

# Quote Request

Appraisal Services for Glen Hazel Family Community

**Quotes due December 27, 2016 @ 10:00AM**



**Fax to Debbie Norkevicius at (412) 456-5007**

## Scope of Work

The selected offeror will be responsible for the Appraisal Services for Glen Hazel Family Community located in the Glen Hazel and Hazelwood neighborhoods, 15<sup>th</sup> Ward, Pittsburgh, PA 15207.

The scope of services is specifically described below:

The selected firm will be responsible for completing a site inspection and providing Allies & Ross Management and Development Corporation (“ARMDC”) with a Standard Residential Appraisal Report which conforms to the requirements set forth by the Pennsylvania Housing Finance Agency (“PHFA”) in the instructions to Tab 7 of the Multifamily Application (see **Attachment A**). The report should set forth the market value assuming ground leasehold ownership for the properties listed in **Attachment B**.

Glen Hazel Family Community is comprised of 128 rental units across forty-four (44) buildings. Units range in size from 1 – 4 bedrooms and include seven (7) fully accessible units in accordance with Uniform Federal Accessibility Standards (“UFAS”) guidelines. Thirty-nine (39) are located on semi-contiguous parcels along Johnston Avenue, Roselle Street and Roselle Court in the Glen Hazel neighborhood of the city. Three (3) buildings are located on Renova Street in and two (2) buildings are located at the intersection of Sunnyside and Almeda Streets in the Hazelwood neighborhood of the City. There are thirteen (13) unit types throughout the community. The appraisal report should assign an aggregate market value to the land and buildings associated with the Glen Hazel Family Community. In addition, the appraisal report should call out an assignment of value to each of the thirteen (13) unit types found in the Glen Hazel Family Community. Layouts of All of the unit types can be found in **Attachment C**. Glen Hazel Family Community also includes a Community Room Building used for youth recreation and social service programming.

Please note that Block / Lot 57-H-100 is a large tract of vacant land that is currently included in the scope of work for this bid request, however, ARMDC is currently refining the boundary of the property in an effort to reduce the total acreage of the property to be included in the final appraisal report by the selected offeror. Once established, this revised property boundary will be furnished to the selected offeror so that the appraisal can exclude the portions which won’t be part of the project property. Both restricted values and non-restricted values are to be included in the appraisal for the property/location.

- The appraiser will appraise and prepare appraisal reports in accordance with the Uniform Standards of Professional Appraisal Practice and other required standards and in accordance with the aforementioned instructions from PHFA.
- The appraiser reports must be acceptable to United States Department of Housing and Urban Development (“HUD”). The appraisal may be used for FHA-insured financing, so offeror should indicate its experience with appraisals for Multifamily Accelerated Processing (“MAP”) lenders.

# Quote Request

## Appraisal Services for Glen Hazel Family Community

- The appraisal service will be performed and reports must be provided to ARMDC within 3 weeks from the approved contract.
- Qualified appraisers must be licensed in the State of Pennsylvania and have experience with appraisals of both residential, non-residential and commercial/industrial real estate properties.
- The appraiser will be required to provide professional services in performing a complete independent appraisal, in accordance with the Uniform Standards of Professional Appraisal Practice (USPAP) for the properties listed on **Attachment B**.

For more information or questions, please contact Debbie Norkevics @  
412-456-5000 X 8505 or [Debbie.Norkevics@HACP.org](mailto:Debbie.Norkevics@HACP.org)

# Quote Request

Appraisal Services for Glen Hazel Family Community

Quotes due 12/27/2016 @ 10:00AM

Type of Property	Number of Parcels	Licensed Appraiser Cost	Principal Cost	Total Appraisal Cost
Multi Family Unit	128 (44 Buildings)	\$	\$	\$
Vacant Land	1	\$	\$	\$
Total (Add the Total column together)				\$

Total Cost: \$ \_\_\_\_\_  
(in words)

**Contract award will be based on lowest average bid amount**  
(Please print clearly)

Company Name: \_\_\_\_\_

Address: \_\_\_\_\_  
(of company)

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_  
(of person signing)

Phone Number: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

# **Quote Request**

**Appraisal Services for Glen Hazel Family Community**

## **Attachment A**

**Instructions to Tab 7  
of the Pennsylvania Housing Finance Agency (PHFA)  
Multifamily Application**

**Tab 7 Appraisals**

For all situations listed below, an "As-is" appraisal is required. Please refer to the "As-is" Appraisal Requirements for appraisal methodology.

- An "As-Is" Appraisal will be required on all properties in which there is any identity of interest between the seller and purchaser of the property(s) to be included in the development.
- An "As-Is" Appraisal will be required in instances where the transfer of title (third party or related entity) occurs within a one-year period prior to closing. The recognized value of land will be the lower of the purchase price or the as-is appraised value. Under no circumstances will the Agency recognize more than the as-is appraised value.
- An "As-Is" Appraisal will be required if the proposed development is to be located on a subdivided parcel from a larger piece of property. A value for each subdivided parcel of the whole property must be provided.
- An "As-Is" Appraisal will be required for all proposals in which the Applicant is requesting Acquisition Tax Credits. The appraisal must assign a separate value for both the building and the land.

For all proposals not addressed above, an "As-Is" Appraisal may be required if the acquisition costs included in the total development cost do not appear to be reasonable.

In situations where the acquisition price exceeds the appraised value, the percentage of acquisition costs attributed to land on the development budget should be the same percentage noted in the appraisal.

If there is a long-term lease in which an up-front lease value is assigned and included in the total development cost, the value must be supported by an independent appraisal by a qualified appraiser. The property rights to be appraised are the market value of the leasehold estate.

Appraisals should be dated within 12 months of date of Application.

**"AS-IS" APPRAISAL REQUIREMENTS - NEW CONSTRUCTION**

IN MAKING THE APPRAISAL, PLEASE EMPLOY THE FOLLOWING METHODOLOGY:

1. The appraisal should include a personal inspection of the site, a review of current market data in the area, a consideration of income and expense and other data normally considered by a real estate appraiser.
2. For the subject property, provide an "As-Is" market value and establish the highest and best use.

Market Value should be defined as:

"The most probable price, as of a specified date, in cash, or in terms equivalent to cash, or in other precisely revealed terms, for which the specified property rights should sell after reasonable exposure in a competitive market under all conditions requisite to a fair sale, with the buyer and seller each acting prudently, knowledgeably, and for self-interest, and assuming that neither is under undue duress."<sup>1</sup>

3. If applicable, estimate the contribution to value of all necessary off-site improvements (e.g., water, sewer, etc.) to the "As-Is" market value. The estimated dollar contribution for the off-site improvements should be based on the value they add to the site after their installation and not on cost.
4. Provide an estimate of land value incorporating data compiled in Numbers 1 and 2. Do not consider the unique aspects of PHFA financing or the Low Income Housing Tax Credits in the estimate of value.
5. Attach photos of each comparable and the subject property, as well as a map identifying the comparables.
6. The appraisal report must be a complete self-contained report and prepared in accordance with the Uniform Standards of Professional Appraisal Practice (USPAP) subject to approval by PHFA.
7. An estimate of real estate taxes based on the full assessment after the project is completed should be provided. The estimate should include any applicable tax abatement program which will be utilized.

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<sup>1</sup> Appraisal Institute, The Dictionary of Real Estate Appraisal.

**"AS-IS" APPRAISAL REQUIREMENTS - REHABILITATION**

IN MAKING THE APPRAISAL, PLEASE EMPLOY THE FOLLOWING METHODOLOGY:

1. The appraisal should include a personal inspection of the land and building, a review of a current market data in the area, a consideration of income and expense and other data normally considered by a real estate appraiser.
2. For the subject property, provide an "As-Is" market value and establish the highest and best use. The appraisal must assign a separate value for both the building and land.

Market Value should be defined as:

"The most probable price, as of a specified date, in cash, or in terms equivalent to cash, or in other precisely revealed terms, for which the specified property rights should sell after reasonable exposure in a competitive market under all conditions requisite to a fair sale, with the buyer and seller each acting prudently, knowledgeably, and for self-interest, and assuming that neither is under undue duress."<sup>1</sup>

3. If applicable, estimate the contribution to value of all necessary off-site improvements (e.g., water, sewer, etc.) to the "As-Is" market value. The estimated dollar contribution for the off-site improvements should be based on the value they add to the site after their installation and not on cost.
4. Provide an estimate of land value incorporating data compiled in Numbers 1, 2 and 3. Do not consider the unique aspects of PHFA financing or the Tax Credits in the estimate of value.
5. Provide a total "As-Is" property value incorporating data compiled in Numbers 1, 2, 3 and 4. Do not consider the unique aspects of PHFA financing or the Low Income Housing Tax Credits in the estimate of value.
6. Attach photos of each comparable and the subject property, as well as a map identifying the comparables.
7. The appraisal report must be a complete self-contained report and be prepared in accordance with the Uniform Standards of Professional Appraisal Practice (USPAP) subject to approval by PHFA.
8. An estimate of real estate taxes based on the full assessment after the project is completed should be provided. The estimate should include any applicable tax abatement program that will be utilized.

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# **Quote Request**

**Appraisal Services for Glen Hazel Family Community**

## **Attachment B**

**Glen Hazel Bernice Crawley Family Community Property List  
and  
Glen Hazel Map**



## Parcel Listing

Mailing Address	Parcel ID	Common Parcel Address
621 Johnston Avenue	56-S-60	621 Johnston Avenue
623 Johnston Avenue	56-S-60	
627 Johnston Avenue	56-S-60	
629 Johnston Avenue	56-S-60	
633 Johnston Avenue	56-S-60	
635 Johnston Avenue	56-S-60	
641 Johnston Avenue	56-S-60	
643 Johnston Avenue	56-S-60	
651 Johnston Avenue	56-S-60	
653 Johnston Avenue	56-S-60	
657 Johnston Avenue	56-2-75	Sugar Hill
659 Johnston Avenue	56-2-75	
661 Johnston Avenue	56-2-75	
663 Johnston Avenue	56-2-75	
667 Johnston Avenue	56-2-75	
669 Johnston Avenue	56-2-75	
673 Johnston Avenue	56-2-75	
675 Johnston Avenue	56-2-75	
677 Johnston Avenue	56-2-75	
679 Johnston Avenue	56-2-75	
701 Johnston Avenue	56-S-80	657 Johnston Ave
703 Johnston Avenue	56-S-80	
707 Johnston Avenue	56-S-80	
709 Johnston Avenue	56-S-80	
711 Johnston Avenue	56-S-80	
715 Johnston Avenue	56-S-80	
719 Johnston Avenue	56-S-80	
721 Johnston Avenue	56-S-80	
725 Johnston Avenue	56-S-80	
729 Johnston Avenue	56-S-80	
731 Johnston Avenue	56-S-80	
735 Johnston Avenue	56-S-80	
737 Johnston Avenue	56-S-80	
662 Johnston Avenue	56-S-100	662 Johnston Ave
664 Johnston Avenue	56-S-100	
666 Johnston Avenue	56-S-100	
668 Johnston Avenue	56-S-100	
672 Johnston Avenue	56-S-100	
674 Johnston Avenue	56-S-100	
678 Johnston Avenue	56-S-100	

Mailing Address	Parcel ID	Common Parcel Address
680 Johnston Avenue	56-S-100	720 Johnston Ave
702 Johnston Avenue	56-S-120	
704 Johnston Avenue	56-S-120	
706 Johnston Avenue	56-S-120	
708 Johnston Avenue	56-S-120	
712 Johnston Avenue	56-S-120	
714 Johnston Avenue	56-S-120	
718 Johnston Avenue	56-S-120	
720 Johnston Avenue	56-S-120	
722 Johnston Avenue	56-S-120	
724 Johnston Avenue	56-S-120	
728 Johnston Avenue	56-S-120	
730 Johnston Avenue	56-S-120	
734 Johnston Avenue	89-N-25	734 Johnston Ave
736 Johnston Avenue	89-N-25	
738 Johnston Avenue	89-N-25	
740 Johnston Avenue	89-N-25	
742 Johnston Avenue	89-N-25	
744 Johnston Avenue	89-N-25	
748 Johnston Avenue	89-N-25	
750 Johnston Avenue	89-N-25	
752 Johnston Avenue	89-N-25	
754 Johnston Avenue	89-N-25	
758 Johnston Avenue	89-N-25	
760 Johnston Avenue	89-N-25	
857 Johnston Avenue	89-N-10	835-857 Rosebud Lane
855 Johnston Avenue	89-N-10	
851 Johnston Avenue	89-N-10	
849 Johnston Avenue	89-N-10	
845 Johnston Avenue	89-N-10	
843 Johnston Avenue	89-N-10	
839 Johnston Avenue	89-N-10	
837 Johnston Avenue	89-N-10	
835 Johnston Avenue	89-N-10	
833 Johnston Avenue	89-N-10	
2 Roselle Drive	89-J-30	2 Johnston Ave
4 Roselle Drive	89-J-30	
6 Roselle Drive	89-J-30	
8 Roselle Drive	89-J-30	
10 Roselle Drive	89-J-30	
12 Roselle Drive	89-J-30	
16 Roselle Drive	89-J-30	

