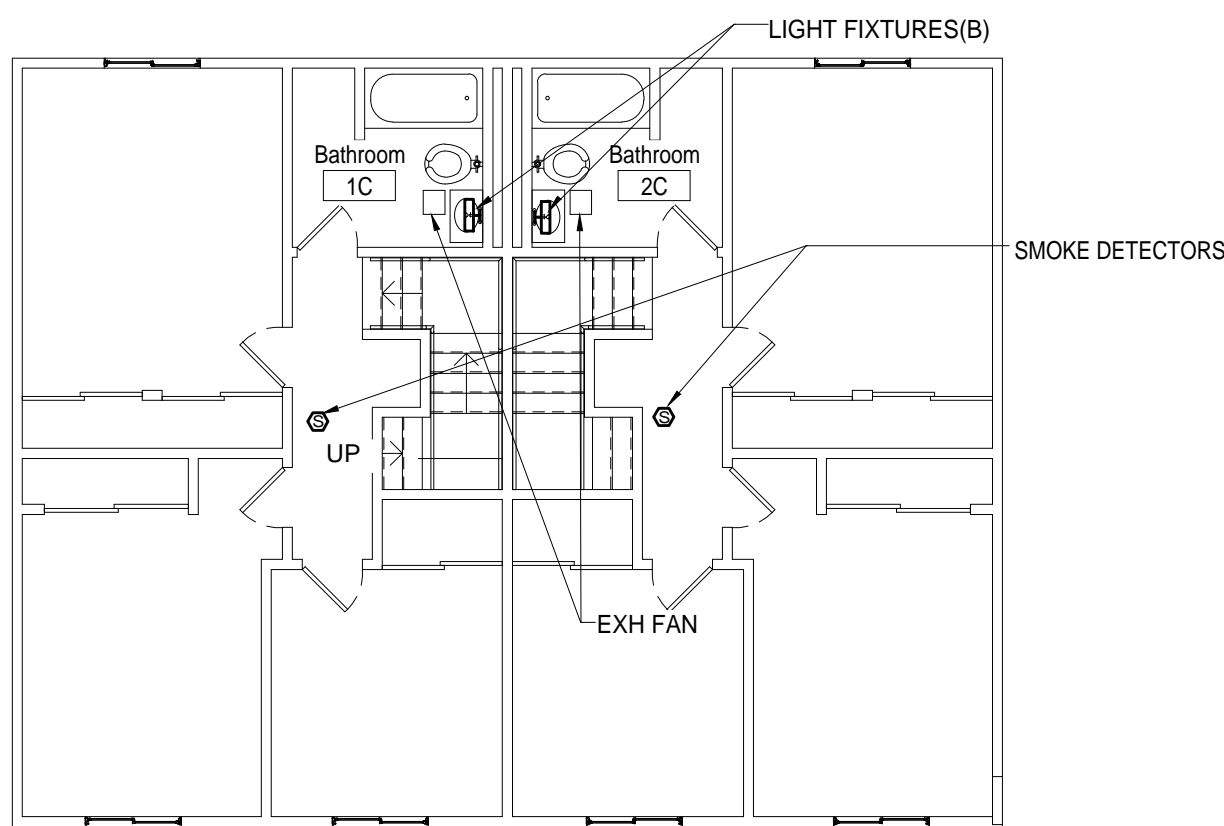
R3A PROJECT # 150748



1 Basement Electrical Plan  
1/8" = 1'-0"



2 First Floor Electrical Plan  
1/8" = 1'-0"













3 Second Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
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### ELECTRICAL NOTES

1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
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8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
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10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 FIXTURE (a)	BROWNLEE LIGHTING Z335BNC17EDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (d)	LITON LHAJLD0650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPC0GC1X37USKCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 FIXTURE (g)	ESTILUZ LIGHTING I2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
 FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
 FIXTURE (i)	JUNO UPLD09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
 FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
SQUARE D DU 321NRB		WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

### ELECTRICAL NOTES

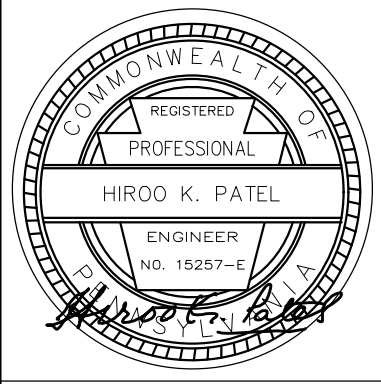
12. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
13. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
14. ALL WIRING SHALL BE COPPER.
15. PROVIDE KIDDE MOD 21007824 COMBINATION SMOKE DETECTION AND CO ALARM. 120 VOLT WITH BATTERY, PHOTO-ELECTRIC. TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.

### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S MOVING CONSULTANT. HAC'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE AND THE ARCHITECT.
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9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
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12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HAC'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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Design  
Technology  
Sustainability

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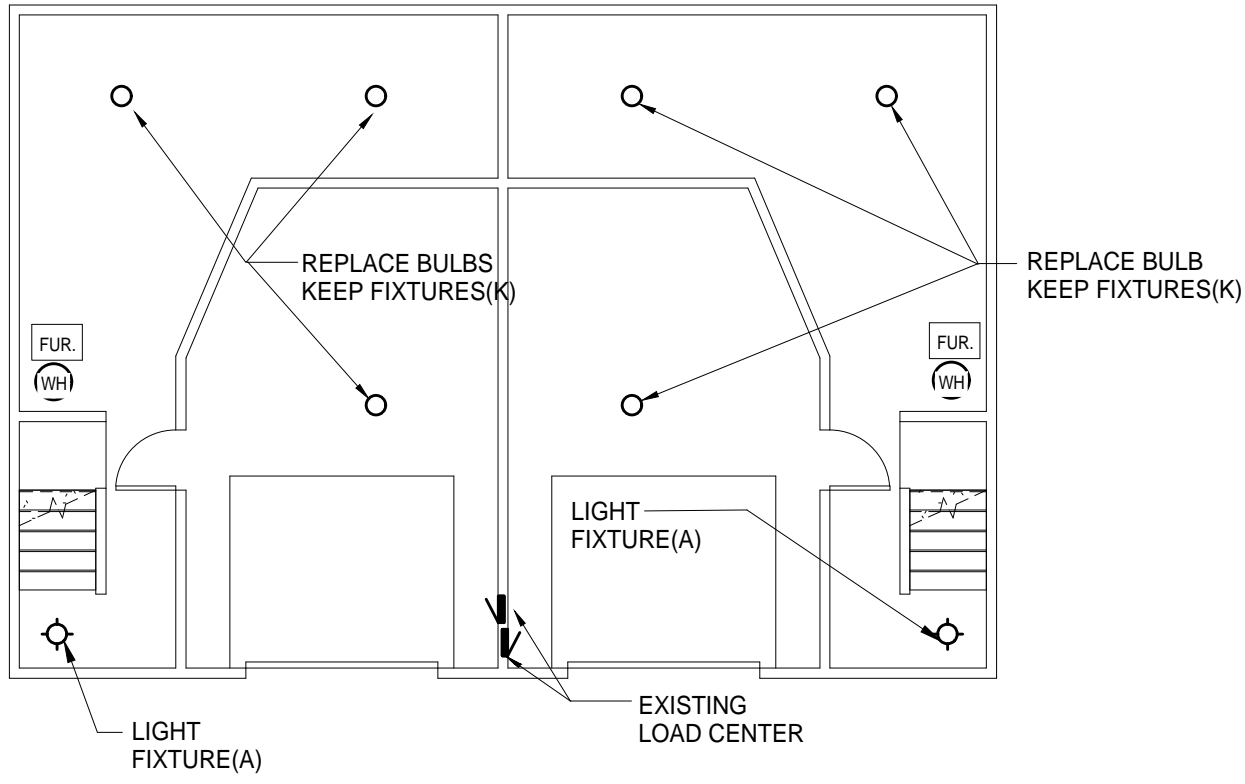
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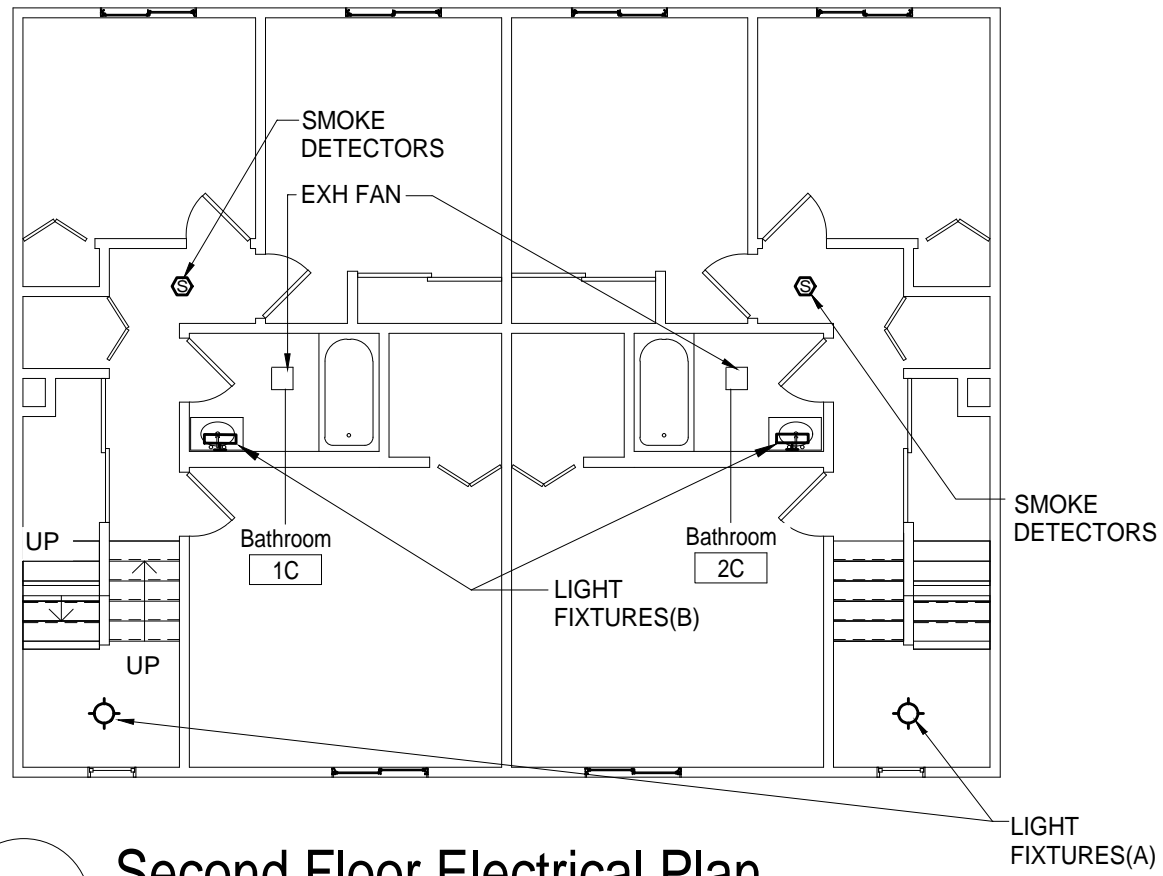
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Community -  
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R3A PROJECT # 15074B





