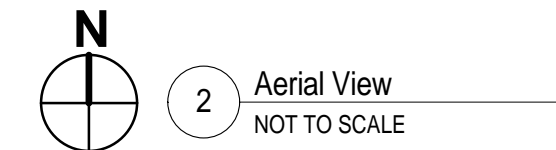
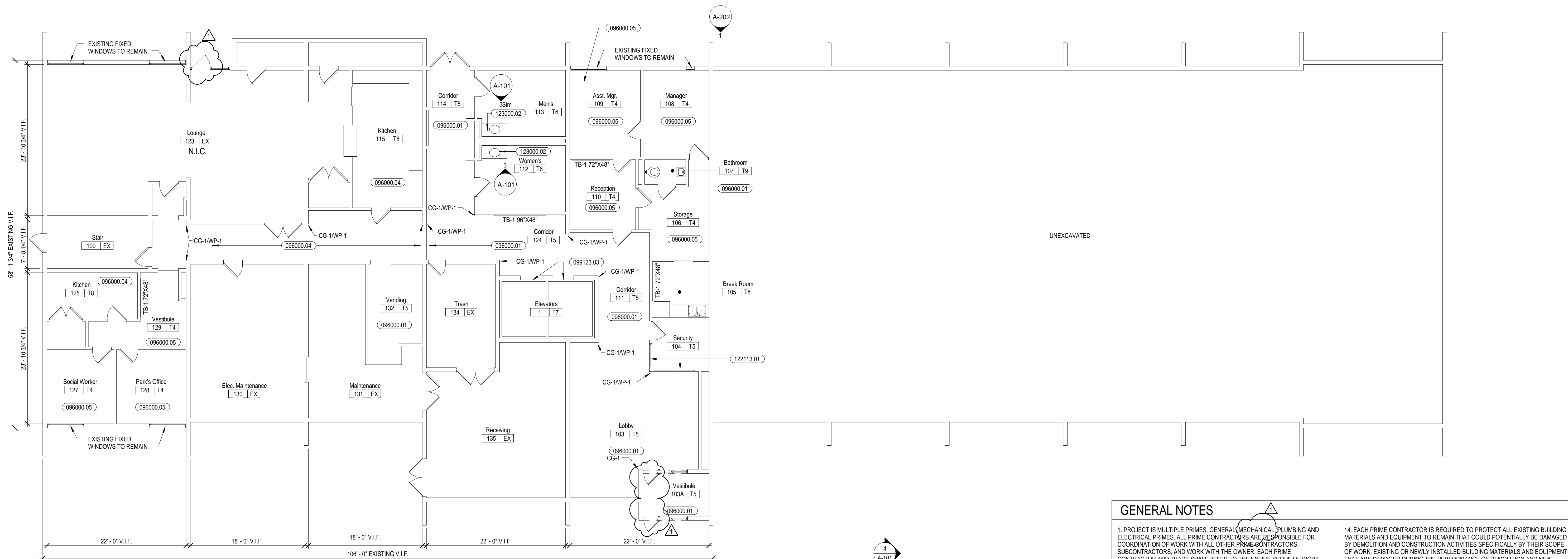


945 Roselle Ct  
Pittsburgh, PA 15207

## ADDENDA 2

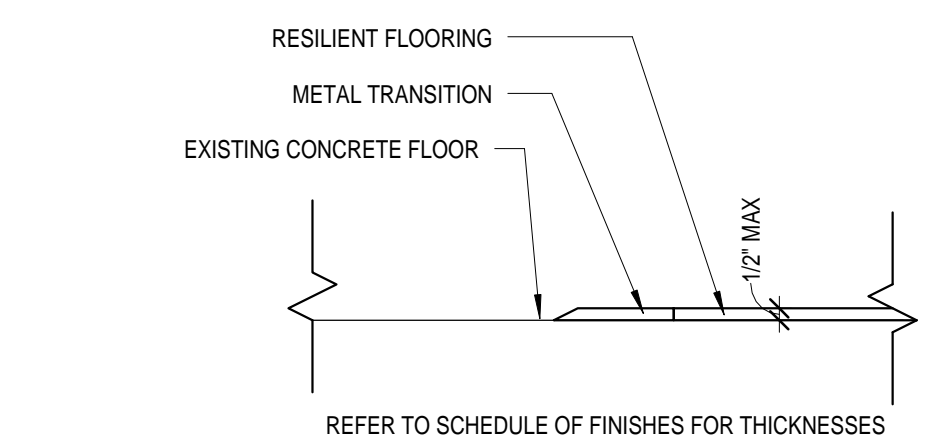
September 11, 2017



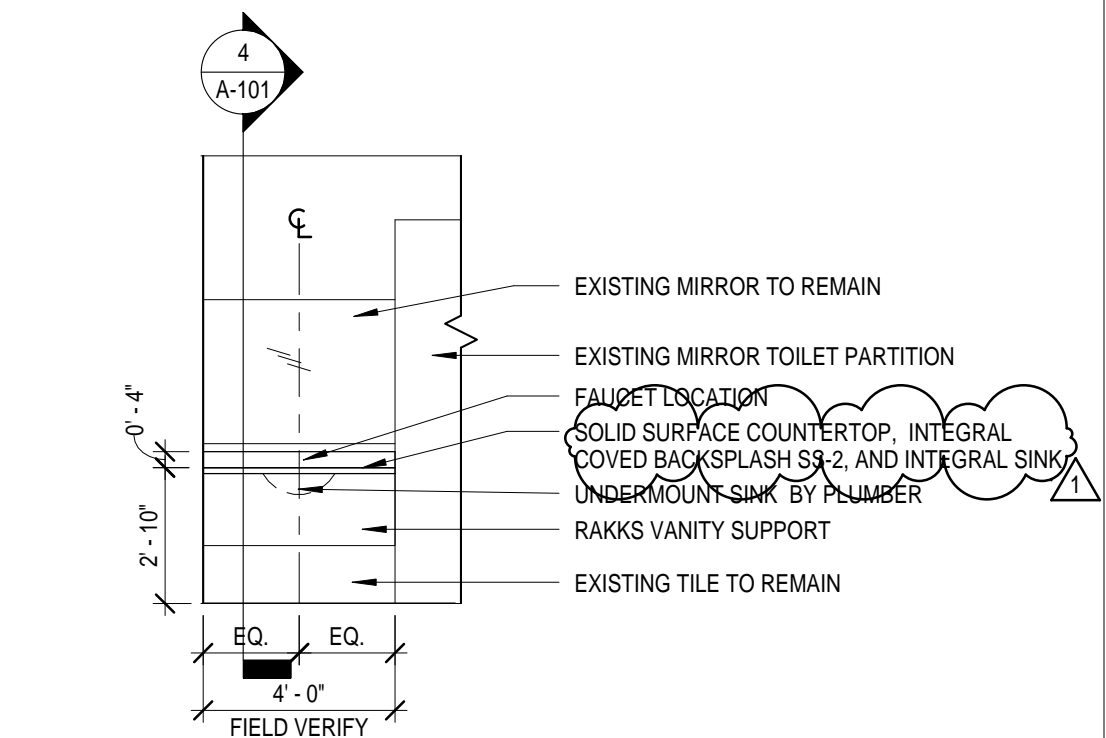
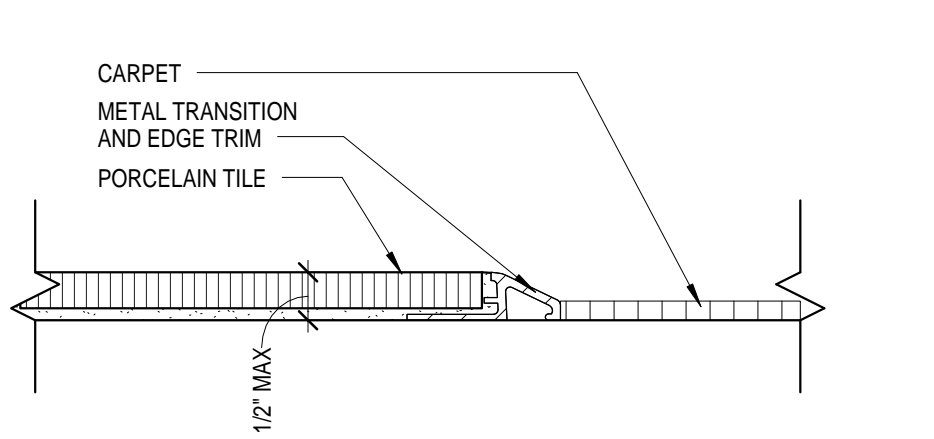
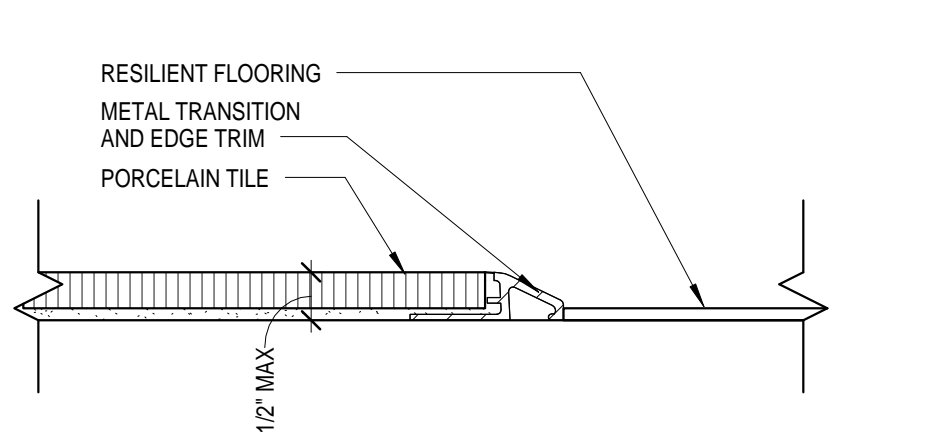


1 First Floor Plan  
1/8" = 1'-0"

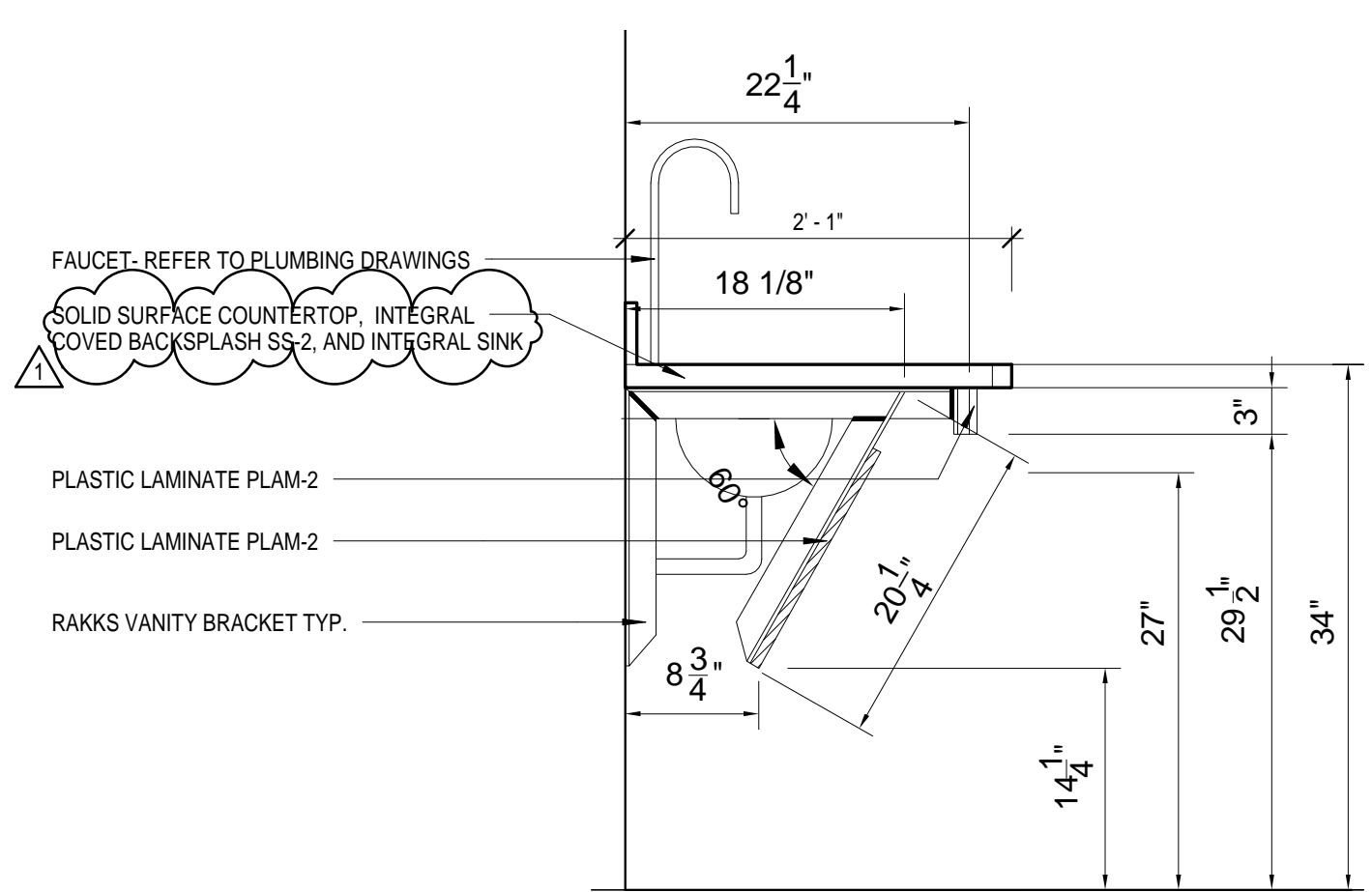
085000.01  
099123.04  
099123.05  
TYPICAL THIS BUILDING U.N.O.



2 Transition Details  
6" = 1'-0"



3 Restroom Vanity - First Floor Only  
1/4" = 1'-0"

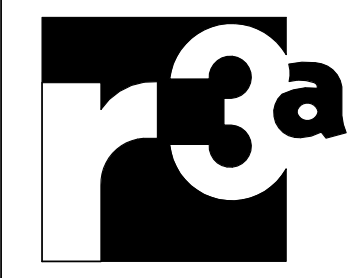
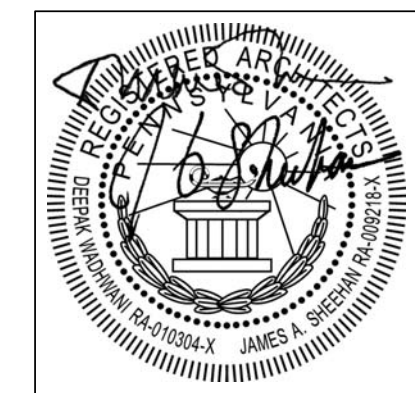


4 Typical Vanity Section - First Floor Only  
1" = 1'-0"

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDINGS WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN, WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE, WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-101 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES BEING ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH HACPS TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM 208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGHRISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL PEELABLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. REFER TO OWNER FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.01	REMOVE AND DISCARD EXISTING CERAMIC TILE FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL PORCELAIN TILE AND PORCELAIN TILE BASE.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107.
096000.05	REMOVE AND DISCARD EXISTING CARPET FLOORING AND RUBBER BASE. FURNISH AND INSTALL CARPET TILE AND RUBBER BASE.
096000.06	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL PORCELAIN TILE AND RUBBER BASE.
099123.03	CLEAN, SAND, AND PREPARE ELEVATOR DOOR SURFACES TO RECEIVE 1 COAT OF PRIMER 2 COATS OF PAINT. PT-9
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE - COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6 - COMMON AREAS.
122113.01	FURNISH AND INSTALL NEW BLINDS TO FIT EXISTING WINDOWS AT SECURITY DESK.
123000.02	REMOVE AND DISCARD EXISTING VANITY, COUNTERTOP, SINK AND FAUCET. FURNISH AND INSTALL NEW COUNTERTOP AND VANITY PER DETAIL 384/A-401. COORDINATE WITH PLUMBING PRIME



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

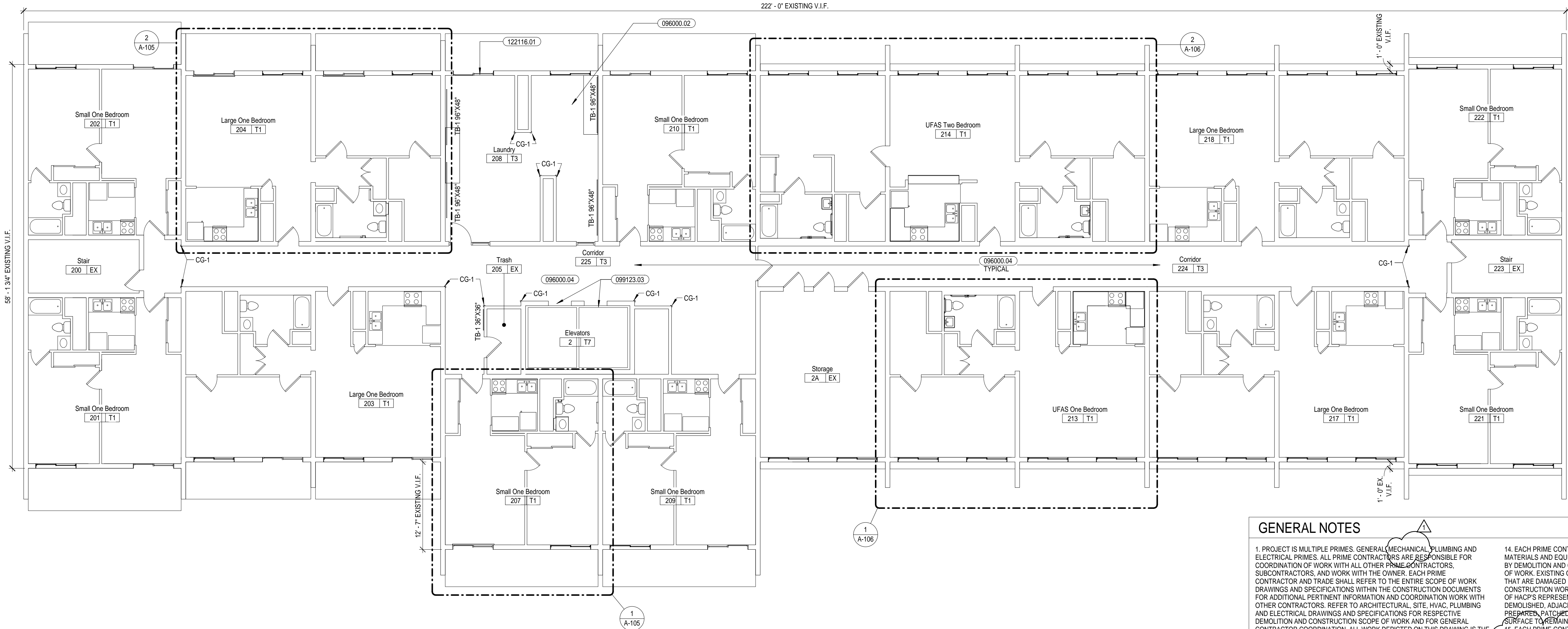
ISSUED: August 11, 2017  
REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice Crawley  
High Rise - First  
Floor Plan

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-101





1 Second Floor Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	EXISTING VINYL FLOORING TO REMAIN. REMOVE AND DISCARD EXISTING BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.03	CLEAN, SAND, AND PREPARE ELEVATOR DOOR SURFACES TO RECEIVE 1 COAT OF PRIMER 2 COATS OF PAINT. PT-9
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE- COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6 - COMMON AREAS.
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITION AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-101 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH RISE COMMON LAUNDRY ROOMS.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARDWARE AND REPLACE ALL FLEXIBLE HOSE AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOTH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-101 FOR WALL TB-1 LOCATIONS AND ELEVATION DETAILS. REFER TO DRAWING FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

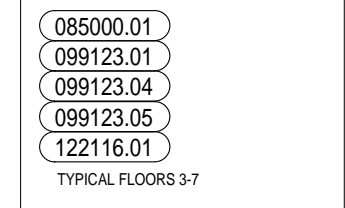
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
Second Floor Plan

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

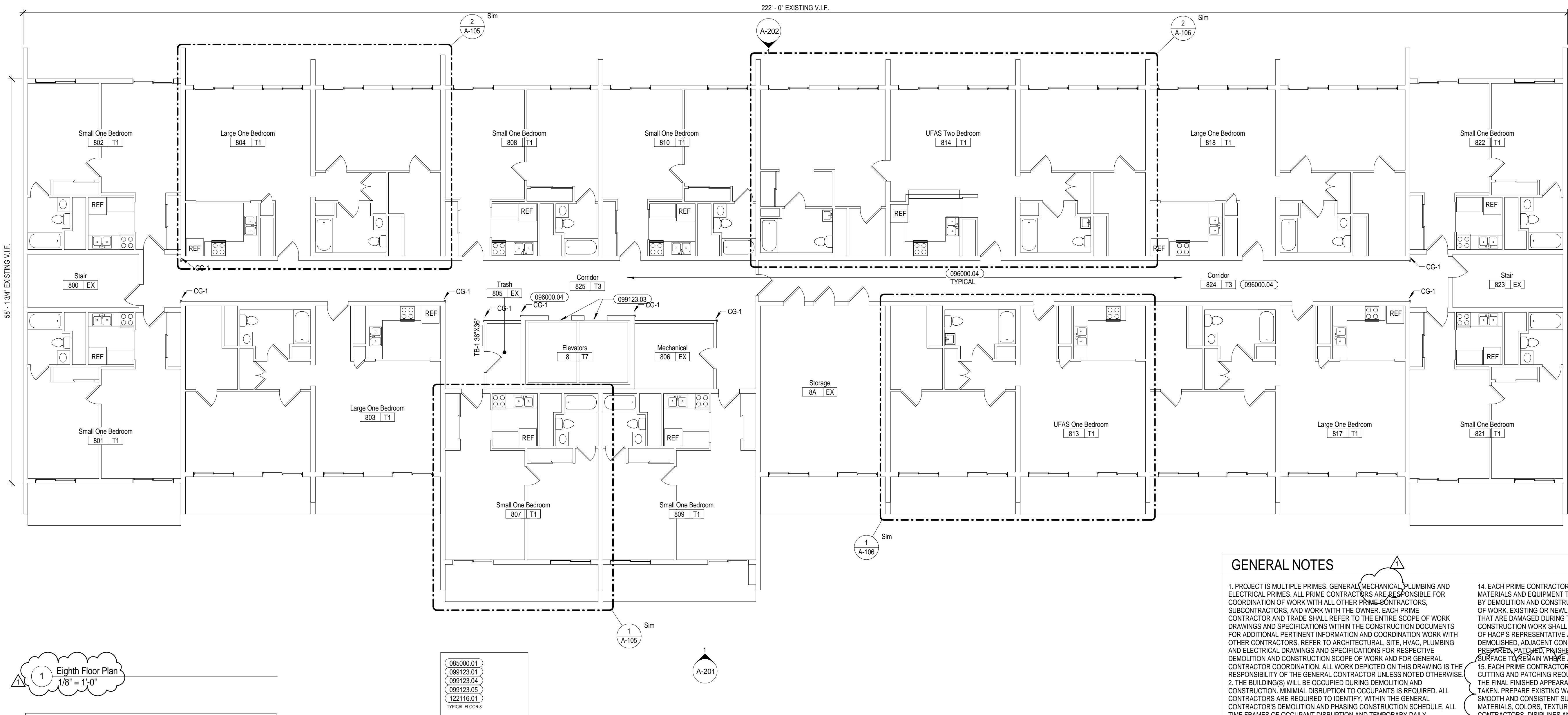
A-102



# GENERAL NOTES

1. PROJECT IS MULTIPLE PRIZES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL COORDINATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL PRIME CONTRACTOR COORDINATION AND COORDINATION WORK. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS SHALL MAINTAIN ACCESS TO OCCUPANCY AND ACCESS TO CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE. ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES, DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT, ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT SHALL BE REQUIRED TO PROVIDE FOR TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. CONTRACTORS SHALL VERIFY CONDITIONS ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS AND AREA REFERENCES ARE TO BE VERIFIED IN THE FIELD, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '01200 ALLOWANCES' AND '01200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL, FINISH REQUIREMENTS AND PROVIDE AND MATCH ALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. CONTRACTORS SHALL CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. REMOVE, DEMOLISH, REMOVE DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPLIANCES ARE TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND THE REQUIREMENTS OF WORK WITHIN THE 24 USAS UNITS MUST COMPLY AND MEET U.S. REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCB, UFS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GLASS, GLASS DOWNPOINTS, WINDOWS AND GUARDRAILS, UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF RISK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. REMOVE ALL FLOOR TRANSITIONS AT ALL SUSPECT FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN, WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-01 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSEST SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT EACH TOILET. TOILET ACCESSORIES WHERE BATHTUBS ARE BEING REPLACED, INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHWAYS COMPLAINT LAUNDRY ROOM.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE A HAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HANDPICKED AND REPLACE ALL FRIABLE AND NON-FRIABLE FLOOR, FLOOR HOSES AND OTHER SURFACES. REQUESTS FOR MORE FOR DRYERS FOR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 ON THE BOTTOM UO/L.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN REFER TO A-167 FOR WALL HACP'S LOCATIONS AND ELEVATION DETAIL. REFER TO A-167 FOR SPECIFICATIONS.
34. IN NON-BACTERIAL PATTERNS, PAINTS AND FINISHES AROUND ALL SINKS, VANITY TOPS AND TUB SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.





1  
Eighth Floor Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.04	REMOVE AND DISCARD EXISTING CARPET FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL FINISHES PER FINISH PLAN A-107.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.03	CLEAN, SAND, AND PREPARE ELEVATOR DOOR SURFACES TO RECEIVE 1 COAT OF PRIMER 2 COATS OF PAINT. PT-9.
099123.04	EXISTING INTERIOR WOOD DOORS TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE 2 COATS OF CLEAR POLYURETHANE. COMMON AREAS.
099123.05	EXISTING INTERIOR PAINTED WOOD DOORS AND FRAMES TO BE CLEANED, SANDED, AND PREPARED TO RECEIVE ONE COAT OF PRIMER AND 2 COATS OF PAINT PT-6. COMMON AREAS.
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS, UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITION AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH RISE COMMON LAUNDRY ROOMS.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-104 FOR V.P.T.B.G. 1 LOCATIONS AND ELEVATION DATA. REFER TO OWNER FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
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Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

## CONSTRUCTION DOCUMENTS

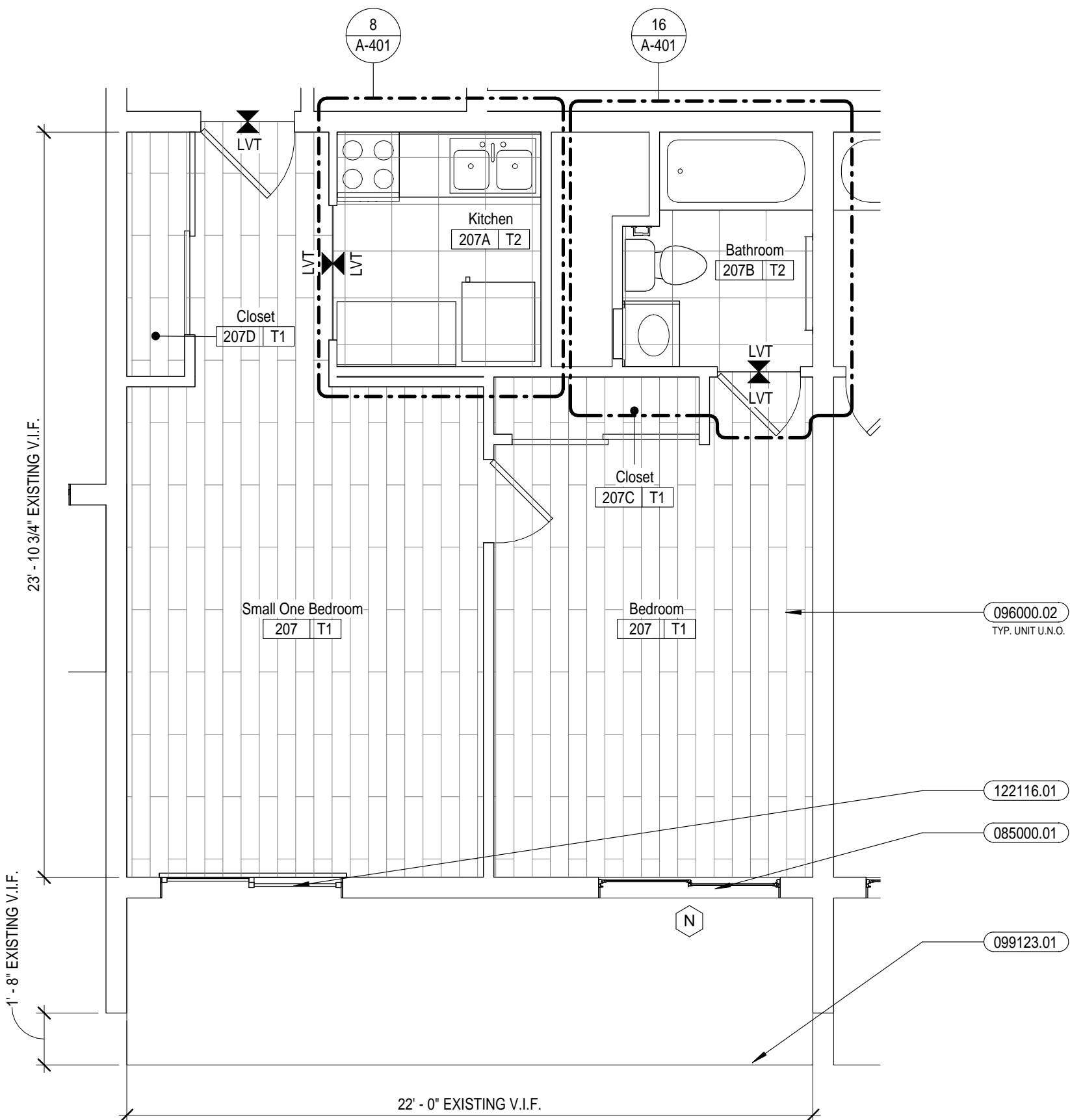
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

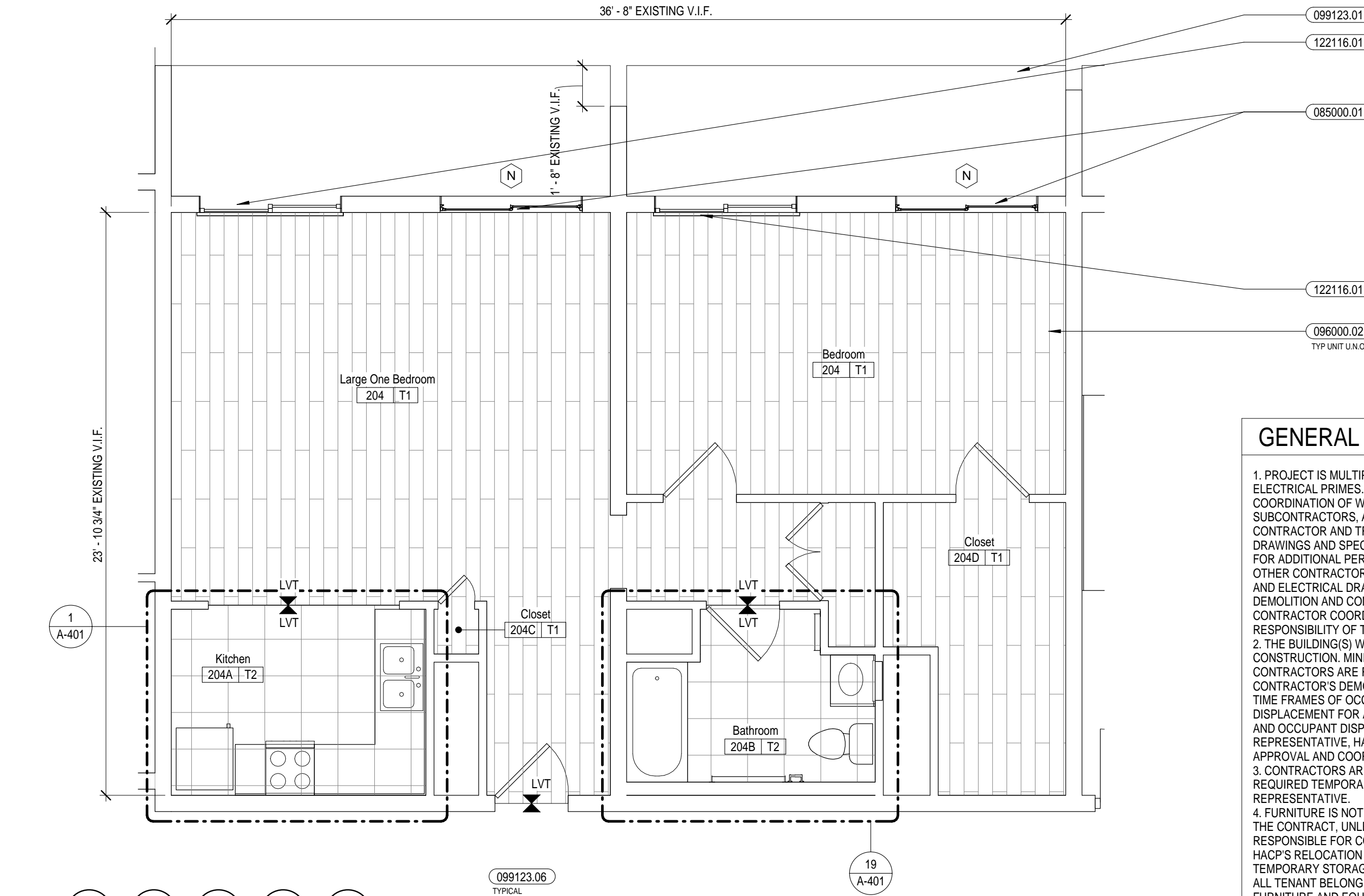
Bernice Crawley  
High Rise - Eighth  
Floor Plan

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-104



1 Small One Bedroom Enlarged Plan - Typical  
1/4" = 1'-0"



2 Large One Bedroom Enlarged Plan - Typical  
1/4" = 1'-0"

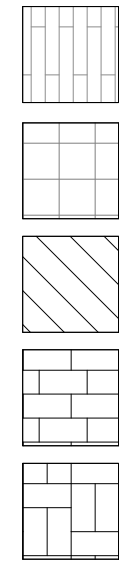
REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	EXISTING VINYL FLOORING TO REMAIN. REMOVE AND DISCARD EXISTING BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.06	DOORS IN APARTMENT UNITS SHALL REMAIN EXISTING WOOD STAIN. PAINT DOOR FRAMES IN APARTMENT UNITS TYP. CLEAN, SAND, AND PREPARE FRAMES TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10
122116.01	FURNISH AND INSTALL WINDOW BLINDS AT EXISTING EXTERIOR SLIDING DOORS.

HIGH RISE FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
T4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
T5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
T6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
T7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
T8	LVT-3	PT-1	RB-1	EX	
T9	POR-3	PT-5/EX CT	POR BASE	EX	

- NOTES
1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 090000 FOR FINISHES ON DOORS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.
  6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER.
  7. PAINT ELEVATOR DOORS PT-9; ALL FLOORS; CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

## KEY

LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
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PT = PAINT  
CT = CERAMIC TILE  
REFER TO A-107/A-108 FOR FINISH PLAN



## GENERAL NOTES

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2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC. NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TYPE REMAINING AND BE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES. SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH HACPS TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH RISE COMMON LAUNDRY ROOMS.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HABS/PIPE AND REPLACE ALL EXISTING HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-107 FOR VERTICAL LOCATIONS AND ELEVATION DETAIL. REFER TO DOOR FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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Allies & Ross  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

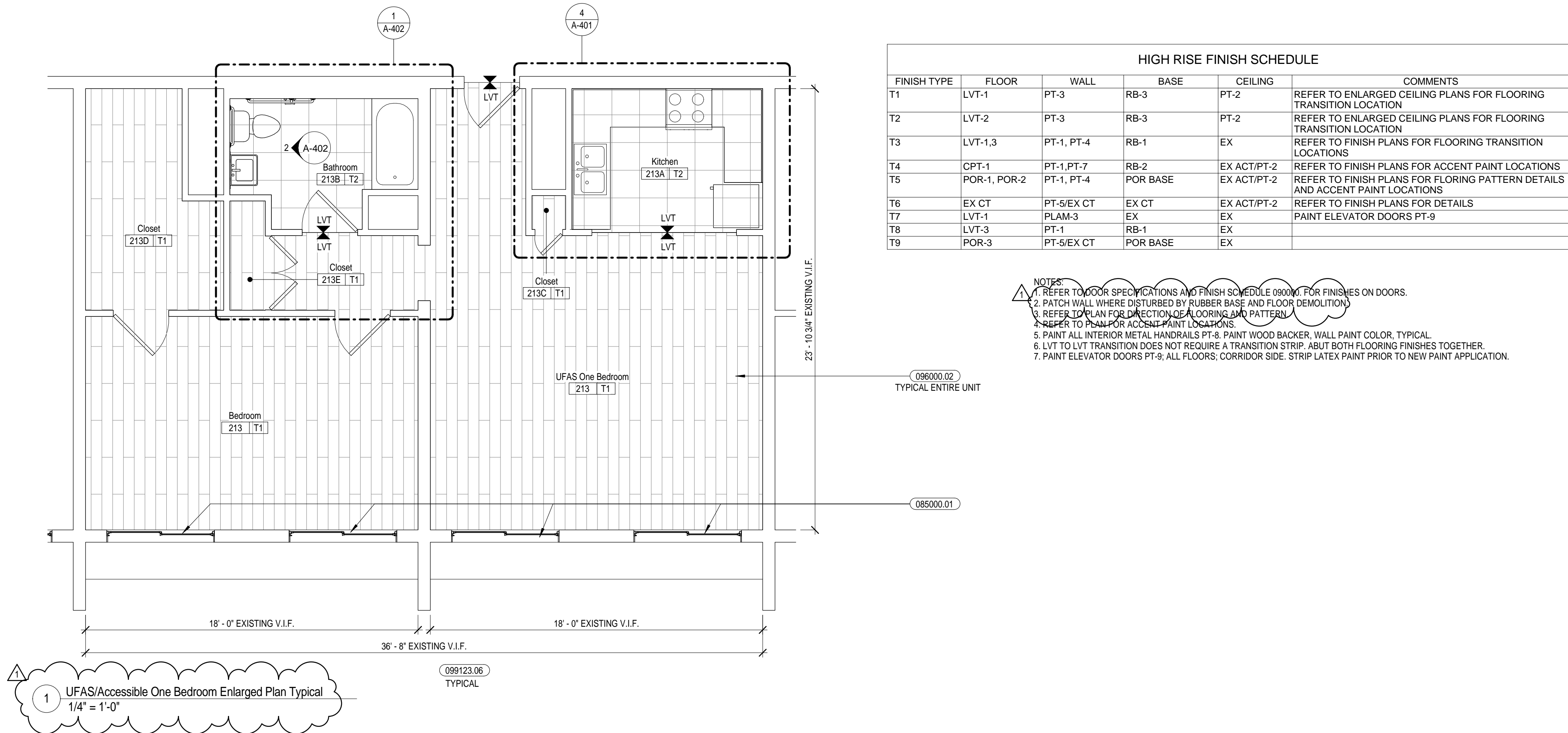
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Bernice Crawley  
High Rise - Small  
& Large One  
Bedroom  
Enlarged Plans

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-105





HIGH RISE FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
T4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
T5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
T6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
T7	LVT-1	PLAM-3	EX	EX	PAIN ELEVATOR DOORS PT-9
T8	LVT-3	PT-1	RB-1	EX	
T9	POR-3	PT-5/EX CT	POR BASE	EX	

- NOTES:  
1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE 090001 FOR FINISHES ON DOORS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
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5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.  
6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER.  
7. PAINT ELEVATOR DOORS PT-9; ALL FLOORS, CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	COORDINATE SCOPE OF WORK WITH HVAC, PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL UNITS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. INSTALL FLOORING UNDERNEATH NEW CASEWORK IN ALL UNITS.
099123.01	REMOVE AND SALVAGE RAILINGS. STRIP DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.06	DOORS IN APARTMENT UNITS SHALL REMAIN EXISTING WOOD STAIN. PAINT DOOR FRAMES IN APARTMENT UNITS TYP. CLEAN, SAND, AND PREPARE FRAMES TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10

## KEY

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EX = EXISTING TO REMAIN
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REFER TO A-107/A-108 FOR FINISH PLAN
LVT
LVT
CPT
POR
POR

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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- NOTES 16 - 18 NOT USED.
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- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
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- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
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- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-106 FOR WIP-106-1 LOCATIONS AND ELEVATION DETAIL. REFER TO 090001 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

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Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

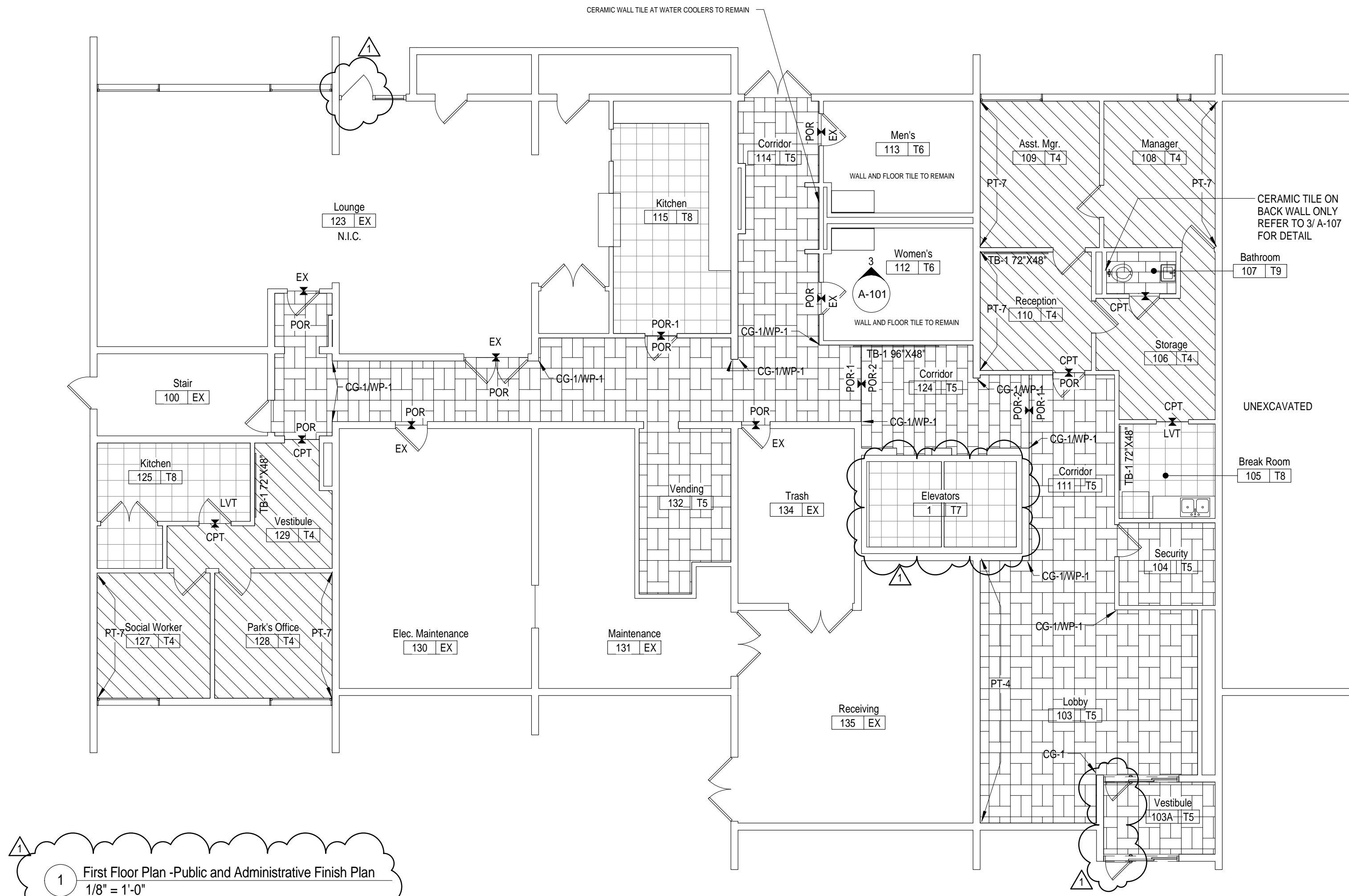
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REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

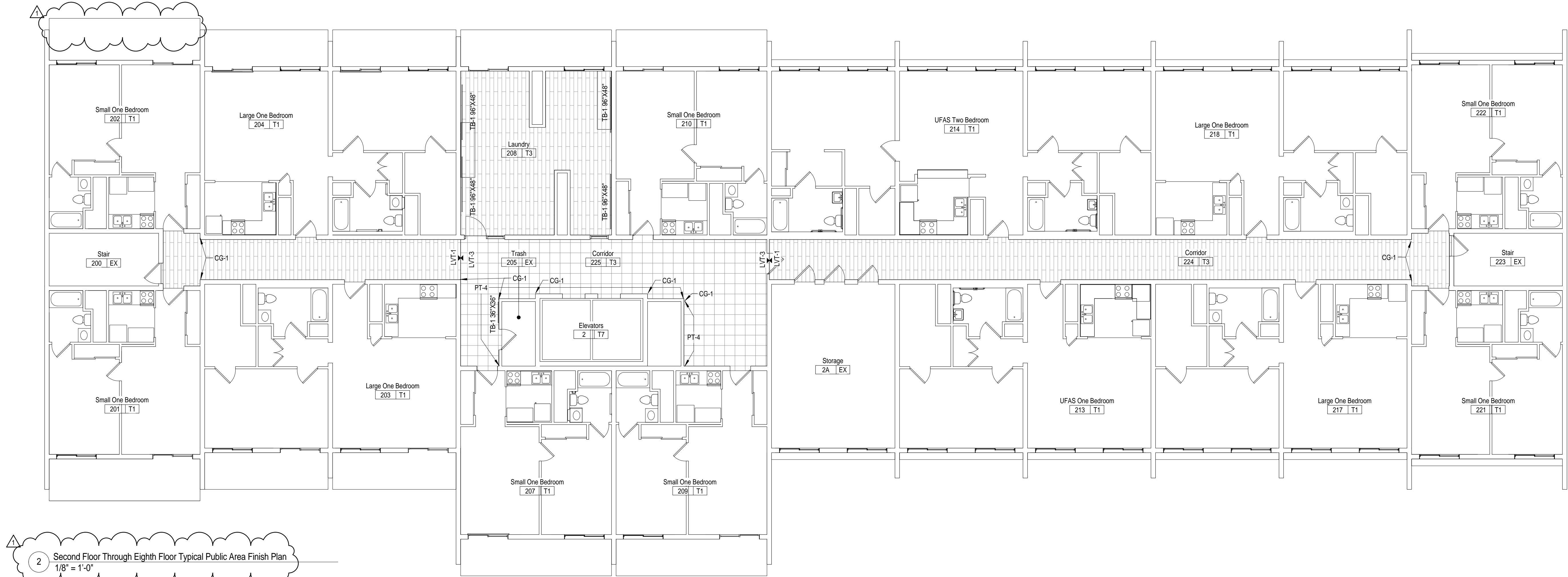
Bernice Crawley  
High Rise - UFAS  
One & Two  
Bedroom  
Enlarged Plans

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-106



1 First Floor Plan -Public and Administrative Finish Plan  
1/8" = 1'-0"

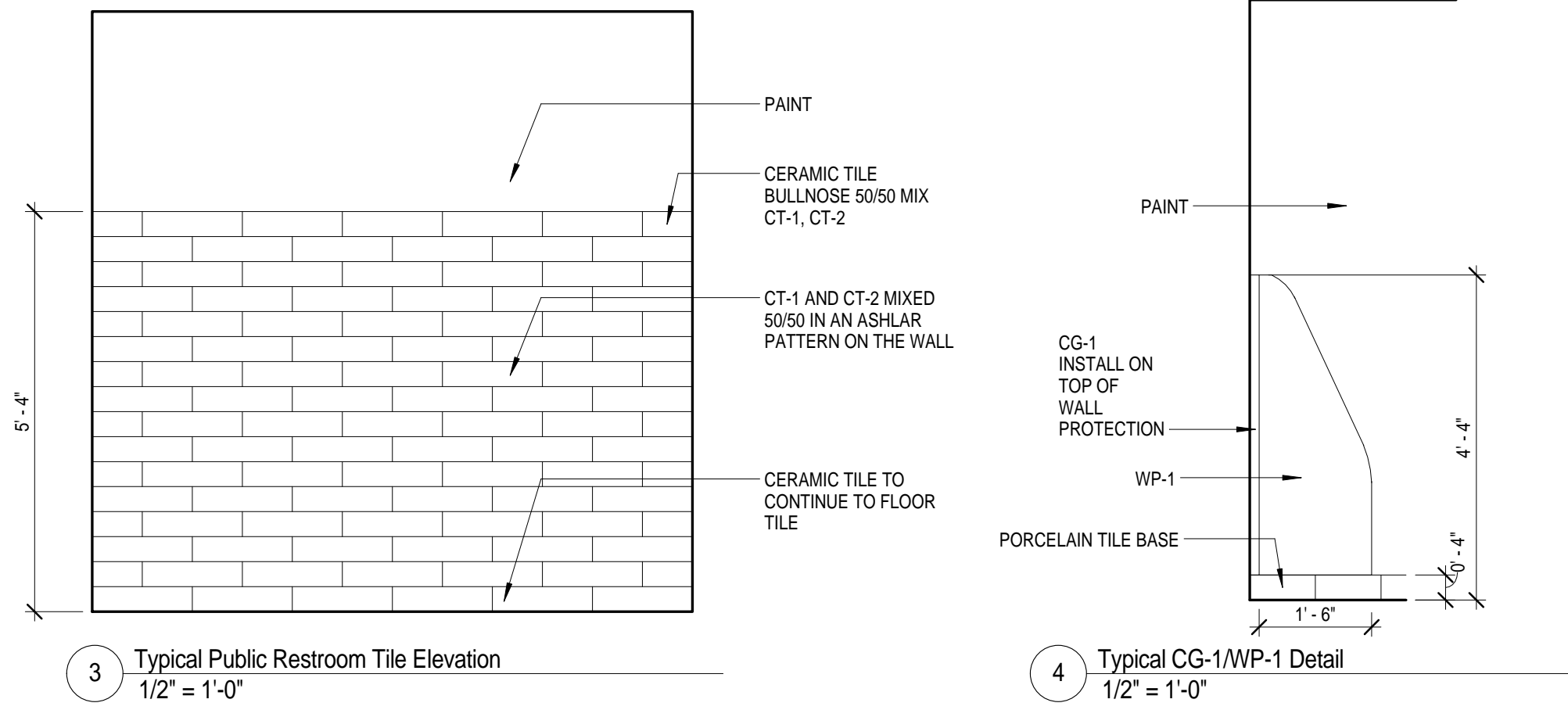


2 Second Floor Through Eighth Floor Typical Public Area Finish Plan  
1/8" = 1'-0"

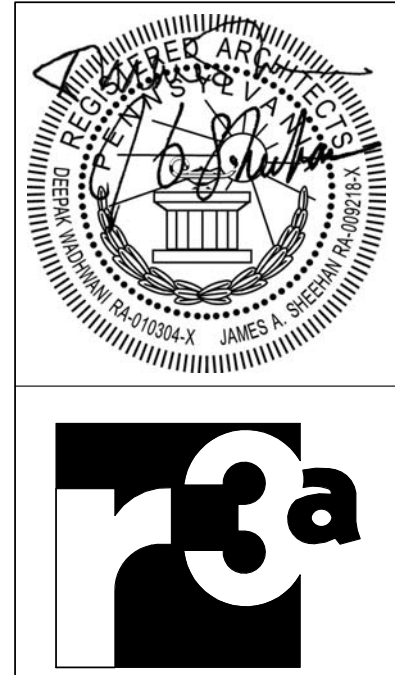
NOTES:  
1. REFER TO ENLARGED UNIT PLANS ON DRAWING. A-105 AND A-106 FOR TYPICAL UNIT FINISH PLANS

HIGH RISE FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T2	LVT-2	PT-3	RB-3	PT-2	REFER TO ENLARGED CEILING PLANS FOR FLOORING TRANSITION LOCATION
T3	LVT-1,3	PT-1, PT-4	RB-1	EX	REFER TO FINISH PLANS FOR FLOORING TRANSITION LOCATIONS
T4	CPT-1	PT-1,PT-7	RB-2	EX ACT/PT-2	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS
T5	POR-1, POR-2	PT-1, PT-4	POR BASE	EX ACT/PT-2	REFER TO FINISH PLANS FOR FLORING PATTERN DETAILS AND ACCENT PAINT LOCATIONS
T6	EX CT	PT-5/EX CT	EX CT	EX ACT/PT-2	REFER TO FINISH PLANS FOR DETAILS
T7	LVT-1	PLAM-3	EX	EX	PAINT ELEVATOR DOORS PT-9
T8	LVT-3	PT-1	RB-1	EX	
T9	POR-3	PT-5/EX CT	POR BASE	EX	

- NOTES:  
1. REFER TO DOOR SPECIFICATIONS AND FINISH SCHEDULE (SS004) FOR FINISHES ON DOORS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. PAINT ALL INTERIOR METAL HANDRAILS PT-8. PAINT WOOD BACKER, WALL PAINT COLOR, TYPICAL.  
6. LVT TO LVT TRANSITION DOES NOT REQUIRE A TRANSITION STRIP. ABUT BOTH FLOORING FINISHES TOGETHER.  
7. PAINT ELEVATOR DOORS PT-9. ALL FLOORS. CORRIDOR SIDE. STRIP LATEX PAINT PRIOR TO NEW PAINT APPLICATION.



KEY	
	LVT = LUXURY VINYL TILE
	CPT = CARPET TILE
	POR = PORCELAIN TILE
	EX = EXISTING TO REMAIN
	RB = RUBBER BASE
	PT = PAINT
	CT = CERAMIC TILE
REFER TO A-107/A-108 FOR FINISH PLAN	



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)  
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Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017  
REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice Crawley  
High Rise - Finish  
Plans

1 9.11.17 [REV 1/ADDENDA 2]  
R3A PROJECT # 15074B

A-107



A-111

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE BILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN, WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH CONTRACTORS REMOVING EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #40.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BENEFIT CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HOSE PIPING AND REPLACE ALL EXISTING HOT AND COLD WATER PIPES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN REFER TO KEY FOR VERTICAL LOCATIONS AND DETAIL ON DETAIL.
34. REFER TO SPECIFICATIONS FOR SPECIFIC LOCATIONS AND DETAIL ON DETAIL.
35. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
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DOCUMENTS

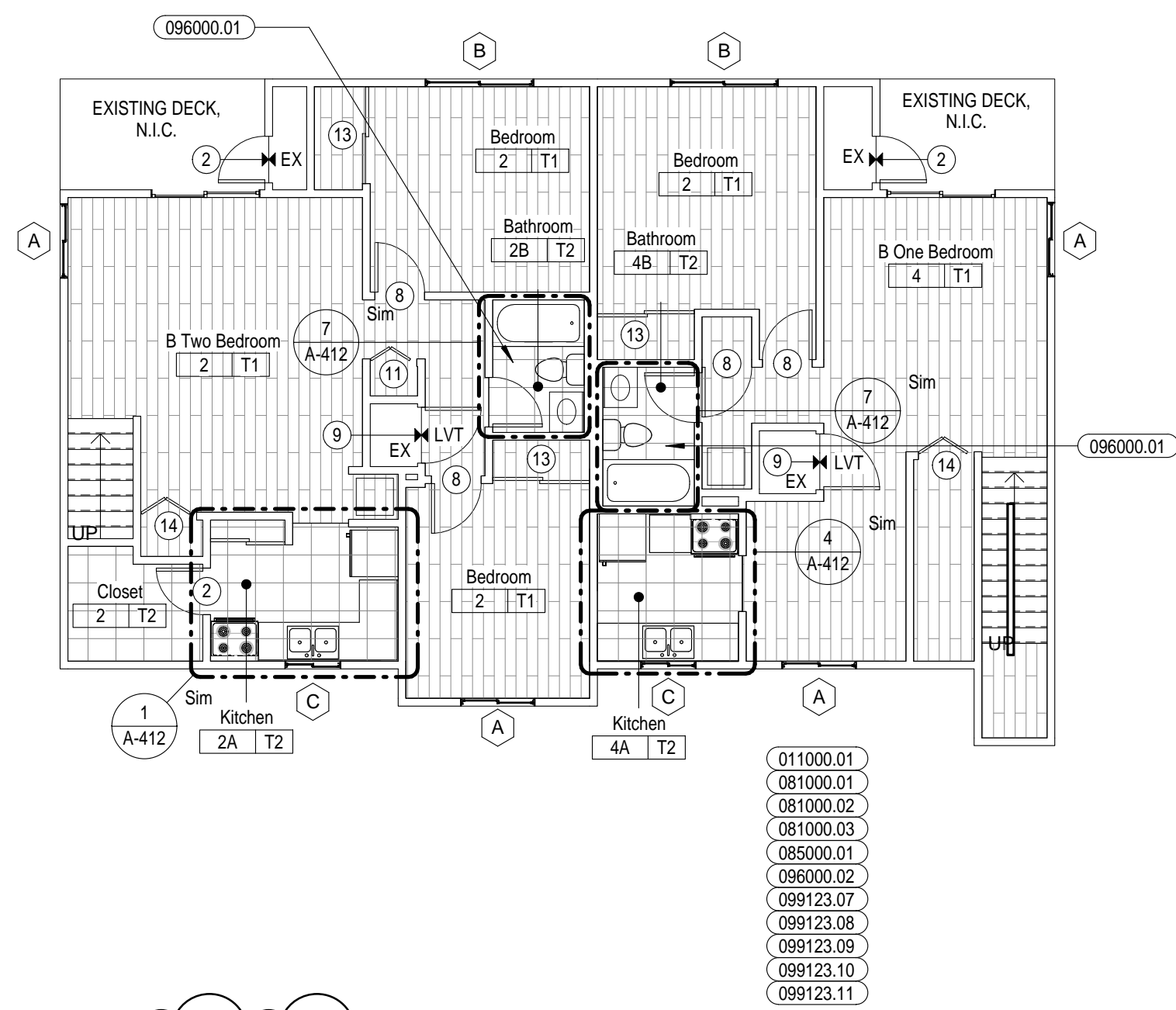
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

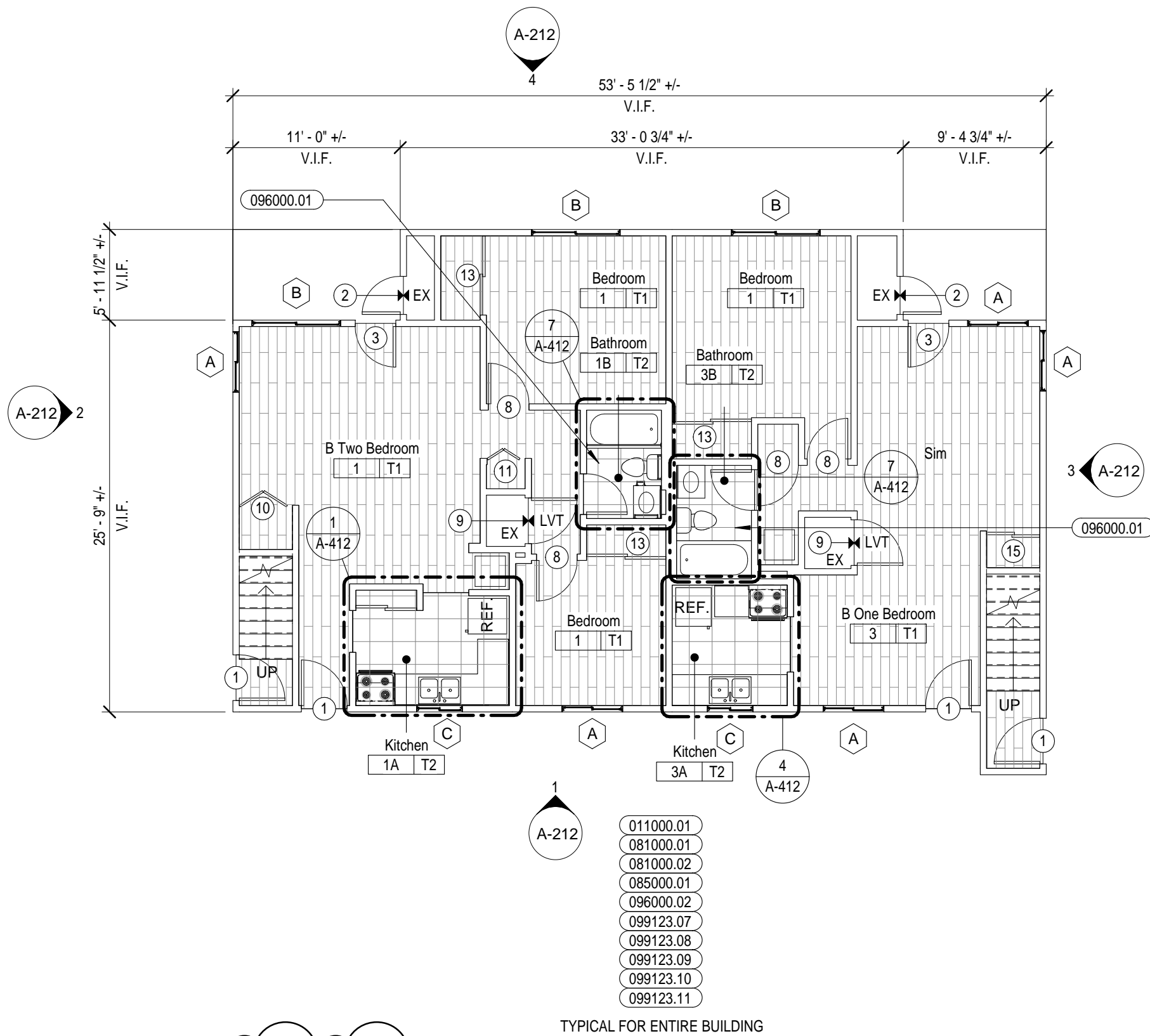
Family Community  
- Type B

R3A PROJECT # 15074B

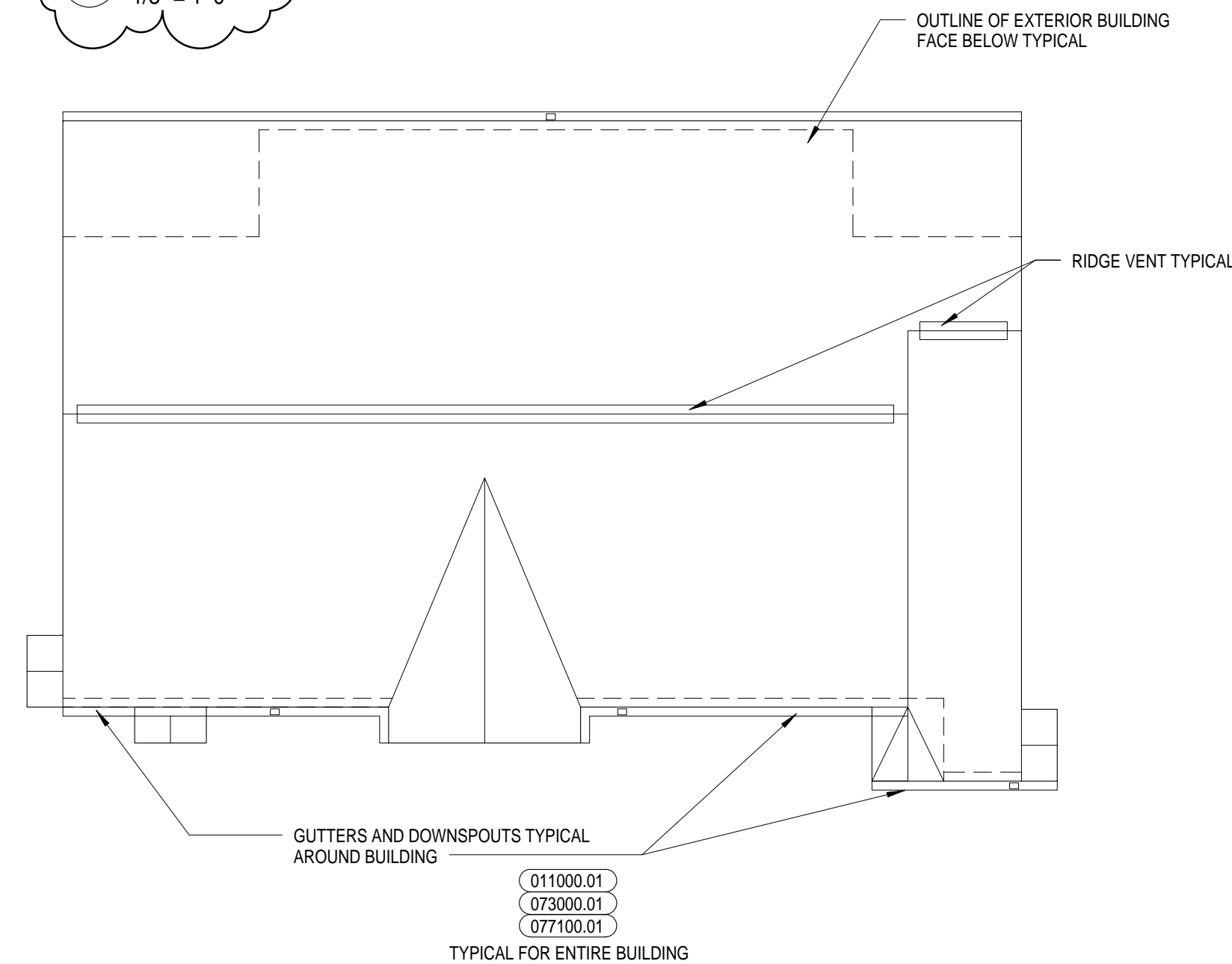
A-112



2 Second Floor Plan  
1/8" = 1'-0"



1 First Floor Plan  
1/8" = 1'-0"



3 Roof Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORINGS AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.

REFERENCED NOTES	
MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

- NOTES:  
1. REFER TO FINISH SCHEDULE ON ENLARGED PLANS FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE, AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

## KEY

LVT = LUXURY VINYL TILE

CPT = CARPET TILE

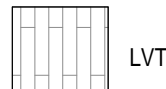
POR = PORCELAIN TILE

EX = EXISTING TO REMAIN

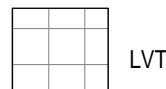
RB = RUBBER BASE

PT = PAINT

CT = CERAMIC TILE

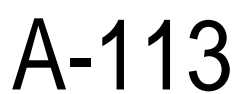


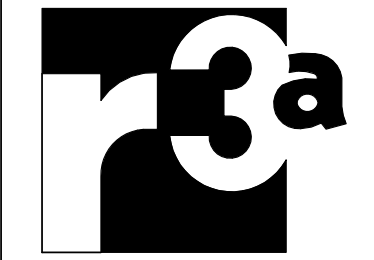
LVT



LVT







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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type D

R3A PROJECT # 15074B

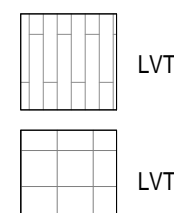
A-114

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE, HAC'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S RELOCATION CONSULTANT. HAC'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HAC'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
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- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE CRANE LIFT, EACH RISE PROPERTY MANAGER WILL OBTAIN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
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- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.

## KEY

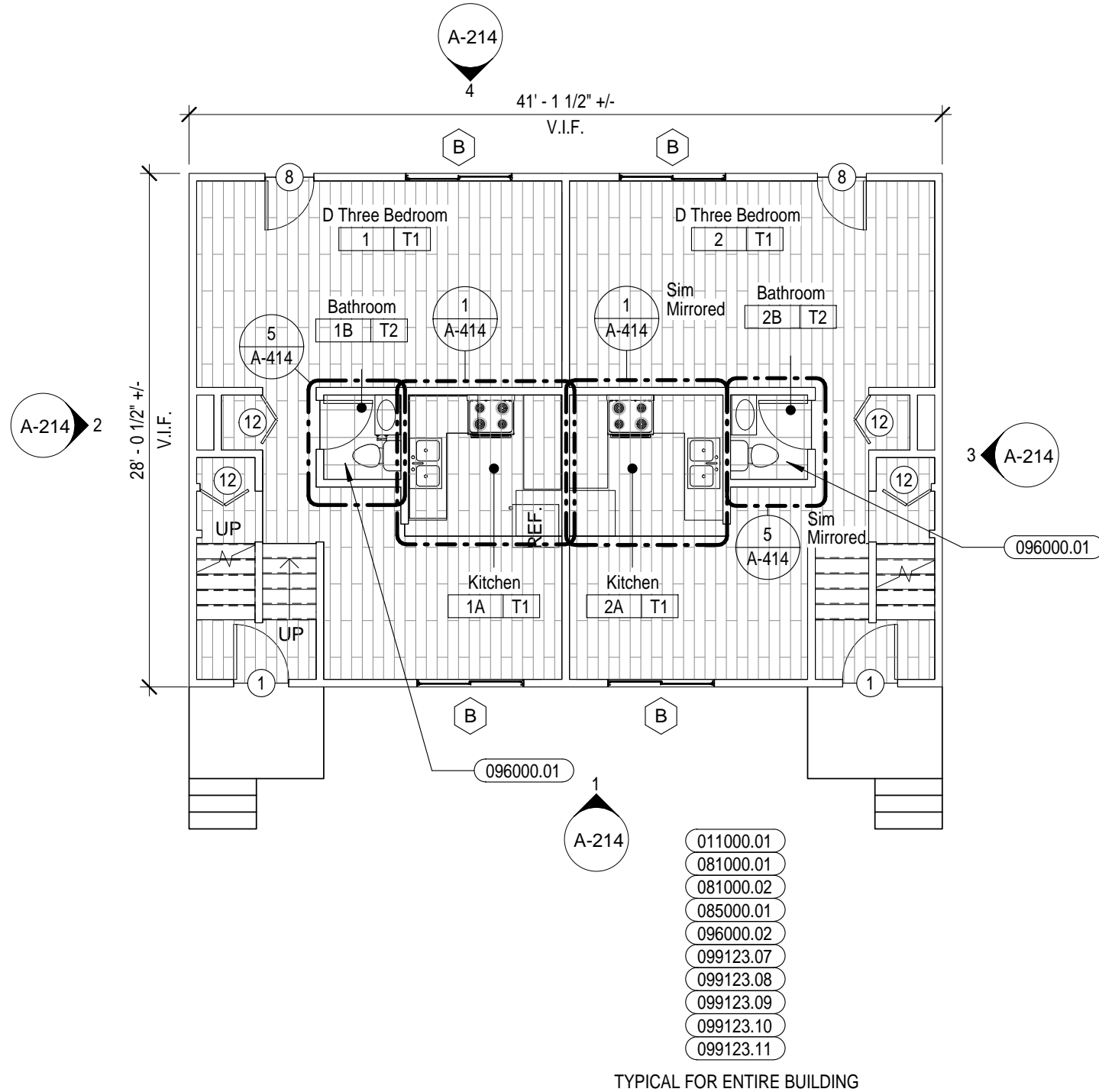
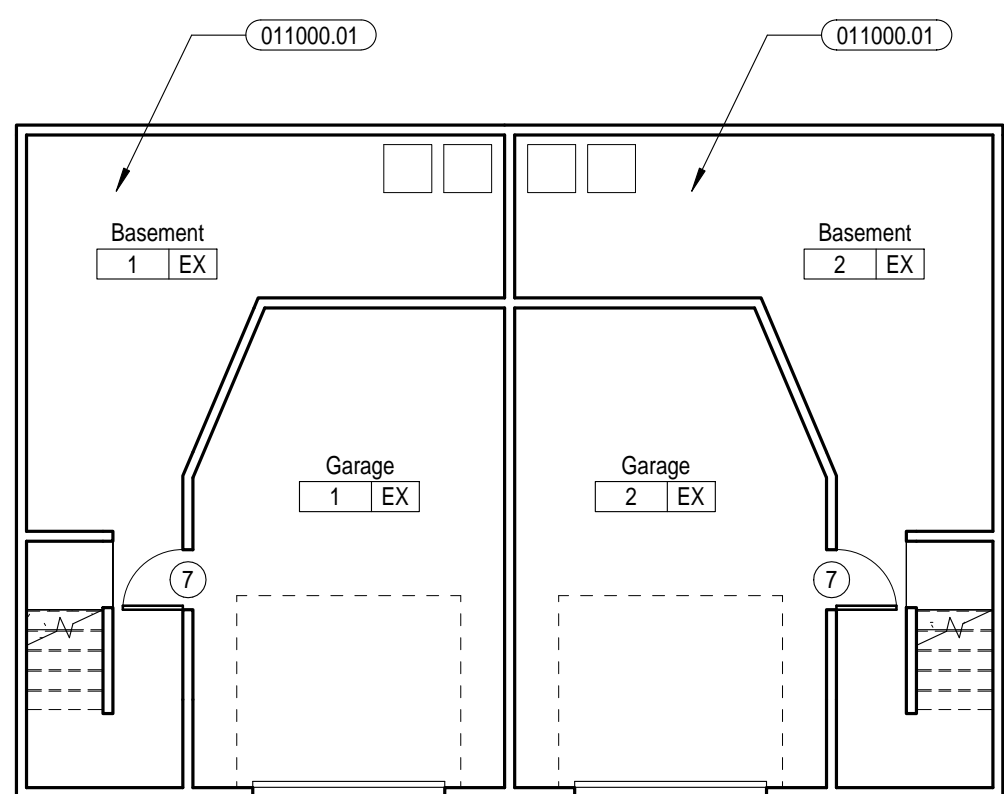
LVT = LUXURY VINYL TILE  
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## FINISH SCHEDULE

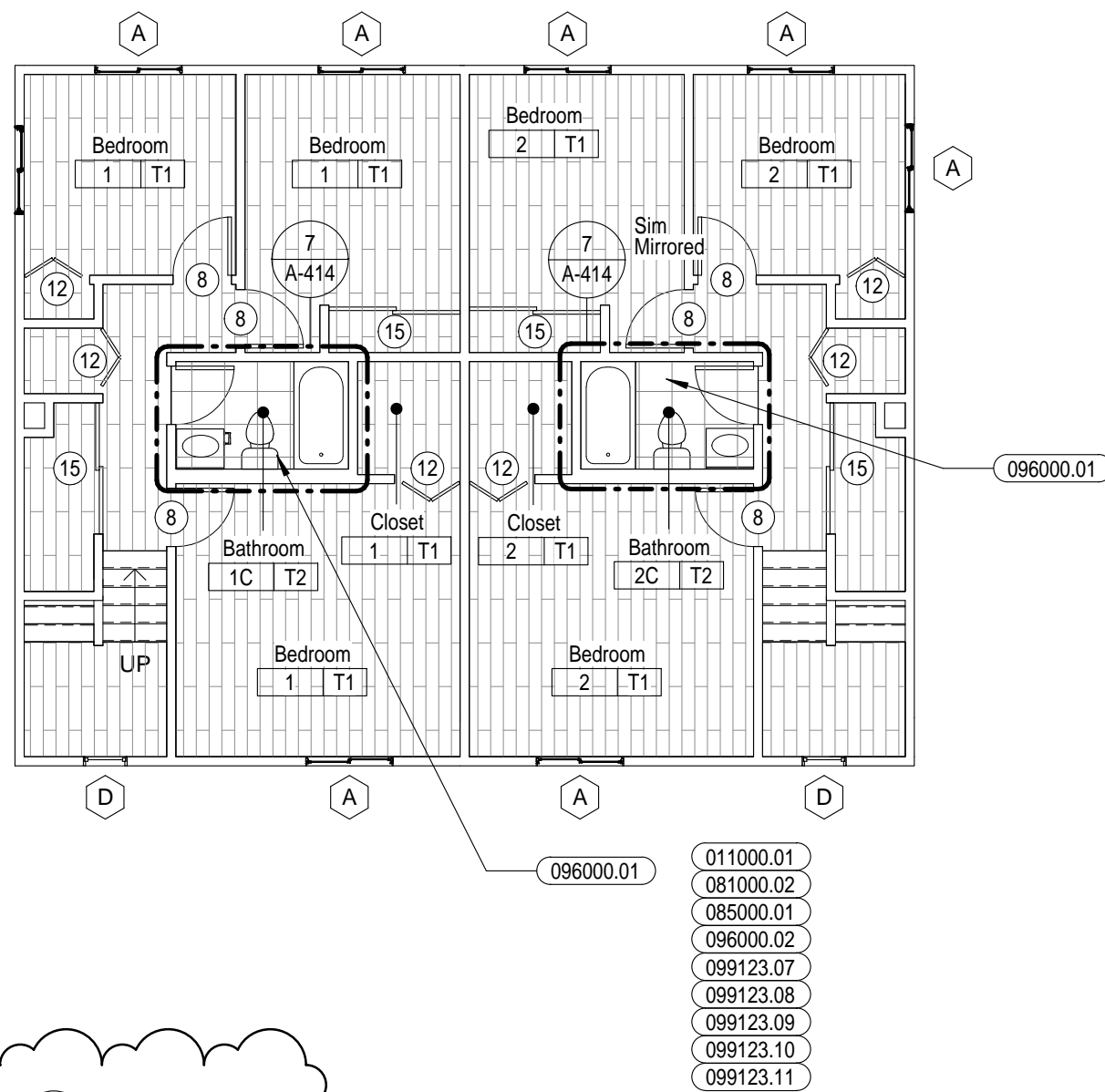
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

- NOTES:
- REFER TO DOOR SCHEDULE ON ENLARGED PLAN DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  - PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  - REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  - REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
  - LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.



1 Basement  
1/8" = 1'-0"

2 First Floor Plan  
1/8" = 1'-0"



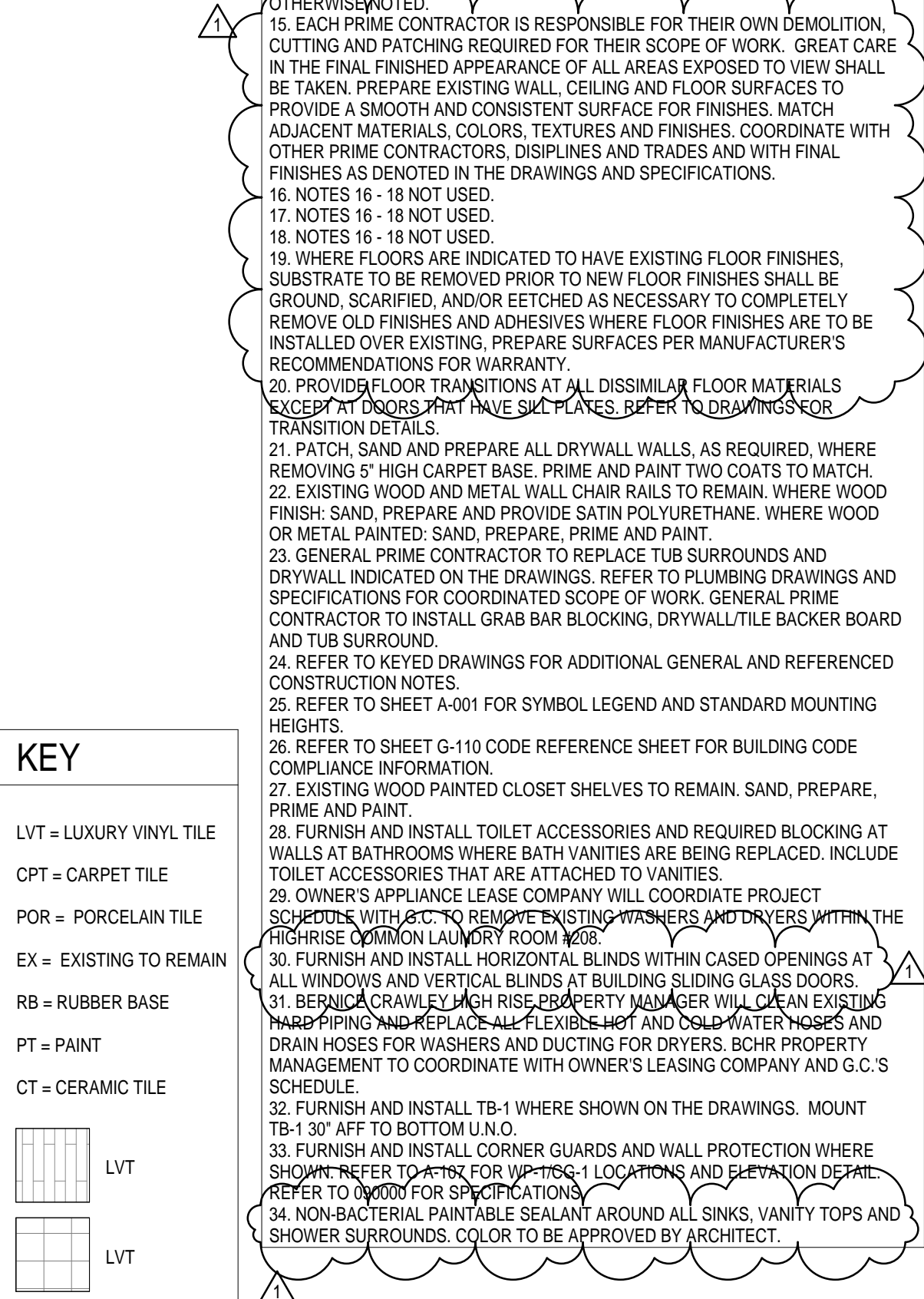
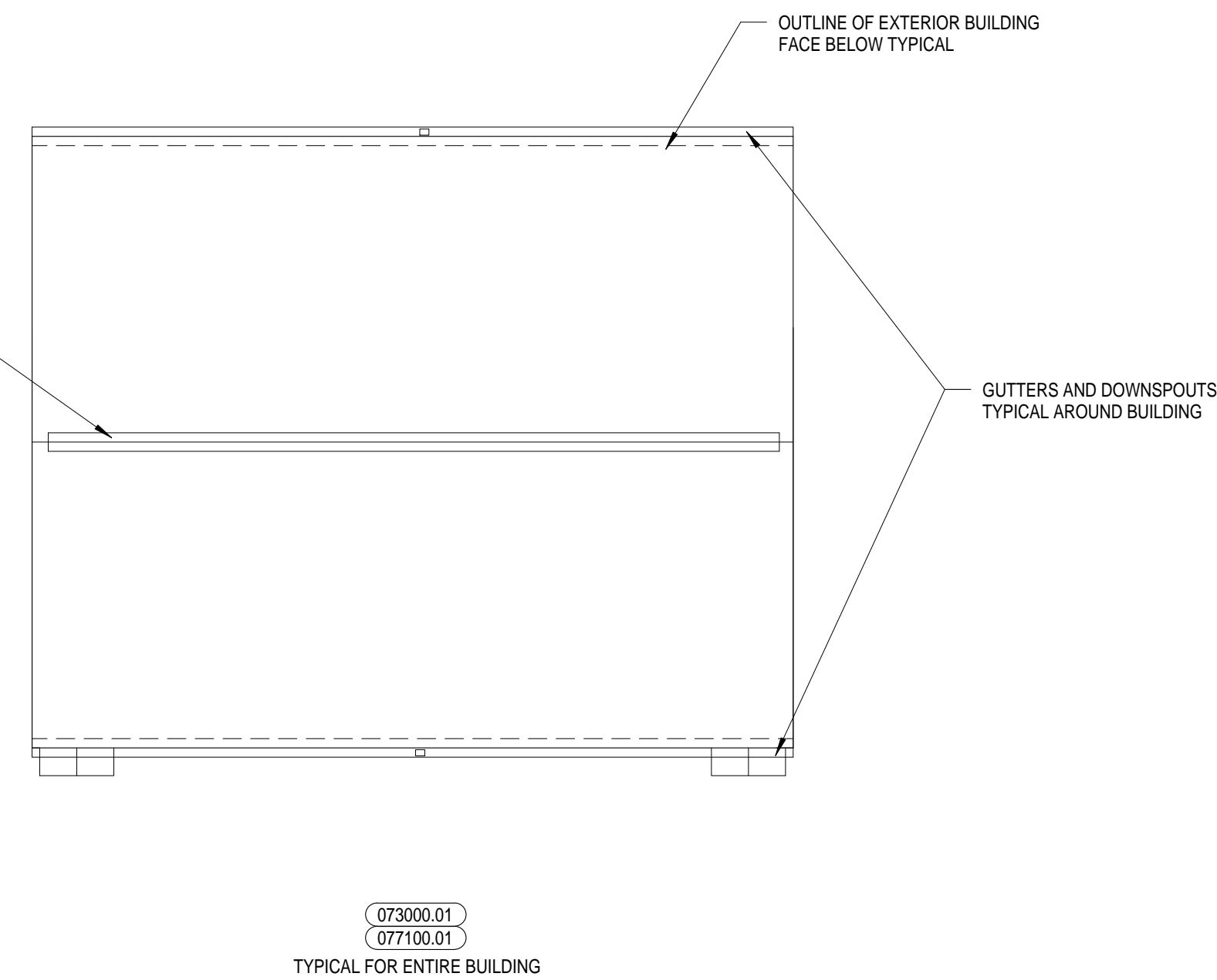
3 Second Floor Plan  
1/8" = 1'-0"

4 Roof Plan  
1/8" = 1'-0"

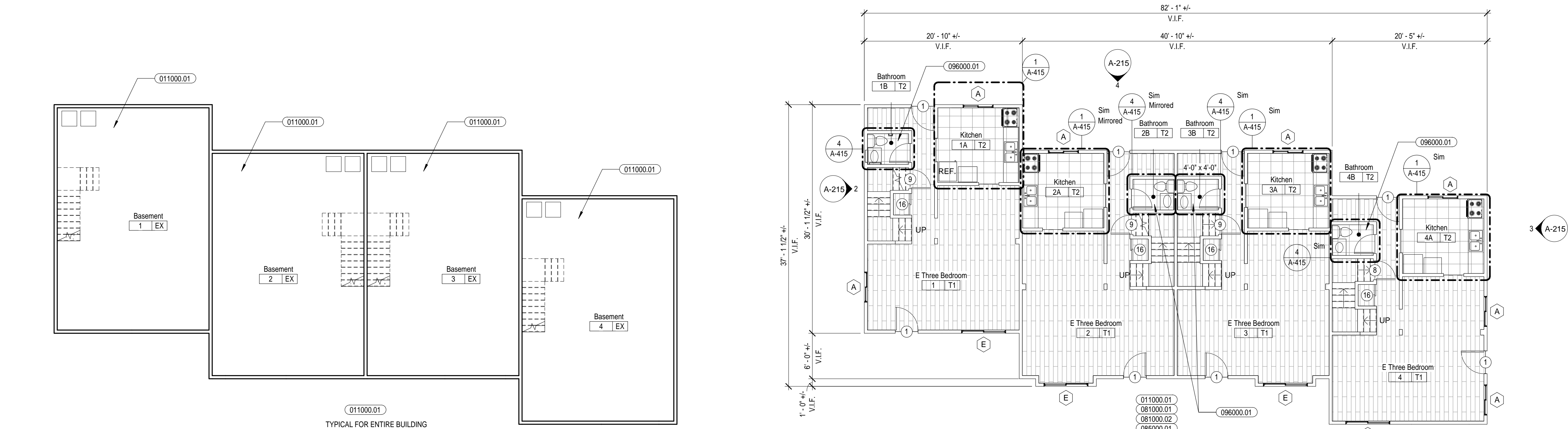
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOT, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

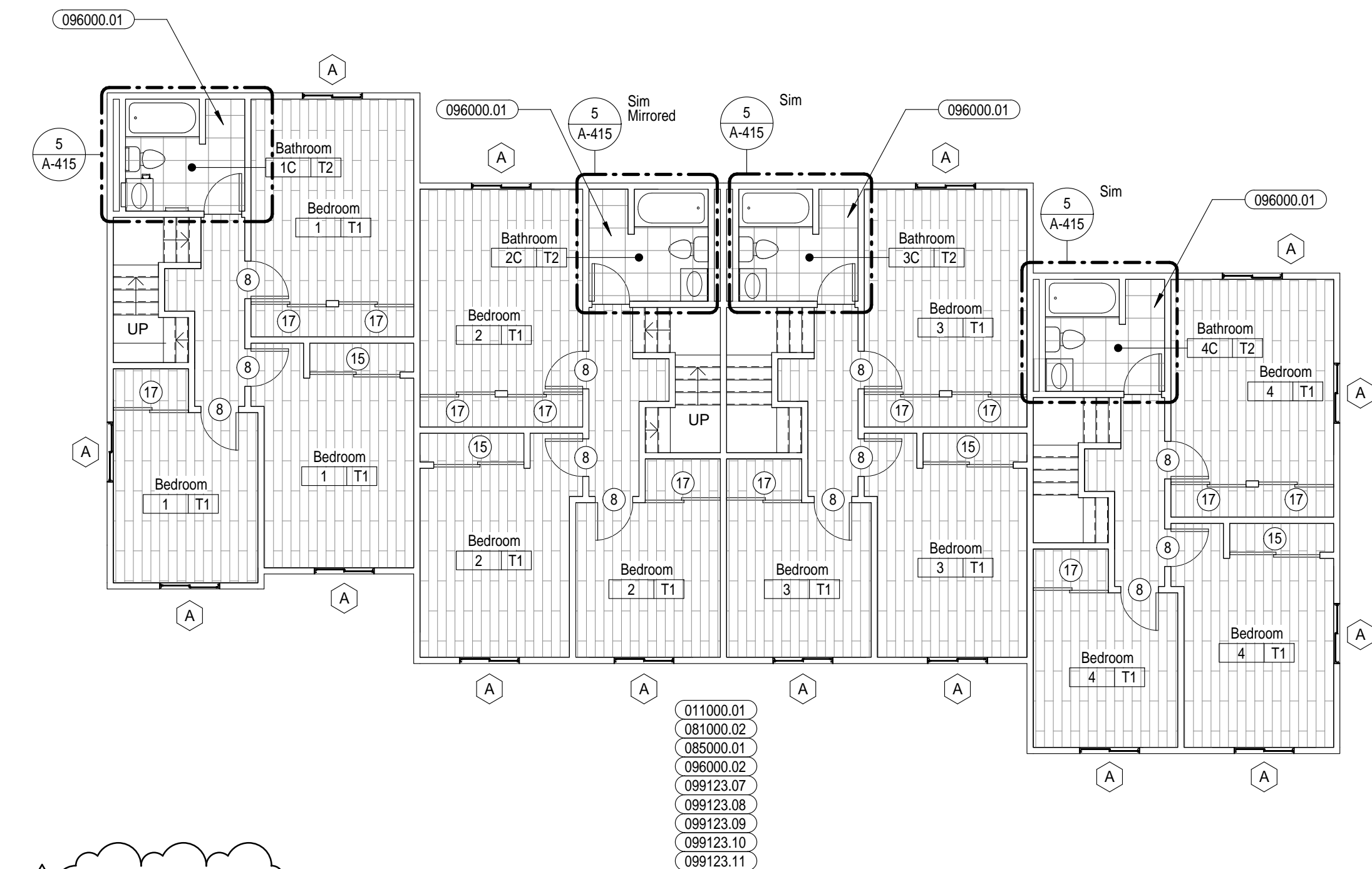
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.







1 Basement  
1/8" = 1'-0"



3 Second Floor Plan  
1/8" = 1'-0"

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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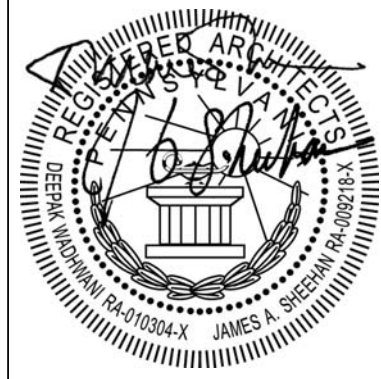
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  - REFER TO PLAN FOR DETECTION OF LEAKING AND PATTERN.
  - REFER TO PLAN FOR ADOPTED PAINT LOCATIONS.
  - LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T2	LVT-2	PT-3	RB-3	PT-2	
T2	LVT-1	PT-3	RB-3	PT-2	

KEY	
LVT = LUXURY VINYL TILE	
CPT = CARPET TILE	
POR = PORCELAIN TILE	
EX = EXISTING TO REMAIN	
RB = RUBBER BASE	
PT = PAINT	
CT = CERAMIC TILE	
LVT	
LVT	

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
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Sustainability

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Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

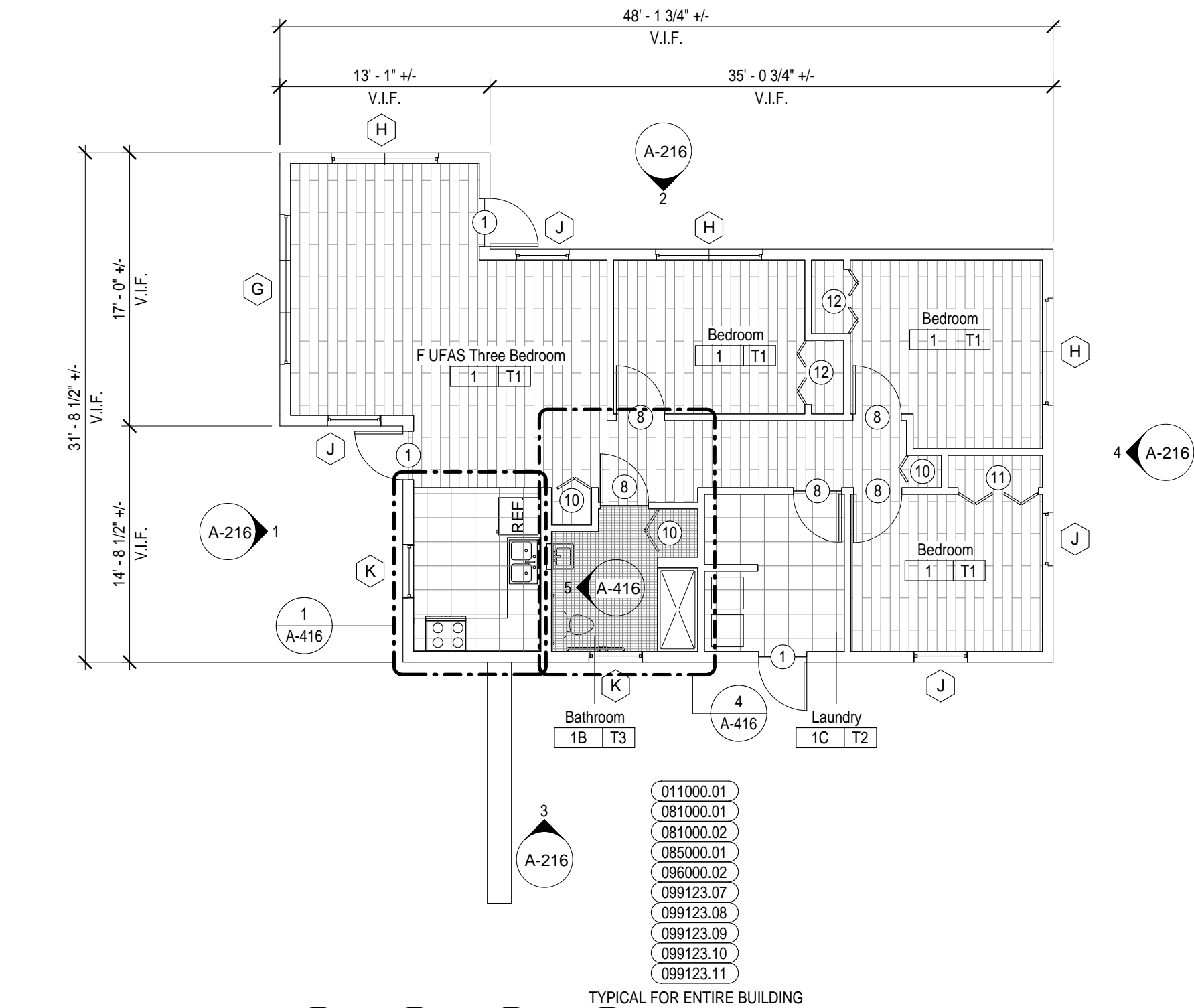
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

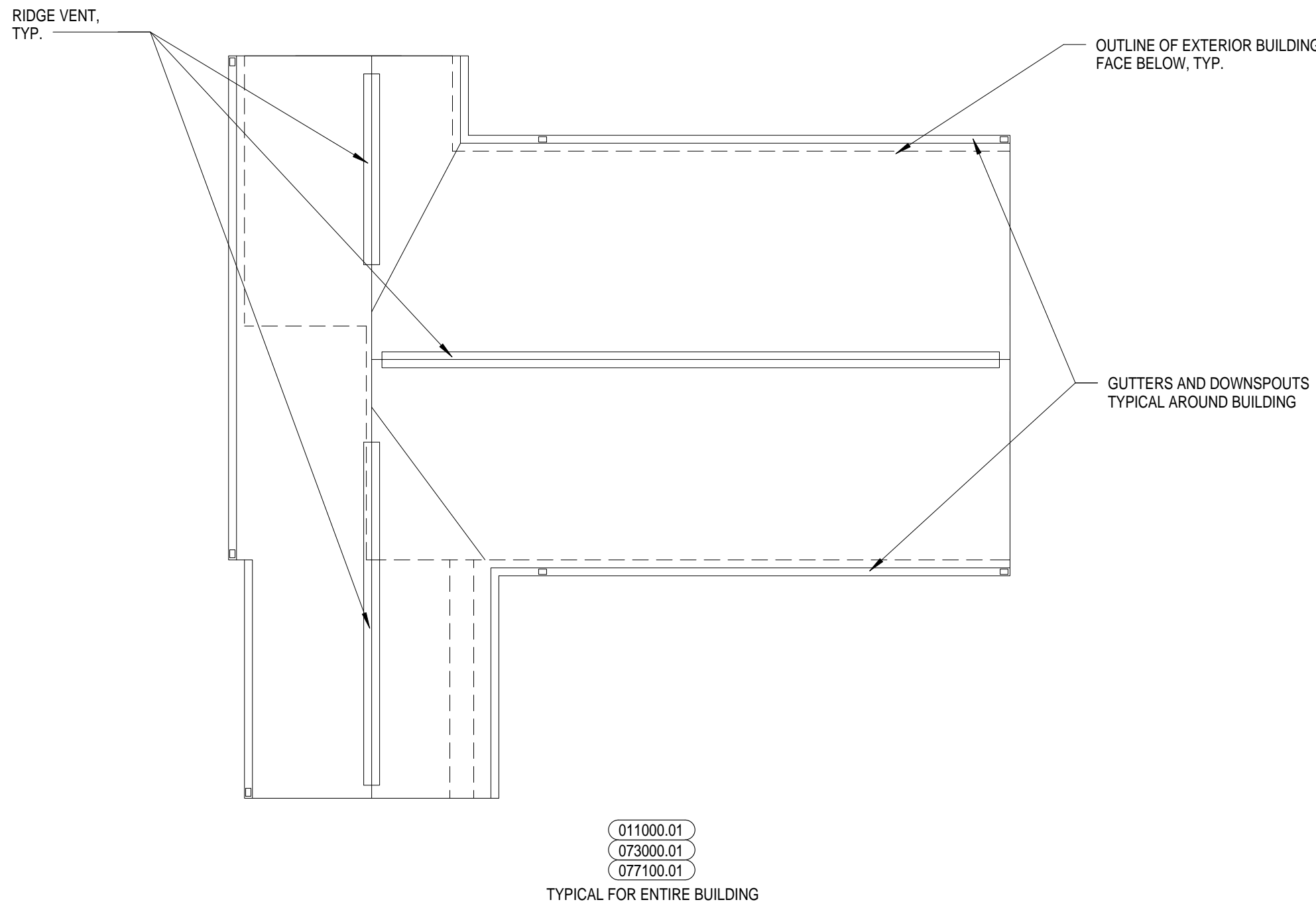
Family Community  
- Type E

R3A PROJECT # 15074B

A-115



1 First Floor Plan - UFAS/ Accessible  
1/8" = 1'-0"



2 Roof Plan  
1/8" = 1'-0"

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS. U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES	
MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	
T3	EX CERAMIC TILE	EX CERAMIC TILE/ PT-3	EX CERAMIC TILE	PT-2	

- NOTES:  
1. REFER TO DOOR SCHEDULE ON ENLARGED PLAN DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCESS POINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY	
LVT = LUXURY VINYL TILE	
CPT = CARPET TILE	
POR = PORCELAIN TILE	
EX = EXISTING TO REMAIN	
RB = RUBBER BASE	
PT = PAINT	
CT = CERAMIC TILE	
	LVT
	LVT
	CT

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE, HAC'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S RELOCATION CONSULTANT. HAC'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HAC'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HAC'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- NOTES 16 - 18 NOT USED.
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- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH HAC TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH RISE COMMON LAUNDRY ROOM.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE CRANE/LIFT RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO NOTES FOR VPHQS-1 LOCATIONS AND PREVENTION DETAIL. REFER TO NOTES FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017  
REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type F UFAS/  
ACCESSIBLE

R3A PROJECT # 15074B

A-116



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20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
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23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
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31. BORER CRACKER. EACH RISE PROPERTY MANAGER WILL OBTAIN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BORER PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
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33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN REFER TO DETAILS FOR VERTICAL LOCATIONS AND ELEVATION DETAILS.
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35. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

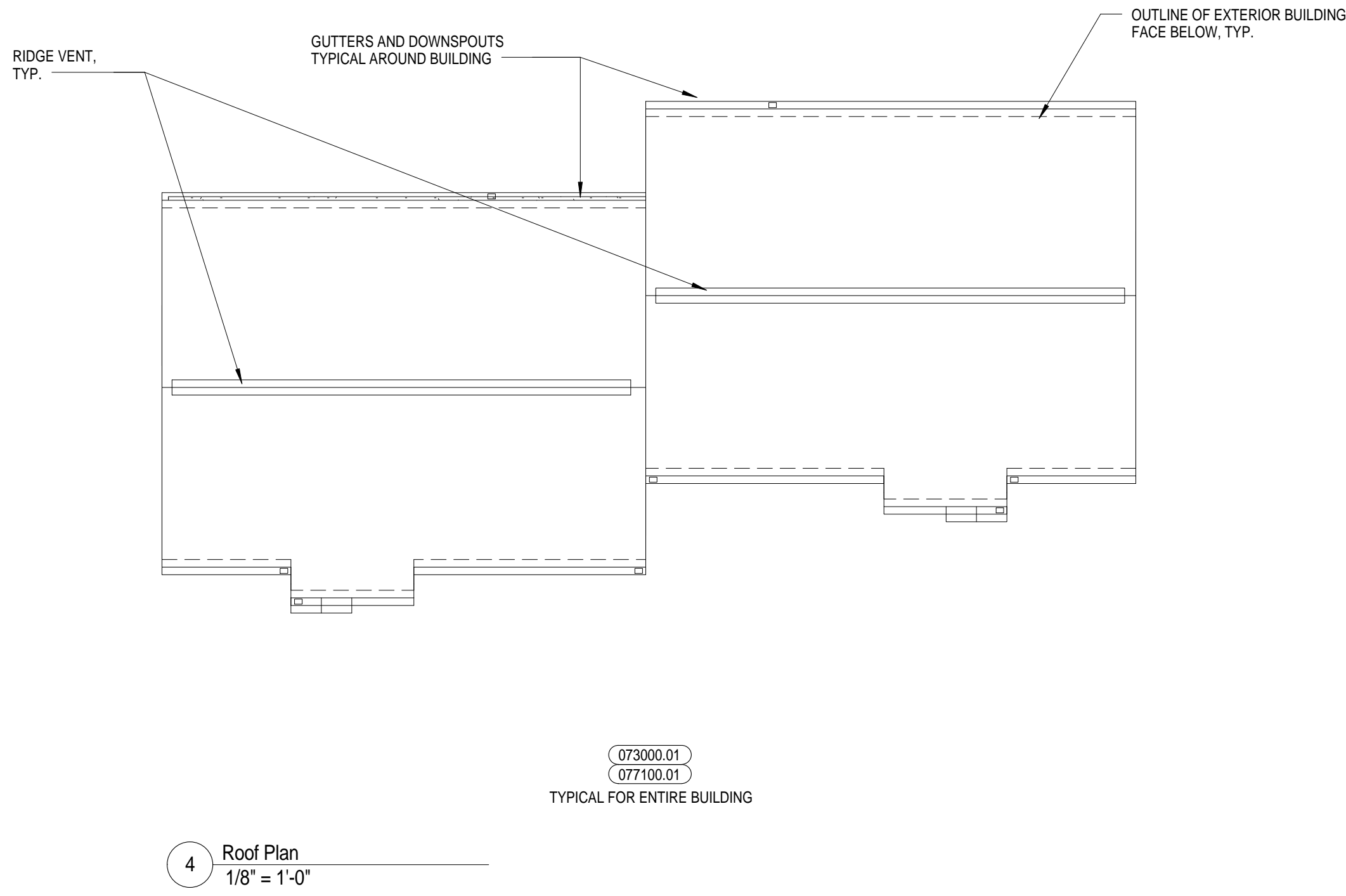
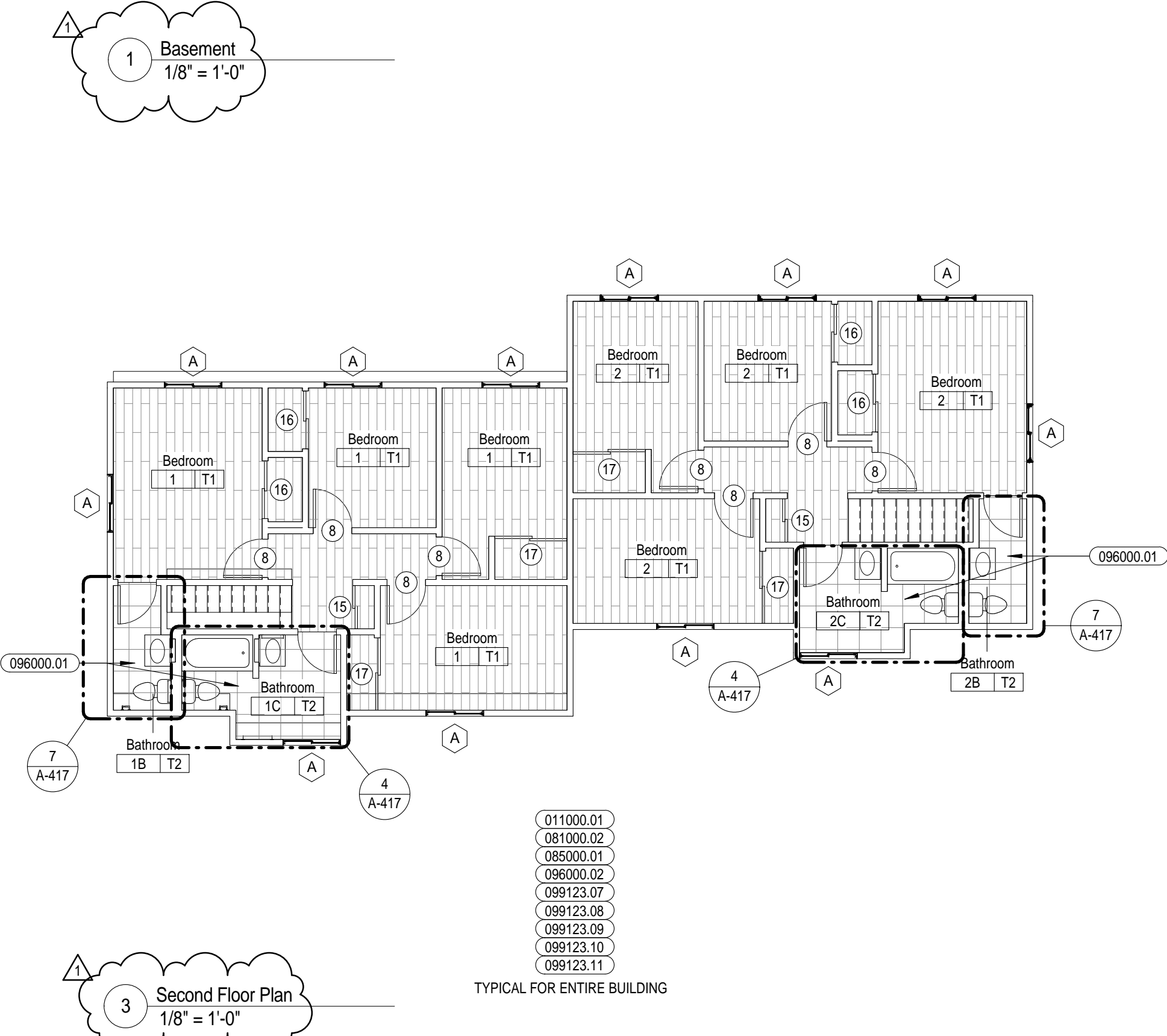
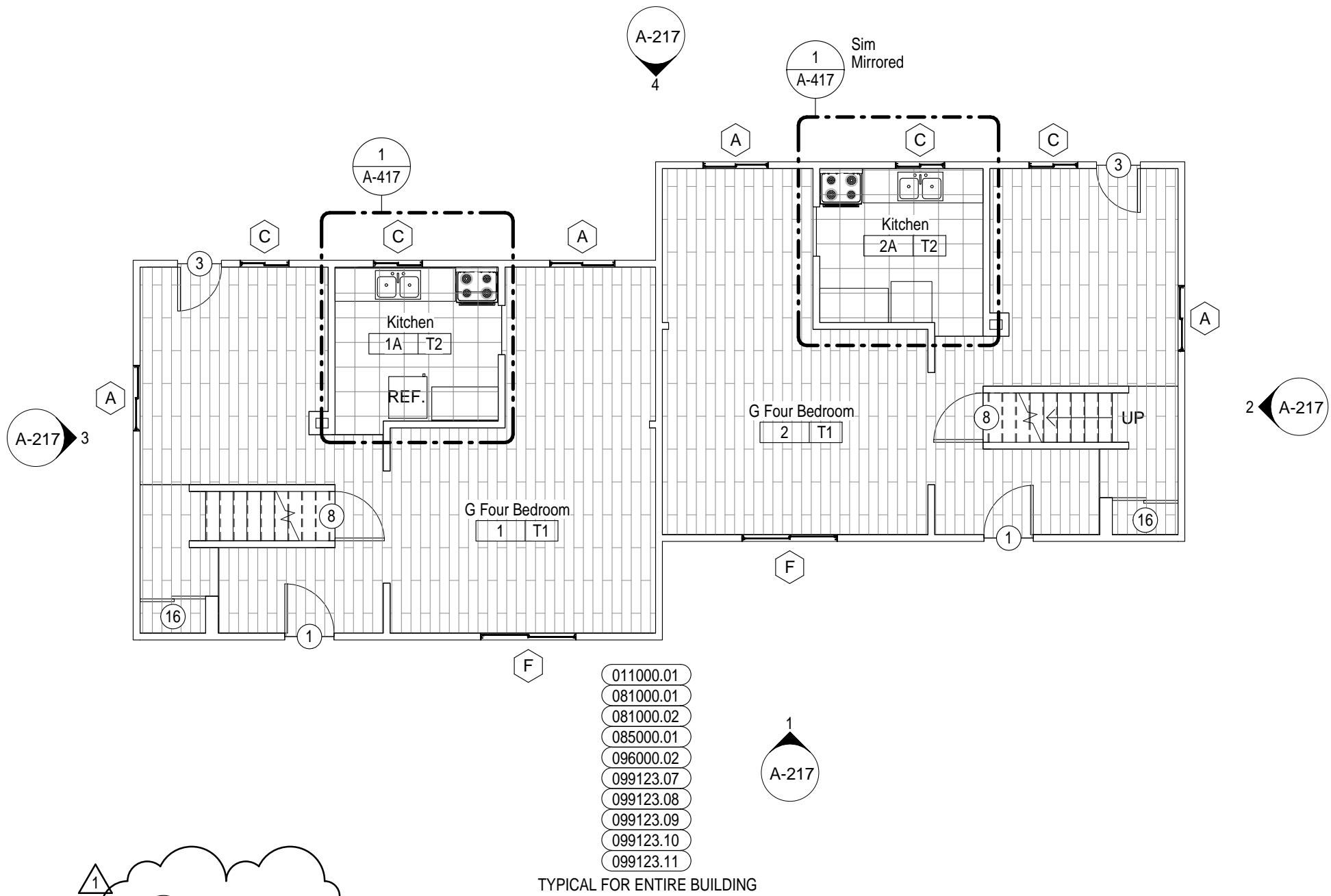
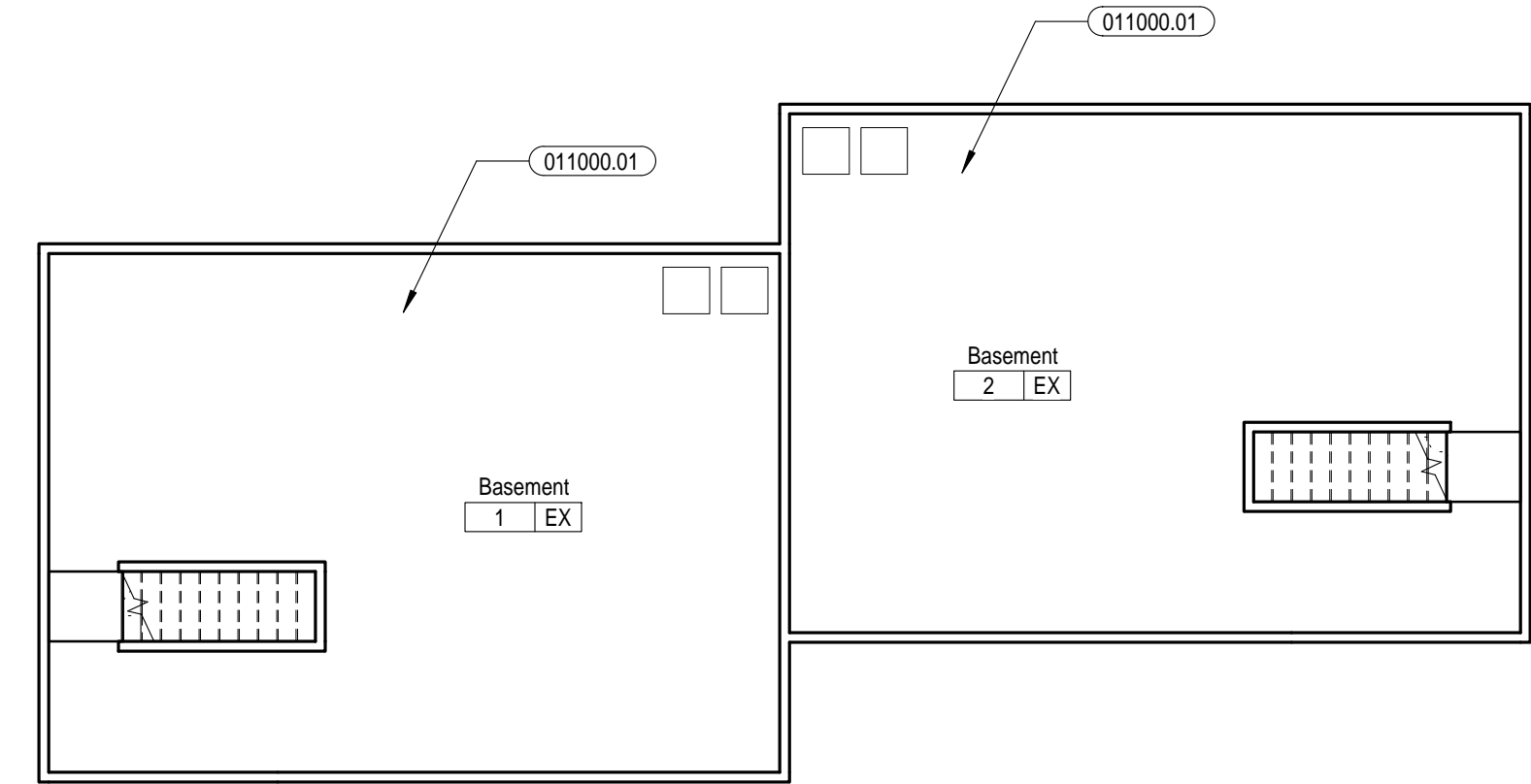
945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

1 9.11.17 REVISED  
2 ADDENDA

Family Community  
- Type G



REFERENCED NOTES

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

REFERENCED NOTES

MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

REFERENCED NOTES

MARK	DESCRIPTION
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

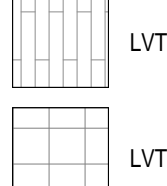
FINISH SCHEDULE

FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T2	LVT-2	PT-3	RB-3	PT-2	
T2	LVT-1	PT-3	RB-3	PT-2	

- NOTES:  
1. REFER TO FINISH SCHEDULE ON ENLARGED PLAN DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCT-PAIN LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY

LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE



R3A PROJECT # 15074B

A-117

GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDINGS WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE, HAC'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S RELOCATION CONSULTANT. HAC'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HAC'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HAC'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HAC'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SLIT PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNERS APPLIANCE LEASE COMPANY WILL CLEAN EXISTING SCAFFOLDS, WITH ETC. TO REMOVE EXISTING FITTERS AND DIVERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM 208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BEFORE CRANES, LIFT RISE-BATTERY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFT TO BOTTOM U.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO PART FOR VERTICAL LOCATIONS AND ELEVATION DETAIL.
34. REFER TO PART FOR SPECIFICATIONS.
35. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



Renaissance 3 Architects, P.C.