Mailing Address	Parcel ID	Common Parcel Address
18 Roselle Drive	89-J-30	2 Johnston Ave
20 Roselle Drive	89-J-30	
22 Roselle Drive	89-J-30	
24 Roselle Drive	89-J-30	
26 Roselle Drive	89-J-30	
30 Roselle Drive	89-J-30	
36 Roselle Drive	89-J-30	
38 Roselle Drive	89-J-30	
40 Roselle Drive	89-J-30	
42 Roselle Drive	89-J-30	
44 Roselle Drive	89-J-30	
46 Roselle Drive	89-J-30	
32 Roselle Drive	89-J-30	
905 Johnston Ave	89-N-12	905 Johnston Ave
909 Johnston Ave	89-N-14	909 Johnston Ave
1021 Johnston Ave	89-K-135	Johnston Ave
1019 Johnston Ave	89-K-130	Johnston Ave
945 Roselle Court	56-M-250	945 Roselle Court
36 Almeda Street	57-C-204	5409 Fedora Street
34 Almeda Street	57-C-204	
32 Almeda Street	57-C-204	
30 Almeda Street	57-C-204	
5409 Sunnyside Street	57-C-204	
5411 Sunnyside Street	57-C-204	
5413 Sunnyside Street	57-C-204	
5415 Sunnyside Street	57-C-204	
358 Renova Street	57-D-26	350 Renova Street
356 Renova Street	57-D-26	
354 Renova Street	57-D-26	
352 Renova Street	57-D-26	
350 Renova Street	57-D-26	
364 Renova Street	57-D-26	
362 Renova Street	57-D-26	
360 Renova Street	57-D-26	
333 Renova Street	57-D-1	333 Renova Street
337 Renova Street	57-D-1	

**Attachment A**  
**Glen Hazel Site Map**  
 Glen Hazel Family Community (PA-01-32)

**Legend**

- Glen Hazel Family Community
- Glen Hazel Family Community - Renoir Street
- Glen Hazel Family Community - Sunnyside & Alameda Streets

Map design by the Housing Authority City of Pittsburgh (HACP). Care was taken in the creation of this map, however, HACP cannot

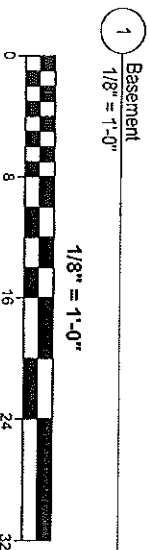
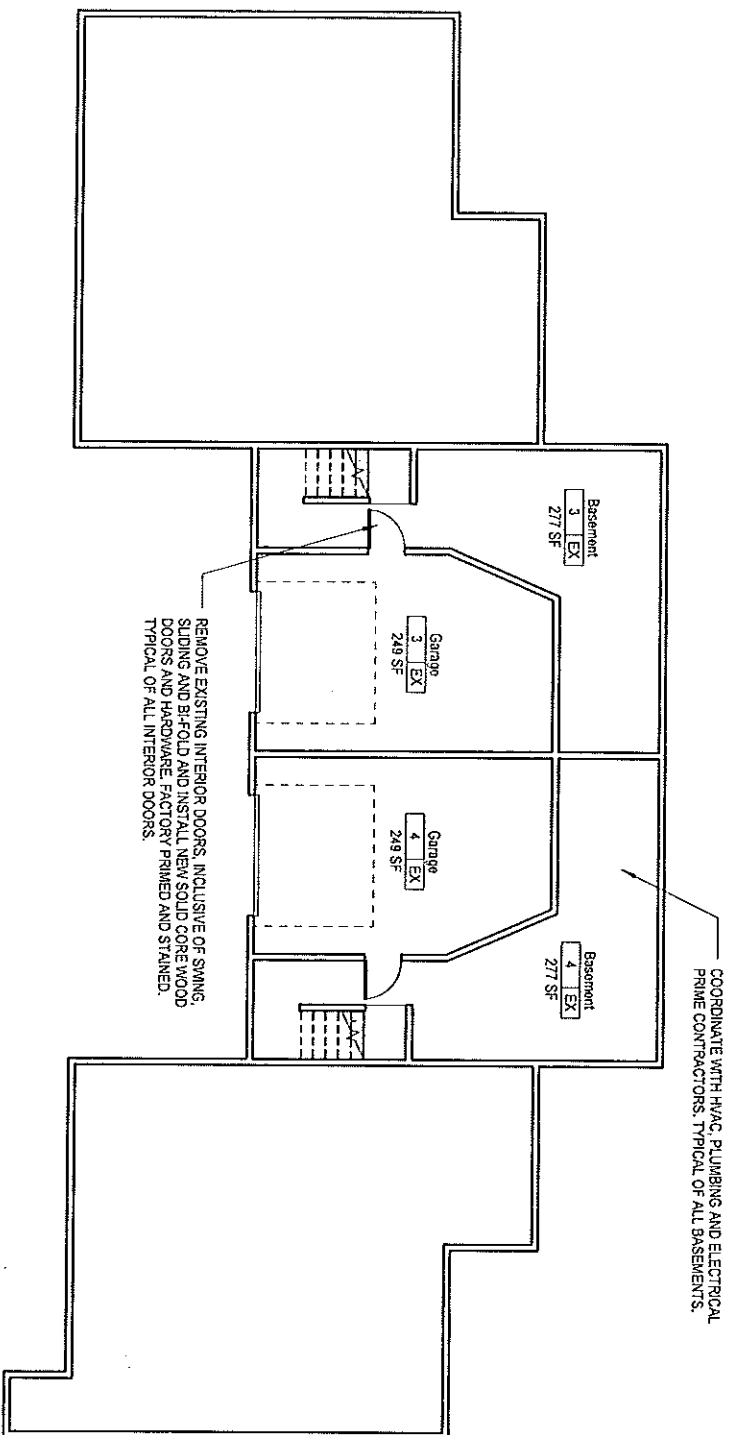
Map design by the Housing Authority City of Pittsburgh (HACP). Gate was taken in the creation of this map, however, HACP cannot accept any responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied accompanying this product.

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**Attachment C**

**Layout of All Unit Types**

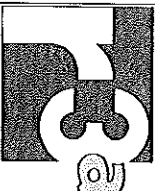


## GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, HVAC, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACP'S REPRESENTATIVE AND ARCHITECT.
3. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES.
4. EXISTING WALL BASE TO BE REMOVED. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL SURFACES. PROVIDE NEW WALL BASE THROUGHOUT, UNLESS NOTED OTHERWISE.

## KEY

- LN = SHEET LINOLEUM  
CPT = CARPET TILE  
CT = CERAMIC TILE  
EX = EXISTING
- 



Renaissance 3 Architects,  
P.C.  
44 South 14th Street  
Pittsburgh, PA 15203  
Phone: 412-431-2480  
Fax: 412-431-2670  
www.r3a.com

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CONSULTANT:

Allies & Ross  
Management and  
Development  
Corporation  
Task Order Contract No.  
33 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type A  
Basement Floor  
Plan

DESIGNED: October 28, 2016  
R3A PROJECT #: 15040

A-113

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.

REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOW-E SLIDING FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.

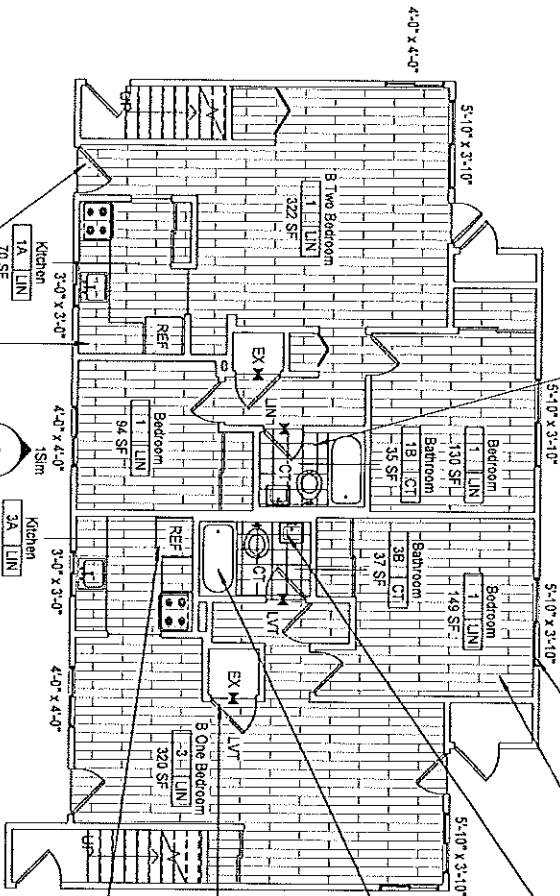
REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.

REMOVE EXISTING VANITY CABINET AND INSTALL NEW. PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL VANITIES.

12" TYPE "C" DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING. TYPICAL AROUND BATHTUB. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHTUBS.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW. TYPICAL OF ALL KITCHENS.

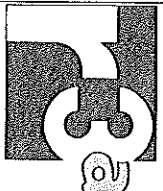


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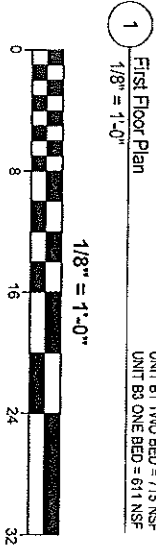
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Schematic Design

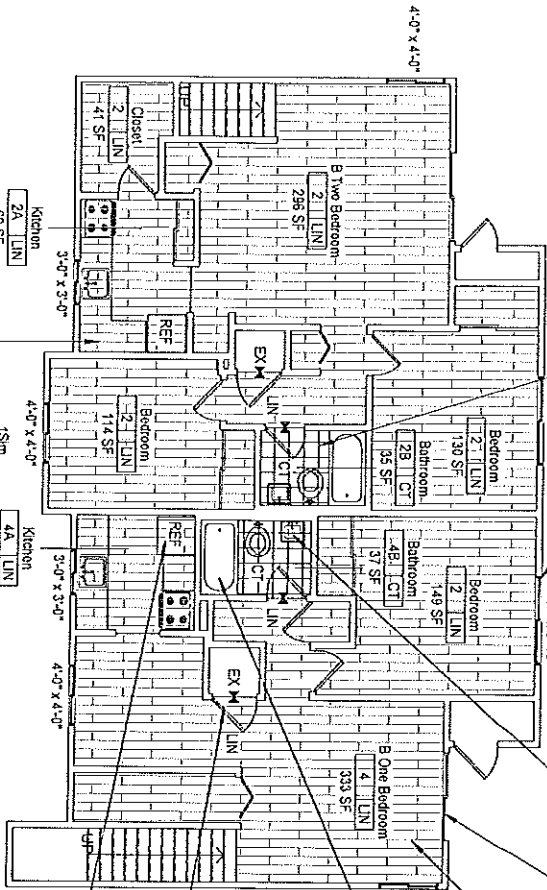
Low Rise - Type B  
First Floor Plan

ISSUED: October 20, 2016  
R3A PROJECT # 1507-03  
A-114



REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOWE SLIDING FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.



REMOVE EXISTING VANITY CABINET AND INSTALL NEW. PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL VANITIES.

REMOVE EXISTING EXTERIOR SLIDING DOORS AND INSTALL NEW 5'-0" x 6'-8" EXTERIOR DOUBLE GLAZED, LOWE SLIDING DOORS AND HARDWARE. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.