1 Basement Floor Electrical Plan  
1/8" = 1'-0"

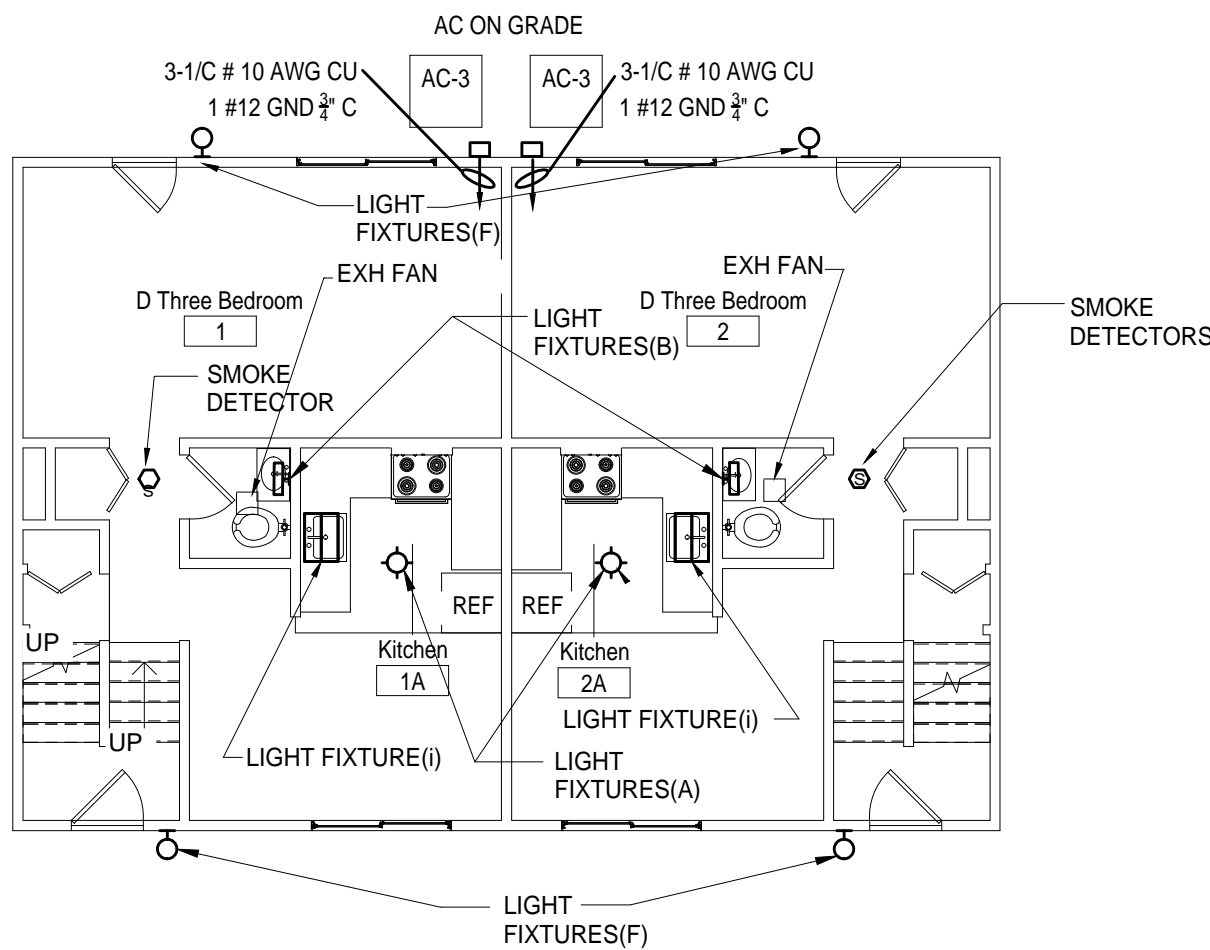


3 Second Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN NON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

#### ELECTRICAL NOTES

- INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISER RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 80 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K)
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER IS PROVIDING AIR CONDITIONING.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- ALL WIRING SHALL BE COPPER.
- PROVIDE KIDDE MD8 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.



2 First Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING Z335NGC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA060SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS90Y0Y82LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MW9020C1X37L5K4CZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12902-2X28W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
FIXTURE (k)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

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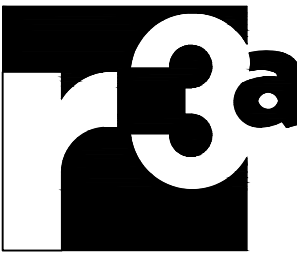
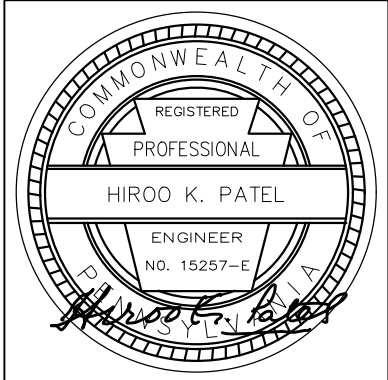
LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

- MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
- STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
- ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

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Technology

Sustainability

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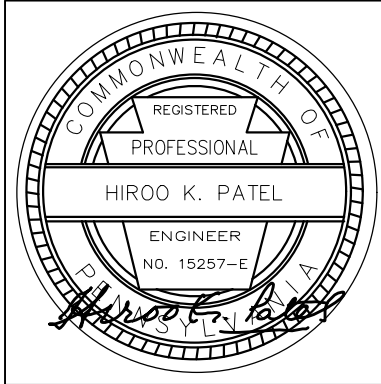
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REVISIONS

Family  
Community -  
Type D

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E-114



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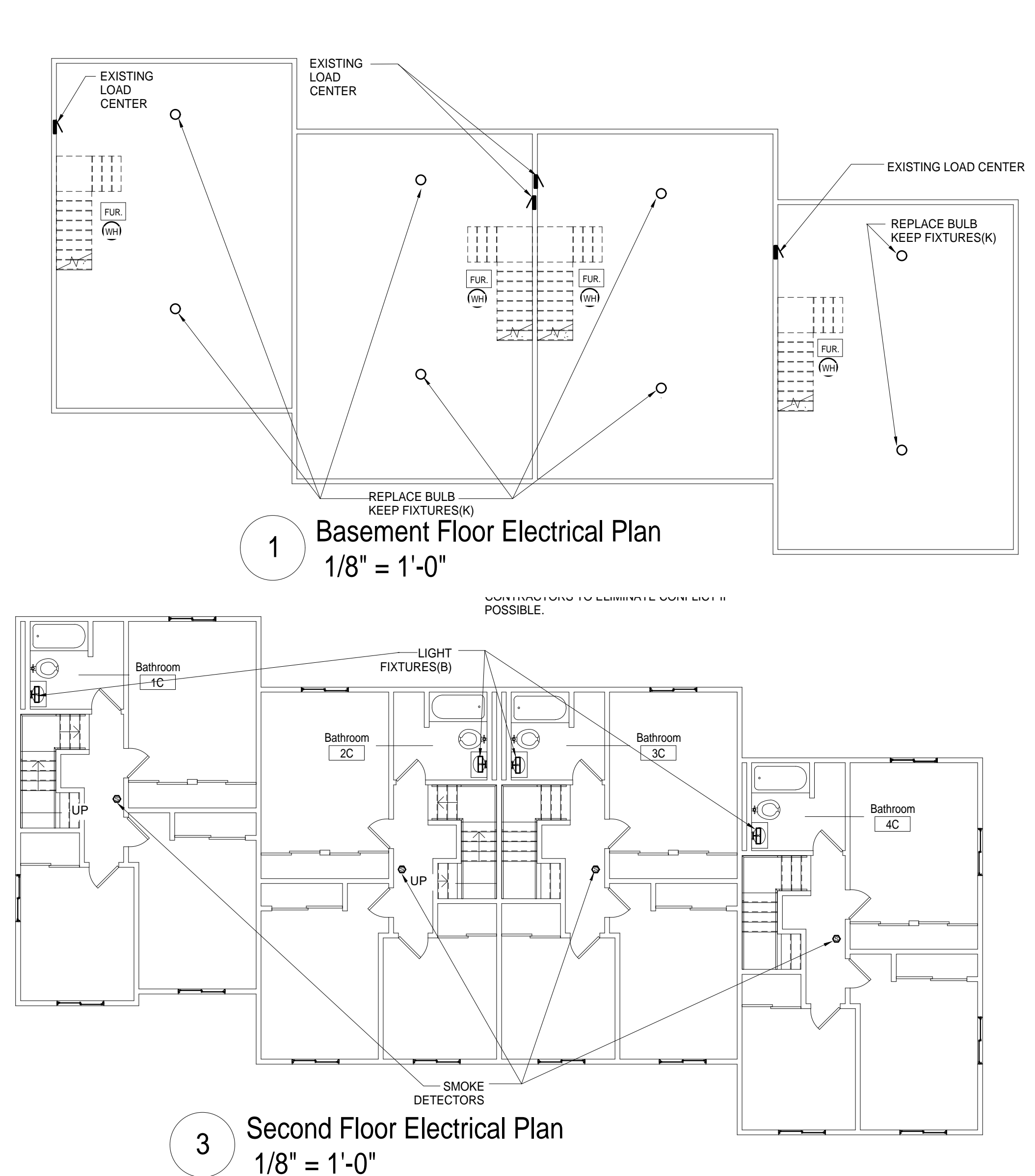
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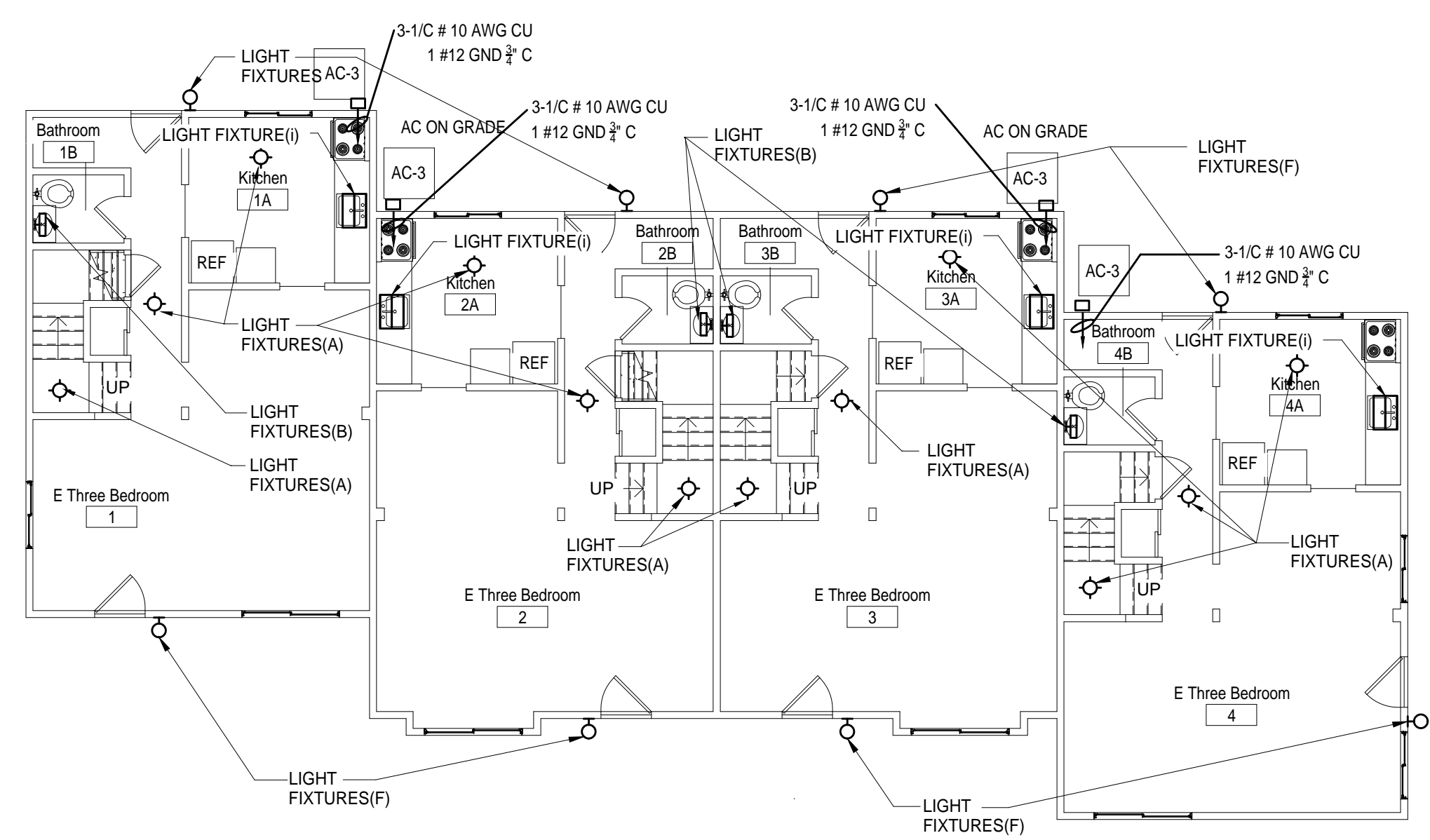
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- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRASIBLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHALL BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