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Pittsburgh, PA 15203  
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

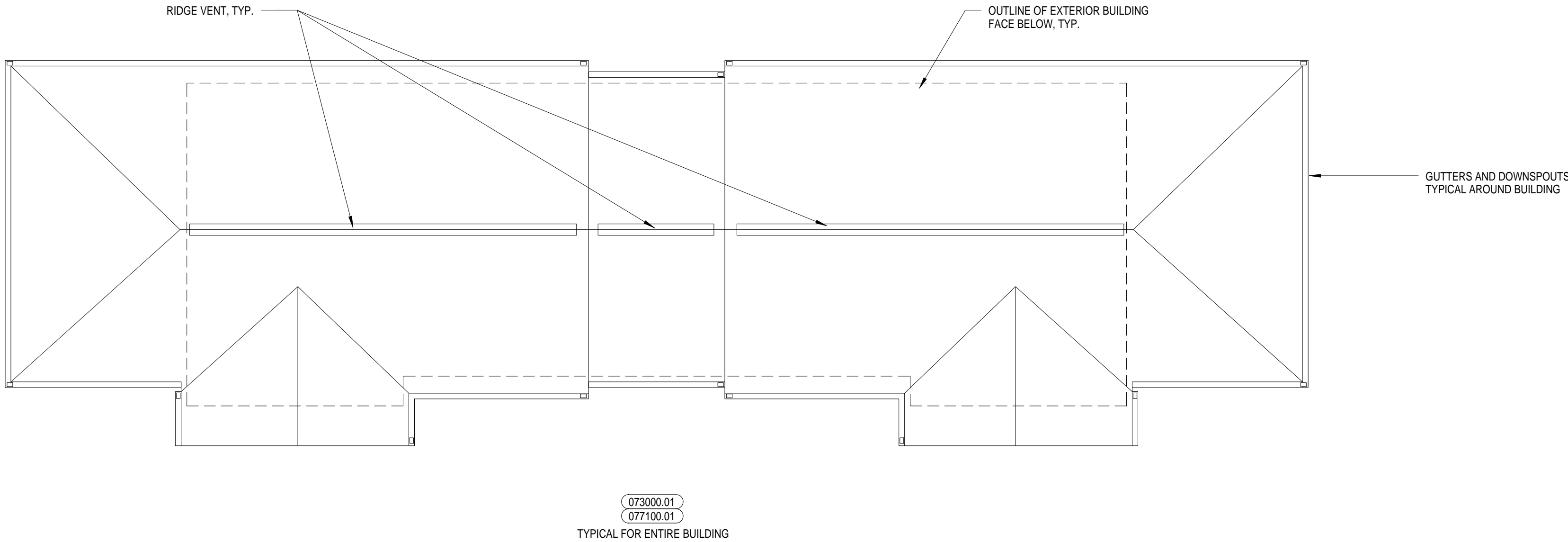
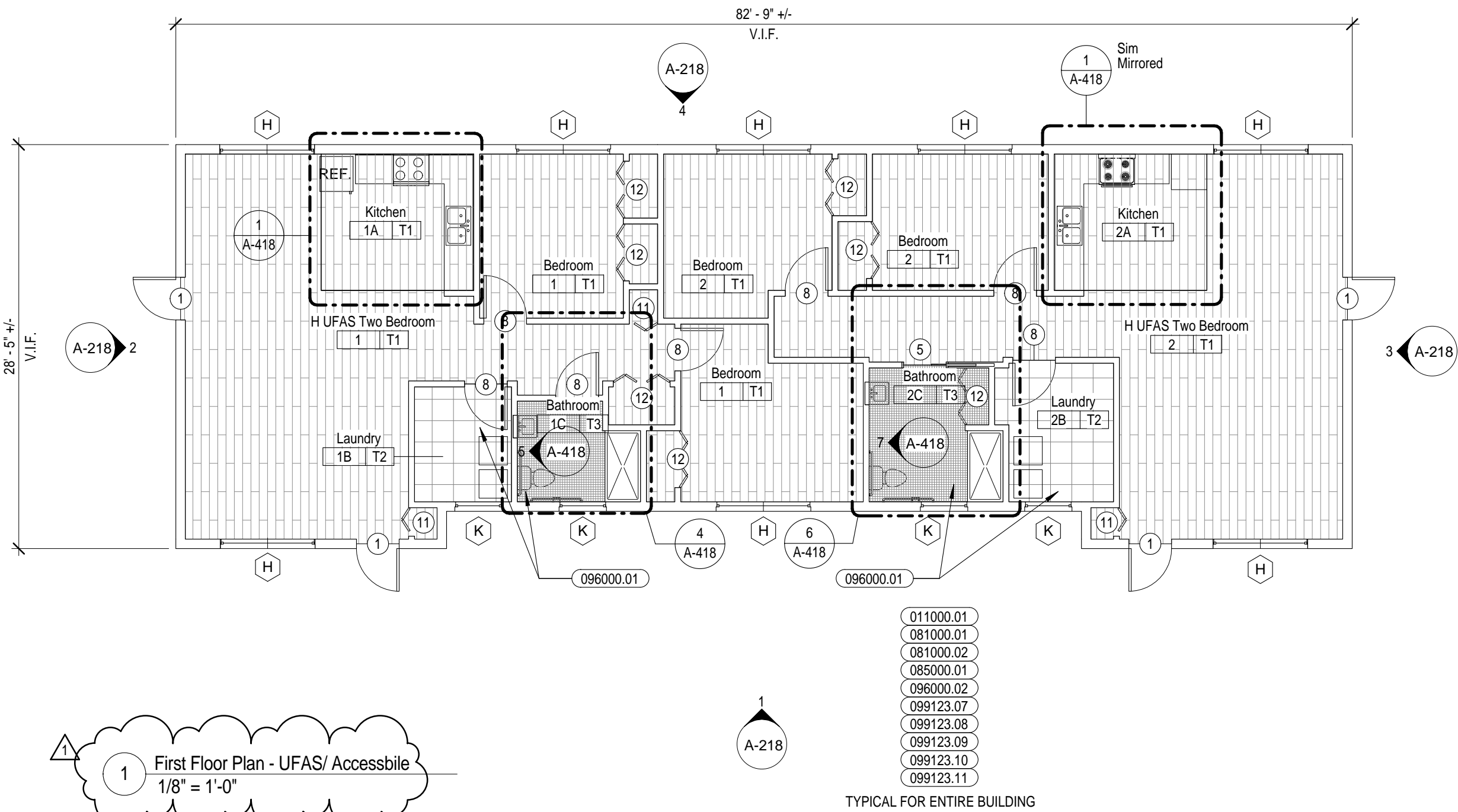
ISSUED: August 11, 2017

REVISIONS	
1	9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type H UFAS/  
ACCESSIBLE

R3A PROJECT # 15074B

A-118



REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

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MARK	DESCRIPTION
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096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1

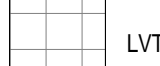
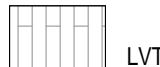
REFERENCED NOTES	
MARK	DESCRIPTION
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099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

- NOTES:
1. REFER TO DOOR SCHEDULE ON ENLARGED PLAN DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
3. REFER TO PLAN FOR SECTION OF FLOORING AND PATTERN.
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

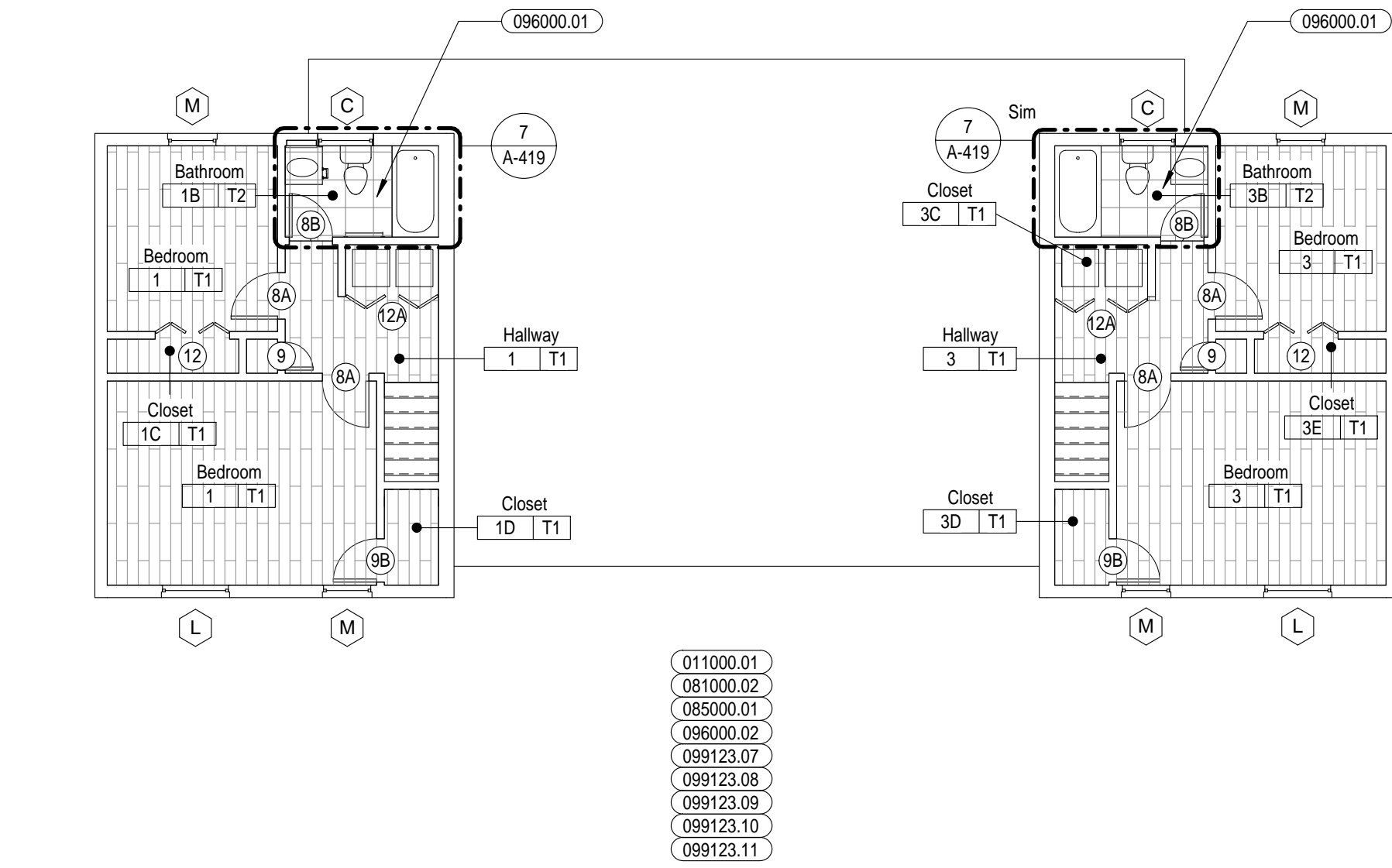
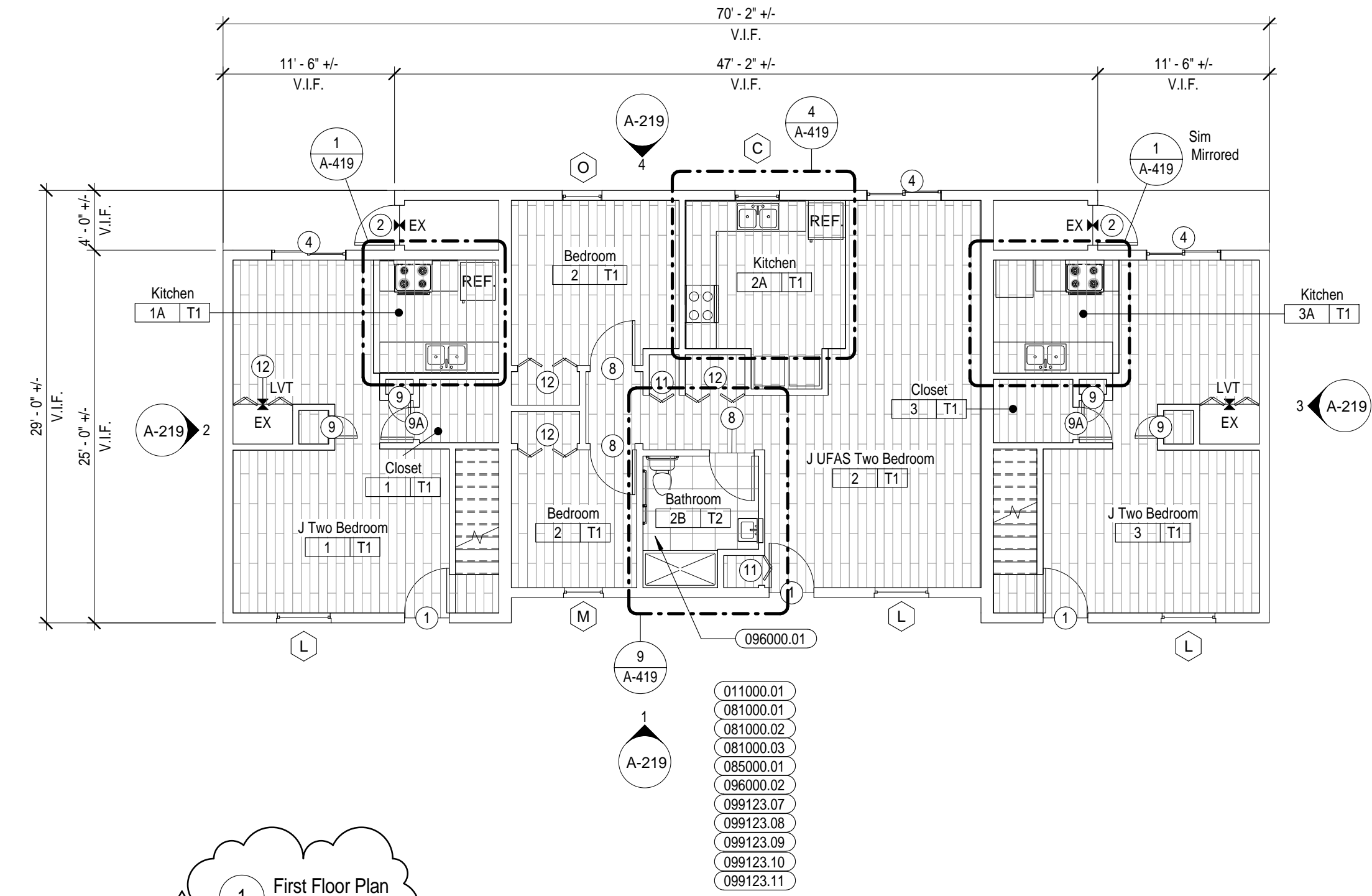
FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	
T3	EXISTING CERAMIC	EX CERAMIC/PT-3	EX CERAMIC	PT-2	

KEY

- LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
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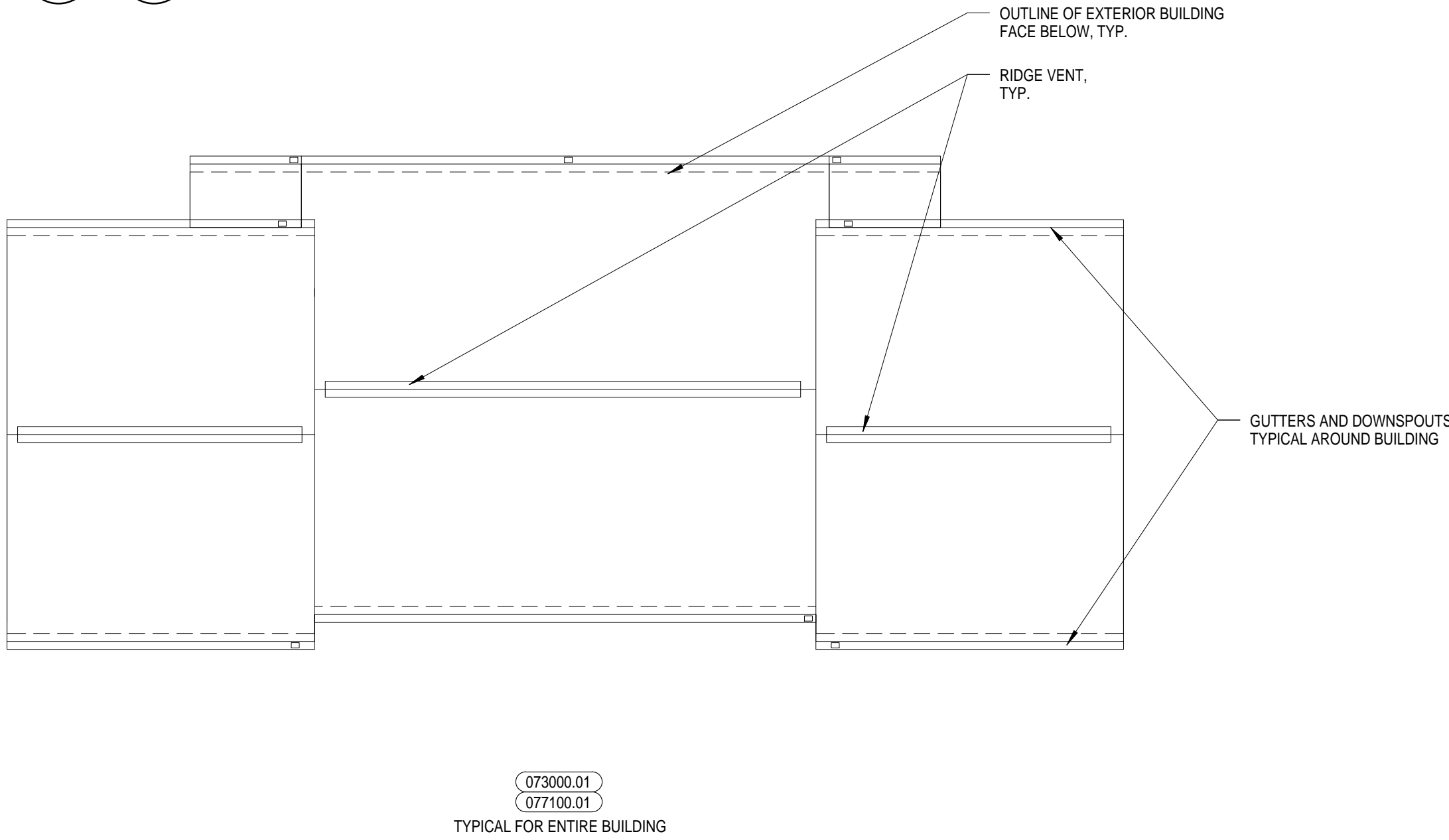






1 First Floor Plan  
1/8" = 1'-0"

2 Second Floor Plan  
1/8" = 1'-0"



3 Roof Plan  
1/8" = 1'-0"

MARK	DESCRIPTION
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077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
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FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
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T2	LVT-2	PT-3	RB-3	PT-2	

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4. REFER TO PLAN FOR ACCT. PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

KEY
LVT = LUXURY VINYL TILE
CPT = CARPET TILE
POR = PORCELAIN TILE
EX = EXISTING TO REMAIN
RB = RUBBER BASE
PT = PAINT
CT = CERAMIC TILE

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
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- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
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Design  
Technology  
Sustainability

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Allies & Ross  
Management and  
Development  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type J

R3A PROJECT # 15074B

A-119

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31. BENCHER TRAILER HIGH RISE PROPERTY WASHROOM WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
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Design  
Technology  
Sustainability

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Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

Design Development

ISSUED: April 7, 2017

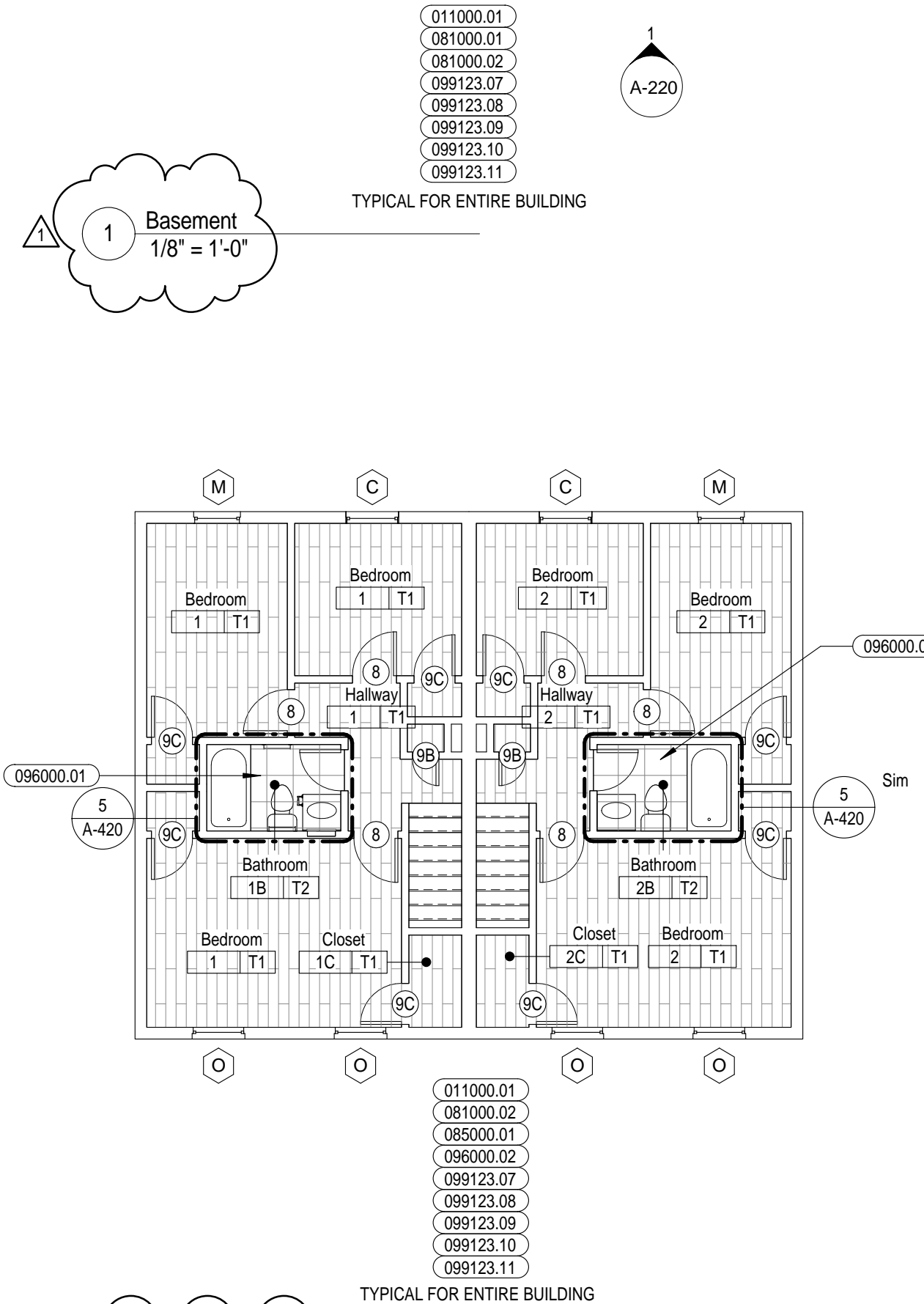
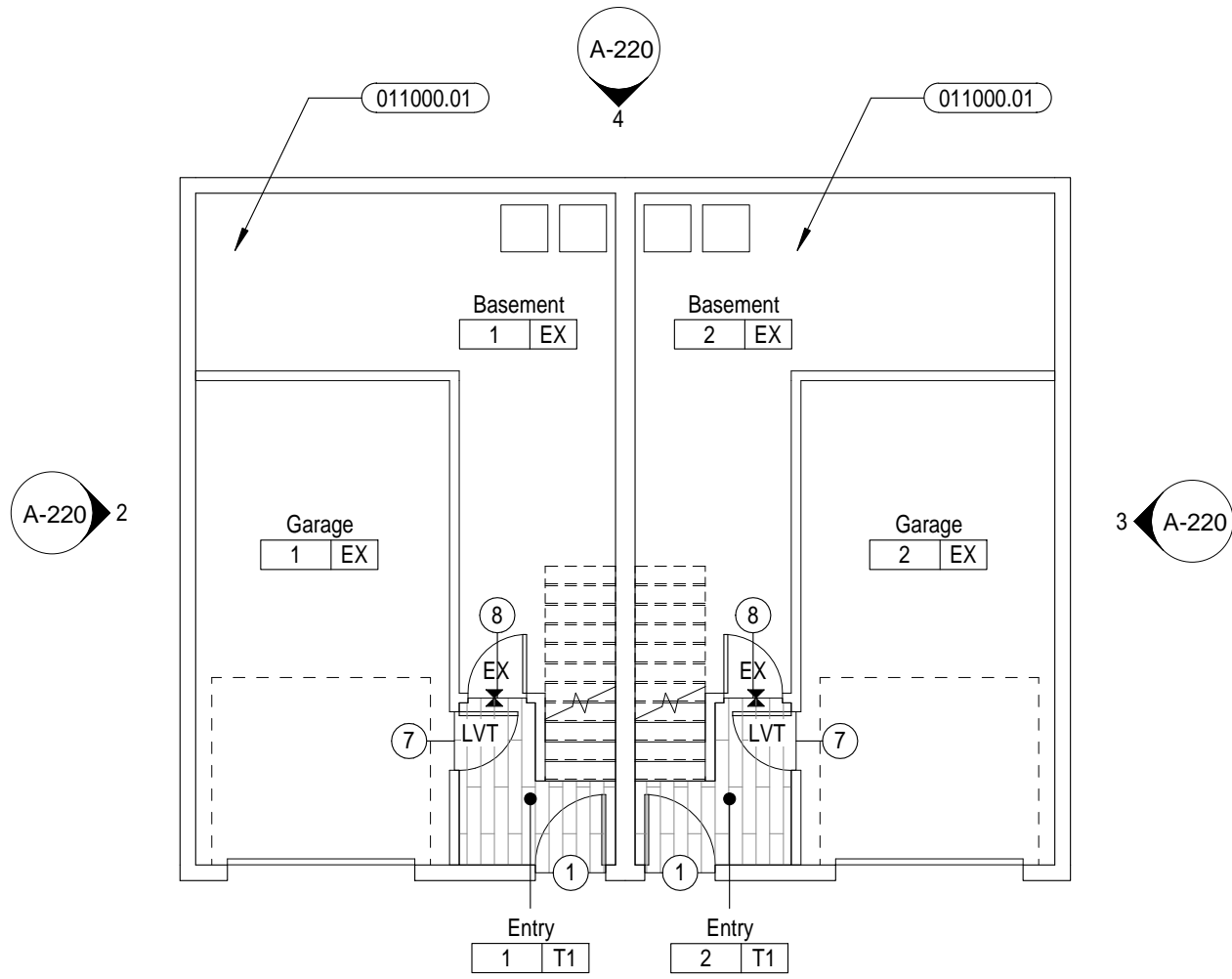
REVISIONS

1 9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type K

R3A PROJECT # 15074B

A-120



MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.

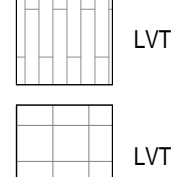
MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1.
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 2 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1.
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

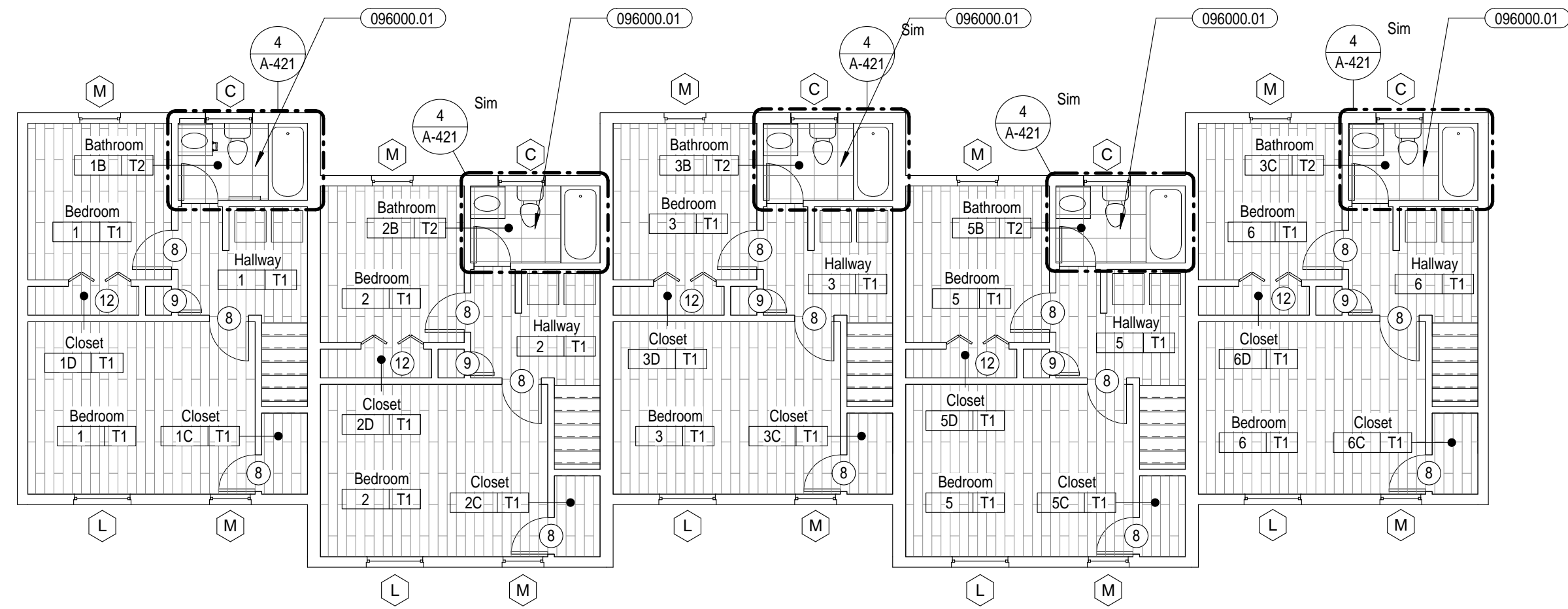
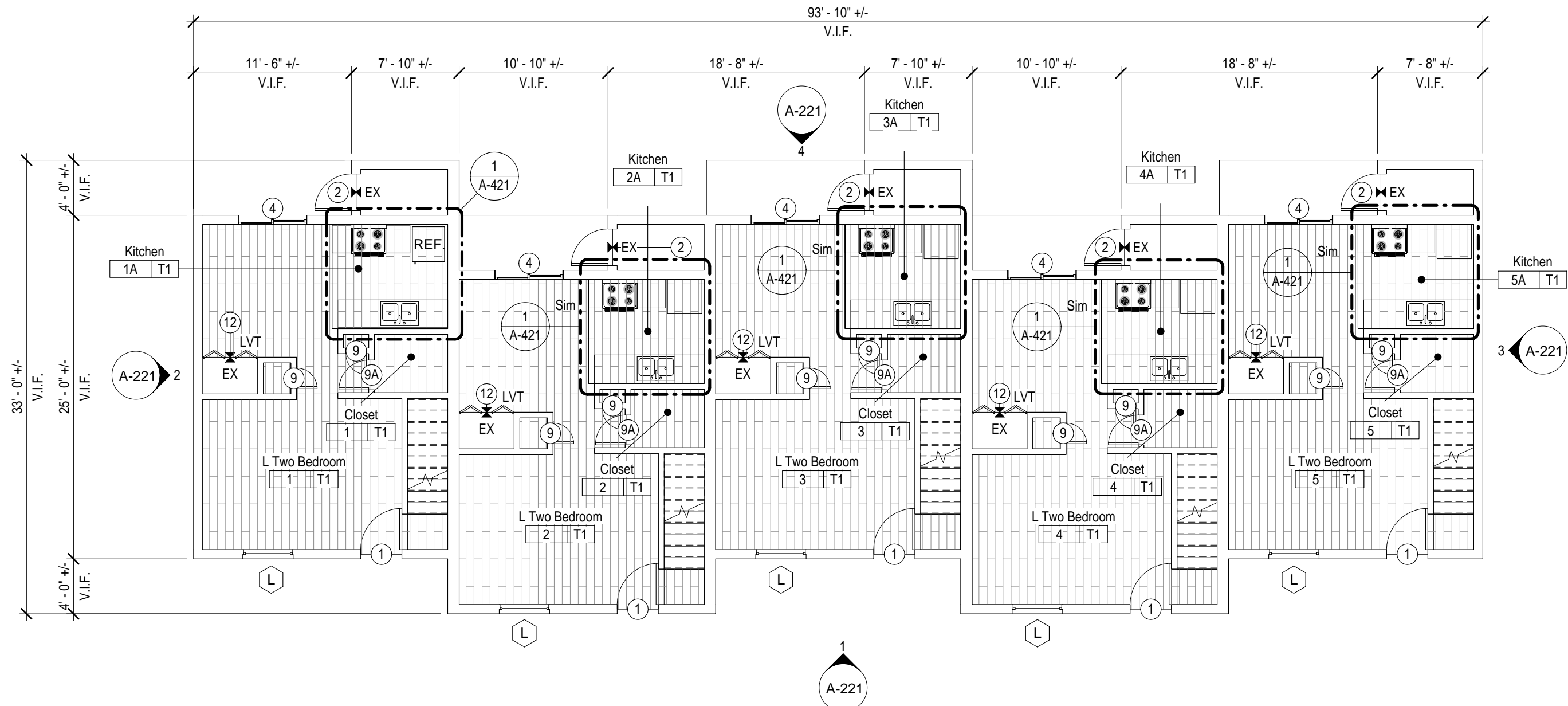
- NOTES
1. REFER TO FINISH SCHEDULE ON ENLARGED PLANS OR DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

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CT = CERAMIC TILE

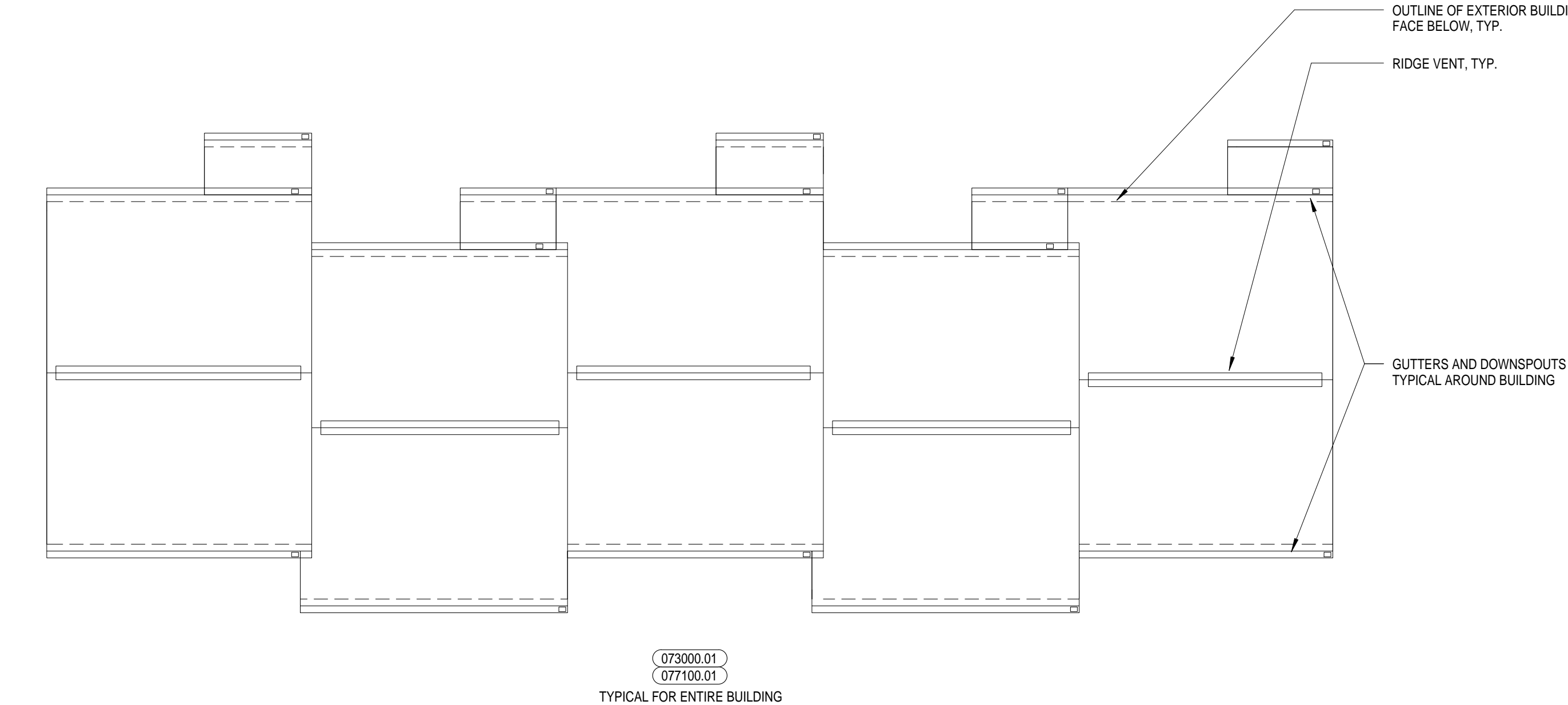






1 First Floor Plan  
1/8" = 1'-0"

2 Second Floor Plan  
1/8" = 1'-0"



3 Roof Plan  
1/8" = 1'-0"

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS, AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS, UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.02	REMOVE AND DISCARD ALL EXISTING INTERIOR DOORS AND HARDWARE, INCLUSIVE OF SWING, SLIDING AND BI-FOLD. FURNISH AND INSTALL INTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL INTERIOR DOORS.

MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL WINDOW BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR WINDOWS.
096000.01	REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 12200 UNIT PRICES. TYPICAL OF ALL LOW RISE BATHROOMS.
096000.02	REMOVE AND DISCARD EXISTING VINYL FLOORING AND BASE. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES. FURNISH AND INSTALL LUXURY VINYL TILE FLOORING AND RUBBER BASE. REMOVE AND REPLACE EXISTING DAMAGED PLYWOOD FLOORING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL UNITS, U.N.O. REFER TO FINISH SCHEDULE.

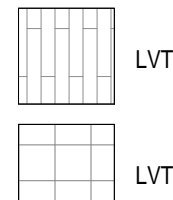
MARK	DESCRIPTION
099123.07	FURNISH AND INSTALL NEW WOOD INTERIOR DOORS. STAIN AND SATIN FINISH CLEAR COAT ST-1.
099123.08	PAINT EXISTING WOOD INTERIOR DOOR FRAMES. CLEAN, SAND, AND PREPARE FOR 1 COAT OF PRIMER AND 2 COATS OF PAINT PT-10 TYP.
099123.09	INTERIOR WOOD STAIRS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF SATIN FINISH CLEAR COAT APPLIED TYP. ST-1
099123.10	INTERIOR WOOD HANDRAILS TO BE CLEANED, SANDED, STAINED AND 3 COATS OF GLOSS FINISH CLEAR COAT APPLIED TYP. ST-1
099123.11	FURNISH AND INSTALL NEW STEEL ENTRY DOOR. CLEAN, SAND, AND PREPARE EXISTING DOOR FRAME FOR 1 COAT OF PRIMER AND 2 COATS OF EXTERIOR GRADE PAINT. PAINT DOOR AND FRAME PT-11 TYP.

- NOTES
1. REFER TO DOOR SCHEDULE ON ENLARGED PLANS DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.
  2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.
  3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.
  4. REFER TO PLAN FOR ACCESS POINT LOCATIONS.
  5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

FINISH SCHEDULE					
FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1	LVT-1	PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

## KEY

- LVT = LUXURY VINYL TILE  
CPT = CARPET TILE  
POR = PORCELAIN TILE  
EX = EXISTING TO REMAIN  
RB = RUBBER BASE  
PT = PAINT  
CT = CERAMIC TILE



## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDINGS WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPROPRIATE. UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE REMOVED. OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING, PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILT PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYS DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-301 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. HACPS APPL. AND LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH B.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT BATHROOMS AND VERTICALLY SLIDING BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICIA CRAWLEY, HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGER TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" APT TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO PARTS FOR VERTICAL LOCATIONS AND ELEVATION OF THE REFER TO 00000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Fax: 412-431-2670  
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

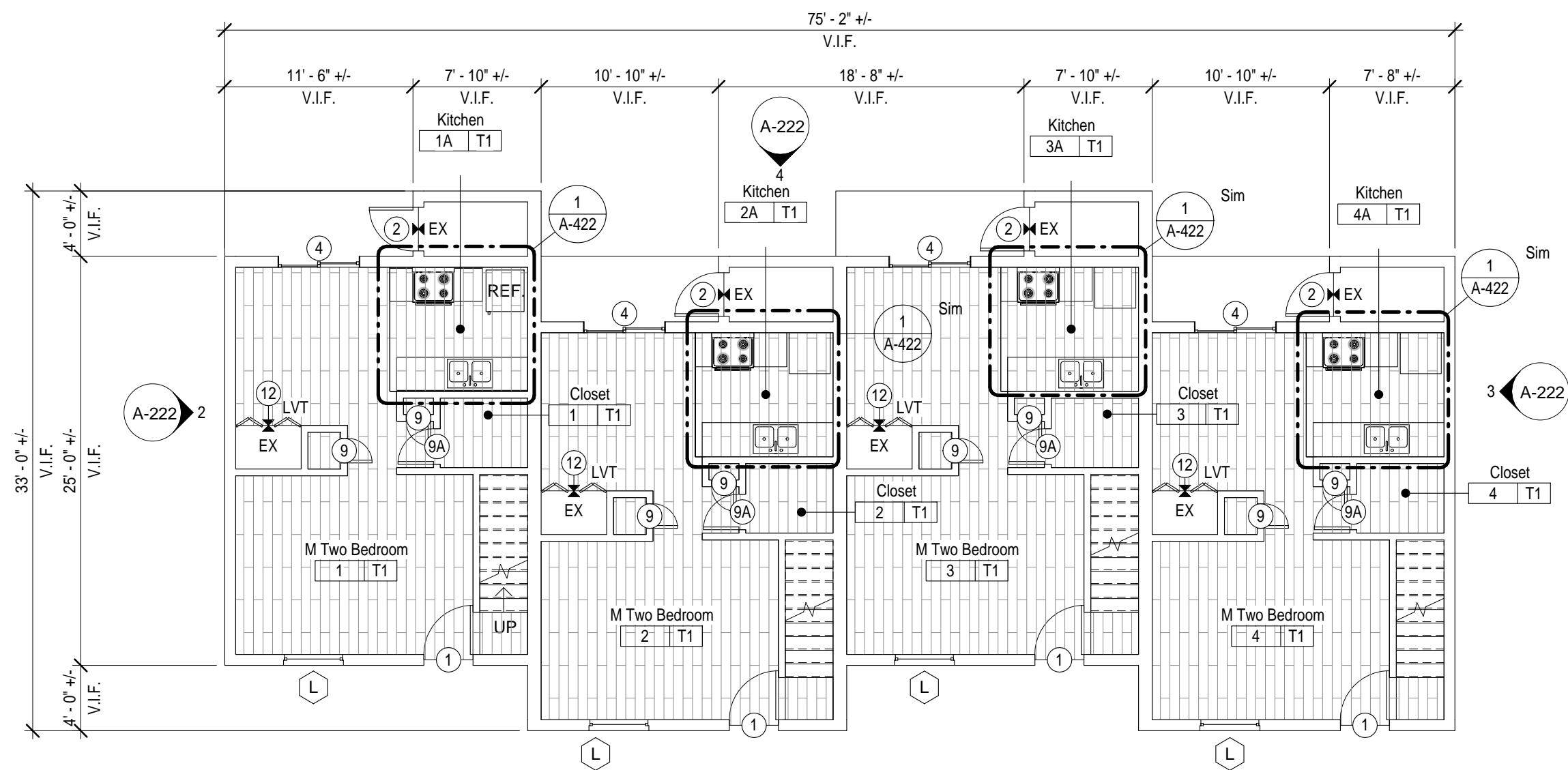
ISSUED: August 11, 2017  
REVISIONS

1 9.11.17 REV 1/ADDENDA 2

Family Community  
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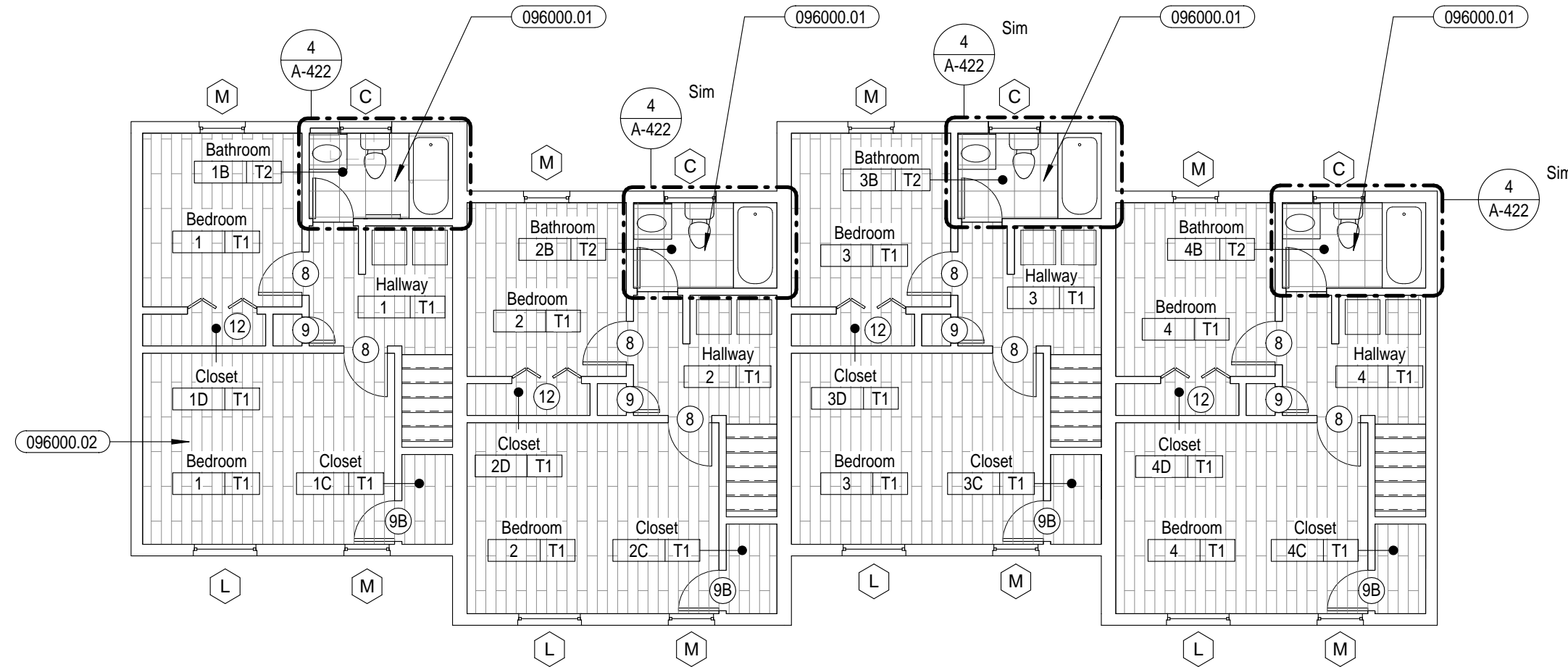
R3A PROJECT # 15074B

A-121



- 011000.01  
081000.01  
081000.02  
081000.03  
085000.01  
096000.02  
099123.07  
099123.08  
099123.09  
099123.10  
099123.11

TYPICAL FOR ENTIRE BUILDING

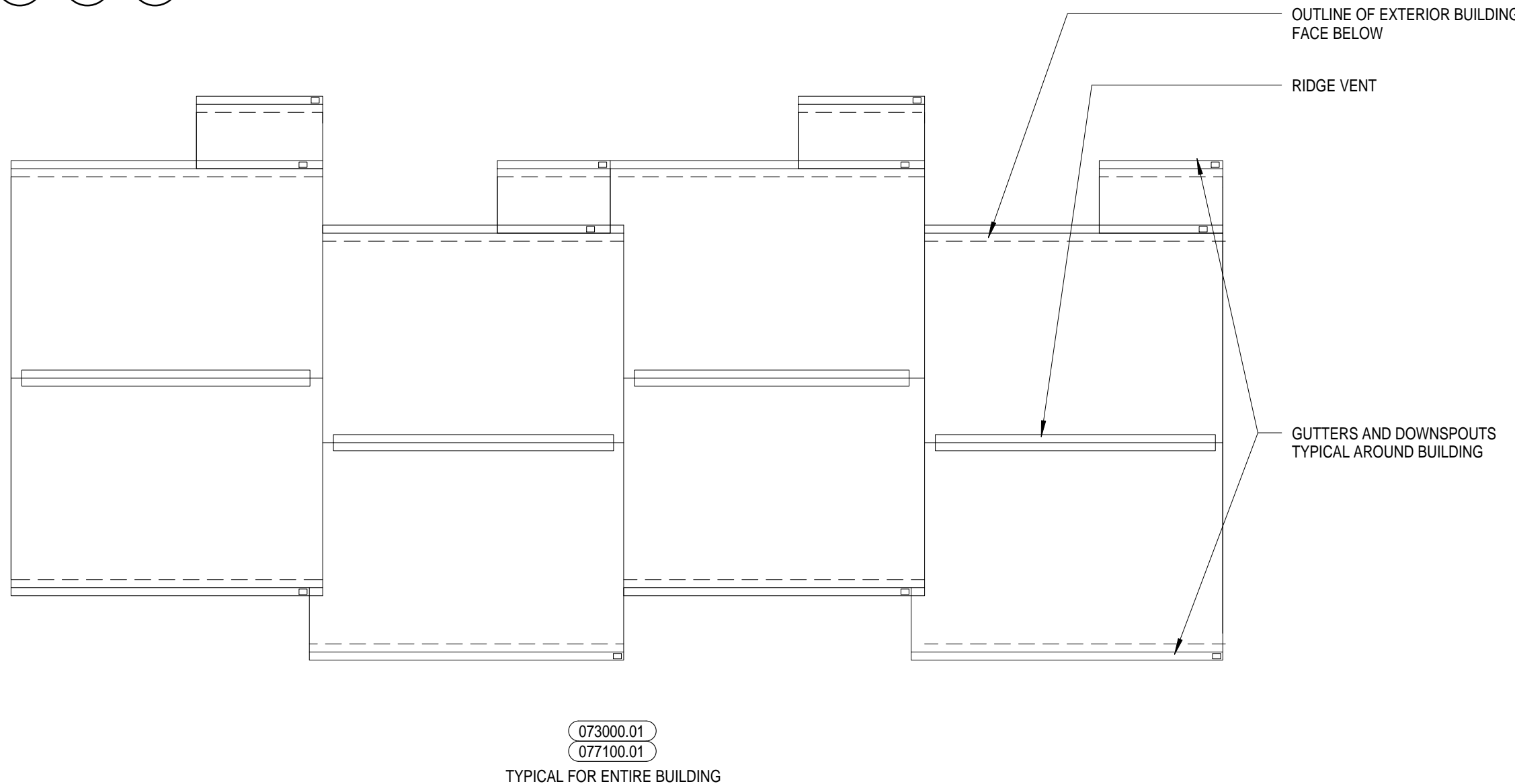


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TYPICAL FOR ENTIRE BUILDING

1 First Floor Plan  
1/8" = 1'-0"

2 Second Floor Plan  
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- 073000.01  
077100.01

TYPICAL FOR ENTIRE BUILDING

3 Roof Plan  
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MARK	DESCRIPTION
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.
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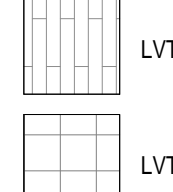
MARK	DESCRIPTION
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- NOTES:  
1. REFER TO DOOR SCHEDULE ON ENLARGED PLAN DRAWING FOR FINISHES ON DOORS WITH SYMBOLS.  
2. PATCH WALL WHERE DISTURBED BY RUBBER BASE AND FLOOR DEMOLITION.  
3. REFER TO PLAN FOR DIRECTION OF FLOORING AND PATTERN.  
4. REFER TO PLAN FOR ACCENT PAINT LOCATIONS.  
5. LIGHTLY SAND AND STAIN POLYURETHANE FINISH EXISTING WOOD STAIRS.

FINISH TYPE	FLOOR	WALL	BASE	CEILING	COMMENTS
T1		PT-3	RB-3	PT-2	
T2	LVT-2	PT-3	RB-3	PT-2	

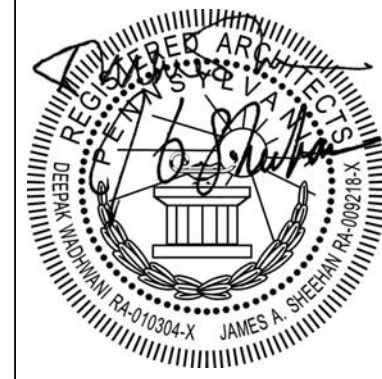
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- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-301 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULES WITH HACPS RELOCATION CONSULTANT AND OTHER OWNERS WITHIN THE HOUSING CO-OP ON LAUNDRY ROOM 408.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BERNICE CRANLEY, JACOB RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCOR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO PARTS FOR VERTICAL LOCATIONS AND ELEVATION DETAILS. REFER TO PARTS FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 | 9.11.17 | REV 1/ADDENDA 2

Family Community  
- Type M

R3A PROJECT # 15074B

A-122





- 1 Front Elevation  
1/8" = 1'-0"
- NOTES:  
1. REFER TO DRAWING A-401 FOR WINDOW TYPES.  
2. THROUGH WALL AIR CONDITIONING UNITS NOT SHOWN. REFER TO HVAC DRAWINGS

085000.01  
099123.01  
099123.02  
TYPICAL IN THIS ENTIRE ELEVATION  
U.N.O.

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS COMPLIANT WINDOW HARDWARE AT UFAS UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.
099123.01	REMOVE AND SALVAGE RAILING. SCRAPE DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.02	PATCH AND PAINT EXISTING BUILDING. LOCATION TO BE VERIFIED IN FIELD. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT, AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- NOTES 16 - 18 NOT USED.
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- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
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- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH RISE COMMON LAUNDRY ROOMS.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL 30. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-102 FOR VERTICAL BLIND LOCATIONS AND ELEVATION DETAILS. REFER TO A-102 FOR VERTICAL BLIND LOCATIONS AND ELEVATION DETAILS.
- BERNICE CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARDWARE AND REPLACE ALL FLEXIBLE AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

## CONSTRUCTION DOCUMENTS

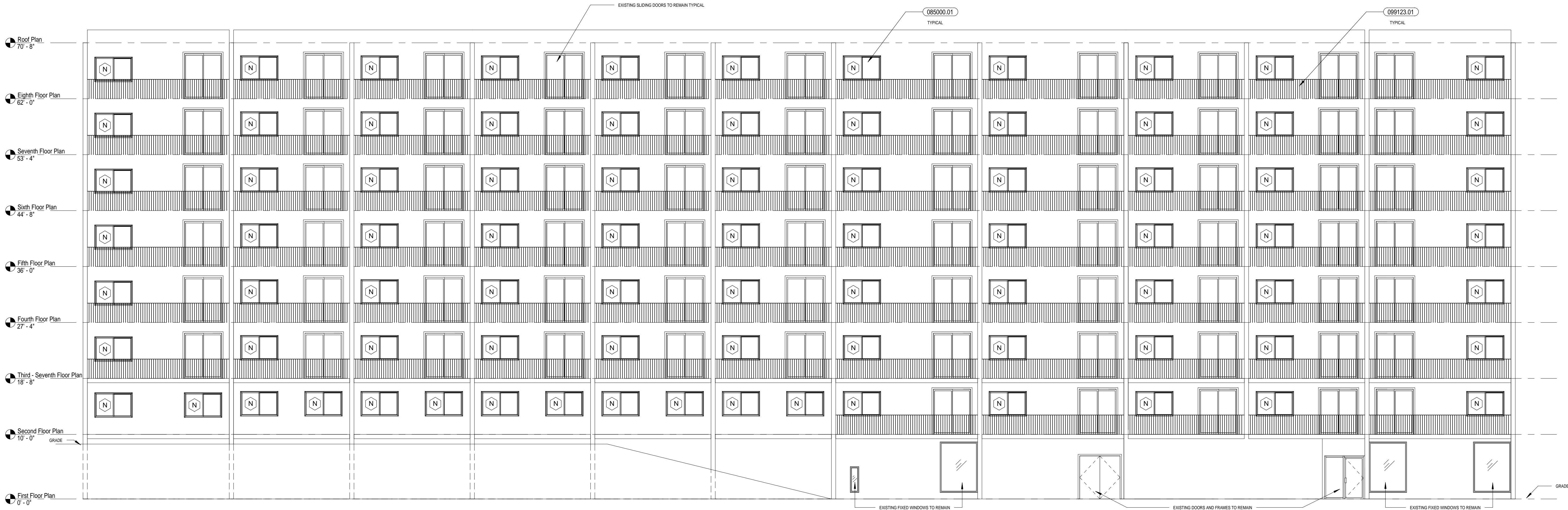
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
Exterior  
Elevations

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-201



1 Rear Elevation  
1/8" = 1'-0"

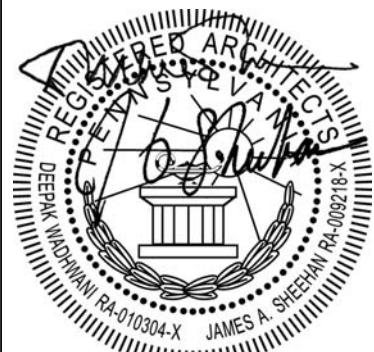
- NOTES:
1. REFER TO DRAWING A-401 FOR WINDOW TYPES.
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085000.01  
099123.01  
TYPICAL THIS ENTIRE  
ELEVATION UNLESS

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
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099123.01	REMOVE AND SALVAGE RAILING. SCRAPE DOWN TO BARE METAL. PREPARE ELECTROPLATE POWDER COATING ON EXISTING BALCONY GUARDRAIL. COLOR TO MATCH EXISTING COLOR. REINSTALL ANCHOR TO EXISTING.
099123.02	PATCH AND PAINT EXISTING BUILDING. LOCATION TO BE VERIFIED IN FIELD. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

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4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITION AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNICE CRAWLEY HIGHRISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM UNL.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-102 FOR VPHSG-1 LOCATIONS AND ELEVATION DETAILS. REFER TO 010000 FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
Exterior  
Elevations

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-202





1 Front Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



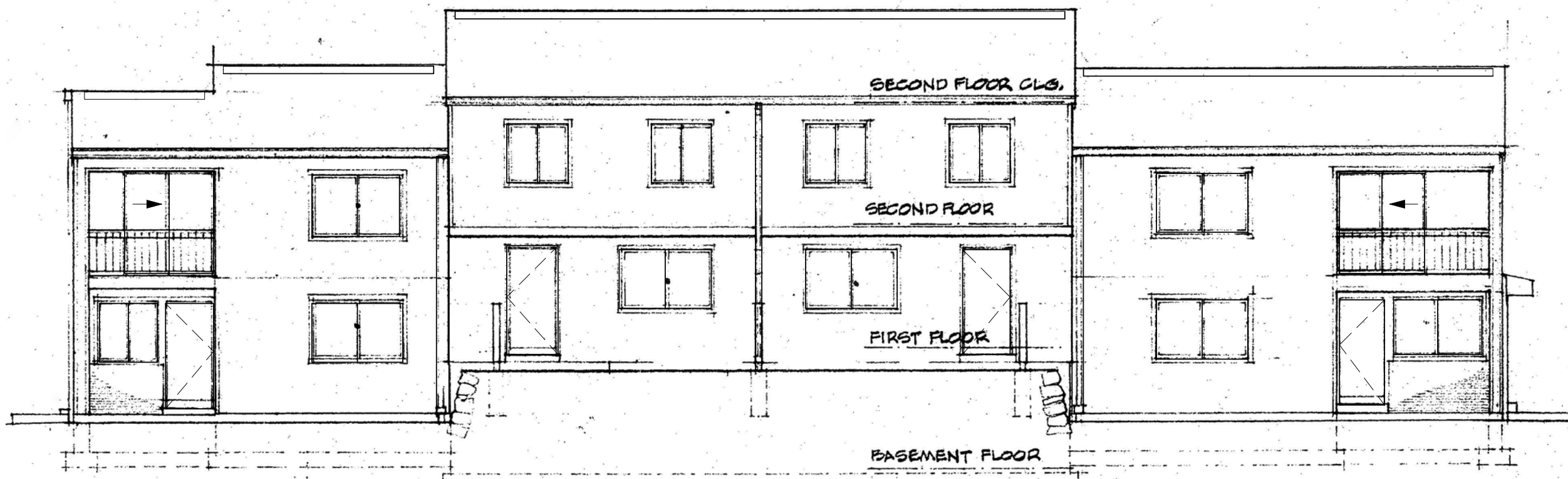
2 Left Side Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



3 Right Side Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING



4 Rear Elevation  
NOT TO SCALE

011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNERS APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH HACPS TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE RISEHOUSE COMMON LAUNDRY ROOM.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE CRACKLE/CRACK RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO DETAIL FOR WALL-H-1 LOCATIONS AND ELEVATION DETAIL. REFER TO WOOD FOR SPECIFICATION.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

## CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type A Exterior  
Elevations

R3A PROJECT # 15074B

A-211





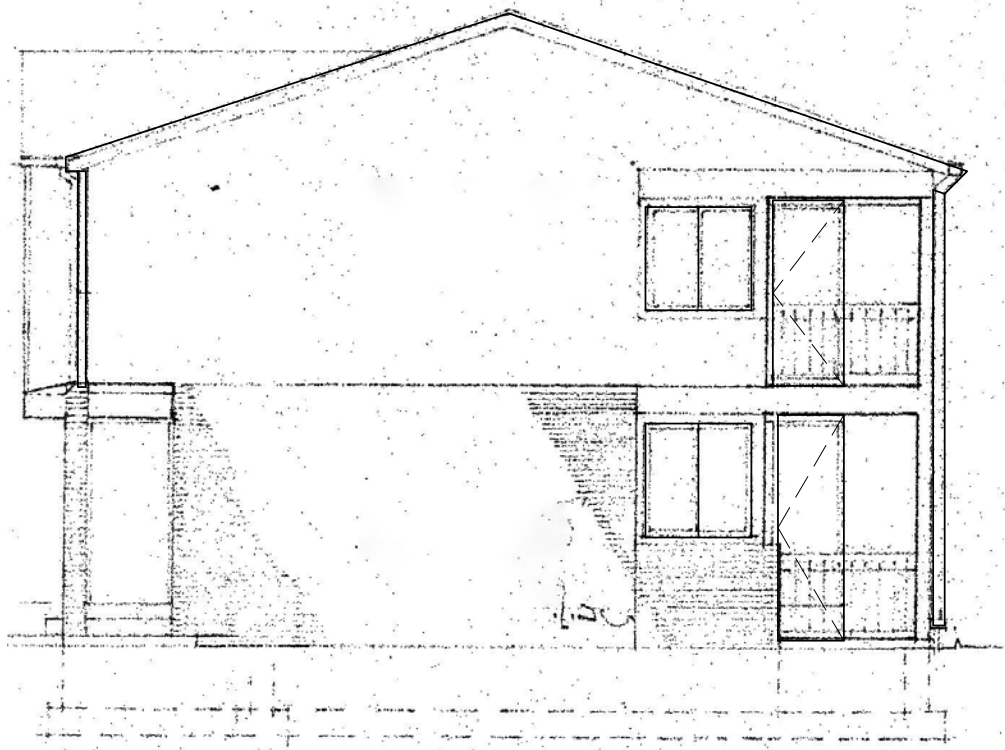
011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

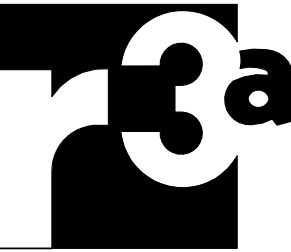
4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICALS PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL, GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING TRIMMS AND DEBRIS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE CRANE/TAUGH RISE PROPERTY ADJACENT WALL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-001 FOR U.S. HSG-1 LOCATIONS AND ELEVATION DETAILS. REFER TO OWNER FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type B Exterior  
Elevations

R3A PROJECT # 15074B

A-212





011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS, FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRILABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING EBCOB, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS, UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PREPARE FLOOR FINISHES TO MATCH ALL DISMISS ALL FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE, PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-10 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDIATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOMS.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE A CRAWLEY JACK RISE, BCR PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL EXISTING HOT AND COLD WATER ROSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN REFER TO NOTES FOR VERTICAL LOCATIONS AND ELEVATION DETAIL REFER TO NOTES FOR PROTECTIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type C Exterior  
Elevations

R3A PROJECT # 15074B

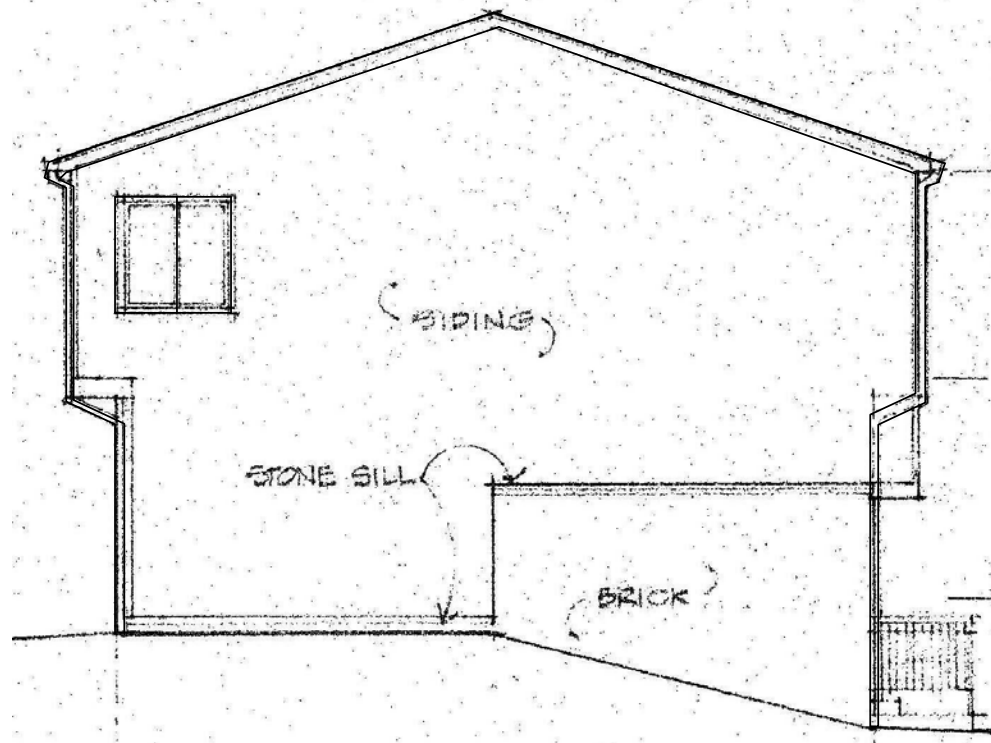
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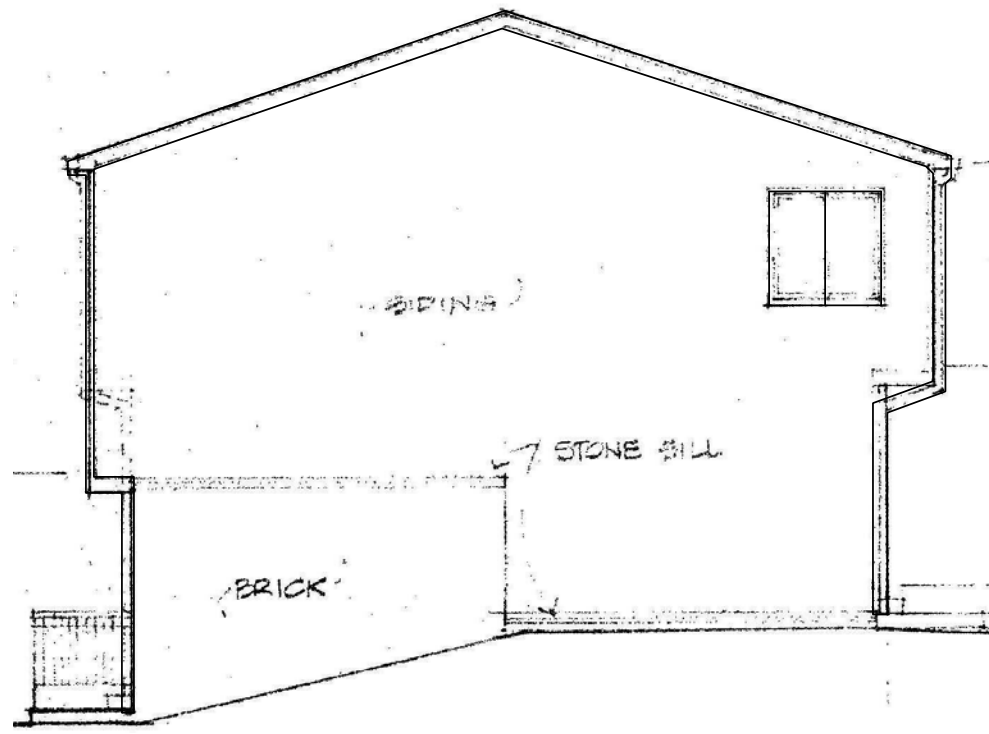
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077100.01  
081000.01  
085000.01
- TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



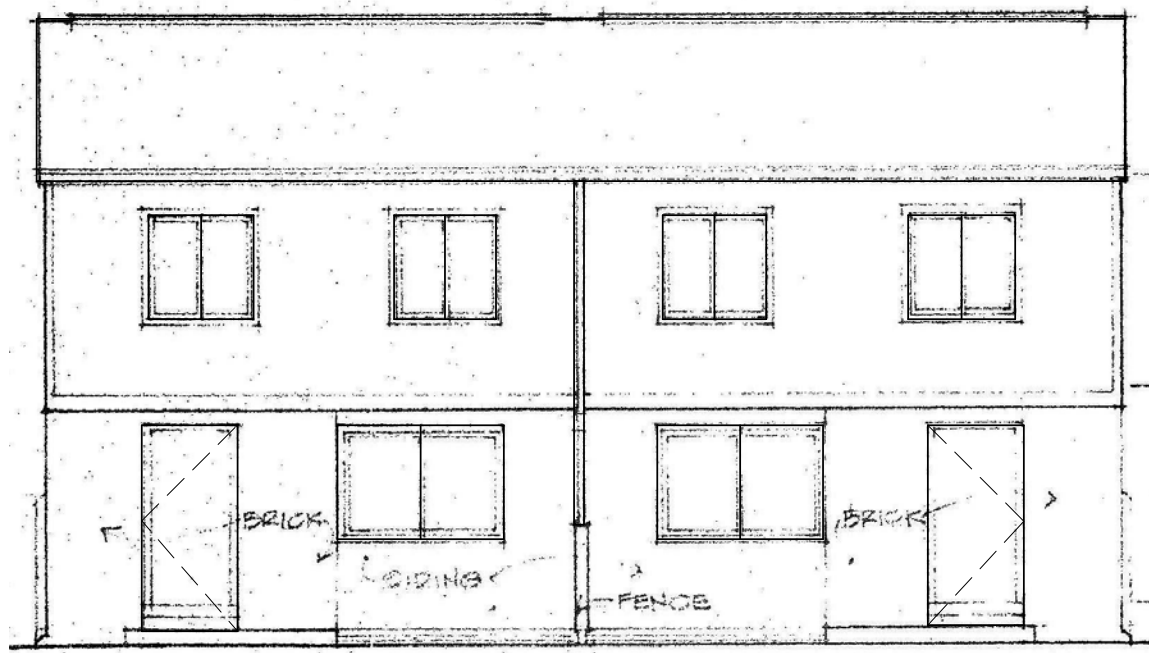
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081000.01  
085000.01
- TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



- 011000.01  
073000.01  
077100.01  
081000.01  
085000.01
- TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



- 011000.01  
073000.01  
077100.01  
081000.01  
085000.01
- TYPICAL FOR ENTIRE BUILDING

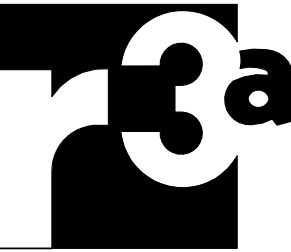
4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING .

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH-RISE COMMON LAUNDRY ROOM.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE CRACKING HIGH-RISE, PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCLR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCH FOR VERTICAL LOCATIONS AND ELEVATION DETAILS. REFER TO ARCH FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

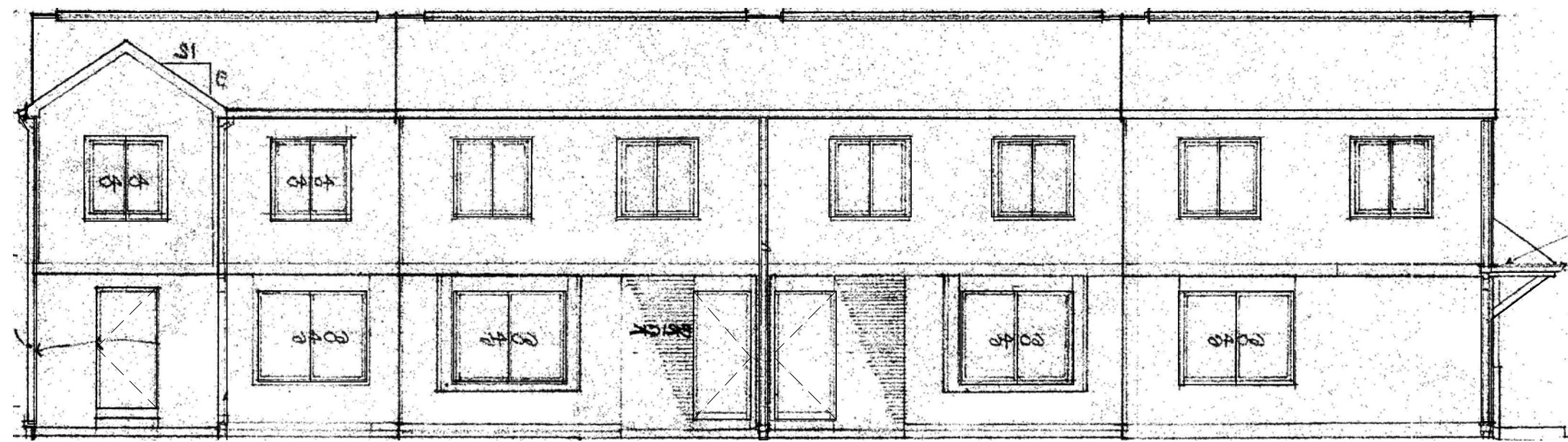
1 | 9.11.17 | REV 1/ADDENDA 2

Family Community  
- Type D Exterior  
Elevations

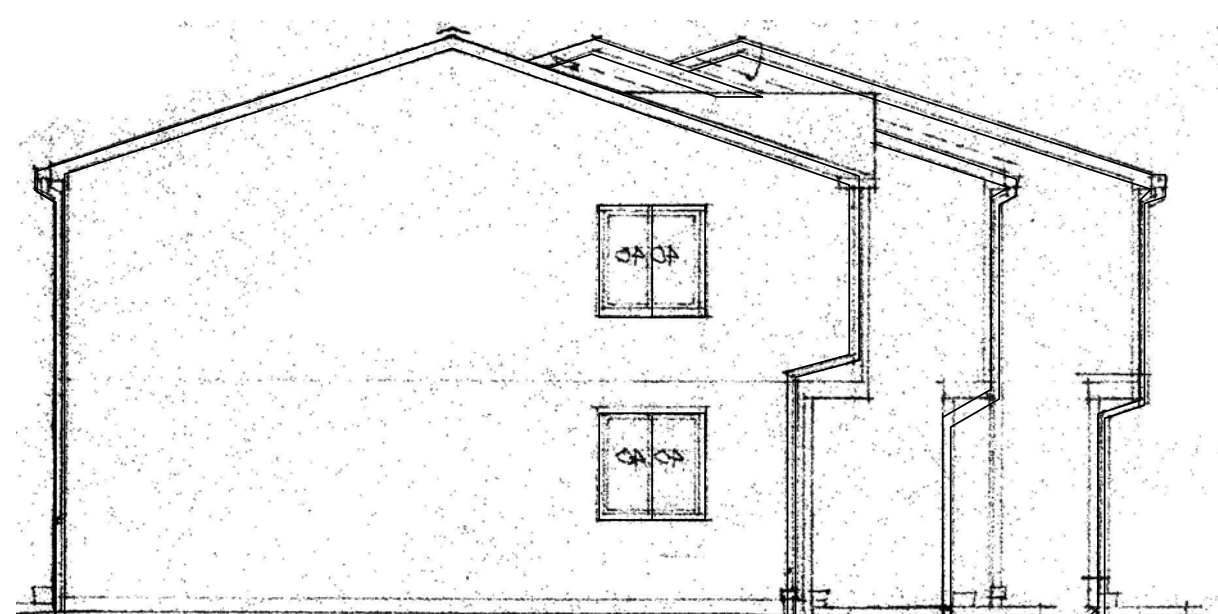
R3A PROJECT # 15074B

A-214

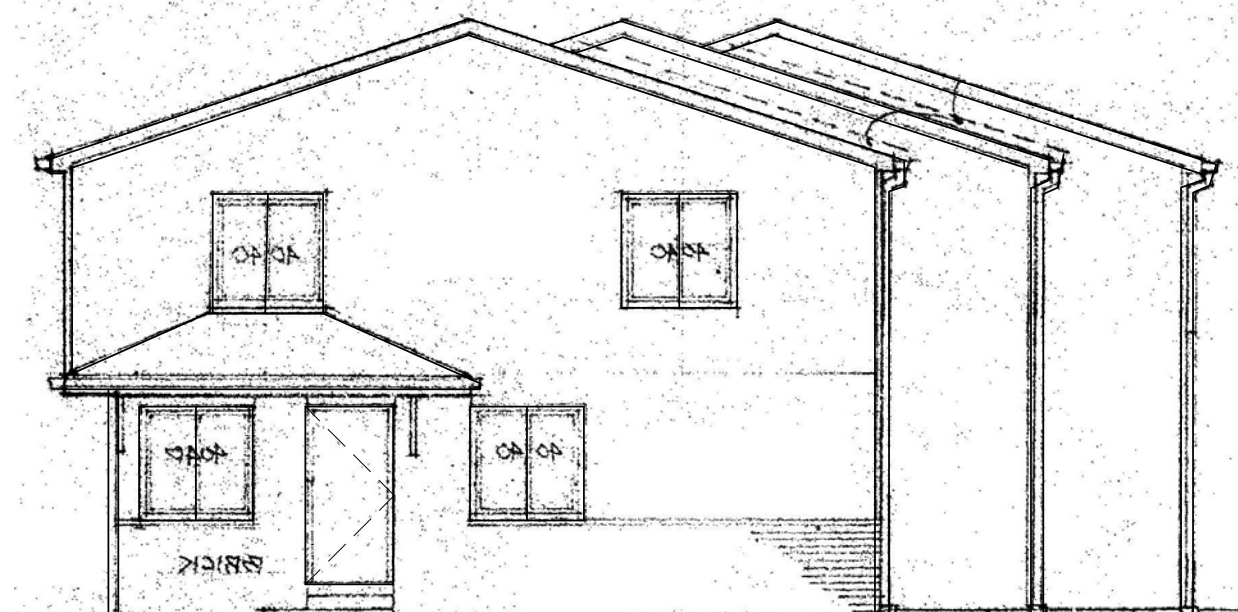




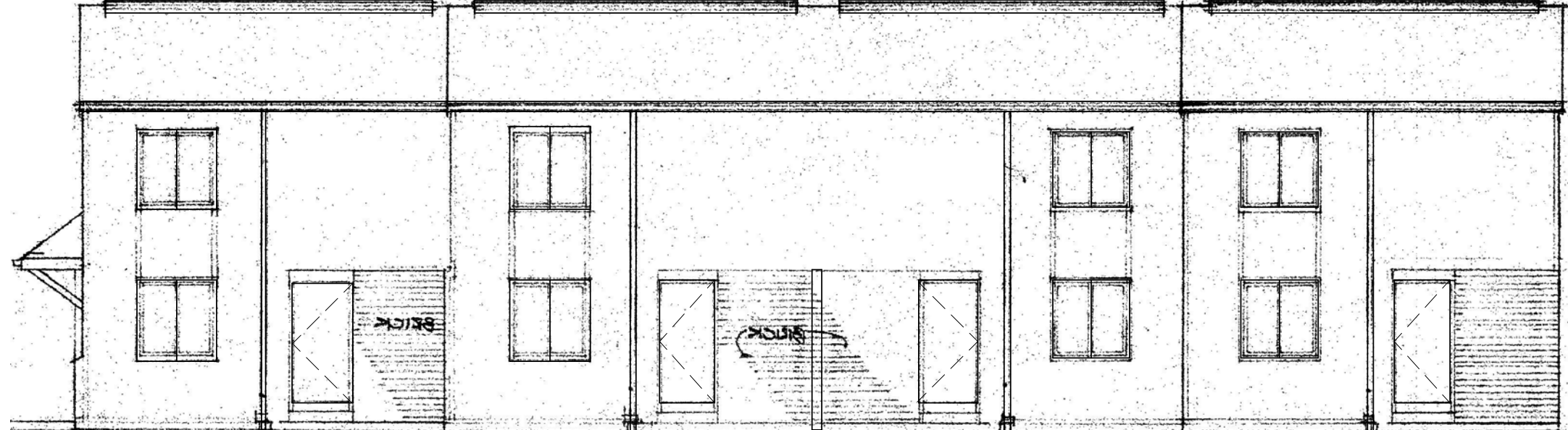
1 Front Elevation  
NOT TO SCALE



2 Left Side Elevation  
NOT TO SCALE



3 Right Side Elevation  
NOT TO SCALE



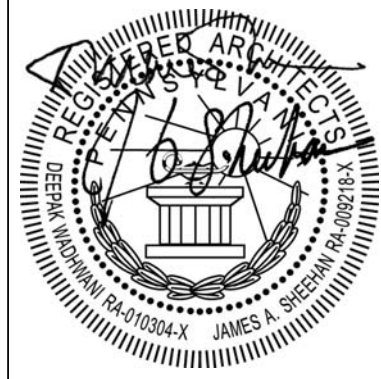
4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
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- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
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- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH HACPS TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM AREA.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- REMOVE CRAWLSPACE RISE BLOCKERY WALLS. MAINTAIN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BOHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCHITECT FOR UPPER 1 LOCATIONS AND ELEVATION DETAIL. REFER TO OWNER FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type E Exterior  
Elevations

R3A PROJECT # 15074B

A-215





011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
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011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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REFERENCED NOTES	
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- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CIBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH-RISE COMMON LAUNDRY ROOM #208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BEFORE CRAWLEY HIGH-RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCHITECT FOR U.N.-HSG-1 LOCATIONS AND ELEVATION DETAILS. REFER TO KEYED FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Family Community  
- Type F UFAS/  
ACCESSIBLE  
Exterior  
Elevations

R3A PROJECT # 15074B

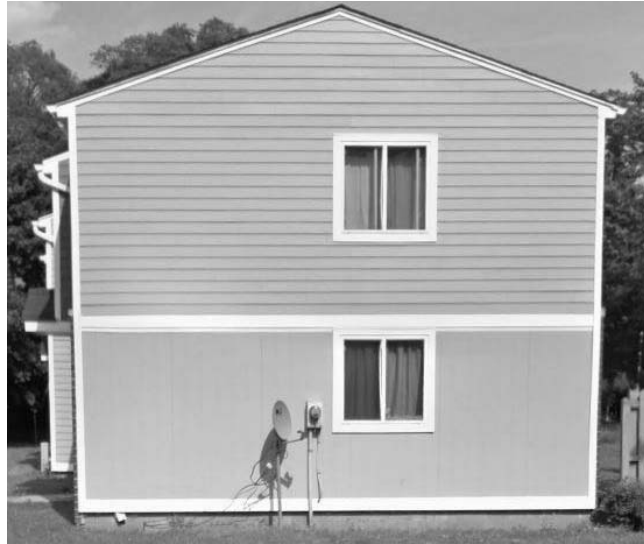
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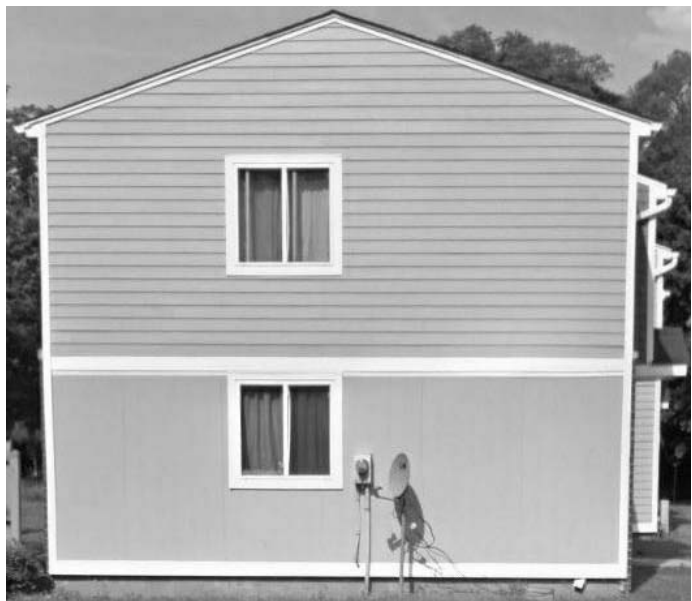
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073000.01  
077100.01  
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085000.01  
TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL, GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGH-RISE COMMON LAUNDRY ROOM AREA.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNARD CRANFORTH HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCRH PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCH FOR VERTICAL LOCATIONS AND ELEVATION DETAILS. REFER TO ARCH FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS	
1	9.11.17 REV 1/ ADDENDUM 2

Family Community  
- Type G Exterior  
Elevations

R3A PROJECT # 15074B

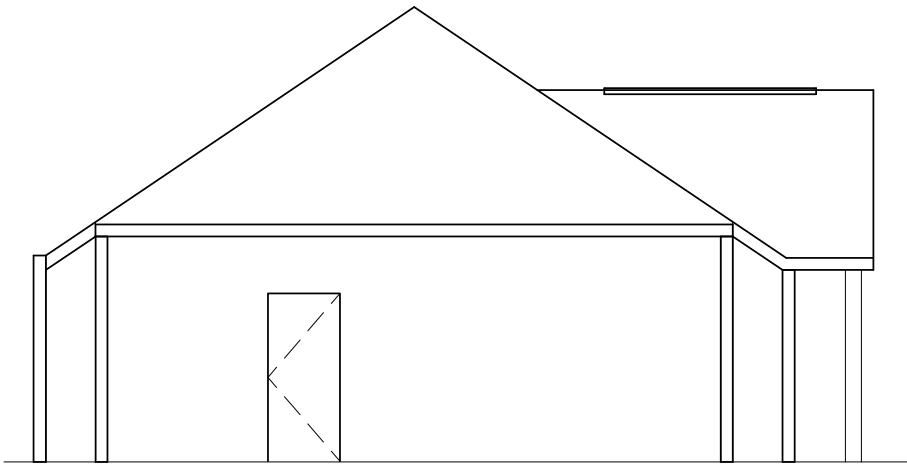
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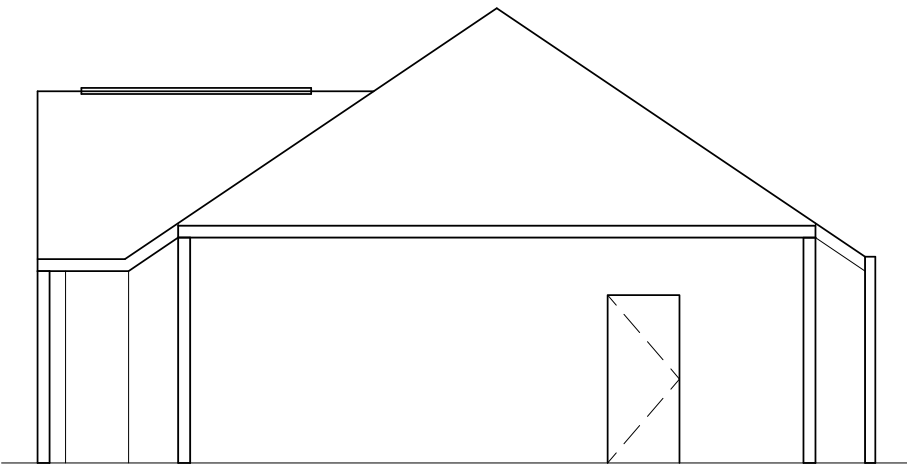
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TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



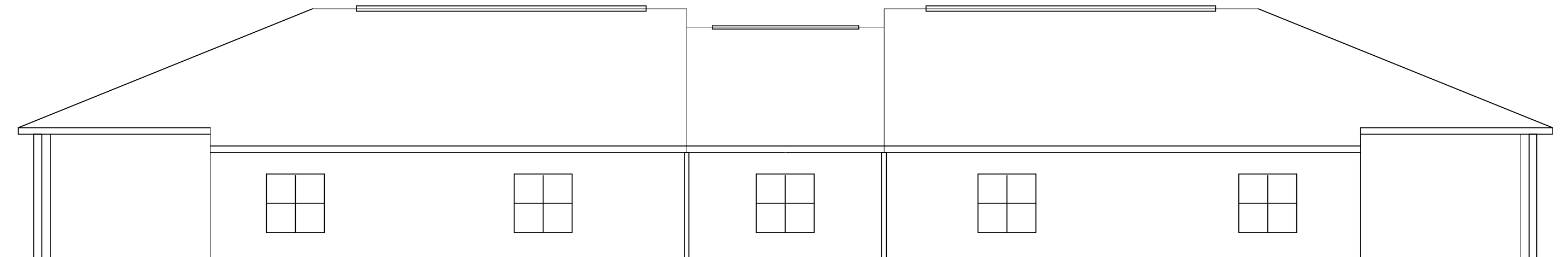
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TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
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077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AND DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AND DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AND DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES & 012200 UNIT PRICES FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED. ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C.'S REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #408.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BENEFIT OF DRAINAGE RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCHITECT FOR VERTICAL LOCATIONS AND ELEVATION DETAILS. REFER TO 012000 FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

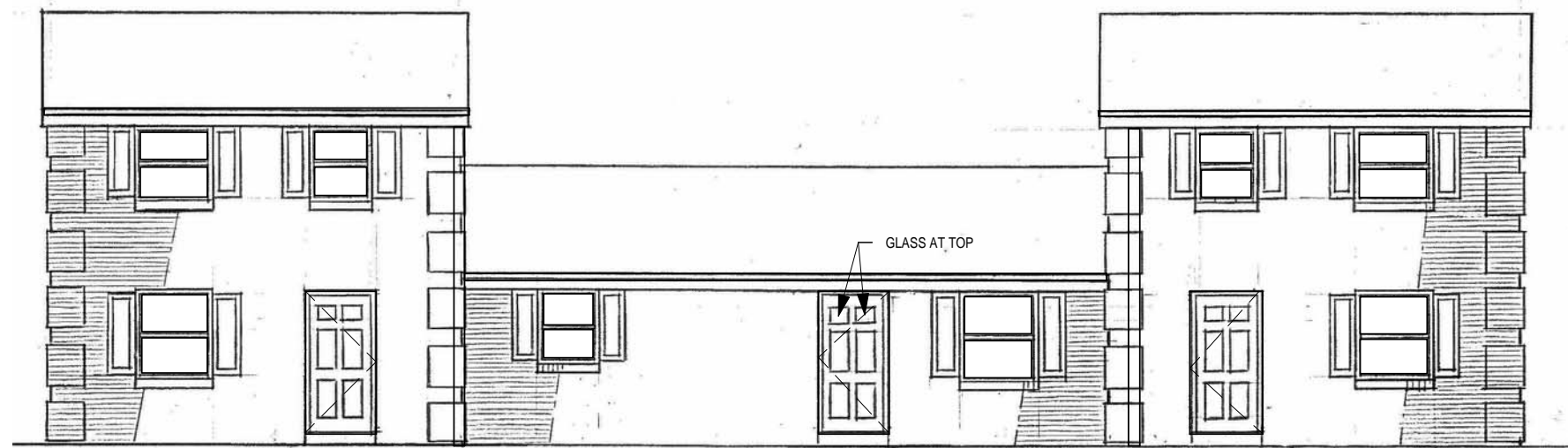
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1 9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type H  
UFAS/Accessible  
Exterior  
Elevations

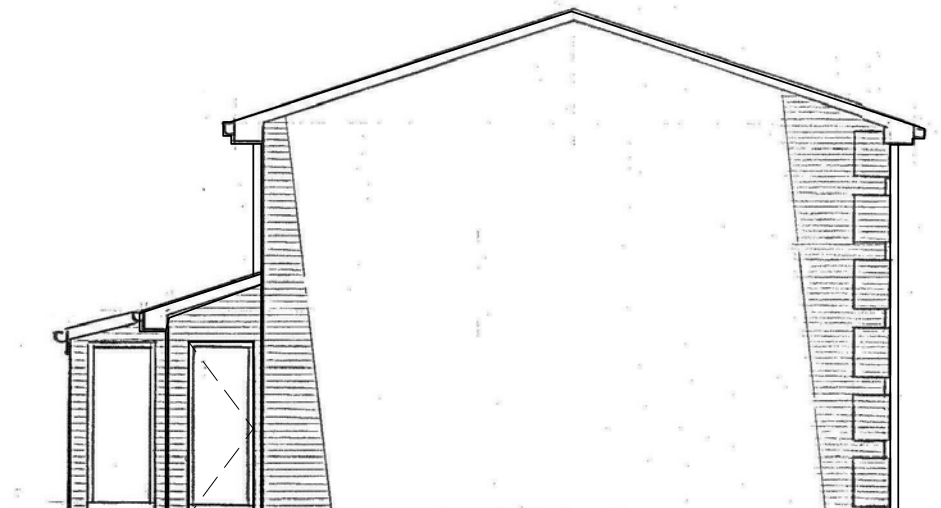
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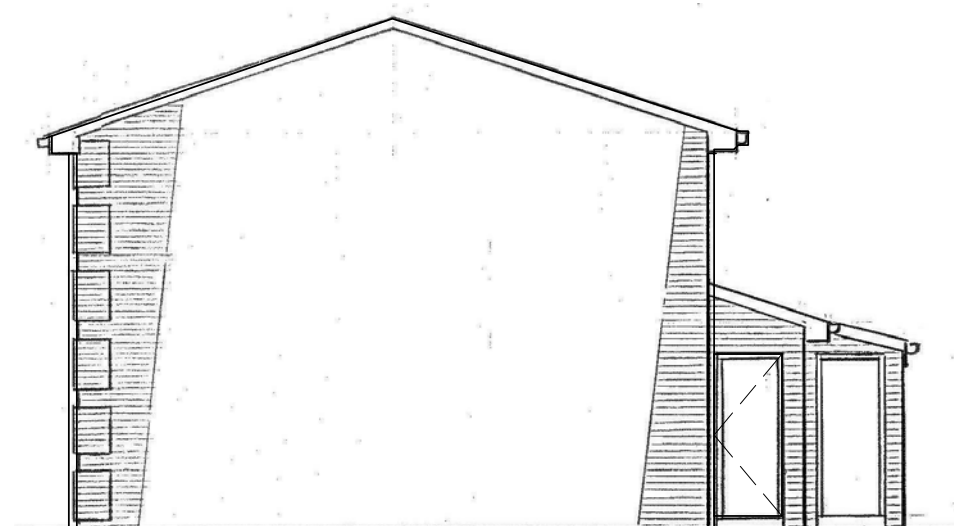




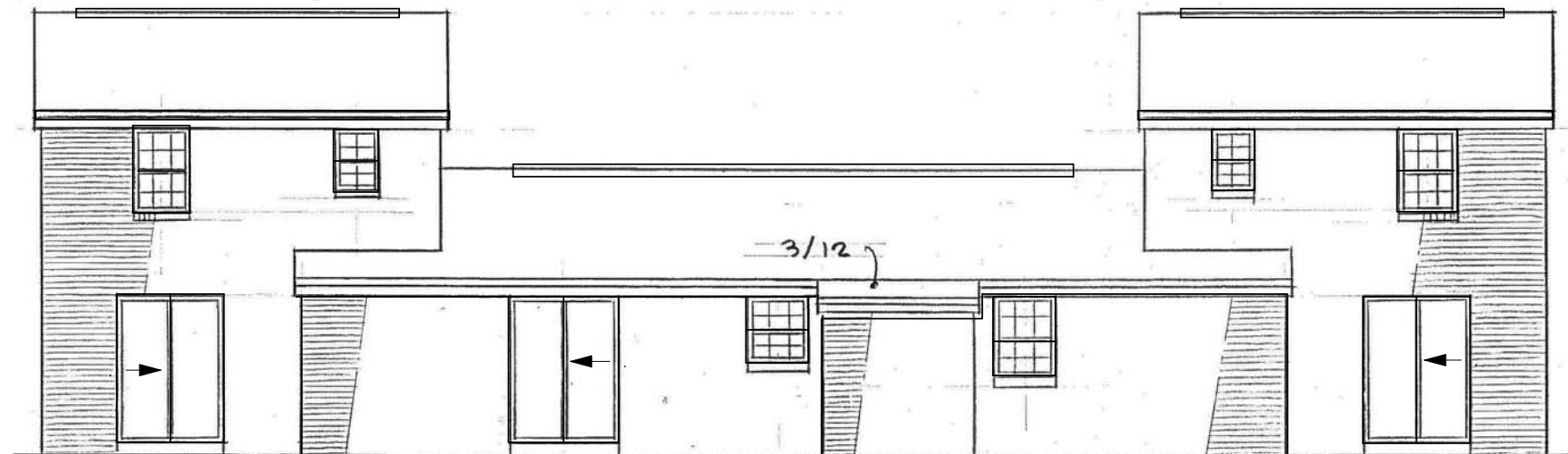
1 Front Elevation  
NOT TO SCALE



2 Left Side Elevation  
NOT TO SCALE



3 Right Side Elevation  
NOT TO SCALE



4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING. .

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CIBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
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- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET G-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH A.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM AREA.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BESIDE CRANKLEY MAN RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCHITECT FOR VARIOUS 1" LOCATIONS AND ELEVATION DETAILS. REFER TO QUANTITY FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

## CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1	9.11.17	REV 1/ ADDENDA 2
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Family Community  
- Type J Exterior  
Elevations

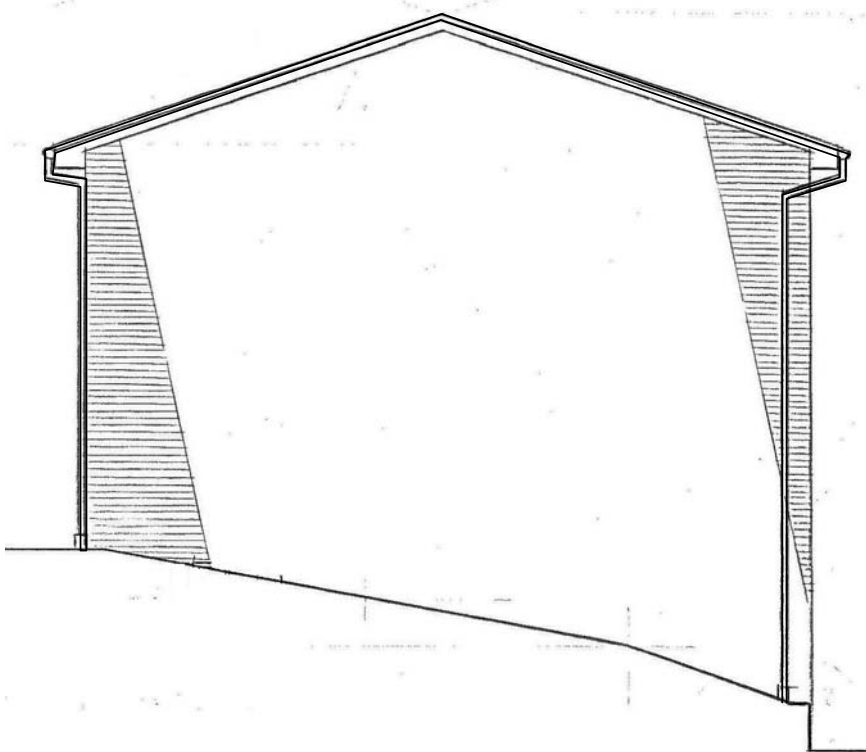
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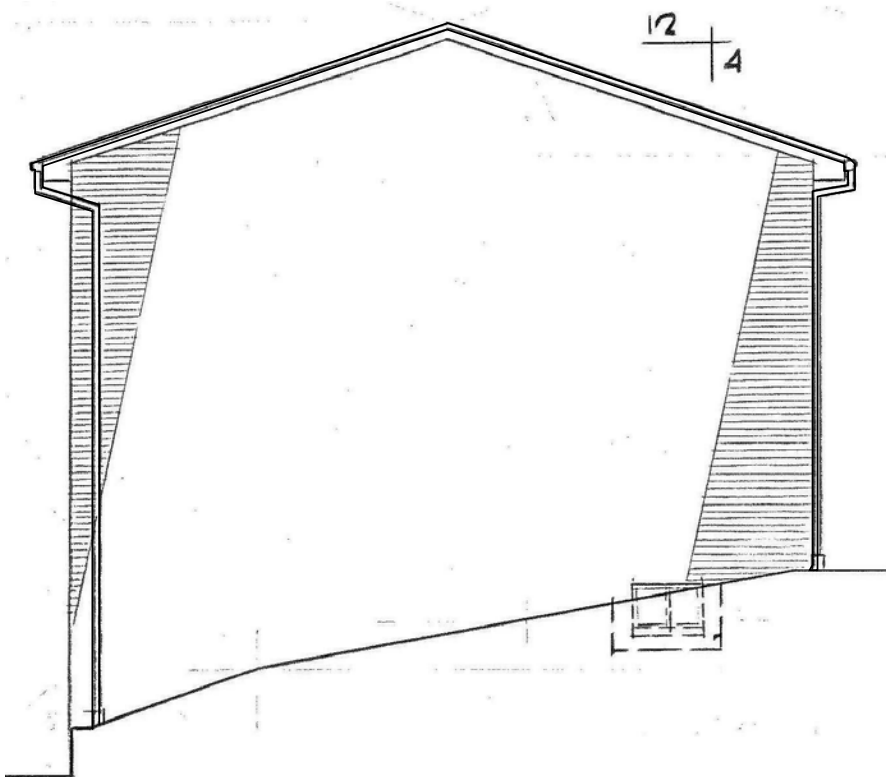
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TYPICAL FOR ENTIRE BUILDING

1 Front Elevation  
NOT TO SCALE



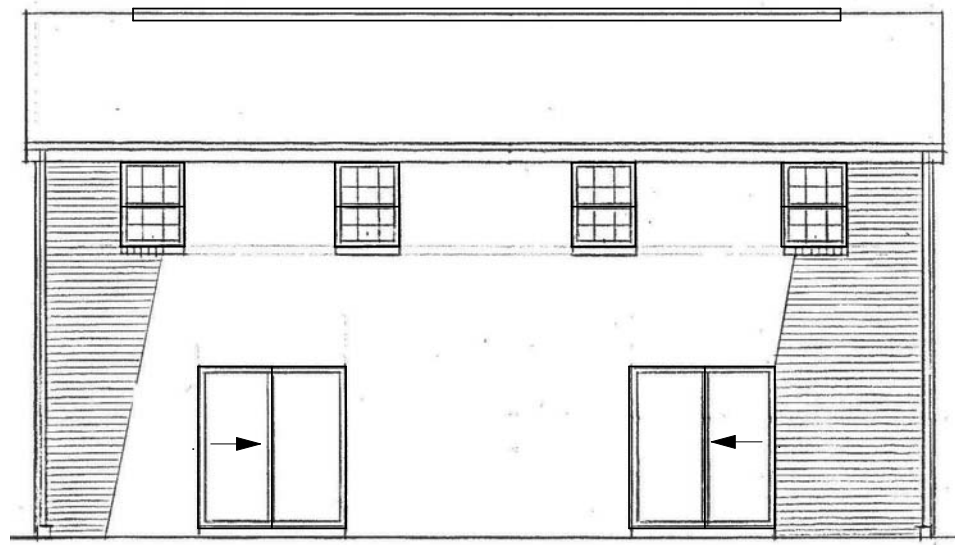
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TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01  
TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
081000.03  
085000.01  
TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS, UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE, HACP'S RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S RELOCATION CONSULTANT. HACP'S RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE & THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE & ARCHITECT, WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5' HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED, SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEYED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
- EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH HACP TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM Y208.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BENEFICIAL CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCHITECT FOR UPHHSG-1 LOCATIONS AND ELEVATION DETAILS. REFER TO KEYED DRAWINGS FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

Design Development

ISSUED: April 7, 2017

REVISIONS	
1	9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type K Exterior  
Elevations

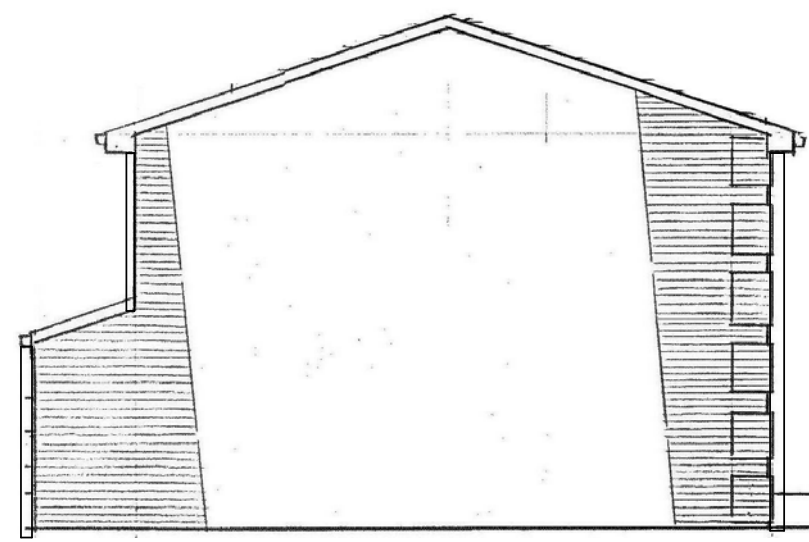
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A-220

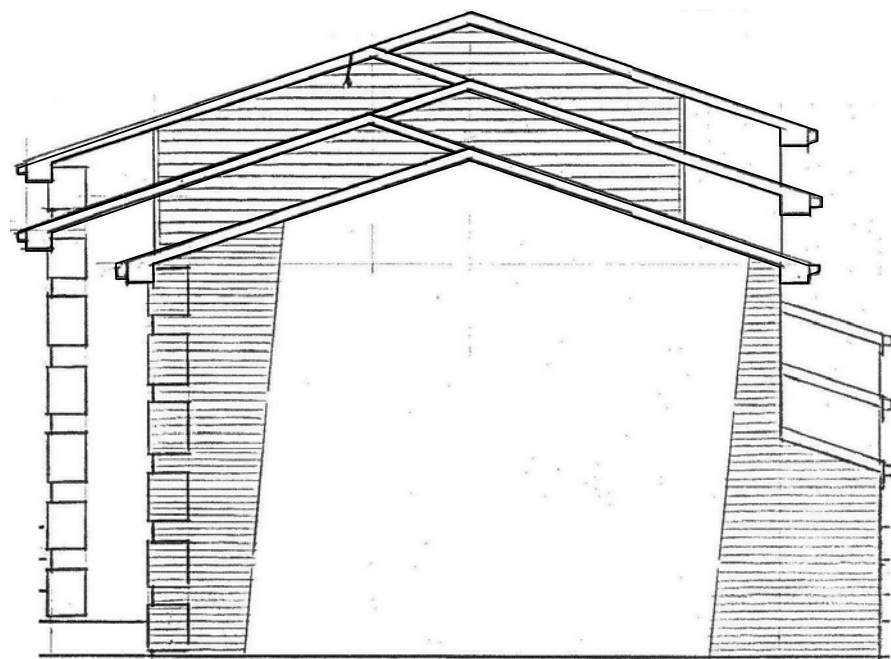




1 Front Elevation  
NOT TO SCALE



2 Left Side Elevation  
NOT TO SCALE



3 Right Side Elevation  
NOT TO SCALE



4 Rear Elevation  
NOT TO SCALE

REFERENCED NOTES	
MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
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REFERENCED NOTES	
MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

## GENERAL NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDINGS FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRISIBLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
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- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF-SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
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- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- NOTES 16 - 18 NOT USED.
- WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
- PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT DOORS THAT HAVE SLIP PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
- PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
- EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN, WHERE WOOD FINISH, SAND, PREPARE AND PROVIDE SATIN POLYURETHANE, WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
- GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
- REFER TO KEVED DRAWINGS FOR ADDITIONAL GENERAL AND REFERENCED CONSTRUCTION NOTES.
- REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
- REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
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- FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
- OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM #608.
- FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
- BENEDICT CRAWLEY HIGH RISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
- FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM UNO.
- FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO A-184 FOR WB-16G-1 LOCATIONS AND ELEVATION DETAIL. REFER TO OWNER FOR SPECIFICATIONS.
- NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



Renaissance 3 Architects, P.C.

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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 | 9.11.17 | REV 1 | ADDENDA 2

Family Community  
- Type L Exterior  
Elevations

R3A PROJECT # 15074B

A-221

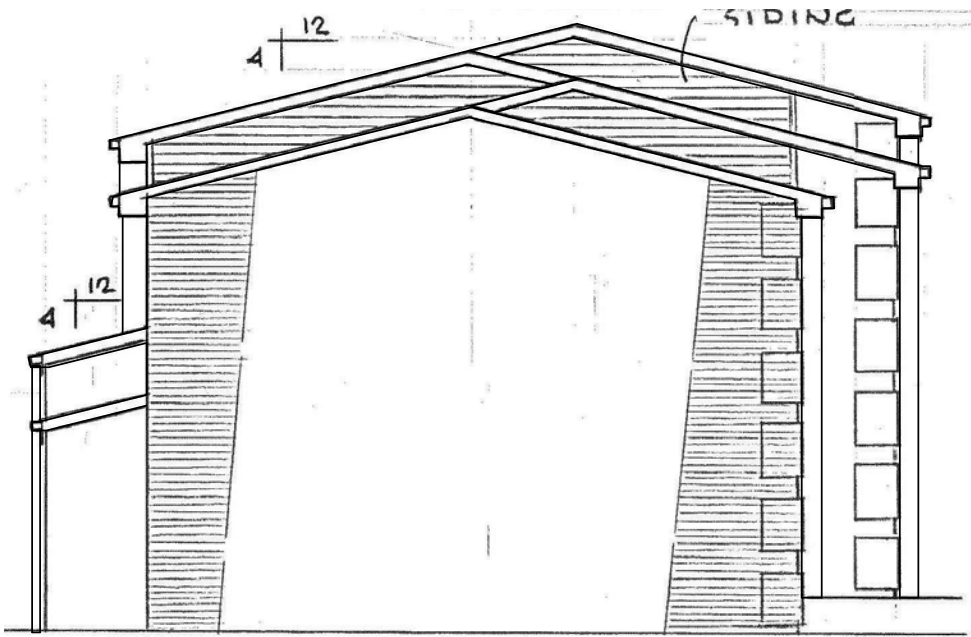




011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

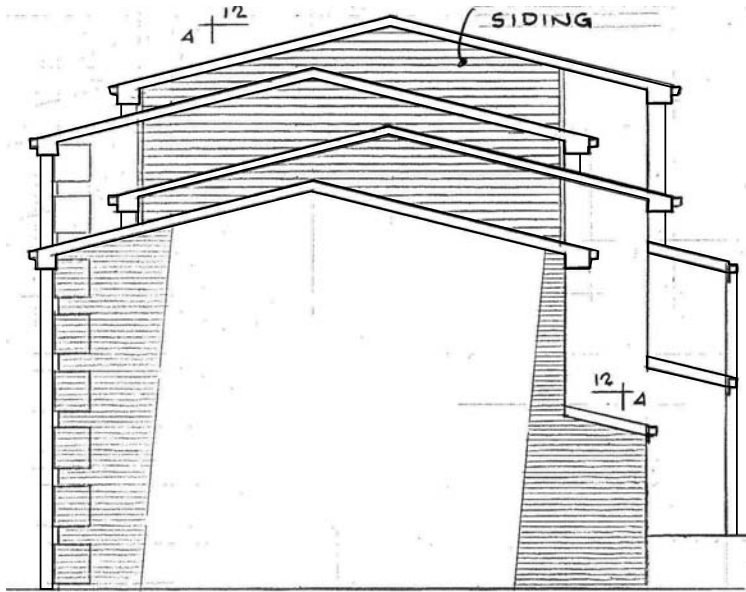
1 Front Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

2 Left Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

3 Right Side Elevation  
NOT TO SCALE



011000.01  
073000.01  
077100.01  
081000.01  
085000.01

TYPICAL FOR ENTIRE BUILDING

4 Rear Elevation  
NOT TO SCALE

#### REFERENCED NOTES

MARK	DESCRIPTION
011000.01	NOT USED
073000.01	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, RIDGE VENTS AND ACCESSORIES DOWN TO EXISTING SHEATHING. REMOVE AND REPLACE EXISTING DAMAGED SHEATHING AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. FURNISH AND INSTALL SHINGLE ROOFING SYSTEM, RIDGE VENTS, CRICKETS, FLASHING AND ALL ACCESSORIES AS REQUIRED. TYPICAL OF ALL ROOFS.
077100.01	REMOVE AN DISCARD EXISTING GUTTERS AND DOWNSPOUTS. FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS. UTILIZING EXISTING BOOTS UNLESS NOTED OTHERWISE. TYPICAL OF ALL ROOFS.
081000.01	REMOVE AN DISCARD EXISTING EXTERIOR DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR DOORS.
081000.03	REMOVE AN DISCARD EXISTING EXTERIOR SLIDING DOORS AND HARDWARE. FURNISH AND INSTALL EXTERIOR SLIDING DOORS AND HARDWARE OF SAME TYPE AND FUNCTION. FURNISH AND INSTALL BLINDS REMOVE AND REPLACE EXISTING DAMAGED TRIM AND FRAMES AS REQUIRED. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

#### REFERENCED NOTES

MARK	DESCRIPTION
085000.01	REMOVE AND DISCARD EXISTING EXTERIOR WINDOWS, TRIM AND HARDWARE. FURNISH AND INSTALL EXTERIOR WINDOWS AND HARDWARE OF SAME SIZE, TYPE AND FUNCTION. PROVIDE UFAS/ACCESSIBLE COMPLIANT WINDOW HARDWARE AT UFAS/ACCESSIBLE UNITS. FURNISH AND INSTALL WINDOW BLINDS. FURNISH AND INSTALL TRIM AROUND WINDOWS AS REQUIRED. TYPICAL OF ALL EXTERIOR WINDOWS IN THIS BUILDING.

#### GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR & TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION & CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION & PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION & TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION & CONSTRUCTION PHASING & OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE, HACPS RELOCATION CONSULTANT & ARCHITECT APPROVAL & COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS & IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS RELOCATION CONSULTANT. HACPS RELOCATION CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, ALL TENANT BELONGINGS, PUBLIC AREAS & COMMUNITY ROOM BUILDING FURNITURE & EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS & FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS & AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE & TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' & '012200 UNIT PRICES' FOR VARIOUS PRODUCTS & SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE & THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, & CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS & PROVIDE & INSTALL MATERIALS & SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, SITE, HVAC, PLUMBING AND ELECTRICAL DRAWINGS & SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES & OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION & CONSTRUCTION NOTIFY HACPS REPRESENTATIVE & ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED & LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS & ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION & CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED & COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES & INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA & FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY & MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION & CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS & GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS & SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER & OTHER TEMPORARY FACILITIES IN LOCATIONS APPROVED BY HACPS REPRESENTATIVE & ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN & MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS & EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION & CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS & EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION & CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE & ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. PREPARE EXISTING WALL, CEILING AND FLOOR SURFACES TO PROVIDE A SMOOTH AND CONSISTENT SURFACE FOR FINISHES. MATCH ADJACENT MATERIALS, COLORS, TEXTURES AND FINISHES. COORDINATE WITH OTHER PRIME CONTRACTORS, DISCIPLINES AND TRADES AND WITH FINAL FINISHES AS DENOTED IN THE DRAWINGS AND SPECIFICATIONS.
16. NOTES 16 - 18 NOT USED.
17. NOTES 16 - 18 NOT USED.
18. NOTES 16 - 18 NOT USED.
19. WHERE FLOORS ARE INDICATED TO HAVE EXISTING FLOOR FINISHES, SUBSTRATE TO BE REMOVED PRIOR TO NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES WHERE FLOOR FINISHES ARE TO BE INSTALLED OVER EXISTING. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS FOR WARRANTY.
20. PROVIDE FLOOR TRANSITIONS AT ALL DISSIMILAR FLOOR MATERIALS EXCEPT AT DOORS THAT HAVE SILL PLATES. REFER TO DRAWINGS FOR TRANSITION DETAILS.
21. PATCH, SAND AND PREPARE ALL DRYWALL WALLS, AS REQUIRED, WHERE REMOVING 5" HIGH CARPET BASE. PRIME AND PAINT TWO COATS TO MATCH.
22. EXISTING WOOD AND METAL WALL CHAIR RAILS TO REMAIN. WHERE WOOD FINISH: SAND, PREPARE AND PROVIDE SATIN POLYURETHANE. WHERE WOOD OR METAL PAINTED: SAND, PREPARE, PRIME AND PAINT.
23. GENERAL PRIME CONTRACTOR TO REPLACE TUB SURROUNDS AND DRYWALL INDICATED ON THE DRAWINGS. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR COORDINATED SCOPE OF WORK. GENERAL PRIME CONTRACTOR TO INSTALL GRAB BAR BLOCKING, DRYWALL/TILE BACKER BOARD AND TUB SURROUND.
24. REFER TO KEYED DRAWINGS FOR ADDITIONAL, GENERAL AND REFERENCED CONSTRUCTION NOTES.
25. REFER TO SHEET A-001 FOR SYMBOL LEGEND AND STANDARD MOUNTING HEIGHTS.
26. REFER TO SHEET G-110 CODE REFERENCE SHEET FOR BUILDING CODE COMPLIANCE INFORMATION.
27. EXISTING WOOD PAINTED CLOSET SHELVES TO REMAIN. SAND, PREPARE, PRIME AND PAINT.
28. FURNISH AND INSTALL TOILET ACCESSORIES AND REQUIRED BLOCKING AT WALLS AT BATHROOMS WHERE BATH VANITIES ARE BEING REPLACED. INCLUDE TOILET ACCESSORIES THAT ARE ATTACHED TO VANITIES.
29. OWNER'S APPLIANCE LEASE COMPANY WILL COORDINATE PROJECT SCHEDULE WITH G.C. TO REMOVE EXISTING WASHERS AND DRYERS WITHIN THE HIGHRISE COMMON LAUNDRY ROOM AREA.
30. FURNISH AND INSTALL HORIZONTAL BLINDS WITHIN CASED OPENINGS AT ALL WINDOWS AND VERTICAL BLINDS AT BUILDING SLIDING GLASS DOORS.
31. BERNARD CRAPPEY HIGHRISE PROPERTY MANAGER WILL CLEAN EXISTING HARD PIPING AND REPLACE ALL FLEXIBLE HOT AND COLD WATER HOSES AND DRAIN HOSES FOR WASHERS AND DUCTING FOR DRYERS. BCHR PROPERTY MANAGEMENT TO COORDINATE WITH OWNER'S LEASING COMPANY AND G.C.'S SCHEDULE.
32. FURNISH AND INSTALL TB-1 WHERE SHOWN ON THE DRAWINGS. MOUNT TB-1 30" AFF TO BOTTOM U.N.O.
33. FURNISH AND INSTALL CORNER GUARDS AND WALL PROTECTION WHERE SHOWN. REFER TO ARCH FOR VERTICAL LOCATIONS AND ELEVATION DETAILS. REFER TO ARCH FOR SPECIFICATIONS.
34. NON-BACTERIAL PAINTABLE SEALANT AROUND ALL SINKS, VANITY TOPS AND SHOWER SURROUNDS. COLOR TO BE APPROVED BY ARCHITECT.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
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Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

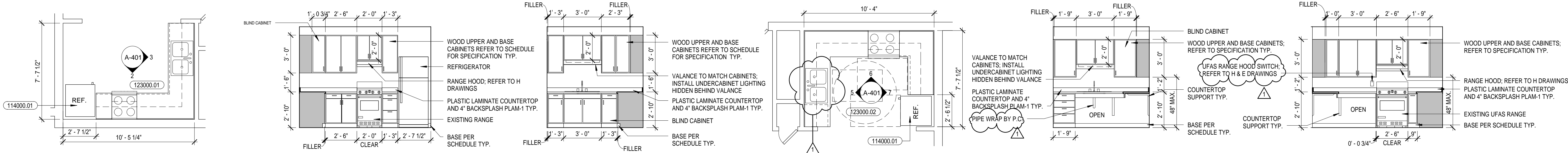
1 | 9.11.17 | REV 1/ADDENDA 2

Family Community  
- Type M Exterior  
Elevations

R3A PROJECT # 15074B

A-222





1 Large One Bedroom Enlarged Kitchen Plan  
1/4" = 1'-0"

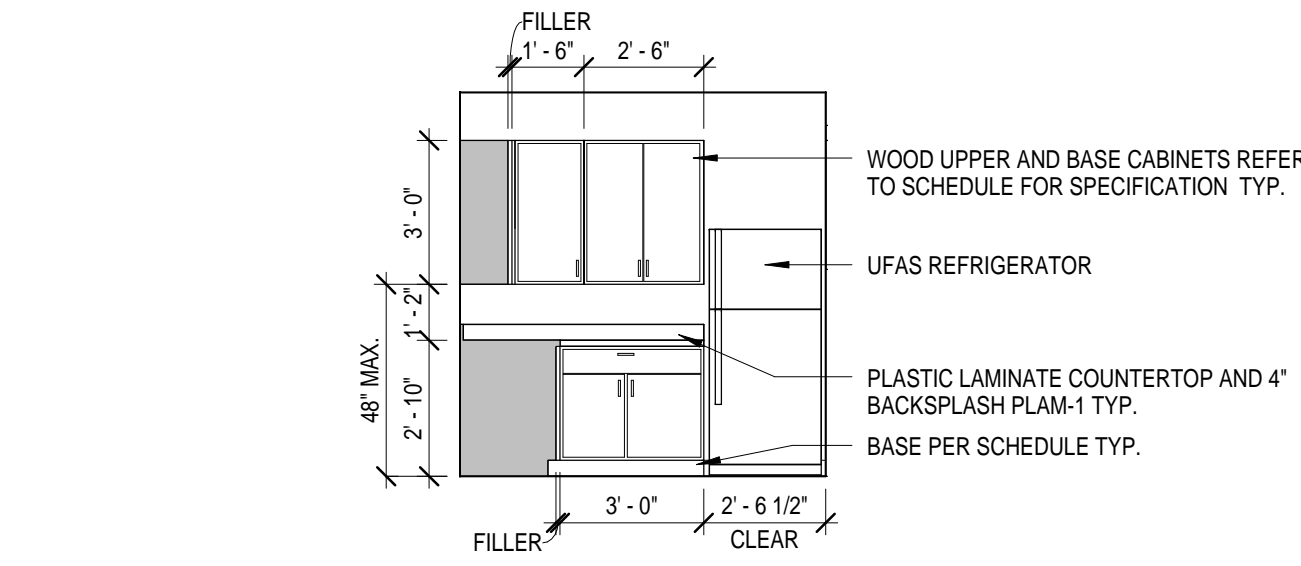
2 Elevation - Large One Bedroom  
1/4" = 1'-0"

3 Elevation - Large One Bedroom  
1/4" = 1'-0"

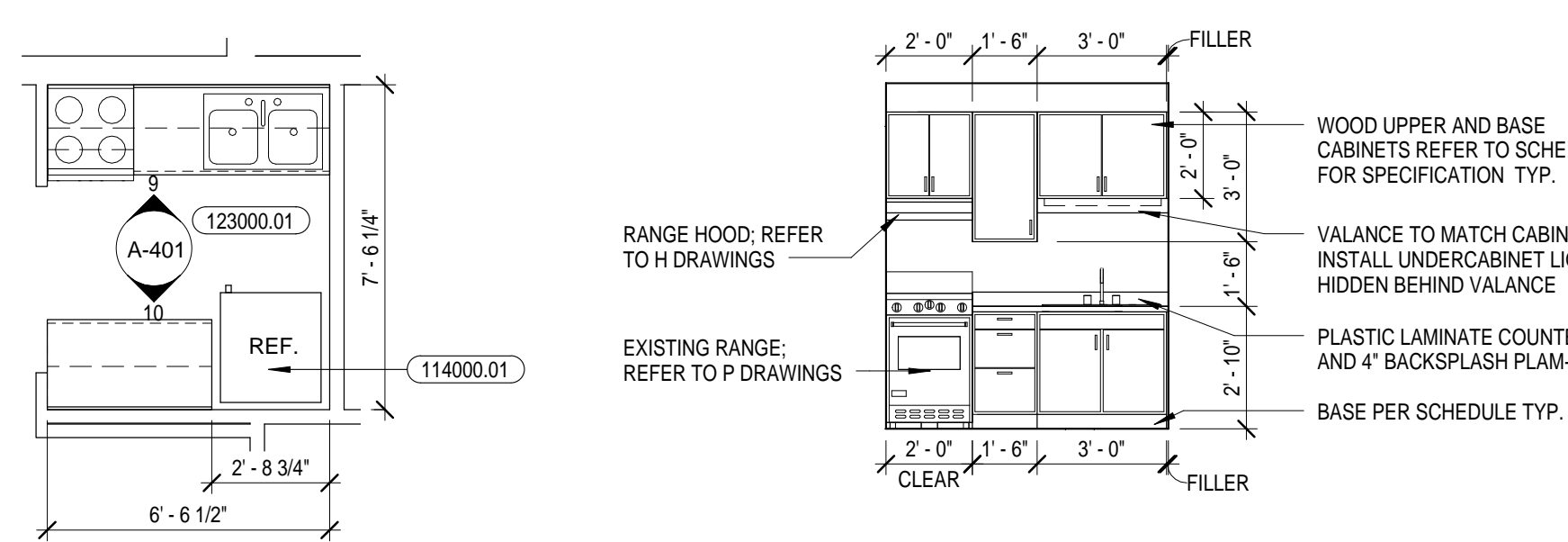
4 UFAS One Bedroom Enlarged Plan  
1/4" = 1'-0"

5 UFAS/ Accessible Elevation - One Bedroom  
1/4" = 1'-0"

6 UFAS/ Accessible Elevation -One Bedroom  
1/4" = 1'-0"

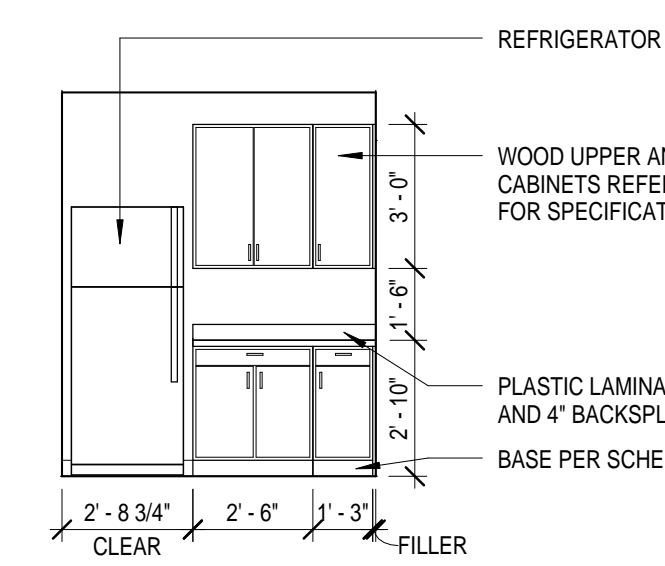


7 UFAS/ Accessible Elevation - One Bedroom  
1/4" = 1'-0"

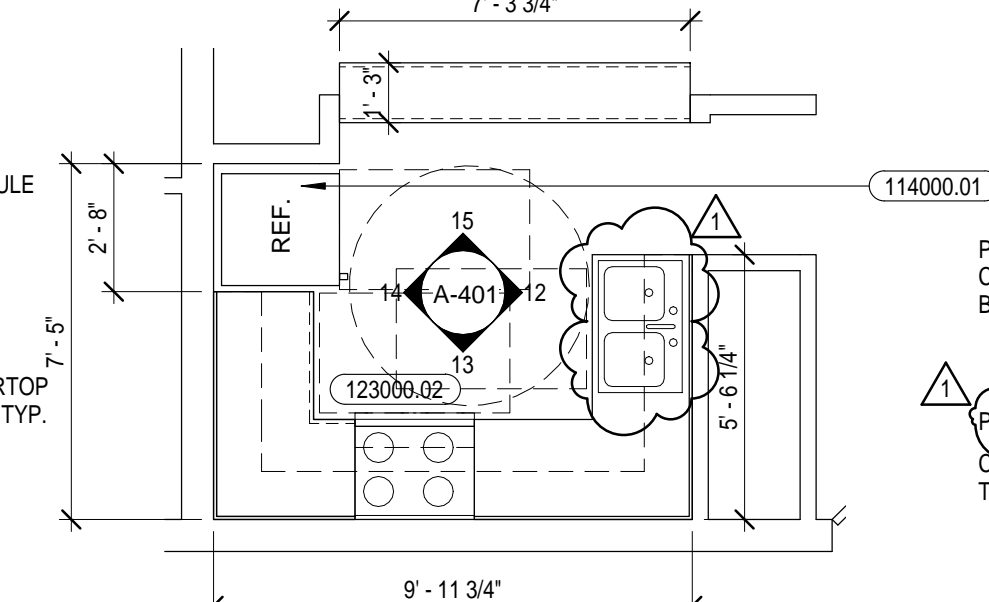


8 Small One Bedroom Enlarged Plan  
1/4" = 1'-0"

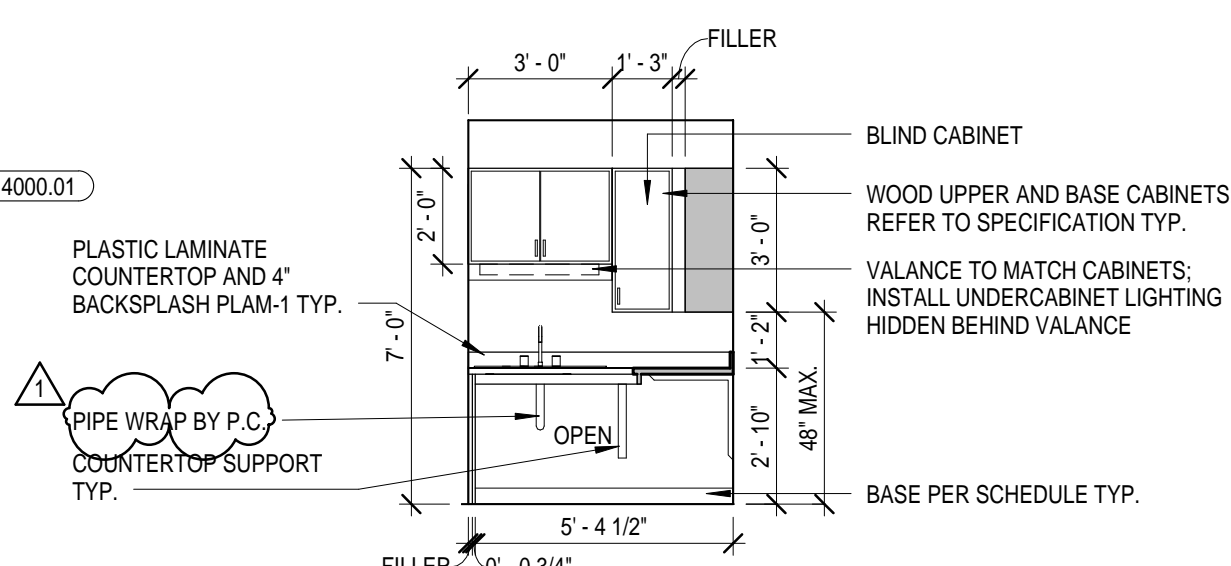
9 Elevation - Small One Bedroom  
1/4" = 1'-0"



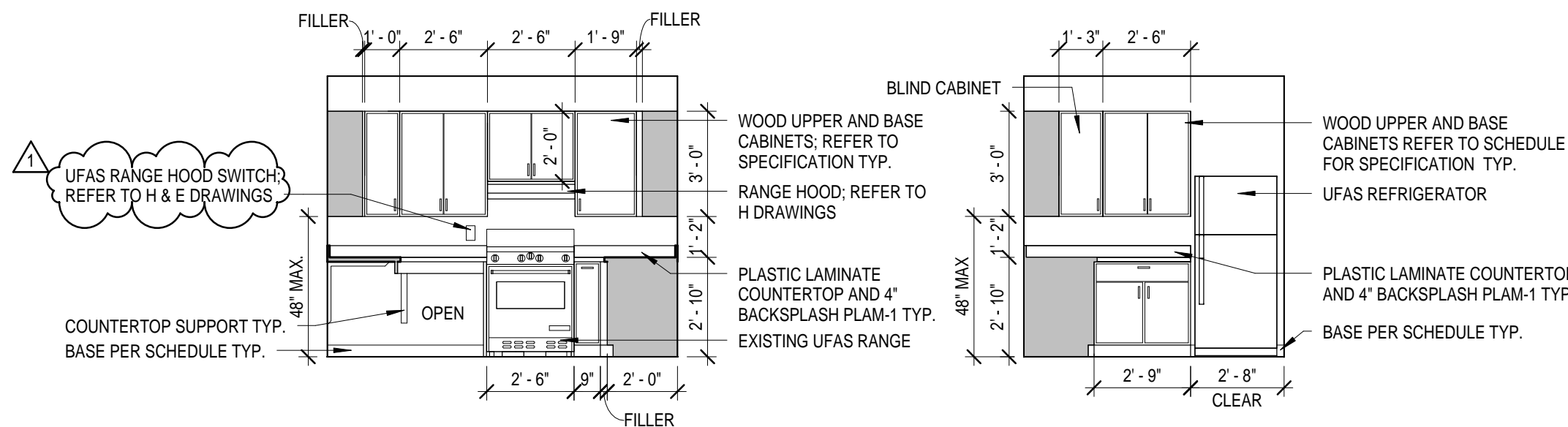
10 Elevation - Small One Bedroom  
1/4" = 1'-0"



11 UFAS/ Accessible Two Bedroom Enlarged Plan  
1/4" = 1'-0"

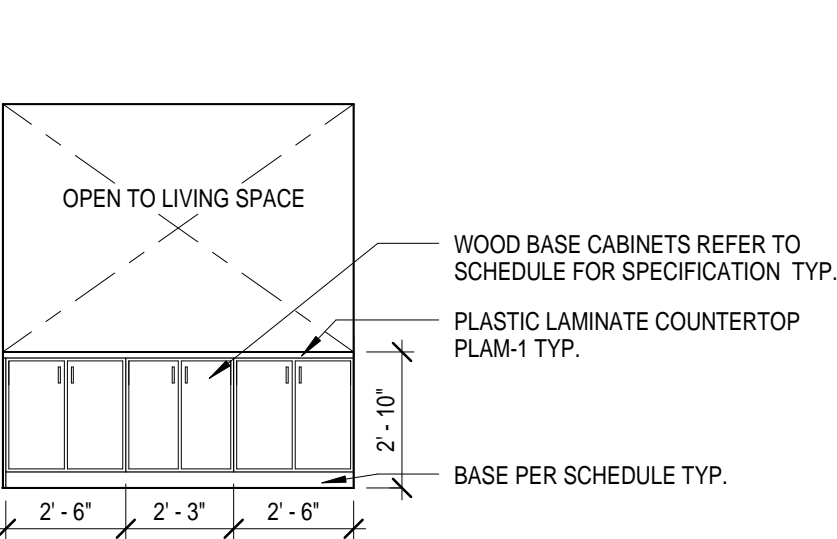


12 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"

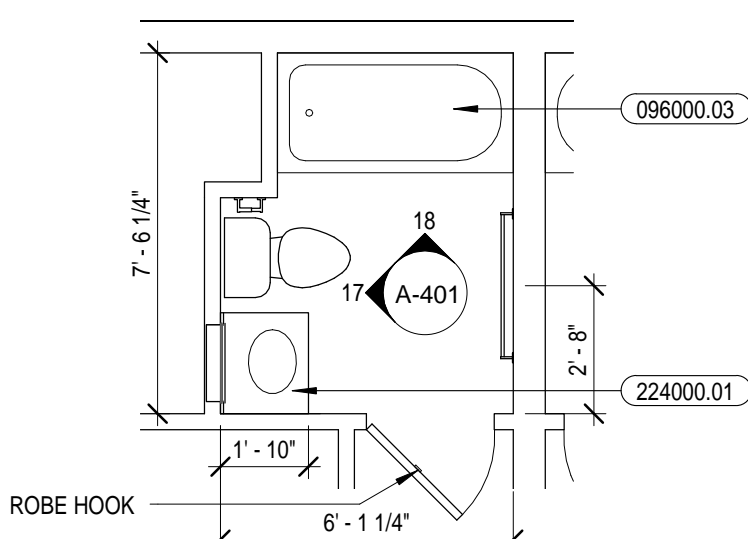


13 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"

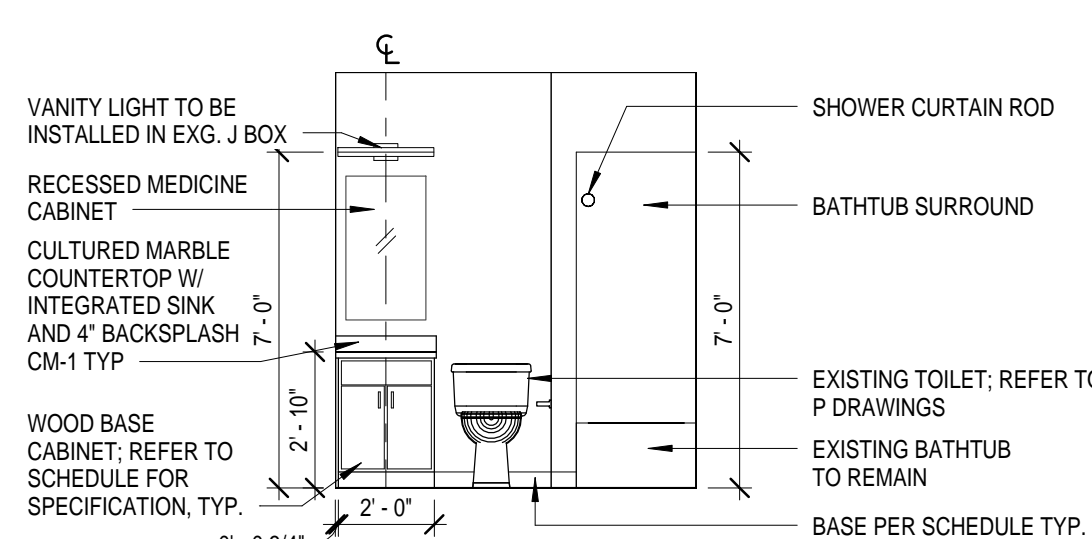
14 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"



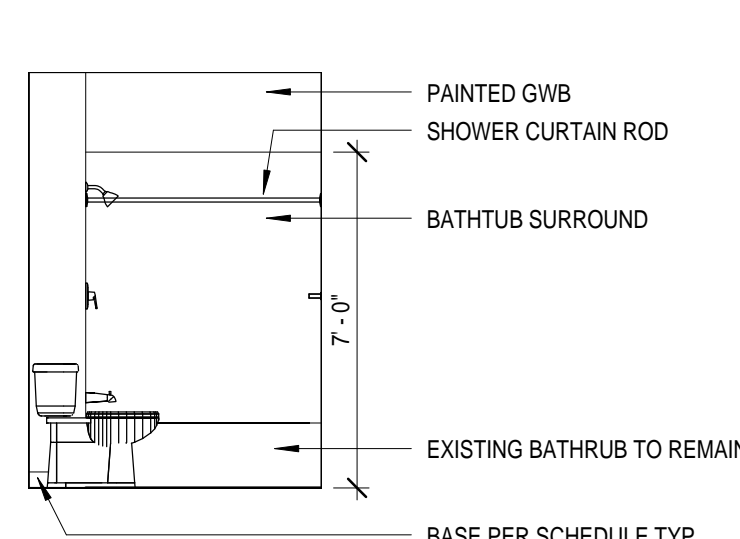
15 UFAS/ Accessible Elevation - Two Bedroom  
1/4" = 1'-0"



16 Small One Bedroom Enlarged Plan  
1/4" = 1'-0"



17 Elevation - Small One Bedroom  
1/4" = 1'-0"



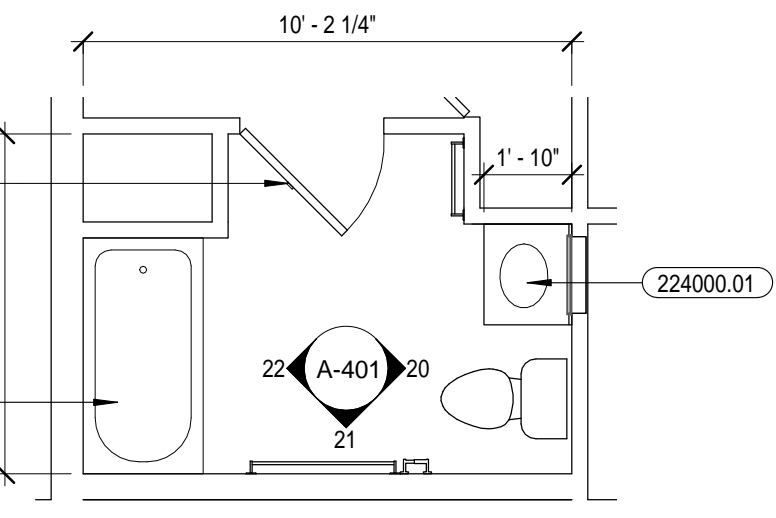
18 Elevation- Small One Bedroom  
1/4" = 1'-0"

## GENERAL NOTES

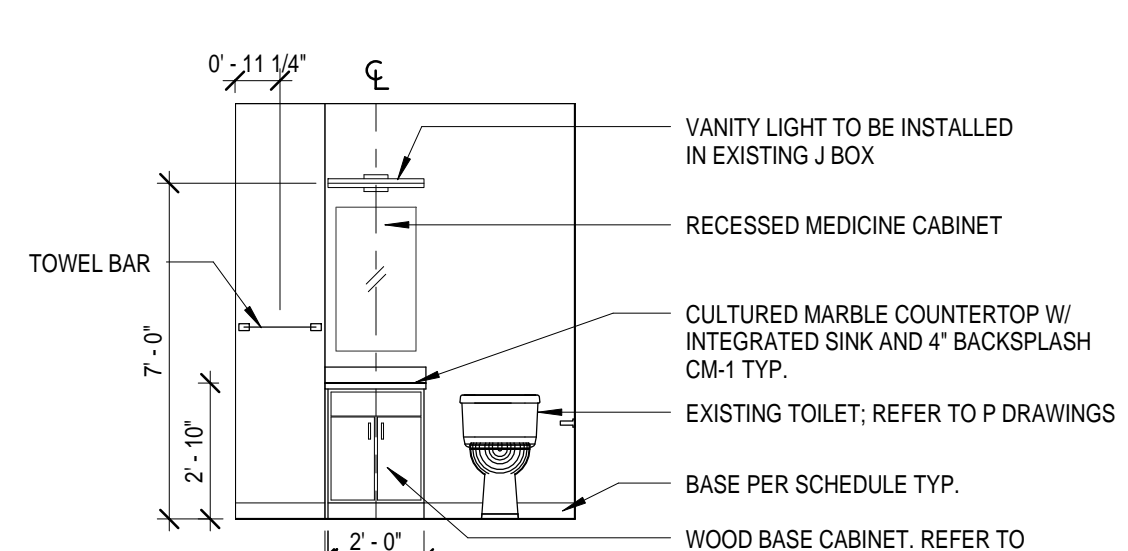
1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800
3. FURNISH AND INSTALL ALL STANDARD UNIT BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATES
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND EQUIPMENT DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

## REFERENCED NOTES

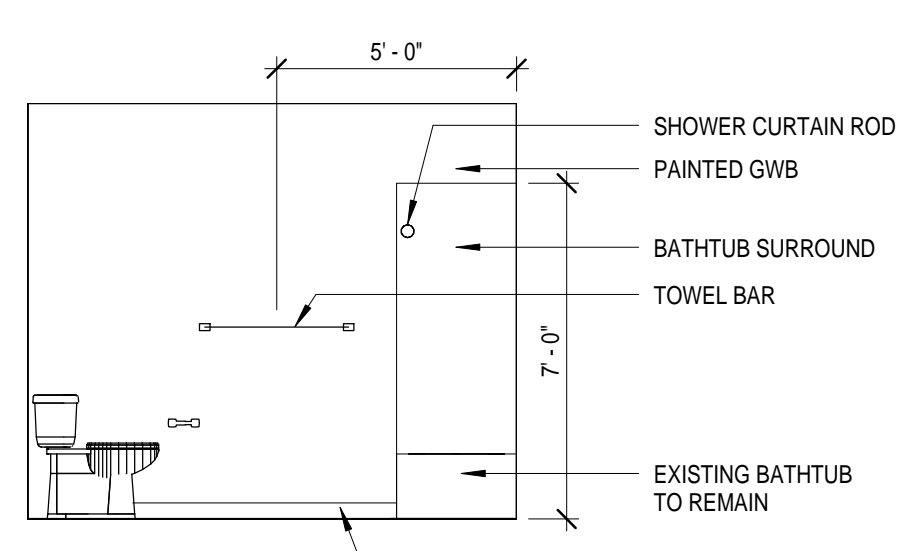
MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STOPS. TILE BACKER BOARD TUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT WALLS WHERE TUBS ARE AGAINST FIRE RESISTANT RATED COORIDOR OR TENANT SPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN UNIT TYPES.
123000.02	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL UFAS/ACCESSIBLE KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.



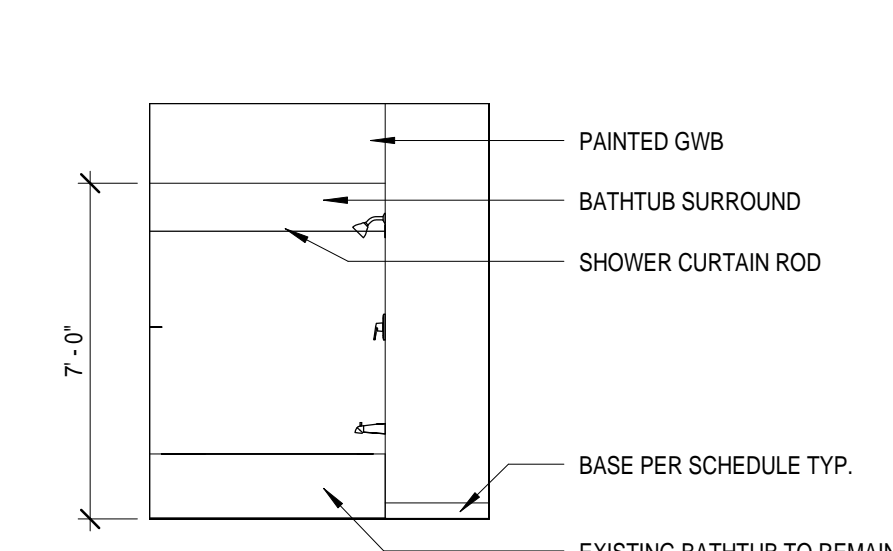
19 Large One Bedroom Enlarged Bathroom Plan  
1/4" = 1'-0"



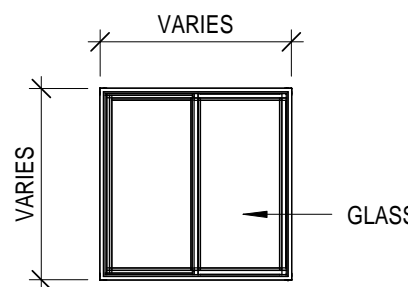
20 Elevation - Large One Bedroom  
1/4" = 1'-0"



21 Elevation - Large One Bedroom  
1/4" = 1'-0"



22 Elevation - Large One Bedroom  
1/4" = 1'-0"



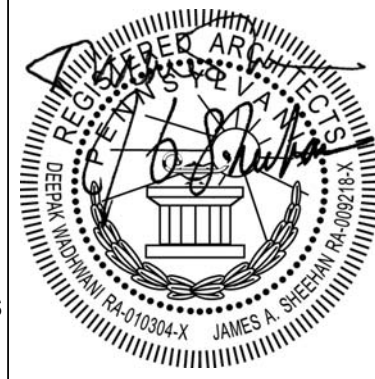
N SLIDING WINDOW - VENT/FIXED UNIT

Window Types  
1/4" = 1'-0"

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	MATERIAL	TYPE		
N	5' - 10" +/-	3' - 10" +/-	Sliding Window - Vent/Fixed Unit	FIBERGLASS	CLEAR TEMPERED	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. FURNISH AND INSTAL ADDITIONAL HARDWARE WITHIN ALL UFAS/ ACCESSIBLE UNITS.
  3. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



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Design  
Technology  
Sustainability

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Small One Bedroom Enlarged Plan, 1/4" = 1'-0"

CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

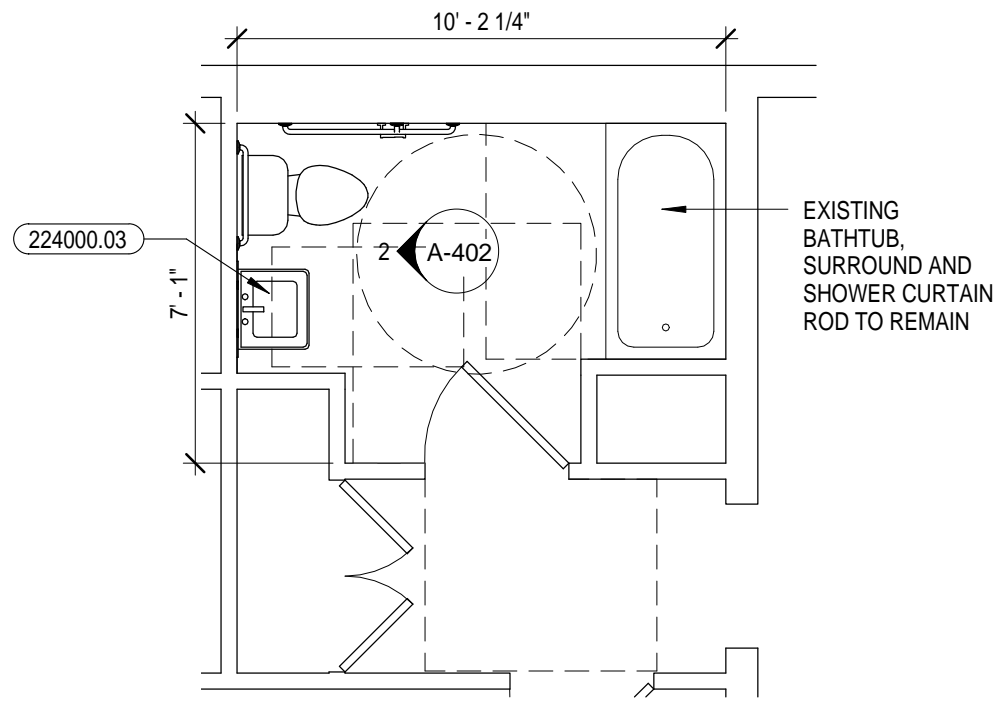
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

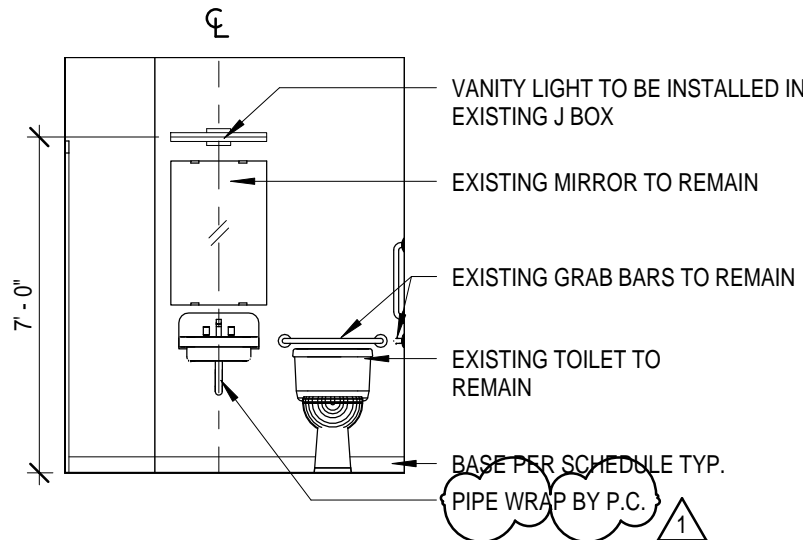
Bernice Crawley  
High Rise -  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

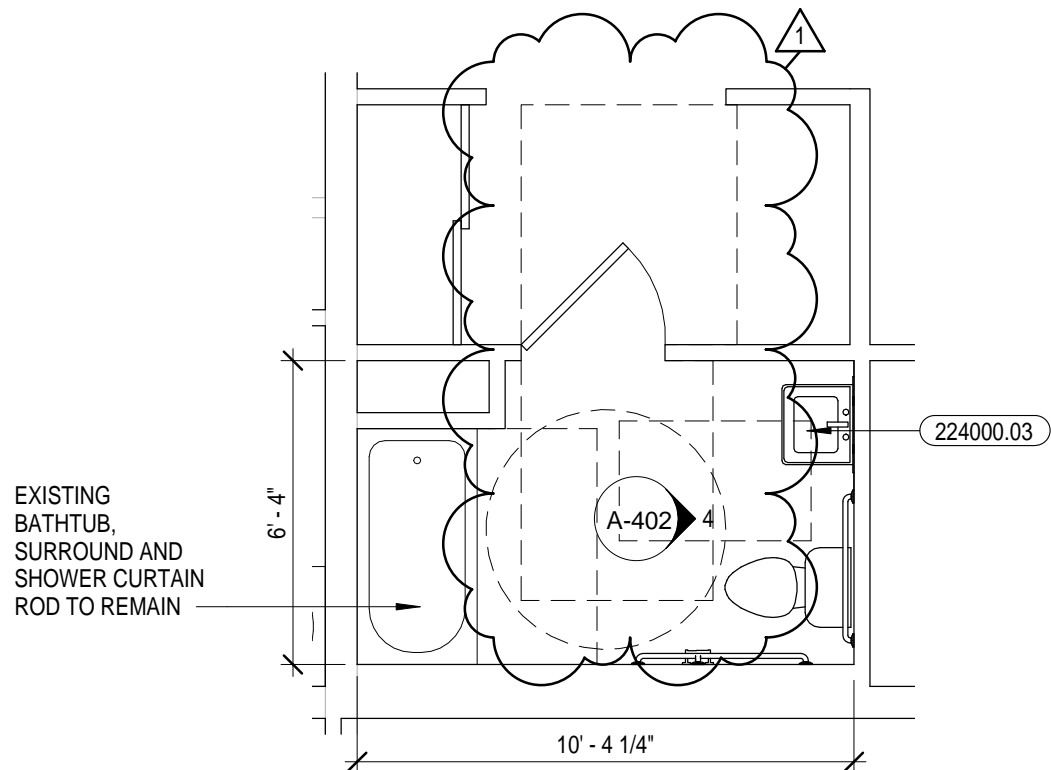
A-401



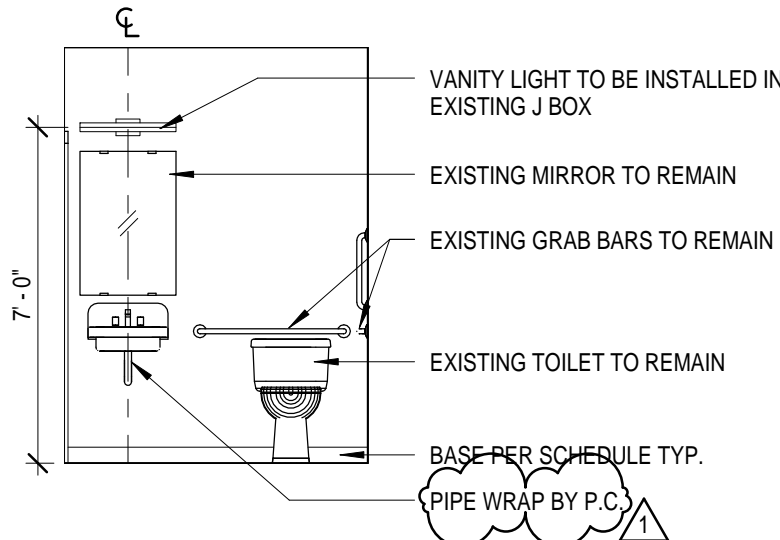
1 UFAS One Bedroom Enlarged Bathroom Plan  
1/4" = 1'-0"



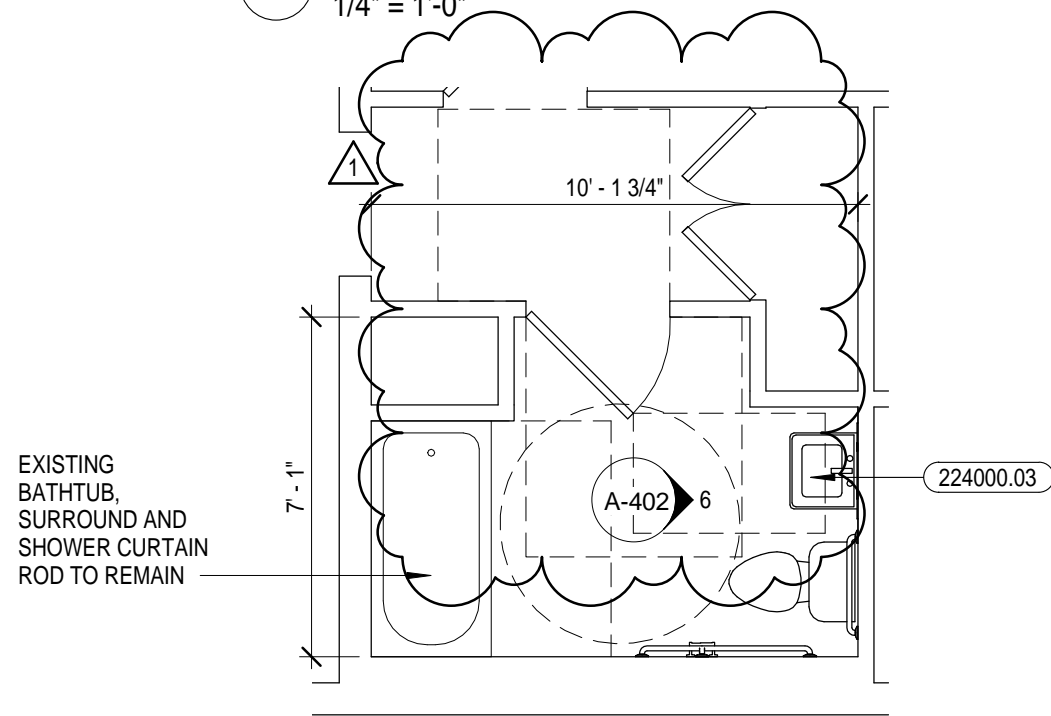
2 UFAS Elevation - One Bedroom  
1/4" = 1'-0"



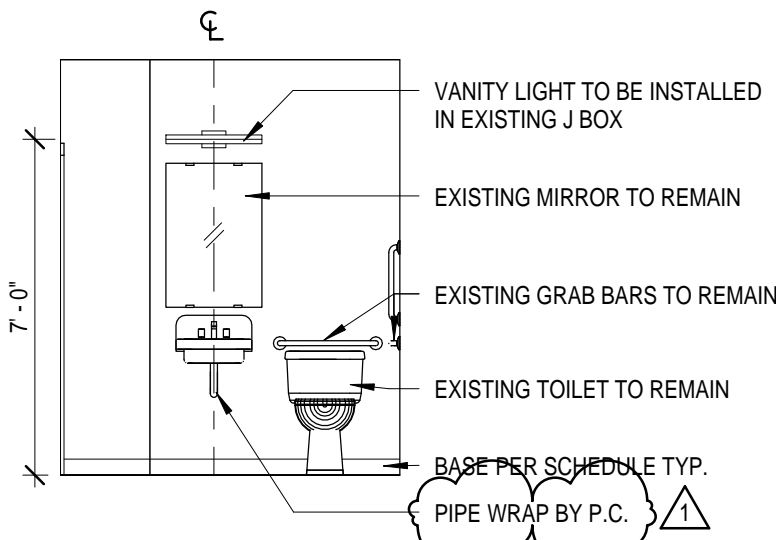
3 UFAS Two Bedroom Enlarged Bathroom Plan A  
1/4" = 1'-0"



4 UFAS Elevation - Two Bedroom Bathroom A  
1/4" = 1'-0"



5 UFAS Two Bedroom Enlarged Bathroom Plan B  
1/4" = 1'-0"



6 UFAS Elevation - Two Bedroom Bathroom B  
1/4" = 1'-0"

### GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123630 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWINGS A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND RESULTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

### REFERENCED NOTES

MARK	DESCRIPTION
224000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK AND COUNTERTOP OR WALL MOUNTED UNIT. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET, AND PIPE WRAP. REFER TO PLUMBING DRAWINGS. TYPICAL OF ALL UFAS/ACCESSIBLE BATHROOMS IN HIGH RISE ONLY. REFER TO G-101 AND G-110 FOR BATHROOMS ACCESSIBILITY TYPES.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

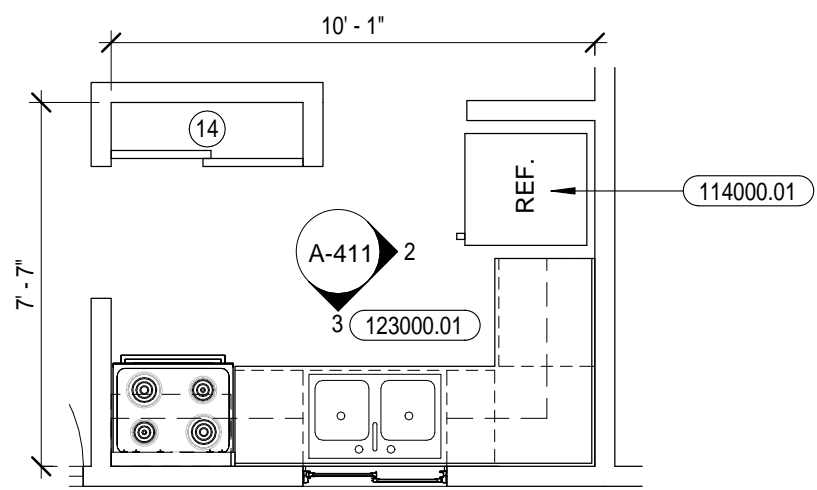
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
Enlarged  
UFAS/Accessible  
Plans and  
Elevations,  
Schedules, Types  
and Details

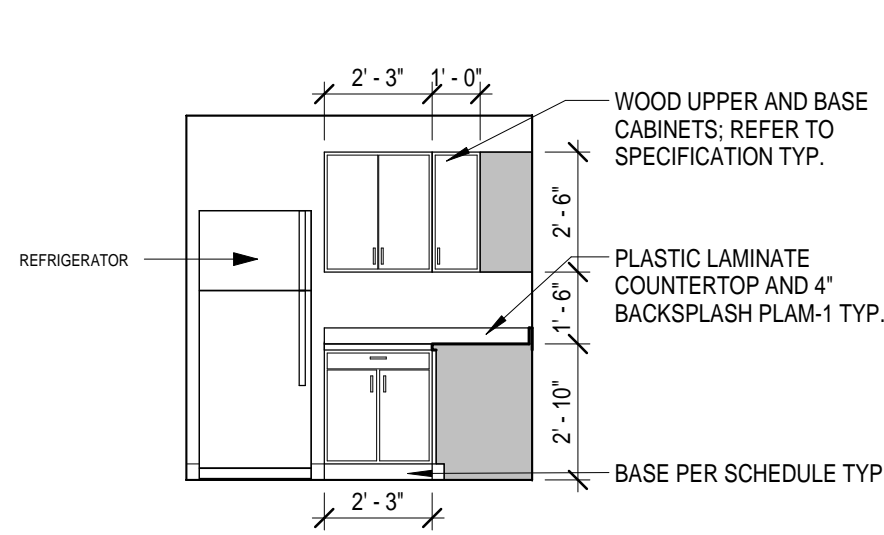
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R3A PROJECT # 15074B

A-402

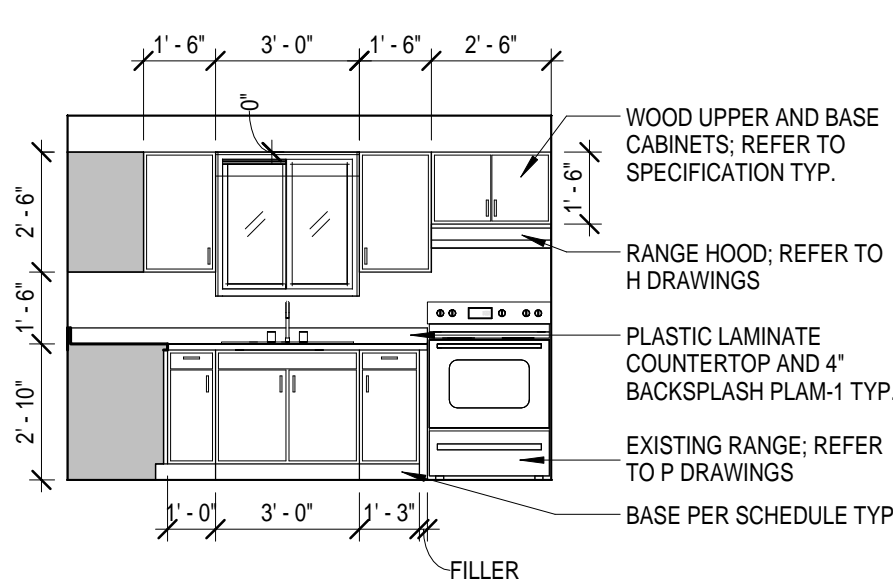




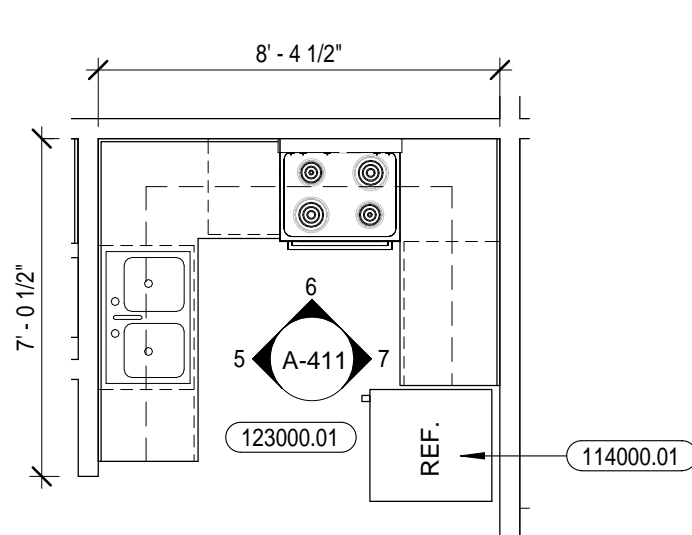
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1/4" = 1'-0"



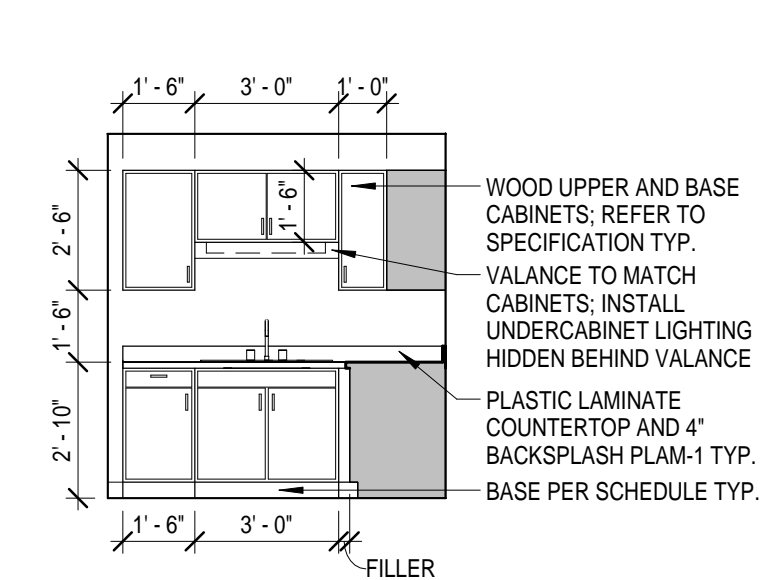
2 Elevation  
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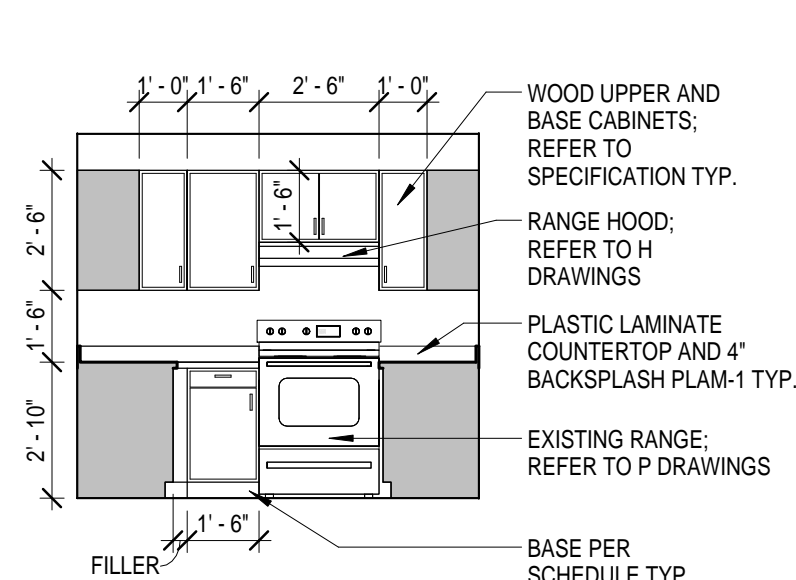
3 Elevation  
1/4" = 1'-0"



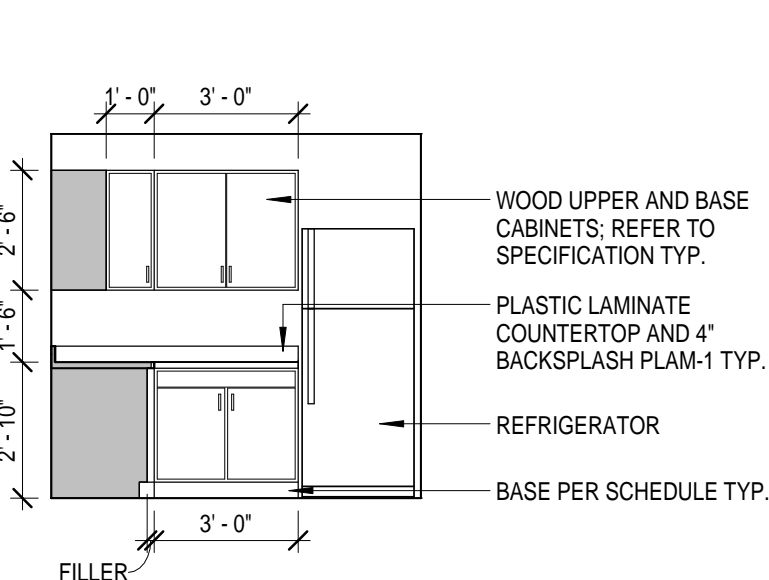
4 Enlarged Kitchen Plan  
1/4" = 1'-0"



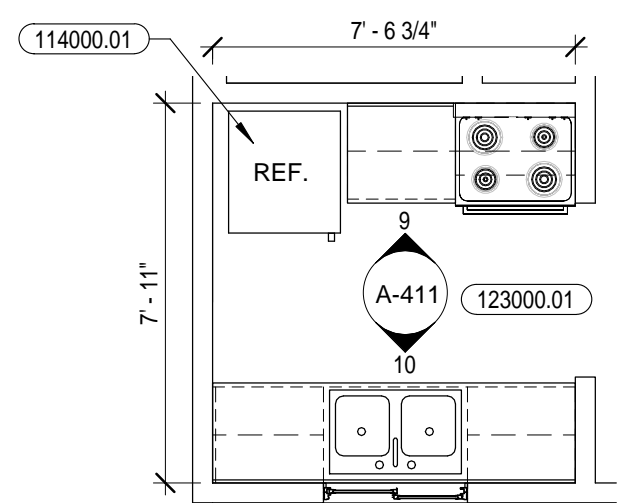
5 Elevation  
1/4" = 1'-0"



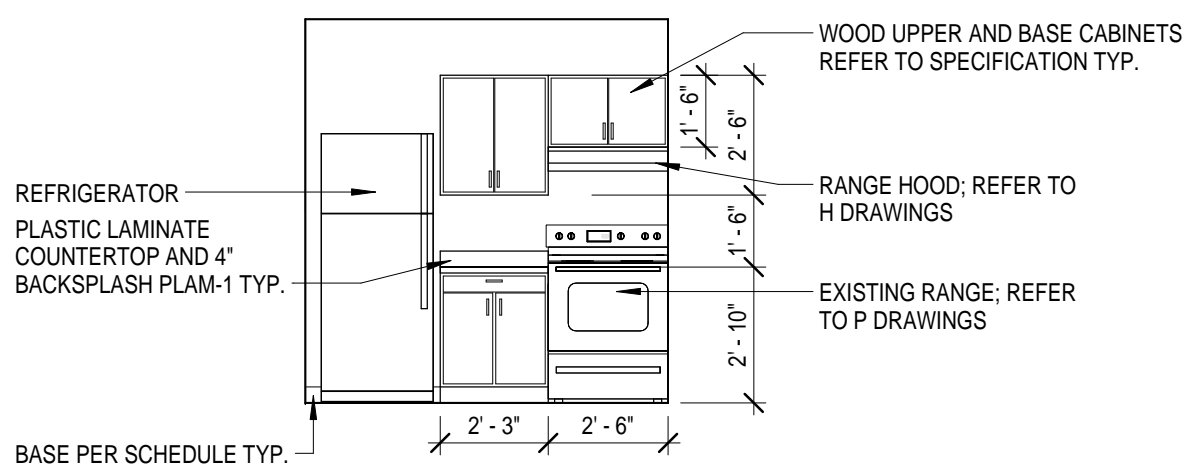
6 Elevation  
1/4" = 1'-0"



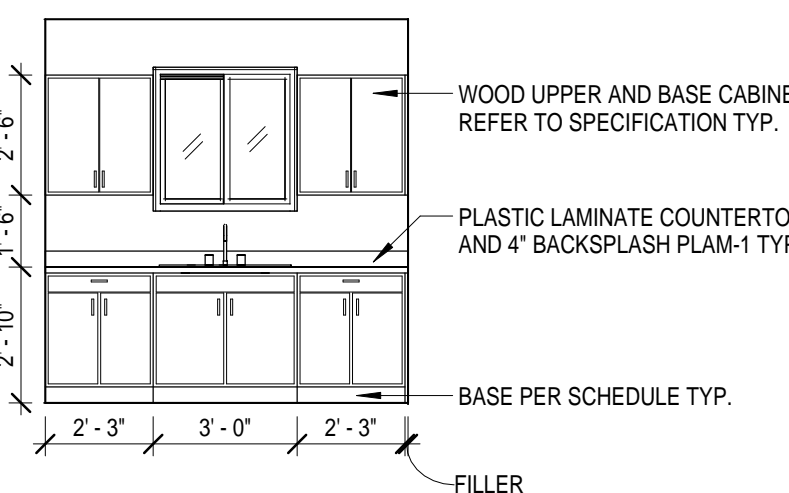
7 Elevation  
1/4" = 1'-0"



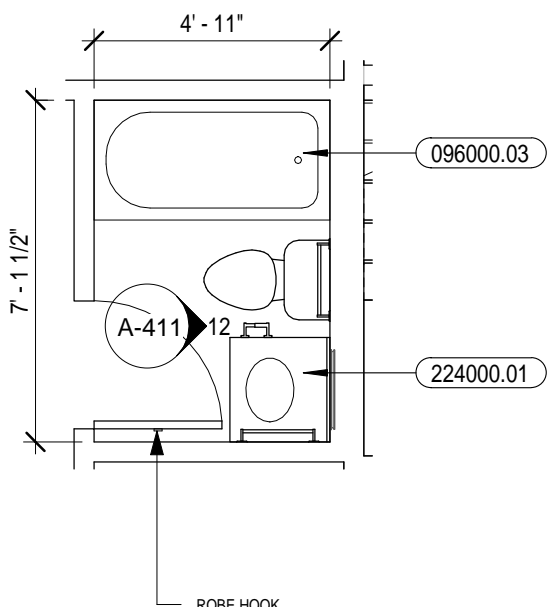
8 Enlarged Kitchen Plan  
1/4" = 1'-0"



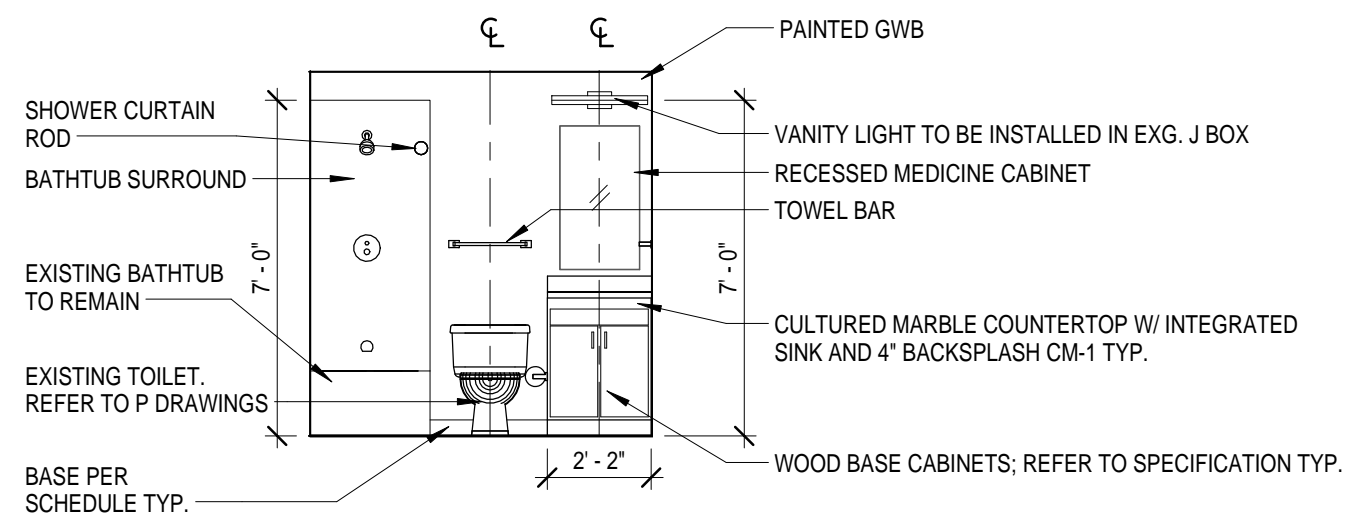
9 Elevation  
1/4" = 1'-0"



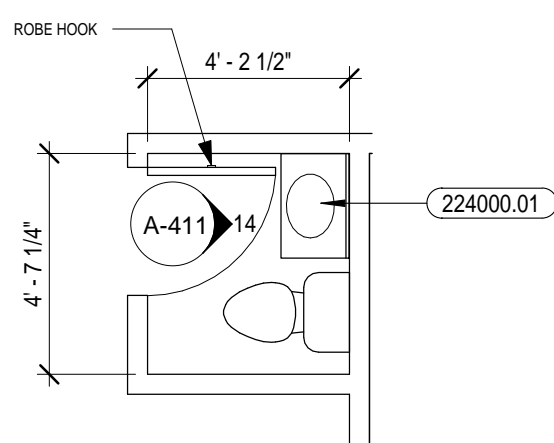
10 Elevation  
1/4" = 1'-0"



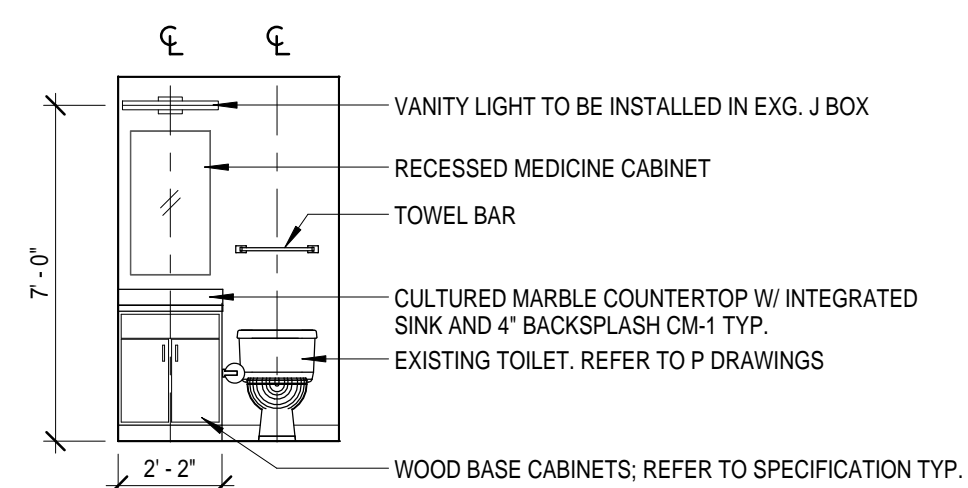
11 Enlarged Bathroom Plan  
1/4" = 1'-0"



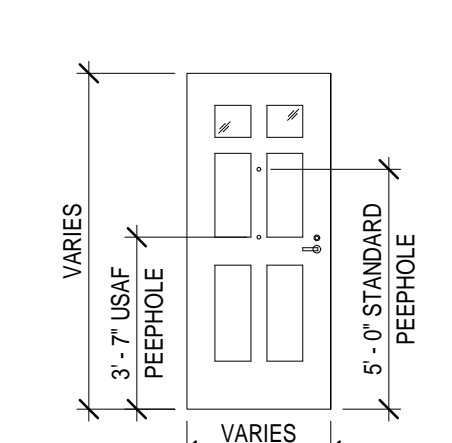
12 Elevation  
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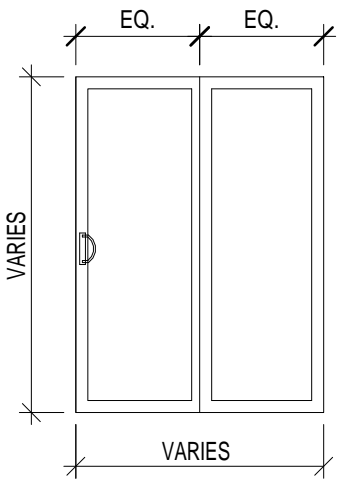
13 Enlarged Bathroom Plan  
1/4" = 1'-0"



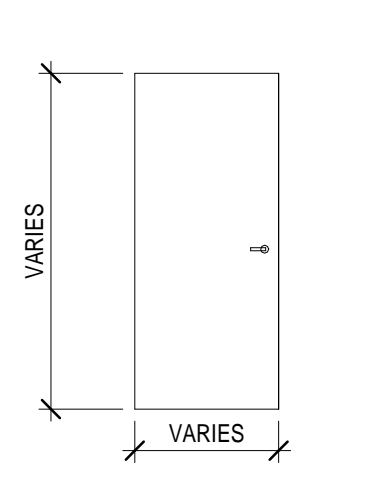
14 Elevation  
1/4" = 1'-0"



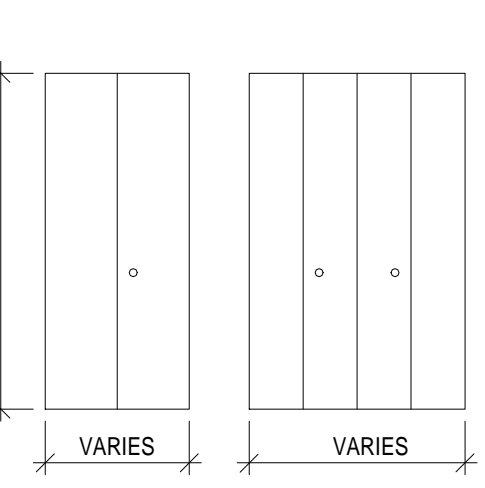
1-3 HOLLOW METAL  
DOOR w/ GLAZING



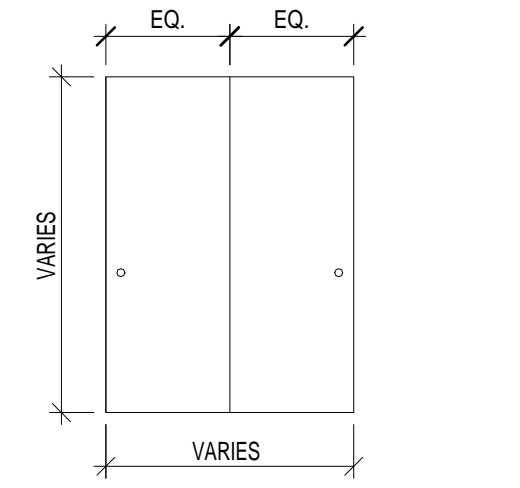
4 SLIDING  
GLASS DOOR



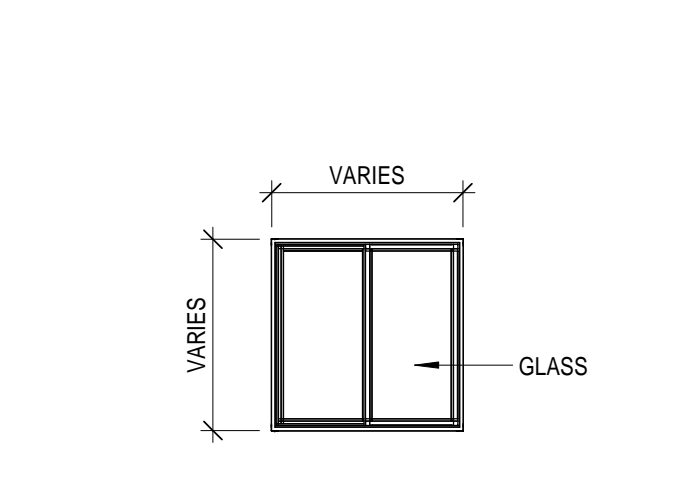
7-9 SOLID CORE  
WOOD DOOR



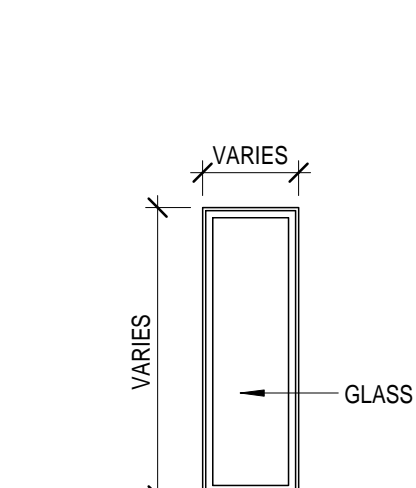
10-12 WOOD BIFOLD  
DOOR



13-17 WOOD SLIDING  
DOOR



A, B, C SLIDING WINDOW -  
VENT/FIXED UNIT



D FIXED

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING, INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNIT BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCES PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO UNDERSIDE OF EXISTING CEILING. TILE BACKER BOARD BATHTUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT WALLS WHERE TUBS ARE AGAINST FIRE RESISTANT RATED COORIDOR OR TENANT OPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK. FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

## DOOR SCHEDULE

DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM	-	3'-0"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM	-	2'-6"	6'-8"	0'-2"	EX	EX	4	NO GLASS AT TOP, NOT INSULATED
3	HM	-	2'-8"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
4	HM	-	5'-9"	7'-0"	0'-2"	EX	EX	6	
7	WD	-	2'-6"	6'-8"	0'-2"	EX	EX	1	60 MIN. FIRE RATED DOOR, CONTINUOUS SMOKE GASKETING, RUBBER SWEEP.
8	WD	-	2'-8"	6'-8"	0'-2"	EX	EX	1	
9	WD	-	3'-0"	6'-8"	0'-2"	EX	EX	2	
10	WD	-	3'-6"	6'-8"	0'-2"	EX	EX	7	
11	WD	-	2'-6"	6'-8"	0'-2"	EX	EX	7	
12	WD	-	3'-0"	6'-8"	0'-2"	EX	EX	7	
13	WD	-	5'-2 1/2"	6'-8"	0'-2"	EX	EX	5	
14	WD	-	4'-0"	6'-8"	0'-2"	EX	EX	5	
15	WD	-	6'-0"	6'-8"	0'-2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

### NOTES:

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.
4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

## WINDOW SCHEDULE

WINDOW			WINDOW			GLAZING	COMMENTS
MARK	NOMINAL SIZE	TYPE	MATERIAL	GLAZING	COMMENTS		
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	COMMENTS	
A	4'-0" +/-	4'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.	
B	5'-10" +/-	3'-10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.	
C	3'-0" +/-	3'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.	
D	2'-0" +/-	6'-0" +/-	FIXED	FIBERGLASS	CLR TEMP	V.I.F. R.O.	

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. FURNISH AND INSTALL ADDITIONAL HARDWARE WITHIN ALL UFAS/ ACCESSIBLE UNITS.
  3. REFER TO SHEET A-601 FOR HEAD, JAMB, AND SILL DETAILS.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

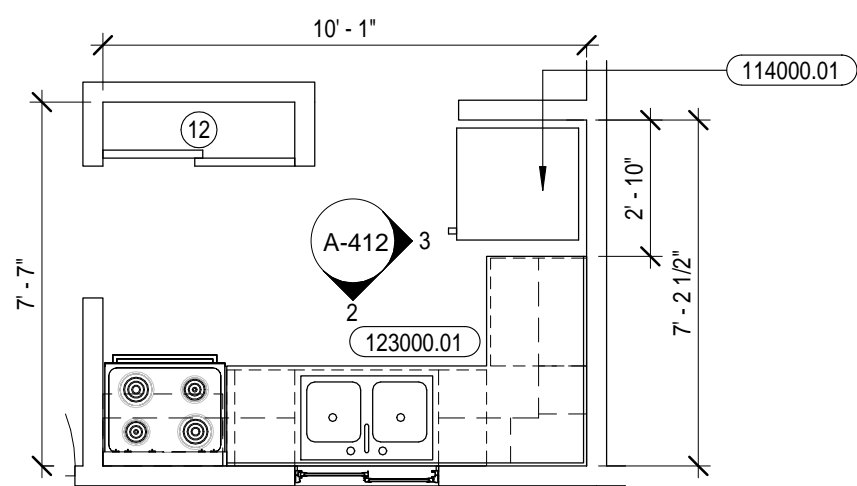
REVISIONS

1 | 9.11.17 | REV 1/ADDENDA 2

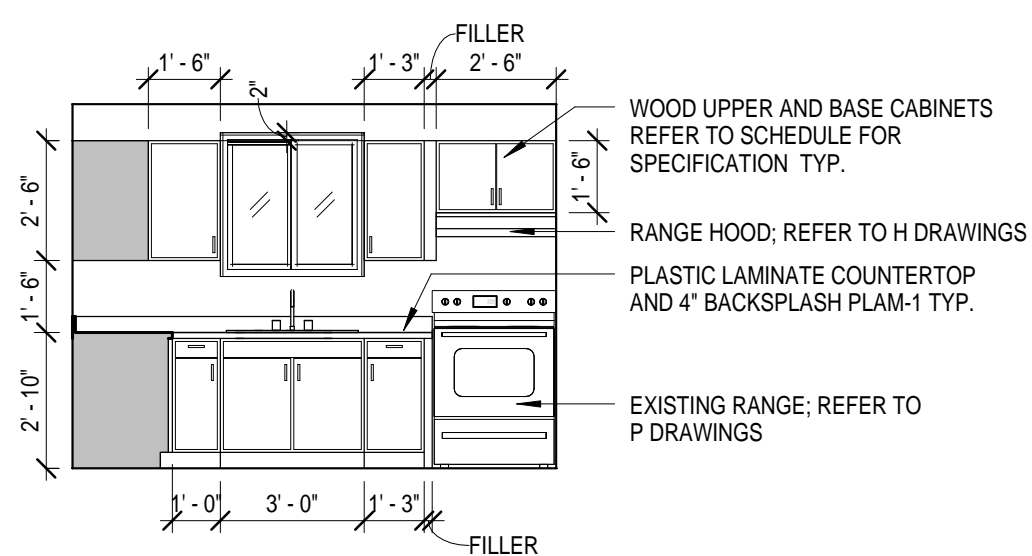
Family Community  
- Type A Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

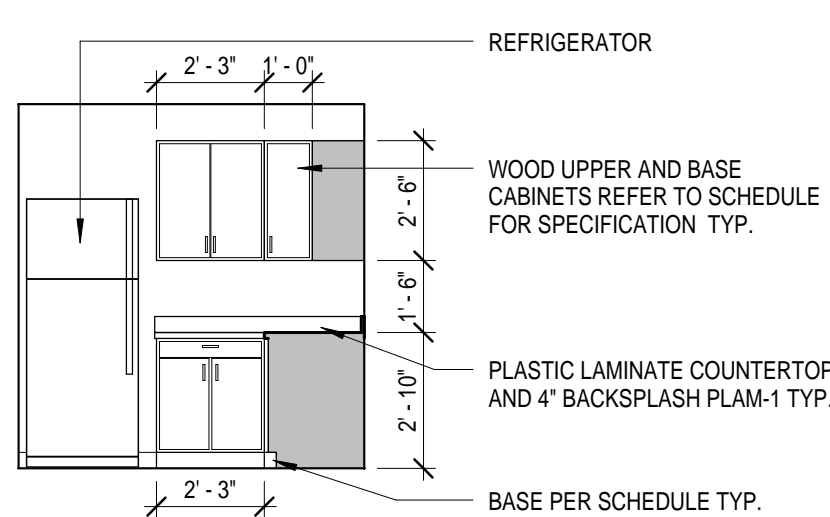
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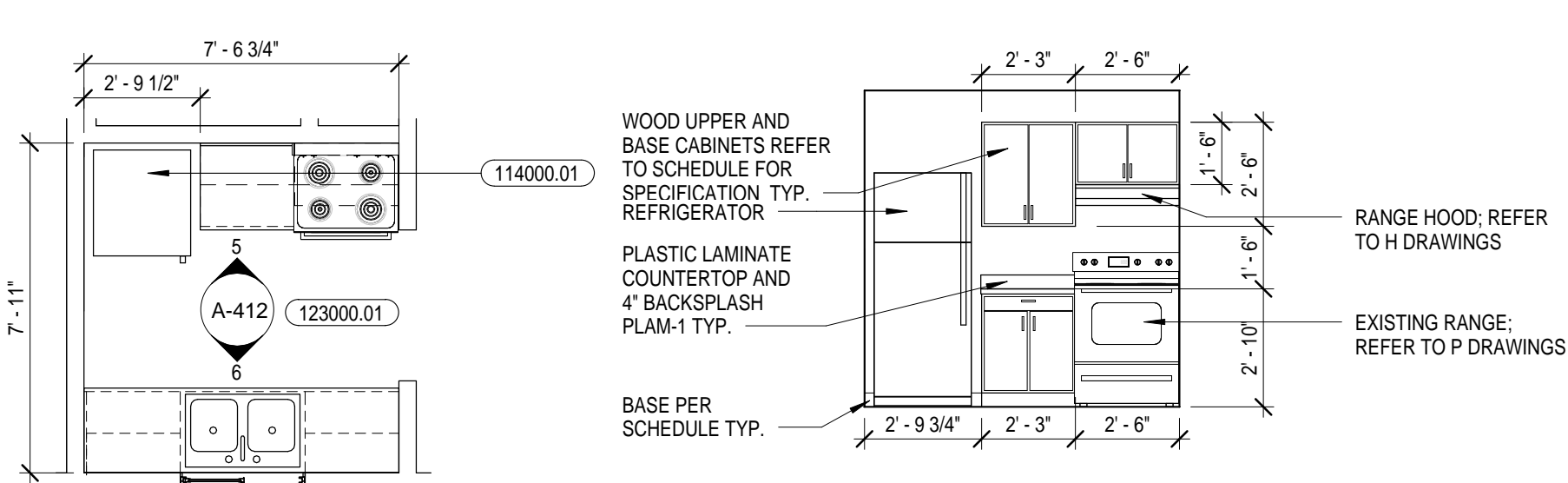
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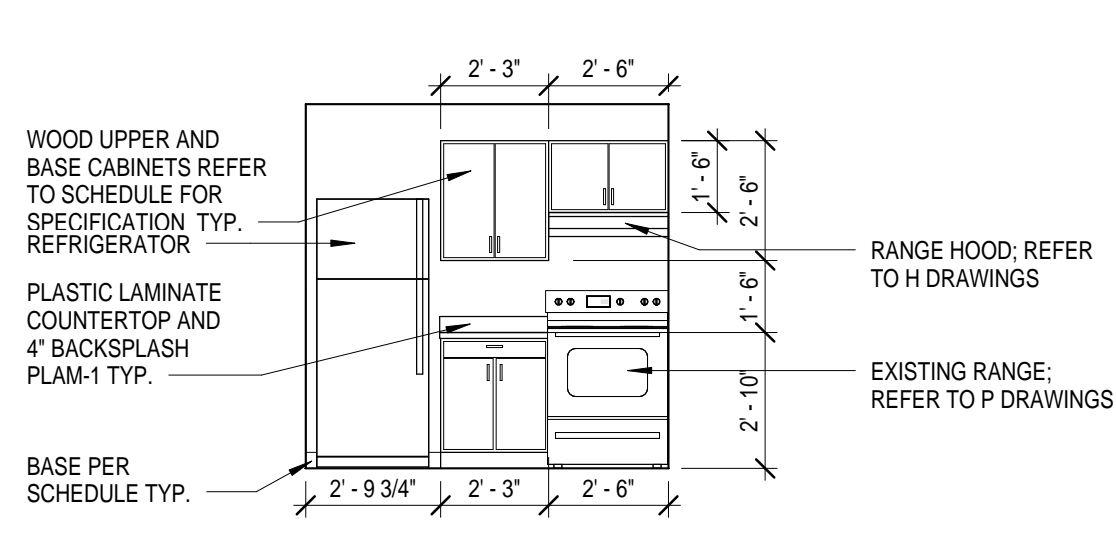
2 Elevation  
1/4" = 1'-0"



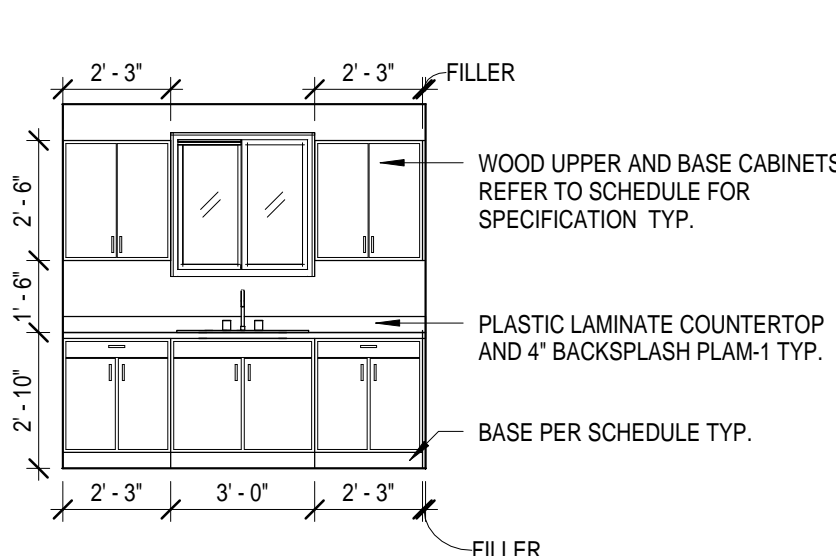
3 Elevation  
1/4" = 1'-0"



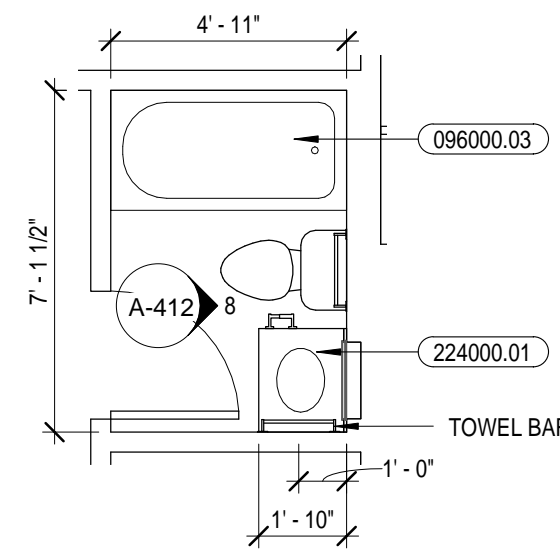
4 Enlarged Plan  
1/4" = 1'-0"



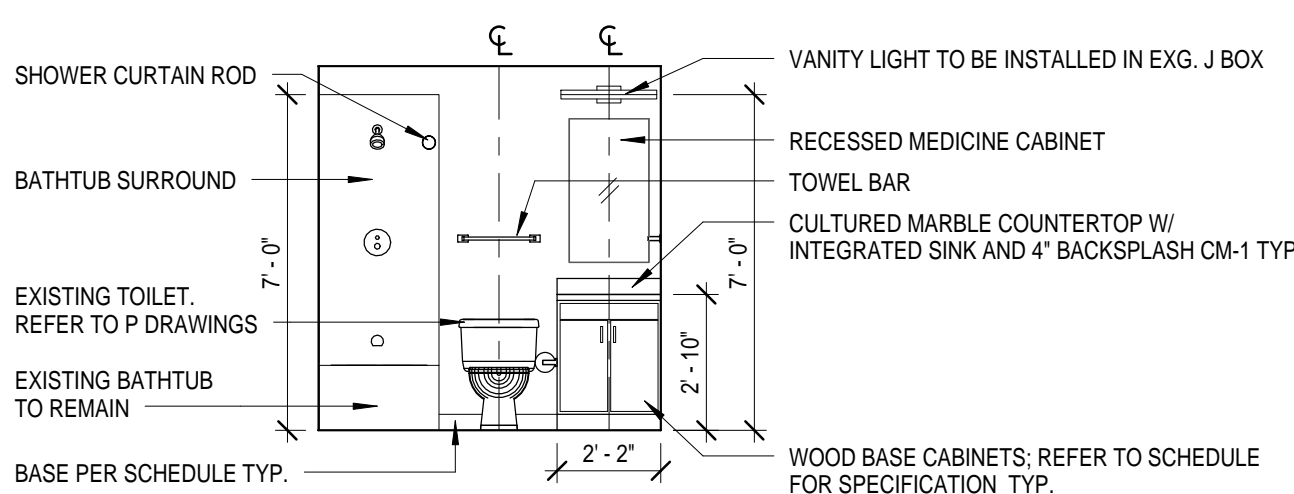
5 Elevation  
1/4" = 1'-0"



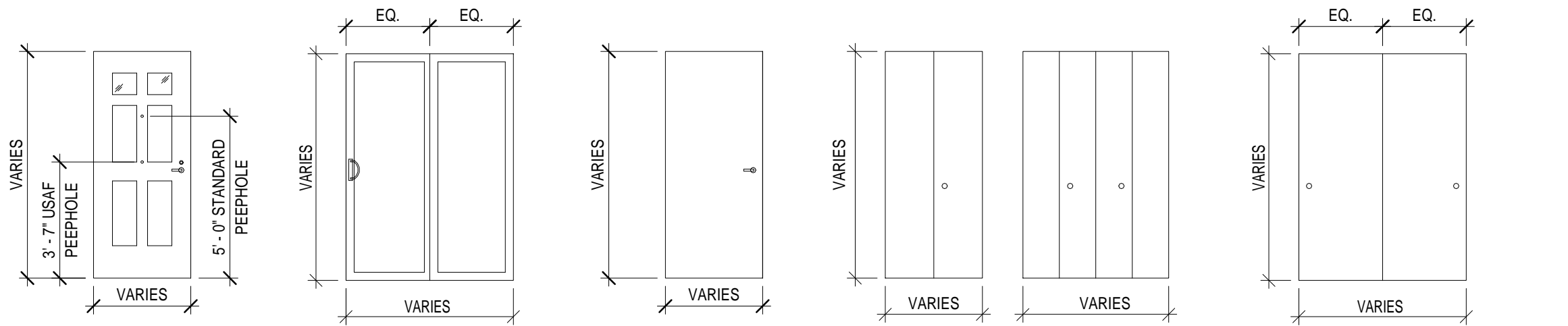
6 Elevation  
1/4" = 1'-0"



7 Enlarged Bathroom Plan  
1/4" = 1'-0"



8 Elevation  
1/4" = 1'-0"



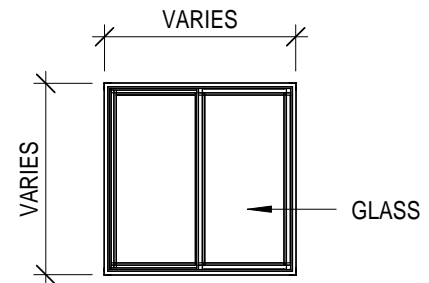
1-3 HOLLOW METAL DOOR w/ GLAZING 4 SLIDING GLASS DOOR 7-9 SOLID CORE WOOD DOOR 10-12 WOOD BIFOLD DOOR 13-17 WOOD SLIDING DOOR

Door Types  
1/4" = 1'-0"

DOOR SCHEDULE										
DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS	
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L			
1	HM	-	3'-0"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED	
2	HM	-	2'-6"	6'-8"	0'-2"	EX	EX	4	NO GLASS AT TOP, NOT INSULATED	
3	HM	-	2'-8"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED	
4	HM	-	5'-9"	7'-0"	0'-2"	EX	EX	6		
8	WD	-	2'-8"	6'-8"	0'-2"	EX	EX	1		
9	WD	-	3'-0"	6'-8"	0'-2"	EX	EX	1		
10	WD	-	3'-6"	6'-8"	0'-1 1/2"	EX	EX	7		
11	WD	-	2'-6"	6'-8"	0'-1 1/2"	EX	EX	7		
12	WD	-	4'-0"	6'-8"	0'-2"	EX	EX	7		
13	WD	-	5'-2 1/2"	6'-8"	0'-2"	EX	EX	5		
14	WD	-	3'-0"	6'-8"	0'-1 1/2"	EX	EX	5		
15	WD	-	3'-6"	6'-8"	0'-2"	EX	EX	5		

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATINGS.
  3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.
  4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



A, B, C SLIDING WINDOW - VENT/FIXED UNIT

Window Types  
1/4" = 1'-0"

WINDOW SCHEDULE						
MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4'-0" +/-	4'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
B	5'-10" +/-	3'-10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
C	3'-0" +/-	3'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type B Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-412

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDER BATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-601 FOR UFAS/ACCESSIBLE PRODUCTS AND INSTALLING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STOPS. TILE BACKER BOARD TUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT WALLS WHERE TUBS ARE AGAINST FIRE RESISTANT RATED COORIDOR OR TENANT SPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
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224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.





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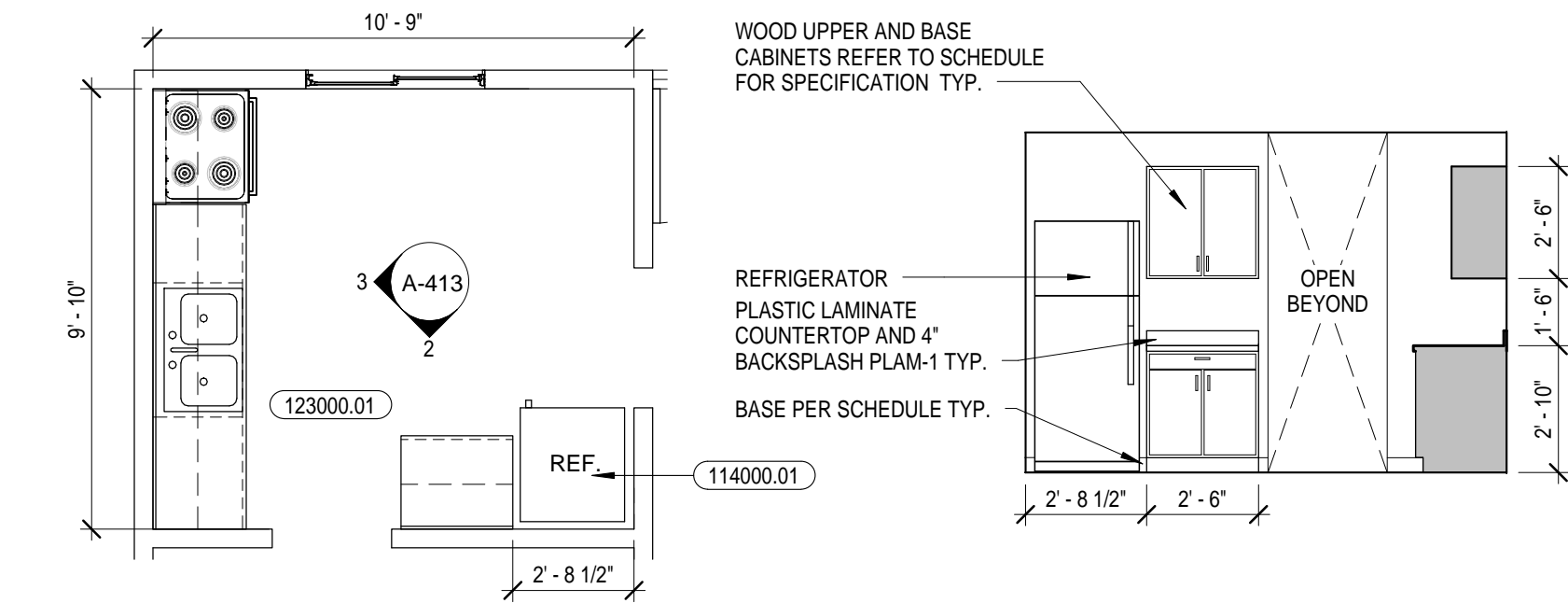
ISSUED: August 11, 2017

REVISIONS  
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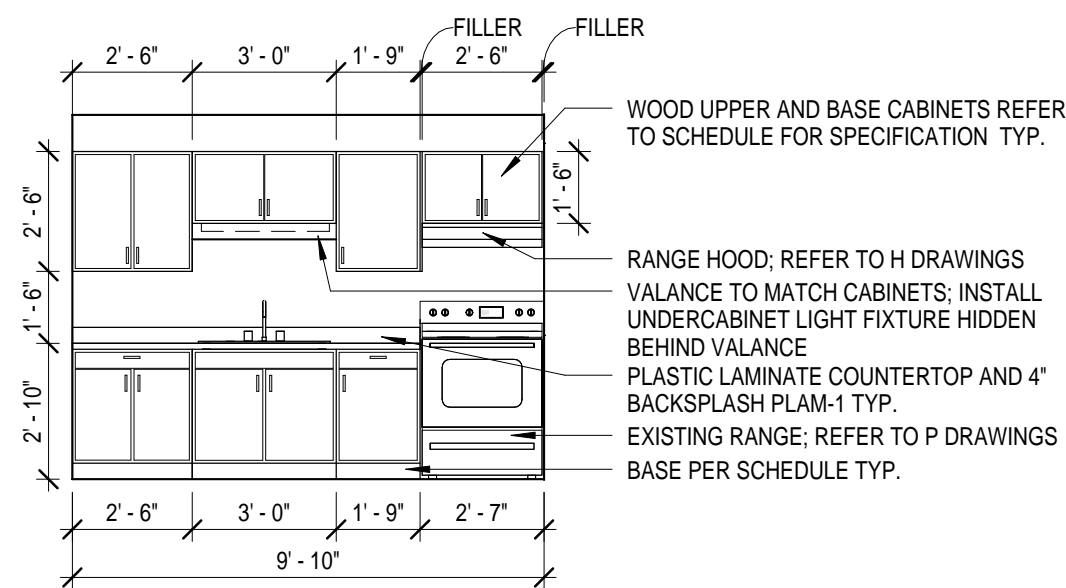
Family Community  
- Type C Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

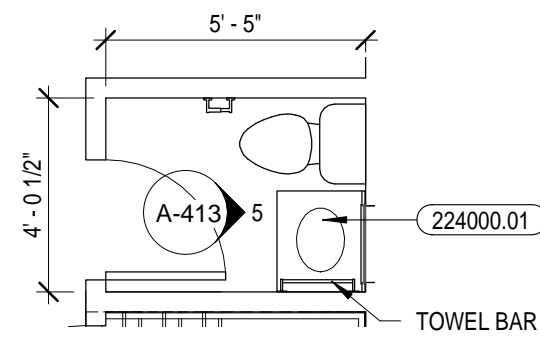
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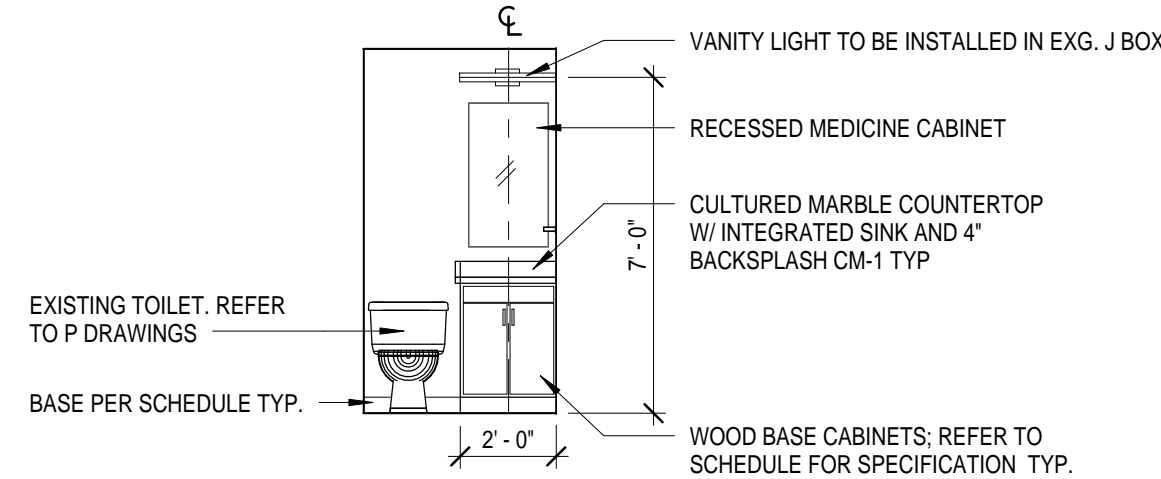
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1/4" = 1'-0"



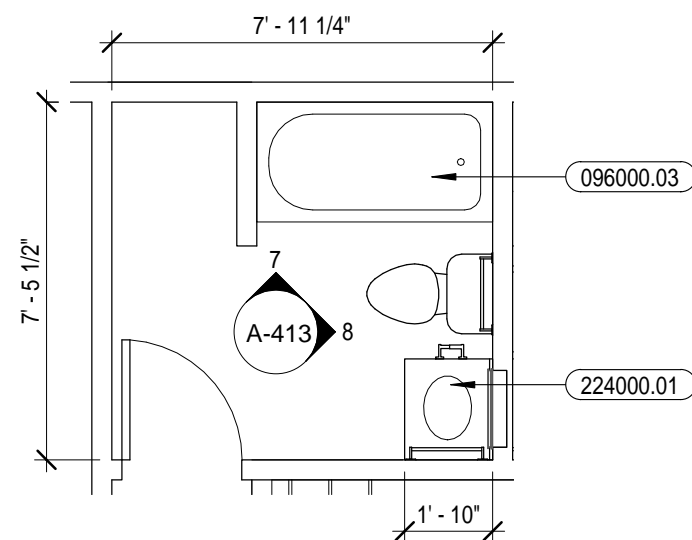
3 Elevation  
1/4" = 1'-0"



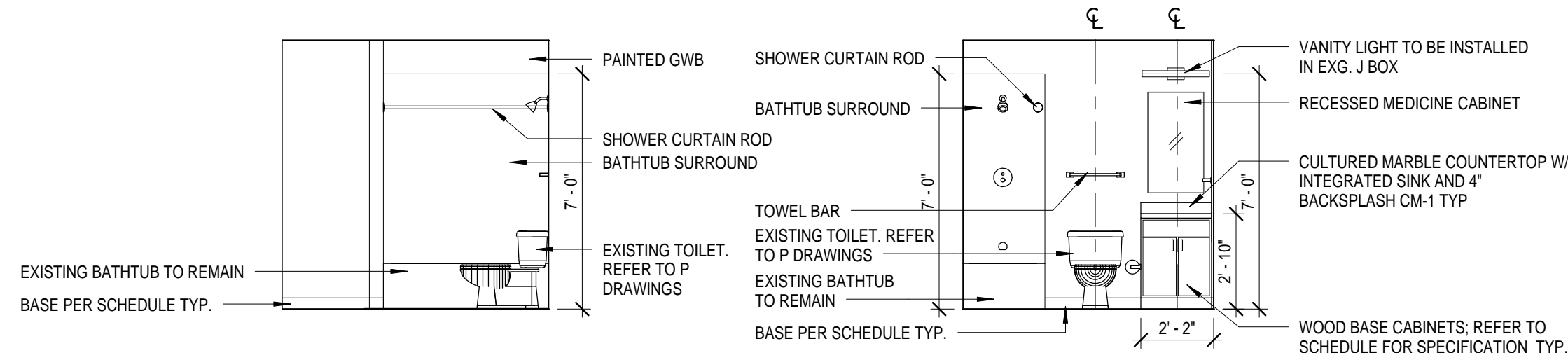
4 Enlarged Plan  
1/4" = 1'-0"



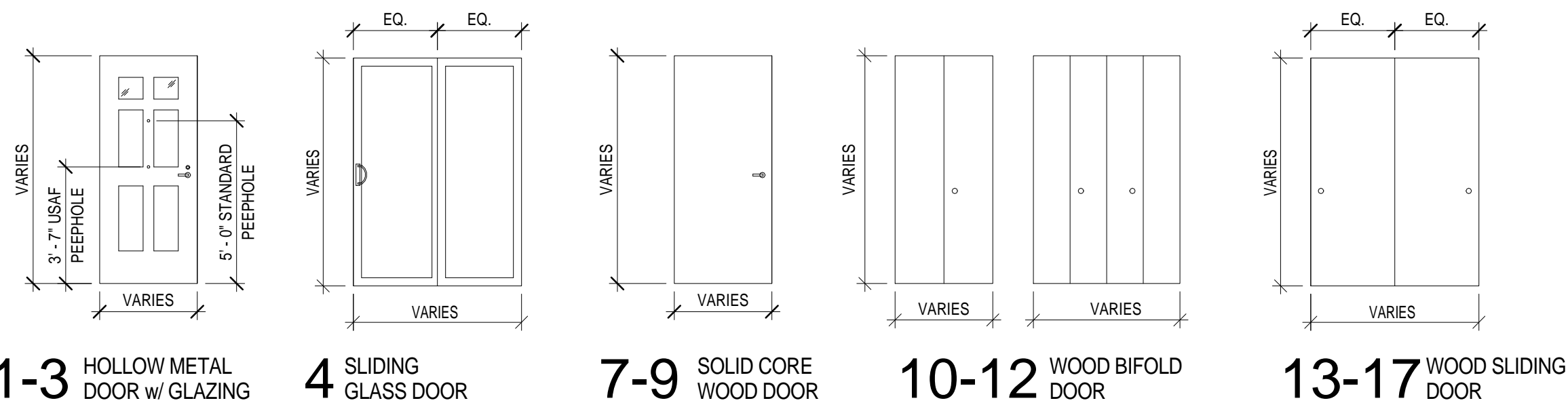
5 Elevation  
1/4" = 1'-0"



6 Enlarged Plan  
1/4" = 1'-0"



7 Elevation  
1/4" = 1'-0"



Door Types  
1/4" = 1'-0"

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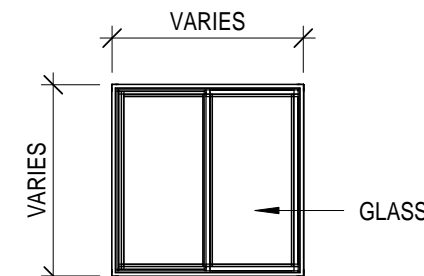
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DOOR SCHEDULE									
DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM		3'-0"	6'-8"	0'-2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
8	WD		2'-6"	6'-8"	0'-2"	EX	EX	1	
12	WD		2'-6"	6'-8"	0'-2"	EX	EX	7	
15	WD		6'-0"	6'-8"	0'-2"	EX	EX	5	
16	WD		2'-10"	6'-8"	0'-2"	EX	EX	5	
17	WD		5'-0"	6'-8"	0'-2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.
  4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



A SLIDING WINDOW - VENT FIXED UNIT

Window Types  
1/4" = 1'-0"

WINDOW SCHEDULE						
MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4'-0" +/-	4'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
E	5'-10" +/-	4'-3 1/2" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



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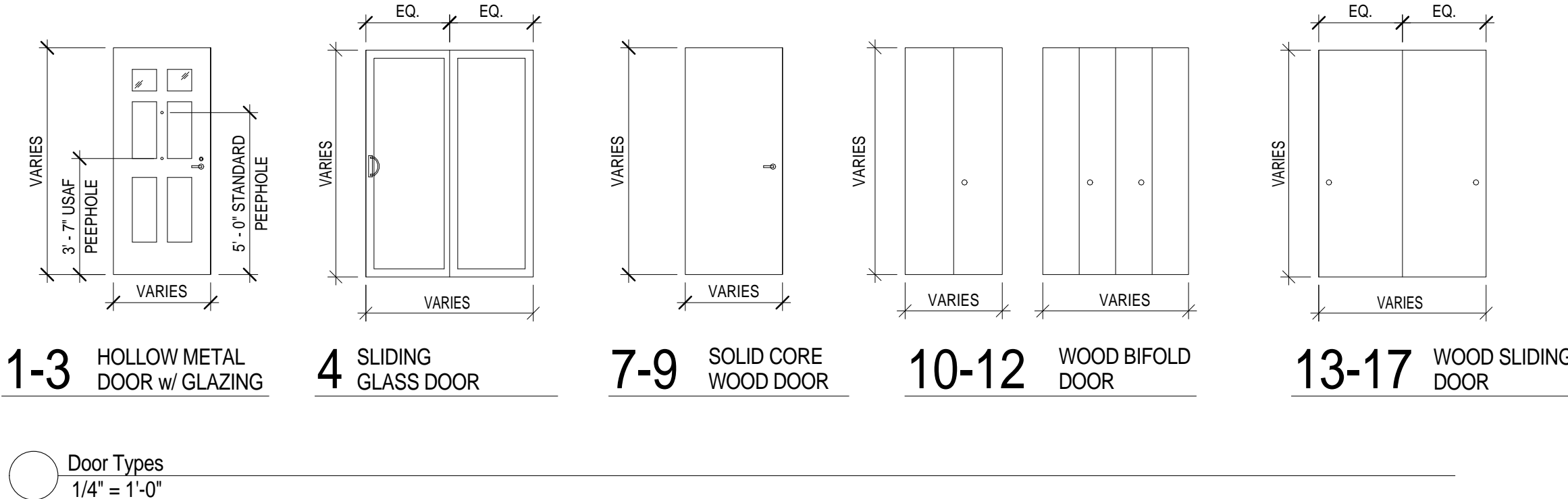
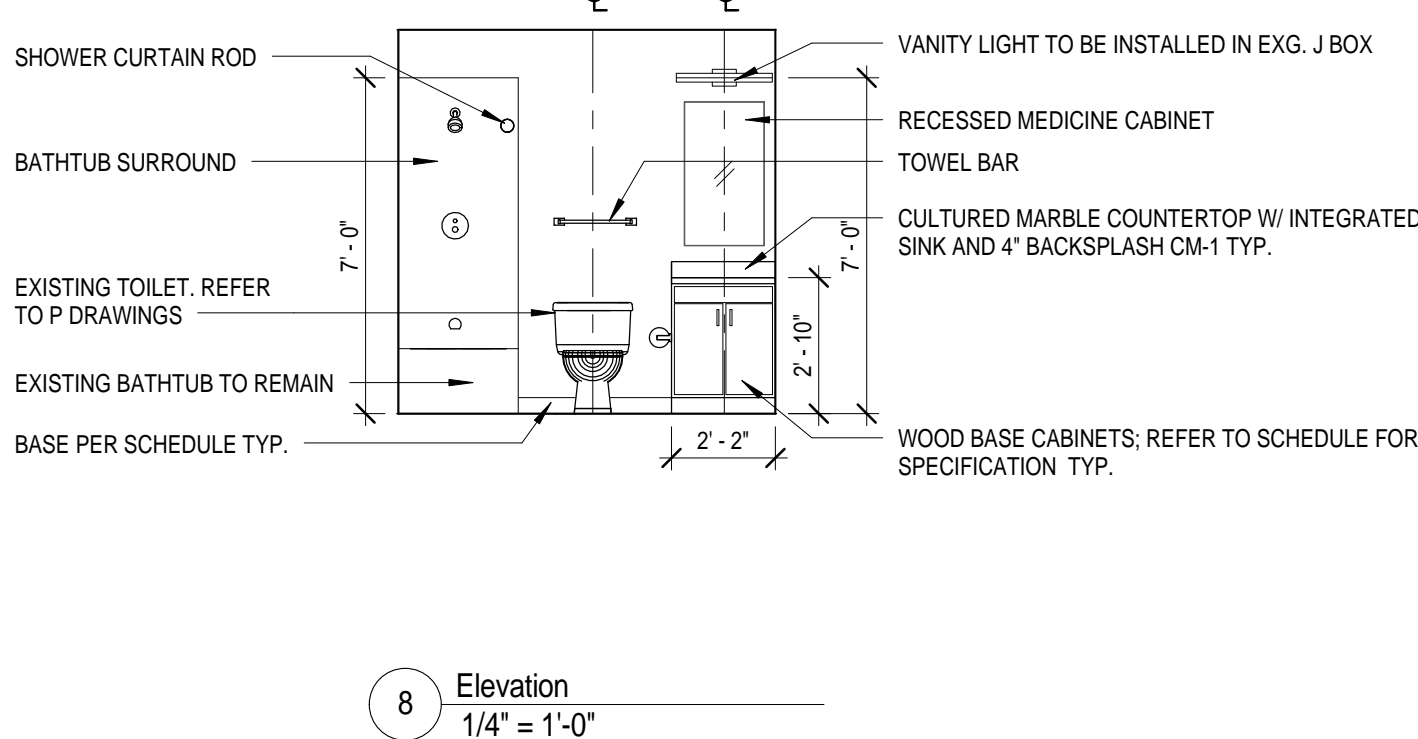
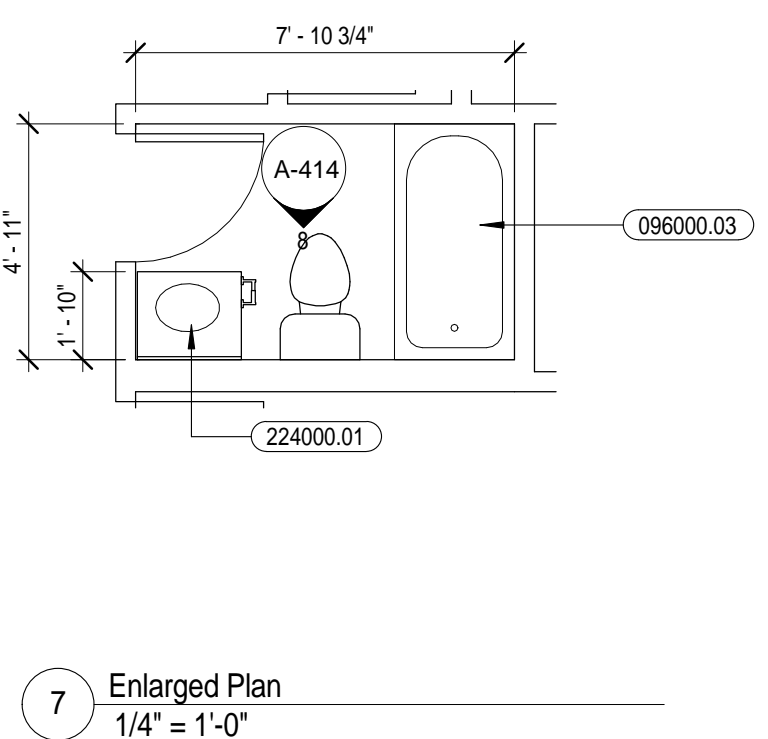
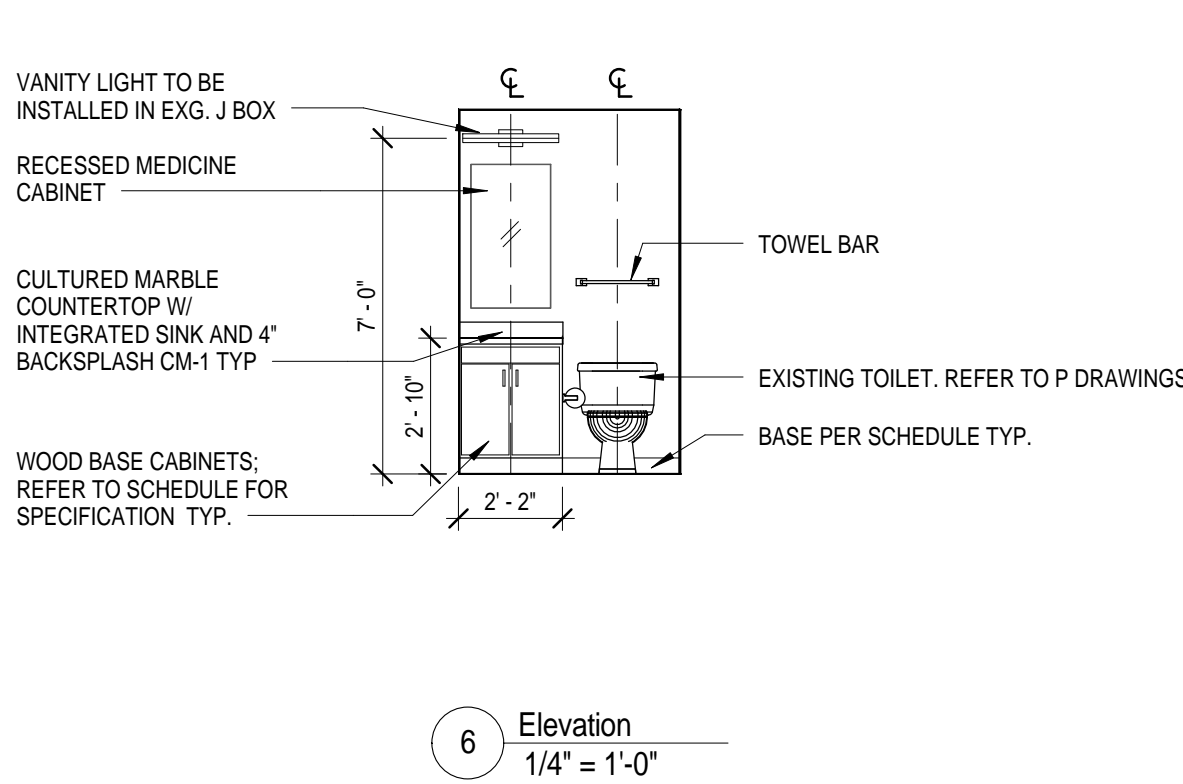
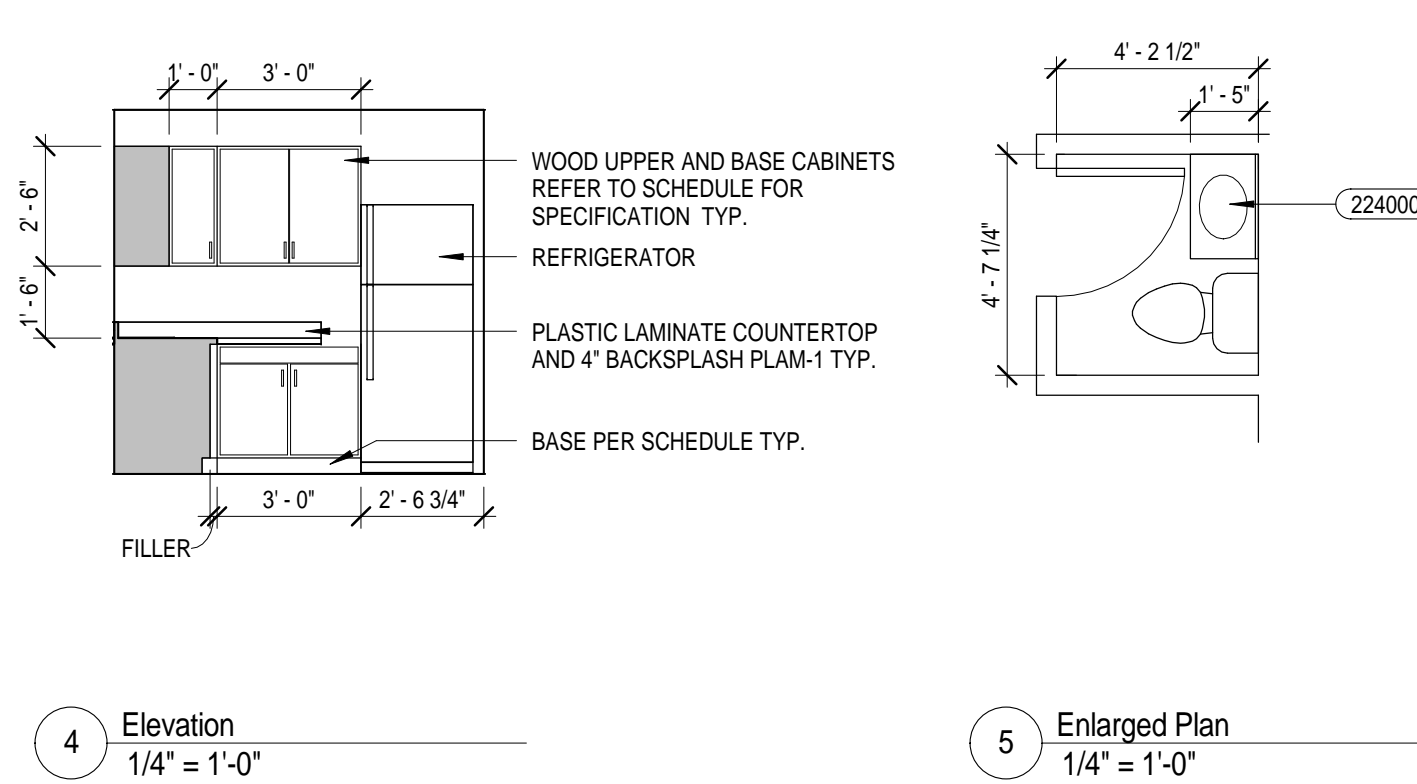
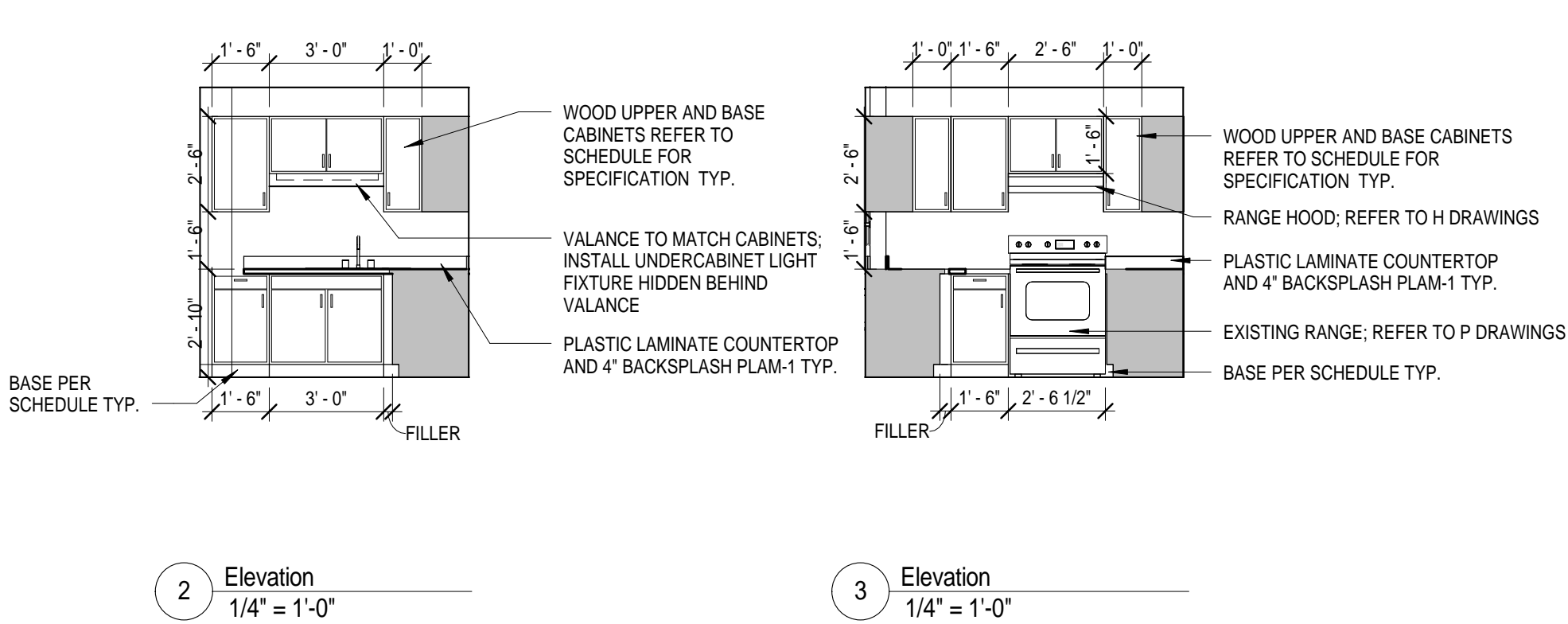
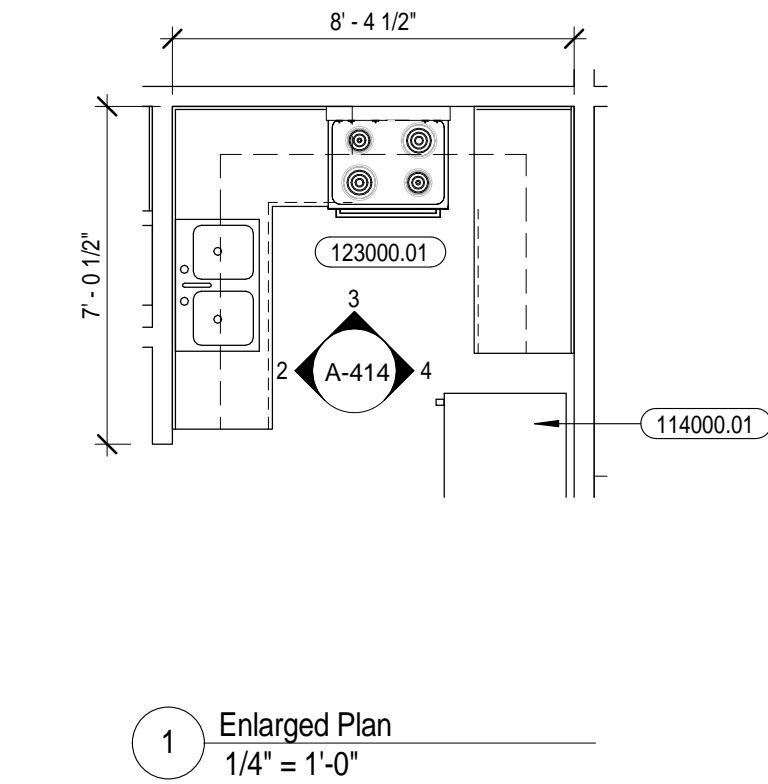
REVISIONS

1 | 9.11.17 | REV 1|ADDENDA 2

Family Community  
- Type D Enlarged  
Plans and  
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and Details

R3A PROJECT # 15074B

A-414



**GENERAL NOTES**

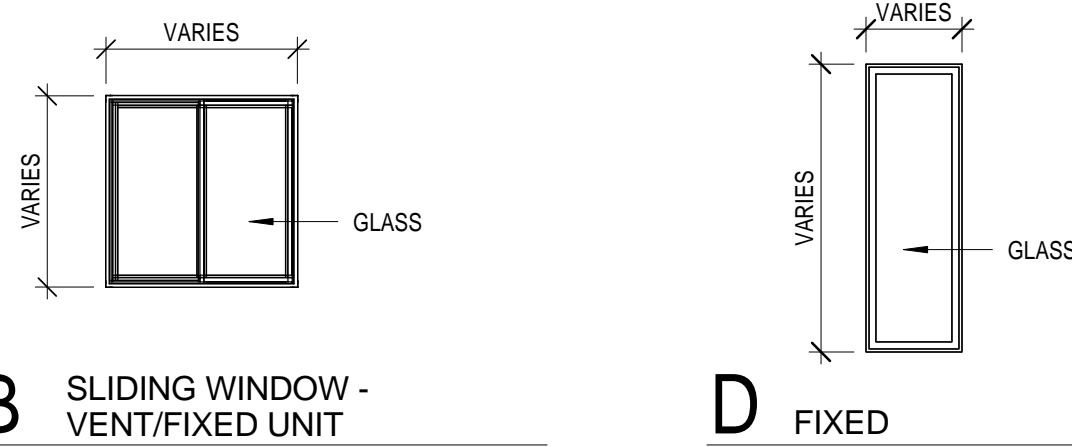
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TYPE	MATL	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MATL		
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7	WD		2'-6"	6'-8"	0'-2"	EX	EX	1	60 MIN. FIRE RATED DOOR, CONTINUOUS SMOKE GASKETING, RUBBER SWEEPS
8	WD		2'-8"	6'-8"	0'-2"	EX	EX	1	
12	WD		3'-0"	6'-8"	0'-2"	EX	EX	7	
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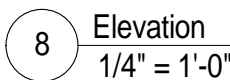
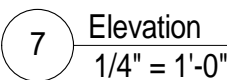
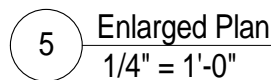
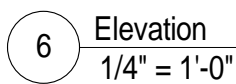
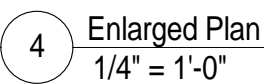
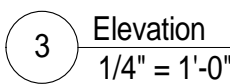
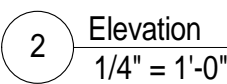
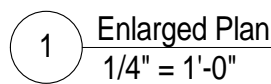


Window Types  
1/4" = 1'-0"

WINDOW SCHEDULE						
WT	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
A	4'-0" +/-	4'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
B	5'-10" +/-	3'-10" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
D	2'-0" +/-	6'-0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



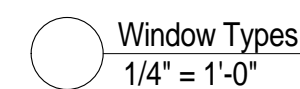


EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

NOTES:

1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.
4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

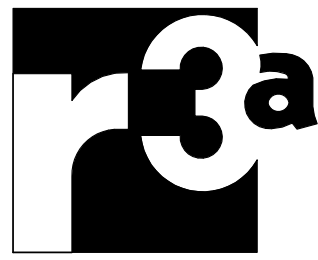
ISSUED: August 11, 2017

REVISIONS		
1	9.11.17	REV 1/ADDENDA 2

Family Community  
- Type E Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT #	15074B
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A-415



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CONSTRUCTION  
DOCUMENTS

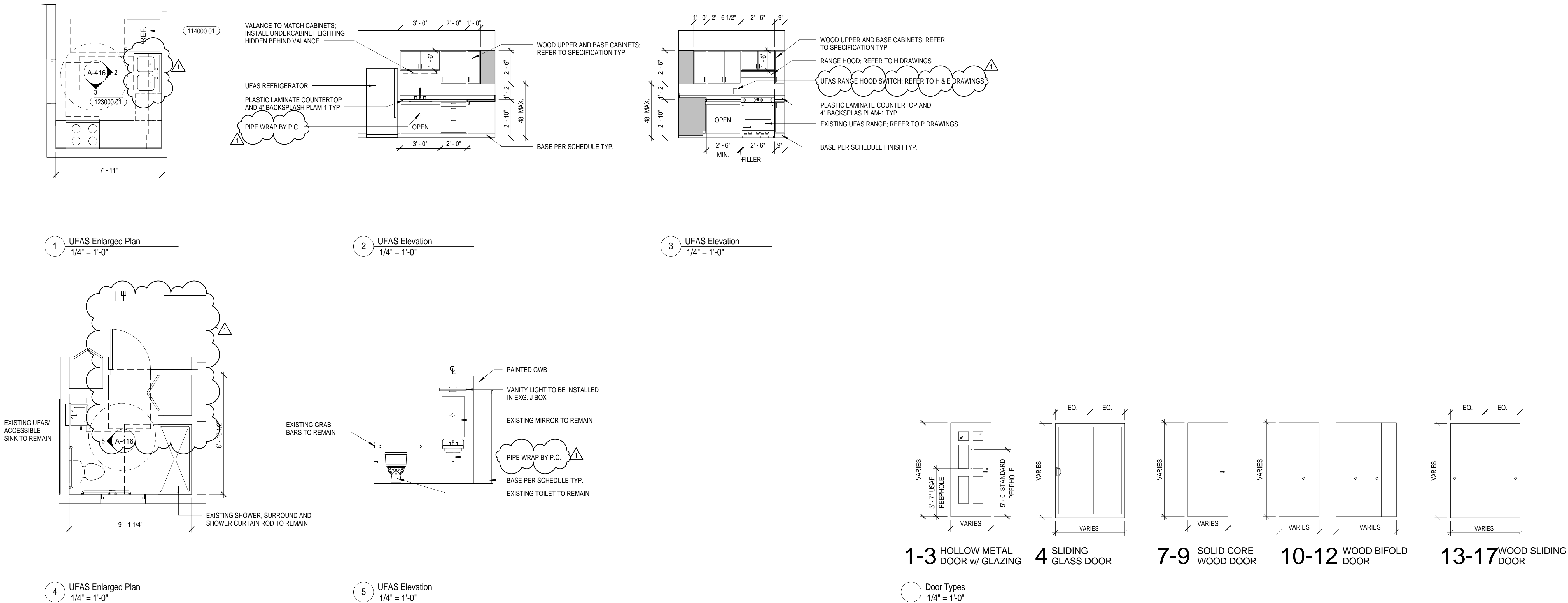
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family Community  
- Type F UFAS/  
Accessible  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-416



### GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED. SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND INSTALLING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

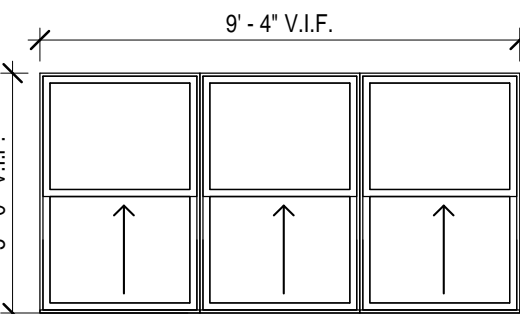
### REFERENCED NOTES

MARK	DESCRIPTION
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.02	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.