1/2" TYPE 'C' DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING. TYPICAL AROUND BATHTUB. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHTUBS.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIMED AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

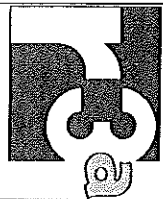
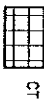
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 CONSULTANT:

Allies & Ross  
 Management and  
 Development  
 Corporation

Task Order Contract No.  
 33 - Glen Hazel Rental  
 Assistance  
 Demonstration (RAD)

945 Resdig Ct  
 Pittsburgh, PA 15207

Schematic Design

Low Rise - Type B  
 Second Floor Plan

A-115  
 10/1/16

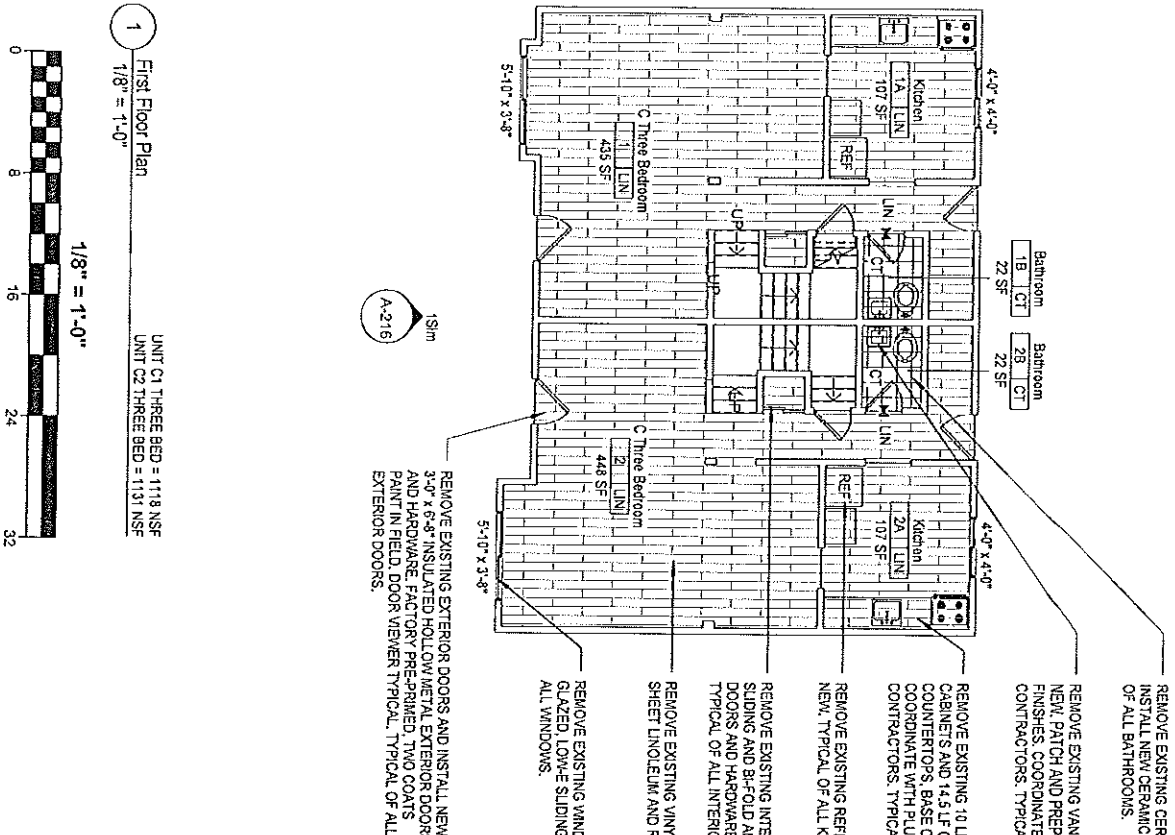
1 Second Floor Plan  
 1/8" = 1'-0"



1/8" = 1'-0"

UNIT B2 TWO BED = 745 NSF  
 UNIT B4 ONE BED = 538 NSF



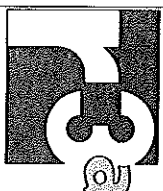


### GENERAL NOTES

1. PROJECT IS MULTIPLE PHASES, GENERAL, HVAC, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS, SUBCONTRACTORS, AND WORK WITH THE OWNER. EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
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3. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES.
4. EXISTING WALL BASE TO BE REMOVED. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL SURFACES. PROVIDE NEW WALL BASE THROUGHOUT, UNLESS NOTED OTHERWISE.

### KEY

- LIN = SHEET LINOLEUM  
 OPT = CARPET TILE  
 CT = CERAMIC TILE  
 EX = EXISTING
- LIN
- OPT
- CT



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 Fax: 412-431-2870  
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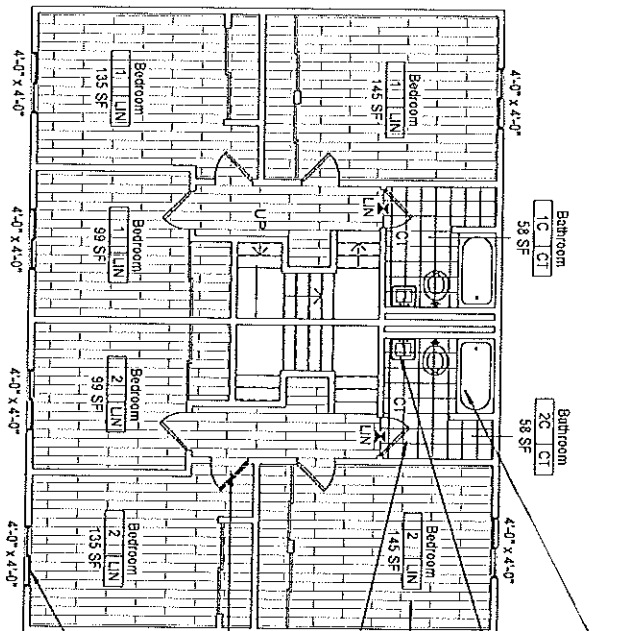
945 Resalia Ct.  
 Pittsburgh, PA 15207

Schematic Design

Low Rise - Type C  
 First Floor Plan

ISSUED: October 26, 2016  
 R3A PROJECT # 120748

A-116



- 1/2" TYPE "C" DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING, TYPICAL AROUND BATHUB, PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS, COMPLY WITH ALL APPLICABLE CODES, COORDINATE WITH PLUMBING PRIME CONTRACTORS, TYPICAL OF ALL BATHUBS.
- REMOVE EXISTING VANITY CABINET AND INSTALL NEW, PATCH AND PREPARE FLOOR FOR NEW FINISHES, COORDINATE WITH PLUMBING PRIME CONTRACTORS, TYPICAL OF ALL VANITIES.
- REMOVE EXISTING VINYL FLOORING AND BASE, INSTALL NEW SHEET LINOLEUM AND RUBBER BASE, TYPICAL OF ALL UNITS.
- REMOVE EXISTING CERAMIC TILE FLOORING AND BASE, INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE, TYPICAL OF ALL BATHROOMS.
- REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE, FACTORY PRIME AND STAINED, TYPICAL OF ALL INTERIOR DOORS.
- REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOW-E SLIDING FIBERGLASS WINDOW, TYPICAL OF ALL WINDOWS.

## GENERAL NOTES

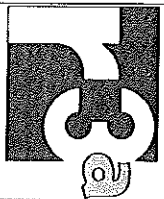
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4. EXISTING WALL BASE TO BE REMOVED, PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL SURFACES, PROVIDE NEW WALL BASE THROUGHOUT, UNLESS NOTED OTHERWISE.

## KEY

- LIN = SHEET LINOLEUM
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- CT = CERAMIC TILE
- EX = EXISTING

1 Second Floor Plan

UNIT C1 THREE BED = 1118 NSF  
UNIT C2 THREE BED = 1131 NSF



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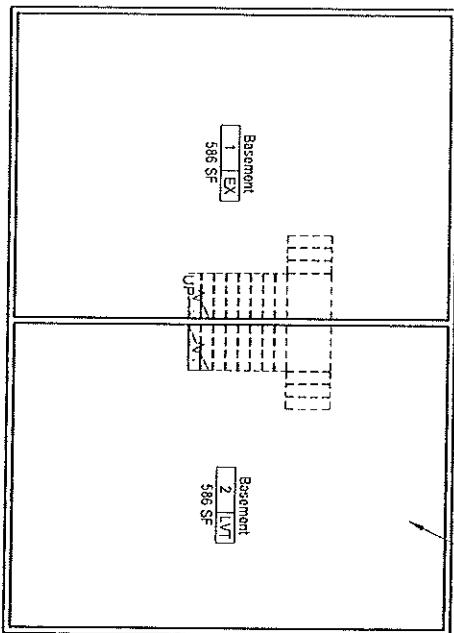
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33 - Glen Hazel Rental  
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945 Reselle Ct  
Pittsburgh, PA 15207

Schematic Design

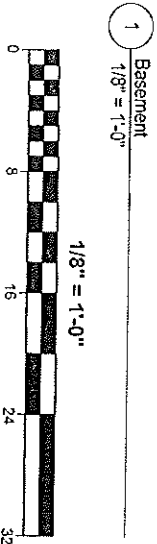
Low Rise - Type C  
Second Floor Plan

ISSUED: October 20, 2016  
RCA PROJECT # 130745

A-117



COORDINATE WITH HVAC, PLUMBING AND ELECTRICAL PRIME CONTRACTORS, TYPICAL OF ALL BASEMENTS.



## GENERAL NOTES

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## KEY

LN = SHEET LINOLEUM	LN
CPT = CARPET TILE	CPT
CT = CERAMIC TILE	CT
EX = EXISTING	

CONSULTANT:

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Assistance  
Demonstration (RAD)

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Schematic Design

Low Rise - Type C  
Basement Floor  
Plan

A-118

ISSUED: October 20, 2016  
RCA PROJECT # 130748

REMOVE EXISTING 3 LF OF COUNTERTOPS AND BASE CABINETS AND 12.5 LF OF WALL CABINETS. INSTALL NEW COUNTERTOPS, BASE CABINETS AND WALL CABINETS. COORDINATE WITH PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOW-E SLIDING FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.

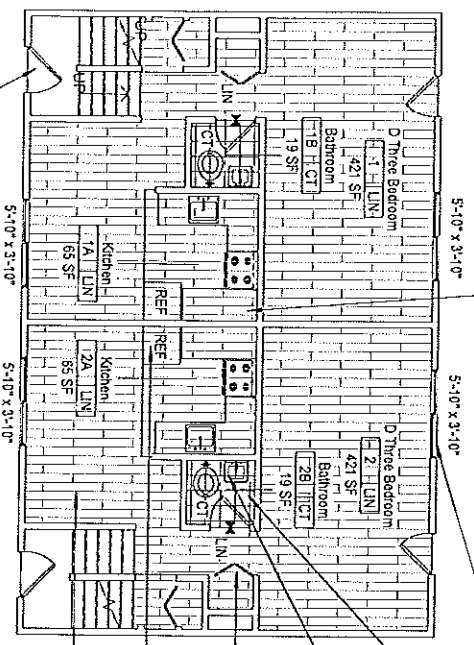
REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.

REMOVE EXISTING VANITY CABINET AND INSTALL NEW. PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL VANITIES.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.



15m  
A-219

REMOVE EXISTING EXTERIOR DOORS AND INSTALL NEW 3'-0\"/>

1  
First Floor Plan  
1/8\"/>

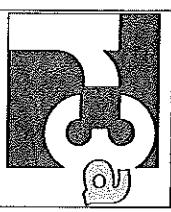


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CT = CERAMIC TILE  
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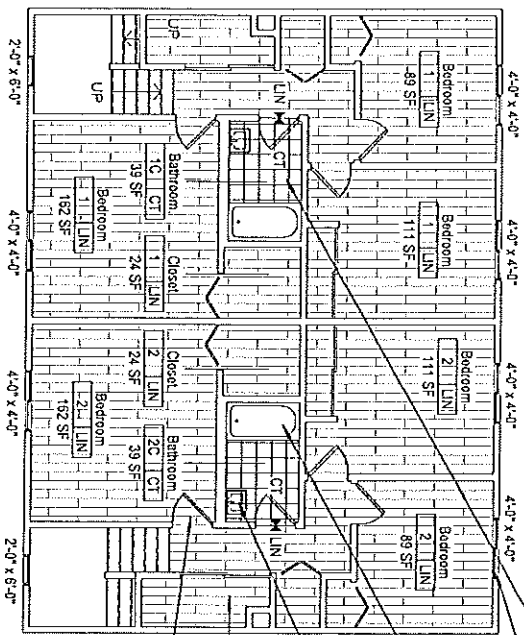
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Assistance  
Demonstration (RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type D  
First Floor Plan

ISSUED: October 26, 2016  
R3A PROJECT # 150748  
A-119



1 Second Floor Plan  
 1/8" = 1'-0"  
 UNIT D1 THREE BED = 1106 NSF  
 UNIT D2 THREE BED = 1109 NSF

- REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.
- REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOW-E SLIDING FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.
- 12" TYPE 'C' DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING. TYPICAL AROUND BATHUB. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHUBS.
- REMOVE EXISTING VANITY CABINET AND INSTALL NEW. PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL VANITIES.
- REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.
- REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIMED AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

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### KEY

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- CPT = CARPET TILE
- CT = CERAMIC TILE
- EX = EXISTING

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Task Order Contract No.  
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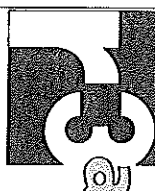
945 Roselle Ct  
 Pittsburgh, PA 15207

Schematic Design

Low Rise - Type D  
 Second Floor Plan

SCHD.D  
 October 26, 2016  
 R3A PROJECT #  
 160748

A-120



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Assistance  
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945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

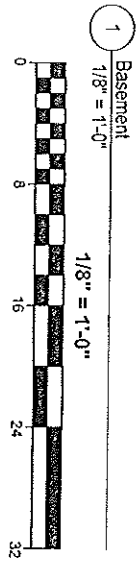
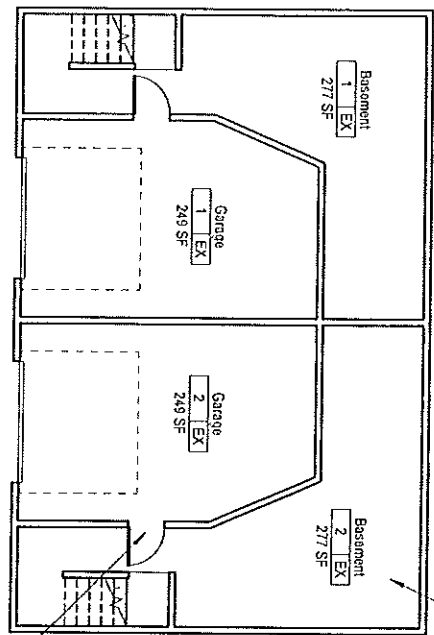
Low Rise - Type D  
Basement Floor  
Plan

ISSUED: October 20, 2016  
R3A PROJECT # 100748

A-121

COORDINATE WITH HVAC, PLUMBING AND ELECTRICAL  
PRIME CONTRACTORS, TYPICAL OF ALL BASEMENTS.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING,  
SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD  
DOORS AND HARDWARE, FACTORY PRIME AND STAINED,  
TYPICAL OF ALL INTERIOR DOORS.