ELECTRICAL NOTES		ELECTRICAL NOTES (CONT)	
1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.		7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE	
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.		8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.	
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.		9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.	
4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.		10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.	
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.		11. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.	
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.		12. ALL WIRING SHALL BE COPPER.	
		13. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS, WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.	

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES (NON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)



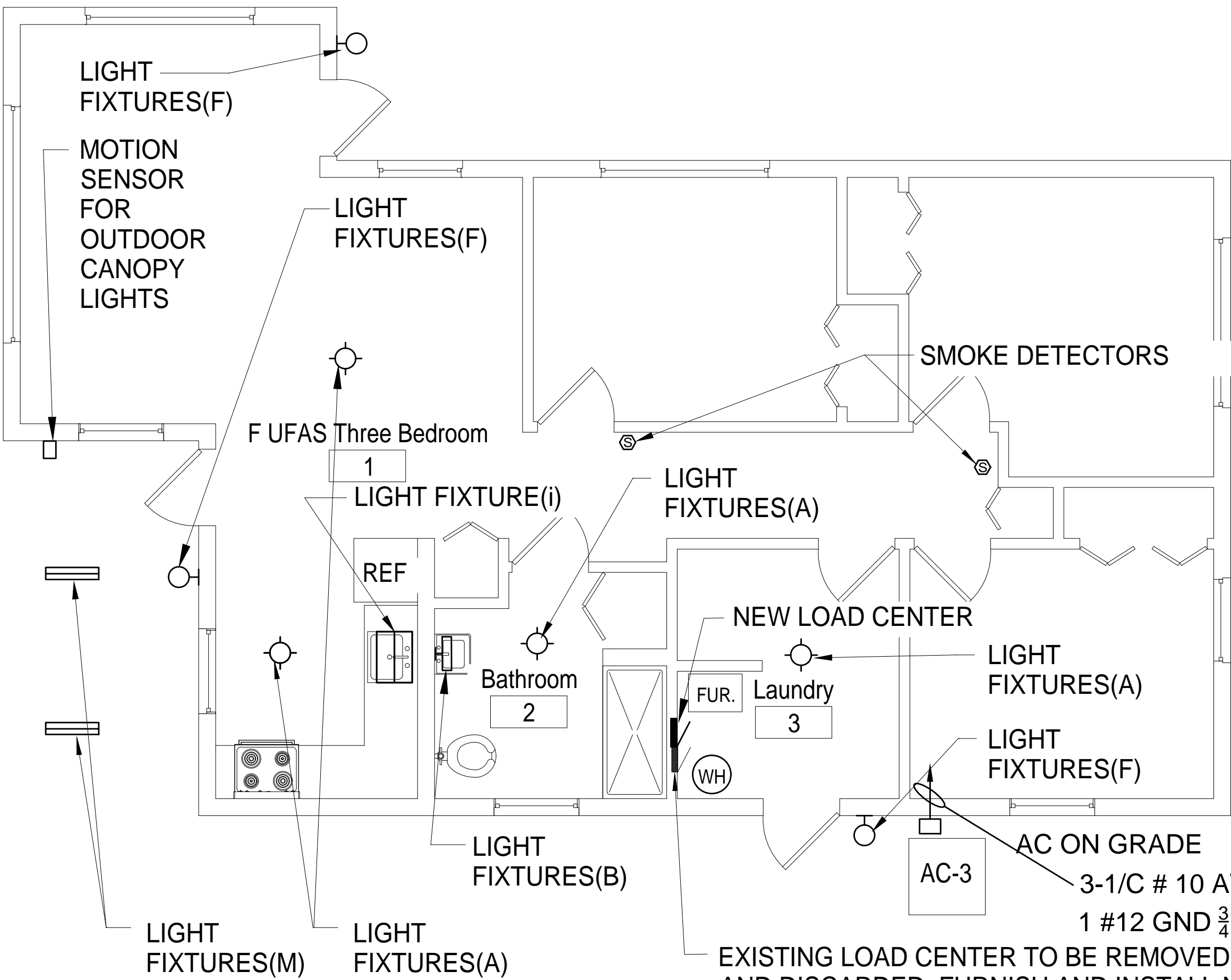
LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING Z335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070VBLED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHA1LD0650C140UE -T35LRA0602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DFLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOC01X37USK6Z	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING Z9902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
FIXTURE (k)			1	LED ARRAY	120	DO NOT REPLACE FIXTURE

LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
LOAD CENTER (a)	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE-BR TYPE	100	RESIDENTIAL UNITS
LOAD CENTER (b)	SQUARE D QUAIRE D QD 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.





1 First Floor Electrical Plan  
1/4" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/CN UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES	
1. INSTALL NEW CIRCUITS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.	
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.	
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.	
4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL. RECONNECT WIRING	
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.	
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.	
7. PROVIDE ECOMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.	
8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.	
9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.	
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.	

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 FIXTURE (a)	BROWNLEE LIGHTING 23358NC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLD930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (d)	LITON LHJLD0650C140UE -T35LRAQ0602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 FIXTURE (e)	JESCO LIGHTING DUFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCQCQCY3Y5UKCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 FIXTURE (g)	ESTILUZ LIGHTING I2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
 FIXTURE (h)	MERCURY LIGHTING LMA-14M-4200-35K-UX3-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
 FIXTURE (i)	JUNO UPLD09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
 FIXTURE (M)	LITHONIA LIGHTING VAP4000LM-FST-MD-120V-GZ10- 30K-80CRI	OUTDOOR CANOPY	2	LED ARRAY	120	SURFACE MOUNT, WEATHERPROOF, VANDAL-RESISTANT
 FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
2. PROVIDE MOTION SENSOR FOR OUTDOOR CANOPY LIGHT, LITHONIA MS10NMV, OR APPROVED EQUAL.

LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

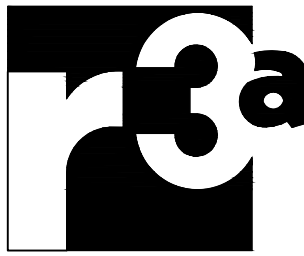
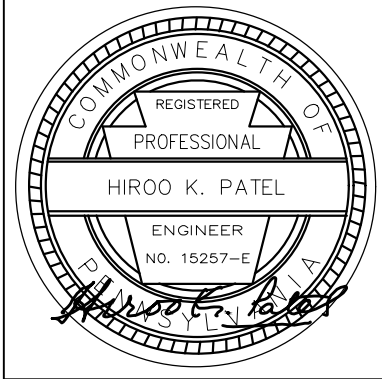
#### ELECTRICAL NOTES (CONT)

11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.  
12. PROVIDE WIRE AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.  
13. ALL WIRING SHALL BE COPPER.  
14. PROVIDE KIIDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER, REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Technology  
Sustainability

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**Allies & Ross**  
Management and  
Development  
Corporation

**Task Order**  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
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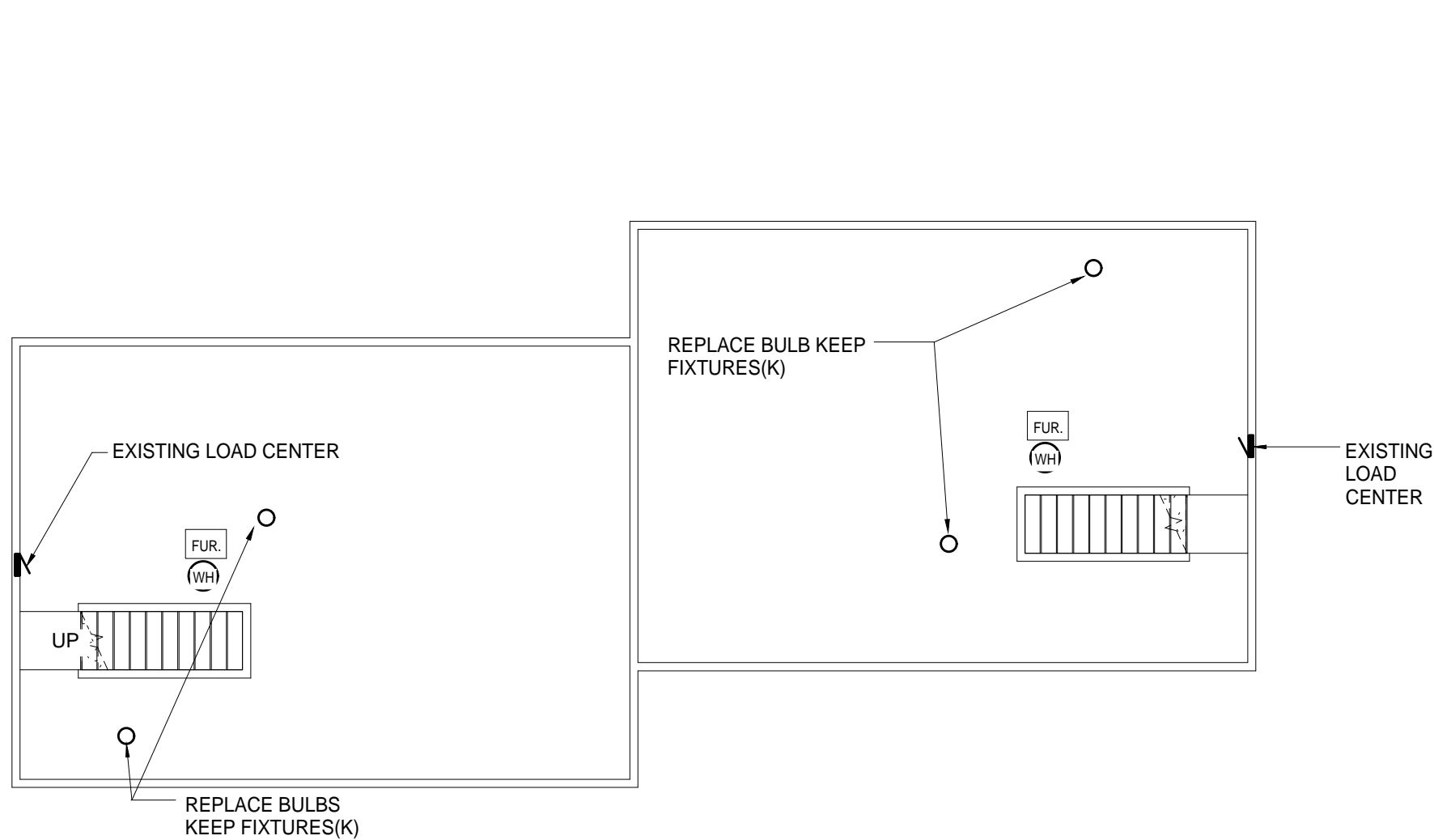
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

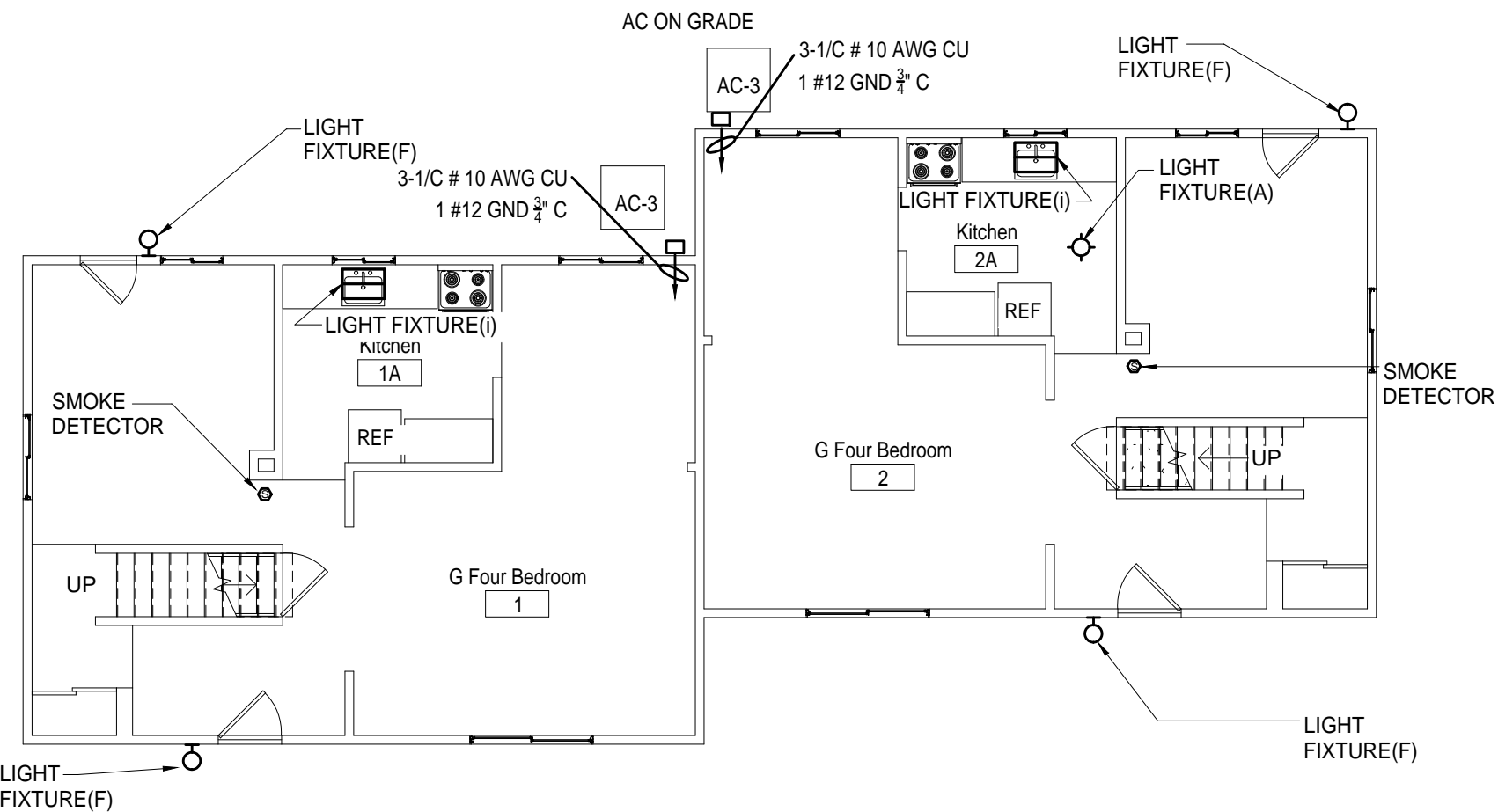
REVISIONS

Family  
Community -  
Type F UFAS

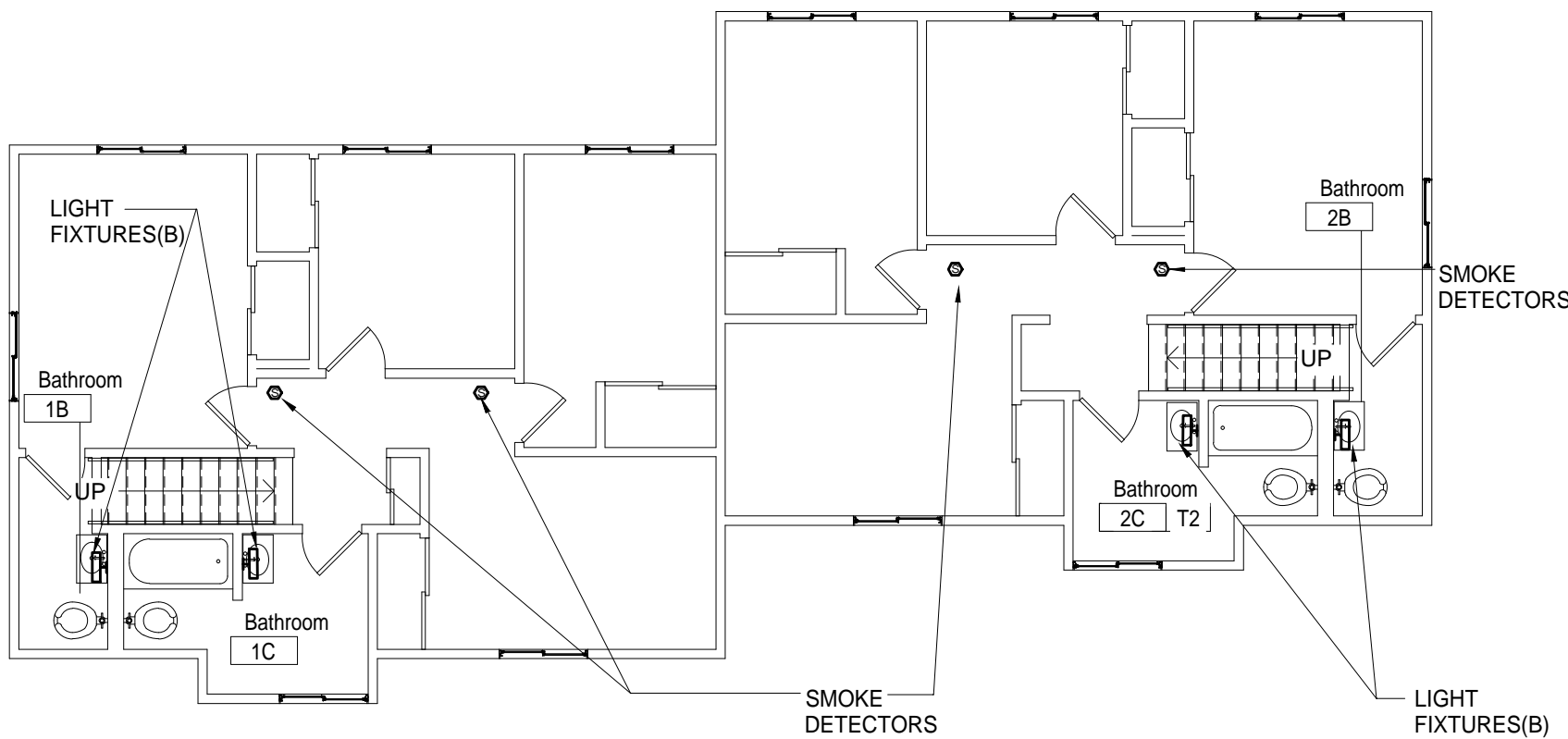
R3A PROJECT # 15074B



1 Basement Floor Electrical Plan  
1/8" = 1'-0"



2 First Floor Electrical Plan  
1/8" = 1'-0"



3 Second Floor Electrical Plan  
1/8" = 1'-0"

#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. HARD WIRE OR BATTERY AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

#### ELECTRICAL NOTES

- INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K)
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.