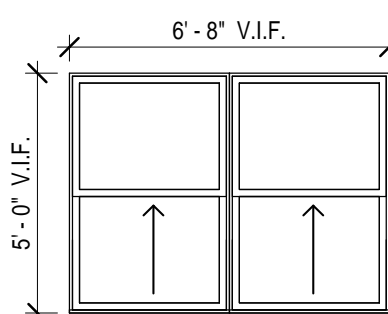
### WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
G	9' - 4" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
H	6' - 8" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
J	3' - 4" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
K	3' - 4" +/-	3' - 1" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

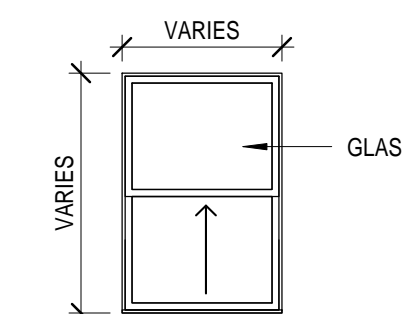
- NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-801 FOR HEAD, JAMB AND SILL DETAILS



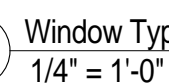
G SINGLE HUNG



H SINGLE HUNG



J, K SINGLE HUNG



Window Types  
1/4" = 1'-0"

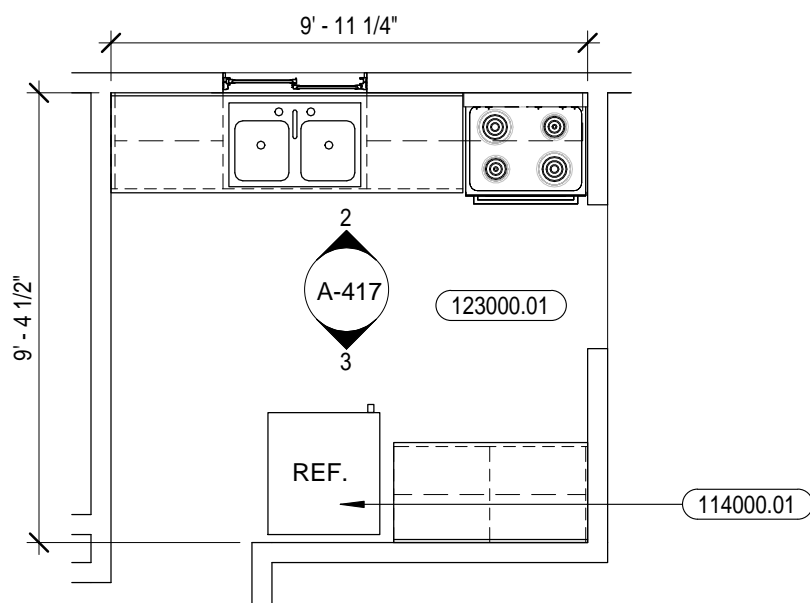
### DOOR SCHEDULE

DOOR		NOMINAL DOOR SIZE				FRAME		HDW SET	COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM		3' - 0"	6' - 10"	0' - 2"	EX	EX	3	ALL UFAS COMPLIANT HARDWARE AND MOUNTING HEIGHTS
8	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	1	ALL UFAS COMPLIANT HARDWARE AND MOUNTING HEIGHTS
10	WD		3' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	ALL UFAS COMPLIANT HARDWARE AND MOUNTING HEIGHTS
11	WD		5' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	ALL UFAS COMPLIANT HARDWARE AND MOUNTING HEIGHTS
12	WD		4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	ALL UFAS COMPLIANT HARDWARE AND MOUNTING HEIGHTS

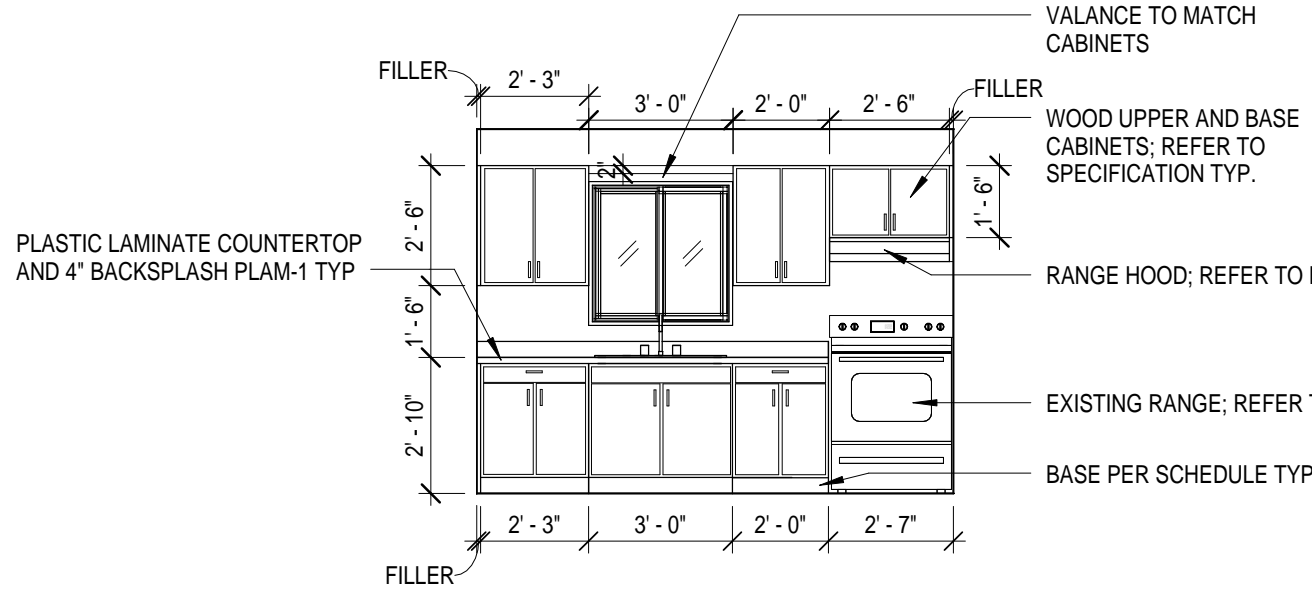
EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:  
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.  
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.  
3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.  
4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.  
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

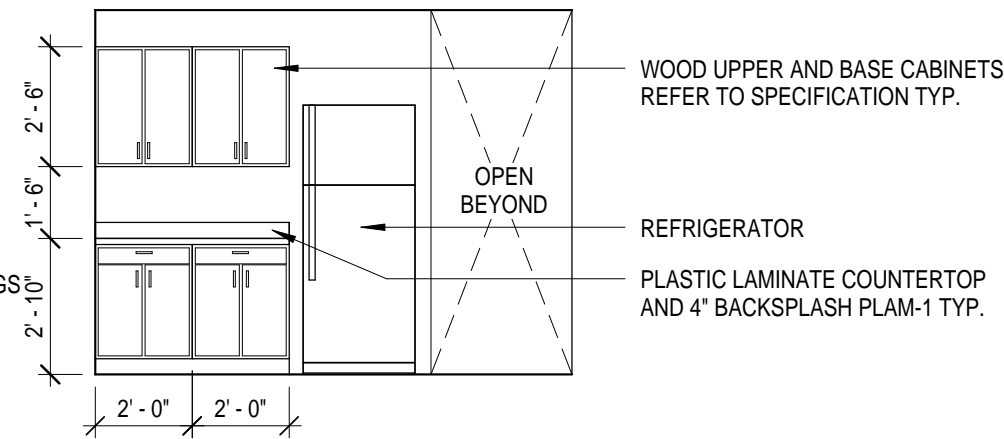




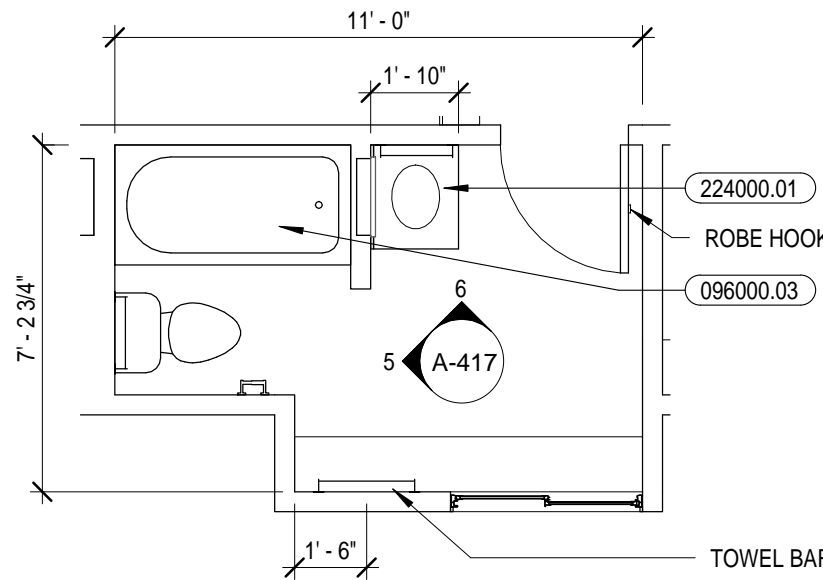
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1/4" = 1'-0"



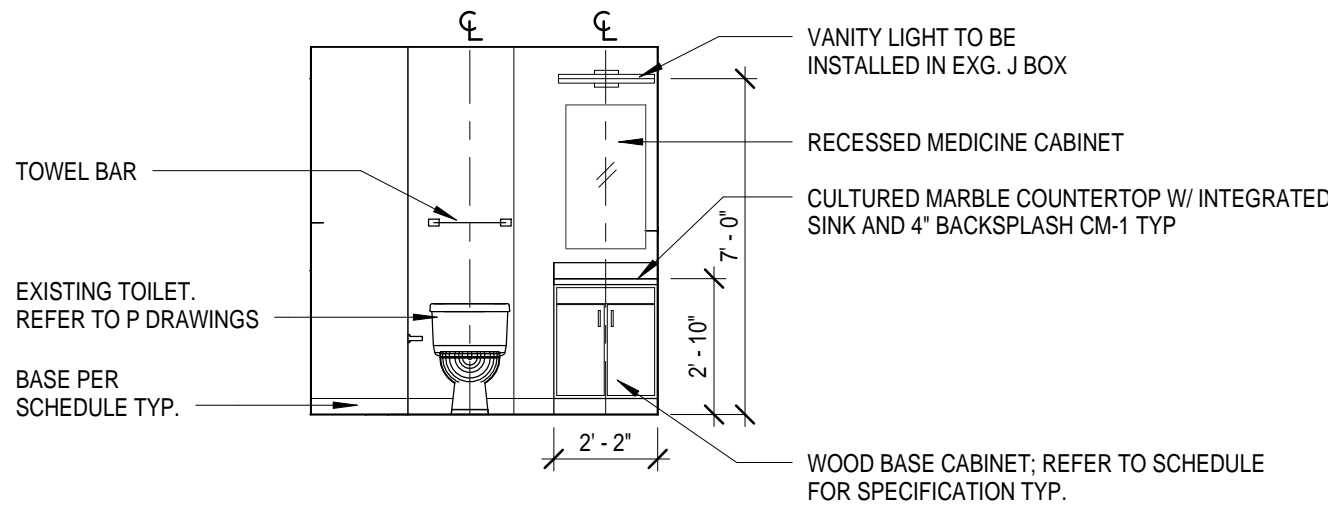
2 Elevation  
1/4" = 1'-0"



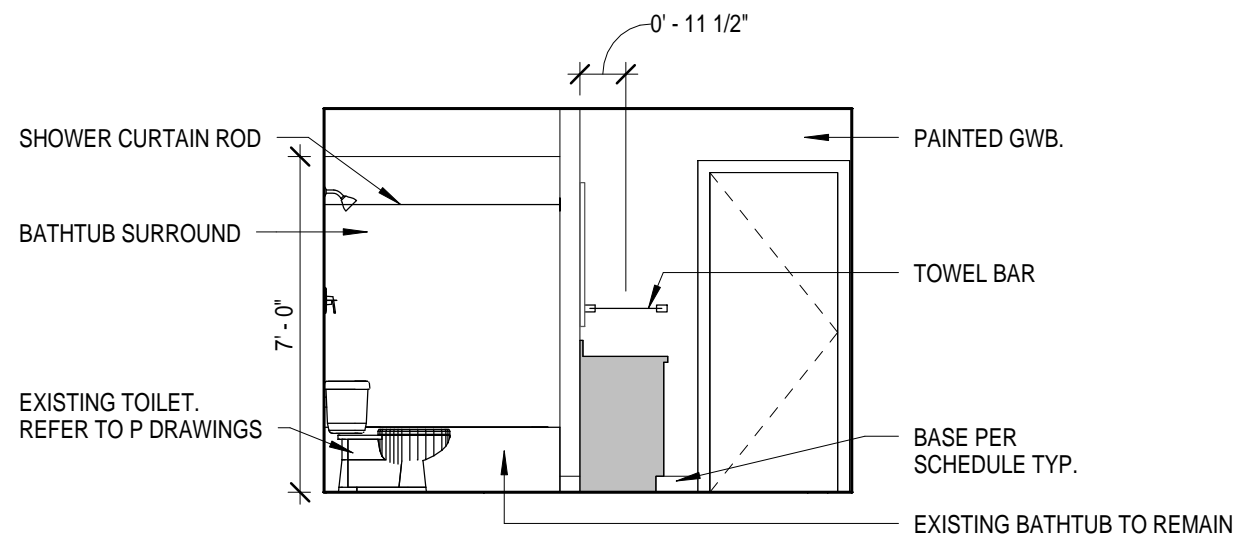
3 Elevation  
1/4" = 1'-0"



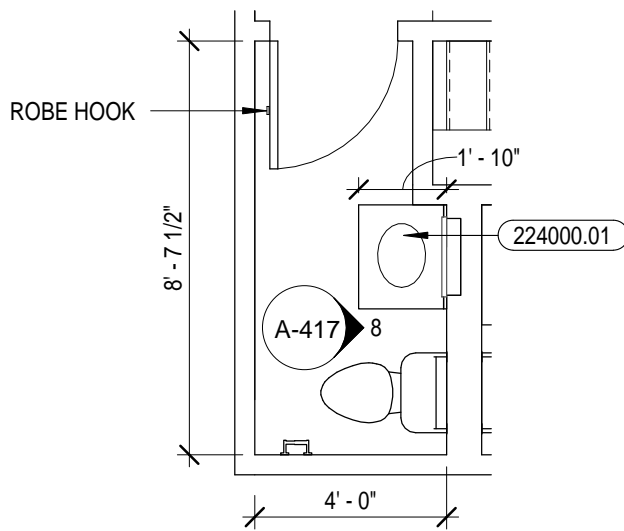
4 Enlarged Plan  
1/4" = 1'-0"



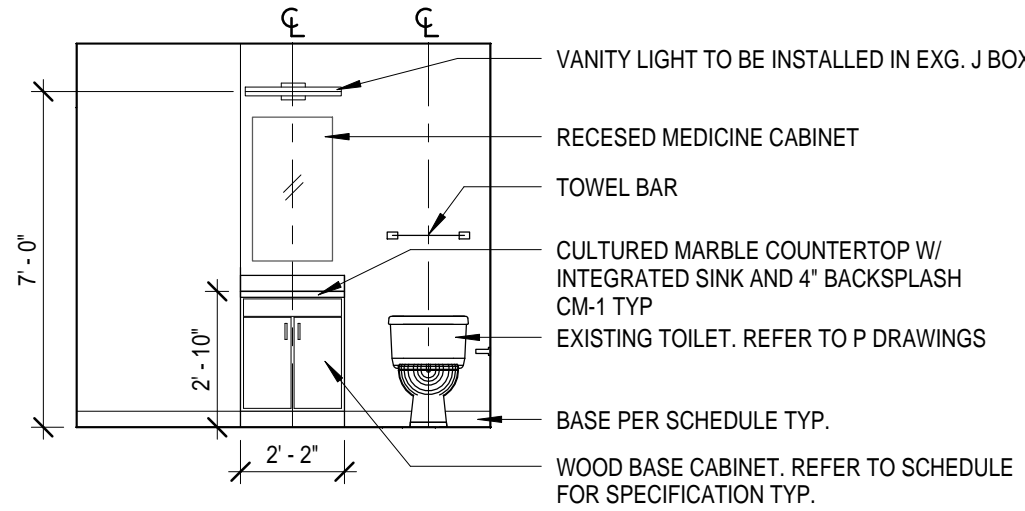
5 Elevation  
1/4" = 1'-0"



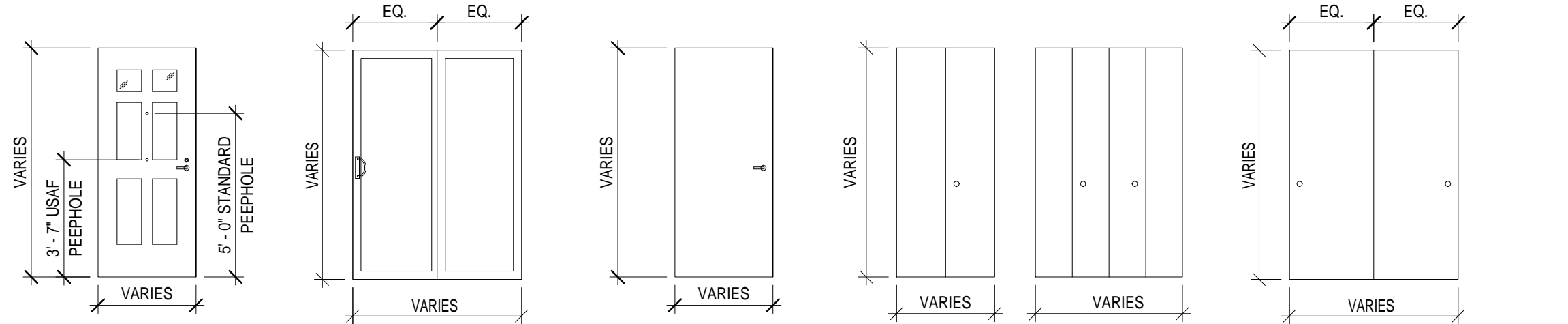
6 Elevation  
1/4" = 1'-0"



7 Enlarged Plan  
1/4" = 1'-0"



8 Elevation  
1/4" = 1'-0"



1-3 HOLLOW METAL DOOR w/ GLAZING  
4 SLIDING GLASS DOOR  
7-9 SOLID CORE WOOD DOOR  
10-12 WOOD BIFOLD DOOR  
13-17 WOOD SLIDING DOOR

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
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12. REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

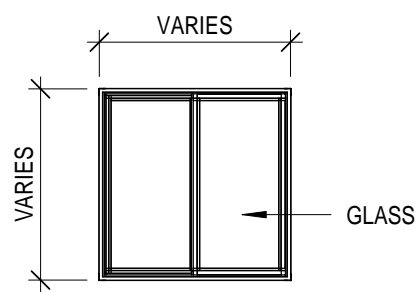
## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STOPS. TILE BACKER BOARD TUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT WALLS WHERE TUBS ARE AGAINST FIRE RESISTANT RATED CORRIDOR OR TENANT SEPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW	MATERIAL	GLAZING	COMMENTS
A	4' - 0" +/-	4' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
C	3' - 0" +/-	3' - 0" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.
F	5' - 10" +/-	4' - 3 1/2" +/-	SLIDING WINDOW - VENT/FIXED UNIT	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



A SLIDING WINDOW - VENT/FIXED UNIT

Window Types  
1/4" = 1'-0"

## DOOR SCHEDULE

DOOR		NOMINAL DOOR SIZE			FRAME		HDW	COMMENTS
TYPE	MATL	WIDTH	HEIGHT	THICKNESS	TYPE	MATL	SET	
1	HM	3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
3	HM	2' - 8"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
8	WD		6' - 8"	0' - 2"	EX	EX	1	
15	WD	3' - 0"	6' - 8"	0' - 2"	EX	EX	5	
16	WD	4' - 0"	6' - 8"	0' - 2"	EX	EX	5	
17	WD	5' - 0"	6' - 8"	0' - 2"	EX	EX	5	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:  
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING LABELS.  
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.  
3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.  
4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.  
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



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Design  
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Sustainability

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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

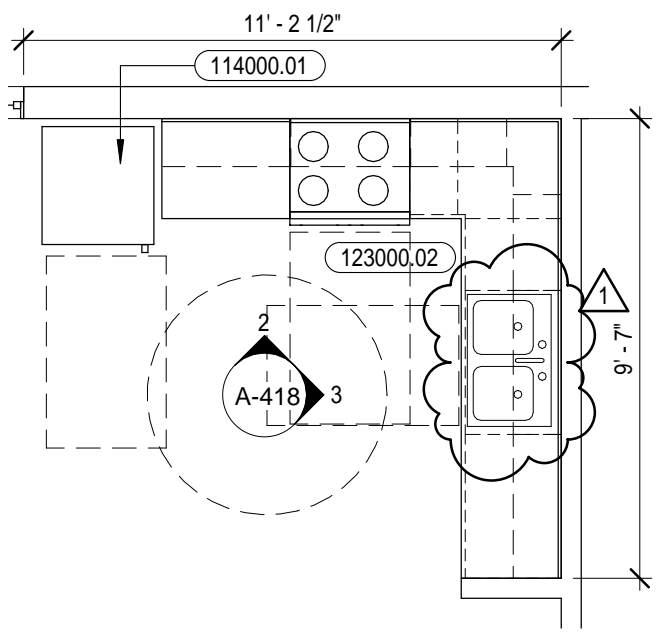
REVISIONS

1	9.11.17	REV 1/ ADDENDA 2
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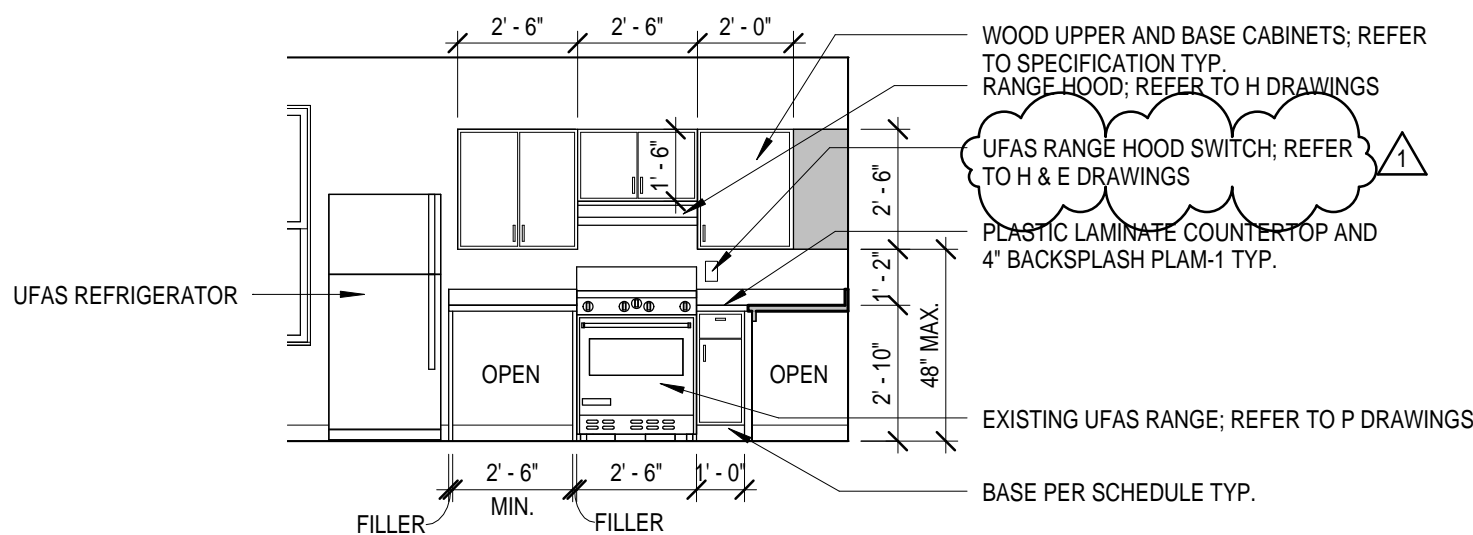
Family Community  
- Type G Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

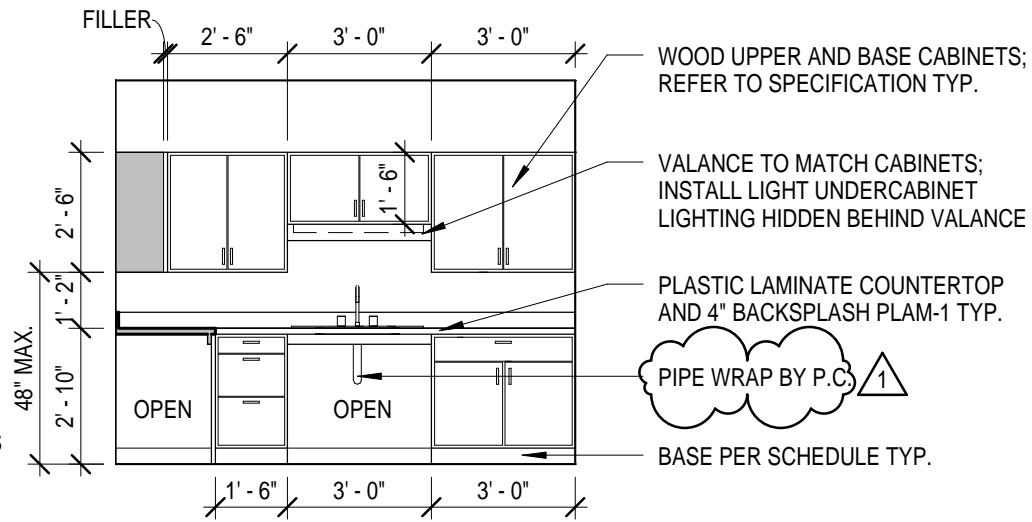
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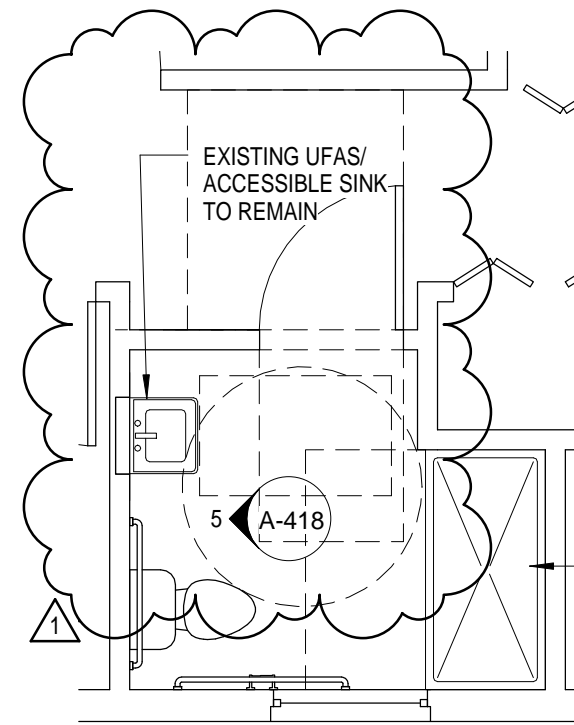
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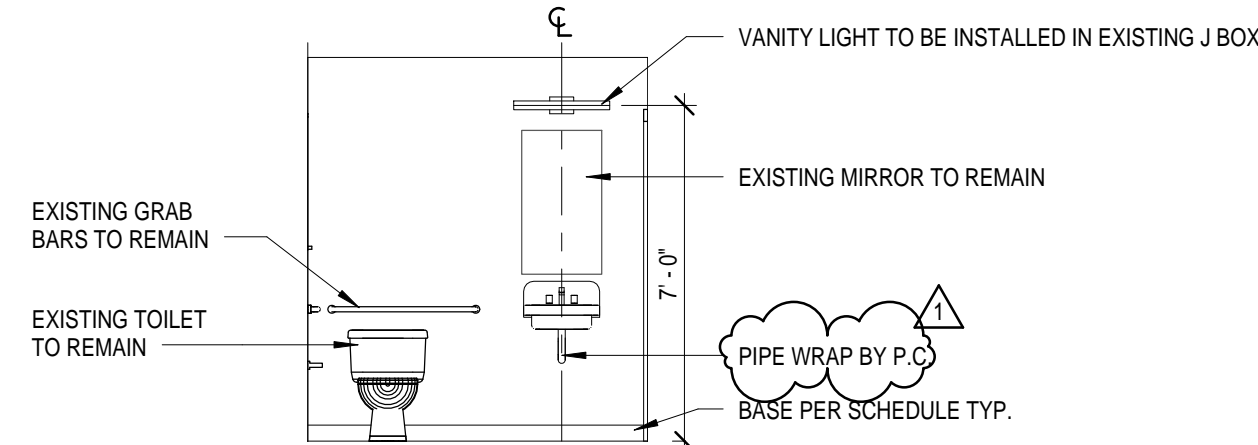
2 UFAS Elevation  
1/4" = 1'-0"



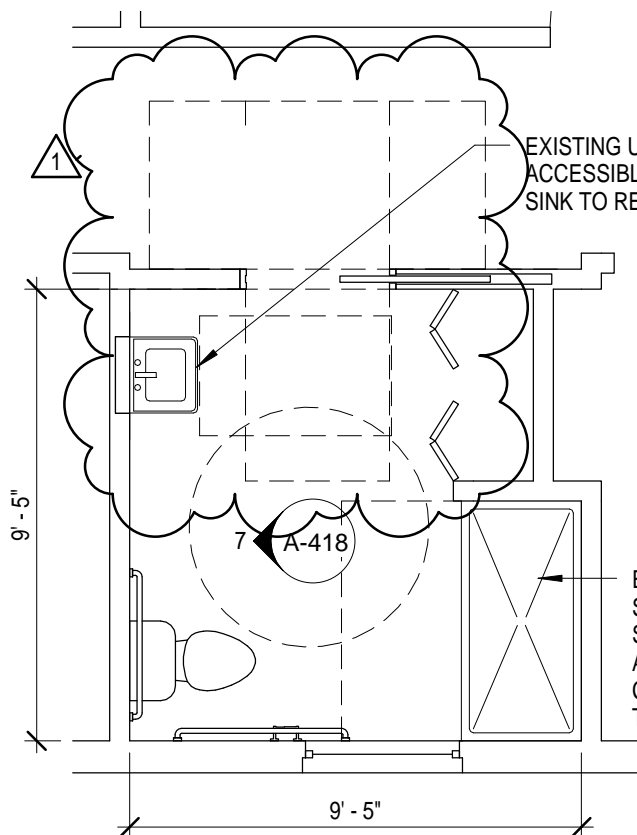
3 UFAS Elevation  
1/4" = 1'-0"



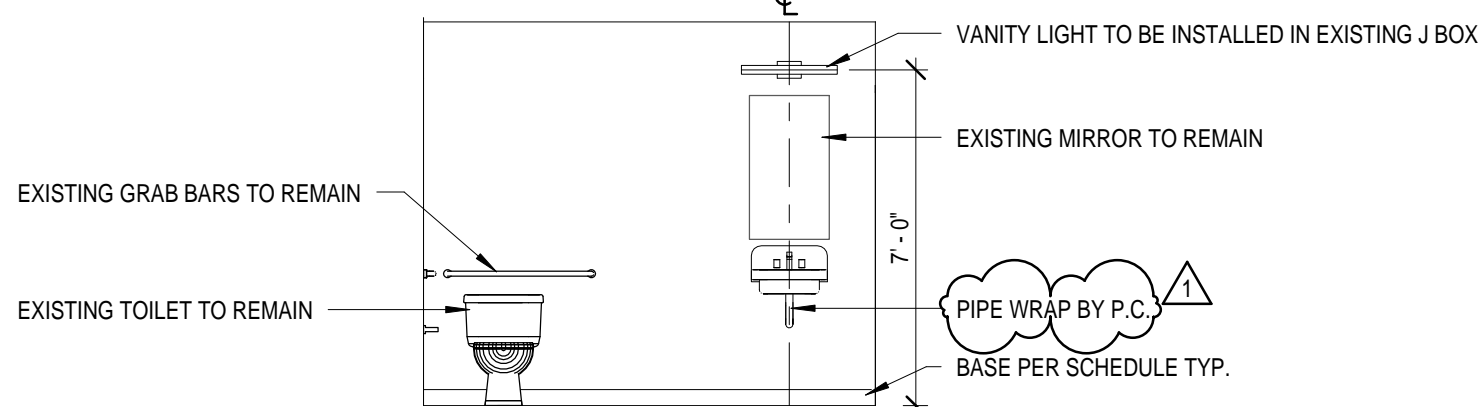
4 UFAS Enlarged Plan  
1/4" = 1'-0"



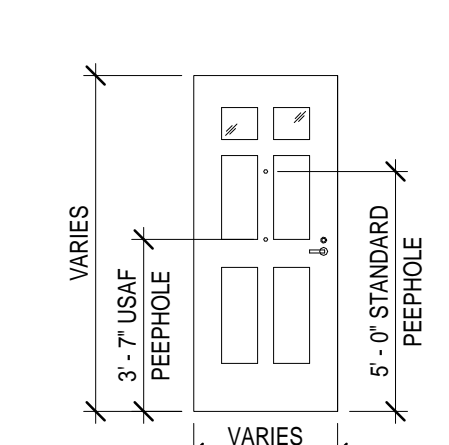
5 UFAS Elevation  
1/4" = 1'-0"



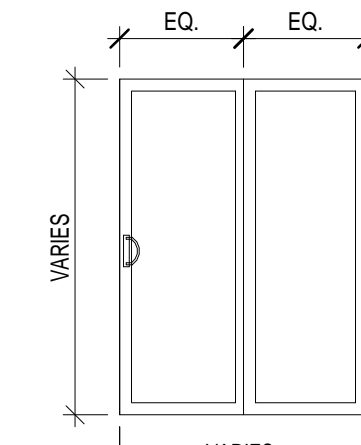
6 UFAS Enlarged Plan  
1/4" = 1'-0"



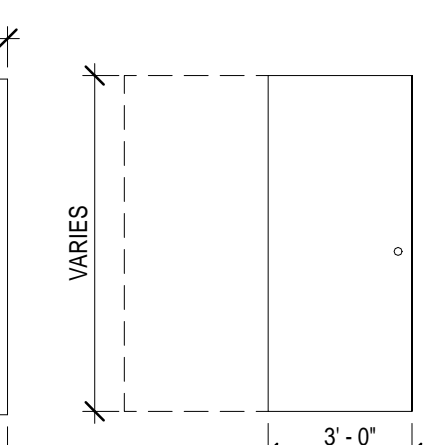
7 UFAS Elevation  
1/4" = 1'-0"



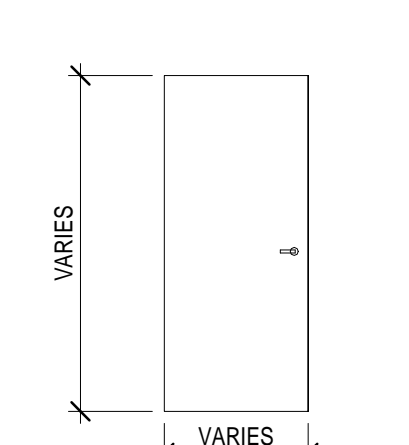
1-3 HOLLOW METAL DOOR w/ GLAZING



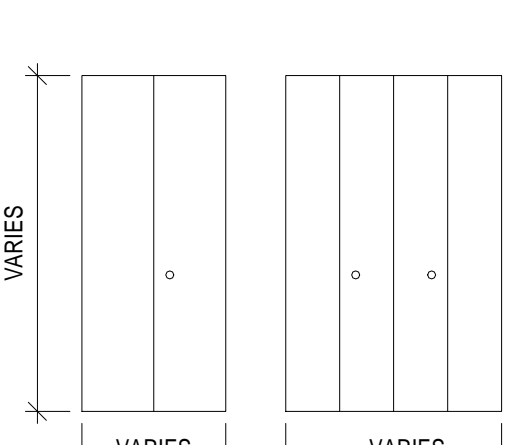
4 SLIDING GLASS DOOR



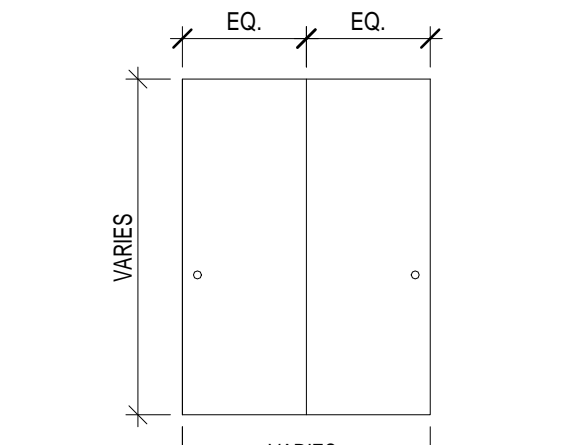
5 SOLID CORE WOOD POCKET DOOR



7-9 SOLID CORE WOOD DOOR



10-12 WOOD BIFOLD DOOR



13-17 WOOD SLIDING DOOR

Door Types  
1/4" = 1'-0"

## GENERAL NOTES

- ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
- REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
- FURNISH AND INSTALL ALL STANDARD UNIT BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
- ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
- DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
- ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
- ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
- EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
- INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
- REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
- REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
- ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

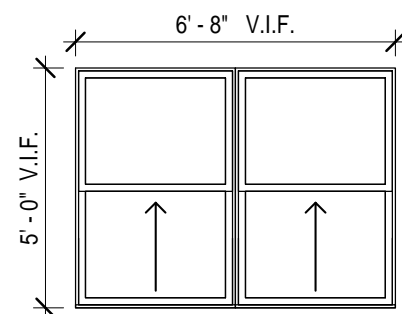
## REFERENCED NOTES

MARK	DESCRIPTION
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.02	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.

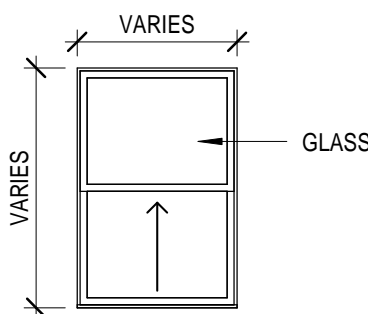
## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW TYPE	MATERIAL	GLAZING	COMMENTS
	WIDTH	HEIGHT				
H	6' - 8" +/-	5' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
K	3' - 4" +/-	2' - 10" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
- ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  - REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS.



H SINGLE HUNG



K SINGLE HUNG

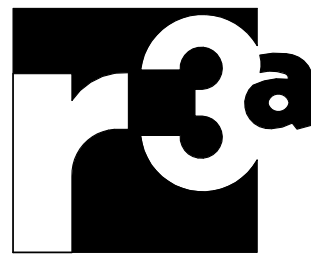
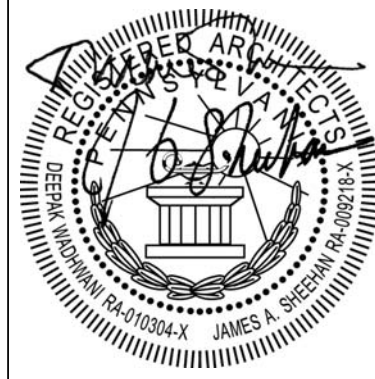
Window Types  
1/4" = 1'-0"

## DOOR SCHEDULE

DOOR TYPE	MAT'L	LABEL	NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
			WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS
5	WD		3' - 3"	6' - 8"	0' - 1 9/16"	EX	EX	1	UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS. 3'-0" CLEAR POCKET DOOR
8	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	1	UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS
11	WD	-	2' - 0"	6' - 8"	0' - 1 1/2"	EX	EX		UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS
12	WD	-	4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX		UFAS COMPLIANT HARDWARE SETS AND MOUNTING HEIGHTS

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
- ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  - ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  - FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.
  - PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.



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Design

Technology

Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
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Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

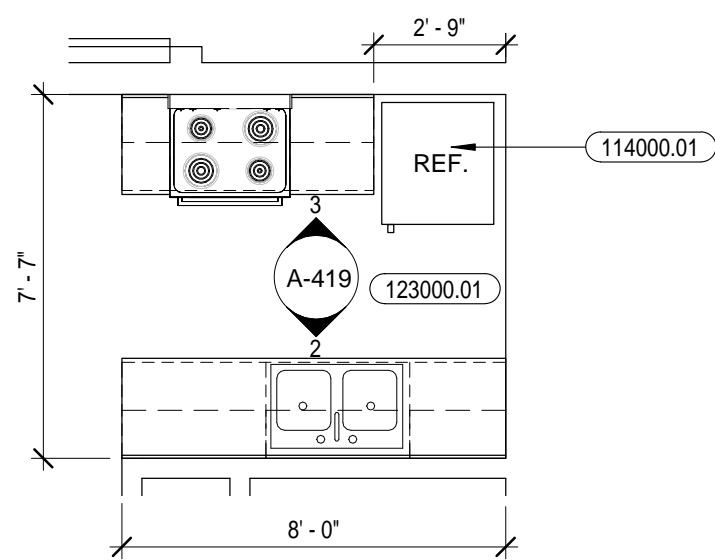
1 9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type H UFAS/  
Accessible  
Enlarged Plans  
and Elevations,  
Schedules, Types  
and Details

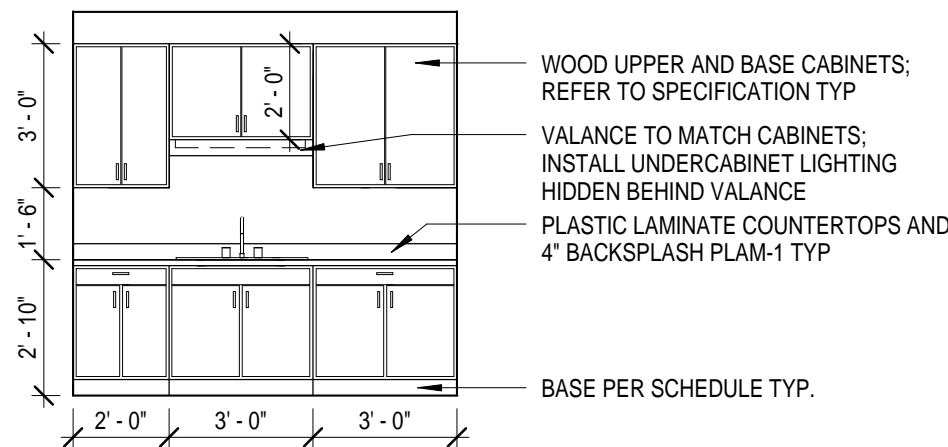
R3A PROJECT # 15074B

A-418

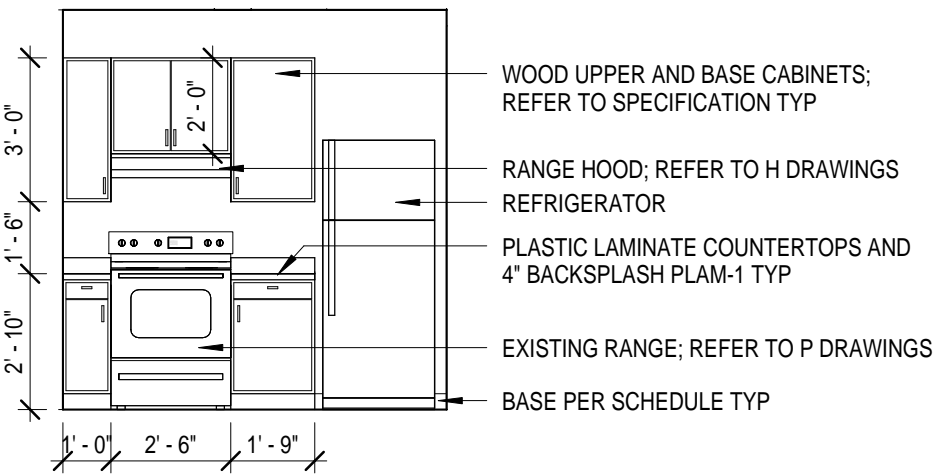




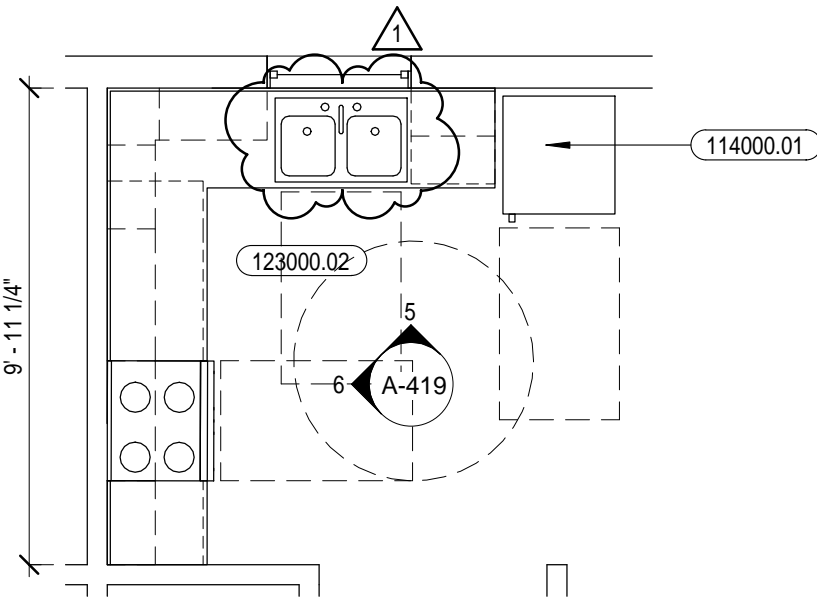
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1/4" = 1'-0"



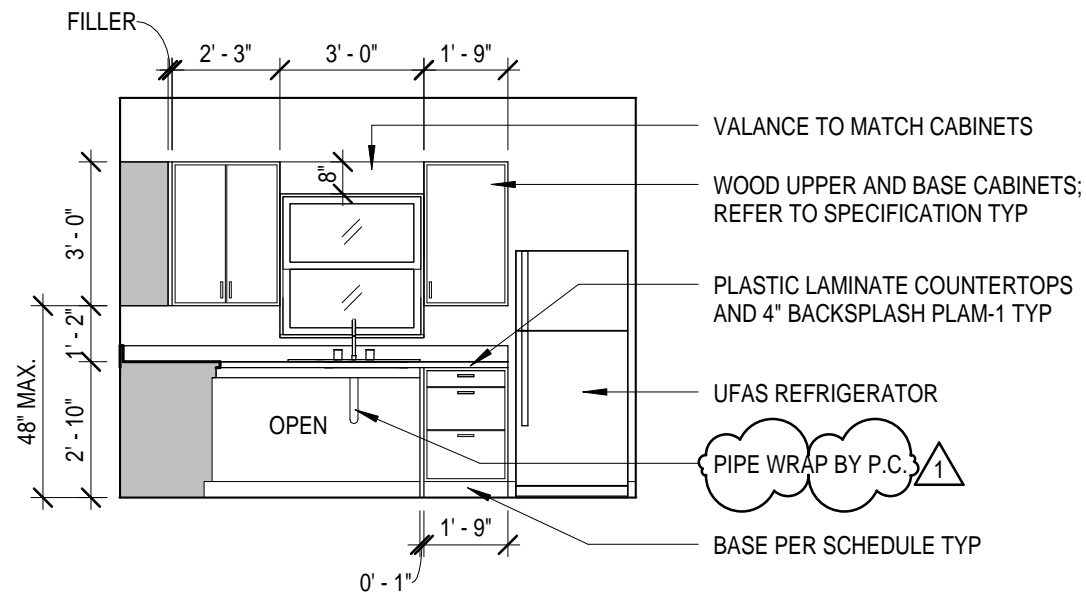
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1/4" = 1'-0"



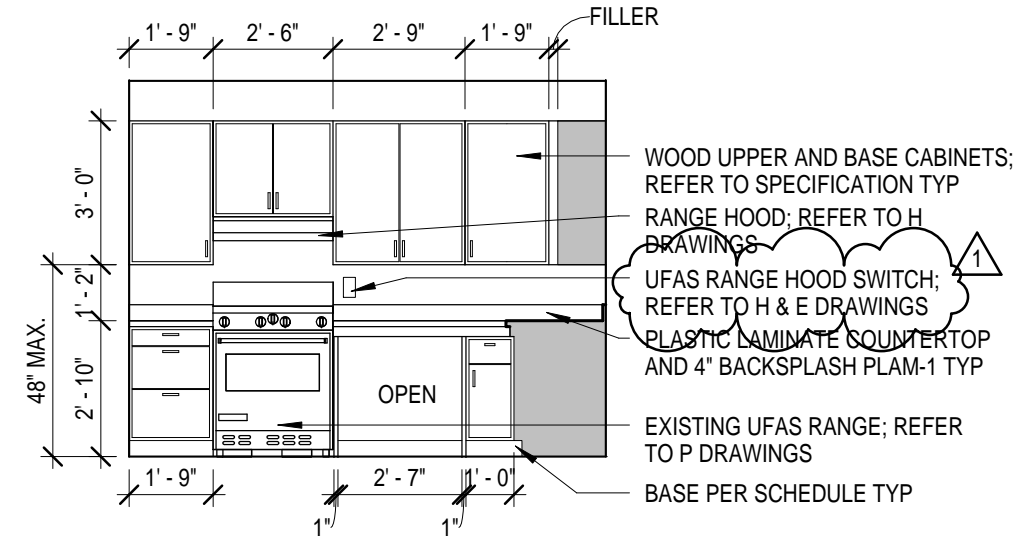
3 Elevation  
1/4" = 1'-0"



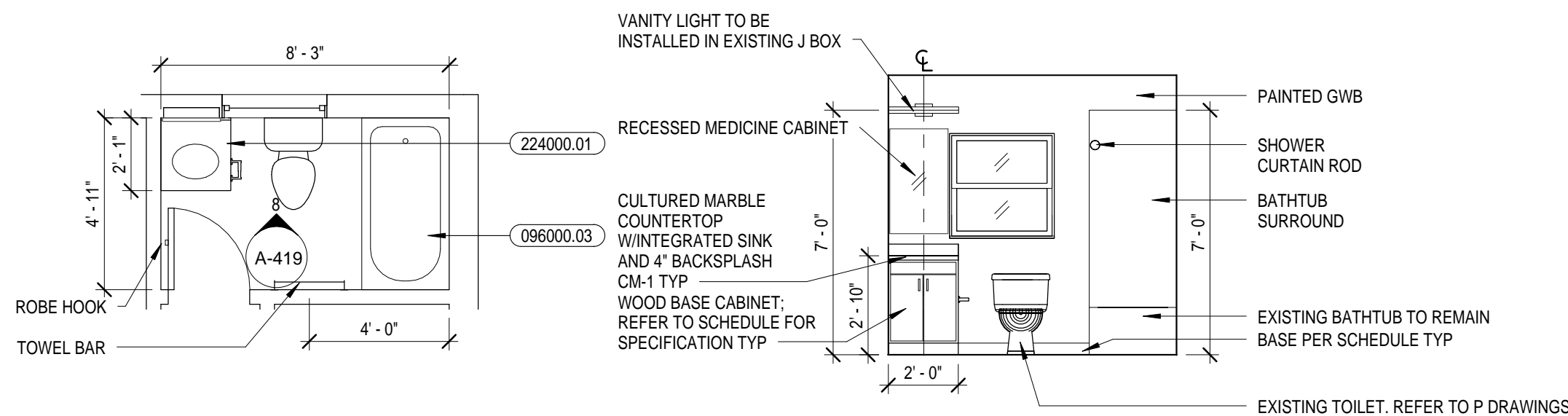
4 UFAS Enlarged Plan  
1/4" = 1'-0"



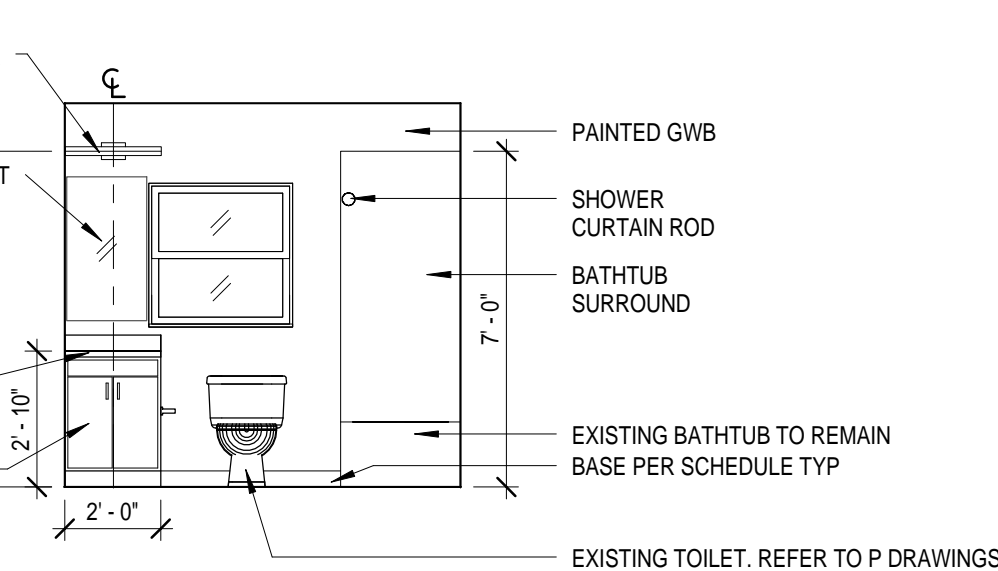
5 UFAS Elevation  
1/4" = 1'-0"



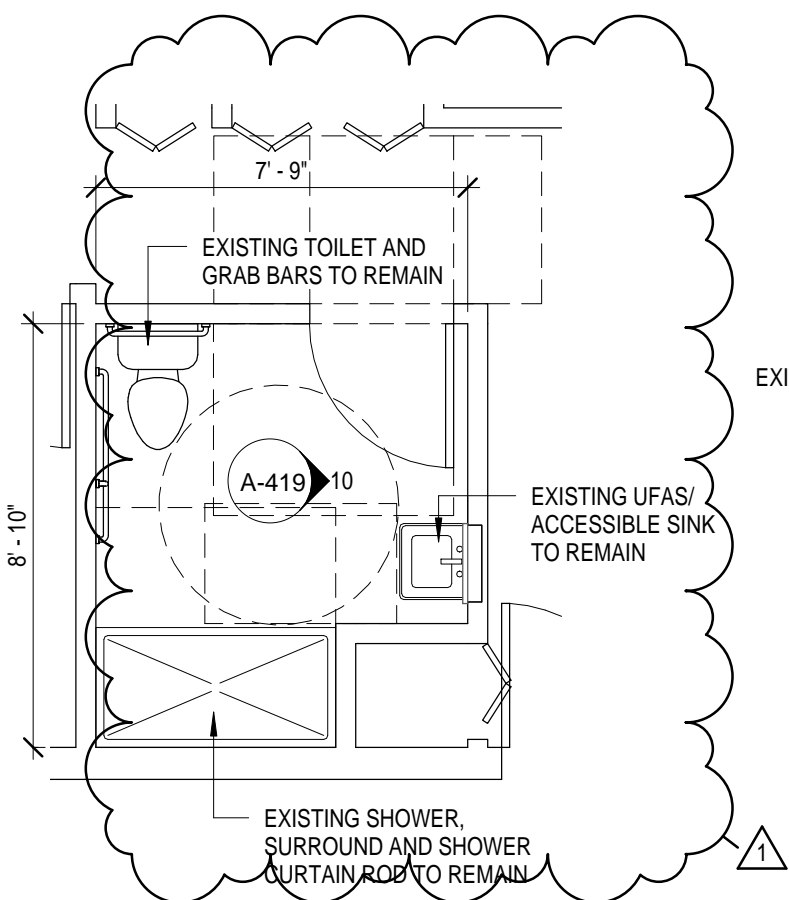
6 UFAS Elevation  
1/4" = 1'-0"



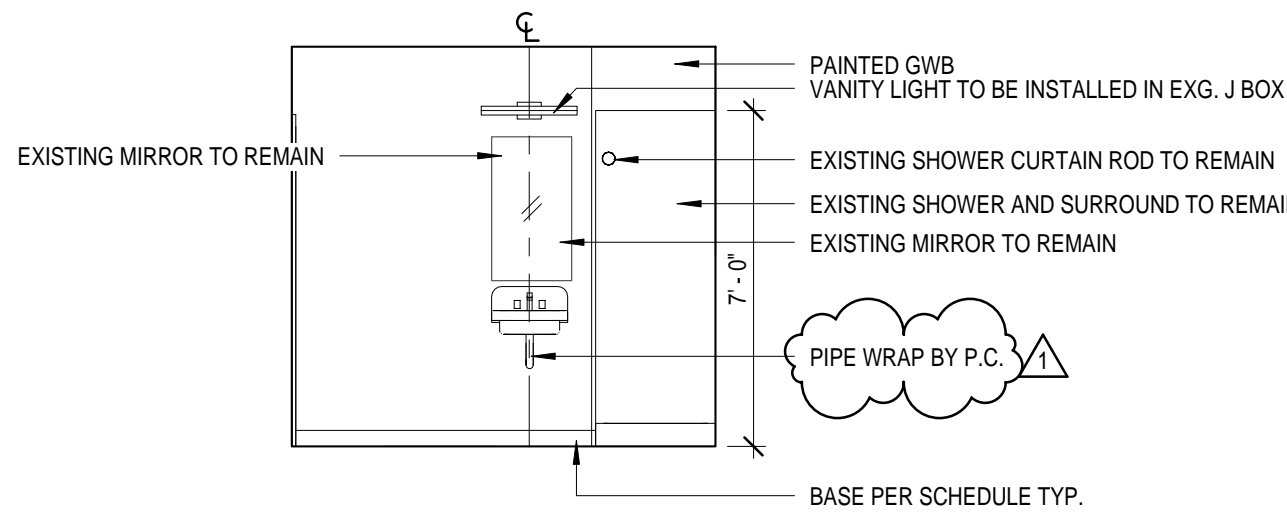
7 Enlarged Plan  
1/4" = 1'-0"



8 Elevation  
1/4" = 1'-0"



9 UFAS Enlarged Plan  
1/4" = 1'-0"



10 UFAS Elevation  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 115100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. **REMOVE ALL BLOCKING UNDERNEATH ALL CABINETS AND APPLIANCES PRIOR TO INSTALLATION.**
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. **REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.**
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

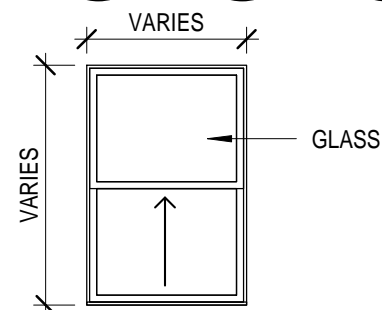
## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STOPS. TILE BACKER BOARD TUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT CORRIDOR OR TENANT OPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS. REMOVE SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
123000.02	REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS. REMOVE SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN ACCESSIBILITY UNIT TYPES.
224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.
224000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS. TYPICAL OF ALL UFAS/ACCESSIBLE BATHROOMS. REFER TO G-110 FOR BATHROOMS ACCESSIBILITY UNIT TYPES.

## WINDOW SCHEDULE

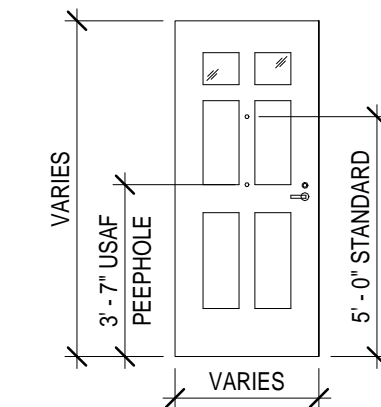
MARK	NOMINAL SIZE		WINDOW TYPE	MATERIAL	GLAZING	COMMENTS
	WIDTH	HEIGHT				
C	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
L	3' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
M	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
O	2' - 8" +/-	4' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-601 FOR HEAD, JAMB AND SILL DETAILS



C, L, M, O SINGLE HUNG

Window Types  
1/4" = 1'-0"



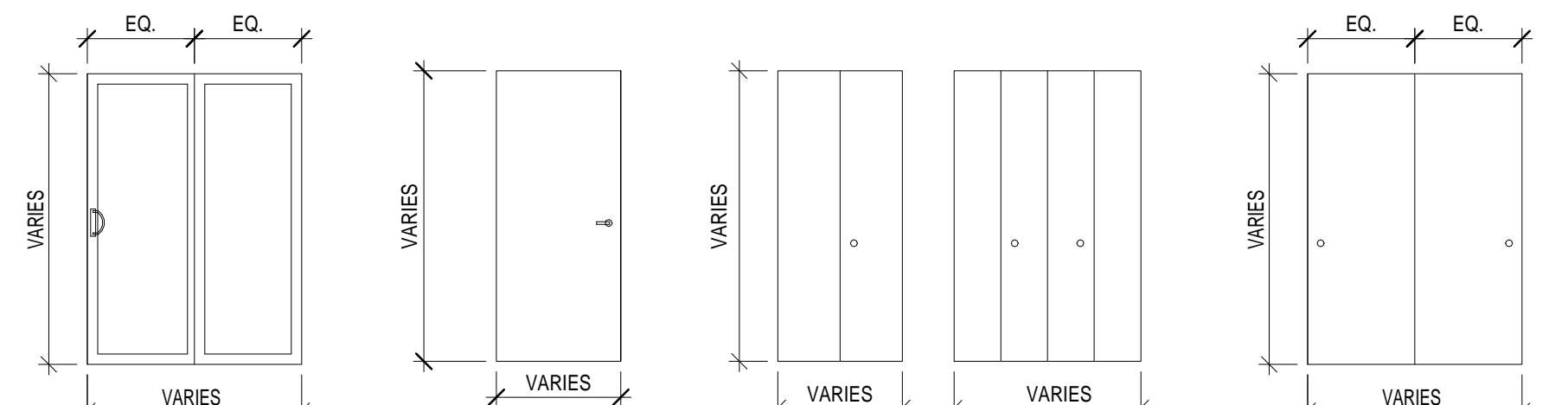
1-3 HOLLOW METAL DOOR w/ GLAZING

Door Types  
1/4" = 1'-0"

DOOR SCHEDULE									
DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
	HM		2' - 8"	6' - 8"	0' - 2"	EX	EX	4	NO GLASS WINDOWS AT TOP, NOT INSULATED1
	AL		4' - 11"	7' - 0"	0' - 2"	EX	EX	6	
	WD		3' - 0"	6' - 8"	0' - 2"	EX	EX	1	
	WD		2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
3	WD		2' - 4"	6' - 8"	0' - 2"	EX	EX	1	
	WD		1' - 6"	6' - 8"	0' - 2"	EX	EX	2	
	WD		2' - 2"	6' - 8"	0' - 2"	EX	EX	2	
3	WD		2' - 4"	6' - 8"	0' - 2"	EX	EX	2	
	WD	-	2' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	
	WD	-	4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	
1A	WD	-	5' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	7	

EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:  
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.  
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.  
3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.  
4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.  
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

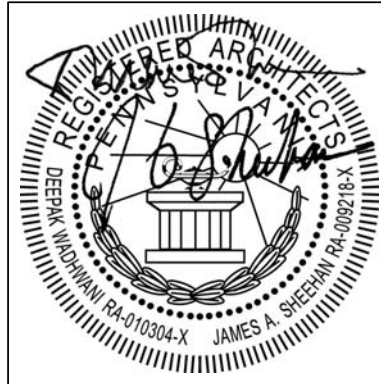


4 SLIDING GLASS DOOR

7-9 SOLID CORE WOOD DOOR

10-12 WOOD BIFOLD DOOR

13-17 WOOD SLIDING DOOR



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Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

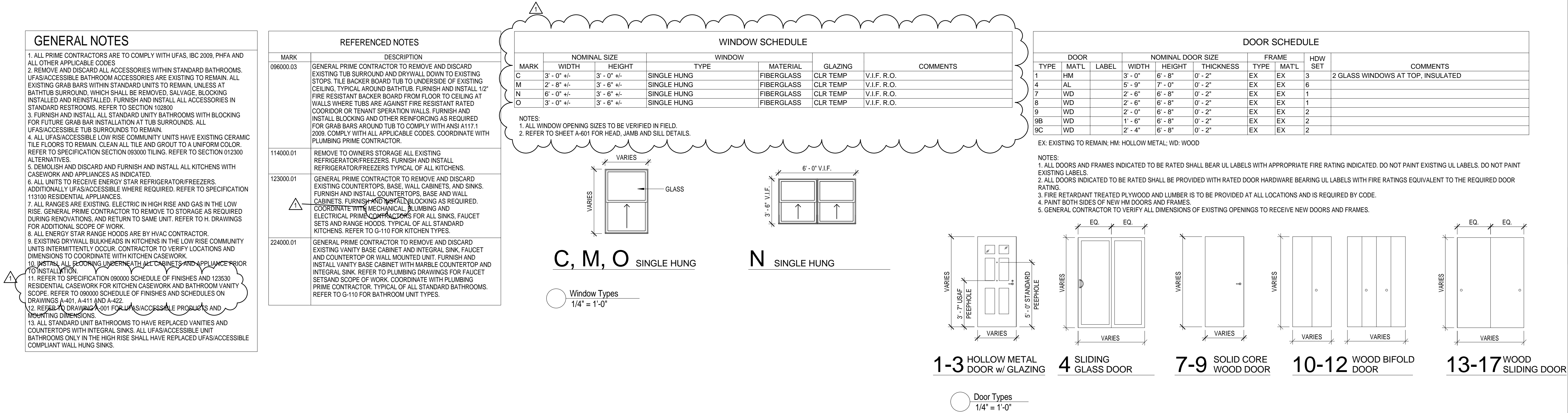
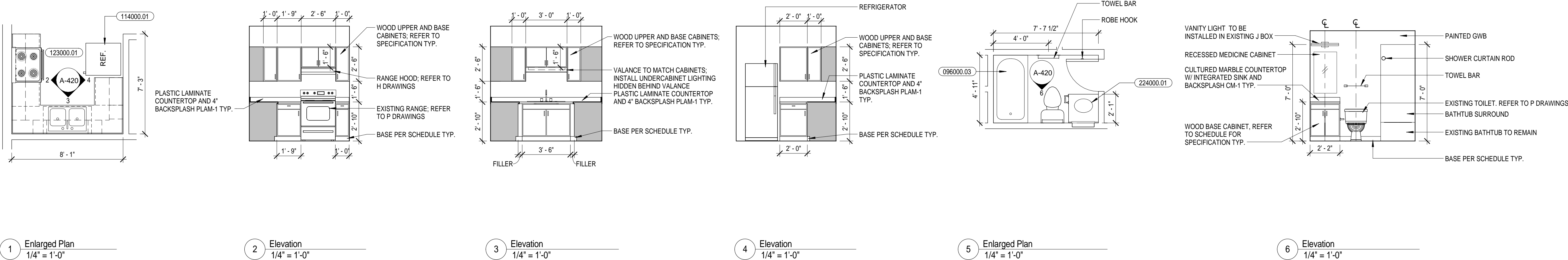
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ ADDENDA 2

Family Community  
- Type J Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

R3A PROJECT # 15074B

A-419



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Design Development

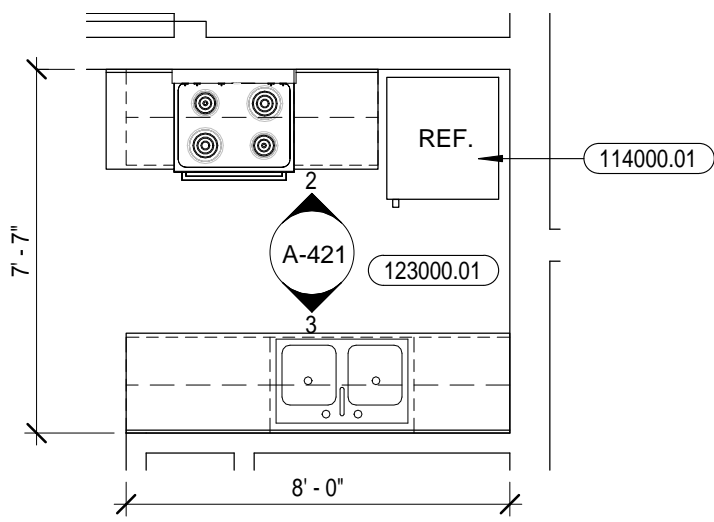
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REVISIONS	
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Family Community  
- Type K Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

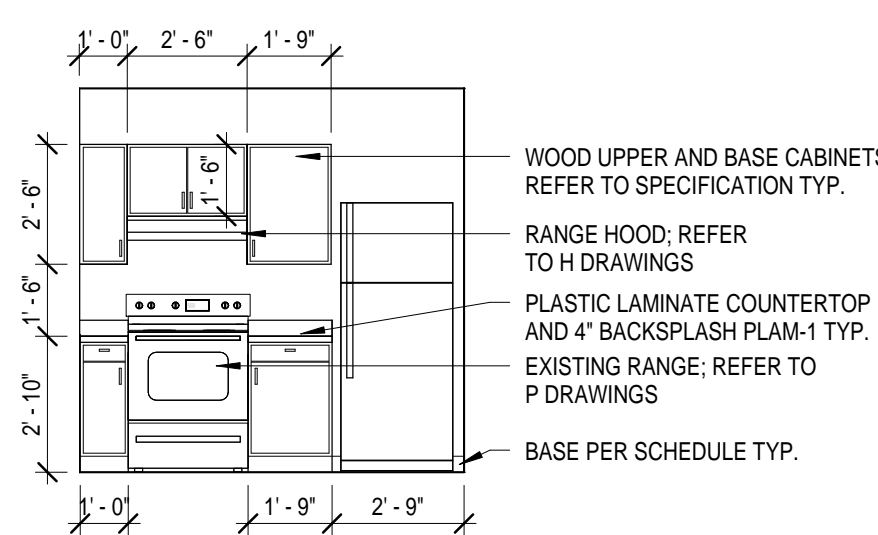
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A-420

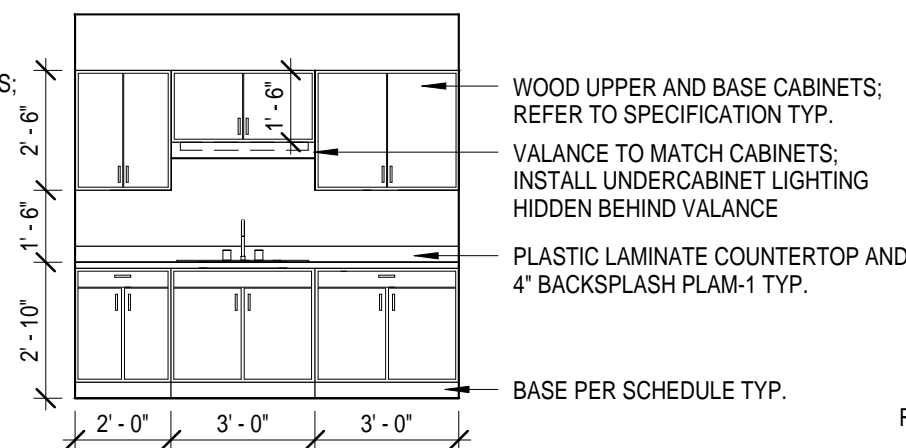




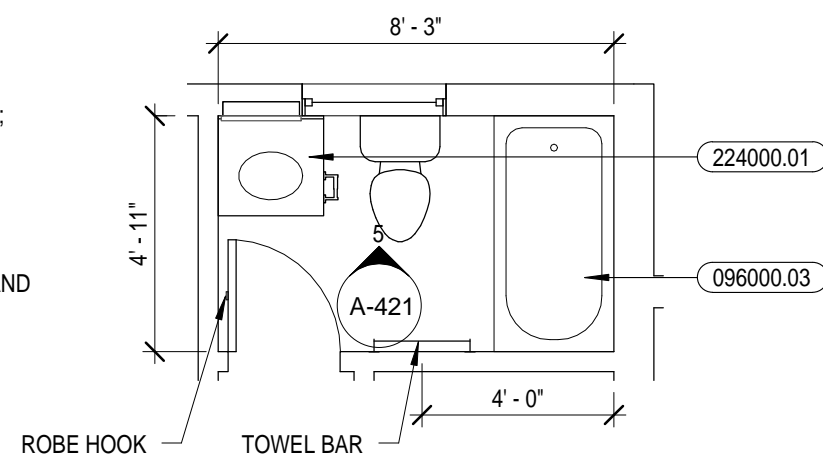
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1/4" = 1'-0"



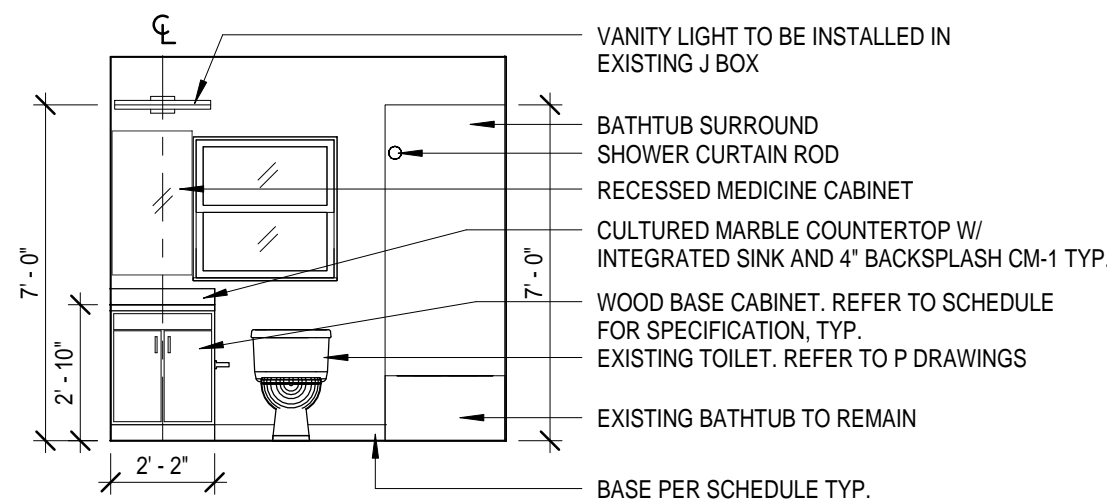
2 Elevation  
1/4" = 1'-0"



3 Elevation  
1/4" = 1'-0"



4 Enlarged Plan  
1/4" = 1'-0"



5 Elevation  
1/4" = 1'-0"

## GENERAL NOTES

- ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES.
- REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102800.
- FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
- ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
- DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED.
- ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
- ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
- EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
- INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.
- REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 080000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
- REFER TO DRAWING A-401 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.
- ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

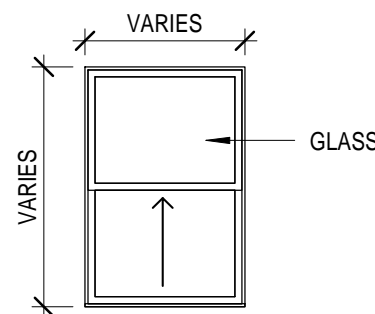
## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STOPS. TILE BACKER BOARD TUB TO UNDERSIDE OF EXISTING CEILING. TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT WALLS WHERE TUBS ARE AGAINST FIRE RESISTANT RATED COOKIDOR OR TENANT SPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
114000.01	REMOVE TO OWNERS STORAGE ALL EXISTING REFRIGERATOR/FREEZERS. FURNISH AND INSTALL REFRIGERATOR/FREEZERS TYPICAL OF ALL KITCHENS.
123000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING COUNTERTOPS, BASE, WALL CABINETS, AND SINKS. FURNISH AND INSTALL COUNTERTOPS, BASE AND WALL CABINETS. FURNISH AND INSTALL BLOCKING AS REQUIRED. COORDINATE WITH MECHANICAL PLUMBING AND ELECTRICAL PRIME CONTRACTORS FOR ALL SINKS, FAUCET SETS AND RANGE HOODS. TYPICAL OF ALL STANDARD KITCHENS. REFER TO G-110 FOR KITCHEN TYPES.
224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
C	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
L	3' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
M	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:
- ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.
  - REFER TO SHEET A-601 FOR HEAD, JAMB, AND SILL DETAILS.



C, L, M SINGLE HUNG

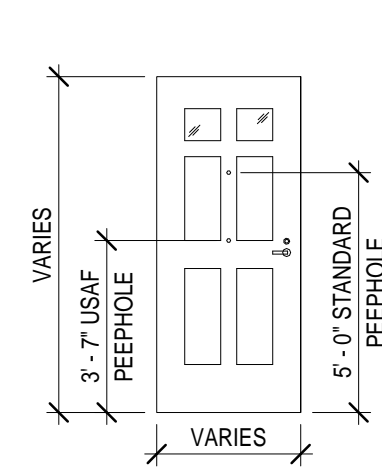
Window Types  
1/4" = 1'-0"

## DOOR SCHEDULE

DOOR			NOMINAL DOOR SIZE			FRAME		HDW SET	COMMENTS
TYPE	MAT'L	LABEL	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM		3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM		2' - 8"	6' - 8"	0' - 2"	EX	EX	4	
4	AL		4' - 11"	7' - 0"	0' - 2"	EX	EX	6	
8	WD			6' - 8"	0' - 2"	EX	EX	1	
9	WD		1' - 6"	6' - 8"	0' - 2"	EX	EX	2	
9A	WD		2' - 2"	6' - 8"	0' - 2"	EX	EX	2	
12	WD		4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	2	

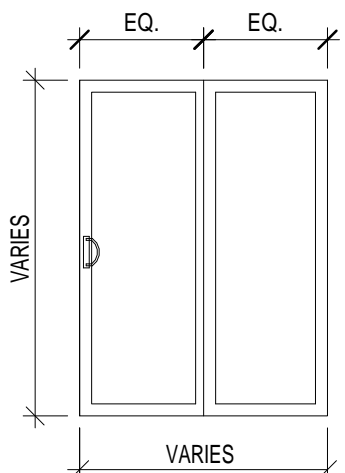
EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:
- ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.
  - ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.
  - FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.
  - PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.
  - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

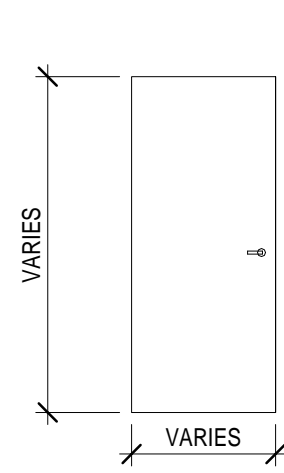


1-3 HOLLOW METAL  
DOOR w/ GLAZING

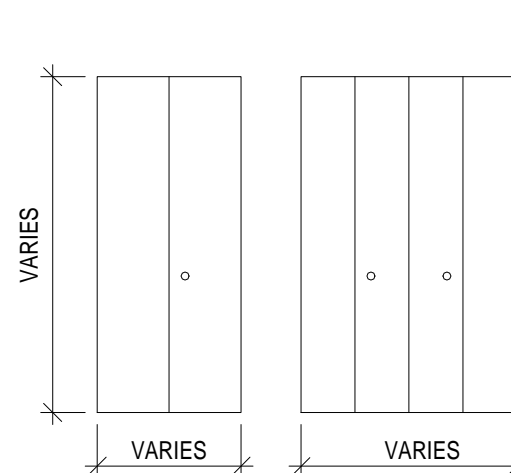
Door Types  
1/4" = 1'-0"



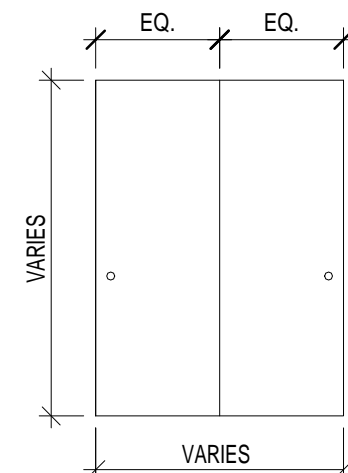
4 SLIDING  
GLASS DOOR



7-9 SOLID CORE  
WOOD DOOR



10-12 WOOD BIFOLD  
DOOR



13-17 WOOD SLIDING  
DOOR



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

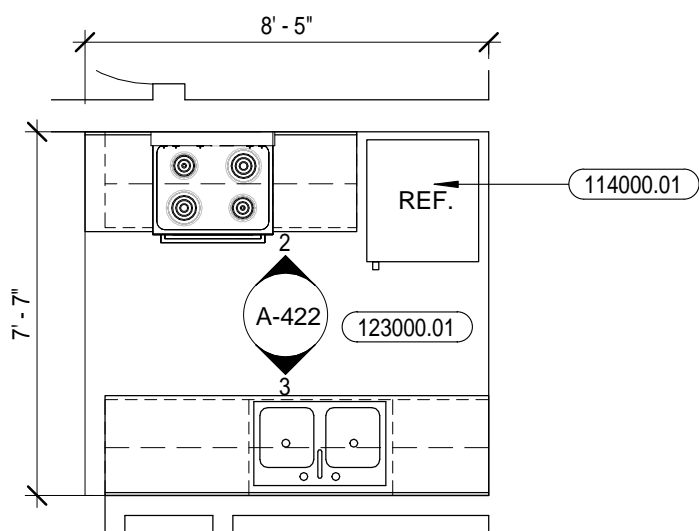
REVISIONS

1 | 9.11.17 | REV 1/ADDENDA 2

Family Community  
- Type L Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

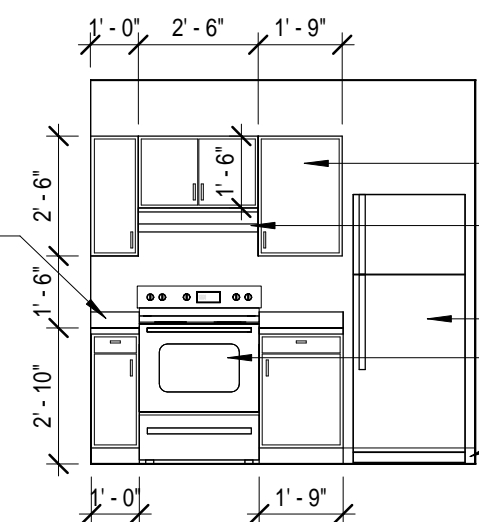
R3A PROJECT # 15074B

A-421



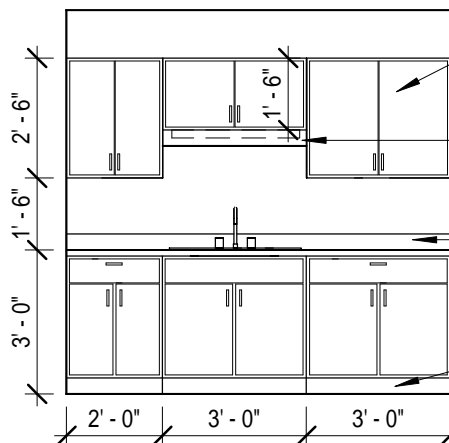
1 Enlarged Plan  
1/4" = 1'-0"

PLASTIC LAMINATE COUNTERTOP  
AND 4" BACKSPLASH PLAM-1 TYP.

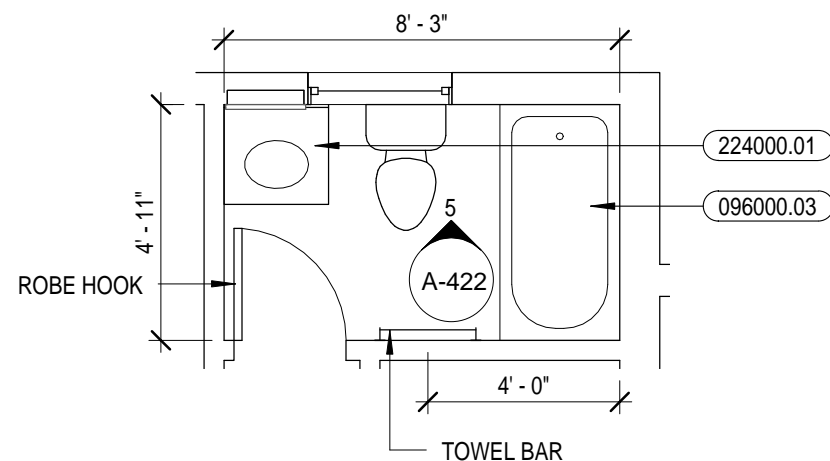


2 Elevation  
1/4" = 1'-0"

WOOD UPPER AND BASE CABINETS;  
REFER TO SPECIFICATION TYP.  
RANGE HOOD, REFER TO H DRAWINGS  
REFRIGERATOR  
EXISTING RANGE, REFER TO P DRAWINGS  
BASE PER SCHEDULE TYP.



3 Elevation  
1/4" = 1'-0"



4 Enlarged Plan  
1/4" = 1'-0"

ROBE HOOK  
TOWEL BAR  
VANITY LIGHT TO BE INSTALLED  
IN EXISTING J BOX  
RECESSED MEDICINE CABINET  
CULTURED MARBLE COUNTERTOP W/  
INTEGRATED SINK AND BACKSPLASH  
CM-1 TYP.  
WOOD BASE CABINET, REFER TO  
SCHEDULE FOR SPECIFICATION TYP.  
PAINTED GWB  
SHOWER CURTAIN ROD  
BATHTUB SURROUND  
EXISTING BATHTUB TO REMAIN  
BASE PER SCHEDULE TYP.  
EXISTING TOILET, REFER TO P DRAWINGS

5 Elevation  
1/4" = 1'-0"

## GENERAL NOTES

1. ALL PRIME CONTRACTORS ARE TO COMPLY WITH UFAS, IBC 2009, PHFA AND ALL OTHER APPLICABLE CODES
2. REMOVE AND DISCARD ALL ACCESSORIES WITHIN STANDARD BATHROOMS. UFAS/ACCESSIBLE BATHROOM ACCESSORIES ARE EXISTING TO REMAIN. ALL EXISTING GRAB BARS WITHIN STANDARD UNITS TO REMAIN, UNLESS AT BATHTUB SURROUND, WHICH SHALL BE REMOVED, SALVAGE, BLOCKING INSTALLED AND REINSTALLED. FURNISH AND INSTALL ALL ACCESSORIES IN STANDARD RESTROOMS. REFER TO SECTION 102000
3. FURNISH AND INSTALL ALL STANDARD UNITY BATHROOMS WITH BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TUB SURROUNDS. ALL UFAS/ACCESSIBLE TUB SURROUNDS TO REMAIN.
4. ALL UFAS/ACCESSIBLE LOW RISE COMMUNITY UNITS HAVE EXISTING CERAMIC TILE FLOORS TO REMAIN. CLEAN ALL TILE AND GROUT TO A UNIFORM COLOR. REFER TO SPECIFICATION SECTION 093000 TILING. REFER TO SECTION 012300 ALTERNATIVES.
5. DEMOLISH AND DISCARD AND FURNISH AND INSTALL ALL KITCHENS WITH CASEWORK AND APPLIANCES AS INDICATED
6. ALL UNITS TO RECEIVE ENERGY STAR REFRIGERATOR/FREEZERS. ADDITIONALLY UFAS/ACCESSIBLE WHERE REQUIRED. REFER TO SPECIFICATION 113100 RESIDENTIAL APPLIANCES.
7. ALL RANGES ARE EXISTING. ELECTRIC IN HIGH RISE AND GAS IN THE LOW RISE. GENERAL PRIME CONTRACTOR TO REMOVE TO STORAGE AS REQUIRED DURING RENOVATIONS, AND RETURN TO SAME UNIT. REFER TO H. DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
8. ALL ENERGY STAR RANGE HOODS ARE BY HVAC CONTRACTOR.
9. EXISTING DRYWALL BULKHEADS IN KITCHENS IN THE LOW RISE COMMUNITY UNITS INTERMITTENTLY OCCUR. CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS TO COORDINATE WITH KITCHEN CASEWORK.
10. ~~INSTALL ALL FLOORING UNDERNEATH ALL CABINETS AND APPLIANCE PRIOR TO INSTALLATION.~~
11. REFER TO SPECIFICATION 090000 SCHEDULE OF FINISHES AND 123530 RESIDENTIAL CASEWORK FOR KITCHEN CASEWORK AND BATHROOM VANITY SCOPE. REFER TO 090000 SCHEDULE OF FINISHES AND SCHEDULES ON DRAWINGS A-401, A-411 AND A-422.
12. ~~REFER TO DRAWING A-001 FOR UFAS/ACCESSIBLE PRODUCTS AND MOUNTING DIMENSIONS.~~
13. ALL STANDARD UNIT BATHROOMS TO HAVE REPLACED VANITIES AND COUNTERTOPS WITH INTEGRAL SINKS. ALL UFAS/ACCESSIBLE UNIT BATHROOMS ONLY IN THE HIGH RISE SHALL HAVE REPLACED UFAS/ACCESSIBLE COMPLIANT WALL HUNG SINKS.

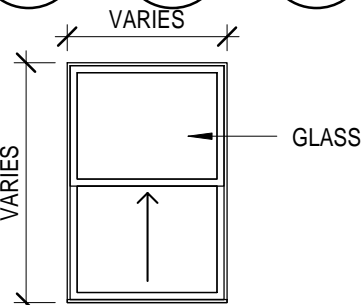
## REFERENCED NOTES

MARK	DESCRIPTION
096000.03	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING TUB SURROUND AND DRYWALL DOWN TO EXISTING STOPS. TILE BACKER BOARD TUB TO UNDERSIDE OF EXISTING CEILING, TYPICAL AROUND BATHTUB. FURNISH AND INSTALL 1/2" FIRE RESISTANT BACKER BOARD FROM FLOOR TO CEILING AT WALLS WHERE TUBS ARE AGAINST FIRE RESISTANT RATED COORIDOR OR TENANT SPERATION WALLS. FURNISH AND INSTALL BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS AROUND TUB TO COMPLY WITH ANSI A117.1 2009. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTOR.
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224000.01	GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT. FURNISH AND INSTALL VANITY BASE CABINET WITH MARBLE COUNTERTOP AND INTEGRAL SINK. REFER TO PLUMBING DRAWINGS FOR FAUCET SETS AND SCOPE OF WORK. COORDINATE WITH PLUMBING PRIME CONTRACTOR. TYPICAL OF ALL STANDARD BATHROOMS. REFER TO G-110 FOR BATHROOM UNIT TYPES.

## WINDOW SCHEDULE

MARK	NOMINAL SIZE		WINDOW		GLAZING	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL		
C	3' - 0" +/-	3' - 0" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
L	3' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.
M	2' - 8" +/-	3' - 6" +/-	SINGLE HUNG	FIBERGLASS	CLR TEMP	V.I.F. R.O.

- NOTES:  
1. ALL WINDOW OPENING SIZES TO BE VERIFIED IN FIELD.  
2. REFER TO SHEET A-601 FOR HEAD, JAMB, AND SILL DETAILS



C, L, M SINGLE HUNG

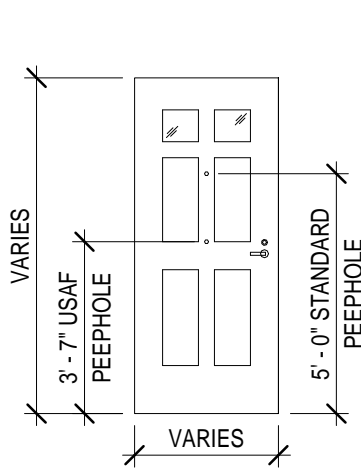
Window Types  
1/4" = 1'-0"

## DOOR SCHEDULE

TYPE	DOOR			NOMINAL DOOR SIZE			FRAME		HOW SET	COMMENTS
	MAT'L	LABEL		WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L		
1	HM			3' - 0"	6' - 8"	0' - 2"	EX	EX	3	2 GLASS WINDOWS AT TOP, INSULATED
2	HM			2' - 8"	6' - 8"	0' - 2"	EX	EX	4	NO GLASS AT TOP, NOT INSULATED
4	AL			4' - 11"	7' - 0"	0' - 2"	EX	EX	6	
8	WD			2' - 6"	6' - 8"	0' - 2"	EX	EX	1	
9	WD			1' - 6"	6' - 8"	0' - 2"	EX	EX	2	
9A	WD			2' - 2"	6' - 8"	0' - 2"	EX	EX	2	
9B	WD			2' - 4"	6' - 8"	0' - 2"	EX	EX	2	
12	WD	-		4' - 0"	6' - 8"	0' - 1 1/2"	EX	EX	2	

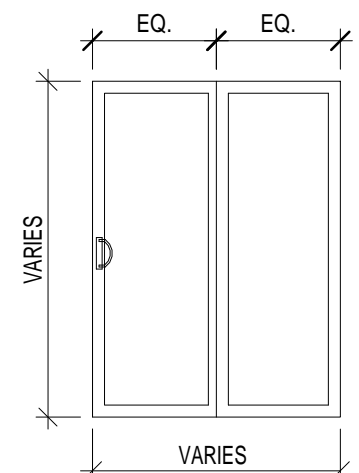
EX: EXISTING TO REMAIN; HM: HOLLOW METAL; WD: WOOD

- NOTES:  
1. ALL DOORS AND FRAMES INDICATED TO BE RATED SHALL BEAR UL LABELS WITH APPROPRIATE FIRE RATING INDICATED. DO NOT PAINT EXISTING UL LABELS. DO NOT PAINT EXISTING LABELS.  
2. ALL DOORS INDICATED TO BE RATED SHALL BE PROVIDED WITH RATED DOOR HARDWARE BEARING UL LABELS WITH FIRE RATINGS EQUIVALENT TO THE REQUIRED DOOR RATING.  
3. FIRE RETARDANT TREATED PLYWOOD AND LUMBER IS TO BE PROVIDED AT ALL LOCATIONS AND IS REQUIRED BY CODE.  
4. PAINT BOTH SIDES OF NEW HM DOORS AND FRAMES.  
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS OF EXISTING OPENINGS TO RECEIVE NEW DOORS AND FRAMES.