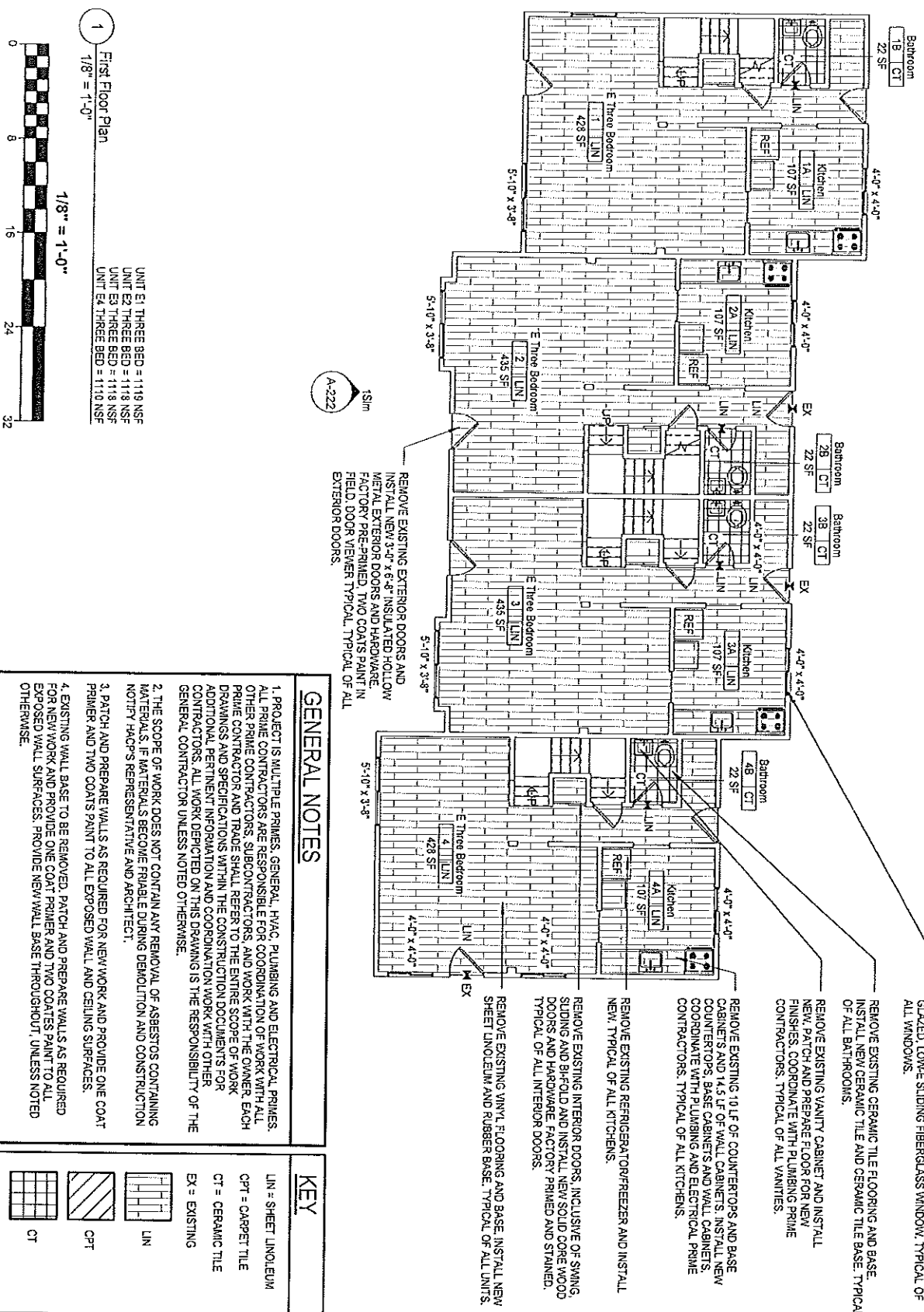


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### KEY

- LN = SHEET LINOLEUM  
CPT = CARPET TILE  
CT = CERAMIC TILE  
EX = EXISTING
-



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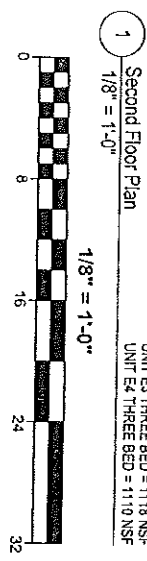
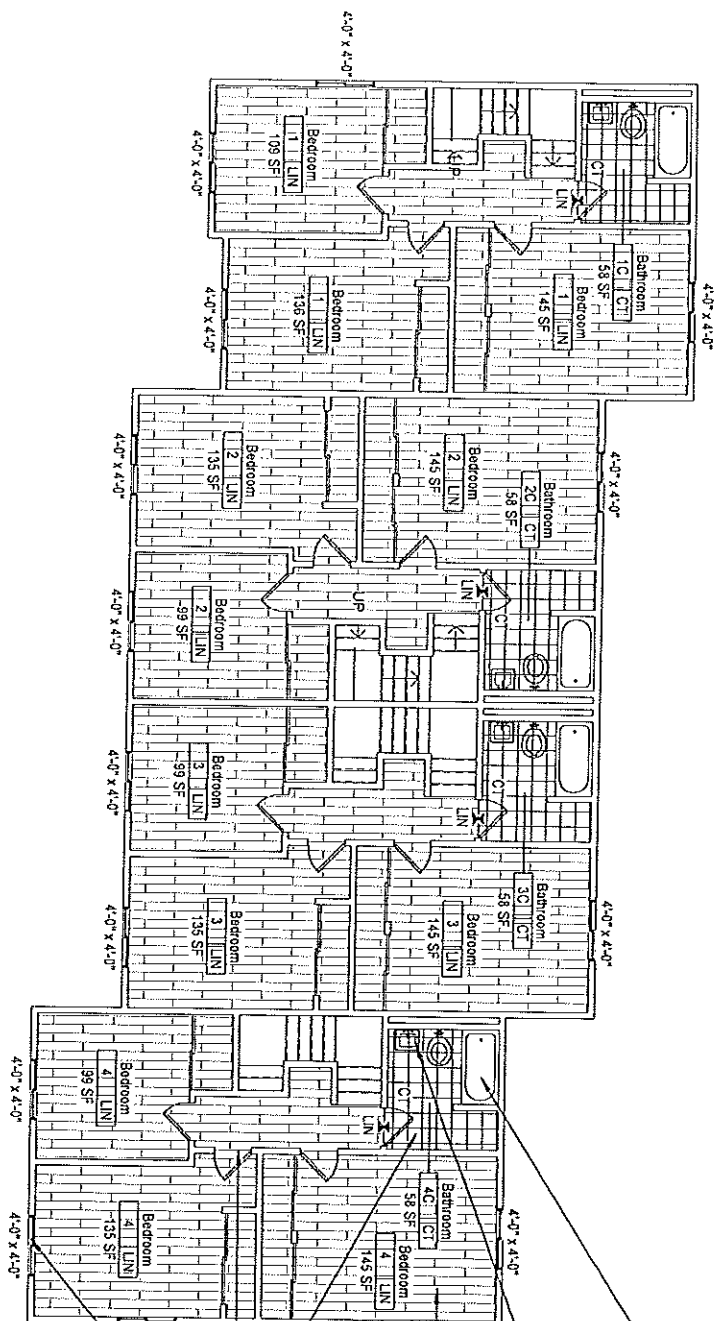
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33 - (Gion Hazel Rural)  
Assistance  
Demonstration (RAD)  
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**Schematic Design**

**Low Rise - Type E**  
First Floor Plan

ISSUED: October 20, 2016  
RCA PROJECT #: 110716

**A-122**



UNIT E1 THREE BED = 1119 NSF  
 UNIT E2 THREE BED = 1118 NSF  
 UNIT E3 THREE BED = 1118 NSF  
 UNIT E4 THREE BED = 1110 NSF



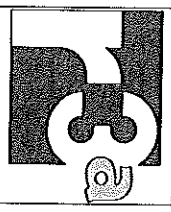
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### KEY

- UN = SHEET LINOLEUM
- CPT = CARPET TILE
- CT = CERAMIC TILE
- EX = EXISTING

- 1/2" TYPE 'C' DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING. TYPICAL AROUND BATHS. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHS.
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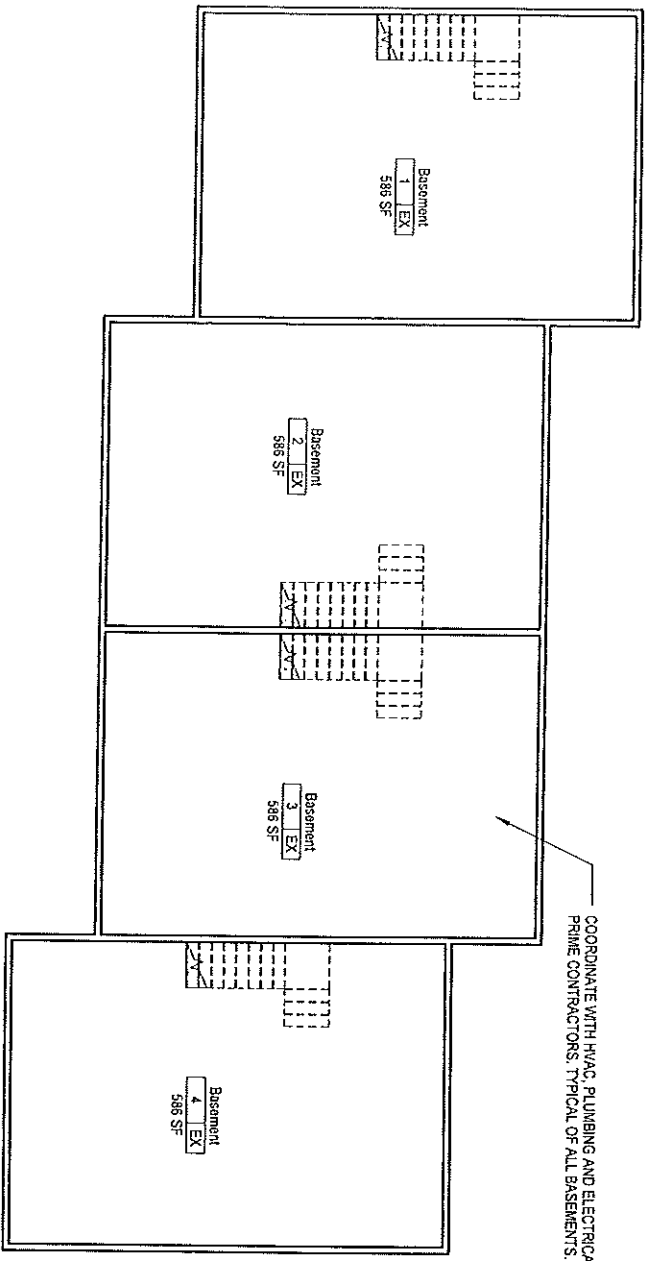
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 Pittsburgh, PA 15207

Schematic Design  
 Low Rise - Type E  
 Second Floor Plan  
 ISSUE: October 29, 2016  
 R3A PROJECT # 160746  
 A-123



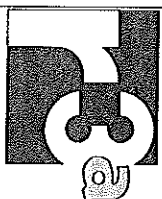


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## KEY

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CT = CERAMIC TILE  
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- OPT
- CT



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Allies & Ross  
Management and  
Development  
Corporation

Task Order Contract No.  
33 - Glen Hazda Rental  
Assistance  
Demonstration (RAD)