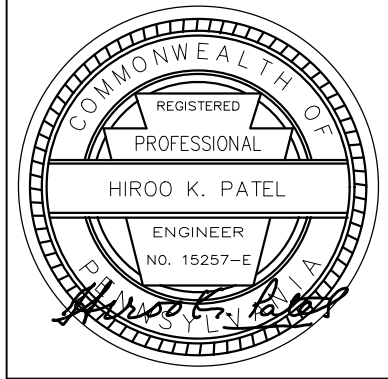
#### ELECTRICAL NOTES (CONT)

- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER AND DISCONNECT TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- ALL WIRING SHALL BE COPPER.
- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

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- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '021200 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
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- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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Design  
Technology  
Sustainability

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CONSULTANT:

*Tri-State DESIGN AND DEVELOPMENT*  
CONSULTING ENGINEERS  
CARLETON, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: October 27, 2017

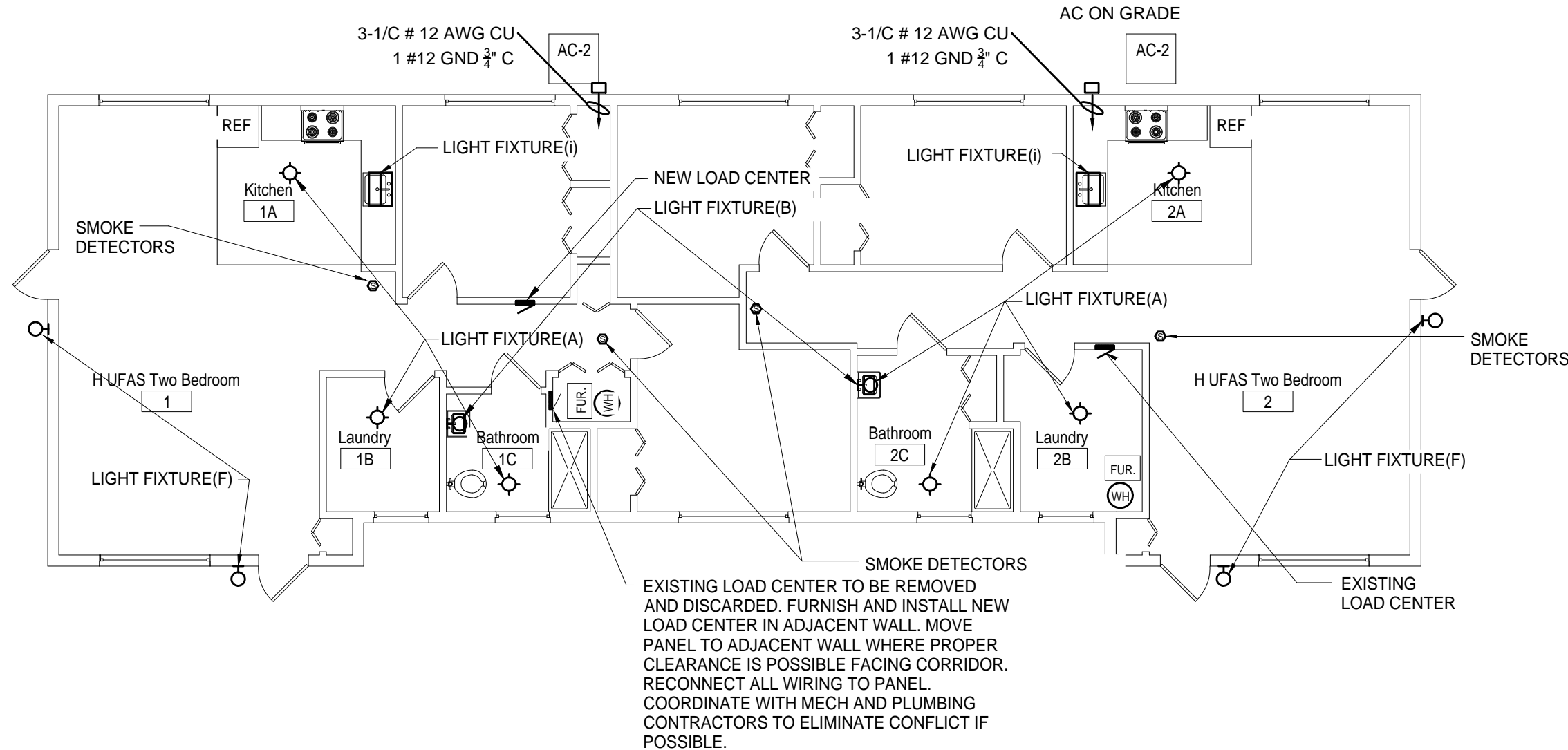
REVISIONS

Family  
Community -  
Type G

R3A PROJECT # 15074B

E-117





1 First Floor Electrical Plan  
1/16" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES	
1.	INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2.	ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3.	NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4.	SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5.	ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
6.	EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7.	PROVIDE ECOMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
8.	ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
9.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
10.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 FIXTURE (a)	BROWNLEE LIGHTING 233BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (b)	LBL LIGHTING ELLIS 24 BARRSCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (d)	LITON LHALLD650C140UE -T35LRA0602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 FIXTURE (e)	JESCO LIGHTING DUFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCOQC1X3JUSKZC	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 FIXTURE (g)	ESTILLUZ LIGHTING I2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
 FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
 FIXTURE (i)	JUNO UPLD09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

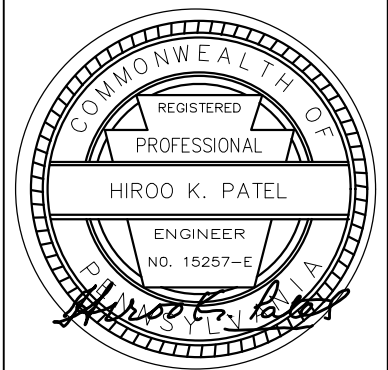
#### ELECTRICAL NOTES (CONT)

11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
12. PROVIDE WIRE AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
14. ALL WIRING SHALL BE COPPER.
15. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.