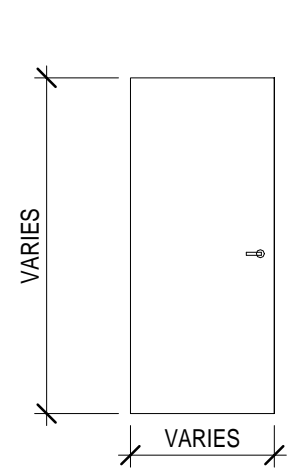


1-3 HOLLOW METAL  
DOOR w/ GLAZING

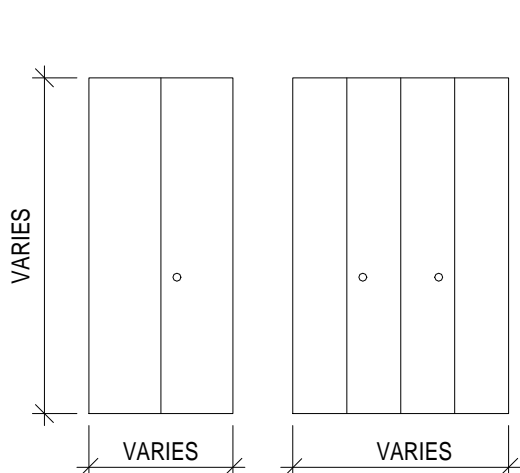
Door Types  
1/4" = 1'-0"



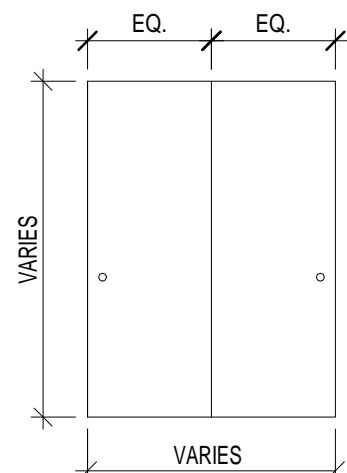
4 SLIDING  
GLASS DOOR



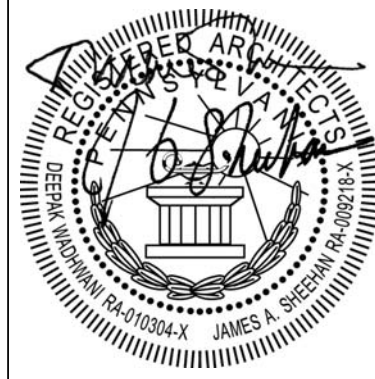
7-9 SOLID CORE  
WOOD DOOR



10-12 WOOD BIFOLD  
DOOR



13-17 WOOD  
SLIDING DOOR



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Design  
Technology  
Sustainability

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

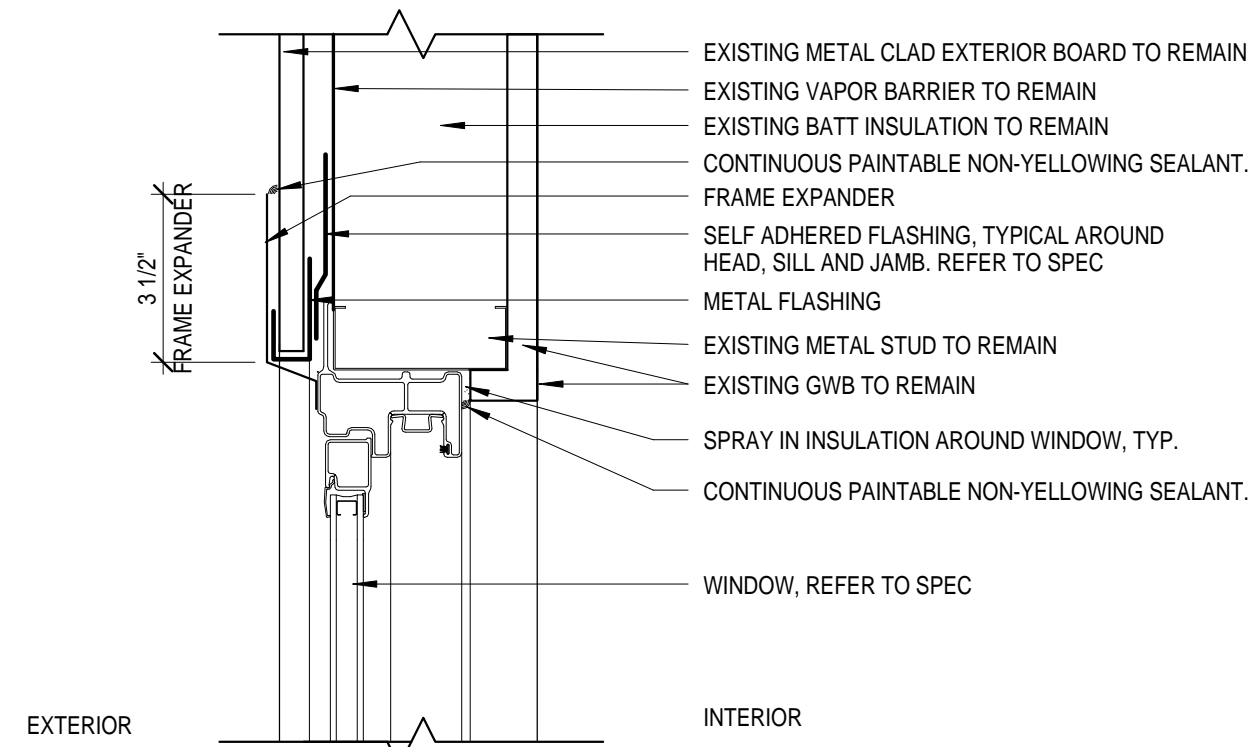
1 | 9.11.17 | REV 1/ADDENDA 2

Family Community  
- Type M Enlarged  
Plans and  
Elevations,  
Schedules, Types  
and Details

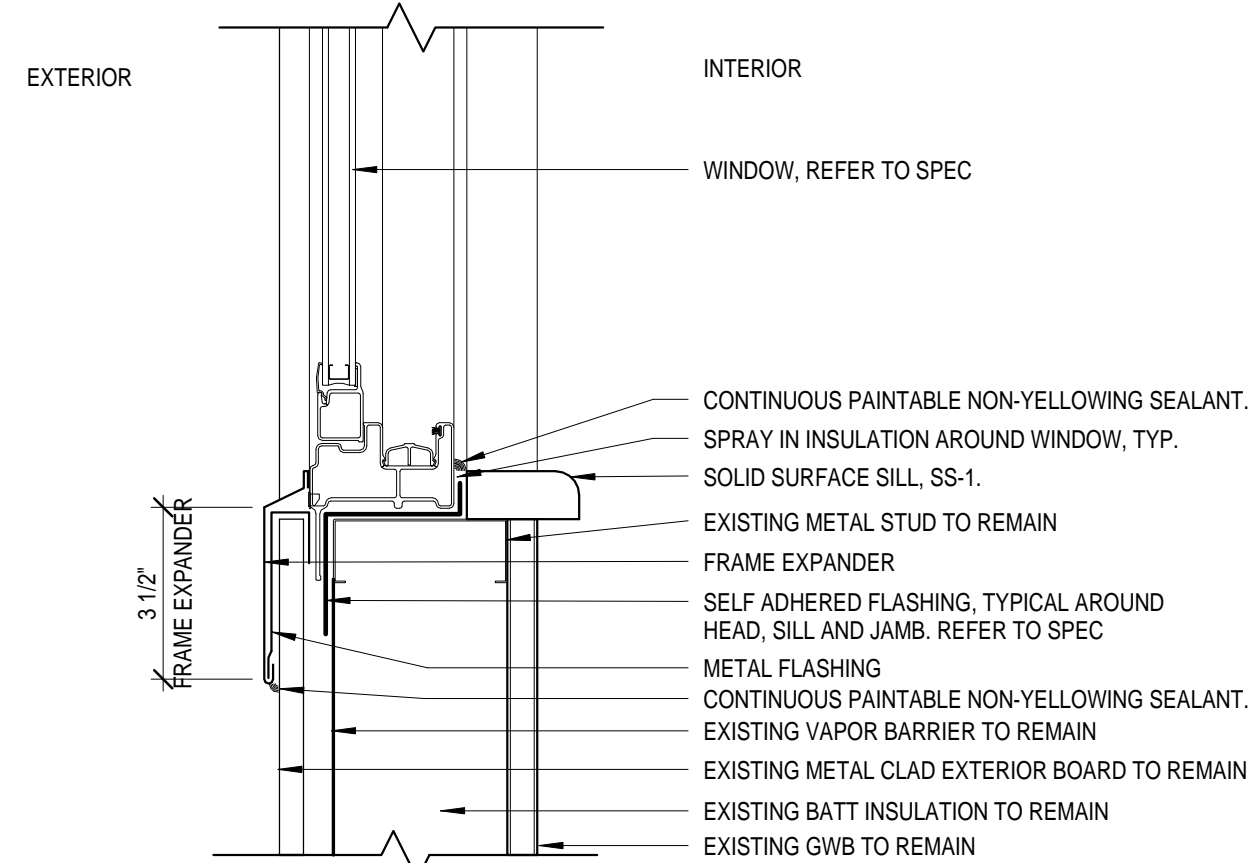
R3A PROJECT # 15074B

A-422





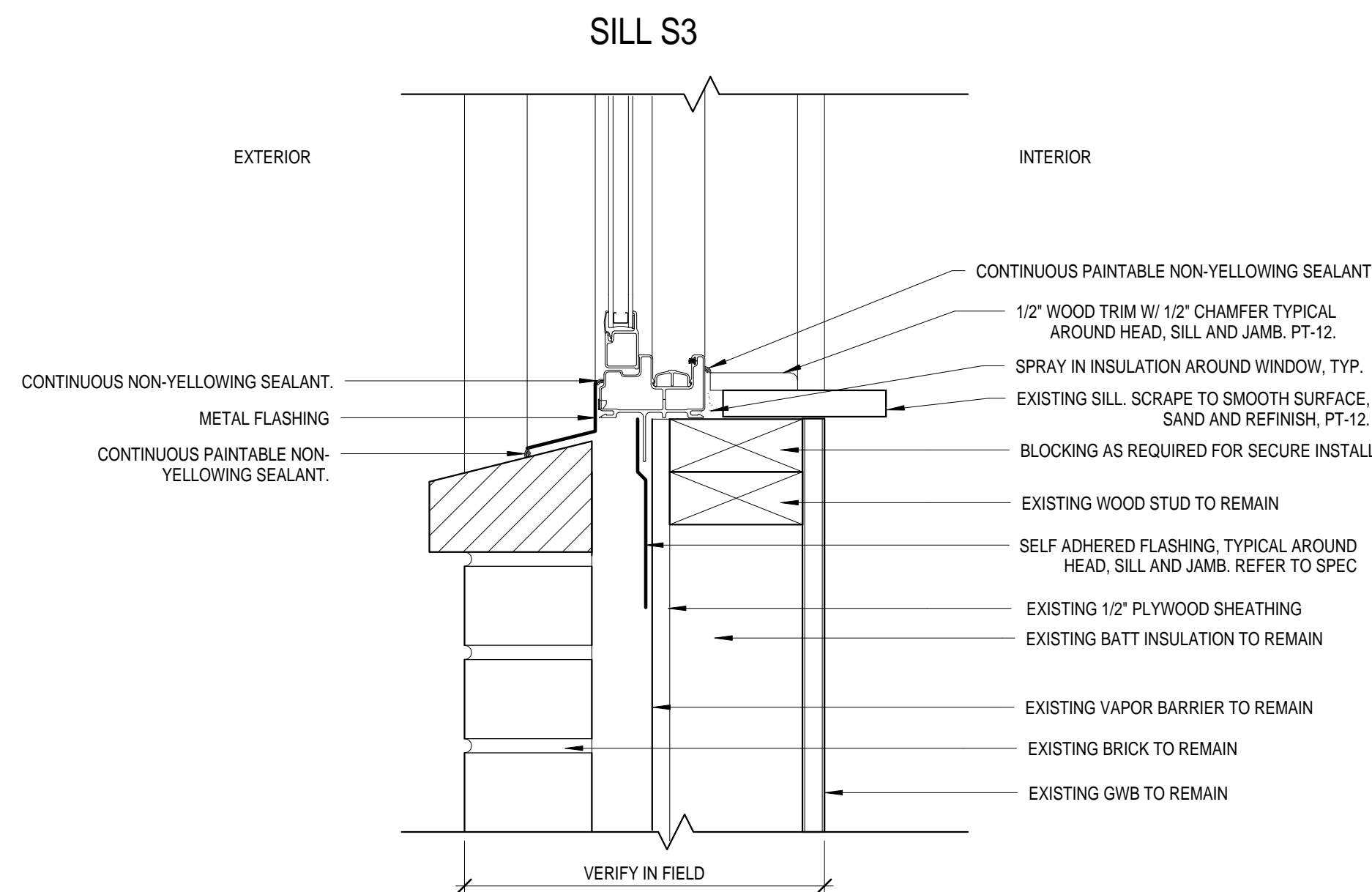
HEAD H1



SILL S1

1 High Rise Window Detail  
3' = 1'-0"

2 Not Used

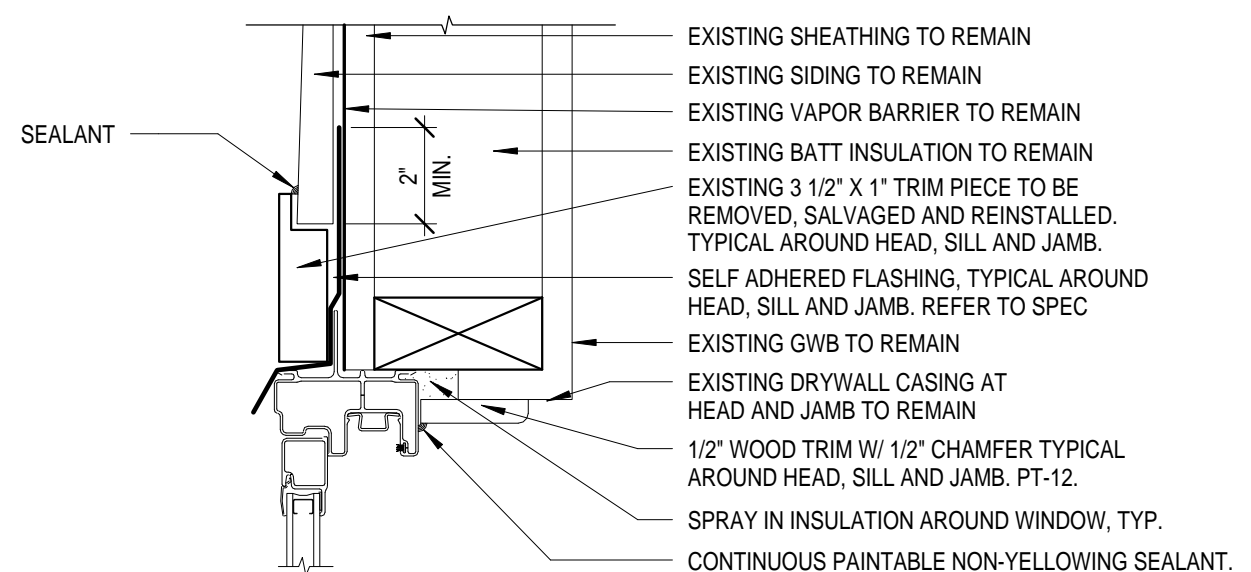


SILL S3

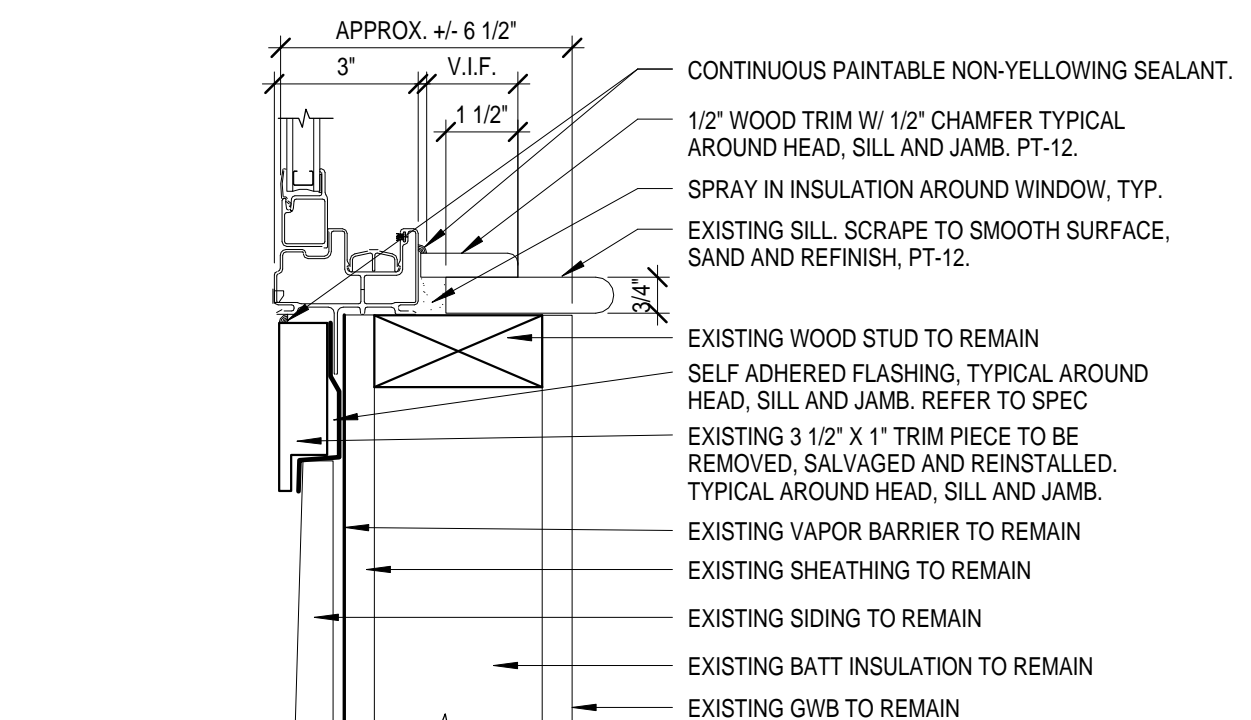
3 Low Rise Window Detail @ Masonry  
3' = 1'-0"

NOTE: HEAD SIMILAR TO LOW RISE DETAIL 5/A-601

4 Not Used

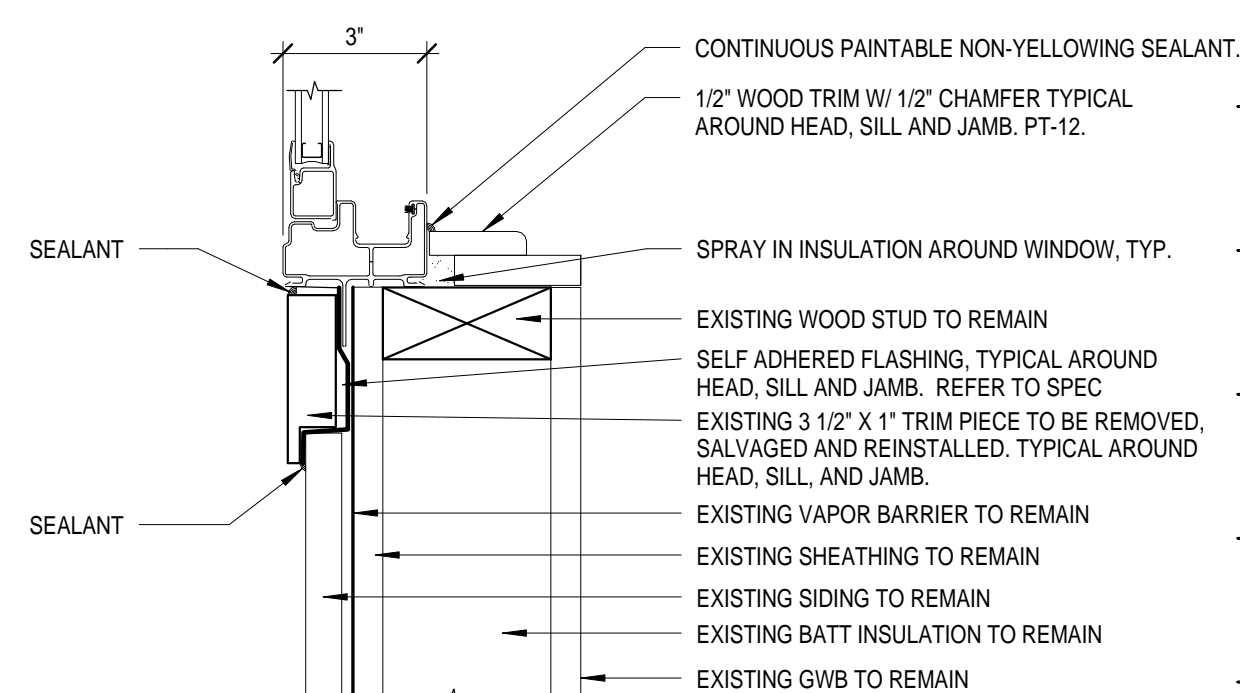


HEAD H2



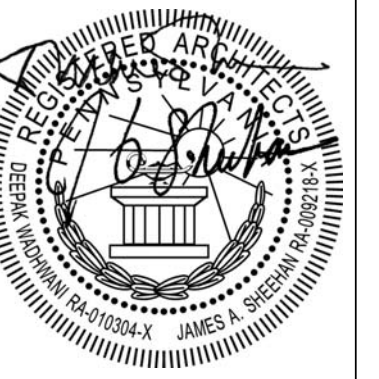
SILL S2

5 LOW RISE WINDOW DETAILS AT EXISTING SIDING  
3' = 1'-0"



JAMB J2

6 JAMB  
3' = 1'-0"



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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

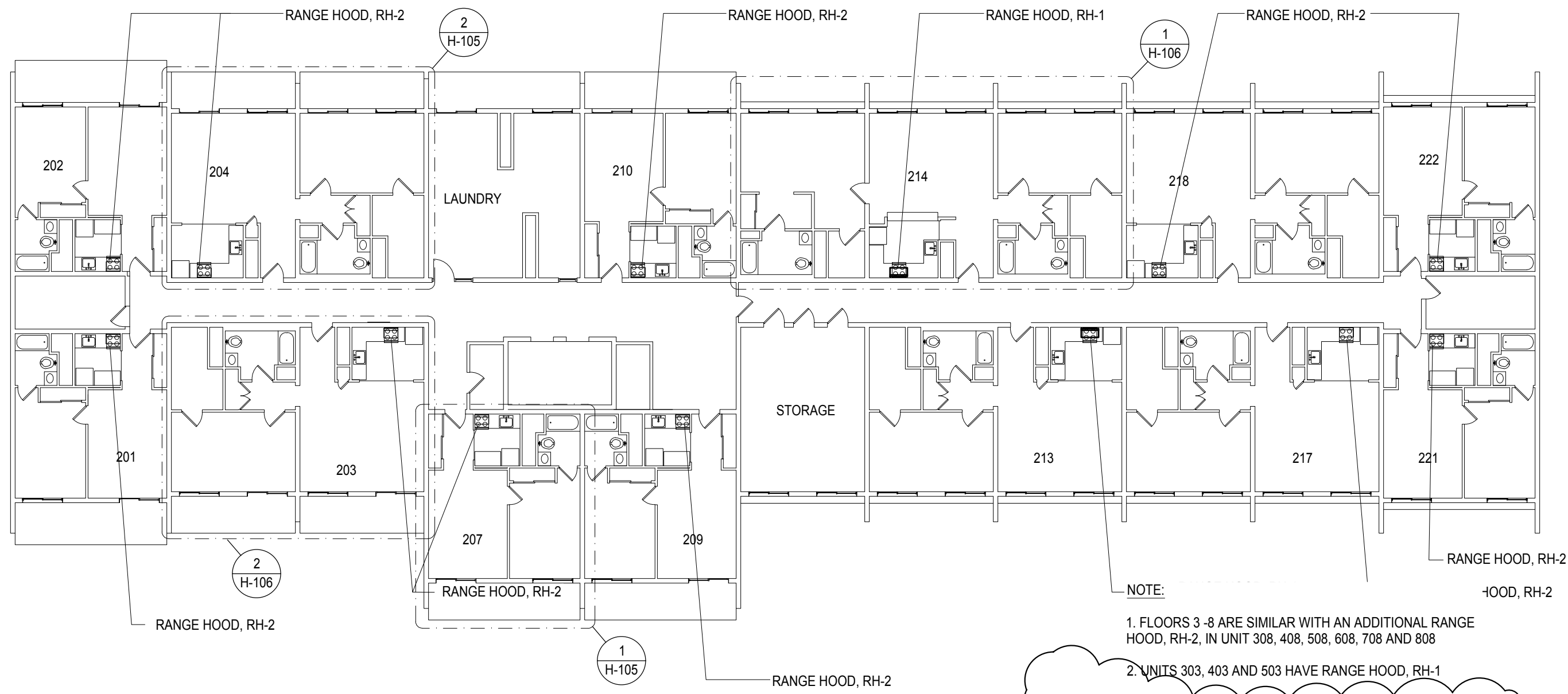
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Exterior Window  
Details

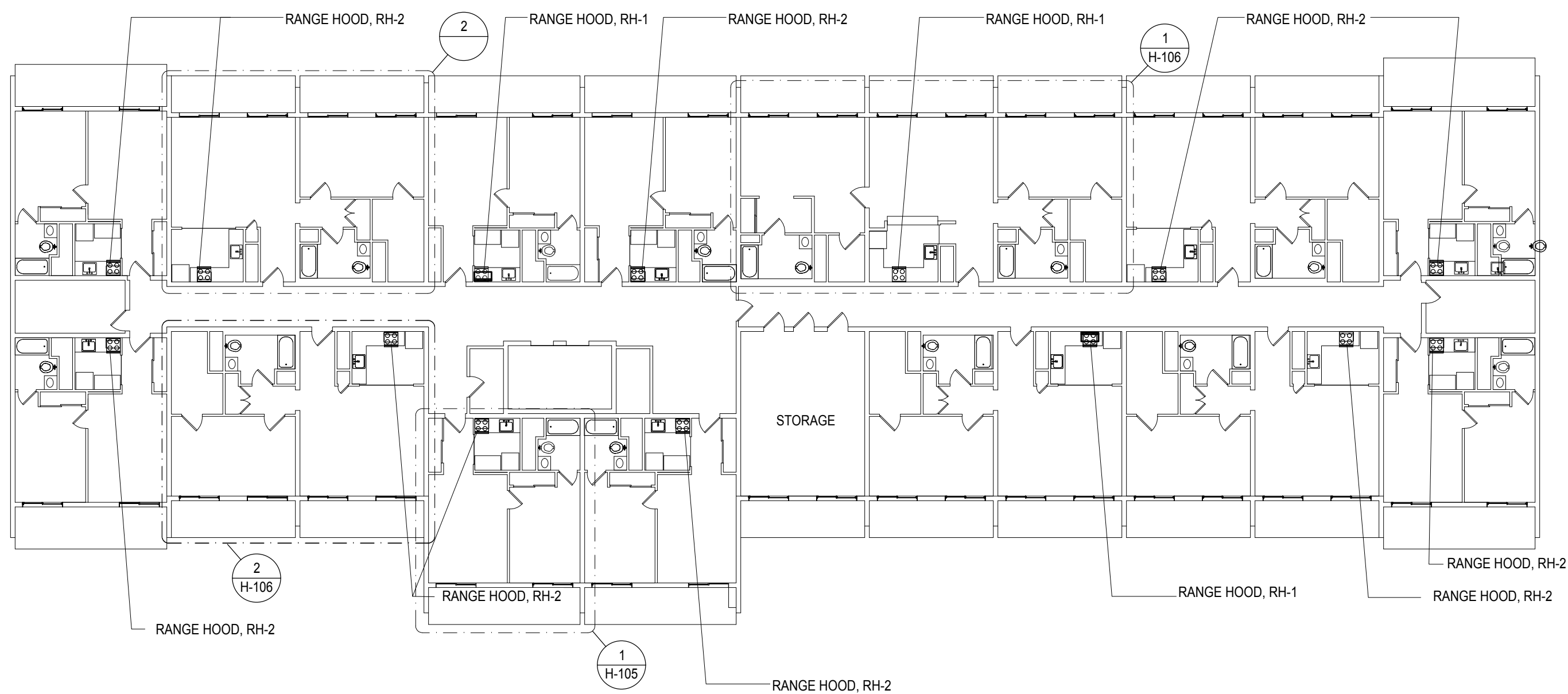
1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

A-601

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Second Floor Mechanical Plan  
1/16" = 1'-0"



2 3rd - 8th Floor Mechanical Plan  
1/16" = 1'-0"

#### REFERENCE NOTES

RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

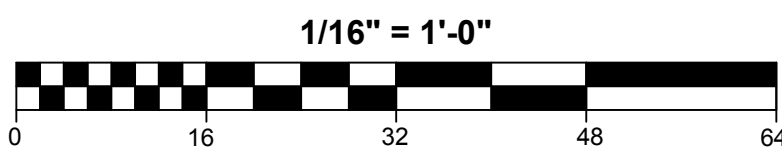
#### MECHANICAL NOTE

- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS
- SEE DWG H-105 AND H-106 FOR ADDITIONAL INFORMATION IN THIS BUILDING.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.

#### RANGE HOOD SCHEDULE

TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE, SEE NOTE BELOW
RH-2	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP124	24 INCH WIDE

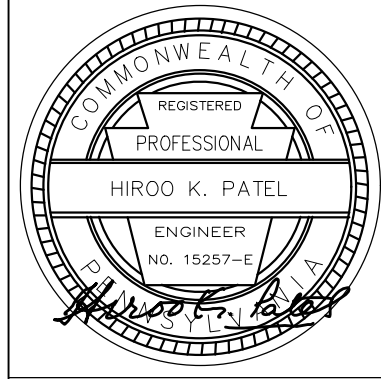
- NOTE:
- PROVIDE REMOTE SWITCH FOR RANGE HOOD IN UFAS UNITS AT 7'-0" ABOVE FINISHED FLOOR IN HIGH RISE UFAS UNITS.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.



#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTORS DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IRC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
CORPORATION, INCORPORATED  
CARLETON, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

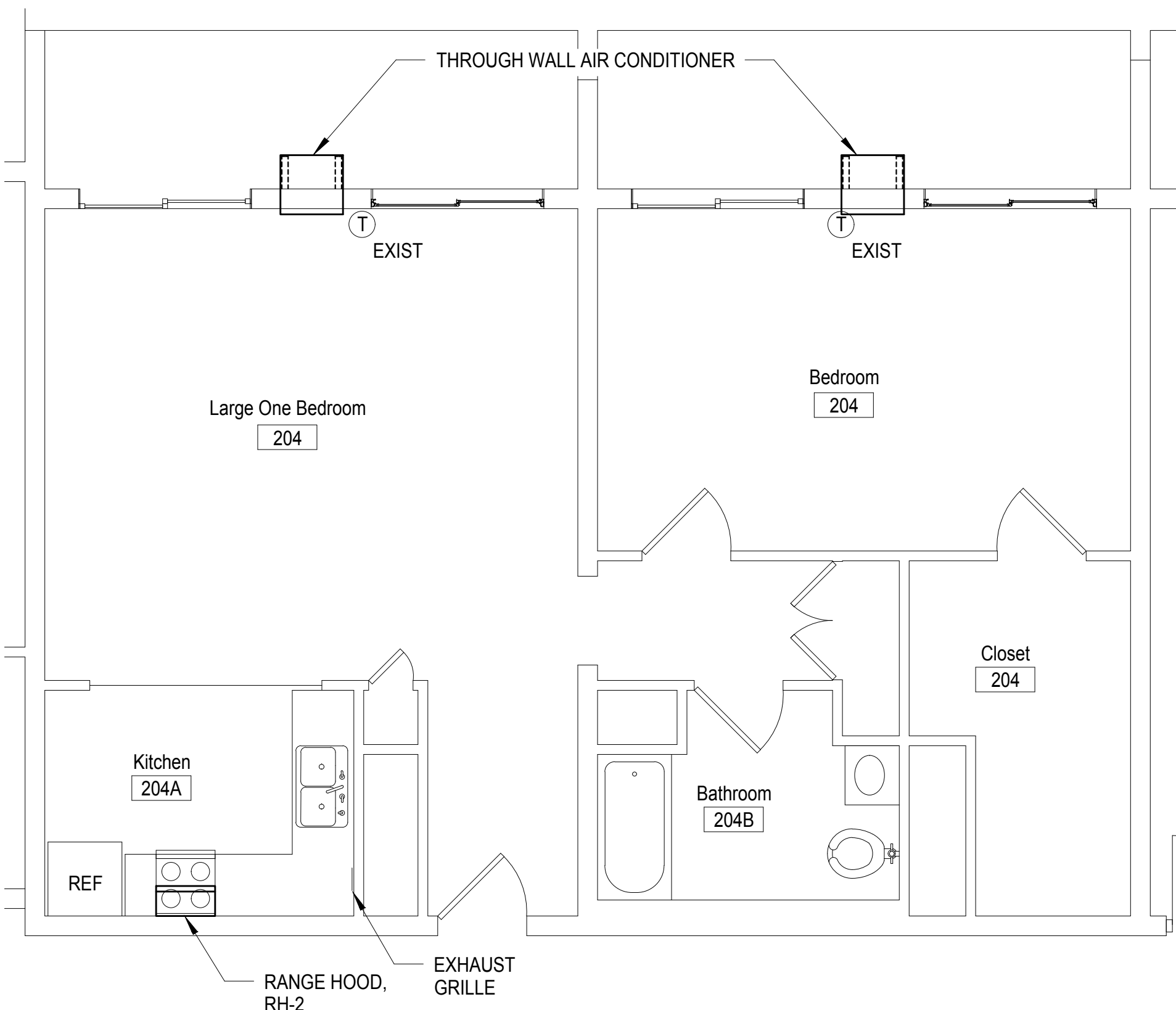
Bernice Crawley  
High Rise -  
Second Floor  
Mechanical Plan

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

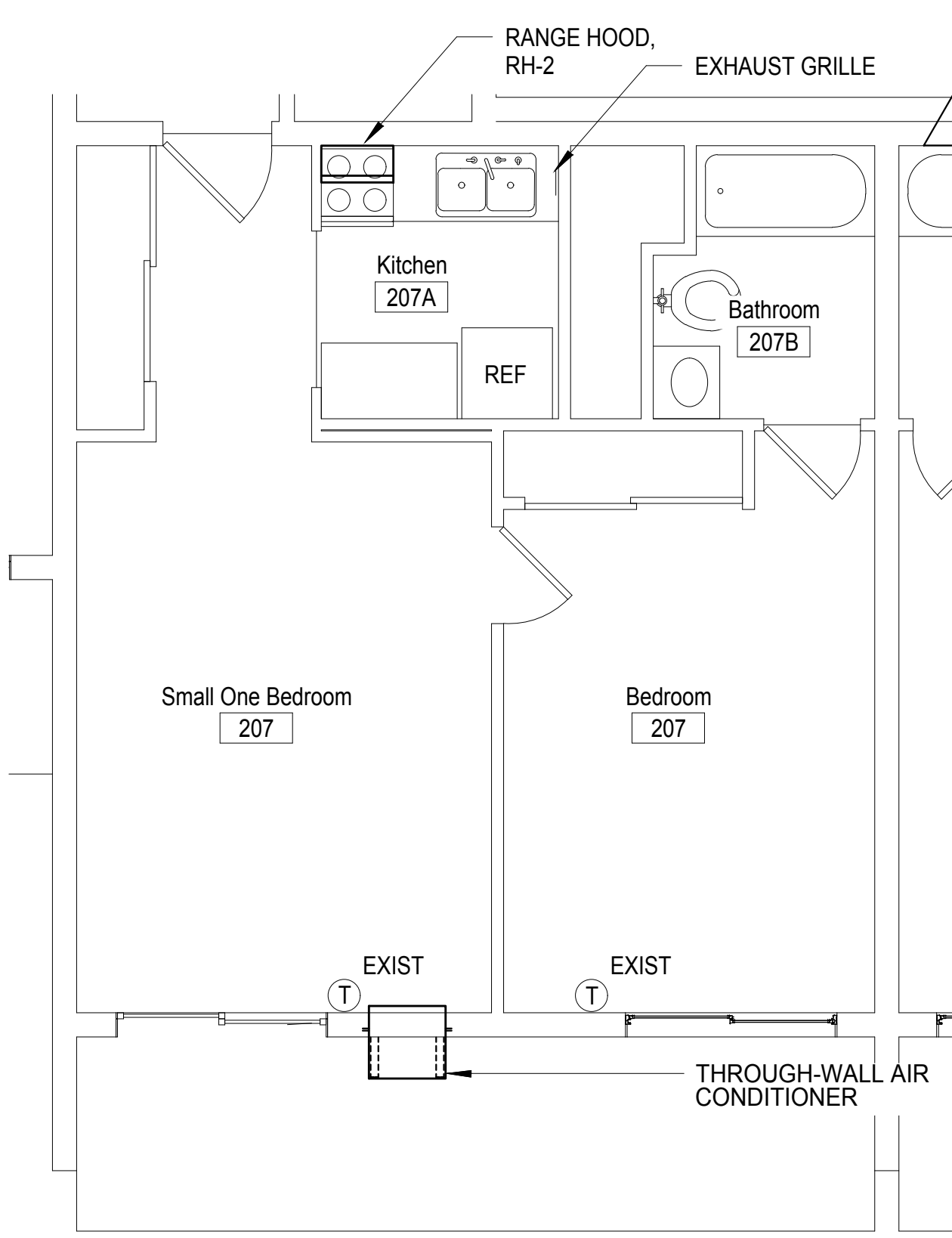
H-102



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Typical Small One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"



2 Typical Large One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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REFERENCE NOTES

THROUGH WALL AIR CONDITIONER	REMOVE EXISTING THROUGH-WALL AIR CONDITIONER, INFILL PANEL AND A/C SUPPORT BRACKET AND REPLACE WITH NEW. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION WORK.)
RANGE HOOD	REMOVE EXISTING RANGE HOOD OR EXHAUST FAN AND REPLACE WITH NEW RANGE HOOD. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
EXHAUST GRILLE	REMOVE EXISTING EXHAUST GRILLE AND REPLACE WITH NEW EXHAUST GRILLE, WHITE POWDER COAT, TITUS 350FL OR APPROVED EQUAL.

GENERAL NOTES

- THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.
- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. HAS PREVIOUSLY PAINTED.

MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT WALL MOUNTED AIR CONDITIONER.
- MECHANICAL CONTRACTOR TO DEMOLISH AND REMOVE EXISTING AIR CONDITIONER, WINDOW IN-FILL PANEL AND UNIT SUPPORT BRACKET.
- MECHANICAL CONTRACTOR TO INSTALL NEW WINDOW AIR CONDITION, IN-FILL PANEL AND UNIT SUPPORT BRACKET. REPLACE INTERIOR/EXTERIOR TRIM TO MATCH EXISTING.
- MECHANICAL CONTRACTOR TO PLUG AIR CONDITIONER INTO OUTLET AND ELECTRICAL CONTRACTOR TO RE-ENERGIZE CIRCUIT.
- PROPERLY INSTALL AIR CONDITIONER TO DRAIN PAN TO OUTSIDE OF BUILDING. SEE DWG H-108

THROUGH WALL AIR COOLED CONDENSING UNIT SCHEDULE

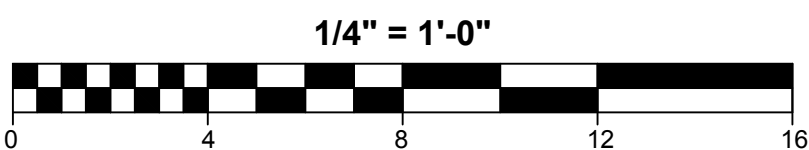
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	EER	dB RATING (INDOOR)	AMBIENT AIR	WEIGHT LBS	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
											MANUF	MODEL	
AC-1	THROUGH WALL AC	LIVING RM	8	10.6	53 dBA	95 deg F	66	115/1/60	15	25	LG Electronics	LT0816CER	FOR ONE BEDROOM UNIT W/ REMOTE CONTROL COOLS 340 SQ.FT. SEE NOTE ONE
AC-2	THROUGH WALL AC	LIVING RM	10	9.7	---	95 deg F	78	208/230/1/60	15	25	GE	AJ/CQ10DCG	FOR TWO BEDROOM UNIT W/ REMOTE CONTROL COOLS 450 SQ.FT. SEE NOTE ONE
AC-3	THROUGH WALL AC	LIVING RM	12	10.5	55 dBA	95 deg F	80	208/230/1/60	15	25	LG Electronics	LT1236CER	FOR THREE BEDROOM UNIT W/ REMOTE CONTROL COOLS 530 SQ.FT. SEE NOTE ONE

- NOTES:
- HC SHALL PROVIDE/INSTALL WALL SLEEVE & SUPPORT BRACKET. ENERGY STAR UNIT.
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

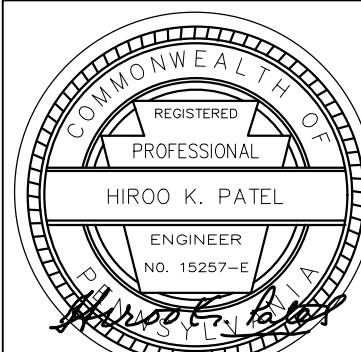
RANGE HOOD SCHEDULE

TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	200	115/1/60	15	25	BROAN	QP-130	30 INCH WIDE
RH-2	RANGE HOOD	KITCHEN	300	115/1/60	15	25	BRONE	QP-124	24 INCH WIDE

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.



NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

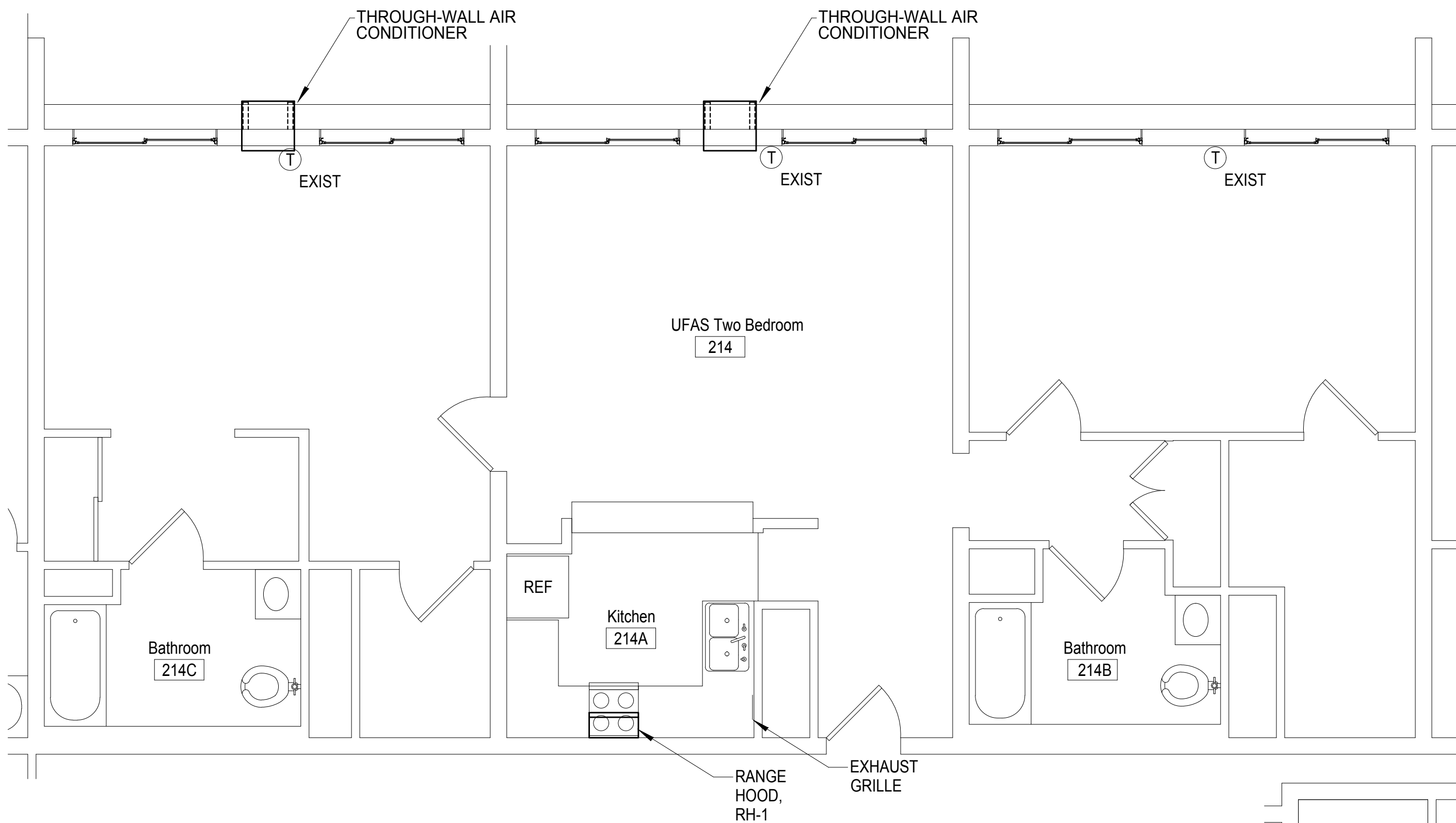
ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Bernice Crawley  
High Rise - Small &  
Large One  
Bedroom Enlarged  
Mechanical Plan

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-105



1 Typical Small One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"

THROUGH WALL AIR COOLED CONDENSING UNIT SCHEDULE													
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	EER	dB RATING (INDOOR)	AMBIENT AIR	WEIGHT LBS	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
AC-1	THROUGH WALL AC	LIVING RM	8	10.6	53 dBA	95 deg F	66	115/1/60	15	25	LG Electronics	LT0818CER	FOR ONE BEDROOM UNIT W/ REMOTE CONTROL COOLS 340 SQ. FT. SEE NOTE ONE
AC-2	THROUGH WALL AC	LIVING RM	10	9.7	---	95 deg F	78	208/230/1/60	15	25	GE	AJCO10DCG	FOR TWO BEDROOM UNIT W/ REMOTE CONTROL COOLS 460 SQ. FT. SEE NOTE ONE
AC-3	THROUGH WALL AC	LIVING RM	12	10.5	55 dBA	95 deg F	80	208/230/1/60	15	25	LG Electronics	LT1236CER	FOR THREE BEDROOM UNIT W/ REMOTE CONTROL COOLS 530 SQ. FT. SEE NOTE ONE

NOTES:  
1. HC SHALL PROVIDE/INSTALL WALL SLEEVE & SUPPORT BRACKET. ENERGY STAR UNIT.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL NOTES

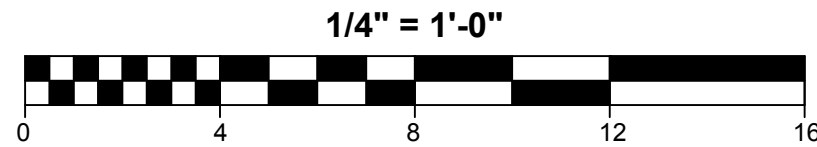
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- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF THE G.C. HAS PREVIOUSLY PAINTED.

#### REFERENCE NOTES

THROUGH WALL AIR CONDITIONER	REMOVE EXISTING THROUGH-WALL AIR CONDITIONER, INFILL PANEL AND A/C SUPPORT BRACKET AND REPLACE WITH NEW. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
RANGE HOOD	REMOVE EXISTING RANGE HOOD OR EXHAUST FAN AND REPLACE WITH NEW RANGE HOOD. (DE-ENERGIZE CIRCUIT PRIOR TO DEMOLITION)
EXHAUST GRILLE	REMOVE EXISTING EXHAUST GRILLE AND REPLACE WITH NEW EXHAUST GRILLE. POWDER WHITE COAT, TITUS 360FL OR APPROVED EQUAL.

#### MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT WALL MOUNTED AIR CONDITIONER.
- MECHANICAL CONTRACTOR TO DEMOLISH AND REMOVE EXISTING AIR CONDITIONER, WINDOW INFILL PANEL AND UNIT SUPPORT BRACKET.
- MECHANICAL CONTRACTOR TO INSTALL NEW WINDOW AIR CONDITION, INFILL PANEL AND UNIT SUPPORT BRACKET. REPLACE INTERIOR/EXTERIOR TRIM TO MATCH EXISTING.
- MECHANICAL CONTRACTOR TO PLUG AIR CONDITIONER INTO OUTLET AND ELECTRICAL CONTRACTOR TO RE-ENERGIZE CIRCUIT.
- PROPERLY INSTALL AIR CONDITIONER TO DRAIN PAN TO OUTSIDE OF BUILDING. SEE DWG. H-201



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

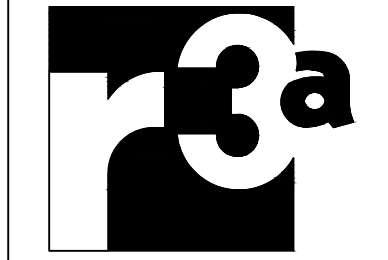
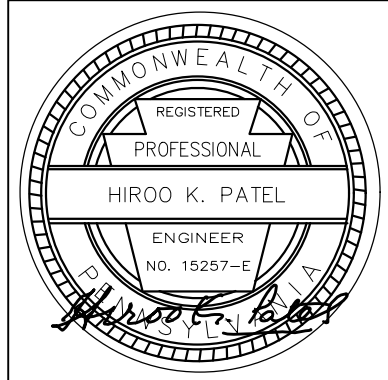
- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES AND PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL EQUIPMENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
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- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROTECT ALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
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- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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2 Typical Large One Bedroom Enlarged Mechanical Plan  
1/4" = 1'-0"

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
RH-1	RANGE HOOD	KITCHEN	200	115/1/60	15	25	BROAN	QP-130	30 INCH WIDE

NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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48 South 14th Street  
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Fax: 412-431-2670  
www.r3a.com

Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

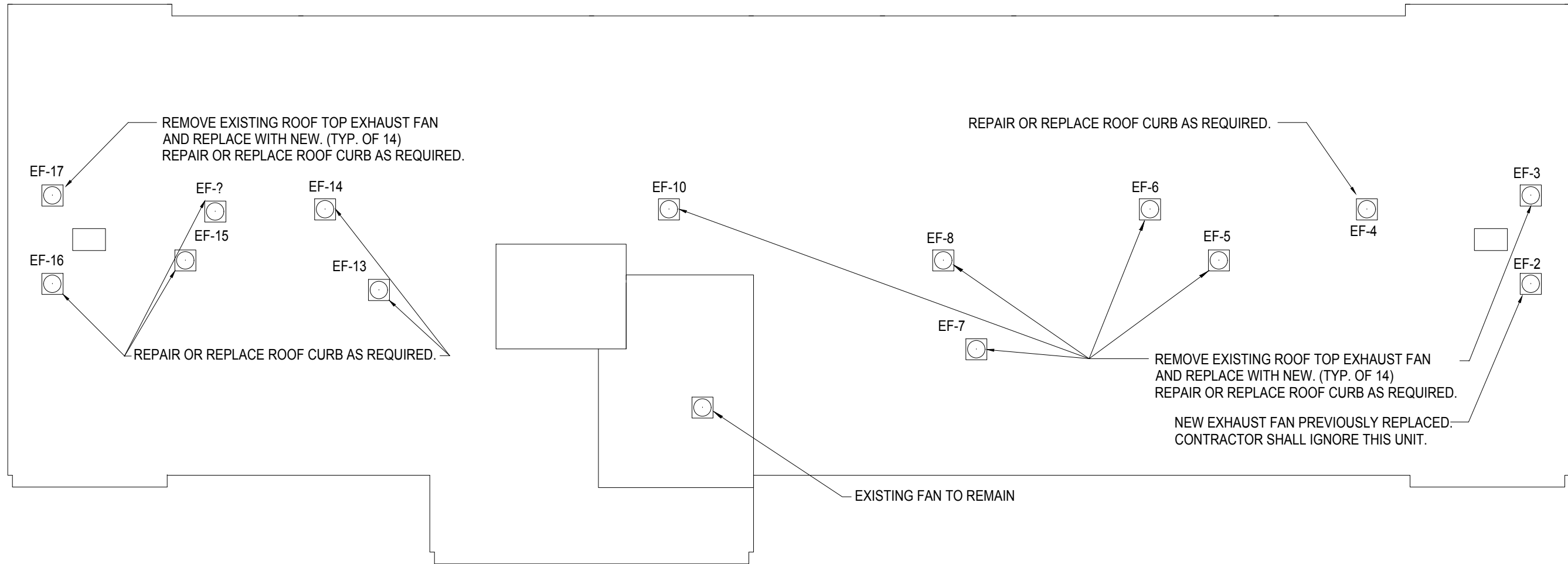
Bernice Crawley  
High Rise - UFAS  
One & Two  
Bedroom Enlarged  
Mechanical Plans

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-106



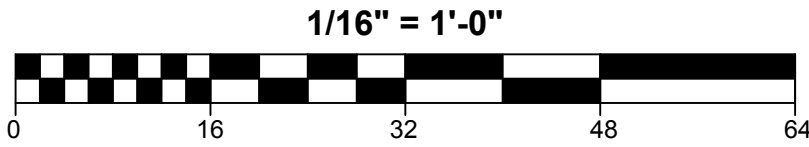
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Roof Top Mechanical Plan  
1/16" = 1'-0"

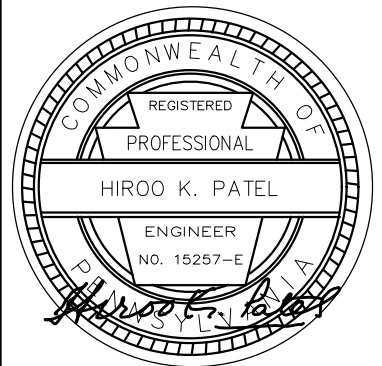
EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	CFM	SP	RPM	Hp	VOLTAGE	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-2	BATH EXHAUST	700	0.5	---	1/3	115/1/60	GREENHECK	GB-091	PREVIOUSLY REPLACED
EF-3	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-4	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-5	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-6	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-7	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-8	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-9	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-10	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-11	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-12	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-13	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-14	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-15	BATH EXHAUST	350	0.5	1210	1/3	115/1/60	GREENHECK	GB-081	FOR TOILET EXHAUST
EF-16	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST
EF-17	BATH EXHAUST	700	0.5	1335	1/3	115/1/60	GREENHECK	GB-091	FOR TOILET EXHAUST

NOTE:  
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GENERAL DEMOLITION AND CONSTRUCTION NOTES

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Fax: 412-431-2670  
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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
CORPORATION  
COLUMBIA, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Bernice  
Crawley High  
Rise - Roof top  
Plan

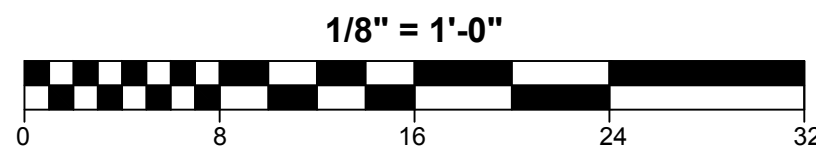
1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-107



1 Back Elevation  
1/8" = 1'-0"

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

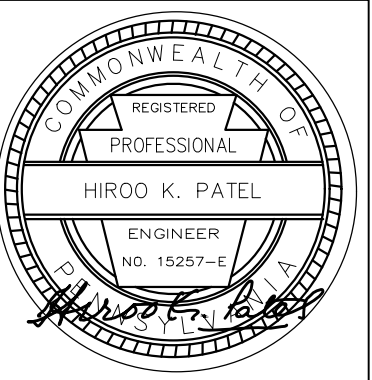


2 Front Elevation  
1/8" = 1'-0"

NOTE:  
PROVIDE AC UNIT DRAINS TO GRADE ON FRONT AND BACK OF BUILDING.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

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CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017  
Revision: REVISION Addendum 1  
1 | 9.11.17 | REV 1 | 9.11.17

Bernice  
Crawley High  
Rise  
Elevations

1 | 9.11.17 | REV 1 | ADDENDA 2  
R3A PROJECT # 15074B

H-108



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE EXISTING SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.

THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HAC'S REPRESENTATIVE.

FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HAC'S MOVING CONSULTANT. HAC'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HAC'S REPRESENTATIVE AND THE ARCHITECT.

CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HAC'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.

MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARUTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

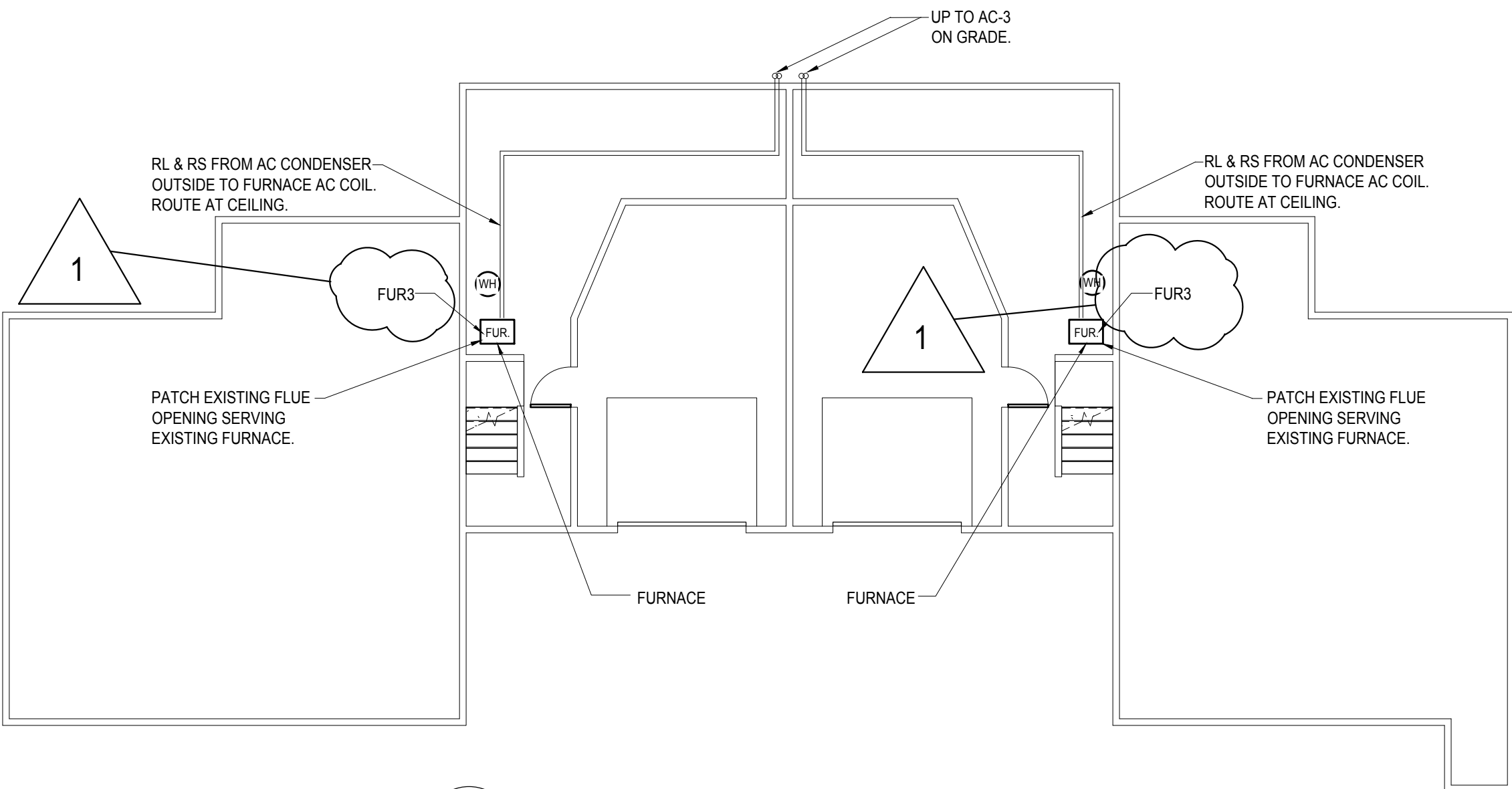
ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HAC'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

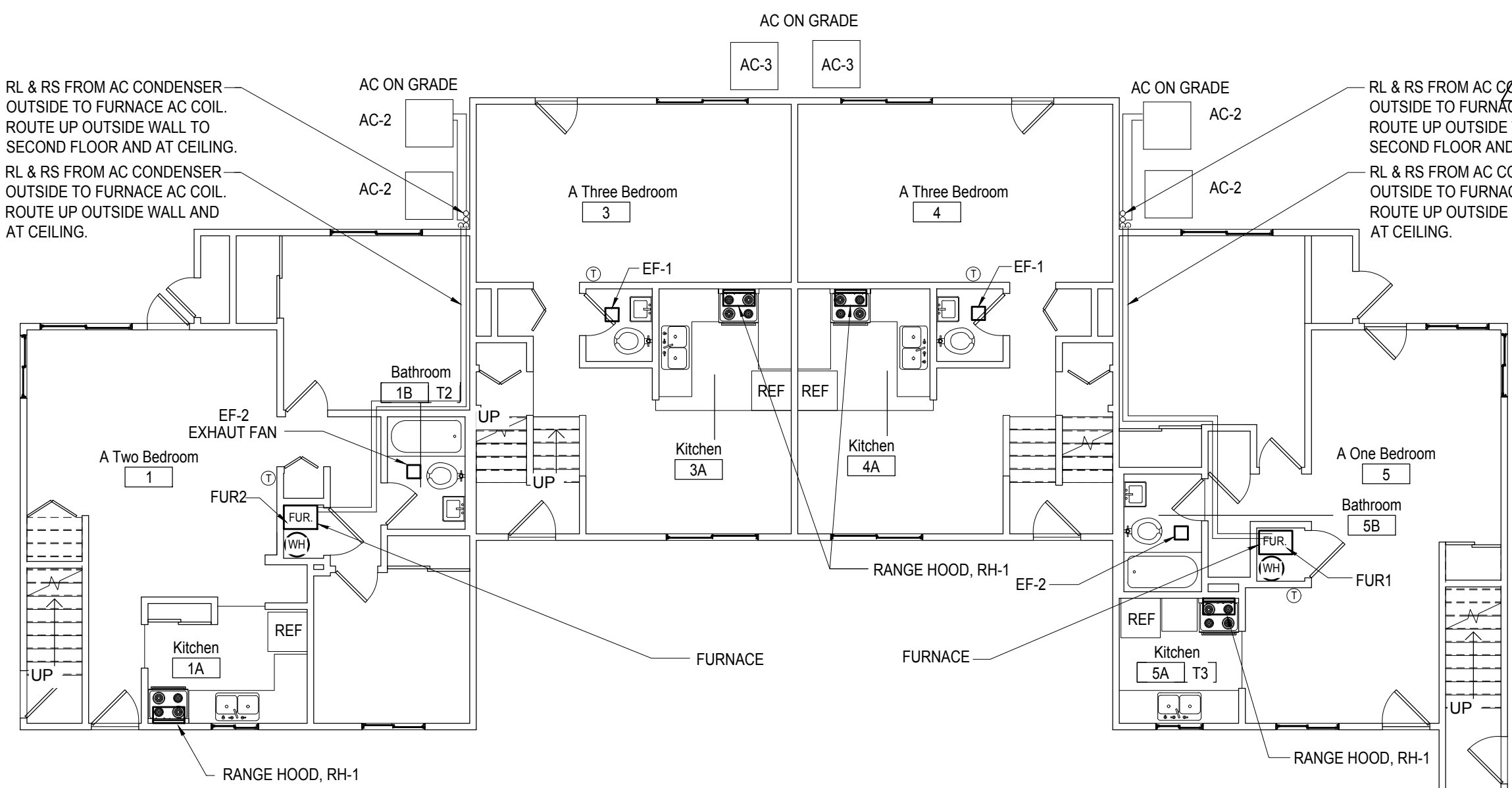
EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HAC'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

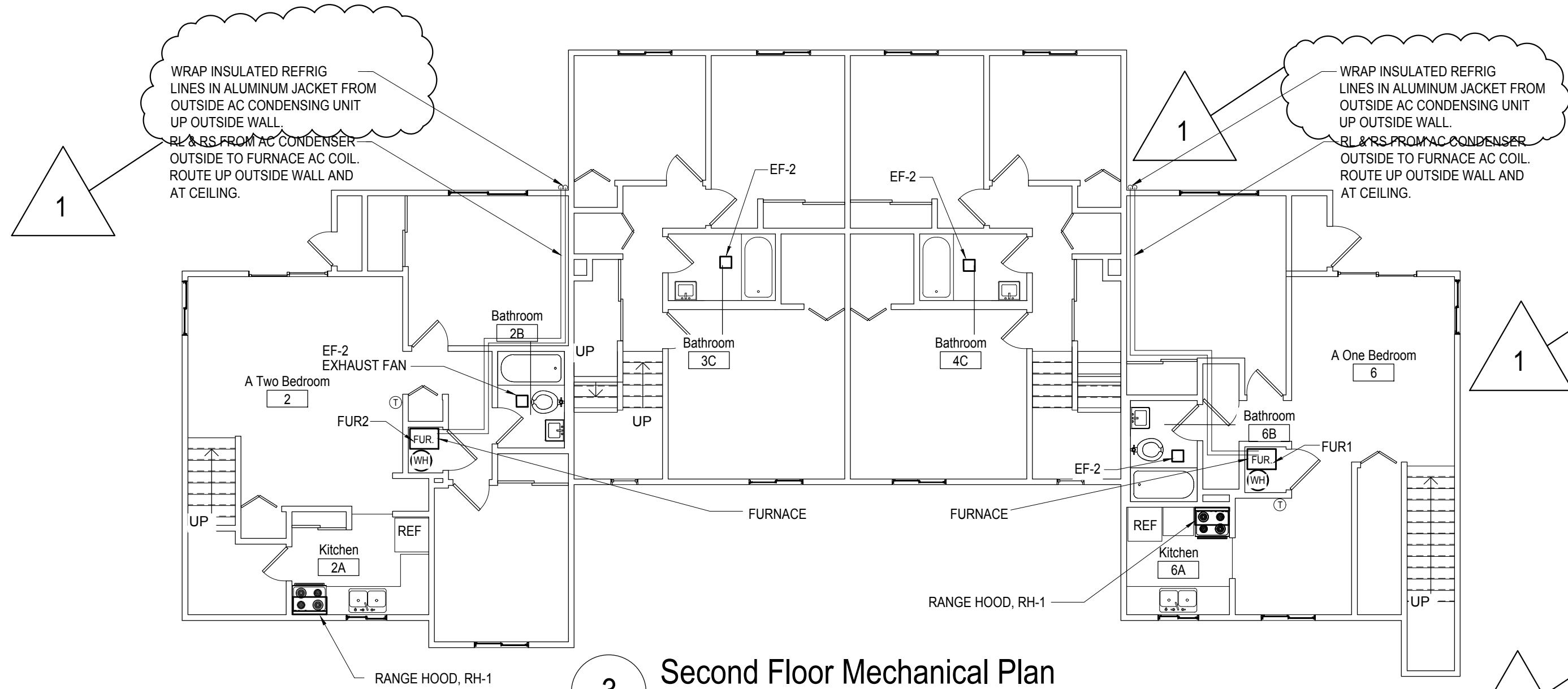
NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



Basement Floor Mechanical Plan  
1/8" = 1'-0"



First Floor Mechanical Plan  
1/8" = 1'-0"



Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES

FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOW RISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL, RH6450 OR EQUAL.
- PROVIDE DRAIN/IDE DHD BY MARKETAIR, EDISON, NJ, OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED, PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER, IF G.C. HAS PREVIOUSLY PAINTED WALL.

AIR COOLED CONDENSING UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160381F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC806048NB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. 1125 CFM
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC80805CNC	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC801005CNC	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

- NOTES:
- H.C. SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE

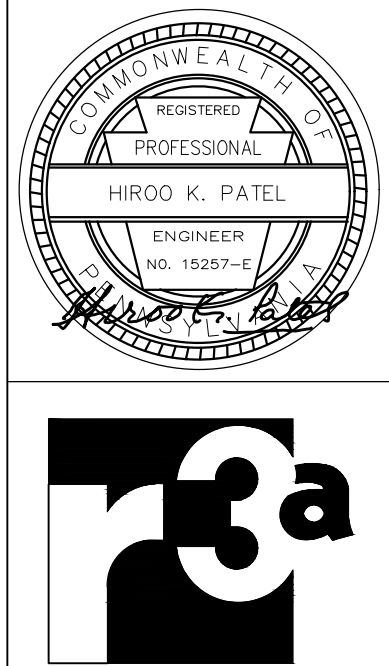
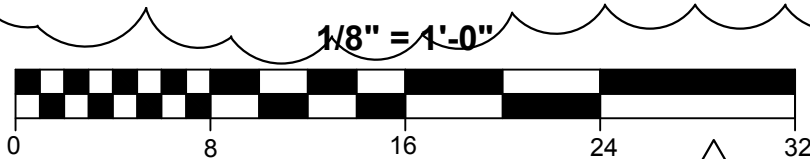
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

RANGE HOOD SCHEDULE

TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

- NOTES:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.



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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
CARNEGIE, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

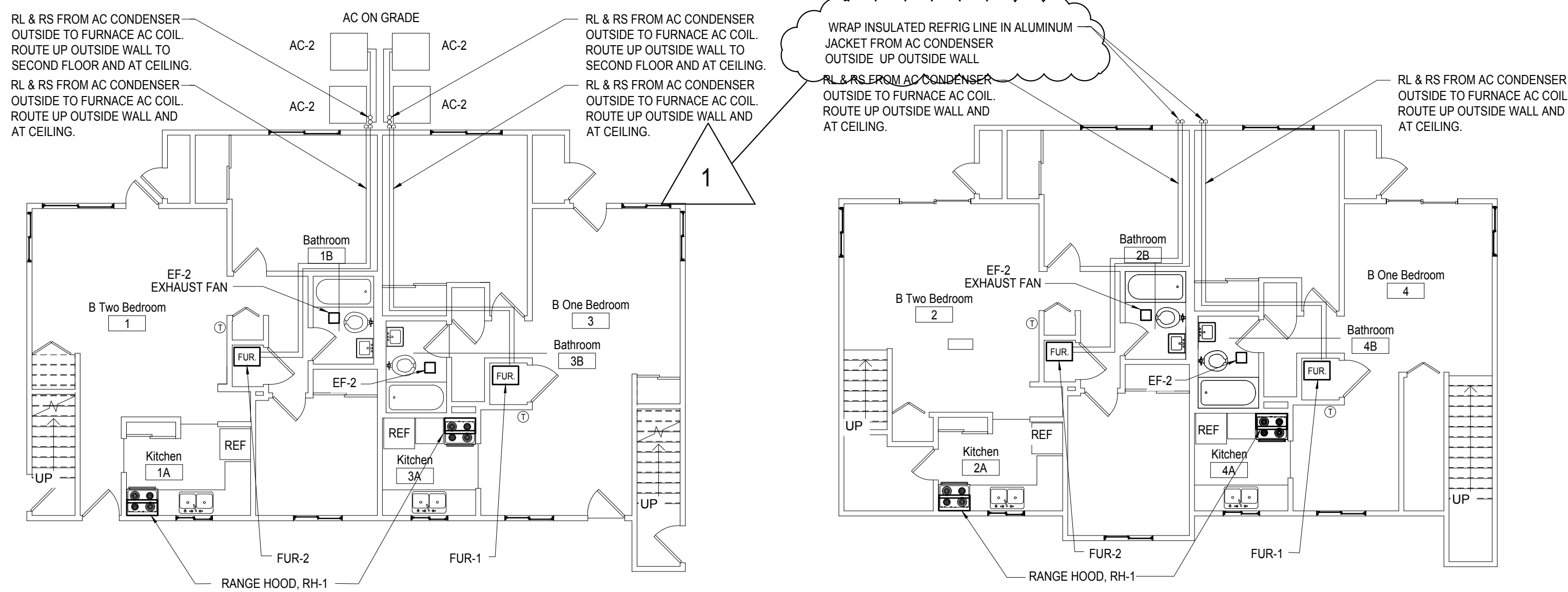
REVISIONS  
1 | 9.11.17 | REV 1 | ADDENDA 2

Family  
Community  
- Type A

1 | 9.11.17 | REV 1 | ADDENDA 2  
R3A PROJECT # 15074B

H-111

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Mechanical Plan  
1/8" = 1'-0"

2 Second Floor Mechanical Plan  
1/8" = 1'-0"

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL REPERT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
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- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOW AND GUARDRAILS), UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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REFERENCE NOTES

FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW, (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
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- PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.

AIR COOLED CONDENSING UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX180241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX180301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX180361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	½ Hp	115/160	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/160	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. 1350 cfm
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/160	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

- NOTES:
- HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE

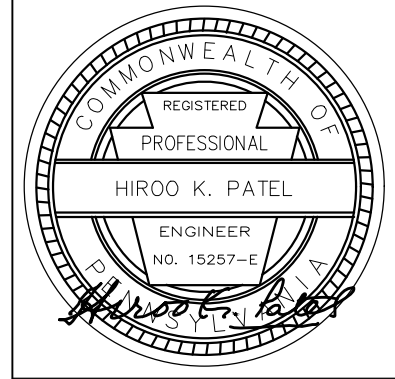
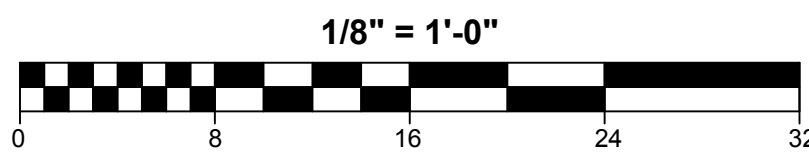
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/160	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/160	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/160	15	25	BRONE	XB110	FOR LARGE BATHROOM

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE

TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/160	15	25	BROAN	QP130	30 INCH WIDE

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct.  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1 | ADDENDA 2

Family  
Community  
- Type B

1 | 9.11.17 | REV 1 | ADDENDA 2  
R3A PROJECT # 15074B

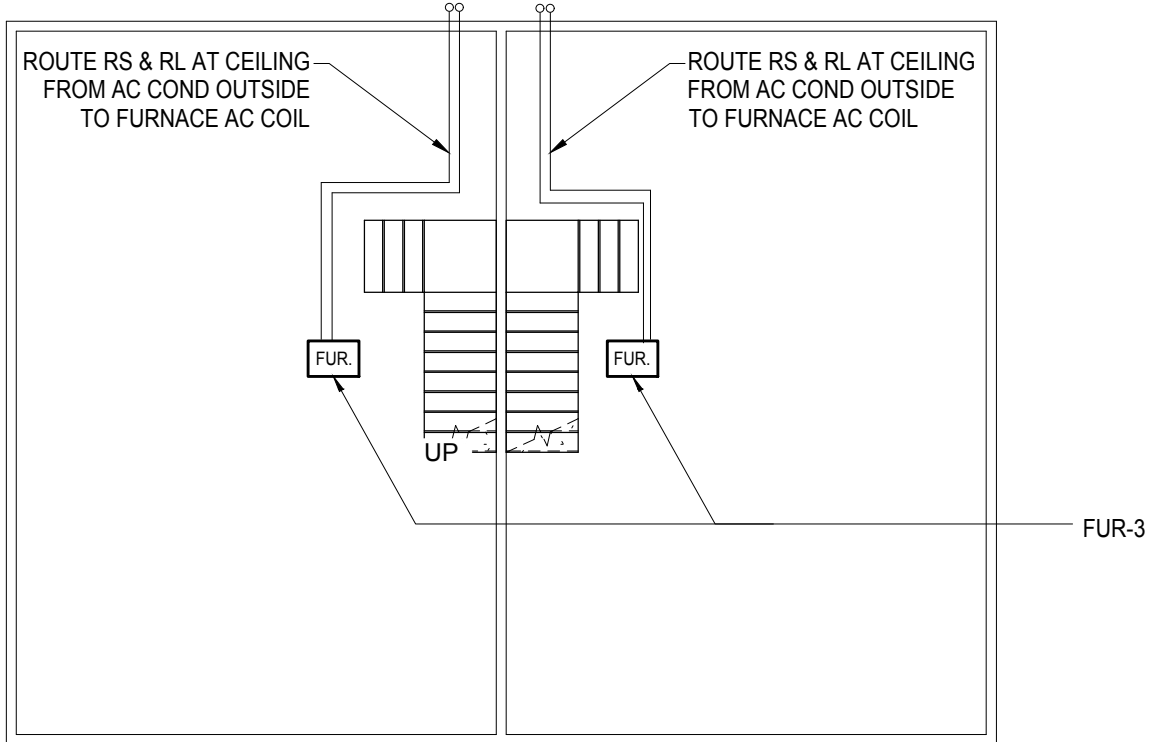
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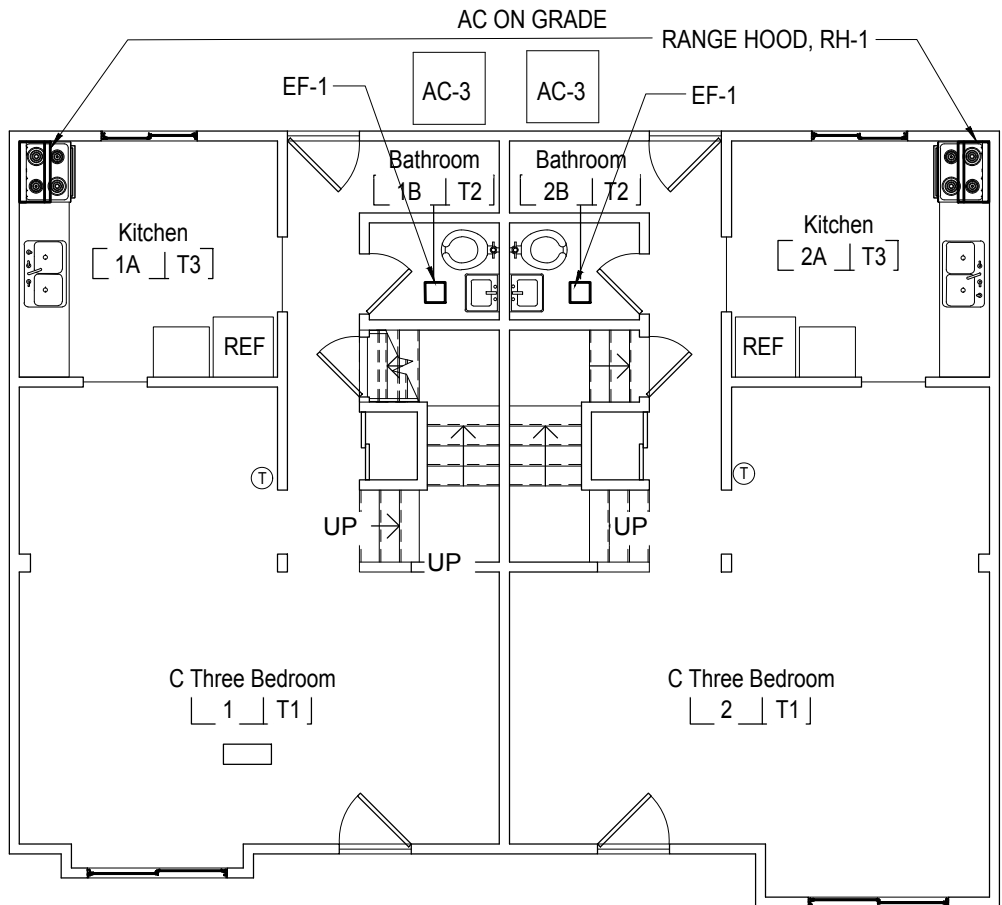
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

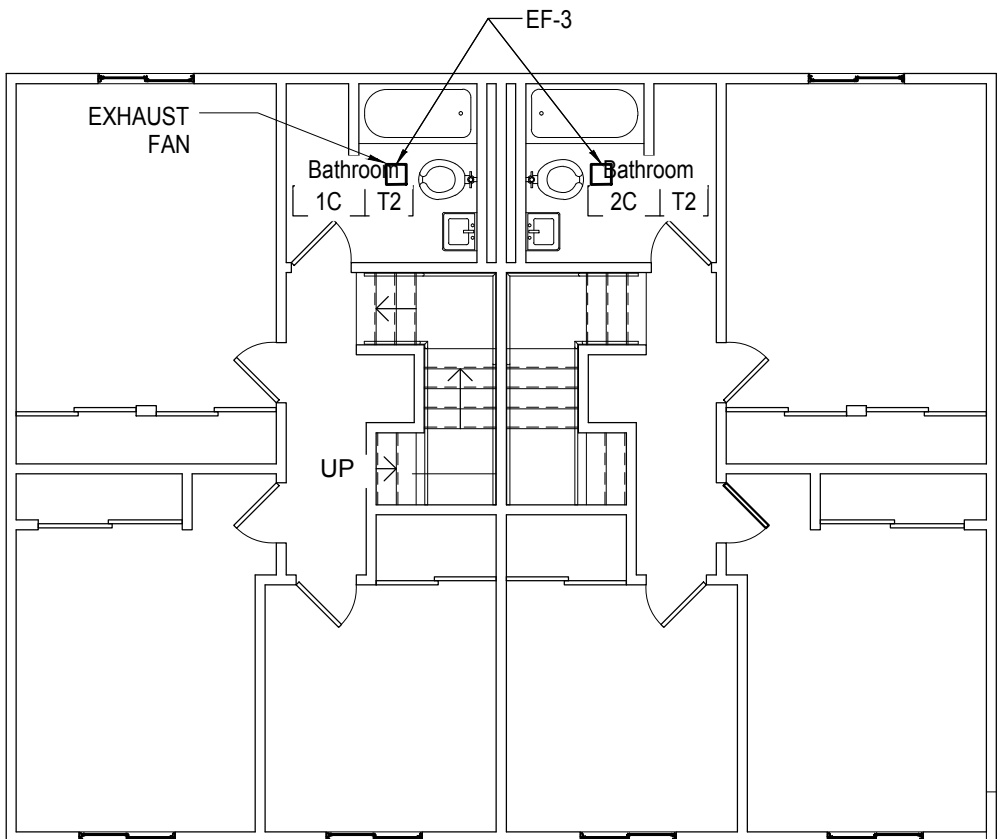
- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAILABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"

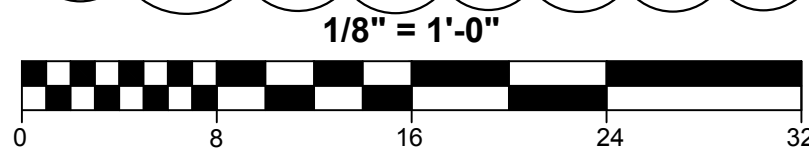


2 First Floor Mechanical Plan  
1/8" = 1'-0"



3 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)



MECHANICAL NOTES:

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLEX.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER. 1553 CFM

- NOTES:
- HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

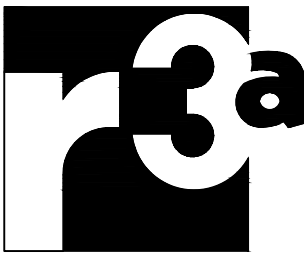
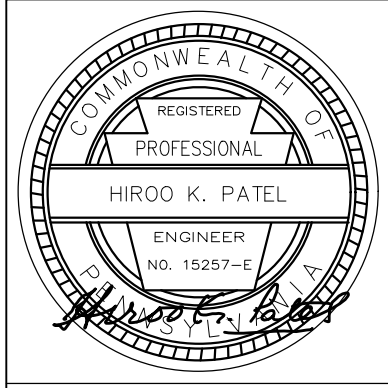
EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

- NOTES:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Fax: 412-431-2670  
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Design  
Technology  
Sustainability

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REVISIONS

CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

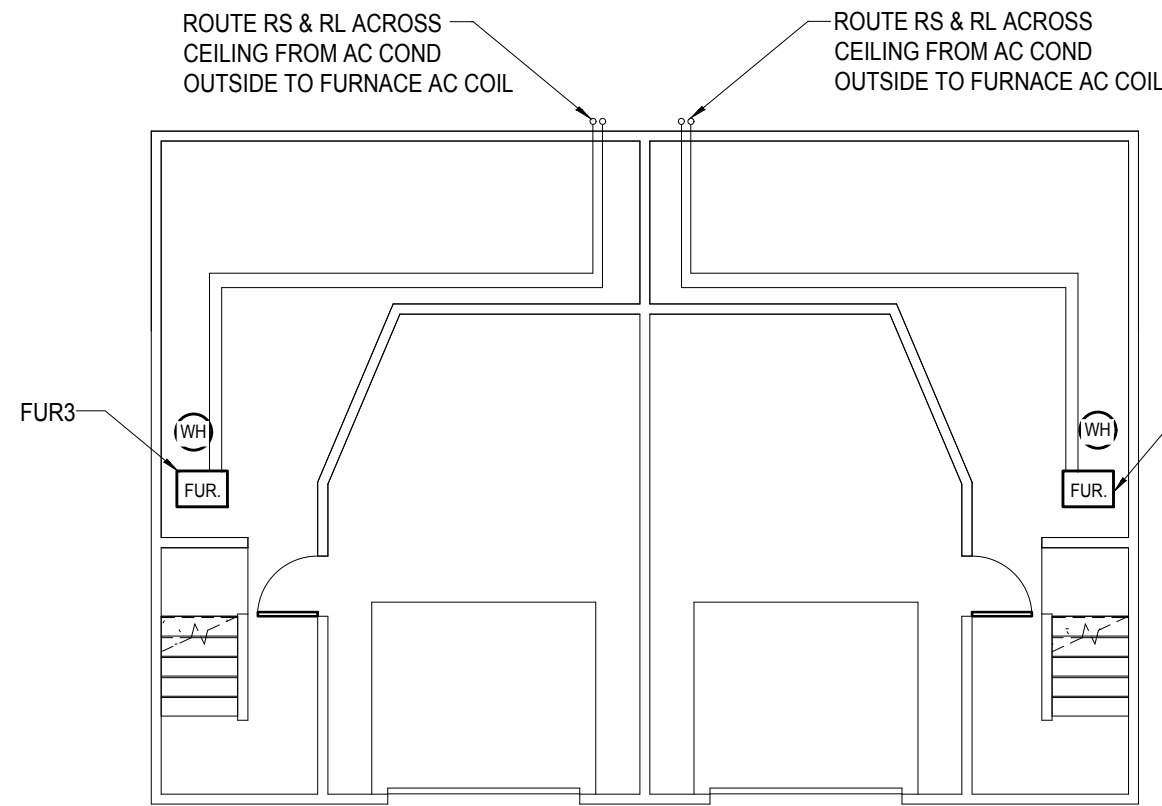
REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family  
Community  
- Type C

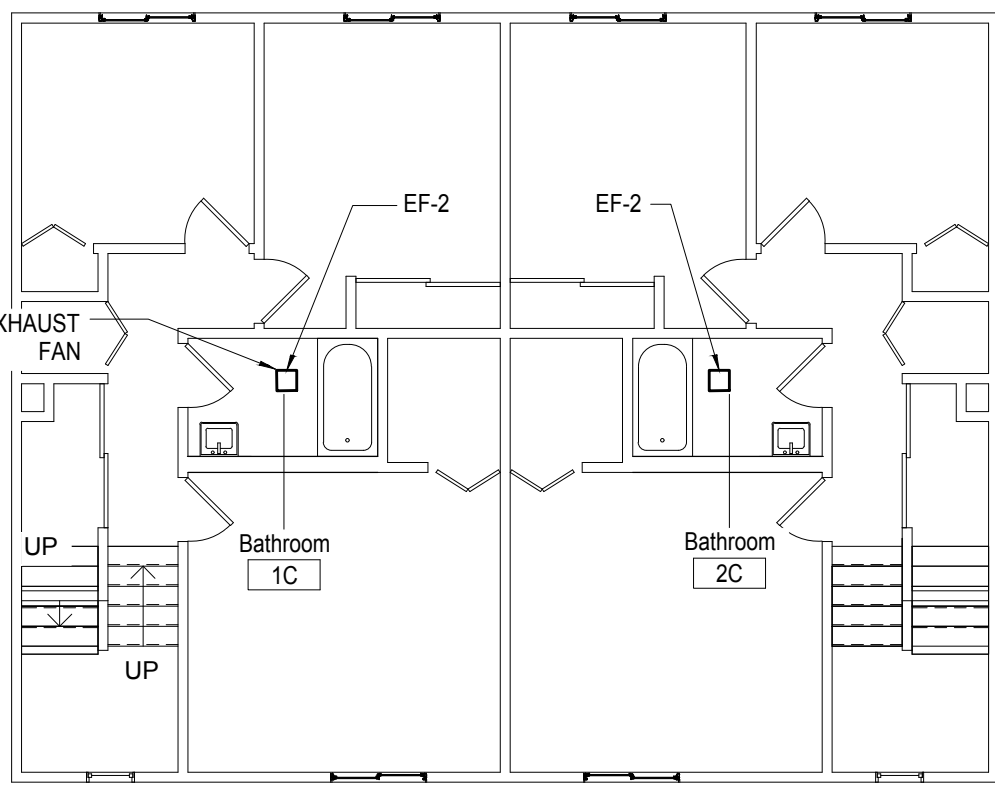
1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-113

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"



3 Second Floor Mechanical Plan  
1/8" = 1'-0"

#### REFERENCE NOTES

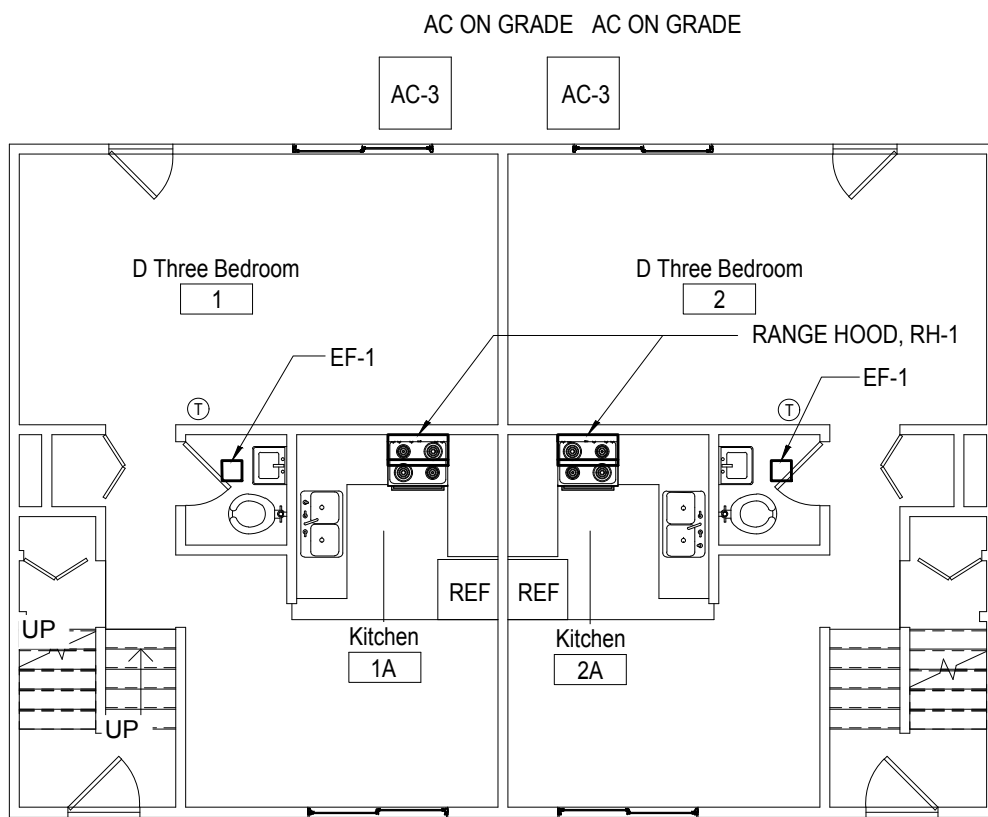
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

#### MECHANICAL NOTES

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- PROVIDE DRAIN/IDE DHD BY MARKET/FAIR, EDISON, NJ OR APPROVED EQUAL. TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.

1/8" = 1'-0"

0 8 16 24 32



2 First Floor Mechanical Plan  
1/8" = 1'-0"

#### AIR COOLED CONDENSING UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### NAT. GAS FIRED FURNACE UNIT SCHEDULE

TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	3/4 Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

- NOTES:  
1. H.C. SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### EXHAUST FAN SCHEDULE

TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### RANGE HOOD SCHEDULE

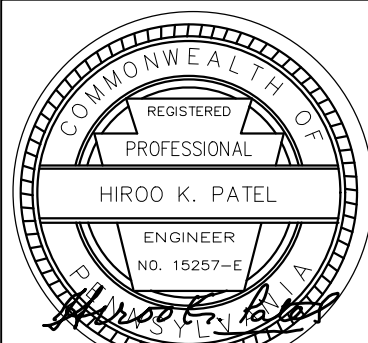
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

- NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS, REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

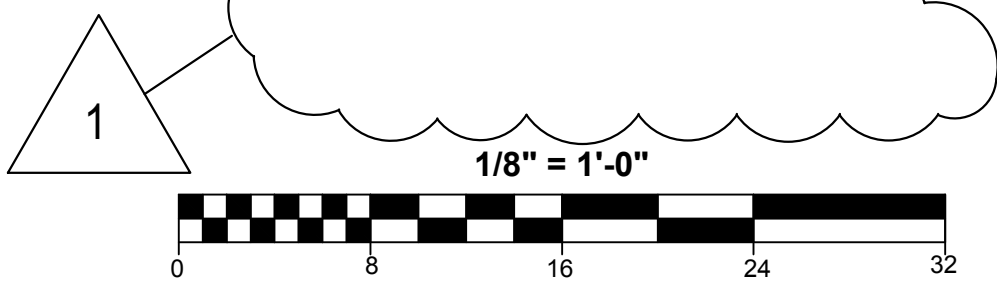
Family  
Community  
- Type D

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-114

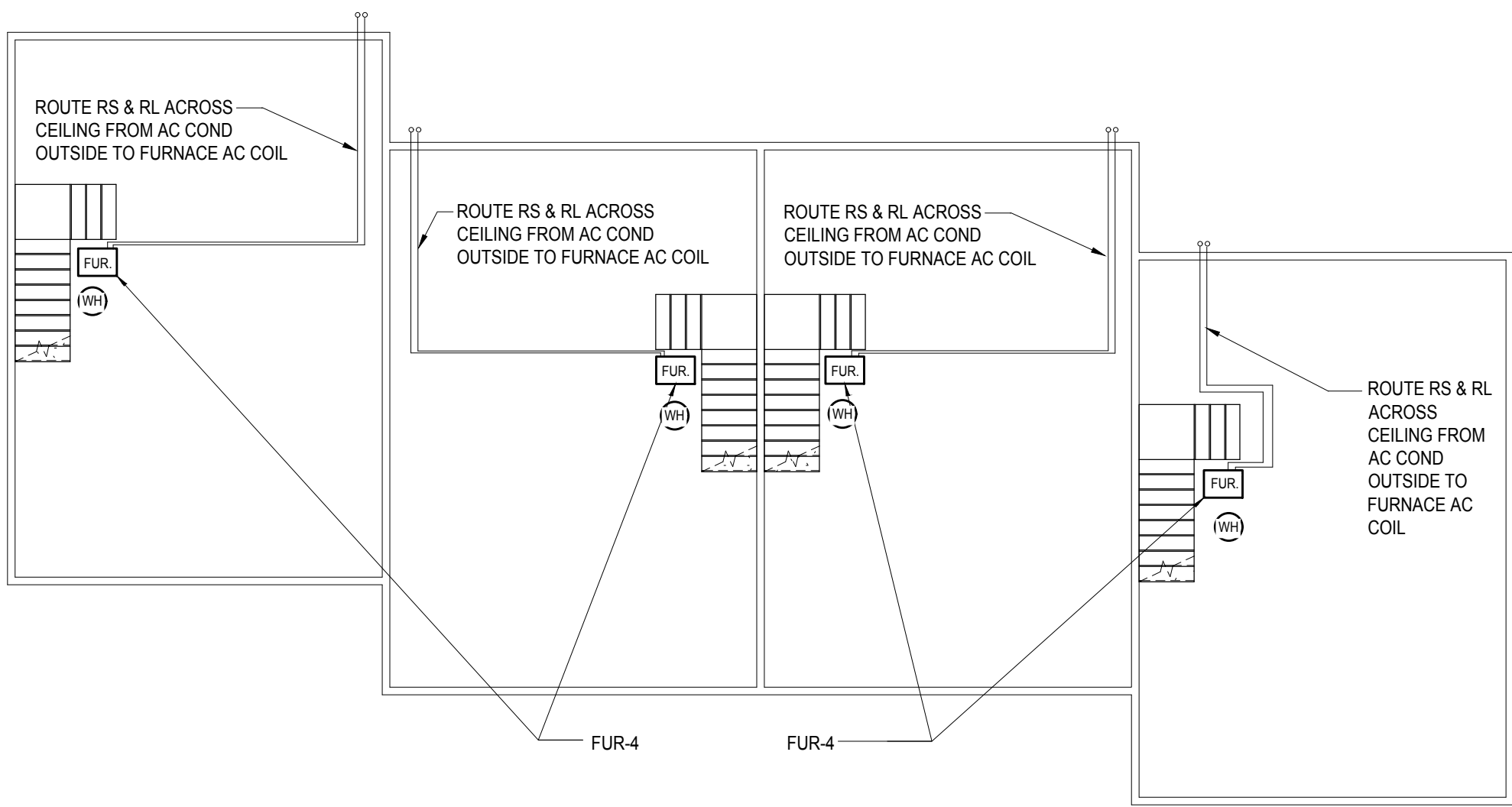


REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

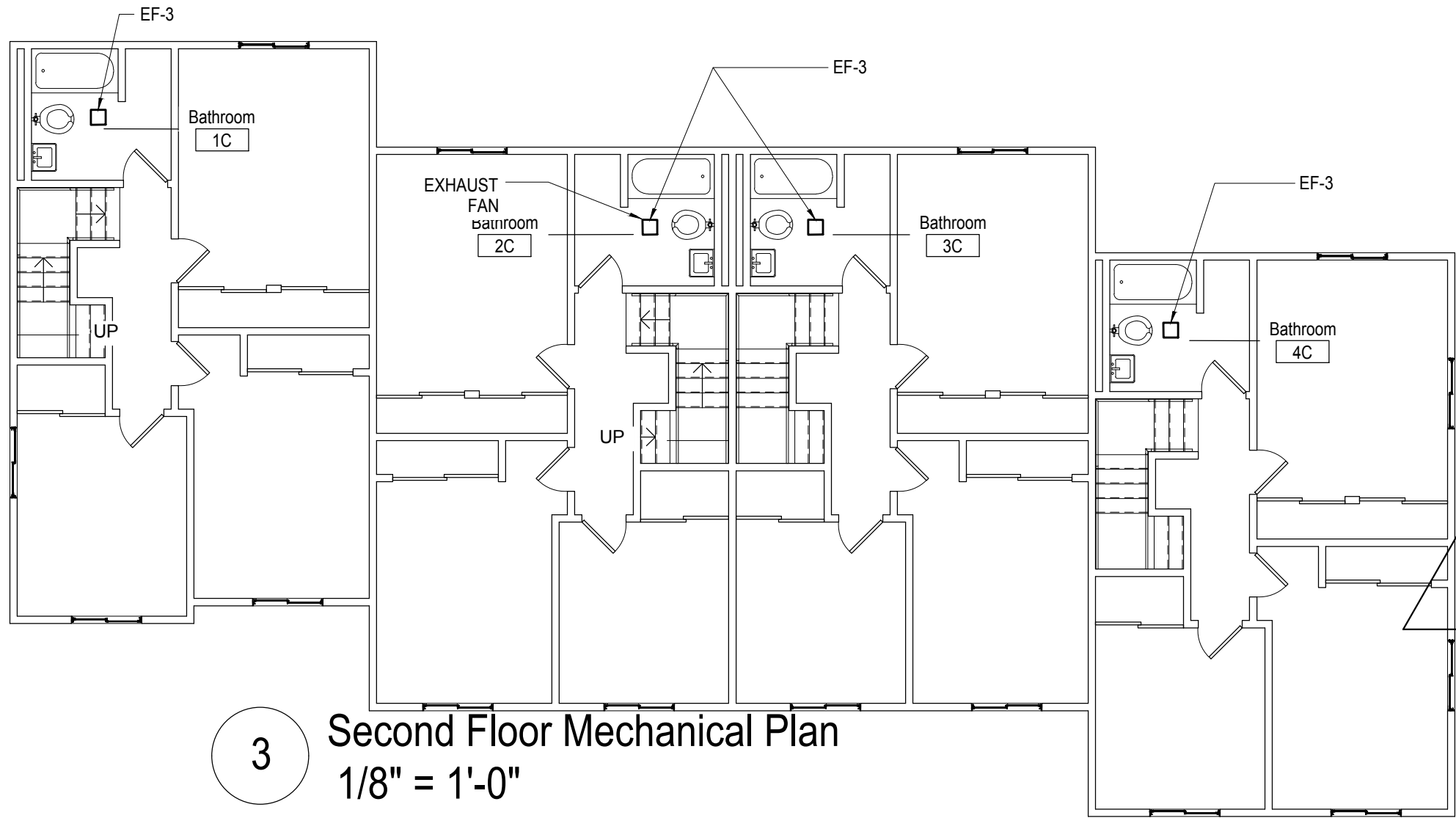


**MECHANICAL NOTE**

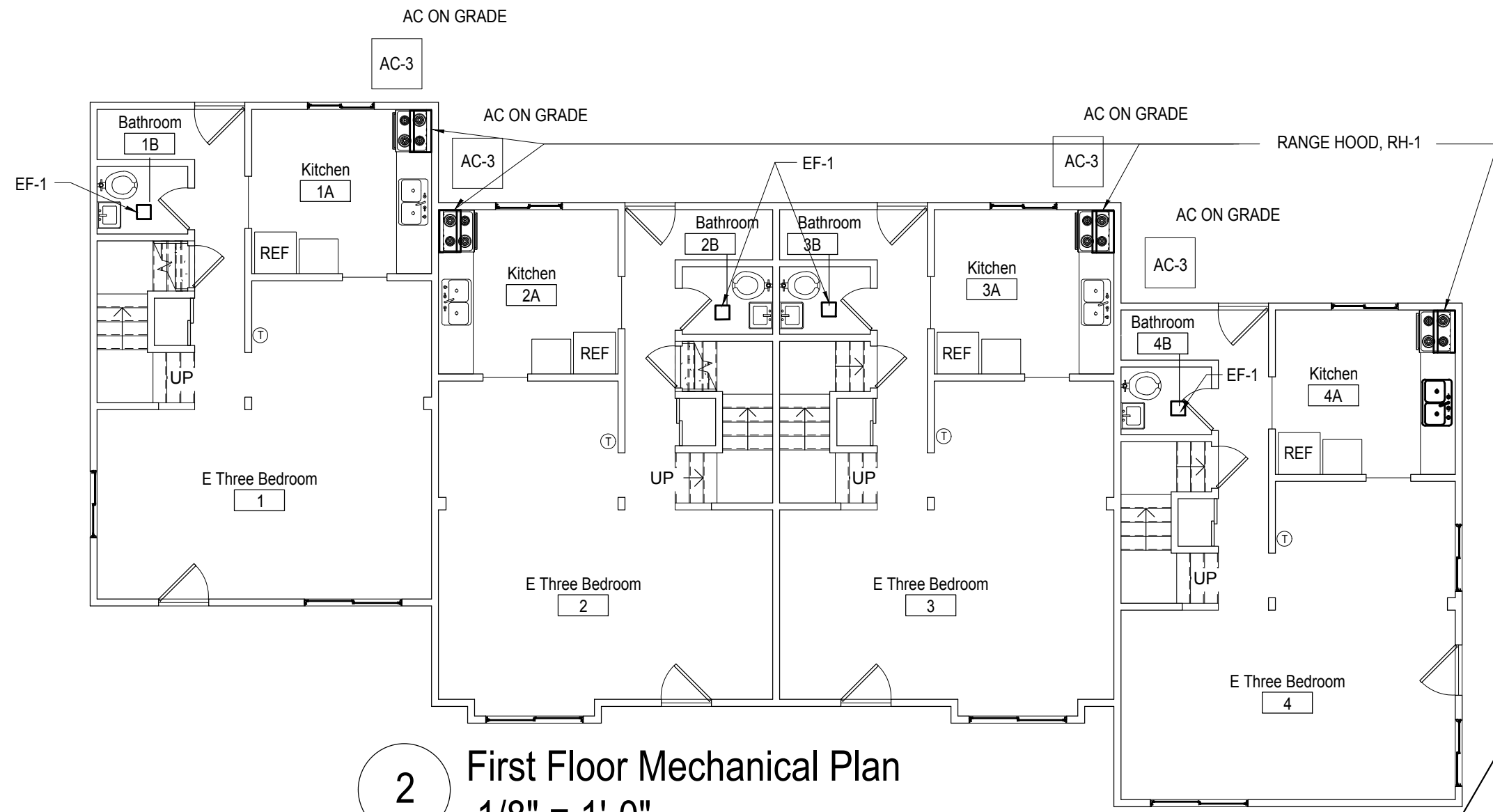
- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACF AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- PROVIDE DRAINHIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"



3 Second Floor Mechanical Plan  
1/8" = 1'-0"



2 First Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

NOTES:  
1. HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACF OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

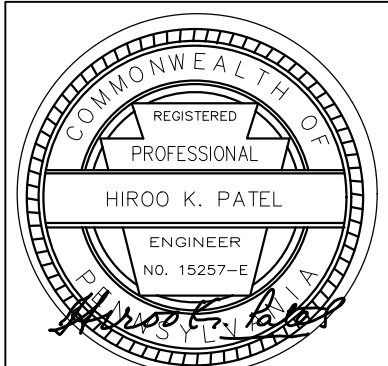
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

# GENERAL DEMOLITION AND CONSTRUCTION NOTES

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Design  
Technology  
Sustainability

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CONSULTANT:



Alies & Ross  
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945 Roselle Ct  
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DOCUMENTS

ISSUED: August 11, 2017

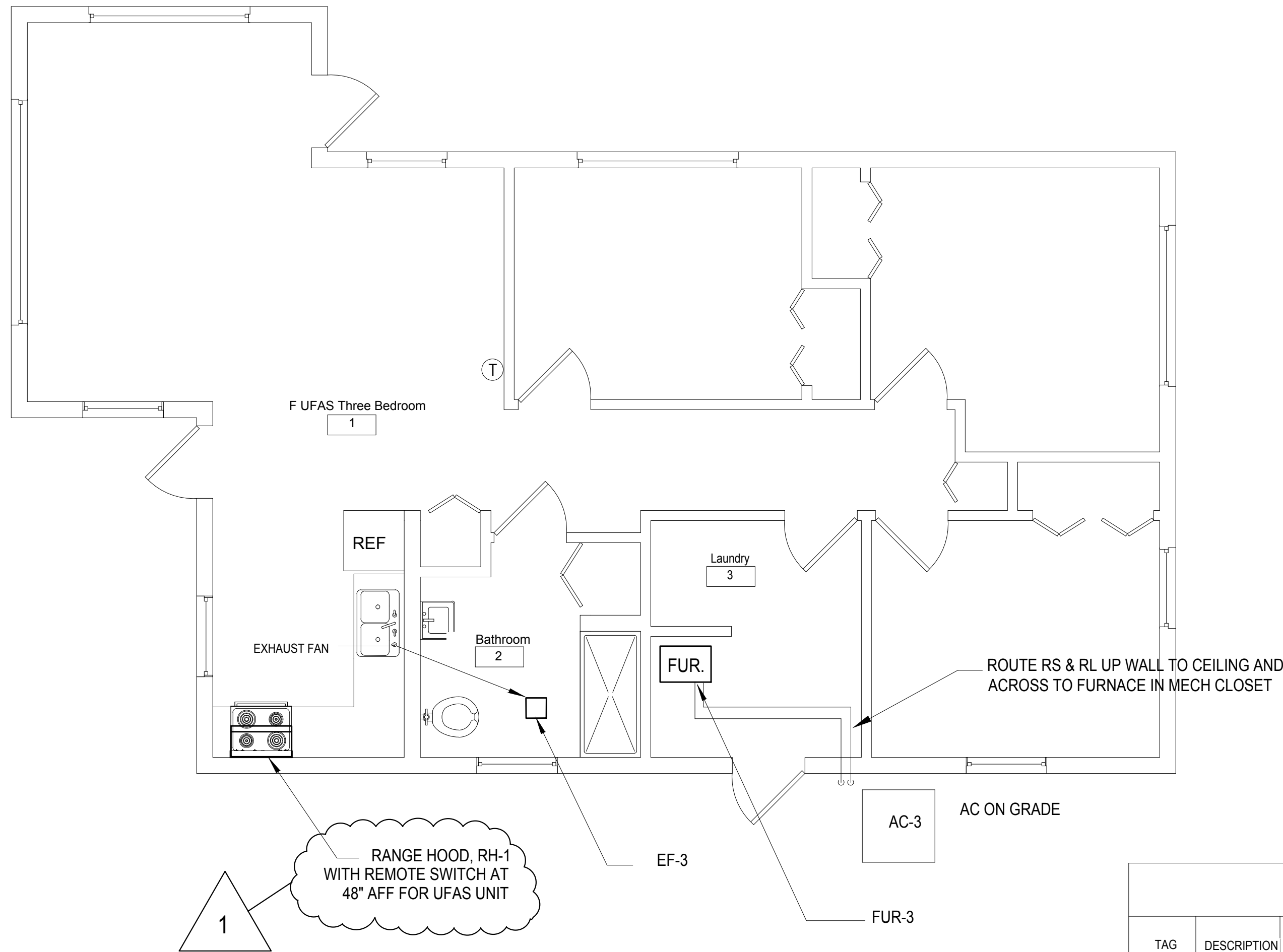
REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family  
Community  
- Type E

1 9.11.17 REV 1/ADDENDA 2

R3A PROJECT # 15074B

H-115



1 First Floor Mechanical Plan  
1/4" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW, (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOW RISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

**MECHANICAL NOTE**

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS

3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.

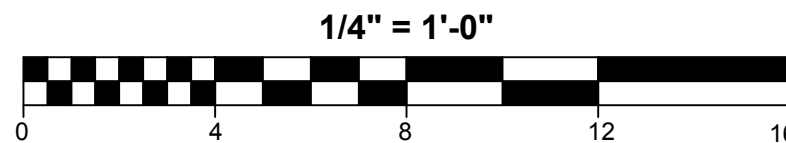
4. PROVIDE DRAIN/IDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

5. UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH, PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE.

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION OF WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHALL BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP, MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX16024IF	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX16030IF	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX16036IF	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.

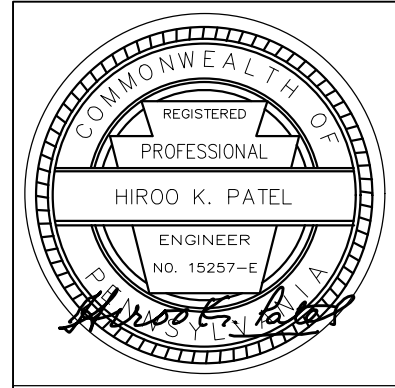
NOTES:  
1. HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 | 9.11.17 | REV 1/ADDENDA 2

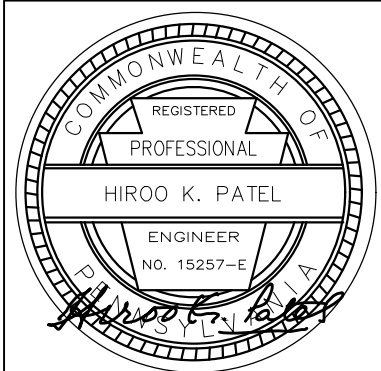
Family  
Community  
- Type F UFAS

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**Allies & Ross  
Management and  
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Corporation**

**Task Order  
Contract No. 33 -  
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DOCUMENTS**

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**Family  
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- Type G**

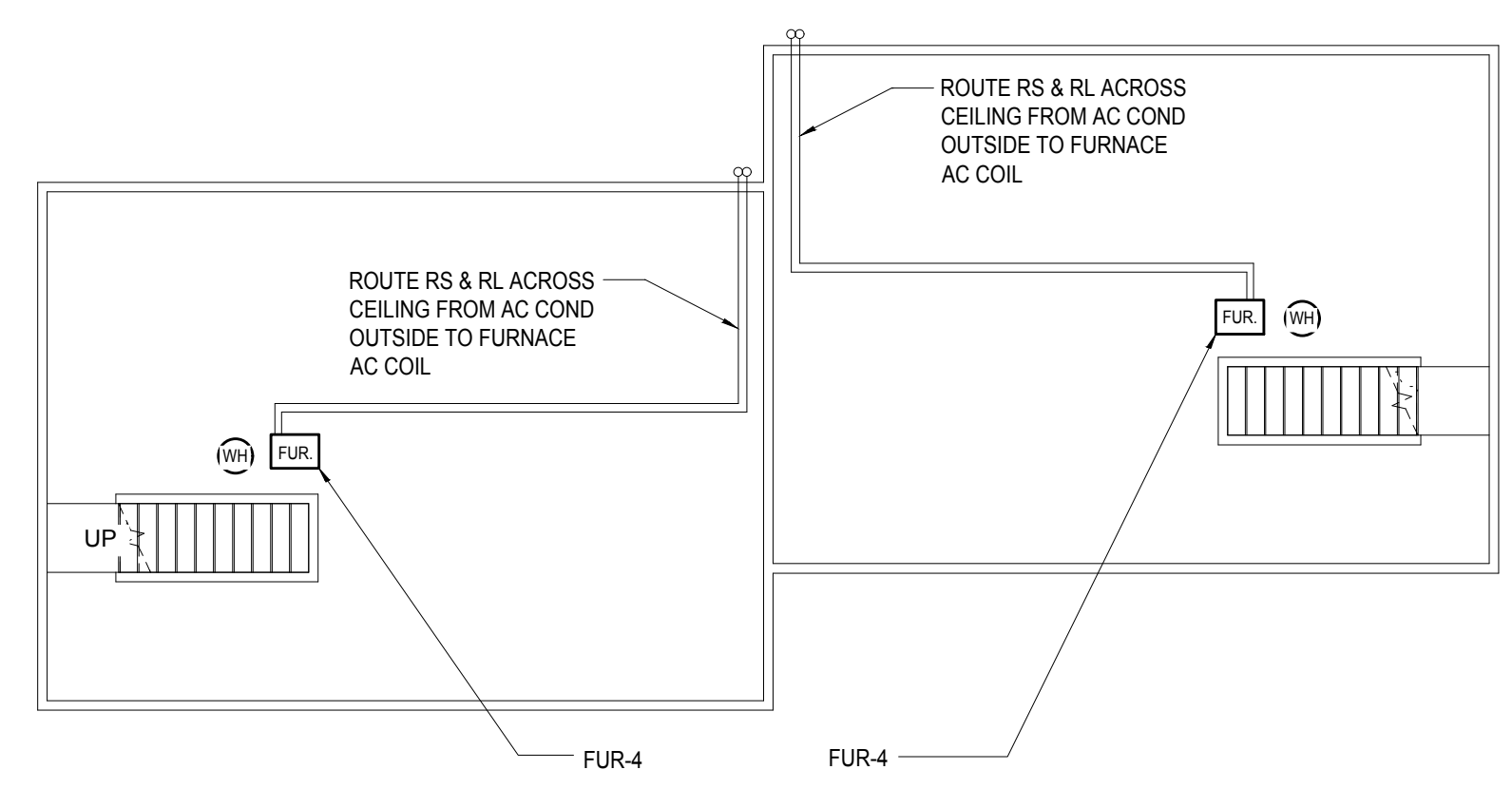
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R3A PROJECT # 15074B

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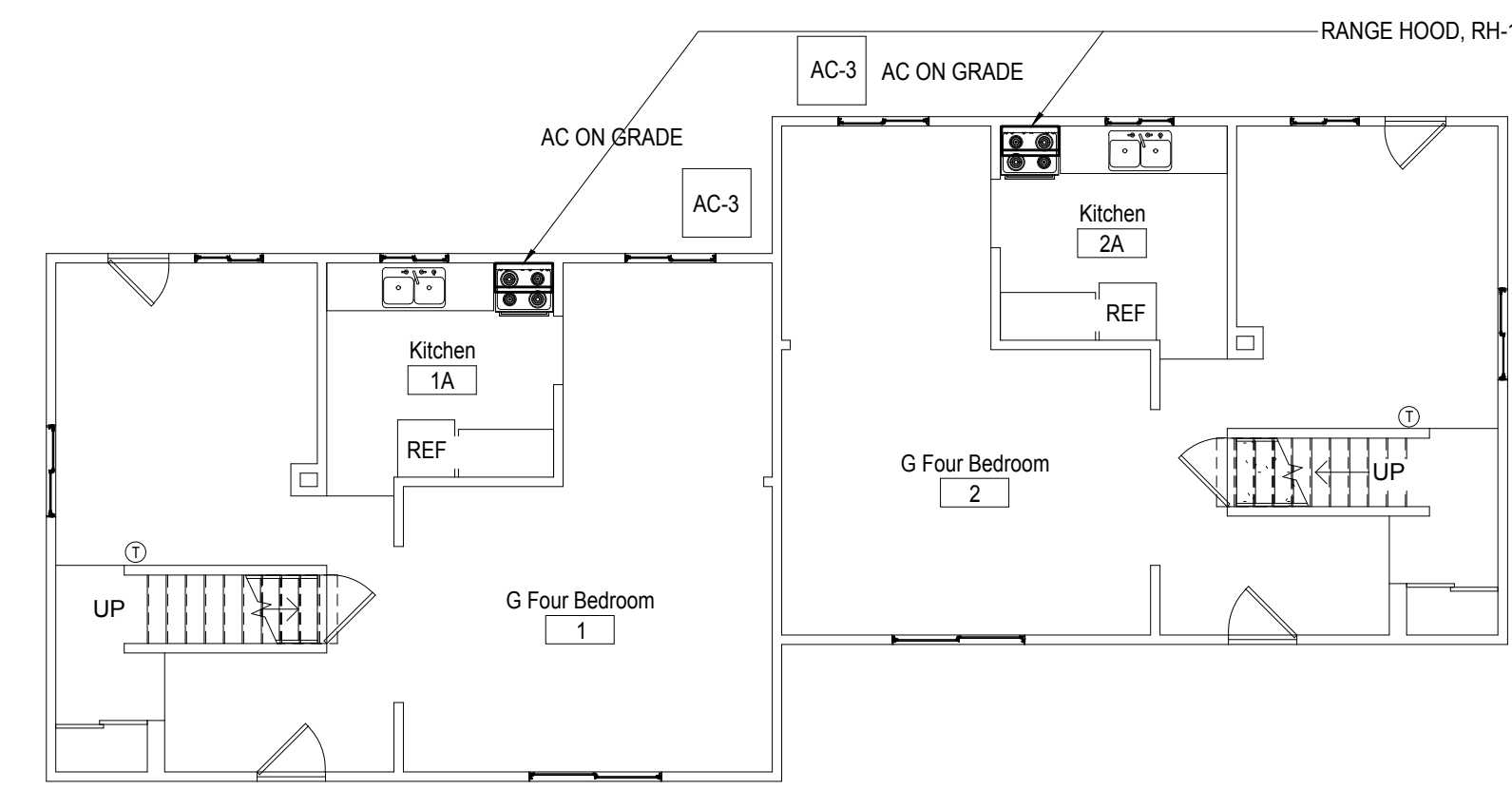
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- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE KIND AND MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/BC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN. UNLESS NOTED OTHERWISE, MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES, WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

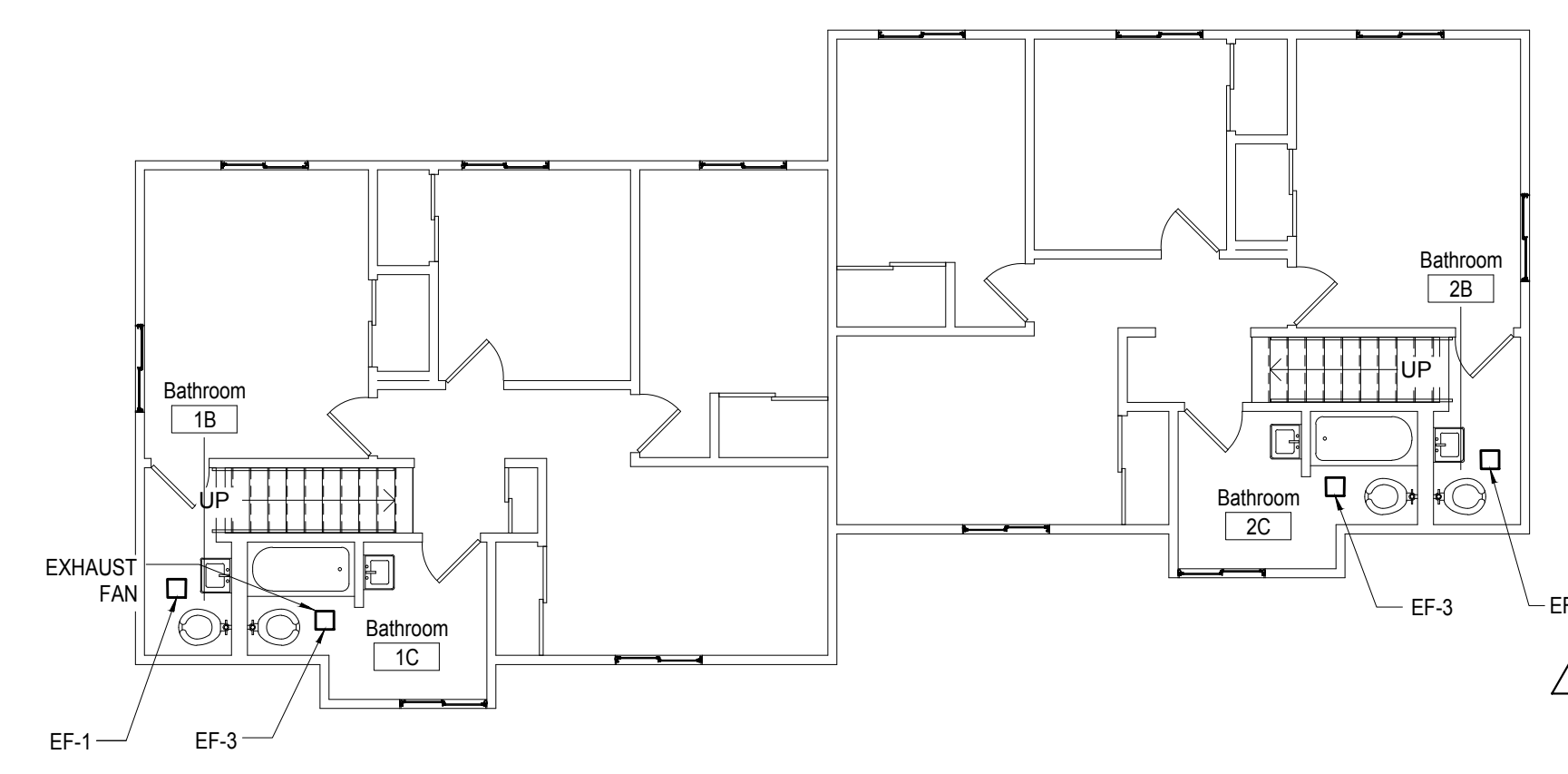
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"



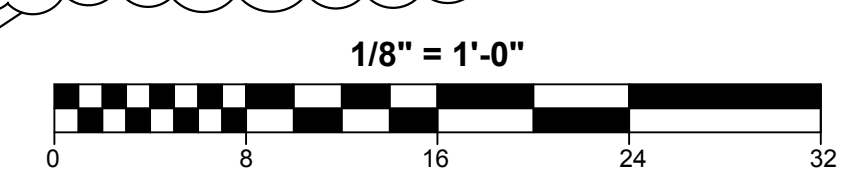
2 First Floor Mechanical Plan  
1/8" = 1'-0"



3 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOW RISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE WITH NEW WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE	
1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.	
2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS	
3. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RT6450 OR APPROVED EQUAL.	
4. LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.	
5. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.	
6. CONNECT NEW FURNACE TO EXISTING FLUE.	
7. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.	



AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	30	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW
AC-4	CONDENSING UNIT	LIVING SPACE	42	78 deg F	55 deg F	95 deg F	208/230/1/60	112.0	17.9	23.5	40	AMANA	ASX160421F	FOR FOUR BEDROOM UNIT SEE NOTES BELOW

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNCB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNCB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

NOTES:  
1. HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BROAN	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BROAN	XB110	FOR LARGE BATHROOM

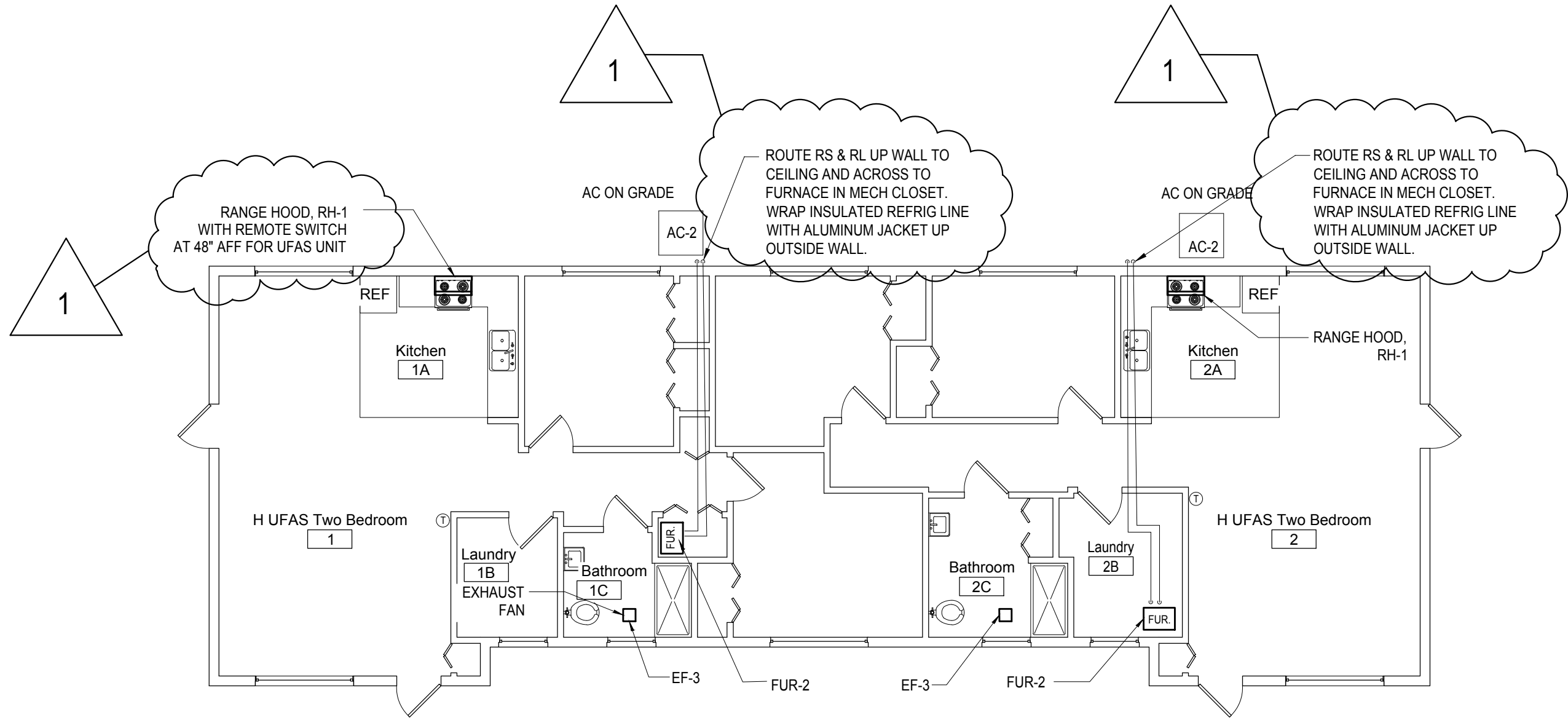
NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW, (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

**MECHANICAL NOTE**

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.

2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.

3. PROVIDE DRAIN/IDE DHD BY MARKET/TAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.

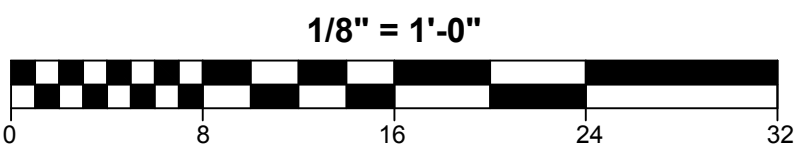
4. UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH CONC PAD TO INSTALL AC UNIT LEVEL.

5. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6500 OR APPROVED EQUAL.

6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.

7. CONNECT NEW FURNACE TO EXISTING FLUE

8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.