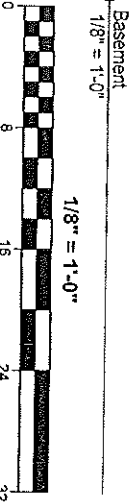
945 Roselle Ct  
Pittsburgh, PA 15207

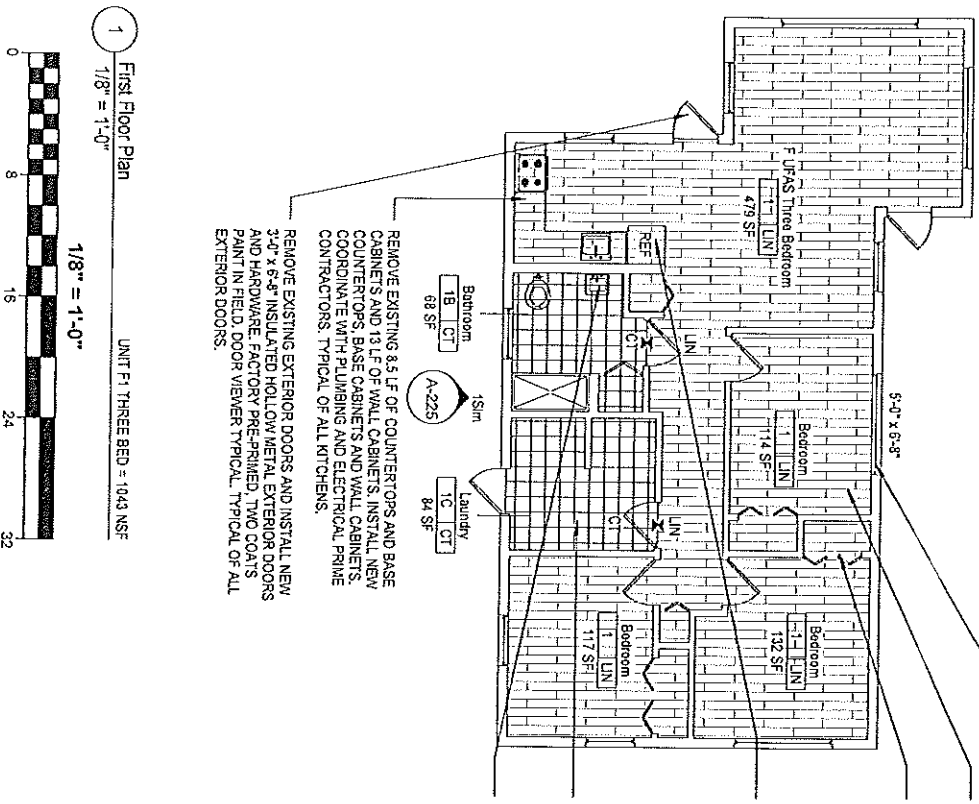
Schematic Design

Low Rise - Type E  
Basement Floor  
Plan

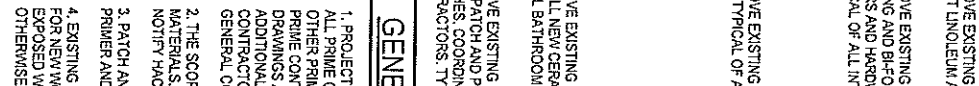
ISSUED: October 20, 2016  
RCA PROJECT # 100748

A-124





1 First Floor Plan  
 1/8" = 1'-0"  
 UNIT F1 THREE BED = 1043 NSF



REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED LOWE DOUBLE HUNG FIBERGLASS WINDOW, TYPICAL OF ALL WINDOWS.

REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE, TYPICAL OF ALL UNITS.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE, FACTORY PRIMED AND STAINED, TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW, TYPICAL OF ALL KITCHENS.

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE, TYPICAL OF ALL BATHROOMS AND LAUNDRY ROOMS.

REMOVE EXISTING VANITY CABINET AND INSTALL NEW, PATCH AND PREPARE FLOOR FOR NEW FINISHES, COORDINATE WITH PLUMBING PRIME CONTRACTORS, TYPICAL OF ALL VANITIES.

- ### GENERAL NOTES
1. PROJECT IS MULTIPLE PRIMES. GENERAL, HVAC, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS AND WORK WITH THE OWNER, EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK NOTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
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  3. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES.
  4. EXISTING WALL BASE TO BE REMOVED. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL SURFACES. PROVIDE NEW WALL BASE THROUGHOUT, UNLESS NOTED OTHERWISE.

KEY	
LIN = SHEET LINOLEUM	
CPT = CARPET TILE	
CT = CERAMIC TILE	
EX = EXISTING	

Renaissance 3 Architects,  
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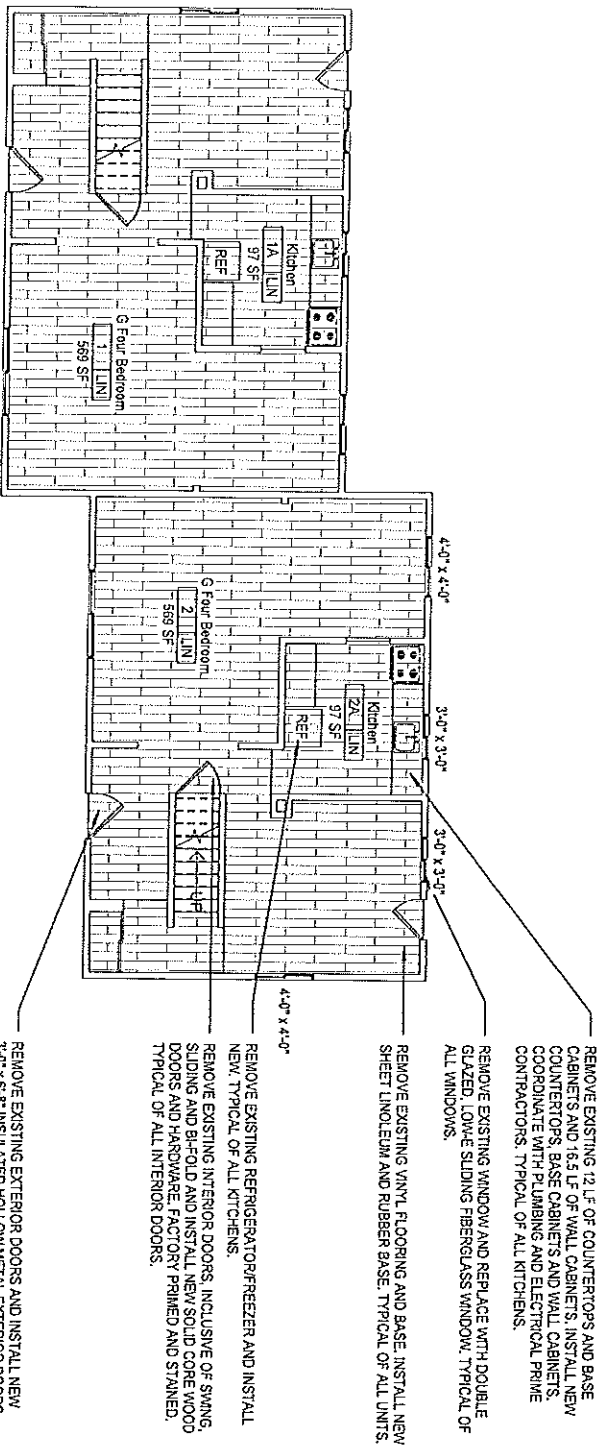
Task Order Contract No.  
33 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)

945 Resale Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type F  
UFAS First Floor  
Plan

ISSUED: 10/27/16  
 CORRECTED: 10/27/16  
 PROJECT # A-125



- REMOVE EXISTING 12 LF OF COUNTERTOPS AND BASE CABINETS AND 16.5 LF OF WALL CABINETS. INSTALL NEW COUNTERTOPS, BASE CABINETS AND WALL CABINETS. COORDINATE WITH PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.
- REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOW-E SLIDING FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.
- REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.
- REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW. TYPICAL OF ALL KITCHENS.
- REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIMED AND STAINED. TYPICAL OF ALL INTERIOR DOORS.
- REMOVE EXISTING EXTERIOR DOORS AND INSTALL NEW 3'-0" x 6'-8" INSULATED HOLLOW METAL EXTERIOR DOORS AND HARDWARE. FACTORY PREPARED. TWO COATS PAINT IN FIELD. DOOR VIEWER TYPICAL. TYPICAL OF ALL EXTERIOR DOORS.

### GENERAL NOTES

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### KEY

- LIN = SHEET LINOLEUM
- CPT = CARPET TILE
- CT = CERAMIC TILE
- EX = EXISTING

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Corporation

Task Order Contract No.  
33 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)

945 Resolia Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type G  
First Floor Plan

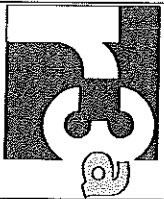
ISSUED: October 25, 2016  
RCA PROJECT # 102746

A-126

1 First Floor Plan  
1/8" = 1'-0"

UNIT G1 FOUR BED = 1314 NSF  
UNIT G2 FOUR BED = 1314 NSF

1/8" = 1'-0"



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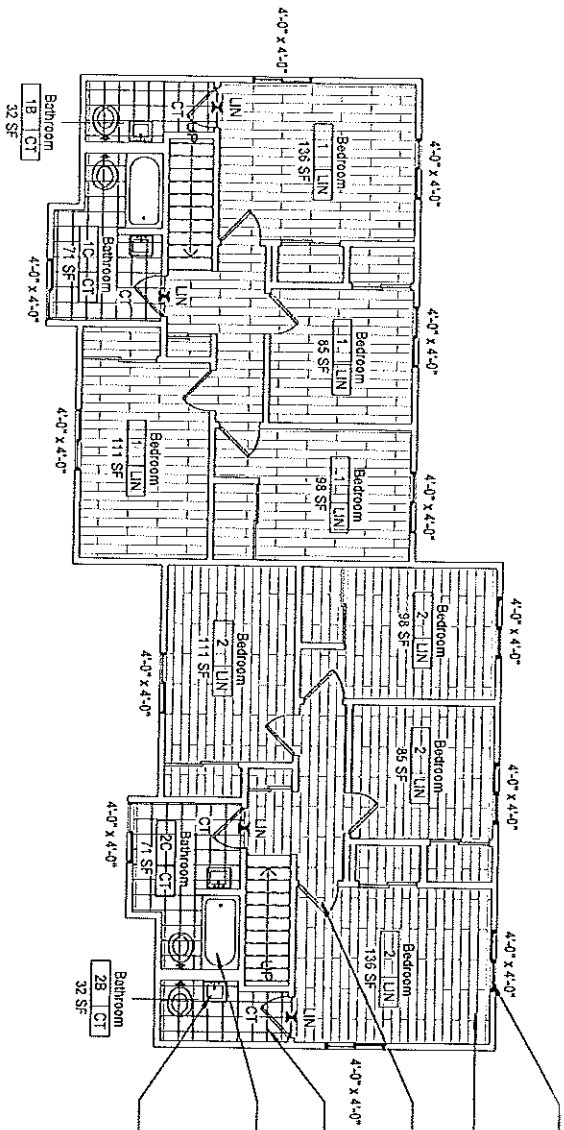
Allies & Ross  
Management and  
Development  
Corporation  
Task Order Contract No.  
23 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type G  
Second Floor Plan

ISSUED October 24, 2016  
ICA PROJECT # 150748

A-127



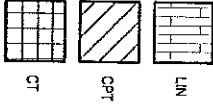
- REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED LOW-E SLIDING PIGGLASS WINDOW. TYPICAL OF ALL WINDOWS.
- REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.
- REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND B-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIMED AND STAINED. TYPICAL OF ALL INTERIOR DOORS.
- REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.
- 1/2" TYPE "C" DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING. TYPICAL AROUND BATHUB. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHUBS.
- REMOVE EXISTING VANITY CABINET AND INSTALL NEW. PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL VANITIES.

### GENERAL NOTES

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### KEY

- LN = SHEET LINOLEUM
- CPT = CARPET TILE
- CT = CERAMIC TILE
- EX = EXISTING



1 Second Floor Plan  
1/8" = 1'-0"



UNIT G1 FOUR BED = 1314 NSF  
UNIT G2 FOUR BED = 1314 NSF



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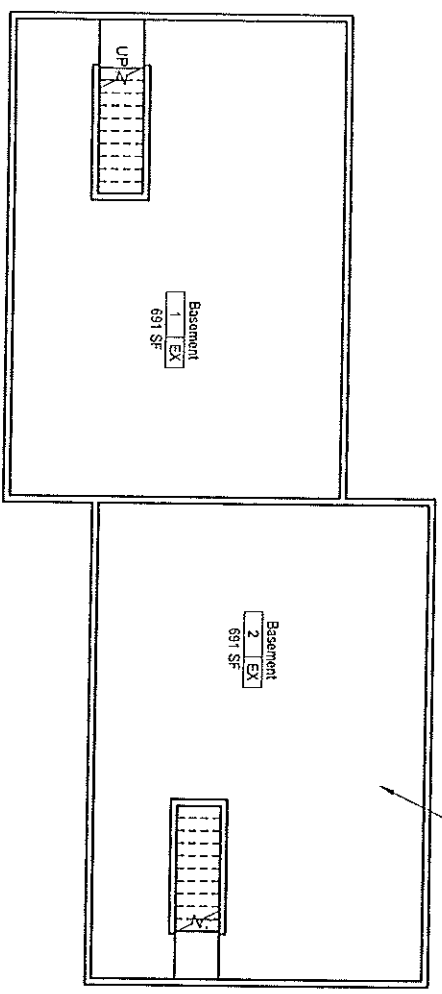
Allies & Ross  
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Corporation  
Task Order Contract No.  
33 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)  
945 Rescille Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type G  
Basement Floor  
Plan