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Design

Technology

Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

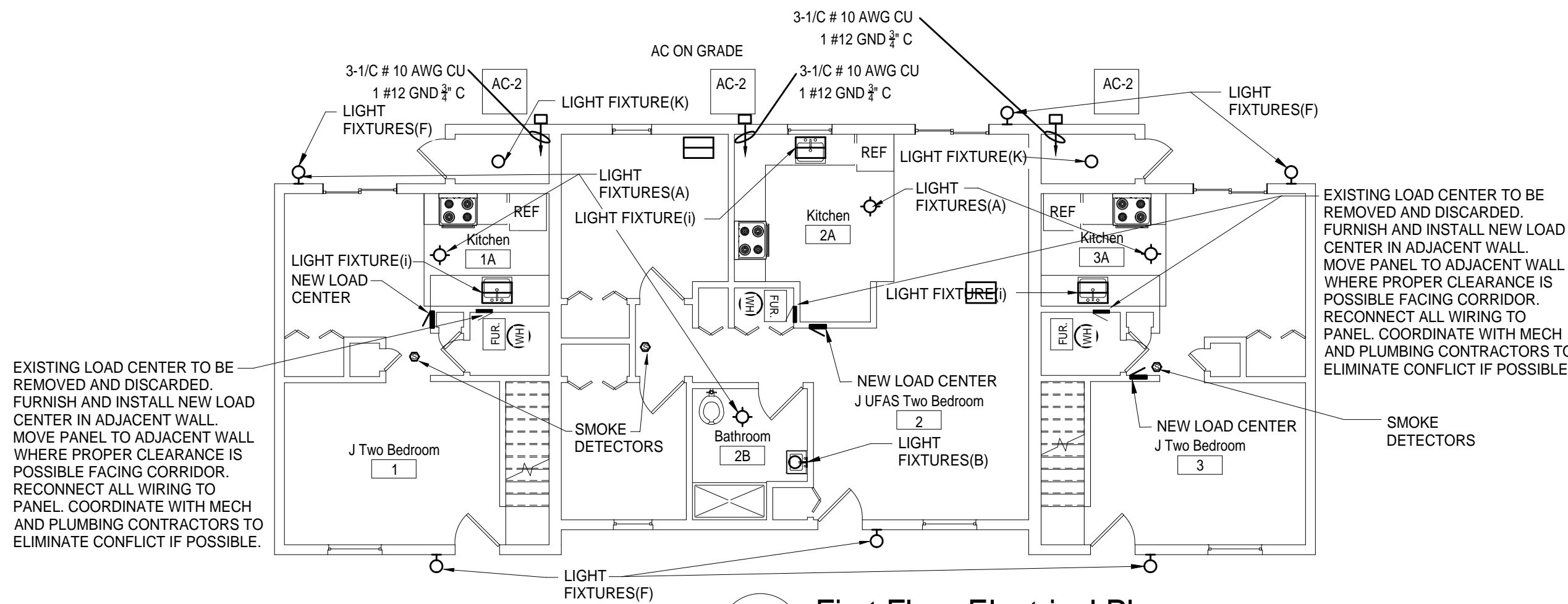
ISSUED: October 27, 2017

REVISIONS

Family  
Community -  
Type H UFAS

R3A PROJECT # 15074B

E-118

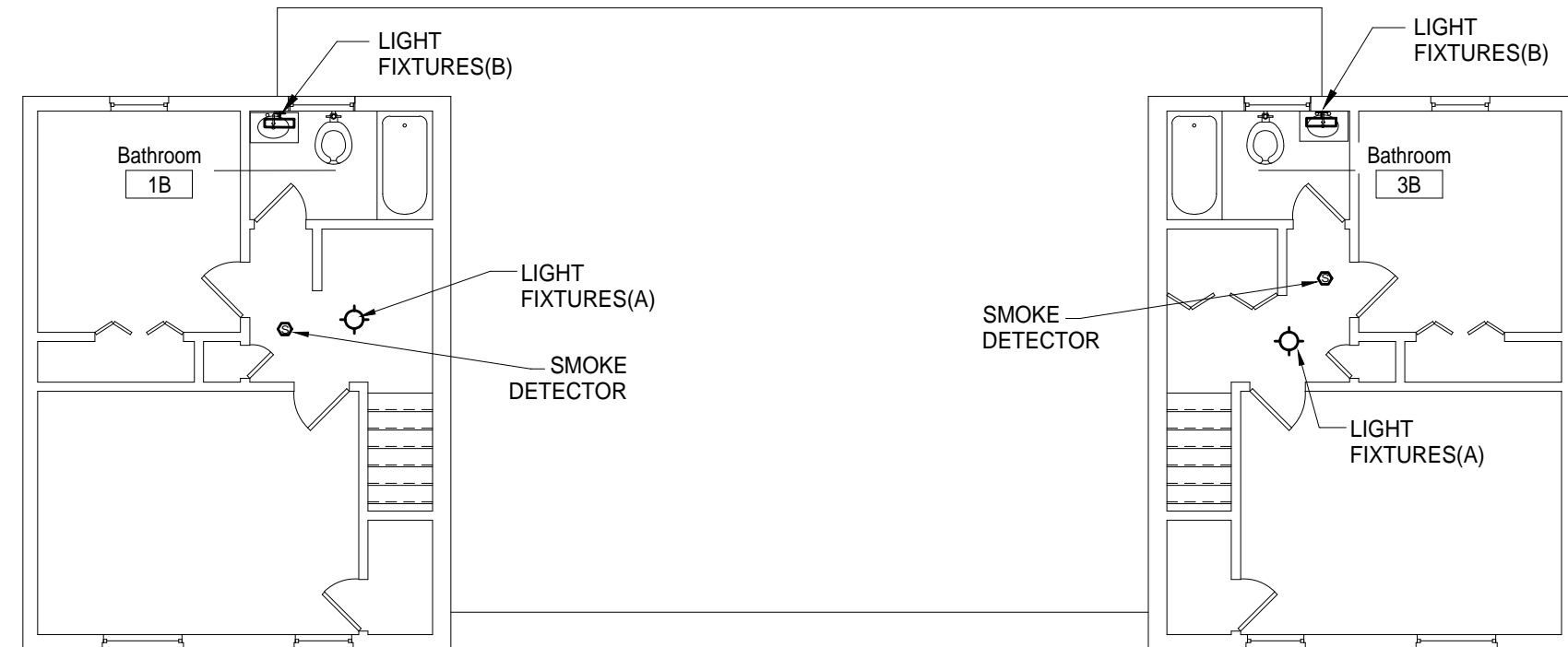


1 First Floor Electrical Plan  
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- SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE ECDSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K)
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- ALL WIRING SHALL BE COPPER.
- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS, WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.



2 Second Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		REMARKS
			NO.	DESCRIPTION	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA406SCLED930	WALL / SURFACE	1	LED ARRAY	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHA4LDQ650C140UE -T350-P40260W	CEILING/ RECESSED	1	LED ARRAY	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DUFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPC00C1X37U5KCZ	WALL	1	LED ARRAY	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILLUZ LIGHTING 12902-2X26W-79WHM	CEILING	1	LED ARRAY	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	SURFACE MOUNT
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	DO NOT REPLACE FIXTURE

- ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

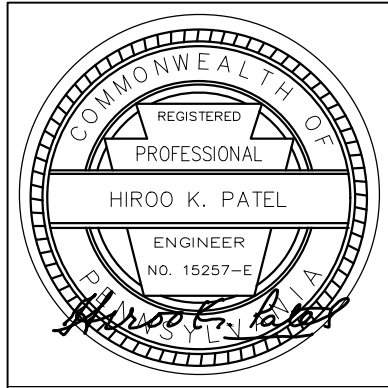
LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

- MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
- STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
- ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNITS AND CODE INFORMATION.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAILURE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPLIANCE ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IRC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS. EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
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CONSTRUCTION  
DOCUMENTS

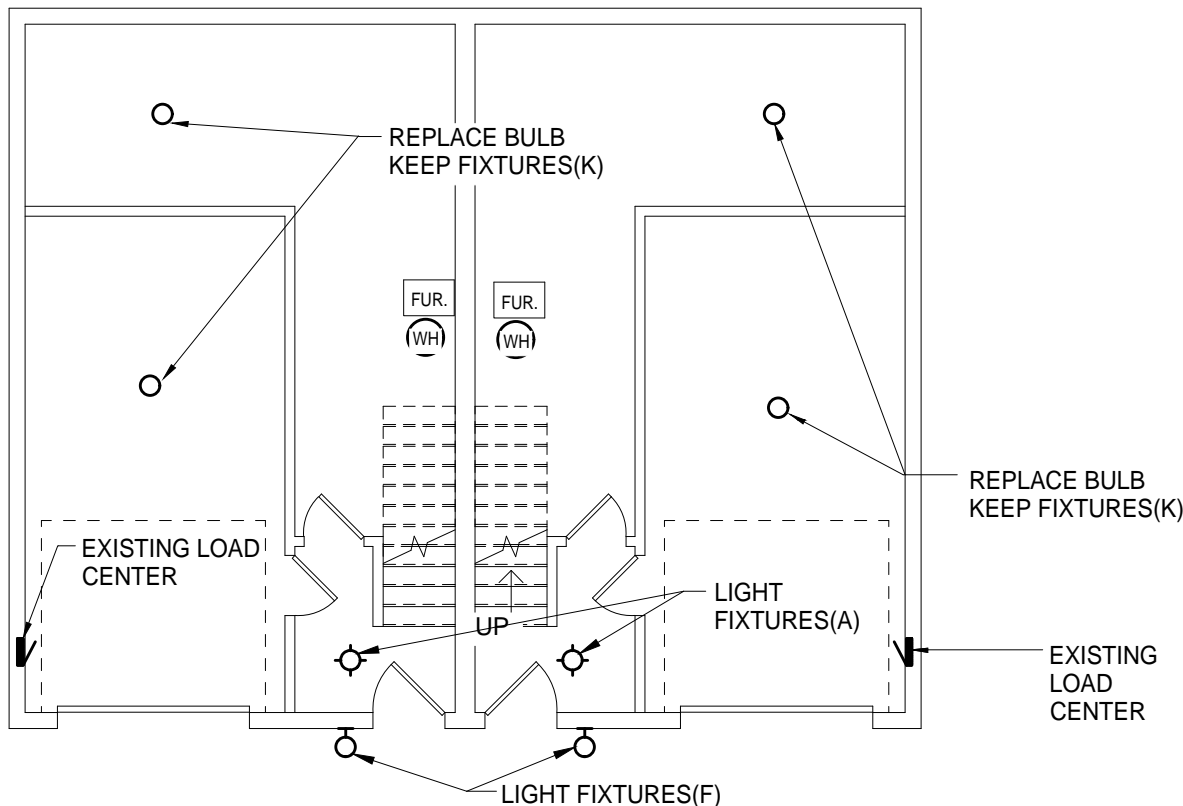
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REVISIONS