AIR COOLED CONDENSING UNIT SCHEDULE															1
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS	
				DB	WB							MANUF	MODEL		
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW	
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW	
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW	

**NOTES:**  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

**NOTES:**  
1. HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGE OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING. PROVIDE NEW VENT ROOF FLASHING. COORDINATE WITH ROOFING CONTRACTOR.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

**NOTES:**  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

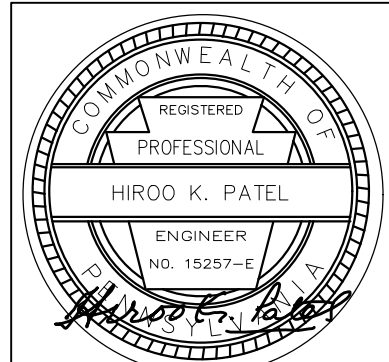
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

**NOTES:**  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. CONTRACTORS SHALL REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES, DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPLIANCES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS, UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

**NOTE:**  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1 | ADDENDA 2

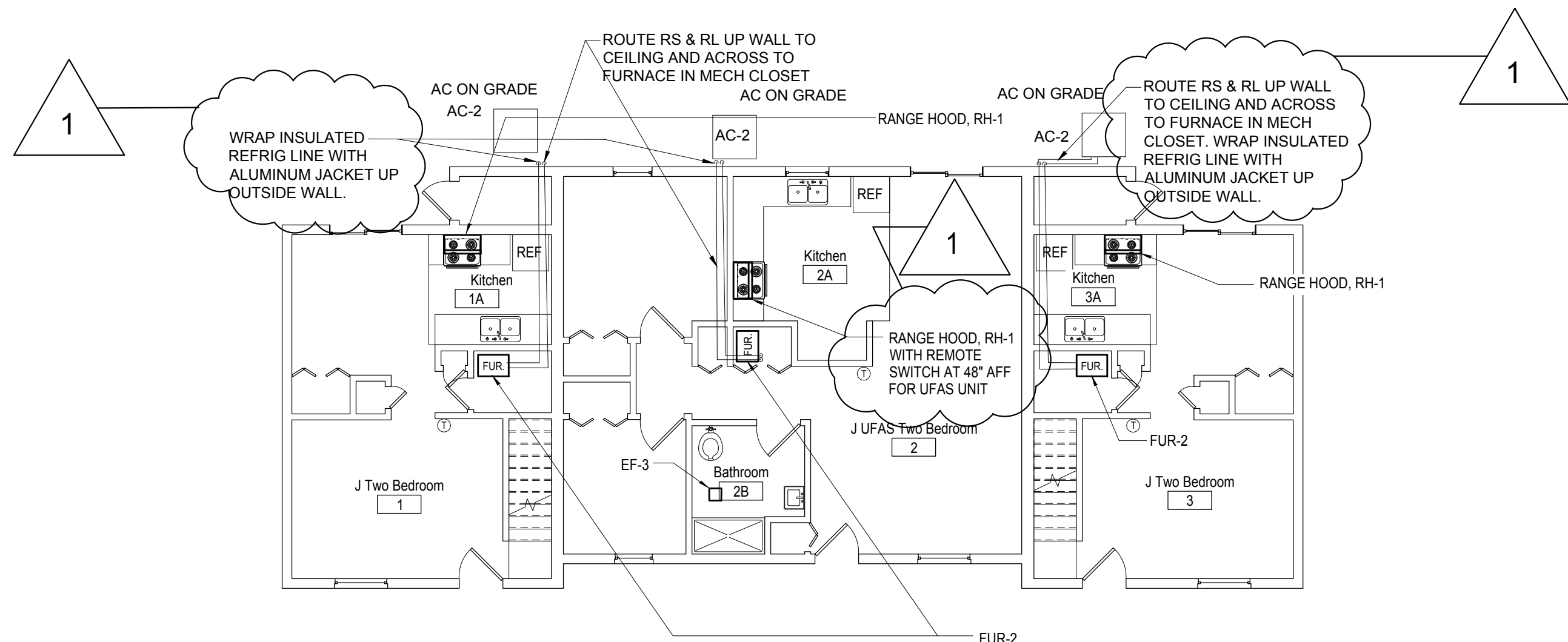
Family  
Community  
- Type H UFAS

1 | 9.11.17 | REV 1 | ADDENDA 2  
R3A PROJECT # 15074B

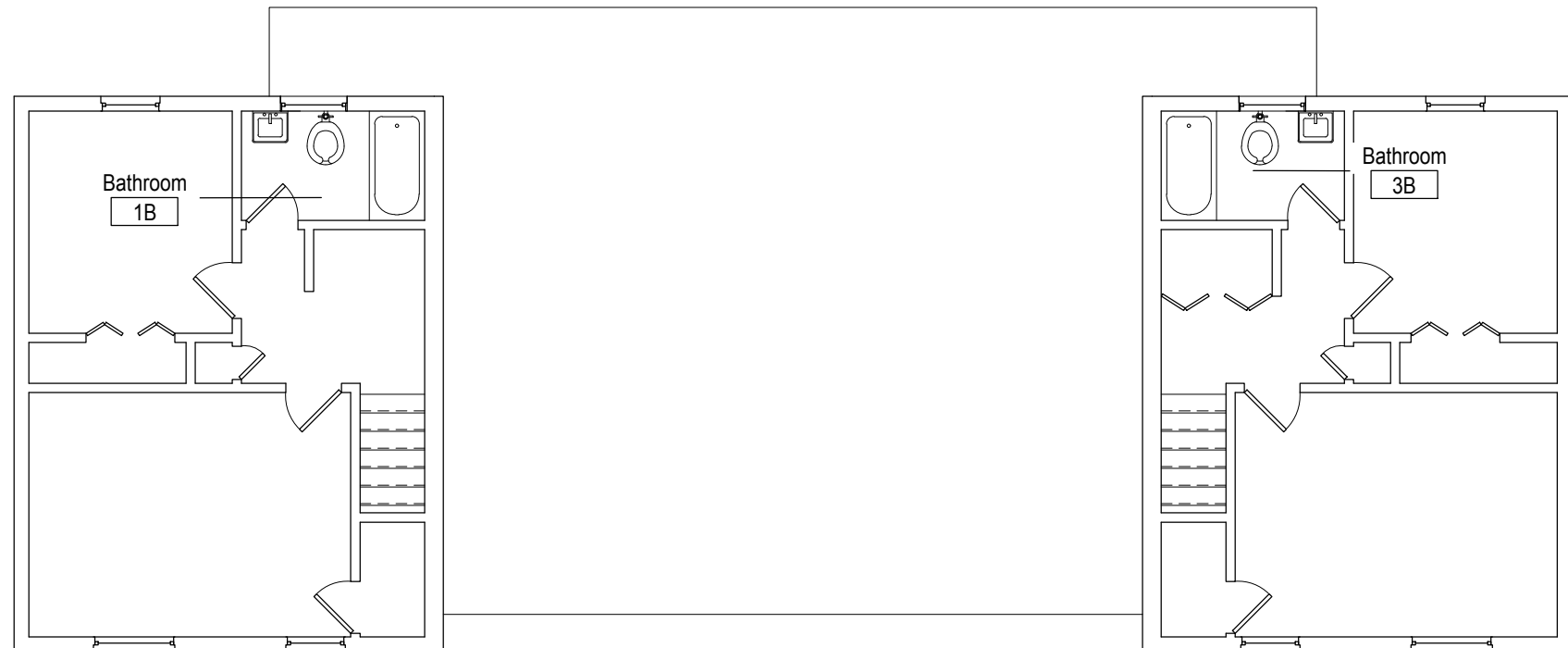
H-118



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Mechanical Plan  
1/8" = 1'-0"

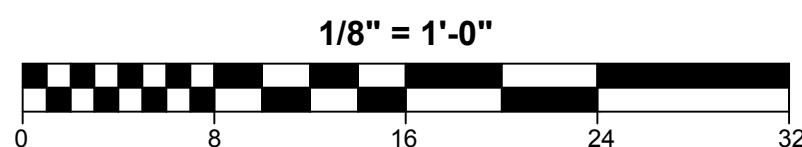


2 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACF AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE DRAIN/HIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL. TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- UFAS UNITS MAY HAVE EXISTING AC COND UNITS. REMOVE EXISTING AND REPLACE IN KIND AT SAME LOCATION. LEVEL GROUND UNDERNEATH. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.



AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

- NOTES:
- HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACF OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

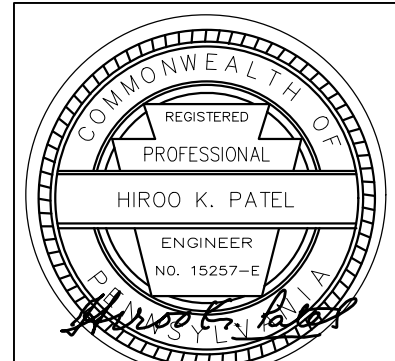
RANGE HOOD SCHEDULE								
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130

- NOTES:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACF'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACF'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACF'S MOVING CONSULTANT. HACF'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012300 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACF'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACF'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACF'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACF'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
FOR THE INDUSTRY  
CARNEGIE, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

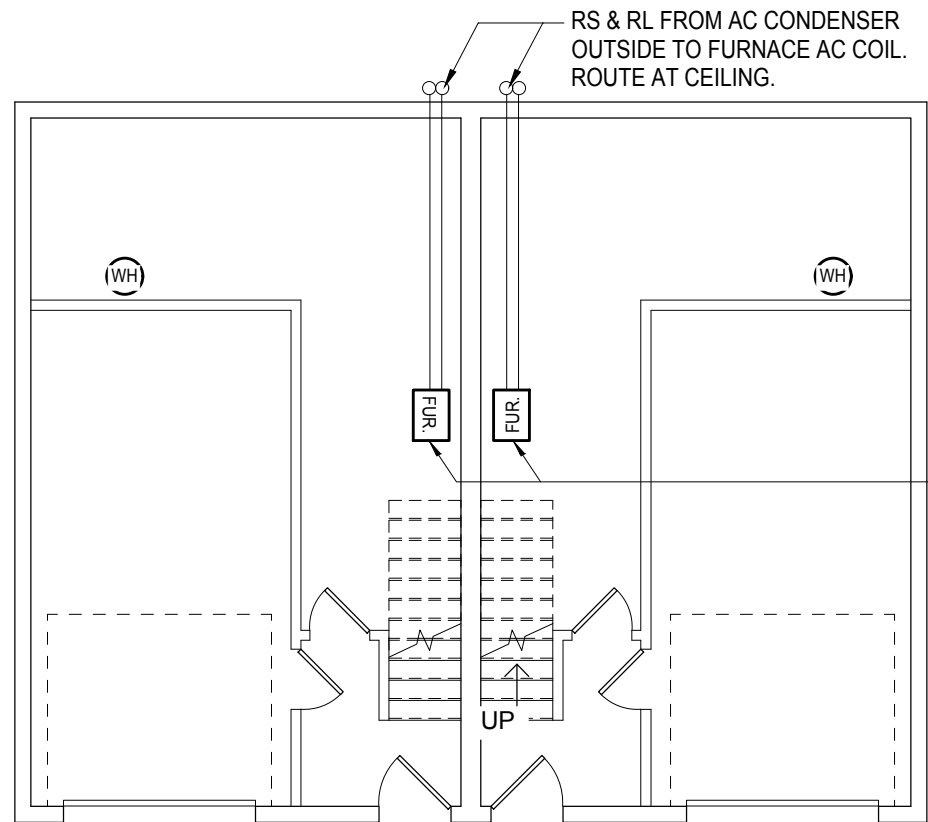
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Revision: Add1 8-30-2017

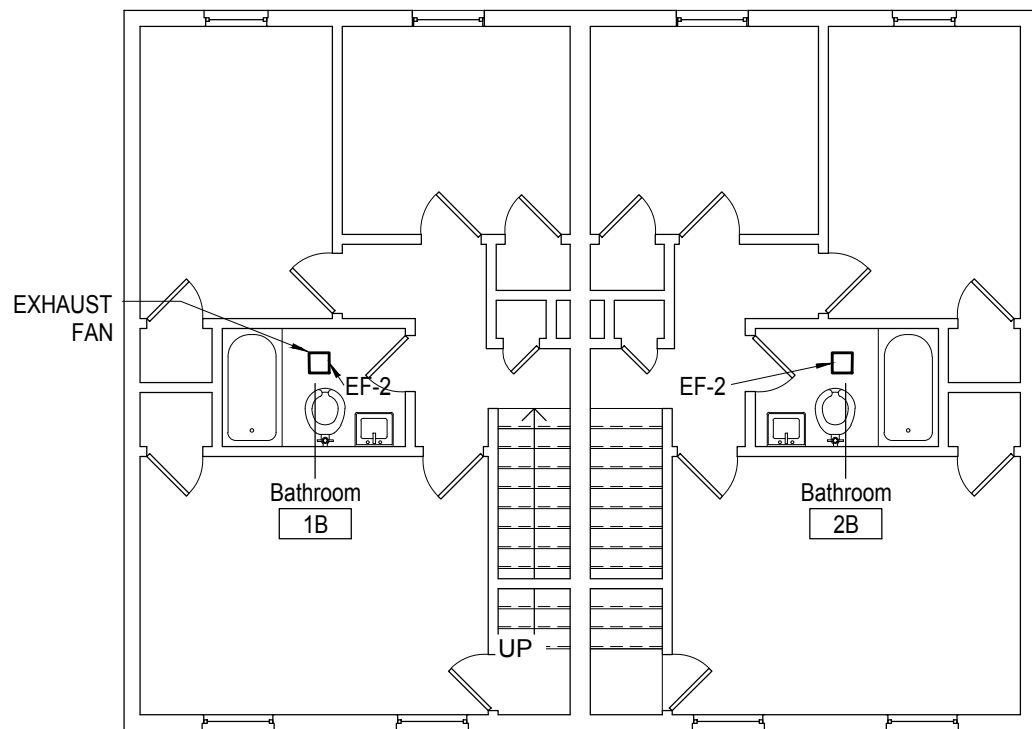
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Community  
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R3A PROJECT # 15074B

H-119



1 Basement Floor Mechanical Plan  
1/8" = 1'-0"

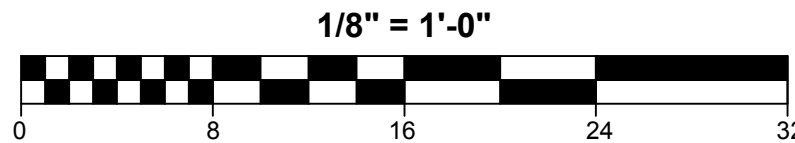


3 Second Floor Mechanical Plan  
1/8" = 1'-0"

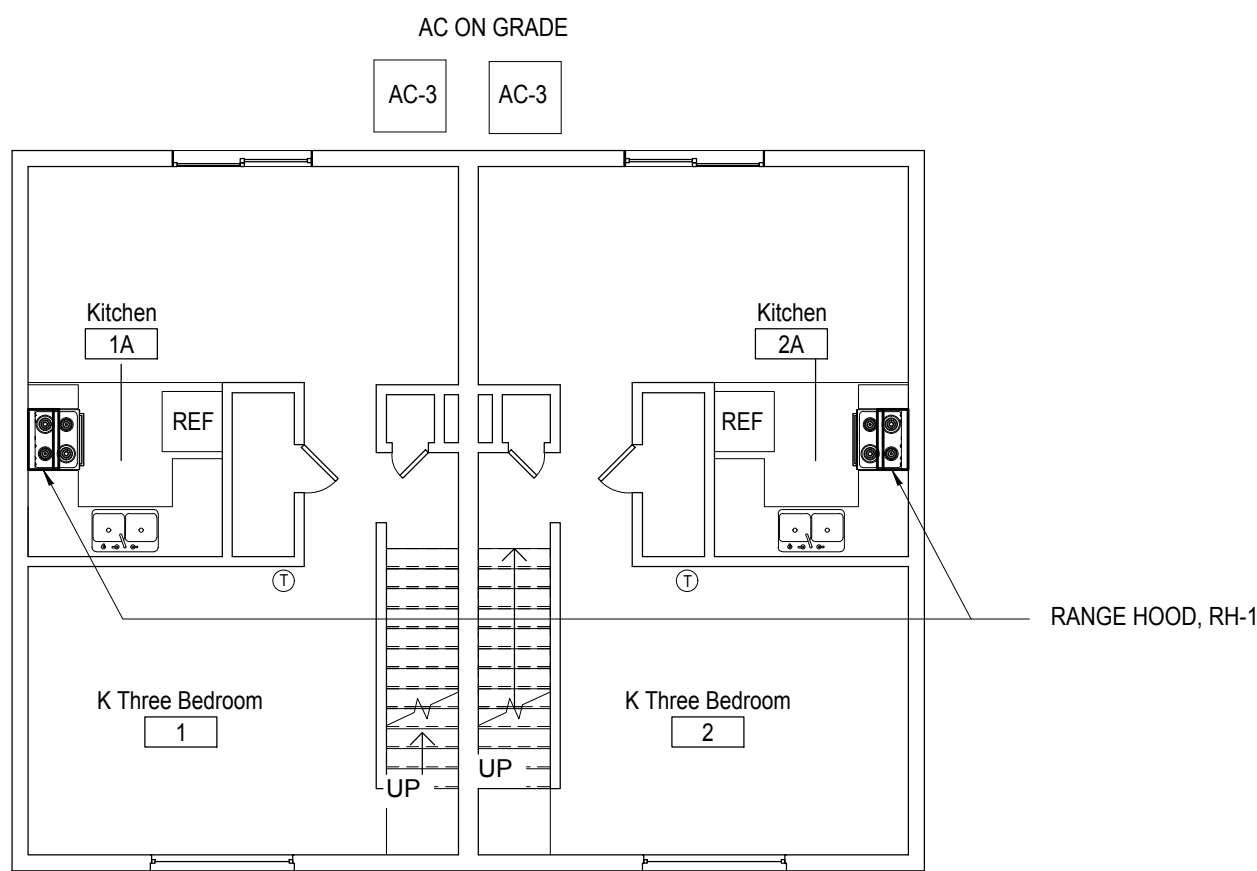
REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW, (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOWRISE UNITS)

**MECHANICAL NOTE**

1. MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
2. SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
3. PROVIDE DRAIN/HIDE DHD BY MARKET/AIR, EDISON, NJ OR APPROVED EQUAL. TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
4. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
5. LEVEL GROUND WHERE AC CONDENSER WILL BE PLACED. PROVIDE SUITABLE GRAVEL AND SUBSTRATE AND 4 INCH THICK CONCRETE PAD BEFORE INSTALLING UNIT.
6. PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
7. CONNECT NEW FURNACE TO EXISTING FLUE.
8. MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF GEN CONT HAS PREVIOUSLY PAINTED WALL.



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



2 First Floor Mechanical Plan  
1/8" = 1'-0"

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC806048BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

NOTE:  
1. HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR APPLICABLE PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTORS DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE ALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

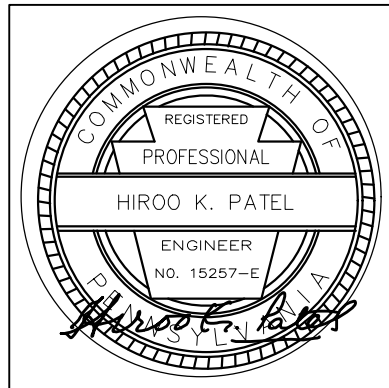
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE REFER TO DRAWINGS AND SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
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Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

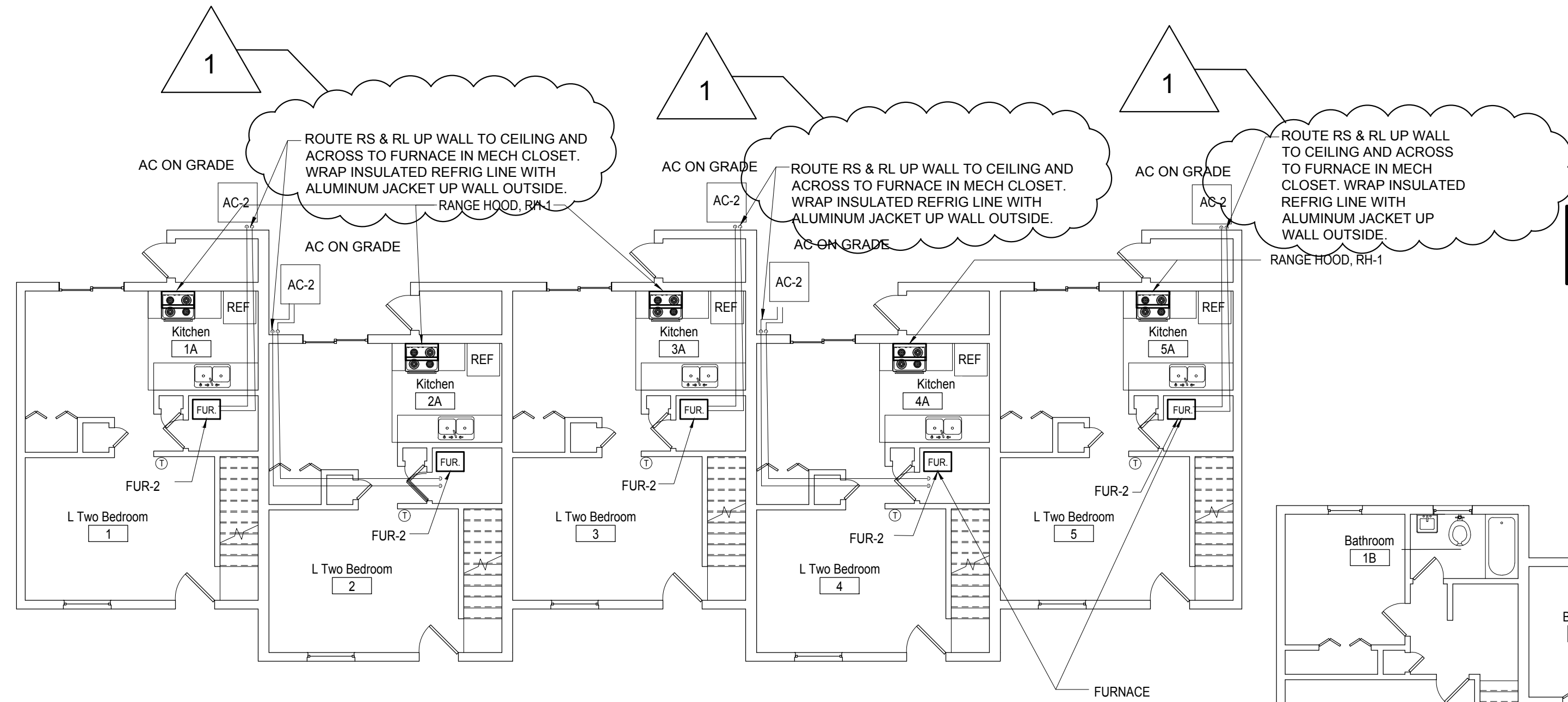
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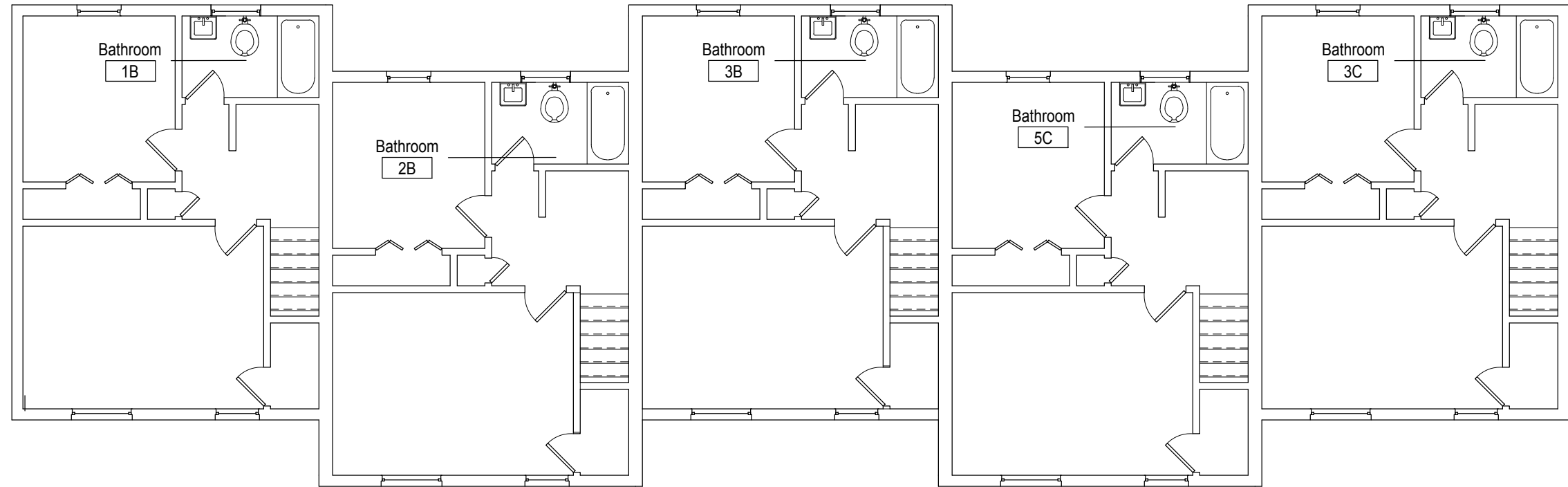
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R3A PROJECT # 15074B

H-120





1 First Floor Mechanical Plan  
1/8" = 1'-0"

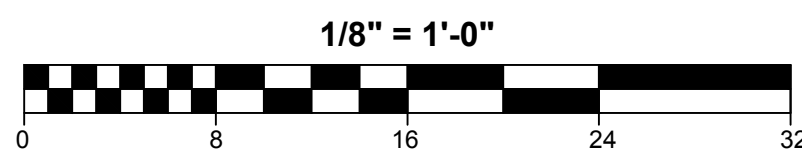


2 Second Floor Mechanical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOW RISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

#### MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE DRAIN/HIDE DHD BY MARKETAIR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FROM DEMOLITION AND FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF G.C. HAS PREVIOUSLY PAINTED WALL.



AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:  
1. PROVIDE DISCONNECT IN SIGHT OF CONDENSER.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	$\frac{3}{4}$ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER

- NOTES:  
1. HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER, 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL COOLING COIL FOR AIR CONDITIONING.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	110	115/1/60	15	25	BRONE	XB110	FOR LARGE BATHROOM

- NOTES:  
1. EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.  
2. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

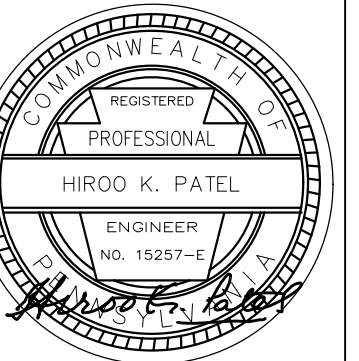
RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF		REMARKS
							MODEL		
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

- NOTES:  
1. PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER TRADES REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND MATERIALS. MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS AND COMMUNITY ROOM BUILDING MUST COMPLY AND MEET UFAS REQUIREMENTS.
- CONTRACTORS ARE TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- CONTRACTORS ARE REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING WITHIN SCOPE OF WORK.
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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.

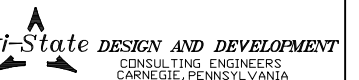


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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

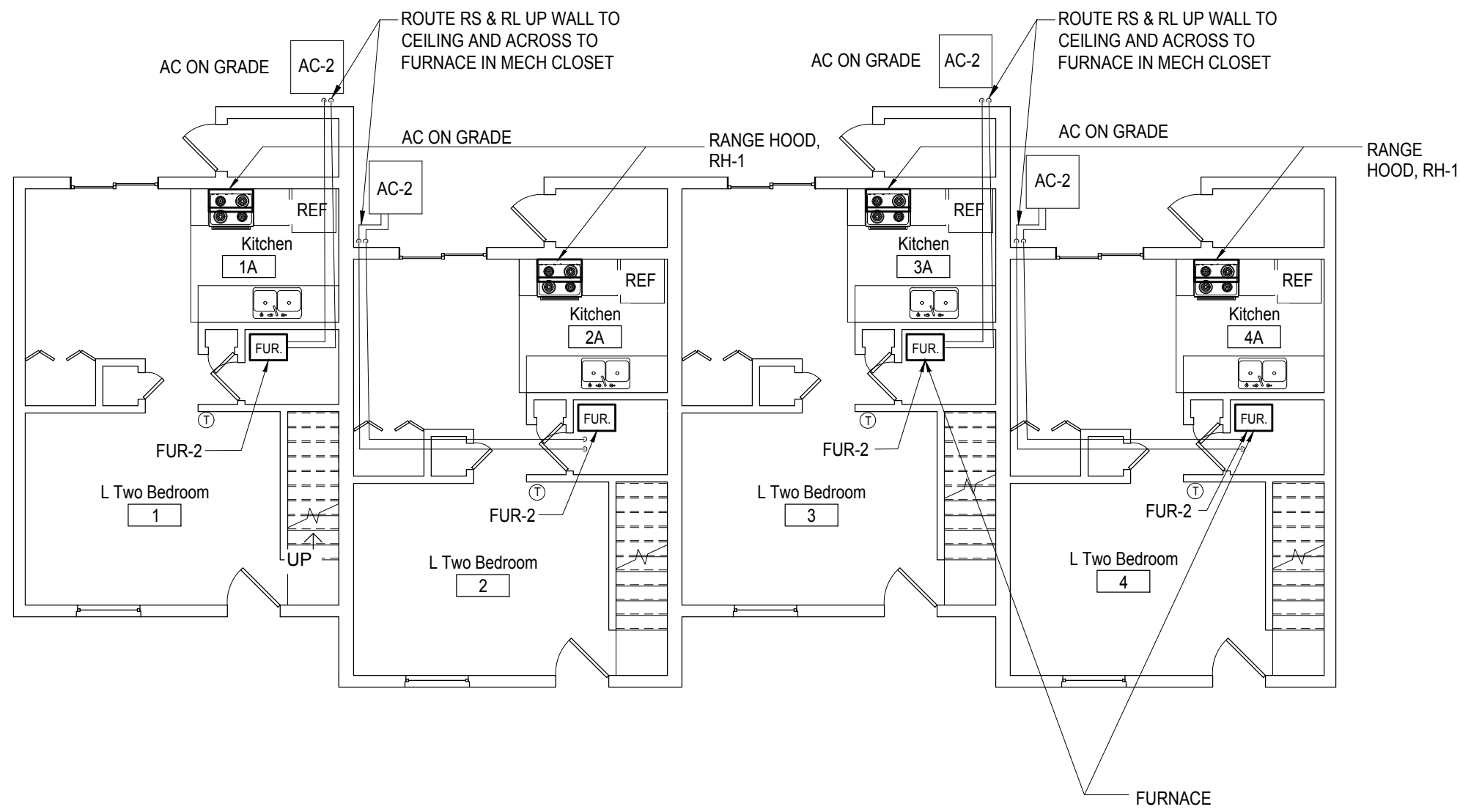
ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Family  
Community  
- Type L

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-121



1 First Floor Mechanical Plan  
1/8" = 1'-0"

2 Second Floor Mechanical Plan  
1/8" = 1'-0"

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

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REFERENCE NOTES	
FURNACE	REMOVE EXISTING FURNACE AND REPLACE IN KIND, WITH NEW, IN SAME LOCATION. CENTRAL AIR WITH EXTERIOR CONDENSER UNIT TO BE PROVIDED. DE-ENERGIZE ELECTRICAL CIRCUIT. REMOVE EXISTING SPACE THERMOSTAT AND REPLACE WITH NEW. (NOT SHOWN) PROVIDE FLEXIBLE CONNECTION TO EXISTING DUCT WORK AND CONCRETE PAD FOR CONDENSER. RE-ENERGIZE CIRCUITS. (TYP. ALL LOWRISE UNITS/FURNACES)
RANGE HOOD	REMOVE EXISTING RANGE HOOD/EXHAUST FAN AND REPLACE IN KIND WITH NEW RANGE HOOD. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)
CONDENSING UNIT	PROVIDE CONDENSING UNIT ON CONCRETE PAD. CONNECT TO NEW INDOOR COOLING COIL IN DUCT ABOVE FURNACE.
EXHAUST FAN	REMOVE EXISTING TOILET EXHAUST FAN AND REPLACE WITH NEW CEILING MOUNTED EXHAUST FAN. DE-ENERGIZE ELECTRICAL CIRCUIT PRIOR TO DEMOLITION. (TYP. ALL LOW RISE UNITS)

MECHANICAL NOTE

- MECHANICAL CONTRACTOR TO REMOVE AC COIL IN DUCTWORK WHEN REMOVING FURNACE. INSTALL NEW INDOOR AC COIL IN DUCTWORK WHEN INSTALLING NEW FURNACE. CONNECT INDOOR AC COIL TO OUTDOOR CONDENSING UNIT. ROUTE PIPE WITH INSULATION ACROSS CEILING WITH DIRECTION FROM HACP AND ARCHITECT.
- SOME UNITS HAVE RANGE HOODS AND SOME HAVE WALL EXHAUST FANS. REMOVE EITHER AND REPLACE WITH NEW RANGE HOOD WITH FILTER FOR RE-CIRCULATION OF AIR. PATCH WALL OPENINGS.
- PROVIDE DRAIN/HIDE DHD BY MARKET/AR, EDISON, NJ OR APPROVED EQUAL, TO HIDE REFRIGERANT PIPING AT CEILING FROM OUTSIDE TO MECHANICAL CLOSET.
- PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT WITH MANUAL CHANGE OVER FROM HEATING TO COOLING AND TWO STAGE CONTROL OF HEATING AND COOLING. HONEYWELL RTH6450 OR APPROVED EQUAL.
- LEVEL GROUND WHERE AC UNIT WILL BE PLACED. PROVIDE GRAVEL, SUBSTRATE AND 4 INCH THICK CONCRETE PAD TO INSTALL AC UNIT LEVEL.
- PROVIDE DUCT CLEANING FOR ALL EXISTING DUCTWORK.
- CONNECT NEW FURNACE TO EXISTING FLUE.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DRYWALL PATCHING FOR DAMAGE TO WALLS UNDER THIS CONTRACT. PATCH, SAND SMOOTH AND PAINT TO NEAREST CORNER IF GEN CONT HAS PREVIOUSLY PAINTED WALL.

AIR COOLED CONDENSING UNIT SCHEDULE														
TAG	DESCRIPTION	AREA SERVED	TOTAL COOLING CAP. MBH	ENT AIR		AMBIENT AIR	VOLTAGE	LRA	RLA	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
				DB	WB							MANUF	MODEL	
AC-1	CONDENSING UNIT	LIVING SPACE	23.6	78 deg F	55 deg F	95 deg F	208/230/1/60	58.3	13.5	18.0	25	AMANA	ASX160241F	FOR ONE BEDROOM UNIT SEE NOTES BELOW
AC-2	CONDENSING UNIT	LIVING SPACE	29.0	78 deg F	55 deg F	95 deg F	208/230/1/60	64.0	12.8	17.1	25	AMANA	ASX160301F	FOR TWO BEDROOM UNIT SEE NOTES BELOW
AC-3	CONDENSING UNIT	LIVING SPACE	34.8	78 deg F	55 deg F	95 deg F	208/230/1/60	77.0	14.1	18.7	30	AMANA	ASX160361F	FOR THREE BEDROOM UNIT SEE NOTES BELOW

- NOTES:
- PROVIDE DISCONNECT IN SIGHT OF CONDENSER.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NAT. GAS FIRED FURNACE UNIT SCHEDULE												
TAG	DESCRIPTION	AREA SERVED	HEATING OUT CAP. MBH	MAXIMUM HEATING INPUT CFH	VENT	BLOWER	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
										MANUF	MODEL	
FUR-1	FURNACE	LIVING RM & BEDROOMS	33.6 - 48	60	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80604BNB	FOR ONE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.
FUR-2	FURNACE	LIVING RM & BEDROOMS	44.8 - 64	80	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC80805CNB	FOR TWO BEDROOM UNIT. 80% AFUE. TWO STAG BURNER.
FUR-3	FURNACE	LIVING RM & BEDROOMS	56 - 80	100	4"	¾ Hp	115/1/60	15	25	AMANA	AMVC801005CNB	FOR THREE BEDROOM UNIT. 80% AFUE. TWO STAGE BURNER.

- NOTES:
- HC SHALL PROVIDE/INSTALL AN AUTOMATIC CHANGER OVER. 7-DAY PROGRAMMABLE THERMOSTAT. EQUIPMENT SUBSTITUTIONS SHALL BE APPROVED BY HACP OR ARCHITECT PRIOR TO INSTALL. PROVIDE/INSTALL INDOOR COOLING COIL FOR AIR CONDITIONING.
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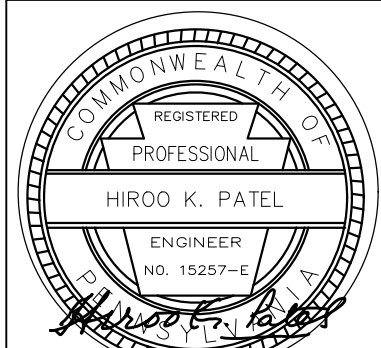
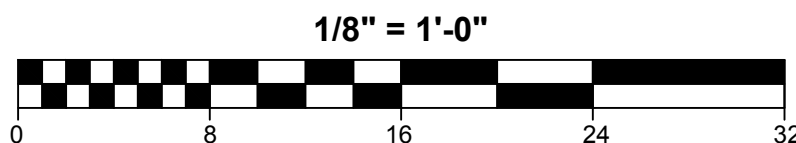
EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-1	BATH EXHAUST	POWDER ROOM	50	115/1/60	15	25	BROAN	XB50	FOR POWDER ROOM
EF-2	BATH EXHAUST	SMALL BATHROOM	80	115/1/60	15	25	BRONE	XB80	FOR SMALL BATHROOM
EF-3	BATH EXHAUST	LARGE BATHROOM	140	115/1/60	15	25	BRONE	XB140	FOR LARGE BATHROOM

- NOTES:
- EXISTING WALL EXHAUST SHALL BE REMOVED. NEW FAN SHALL BE INSTALLED ON CEILING NEAR SHOWER. EXTEND POWER IN ACCORDANCE WITH NEC.
  - PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

RANGE HOOD SCHEDULE									
TAG	DESCRIPTION	AREA SERVED	CFM	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
RH-1	RANGE HOOD	KITCHEN	110-300	115/1/60	15	25	BROAN	QP130	30 INCH WIDE

- NOTES:
- PROVIDE BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
CONSULTING ENGINEERS  
CARNEGIE, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

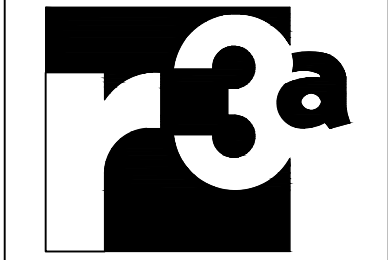
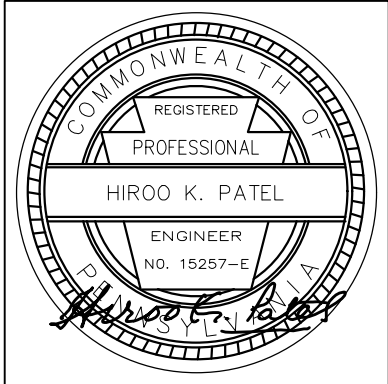
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Family  
Community  
- Type M

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

H-122





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REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice  
Crawley High  
Rise - First  
Floor Plumbing  
Plan

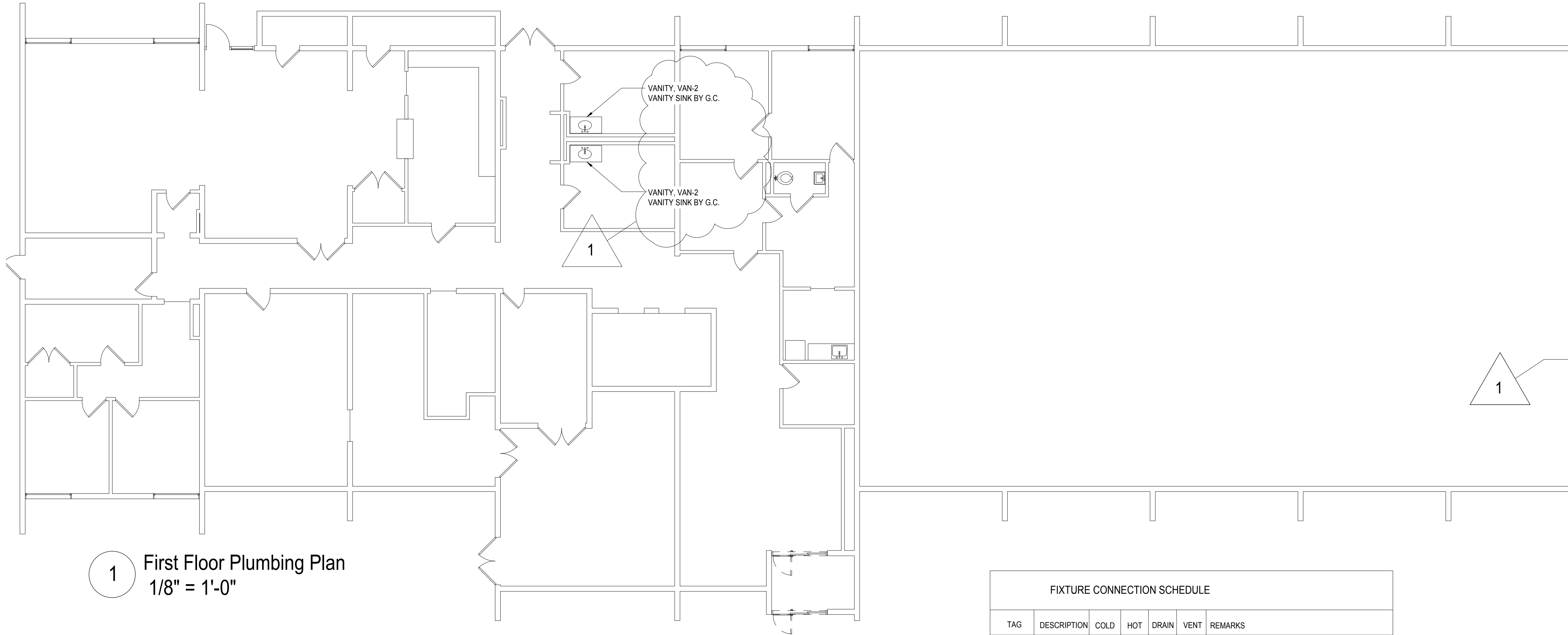
1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

P-101

## GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Plumbing Plan  
1/8" = 1'-0"

## REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

## GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK. PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. HAS PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY, WHERE NO CASEWORK PROTECTS PIPING AND IN UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER, TUB NOZZLE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.

## FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

## BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW.

### NOTE:

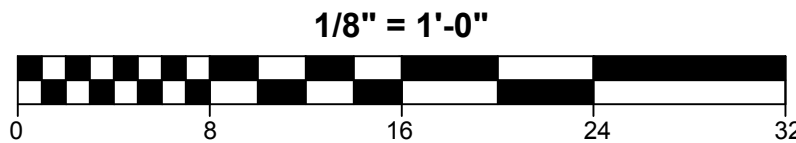
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

## NOTES

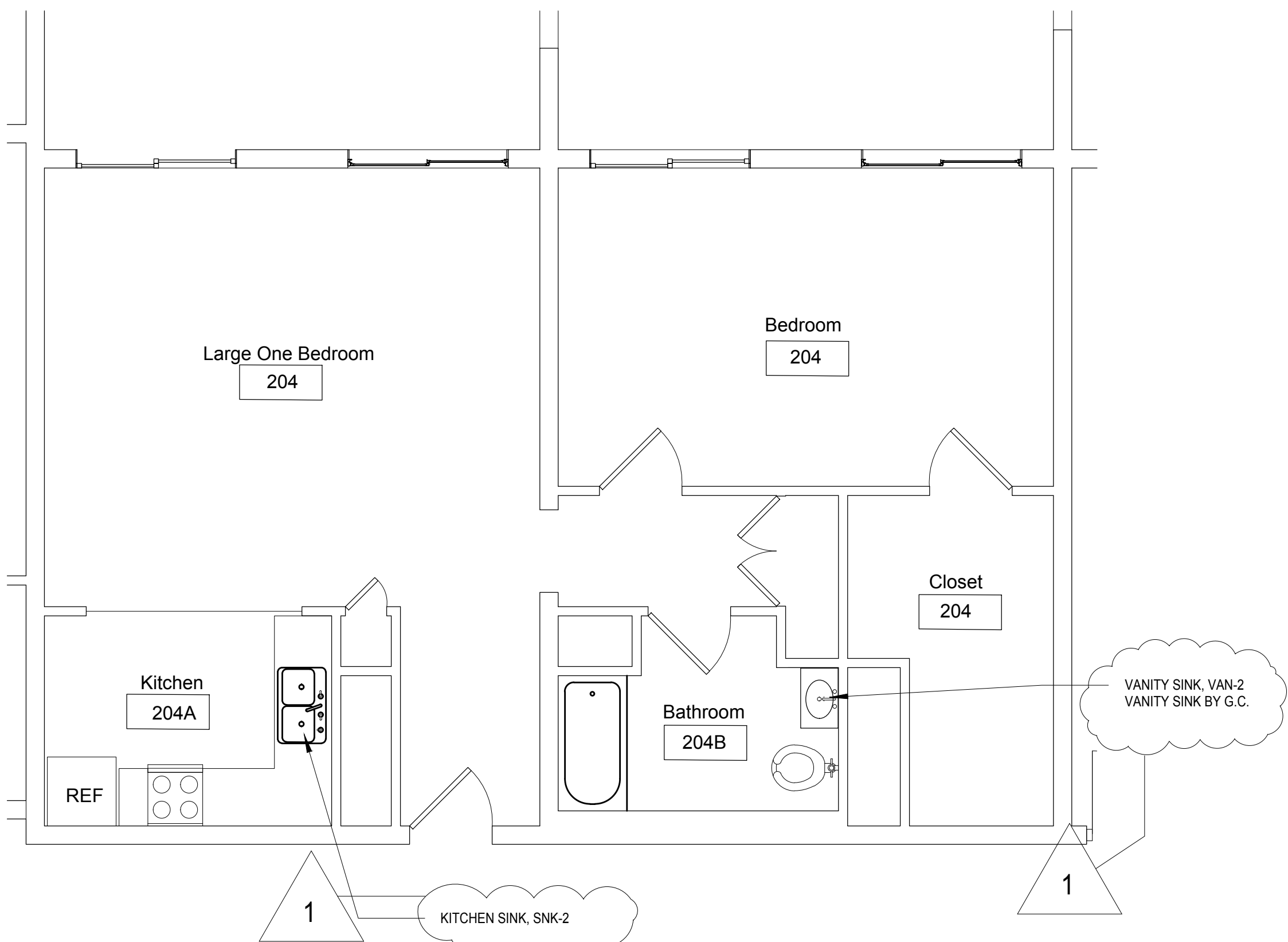
PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM, MOD. SKU PFM800HX, COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT AND CODE INFORMATION.

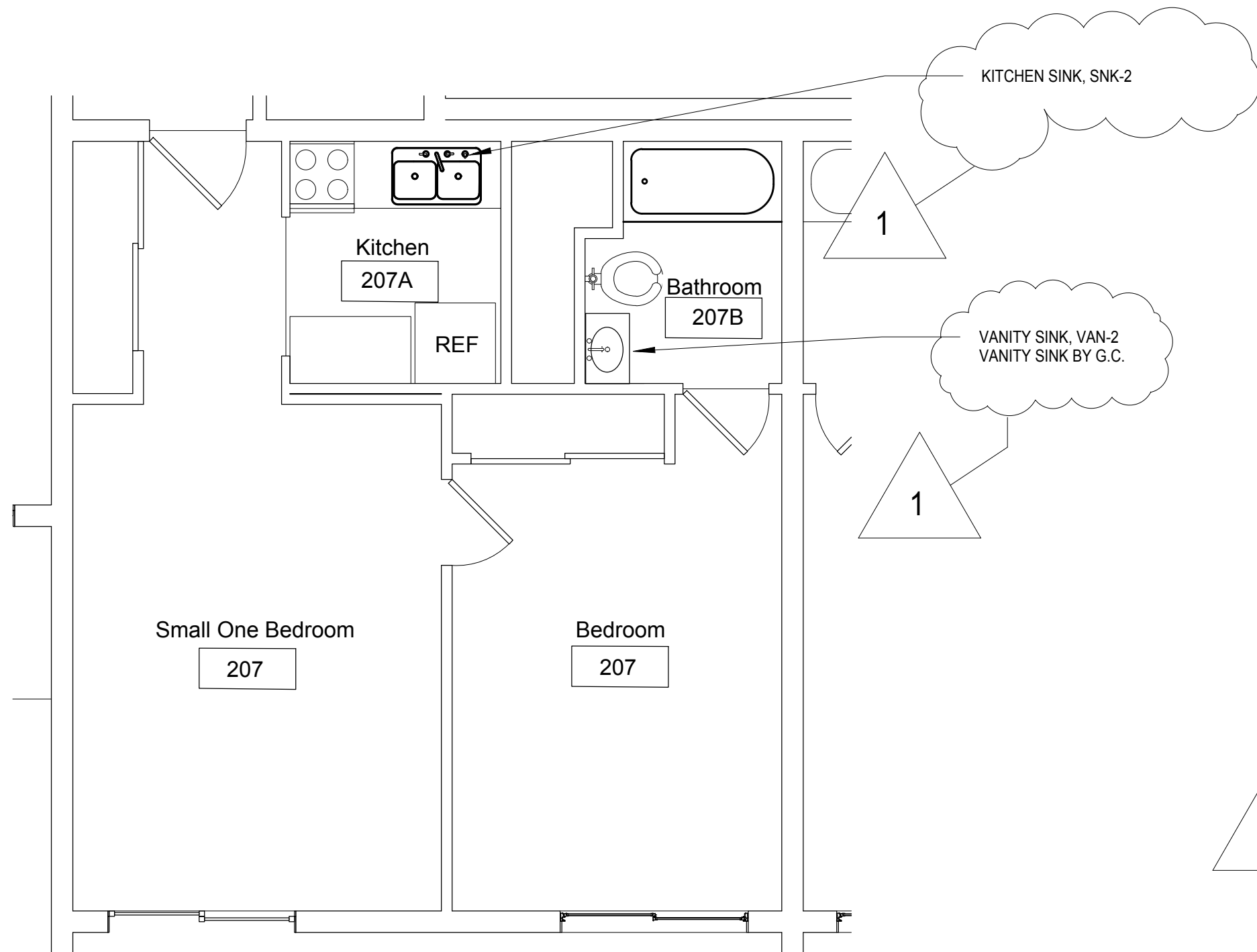






1 Typical Large One Bedroom Enlarged Plumbing Plan  
1/4" = 1'-0"

NOTICE: THE BUILDING WILL BE OCCUPIED  
DURING DEMOLITION AND CONSTRUCTION.



2 Typical Small One Bedroom Enlarged Plumbing Plan  
1/4" = 1'-0"

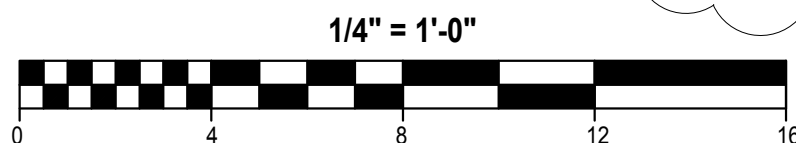
REFERENCE NOTES	
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

**NOTES**

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU:PFM800HX. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

### GENERAL NOTES

- THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIGHER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.
- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES AFFECTED BY THIS CONTRACTOR, IF PREVIOUSLY PAINTED BY G.C.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES WHERE NO CASEWORK PROTECTS PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE/TUB SHOWER VALVE AND SHOWER HEAD.
- GENERAL PRIME CONTRACTOR TO REMOVE AND DISCARD EXISTING VANITY BASE, CABINET AND INTEGRAL SINK, FAUCET AND COUNTERTOP OR WALL MOUNTED UNIT.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. PC TO DISCONNECT DRAIN FROM SINK REMOVED BY GC.
- PC TO FURNISH AND INSTALL UFAS/ACCESSIBLE WALL MOUNTED SINK AND FAUCET. PIPING PROTECTION AND WALL CARRIER. PATCH DRYWALL SMOOTH AND PREPARE WALL FOR PAINT. TYPICAL AT ALL HIGH RISE UFAS/ACCESSIBLE UNITS. REFER TO DWG. G-101 AND G-110 FOR UNIT TYPES. REFER TO DWG. A-001 FOR MOUNTING HEIGHTS.



### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD3322BBG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

NOTE:

- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x16	VITREOUS CHINA	SLOAN	SS-9003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING. ANGLE VALVES REPLACE WITH NEW

NOTE:

- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

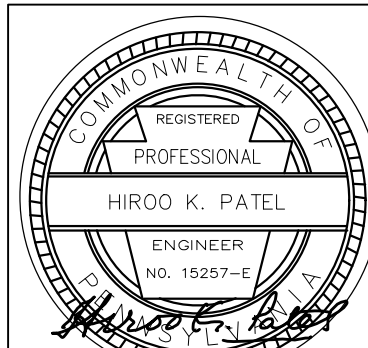
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TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR  
BUILDINGS, APARTMENT UNITS AND  
CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 | 9.11.17 | REV 1/ADDENDA 2

Bernice Crawley  
High Rise - Small  
& Large One  
Bedroom  
Enlarged  
Plumbing Plan

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

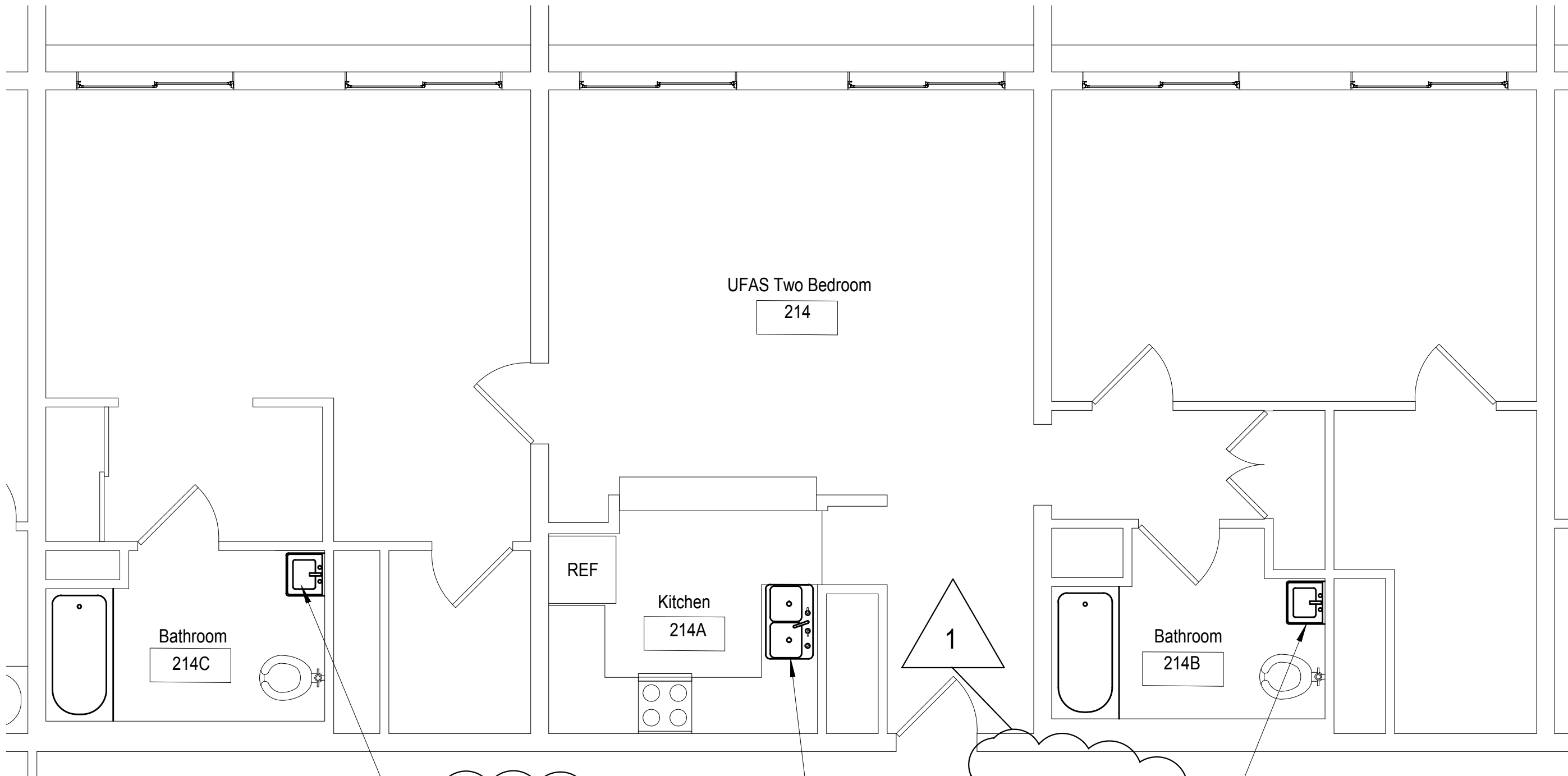


REFERENCE NOTES	
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. INSULATE DRAIN LINE. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)
UFAS BATH VANITY	REMOVE AND DISCARD EXISTING VANITY. COUNTERTOP AND FAUCET. PROVIDE AND INSTALL UFAS COMPLIANT VITREOUS WALL MOUNTED SINK, FAUCET AND PIPE INSULATION. PLUMBING CONT TO DISCONNECT AND RECONNECT PLUMBING TO SINK.

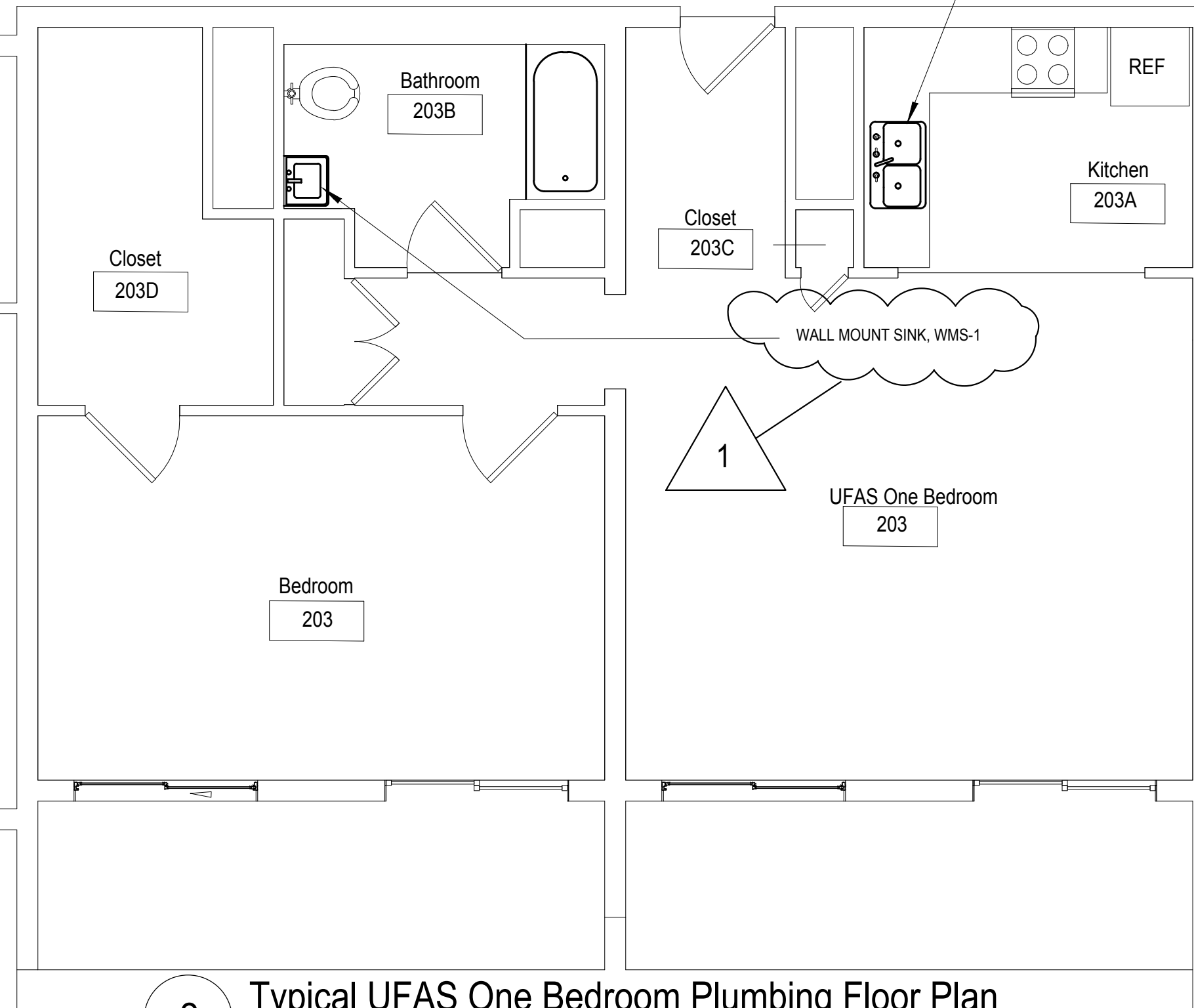
#### GENERAL NOTES

- THERE ARE MORE THAN ONE SMALL BEDROOM AND ONE LARGE BEDROOM UNITS IN THIS BUILDING. CONTRACTOR SHALL INCLUDE ALL UNITS OF THESE SIZES IN HIS/HER BID PACKAGE. SEE NOTE TO BOTTOM RIGHT OF THIS DRAWING FOR ADDITIONAL INFORMATION.
- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL.
- REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB/SHOWER VALVE AND SHOWER HEAD.
- UFAS BATH FLOOR TILE NOT BEING REPLACED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. PC TO DISCONNECT DRAIN FROM SINK REMOVED BY GC.
- PLUMBING CONTRACTOR TO FURNISH AND INSTALL UFAS/ACCESSIBLE WALL MOUNTED SINK AND FAUCET. PIPING PROTECTION AND WALL CARRIER. PATCH DRYWALL SMOOTH AND PREPARE FOR PAINT. TYPICAL AT ALL HIGH RISE UFAS/ACCESSIBLE UNITS. REFER TO DWG G-101 AND G-110 FOR UNIT TYPES. REFER TO DWG A-001 FOR MOUNTING HEIGHTS.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



Typical UFAS Two Bedroom Plumbing Floor Plan  
1/4" = 1'-0"



Typical UFAS One Bedroom Plumbing Floor Plan  
1/4" = 1'-0"

KITCHEN SINK SCHEDULE						
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	20 GAUGE 304 STAINLESS	AMER STANDARD 22DB.6332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE						
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18x5	VITREOUS CHINA	SLOAN SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64820, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE						
TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.

THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.

FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.

CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME AVAILABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.

MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUDING BUT NOT LIMITED TO PHRA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCB, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

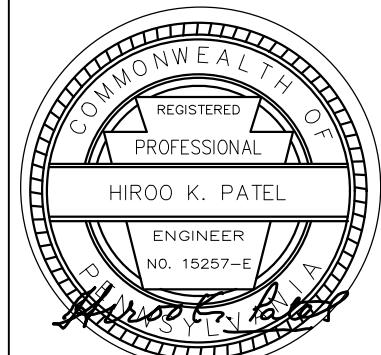
EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

#### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNIT AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

Tri-State DESIGN AND DEVELOPMENT  
CONSULTING ENGINEERING  
CORPORATION, PITTSBURGH, PA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

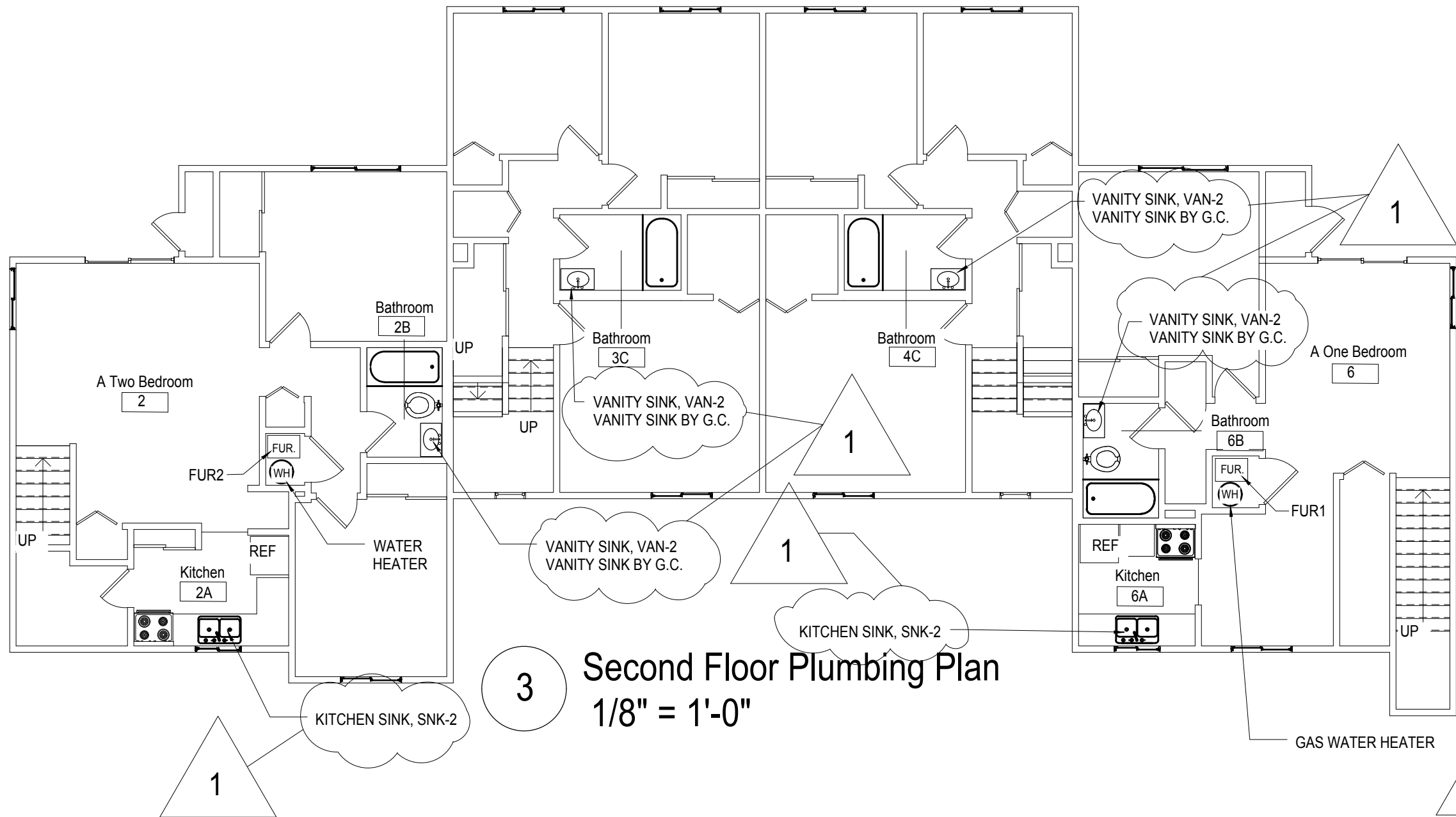
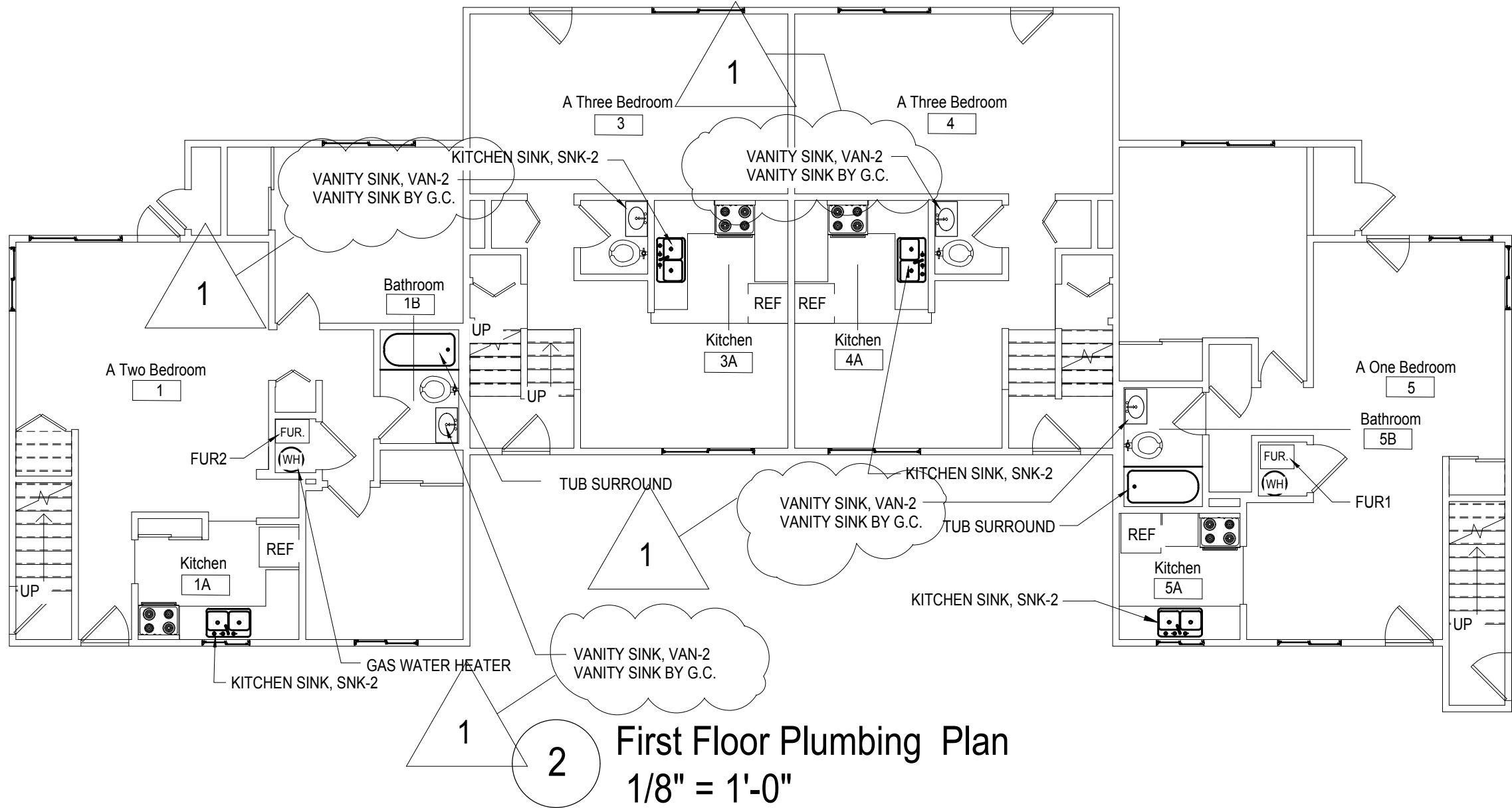
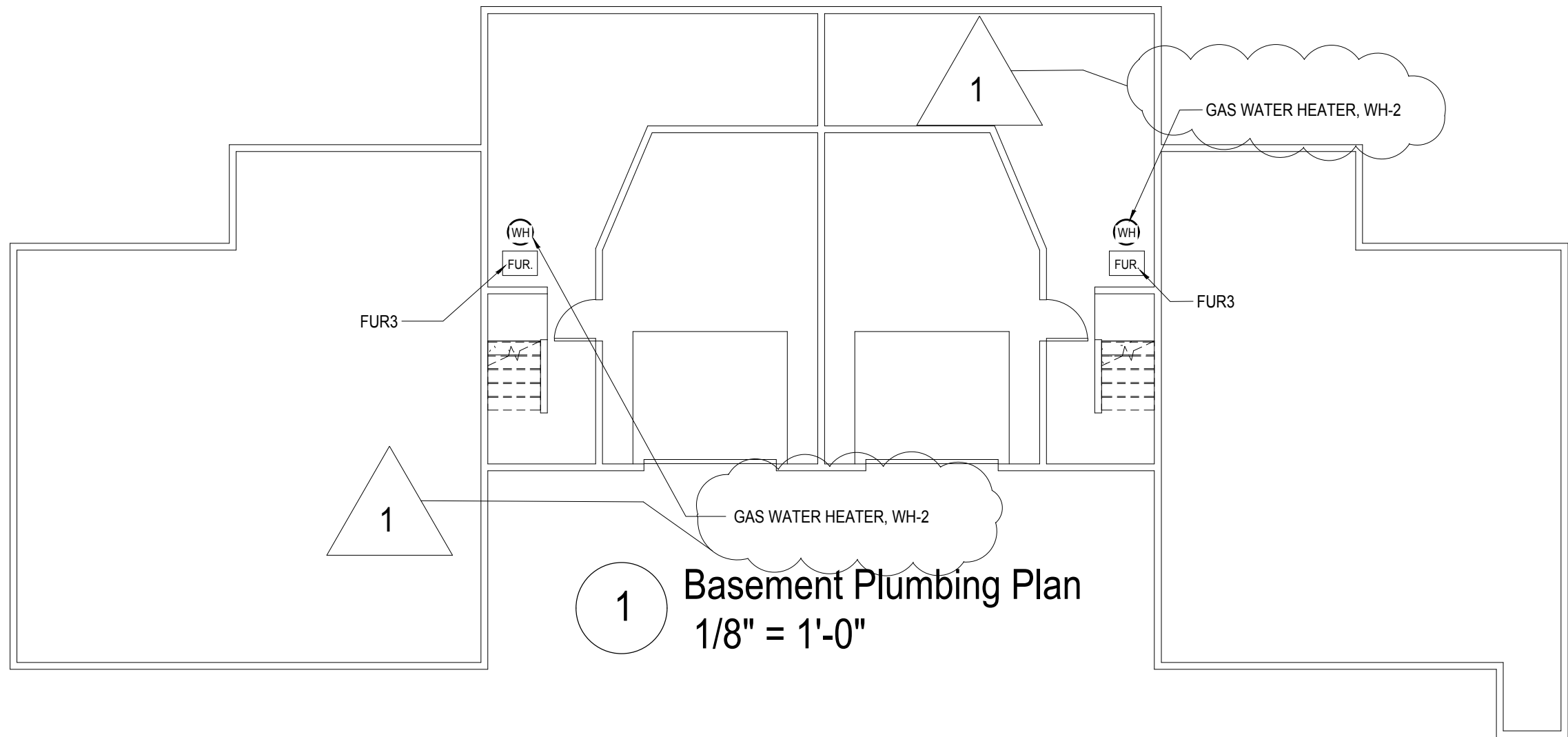
Bernice Crawley  
High Rise - UFAS  
One & Two  
Bedroom Enlarged  
Plans

1 | 9.11.17 | REV 1/ADDENDA 2

R3A PROJECT # 15074B

P-106

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



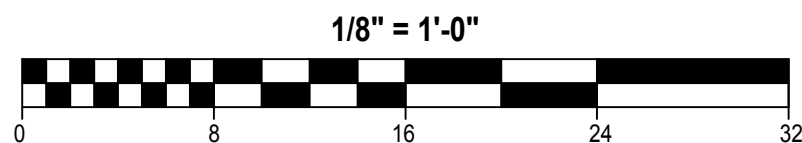
REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P-TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS GEN CONT REMOVES KITCHEN GAS RANGE. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.



#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	AMER STANDARD 22DB.63322838.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD 22DB.63322838.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF MODEL	REMARKS
VMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM				REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW.

- NOTE:
- FAUCET: MOEN 4" CHATEAU L84620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O SMITH GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC, 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O SMITH GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC, 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

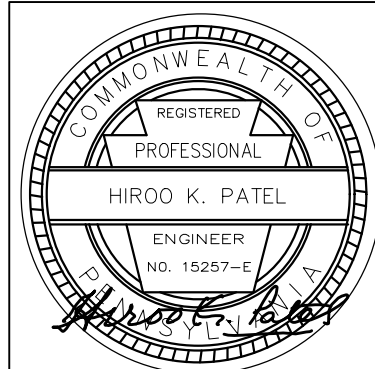
#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR-BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFMB00HX. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARUTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1 ADDENDA 2

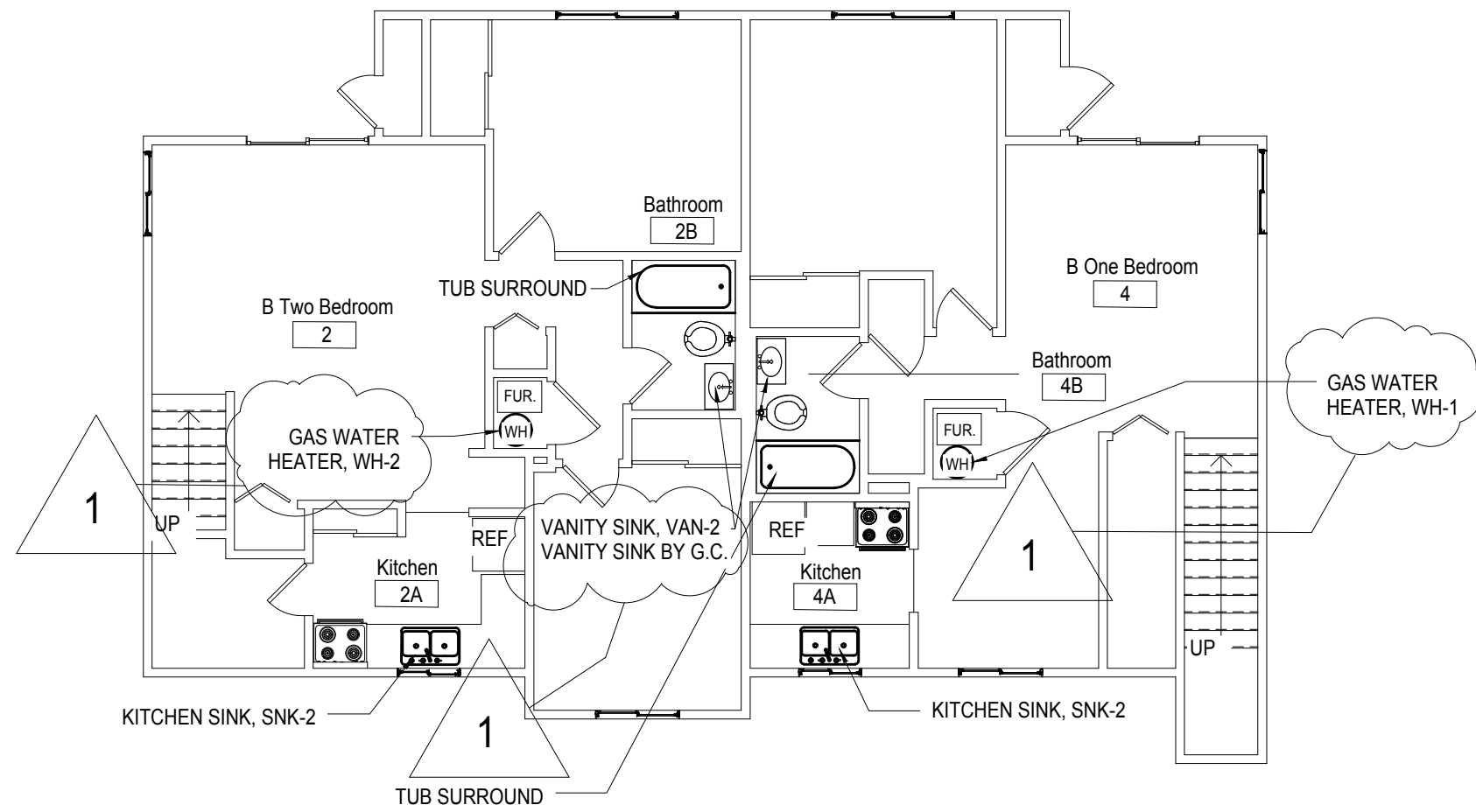
Revision: Add. 1 8-30-2017

Family Community  
- Type A

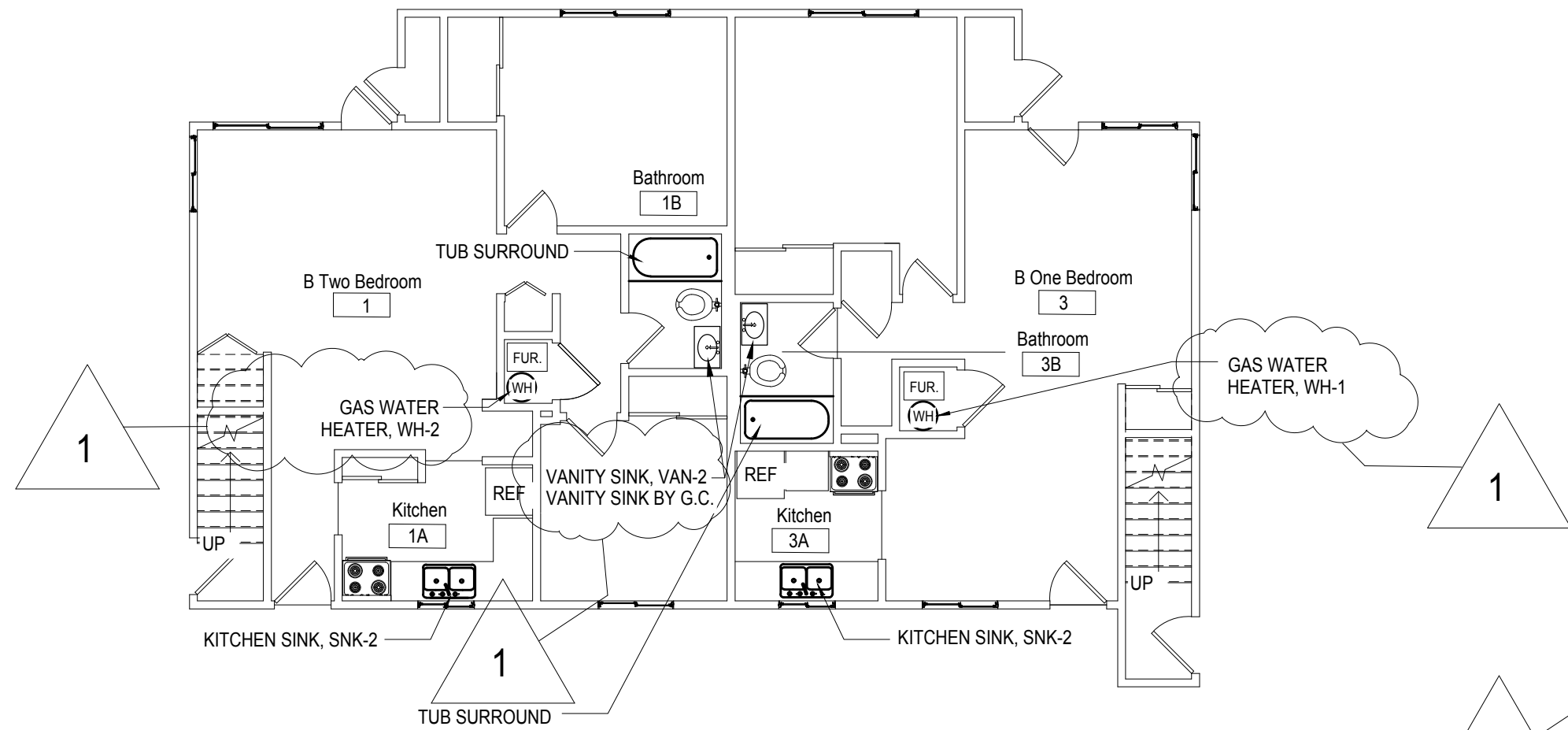
1 9.11.17 REV 1 ADDENDA 2  
R3A PROJECT # 15074B



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Plan  
1/8" = 1'-0"



2 Second Floor Plan  
1/8" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH GC. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- G.C. TO REMOVE KITCHEN RANGE FOR NEW FINISHES. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 226 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD3322BGG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

NOTE:  
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER, REPLACE WITH NEW

NOTE:  
1. FAUCET: MOEN 4" CHATEAU 164620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

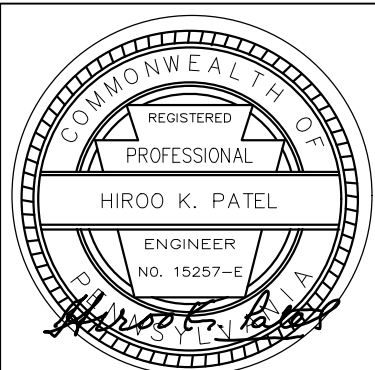
### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS, AN COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

1 | 9.11.17 | REV 1 | ADDENDA 2

Revision: Add. 1 8-30-2017

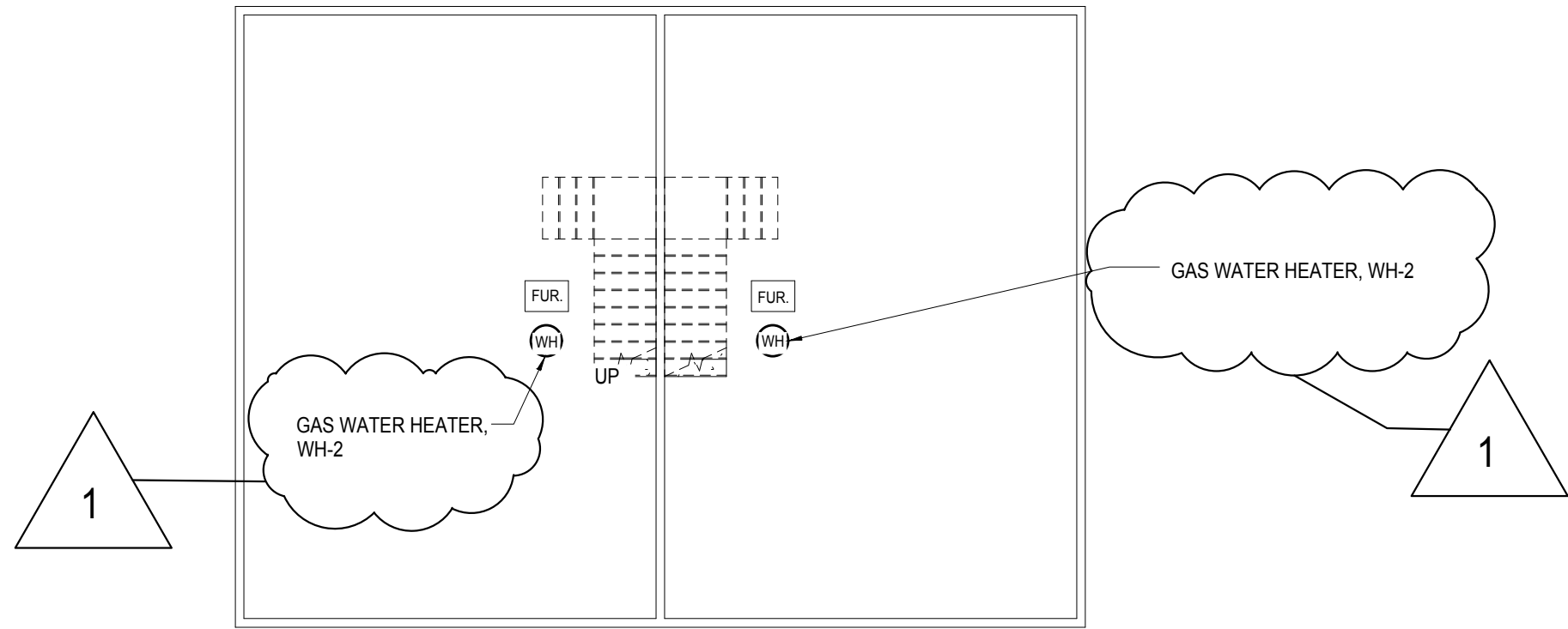
Family Community  
- Type B

1 | 9.11.17 | REV 1 | ADDENDA 2

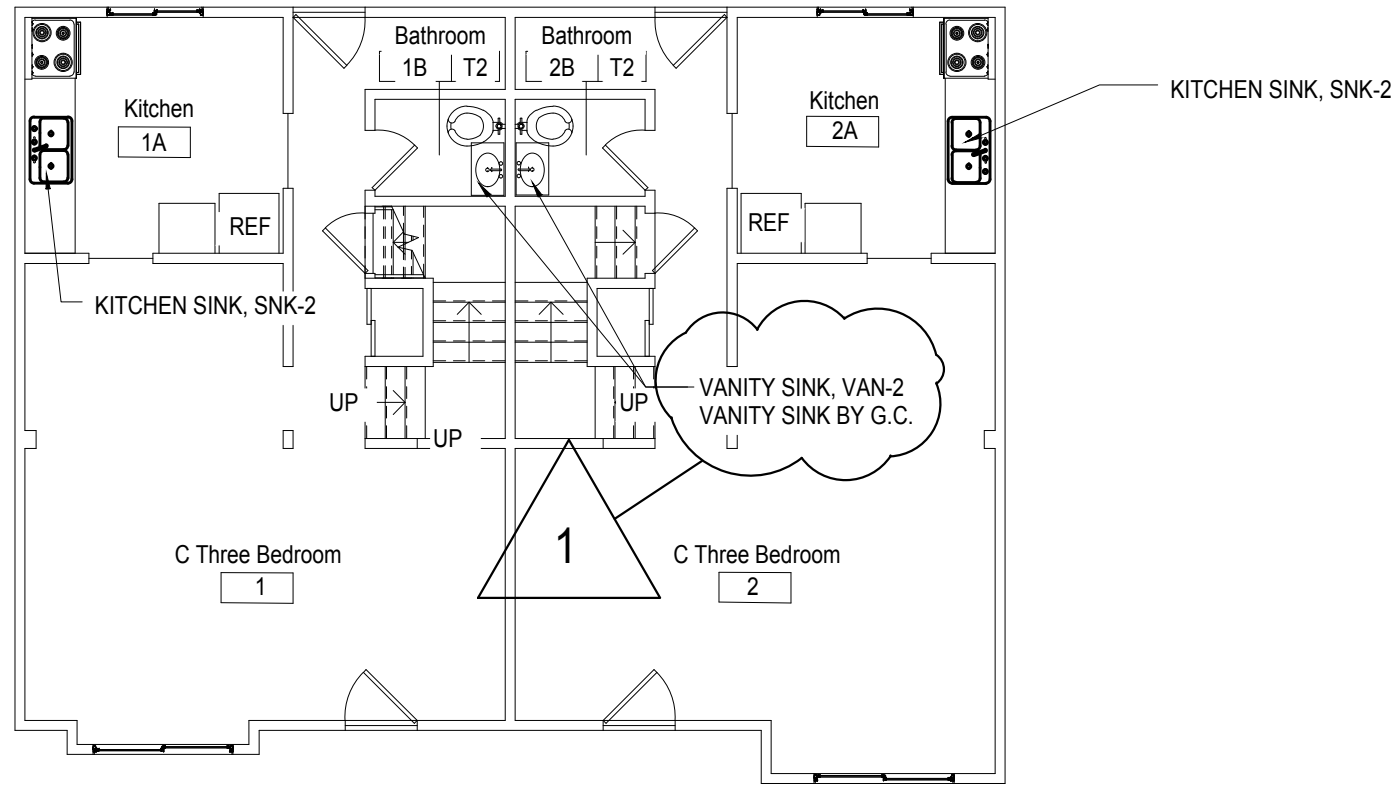
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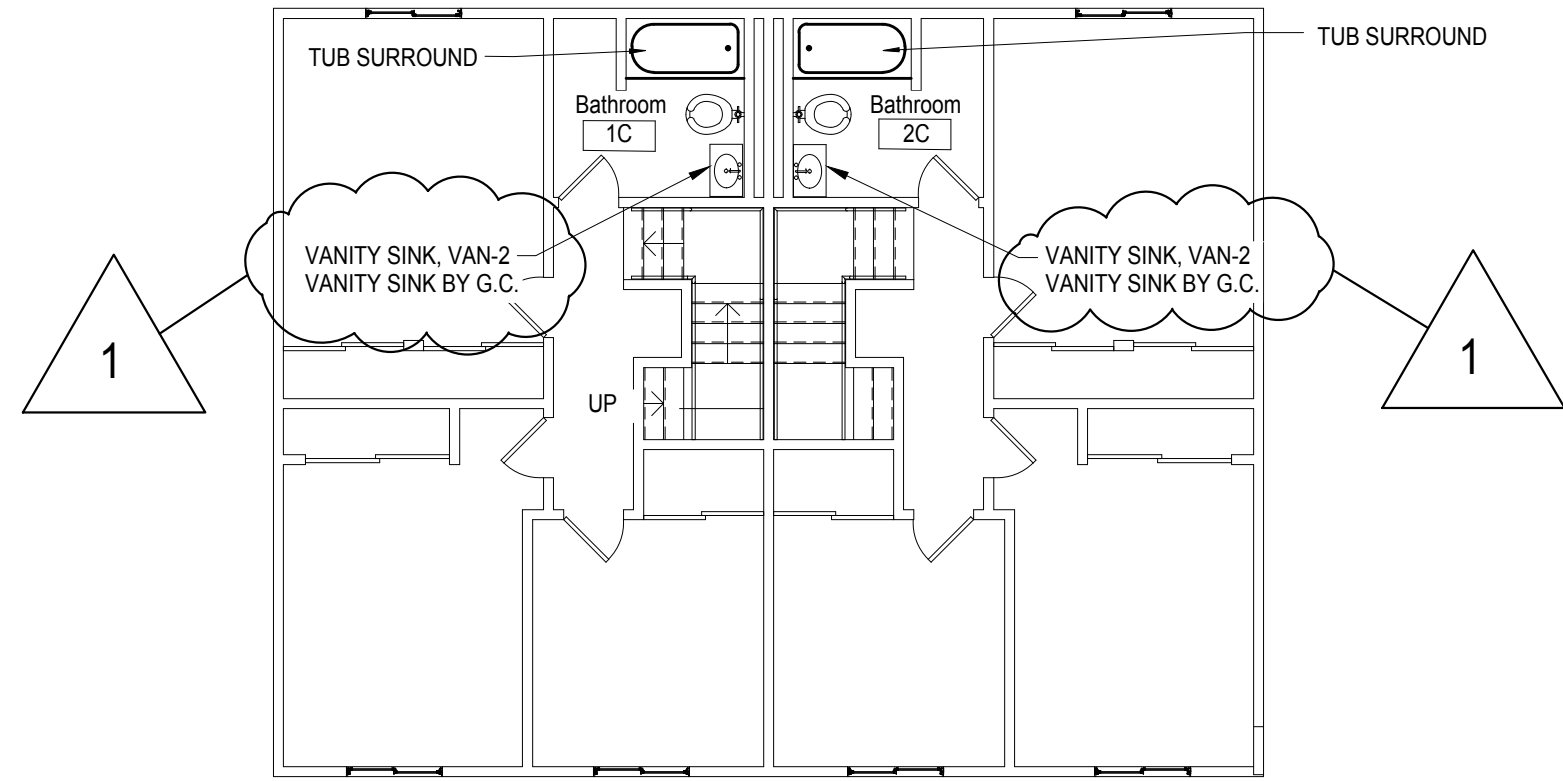
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



2 First Floor Plumbing Plan  
1/8" = 1'-0"

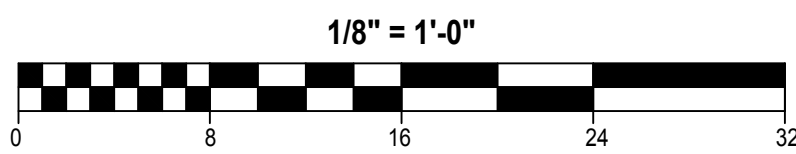


3 Second Floor Plumbing Plan  
1/8" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.



GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH GC. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- G.C. TO REMOVE KITCHEN RANGE FOR NEW FINISHES. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
VAN-1	BATHROOM SINK	BATHROOM	28x18	VITREOUS CHINA	ECOAN	SS-2003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REPLACE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW.

- NOTE:
- FAUCET: MOEN 4" CHATEAU L84620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTES

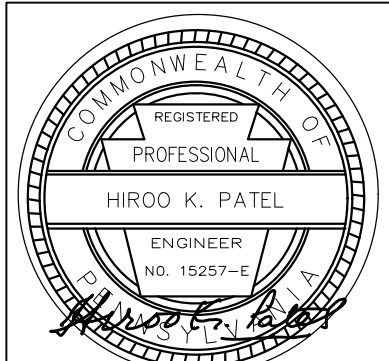
A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE, REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SET OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINISH REQUIREMENTS AND REQUIRE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIBLIE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSTALL WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 226 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct.  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1 | ADDENDA 2

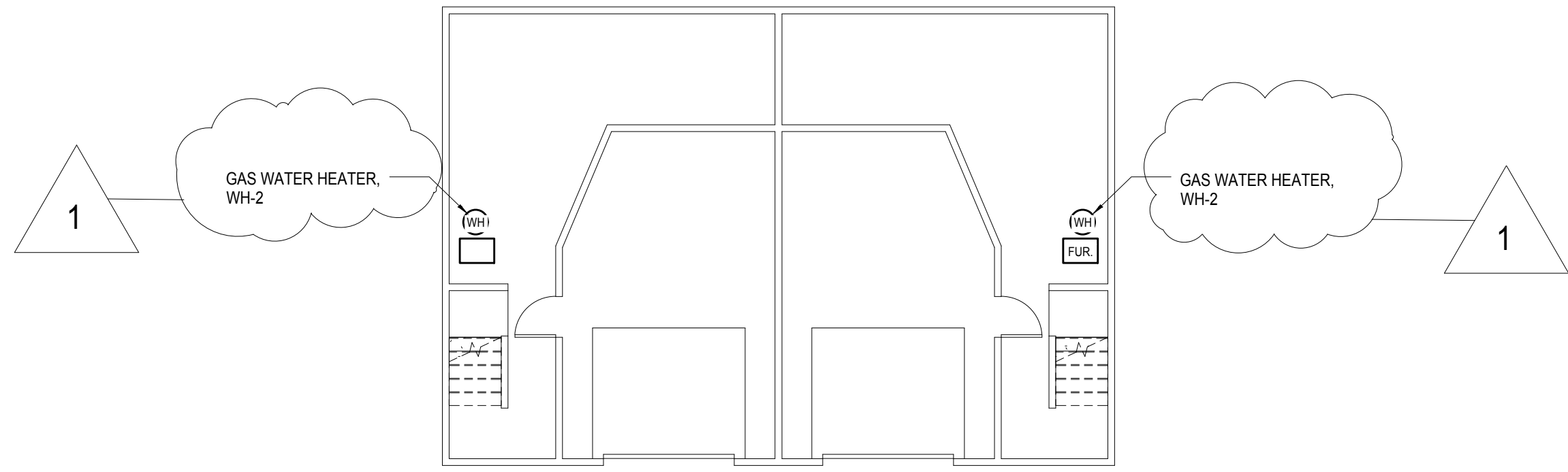
Revision: Add. 1 8-30-2017

Family Community  
- Type C

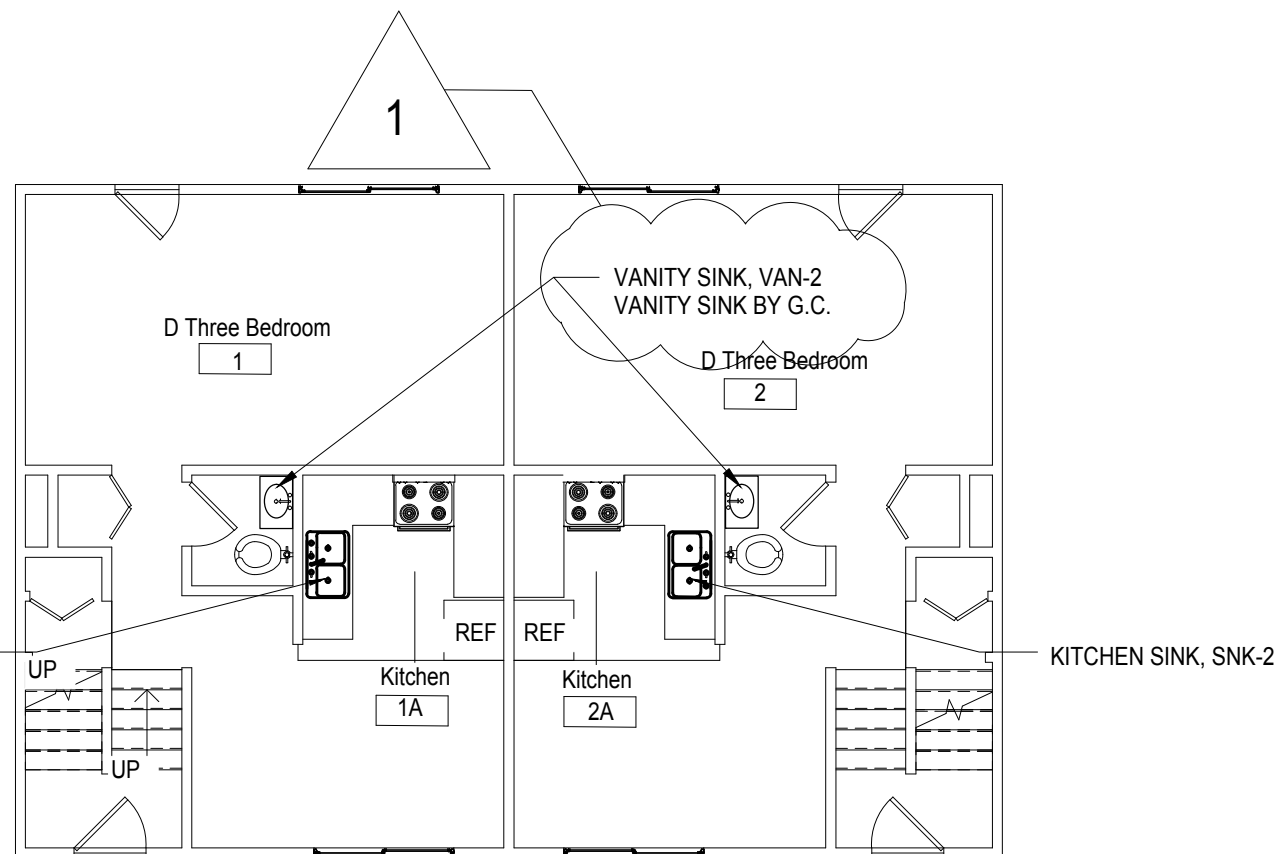
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R3A PROJECT # 15074B



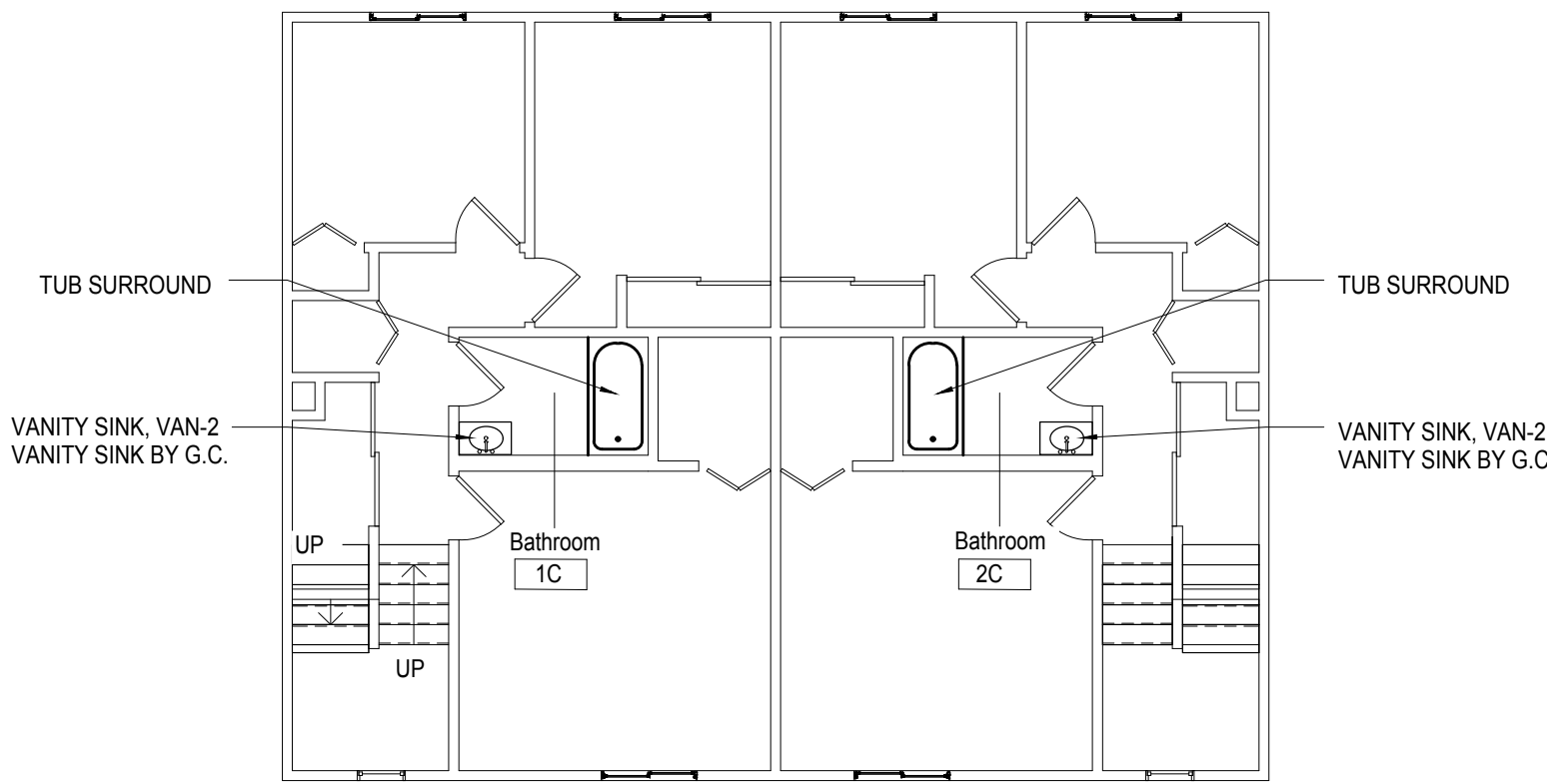
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



2 First Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

NOTES

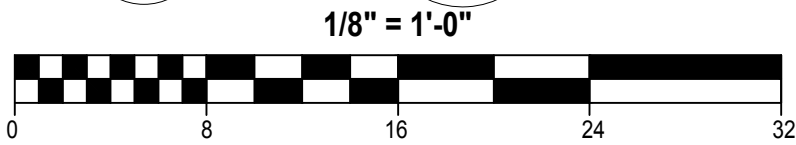
PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFMB00HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING/ SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING. FINAL STOVE CONNECTION BY P.C.
- G.C. TO REMOVE KITCHEN RANGE FOR NEW FINISHES. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.



NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115V/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115V/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18x5	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

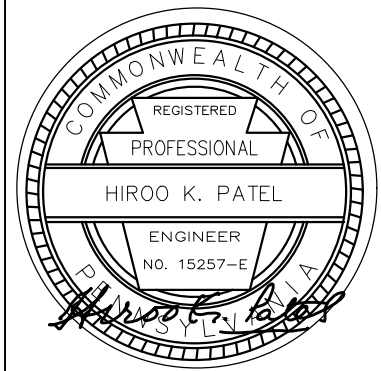
FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNIT AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION/ ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, SITTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION DOCUMENTS

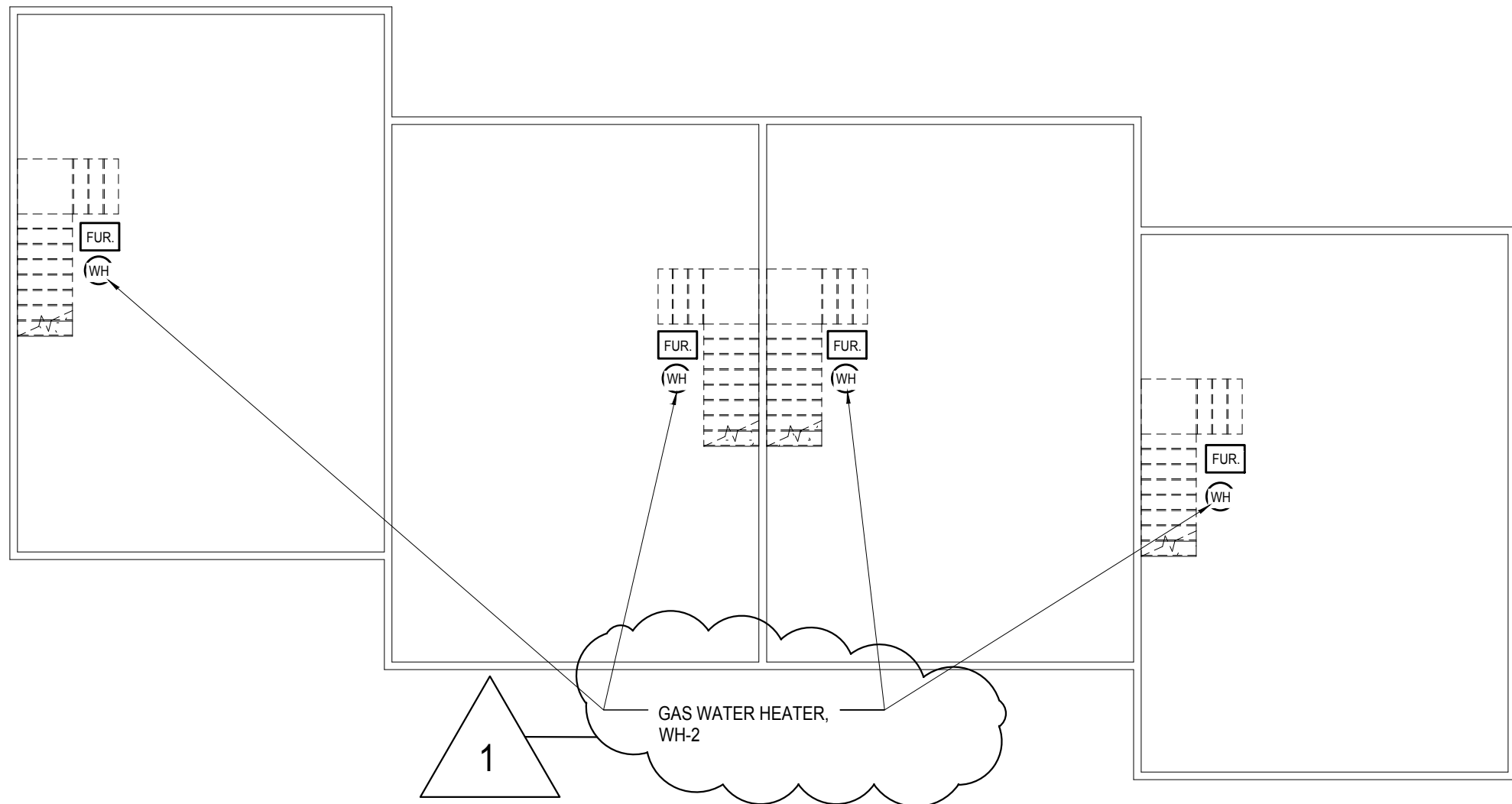
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

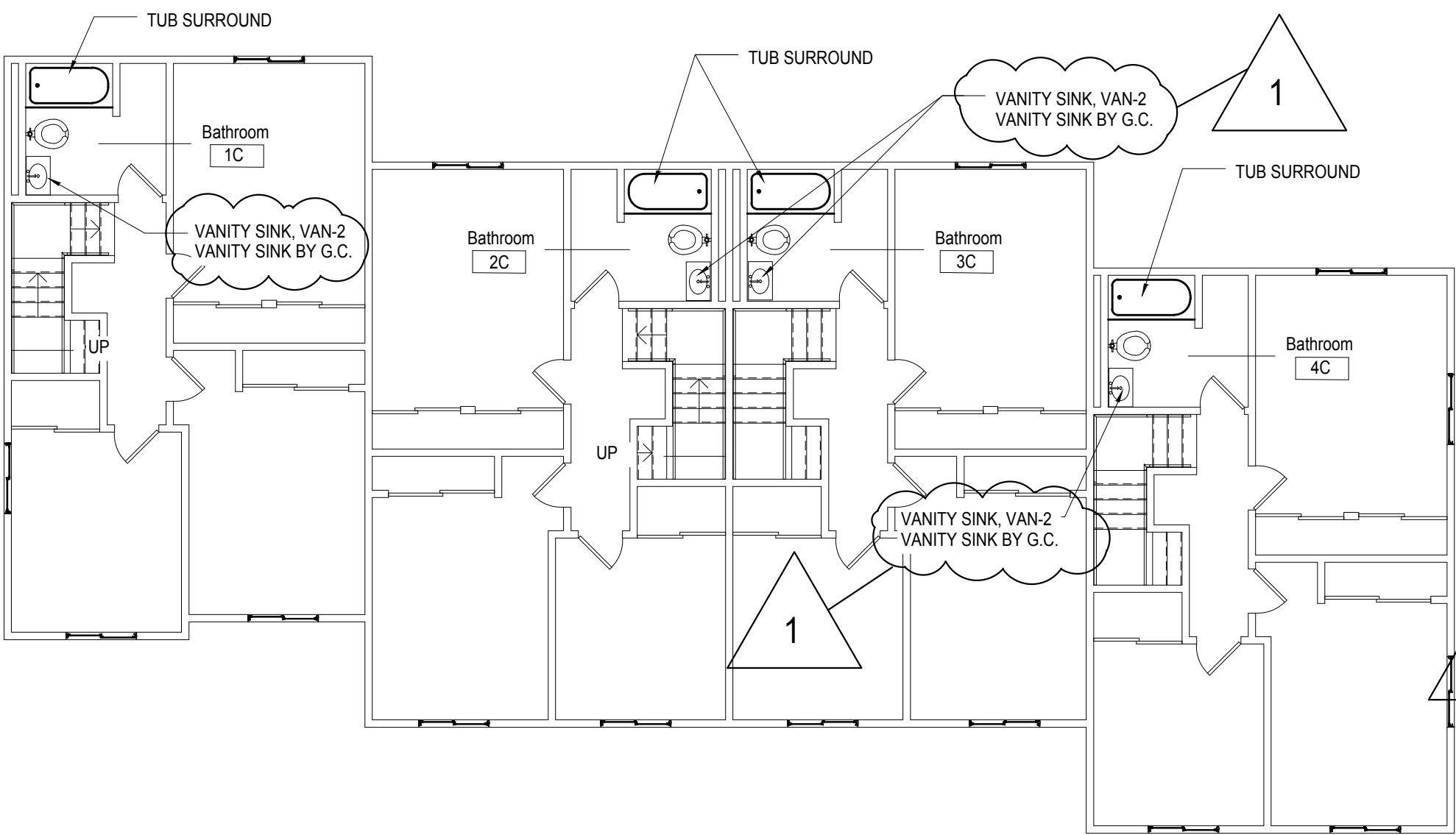
Revision: Add. 1 8-30-2017

Family Community  
- Type D

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 150748



1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"

REFERENCE NOTES	
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

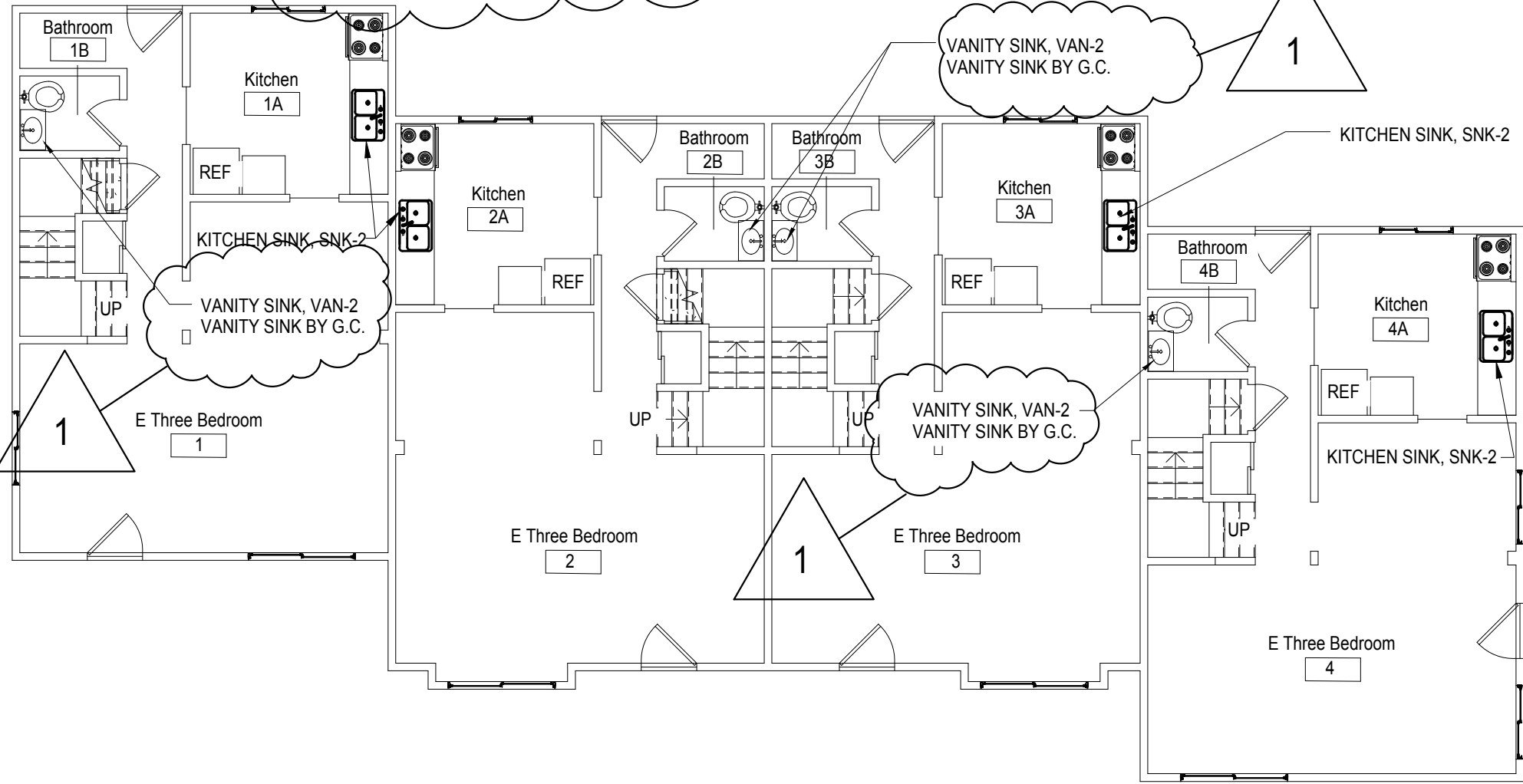
#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH GC. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- G.C. TO REMOVE KITCHEN RANGE FOR NEW FINISHES. PLUMBING CONT TO REMOVE FLEX GAS PIPE AND INSTALL NEW PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

#### NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVIA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE; REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES; AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



2 First Floor Plumbing Plan  
1/8" = 1'-0"

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PF600HX, COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	20 GAUGE 304 STAINLESS	ELKAY	ECTSRAD3322BBG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	Z2DB.833223S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

NOTE:  
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW

NOTE:  
1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL

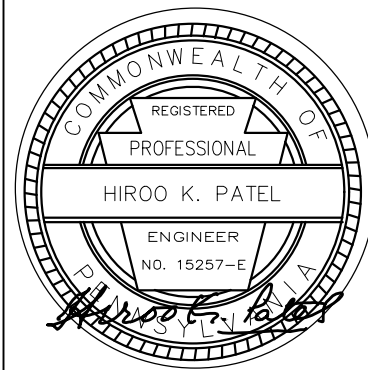
#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUB-CONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDINGS DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
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- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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NOTE:  
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#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

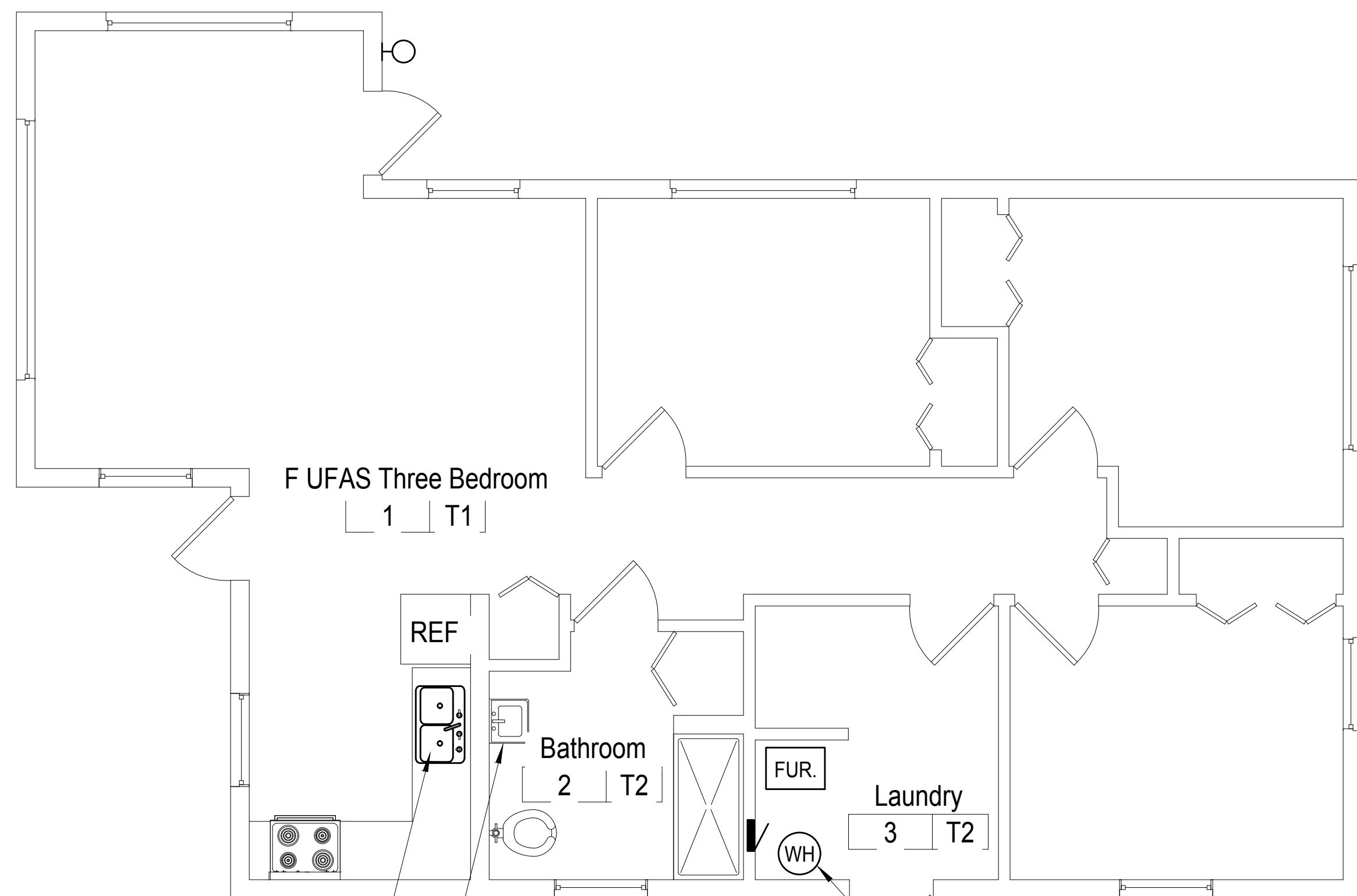
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Revision: Add. 1 8-30-2017

Family Community  
- Type E

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B





1 First Floor Plumbing Plan  
1/4" = 1'-0"

REFERENCE NOTES		
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)	
KITCHEN SINK	LOCATE SUPPLY PLUMBING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)	
VANITY SINK	LOCATE SUPPLY PLUMBING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)	

## GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR. IF G.C. PREVIOUSLY PAINTED.
2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
3. PROVIDE TUBERO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
4. REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL.
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
6. REMOVE FAUCET, DRAIN AND SUPPLY PIPING AND REPLACE WITH NEW FAUCET, DRAIN, STRAINER AND SUPPLY PIPING TO BATH VANITY. EXISTING VANITY SINK TO REMAIN IN UFAS APARTMENT UNITS. WRAP DRAIN PIPE WITH INSULATION.

## NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER  
FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS  
IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR  
APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION  
SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS.  
PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL  
"NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE  
BIBBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O. SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP. 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O. SMITH	GAHH-50	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP. 2 INCH INSULATION, DRAIN PAN
							1			

NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, REAR CENTER DRAIN

NOTE:

1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
							REMOVE FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STRAINER.

NOTE:

1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

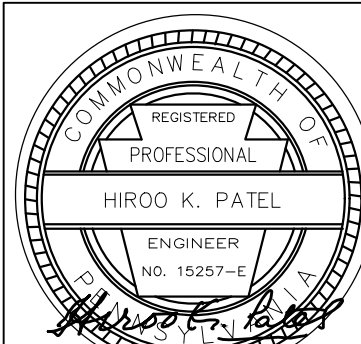
## FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

**NOTE:**  
SEE DWG G-101, G-102 AND G-110 FOR  
BUILDINGS, APARTMENT UNITS AND  
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7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME EXPOSED DURING DEMOLITION AND CONSTRUCTION, NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT TO REMAIN SHALL BE PROTECTED. THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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Management and  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

## REVISIONS

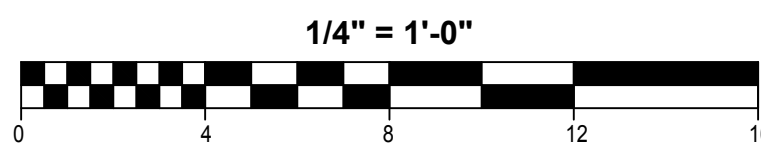
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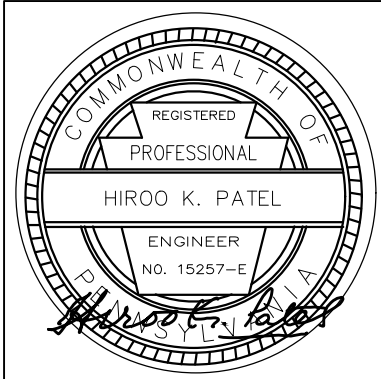
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Family  
Community -  
Type F UFAS

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Type G

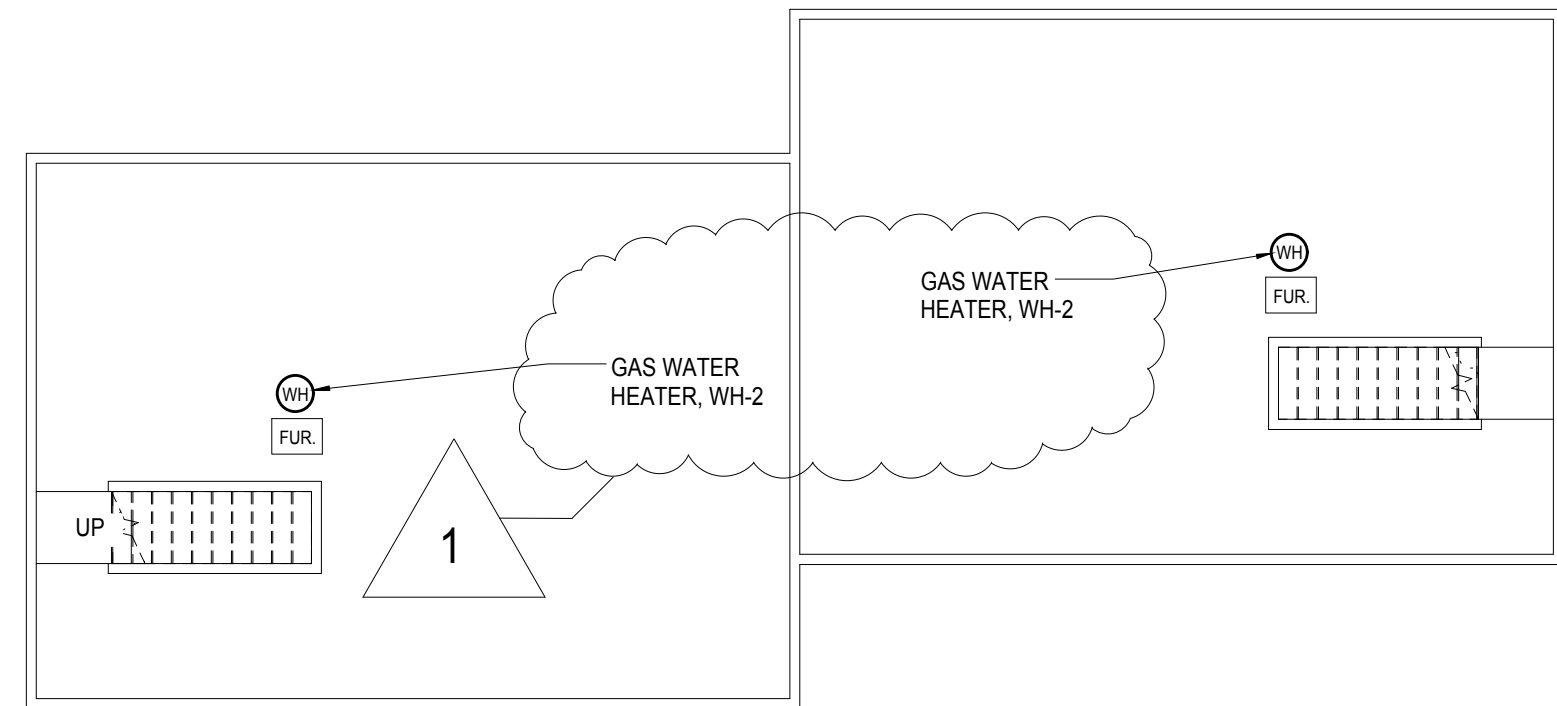
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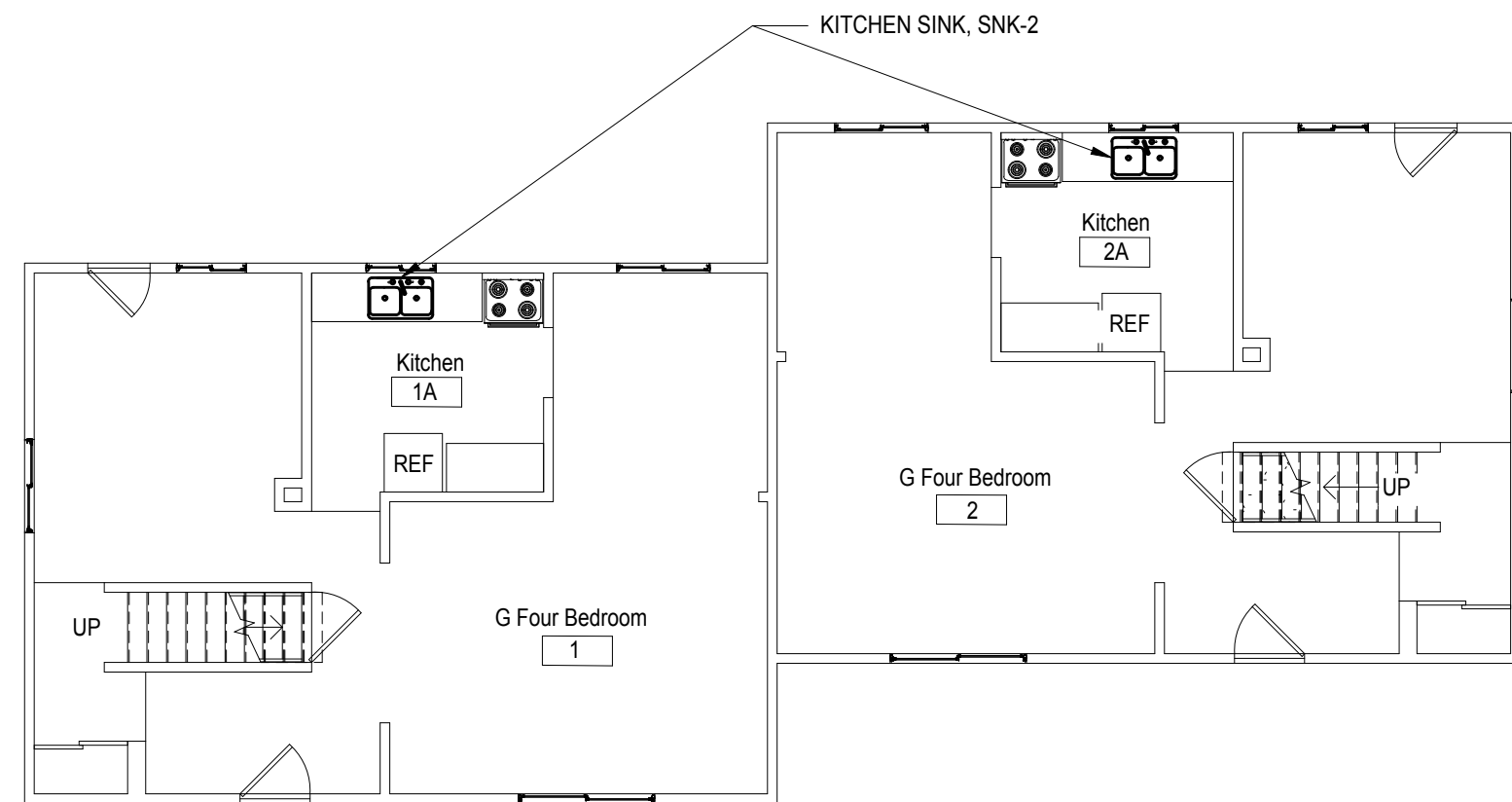
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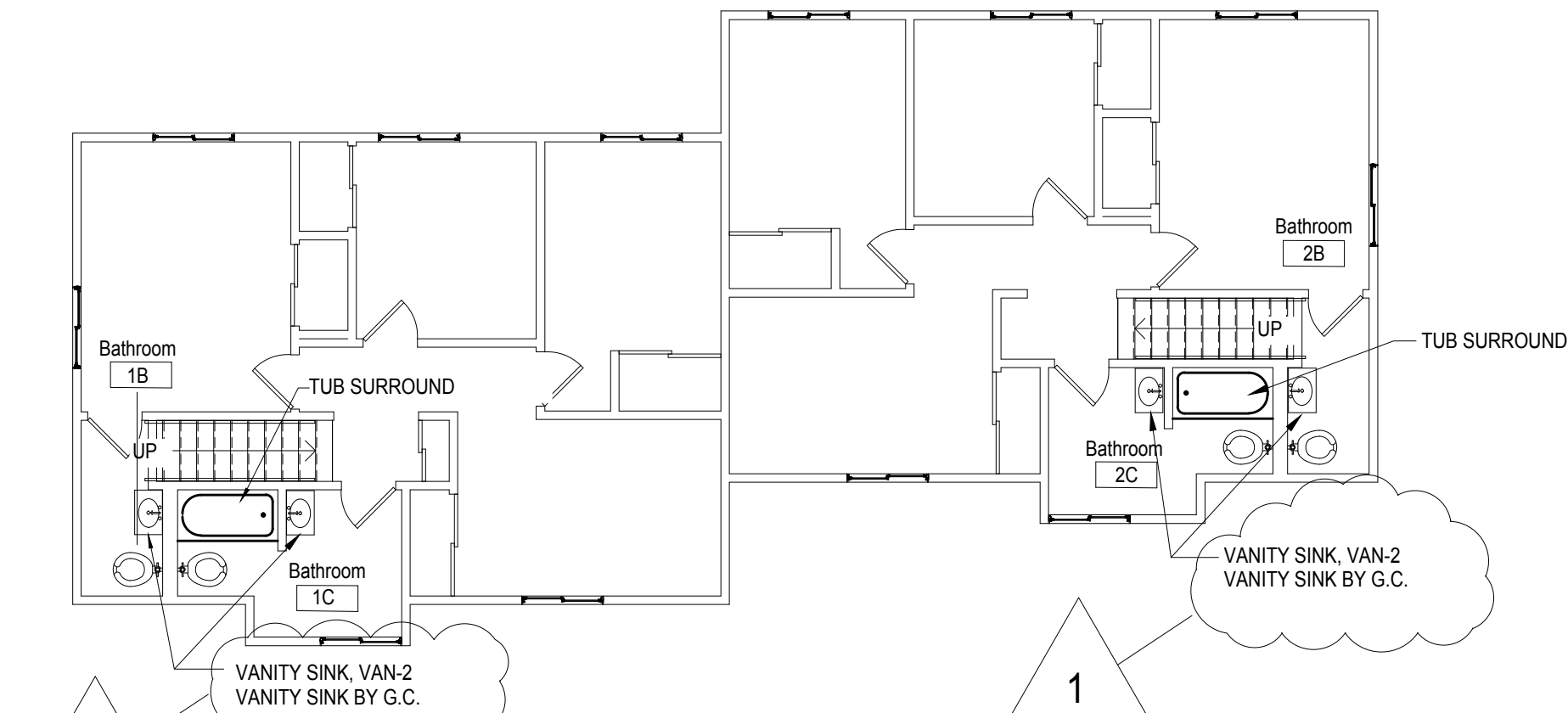
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- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/BC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE, REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE, MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



2 First Floor Plumbing Plan  
1/8" = 1'-0"



3 Second Floor Plumbing Plan  
1/8" = 1'-0"

#### REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH GC. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- G.C. TO REMOVE KITCHEN RANGE FOR NEW FINISHES. PLUMBING CONTRACTOR TO REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

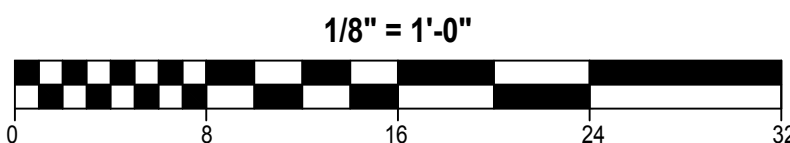
#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL. PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM80HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### PLUMBING NOTES:

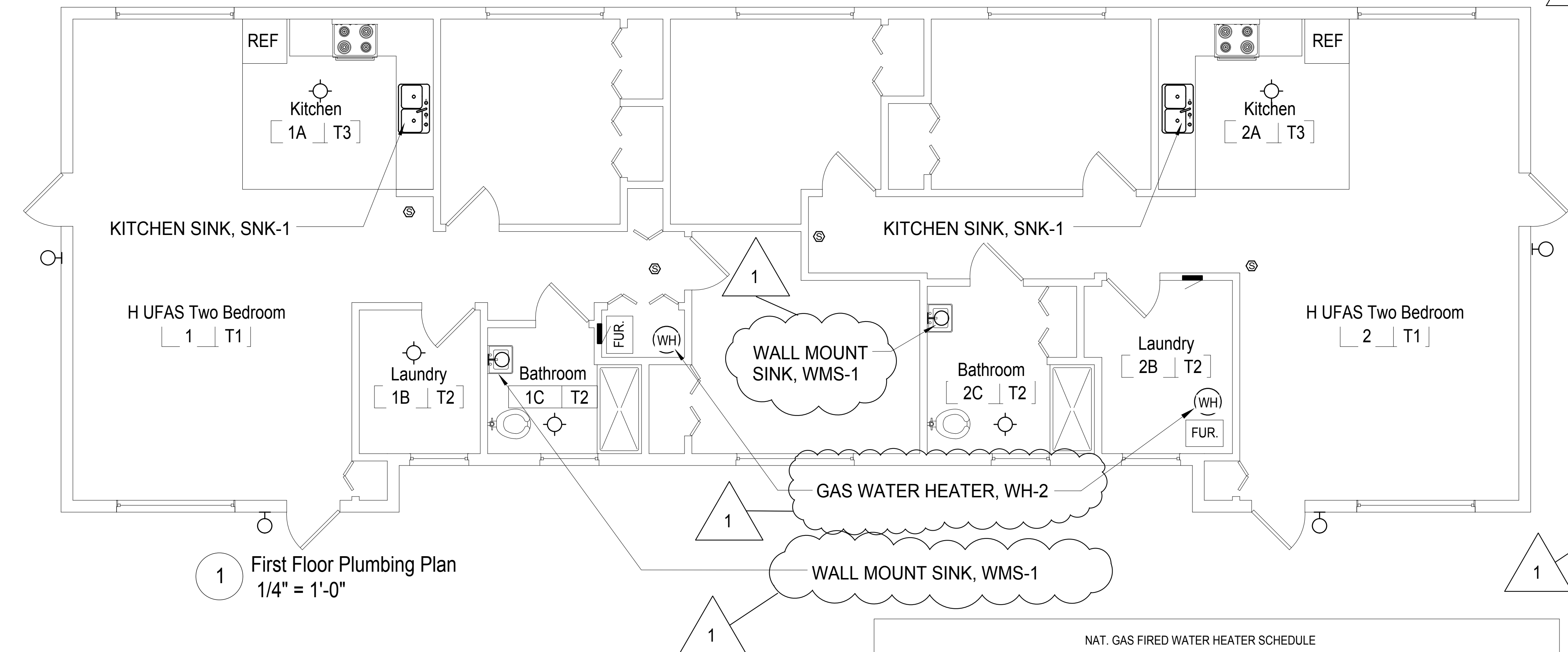
- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

NOTE:  
SEE DWG G-101, G-102, AND G-110 FOR  
BUILDINGS, APARTMENT UNITS AND  
CODE INFORMATION.





NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Plumbing Plan  
1/4" = 1'-0"

#### REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- UFAS FLOOR TILE NOT BEING REMOVED.
- REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
- AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES. REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX GAS PIPE OF SAME LENGTH OR MORE AND SIZE. FINAL STOVE CONNECTION BY P.C.
- REMOVE FAUCET, STRAINER, DRAIN AND SUPPLY PIPES AND REPLACE WITH NEW FAUCET, STRAINER, DRAIN AND SUPPLY PIPING TO BATH VANITY SINK. EXISTING VANITY SINK TO REMAIN IN UFAS/ADA APARTMENT UNITS. WRAP DRAIN PIPE WITH INSULATION.

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PF1800H. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC. 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC. 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, REAR CENTER DRAIN

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION REMOVE FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STRAINER.

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

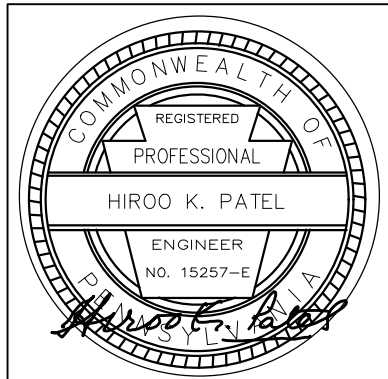
#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE GENERAL CONTRACTOR AND TRADE SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE/DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARTUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS). UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

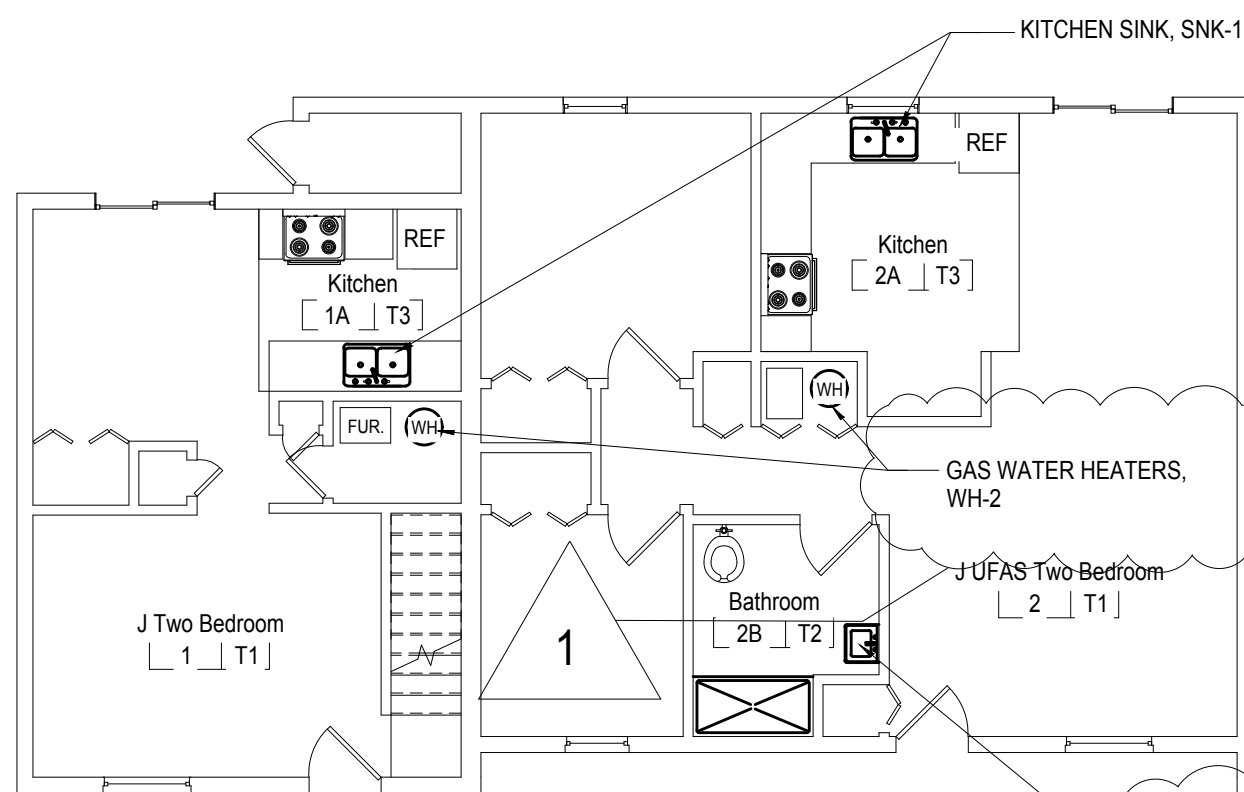
REVISIONS	
1	9.11.17 REV 1/ADDENDA 2

Revision: Add. 1 8-30-2017

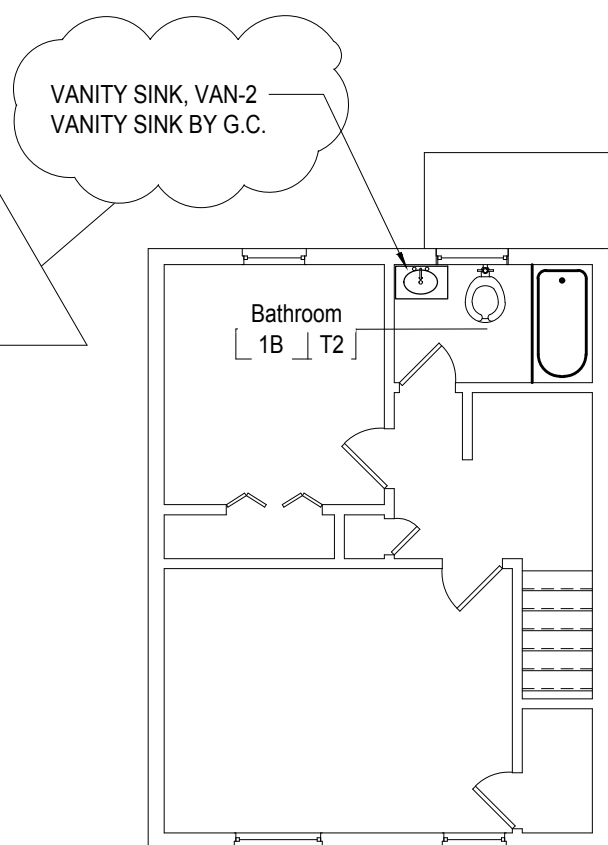
Family  
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Type H UFAS

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Plumbing Plan  
1/8" = 1'-0"



2 Second Floor Plumbing Plan  
1/8" = 1'-0"

#### NOTES

A RADON REMEDIATION SYSTEM FOR FOUR (4) LOW RISE APARTMENTS, IN GLEN HAZEL FAMILY COMMUNITY LOW RISE, SHALL BE A DESIGN BUILD SYSTEM UNDER THE PLUMBING PRIME CONTRACTOR. APARTMENT UNIT ADDRESSES REQUIRING REMEDIATION ARE LOCATED AT 657, 724 AND 737 JOHNSTON, AND 360 RENOVA. A DESIGN BUILD RADON REMEDIATION SYSTEM ALLOWANCE FOR THE FOUR UNITS SHALL INCLUDE DESIGN, DEMOLITION, CONSTRUCTION AND FINAL TESTING BY A STATE CERTIFIED RADON MITIGATION SUB-CONTRACTOR WITH A MINIMUM OF 5 YEARS EXPERIENCE. REQUIRED TO COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND GOVERNING AUTHORITIES, AND ALL FEES FOR REQUIRED PERMITS, APPROVALS AND INSPECTIONS. PROVIDE DESIGN DRAWINGS FOR COORDINATION AND AS-BUILT DRAWINGS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

#### REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

#### PLUMBING NOTES:

1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

#### GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF G.C. PREVIOUSLY PAINTED.
2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
4. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
5. UFAS FLOOR TILE IN BATH NOT BEING REPLACED.
6. REMOVE SHOWER FAUCET AND SHOWER HEAD AS G.C. REMOVES AND INSTALLS TUB SURROUND. PROVIDE MOEN HILLIARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD.
7. AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES, REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE OF SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.
8. REMOVE FAUCET, DRAIN, STRAINER AND SUPPLY PIPING AND REPLACE WITH NEW FAUCET, DRAIN, STRAINER AND SUPPLY PIPING TO BATH VANITY SINK. EXISTING VANITY SINK TO REMAIN. WRAP DRAIN PIPE WITH INSULATION. CENTER UNIT ONLY IN THIS BUILDING.

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-3	WATER HEATER	LIVING SPACE	75	81	115/1/60	15	25	A.O.SMITH	FGS-75	FOR THREE BEDROOM UNIT, ATMOSPHERIC 75 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES; DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, REAR CENTER DRAIN
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.8332283S.075	4 PRE-DRILLED HOLES; DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

- NOTE:
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE EXISTING FAUCET AND INSTALL NEW FAUCET, DRAIN, SUPPLY LINES AND STAINER.

- NOTE:
1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

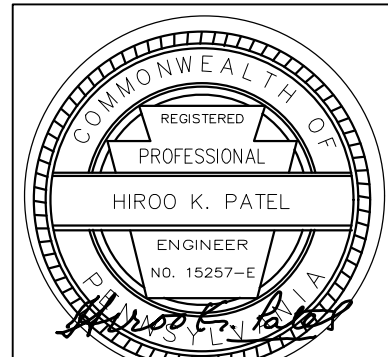
#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME REMOVED DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHRA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCOING, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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www.r3a.com

Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Revision: Add. 1 8-30-2017

Family  
Community -  
Type J

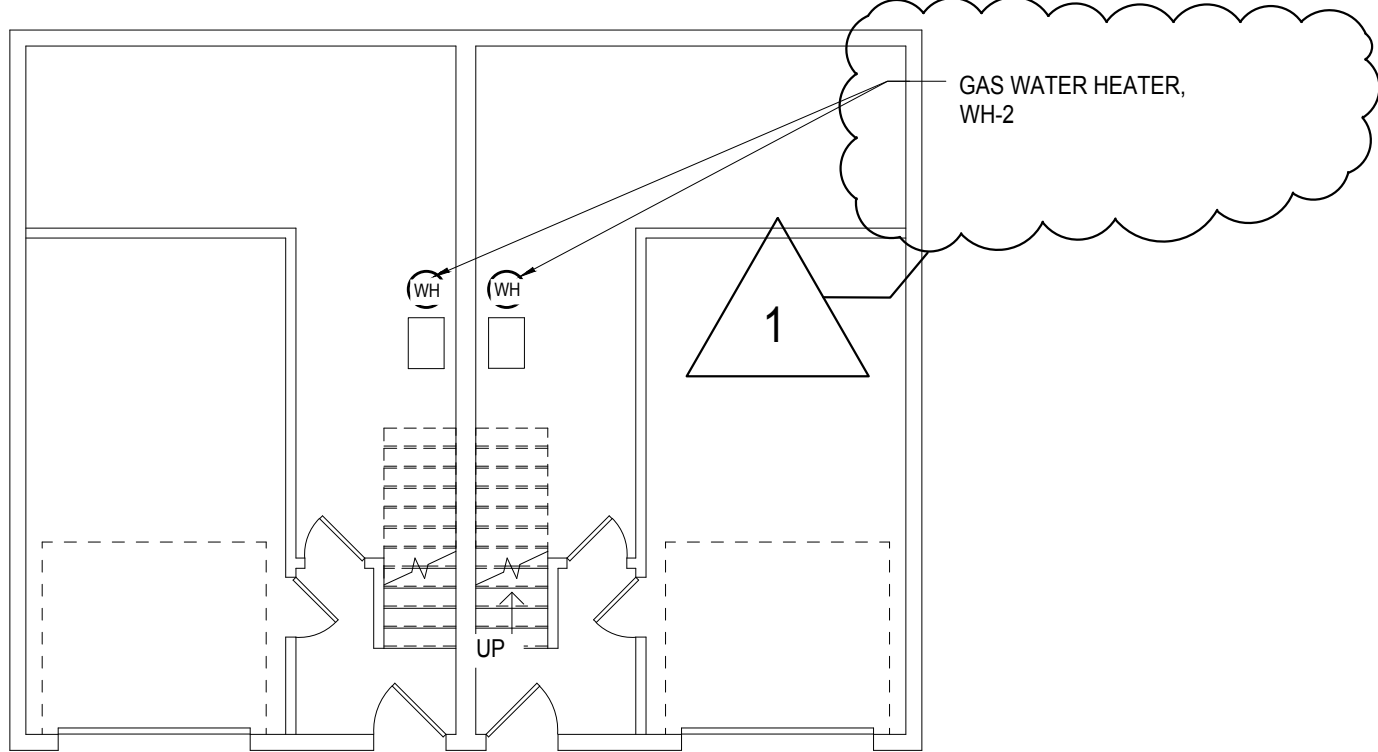
1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B



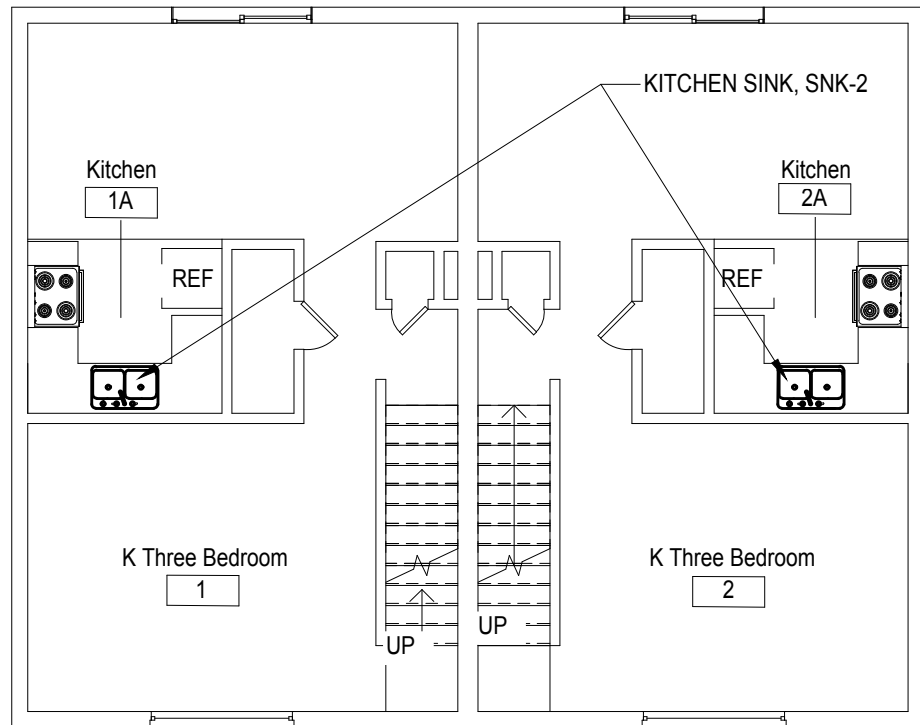
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

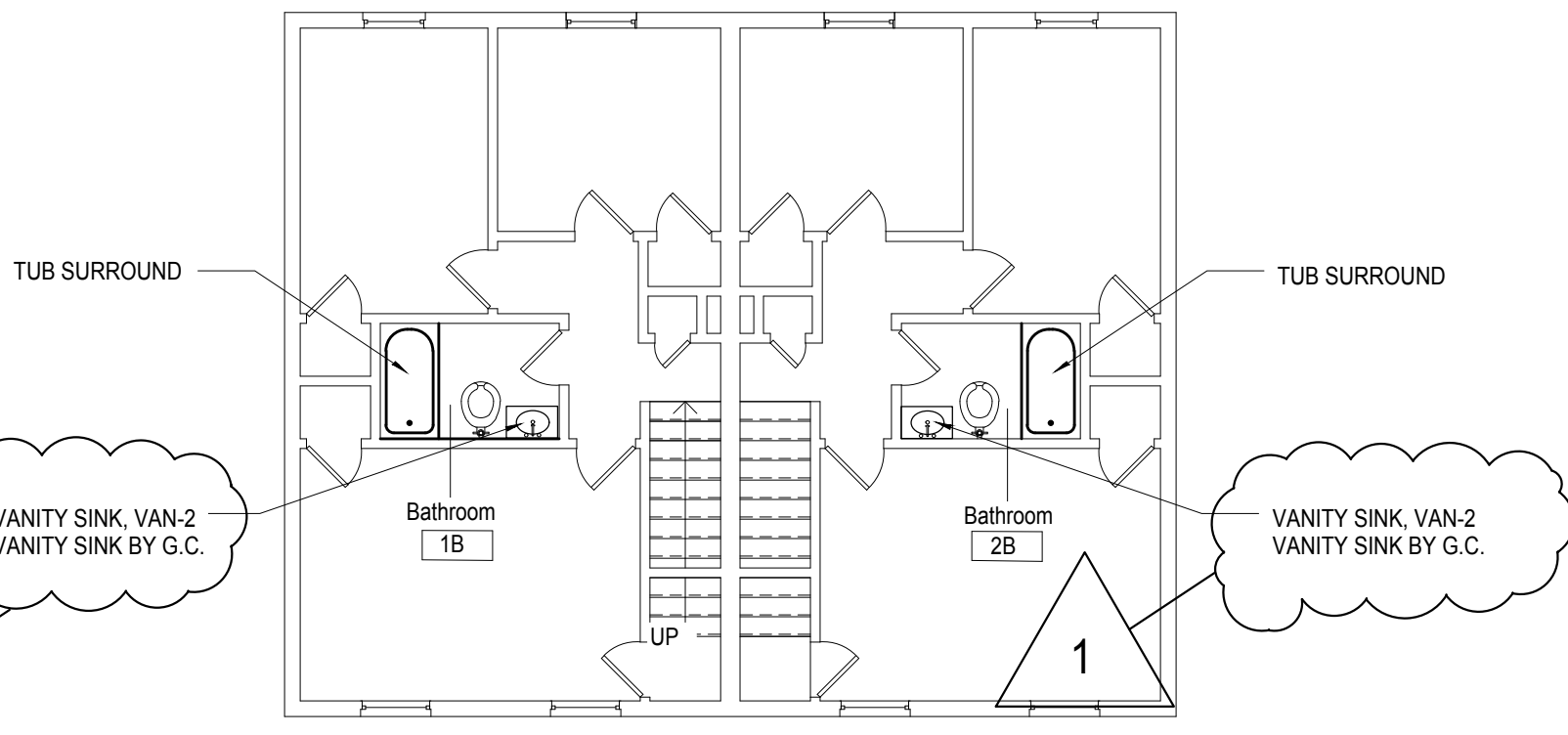
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1 Basement Floor Plumbing Plan  
1/8" = 1'-0"



2 First Floor Plumbing Plan  
1/8" = 1'-0"



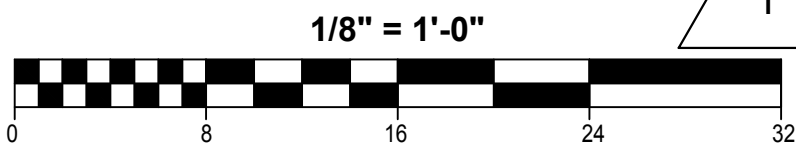
3 Second Floor Plumbing Plan  
1/8" = 1'-0"

REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. INSTALL SINK PLUNGER WITH P TRAP. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.



GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF PREVIOUSLY PAINTED BY G.C.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLARD SINGLE HANDLE TUB SHOWER VALVE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES. PLUMBING CONTRACTOR SHALL REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTIONS BY P.C.

NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PFM800HX. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN MANUF	MODEL	REMARKS
WH-1	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/160	15	25	A.O.SMITH	GAHH-40	FOR TWO AND THREE BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

NOTE:  
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB.83322835.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

NOTE:  
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

BATHROOM SINK SCHEDULE

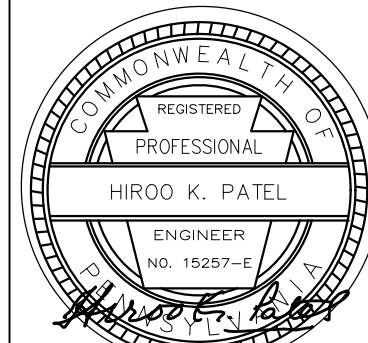
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN MANUF	MODEL	REMARKS
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING. ANGLE VALVES, PLUNGER. REPLACE WITH NEW

NOTE:  
1. FAUCET: MOEN 4" CHATEAU L84620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES  
2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

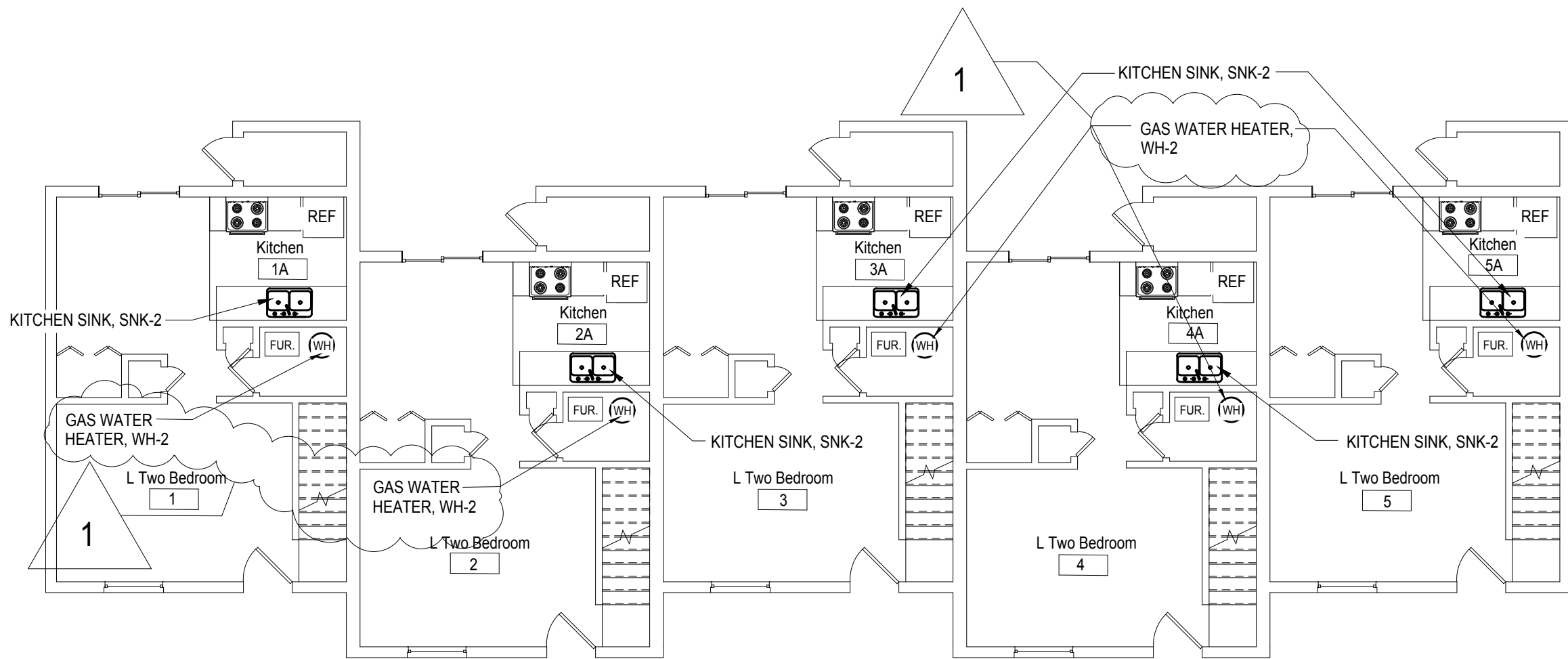
ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

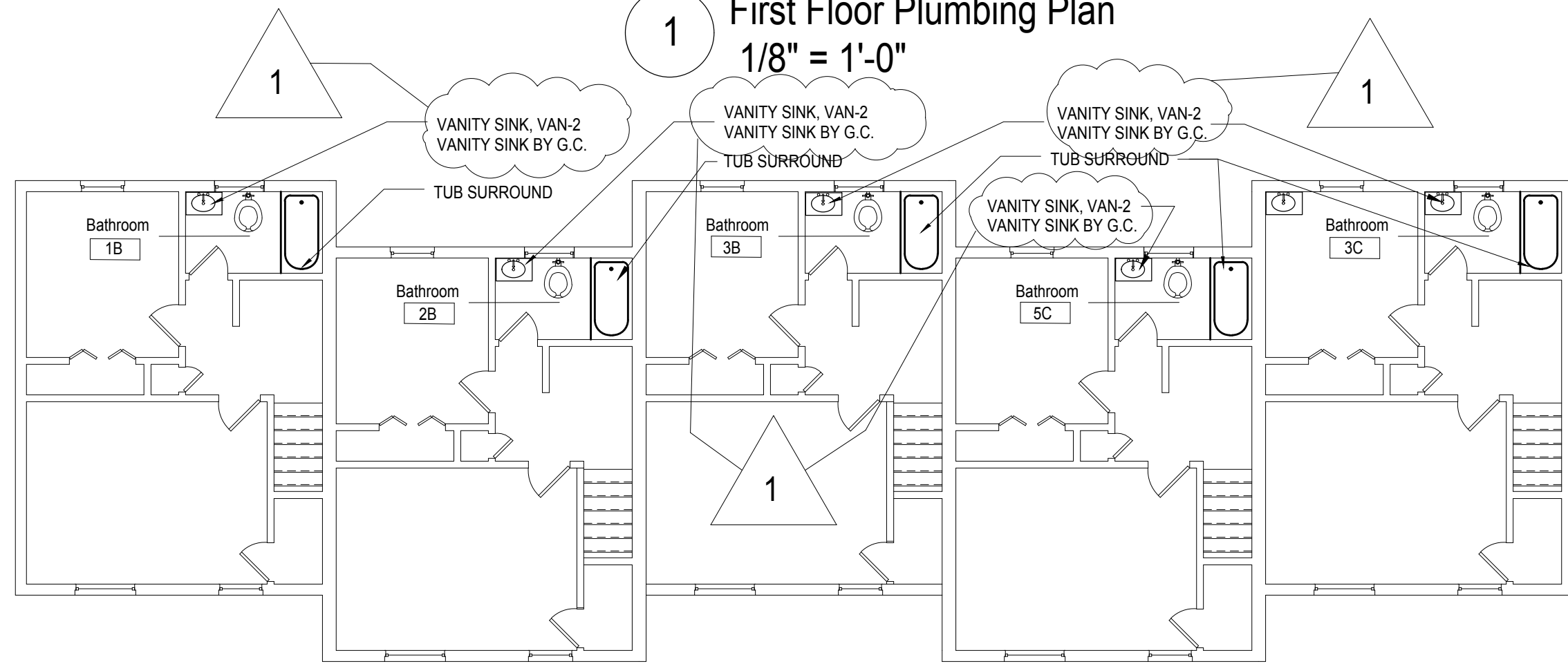
Revision: Add. 1 8-30-2017

Family  
Community -  
Type K

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 150748



**First Floor Plumbing Plan**  
1/8" = 1'-0"



**Second Floor Plumbing Plan**  
1/8" = 1'-0"

### REFERENCE NOTES

GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS)
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS)
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS)

### GENERAL NOTES

1. PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF PREVIOUSLY PAINTED BY G.C.
2. PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
3. PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
4. REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH GC. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLARD SINGLE HANDLE TUB SHOWER VALVE, TUB NOZZLE AND SHOWER HEAD OR APPROVED EQUAL.
5. PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR FINISHES BY GC. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
6. AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES, PLUMBING CONTRACTOR SHALL REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

### PLUMBING NOTES:

1. NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
2. PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUETOOTH ULTIMATE FAUCET FILTRATION SYSTEM, SKU PFM803HK, COLOR, CHROME WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.

**NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.**

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTORS DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

### NOTE:

SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
1. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### KITCHEN SINK SCHEDULE

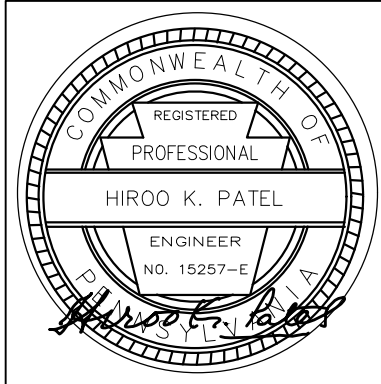
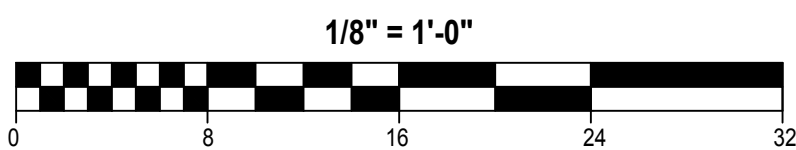
TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD33226BG	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB 8332283S 075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION

- NOTE:
1. FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxW	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
WMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW

- NOTE:
1. FAUCET: MOEN 4" CHATEAU L64620, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  2. PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.



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Design  
Technology  
Sustainability

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CONSULTANT:



**Allies & Ross**  
Management and  
Development  
Corporation

**Task Order**  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Revision: Add. 1 8-30-2017

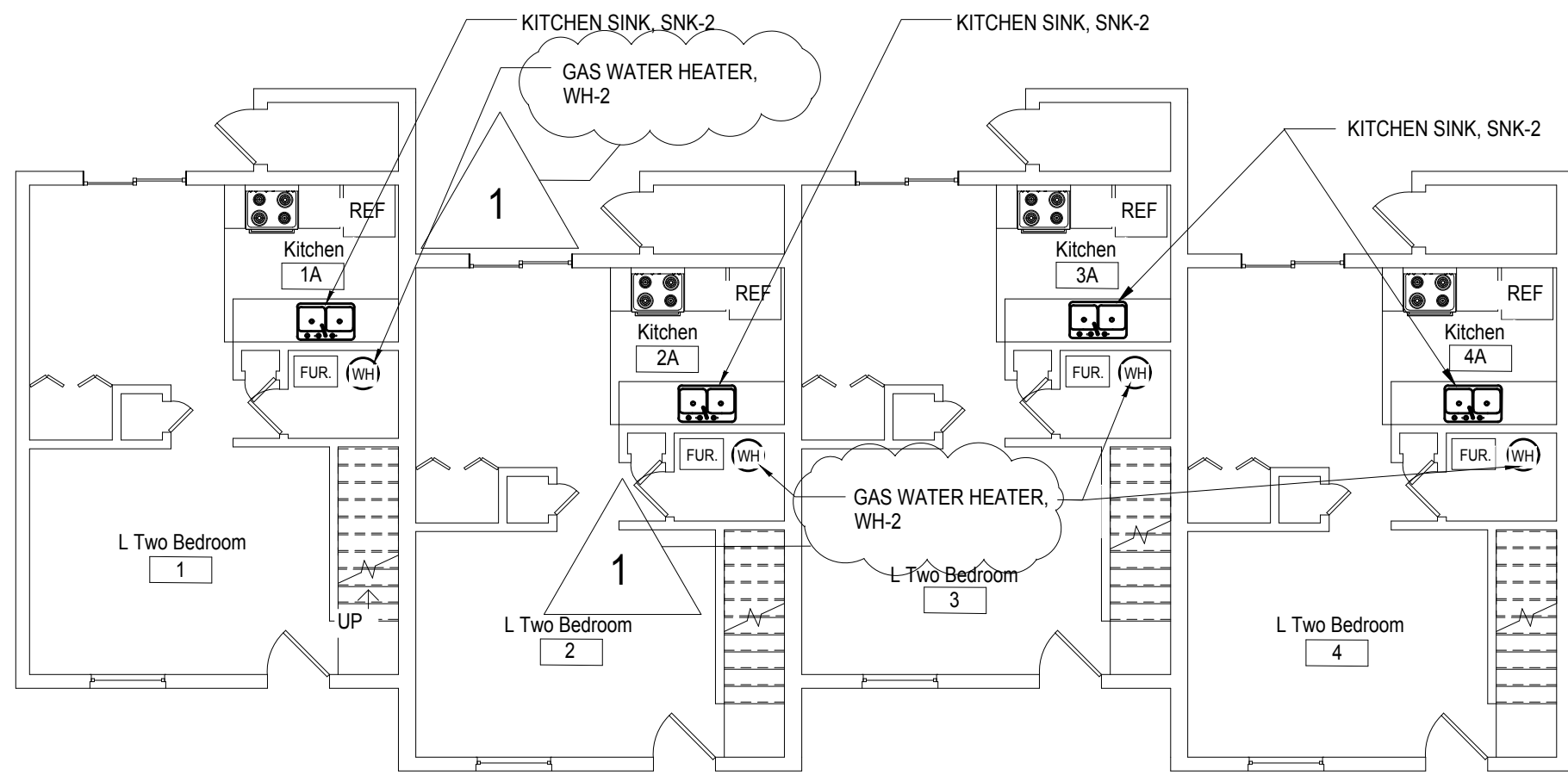
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Community -  
Type L

1 | 9.11.17 | REV 1/ADDENDA 2

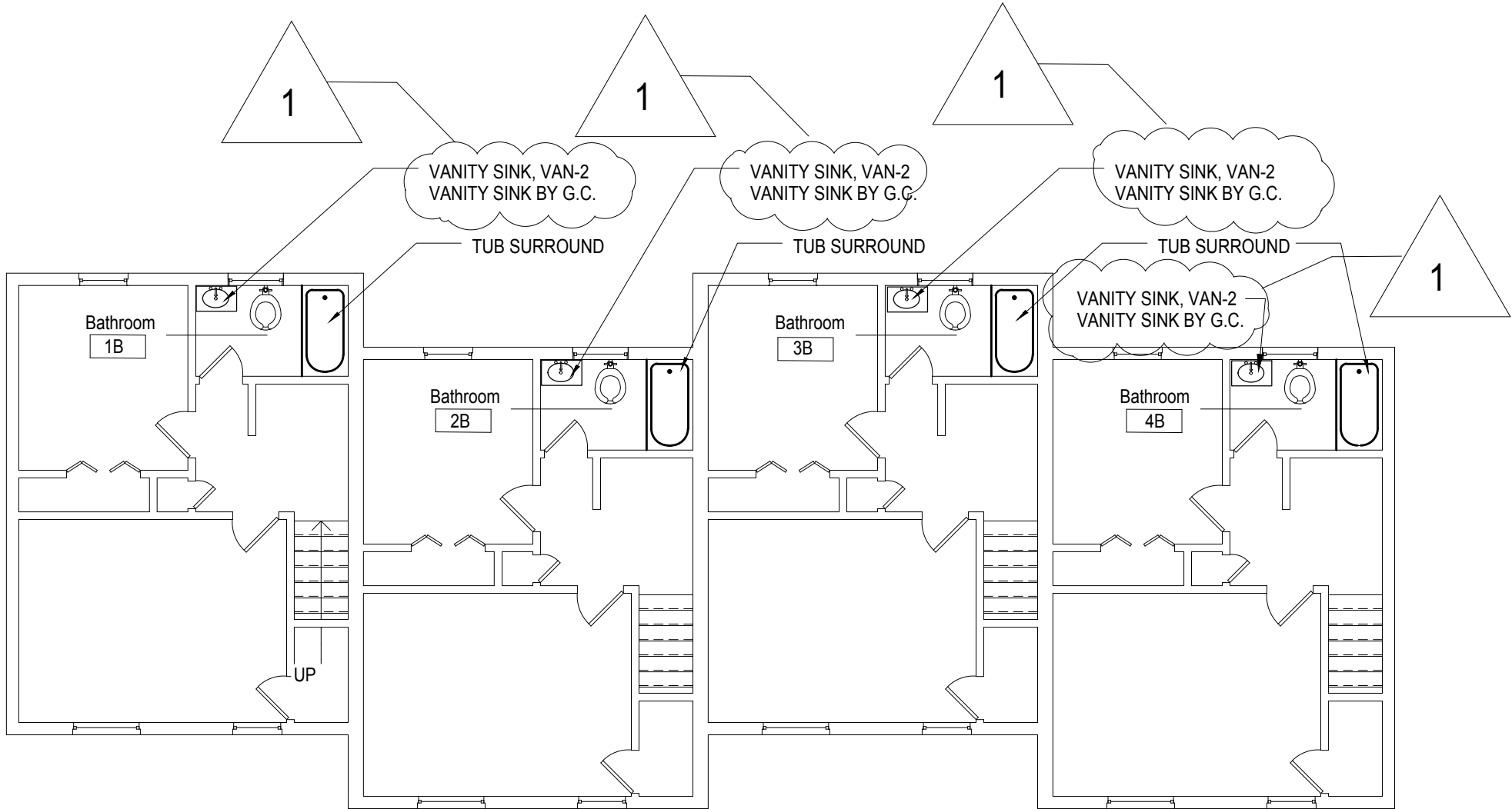
R3A PROJECT # 15074B

**P-121**





1 First Floor Plumbing Plan  
1/8" = 1'-0"



2 Second Floor Plumbing Plan  
1/8" = 1'-0"

#### PLUMBING NOTES:

- NAT GAS PIPING SHALL NOT IMPEDE WATER HEATER REMOVAL CAUSING PIPING REMOVAL. ONLY DISCONNECTION OF COUPLINGS SHALL BE NEEDED.
- PROVIDE ISOLATION VALVES ON ALL WATER AND NAT GAS PIPING CONNECTIONS TO FIXTURES.

#### REFERENCE NOTES

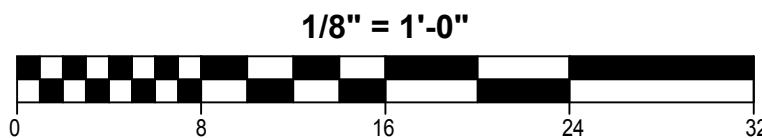
GAS WATER HEATER	REMOVE EXISTING GAS WATER HEATER, AND SUPPLY LINES AS NECESSARY. INSTALL NEW GAS WATER HEATER AND SUPPLY LINES. RECONNECT (TYP. OF ALL DOMESTIC WATER HEATERS).
KITCHEN SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO KITCHEN SINK. REMOVE EXISTING SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL KITCHENS).
VANITY SINK	LOCATE SUPPLY PIPING AND TURN OFF WATER SUPPLY TO VANITY SINK. REMOVE EXISTING VANITY SINK, FAUCET SET, P-TRAP AND SUPPLY LINES. INSTALL NEW FROM ISOLATION VALVES. RECONNECT PLUMBING LINES. (TYP. OF ALL LAVS).

#### GENERAL NOTES

- PATCH AND PREPARE WALLS AS REQUIRED FROM DEMOLITION AND FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES TO NEAREST CORNER AFFECTED BY THIS CONTRACTOR, IF PREVIOUSLY PAINTED BY G.C.
- PLUMBING CONTRACTOR RESPONSIBLE FOR SINK/TUB SHUTOFF OF WATER SUPPLY HOT AND COLD. SHUTOFF WATER AT BOTTOM OF RISER. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY. SHUTOFF WATER AT EACH FIXTURE ON EACH FLOOR. REPLACE SHUTOFF VALVE IF VALVE DOES NOT WORK PROPERLY.
- PROVIDE TRUEBRO DRAIN INSULATION OR APPROVED EQUAL FOR ALL ADA KITCHEN SINKS AND BATH LAVATORIES AS NECESSARY. WHERE NO CASEWORK, PROTECT PIPING AND ALL UFAS/ADA APARTMENT UNITS.
- REMOVE SHOWER HEAD, FAUCET AND CONTROL. COORDINATE WITH G.C. INSTALL NEW SHOWER HEAD, FAUCET AND CONTROL. PROVIDE MOEN HILLARD SINGLE HANDLE TUB SHOWER, TUB NOZZLE AND SHOWER HEAD OR APPROVED EQUAL.
- PLUMBING CONTRACTOR SHALL REMOVE WATER CLOSET AND SALVAGE PRIOR TO FLOOR REMOVAL BY G.C. REINSTALL EXISTING WATER CLOSET WITH NEW WAX RING.
- AS G.C. REMOVES KITCHEN RANGE FOR NEW FINISHES, PLUMBING CONT SHALL REMOVE FLEX GAS PIPE AND INSTALL NEW FLEX PIPE SAME SIZE AND SAME LENGTH OR MORE. FINAL STOVE CONNECTION BY P.C.

#### NOTES

PLUMBING CONTRACTOR TO FURNISH AND INSERT WATER FILTRATION SYSTEM AT ALL KITCHEN AND BATHROOM FAUCETS IN ALL 225 APARTMENT UNITS. WATER FILTRATION SYSTEM OR APPROVED EQUAL PUR BLUE TOOTH ULTIMATE FAUCET FILTRATION SYSTEM. SKU PM600HX. COLOR: CHROME. WARRANTY: 2 YEARS. PLUMBING PRIME CONTRACTOR TO FURNISH AND INSTALL "NON-PORTABLE WATER" SIGN AT ALL EXISTING OUTSIDE HOSE BIBS. REFER TO SPECIFICATION SECTION 012100 ALLOWANCES.



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

#### NAT. GAS FIRED WATER HEATER SCHEDULE

TAG	DESCRIPTION	AREA SERVED	TOTAL HEATING CAP. MBH	RECOVERY 90 deg F GPH	VOLTAGE	MCA AMPS	MAX FUSE AMPS	BASIS OF DESIGN		REMARKS
								MANUF	MODEL	
WH-1	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-40	FOR ONE BEDROOM UNIT, ATMOSPHERIC 40 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-2	WATER HEATER	LIVING SPACE	40	43	115/1/60	15	25	A.O.SMITH	GAHH-50	FOR TWO BEDROOM UNIT, ATMOSPHERIC 50 GALLON CAP, 2 INCH INSULATION, DRAIN PAN
WH-3	WATER HEATER	LIVING SPACE	75	81	115/1/60	15	25	A.O.SMITH	FGG-75	FOR THREE BEDROOM UNIT, ATMOSPHERIC 75 GALLON CAP, 2 INCH INSULATION, DRAIN PAN

- NOTE:
- PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### KITCHEN SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
SNK-1	KITCHEN SINK	KITCHEN	33x22x6	18 GAUGE 304 STAINLESS	ELKAY	ECTSRAD3322B6G	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION
SNK-2	KITCHEN SINK	KITCHEN	33x22x8	20 GAUGE 304 STAINLESS	AMER STANDARD	22DB 8332283S.075	4 PRE-DRILLED HOLES, DOUBLE BOWL, TOP MOUNT, DRAIN INSULATION, UFAS

- NOTE:
- FAUCET: MOEN 8" CHATEAU 7430, WING HANDLES, W/ SIDE SPRAY, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

#### BATHROOM SINK SCHEDULE

TAG	DESCRIPTION	AREA SERVED	DIMENSIONS LxWxD	CONSTRUCTION	BASIS OF DESIGN		REMARKS
					MANUF	MODEL	
VMS-1	BATHROOM SINK	BATHROOM	20x18	VITREOUS CHINA	SLOAN	SS-3003	CONNECT PULL BUTTON TO SINK PLUNGER ON FAUCET, DRAIN INSULATION
VAN-2	BATHROOM SINK	BATHROOM					REMOVE FAUCET, SUPPLY AND DRAIN PIPING, ANGLE VALVES, PLUNGER. REPLACE WITH NEW

- NOTE:
- FAUCET: MOEN 4" CHATEAU L64820, WING HANDLES, P-TRAP, SUPPLY CONNECTIONS, ANGLE VALVES
  - PROVIDE BASIS OF DESIGN PRODUCTS OR APPROVED EQUAL.

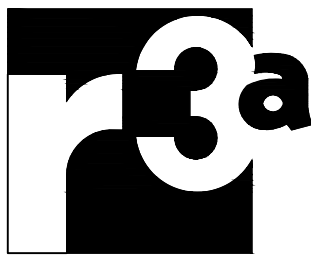
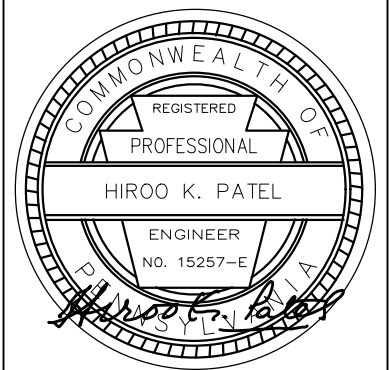
#### FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	COLD	HOT	DRAIN	VENT	REMARKS
BT-1	BATHTUB	1/2"	1/2"	2"	2"	
VAN-1	BATH VANITY	1/2"	1/2"	1 1/2"	1 1/2"	
SNK-1	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
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- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

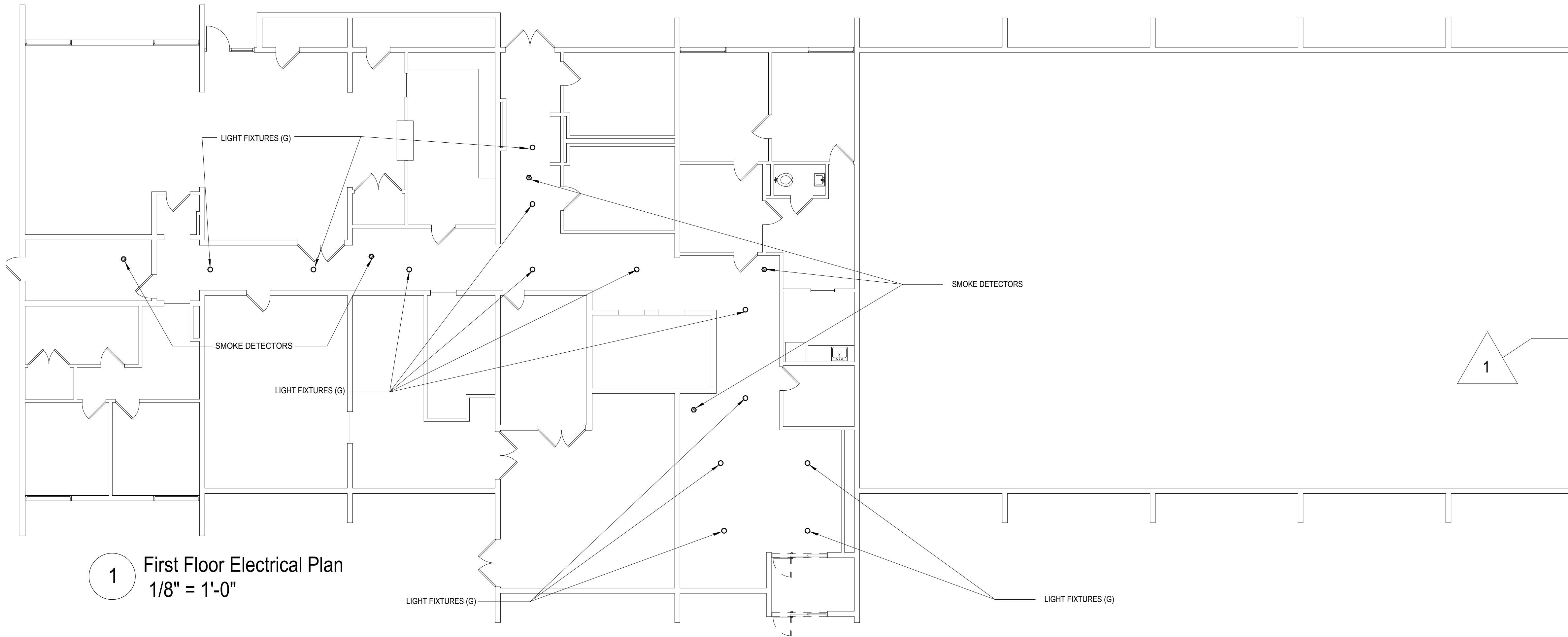
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Revision: Add. 1 8-30-2017

Family  
Community -  
Type M

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

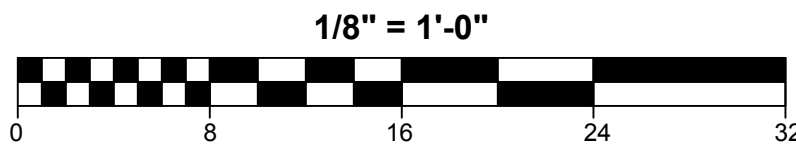
P-122



1 First Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)



ELECTRICAL NOTES

1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUITS TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. FOURTEEN (14) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007524 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO NEXT BOX OR JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO FOLLOW CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
11. REFER TO SPEC SECT 012300 ALTERNATES, E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS" IF NEEDED.
12. ALL WIRING SHALL BE COPPER.

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE -135LRAQ802W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPC000C1X2U8KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING I290C-2X26W-73W1M	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LMA-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING

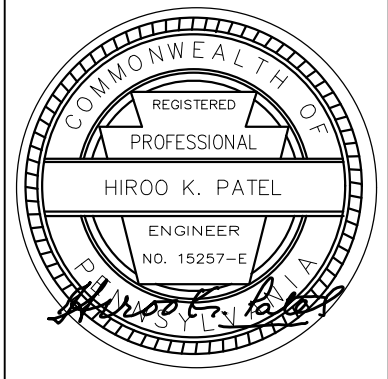
1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE-BR TYPE	100	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

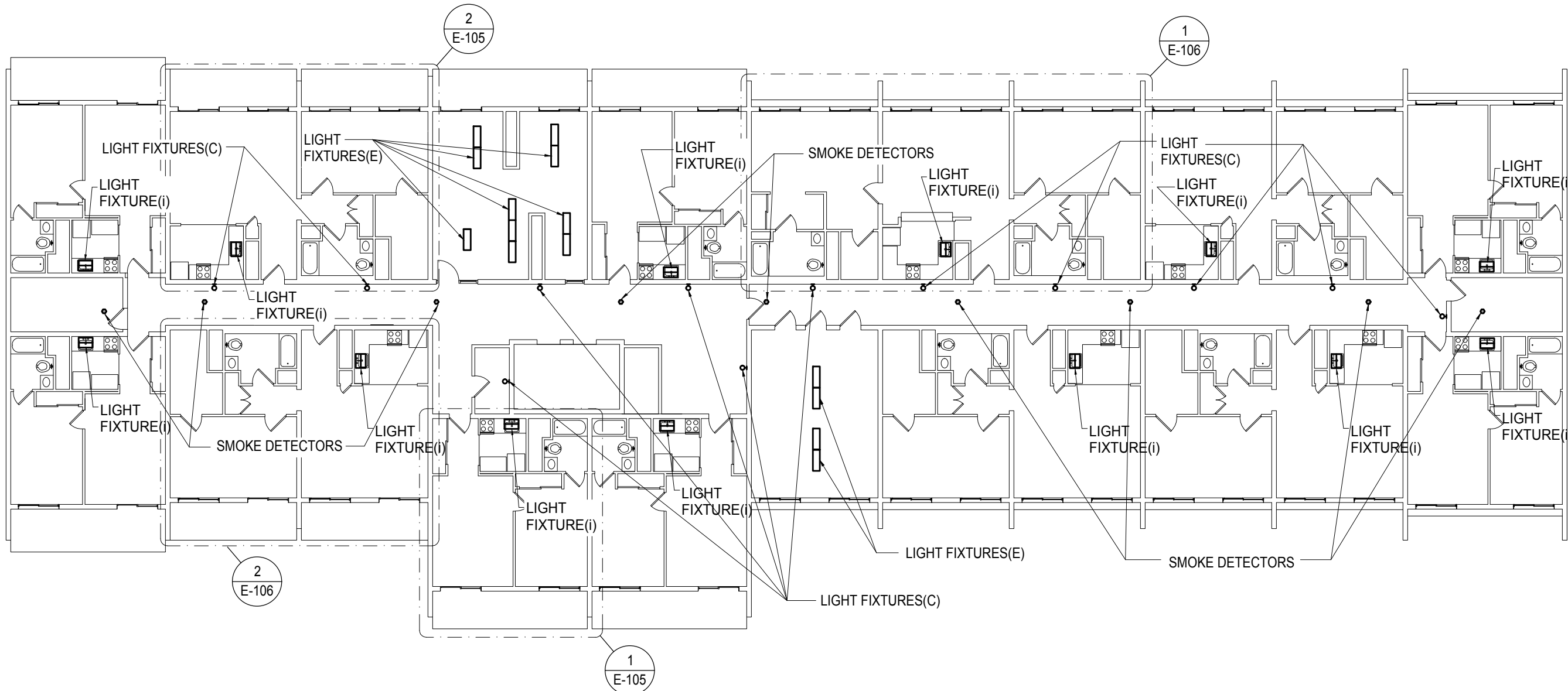
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Bernice  
Crawley High  
Rise - First  
Floor Electrical  
Plan

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Second Floor Electrical Plan  
1/16" = 1'-0"

### ELECTRICAL NOTES

1. INSTALL NEW CIRCUIT BREAKER AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. FOURTEEN (14) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007824 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO FOLLOW CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
11. REFER TO SPEC SECT 012300 ALTERNATES, E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS" IF NEEDED.
12. ALL WIRING SHALL BE COPPER.

### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES).
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS, (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

### LIGHTING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2338BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING W68070YBLED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHA1LD08910140UE -T35LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCQOC1X37U9KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXC-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED309	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

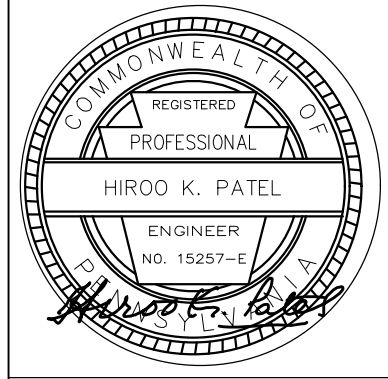
### CIRCUIT BREAKER PANEL SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
1	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE-BR TYPE	100	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

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2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/BC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:

*Tri-State* DESIGN AND DEVELOPMENT  
CARNegie, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

### CONSTRUCTION DOCUMENTS

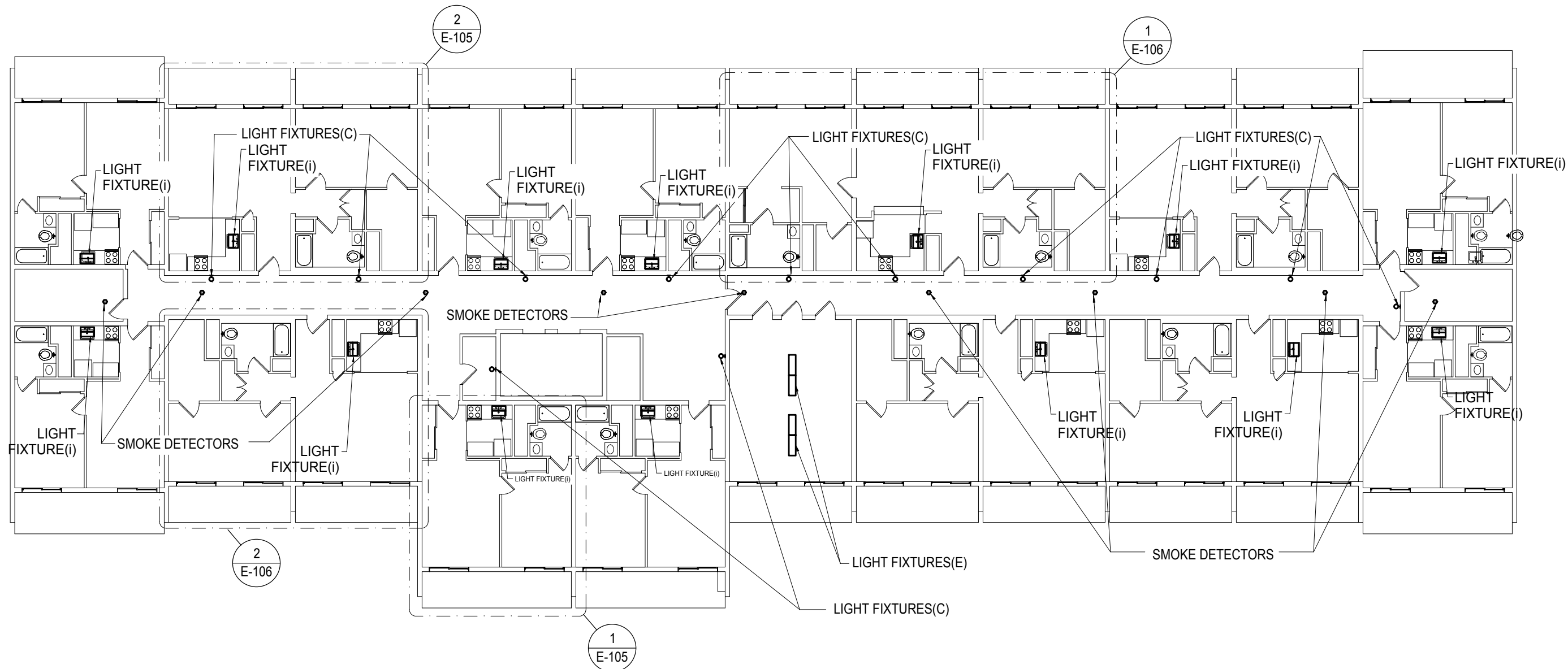
ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
Second Floor  
Electrical Plan

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

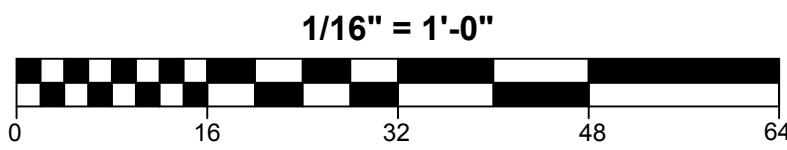


1 Typical Floor Plan - 3rd - 7th Fl. Electrical Plan  
1/16" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS, (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

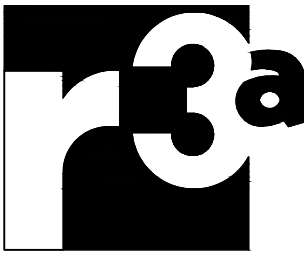
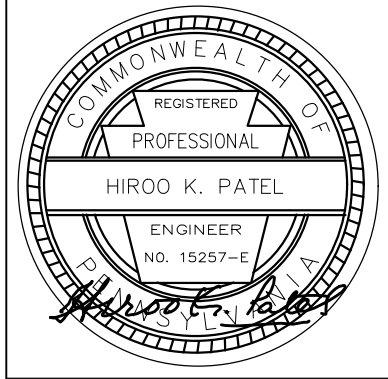
#### ELECTRICAL NOTES

1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. FOURTEEN (14) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REPLACED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO FOLLOW CURRENT FIRE CODE.
8. PROVIDE ECOMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
9. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
10. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
11. REFER TO SPEC SECT 012300 ALTERNATES, E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
12. ALL WIRING SHALL BE COPPER.



#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE. ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISH SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
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Design  
Technology  
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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
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Demonstration  
(RAD)

845 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

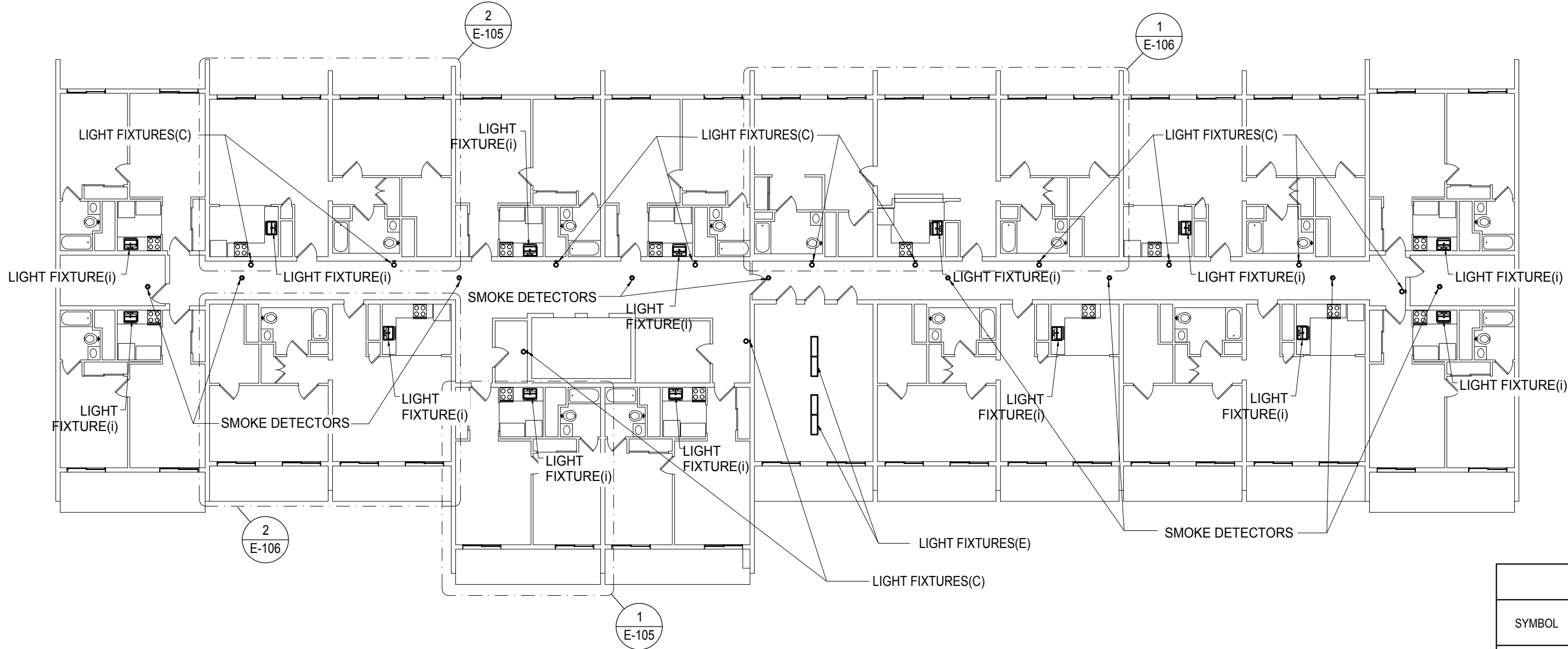
Bernice  
Crawley High  
Rise - Third -  
Seventh Floor  
Electrical Plan

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

E-103



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

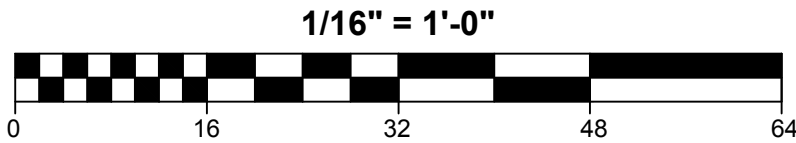


1 Eighth Floor Electrical Plan  
1/16" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES (NON UNIT) AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
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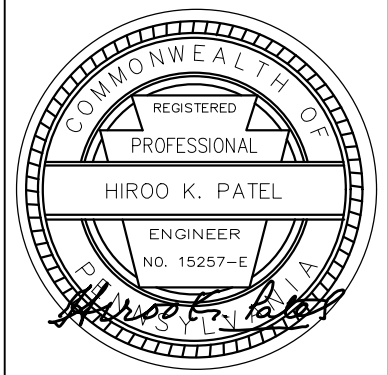
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- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
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Task Order  
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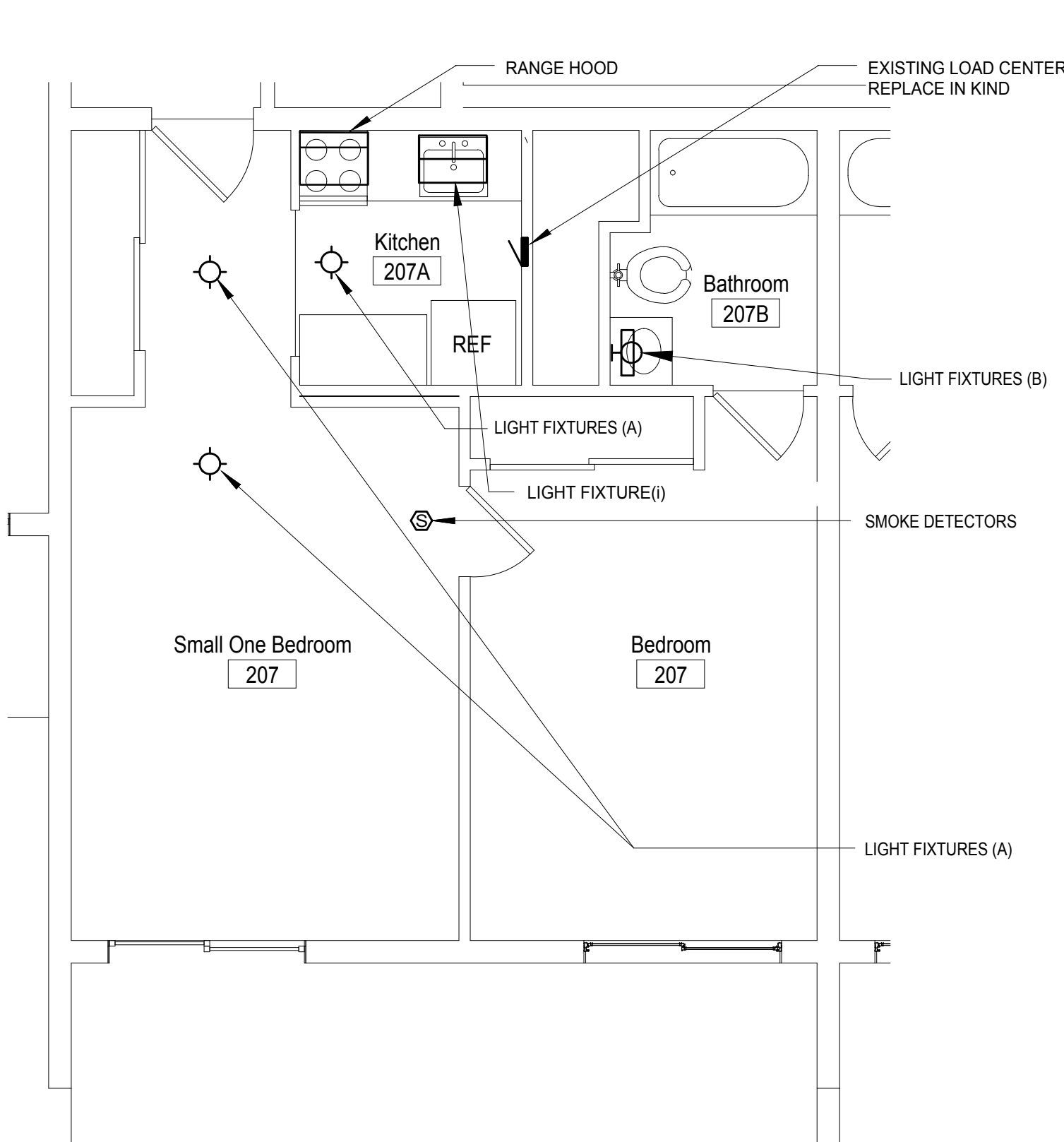
CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

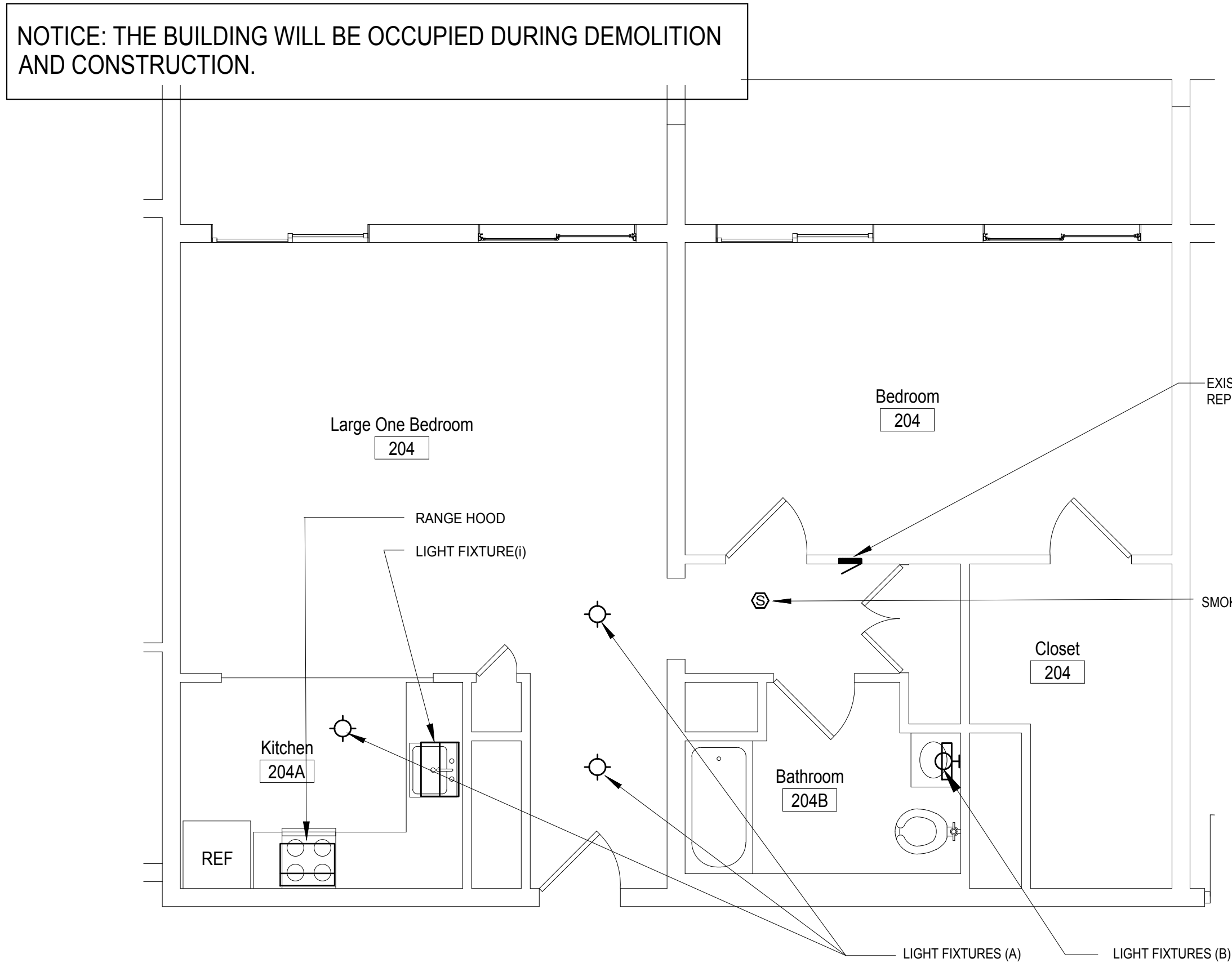
REVISIONS  
1 9.11.17 | REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
Eighth Floor  
Electrical Plan

1 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B



1 Typical Small One Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"



2 Typical Large One Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES NOW UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

#### ELECTRICAL NOTES

- INSTALL NEW CIRCUITS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND, AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- FOURTEEN (14) OF THE HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM. 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO FOLLOW CURRENT FIRE CODE.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- REFER TO SPEC SECT 012300, ALTERNATES E-002 'FAMILY' COMMUNITY LOW RISE ELECTRICAL PANELS'.
- ALL WRING SHALL BE COPPER.

#### LIGHTING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING Z338NG17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHAJLDQ650C140UE -T35LRAQ602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLX-UP-HQ-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MW2020C1X079K0Z	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12002-2X220W-799WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### CIRCUIT BREAKER PANEL SCHEDULE

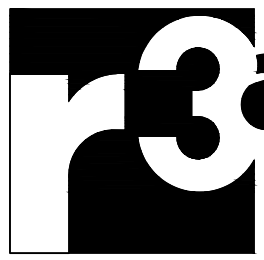
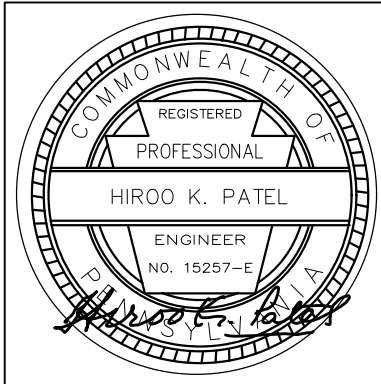
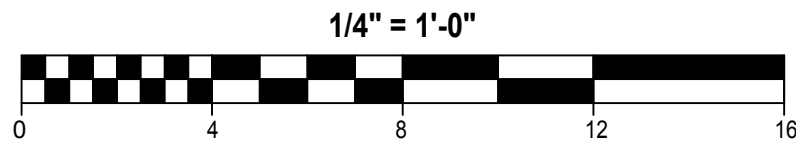
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE-8R TYPE	100	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARUTES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/CBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:

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CONSULTING ENGINEERS  
CARNEGIE, PENNSYLVANIA

**Alies & Ross**  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

#### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

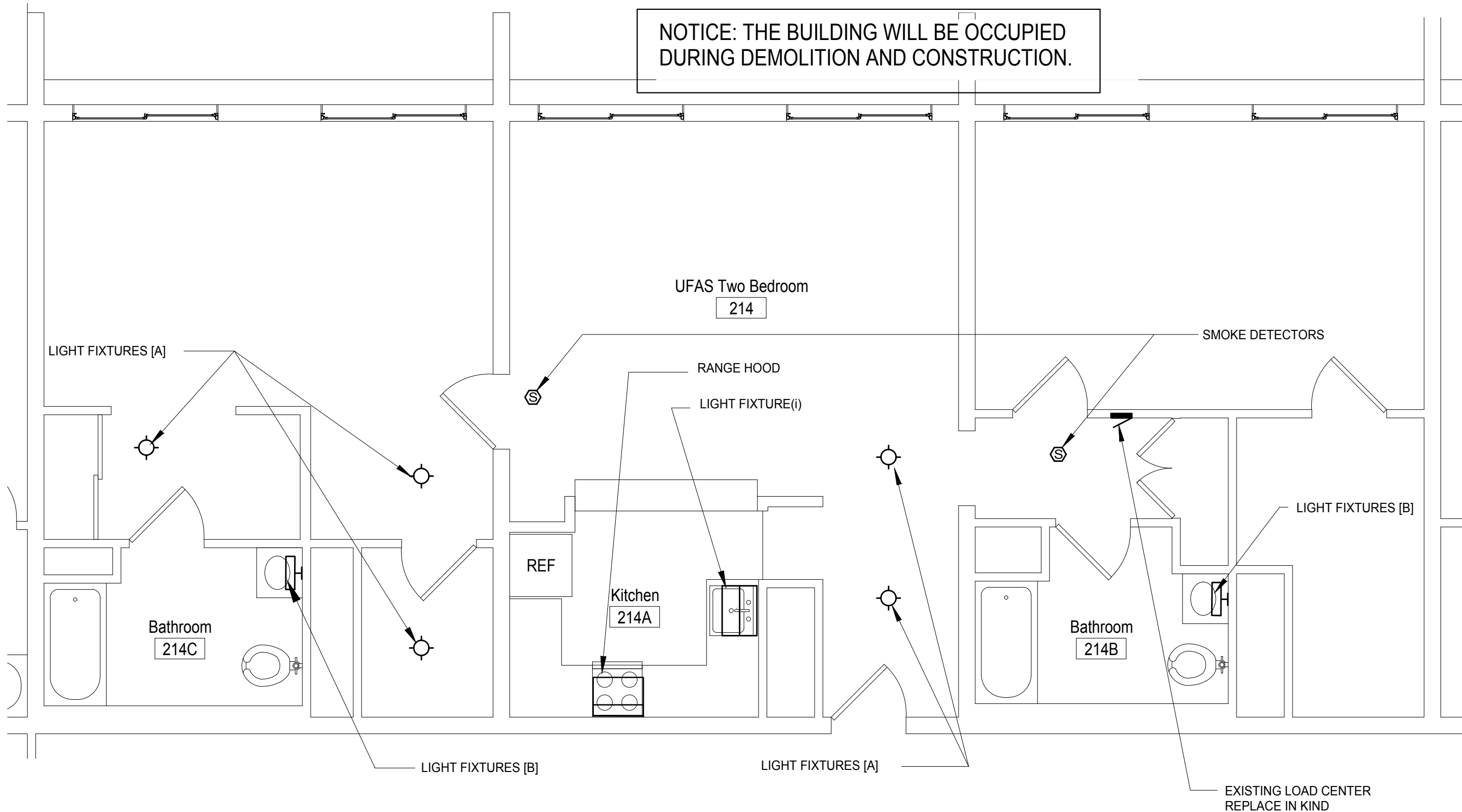
REVISIONS  
1 9.11.17 [REV 1/ADDENDA 2

Bernice Crawley  
High Rise - Small  
& Large One  
Bedroom Enlarged  
Electrical Plans

1 9.11.17 [REV 1/ADDENDA 2  
R3A PROJECT # 15074B

E-105





1 Typical UFAS Two Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDWA27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBI LIGHTING ELLIS 24 BA908SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBI LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHALD0650C140UE-T5BL9X0602W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DUFLEXJUPH040	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCQC1X37U5KCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14W-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

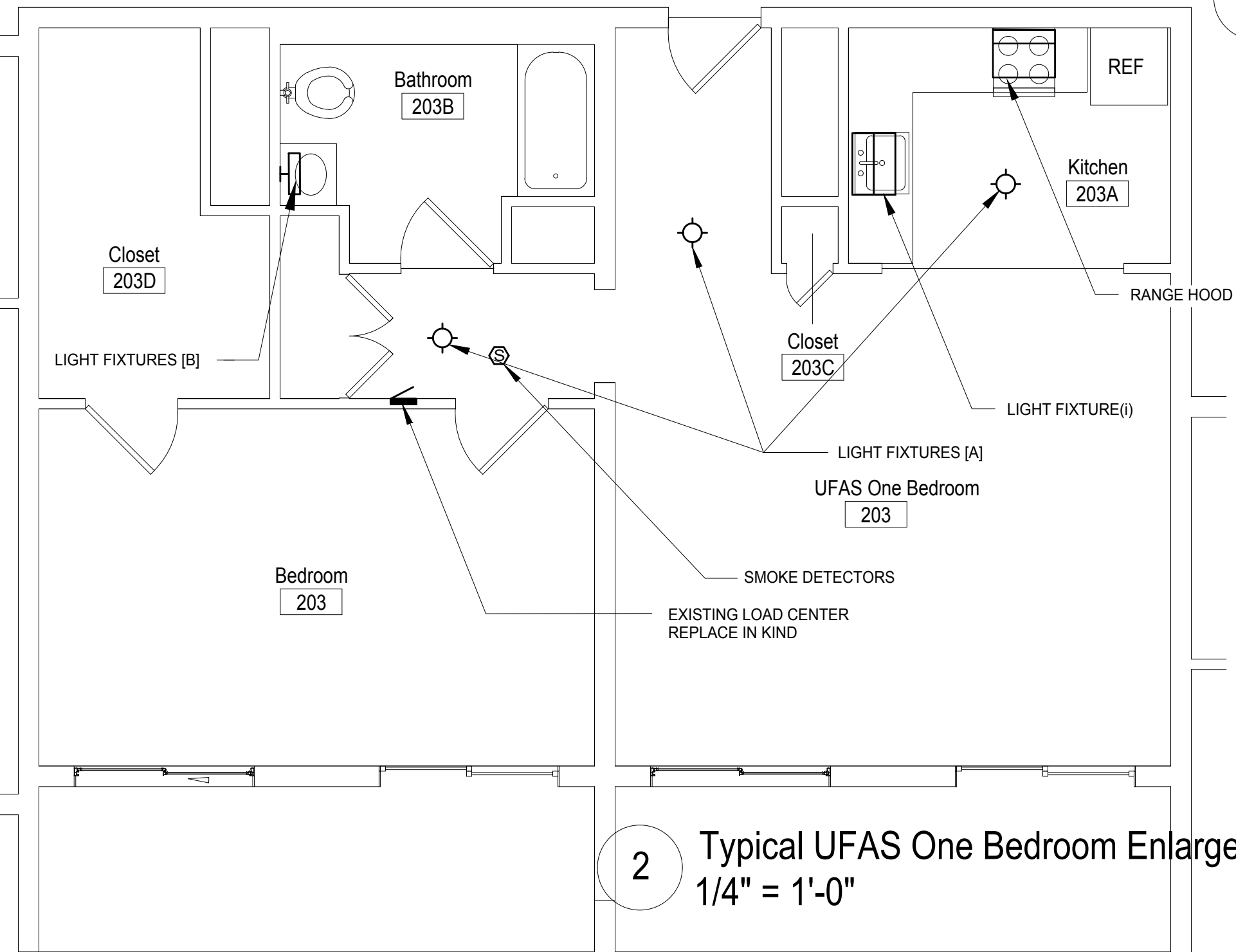
#### ELECTRICAL NOTES

- INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- FOURTEEN (14) HIGH RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.

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- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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2 Typical UFAS One Bedroom Enlarged Electrical Plan  
1/4" = 1'-0"

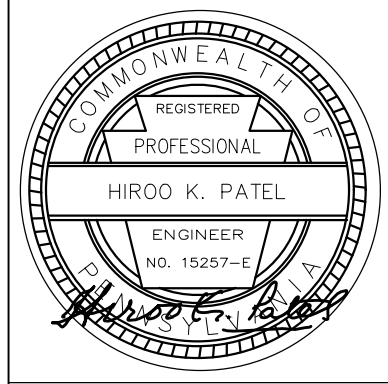
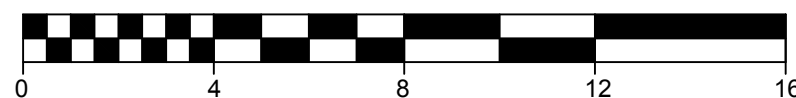
#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

#### ELECTRICAL NOTES (CONT)

- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO FOLLOW CURRENT FIRE CODE.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- RANGE HOODS IN ALL UFAS KITCHENS SHALL HAVE REMOTE SWITCHES 48" ABOVE FINISHED FLOOR.
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- ALL WIRING SHALL BE COPPER.

1/4" = 1'-0"



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Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

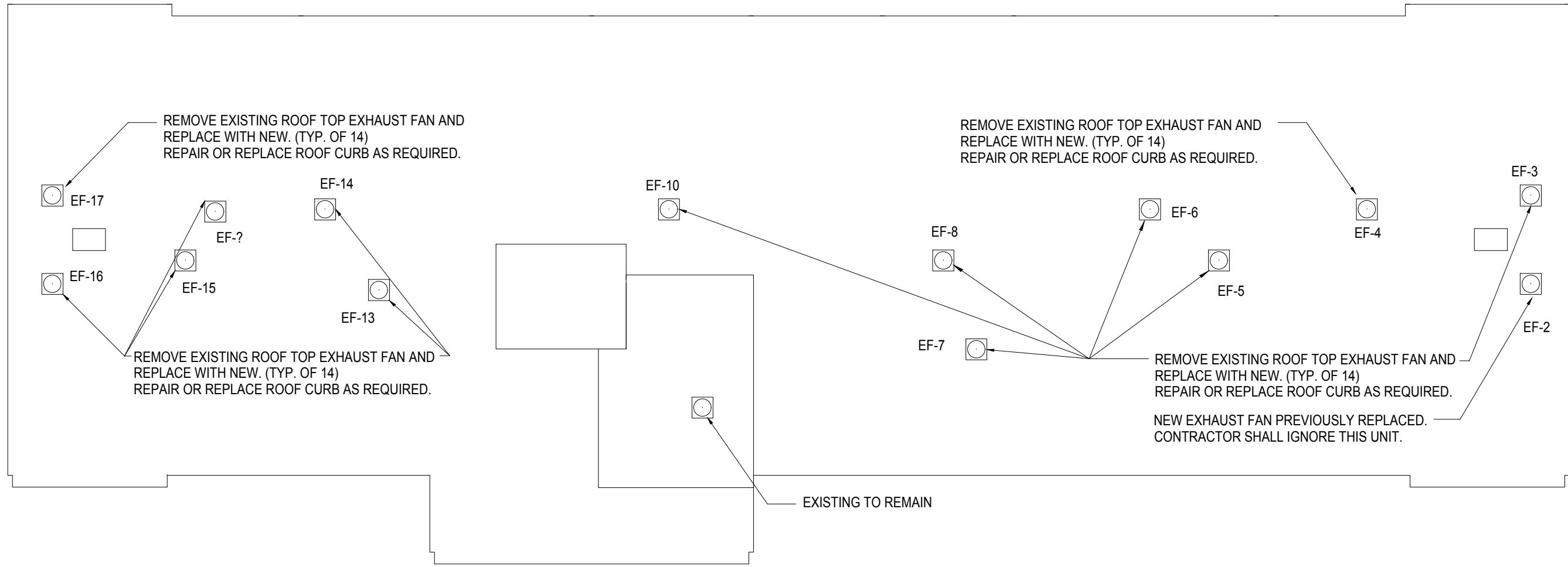
REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

Bernice Crawley  
High Rise -  
UFAS One &  
Two Bedroom  
Electrical  
Enlarged Plans

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

E-106

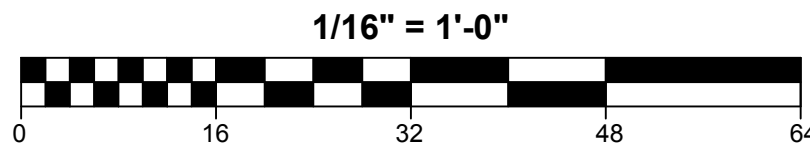
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Roof Top HVAC Plan  
1/16" = 1'-0"

EXHAUST FAN SCHEDULE									
TAG	DESCRIPTION	CFM	VOLTAGE	MAX AMPS	MAX FUSE AMPS	Hp	BASIS OF DESIGN		REMARKS
							MANUF	MODEL	
EF-2	BATH EXHAUST	---	115/1/60	15	25	1/3	---	---	PREVIOUSLY REPLACED
EF-3	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-4	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-5	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-6	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-7	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-8	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-9	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-10	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-11	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-12	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-13	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-14	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-15	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-16	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST
EF-17	BATH EXHAUST	---	115/1/60	15	25	1/3	GREENHECK	---	FOR TOILET EXHAUST

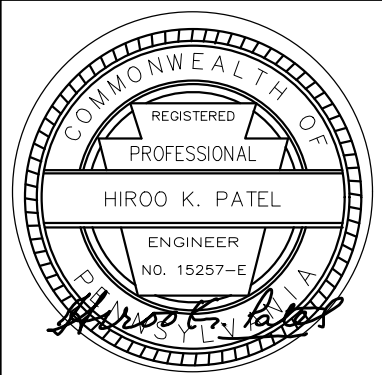
NOTE: THIS EQUIPMENT IS PROVIDED BY HVAC CONT.



GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACP'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCOBSG, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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GENERAL NOTES:  
ELEC CONT SHALL COORDINATE WITH MECHANICAL CONT FOR DEENERGIZE/REENERGIZE ROOFTOP EXHAUST FANS.



Renaissance 3 Architects, P.C.

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Design  
Technology  
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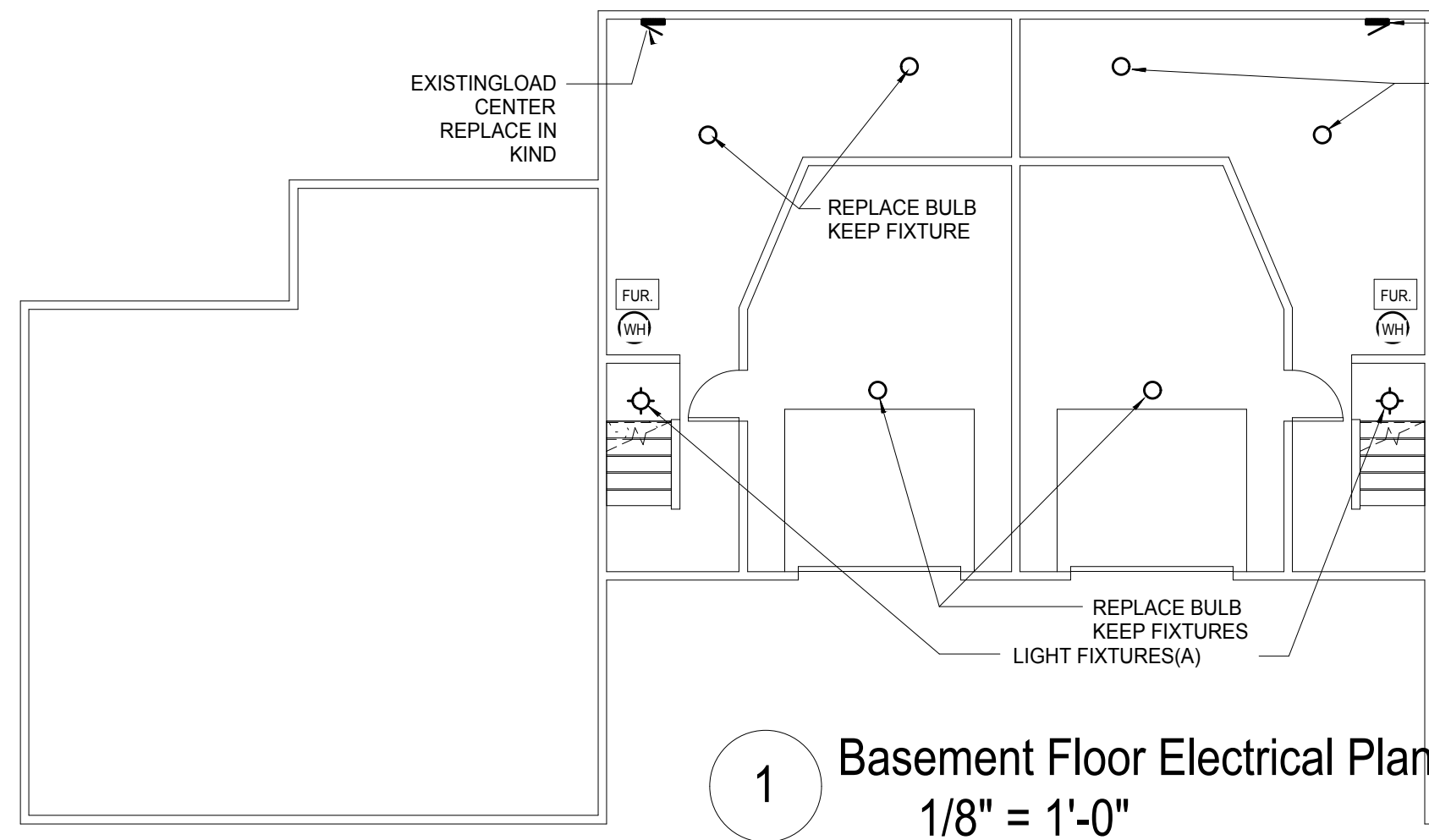
REVISIONS  
1 | 9.11.17 | REV 1 | ADDENDA 2

Bernice  
Crawley High  
Rise - Roof top  
Plan

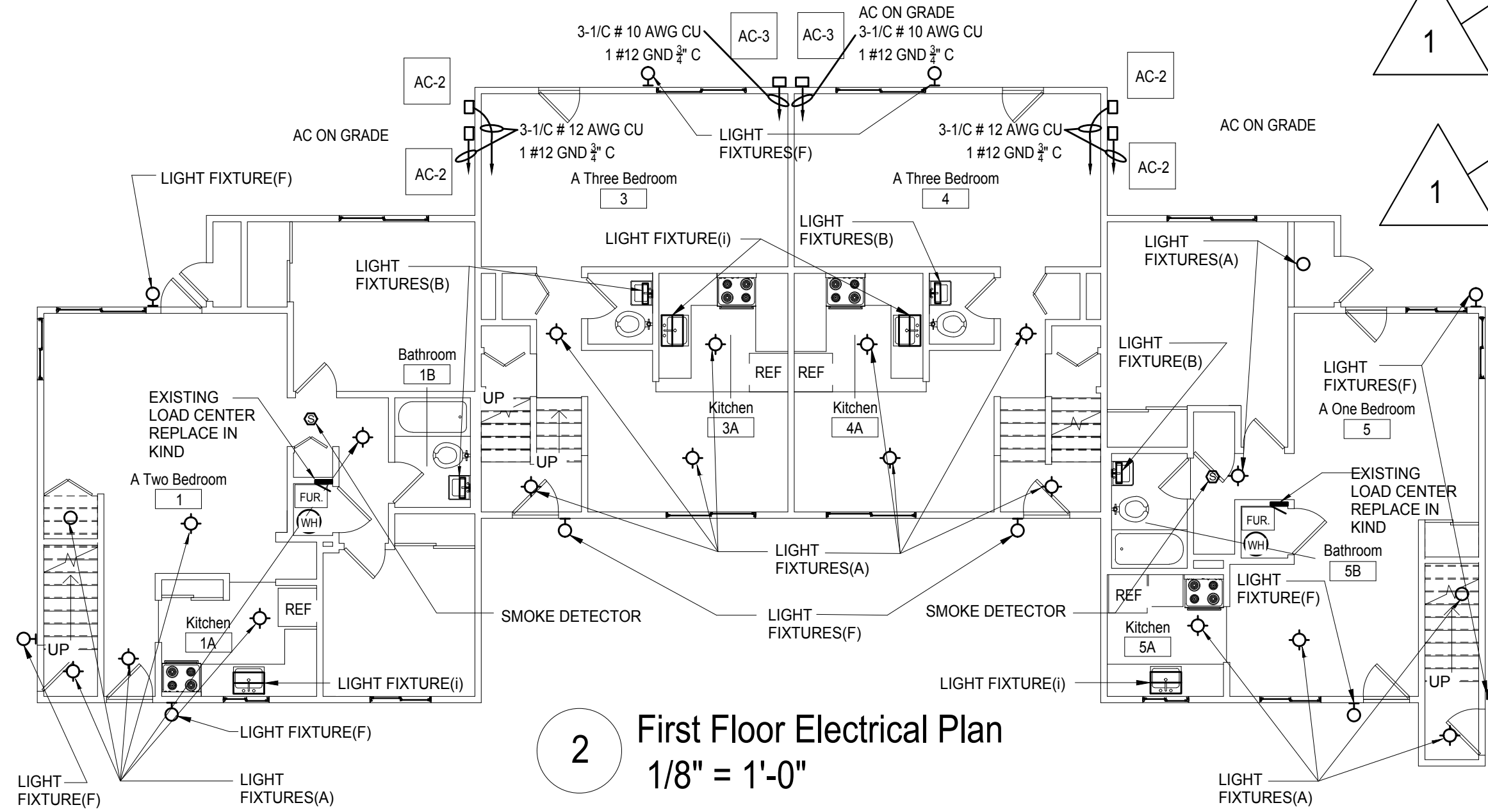
1 | 9.11.17 | REV 1 | ADDENDA 2  
R3A PROJECT # 15074B



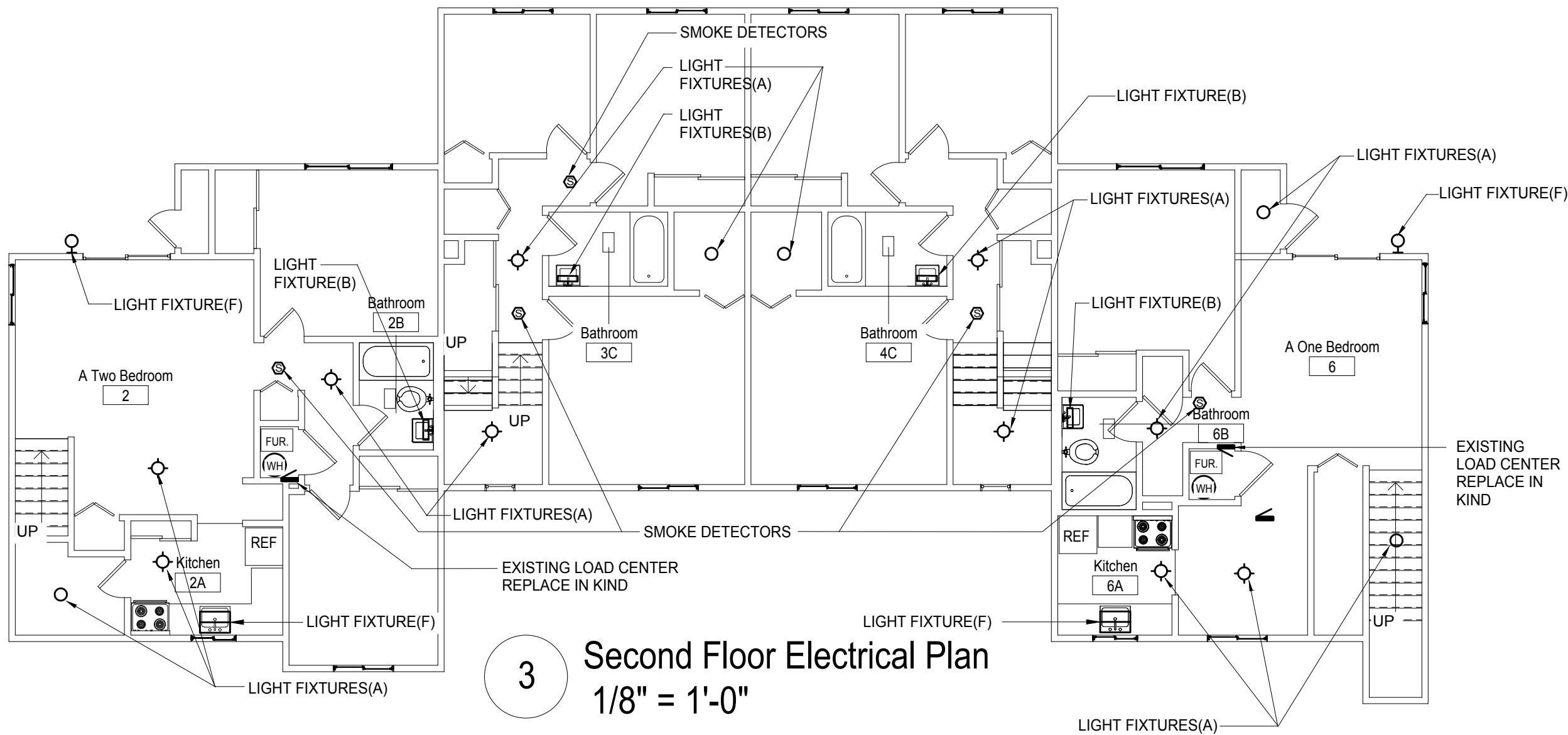
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



Basement Floor Electrical Plan  
1/8" = 1'-0"



First Floor Electrical Plan  
1/8" = 1'-0"

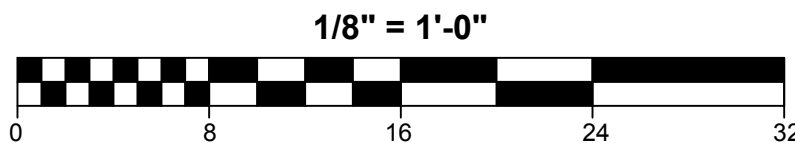


Second Floor Electrical Plan  
1/8" = 1'-0"

#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES FROM UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

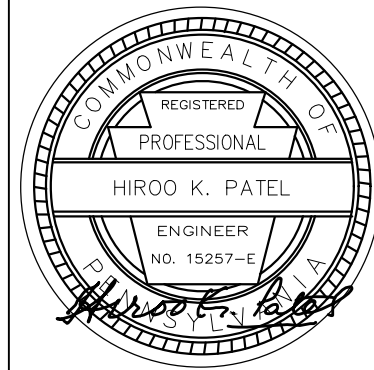
- PROVIDE KIDDE MOD 21007824 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBS TO CURRENT FIRE CODE.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
- ELEC CONTN SHALL COORDINATE WITH HEATING CONTN AND PLUMBING CONTN FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONTN DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
- REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
- ALL WIRING SHALL BE COPPER.