ISSUED: October 20, 2016  
HSA PROJECT # 132740

A-128

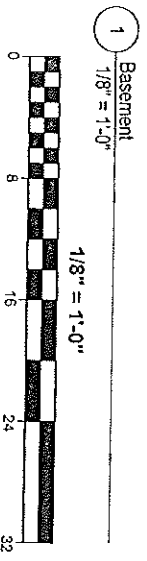


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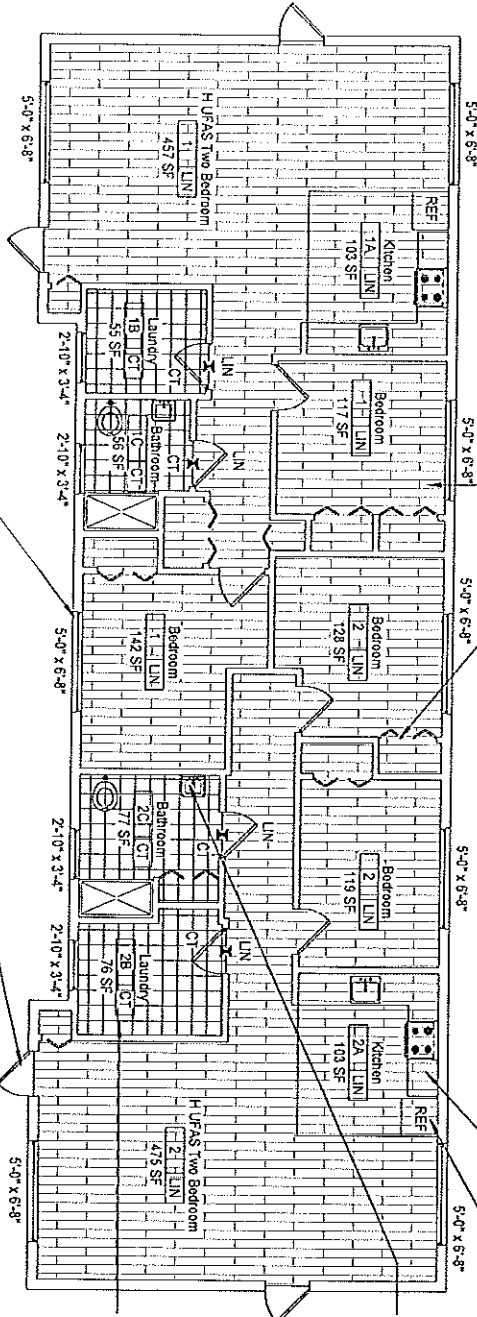
### KEY

- LIN = SHEET LINOLEUM  
CPT = CARPET TILE  
CT = CERAMIC TILE  
EX = EXISTING
- LIN  
CPT  
CT



REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING DOORS AND BLU-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.



REMOVE EXISTING 11 LF OF COUNTERTOPS AND BASE CABINETS AND 15.5 LF OF WALL CABINETS. INSTALL NEW COUNTERTOPS, BASE CABINETS AND WALL CABINETS. COORDINATE WITH PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING VANITY CABINET AND INSTALL NEW. PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS AND LAUNDRY ROOMS.

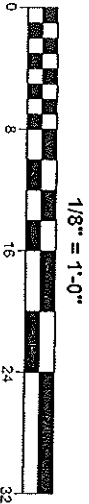
REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOWE DOUBLE HUNG, FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.

REMOVE EXISTING EXTERIOR DOORS AND INSTALL NEW 2-1/2" x 6-1/2" INSULATED HOLLOW METAL EXTERIOR DOORS AND HARDWARE. FACTORY PRE-PRIME, TWO COATS PAINT IN FIELD. DOOR VIEWER TYPICAL OF ALL EXTERIOR DOORS.



1 First Floor Plan  
1/8" = 1'-0"

UNIT H1 TWO BED = 893 NSF  
UNIT H2 TWO BED = 1017 NSF

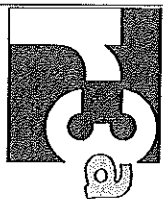


## GENERAL NOTES

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## KEY

- LN = SHEET LINOLEUM  
CPT = CARPET TILE  
CT = CERAMIC TILE  
EX = EXISTING
- LN  
CPT  
CT



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Assistance  
Demonstration (RAD)

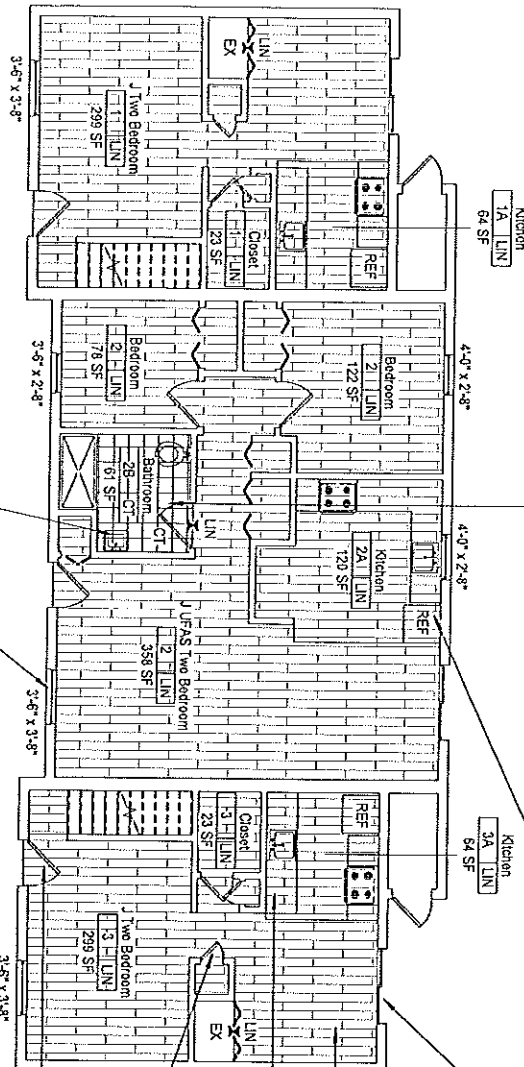
945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type H  
UFAS First Floor  
Plan

DATE: 08/07/2016  
PROJECT # 106748  
A-130

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.



REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING EXTERIOR SLIDING DOORS AND INSTALL NEW 6'-0" x 6'-0" EXTERIOR DOUBLE GLAZED, LOWE SLIDING DOORS AND HARDWARE. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.

REMOVE EXISTING 1 1/2" OF COUNTERTOPS AND BASE CABINETS AND 15.5" OF WALL CABINETS. INSTALL NEW COUNTERTOPS, BASE CABINETS AND WALL CABINETS. COORDINATE WITH PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BIFOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

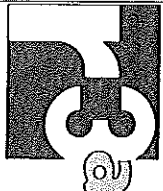
REMOVE EXISTING EXTERIOR DOORS AND INSTALL NEW 3'-0" x 6'-0" INSULATED HOLLOW METAL EXTERIOR DOORS AND HARDWARE. FACTORY PRE-PRIME. TWO COATS PAINT IN FIELD. DOOR VIEWER TYPICAL. TYPICAL OF ALL EXTERIOR DOORS.

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CT = CERAMIC TILE  
EX = EXISTING



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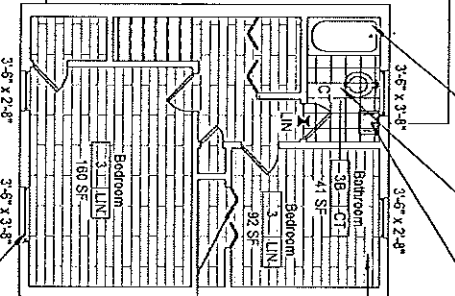
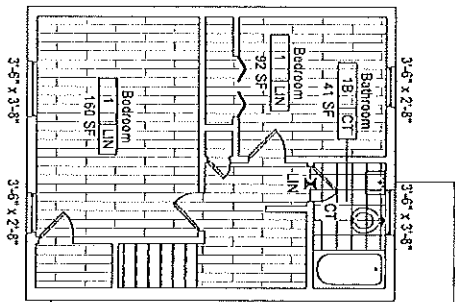
CONSULTANT:

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Management and  
Development  
Corporation  
Task Order Contract No.  
33 - Glen Hazel Rental  
Demonstration (RAD)  
945 Resolute Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type J  
First Floor Plan

A-131



1/2" TYPE "C" DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING, TYPICAL AROUND BATHTUBS. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAF BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS, TYPICAL OF ALL BATHTUBS.

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE, TYPICAL OF ALL BATHROOMS.

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REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED, TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED LOWE DOUBLE HUNG FIBERGLASS WINDOW, TYPICAL OF ALL WINDOWS.

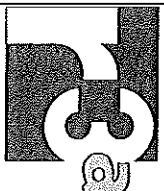
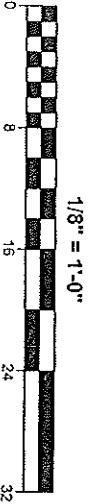
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 CPT = CARPET TILE  
 CT = CERAMIC TILE  
 EX = EXISTING

1 Second Floor Plan  
 1/8" = 1'-0"



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 Management and  
 Development  
 Corporation  
 Task Order Contract No.  
 39 - Glen Hazel Rental  
 Assistance  
 Demonstration (RAD)  
 945 Roselle Ct  
 Pittsburgh, PA 15207

Schematic Design

Low Rise - Type J  
 Second Floor Plan

DESIGN: October 28, 2016  
 DRAWING: 10/24/16  
 A-132



REMOVE EXISTING EXTERIOR SLIDING DOORS AND  
INSTALL NEW 6'-0" x 8'-0" EXTERIOR DOUBLE GLAZED  
LOWE SLIDING DOORS AND HARDWARE. TYPICAL OF ALL  
EXTERIOR SLIDING DOORS.

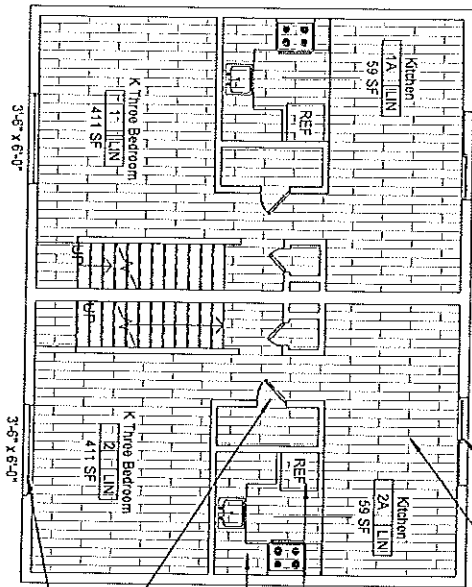
REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW  
SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.

REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL  
NEW. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING 8.5 LF OF COUNTERTOPS AND BASE  
CABINETS AND 13 LF OF WALL CABINETS. INSTALL NEW  
COUNTERTOPS, BASE CABINETS AND WALL CABINETS.  
COORDINATE WITH PLUMBING AND ELECTRICAL PRIME  
CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING,  
SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD  
DOORS AND HARDWARE. FACTORY PRIMED AND STAINED.  
TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE  
GLAZED, LOW-E DOUBLE HUNG FIBERGLASS WINDOW.  
TYPICAL OF ALL WINDOWS.



15mm  
A-233

1 First Floor Plan  
1/8" = 1'-0"

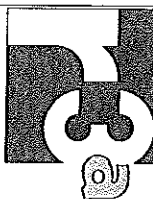


## GENERAL NOTES

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## KEY

LIN = SHEET LINOLEUM	LIN
CPT = CARPET TILE	CPT
CT = CERAMIC TILE	CT
EX = EXISTING	



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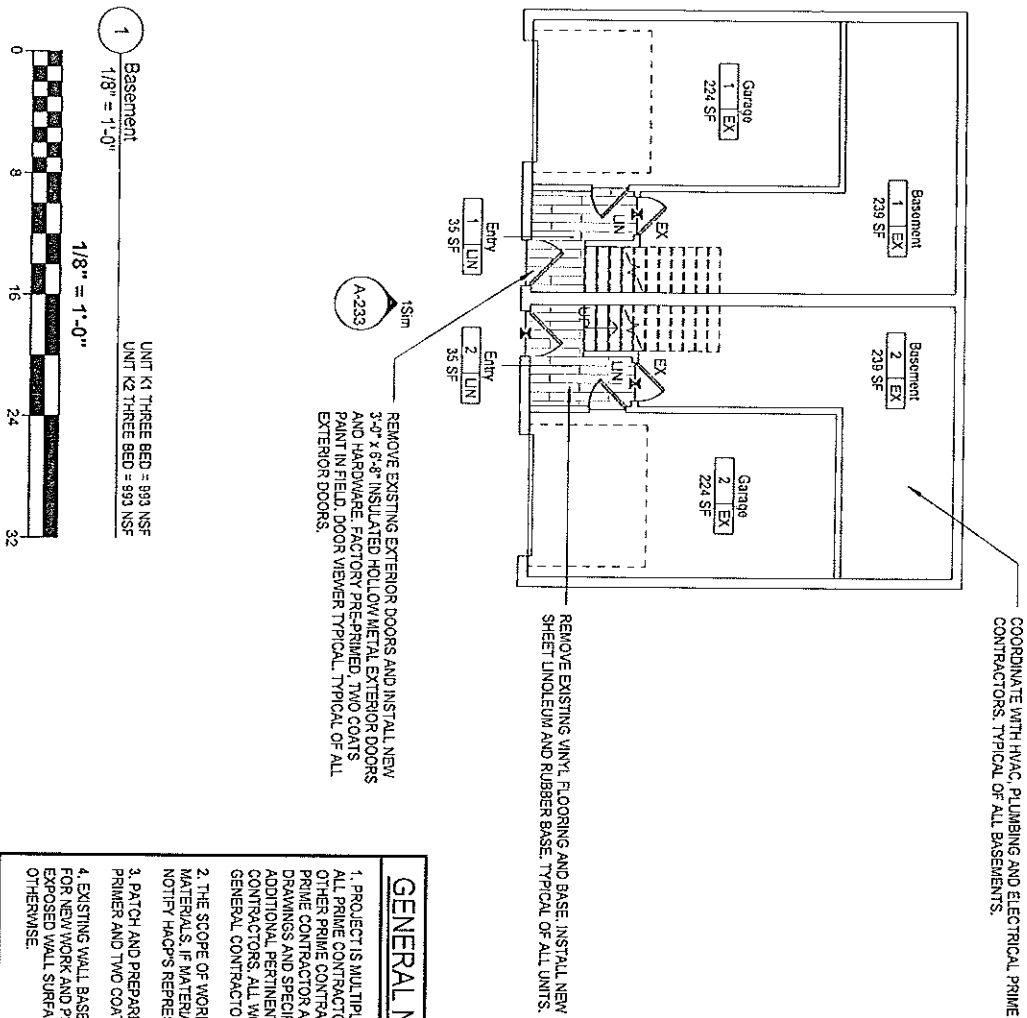
Schematic Design