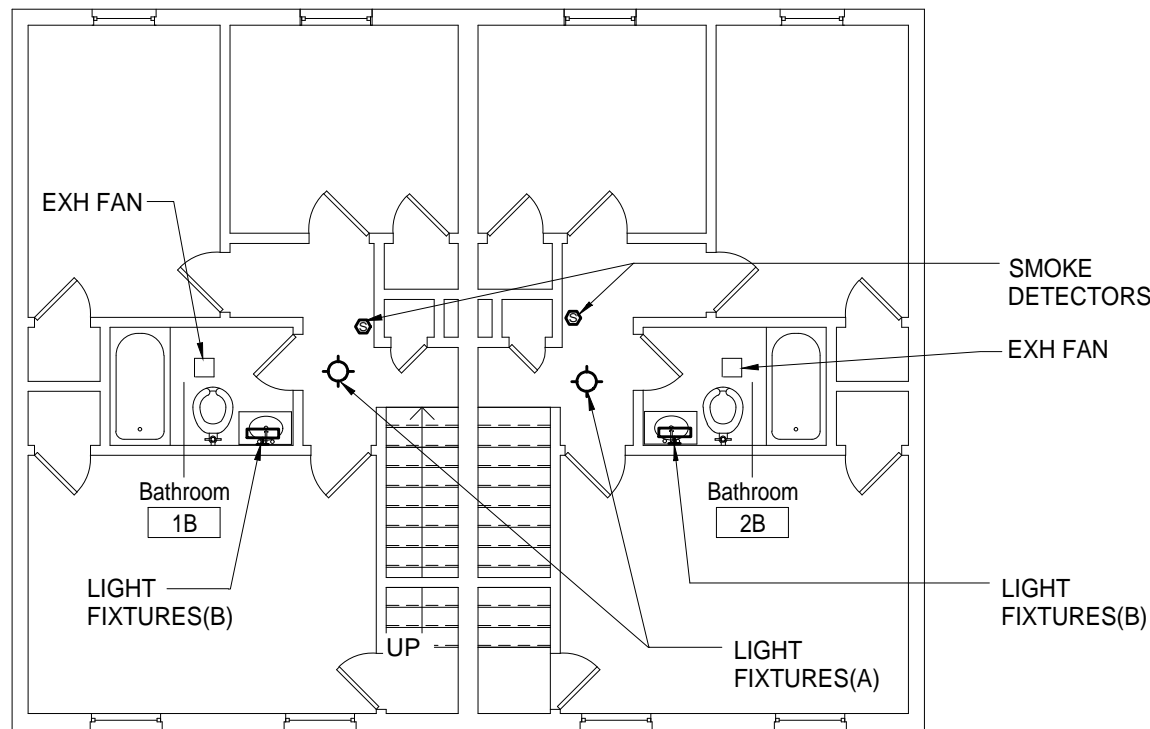
Family  
Community -  
Type J/UFAS

R3A PROJECT # 15074B





1 Basement Floor Electrical Plan  
1/8" = 1'-0"

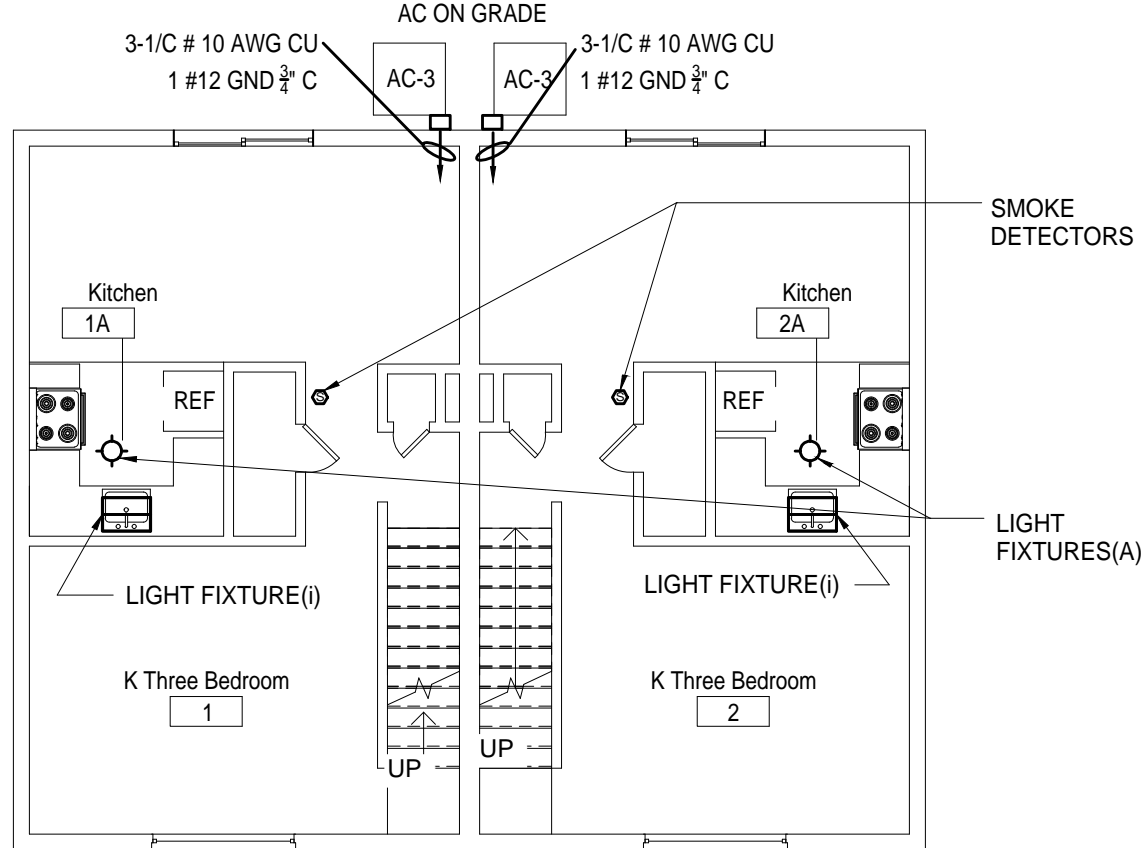


3 Second Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN KIND, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

### ELECTRICAL NOTES

- INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K)
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.



2 First Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP	VOLTAGE	REMARKS
			NO. DESCRIPTION		
FIXTURE (g)	BROWNLEE LIGHTING 2358BNC17LEDW427K	CEILING / SURFACE	1 LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1 LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS907YB2LED930	WALL / SURFACE	1 LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHJLD0650C140UE -T35LRQA0602W	CEILING/ RECESSED	1 LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1 LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWP000C1X37USK0Z	WALL	1 LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (i)	ESTILUZ LIGHTING 12902-2X26W-79WHM	CEILING	1 LED ARRAY	120	LOBBY
FIXTURE (j)	MERCURY LIGHTING LMA-14M-4200-35K-UXX-UNV-EM7	CEILING	1 LED ARRAY	120	RECESSED LIGHTING
FIXTURE (k)	JUNO UPLED09	UNDER CABINET	1 LED ARRAY	120	SURFACE MOUNT
FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1 LED ARRAY	120	DO NOT REPLACE FIXTURE

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

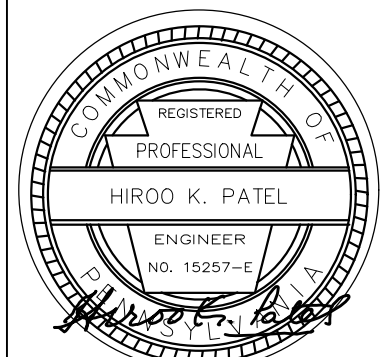
### ELECTRICAL NOTES (CONT)

- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- ALL WIRING SHALL BE COPPER.
- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN.

NOTE:  
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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
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- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IEC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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CARNEGIE, PENNSYLVANIA

Alies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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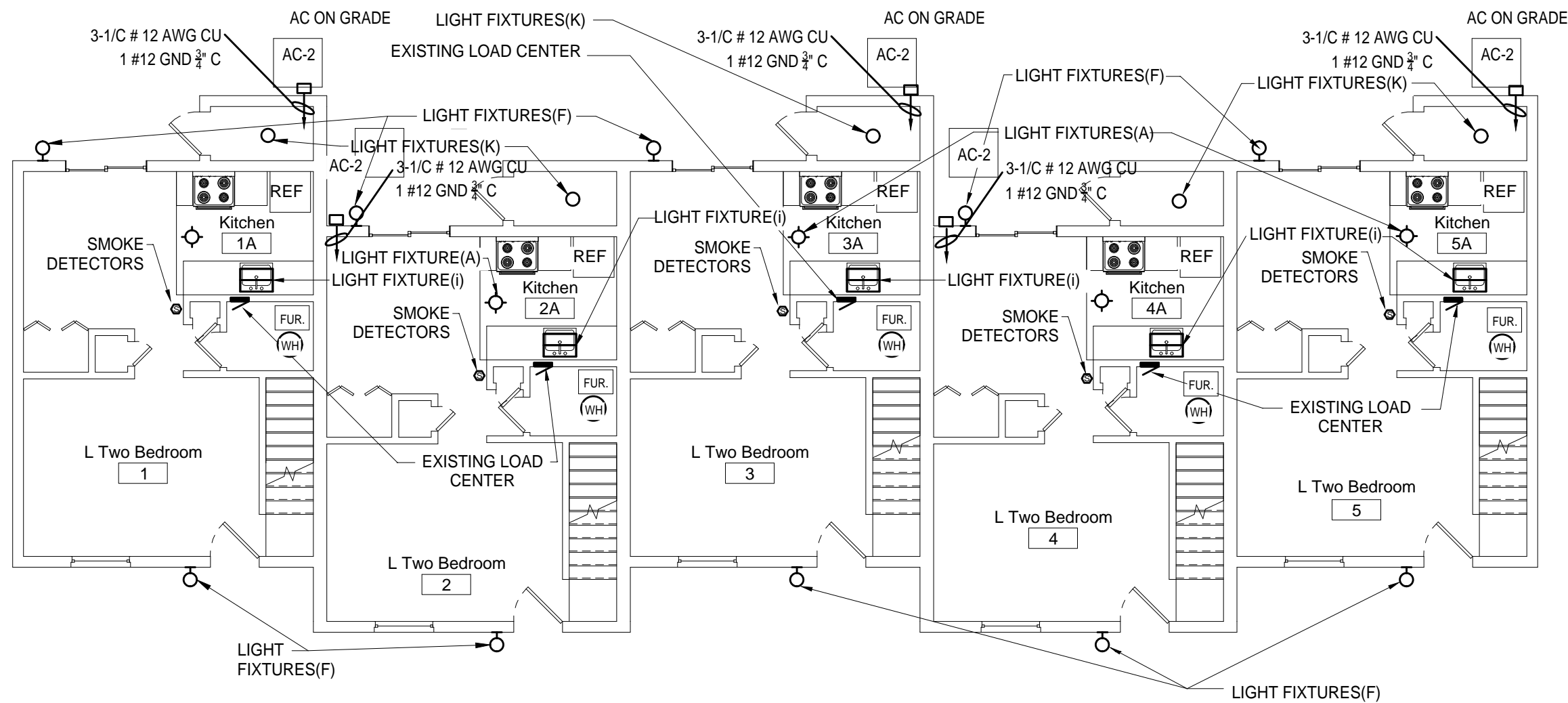
CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

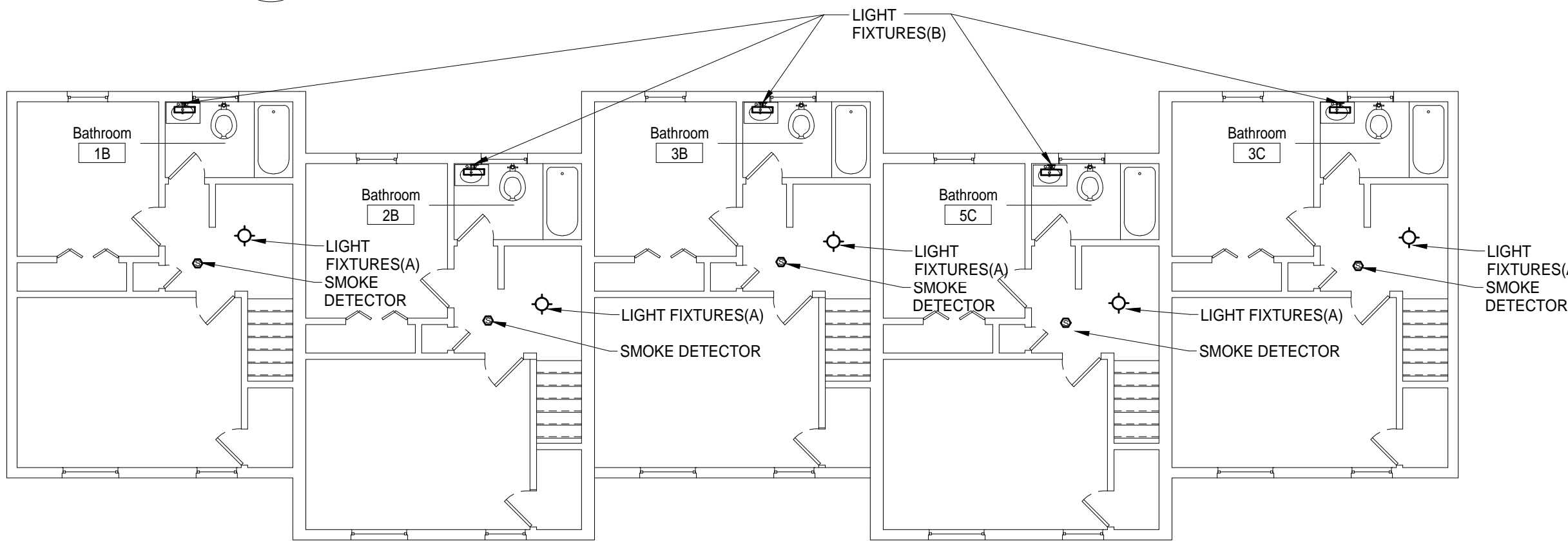
REVISIONS

Family  
Community -  
Type K

R3A PROJECT # 15074B



1 First Floor Electrical Plan  
1/8" = 1'-0"



2 Second Floor Electrical Plan  
1/8" = 1'-0"

### ELECTRICAL NOTES

- INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K).
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

### ELECTRICAL NOTES

- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- ALL WIRING SHALL BE COPPER.
- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN.

### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

### LIGHTING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 23358NC17LEDWAZK	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YBZLED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHJLDO650C140UE -T35LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DFLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPOOC2C1X37USK4CZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING E2002 2X20W-75WWM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
FIXTURE (k)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

- ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

### LOAD CENTER PANEL SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

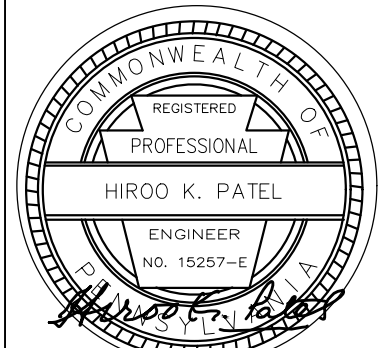
- MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
- STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
- ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. FURNITURE REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE REPAIRED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design

Technology

Sustainability

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Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: October 27, 2017

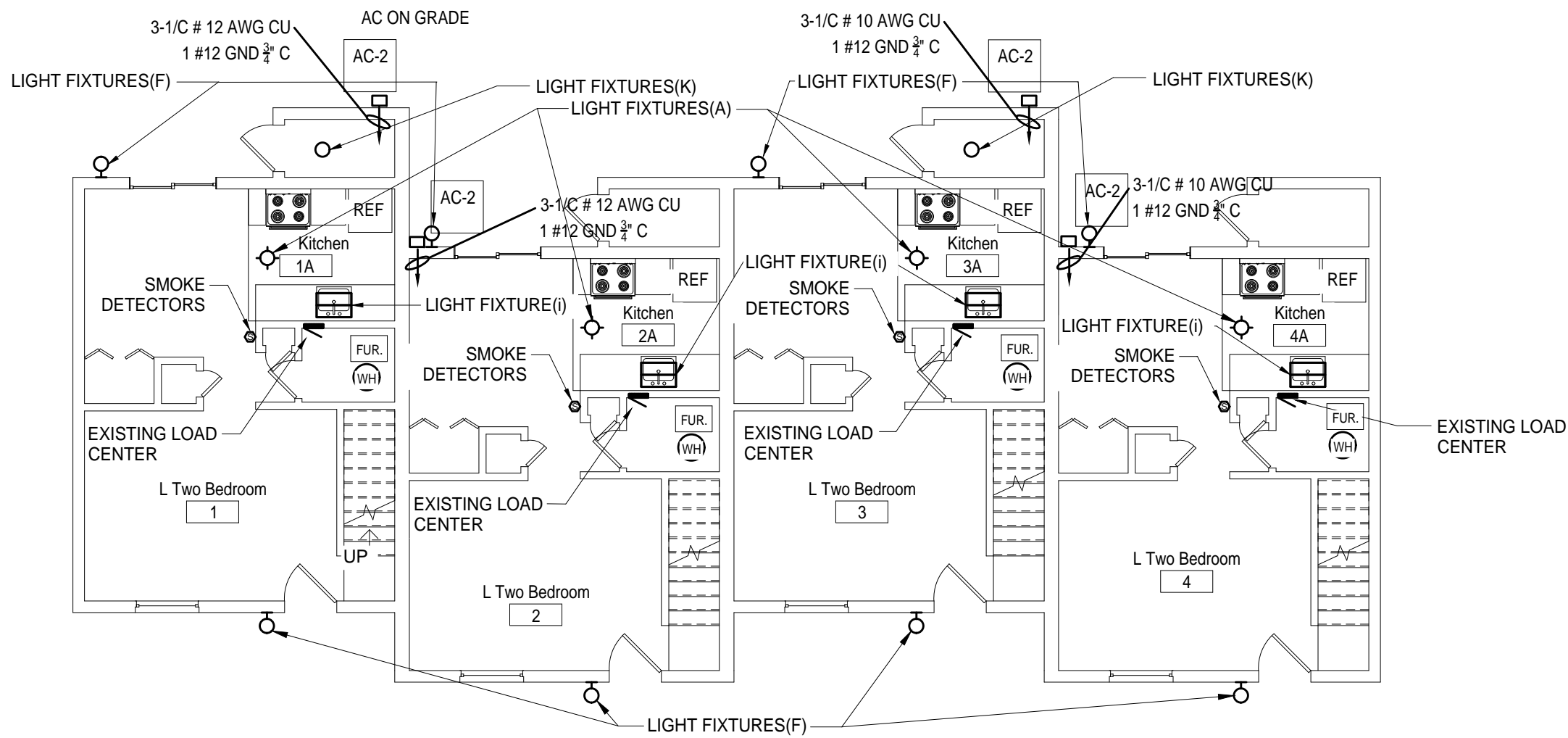
REVISIONS

Family  
Community -  
Type L

R3A PROJECT # 15074B

E-121



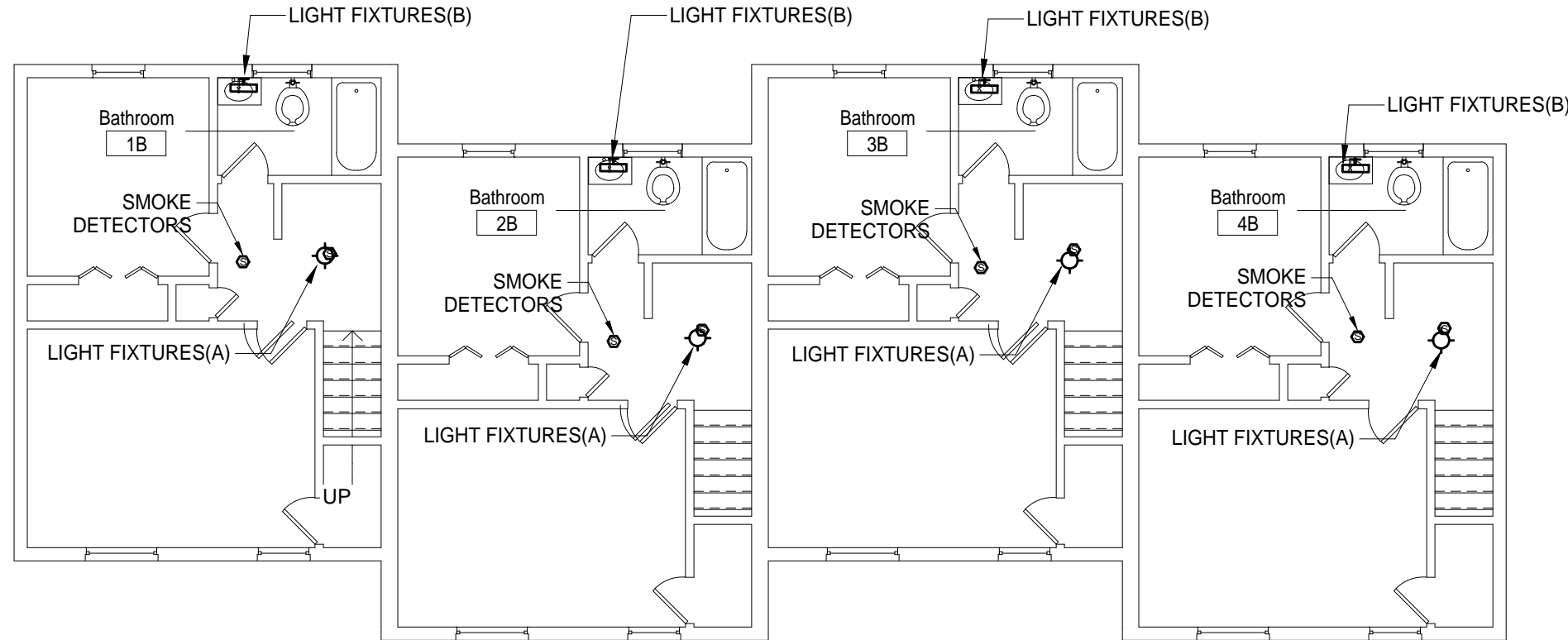


1 First Floor Electrical Plan  
1/8" = 1'-0"




ELECTRICAL NOTES
1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND, AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS. 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE FOR FIXTURE(K)
8. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

ELECTRICAL NOTES (CONT)
11. INSTALL WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
12. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
13. ALL WIRING SHALL BE COPPER.
14. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN.

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)



2 Second Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 FIXTURE (c)	LBL LIGHTING WS9070Y82LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (d)	LITON LHAJLD0850C140UE -T35/LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPC0QC1X37USKCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 FIXTURE (g)	ESTILUZ LIGHTING I2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
 FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
 FIXTURE (i)	JUNO UPLD309	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
 FIXTURE (K)	BASEMENT/STORAGE FIXTURE		1	LED ARRAY	120	DO NOT REPLACE FIXTURE

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

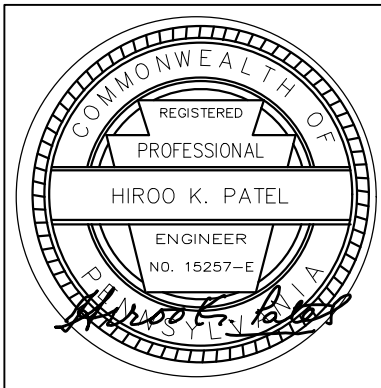
LOAD CENTER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
LOAD CENTER PANEL	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
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- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BERNICE CRAWLEY HIGH RISE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
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