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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



Renaissance 3 Architects, P.C.

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CONSULTANT:  
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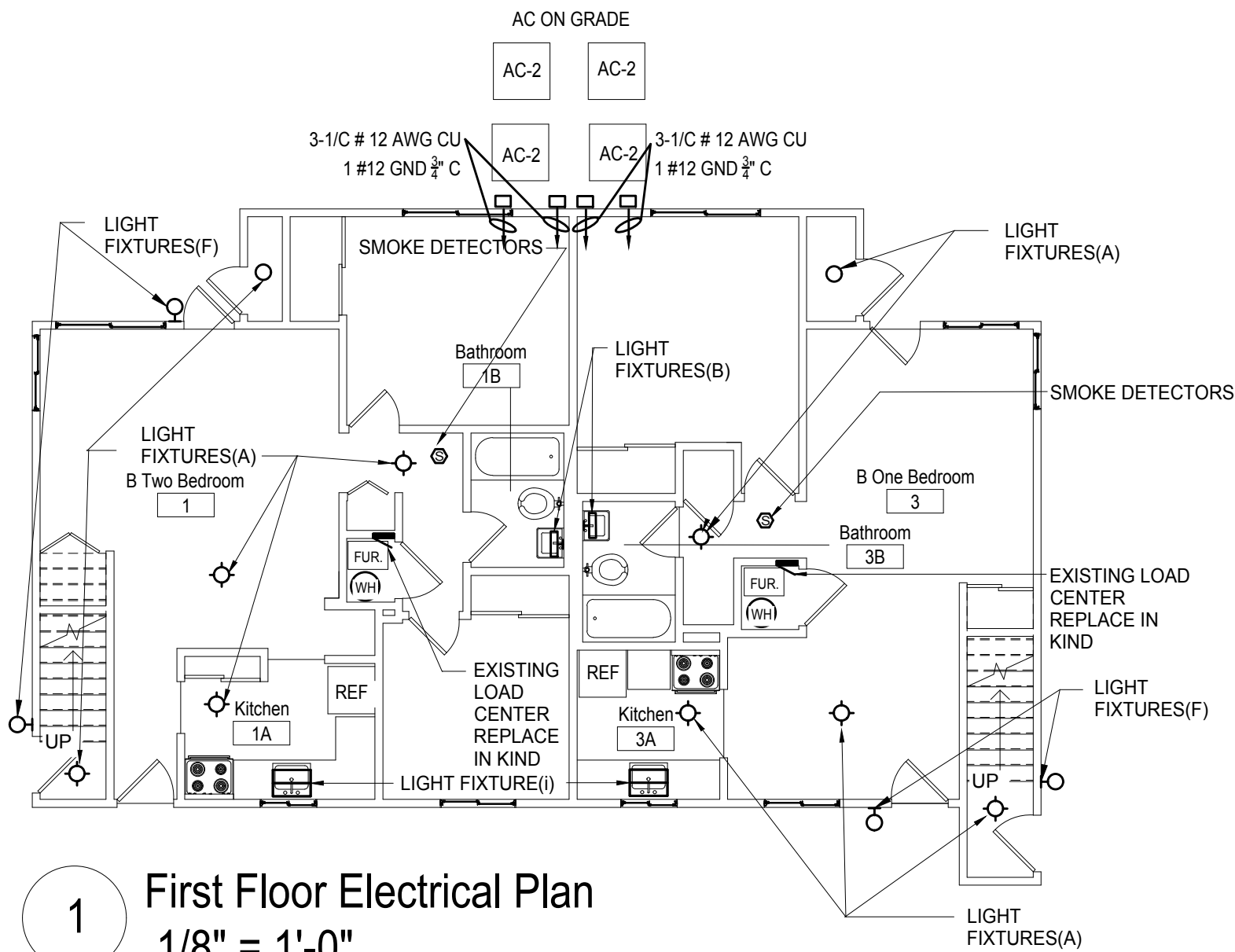
REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family  
Community -  
Type A

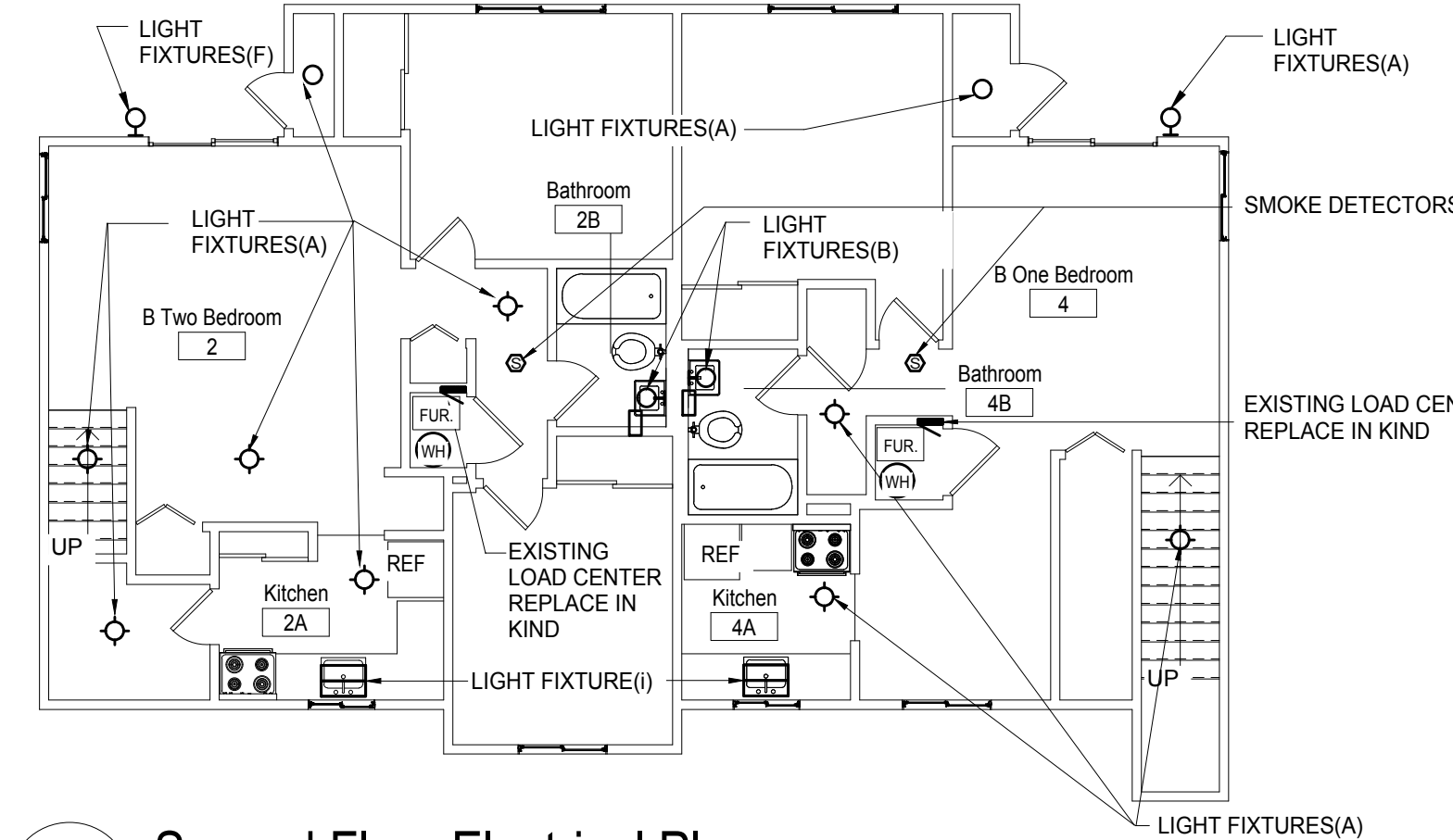
1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 150748

E-111

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 First Floor Electrical Plan  
1/8" = 1'-0"



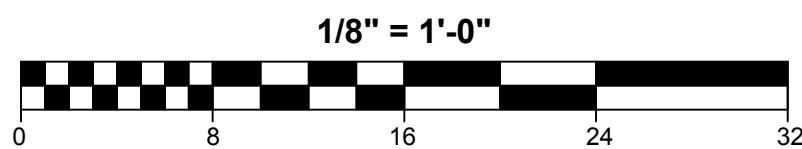
2 Second Floor Electrical Plan  
1/8" = 1'-0"

### ELECTRICAL NOTES

- INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
- ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
- NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
- SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
- EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
- PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM. 120 VOLT WITH BATTERY. PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNIT SHALL HAVE SMOKE DETECTORS AND STOBES TO CURRENT FIRE CODE.
- PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
- ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
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- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
- THE POWER WIRING AND CONDUIT FOR RESPECTIVE OUTDOOR AC CONDENSER SHALL BE ROUTED TO LOAD CENTER IN RESIDENTIAL UNIT TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
- ALL WIRING SHALL BE COPPER.

### REFERENCE NOTES

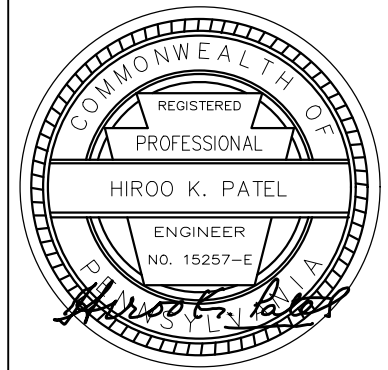
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SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
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SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE. ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBCBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design

Technology

Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

### CONSTRUCTION DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

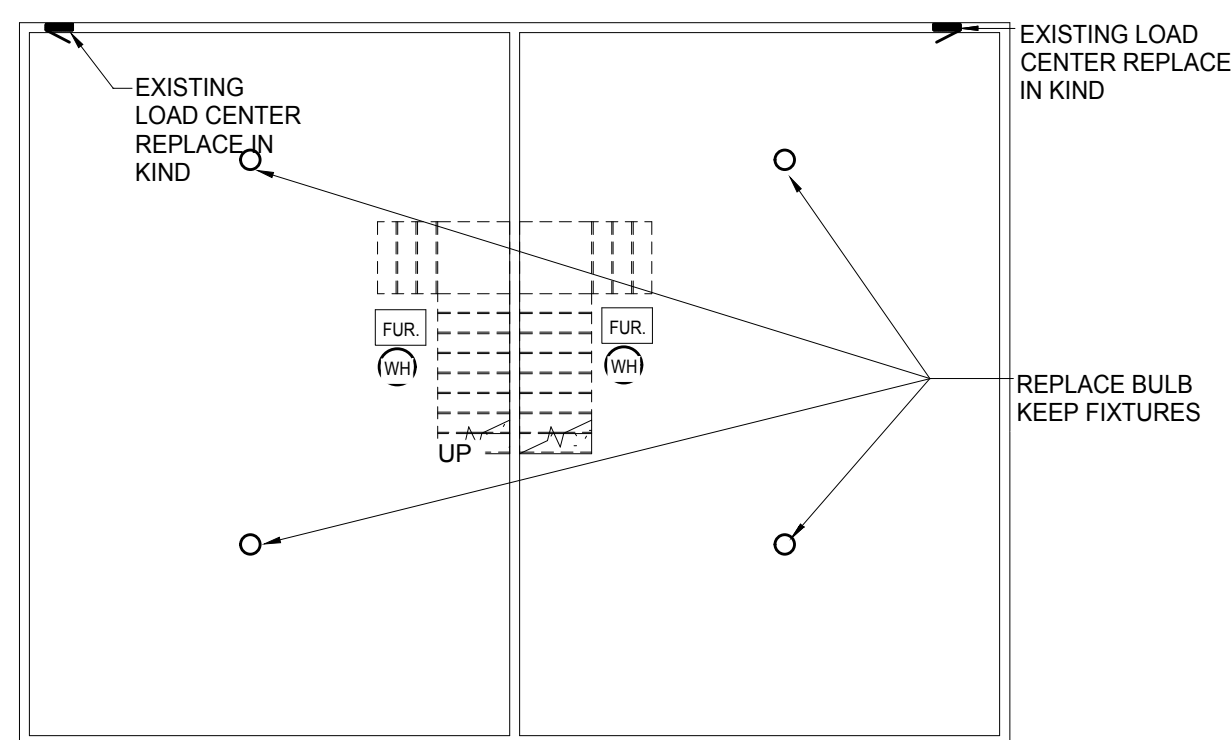
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Family  
Community -  
Type B

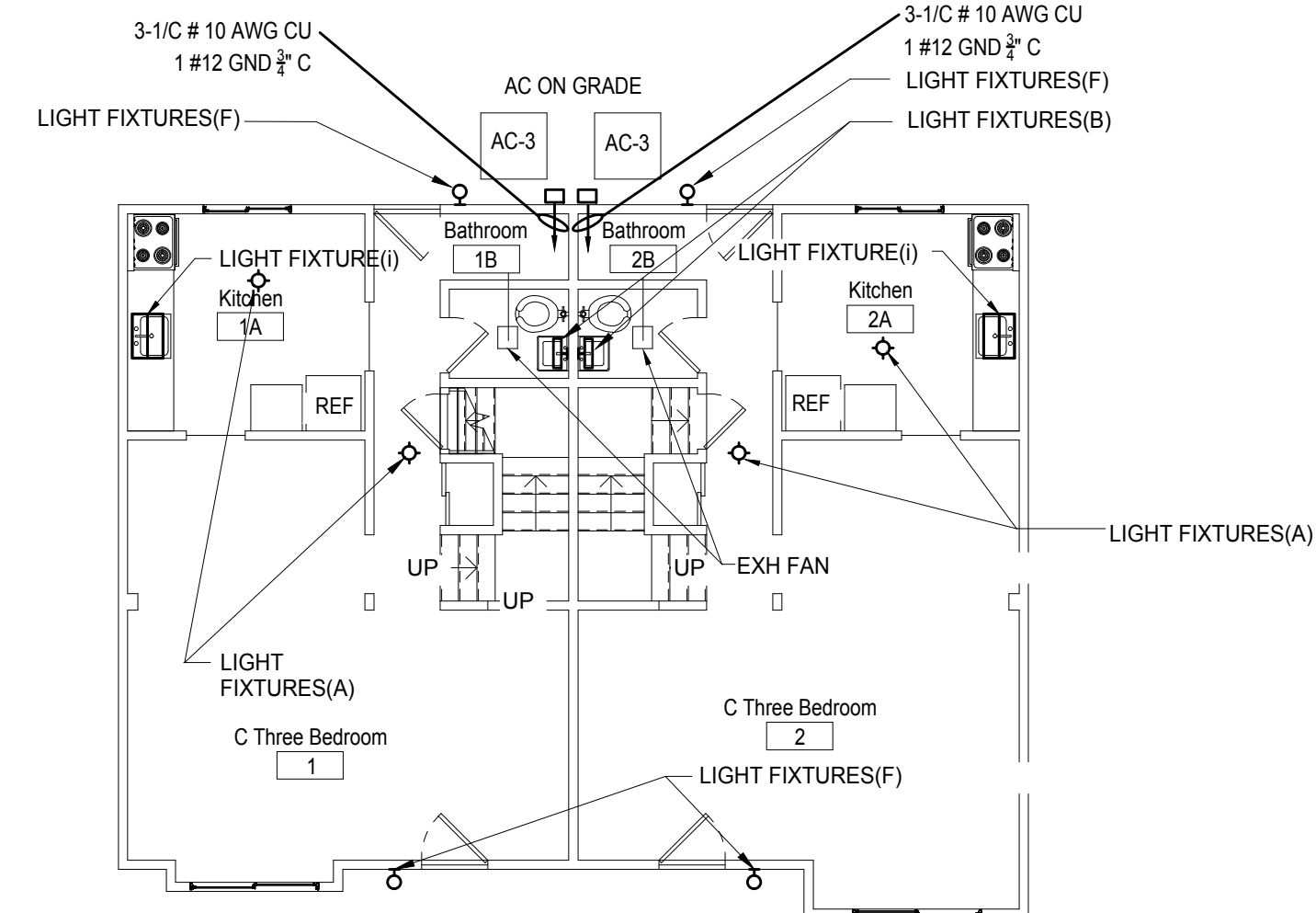
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R3A PROJECT # 15074B

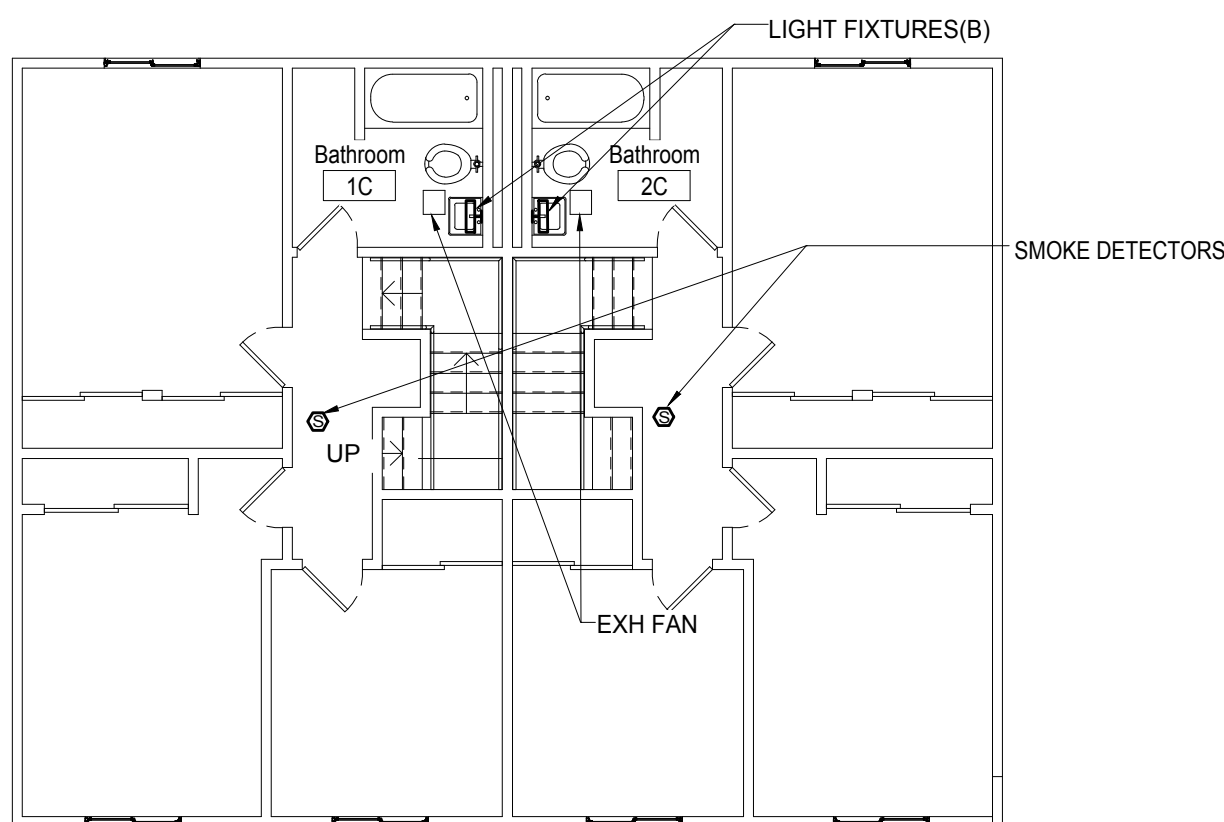




1 Basement Electrical Plan  
1/8" = 1'-0"



2 First Floor Electrical Plan  
1/8" = 1'-0"



3 Second Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS, (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

## ELECTRICAL NOTES

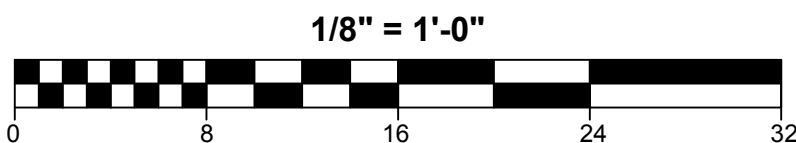
12. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
13. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
14. REFER TO SPEC SECT 012300, ALTERNATIVES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
15. ALL WIRING SHALL BE COPPER.

## ELECTRICAL NOTES

2. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
3. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES.  
DEMOLISH EXISTING LIGHT FIXTURES.  
INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.  
RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNT CEILING FIXTURE OR A SINGLE SURFACE MOUNT WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND AT ITS EXISTING LOCATION.
4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUIP.
7. PROVIDE KIDDE MOD 2107062A COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLTS WITH BATTERY. PHOTO-ELECTRIC LIGHT EXISTING SMOKE ALARMS. WHERE 120V SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNIT SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.
8. PROVIDE E26MART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WATT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DENERGIZING/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MHW.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

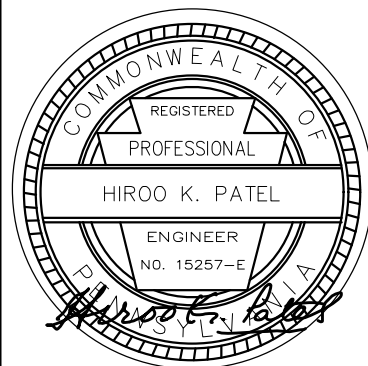
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Design  
Technology  
Sustainability

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CONSULTANT



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

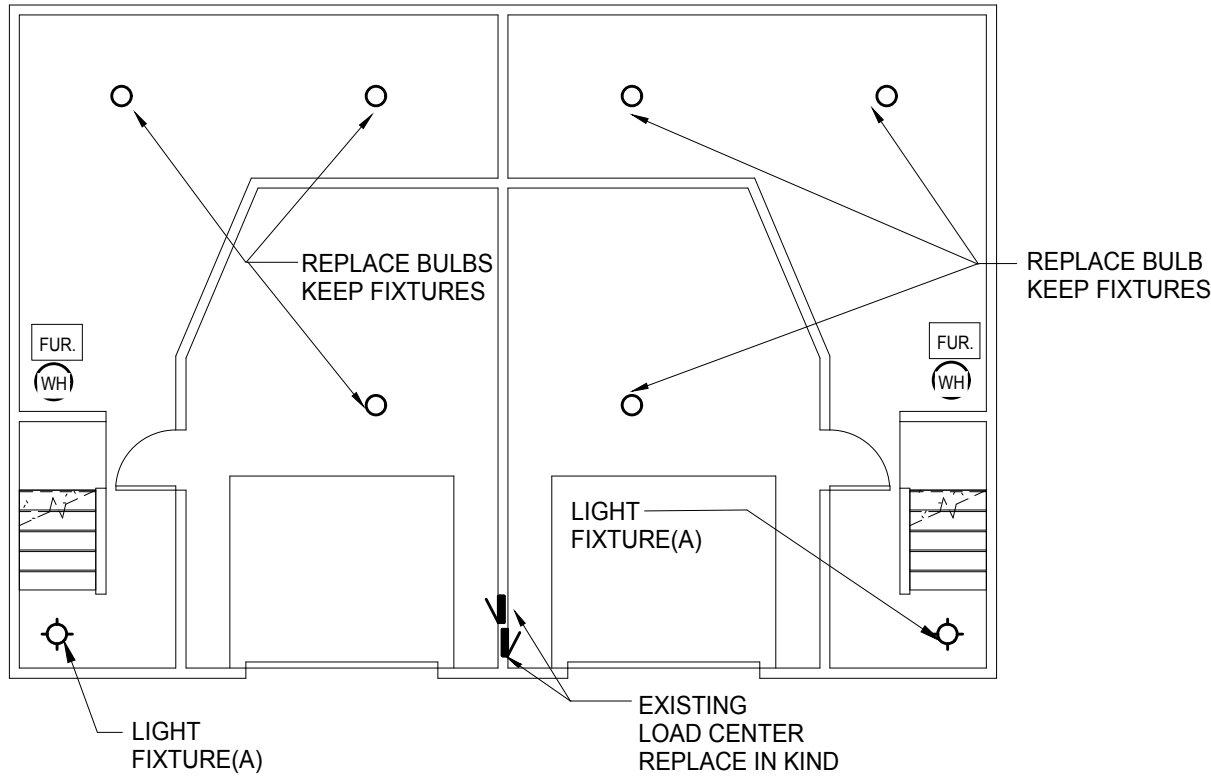
## REVISIONS

1	9.11.17	REV 1/ADDENDA 2
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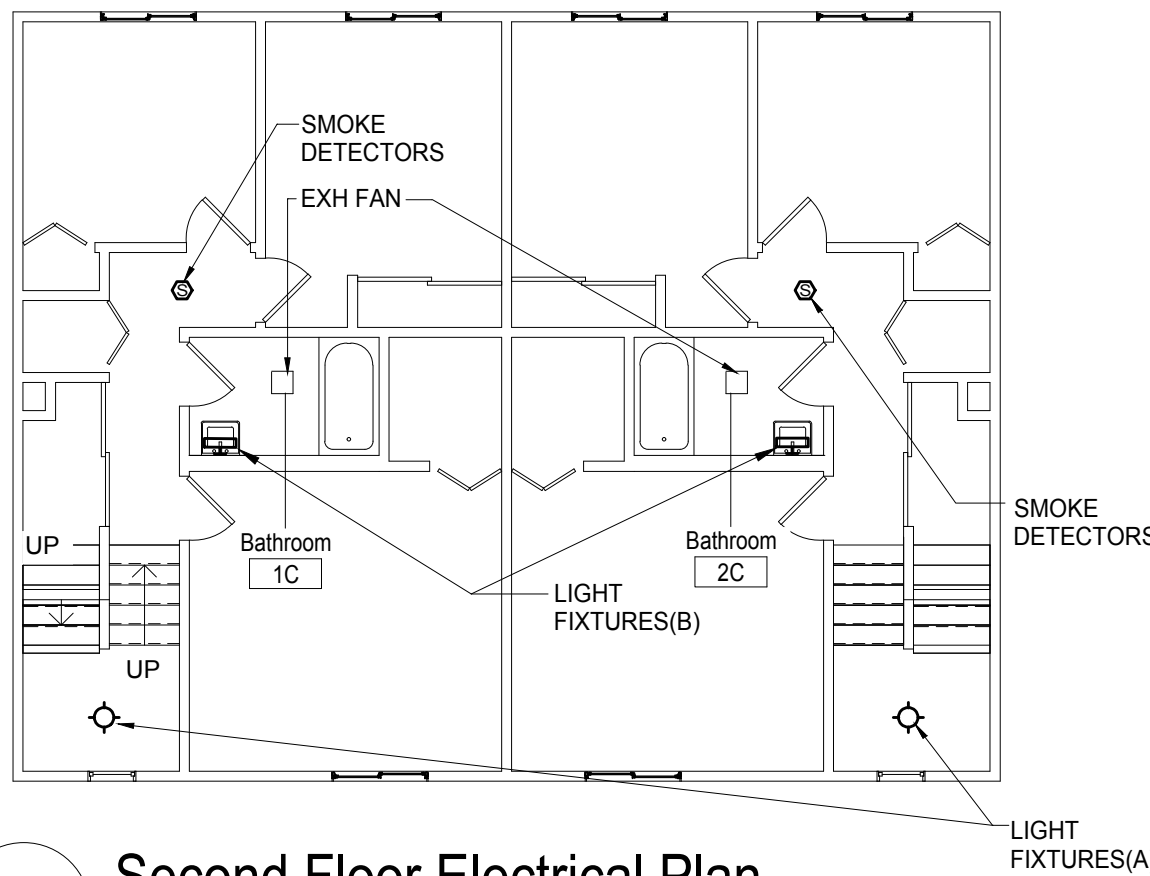
Family  
Community -  
Type C

1	9.11.17	REV 1/ADDENDA 2
R3A PROJECT #		15074B

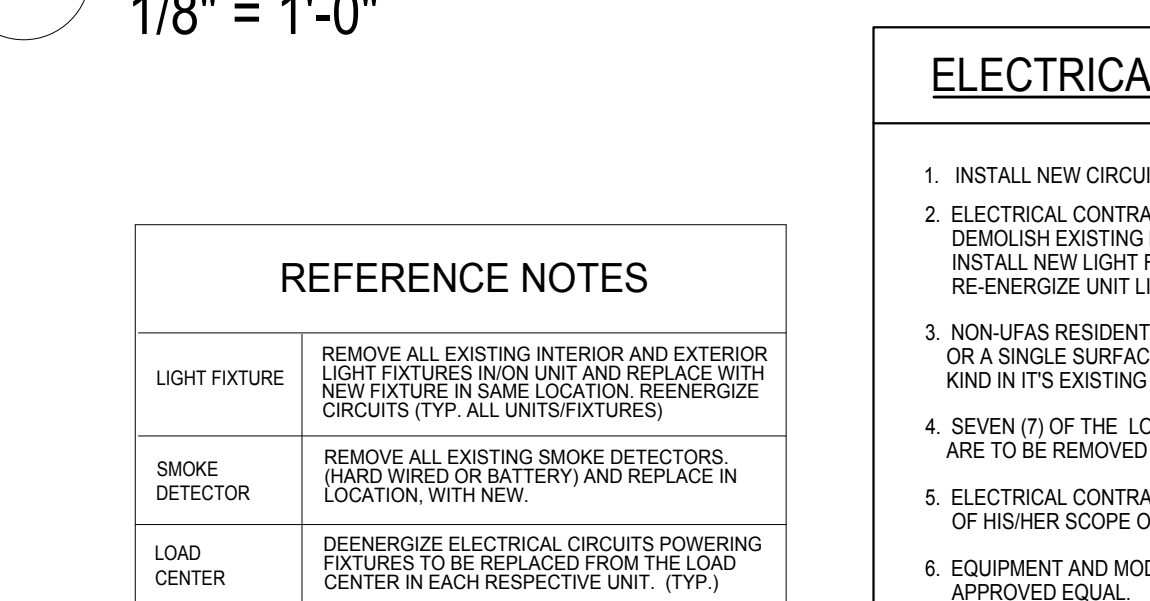
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Electrical Plan  
1/8" = 1'-0"



2 First Floor Electrical Plan  
1/8" = 1'-0"



3 Second Floor Electrical Plan  
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#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN NON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
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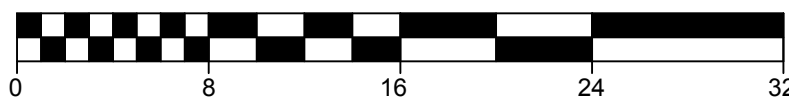
#### ELECTRICAL NOTES (CONT)

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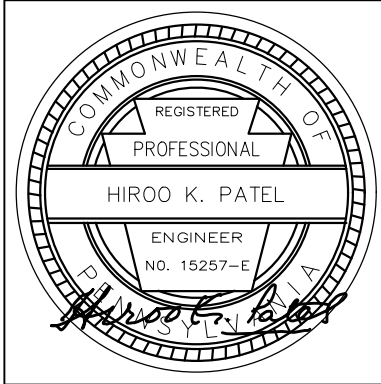
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- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
- CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
- THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
- EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 [REV 1] ADDENDA 2

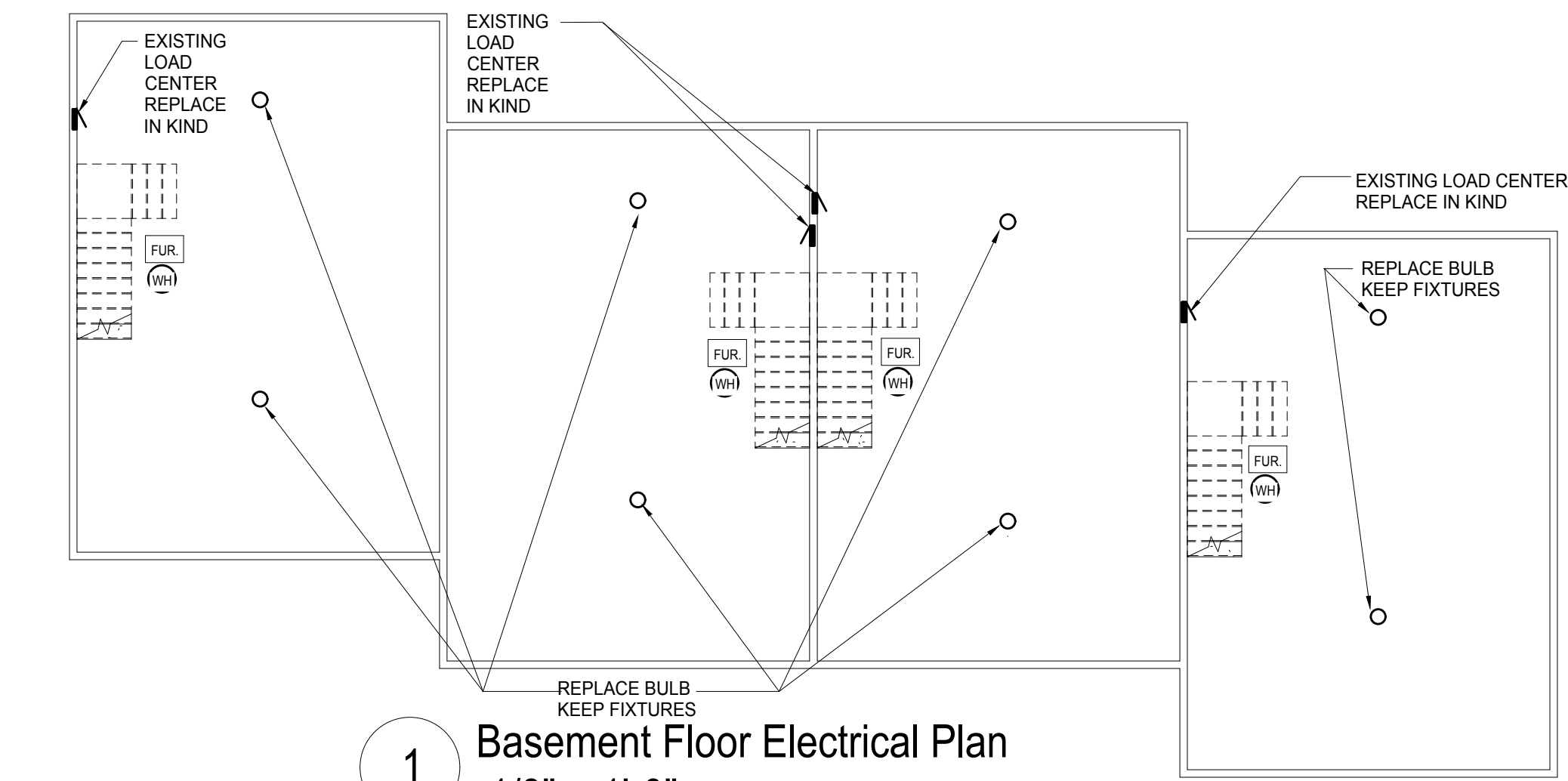
Family  
Community -  
Type D

1 9.11.17 [REV 1] ADDENDA 2  
R3A PROJECT # 15074B

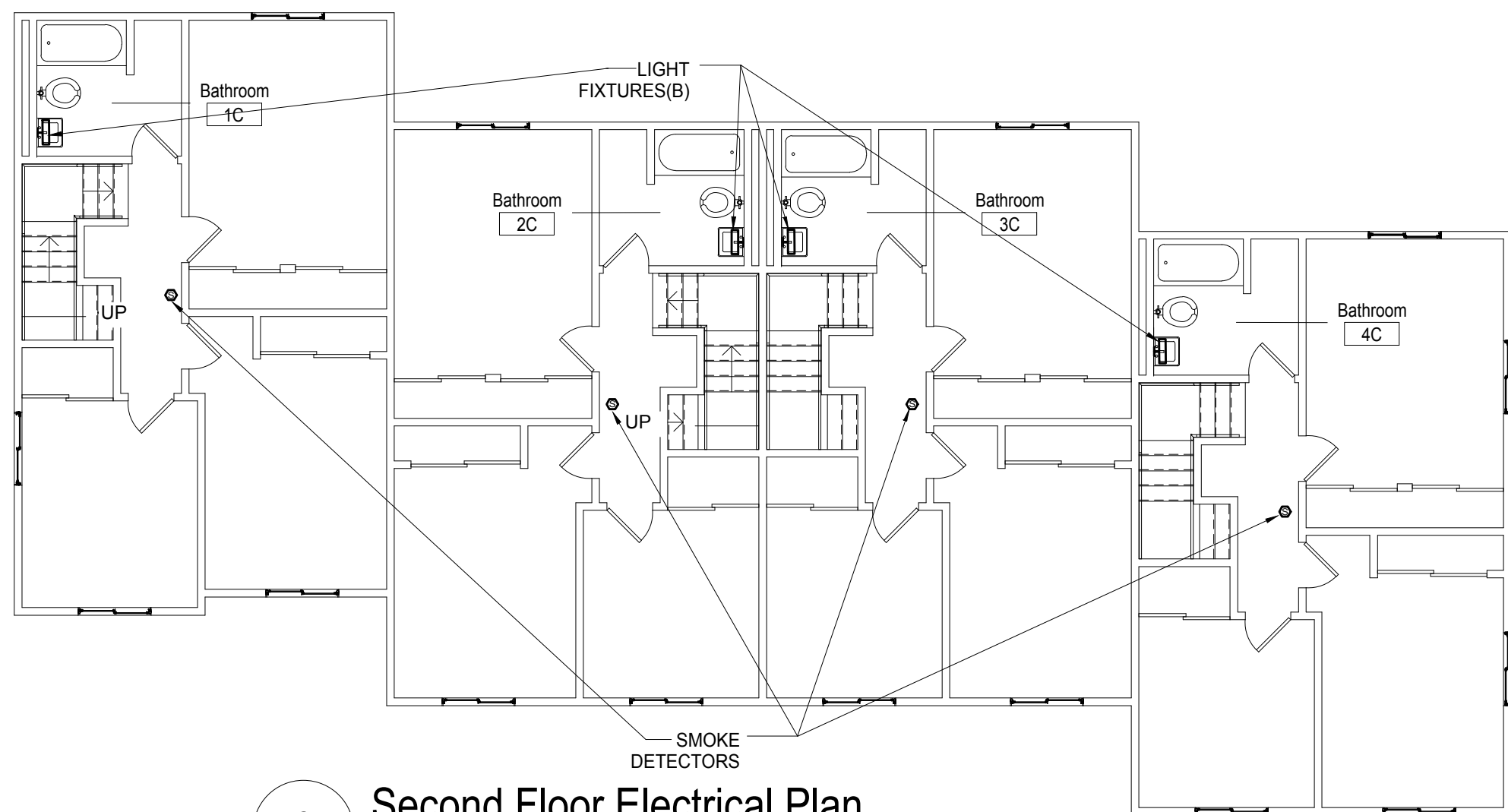
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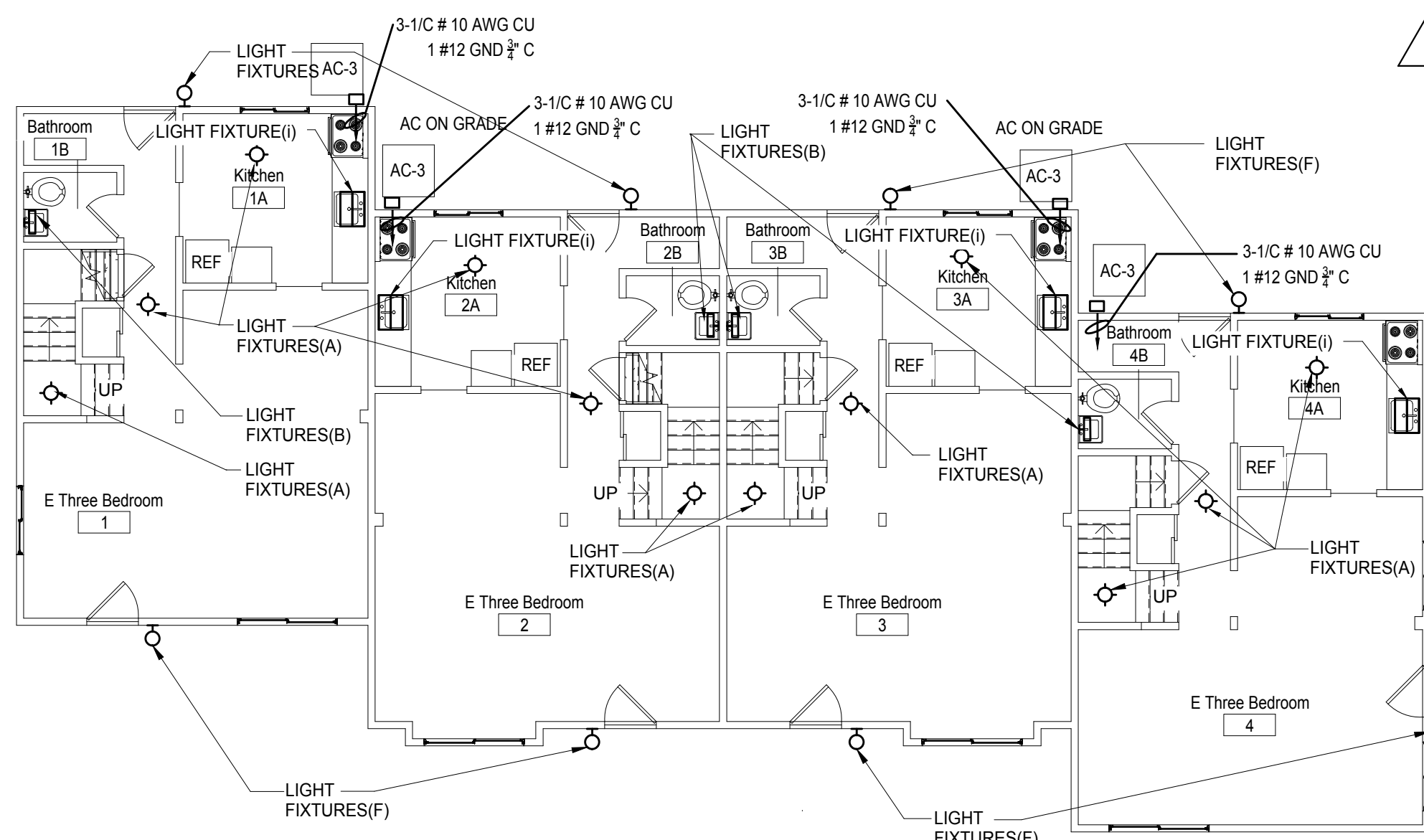
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Electrical Plan  
1/8" = 1'-0"



3 Second Floor Electrical Plan  
1/8" = 1'-0"



2 First Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING Z335BNC17LEDWAZ7K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA906SCLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS907DYB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHA1LD0650C140UE-T35LRA0802W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DFLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPC00C1X37U9KGZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING Z902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### ELECTRICAL NOTES

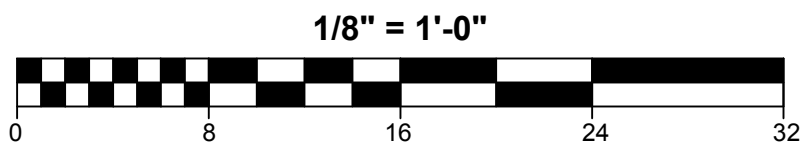
1. INSTALL NEW CIRCUIT BREAKERS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE LOW RISE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS . THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.

#### ELECTRICAL NOTES (CONT)

7. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX OR JUNCTION BOX TO REMAIN.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
14. ALL WIRING SHALL BE COPPER.

#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES (NON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)



#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

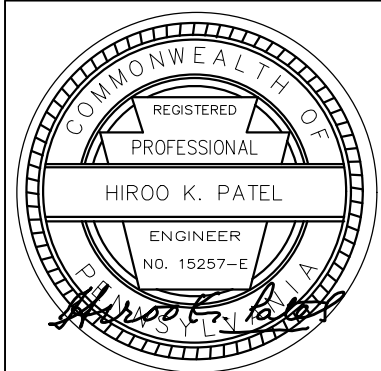
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE: SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



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Task Order  
Contract No. 33 -  
Glen Hazel Rental  
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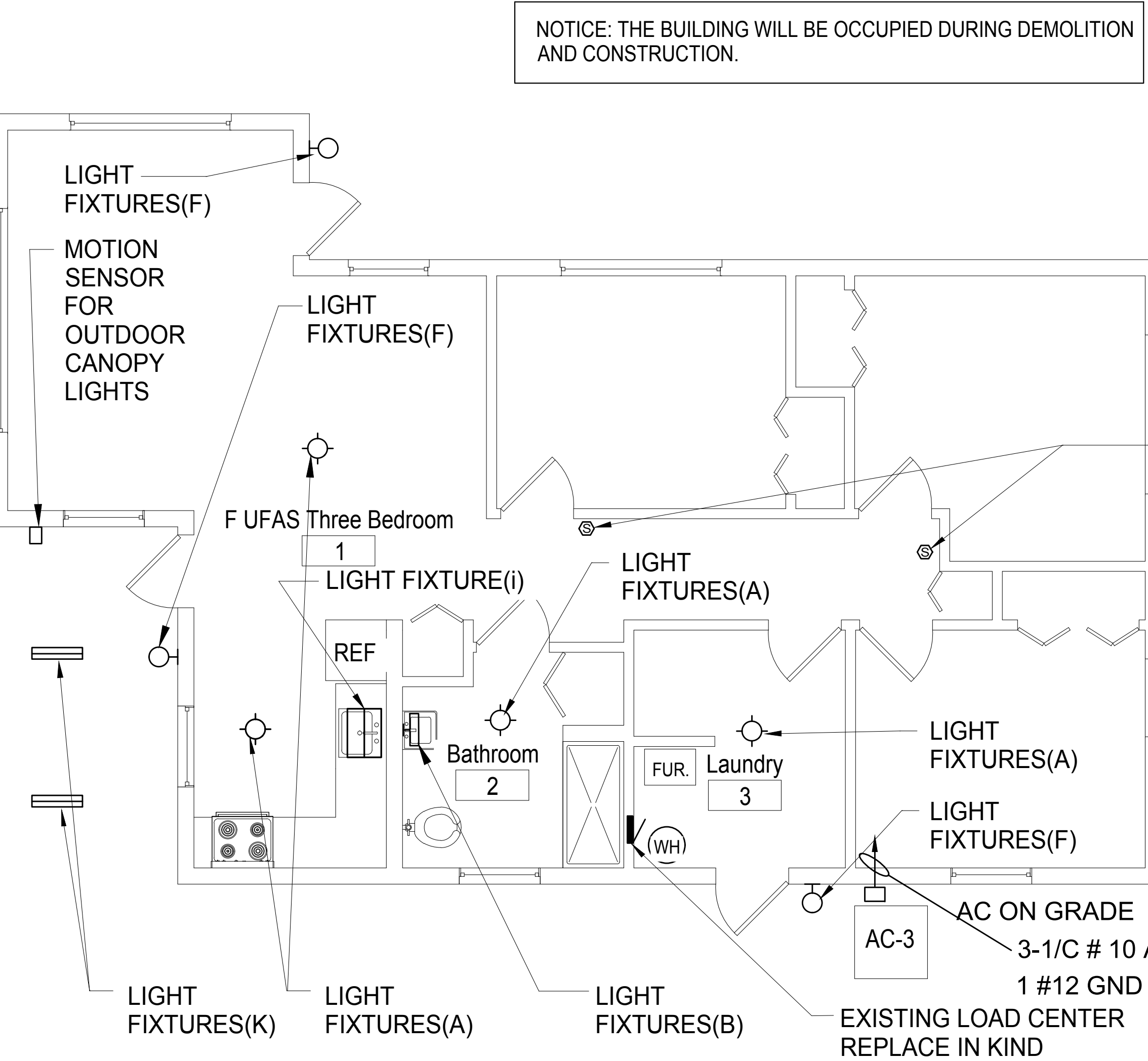
CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 9.11.17 REV 1/ADDENDA 2

Family  
Community -  
Type E

1 9.11.17 REV 1/ADDENDA 2  
R3A PROJECT # 15074B



REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/CN UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES (CONT)	
12.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
13.	PROVIDE WIRE AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
14.	REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
15.	ALL WIRING SHALL BE COPPER.

ELECTRICAL NOTES					
1.	INSTALL NEW CIRCUITS AND WIRING FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.				
2.	ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.				
3.	NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.				
4.	SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.				
5.	ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.				
6.	EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.				
7.	PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM. 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.				
8.	PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.				
9.	ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.				
10.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.				
11.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.				

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 23358NC17LEDWAZTK	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA909SCLD930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS907YB2LED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHJLDO650C140UE -T35LRAQ802W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DULFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCQCQ1Y37USKCZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING I2902-2X26W-79WHM	CEILING	1	LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LMA-14M-4200-35K-UX3-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT
FIXTURE (j)	LITHONIA LIGHTING VAP4000LM-F31-MD-120V-GZ10-30K-80CRI	OUTDOOR CANOPY	2	LED ARRAY	120	SURFACE MOUNT, WEATHERPROOF, VANDALRESISTANT

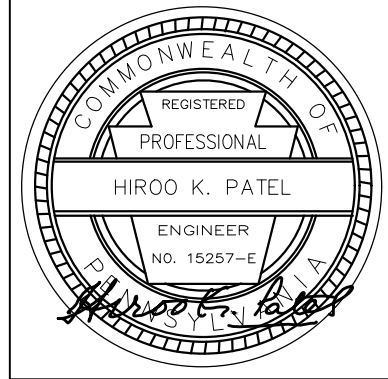
1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.  
2. PROVIDE MOTION SENSOR FOR OUTDOOR CANOPY LIGHT, LITHONIA MS101NW, OR APPROVED EQUAL.

CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
FIXTURE (a)	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE-BR TYPE	100	RESIDENTIAL UNITS
FIXTURE (b)	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

- PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
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- CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.
- FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT. UNLESS NOTED OTHERWISE, CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACP'S MOVING CONSULTANT. HACP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
- THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.
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- ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
- MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
- EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
- ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
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- EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
- EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:

*Tri-State DESIGN AND DEVELOPMENT*  
CARLETON, PENNSYLVANIA

Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS  
1 | 9.11.17 | REV 1/ADDENDA 2

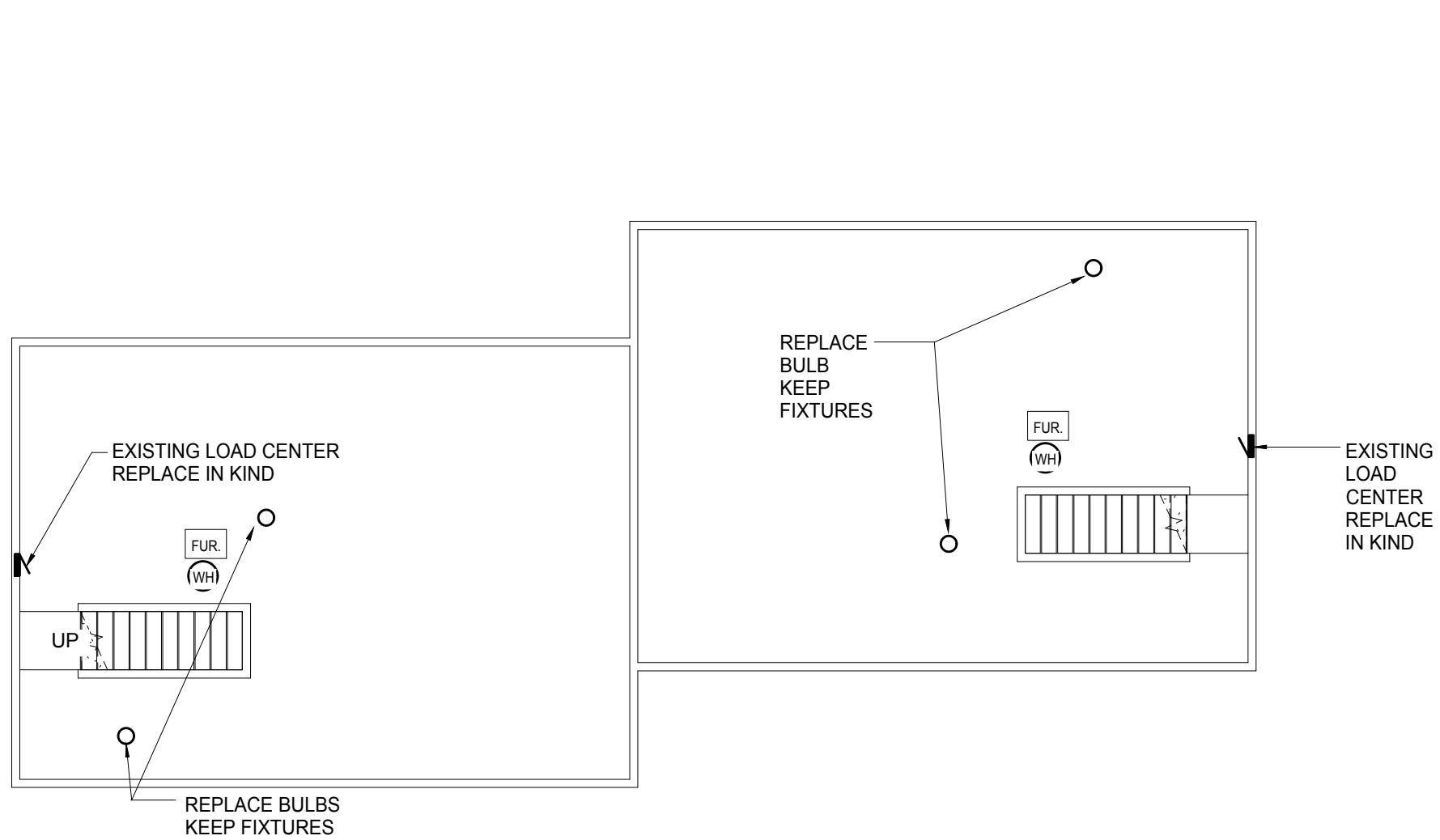
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Community -  
Type F UFAS

1 | 9.11.17 | REV 1/ADDENDA 2  
R3A PROJECT # 15074B

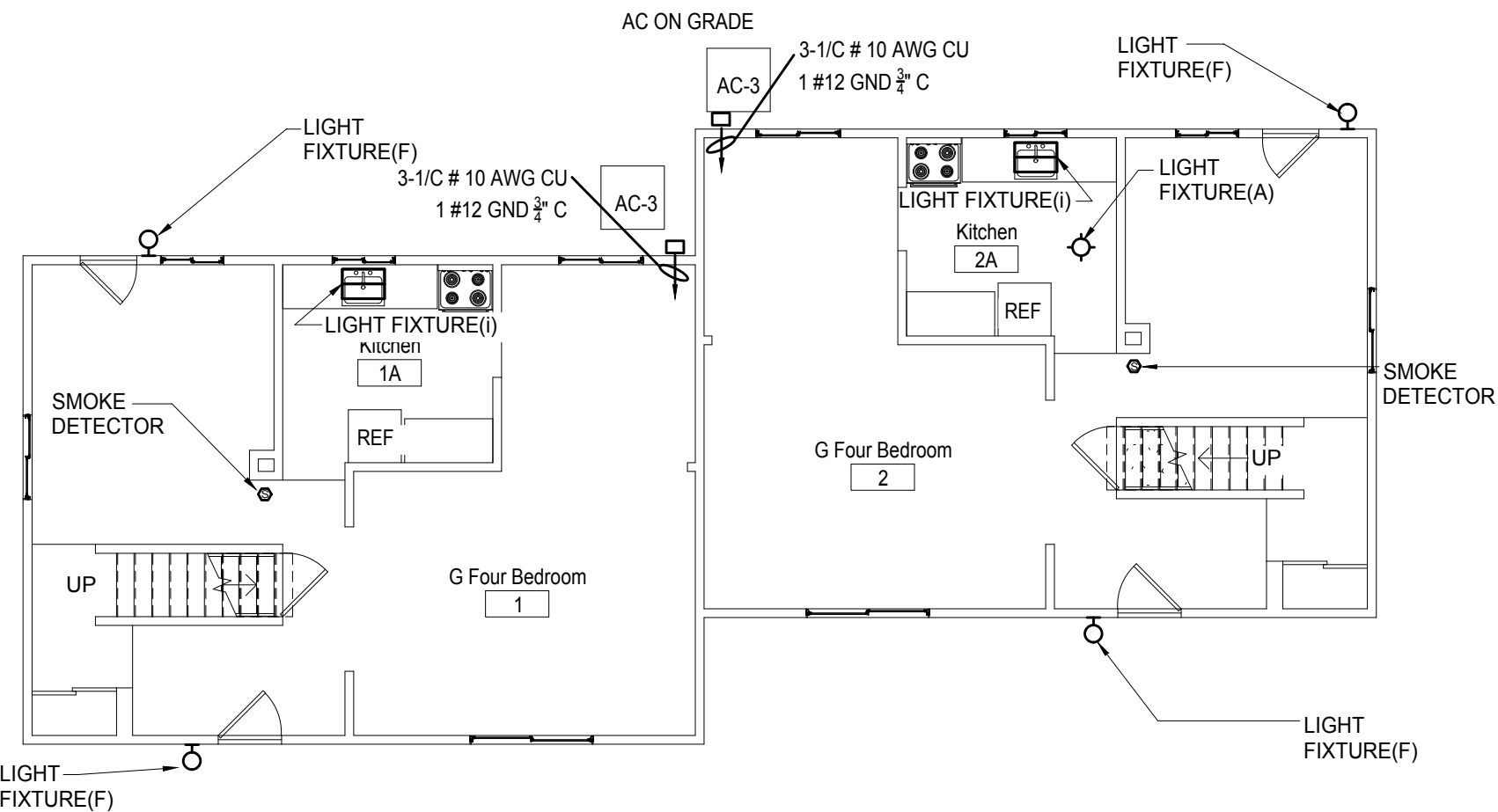
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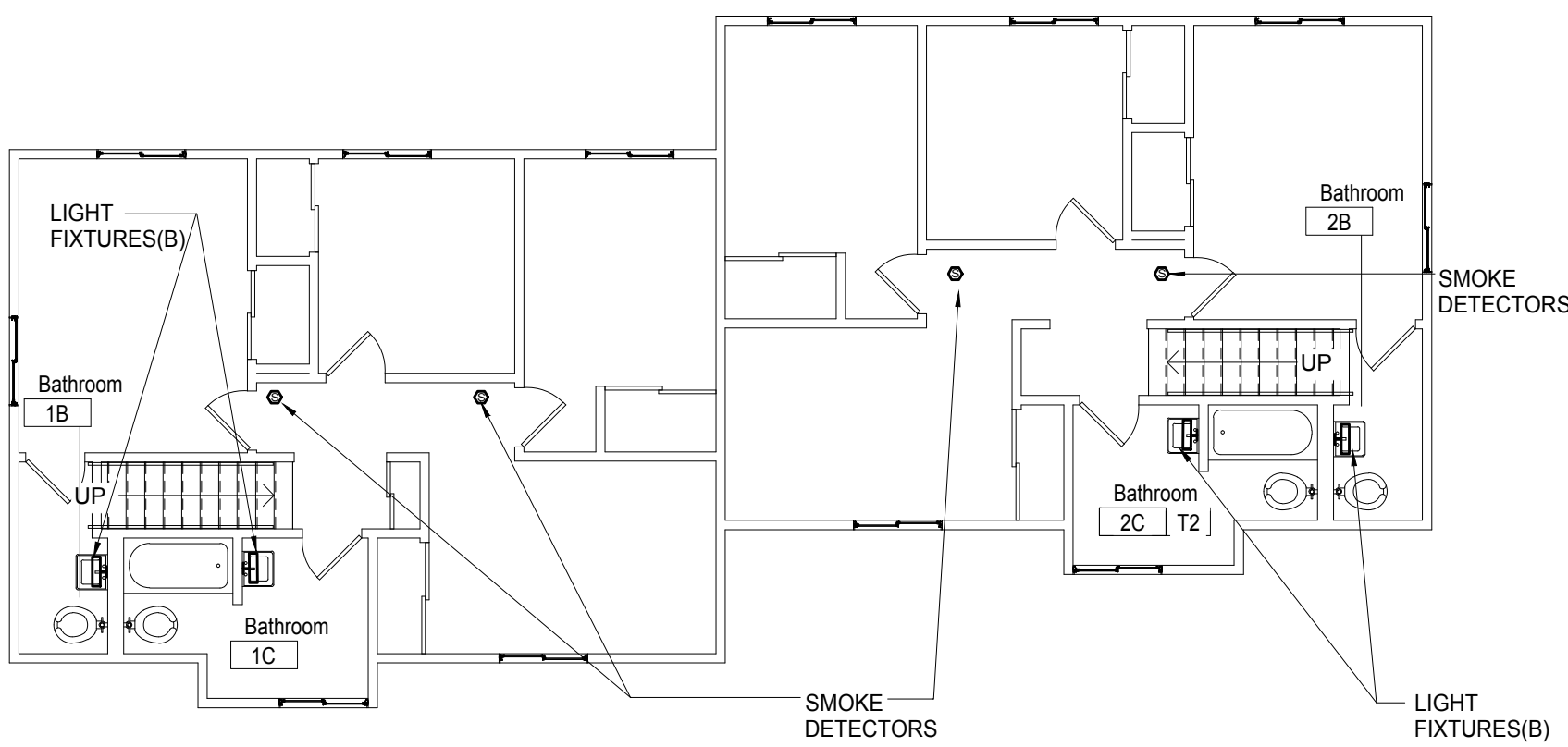
NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Electrical Plan  
1/8" = 1'-0"



2 First Floor Electrical Plan  
1/8" = 1'-0"



3 Second Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. HARD WIRE TO BATTERY AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

#### ELECTRICAL NOTES (CONT)

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR. POWER SHALL BE ROUTED TO RESPECTIVE LOAD CENTER TO WHICH AC CONDENSER PROVIDES AIR CONDITIONING.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
14. ALL WIRING SHALL BE COPPER.

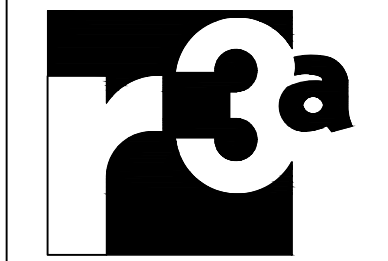
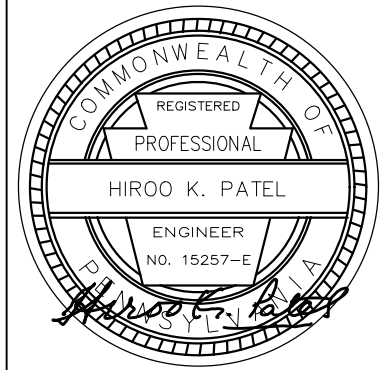
#### ELECTRICAL NOTES

1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIGHER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS, WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE, REMOVE WIRE TO SECOND BOX OR JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNIT SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.

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Design  
Technology  
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CONSTRUCTION  
DOCUMENTS

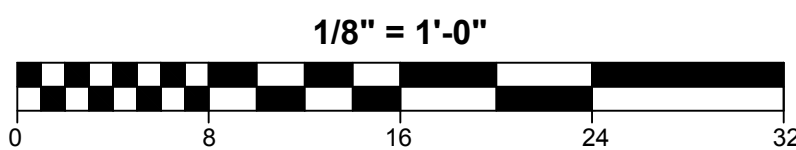
ISSUED: August 11, 2017

REVISIONS  
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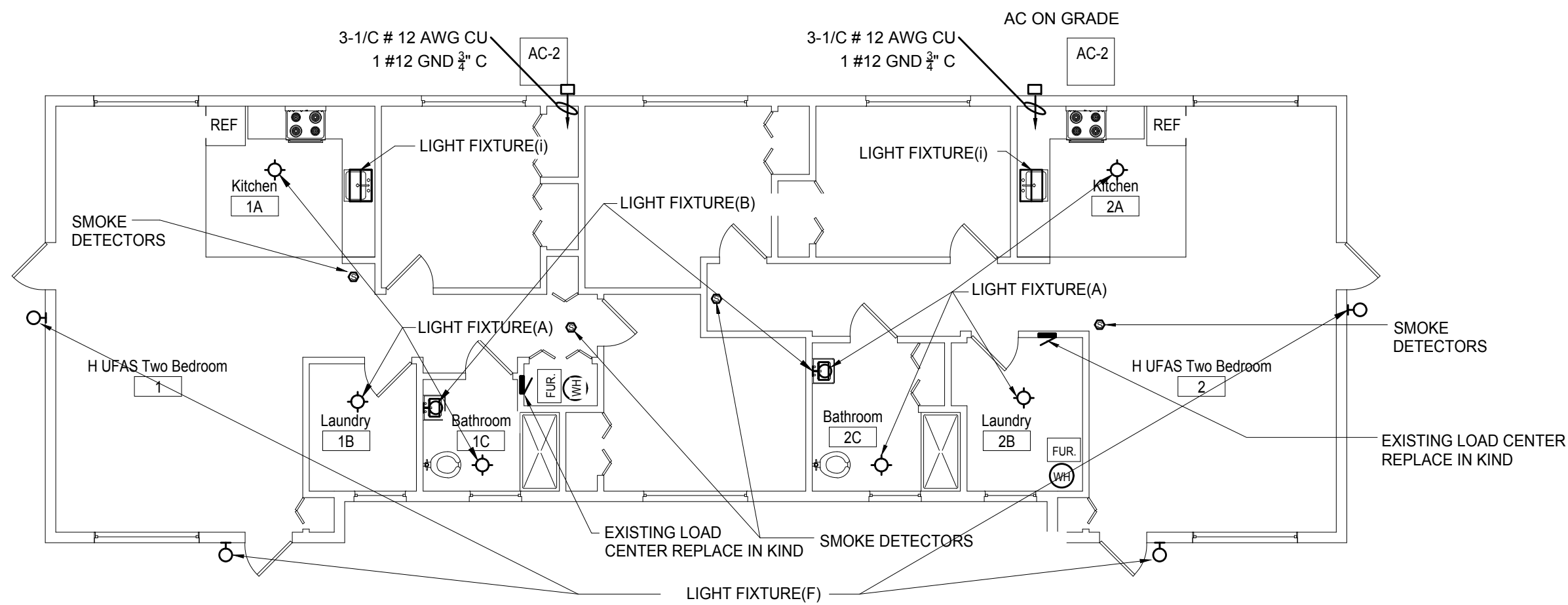
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R3A PROJECT # 15074B

E-117



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



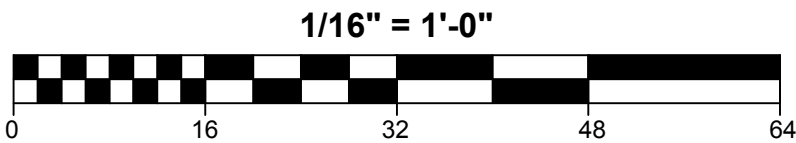
1 First Floor Electrical Plan  
1/16" = 1'-0"

#### REFERENCE NOTES

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#### ELECTRICAL NOTES (CONT)

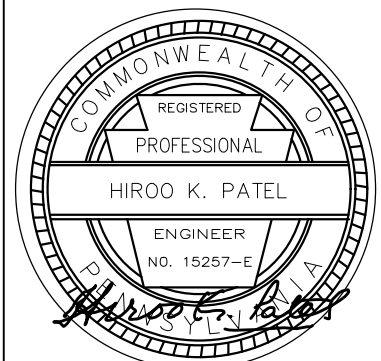
12. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
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12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACP'S REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJECENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS	
1 9.11.17	REV 1/ADDENDA 2

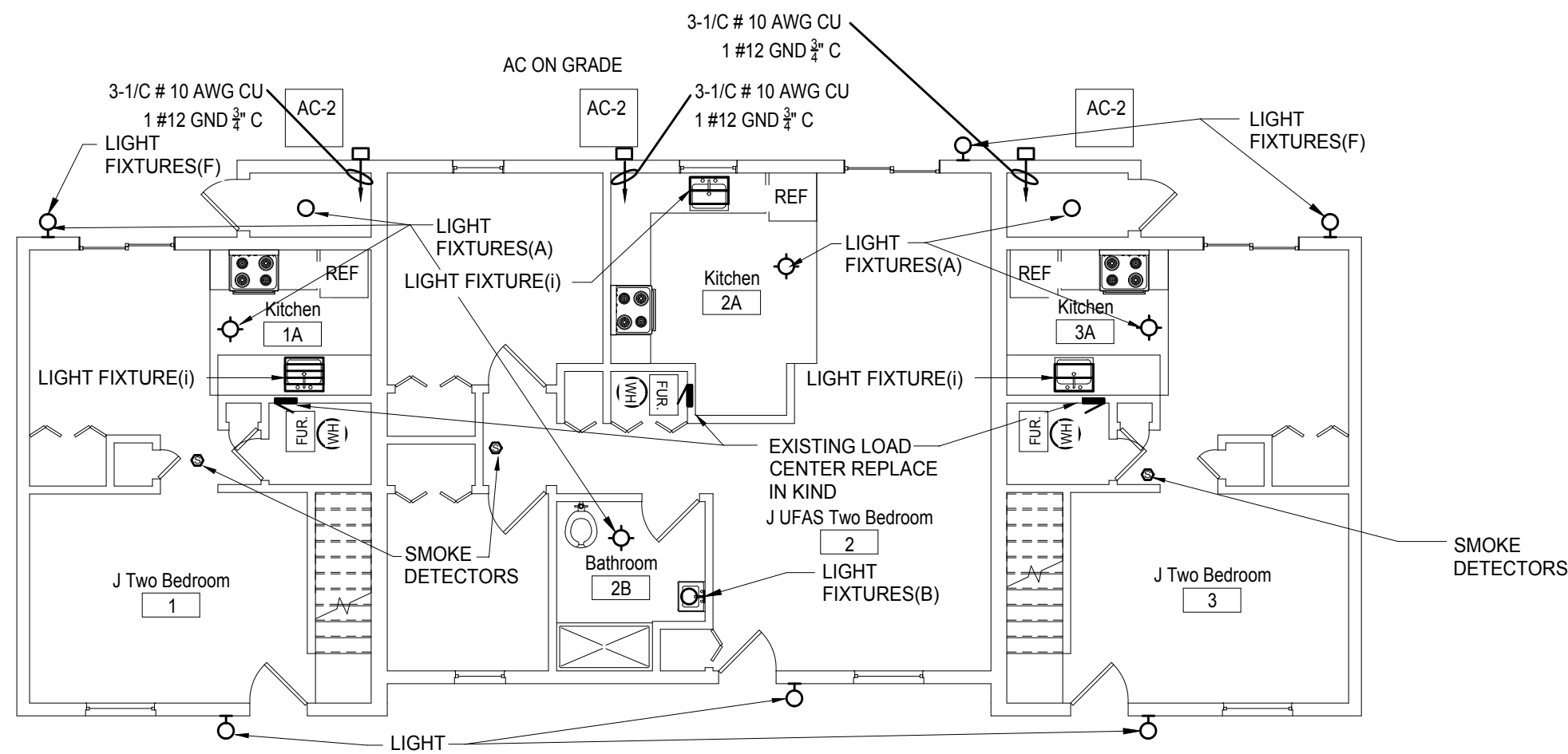
Family  
Community -  
Type H UFAS

1 9.11.17	REV 1/ADDENDA 2
R3A PROJECT #	15074B

E-118



NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

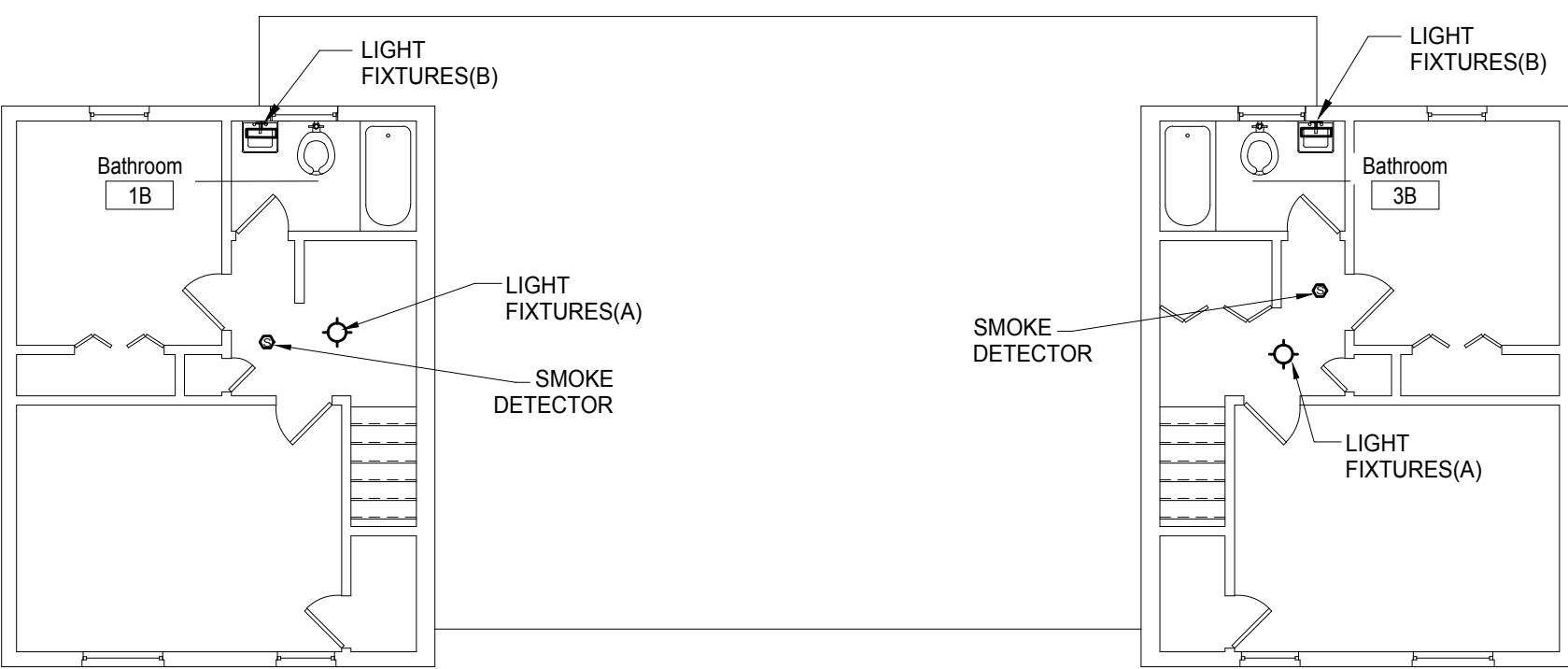


1 First Floor Electrical Plan  
1/8" = 1'-0"

REFERENCE NOTES	
LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS, (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

ELECTRICAL NOTES

1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNIT FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007824 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEG BOX PLATE. REMOVE WIRE TO SECOND BOX OR JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNIT SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOGS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
12. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
13. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
14. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
15. ALL WIRING SHALL BE COPPER.



2 Second Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		REMARKS
			NO.	DESCRIPTION	
FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDW427K	CEILING / SURFACE	1	LED ARRAY	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA406SCLED930	WALL / SURFACE	1	LED ARRAY	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS9070YB2LED930	WALL / SURFACE	1	LED ARRAY	RESIDENTIAL UNITS
FIXTURE (d)	LITON LHA.LDQ650C140UE -T350.RA0060W	CEILING/ RECESSED	1	LED ARRAY	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DUFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PLCK MWPC00C1X37U9K0Z	WALL	1	LED ARRAY	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILLUZ LIGHTING 12902-2K26W-79WHM	CEILING	1	LED ARRAY	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

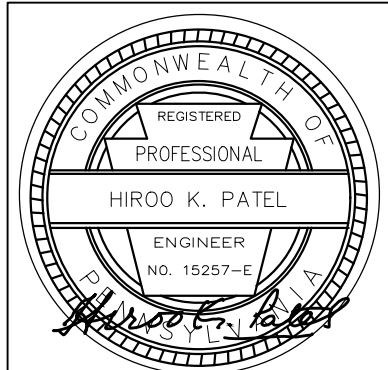
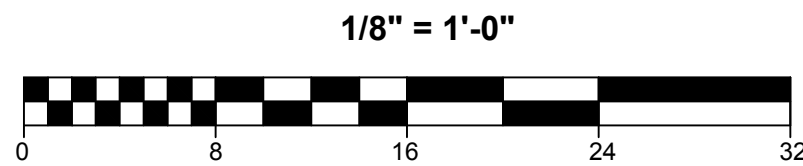
CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
BREAKER (a)	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
BREAKER (b)	SQUARE D DU 321NR8	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDING, APARTMENT UNITS AND CODE INFORMATION.

GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL MECHANICAL, PLUMBING AND ELECTRICAL PRIMES, ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS OR HAZARDOUS MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK. TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IRC, UFAS, ETC. INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS. EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Contract No. 33 -  
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(RAD)

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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS

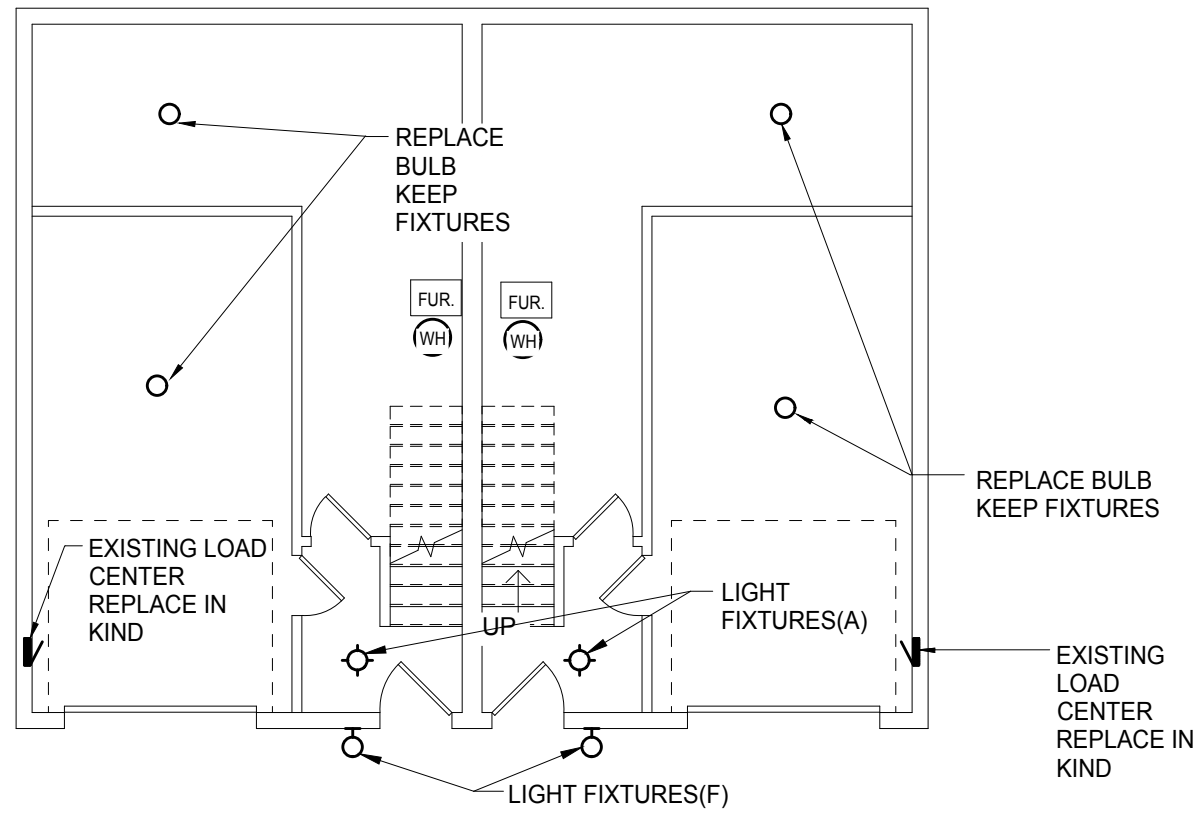
1 9.11.17 | REV 1/ADDENDA 2

Family  
Community -  
Type J

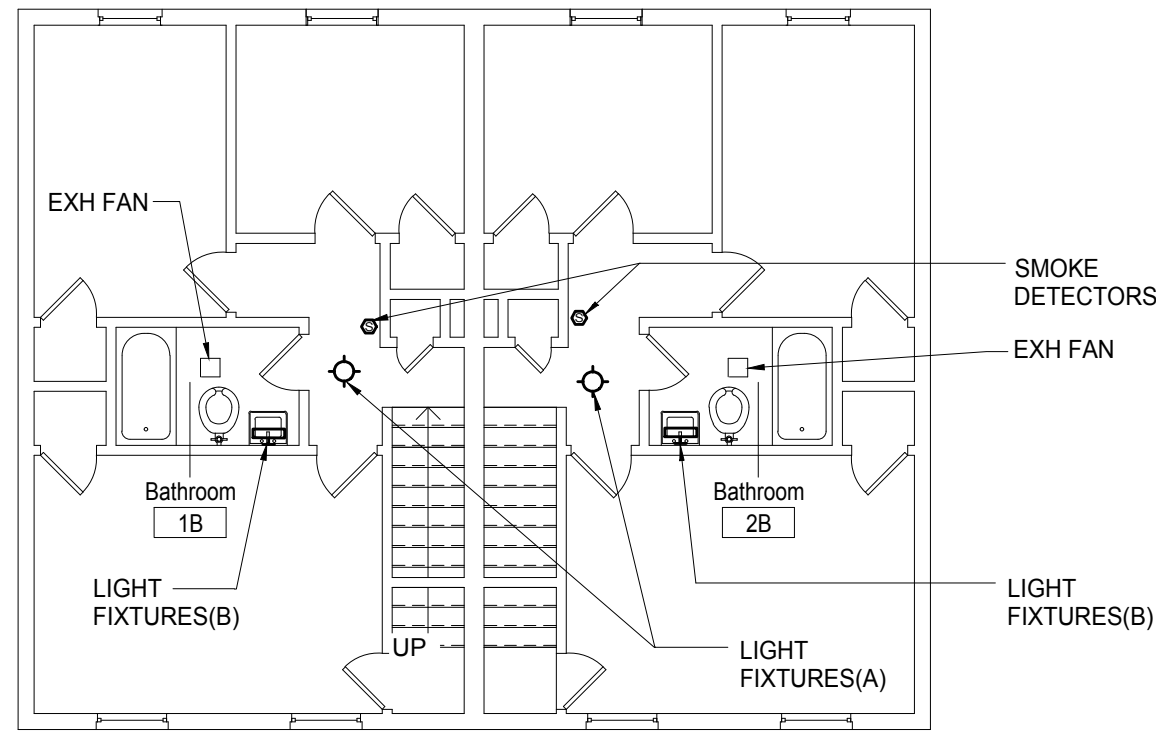
1 9.11.17 | REV 1/ADDENDA 2

R3A PROJECT # 15074B

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.



1 Basement Floor Electrical Plan  
1/8" = 1'-0"



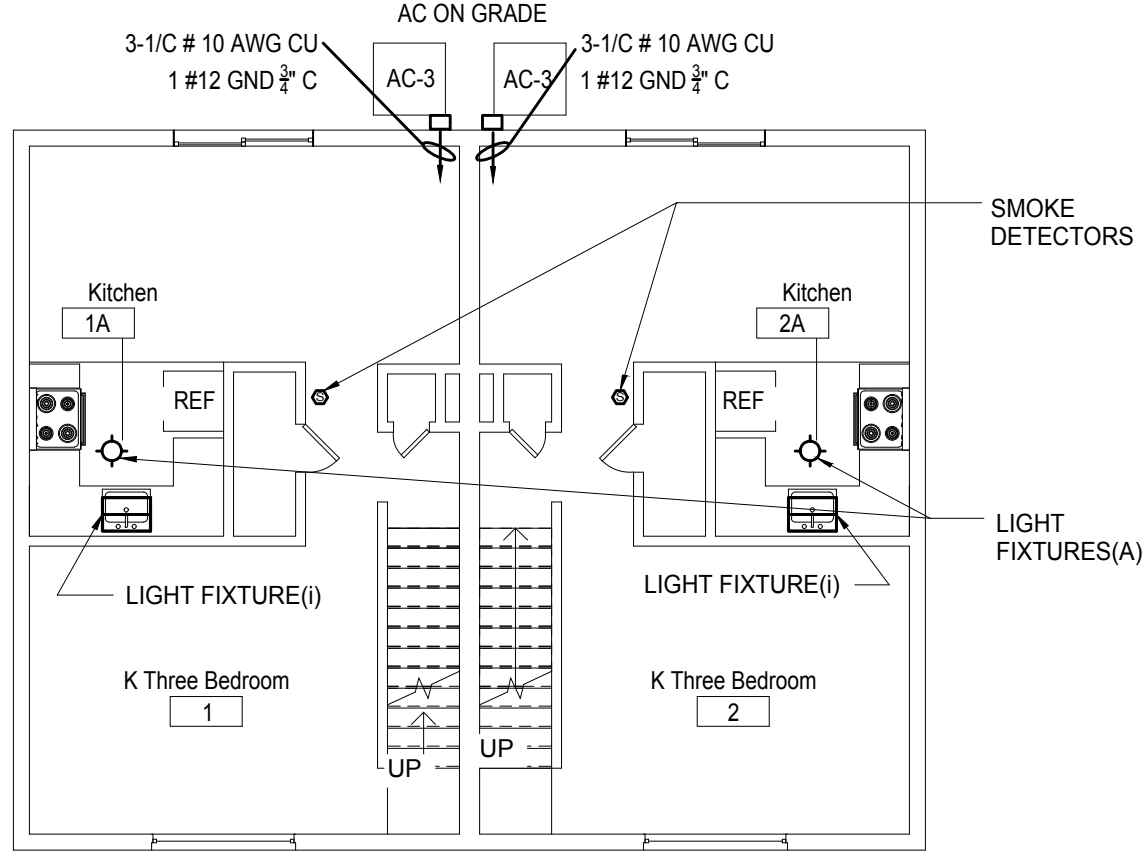
3 Second Floor Electrical Plan  
1/8" = 1'-0"

#### ELECTRICAL NOTES (CONT)

10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.
12. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REWIRING A REMOTE SWITCH FOR UFAS UNIT RANGE HOODS. REMOTE SWITCH SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR.
13. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
14. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
15. ALL WIRING SHALL BE COPPER.

#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN KIND WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)



2 First Floor Electrical Plan  
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP	VOLTAGE	REMARKS
			NO. DESCRIPTION		
FIXTURE (a)	BROWNLEE LIGHTING 2358NCTLEDW427K	CEILING / SURFACE	1 LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (b)	LBL LIGHTING ELLIS 24 BA006SCLED0930	WALL / SURFACE	1 LED ARRAY	120	BATHROOM VANITY FIXTURE
FIXTURE (c)	LBL LIGHTING WS070YBLED930	WALL / SURFACE	1 LED ARRAY	120	RESIDENTIAL UNITS
FIXTURE (d)	LITON LH4LD0650C140UE -T35LRAG062W	CEILING/ RECESSED	1 LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1 LED ARRAY	120	LAUNDRY & STORAGE AREAS
FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWP000C1X37U9K0Z	WALL	1 LED ARRAY	120	EXTERIOR & STAIR LIGHTING
FIXTURE (g)	ESTILUZ LIGHTING 12902-2X26W-79WHM	CEILING	1 LED ARRAY	120	LOBBY
FIXTURE (h)	MERCURY LIGHTING LM4-14M-4200-35K-UXX-UNI-EM7	CEILING	1 LED ARRAY	120	RECESSED LIGHTING
FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1 LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

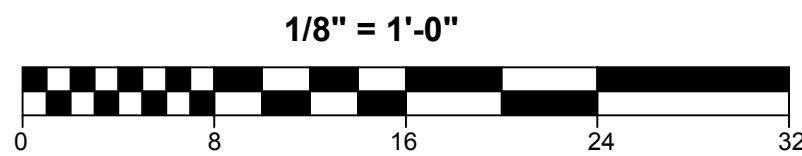
CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NRB	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.
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#### ELECTRICAL NOTES

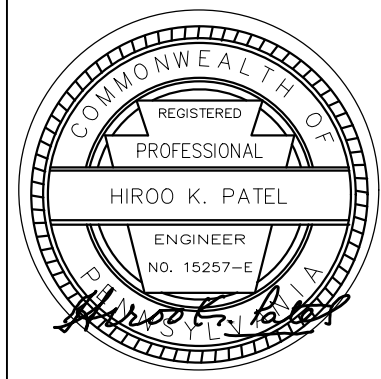
1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
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3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN IT'S EXISTING LOCATION.
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7. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE.
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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACPS REPRESENTATIVE.
4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACPS MOVING CONSULTANT. HACPS MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT. REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.
5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS '012100 ALLOWANCES' AND '012200 UNIT PRICES' FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.
8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL.
9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APPARATUS ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND PHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.
12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IEBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.
13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS. THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.
14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE. UNLESS OTHERWISE NOTED, EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Alies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

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CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

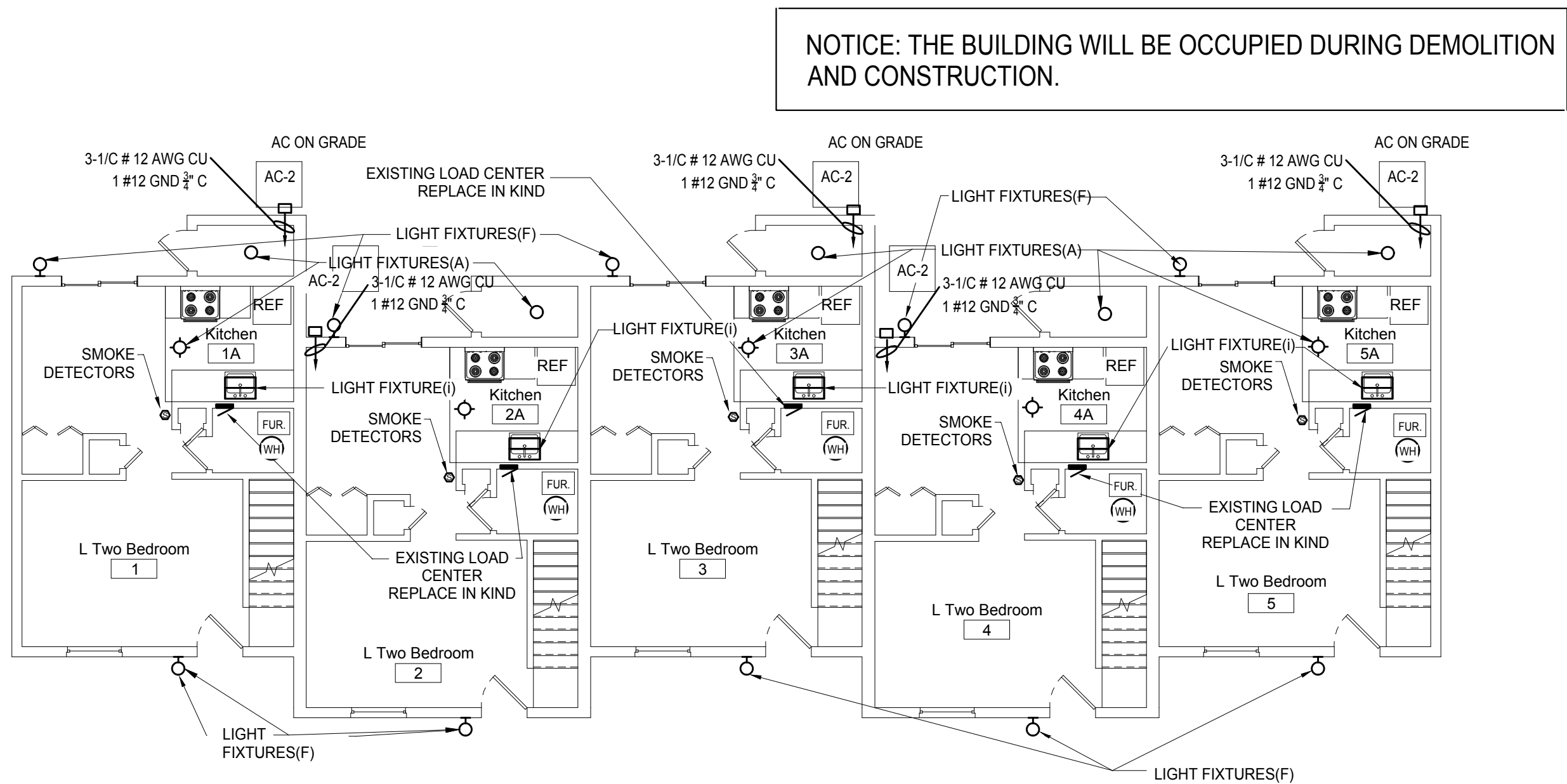
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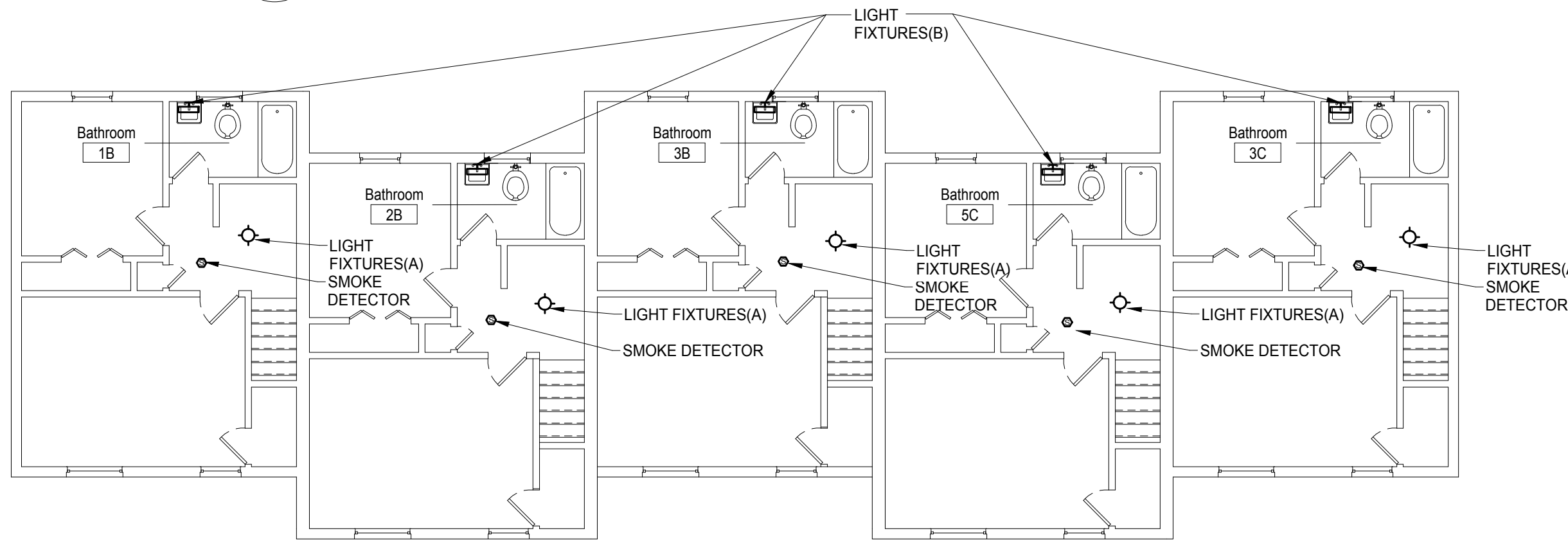
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R3A PROJECT# 15074B

E-120





1 First Floor Electrical Plan  
1/8" = 1'-0"



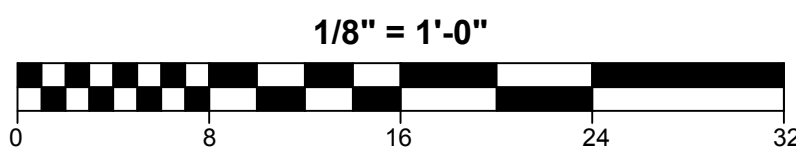
2 Second Floor Electrical Plan  
1/8" = 1'-0"

#### ELECTRICAL NOTES

12. PROVIDE WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS".
14. ALL WIRING SHALL BE COPPER.

#### REFERENCE NOTES

LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)



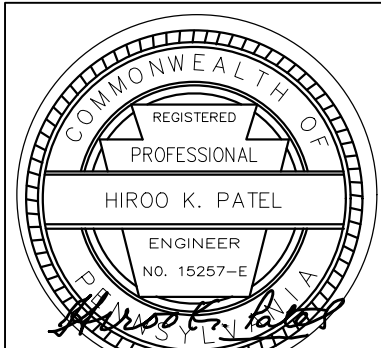
#### ELECTRICAL NOTES

1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES. INSTALL NEW LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING. RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 48" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM. 120 VOLT WITH BATTERY, PHOTO-ELECTRIC, TO REPLACE EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST TOO CLOSE TOGETHER REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
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#### GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WITH OTHER CONTRACTORS. REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HACPS REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.
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5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. ALL DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS 012100 ALLOWANCES AND 012200 UNIT PRICES FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACPS REPRESENTATIVE AND THE ARCHITECT.
6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.
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14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT COULD POTENTIALLY BE DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF DEMOLITION AND NEW CONSTRUCTION WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACPS REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION, EITHER NEW OR EXISTING, SHALL BE PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.
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NOTE:  
SEE DWG G-101, G-102 AND G-110 FOR BUILDINGS, APARTMENT UNITS AND CODE INFORMATION.



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Design  
Technology  
Sustainability

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CONSULTANT:



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Task Order  
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945 Roselle Ct  
Pittsburgh, PA 15207

CONSTRUCTION  
DOCUMENTS

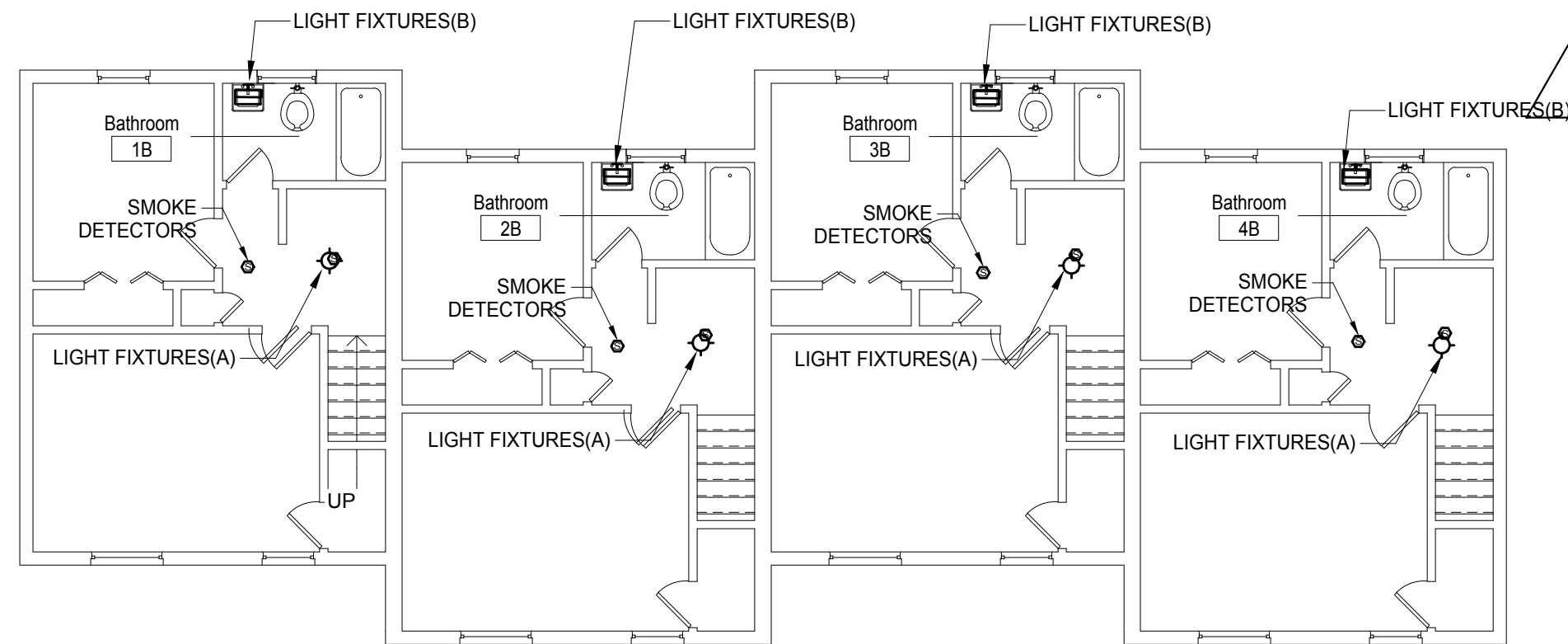
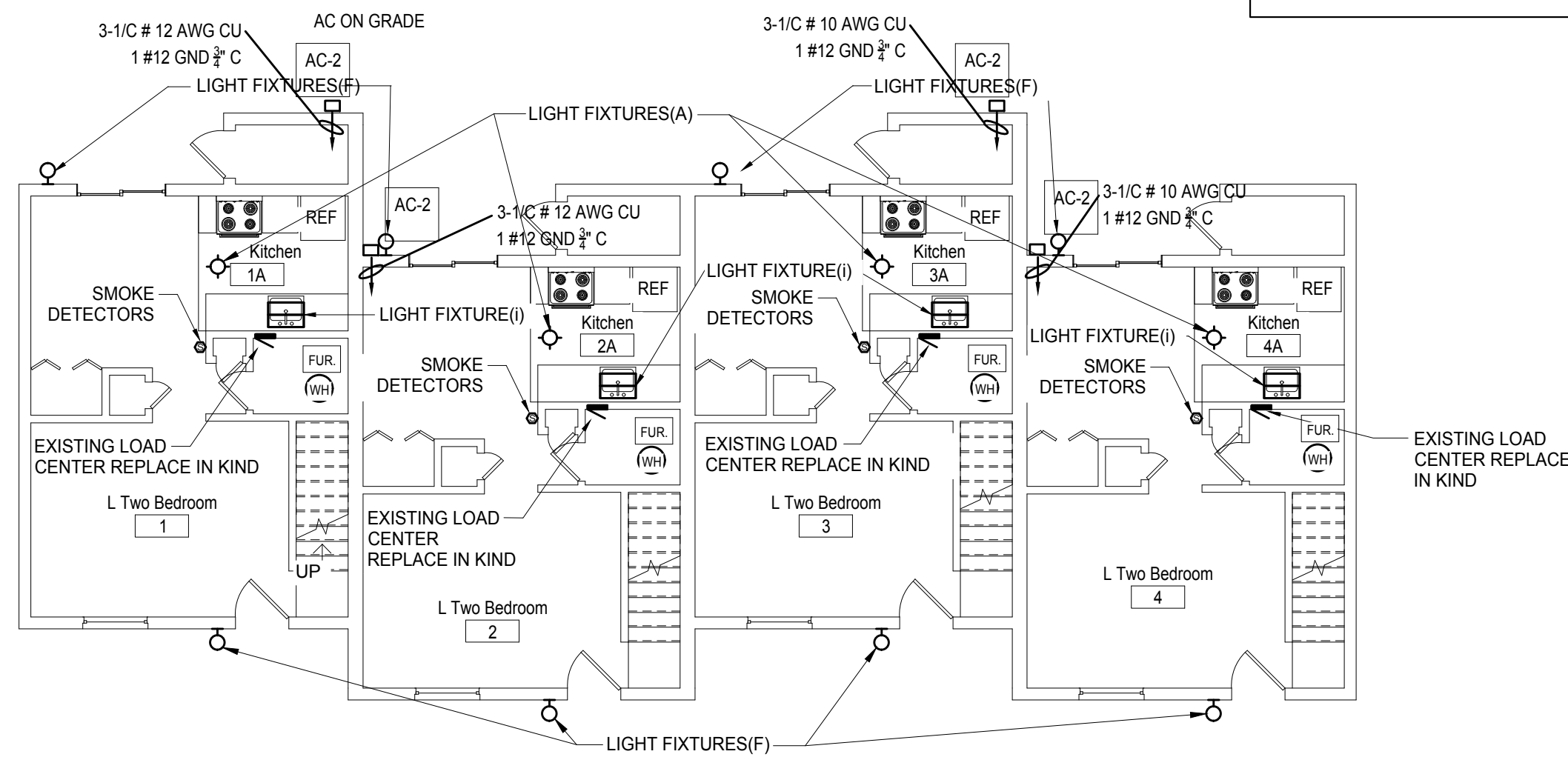
ISSUED: August 11, 2017

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R3A PROJECT # 15074B

E-121



## ELECTRICAL NOTES (CONT)

12. INSTALL WIRING AND CIRCUIT BREAKER FOR LIGHT ABOVE KITCHEN SINK IF NECESSARY.
13. REFER TO SPEC SECT 012300, ALTERNATES E-002 "FAMILY COMMUNITY LOW RISE ELECTRICAL PANELS"
14. ALL WIRING SHALL BE COPPER.

## REFERENCE NOTES



LIGHT FIXTURE	REMOVE ALL EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES IN/ON UNIT AND REPLACE WITH NEW FIXTURE IN SAME LOCATION. REENERGIZE CIRCUITS (TYP. ALL UNITS/FIXTURES)
SMOKE DETECTOR	REMOVE ALL EXISTING SMOKE DETECTORS. (HARD WIRED OR BATTERY) AND REPLACE IN LOCATION, WITH NEW.
LOAD CENTER	DEENERGIZE ELECTRICAL CIRCUITS POWERING FIXTURES TO BE REPLACED FROM THE LOAD CENTER IN EACH RESPECTIVE UNIT. (TYP.)

## ELECTRICAL NOTES

1. INSTALL WIRING AND CIRCUIT BREAKERS FOR OUTDOOR CONDENSING UNITS FOR LOW RISE RESIDENTIAL UNITS.
2. ELECTRICAL CONTRACTOR TO DE-ENERGIZE CIRCUIT TO EXISTING RESIDENTIAL UNIT LIGHT FIXTURES. DEMOLISH EXISTING LIGHT FIXTURES.  
REINSTALL LIGHT FIXTURES, IN KIND AND CONNECT UNIT BRANCH CIRCUIT WIRING.  
RE-ENERGIZE UNIT LIGHTING CIRCUIT.
3. NON-UFAS RESIDENTIAL BATHROOMS EITHER HAVE A SINGLE SURFACE MOUNTED CEILING FIXTURE OR A SINGLE SURFACE MOUNTED WALL FIXTURE. THE BATHROOM FIXTURE IS TO BE REPLACED IN KIND IN ITS EXISTING LOCATION.
4. SEVEN (7) OF THE RESIDENTIAL UNITS ARE UFAS-ACCESSIBLE UNITS. THE LOAD CENTERS IN THESE UNITS ARE TO BE REMOVED AND REINSTALLED AT 4" ABOVE FINISHED FLOOR TO TOP OF PANEL.
5. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR COMPLETION OF HIS/HER SCOPE OF WORK.
6. EQUIPMENT AND MODEL NUMBERS PRESENTED ON ANY EQUIPMENT SCHEDULES ARE BASIS OF DESIGN OR APPROVED EQUAL.
7. PROVIDE KIDDE MOD 21007624 COMBINATION SMOKE DETECTION AND CO ALARM, 120 VOLT WITH BATTERY. PHOTO EYE DETECTING EXISTING SMOKE ALARMS. WHERE TWO SMOKE DETECTORS EXIST 1200 CL CLOSE TOGETHER, REPLACE ONE AND COVER SECOND WITH ELEC BOX PLATE. REMOVE WIRE TO SECOND BOX TO JUNCTION BOX TO REMAIN. THE RESIDENTIAL UNITS SHALL HAVE SMOKE DETECTORS AND STROBES TO CURRENT FIRE CODE.
8. PROVIDE ECOSMART BULBS FOR BASEMENT LIGHT SOCKETS, 9 WT, 60 WT EQUIVALENT, 2700 COLOR TEMP, 800 LUMENS, LED, E26 BASE
9. ELEC CONT SHALL COORDINATE WITH HEATING CONT AND PLUMBING CONT FOR DEENERGIZE/REENERGIZING EQUIPMENT BEING REPLACED BY RESPECTIVE CONT DOCS. EQUIPMENT BEING REPLACED INCLUDES FURNACE, AC, WATER HEATER AND MORE.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW AC CONDENSING UNIT PROVIDED BY HEATING CONTRACTOR.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POWER TO NEW RANGE HOOD. DISCONNECT POWER FROM EXISTING WALL FAN OR RANGE HOOD.

SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	LAMP		VOLTAGE	REMARKS
			NO.	DESCRIPTION		
 FIXTURE (a)	BROWNLEE LIGHTING 2335BNC17LEDW27K	CEILING / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (b)	ELLIS 24 B40R3CLED930	WALL / SURFACE	1	LED ARRAY	120	BATHROOM VANITY FIXTURE
 FIXTURE (c)	LBL LIGHTING W5907BY8ZLED930	WALL / SURFACE	1	LED ARRAY	120	RESIDENTIAL UNITS
 FIXTURE (d)	LITON LH4LD06RC140UE -T35A,RA0620W	CEILING/ RECESSED	1	LED ARRAY	120	RESIDENTIAL UNITS BASEMENTS
 FIXTURE (e)	JESCO LIGHTING DLFLEX-UP-HO-40	CEILING/ SURFACE	1	LED ARRAY	120	LAUNDRY & STORAGE AREAS
 FIXTURE (f)	DURAGUARD LD-102 WALL PACK MWPCC06C1X3TUCGZ	WALL	1	LED ARRAY	120	EXTERIOR & STAIR LIGHTING
 FIXTURE (g)	ESTILUZ LIGHTING L2002-2X26W-T9WHIM	CEILING	1	LED ARRAY	120	LOBBY
 FIXTURE (h)	MERCURY LIGHTING LM44-14M-4200-35K-UXX-UNI-EM7	CEILING	1	LED ARRAY	120	RECESSED LIGHTING
 FIXTURE (i)	JUNO UPLED09	UNDER CABINET	1	LED ARRAY	120	SURFACE MOUNT

1. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

CIRCUIT BREAKER PANEL SCHEDULE					
SYMBOL	MANUFACTURER & CATALOG NO.	MOUNTING	SIZE	AMPS	REMARKS
	EATON BR1020B100SRNV	FLUSH MOUNT	10 SPACE -BR TYPE	100	RESIDENTIAL UNITS
	SQUARE D DU 321NR	WALL MOUNT	NEMA 3R ENCLOSURE	30	RESIDENTIAL UNITS

1. MOUNT LOAD CENTERS IN UFAS UNITS AT A MAXIMUM HEIGHT OF 48" TO TOP OF LOAD CENTER.  
2. STANDARD MOUNTING HEIGHT IN NON-UFAS UNITS.  
3. ALL MANUFACTURERS AND CATALOG NUMBERS ARE BASIS OF DESIGN. SUBMITTALS MAY BE FOR BASIS OF DESIGN PRODUCT OR APPROVED EQUAL.

NOTICE: THE BUILDING WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION.

## GENERAL DEMOLITION AND CONSTRUCTION NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. THE PRIME CONTRACTOR SHALL WORK WITH THE OWNER, EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION. WORK WITHIN THE PROJECT SHALL BE COORDINATED WITH THE ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR RESPECTIVE DEMOLITION AND CONSTRUCTION SCOPE OF WORK AND FOR GENERAL CONTRACTOR COORDINATION. THE PRIME CONTRACTOR ON THIS DRAWING IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.

2. THE BUILDING(S) WILL BE OCCUPIED DURING DEMOLITION AND CONSTRUCTION. MINIMAL DISRUPTION TO OCCUPANTS IS REQUIRED. ALL CONTRACTORS ARE REQUIRED TO IDENTIFY, WITHIN THE GENERAL CONTRACTOR'S DEMOLITION AND PHASING CONSTRUCTION SCHEDULE, ALL TIME FRAMES OF OCCUPANT DISRUPTION AND TEMPORARY DAILY DISPLACEMENT FOR ALL PHASES. DEMOLITION AND CONSTRUCTION PHASING AND OCCUPANT DISPLACEMENT SCHEDULE REQUIRES HAC'S REPRESENTATIVE AND ARCHITECT APPROVAL AND COORDINATION PRIOR TO BEGINNING WORK WEEKLY.

3. CONTRACTORS ARE REQUIRED TO COORDINATE PHASING AND ANY REQUIRED TEMPORARY UTILITY INTERRUPTIONS WITH HACP'S REPRESENTATIVE.

4. FURNITURE IS NOT INDICATED ON THE DRAWINGS AND IS NOT INCLUDED IN THE CONTRACT, UNLESS NOTED OTHERWISE. CONTRACTORS ARE RESPONSIBLE FOR COORDINATION WITH HACFP'S MOVING CONSULTANT. HACFP'S MOVING CONSULTANT IS RESPONSIBLE FOR REMOVAL, TEMPORARY STORAGE, RETURN TO ORIGINAL LOCATION, ALL EXISTING UNITS, PUBLIC AREAS AND COMMUNITY ROOM BUILDING FURNITURE AND EQUIPMENT, REQUIRED TO BE MOVED TO PERFORM THE SCOPE OF WORK WITHIN EACH UNIT OR BUILDING.

5. THE CONSTRUCTION DOCUMENTS ARE BASED ON THE EXISTING DRAWINGS AND FIELD CONDITIONS. CONTRACTORS ARE TO VERIFY IN THE FIELD ALL DIMENSIONS AND AREA REFERENCES, WHICH ARE ONLY PROVIDED FOR REFERENCE AND TO ASSIST IN GENERAL QUANTITY CALCULATIONS. DIMENSIONS ARE FROM FACE OF THE FINISHED SURFACE OR FACE, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTIONS "012100 ALLOWANCES" AND "012200 UNIT PRICES" FOR VARIOUS PRODUCTS AND SYSTEMS. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HACP'S REPRESENTATIVE AND THE ARCHITECT.

6. CONTRACTORS TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE THE EXTENT OF BUILDING DEMOLITION, PATCHING, AND CONSTRUCTION WITH THE FINAL FINISH REQUIREMENTS AND PROVIDE AND INSTALL MATERIALS AND SYSTEMS AS DESCRIBED IN THE CONTRACT DOCUMENTS REFER TO ARCHITECTURAL, SITE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION OF ALL DISCIPLINES AND OTHER TRADES.

7. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRIABLE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT. A LIMITED ASBESTOS SURVEY REPORT IS AVAILABLE UPON REQUEST FROM THE OWNER.

8. ALL DEMOLISHED MATERIAL DEBRIS IS TO BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE BY THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL COSTS FOR DEMOLITION INCLUDING DISPOSAL

9. MEANS OF EGRESS AND ASSOCIATED LIFE SAFETY APARATUSES ARE REQUIRED TO BE MAINTAINED AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION.

10. ALL WORK IS TO BE PERFORMED AND COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND INDUSTRY STANDARDS, INCLUSIVE, BUT NOT LIMITED TO PHFA AND FHA REQUIREMENTS. ALL WORK WITHIN THE 24 UFAS UNITS MUST COMPLY AND MEET UFAS REQUIREMENTS.

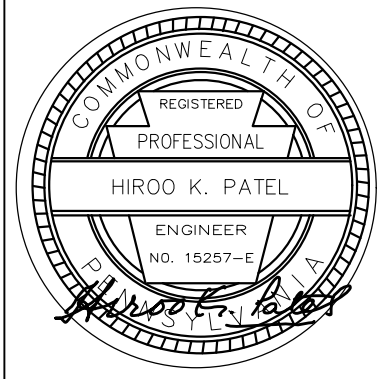
11. EACH PRIME CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES FOR DEMOLITION AND CONSTRUCTION WORK, TEMPORARY BARRIERS AND OFF SITE DISPOSAL CONTAINERS.

12. ALL ITEMS TO BE REPLACED ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONFIGURATION OF MATERIALS AS WELL AS MADE CODE COMPLIANT WITH ALL APPLICABLE CODES INCLUDING IBC/IBC, UFAS, ETC. (INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, GUTTERS AND DOWNSPOUTS, WINDOWS AND GUARDRAILS), UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND SPECIFICATIONS.

13. EXISTING OCCUPIED APARTMENT UNITS TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. AREAS OF WORK SHOULD BE SEALED OFF TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT OCCUPIED AREAS. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIER AND OTHER TEMPORARY FACILITIES IN LOCATIONS AS APPROVED BY HACPS REPRESENTATIVE AND ARCHITECT TO PROTECT THE OCCUPANTS, THE PUBLIC, NEWLY INSTALL MATERIALS, EXISTING MATERIALS TO REMAIN, AND MEANS OF EGRESS.

14. EACH PRIME CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING BUILDING MATERIALS AND EQUIPMENT TO REMAIN THAT WOULD POTENTIALLY BE DAMAGED DURING THE CONSTRUCTION ACTIVITIES SPECIFICALLY BY THEIR SCOPE OF WORK. EXISTING OR NEWLY INSTALLED BUILDING MATERIALS AND EQUIPMENT THAT ARE DAMAGED DURING THE PERFORMANCE OF THE PRIME CONTRACTOR'S SCOPE OF WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF HACP'S REPRESENTATIVE AND ARCHITECT. WHERE ITEMS HAVE BEEN DEMOLISHED, ADJACENT CONSTRUCTION EITHER BY THE PRIME CONTRACTOR OR PREPARED, PATCHED, FINISHED AND/OR REFINISHED TO MATCH THE ADJACENT SURFACE TO REMAIN WHERE APPLICABLE, UNLESS OTHERWISE NOTED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING THEIR SCOPE OF WORK.

15. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR THEIR DEMOLITION, CUTTING AND PATCHING REQUIRED FOR THEIR SCOPE OF WORK. GREAT CARE IN THE FINAL FINISHED APPEARANCE OF ALL AREAS EXPOSED TO VIEW SHALL BE TAKEN, UNLESS NOTED OTHERWISE. MATCH ADJACENT MATERIALS, TEXTURES, COLORS AND FINISHES. WHERE PAINT, COORDINATE WITH G.C. SURFACES ARE REQUIRED TO BE SMOOTH.



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Design  
Technology  
Sustainability

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CONSULTANT:



Allies & Ross  
Management and  
Development  
Corporation

Task Order  
Contract No. 33 -  
Glen Hazel Rental  
Assistance  
Demonstration  
(RAD)

A 15207

CONSTRUCTION  
DOCUMENTS

ISSUED: August 11, 2017

REVISIONS		
1	9.11.17	REV 1/ADDENDA 2

Family  
Community -  
Type M

1	9.11.17	REV 1/ADDENDA 2
R3A PROJECT #		15074B

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