Low Rise - Type K  
First Floor Plan

ISSUED: October 28, 2016  
RCA PROJECT # 11674b

A-133





## GENERAL NOTES

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LN = SHEET UNOLEUM	LN
CPT = CARPET TILE	CPT
CT = CERAMIC TILE	CT
EX = EXISTING	

Schematic Design

Low Rise - Type K  
Basement Floor  
Plan

ISSUED: October 28, 2016  
R&A PROJECT # 150748

A-135

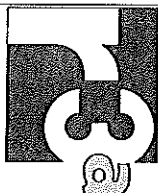
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33 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

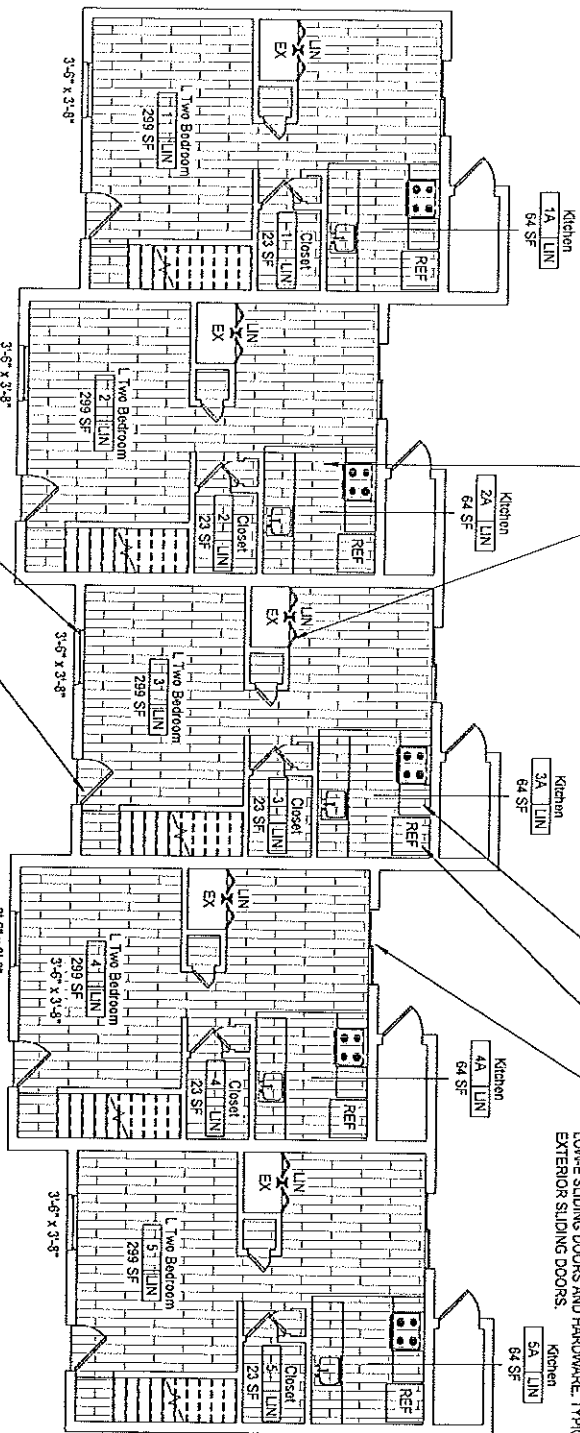
Renaissance 3 Architects,  
P.C.  
48 South 14th Street  
Pittsburgh, PA 15203  
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REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.



REMOVE EXISTING 11 LF OF COUNTERTOPS AND BASE CABINETS AND 15.5 LF OF WALL CABINETS. INSTALL NEW COUNTERTOPS, BASE CABINETS AND WALL CABINETS. COORDINATE WITH PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING EXTERIOR SLIDING DOORS AND INSTALL NEW 8'-0" x 0'-8" EXTERIOR DOUBLE GLAZED, LOWE SLIDING DOORS AND HARDWARE. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

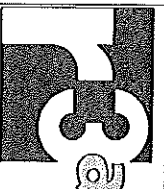
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## KEY

- LN = SHEET LINOLEUM  
CPT = CARPET TILE  
CT = CERAMIC TILE  
EX = EXISTING

1 First Floor Plan  
1/8" = 1'-0"



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33 - Glen Hazel Rental  
Demonstration (RAD)

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Pittsburgh, PA 15207

## Schematic Design

Low Rise - Type L  
First Floor Plan

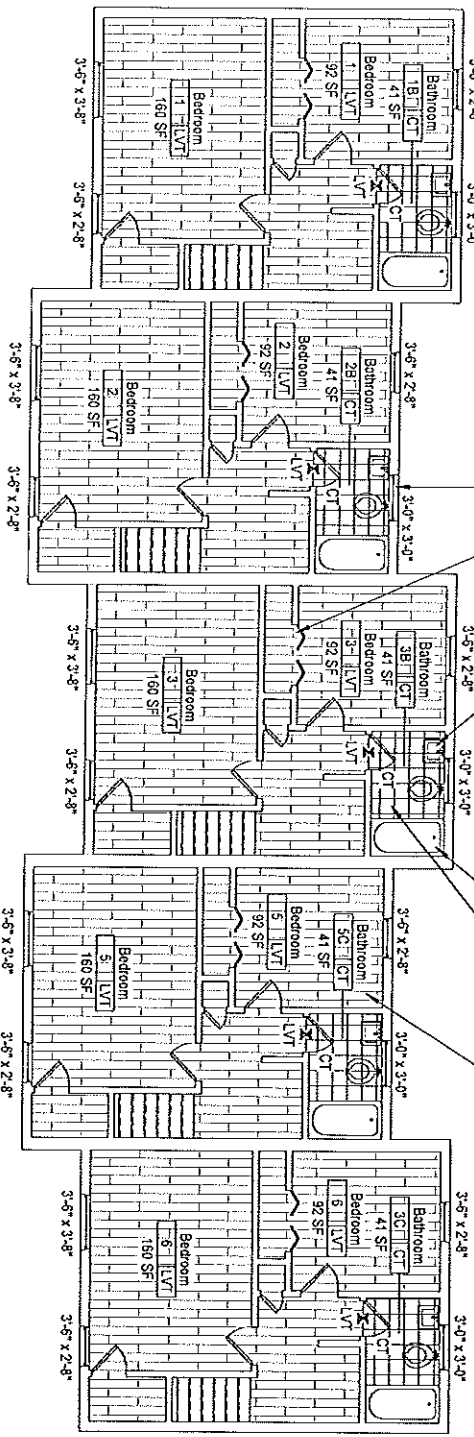
ISSUED: October 20, 2016  
RCA PROJECT # 130746

A-136

REMOVE EXISTING VANITY CABINET AND INSTALL NEW PATCH AND PREPARE FLOOR FOR NEW FINISHES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL VANITIES.

REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BI-FOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIMED AND STAINED. TYPICAL OF ALL INTERIOR DOORS.

REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED LOWE DOUBLE HUNG FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.



1/2" TYPE "C" DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING. TYPICAL AROUND BATHTUB. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHTUBS.

REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHROOMS.

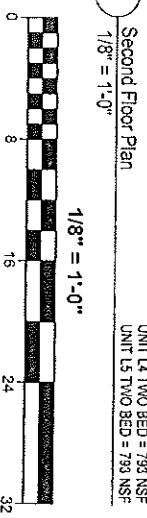
REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET UNOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.

### GENERAL NOTES

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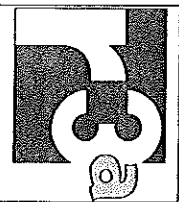
### KEY

- LN = SHEET UNOLEUM
- CPT = CARPET TILE
- CT = CERAMIC TILE
- EX = EXISTING



1 Second Floor Plan  
1/8" = 1'-0"

UNIT 1: TWO BED = 793 NSF  
UNIT 2: TWO BED = 793 NSF  
UNIT 3: TWO BED = 793 NSF  
UNIT 4: TWO BED = 793 NSF  
UNIT 5: TWO BED = 793 NSF



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Assistance  
Demonstration (RAD)  
945 Reselle Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type L  
Second Floor Plan

ISSUED: October 26, 2016  
FOA PROJECT #: 150748

A-137

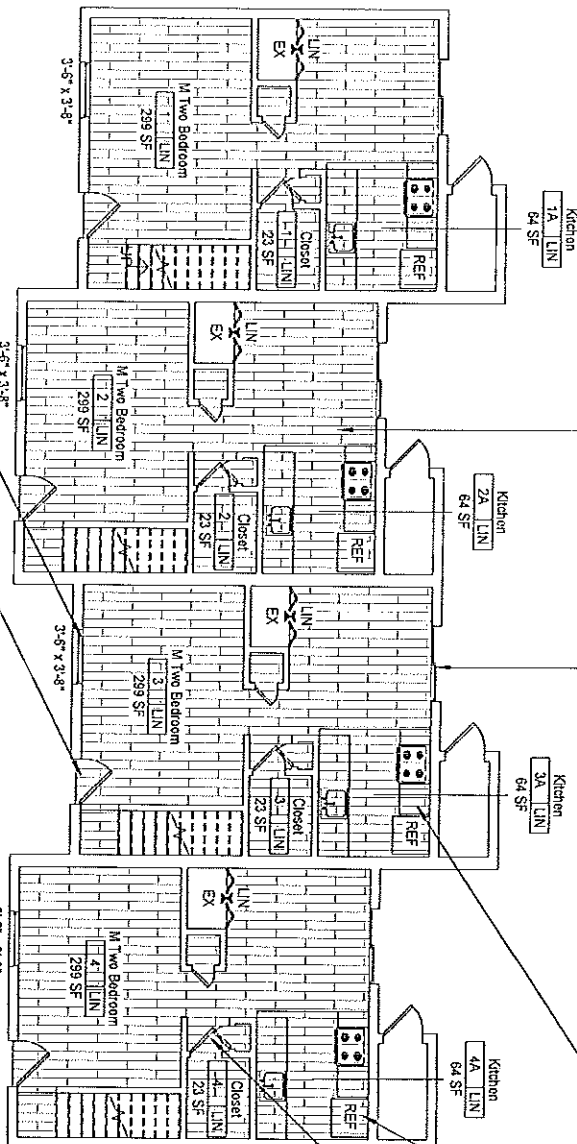
REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET UNOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.

REMOVE EXISTING EXTERIOR SLIDING DOORS AND INSTALL NEW 6'-0" x 6'-8" EXTERIOR DOUBLE GLAZED, LOWE SLIDING DOORS AND HARDWARE. TYPICAL OF ALL EXTERIOR SLIDING DOORS.

REMOVE EXISTING 11.5 LF OF COUNTERTOPS AND BASE CABINETS AND 18 LF OF WALL CABINETS. INSTALL NEW COUNTERTOPS, BASE CABINETS AND WALL CABINETS COORDINATE WITH PLUMBING AND ELECTRICAL PRIME CONTRACTORS. TYPICAL OF ALL KITCHENS.

REMOVE EXISTING REFRIGERATOR/FREEZER AND INSTALL NEW. TYPICAL OF ALL KITCHENS.

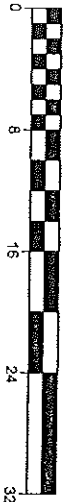
REMOVE EXISTING INTERIOR DOORS, INCLUSIVE OF SWING, SLIDING AND BIFOLD AND INSTALL NEW SOLID CORE WOOD DOORS AND HARDWARE. FACTORY PRIME AND STAINED. TYPICAL OF ALL INTERIOR DOORS.



REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED LOWE DOUBLE HUNG FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.

REMOVE EXISTING EXTERIOR DOORS AND INSTALL NEW 3'-0" x 6'-8" INSULATED HOLLOW METAL EXTERIOR DOORS AND HARDWARE. FACTORY PRE-PRIMED, TWO COATS PAINT IN FIELD. DOOR VIEWER TYPICAL. TYPICAL OF ALL EXTERIOR DOORS.

1 First Floor Plan  
1/8" = 1'-0"



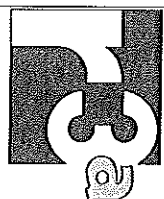
UNIT M1 TWO BED = 793 NSF  
UNIT M2 TWO BED = 793 NSF  
UNIT M3 TWO BED = 793 NSF  
UNIT M4 TWO BED = 793 NSF

## GENERAL NOTES

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 CT = CERAMIC TILE  
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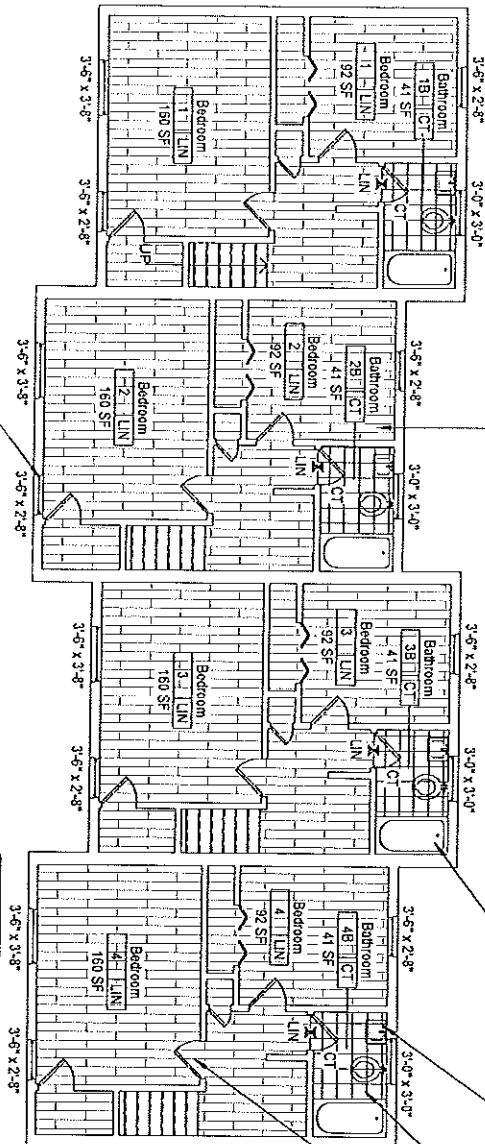
945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

Low Rise - Type M  
First Floor Plan

ISSUED: October 24, 2016  
R3A PROJECT # 150745  
A-138

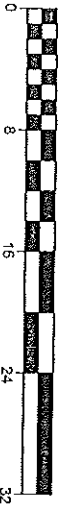
REMOVE EXISTING VINYL FLOORING AND BASE. INSTALL NEW SHEET LINOLEUM AND RUBBER BASE. TYPICAL OF ALL UNITS.



REMOVE EXISTING WINDOW AND REPLACE WITH DOUBLE GLAZED, LOWE DOUBLE HUNG FIBERGLASS WINDOW. TYPICAL OF ALL WINDOWS.



1 Second Floor Plan  
1/8" = 1'-0"



UNIT M1 TWO BED = 793 NSF  
UNIT M2 TWO BED = 793 NSF  
UNIT M3 TWO BED = 793 NSF  
UNIT M4 TWO BED = 793 NSF

1/2" TYPE 'C' DRYWALL FLOOR TO MINIMUM 6" BELOW CEILING, TYPICAL AROUND BATHTUB. PROVIDE BLOCKING AND OTHER REINFORCING AS REQUIRED FOR GRAB BARS. COMPLY WITH ALL APPLICABLE CODES. COORDINATE WITH PLUMBING PRIME CONTRACTORS. TYPICAL OF ALL BATHTUBS.

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REMOVE EXISTING CERAMIC TILE FLOORING AND BASE. INSTALL NEW CERAMIC TILE AND CERAMIC TILE BASE. TYPICAL OF ALL BATHTUBS.

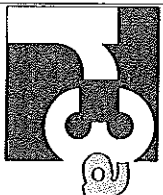
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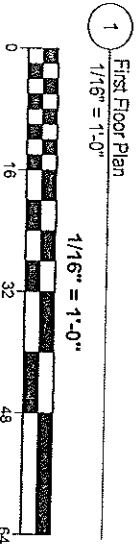
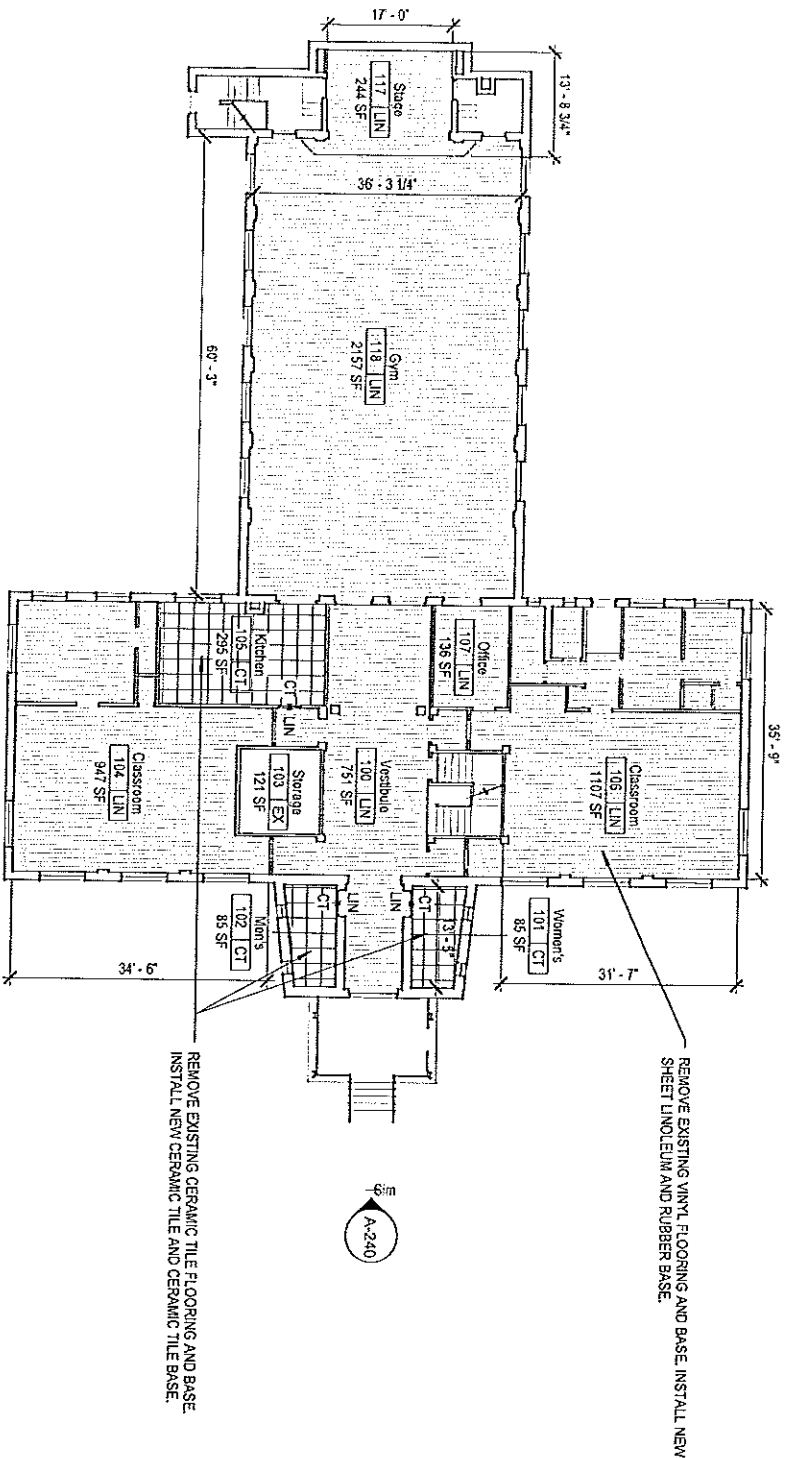
945 Roselle Ct  
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Schematic Design

Low Rise - Type M  
Second Floor Plan

DESIGNED: October 20, 2016  
R3A PROJECT # 160748

A-139

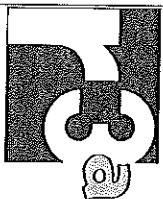


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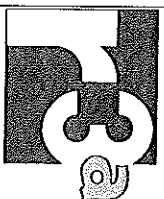
945 Resale Ct  
Pittsburgh, PA 15207

Schematic Design

Community Center  
First Floor Plan

ISSUED: October 21, 2016  
RCA PROJECT # 130748  
A-140





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CONSULTANT:

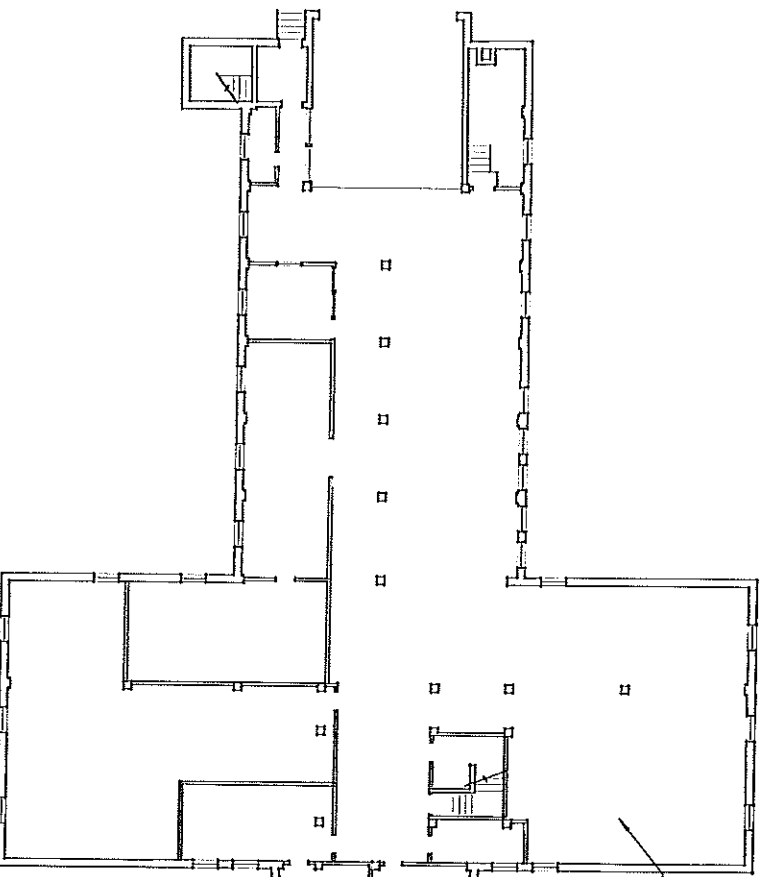
Allies & Ross  
Management and  
Development  
Corporation  
Task Order Contract No.  
33 - Glen Hazel Rental  
Assistance  
Demonstration (RAD)  
945 Roselle Ct  
Pittsburgh, PA 15207

Schematic Design

Community Center  
Basement Floor  
Plan

ISSUED: October 28, 2016  
NSA PROJECT #: 160749

A-142



COORDINATE WITH HVAC AND ELECTRICAL PRIME CONTRACTORS.

### GENERAL NOTES

1. PROJECT IS MULTIPLE PRIMES. GENERAL, HVAC, PLUMBING AND ELECTRICAL PRIMES. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF WORK WITH ALL OTHER PRIME CONTRACTORS. SUBCONTRACTORS AND WORK WITH THE OWNER, EACH PRIME CONTRACTOR AND TRADE SHALL REFER TO THE ENTIRE SCOPE OF WORK DRAWINGS AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL PERTINENT INFORMATION AND COORDINATION WORK WITH OTHER CONTRACTORS. ALL WORK DEPICTED ON THIS DRAWING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
2. THE SCOPE OF WORK DOES NOT CONTAIN ANY REMOVAL OF ASBESTOS CONTAINING MATERIALS. IF MATERIALS BECOME FRAGILE DURING DEMOLITION AND CONSTRUCTION NOTIFY HACPS REPRESENTATIVE AND ARCHITECT.
3. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL AND CEILING SURFACES.
4. EXISTING WALL BASE TO BE REMOVED. PATCH AND PREPARE WALLS AS REQUIRED FOR NEW WORK AND PROVIDE ONE COAT PRIMER AND TWO COATS PAINT TO ALL EXPOSED WALL SURFACES. PROVIDE NEW WALL BASE THROUGHOUT, UNLESS NOTED OTHERWISE.

### KEY

- LN = SHEET UNOULEUM  
CPT = CARPET TILE  
CT = CERAMIC TILE  
EX = EXISTING
- LN  
CPT  
CT